



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Memo to the Planning Commission

HEARING DATE: NOVEMBER 21, 2019

CONTINUED FROM AUGUST 29, 2019

DATE: November 21, 2019
TO: Planning Commission
FROM: Bridget Hicks, Planner
RE: 461 29th Street Update (Case No. 2008.0023CUA)

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BACKGROUND

On August 29, 2019, the Planning Commission continued the Conditional Use Authorization for 461 29th Street to the public hearing on November 7, 2019, with the direction to revise the plans to propose a Project that is compatible with the neighborhood and responds to the comments of the neighbors. The revised plans were not complete in advance on the November 7th hearing date, therefore the item was continued to today, November 21, 2019.

The Project Sponsor has since submitted revised plans providing additional information, as follows:

- A third unit has been added to the proposal as an ADU;
- The garage space has been increased to accommodate one vehicle space and one bicycle parking space for each of the three units;
- The façade has been redesigned to more closely align with the vertical pattern found throughout the neighborhood;
- The façade materials have been changed to stucco, painted wood, and a stone base;
- The height of the building has decreased by 6 inches;
- The fourth floor has been reduced to be set back 15 feet from the front façade and to extend no further than the massing of the neighbor to the west at 467-469 29th Street
- The roof deck has been eliminated;
- Lightwells have been increased to more closely match the neighboring lightwells; and
- The Categorical Exemption was re-evaluated with the new project and re-issued.

Attachments:

- Updated Plans
- Revised Categorical Exemption



461 29th STREET

SAN FRANCISCO, CALIFORNIA, 94117

CHANGES RESULTING FROM PLANNING COMMISSION MEETING

CHANGES CLOUDED

ISSUE 1: UNIT SIZES:

- LOWER UNIT DIVIDED INTO (2) BEDROOM UNITS, FOR A TOTAL OF (3) UNITS IN THE BUILDING. NOTE THIS CHANGES THE BUILDING OCCUPANCY GROUP TO R-2, WHICH IS MORE RESTRICTIVE AND REQUIRES ADDITIONAL FIRE AND BUILDING CONSTRAINTS

- GARAGE AND BIKE PARKING AREA INCREASED

ISSUE 2: MASSING:

- UPPER FLOOR DECREASED 310 SQUARE FEET

- FOOTPRINT DECREASED AT BUILDING TO WEST OF PROPERTY. BASEMENT INCREASED (300sf) TO COMPENSATE AND PROVIDE ADDITIONAL UNIT

- BUILDING LOWERED 6 INCHES

- FRONT CORNER OF BUILDING OVER STAIR LOWERED FIVE FEET

- FRONT BUILDING PARAPET CONFIGURED TO HIDE UPPER FLOOR MASSING

- ROOF CORNICE ADDED FOR VISUAL STOP AND TO PROVIDE NEIGHBORHOOD CONTEXT

ISSUE 3: LIGHTWELLS:

- BOTH LIGHTWELLS INCREASED IN SIZE

ISSUE 4: FACADE MATERIALS:

- STUCCO REPLACE WITH V-GROOVE SIDING

- LIMESTONE BASE LOWERED

- PAINTED WOOD PROFILE WINDOWS PROPORTIONED ON TRADITIONAL LINES. MULLIONS NARROWED AND PROPORTIONED TO MATCH NEIGHBORHOOD PATTERN

- CORNICE ADDED AT THIRD FLOOR

ISSUE 5: BAY WINDOW

- SEE MAXIMUM OUTLINE ON PLANS; THE SQUARE BAYS ARE SMALLER THAN MAXIMUM ANGLE BAYS ALLOWED BY CODE.

- NOTE THE ADJACENT BUILDING HAS SQUARE BAY WINDOWS;

ADDITIONAL CHANGES:
- ENTRY RECESSED AND ENHANCED

UPPER FLOOR AT REAR REDUCED AND DECK PULLED BACK 10'-0". GLASS RAILS ADDED AT DECK

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HISTORY	BY
SITE PERMIT 2018-0326-4615	
PLANNING REVISION	



2018-0326-4615

TITLE SHEET
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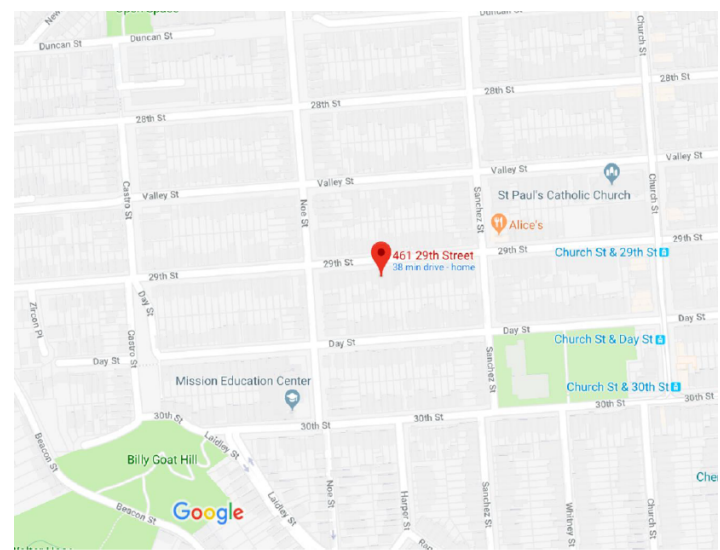
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LOCATION MAP



PLANNING NOTES

- NEW CONSTRUCTION PENDING DEMO 25' x 114' LOT (8631/033)
- RH-2 ZONING DISTRICT
- 40x HEIGHT DISTRICT
- EXISTING SINGLE FAMILY TO BE REPLACE WITH
- UNIT OWNER OCCUPIED BUILDING: OVER PARKING
- 100% 2 BEDROOM OR LARGER UNITS
- SEE BUILDING PROGRAM FOR MORE INFO
- 3 PARKING SPACES PROPOSED
- 3 CLASS 1 BIKE SPACES
- OPEN SPACE : 100 sf REQUIRED PER UNIT IF PRIVATE, 133 REQUIRED IF COMMON. TOTAL COMMON AREA TO BE DIVIDED EQUALLY BETWEEN THE NUMBER OF UNITS SHARING THE AREA. SEE BUILDING PROGRAM FOLLOWING

PROJECT TEAM

- PARTICIPANT**
- OWNER**
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- ARCHITECT**
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- STRUCTURAL**
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BUILDING PROGRAM

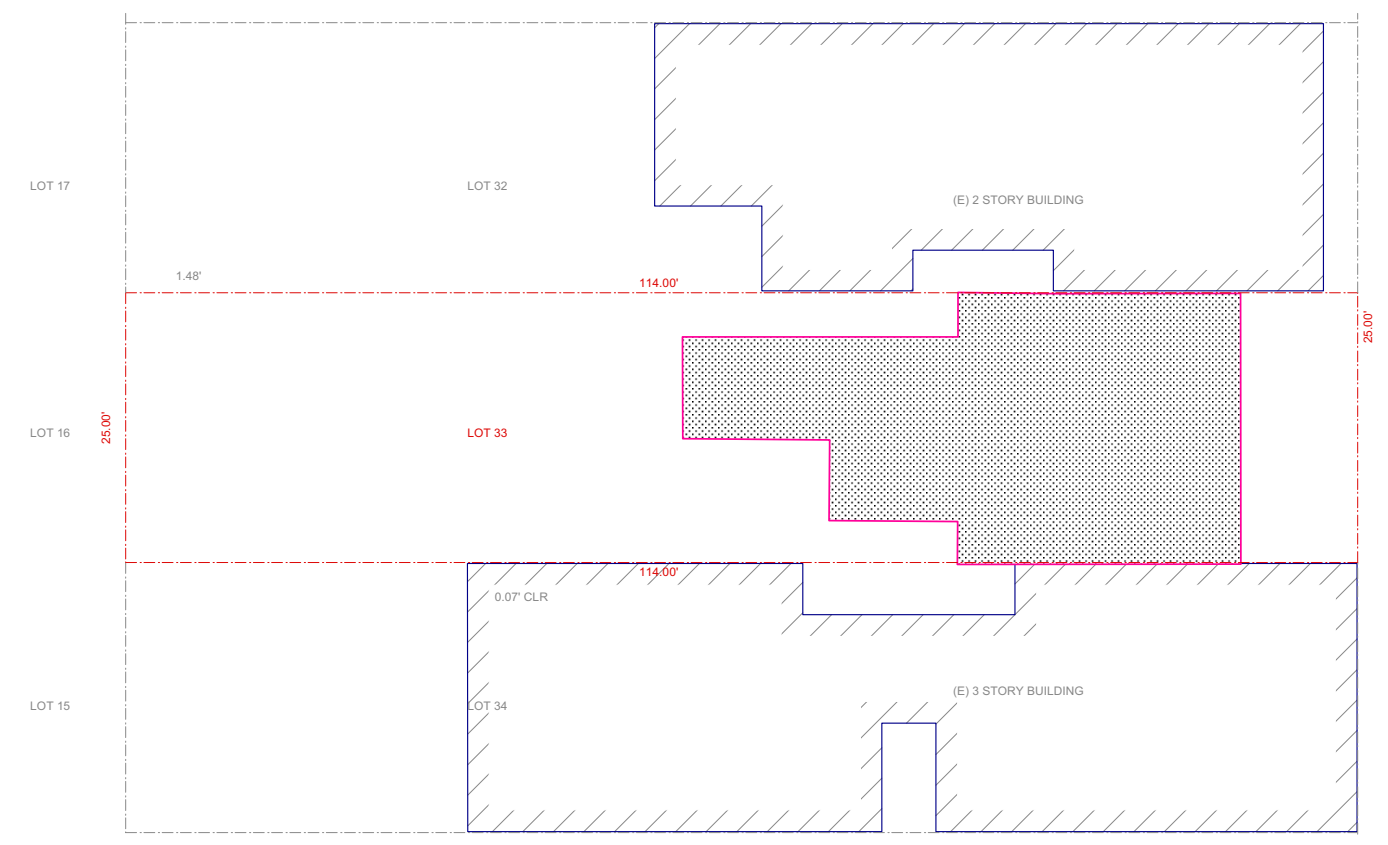
- NEW TYPE V-A, SPRINKLERED, FOUR STORY BUILDING WITH ROOF DECK
- R-2 OCCUPANCY: THREE RESIDENTIAL CONDOS OVER U OCCUPANCY COMMON PARKING
- NO STAIR TO ROOF FOR FIRE DEPARTMENT ACCESS
- SINGLE EGRESS STAIR: MAXIMUM 125' TO TWO-HOUR EGRESS ENCLOSURE
- ADA REQUIREMENT: NONE

- General Notes**
- Codes: The design and construction of all site alterations shall comply with the 2017 California CODE, including Building Code, Plumbing Code, Electrical Code, Mechanical Code, Fire Code, and Title 24 Energy Efficiency Standards, including Local Amendments
 - Two-Hour separation assemblies between all Units, Units and Garage, and Elevator Shafts. 90 Minute Rated doors at Two-Hour Walls
 - One-Hour Assemblies within 60" of (side, rear) property lines all portions of the Building
 - All penetrations in fire assemblies to comply with the Fire Rating in which they breach. Fire caulk all pipes, ducts, etc. to seal completely
 - Separate Permits required for: Sprinklers, Fire Controls, Trusses, Sidewalk & Driveway, Utility laterals, Tree, Elevator
 - Sprinkler Installation per NFPA 13 and CBC 903.1.1

Building Floor-by-Floor									
Floor	Occup. Group	Rating (Hr's)	Unit/Area	Area Sq Ft	SFUSD SqFt	Occup. Load	Sprinkler	Notes	
Basement	R-2	1	Unit 1	642	255		YES		
			Total	642					
First	U	1	Garage, Circ	938		4.7	YES		
	R-2	1	Unit 1	680	442	3.4	YES		
			Total	1912					
Second	R-2	2	Circulation	182		0.9	YES	2-hour Between Units	
	R-2	1	Unit 2	1480	962	7.4	YES		
			Total	1735					
Third	R-2	2	Circulation	0			YES		
		1	Unit 3	1479	961	7.4	YES		
			Total	1676					
Fourth	R-2	1	Unit 3	658	428	3.3	YES		
			Total	658					
Roof	Unoccupie	2		0			NO	2-Hour Roof	
			Garage	938					
			Unit 1	1,322					
			Unit 2	1,480					
		Unit 3	2,137						
		Building Total Sq Ft		5,877		3,048	Total SFSD		

Unit Data									
Unit	Size Sf	SFUSD Sf	Stories	Bed + Bth	Bike Prk	Parking	Required	Yard	Deck
1	1,322	697	2	2+2	1	1	100	782	0
2	1,480	962	1	2+2	1	1	100	782	0
3	2,137	1,389	2	3+3	1	1	100	0	368
TOTAL	4,939	3048			3	3			

FND NAIL & TAG
 LS 3602 @
 PL PROJECTED
 PER 115 CM 72

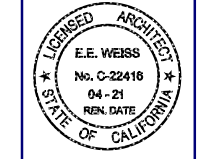


- GENERAL SITE NOTES:**
- ENGINEER TO REVIEW AND APPROVE ALL ASPECTS OF GRADING, DRAINAGE, FOUNDATIONS, AND ALL ASSOCIATED UNDERGROUND IMPROVEMENTS AND CONDITIONS. ENGINEER TO TEST AND INSPECT ALL SYSTEMS AS REQUIRED, TYP.
 - EROSION AND SURFACE RUN-OFF SHALL BE CONTAINED AND CONTROLLED WITHIN THE SITE.
 - 2:1 MAX. SLOPE OF UNRESTRAINED EARTH. NO GRADING AT PROPERTY LINE
 - ALL WORK SHALL CONFORM TO COUNTY AND CITY STANDARD SPECIFICATIONS AND UNIFORM CONSTRUCTION STANDARDS.

- WORK AT PROPERTY LINE:**
- ARCHITECTURAL PLANS ARE SCHEMATIC IN NATURE. ALL WORK TO BE PERFORMED WITHIN THE SUBJECT PROPERTY
 - ALL WORK INCLUDING RETAINING WALLS; PIERS; DRAIN LINES; WATERPROOFING; BACK FILLING; ETC. SHALL BE CONTAINED WITHIN THE PROPERTY LINES. THE SUBJECT PROPERTY
 - NO EQUIPMENT, PERSONNEL, OR MATERIAL ARE ALLOWED ON THE NEIGHBORING PROPERTY WITHOUT PRIOR WRITTEN CONSENT.

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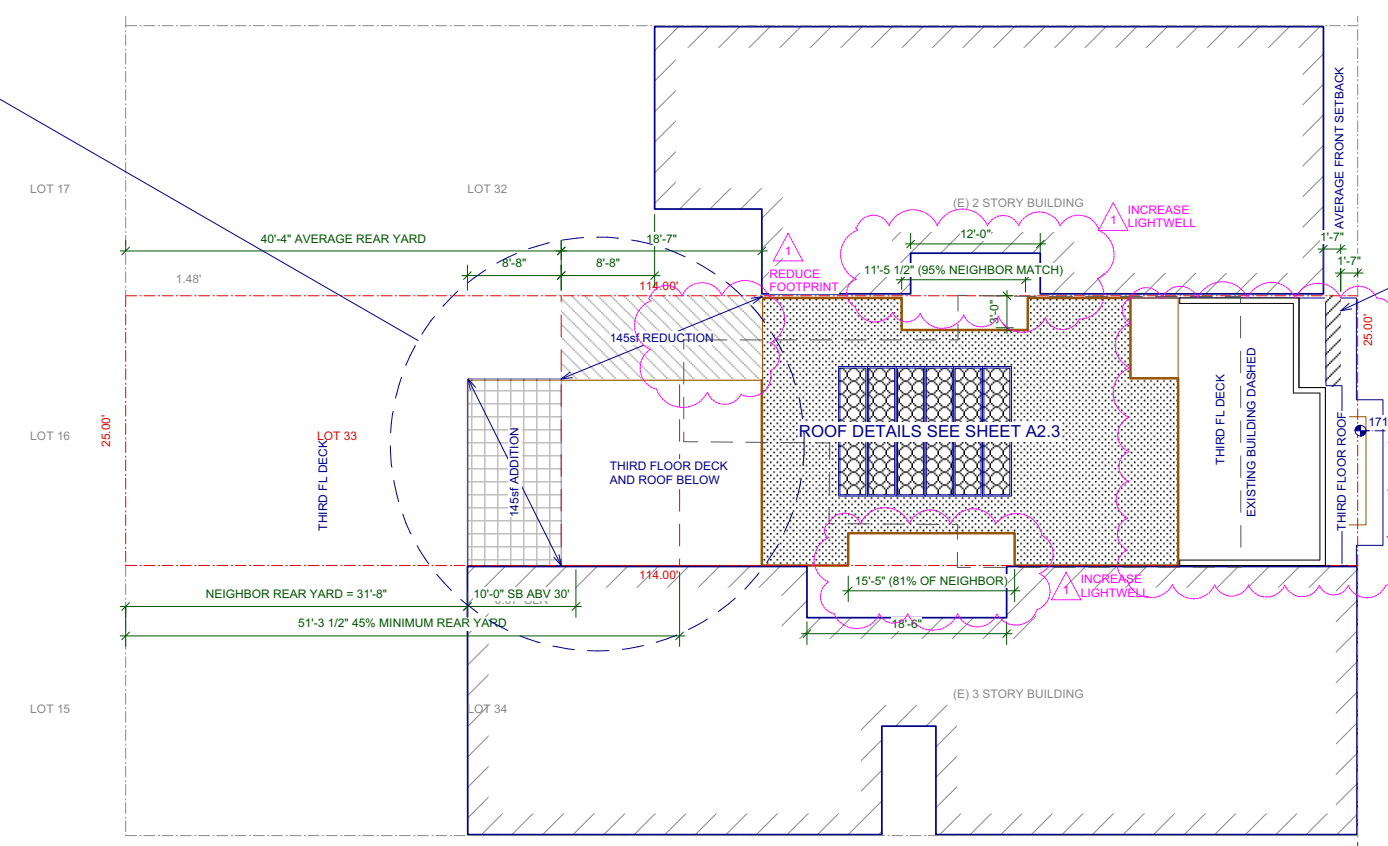
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2 SITE PLAN - EXISTING
 A1.1 Scale: 1/8" = 1'-0"

STAGGERED REAR YARD SETBACK:
 PER SECTION 134(a)4: GIVEN THE SITE CONDITIONS, THE AVERAGE REAR STBACK HAS BEEN STAGGERED TO PROVIDE LIGHT AND AIR TO THE PROPERTY WITH THE GREATER REAR YARD SETBACK.

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 PL PROJECTED
 PER 115 CM 72



- VOLUNTARY FRONT SETBACK
- REBUILD EXSITING CURB CUT TO NEW STANDARD
- FIRE AND SITE DETAILS SEE A2.1
- NEW 24" BOX STREET TREE

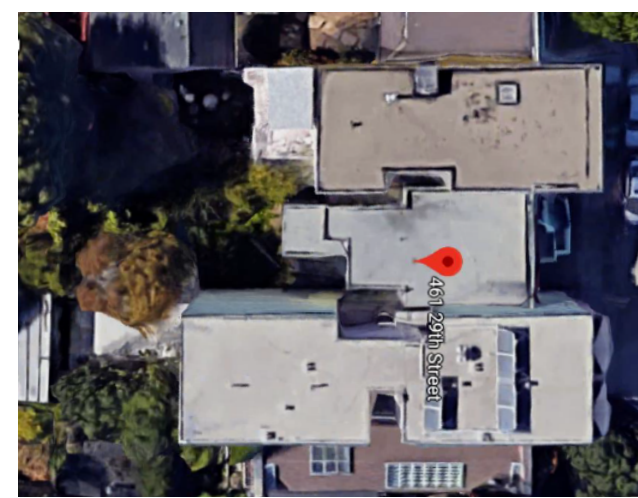
SITE PLAN
 SITE PERMIT SET
 (Planning NOPDR 3)

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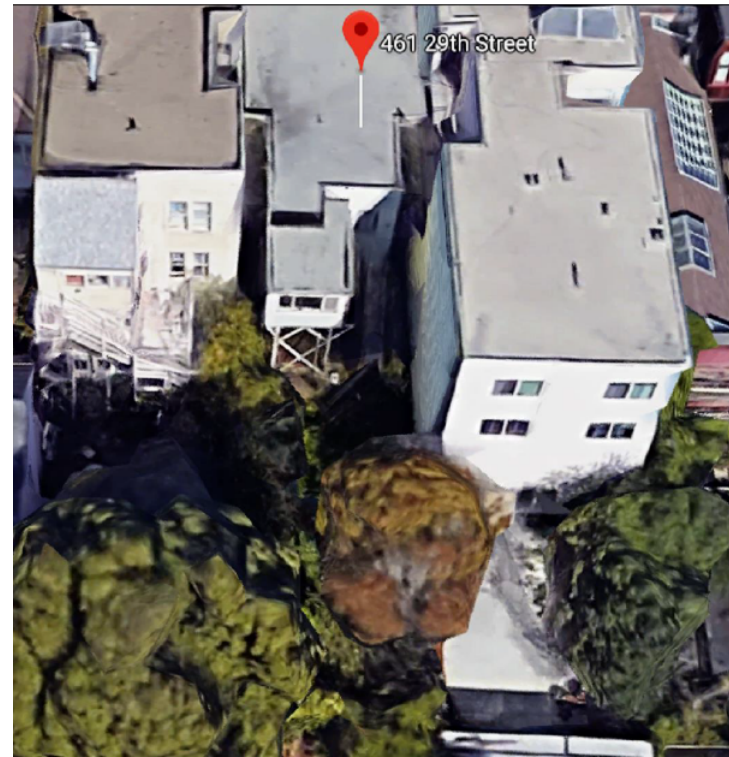
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A1.1



3 GOOGLE EARTH PHOTO
 A1.1 Scale: 1/8" = 1'-0"

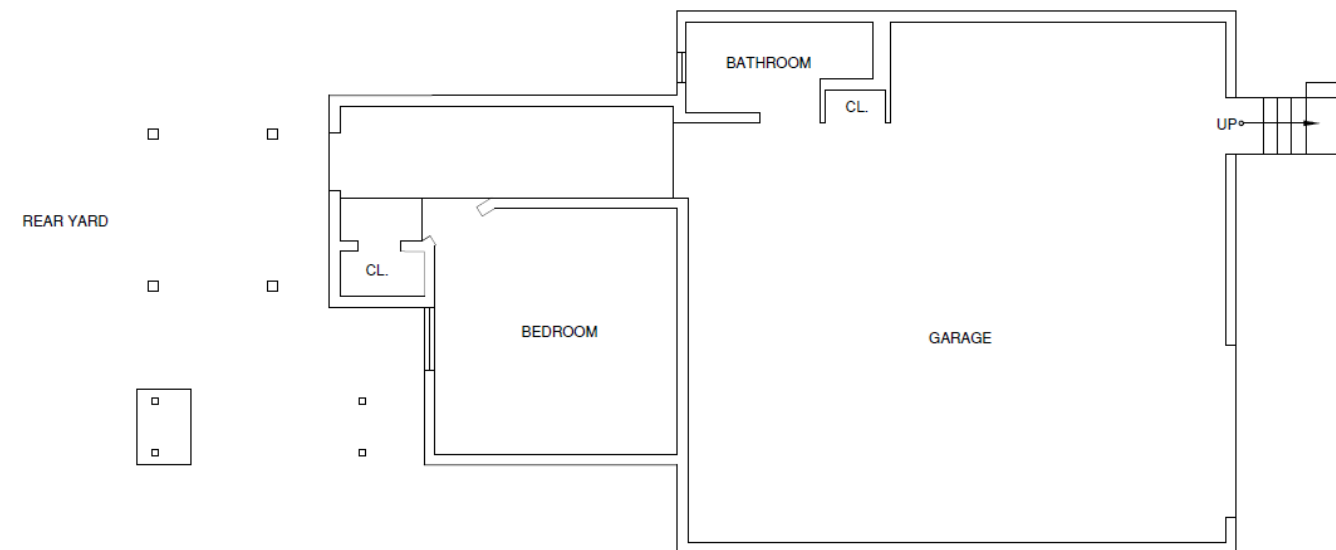
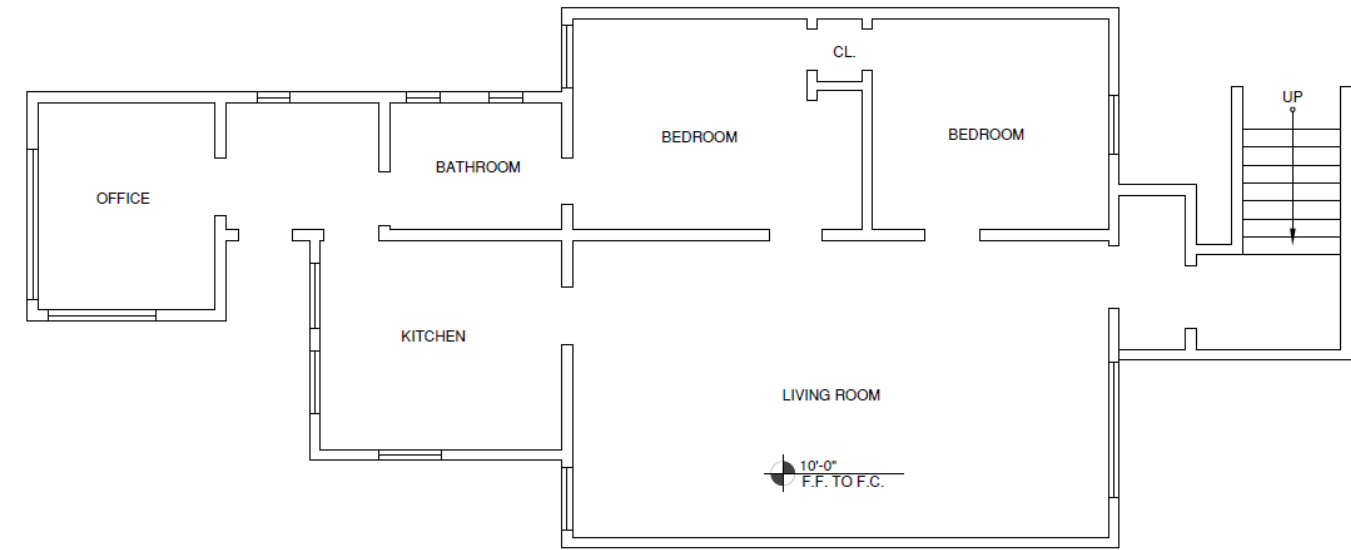
1 SITE PLAN - PROPOSED
 A1.1 Scale: 1/8" = 1'-0"



EXISTING REAR AXIO VIEW

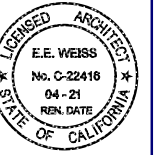


EXISTING FRONT ELEVATION



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EXISTING PLANS
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A2.0

WALL SCHEDULE

PLATE SIZE GRAPHIC KEY:

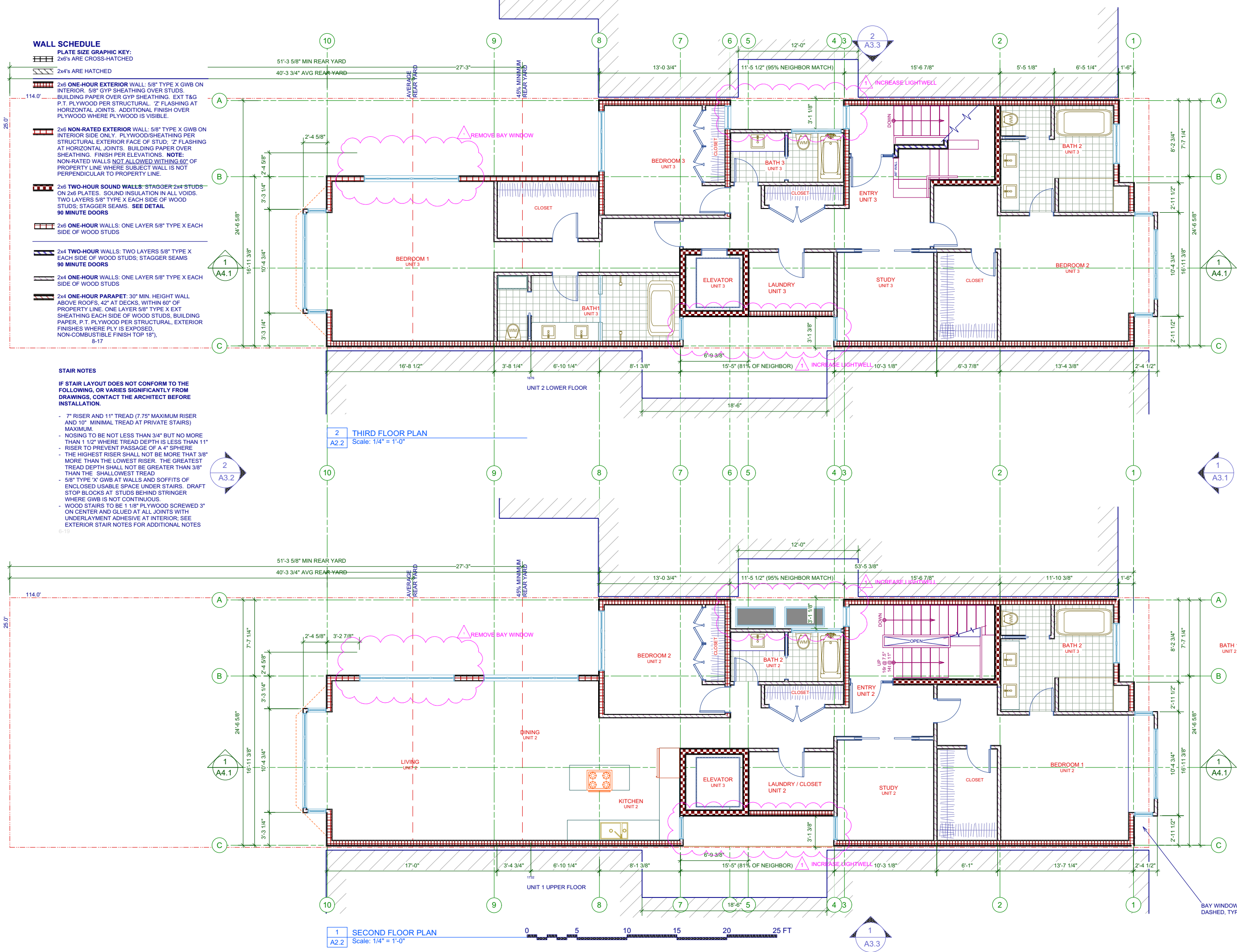
- 2x6's ARE CROSS-HATCHED
- 2x4's ARE HATCHED
- 2x6 ONE-HOUR EXTERIOR WALL: 5/8" TYPE X GWB ON INTERIOR. 5/8" GYP SHEATHING OVER STUDS. BUILDING PAPER OVER GYP SHEATHING. EXT T&G P.T. PLYWOOD PER STRUCTURAL. "Z" FLASHING AT HORIZONTAL JOINTS. ADDITIONAL FINISH OVER PLYWOOD WHERE PLYWOOD IS VISIBLE.
- 2x6 NON-RATED EXTERIOR WALL: 5/8" TYPE X GWB ON INTERIOR SIDE ONLY. PLYWOOD/SHEATHING PER STRUCTURAL EXTERIOR FACE OF STUD. "Z" FLASHING AT HORIZONTAL JOINTS. BUILDING PAPER OVER SHEATHING. FINISH PER ELEVATIONS. NOTE: NON-RATED WALLS NOT ALLOWED WITHING 60" OF PROPERTY LINE WHERE SUBJECT WALL IS NOT PERPENDICULAR TO PROPERTY LINE.
- 2x6 TWO-HOUR SOUND WALLS: STAGGER 2x4 STUDS ON 2x6 PLATES. SOUND INSULATION IN ALL VOIDS. TWO LAYERS 5/8" TYPE X EACH SIDE OF WOOD STUDS; STAGGER SEAMS. SEE DETAIL. 90 MINUTE DOORS
- 2x6 ONE-HOUR WALLS: ONE LAYER 5/8" TYPE X EACH SIDE OF WOOD STUDS
- 2x4 TWO-HOUR WALLS: TWO LAYERS 5/8" TYPE X EACH SIDE OF WOOD STUDS; STAGGER SEAMS. 90 MINUTE DOORS
- 2x4 ONE-HOUR WALLS: ONE LAYER 5/8" TYPE X EACH SIDE OF WOOD STUDS
- 2x4 ONE-HOUR PARAPET: 30" MIN. HEIGHT WALL ABOVE ROOFS. 42" AT DECKS. WITHIN 60" OF PROPERTY LINE. ONE LAYER 5/8" TYPE X EXT SHEATHING EACH SIDE OF WOOD STUDS, BUILDING PAPER, P.T. PLYWOOD PER STRUCTURAL. EXTERIOR FINISHES WHERE PLY IS EXPOSED. NON-COMBUSTIBLE FINISH TOP 18".

STAIR NOTES

IF STAIR LAYOUT DOES NOT CONFORM TO THE FOLLOWING, OR VARIES SIGNIFICANTLY FROM DRAWINGS, CONTACT THE ARCHITECT BEFORE INSTALLATION.

- 7" RISER AND 11" TREAD (7.75" MAXIMUM RISER AND 10" MINIMAL TREAD AT PRIVATE STAIRS) MAXIMUM.
- NOSING TO BE NOT LESS THAN 3/4" BUT NO MORE THAN 1 1/2" WHERE TREAD DEPTH IS LESS THAN 11"
- RISER TO PREVENT PASSAGE OF A 4" SPHERE
- THE HIGHEST RISER SHALL NOT BE MORE THAT 3/8" MORE THAN THE LOWEST RISER. THE GREATEST TREAD DEPTH SHALL NOT BE GREATER THAN 3/8" THAN THE SHALLOWEST TREAD
- 5/8" TYPE X GWB AT WALLS AND SOFFITS OF ENCLOSED USABLE SPACE UNDER STAIRS. DRAFT STOP BLOCKS AT STUDS BEHIND STRINGER WHERE GWB IS NOT CONTINUOUS.
- WOOD STAIRS TO BE 1 1/8" PLYWOOD SCREWED 3" ON CENTER AND GLUED AT ALL JOINTS WITH UNDERLAYMENT ADHESIVE AT INTERIOR; SEE EXTERIOR STAIR NOTES FOR ADDITIONAL NOTES

6-19



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SECOND - THIRD FLOOR PLANS
SITE PERMIT SET
(Planning NOPDR 3)

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A2.2

WINDOW SEAT, MAINTAIN 10'-0" CLEAR UNDER BAY

WALL SCHEDULE

PLATE SIZE GRAPHIC KEY:
2x6's ARE CROSS-HATCHED
2x4's ARE HATCHED

2x6 ONE-HOUR EXTERIOR WALL: 5/8" TYPE X GWB ON INTERIOR. 5/8" GYP SHEATHING OVER STUDS. BUILDING PAPER OVER GYP SHEATHING. EXT T&G P.T. PLYWOOD PER STRUCTURAL. "Z" FLASHING AT HORIZONTAL JOINTS. ADDITIONAL FINISH OVER PLYWOOD WHERE PLYWOOD IS VISIBLE.

2x6 NON-RATED EXTERIOR WALL: 5/8" TYPE X GWB ON INTERIOR SIDE ONLY. PLYWOOD/SHEATHING PER STRUCTURAL EXTERIOR FACE OF STUD. "Z" FLASHING AT HORIZONTAL JOINTS. BUILDING PAPER OVER SHEATHING. FINISH PER ELEVATIONS. NOTE: NON-RATED WALLS NOT ALLOWED WITHIN 60" OF PROPERTY LINE WHERE SUBJECT WALL IS NOT PERPENDICULAR TO PROPERTY LINE.

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90 MINUTE DOORS

2x6 ONE-HOUR WALLS: ONE LAYER 5/8" TYPE X EACH SIDE OF WOOD STUDS

2x4 TWO-HOUR WALLS: TWO LAYERS 5/8" TYPE X EACH SIDE OF WOOD STUDS; STAGGER SEAMS
90 MINUTE DOORS

2x4 ONE-HOUR WALLS: ONE LAYER 5/8" TYPE X EACH SIDE OF WOOD STUDS

2x4 ONE-HOUR PARAPET: 30" MIN. HEIGHT WALL ABOVE ROOFS. 42" AT DECKS. WITHIN 60" OF PROPERTY LINE. ONE LAYER 5/8" TYPE X EXT SHEATHING EACH SIDE OF WOOD STUDS. BUILDING PAPER, P.T. PLYWOOD PER STRUCTURAL. EXTERIOR FINISHES WHERE PLY IS EXPOSED. NON-COMBUSTIBLE FINISH TOP 18").

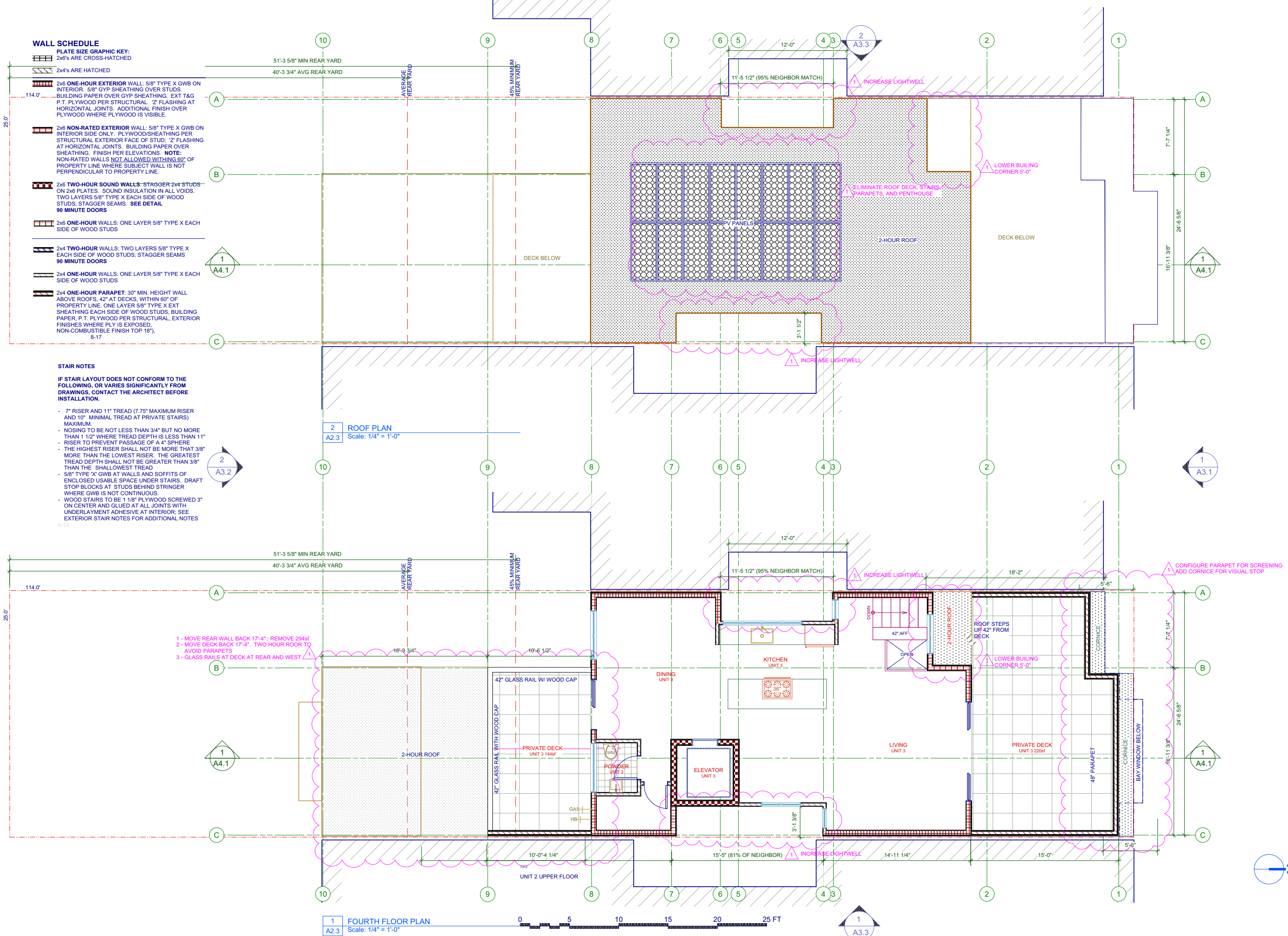
8-17

STAIR NOTES

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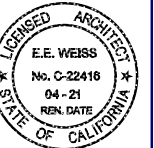
1 FOURTH FLOOR PLAN
A2.3 Scale: 1/4" = 1'-0"



1 A3.3

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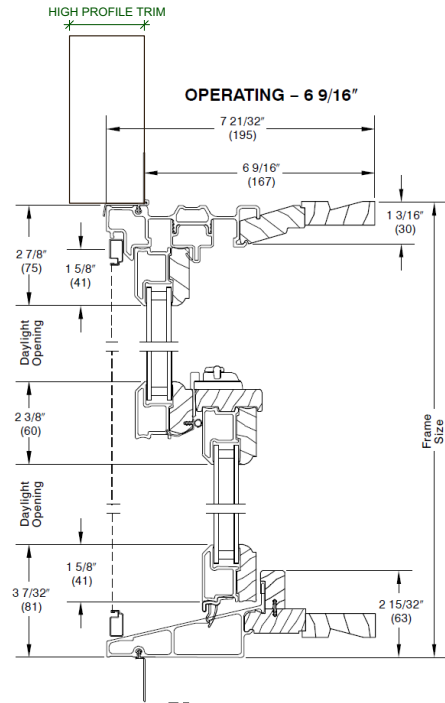
FOURTH FLOOR & ROOF PLANS
SITE PERMIT SET
(Planning NOPDR 3)

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A2.3



3 PAINTED WINDOW SECTION
A3.2

- FINISH SCHEDULE:**
- NATURAL STONE BRICKS, 8"x14". UNPOLISHED SURFACE. 1/8" SANDED GROUT. LIGHT GREY STONE WITH MEDIUM GREY GROUT. FINAL COLOR TBD
 - CLEAR T&G CEDAR, REDWOOD, OR APPROVED 1x4 SIDING. MITER ALL CORNERS. WHITE, TRANSPARENT STAIN. ALIGN EVERY OTHER HORIZONTAL JOINT WITH ADJACENT 1x8 SIDING. FINAL STAIN COLOR TBD IN FIELD
 - PAINTED V-GROOVE 1x8 SIDING. MITER ALL CORNERS. CREAM COLOR TBD IN FIELD
 - HIGH PROFILE PAINTED WINDOWS. LOW-E THERMOPANES. PAINTED 3x8 TRIM. DARK SLATE COLOR; ARCHITECT APPROVAL PRIOR TO ORDERING
 - NATURAL WOOD DOOR WITH LIGHT WHITE TRANSPARENT STAIN.
 - EXPOSED PROPERTY LINE WALLS IN CEMENTIOUS SIDING; PAINT TO MATCH ADJACENT SIDING
 - CONCEALED PROPERTY LINE WALLS TO BE PRESSURE TREATED PLYWOOD. 2" BAR FLASHING AT HORIZONTAL JOINTS
 - GLASS RAIL. 24sf MAX PANEL SIZE FOR BIRD SAFE.
 - SOLID RAIL. FINISH SIMILAR TO EXTERIOR WALLS

- COLOR DETERMINATION ORDER:**
- WINDOWS
 - STONE BASE
 - STONE ENTRY PAVERS
 - CLEAR WOOD STAIN
 - PAINTED SURFACES

SUBMIT COLORS TO ARCHITECT BEFORE ORDERING. TYPICAL

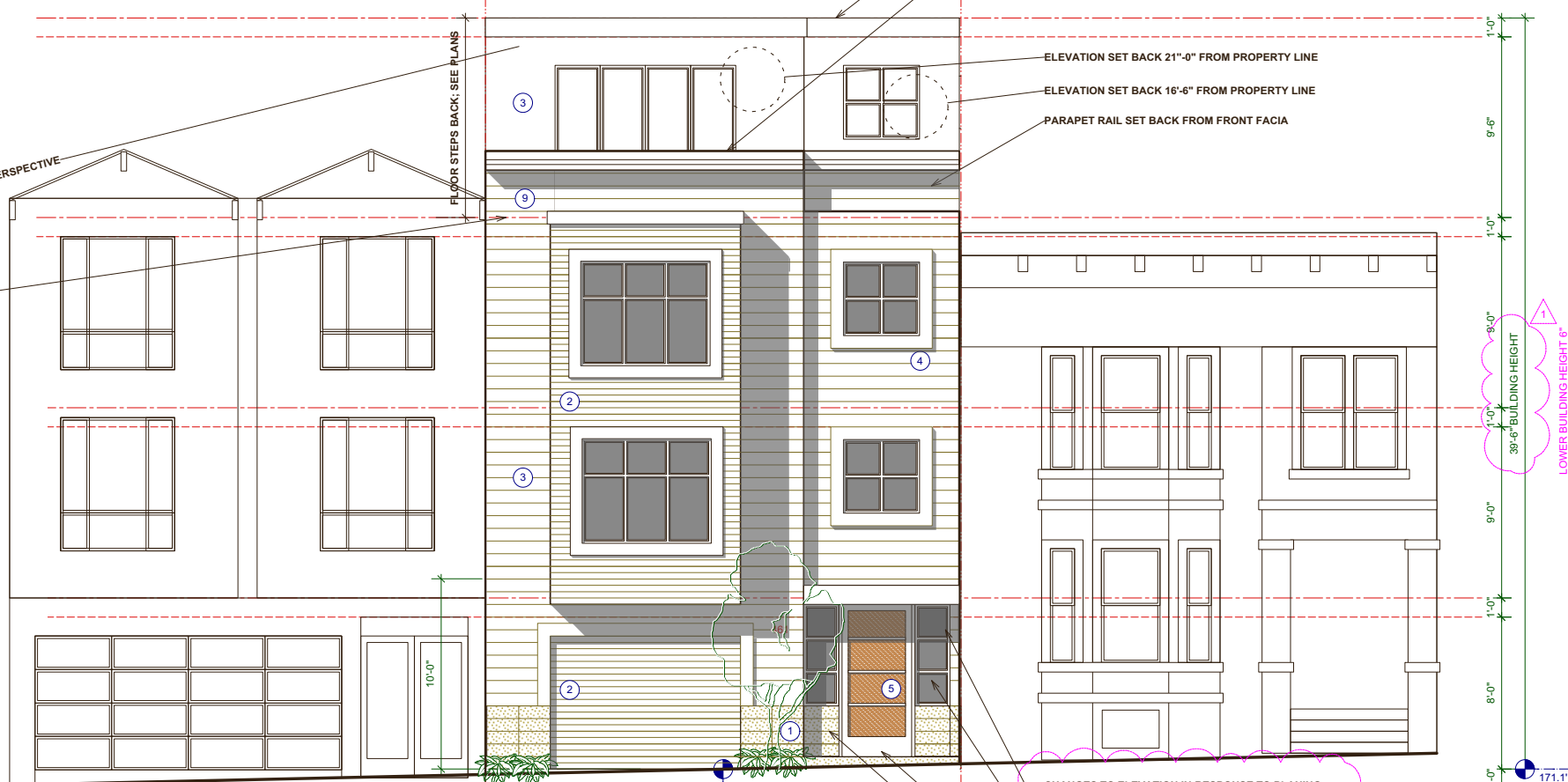
1. ELIMINATE ALUMINUM WINDOWS AND REPLACE WITH PAINTED WOOD PROFILE. ADD 2x8 TRIM
2. REPLACE VENETIAN PLASTER WITH WOOD SIDING

CHANGES TO ELEVATION IN RESPONSE TO PLANING COMMISSION :

- ELIMINATE ROOF DECK, PARAPETS, AND PENTHOUSE
- LOWER CORNER OF BUILDING; SEE PLANS
- ADD ROOF OVERHANG AS VISUAL STOP AND TO TIE INTO NEIGHBORING PROPERTY AND RECONFIGURE PARAPET TO MASK UPPER FLOOR BEYOND



2 MASSING MODEL
A3.1 NO SCALE



1 NORTH (STREET) ELEVATION
A3.1 Scale: 1/4" = 1'-0"

EXTERIOR FENESTRATION AND FINISHES TO MEET U-FACTOR IN TITLE -24 ENERGY REPORT, TYPICAL

NOTE:
ALL EXPOSED WOOD TO BE DECAY RESISTANT SPECIES OR PRESSURE TREATED LUMBER, TYPICAL

GUARDRAIL NOTES:
42" MIN. HEIGHT ABOVE HIGHEST FLOOR/DECK LEVEL;
SPACE ALL INTERMEDIATE RAILS TO PREVENT A 4" SPHERE FROM PASSING THROUGH RAIL.
GUARDRAIL TO BE REDWOOD OR CEDAR REFER TO STRUCT DWGS/CALCS. 2x2 HORIZONTAL RAILS WITH 4x4 POSTS
SEE ADDITIONAL NOTES SHEET A0.1

CHANGES TO ELEVATION IN RESPONSE TO PLANING COMMISSION :

- REPLACE STUCCO WITH V-GROOVE SIDING
- USE PAINTED, NARROW MULLION WINDOWS AND RE-CONFIGURE STYLE TO MORE CLOSELY RELATE TO NEIGHBORHOOD WINDOW PATTERNS
- NATURAL WOOD DOOR
- LOWER STONE BASE

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REGISTERED ARCHITECT
E.E. WEISS
No. C-22416
04-21
REN. DATE
STATE OF CALIFORNIA

FRONT ELEVATIONS
SITE PERMIT SET
(Planning NOPDR 3)

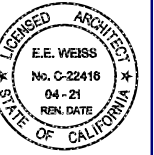
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PLANNING REVISION	



REAR ELEVATIONS
SITE PERMIT SET
(Planning NOPDR 3)

461 29th ST
SAN FRANCISCO, CA 94131
ASSESSOR'S PARCEL: 6631033

Date: 11/3/19
Time: 12:50:52 PM

03 NOV 19

A3.2

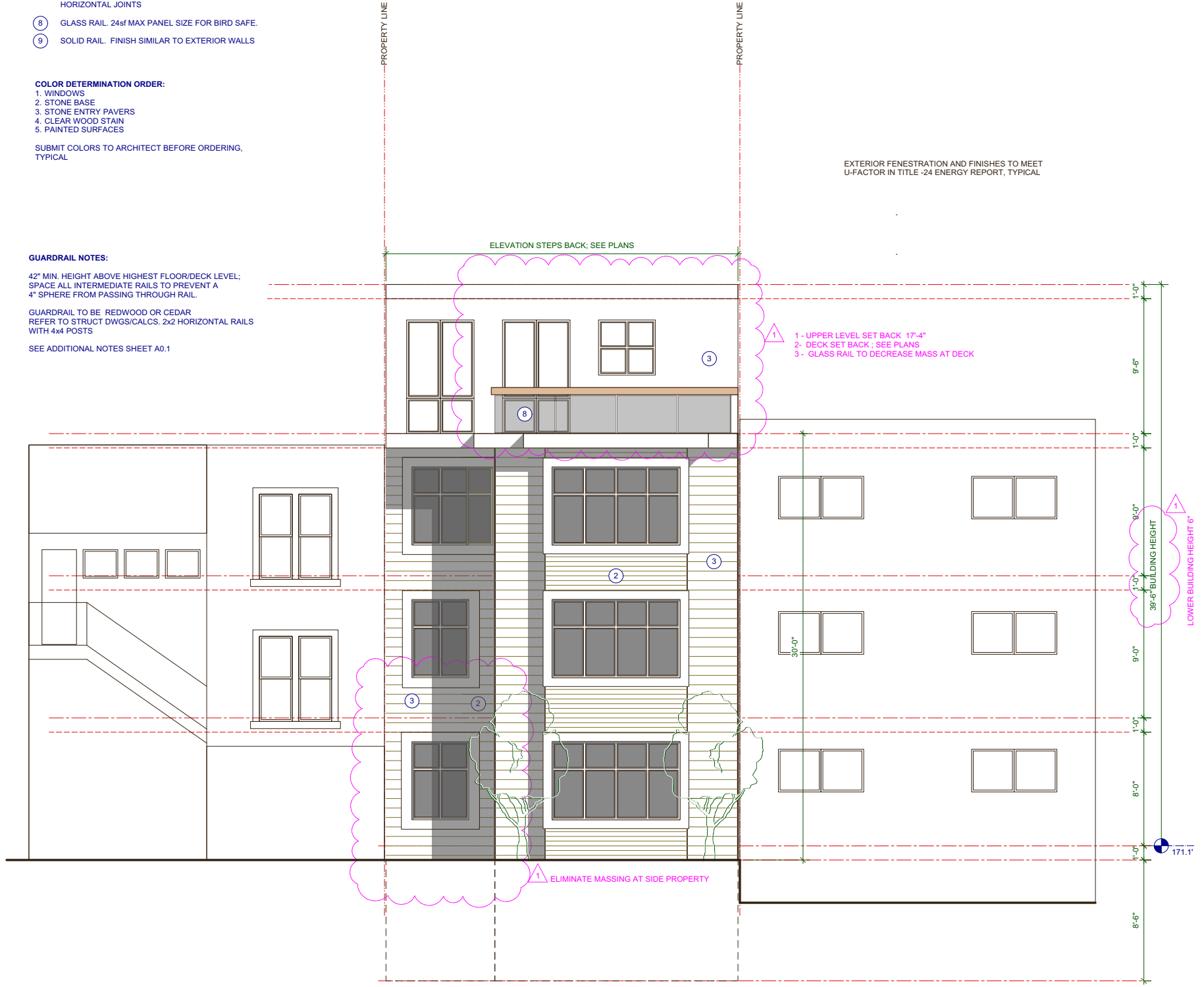
- FINISH SCHEDULE:**
- NATURAL STONE 'BRICKS', 8"x14". UNPOLISHED SURFACE. 1/8" SANDED GROUT. LIGHT GREY STONE WITH MEDIUM GREY GROUT. FINAL COLOR TBD
 - CLEAR T&G CEDAR, REDWOOD, OR APPROVED 1x4 SIDING. MITER ALL CORNERS. WHITE, TRANSPARENT STAIN. ALIGN EVERY OTHER HORIZONTAL JOINT WITH ADJACENT 1x8 SIDING. FINAL STAIN COLOR TBD IN FIELD
 - PAINTED V-GROOVE 1x8 SIDING. MITER ALL CORNERS. CREAM COLOR TBD IN FIELD
 - HIGH PROFILE COMMERCIAL ALUMINUM WINDOWS. LOW-E THERMOPANES. SEE A3.3. DARK SLATE COLOR; ARCHITECT APPROVAL PRIOR TO ORDERING
 - NATURAL WOOD DOOR WITH LIGHT WHITE TRANSPARENT STAIN
 - EXPOSED PROPERTY LINE WALLS IN CEMENTIOUS SIDING; PAINT TO MATCH ADJACENT SIDING
 - CONCEALED PROPERTY LINE WALLS TO BE PRESSURE TREATED PLYWOOD. 'Z' BAR FLASHING AT HORIZONTAL JOINTS
 - GLASS RAIL. 24sf MAX PANEL SIZE FOR BIRD SAFE.
 - SOLID RAIL. FINISH SIMILAR TO EXTERIOR WALLS
- COLOR DETERMINATION ORDER:**
- WINDOWS
 - STONE BASE
 - STONE ENTRY PAVERS
 - CLEAR WOOD STAIN
 - PAINTED SURFACES
- SUBMIT COLORS TO ARCHITECT BEFORE ORDERING. TYPICAL

GUARDRAIL NOTES:

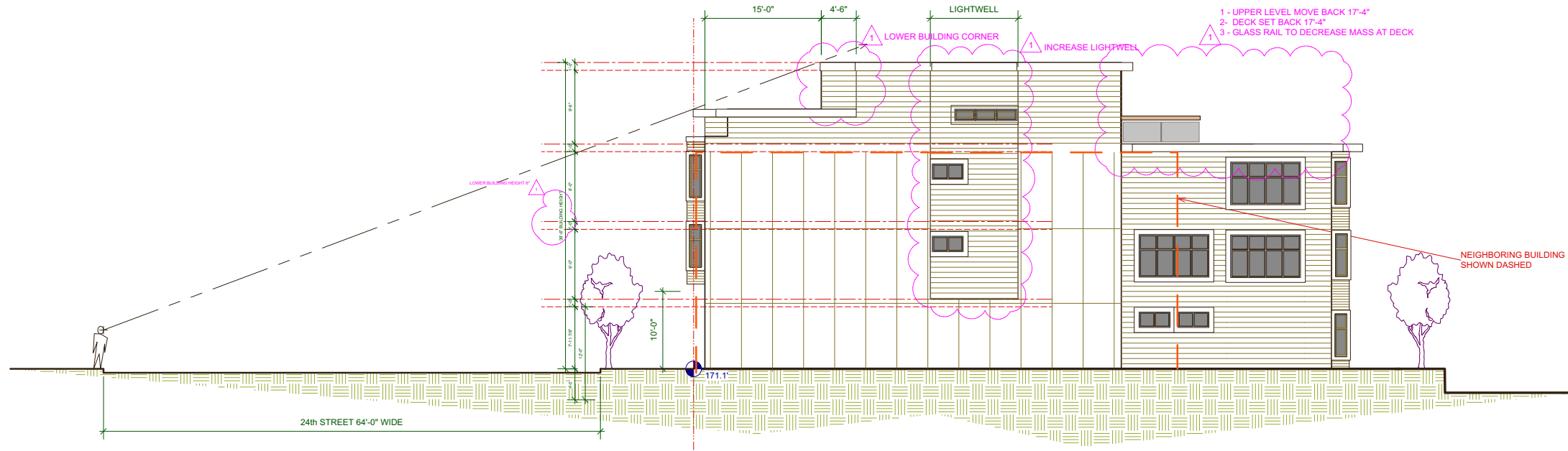
42" MIN. HEIGHT ABOVE HIGHEST FLOOR/DECK LEVEL; SPACE ALL INTERMEDIATE RAILS TO PREVENT A 4" SPHERE FROM PASSING THROUGH RAIL.

GUARDRAIL TO BE REDWOOD OR CEDAR REFER TO STRUCT DWGS/CALCS. 2x2 HORIZONTAL RAILS WITH 4x4 POSTS

SEE ADDITIONAL NOTES SHEET A0.1



2 SOUTH (REAR) ELEVATION
A3.1 Scale: 1/4" = 1'-0"

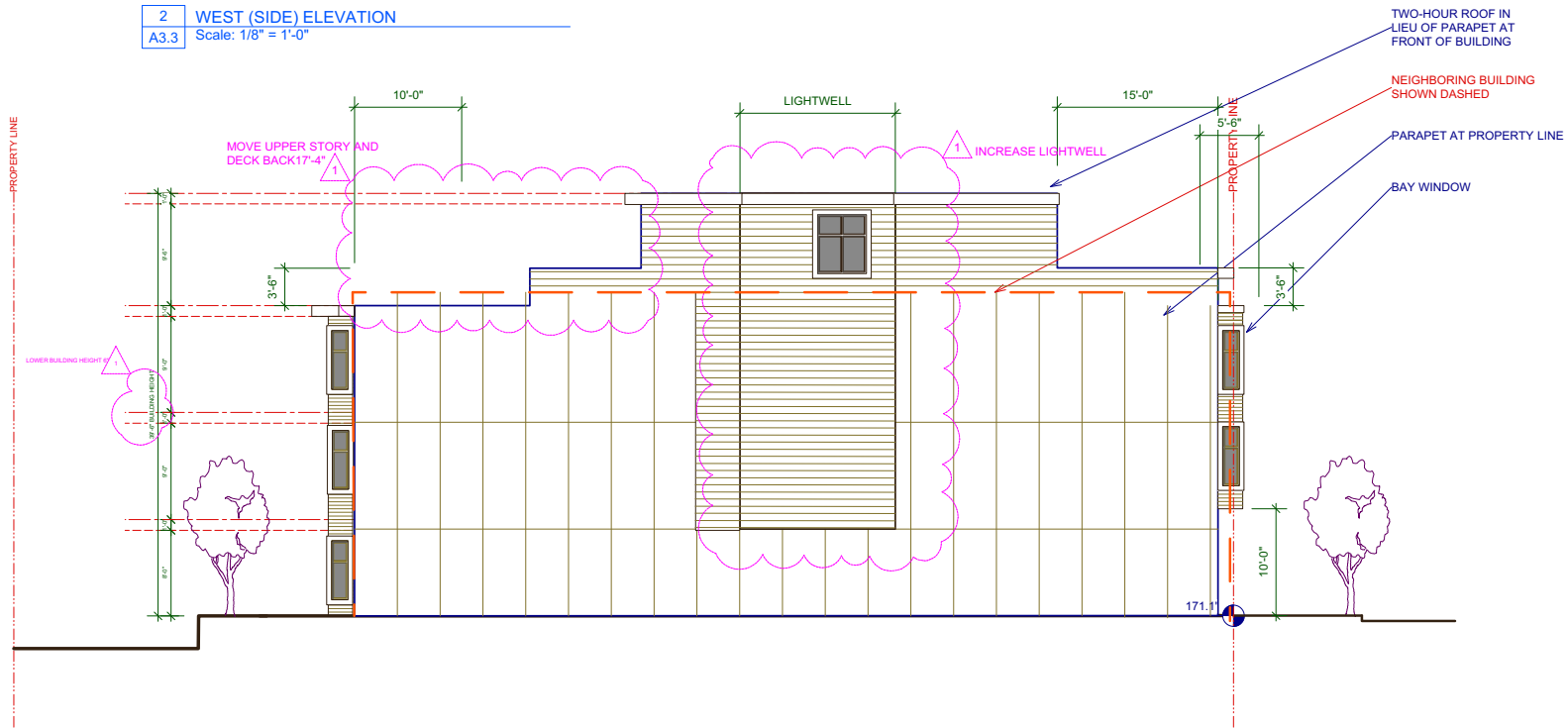


2 WEST (SIDE) ELEVATION
 A3.3 Scale: 1/8" = 1'-0"

EXTERIOR FENESTRATION AND FINISHES TO MEET U-FACTOR IN TITLE -24 ENERGY REPORT, TYPICAL

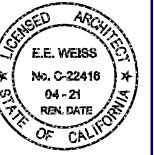
1 HR. CONSTRUCTION WITHIN 60' OF PROPERTY LINE AND UNDER ALL BAY WINDOWS.

PROPERTY LINE WALL NOTES
 1 ALL WALLS WITHIN 60' OF PROPERTY LINE TO BE ONE-HOUR, CONTINUOUS 5/8" GWS BOTH SIDE OF WALLS. FIRE TAPE WHERE TONGUE AND GROVE NOT USED.
 2 DECAY RESISTANT FINISHES; REDWOOD, CEDAR PRESSURE TREATED PLYWOOD, TYP. ACCESSIBLE SIDES MAY HAVE AN ADDITIONAL LAYER OF SIDING.
 3 "Z" BAR FLASHING AT ALL HORIZONTAL NON-LAPPED SEAMS.
 4 EXPOSED WALLS TO BE FINISHED; METAL OR CEMENTIOUS SIDING OR STUCCO WITH MAINTENANCE FREE FINISH



1 EAST (SIDE) ELEVATION
 A3.3 Scale: 1/8" = 1'-0"

HISTORY	BY
SITE PERMIT 2019-0326-4615	
PLANNING REVISION	



SIDE ELEVATIONS
 SITE PERMIT SET
 (Planning NOPDR 3)

461 29th ST
 SAN FRANCISCO, CA 94131
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A3.3

FIRE BLOCKS
 IN COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING AND DRAFT STOPPING SHALL BE INSTALLED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND SHALL FORM AN EFFECTIVE BARRIER BETWEEN FLOORS, BETWEEN A TOP STORY AND A ROOF OR ATTIC SPACE, AND SHALL SUBDIVIDE ATTIC SPACES, CONCEALED ROOF SPACES AND FLOOR-CEILING ASSEMBLIES. THE INTEGRITY OF ALL FIRE BLOCKING AND DRAFT STOPS SHALL BE MAINTAINED.

WHERE REQUIRED:

1. FIRE BLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS AND AT 10-FOOT INTERVALS BOTH VERTICAL AND HORIZONTAL.
2. ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.
3. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN AND BETWEEN STUDS ALONG AND IN LINE WITH THE RUN OF STAIRS IF THE WALLS UNDER THE STAIRS ARE UNFINISHED.
4. IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, FIREPLACES AND SIMILAR OPENINGS THAT AFFORD A PASSAGE FOR FIRE AT CEILING AND FLOOR LEVELS, WITH NONCOMBUSTIBLE MATERIALS.
5. AT OPENINGS BETWEEN ATTIC SPACES AND CHIMNEY CHASES FOR FACTORY-BUILT CHIMNEYS.

708.2.1

FIRE BLOCK CONSTRUCTION, EXCEPT AS PROVIDED IN ITEM 4 ABOVE, FIRE BLOCKING SHALL CONSIST OF 2 INCHES NOMINAL LUMBER. FIRE BLOCKS MAY ALSO BE OF GYPSUM BOARD, CEMENT FIBER BOARD, BATTS OR BLANKETS OF MINERAL OR GLASS FIBER. LOOSE-FILL INSULATION MATERIAL SHALL NOT BE USED AS A FIRE BLOCK UNLESS SPECIFICALLY TESTED TO RETARD FLAME SPREAD.

708.2.2

DRAFT STOPS

WHEN THERE IS USABLE SPACE ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR-CEILING ASSEMBLY IN A SINGLE-FAMILY DWELLING, DRAFT STOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET. DRAFT STOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS.

708.3.1.1.1

BAY WINDOW VOLUME SEE PLANS AND ELEVATIONS

INSULATION NOTE:

- 1) INSULATE ALL CAVITIES BETWEEN CONDITIONED SPACES AND EXTERIOR PER MF-1R ON ENERGY CALCULATION SHEET, TYPICAL.
- 2) R-30 AT ROOF(S), R-13 AT WALLS, R-19 AT FLOORS UNLESS OTHERWISE NOTED
- 3) VENTILATE (PROVIDE FREE AIR SPACE TO EXTERIOR) ROOF AND AREAS BETWEEN CONDITIONED AND EXTERIOR SPACES
- 4) R-13 AT ALL INTERIOR WALLS, R-19 AT ALL FLOORS BETWEEN LIVING SPACES
- 5) ENERGY FORM OF-6R, INSULATION CERTIFICATES AND INSTALLATION REQ'S BE POSTED ON THE JOB SITE DURING CONSTRUCTION, AS REQ'D.

E.E. WEISS
 Architects, Inc.
 21 Corte Madera Ave.
 Mill Valley, CA 94941
 admin@eeeweiss.com
 Tel 415.381.8700

HISTORY	BY
SITE PERMIT 2019-0126-4615	
PLANNING REVISION	



SECTION
 SITE PERMIT SET
 (Planning NOPDR 3)

461 29th ST
 SAN FRANCISCO, CA 94131
 ASSESSOR'S PARCEL: 6631033

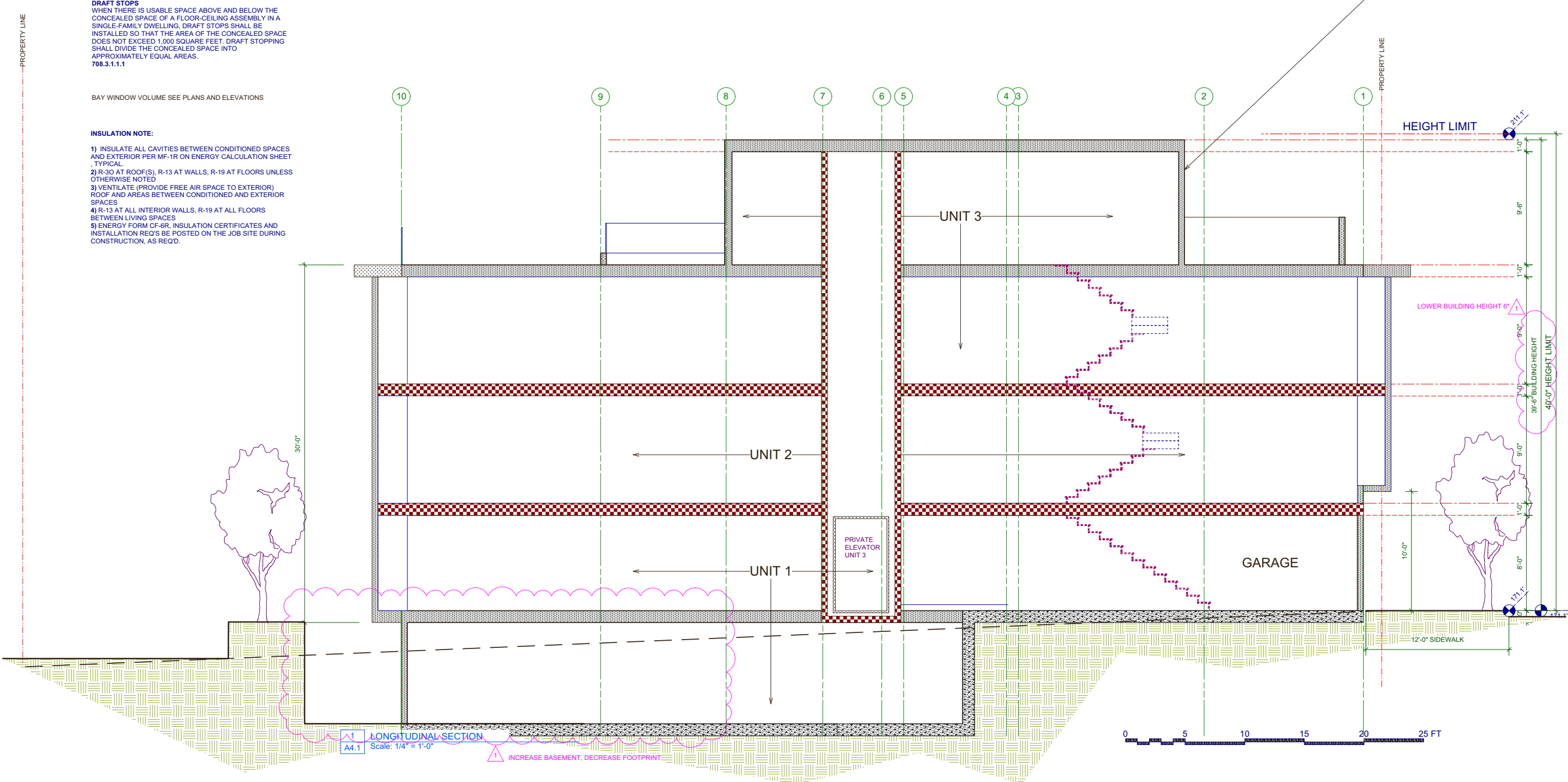
Date: 11/3/19
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03 NOV 19

A4.1

FIRE RATING AND CONSTRUCTION TYPE KEY

- TYPE V: 1-HOUR (MINIMUM RATING) WALL & CEILING
- TYPE V: 2-HOUR WALLS AND CEILING



LONGITUDINAL SECTION
 Scale: 1/4" = 1'-0"

Green Building: Site Permit Checklist

BASIC INFORMATION:
These facts, plus the primary occupancy, determine which requirements apply. For details, see AB 093 Attachment A Table 1.

Project Name	461 29th	Address	6631/033	461 29th
Class Building Area	6554	Primary Occupancy	R3 CONDO	Design Professional/Applicant: Sign & Date
# of Dwelling Units	2	Height to highest occupied floor	40'	EE WEISS
		Number of occupied floors	4	

Instructions:
As part of application for site permit, this form acknowledges the specific green building requirements that apply to a project under San Francisco Building Code Chapter 13C, California Title 24 Part 11, and related local codes. Attachment C3, C4, or C5 will be due with the applicable addendum. To use the form:
(a) Provide basic information about the project in the box at left. This info determines which green building requirements apply. **AND**
(b) Indicate in one of the columns below which type of project is proposed. If applicable, fill in the blank lines below to identify the number of points the project must meet or exceed. A LEED or GreenPoint checklist is not required to be submitted with the site permit application, but such tools are strongly recommended to be used.
Solid circles in the column indicate mandatory measures required by state and local codes. For projects applying LEED or GreenPoint Rated, prerequisites of those systems are mandatory. This form is a summary, see San Francisco Building Code Chapter 13C for details.

ALL PROJECTS, AS APPLICABLE	LEED PROJECTS								OTHER APPLICABLE NON-RESIDENTIAL PROJECTS		
	New Large Commercial	New Residential Mid-Rise	New Residential High-Rise	Commercial Interior	Commercial Alteration	Commercial Alteration	Residential Alteration	Other New Non-Residential	Alteration >500,000*	Addition >2,000 sq ft OR Alteration >500,000*	
Construction activity stormwater pollution prevention and site runoff controls - Provide a construction site Stormwater Pollution Prevention Plan and implement SFPUC Best Management Practices.	•	•	•	•	•	•	•	•	•	•	
Stormwater Control Plan: Projects disturbing a 2,000 square feet must implement a Stormwater Control Plan meeting SFPUC Stormwater Design Guidelines.	•	•	•	•	•	•	•	•	•	•	
Water Efficient Irrigation - Projects that include new landscape irrigation systems must comply with the SFPUC Water Efficient Irrigation Ordinance (base number +1; adjustment).	•	•	•	•	•	•	•	•	•	•	
Construction Waste Management - Comply with the San Francisco Construction & Demolition Debris Ordinance.	•	•	•	•	•	•	•	•	•	•	
Recycling by Occupants - Provide adequate space and access for storage, collection and loading of compostable, recyclable and landfill materials. See Administrative Bulletin 088 for details.	•	•	•	•	•	•	•	•	•	•	
GREENPOINT RATED PROJECTS (Indicate at right by checking the box.)											
Proposing a GreenPoint Rated Project											
Base number of required GreenPoints	75										
Adjustment for retention / demolition of historic features / building											
Total number of required points (base number +/- adjustment)											
GreenPoint Rated (i.e. meets all prerequisites)	•	•	•	•	•	•	•	•	•	•	
Energy Efficiency: Demonstrate a 15% energy use reduction compared to 2008 California Energy Code, Title 24, Part 6.	•	•	•	•	•	•	•	•	•	•	
Meet all California Green Building Standards Code requirements. (California measures for residential projects have been integrated into the GreenPoint Rated system.)	•	•	•	•	•	•	•	•	•	•	
Notes	<p>1) New residential projects of 75 or greater must use the "New Residential High-Rise" column. New residential projects with 10 occupied floors and less than 70 feet to the highest occupied floor may choose to apply the LEED for Homes Mid-Rise rating system. For this you must use the "New Residential Mid-Rise" column.</p> <p>2) LEED for Homes Mid-Rise projects must meet the "Silver" standard, including all prerequisites. The number of points required to achieve Silver depends on unit size. See LEED for Homes Mid-Rise Rating System to confirm the base number of points required.</p> <p>3) Requirements for additions or alterations apply to applications received on or after July 1, 2012.</p>										

E.E. WEISS Architects, Inc.
21 Corte Madera Ave.
Mill Valley, CA 94941
admin@eeeweiss.com
Tel 415.381.8700

HISTORY	BY
SITE PERMIT 2018-0526-4615	



FIRE FLOW, PRE-GREEN, ACOUSTIC
 SITE PERMIT SET
 (Planning NOPDR 3)

461 29th ST
 SAN FRANCISCO, CA 94131
 ASSESSOR'S PARCEL: 6631033

Date: 11/3/19
Time: 12:50:52 PM

03 NOV 19

A6.0

**SAN FRANCISCO FIRE DEPARTMENT
 BUREAU OF FIRE PREVENTION
 PLAN CHECK DIVISION/WATER FLOW
 1660 MISSION STREET, 4TH FLOOR
 SAN FRANCISCO, CA. 94103
 FAX # 415-575-6933
 Email: WaterflowsFFD@sfgov.org**

REQUEST FOR WATER FLOW INFORMATION

DATE: 1 / 10 / 18 REQUEST IS FOR: FIRE FLOW SPRINKLER DESIGN

CONTACT PERSON: Earle Weiss ADDRESS: 21 Corte Madera Ave #4, Mill Valley, CA 94939

PHONE NO. (415) 531 / 5270 FAX NO. () / ()

EMAIL: earle@eeeweiss.com

OWNER'S NAME: Tom McGrath PHONE # (415) 290 / 5284

ADDRESS FOR WATER FLOW INFORMATION: PROVIDE SKETCH HERE:
 Noe Sanchez
 461 29th Street
 CROSS STREETS (BOTH ARE REQUIRED): 461 29th St
 Sanchez / Noe

SPECIFY STREET FOR POINT OF CONNECTION: 461 29th Street

OCCUPANCY (CIRCLE ONE): R3 2 LIVE/WORK COMMERCIAL OTHER

HAZARD CLASSIFICATION: LIGHT ORD 1 ORD 2 EXT 1 EXT 2 OTHER

CAR-STACKER: YES NO

NUMBER OF STORIES: 4 HEIGHT OF BLDG.: 40' FT.

SUBMIT FORM WITH \$120.00 CHECK MADE PAYABLE TO 'S.F.F.D.'
 REQUESTS REQUIRING A FIELD FLOW TEST WILL BE NOTIFIED BY FAX OR EMAIL, AND AN ADDITIONAL FEE OF \$240.00 WILL BE NECESSARY.
 WATER FLOW INFORMATION WILL BE RETURNED BY FAX, MAIL, OR EMAIL.
 INCOMPLETE FORMS WILL NOT BE PROCESSED.
 PLEASE ALLOW 7-14 WORKING DAYS FOR PROCESSING.

*****Official use only*****

Flow data provided by: Deen Date Forwarded: 11-8-18

Flow data: FIELD FLOW TEST STATIC 77 PSI
 RECORDS ANALYSIS X RESIDUAL 72 PSI
 Gate Page 106 FLOW 800 GPM
 6" MAIN on 29th St.

IF YOU HAVE ANY QUESTIONS PLEASE CONTACT INSPECTOR DEEN @ 415-558-6361 9/8/2015



SAN FRANCISCO PLANNING DEPARTMENT

CEQA Categorical Exemption Determination

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address		Block/Lot(s)
461 29TH ST		6631033
Case No.		Permit No.
2008.0023E		200709243463
<input type="checkbox"/> Addition/ Alteration	<input checked="" type="checkbox"/> Demolition (requires HRE for Category B Building)	<input checked="" type="checkbox"/> New Construction
<p>Project description for Planning Department approval.</p> <p>The project entails the demolition of the existing one-story over garage, 750 square-foot, single-family residence and the construction of a 40-foot-tall, 5,877-square-foot residential building with two dwelling units and one accessory dwelling unit (ADU) and three off-street parking spaces. The proposed building would include a 642-square-foot basement.</p>		

STEP 1: EXEMPTION CLASS

The project has been determined to be categorically exempt under the California Environmental Quality Act (CEQA).	
<input checked="" type="checkbox"/>	Class 1 - Existing Facilities. Interior and exterior alterations; additions under 10,000 sq. ft.
<input checked="" type="checkbox"/>	Class 3 - New Construction. Up to three new single-family residences or six dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input type="checkbox"/>	<p>Class 32 - In-Fill Development. New Construction of seven or more units or additions greater than 10,000 sq. ft. and meets the conditions described below:</p> <p>(a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.</p> <p>(b) The proposed development occurs within city limits on a project site of no more than 5 acres substantially surrounded by urban uses.</p> <p>(c) The project site has no value as habitat for endangered rare or threatened species.</p> <p>(d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.</p> <p>(e) The site can be adequately served by all required utilities and public services.</p> <p>FOR ENVIRONMENTAL PLANNING USE ONLY</p>
<input type="checkbox"/>	Class ____

STEP 2: CEQA IMPACTS

TO BE COMPLETED BY PROJECT PLANNER

<input type="checkbox"/>	<p>Air Quality: Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g., backup diesel generators, heavy industry, diesel trucks, etc.)? (refer to EP_ArcMap > CEQA Catex Determination Layers > Air Pollution Exposure Zone)</p>
<input type="checkbox"/>	<p>Hazardous Materials: If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential?</p> <p><i>if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Maher program, a DPH waiver from the Maher program, or other documentation from Environmental Planning staff that hazardous material effects would be less than significant (refer to EP_ArcMap > Maher layer).</i></p>
<input type="checkbox"/>	<p>Transportation: Does the project involve a child care facility or school with 30 or more students, or a location 1,500 sq. ft. or greater? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?</p>
<input checked="" type="checkbox"/>	<p>Archeological Resources: Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non -archeological sensitive area? If yes, archeo review is required (refer to EP_ArcMap > CEQA Catex Determination Layers > Archeological Sensitive Area)</p>
<input type="checkbox"/>	<p>Subdivision/Lot Line Adjustment: Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography). If yes, Environmental Planning must issue the exemption.</p>
<input type="checkbox"/>	<p>Slope = or > 25%: Does the project involve any of the following: (1) square footage expansion greater than 500 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography) If box is checked, a geotechnical report is required and Environmental Planning must issue the exemption.</p>
<input type="checkbox"/>	<p>Seismic: Landslide Zone: Does the project involve any of the following: (1) square footage expansion greater than 500 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report is required and Environmental Planning must issue the exemption.</p>
<input type="checkbox"/>	<p>Seismic: Liquefaction Zone: Does the project involve any of the following: (1) square footage expansion greater than 500 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report will likely be required and Environmental Planning must issue the exemption.</p>
<p>Comments and Planner Signature (optional): Don Lewis</p> <p>Planning department staff archeologist cleared the project with no effects on 10/1/2019.</p>	

**STEP 3: PROPERTY STATUS - HISTORIC RESOURCE
TO BE COMPLETED BY PROJECT PLANNER**

PROPERTY IS ONE OF THE FOLLOWING: (refer to Property Information Map)	
<input type="checkbox"/>	Category A: Known Historical Resource. GO TO STEP 5.
<input checked="" type="checkbox"/>	Category B: Potential Historical Resource (over 45 years of age). GO TO STEP 4.
<input type="checkbox"/>	Category C: Not a Historical Resource or Not Age Eligible (under 45 years of age). GO TO STEP 6.

**STEP 4: PROPOSED WORK CHECKLIST
TO BE COMPLETED BY PROJECT PLANNER**

Check all that apply to the project.	
<input type="checkbox"/>	1. Change of use and new construction. Tenant improvements not included.
<input type="checkbox"/>	2. Regular maintenance or repair to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	3. Window replacement that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. Garage work. A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	5. Deck, terrace construction, or fences not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. Mechanical equipment installation that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. Dormer installation that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	8. Addition(s) that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
Note: Project Planner must check box below before proceeding.	
<input type="checkbox"/>	Project is not listed. GO TO STEP 5.
<input type="checkbox"/>	Project does not conform to the scopes of work. GO TO STEP 5.
<input type="checkbox"/>	Project involves four or more work descriptions. GO TO STEP 5.
<input type="checkbox"/>	Project involves less than four work descriptions. GO TO STEP 6.

**STEP 5: CEQA IMPACTS - ADVANCED HISTORICAL REVIEW
TO BE COMPLETED BY PROJECT PLANNER**

Check all that apply to the project.	
<input type="checkbox"/>	1. Project involves a known historical resource (CEQA Category A) as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	2. Interior alterations to publicly accessible spaces.
<input type="checkbox"/>	3. Window replacement of original/historic windows that are not "in-kind" but are consistent with existing historic character.
<input type="checkbox"/>	4. Façade/storefront alterations that do not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	5. Raising the building in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	6. Restoration based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.

<input type="checkbox"/>	7. Addition(s) , including mechanical equipment that are minimally visible from a public right-of-way and meet the <i>Secretary of the Interior's Standards for Rehabilitation</i> .
<input type="checkbox"/>	8. Other work consistent with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (specify or add comments):
<input type="checkbox"/>	9. Other work that would not materially impair a historic district (specify or add comments): (Requires approval by Senior Preservation Planner/Preservation Coordinator)
<input checked="" type="checkbox"/>	10. Reclassification of property status. (Requires approval by Senior Preservation Planner/Preservation <input type="checkbox"/> Reclassify to Category A <input checked="" type="checkbox"/> Reclassify to Category C a. Per HRER or PTR dated 03/20/2008 (attach HRER or PTR) b. Other (specify): Per HRER Signed on 3/20/2008
Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST sign below.	
<input checked="" type="checkbox"/>	Project can proceed with categorical exemption review. The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. GO TO STEP 6.
Comments (optional): Based on an additional analysis of the building's development and alteration history, it does not appear that the alterations completed ca. 1930s and later are significant in their own right. These alterations do not appear to	
Preservation Planner Signature: Stephanie Cisneros	

**STEP 6: CATEGORICAL EXEMPTION DETERMINATION
TO BE COMPLETED BY PROJECT PLANNER**

<input checked="" type="checkbox"/>	No further environmental review is required. The project is categorically exempt under CEQA. There are no unusual circumstances that would result in a reasonable possibility of a significant effect.	
	Project Approval Action: Planning Commission Hearing	Signature: Don Lewis
	If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.	11/13/2019
Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code. In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the approval action. Please note that other approval actions may be required for the project. Please contact the assigned planner for these approvals.		

STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT

TO BE COMPLETED BY PROJECT PLANNER

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be subject to additional environmental review pursuant to CEQA.

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address (If different than front page)		Block/Lot(s) (If different than front page)
461 29TH ST		6631/033
Case No.	Previous Building Permit No.	New Building Permit No.
2008.0023	200709243463	
Plans Dated	Previous Approval Action	New Approval Action
	Planning Commission Hearing	
Modified Project Description:		

DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project:	
<input type="checkbox"/>	Result in expansion of the building envelope, as defined in the Planning Code;
<input type="checkbox"/>	Result in the change of use that would require public notice under Planning Code Sections 311 or 312;
<input type="checkbox"/>	Result in demolition as defined under Planning Code Section 317 or 19005(f)?
<input type="checkbox"/>	Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption?
If at least one of the above boxes is checked, further environmental review is required.	

DETERMINATION OF NO SUBSTANTIAL MODIFICATION

<input type="checkbox"/>	The proposed modification would not result in any of the above changes.
If this box is checked, the proposed modifications are categorically exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice. In accordance with Chapter 31, Sec 31.08j of the San Francisco Administrative Code, an appeal of this determination can be filed within 10 days of posting of this determination.	
Planner Name:	Date:



SAN FRANCISCO PLANNING DEPARTMENT

CEQA Categorical Exemption Determination

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address		Block/Lot(s)
461 29TH ST		6631033
Case No.		Permit No.
2008.0023E		200709243463
<input type="checkbox"/> Addition/ Alteration	<input type="checkbox"/> Demolition (requires HRE for Category B Building)	<input type="checkbox"/> New Construction
Project description for Planning Department approval. Demolition of SFH and construction of duplex.		

STEP 1: EXEMPTION CLASS

The project has been determined to be categorically exempt under the California Environmental Quality Act (CEQA).	
<input checked="" type="checkbox"/>	Class 1 - Existing Facilities. Interior and exterior alterations; additions under 10,000 sq. ft.
<input checked="" type="checkbox"/>	Class 3 - New Construction. Up to three new single-family residences or six dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input type="checkbox"/>	Class 32 - In-Fill Development. New Construction of seven or more units or additions greater than 10,000 sq. ft. and meets the conditions described below: (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations. (b) The proposed development occurs within city limits on a project site of no more than 5 acres substantially surrounded by urban uses. (c) The project site has no value as habitat for endangered rare or threatened species. (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality. (e) The site can be adequately served by all required utilities and public services. FOR ENVIRONMENTAL PLANNING USE ONLY
<input type="checkbox"/>	Class ____

STEP 2: CEQA IMPACTS

TO BE COMPLETED BY PROJECT PLANNER

<input type="checkbox"/>	<p>Air Quality: Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g., backup diesel generators, heavy industry, diesel trucks, etc.)? (refer to EP_ArcMap > CEQA Catex Determination Layers > Air Pollution Exposure Zone)</p>
<input type="checkbox"/>	<p>Hazardous Materials: If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential?</p> <p><i>if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Maher program, a DPH waiver from the Maher program, or other documentation from Environmental Planning staff that hazardous material effects would be less than significant (refer to EP_ArcMap > Maher layer).</i></p>
<input type="checkbox"/>	<p>Transportation: Does the project involve a child care facility or school with 30 or more students, or a location 1,500 sq. ft. or greater? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?</p>
<input checked="" type="checkbox"/>	<p>Archeological Resources: Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non -archeological sensitive area? If yes, archeo review is required (refer to EP_ArcMap > CEQA Catex Determination Layers > Archeological Sensitive Area)</p>
<input type="checkbox"/>	<p>Subdivision/Lot Line Adjustment: Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography). If yes, Environmental Planning must issue the exemption.</p>
<input type="checkbox"/>	<p>Slope = or > 25%: Does the project involve any of the following: (1) square footage expansion greater than 500 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography) If box is checked, a geotechnical report is required and Environmental Planning must issue the exemption.</p>
<input type="checkbox"/>	<p>Seismic: Landslide Zone: Does the project involve any of the following: (1) square footage expansion greater than 500 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report is required and Environmental Planning must issue the exemption.</p>
<input type="checkbox"/>	<p>Seismic: Liquefaction Zone: Does the project involve any of the following: (1) square footage expansion greater than 500 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report will likely be required and Environmental Planning must issue the exemption.</p>
<p>Comments and Planner Signature (optional): Don Lewis</p> <p>Planning department staff archeologist cleared the project with no effects on 10/1/2019.</p>	

STEP 3: PROPERTY STATUS - HISTORIC RESOURCE
TO BE COMPLETED BY PROJECT PLANNER

PROPERTY IS ONE OF THE FOLLOWING: (refer to Property Information Map)	
<input type="checkbox"/>	Category A: Known Historical Resource. GO TO STEP 5.
<input checked="" type="checkbox"/>	Category B: Potential Historical Resource (over 45 years of age). GO TO STEP 4.
<input type="checkbox"/>	Category C: Not a Historical Resource or Not Age Eligible (under 45 years of age). GO TO STEP 6.

STEP 4: PROPOSED WORK CHECKLIST
TO BE COMPLETED BY PROJECT PLANNER

Check all that apply to the project.	
<input type="checkbox"/>	1. Change of use and new construction. Tenant improvements not included.
<input type="checkbox"/>	2. Regular maintenance or repair to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	3. Window replacement that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. Garage work. A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	5. Deck, terrace construction, or fences not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. Mechanical equipment installation that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. Dormer installation that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	8. Addition(s) that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
Note: Project Planner must check box below before proceeding.	
<input type="checkbox"/>	Project is not listed. GO TO STEP 5.
<input type="checkbox"/>	Project does not conform to the scopes of work. GO TO STEP 5.
<input type="checkbox"/>	Project involves four or more work descriptions. GO TO STEP 5.
<input type="checkbox"/>	Project involves less than four work descriptions. GO TO STEP 6.

STEP 5: CEQA IMPACTS - ADVANCED HISTORICAL REVIEW
TO BE COMPLETED BY PROJECT PLANNER

Check all that apply to the project.	
<input type="checkbox"/>	1. Project involves a known historical resource (CEQA Category A) as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	2. Interior alterations to publicly accessible spaces.
<input type="checkbox"/>	3. Window replacement of original/historic windows that are not "in-kind" but are consistent with existing historic character.
<input type="checkbox"/>	4. Façade/storefront alterations that do not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	5. Raising the building in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	6. Restoration based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.

<input type="checkbox"/>	7. Addition(s) , including mechanical equipment that are minimally visible from a public right-of-way and meet the <i>Secretary of the Interior's Standards for Rehabilitation</i> .
<input type="checkbox"/>	8. Other work consistent with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (specify or add comments):
<input type="checkbox"/>	9. Other work that would not materially impair a historic district (specify or add comments): (Requires approval by Senior Preservation Planner/Preservation Coordinator)
<input checked="" type="checkbox"/>	10. Reclassification of property status. (Requires approval by Senior Preservation Planner/Preservation <input type="checkbox"/> Reclassify to Category A <input checked="" type="checkbox"/> Reclassify to Category C a. Per HRER or PTR dated 03/20/2008 (attach HRER or PTR) b. Other (specify): Per HRER Signed on 3/20/2008
Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST sign below.	
<input checked="" type="checkbox"/>	Project can proceed with categorical exemption review. The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. GO TO STEP 6.
Comments (optional):	
Preservation Planner Signature: Stephanie Cisneros	

**STEP 6: CATEGORICAL EXEMPTION DETERMINATION
TO BE COMPLETED BY PROJECT PLANNER**

<input checked="" type="checkbox"/>	No further environmental review is required. The project is categorically exempt under CEQA. There are no unusual circumstances that would result in a reasonable possibility of a significant effect.	
	Project Approval Action: Planning Commission Hearing	Signature: Don Lewis
	If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.	10/01/2019
Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code. In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the approval action. Please note that other approval actions may be required for the project. Please contact the assigned planner for these approvals.		

STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT

TO BE COMPLETED BY PROJECT PLANNER

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be subject to additional environmental review pursuant to CEQA.

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address (If different than front page)		Block/Lot(s) (If different than front page)
461 29TH ST		6631/033
Case No.	Previous Building Permit No.	New Building Permit No.
2008.0023	200709243463	
Plans Dated	Previous Approval Action	New Approval Action
	Planning Commission Hearing	
Modified Project Description:		

DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project:	
<input type="checkbox"/>	Result in expansion of the building envelope, as defined in the Planning Code;
<input type="checkbox"/>	Result in the change of use that would require public notice under Planning Code Sections 311 or 312;
<input type="checkbox"/>	Result in demolition as defined under Planning Code Section 317 or 19005(f)?
<input type="checkbox"/>	Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption?
If at least one of the above boxes is checked, further environmental review is required.	

DETERMINATION OF NO SUBSTANTIAL MODIFICATION

<input type="checkbox"/>	The proposed modification would not result in any of the above changes.
If this box is checked, the proposed modifications are categorically exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice. In accordance with Chapter 31, Sec 31.08j of the San Francisco Administrative Code, an appeal of this determination can be filed within 10 days of posting of this determination.	
Planner Name:	Date:



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Historic Resource Evaluation Response

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

MEA Planner: Chelsea Fordham
Project Address: 461 29th Street
Block/Lot: 6631/033
Case No.: 2008.0023E
Date of Review: March 20, 2008
Planning Dept. Reviewer: Sophie Middlebrook
(415) 558-6372 | sophie.middlebrook@sfgov.org

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

PROPOSED PROJECT Demolition Alteration

PROJECT DESCRIPTION

The proposed project includes the demolition of the existing one-story, single-family dwelling and the construction of a new two-story, two-family residential building. Preliminary plans of the proposed new building have been submitted to the Department with the Environmental Exemption application, and a building permit application has been filed.

PRE-EXISTING HISTORIC RATING / SURVEY

The County Assessor records indicate that the building was constructed in 1900; however, information submitted by the Project Sponsor indicates that the building was constructed sometime prior to 1886, and sometime after the completion of the 1880 census. Although the subject building is not included on any historic surveys and is not included on the National or the California Registers, its recorded date of construction makes it a "Category B" building for the purposes of CEQA review by the Planning Department.¹

HISTORIC DISTRICT / NEIGHBORHOOD CONTEXT

The subject building is located on the south side of 29th Street, between Noe and Sanchez Streets, within an RH-2 Zoning District and a 40-X Height and Bulk District. The subject property is located within what was formerly known as Horner's Addition, now known as Upper Noe Valley. A mix of architectural styles characterizes 29th Street at this location, including one-, two-, and three-story residential buildings constructed in the early and mid-twentieth century in a range of architectural styles including Marina and Mediterranean Revival style buildings and modified Queen Anne and Craftsman style residences. It does not appear that the subject property is located within a potential historic district for the purposes of CEQA.

¹ Please see "Preservation Bulletin #16," available online at:
http://www.sfgov.org/site/uploadedfiles/planning/projects_reports/PresBulletin16CEQA10_8_04.PDF (November 2, 2007)

1. **California Register Criteria of Significance:** Note, a building may be an historical resource if it meets any of the California Register criteria listed below. If more information is needed to make such a determination please specify what information is needed. *(This determination for California Register Eligibility is made based on existing data and research provided to the Planning Department by the above named preparer / consultant and other parties. Key pages of report and a photograph of the subject building are attached.)*

Event: or Yes No Unable to determine
Persons: or Yes No Unable to determine
Architecture: or Yes No Unable to determine
Information Potential: Further investigation recommended.
District or Context: Yes, may contribute to a potential district or significant context

If Yes; Period of significance:

Notes: Below is an evaluation of the subject property against the criteria for inclusion on the California Register; it does not appear that the subject property is eligible for the Register.

Criterion 1: It is associated with events that have made a significant contribution to the broad patterns of local or regional history, or the cultural heritage of California or the United States;

As noted above, the subject property appears to have been constructed circa 1886, and was one of the earliest buildings constructed on the residential block. The 1886 Sanborn Fire Insurance map illustrates that the subject building was one of only ten extant buildings on the block; information submitted by the project sponsor illustrates that in 1886 the block was sparsely populated but that by 1914 a regular pattern of residential development had been established. However, the subject building does not appear to represent a trend or the collective history of the site or area. It does not appear that the subject building is associated with events that have made a significant contribution to the broad patterns of local or regional history.

Criterion 2: It is associated with the lives of persons important in our local, regional, or national past;

Information from City Directories, the Spring Water Valley Company records, and newspaper searches provided by the Project Sponsor indicates that an early owner of the subject property was Thomas McGrorey, whose signature appears on the water connection application. No persons of known historical significance appear to have been associated with the subject property.

Criterion 3: It embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of a master, or possesses high artistic values;

The subject building is a one-story-over-garage, wood-frame, single-family dwelling clad in stucco with a Mission Revival-themed parapet that conceals a flat roof. The front elevation is composed in three bays, with a central entrance flanked by aluminum windows on either side. A flat roofed portico projects over the front entrance, which contains a solid wooden door.

As noted above, the subject building is one of the oldest extant residential structures on the block. However, the integrity of the building has been significantly compromised through alterations that include raising the building to insert a garage, re-cladding the building in stucco, replacement of original wood windows with aluminum sliders, and the alteration of the front entrance configuration. The subject building does not appear to be individually eligible for the California Register as a structure that contributes to the evolution of a construction type. As noted above, the subject property does not appear to be located within a potential historic district.

Criterion 4: It yields, or may be likely to yield, information important in prehistory or history;

It does not appear that the subject property is likely to yield information important to a better understanding of prehistory or history.

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2. **Integrity** is the ability of a property to convey its significance. To be a resource for the purposes of CEQA, a property must not only be shown to be significant under the California Register criteria, but it also must have integrity. To retain historic integrity a property will always possess several, and usually most, of the aspects. The subject property has retained or lacks integrity from the period of significance noted above:

Location: Retains Lacks
Association: Retains Lacks
Design: Retains Lacks
Workmanship: Retains Lacks

Setting: Retains Lacks
Feeling: Retains Lacks
Materials: Retains Lacks

Notes: As evidenced in the construction history provided by the project sponsor, the subject building has been significantly altered and its integrity has been compromised. As a result of alterations that include re-cladding the wood building in stucco, reconfiguring the roof form and entrance, raising the building to insert a garage at the ground level, and replacement of original windows and doors, the structure does not convey historic significance. As noted above, it does not appear that the subject building is eligible for the California Register.

-
3. **Determination** Whether the property is an "historical resource" for purposes of CEQA

No Resource Present (Go to 6. below) Historical Resource Present (Continue to 4.)

-
4. **If the property appears to be an historical resource, whether the proposed project is consistent with the Secretary of Interior's Standards or if any proposed modifications would materially impair the resource (i.e. alter in an adverse manner those physical characteristics which justify the property's inclusion in any registry to which it belongs).**

The project appears to meet the Secretary of the Interior's Standards. (Go to 6. below)
Optional: See attached explanation of how the project meets standards.

The project is NOT consistent with the Secretary of the Interior's Standards and is a significant impact as proposed. (Continue to 5. if the project is an alteration)

5. Character-defining features of the building to be retained or respected in order to avoid a significant adverse effect by the project, presently or cumulatively, as modifications to the project to reduce or avoid impacts. Please recommend conditions of approval that may be desirable to mitigate the project's adverse effects.

6. Whether the proposed project may have an adverse effect on off-site historical resources, such as adjacent historic properties.

Yes No Unable to determine

Notes: As noted above, the subject building does not appear to be an historic resource, nor does the subject property appear to be located within a potential designated historic district.

PRESERVATION COORDINATOR REVIEW

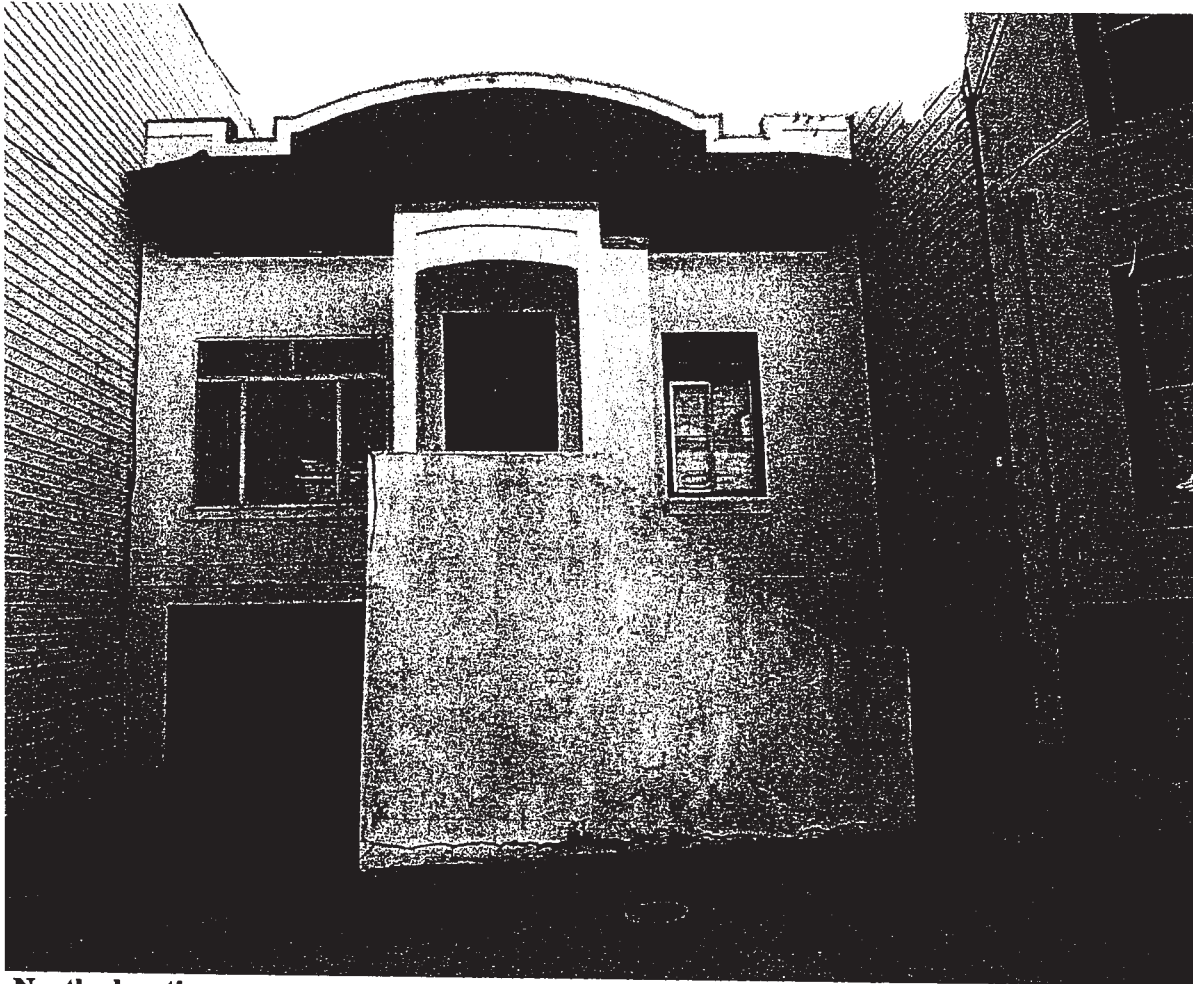
Signature:  _____
Mark Luellen, Preservation Coordinator

Date: 3-20-08

CC:

Sonya Banks, Recording Secretary, Landmarks Preservation Advisory Board
Vernaliza Byrd / Historic Resource Impact Review File
Elizabeth Watty, Neighborhood Planner, SW Quadrant

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North elevation