

2027 20th Ave.
(2016)

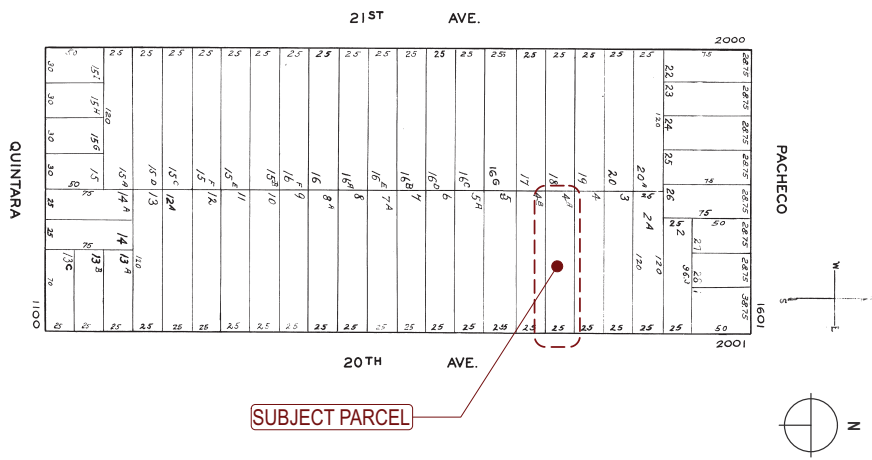








ASSESSOR'S MAP



DRAWING INDEX

- ARCHITECTURAL:**
- A-0.1 COVER SHEET
 - A-1.1 (E) & (N) SITE PLANS
 - A-2.1 DEMOLITION & (N) FIRST FLOOR PLANS
 - A-2.2 (N) SECOND & THIRD AND ROOF PLAN
 - A-3.1 (E) & (N) FRONT & REAR ELEVATIONS
 - A-3.2 (E) & (N) NORTH ELEVATION
 - A-3.3 (E) & (N) SOUTH ELEVATION
 - A-4.1 SECTION
 - A-5.0 GENERAL NOTES & TYPICAL DETAILS
 - A-5.1 TYPICAL DETAILS
 - EG-1.0 EG-05 FORMS
 - G-1.0 GREEN BUILDING CHECKLIST

SCOPE OF WORK

REVISION TO APPROVED PERMIT #2008-0404-8918 TO COMPLY WITH:
 - NOS.2018.1101.4764 & 2008.0404.8918.
 - ADDITION OF AN ADU

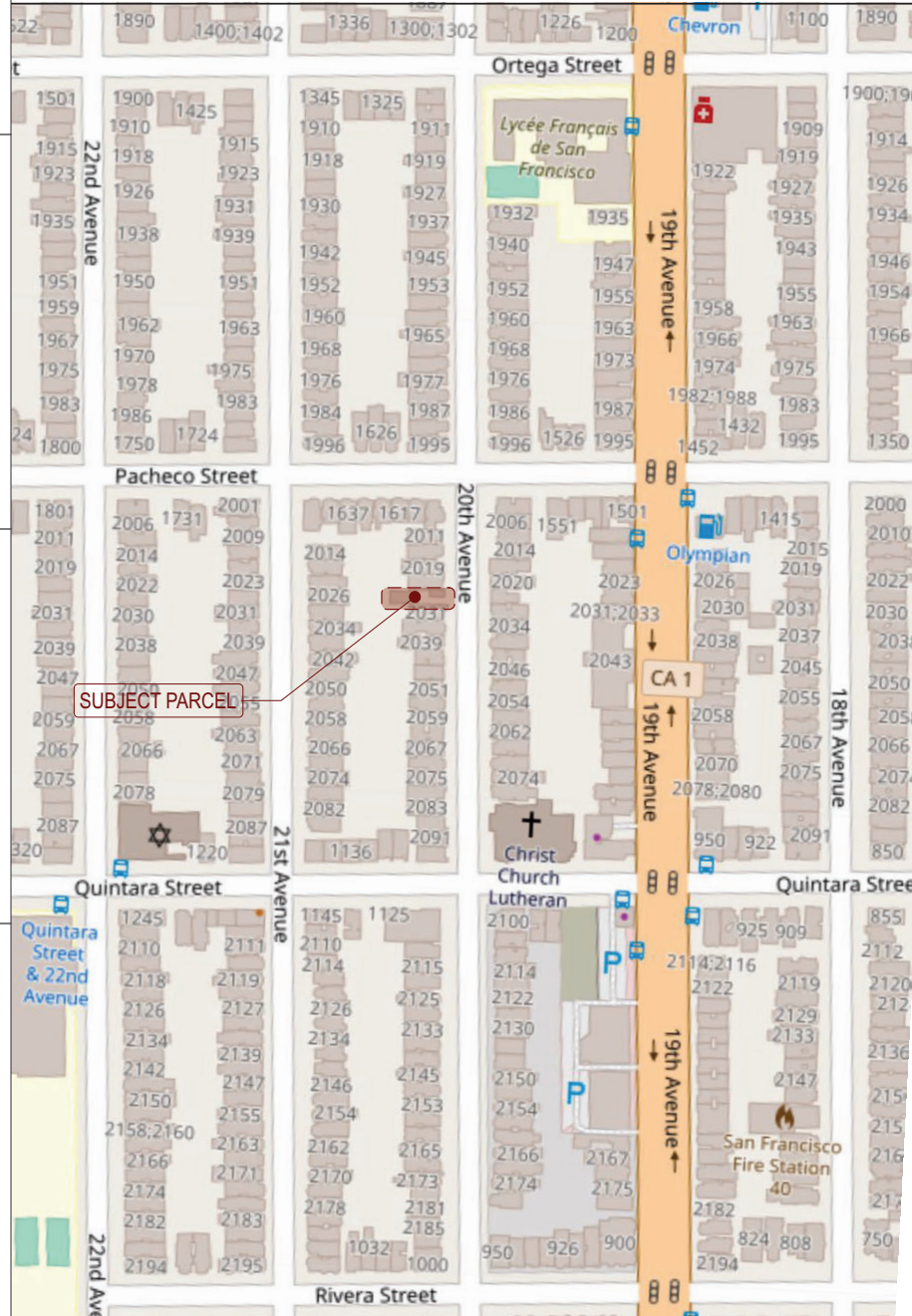
NOTES:
 - BLDG. TO BE FULLY SPRINKLERED.
 - WATERPROOFING OF BLDG ENVELOPE IS NOT UNDER THE SCOPE OF THIS PERMIT. OWNER IS TO HIRE A WATERPROOFING EXPERT TO PROVIDE WATERPROOFING DETAILS

PROJECT NAME
**2027 20TH AVE.
 SAN FRANCISCO, CA**



SIA CONSULTING CORPORATION
 4742 MISSION STREET
 SAN FRANCISCO CA 94112
 TEL: (415) 741.1292
 FAX: (415) 849.1252
 WWW: SIACONSULT.COM

VICINITY MAP



ABBREVIATION

# & @	POUND OR NUMBER AND	H.C.	HANDICAPPED
ABV	AT	HI	HIGH
ACT	ABOVE	HM	HOLLOW METAL
AD	ACOUSTIC CEILING TILE	HP	HIGH POINT
AFF	AREA DRAIN	HR	HOUR
ALUM	ABOVE FINISHED FLOOR	HVAC	HEATING, VENTILATING, & AIR CONDITIONING
APPROX	ALUMINUM	IRGWB	IMPACT RESISTANT GYPSUM WALLBOARD
ANOD	APPROXIMATE	ILO	IN LIEU OF
ASPH	ANODIZED	INSUL	INSULATED
BD	ASPHALT	INT	INTERIOR
BLDG	BOARD	LO	LOW
BLKG	BUILDING	MAX	MAXIMUM
BLOCKING	BLOCKING	MECH	MECHANICAL
BOT	BOTTOM	MEMBR	MEMBRANE
BSMT	BASEMENT	MIN	MINIMUM
BST	BOTTOM OF STAIRS	MO	MASONRY OPENING
BYND	BEYOND	MTL	METAL
CIP	CAST IN PLACE	(N)	NEW
CHNL	CHANNEL	NIC	NOT IN CONTRACT
CJ	CONTROL JOINT	NO	NUMBER
CLG	CEILING	NOM	NOMINAL
CLO	CLOSET	N.T.S.	NOT TO SCALE
CLR	CLEAR	O.C.	ON CENTER
CNTR	COUNTER	OFF	OFFICE
CMU	CONCRETE MASONRY UNIT	OH	OPPOSITE HAND
COL	COLUMN	OZ	OUNCE
COMPR	COMPRESSIBLE	PCC	PRE-CAST CONCRETE
CONC	CONCRETE	P.L.	PROPERTY LINE
CONT	CONTINUOUS	PLUMB	PLUMBING
CORR	CORRIDOR	PLYD	PLYWOOD
CPT	CARPET	PT	PRESSURE TREATED
CT	CERAMIC TILE	PNT	PAINT/PAINTED
CTR	CENTER	PVC	POLYVINYL CHLORIDE
CTYD	COURTYARD	RBR	RUBBER
DBL	DOUBLE	RCP	REFLECTED CEILING PLAN
DEMO	DEMOLISH	RD	ROOF DRAIN
DET	DETAIL	RDWD	REDWOOD
D.F.	DRINKING FOUNTAIN	REQD	REQUIRED
DIA	DIAMETER	RM	ROOM
DIMS	DIMENSIONS	S.F.	SQUARE FOOT
DN	DOWN	SIM	SIMILAR
DR	DOOR	SPEC	SPECIFIED OR SPECIFICATION
DWG	DRAWING	SPK	SPRINKLER
(E)	EXISTING	SSTL	STAINLESS STEEL
EA	EACH	STC	SOUND TRANSMISSION
EL	ELEVATION	STD	STANDARD
ELEC	ELECTRICAL	STL	STEEL
ELEV	ELEVATOR/ELEVATION	STRUCT	STRUCTURAL
EQ	EQUAL	SQ.	SQUARE
EXT	EXTERIOR	T&G	TONGUE AND GROOVE
EXP JT	EXPANSION JOINT	TC	TOP OF CURB
EXT	EXTERIOR	TELE	TELEPHONE
F.D.	FLOOR DRAIN	TLT	TOILET
FEC	FIRE EXTINGUISHER CABINET	TO	TOP OF
FIXT	FIXTURE	TOC	TOP OF CONCRETE
FLR	FLOOR	TOS	TOP OF STEEL
FLUOR	FLOUORESCENT	TP	TOILET PAPER DISPENSER
FM	FILLED METAL	T/D	TELEPHONE/DATA
FND	FOUNDATION	TST	TOP OF STAIRS
FO	FACE OF	TYP	TYPICAL
F.O.F.	FACE OF FINISH	U.N.O.	UNLESS NOTED OTHERWISE
FURR	FURRING	U/S	UNDERSIDE
GA	GAUGE	V.I.F.	VERIFY IN FIELD
GALV	GALVANIZED	VP	VISION PANEL
G.B.	GRAB BAR	W/	WITH
GND	GROUND	WD	WOOD
GRP	GROUP	W.H.	WATER HEATER
GWB	GYPSUM WALL BOARD		
GYP	GYPSUM		

PROJECT DATA

BLOCK / LOT: 2140 / 004A
 LOT AREA: 3,000 ± S.F.
 ZONING: RH-1
 HISTORIC STATUS: C
 (E) # OF STORIES: 1
 (N) # OF STORIES: 3

(E) # OF UNITS: 1
 (N) # OF UNITS: (N) 1 + 1 ADU

BUILDING HEIGHT:
 ALLOWED: 40-X
 PER APPROVED HEIGHT: 31'-6"

PARKING SUMMARY:
 (E) CAR PARKING: 1
 (N) CAR PARKING: 2
 (N) BIKE PARKING: 2 (CLASS I)

CONSTRUCTION TYPE: TYPE "V-B"
 OCCUPANCY GROUP: R-3

APPLICABLE CODES: 2019 CALIFORNIA BUILDING CODE & SAN FRANCISCO AMENDMENTS

GROSS FLOOR AREA:
 (E) PER APPROVED: 618 ± S.F.
 GROUND FLOOR PLAN: 352 ± S.F.
 (E) TOTAL: 970 ± S.F.

(N) 1ST FLOOR: 1,708 ± S.F.
 (N) 2ND FLOOR: 1,549 ± S.F.
 (N) 3RD FLOOR: 1,090 ± S.F.
 (N) TOTAL: 4,347 ± S.F.

PROPOSED FLOOR AREA MATRIX

RESIDENTIAL UNIT	FLOOR LEVEL			HABITABLE FLOOR AREA	COMMON OPEN SPACE	PRIVATE OPEN SPACE
	1ST FLR	2ND FLR	3RD FLR			
ADU	692 ± SF	-	-	692 ± S.F.	629 ± S.F.	72 ± S.F.
UNIT 1	41 ± S.F.	1,549 ± S.F.	1,090 ± S.F.	2,680 ± S.F.		529 ± S.F.
TOTAL	733 ± SF	1,549 ± SF	1,090 ± SF	3,372± S.F.	629 ± S.F.	601 ± S.F.
GARAGE/ UTILITY/ CIRC.	975 ± S.F.				TOTAL OPEN SPACE	1,230 ± S.F.

SHEET TITLE
Cover Sheet

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ISSUES / REVISIONS

NO.	DATE	DESCRIPTION

DRAWN: A.HK.

CHECKED: R.K.

DATE: 08/10/2019

REVISED DATE: 01/20/2021

JOB NO.: 19-1853

SHEET NO.: **A-0.1**

NOTE: ALL NEW LIGHTING (KITCHEN OR OTHERWISE) AS HIGH-EFFICACY PER THE 2016 CALIFORNIA ENERGY CODE.

	RECESSED LIGHTING FIXTURE (LED)
	HANGING LIGHTING FIXTURE
	WALL-MOUNT LIGHTING FIXTURE
	WALL-MOUNT HIGH-EFFICACY LIGHTING FIXTURE (OUTDOOR LIGHTING FIXTURE, MODEL #: TROY LIGHTING BB2383)
	SWITCH W/ DIMMER OR CERTIFIED OCCUPANT SENSOR(S)
	RESCUE WINDOW / EMERGENCY ESCAPE
	FLUORESCENT LIGHTING FIXTURE
	PROV. EXHAUST FAN, MIN. 5 AIR CHANGE PER HOUR IN ALL BATHROOMS
	CARBON MONOXIDE DETECT 110-V INTERCONNECTED WITH BATTERY BACKUP
	SMOKE DETECTOR OR ALARM IN ALL BEDROOMS

	PROPERTY LINE
	(E) WALL TO BE REMOVED
	(E) WALL TO REMAIN
	REPLACED WALL TO BE UPGRADED TO 1-HR FIRE RATED
	(N) WALL TO BE CONSTRUCTED
	(N) WALL TO BE 1-HR. FIRE RATED
	(E) WALL TO BE REPLACED IN KIND
	(E) WALL TO BE UPGRADE TO 1-HR FIRE RATED

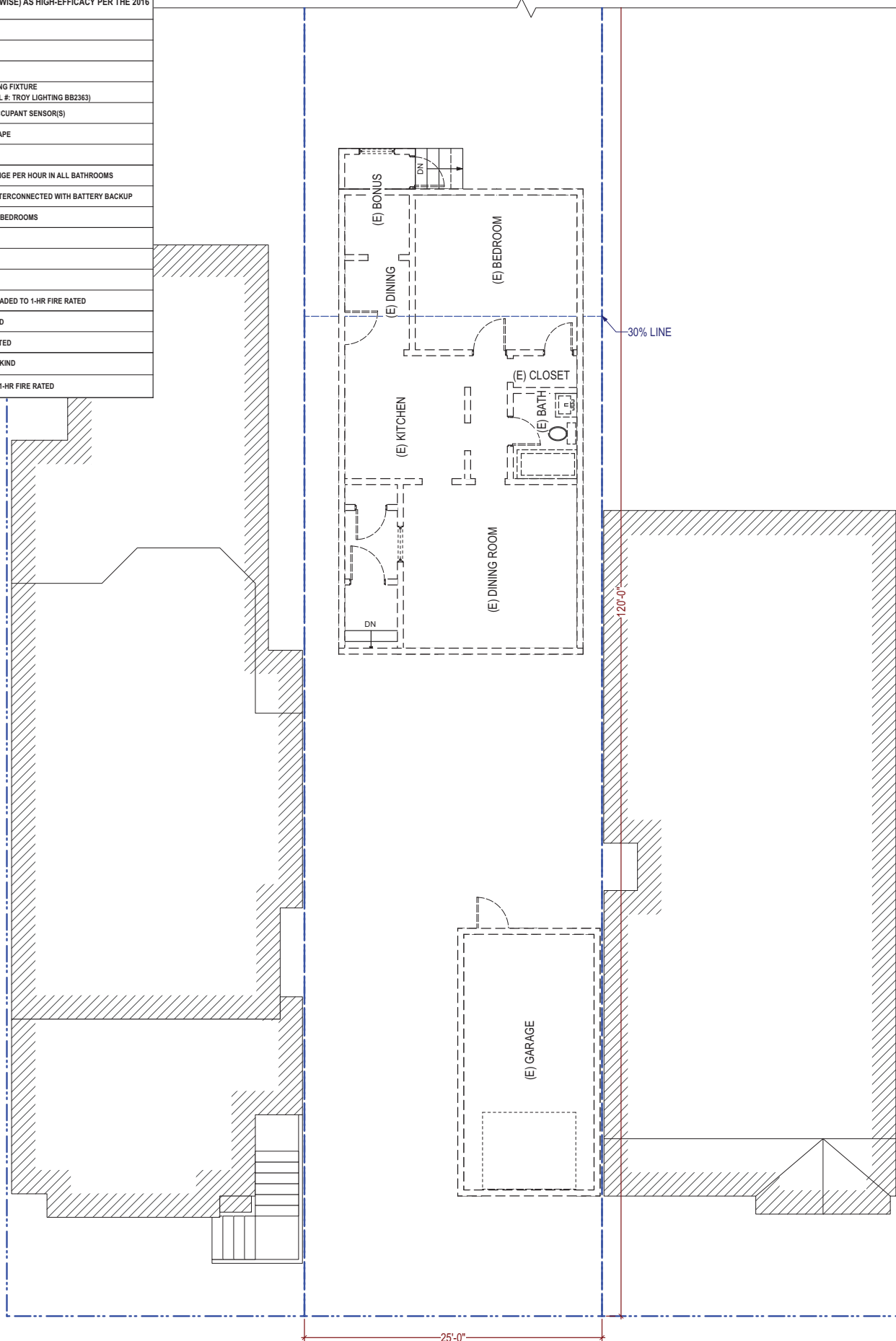
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D

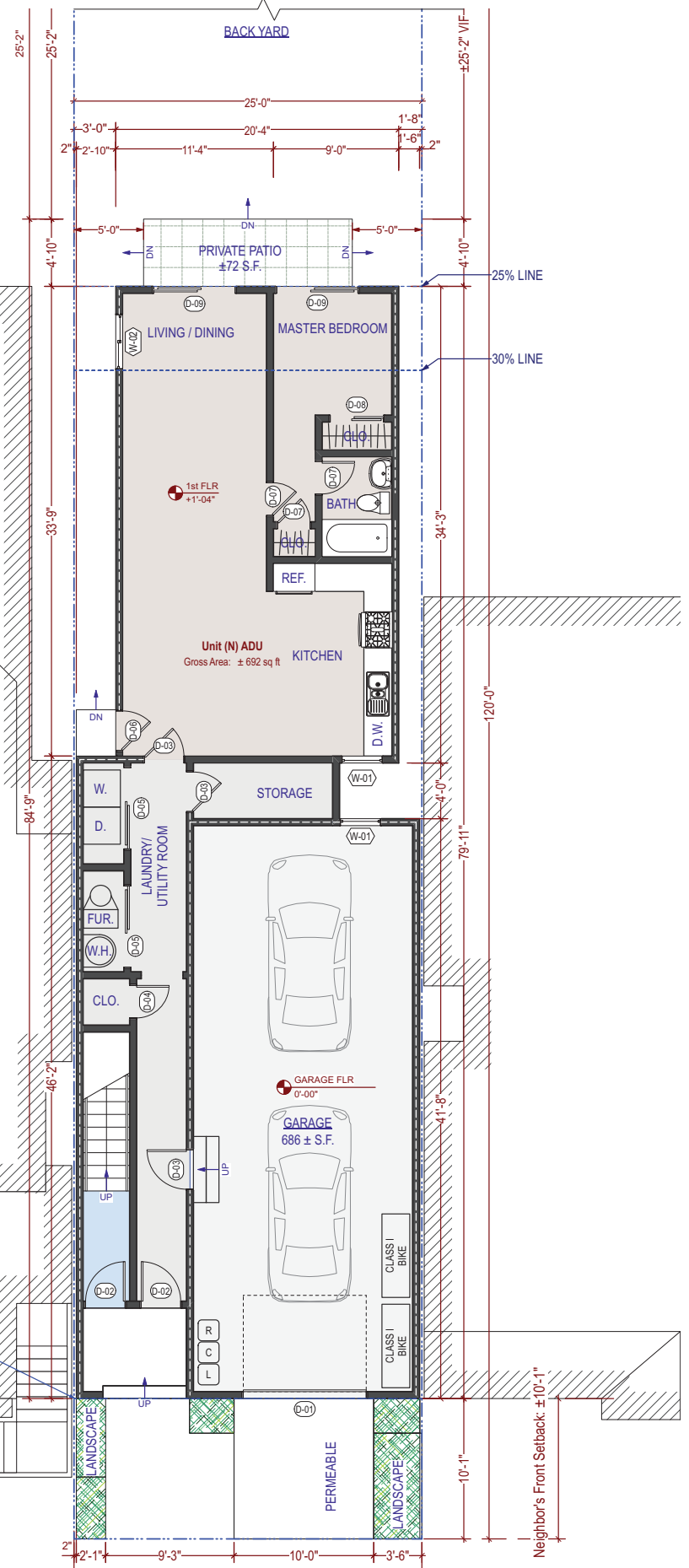
C

B

A



1 (E) / Demo First Floor Plan
3/16" = 1'-0"



2 (N) First Floor Plan
3/16" = 1'-0"



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SHEET TITLE

Demolition & (N) First Floor Plans

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SHEET NO. **A-2.1**

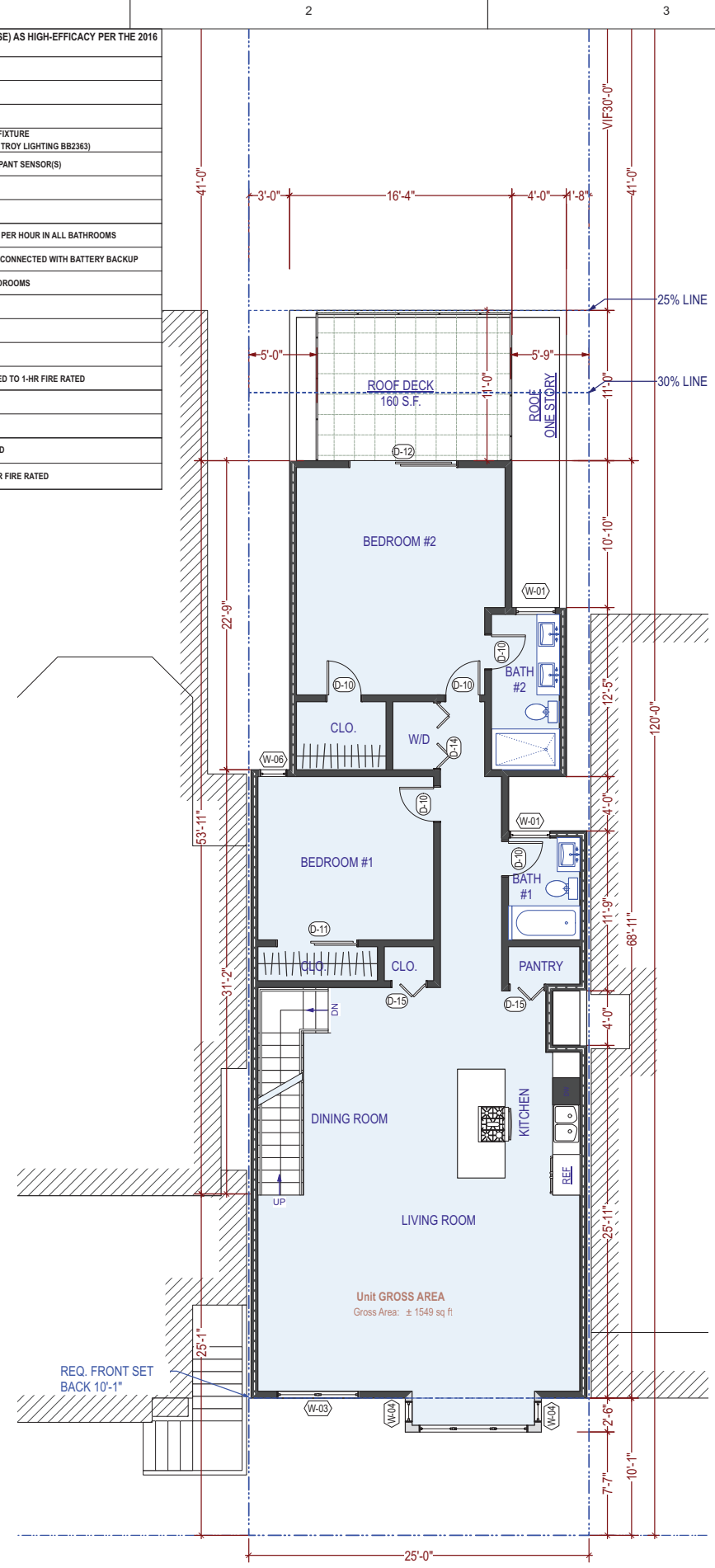
Neighbor's Front Setback: ±10'-1"

REQ. FRONT SETBACK 10'-1"

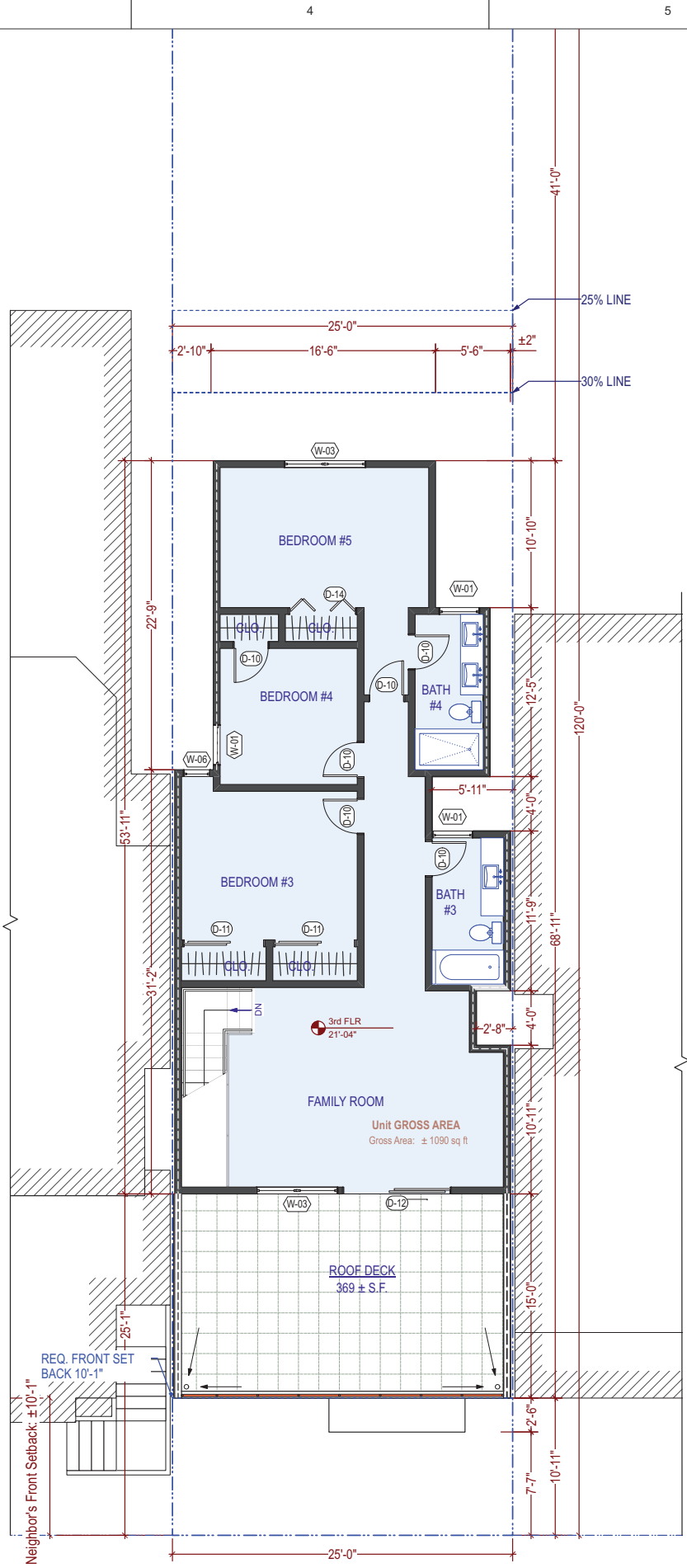
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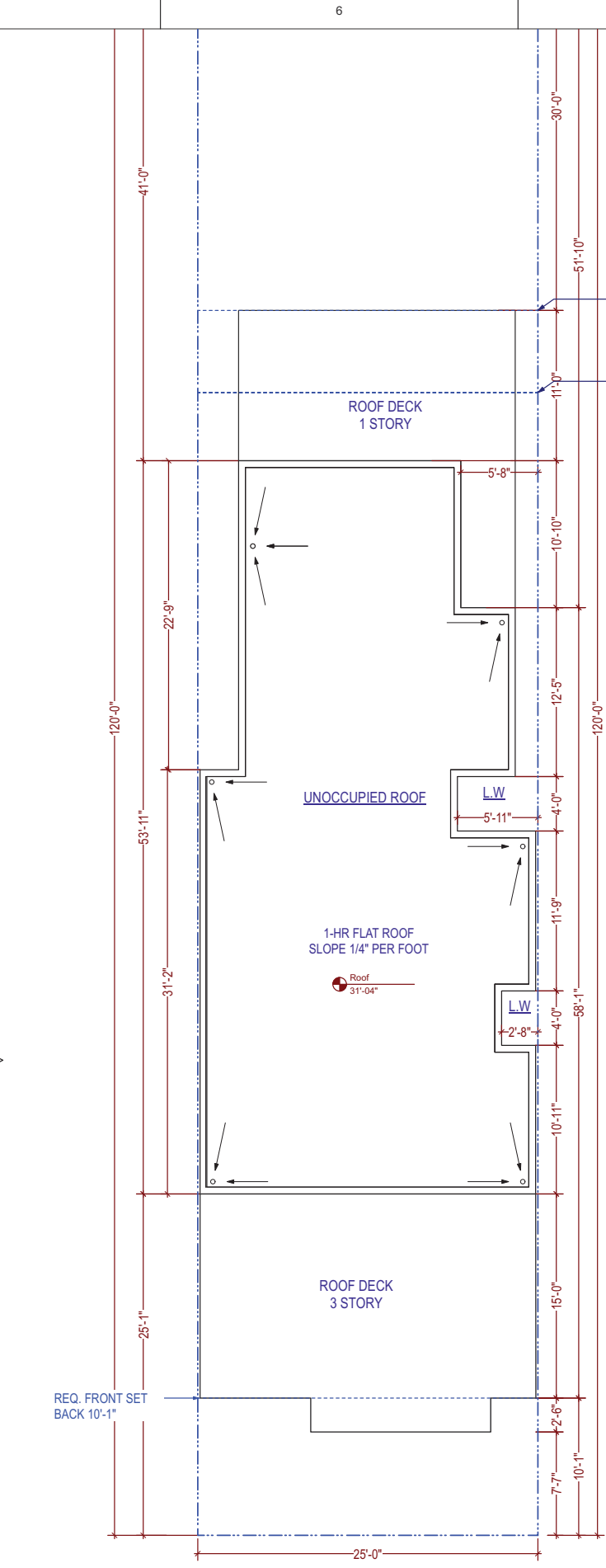
	PROPERTY LINE
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	(E) WALL TO REMAIN
	REPLACED WALL TO BE UPGRADED TO 1-HR FIRE RATED
	(N) WALL TO BE CONSTRUCTED
	(N) WALL TO BE 1-HR. FIRE RATED
	(E) WALL TO BE REPLACED IN KIND
	(E) WALL TO BE UPGRADE TO 1-HR FIRE RATED



1 (N) Second Floor Plan
3/16" = 1'-0"



2 (N) Third Floor Plan
3/16" = 1'-0"



3 (N) Roof Plan
3/16" = 1'-0"

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SAN FRANCISCO CA 94112
TEL: (415) 741.1292
FAX: (415) 849.1252
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SHEET TITLE

**(N) Second,
Third & Roof
Plans**

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SHEET NO. **A-2.2**

PROPERTY LINE

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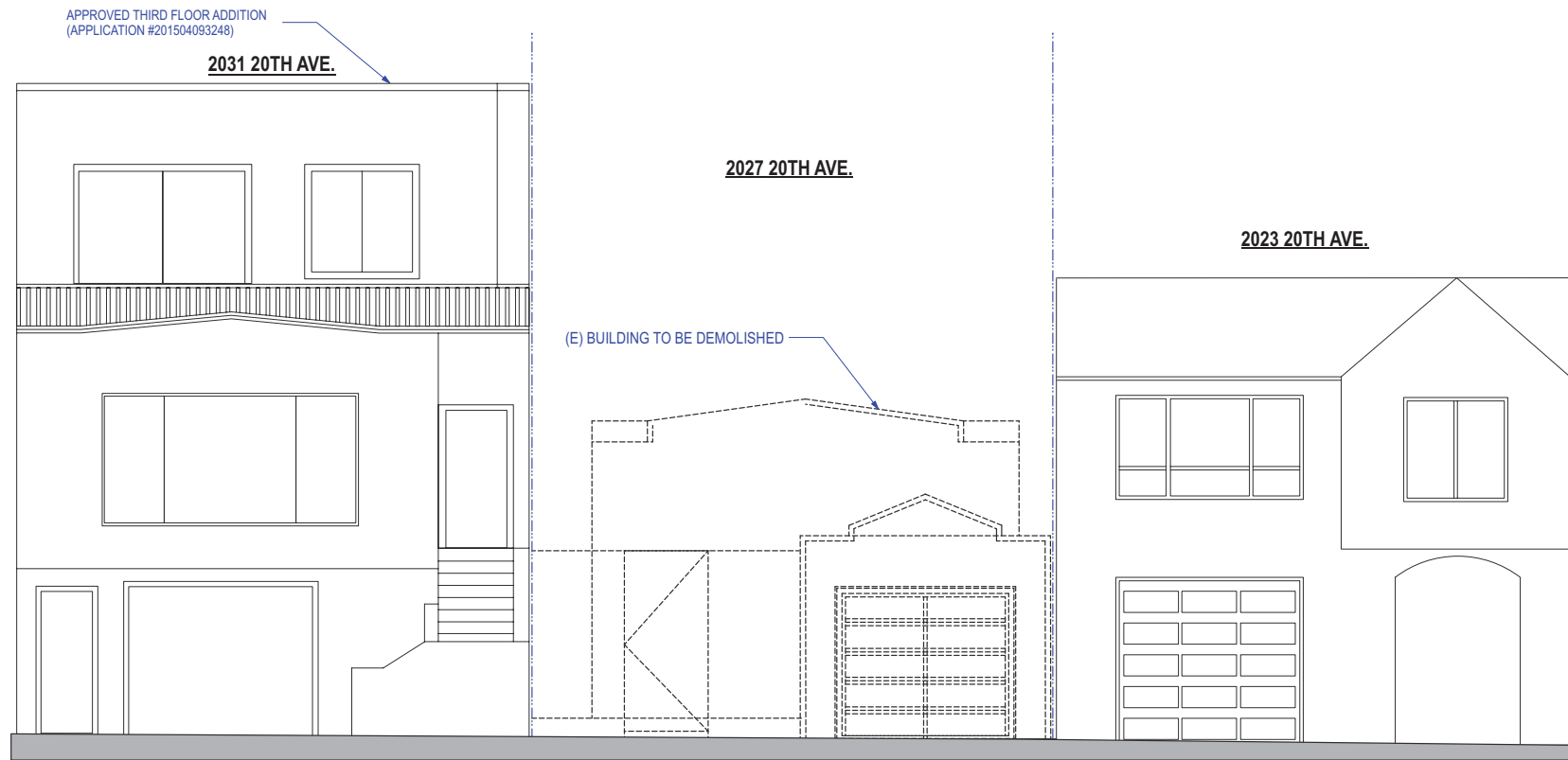
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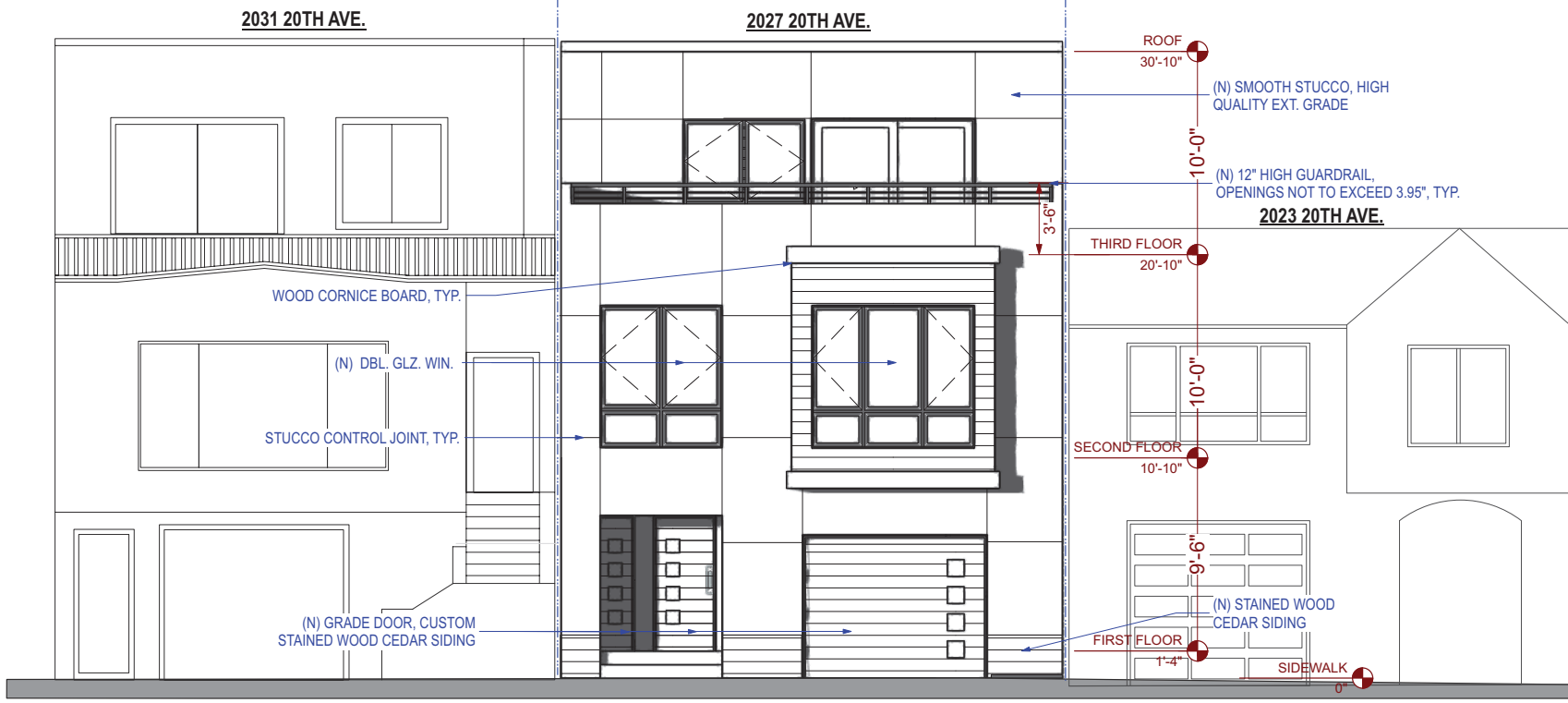
A



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 SAN FRANCISCO CA 94112
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 FAX: (415) 849.1252
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SHEET TITLE
(E) & (N) Front Elevation

1 (E) Front Elevation
 1/4" = 1'-0"



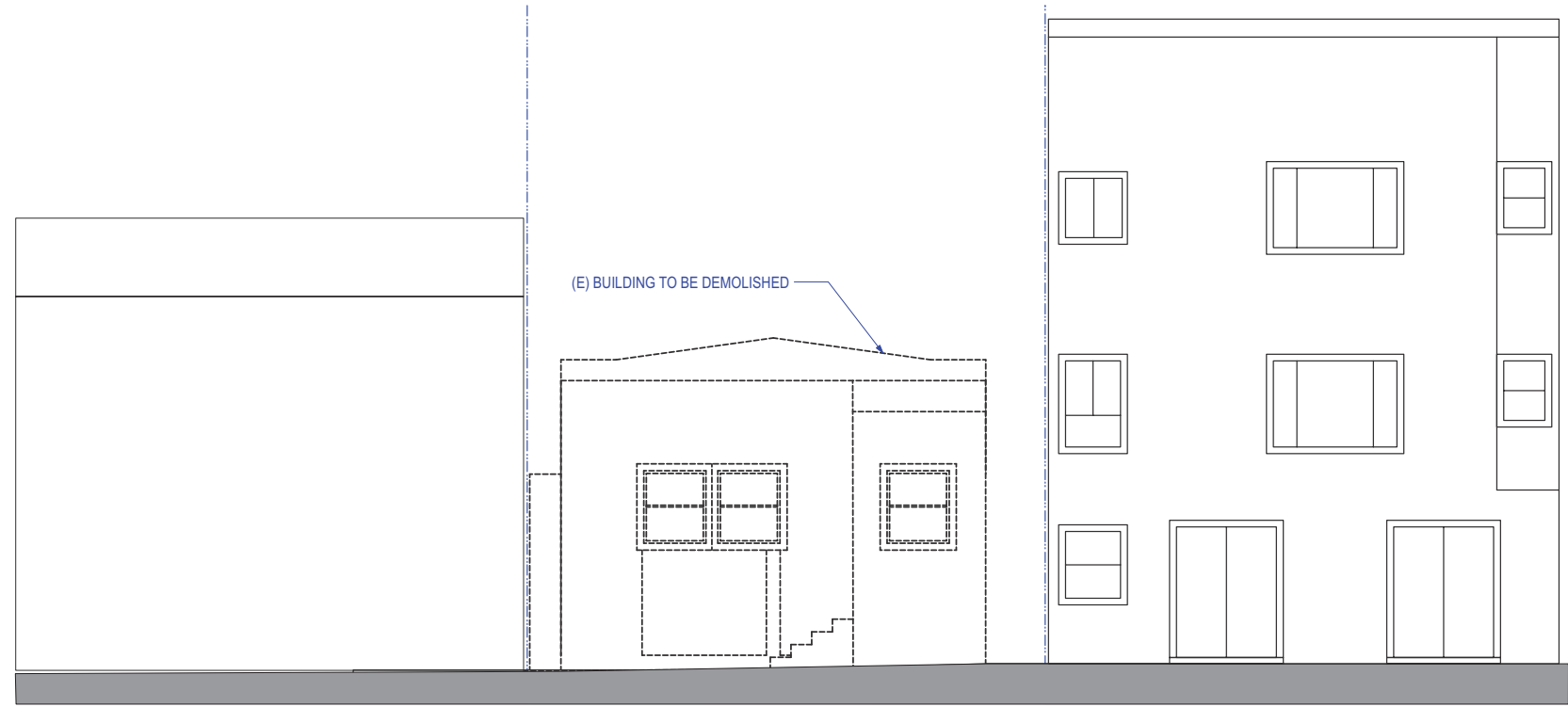
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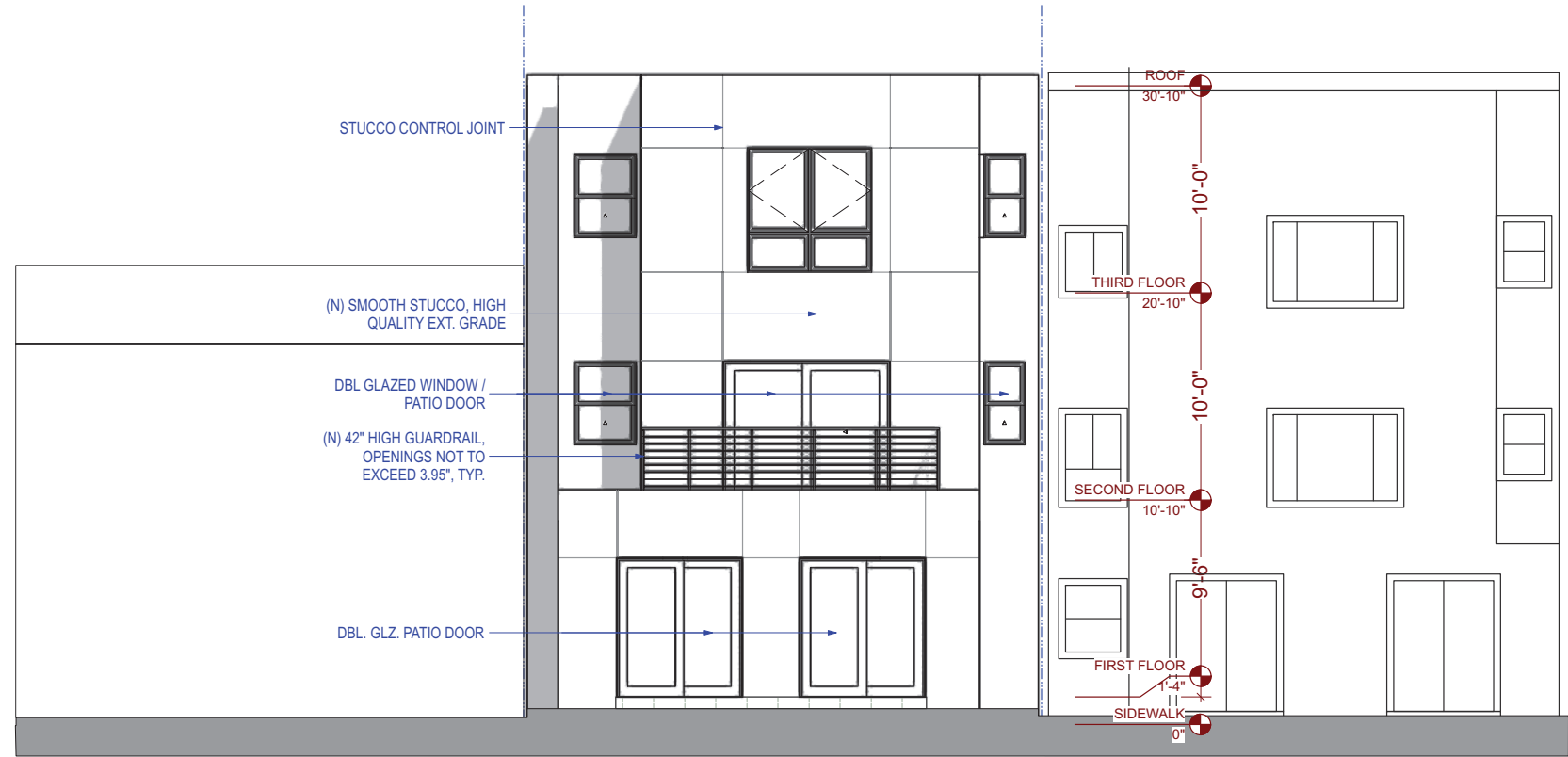
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SHEET NO.	A-3.0

2 (N) Front Elevation
 1/4" = 1'-0"



1 (E) Rear Elevation
1/4" = 1'-0"



2 (N) Rear Elevation
1/4" = 1'-0"

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SIA CONSULTING CORPORATION
4742 MISSION STREET
SAN FRANCISCO CA 94112
TEL: (415) 741.1292
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SHEET TITLE

**(E) & (N) Rear
Elevation**

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SHEET NO. **A-3.1**

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SHEET TITLE

(E) & (N) North Elevation

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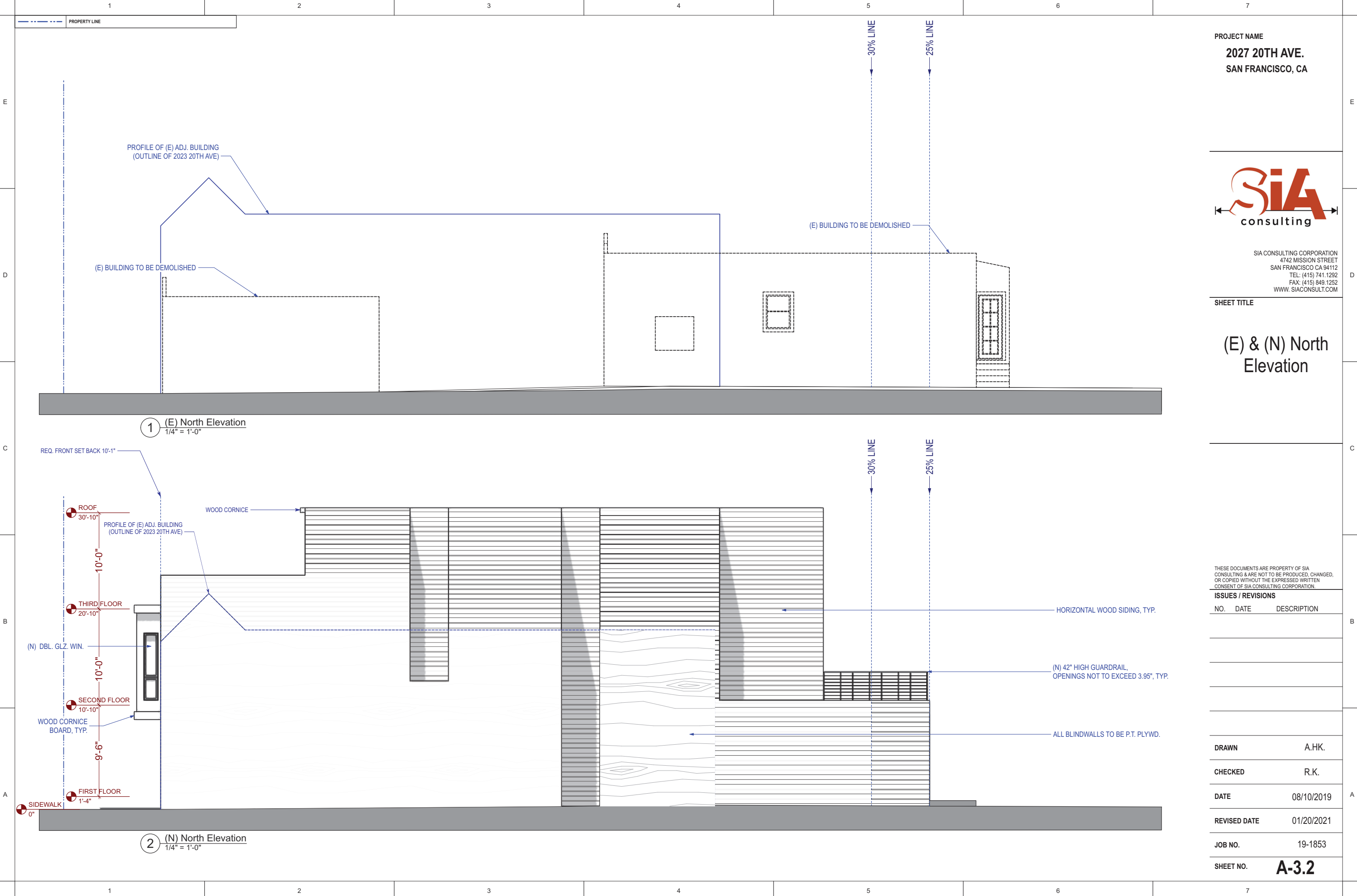
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SHEET NO. **A-3.2**



1 (E) North Elevation
 1/4" = 1'-0"

2 (N) North Elevation
 1/4" = 1'-0"

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SHEET TITLE

(E) & (N) South Elevation

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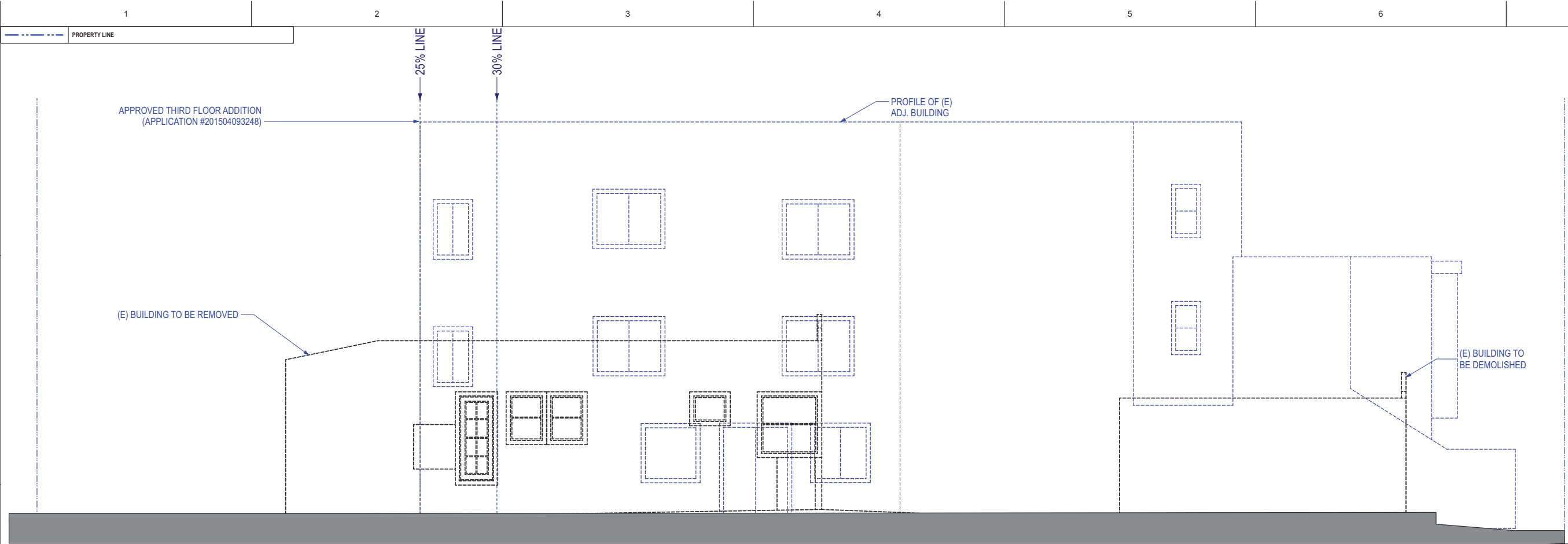
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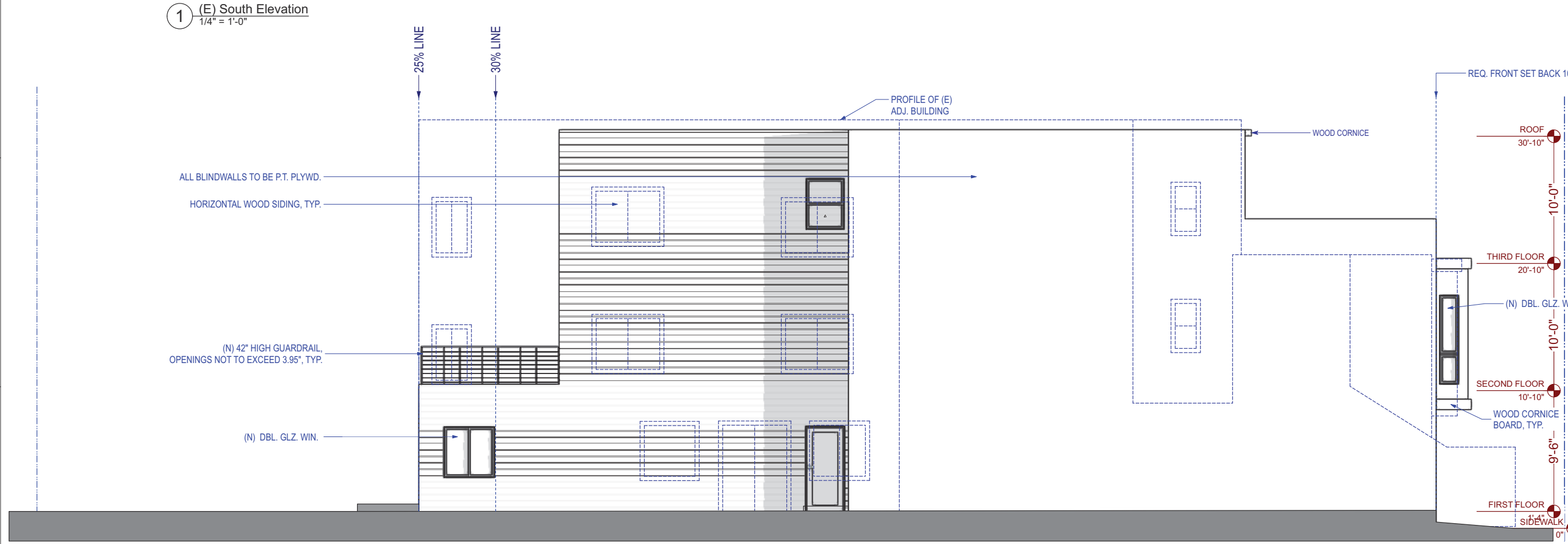
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SHEET NO. **A-3.3**



1 (E) South Elevation
 1/4" = 1'-0"



2 (N) South Elevation
 1/4" = 1'-0"

	PROPERTY LINE
	(E) WALL TO BE REPLACED IN KIND
	REPLACED WALL TO BE UPGRADED TO 1-HR FIRE RATED
	(N) WALL TO BE CONSTRUCTED

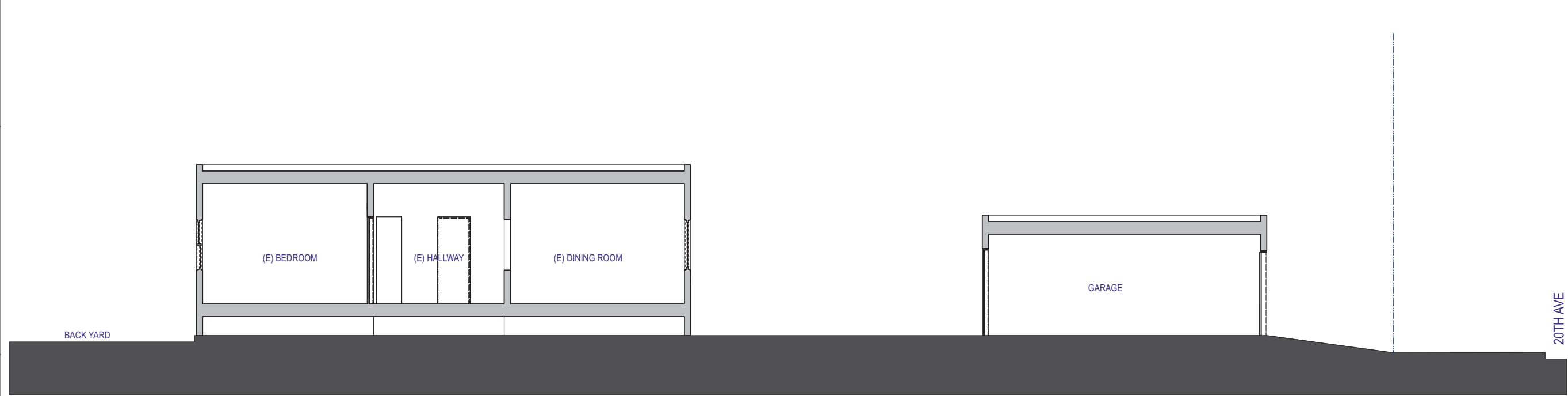
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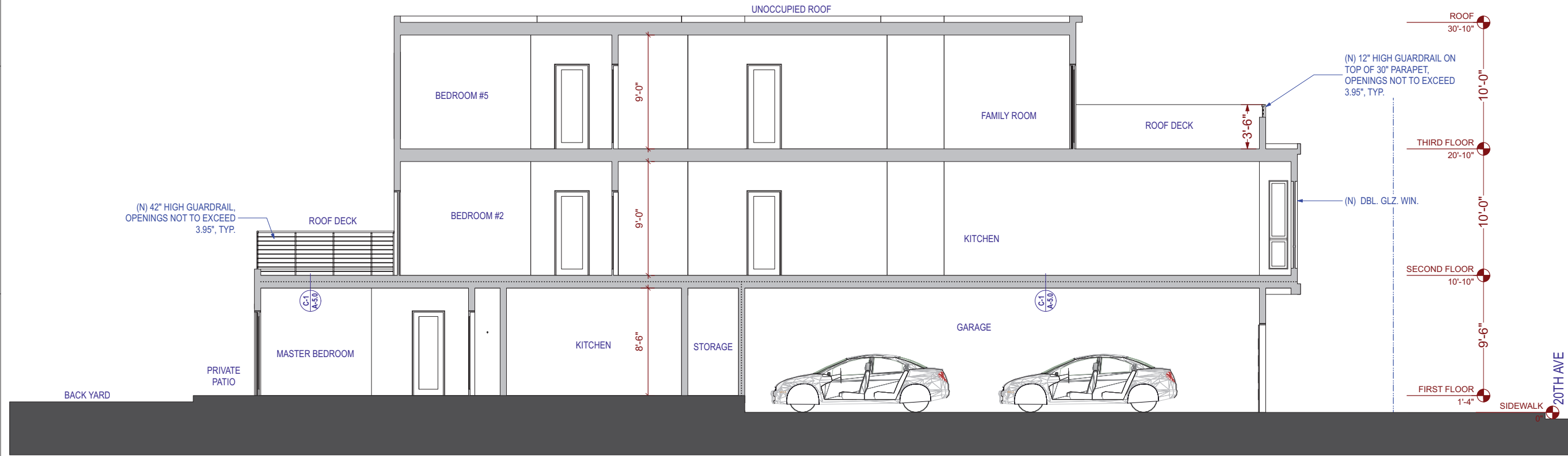
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SHEET TITLE

Section



1 Existing Section
 1/4" = 1'-0"



2 Proposed Section
 1/4" = 1'-0"

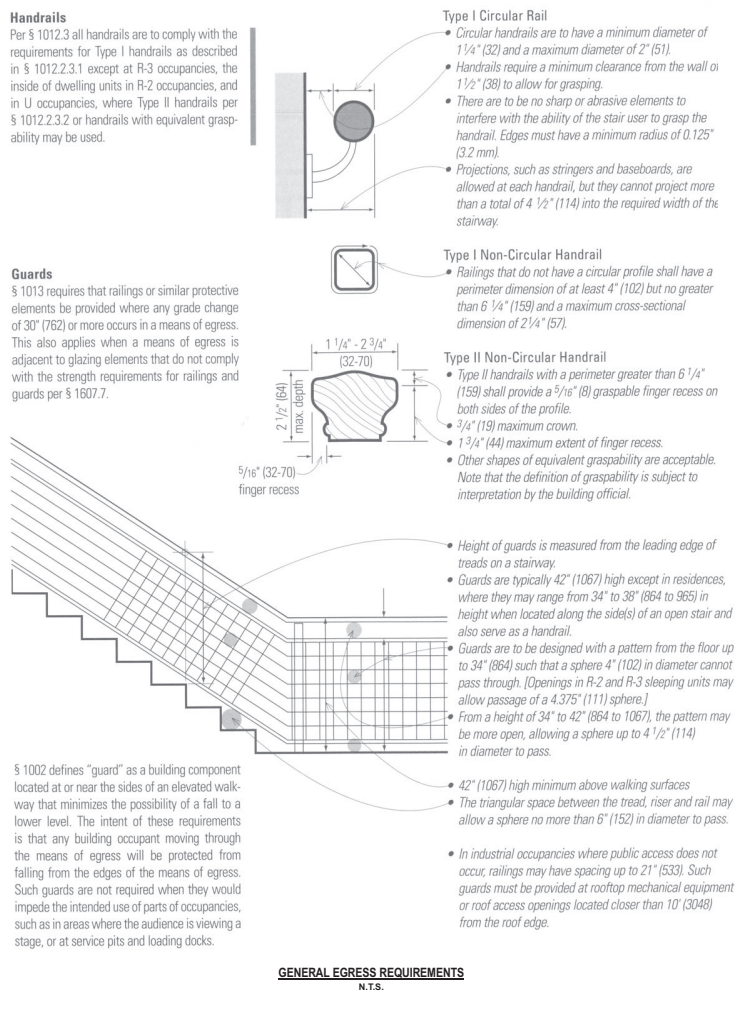
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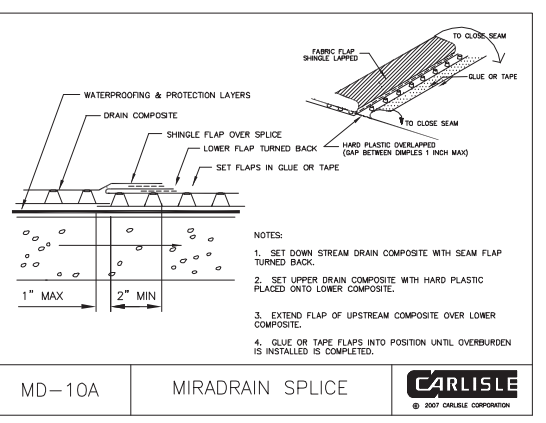
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JOB NO.	19-1853
SHEET NO.	A-4.1

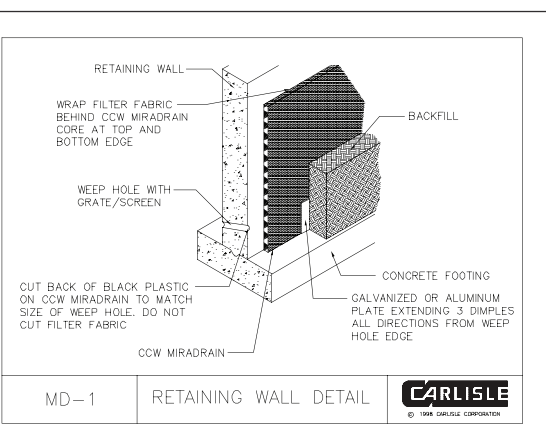
	1	2	3	4	5	6	7																															
E	<p>STANDARDS & CODES:</p> <ul style="list-style-type: none"> - ALL WORK SHALL BE PERFORMED IN COMPLETE COMPLIANCE W/ ALL APPLICABLE CODES, LAWS, ORDINANCES & REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION OVER THE WORK. ALL CONTRACTORS SHALL HOLD HARMLESS THE ARCHITECT/ENGINEER & THE OWNER FROM ALL DAMAGES AND/OR PENALTY ARISING OUT OF VIOLATION THEREOF. - ALL WORK SHALL BE DONE UNDER PERMIT. PLANS & CALCULATIONS, IF REQUIRED, SHALL BE SUBMITTED TO & APPROVED BY THE BUILDING DEPARTMENT. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS. - GIVE ALL NOTICES & COMPLY W/ ALL LAWS, ORDINANCES, CODES, RULES & REGULATIONS BEARING ON THE CONDUCT OF THE WORK. IF THE CONTRACTOR OBSERVES THAT THE DRAWINGS & SPECIFICATIONS ARE AT VARIANCE THEREWITH, PROMPTLY NOTIFY THE PROJECT MANAGER AND/ OR DESIGNER. NECESSARY CHANGES SHALL BE MADE IN ACCORDANCE W/ THE GENERAL CONDITIONS. - IF THE CONTRACTOR KNOWINGLY PERFORMS ANY WORK WHICH IS CONTRARY TO SUCH LAWS, ORDINANCES, CODES, RULES & REGULATIONS, HE SHALL PROMPTLY MAKE ALL CHANGES AS REQUIRED TO COMPLY THEREWITH & BEAR ALL COSTS ARISING THERE FROM. - INCASE OF CONFLICTS IN THE REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION, THE MOST RESTRICTIVE REQUIREMENTS SHALL GOVERN. - WHERE CODES OR REGULATIONS, OTHER THAN THOSE LISTED IN THIS SECTION, ARE REFERRED TO IN VARIOUS SECTIONS OF THE SPECIFICATIONS. IT SHALL BE UNDERSTOOD THAT THEY APPLY THIS WORK AS FULLY AS IF CITED HEREIN. - REPAIR & PATCH ALL PENETRATIONS THROUGH RATED ASSEMBLIES. - THE CONTRACTOR SHALL BE RESPONSIBLE FOR APPLYING & OBTAINING ALL REQUIRED INSPECTIONS TO CONFORM W/ LOCAL BUILDING & FIRE CODES. - CONTRACTOR/SUBCONTRACTOR SHALL SUBMIT PLANS FOR THEIR RESPECTIVE WORK TO THE BUILDING DEPARTMENT AS REQUIRED FOR PLAN CHECK & PERMIT ISSUANCE, INCLUDING PAYING FOR ALL PLAN CHECK & PERMIT FEES. 		<p>CONSTRUCTION STANDARDS:</p> <ul style="list-style-type: none"> - INSTALLATION INSTRUCTIONS FOR ALL LISTED EQUIPMENT SHALL BE PROVIDED TO THE FIELD INSPECTOR AT TIME OF INSPECTIONS. - ALL WOOD FRAMING TO BE EXECUTED IN ACCORDANCE WITH SEC.2320. CONVENTIONAL LIGHT-FRAME CONSTRUCTION DESIGN PROVISION. - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CONDITIONS DIMENSIONS, & MEASUREMENTS IN THE FIELD BEFORE BEGINNING WORK. ANY & ALL DISCREPANCIES, UNUSUAL CIRCUMSTANCES, ERRORS OMISSIONS AND/OR CONFLICTS FUNDS SHALL BE REPORTED TO THE ARCHITECT/ENGINEER'S & THE OWNER ATTENTION IMMEDIATELY BEFORE PROCEEDING W/ THE WORK. - CONTRACTOR TO VERIFY ALL EXISTING DIMENSIONS & COORDINATE W/ NEW DIMENSIONS FOR FIT. - INSULATION SHALL MEET CALIFORNIA ENERGY COMMISSION QUALITY STANDARDS & BE CERTIFIED BY THE MANUFACTURER. - ALL WINDOWS & DOORS SHALL BE DOUBLE GLAZED U.O.N. - REFER TO SPECIFICATIONS-PROJECT MANUAL FOR EXACT PRODUCT TO BE UTILIZED IN ALL DIVISIONS. - ENSURE THAT SURFACE TO RECEIVE FINISHES ARE CLEAN, TRUE & FREE OF IRREGULARITIES. DO NOT PROCEED W/ WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. COMMENCEMENT OF WORK SHALL INDICATE INSTALLER'S ACCEPTANCE OF SUBSTRATE. - REPAIR & PREPARE EXISTING SURFACES SCHEDULED TO REMAIN AS NECESSARY FOR APPLICATION OF NEW FINISHES. - CONTRACTOR TO INSURE DELIVERY & INSTALLATION OF CASEWORK & FINISH CARPENTRY WILL NOT BE DAMAGED BY OTHER CONSTRUCTION WORK. -REQUIRED LABELS SUCH AS "UL", FACTORY MUTUAL OR ANY EQUIPMENT IDENTIFICATION, PERFORMANCE RATING, NAME OR NOMENCLATURE PLATES SHALL REMAIN READABLE & NOT PAINTED. - THE CONTRACTOR SHALL PATCH SURFACES TO MATCH ADJACENT IN A MANNER SUITABLE TO RECEIVE FINISHES. - ALL ATTACHMENTS, CONNECTIONS OR FASTENING OF ANY NATURE ARE TO BE PROPERLY & PERMANENTLY SECURED IN CONFORMANCE W/ THE BEST PRACTICE OF THE BUILDING INDUSTRY. DRAWINGS SHOWS ONLY SPECIAL REQUIREMENTS TO ASSIST THE CONTRACTOR & DO NOT ILLUSTRATE EVERY DETAIL. - THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION BETWEEN ARCHITECTURAL, STRUCTURAL, FIRE PROTECTION, MECHANICAL, PLUMBING, & ELECTRICAL. THIS INCLUDES REVIEWING REQUIREMENTS OF INDIVIDUAL SYSTEMS BEFORE ORDERING & INSTALLATION OF ANY WORK, VERIFY ALL ARCHITECTURAL DETAILS & ALL FINISH CONDITIONS (WHETHER DEPICTED IN DRAWINGS OR NOT) W/ THE SAME DISCIPLINES. - UNLESS OTHERWISE NOTED, ALL ANGLES SHALL BE RIGHT ANGLES, ALL LINES WHICH APPEAR PARALLEL SHALL BE PARALLEL, & ALL ITEMS WHICH APPEAR CENTERED SHALL BE CENTERED. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL LINES TRUE LEVEL, PLUMB & SQUARE. - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING & PROTECTION DURING CONSTRUCTION. ALL EXISTING IMPROVEMENTS TO REMAIN SHALL BE PROTECTED. ALL MATERIALS DELIVERED TO THE SITE SHALL BE PROPERLY STORED & PROTECTED UNTIL INSTALLATION. ALL LUMBER SHALL BE PROTECTED FROM MOISTURE & STORED ABOVE GROUND. - DETAILED AND/OR LARGER SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL & SMALLER SCALE DRAWINGS. FIGURED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL SCALED DIMENSIONS SHALL BE VERIFIED. - NOTE THAT MECHANICAL, ELECTRICAL, FIRE PROTECTION, PLUMBING & COMMUNICATIONS ARE DESIGN-BUILD ITEMS. ARCHITECTURAL DRAWINGS SHOW DESIGN INTENT, CONTRACTOR TO CONFIRM ALL SYSTEM REQUIREMENTS W/ BUILDING OWNER & DESIGNER PRIOR TO INSTALLATION. - DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. - DETAILS SHOWN ARE TYPICAL. SIMILAR DETAILS APPLY IN SIMILAR CONDITIONS. - VERIFY CLEARANCES FOR VENTS, CHASES, SOFFITS, FIXTURES BEFORE ANY CONSTRUCTION, ORDERING OF , OR INSTALLATION OF ANY ITEM OF WORK. - UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL PROVIDE SOLID BLOCKING & BACKING AS REQ'D FOR ALL NAILING OF INTERIOR TRIM & FINISHES, & SHALL COORDINATE & PROVIDE ALL FRAMING, BACKING & BRACING AS NECESSARY FOR INSTALLATION OF EQUIPMENT INDICATED ON THE DRAWINGS, PROVIDE BACKING PLATES AT ALL BATH ACCESSORIES, HANDRAILS, CABINETS, TOWEL BARS, WALL MOUNTED FIXTURES & ANY OTHER ITEMS ATTACHED TO WALLS. - INSTALL ALL FIXTURES, EQUIPMENT, & MATERIALS PER MANUFACTURER'S RECOMMENDATIONS & CODE REQUIREMENTS. ALL APPLIANCES, FIXTURES, & EQUIPMENT ASSOCIATED W/ PLUMBING, ELECTRICAL, MECHANICAL SYSTEMS SHALL BE LISTED BY A NATIONALLY RECOGNIZED & APPROVED AGENCY. - ALL WALL & CEILING FINISHES SHALL COMPLY W/ CBC CHAPTER 8. - ALL NEW SMOKE DETECTORS TO BE HARD WIRED. - THE CONTRACTOR IS HEREBY SPECIFICALLY DIRECTED AS A CONDITION OF THE CONTRACT TO ACQUAINT HIMSELF W/ THE ARTICLES CONTAINED IN THE GENERAL NOTES & TO NOTIFY & APPRISE ALL SUBCONTRACTORS & ALL OTHER PARTIES OF THE CONTRACT OF, & BIND THEM TO, ITS CONDITIONS. 		<p>SOUND TRANSMISSION:</p> <ul style="list-style-type: none"> - APPROVED ACOUSTICAL SEALANT SHALL BE PROVIDED ALONG THE JOINT BETWEEN THE FLOOR & THE SEPARATION WALL. - ALL PENETRATIONS INTO SOUND RATED PARTITIONS OF FLOOR-CEILING ASSEMBLIES SHALL BE SEALED W/ APPROVED PERMANENT SEALANT. SURFACE MATERIALS (INCLUDING CARPETS) ARE PART OF THE FLOOR-CEILING & MUST BE INSTALLED & INSPECTED BEFORE THE CERTIFICATE OF OCCUPANCY IS ISSUED. - ELECTRICAL OUTLET BOXES IN OPPOSITE FACES OF SEPARATION WALLS SHALL BE SEPARATED HORIZONTALLY BY 24", BACK & SIDES OF BOXES TO BE SEALED W/ 1/8" RESILIENT SEALANT & BACKED WITH 2" MIN. MINERAL FIBER INSULATION. (T.V., TELEPHONE & INTERCOM OUTLETS MUST BE INSTALLED IN BOXES ACCORDINGLY.) - ALL RIGID CONDUIT, DUCTS, PLUMBING PIPES & APPLIANCE VENTS LOCATED IN SOUND ASSEMBLIES SHALL BE ISOLATED FROM THE BUILDING CONSTRUCTION BY MEANS OF RESILIENT SLEEVES MOUNTS OR MIN. 1/4" THICK APPROVED RESILIENT MATERIAL. (EXCEPTION: GAS PIPING NEED NOT BE ISOLATED.) - METAL VENTILATING & CONDITIONED AIR DUCTS LOCATED IN SOUND ASSEMBLY SHALL BE LINED. (EXCEPTION: DUCTS SERVING ONLY EXITS WAYS, KITCHEN COOKING FACILITIES, & BATHROOMS NEED NOT BE LINED.) - MINERAL FIBER INSULATION SHALL BE INSTALLED IN JOIST SPACES TO A POINT 12" BEYOND THE PIPE OR DUCT. WHENEVER A PLUMBING PIPE, OR DUCT PENETRATES A FLOOR-CEILING ASSEMBLY OR WHERE SUCH UNIT PASSES THROUGH THE PLANE OF THE FLOOR-CEILING ASSEMBLY FROM WITHIN A WALL. - THERMAL & SOUND INSULATION SHALL COMPLY W/ CBC SEC. 720. 		<p>ELECTRICAL:</p> <ul style="list-style-type: none"> - ALL 15 & 20 AMPERE RECEPTACLES INSTALLED WITHIN THE NEW CONSTRUCTION & ALTERATION SHALL BE TAMPER-RESISTANT RECEPTACLES (CEC 406.12). - RECEPTACLE OUTLETS IN PROPOSED ROOMS SPACED NO POINT ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6 FEET, FROM A RECEPTACLE OUTLET IN THAT SPACE, INCLUDING ANY WALL SPACE 2 FEET OR MORE IN WIDTH (CEC 210.52(A)A91)&(2)). - ARC FAULT CIRCUIT INTERRUPTER ("AFCI") PROTECTION FOR ALL RECEPTACLES, LIGHTING CIRCUITS, SWITCHES, & HARD-WIRED SMOKE DETECTORS INSTALLED IN ALL BEDROOMS, THE "AFCI" SHALL BE LISTED TO PROTECT THE ENTIRE BRANCH CIRCUIT. - THE INSTALLATION OF SMOKE ALARMS IN ALL OF THE FOLLOWING AREAS SHALL BE PROVIDED: (CRC R314.3) <ul style="list-style-type: none"> A. ON THE CEILING OR WALL OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS. B. IN EACH ROOM USED FOR SLEEPING PURPOSES. - THE INSTALLATION OF CARBON MONOXIDE ALARMS IN THE FOLLOWING AREAS SHALL BE PROVIDED: (CRC R315.1) <ul style="list-style-type: none"> A. APPROVED CARBON MONOXIDE ALARMS SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS & ON EVERY LEVEL INCLUDING BASEMENTS IN DWELLING UNITS THAT HAVE FUEL-FIRED APPLIANCES OR ATTACHED GARAGES. - A MIN. OF TWO 20 AMP SMALL APPLIANCE BRANCH CIRCUITS SHALL BE PROVIDED FOR ALL RECEPTACLE OUTLETS IN THE KITCHEN, DINING ROOM, PANTRY, OR OTHER SIMILAR AREAS. (CEC 210.11(C)(1)) - AT LEAST ONE 20 AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY BATHROOM RECEPTACLE OUTLETS. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS. (CEC 210.11(C)(3)) - IN EVERY DWELLING UNIT, FIXED APPLIANCES SUCH AS FOOD WASTE GRINDERS, DISHWASHERS, WASHING MACHINES, DRYERS, LAUNDRY TRAY LOCATIONS, BUILT-IN REFRIGERATORS OR FREEZERS, FURNACES, AC UNITS, BUILT-IN HEATERS OR ANY OTHER FIXED APPLIANCE WITH A MOTOR OF ¼ H.P. OR LARGER SHALL BE ON A SEPARATE 20 AMP. BRANCH CIRCUIT. - ALL RECEPTACLES IN BATHROOMS, GARAGES, ACCESSORY BUILDINGS, OUTDOORS, CRAWL SPACES, UNFINISHED BASEMENTS, KITCHENS (WHERE RECEPTACLES SERVE COUNTER TOP SURFACES), LAUNDRY, UTILITY, WET BAR SINKS (WITHIN 6 FEET OF THE EDGE OF THE SINK), SHALL HAVE GROUND-FAULT CIRCUIT INTERRUPTER (GFCI) PROTECTION. (CEC 210.8(A)) - IN ALL AREAS SPECIFIED IN 210.52, ALL NON-LOCKING TYPE 125-VOLT, 15 & 20 AMP RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES. (CEC 406.12) - ALL RECEPTACLE OUTLETS IN BATHROOMS, ABOVE KITCHEN COUNTERTOP, CRAWL SPACES, GARAGE, ROOFTOPS, OUTDOOR OUTLETS, WITHIN 6' OF WETBAR SINK/LAUNDRY SINK TO BE PROTECTED BY GROUND FAULT CIRCUIT INTERRUPTER (GFCI). (CEC 210.8) - ALL RECEPTACLE OUTLETS ARE REQUIRED TO BE LISTED TAMPER RESISTANT. (CEC 406.12 & 210.52) - COMBINATION TYPE AFCI CIRCUIT BREAKERS ARE REQUIRED FOR ALL 120 VOLT SINGLE PHASE 15/20 AMP BRANCH CIRCUITS. EXCEPT FOR BATHROOMS, KITCHENS, GARAGES, OUTDOORS, AND LAUNDRY ROOMS. (CEC 210.12(B)) - AT A MIN. ONE DEDICATED 20 AMP CIRCUIT IS REQUIRED FOR A BATHROOM.(CEC 210.11(C)(3)) - A GFCI PROTECTED RECEPTACLE IS REQ. WITHIN 3 FEET OF THE EDGE OF EACH SINK IN A BATHROOM. (CEC 210.52(D)) - RECEPTACLE OUTLETS ARE NOT ALLOWED WITHIN OR OVER A BATHTUB OR SHOWER STALL. (CEC 406.9 (C)) - SUBPANELS ARE NOT ALLOWED TO BE LOCATED IN BATHROOMS OR CLOTHES CLOSETS. (CEC 240.24(D) & 240.25(E)) - CIRCUITS SHARING A GROUNDED CONDUCTOR (NEUTRAL) W/ TWO UNGROUNDED(HOT) CONDUCTORS MUST USE A TWO POLE CIRCUIT BREAKER OR AN IDENTIFIED HANDLE TIE.(CEC 210.4(B)) GROUP NON-CABLE CIRCUITS IN PANEL (CEC 210.4(D)) - THE RECEPTACLE OUTLETS THAT SERVE KITCHEN COUNTER TOPS, DINING ROOM, BREAKFAST AREA, & PANTRY, MUST HAVE A MIN OF 2 DEDICATED 20 AMP CIRCUITS.(CEC 210.52 (B)(1)) - KITCHEN COUNTER TOPS 12 INCHES OR WIDER MUST HAVE A RECEPTACLE OUTLET.(CEC 210.52(C)) - KITCHEN COUNTER TOPS MUST HAVE RECEPTACLE OUTLETS SO NO POINT ALONG THE COUNTER WALLS IS MORE THAN 24 INCHES FROM A RECEPTACLE. (CEC 210.52 (C)) - ISLAND AND PENINSULAR COUNTER TOPS MUST HAVE AT LEAST ONE RECEPTACLE. (CEC 210.52(C) (1) & (2)) - THE SPACING FOR GENERAL RECEPTACLE OUTLETS MUST BE LOCATED SO THAT NO POINT ON ANY WALL, FIXED GLASS, OR CABINETS IS OVER 6 FEET FROM A RECEPTACLE OUTLET. (CEC 210.52(A)) - HALLWAYS 10 FEET OR MORE MUST HAVE AT LEAST ONE RECEPTACLE OUTLET. - LAUNDRY ROOMS MUST HAVE AT LEAST ONE DEDICATED 20 AMP RECEPTACLE CIRCUIT. (CEC 210.11(2)) PROVIDE 120V RECEPTACLE WITHIN 3 FEET OF WATER HEATER. CAL ENERGY CODE 150.0 (N) - PROVIDE GROUNDING ELECTRODE SHALL BE NONFERROUS (COPPER), NOT BE LESS THAN ½" IN DIAMETER. THE ELECTRODE SHALL BE INSTALLED SUCH THAT AT LEAST 8' OF LENGTH IS IN CONTRACT W/ THE SOIL. THE UPPER END OF THE ELECTRODE SHALL BE FLUSH W/ OR BELOW GROUND LEVEL UNLESS THE ABOVE-GROUND END & THE GROUNDING ELECTRODE CONDUCTOR ATTACHMENT IS PROTECTED AGAINST PHYSICAL DAMAGE. (CEC 250.52 (A)(5) & 250.53 (D)) - ALL ELECTRICAL CONDUCTOR MATERIAL SHALL BE COPPER. - ALL NEW ELECTRICAL ITEMS TO BE U.L. RATED. 		<p>PROJECT NAME</p> <p>2027 20TH AVE.</p> <p>SAN FRANCISCO, CA</p>																													
D	<p>DEMOLITION NOTES:</p> <ul style="list-style-type: none"> - ENSURE FULL PROTECTION OF ALL EXISTING CONDITIONS TO REMAIN. - ALL DEMOLITION WORK TO BE CONDUCTED IN SUCH A MANNER AS TO PROTECT ADJACENT PROPERTY & ALL HARDSCAPE AND/ OR LANDSCAPE TO REMAIN. - ASBESTOS CONTAINING MATERIALS IN EXISTING BUILDINGS TO BE IDENTIFIED & REMOVED IN COMPLIANCE W/ ALL APPLICABLE REGULATIONS. - GC TO PREPARE FOR POSSIBILITY OF ASBESTOS & COMPLY W/ THE ABATEMENT PROCEDURE PER LOCAL REGULATIONS. FOUND ASBESTOS NOT THE RESPONSIBILITY OF THE DESIGNER. - LEAD PAINTED MATERIALS IN EXISTING BUILDINGS TO BE IDENTIFIED & REMOVED IN COMPLIANCE W/ ALL APPLICABLE REGULATIONS. - ALL PLUMBING SUPPLY LINES TO BE CAPPED W/ A 4" MIN. STUB FROM FLOOR OR WALL. - ENSURE ALL WASTE LINES ARE KEPT FREE OF DEBRIS. - ALL ELECTRICAL DEVICES TO BE CAPPED OFF AS PER CEC. - ALL WORK SHALL BE PERFORMED IN ACCORDANCE W/ THE CBC & ALL FEDERAL, STATE, AND MUNICIPAL AUTHORITIES HAVING JURISDICTION OVER THE WORK. - DEMOLITION WORK SHALL COMPLY W/ ANSI A 10.6 SAFETY REQUIREMENTS FOR DEMOLITION. - MATERIALS OR ITEMS DESIGNATED TO BE RE-USED SHALL BE REMOVED W/ CARE & STORED IN A SECURE LOCATION. REMOVE ALL OTHER ITEMS FROM THE PREMISES & DISPOSE OFF LEGALLY. - PROTECT ALL WALLS, FINISH SURFACES, & OTHER AREAS TO REMAIN AGAINST DAMAGE DURING CONSTRUCTION. ITEMS DAMAGED DURING DEMOLITION OR CONSTRUCTION SHALL BE PATCHED & REPAIRED TO MATCH EXISTING CONDITION. - DEMOLISH ALL REDUNDANT PLUMBING & HVAC EQUIPMENT INCLUDING FURNACES, PLUMBING, DUCTWORK, VENTING BACK TO SOURCE. - PREPARE ALL SURFACES TO REMAIN FOR NEW CONSTRUCTION (REMOVE EXPOSED NAILS STAPLES, GLUE, ABANDONED HARDWARE, etc..) - CONTRACTOR TO VERIFY BEARING & NON-BEARING STATUS OF EXISTING CONSTRUCTION TO BE DEMOLISHED BEFORE PROCEEDING W/ WORK. - COORDINATE EXACT EXTENT OF WALL DEMOLITION W/ NEW WALL LOCATIONS ON CONSTRUCTION PLANS. - PREP EXISTING INTERIOR WALL & CEILING SYSTEMS FOR NEW FINISH. - DEMOLISH ALL INTERIOR WALL FINISH SYSTEMS AS REQUIRED FOR NEW CONSTRUCTION. PREP EXISTING WALL SYSTEM TO REMAIN AS REQUIRED FOR NEW INTERIOR WALL FINISH. - REFER TO SPECIFICATION FOR WASTE MANAGEMENT PLAN. 		<p>KITCHEN:</p> <ul style="list-style-type: none"> -MIN. TWO 20A SMALL APPLIANCE BRANCH CIRCUITS ARE REQUIRED FOR THE KICHEN & ARE LIMITED TO SUPPLYING WALL & COUNTER SPACE RECEP. OUTLETS FOR THE KITCHEN, PANTRY, BREAKFAST ROOM, DINING ROOM, & SIMILAR AREAS. THESE CIRCUITS CANNOT SERVE OUTSIDE PLUGS, RANGE HOOD, DISPOSALS, DISHWASHERS OR MICROWAVES, ONLY THE REQUIRED COUNTERTOP/WALL OUTLEST INCLUDING THE REFRIGERATOR. - ALL OF THE KITCHEN LIGHTING WATTAGE MUST BE FLUORESCENT, INCANDESCENT LIGHTING MUST BE SWITCHED SEPARATELY. - PROVIDE AT LEAST ONE RECEPTACLE OUTLET FOR EACH COUNTER SPACE 12" OR WIDER, KITCHEN COUNTER OUTLETS SHALL BE SPACED SO THAT NO POINT ALONG THE WALL IS GREATER THAN 24" FROM AN OUTLET. AT LEAST ONE GFCI RECEPTACLE FOR THE PENINSULA COUNTER SPACE (CEC 210.52(C)(3)&210.8 (A) (6)) 		<p>SIA CONSULTING CORPORATION 4742 MISSION STREET SAN FRANCISCO CA 94112 TEL: (415) 741.1292 FAX: (415) 849.1252 WWW. SIACONSULT.COM</p>																																	
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ISSUES / REVISIONS								<table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NO.	DATE	DESCRIPTION																											
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B	<p>BATHROOM:</p> <ul style="list-style-type: none"> - EXHAUST FANS ARE CAPABLE OF PROVIDING FIVE AIR CHANGES PER HOUR. - EXHAUST FANS, WHICH ARE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING, SHALL BE PROVIDED IN EVERY BATHROOM. - A 20A CIRCUIT IS REQUIRED TO SERVE THE REQUIRED BATHROOM OUTLETS. THIS CIRCUIT CANNOT SUPPLY ANY OTHER RECEP. LIGHTS, FANS, ETC. - SHOWERS & TUB/SHOWER COMBINATIONS SHALL BE PROVIDED W/ INDIVIDUAL CONTROL VALVES OF THE THERMOSTATIC MIXING OR PRESSURE BALANCE TYPE, (CPC 418.0) - LIGHT FIXTURES INSTALLED ABV. & WITHIN 5' FROM THE INSIDE WALLS OF THE WHIRLPOOL TUB SHALL BE AT LEAST 7'-6" ABV THE MAX. WATER LEVEL & GFCI PROTECTED. FIXTURES MAY BE INSTALL LESS THAN 7'-6" PROVIDED THEY ARE LISTED FOR USE IN DAMPED LOCATIONS & GFCI PROTECTED. (CEC ARTICLE 680-43(B)(1a-c)) - TUB & SHOWER ENCLOSURES TO HAVE 5/8" WATER RESISTANT DRYWALL OR WATER RESISTANT DRYWALL W/ MORTAR & TILE W/ FIXTURE PENETRATIONS SEALED. 		<p>FIREPLACE/CHIMNEY:</p> <ul style="list-style-type: none"> - GAS FIREPLACE TO BE INSTALLED PER MANUFACTURER RECOMMENDATIONS. 		<p>SANITATION:</p> <ul style="list-style-type: none"> - SHOWER STALL FINISH SHALL BE CERAMIC TILE EXTENDING 70 INCHES ABOVE THE DRAIN INLET - MOISTURE RESISTANT UNDERLAYMENT (e.g. WATER RESISTANT GYP. BD.) TO A HEIGHT OF 70 INCHES ABOVE THE DRAIN INLET. 		<p>INSULATION:</p> <ul style="list-style-type: none"> - CEILING BATT INSULATION (ALL GUIDELINES AND/ OR REQUIREMENTS FOR ENERGY CALCULATION SHOWN ON TITLE 24 SHALL SUPERSEDE ANY GUIDELINES OR REQUIREMENTS IN THESE NOTES.) - ALL WINDOWS TO BE WEATHER STRIPPED, DOUBLE GLAZED. FLOOR LEVEL & SHOWER DOORS TO BE TEMPERED GLASS. 																															
A	<p>DRAWN</p> <p>CHECKED</p> <p>DATE</p> <p>REVISED DATE</p> <p>JOB NO.</p> <p>SHEET NO.</p>		<p>A.HK.</p> <p>R.K.</p> <p>08/10/2019</p> <p>01/20/2021</p> <p>19-1853</p> <p>A-5.0</p>		<p>A</p>		<p>A</p>																															
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GENERAL EGRESS REQUIREMENTS
N.T.S.



MD-10A MIRADRAIN SPLICE
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MD-1 RETAINING WALL DETAIL
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W-3 (N) EXTERIOR WALLS, WOOD-FRAMED

SYSTEM DESCRIPTION	SKETCH AND DESIGN DATA
GA FILE NO. WP 8105 GENERIC GYPSON WALLBOARD, GYPSON SHEATHING, WOOD STUDS EXTERIOR SIDE: One layer 48" wide 1/2" type X gypson sheathing applied parallel to 2 x 4 wood studs 24" o.c. with 1 1/4" galvanized roofing nails 4" o.c. at vertical joints and 7" o.c. at intermediate studs and top and bottom plates. Joints of gypson sheathing may be left untreated. Exterior cladding to be attached through sheathing to studs. INTERIOR SIDE: One layer 1/2" type X gypson wallboard, water-resistant gypson backing board, or gypson veneer base applied parallel or at right angles to studs with 6d coated nails, 1 1/8" long, 0.0915" shank, 1/4" heads, 7" o.c. (LOAD-BEARING)	1 HOUR FIRE Thickness: Varies Approx. Weight: 7 psf Fire Test: See WP 3510 (UL R3501-47, -48, 9-17-65, UL Design U309; UL R1319-129, 7-22-70, UL Design U314)

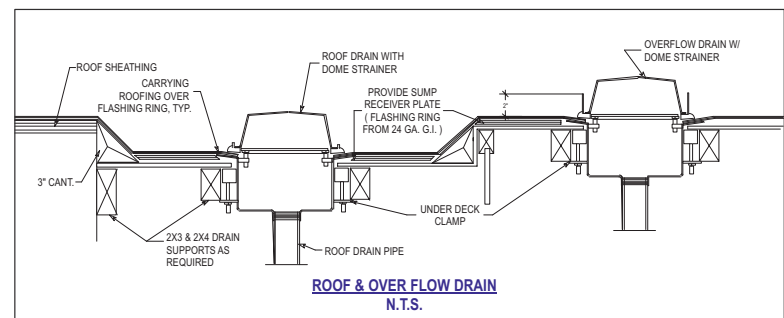
W-4 (N) WALLS & INTERIOR PARTITIONS, WOOD-FRAMED

SYSTEM DESCRIPTION	SKETCH AND DESIGN DATA
GA FILE NO. WP 3243 GENERIC GYPSON WALLBOARD, RESILIENT CHANNELS, MINERAL OR GLASS FIBER INSULATION, WOOD STUDS Resilient channels 24" o.c. attached at right angles to ONE SIDE of 2 x 4 wood studs 24" o.c. with 1 1/4" Type S drywall screws. One layer 1/2" type X gypson wallboard or gypson veneer base applied at right angles to channels with 1" Type S drywall screws 8" o.c. with vertical joints located midway between studs. 3" mineral or glass fiber insulation in stud space. OPPOSITE SIDE: One layer 1/2" type X gypson wallboard or gypson veneer base applied parallel or at right angles to studs with 6d cement coated nails, 1 1/8" long, 0.0915" shank, 1/4" heads, 7" o.c. Vertical joints staggered 24" on opposite sides. (LOAD-BEARING)	1 HOUR FIRE 50 to 54 STC SOUND Thickness: 5 1/2" Approx. Weight: 7 psf Fire Test: Based on UL R14196, 05MK05371, 2-15-05, UL Design U309 Sound Test: NRCC TL-93-103, IRC-IR-761, 3/98

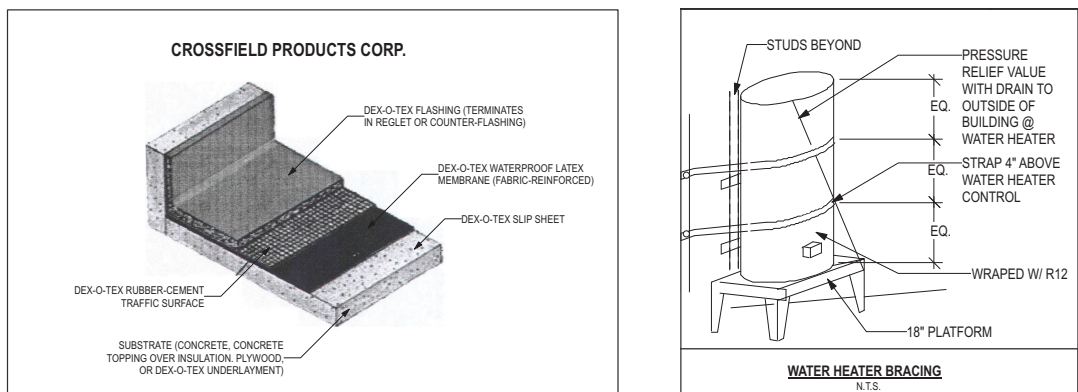
C-1 TJI: FLOOR-CEILING / ROOF-CEILING, WOOD FRAME

SYSTEM DESCRIPTION	SKETCH AND DESIGN DATA
GA FILE NO. FC 5011 PROPRIETARY* WOOD I-JOISTS, WOOD STRUCTURAL PANELS, GYPSON FLOOR TOPPING, RESILIENT CHANNELS, GLASS FIBER BATT OR LOOSE FILL INSULATION, GYPSON WALLBOARD Base layer 1/2" proprietary type X gypson wallboard or gypson veneer base applied at right angles to resilient furring channels 24" o.c. (16" o.c. when insulation is used) with 1" Type S drywall screws 16" o.c. Gypson board end joints located midway between continuous channels and attached with screws 8" to additional pieces of channel 60" long located 3" back on either side of end joint. Resilient channels applied at right angles to minimum 10" deep wood I joists spaced a maximum of 19" o.c. with 1 1/4" Type S drywall screws. Face layer 1/2" proprietary type X gypson wallboard or gypson veneer base applied at right angles to resilient furring channels 1 1/4" Type S drywall screws 8" o.c. and 1 1/2" Type G screws 8" o.c. at the butt joints located mid-span between the resilient channels. Glass fiber insulation secured to subfloor or loose fill insulation applied directly over gypson board. Wood I joists supporting 1 1/2" wood structural panel subfloor applied at right angles to joists with construction adhesive and 6d ring shank nails 12" o.c. Minimum 1/2" proprietary gypson floor topping applied over subfloor. STC rated with I joists spaced 24" o.c., 3 1/2" glass fiber insulation in joist spaces, 1/4" proprietary gypson floor topping poured over 1/4" proprietary sound reduction mat, and with finish flooring of sheet vinyl, engineered wood laminate, and ceramic tile. (STC 64 when sheet vinyl or engineered wood laminate is applied to floor; STC 66 when tested with ceramic tile applied to floor.)	1 HOUR FIRE 60 to 64 STC SOUND Approx. Ceiling Weight: 3 psf Fire Test: UL R1319, 05NK04589, 2-4-05; UL R1319, 05NK09496, 3-31-05; UL Design L570 Sound Test: RAL OT03-05, 4-22-03; RAL OT03-07, 4-29-03; RAL OT03-09, 6-18-03 (58 sheet vinyl); RAL OT03-06, 4-22-03; (62 engineered wood laminate) RAL OT03-08, 4-29-03; (54 ceramic tile) RAL OT03-10, 6-18-03 IIC & Test: (58 sheet vinyl); RAL OT03-06, 4-22-03; (62 engineered wood laminate) RAL OT03-08, 4-29-03; (54 ceramic tile) RAL OT03-10, 6-18-03

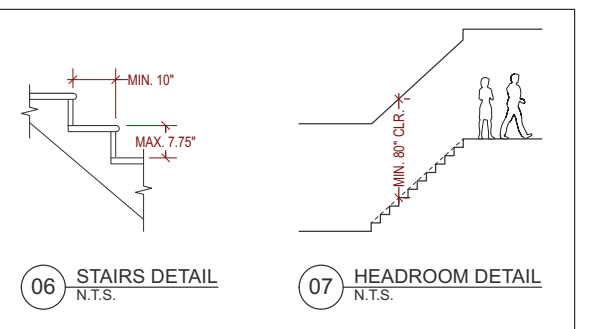
PROPRIETARY GYPSON COMPONENTS
 United States Gypson Company - 1/2" SHEETROCK® Brand FIRECODE® C Core Gypson Panels
 - LEVELROCK® Brand Floor Underlayment



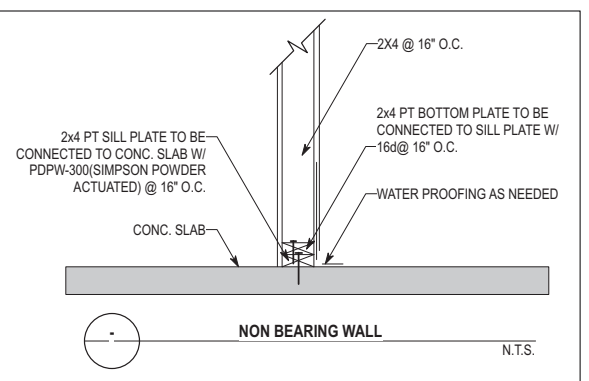
ROOF & OVER FLOW DRAIN
N.T.S.



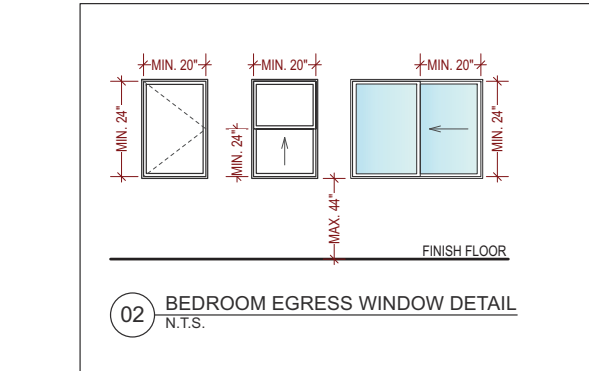
WATER HEATER BRACING
N.T.S.



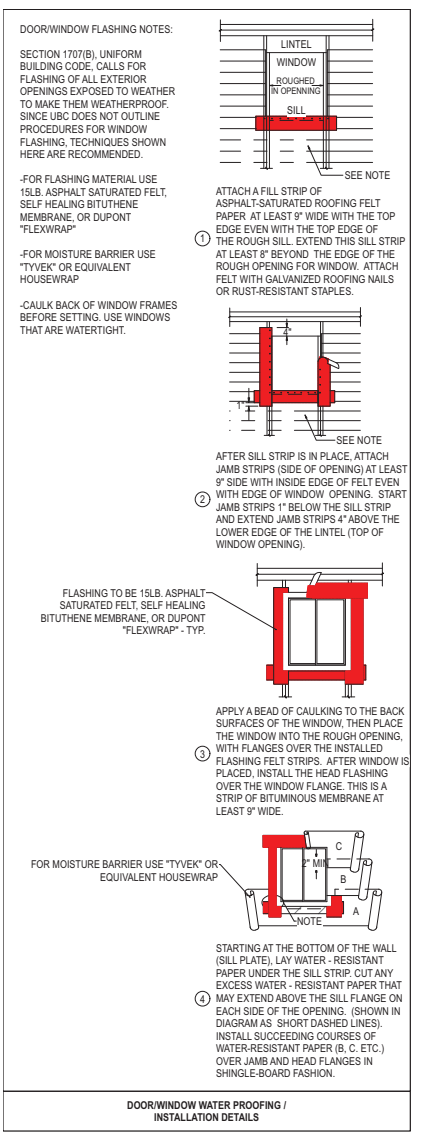
06 STAIRS DETAIL N.T.S. **07 HEADROOM DETAIL** N.T.S.



NON BEARING WALL N.T.S.



02 BEDROOM EGRESS WINDOW DETAIL
N.T.S.



WhisperGreen CEILING MOUNT FAN WITH DC MOTOR

Model	CFM	4" Duct	6" Duct
FV-08VKM3	80/0	4" Duct	
FV-13VKM3	130/0	6" Duct	

Single Speed
 FV-05VK3 50 CFM 4" Duct
 FV-08VK3 80 CFM 4" Duct
 FV-13VK3 130 CFM 6" Duct

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ISSUES / REVISIONS

NO.	DATE	DESCRIPTION

DRAWN A.HK. **CHECKED** R.K. **DATE** 08/10/2019 **REVISED DATE** 01/20/2021 **JOB NO.** 19-1853 **SHEET NO.** **A-5.1**

GS1: San Francisco Green Building Site Permit Submittal Form

Form version: February 1, 2018 (For permit applications January 2017 - December 2019)

PROJECT NAME
**2027 20TH AVE.
SAN FRANCISCO, CA**

INSTRUCTIONS:			NEW CONSTRUCTION				ALTERATIONS + ADDITIONS					PROJECT INFO					
1. Select one (1) column to identify requirements for the project. For addition and alteration projects, applicability of specific requirements may depend upon project scope. 2. Provide the Project Information in the box at the right. 3. A LEED or GreenPoint Rated Scorecard is not required with the site permit application, but using such tools as early as possible is recommended. 4. To ensure legibility of DBI archives, submittal must be a minimum of 24" x 36". Attachment GS2, GS3, GS4, GS5 or GS6 will be due with the applicable addendum. A separate "FINAL COMPLIANCE VERIFICATION" form will be required prior to Certificate of Completion. For details, see Administrative Bulletin 93. For Municipal projects, additional Environment Code Chapter 7 requirements may apply; see GS6.			CHECK THE ONE COLUMN THAT BEST DESCRIBES YOUR PROJECT →				<input checked="" type="checkbox"/> LOW-RISE RESIDENTIAL <small>R</small> 1-3 Floors	<input type="checkbox"/> HIGH-RISE RESIDENTIAL <small>R</small> 4+ Floors	<input type="checkbox"/> LARGE NON-RESIDENTIAL A, B, E, I, M 25,000 sq. ft. or greater	<input type="checkbox"/> OTHER NON-RESIDENTIAL F, H, L, S, U or A, B, E, I, M less than 25,000 sq. ft.	<input type="checkbox"/> RESIDENTIAL MAJOR ALTERATIONS + ADDITIONS <small>R</small> 25,000 sq. ft. or greater	<input type="checkbox"/> OTHER RESIDENTIAL ALTERATIONS + ADDITIONS <small>R</small> adds any amount of conditioned area	<input type="checkbox"/> NON-RESIDENTIAL MAJOR ALTERATIONS + ADDITIONS B, M 25,000 sq. ft. or greater	<input type="checkbox"/> FIRST-TIME NON-RESIDENTIAL INTERIORS A, B, I, M 25,000 sq. ft. or greater	<input type="checkbox"/> OTHER NON-RESIDENTIAL INTERIORS ALTERATIONS + ADDITIONS A, B, E, F, H, L, I, M, S, U more than 1,000 sq. ft. or \$200,000	2027 20th Ave PROJECT NAME 2140/004A BLOCK/LOT 2027 20th Ave ADDRESS R-3 PRIMARY OCCUPANCY 4,347 ± S.F. GROSS BUILDING AREA	DESIGN PROFESSIONAL or PERMIT APPLICANT (sign & date)
TITLE	SOURCE OF REQUIREMENT	DESCRIPTION OF REQUIREMENT															
LEED/GPR	Required LEED or GPR Certification Level	SFGBC 4.103.1.1, 4.103.2.1, 4.103.3.1, 5.103.1.1, 5.103.3.1 & 5.103.4.1	Project is required to achieve sustainability certification listed at right.		LEED SILVER (50+) or GPR (75+) CERTIFIED	LEED SILVER (50+) or GPR (75+) CERTIFIED	LEED GOLD (60+) CERTIFIED	n/r	LEED GOLD (60+) or GPR (75+) CERTIFIED	n/r	LEED GOLD (60+) CERTIFIED	LEED GOLD (60+) CERTIFIED	n/r				
	LEED/GPR Point Adjustment for Retention/Demolition of Historic Features/Building	SFGBC 4.104, 4.105, 5.104 & 5.105	Enter any applicable point adjustments in box at right.					n/r		n/r			n/r				
MATERIALS	LOW-EMITTING MATERIALS	CALGreen 4.504.2.1-5 & 5.504.4.1-6, SFGBC 4.103.3.2, 5.103.1.9, 5.103.3.2 & 5.103.4.2	Use products that comply with the emission limit requirements of 4.504.2.1-5, 5.504.4.1-6 for adhesives, sealants, paints, coatings, carpet systems including cushions and adhesives, resilient flooring (80% of area), and composite wood products. Major alterations to existing residential buildings must use low-emitting coatings, adhesives and sealants, and carpet systems that meet the requirements for GPR measures K2, K3 and L2 or LEED EQc2, as applicable. New large non-residential interiors and major alterations to existing residential and non-residential buildings must also use interior paints, coatings, sealants, and adhesives when applied on-site, flooring and composite wood that meet the requirements of LEED credit Low-Emitting Materials (EQc2).		4.504.2.1-5	4.504.2.1-5	LEED EQc2	5.504.4.1-6	LEED EQc2 or GPR K2, K3 & L2	4.504.2.1-5	LEED EQc2	LEED EQc2	5.504.4.1-6				
	INDOOR WATER USE REDUCTION	CALGreen 4.303.1 & 5.303.3, SFGBC 5.103.1.2, SF Housing Code sec.12A10, SF Building Code ch.13A	Meet flush/flow requirements for: toilets (1.28gpf); urinals (0.125gpf wall, 0.5gpf floor); showerheads (2.0gpm); lavatories (1.2gpm private, 0.5gpm public/common); kitchen faucets (1.8gpm); wash fountains (1.8gpm); metering faucets (0.2gpc); food waste disposers (1gpm/8gpm). Residential projects must upgrade all non-compliant fixtures per SF Housing Code sec.12A10. Large non-residential interiors, alterations & additions must upgrade all non-compliant fixtures per SF Building Code ch.13A. New large non-residential buildings must also achieve minimum 30% indoor potable water use reduction as calculated to meet LEED credit Indoor Water Use Reduction (WEC2).				LEED WEC2 (2 pts)										
WATER	NON-POTABLE WATER REUSE	Health Code art.12C	New buildings ≥ 40,000 sq. ft. must calculate a water budget. New buildings ≥250,000 sq. ft. must treat and use available rainwater, graywater, and foundation drainage and use in toilet and urinal flushing and irrigation. See www.sfwater.org for details.		n/r			n/r	n/r	n/r	n/r	n/r	n/r				
	WATER-EFFICIENT IRRIGATION	Administrative Code ch.63	New construction projects with aggregated landscape area ≥500 sq. ft., or existing projects with modified landscape area ≥1,000 sq. ft. shall use low water use plants or climate appropriate plants, restrict turf areas and comply with Model Water Efficient Landscape Ordinance restrictions by calculated ETAF (.55 for residential, .45 for non-residential or less) or by prescriptive compliance for projects with ≤2,500 sq. ft. of landscape area. See www.sfwater.org for details.														
	WATER METERING	CALGreen 5.303.1	Provide submeters for spaces projected to consume >1,000gal/day (or >100gal/day in buildings >50,000 sq. ft.).		n/r	n/r			n/r	n/r							
ENERGY	ENERGY EFFICIENCY	CA Energy Code	Comply with all provisions of the CA Title 24 Part 6 Energy Standards.														
	BETTER ROOFS	SFGBC 4.201.1 & 5.201.1.2	New non-residential buildings >2,000 sq. ft. and ≤10 occupied floors, and new residential buildings of any size and ≤10 occupied floors, must designate 15% of roof Solar Ready, per Title 24 rules. Install photovoltaics or solar hot water systems in this area. With Planning Department approval, projects subject to SFPUC Stormwater Requirements may substitute living roof for solar energy systems.			≤10 floors			n/r	n/r	n/r	n/r	n/r				
	RENEWABLE ENERGY	SFGBC 5.201.1.3	Non-residential buildings with ≥11 floors must acquire at least 1% of energy from on-site renewable sources, purchase green energy credits, or achieve 5 points under LEED credit Optimize Energy Performance (EAc2).		n/r	n/r			n/r	n/r	n/r	n/r	n/r				
	COMMISSIONING (Cx)	CALGreen 5.410.2 - 5.410.4.5.1	For projects ≥10,000 sq. ft. include OPR, BOD, and commissioning plan in design & construction. Commission to comply. Alterations & additions with new HVAC equipment must test and adjust all equipment.		n/r	n/r	LEED EAc1 opt. 1		n/r	n/r							
PARKING	BICYCLE PARKING	CALGreen 5.106.4, Planning Code 155.1-2	Provide short- and long-term bike parking equal to 5% of motorized vehicle parking, or meet SF Planning Code sec.155.1-2, whichever is greater.		SF Planning Code sec.155.1-2	SF Planning Code sec.155.1-2			if applicable SF Planning Code sec.155.1-2	if applicable SF Planning Code sec.155.1-2			if >10 stalls added				
	DESIGNATED PARKING	CALGreen 5.106.5.2	Mark 8% of total parking stalls for low-emitting, fuel efficient, and carpool/van pool vehicles.		n/r	n/r			n/r	n/r			if >10 stalls added				
	WIRING FOR EV CHARGERS	SFGBC 4.106.4 & 5.106.5.3	Permit application January 2018 or after: Construct all new off-street parking spaces for passenger vehicles and trucks with dimensions capable of installing EVSE. Install service capacity and panelboards sufficient to provide ≥40A 208 or 240V to EV chargers at 20% of spaces. Install ≥40A 208 or 240V branch circuits to ≥10% of spaces, terminating close to the proposed EV charger location. Installation of chargers is not required. Projects with zero off-street parking exempt. See SFGBC 4.106.4 or SFGBC 5.106.5.3 for details. Permit applications prior to January 2018 only: Install infrastructure to provide electricity for EV chargers at 6% of spaces for non-residential (CalGreen 5.106.5.3), 3% of spaces for multifamily with ≥17 units (CalGreen 4.106.4.2), and each space in 1-2 unit dwellings (CalGreen 4.106.4.1). Installation of chargers is not required.						applicable for permit application January 2018 or after	n/r	applicable for permit application January 2018 or after	n/r	n/r				
WASTE DIVERSION	RECYCLING BY OCCUPANTS	SF Building Code AB-066	Provide adequate space and equal access for storage, collection and loading of compostable, recyclable and landfill materials.														
	CONSTRUCTION & DEMOLITION (C&D) WASTE MANAGEMENT	SFGBC 4.103.2.3 & 5.103.1.3.1, Environment Code ch. 14, SF Building Code ch.13B	For 100% of mixed C&D debris use registered transporters and registered processing facilities with a minimum of 65% diversion rate. Divert a minimum of 75% of total C&D debris if noted.			75% diversion	75% diversion					75% diversion					
HVAC	HVAC INSTALLER QUALS	CALGreen 4.702.1	Installers must be trained and certified in best practices.				n/r	n/r			n/r	n/r	n/r				
	HVAC DESIGN	CALGreen 4.507.2	HVAC shall be designed to ACCA Manual J, D, and S.				n/r	n/r			n/r	n/r	n/r				
	REFRIGERANT MANAGEMENT	CALGreen 5.508.1	Use no halons or CFCs in HVAC.		n/r	n/r			n/r	n/r							
GOOD NEIGHBOR	LIGHT POLLUTION REDUCTION	CA Energy Code, CALGreen 5.106.8	Comply with CA Energy Code for Lighting Zones 1-4. Comply with 5.106.8 for Backlight/Uplight/Glare.		n/r	n/r			n/r	n/r							
	BIRD-SAFE BUILDINGS	Planning Code sec.139	Glass facades and bird hazards facing and/or near Urban Bird Refuges may need to treat their glass for opacity.														
	TOBACCO SMOKE CONTROL	CALGreen 5.504.7, Health Code art.19F	For non-residential projects, prohibit smoking within 25 feet of building entries, air intakes, and operable windows. For residential projects, prohibit smoking within 10 feet of building entries, air intakes, and operable windows and enclosed common areas.														
POLLUTION PREVENTION	STORMWATER CONTROL PLAN	Public Works Code art.4.2 sec.147	Projects disturbing ≥5,000 sq. ft. in combined or separate sewer areas, or replacing ≥2,500 impervious sq. ft. in separate sewer area, must implement a Stormwater Control Plan meeting SFPUC Stormwater Management Requirements. See www.sfwater.org for details.						if project extends outside envelope	if project extends outside envelope	if project extends outside envelope	if project extends outside envelope	if project extends outside envelope				
	CONSTRUCTION SITE RUNOFF CONTROLS	Public Works Code art.4.2 sec.146	Provide a construction site Stormwater Pollution Prevention Plan and implement SFPUC Best Management Practices. See www.sfwater.org for details.		if disturbing ≥5,000 sq. ft.		if disturbing ≥5,000 sq. ft.	if disturbing ≥5,000 sq. ft.	if project extends outside envelope	if project extends outside envelope	if project extends outside envelope	if project extends outside envelope	if project extends outside envelope				
INDOOR ENVIRONMENTAL QUALITY	ACOUSTICAL CONTROL	CALGreen 5.507.4.1-3, SF Building Code sec.1207	Non-residential projects must comply with sound transmission limits (STC-50 exteriors near freeways/airports; STC-45 exteriors if 65db Leq at any time; STC-40 interior walls/floor-ceilings between tenants). New residential projects' interior noise due to exterior sources shall not exceed 45dB.						n/r	n/r							
	AIR FILTRATION (CONSTRUCTION)	CALGreen 4.504.1-3 & 5.504.1-3	Seal permanent HVAC ducts/equipment stored onsite before installation.														
	AIR FILTRATION (OPERATIONS)	CALGreen 5.504.5.3, SF Health Code art.38	Non-residential projects must provide MERV-8 filters on HVAC for regularly occupied, actively ventilated spaces. Residential new construction and major alteration & addition projects in Air Pollutant Exposure Zones per SF Health Code art.38 must provide MERV-13 filters on HVAC.		if applicable	if applicable			if applicable	n/r							
	CONSTRUCTION IAQ MANAGEMENT PLAN	SFGBC 5.103.1.8	During construction, meet SMACNA IAQ guidelines; provide MERV-8 filters on all HVAC.		n/r	n/r	LEED EQc3	n/r	n/r	n/r	n/r	n/r	n/r				
RESIDENTIAL	GRADING & PAVING	CALGreen 4.106.3	Show how surface drainage (grading, swales, drains, retention areas) will keep surface water from entering the building.				n/r	n/r	if applicable	if applicable	n/r	n/r	n/r				
	RODENT PROOFING	CALGreen 4.406.1	Seal around pipe, cable, conduit, and other openings in exterior walls with cement mortar or DBI-approved similar method.				n/r	n/r			n/r	n/r	n/r				
	FIREPLACES & WOODSTOVES	CALGreen 4.503.1	Install only direct-vent or sealed-combustion, EPA Phase II-compliant appliances.				n/r	n/r			n/r	n/r	n/r				
	CAPILLARY BREAK, SLAB ON GRADE	CALGreen 4.505.2	Slab on grade foundation requiring vapor retarder also requires a capillary break such as: 4 inches of base 1/2-inch aggregate under retarder; slab design specified by licensed professional.				n/r	n/r			n/r	n/r	n/r				
	MOISTURE CONTENT	CALGreen 4.505.3	Wall and floor wood framing must have <19% moisture content before enclosure.				n/r	n/r			n/r	n/r	n/r				
	BATHROOM EXHAUST	CALGreen 4.506.1	Must be ENERGY STAR compliant, ducted to building exterior, and its humidistat shall be capable of adjusting between <50% to >80% (humidistat may be separate component).				n/r	n/r			n/r	n/r	n/r				



SIA CONSULTING CORPORATION
4742 MISSION STREET
SAN FRANCISCO CA 94112
TEL: (415) 741.1292
FAX: (415) 849.1252
WWW.SIACONSULT.COM

SHEET TITLE
Green Building Checklist

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