



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

DATE: April 6, 2016
TO: Historic Preservation Commission
FROM: Justin Greving, Preservation Planner, 415-575-9169
REVIEWED BY: Timothy Frye, Historic Preservation Officer, 415-575-6822
RE: Façade Retention Policy Discussion Part 2

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On December 8, 2015, the Historic Preservation Commission discussed the issue of façade retention and explored a range of projects that featured some form of façade retention. At the end of the discussion, commissioners requested a follow-up presentation focusing on San Francisco-based façade retention projects with additional information about the process of design review and approval for these projects. Planning Staff will provide a brief presentation on various examples of façade retention projects in San Francisco before opening the conversation up to commissioners to discuss the specific projects in more detail.

To aid in the discussion, Planning Staff have provided drawings and photos of several of the projects scheduled for discussion.

Attachment A: Project photos (11 pages)

Attachment B: Project drawings (with corresponding page numbers)

	<u>Project Address</u>	<u>Date Approved</u>	<u>Page Number</u>
1.	1 Sansome Street	1981	1-2
2.	1634 Pine Street	2014	3-4
3.	1314 Polk Street	2000	5-6
4.	690 Market Street	2004	7-9
5.	736 Mission Street	2001	(none)
6.	1800 Market Street	1998	11-14
7.	178 Townsend Street	2009	15-20
8.	421 Arguello Street	2004	21-22
9.	1335 Larkin Street	2015	23-26
10.	469 Eddy Street	2016	27-32
11.	39 Chattanooga Street	2008	33-36
12.	15 Baker Street	2014	37-41

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Façade Retention Policy Discussion Part 2
Attachment A: Project photos



1. 1 Sansome, photo taken pre-alteration (Image credit: SF Planning Department files)



2. 1 Sansome, photo taken after 1982 alteration (Image credit:
<http://barkerpacific.com/pages/projects.php?project=onesansome>)



3. 1634 Pine Street, under construction (Image credit: Google street view)



4. 1634 Pine Street, under construction (Image credit: SF Planning Department)



5. 1314 Polk Street, photo taken ca. 1980s (Image credit: SF Planning Department files)



6. 1314 Polk Street, current photo (Image credit: SF Planning Department)



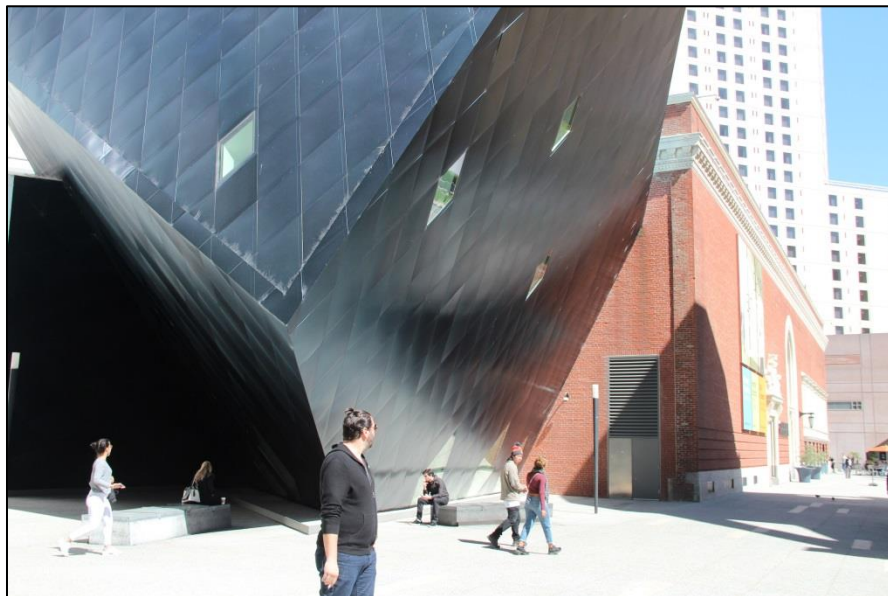
7. 690 Market Street, before removal of 1960s cladding (Image credit: SF City Guides)



8. 690 Market Street, current photo (Image Credit: SF Planning Department)



9. 736 Mission Street, before alterations (Image credit: SF Planning Department files)



10. 736 Mission Street, current photo (Image credit: SF Planning Department)



11. 1800 Market Street, before renovation (Image credit: http://www.friendsof1800.org/HISTORY/grand/fallon99_600.jpg)



12. 1800 Market Street, after renovation
(Image credit: http://imgs.sfgate.com/inline/c/pxs/2004/04/11/cm_lgbt-3.jpg)



13. 178 Townsend Street, before alterations (Image credit: Google street view)



14. 178 Townsend Street, current photo (Image credit: SF Planning department)



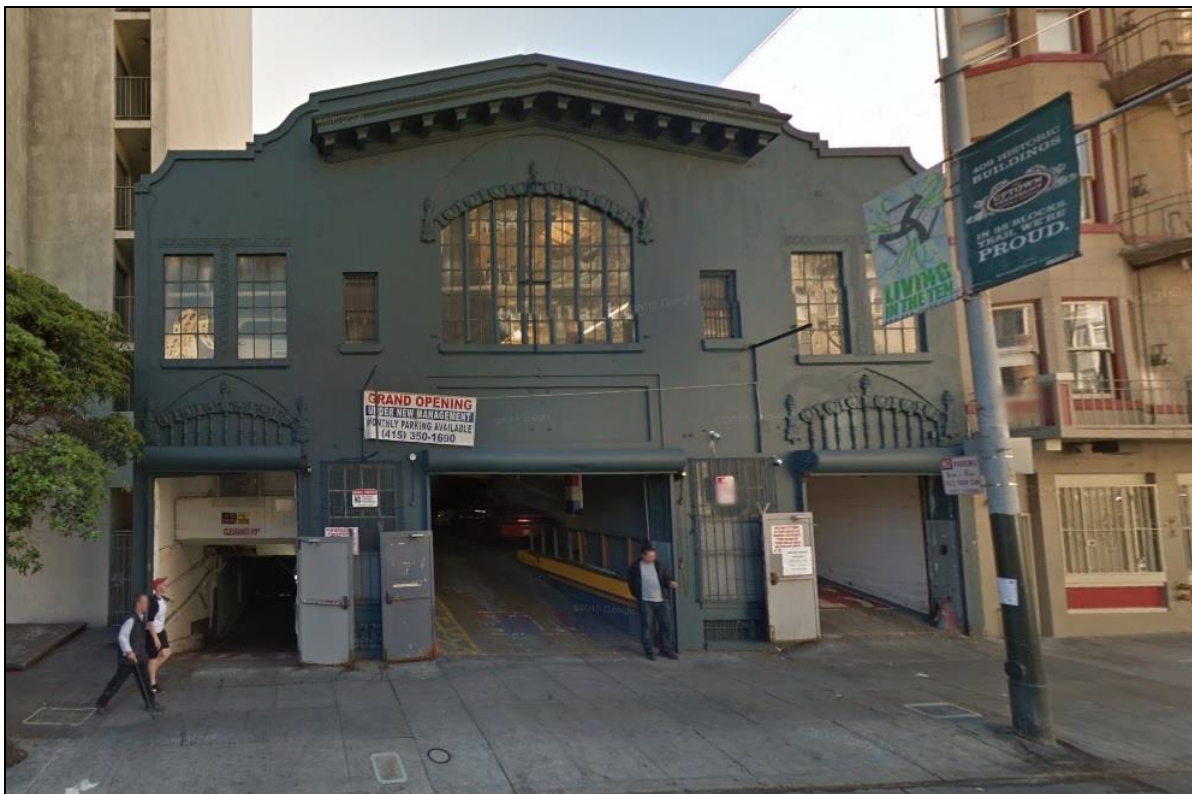
15. 421 Arguello Street, under construction (Image credit: Google street view)



16. 421 Arguello Street, current photo (Image credit: Google street view)



17. 1335 Larkin Street, current photo (Image credit: SF Planning Department)



18. 469 Eddy Street, current photo (Image credit: google street view)



19. 39 Chattanooga Street, current photo (Image credit: Bing maps)



20. 15 Baker Street, before alterations (Image credit: Google street view)



21. 15 Baker Street, current photo (Image credit: Google street view)

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Attachment B: Project drawings (with corresponding page numbers)

<u>Project Address</u>	<u>Date Approved</u>	<u>Page Number</u>
1. 1 Sansome Street	1981	1-2
2. 1634 Pine Street	2014	3-4
3. 1314 Polk Street	2000	5-6
4. 690 Market Street	2004	7-9
5. 736 Mission Street	2001	(none)
6. 1800 Market Street	1998	11-14
7. 178 Townsend Street	2009	15-20
8. 421 Arguello Street	2004	21-22
9. 1335 Larkin Street	2015	23-26
10. 469 Eddy Street	2016	27-32
11. 39 Chattanooga Street	2008	33-36
12. 15 Baker Street	2014	37-41

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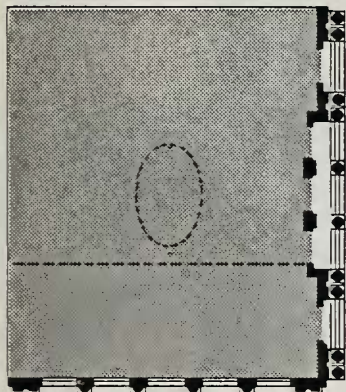
Source: WILLIAM L. PEREIRA ASSOCIATES
PLANNERS · ARCHITECTS · ENGINEERS

FACADE PRESERVATION

1908

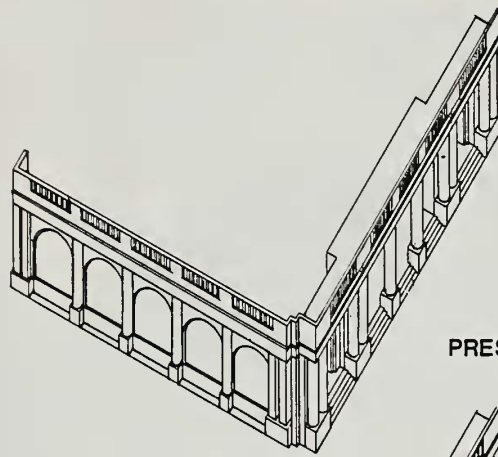
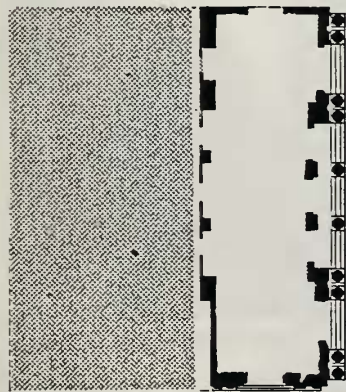


1923

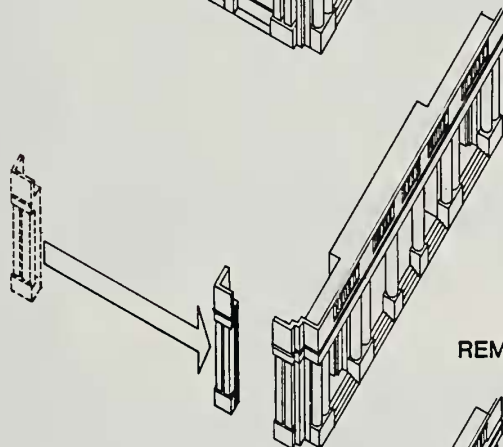


1981

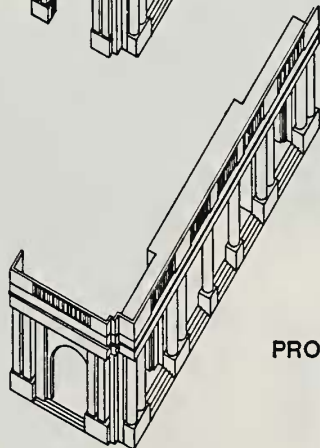
PROPOSED



PRESENT FACADE



REMOVAL AND RELOCATION



PROPOSED FACADE

PROPOSED PRESERVATION

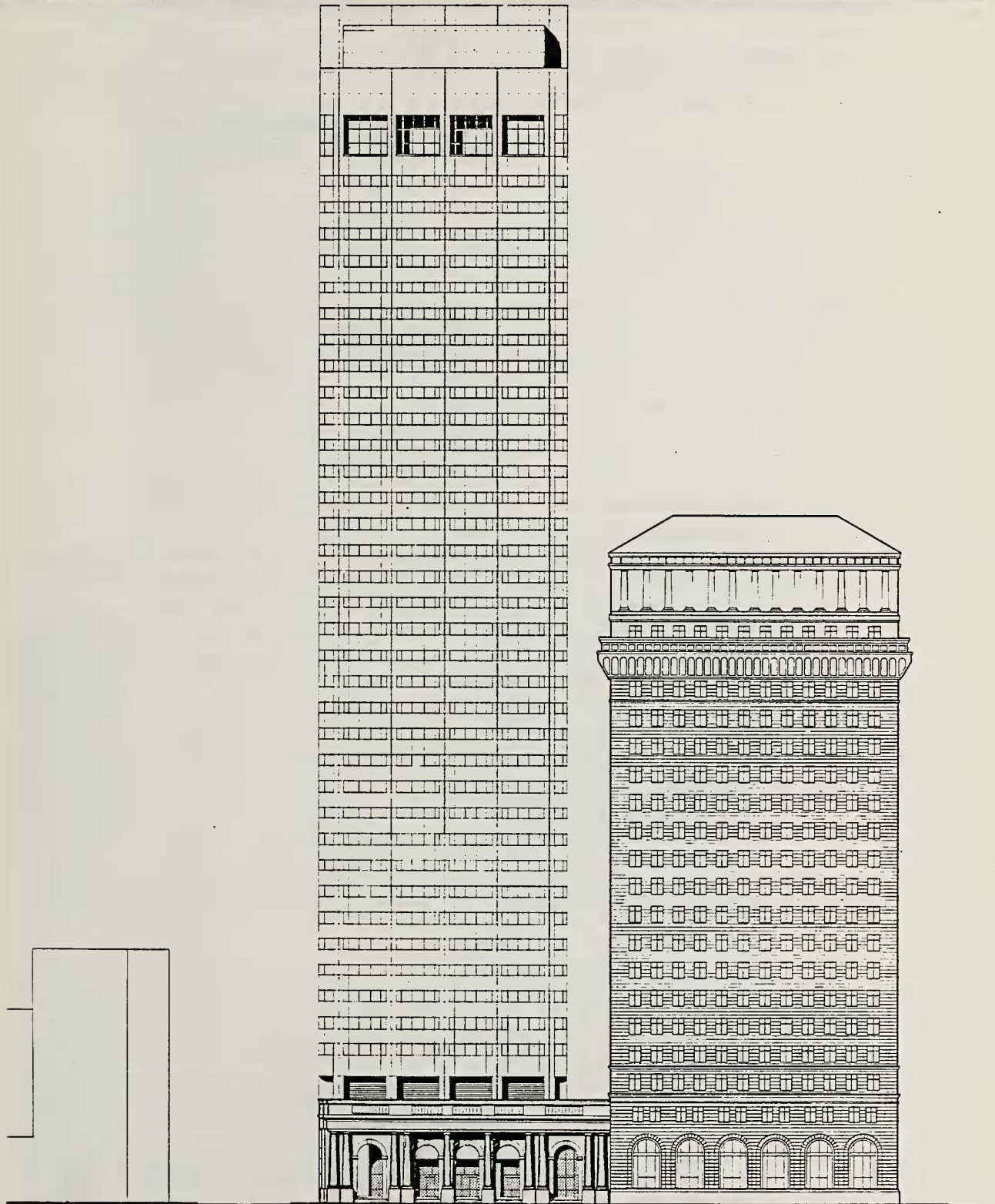


figure 7

PROPOSED ONE SANSOME PROJECT

Source: WILLIAM L PEREIRA ASSOCIATES
PLANNERS ARCHITECTS-ENGINEERS

SANSOME STREET ELEVATION



Sansome Street Elevation

0 20 40 80 Feet

1634

PINE ST



05 May 2014

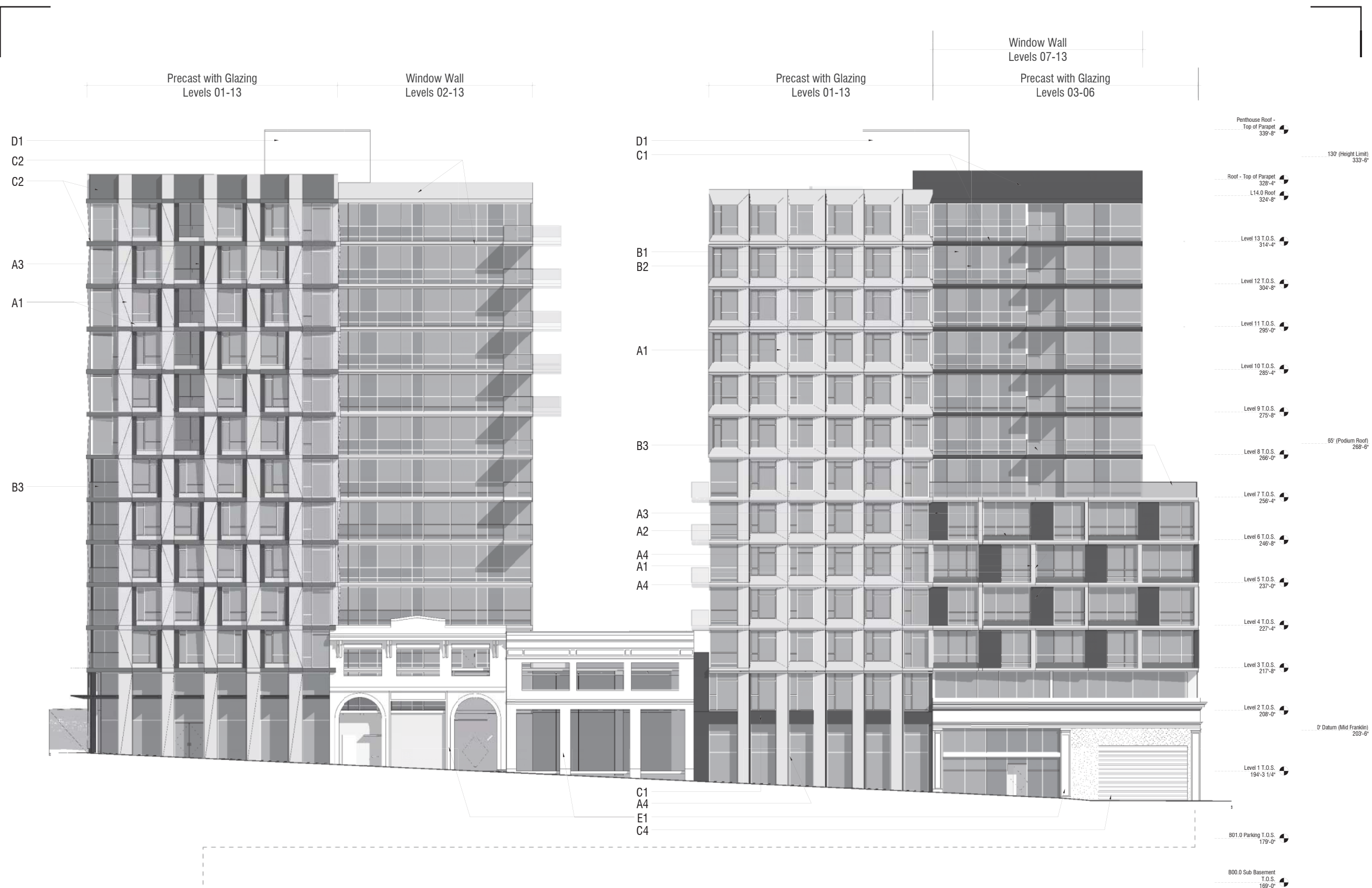
KH

Rendering - Pine Street

A5.2

1634

PINE ST



Keynotes (See A3.7 for Materials Palette)

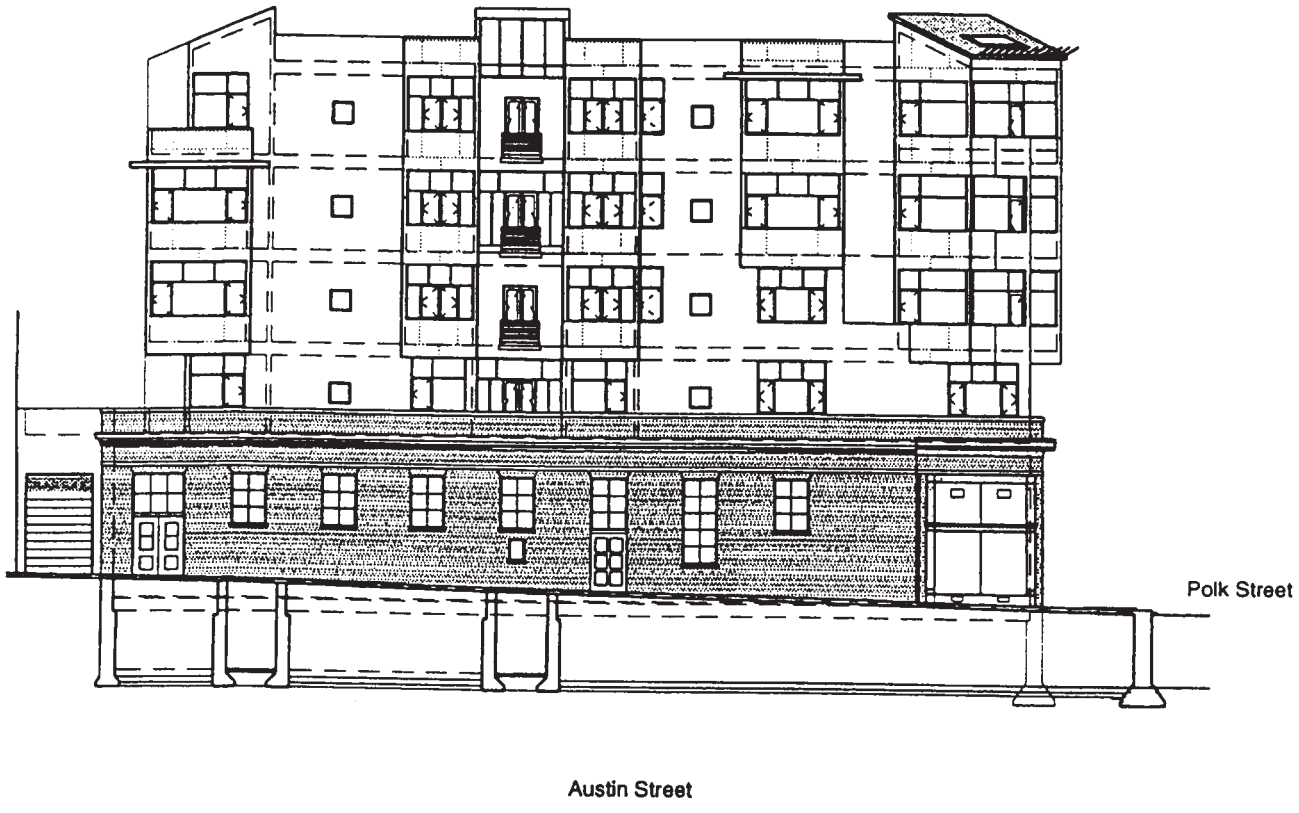
- | | | | | | | | |
|----|----------------------------------|----|---|----|------------------------|----|-----------------------------|
| A1 | Precast - color 01 | A5 | Sealed structural concrete with climbing plants | C1 | Metal panel - color 03 | D1 | Fiber cement panel cladding |
| A2 | Precast - color 02 | B1 | Vision glazing | C2 | Metal panel - white | E1 | (E) facade to remain |
| A3 | Precast - color 03 | B2 | Spandrel glazing | C3 | Louver | | |
| A4 | Porcelain at return/oblique face | B3 | Laminated glass guardrail | C4 | Overhead coiling door | | |

05 May 2014



Elevation
- Pine

A3.1

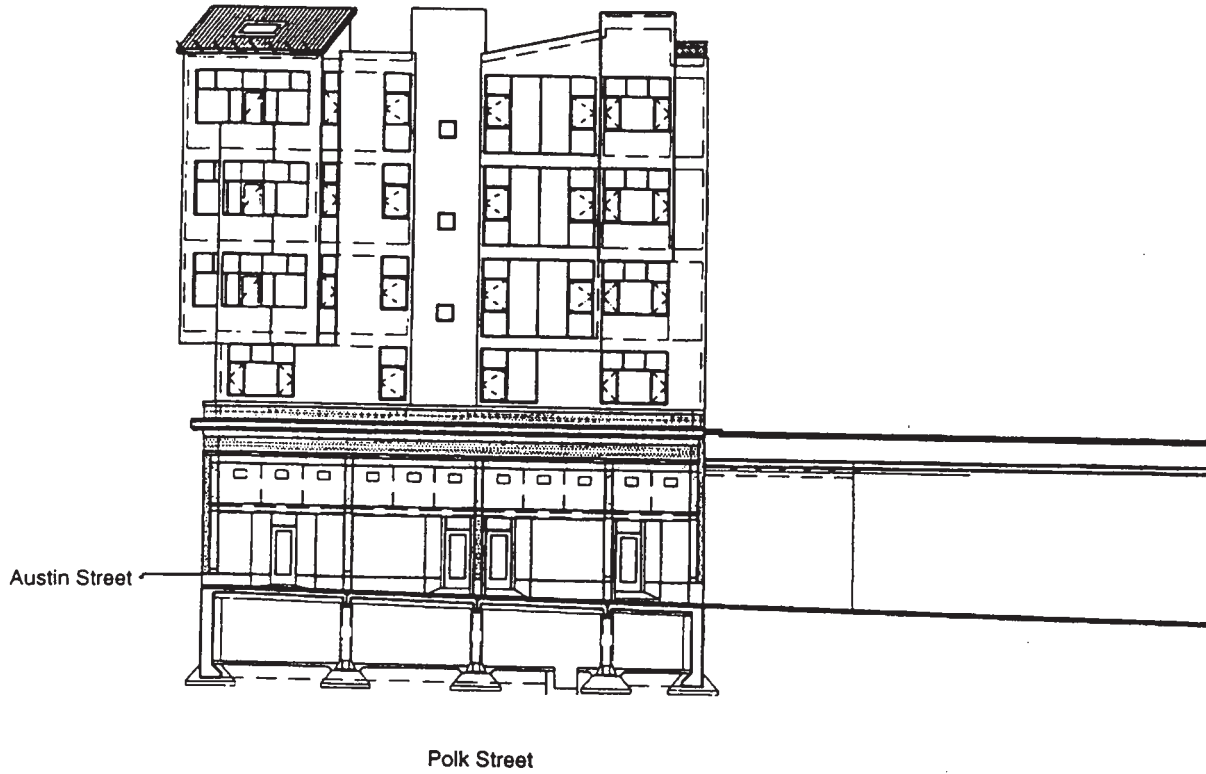


Source: Hauser Architects

NORTH ELEVATION FIGURE 5

*Initial Study
December 1, 2000*

*2000.854E/1314 Polk Street
Page 7*

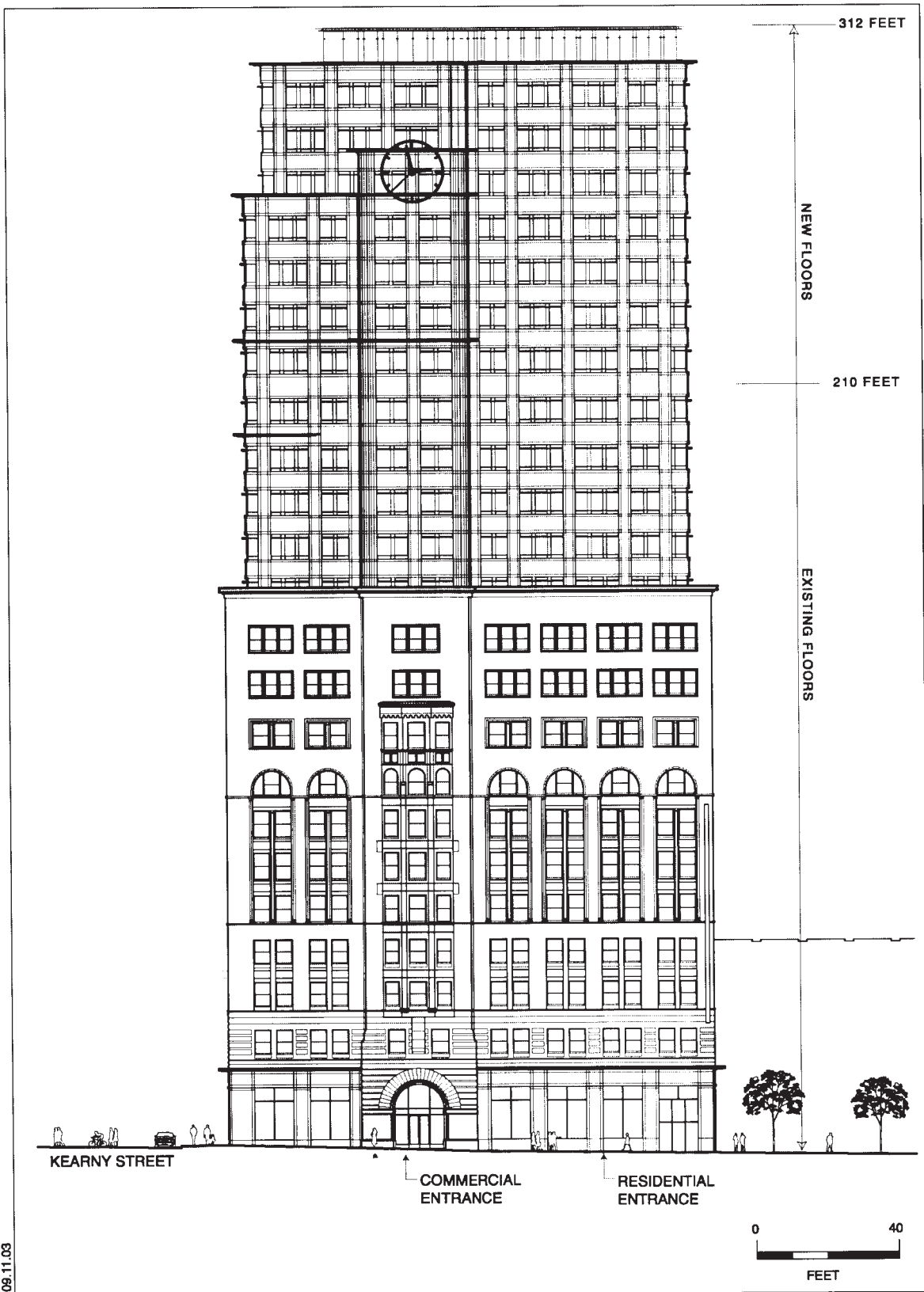


Source: Hauser Architects

WEST ELEVATION FIGURE 6

*Initial Study
December 1, 2000*

*2000.854E/1314 Polk Street
Page 8*

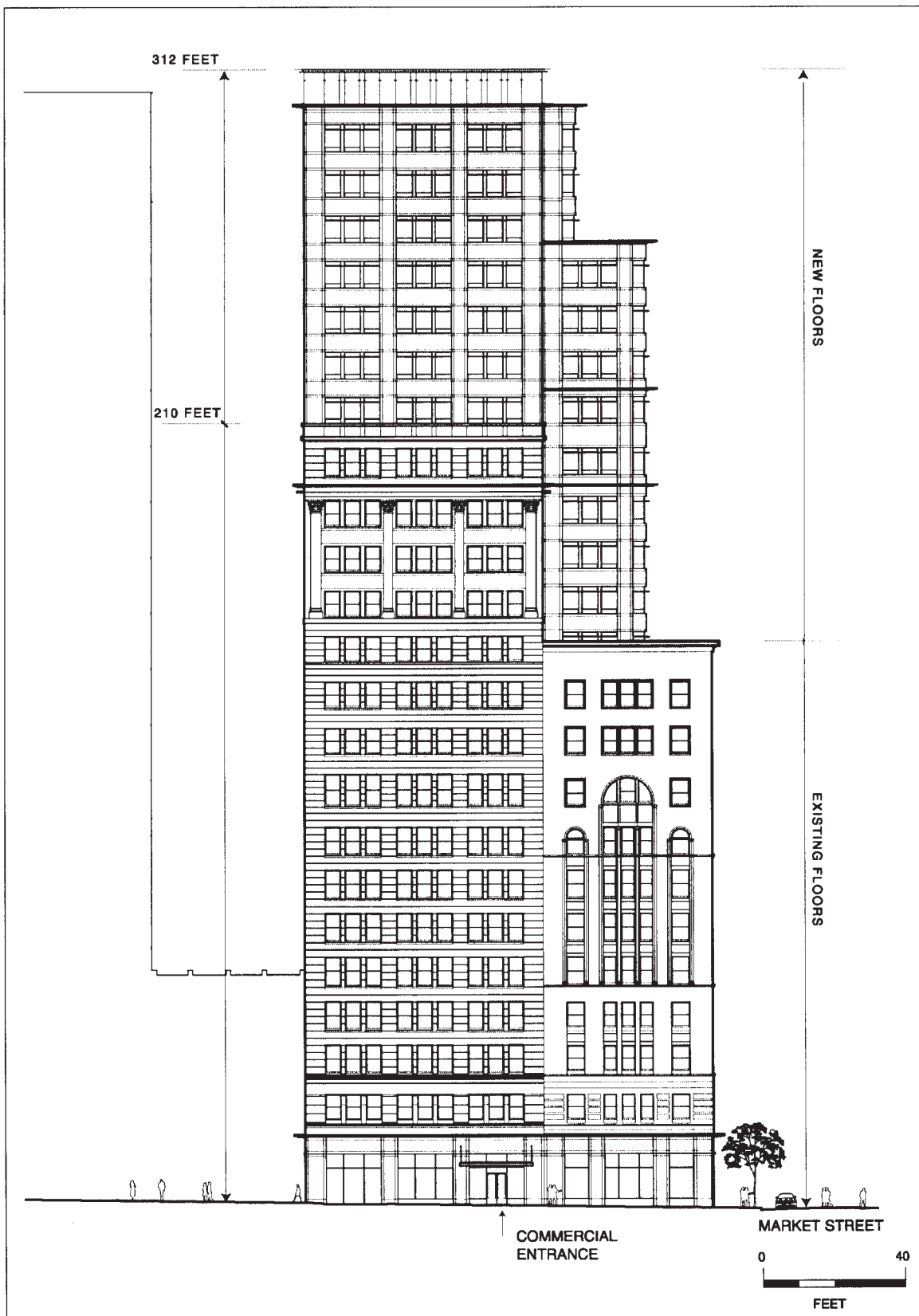


SOURCE: The Office of Charles F. Bloszles, Tumstone Consulting

690 MARKET STREET

2003.0584E

FIGURE 3: MARKET STREET ELEVATION

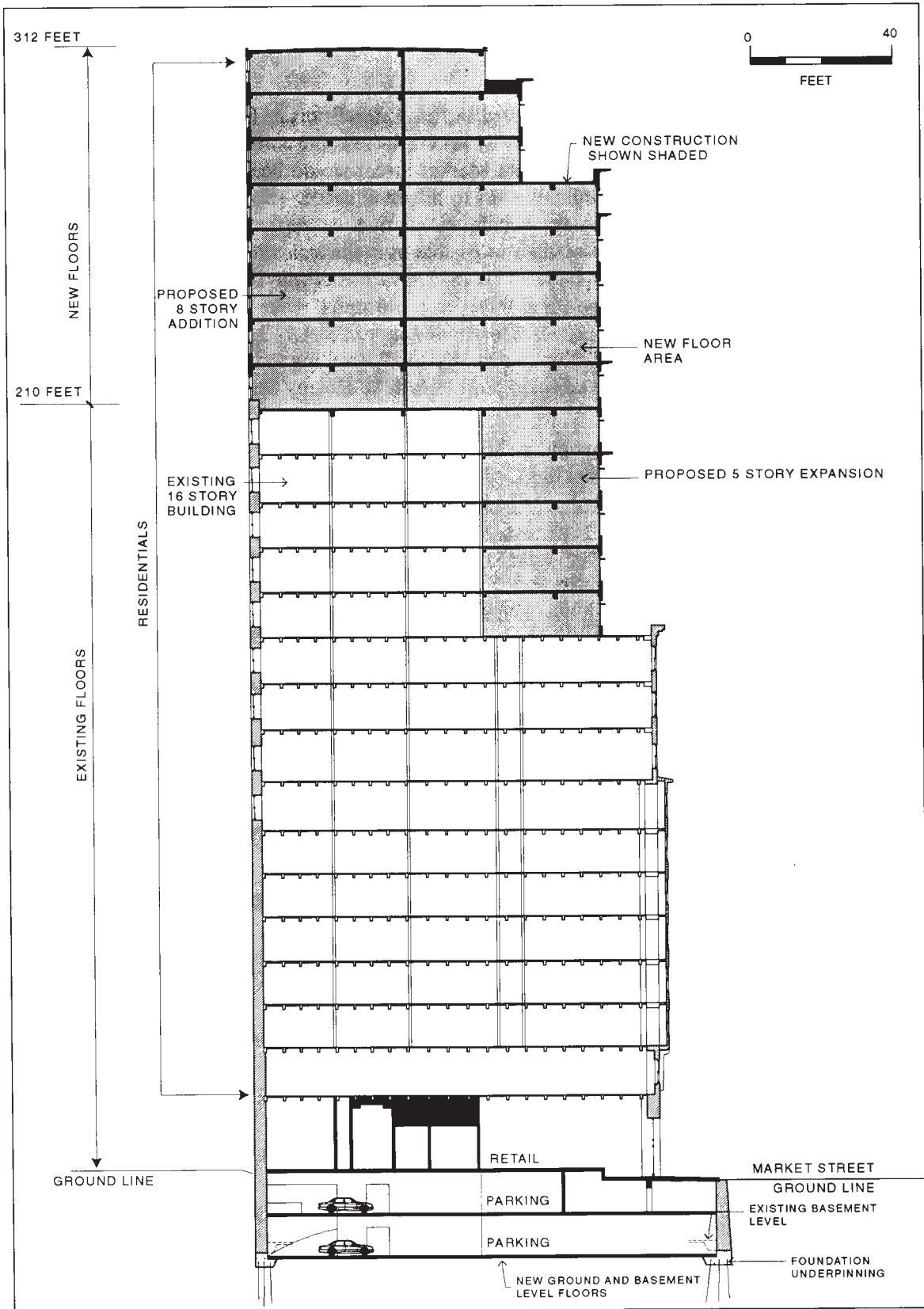


SOURCE: The Office of Charles F. Bloszles, Turnstone Consulting

690 MARKET STREET

2003.0584E

FIGURE 4: KEARNY STREET ELEVATION



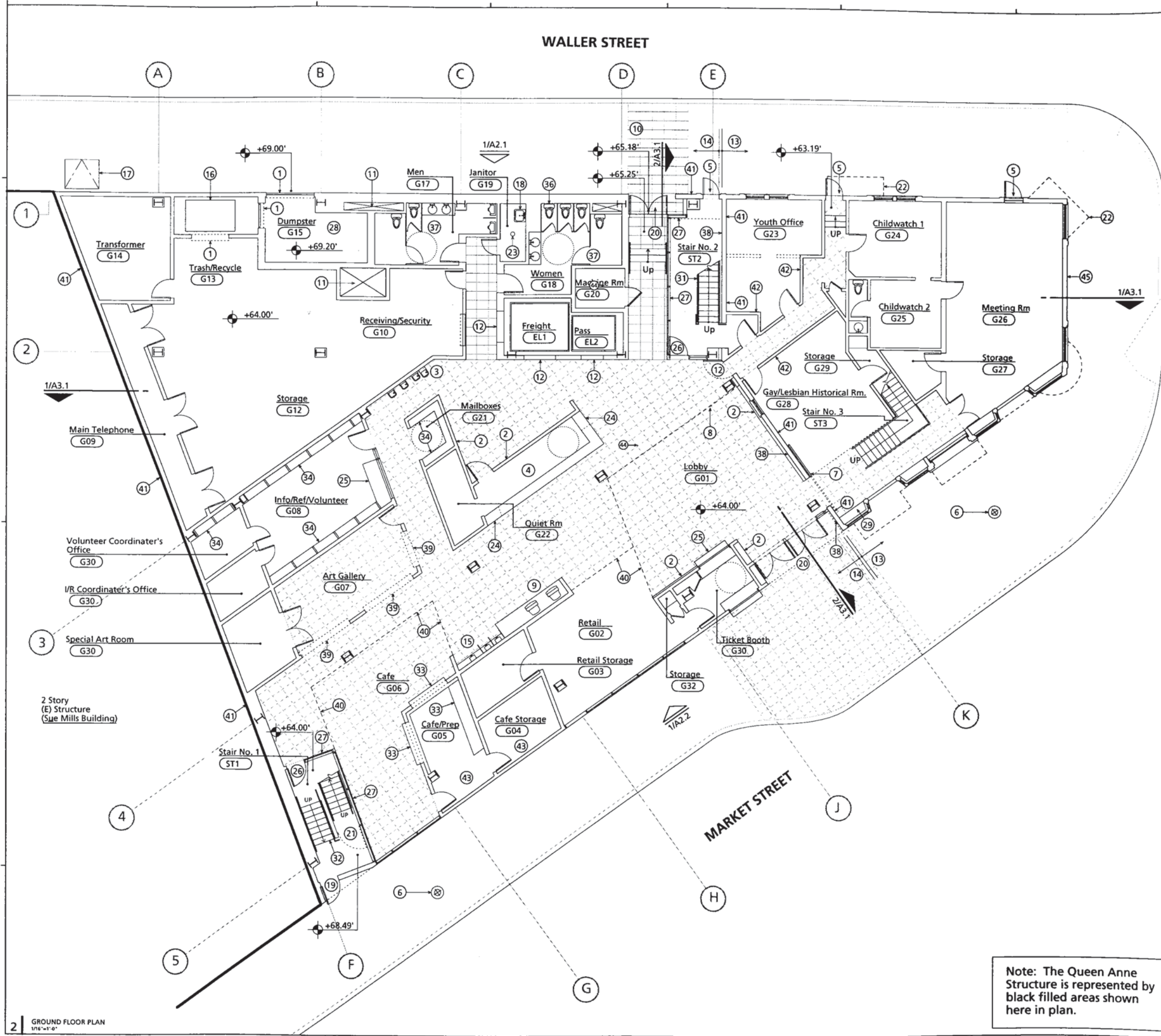
SOURCE: The Office of Charles F. Blosszies, Turnstone Consulting

690 MARKET STREET

2003.0584E

FIGURE 5: BUILDING SECTION

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- GENERAL NOTES**
- A. All "hold open" doors, referred to in keynotes below are held in the open position by an electronic device. The doors will close automatically in the event of fire.
 - B. All doors at (N) construction are hollow metal doors, unless otherwise noted.
 - C. All doors at (E) Queen Anne structure are wood, restored/replaced as required, unless otherwise noted.
 - D. All floors are sealed concrete unless otherwise noted.
 - E. Key notes differ from sheet to sheet and are specific to this floor only.
- KEY NOTES**
- 1 Exterior Roll-Up Door
 - 2 Steel framed and homoseite custom designed bulletin boards and information.
 - 3 Drinking Fountains
 - 4 Information and Referral Desk
 - 5 Emergency Exit Only
 - 6 Lightoller (street lamp)
 - 7 Sliding fire door with hold open.
 - 8 Line of Floor 2 Lobby above, shown dotted.
 - 9 Computer terminals for visitor information.
 - 10 State tile floor of Lobby area will be carried out to (E) sidewalk.
 - 11 Vertical shaft space for mechanical, electrical and plumbing systems. Assume all shaft construction as 2hr fire resistive.
 - 12 Swinging fire door with hold open at elevators and stair enclosures.
 - 13 Extent of existing Queen Anne Structure, except at Waller St., (E) porch facade between D and E lines will be refurbished.
 - 14 Start of new construction.
 - 15 Pay Telephones.
 - 16 Platform lift.
 - 17 Access to Transformer Room from Waller Street.
 - 18 Utility Sink
 - 19 Entry to Cafe and Retail.
 - 20 Aluminum door with full lite glass panel
 - 21 Stair Gate.
 - 22 Line of (E) Queen Anne structure above
 - 23 Floor Drain at Janitor Closet. Janitor closets will have 42" wainscot with resilient materials.
 - 24 Flip-Up Counter
 - 25 28" High Built-in Counter
 - 26 Hollow metal door with full lite glass panel.
 - 27 2hr rated glass and steel stair enclosure.
 - 28 Dumpster area is open to exterior. This area should be treated with materials which are resilient to weather and dirt.
 - 29 "Reversible" Custom designed steel framed display at interior of store.
 - 30 Kitchen Flooring, integral epoxy flooring.
 - 31 Custom designed steel stairs with metal treads.
 - 32 Metal stair with concrete filled pan treads.
 - 33 Stainless steel counters.
 - 34 Wood / Unistrut custom storage assembly with open shelving.
 - 35 (N) Steel and glass rail stair
 - 36 Wallhung fixture.
 - 37 Vinyl composition tile flooring.
 - 38 Channel siding to match (E) Queen Anne Structure.
 - 39 Interior Roll-up Shutter.
 - 40 Interior Roller Gate.
 - 41 4 hour rated construction
 - 42 (N) partitions in (E) Queen Anne Structure.
 - 43 Integral epoxy flooring.
 - 44 6" seismic joint between (E) Queen Anne Structure and new construction
 - 45 Location of "Reversible" building signage.
- LEGEND**
- 1/A4.1 Building Section: see, Drawing 1, Sheet A4.1
 - 1/A3.1 Elevation: see, Drawing 1, Sheet A3.1
 - G01 Room Number
 - △ Revision Number
 - Partition Type
 - Keynote
 - Indicates ADA accessible wheelchair turnaround
- NOTES AND LEGEND**
NO SCALE

Community Center Project

Architect
Cee/Pfau Collaborative

2500 17th Street
San Francisco, CA 94116
415.222.7255
415.222.7266 (fax)

- Design Consultants**
- Structural Design Engineers**
- Rabinovich Engineering
1100 Market Street, Suite 100
San Francisco, CA 94102
415.774.1100
- Acoustics**
- Nigel Breitz Acoustics
1000 Market Street, Suite 100
San Francisco, CA 94102
415.774.1100
- Lighting by Design**
- Polytech Associates
1000 Market Street, Suite 100
San Francisco, CA 94102
415.774.1100
- Roof Jensen Associates**
- Page & Turnbull, Inc.

- Client Team**
- Community Center Project Inc.
- Michael Simmons Property Development
- Trans Pacific Geotechnical Consultants, Inc.

Landmarks Preservation Advisory Board Presentation

No.	Date	Issues and Revisions	By	Check
08-08-98		50% Schematic Design Pricing Set		
08-09-98		Landmarks Submittal Set		
08-20-98		Landmarks Submittal Set		

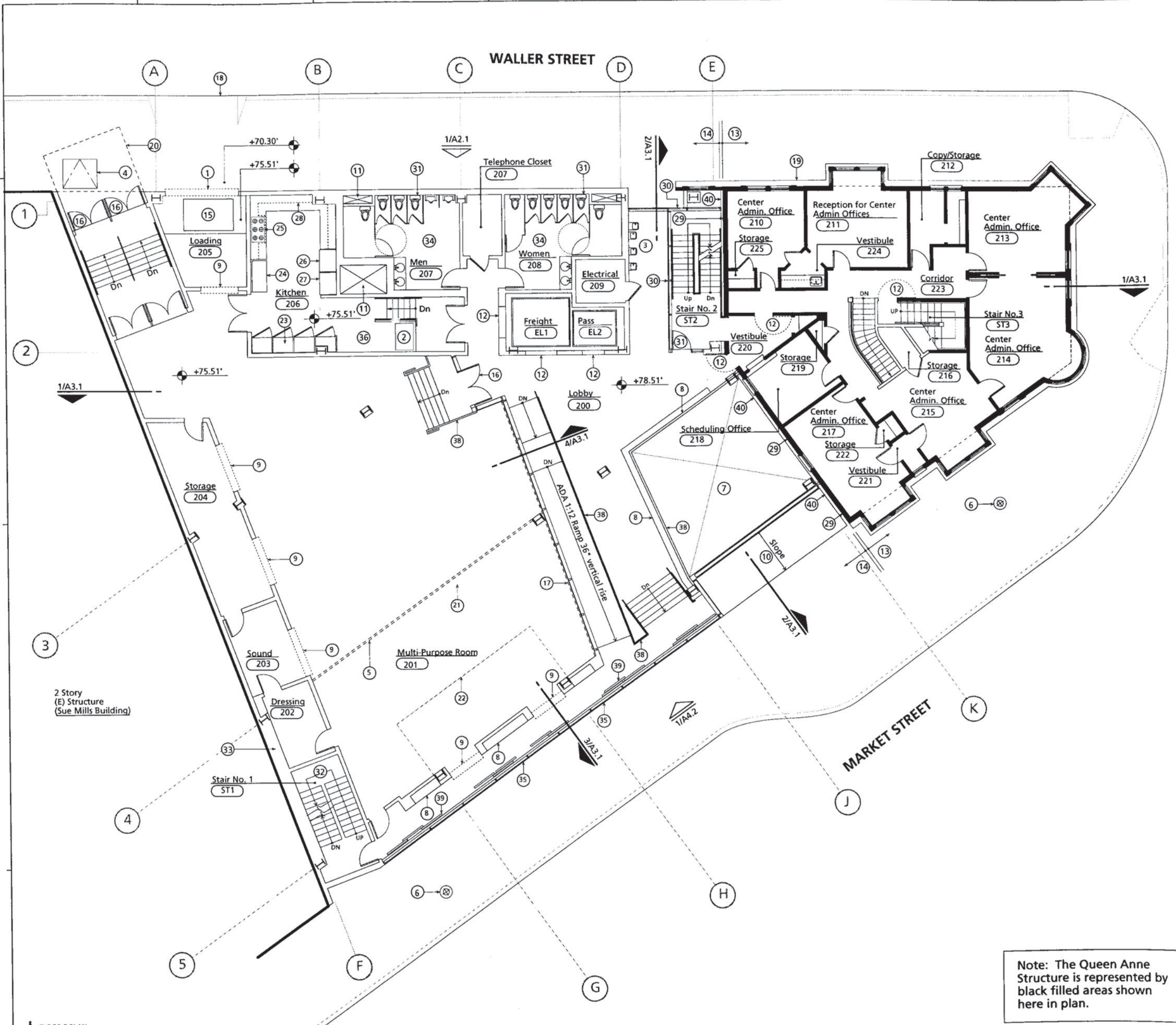
Scale: 1/16" = 1'-0"

Project Name: Lesbian Gay Bisexual Transgender COMMUNITY CENTER PROJECT

Project Number: 9701

Description: GROUND FLOOR PLAN

Sheet: **A1.1**
11



GENERAL NOTES

A. All "hold open" doors, referred to in keynotes below are held in the open position by an electronic device. The doors will close automatically in the event of fire.

B. All doors at (N) construction are hollow metal doors, unless otherwise noted.

C. All doors at (E) Queen Anne structure are wood, restored/replaced as required, unless otherwise noted.

D. (N) Floor Finish within (E) Queen Anne structure to be Commercial Grade Carpet unless otherwise noted.

- KEY NOTES**
- 1 Roll-up door, aluminum frame w/ glass inset.
 - 2 Lift
 - 3 Drinking Fountains
 - 4 Transformer Room street access at sidewalk
 - 5 Acoustic movable partition
 - 6 Lightoller (street lamp)
 - 7 Open to below
 - 8 Built-in Seating Assembly
 - 9 Roll-up door
 - 10 Sloping surface of Lobby Atrium wall below, translucent panel in aluminum framework.
 - 11 Vertical shaft space for mechanical, electrical and plumbing systems, 2 hour construction.
 - 12 Swinging fire door with hold open at elevator and stair enclosures.
 - 13 Extent of existing Queen Anne Structure, except at Waller Street, where (E) porch wall will be refurbished.
 - 14 Start of new construction.
 - 15 Platform Lift
 - 16 Aluminum doors with full lite glass panel.
 - 17 Black-out shades
 - 18 New curb cut
 - 19 Line of cornice below
 - 20 Cantilevered marquee above.
 - 21 Line denoting 12" temporary, demountable platforms
 - 22 Line denoting permanent 12" platform
 - 23 Lockable, full-height, built-in storage cabinets
 - 24 Movable, stainless table
 - 25 (6) burner gas stove
 - 26 Freezer
 - 27 Refrigerator
 - 28 Built-in overhead storage cabinets
 - 29 4 hour rated construction with refurbished wood siding over.
 - 30 2 hour rated glass and steel stair enclosure, custom metal stair within
 - 31 Wall hung fixture - typical
 - 32 Metal stair with concrete filled metal pan treads.
 - 33 4 hour rated wall construction.
 - 34 Vinyl composition tile flooring.
 - 35 Glass and aluminum framed window wall.
 - 36 Integral epoxy flooring
 - 37 UniStrut and wood built-in floor to ceiling shelving and Storage
 - 38 Glass and steel handrail/guardrail assembly.
 - 39 Aluminum frame panels with translucent fabric scrim with graphics
 - 40 6" seismic joint between (E) Queen Anne Structure and new construction

LEGEND

	1/A4.1	Building Section: see, Drawing 1, Sheet A4.1
	1/A3.1	Elevation: see, Drawing 1, Sheet A3.1
	(G01)	Room Number
	1	Revision Number
	1	Partition Type
	1	Keynote
		Indicates ADA accessible wheelchair turnaround

Note: The Queen Anne Structure is represented by black filled areas shown here in plan.

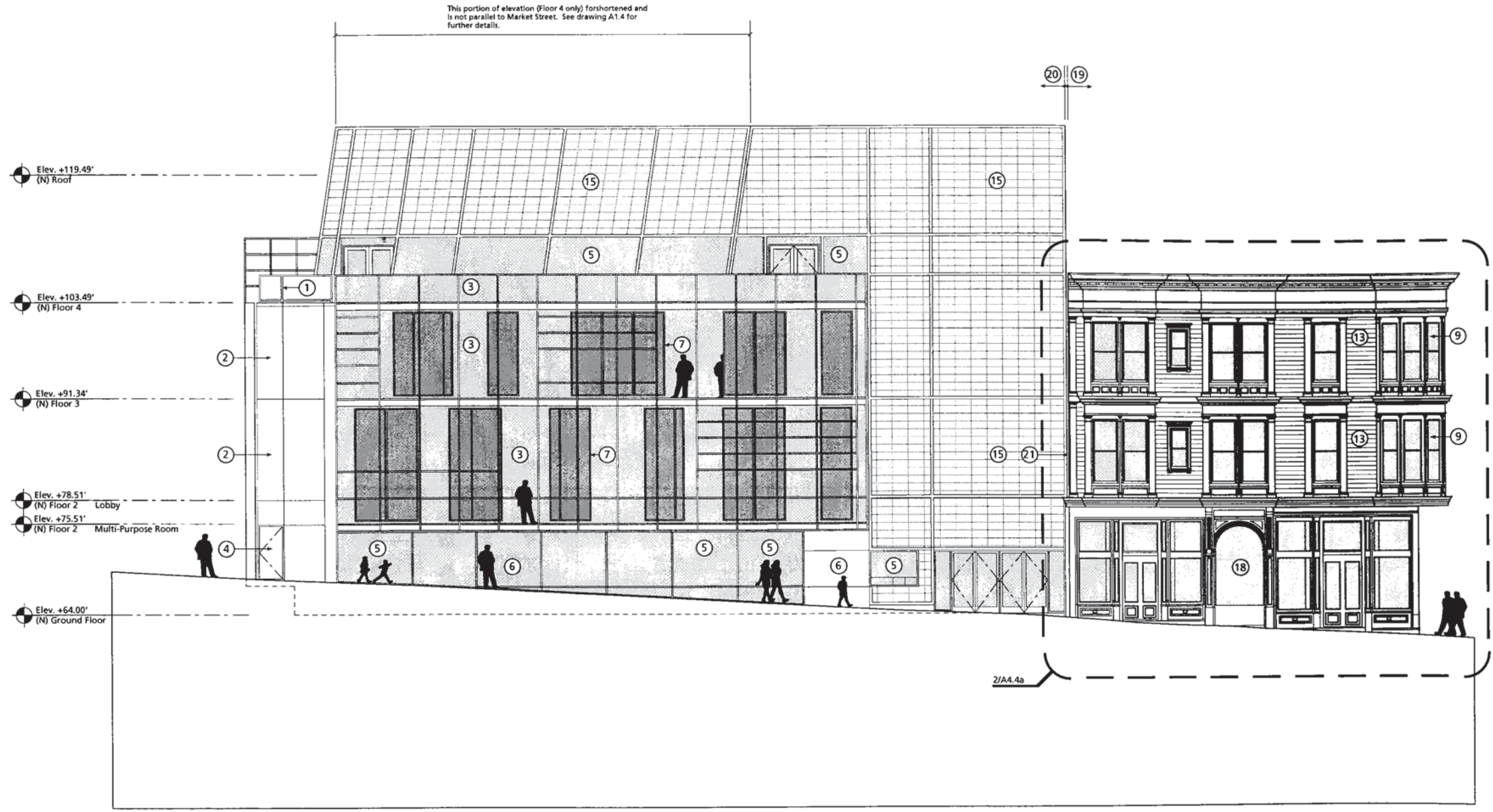


- Design Consultants**
- Structural: Structural Design Engineers
 - Architect: Rabinovich Engineering
 - Acoustics: Nigel Breitz Acoustics
 - Lighting: Lighting by Design
 - Roll-up Doors: Polytech Associates
 - Seating: Rolf Jensen Associates
 - Page & Turnbull, Inc.
- Client Team**
- Community Center Project Inc.
 - Michael Simmons Property Development
 - Trans Pacific Geotechnical Consultants, Inc.

Landmarks Preservation Advisory Board Presentation

No.	Date	Issues and Revisions	By	Check
09-08-98		50% Schematic Design Pricing Set		
09-09-98		Landmarks Submittal Set		
09-30-98		Landmarks Submittal Set		

Scale: 1/16" = 1'-0"	Project Name: Lesbian Gay Bismexual Transgender COMMUNITY CENTER PROJECT
Architect: Cee/Pfau Collaborative	Project Number: 9701
Architect's Seal: [Seal]	Description: FLOOR 2 PLAN



- KEY NOTES**
- ① 1 1/2" diameter steel railing assembly.
 - ② Cement plaster exterior wall
 - ③ Glass and aluminum curtain wall panels
 - ④ Fire exit and entry to cafe. Hollow metal exterior door with handicapped accessible hardware.
 - ⑤ Glass and aluminum framed window wall beyond.
 - ⑥ Neoperles cladding
 - ⑦ Sliding aluminum frame panels with translucent fabric scrim with graphics at interior face of glazed curtain wall. Track at top and bottom.
 - ⑧ Not used
 - ⑨ (E) double hung curved sash wood windows with curved glass
 - ⑩ Not used
 - ⑪ Not used
 - ⑫ Not used
 - ⑬ Refurbish (E) wood siding, remove all (E) damaged siding and replace with similar material and size. Sand, patch and prepare for paint and coating.
 - ⑭ Not used
 - ⑮ Sloping translucent panel in aluminum framework - "Kalwall" or similar.
 - ⑯ (E) Existing Queen Anne structure
 - ⑰ Door for roof access to (E) Queen Anne structure
 - ⑱ Please refer to drawing A4.4d for detailed information and keynotes concerning the Queen Anne Market Street storefront elevation
 - ⑲ Extent of (E) Queen Anne structure.
 - ⑳ Extent of (N) construction.
 - ㉑ 6" seismic joint between (E) Queen Anne Structure and new construction.

Note: Glass areas are shown toned.



- Design Consultants**
- Structural Design Engineers**
 - Rabinovich Engineering**
 - Nigel Breitz Acoustics**
 - Lighting by Design**
 - Polytech Associates**
 - Rolf Jensen Associates**
 - Page & Turnbull, Inc.**
- Client Team**
- Community Center Project Inc.**
 - Michael Simmons Property Development**
 - Trans Pacific Geotechnical Consultants, Inc.**

Landmarks Preservation
Advisory Board
Presentation

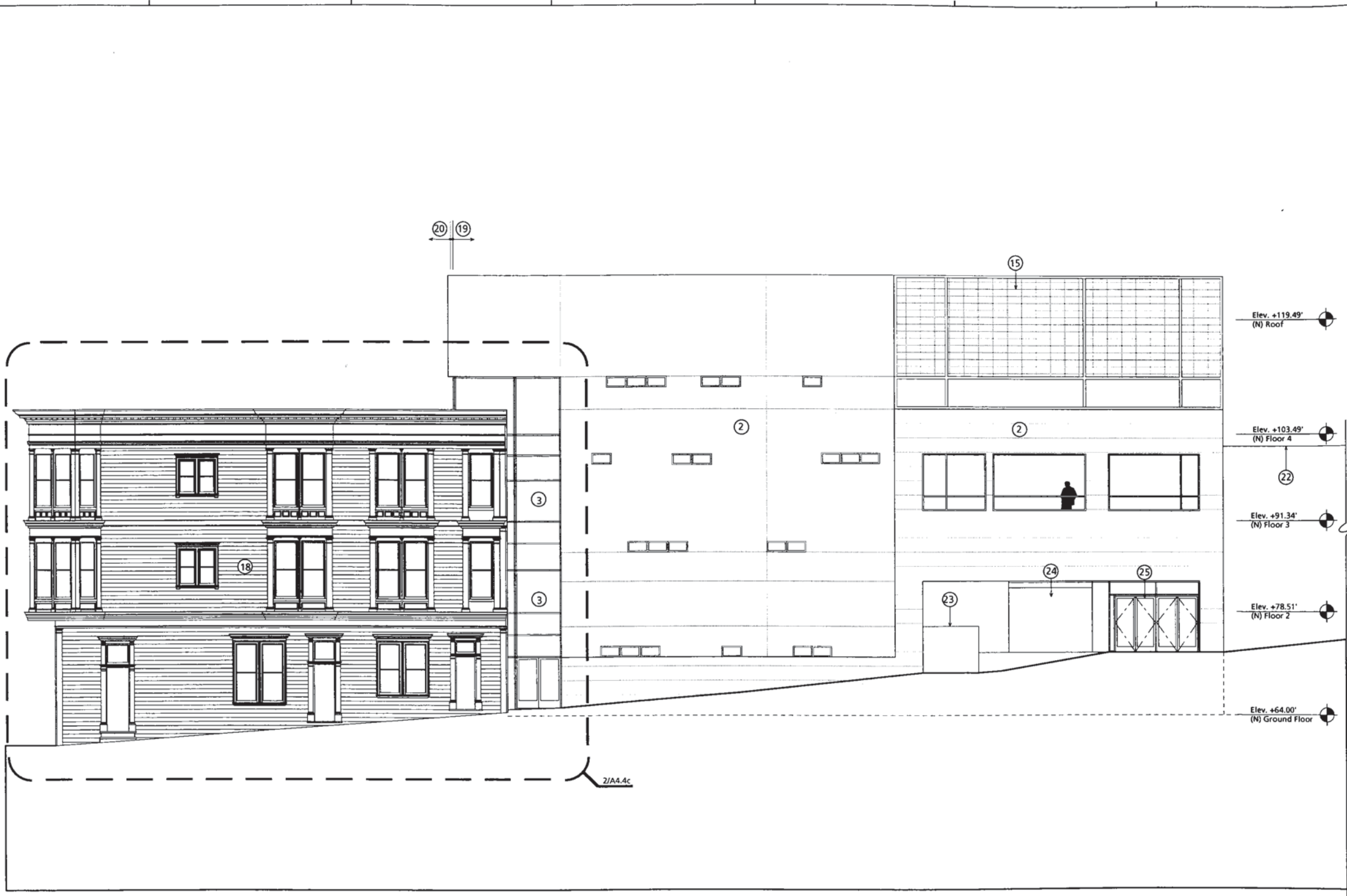
No.	Date	Issues and Revisions	By	Check
09-06-08		50% Schematic Design Pricing Set		
09-09-08		Landmarks Submittal Set		
10-01-08		Landmarks Submittal Set		

Scale: 1/16" = 1'-0"

Project Name: Lesbian Gay Bisexual Transgender COMMUNITY CENTER PROJECT

Project Number: 9701

Description: SOUTHEAST ELEVATIONS



- KEY NOTES**
- ② Cement plaster exterior wall
 - ③ Glass and aluminum curtain wall panels
 - ⑬ Translucent panel in aluminum framework, "Kalwall"
 - ⑮ Please refer to drawing A4.4c for detailed information and keynotes concerning the Queen Anne Waller Street elevation.
 - ⑯ Extent of (E) Queen Anne structure.
 - ⑰ Extent of (N) construction.
 - ⑱ Parapet line of adjacent building (Sue Mills).
 - ⑳ Dumpster area (open to exterior).
 - ㉑ Roll-up door, aluminum frame with glass inset.
 - ㉒ Aluminum doors with full lite glass panels.

COMMUNITY CENTER PROJECT

Architect
 10 Kearney Street
 San Francisco, California 94115
 415.222.2252 (phone)
 415.222.7263 (fax)

Cee/Pfau Collaborative

- Design Consultants**
- Structural Design Engineers
 - Rabinovich Engineering
 - Nigel Breitz Acoustics
 - Lighting by Design
 - Polytech Associates
 - Rolf Jensen Associates
 - Page & Turnbull, Inc.

- Client Team**
- Community Center Project Inc.
 - Michael Simmons Property Development
 - Trans Pacific Geotechnical Consultants, Inc.

**Landmarks Preservation
Advisory Board
Presentation**

No.	Date	Issues and Revisions	By	Check
09-08-09	09-08-09	SOH Schematic Design Pricing Set		
09-09-09	09-09-09	Landmark's Submittal Set		
10-01-09	10-01-09	Landmark's Submittal Set		

Scale
1/16" = 1'-0"

Project Name
Lesbian Gay Bisexual Transgender
COMMUNITY CENTER PROJECT

Project Number
9701

Description
NORTH ELEVATION





Date: 08/20/08

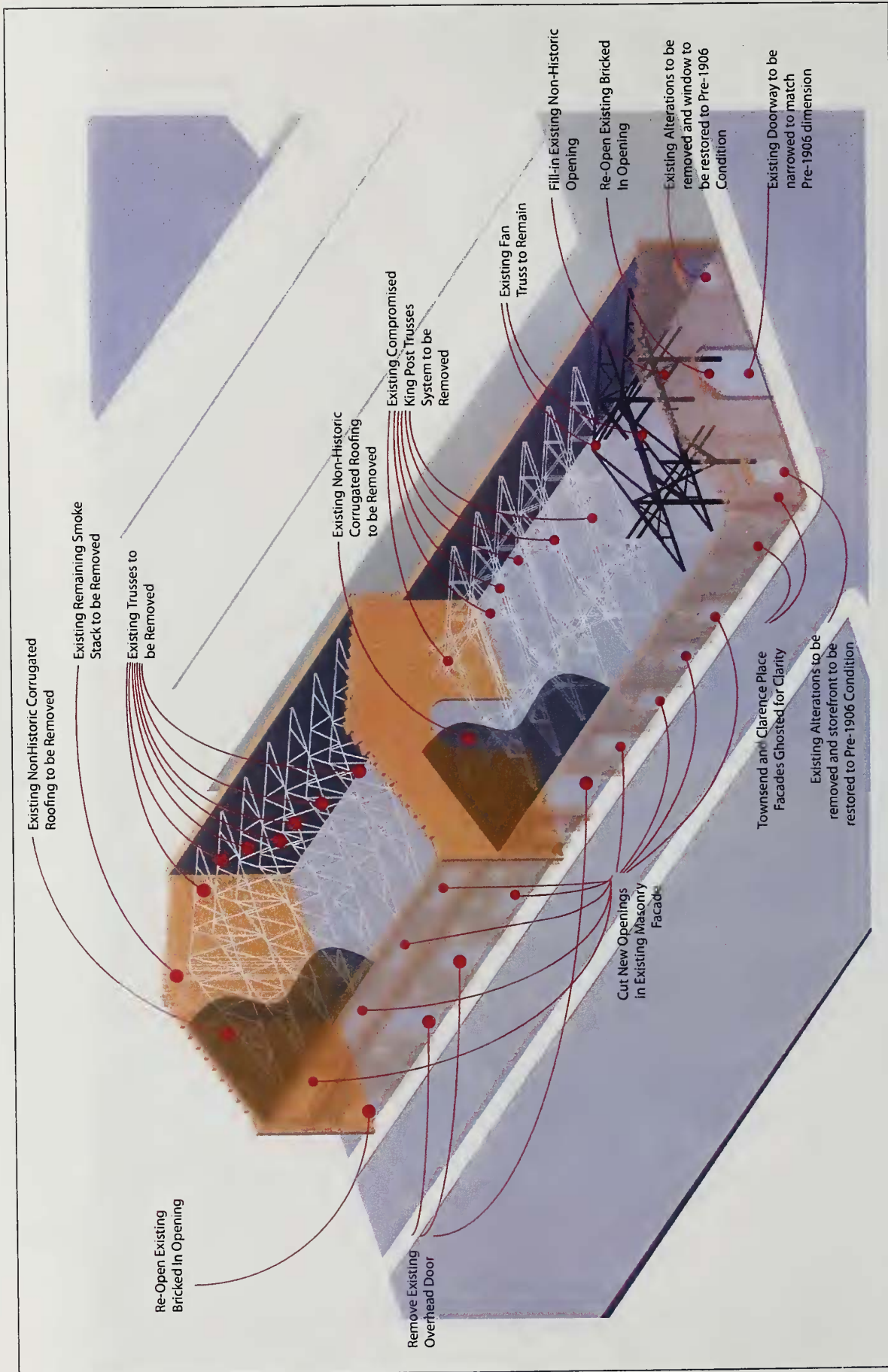
178 Townsend Properties LLC
 54 Mint Street, Fifth Floor
 San Francisco, CA 94103
 T: 415.442.4800

Townsend Street Perspective



ian birchall + associates
 300 beale street, suite a
 san francisco, ca. 94105

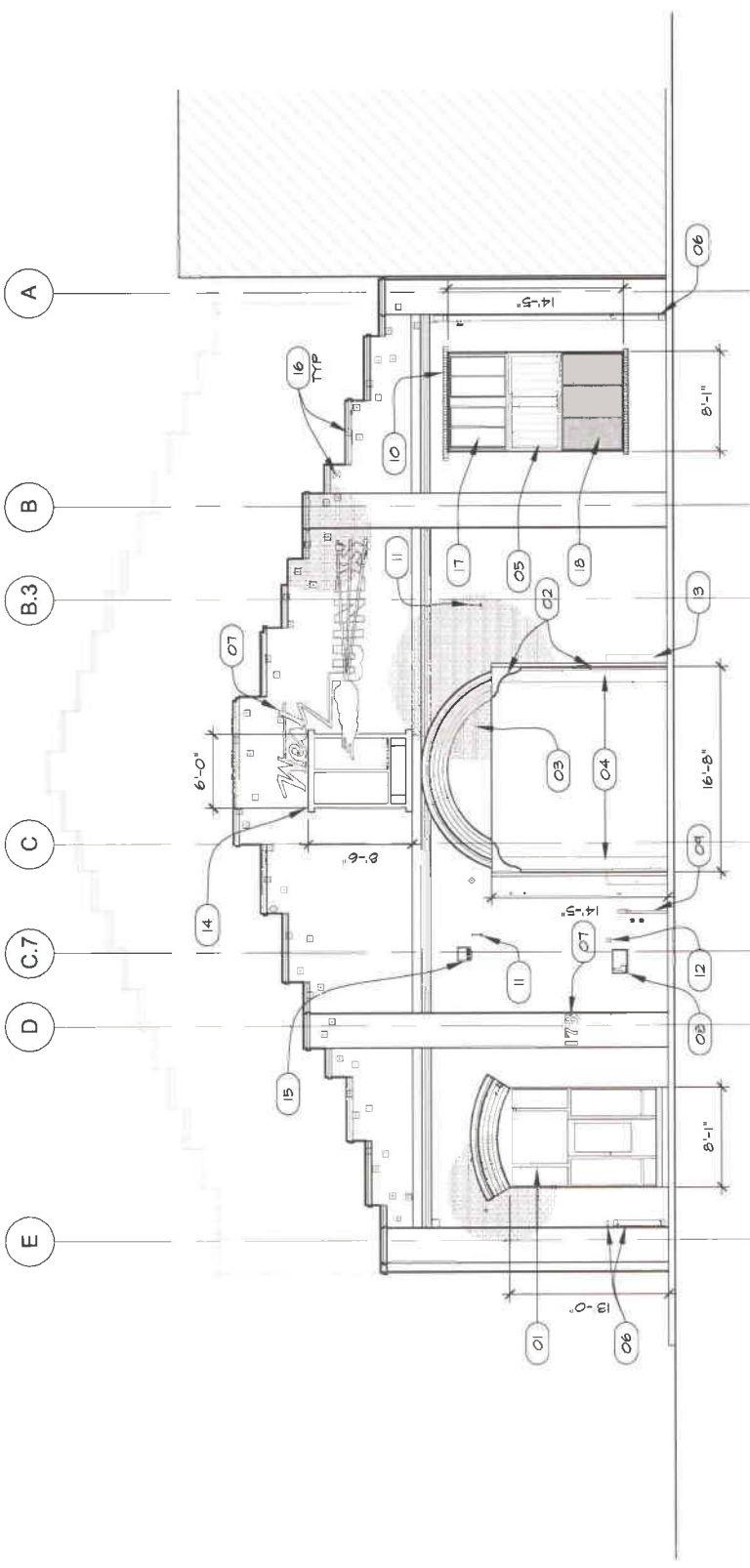
t: 415.612.9660 f: 415.612.9663
 www.ibadesign.com
 project contact: William Duncanson



SOURCE: Martin Building Co.

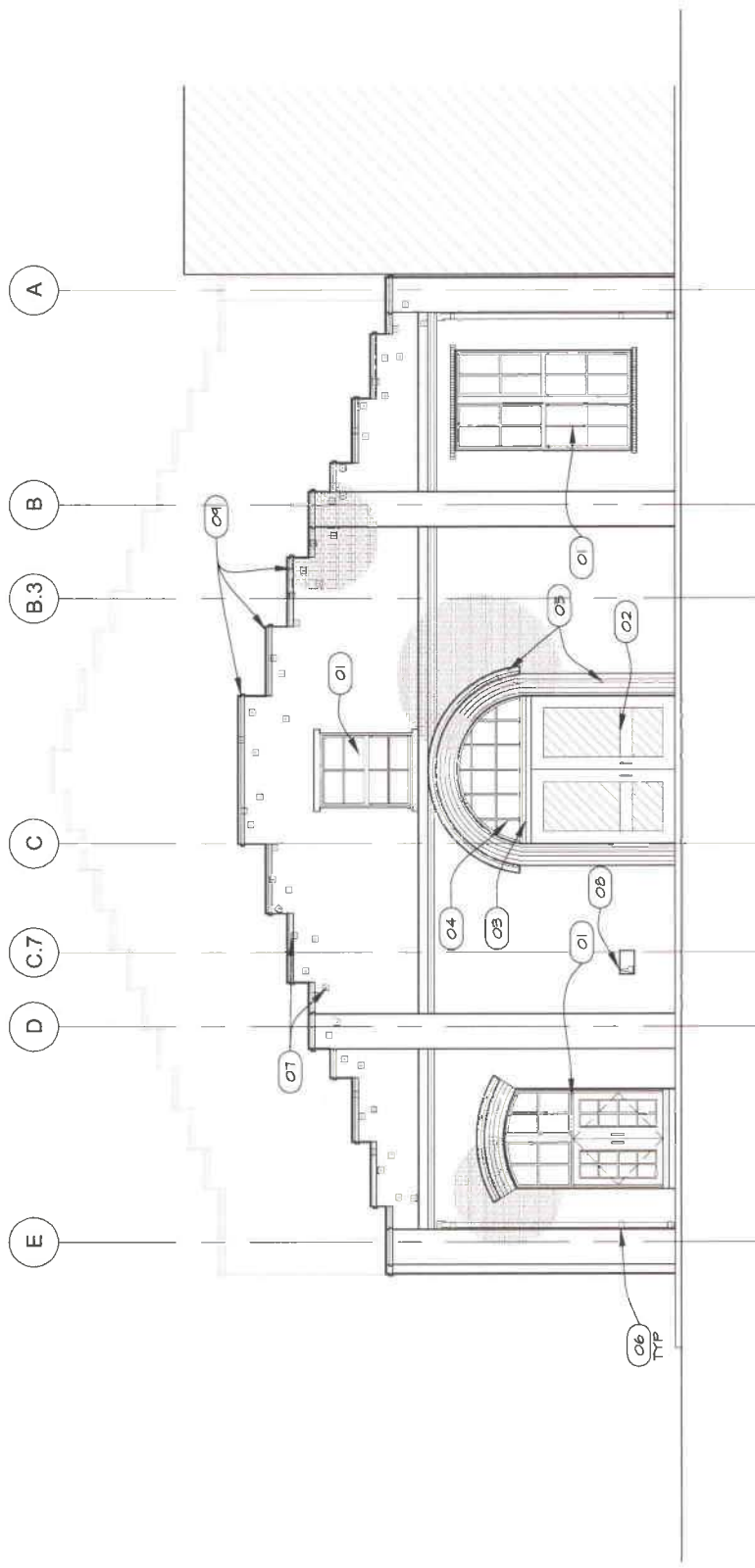
178 TOWNSEND STREET PROJECT
FIGURE 8: PROPOSED MODIFICATIONS TO EXISTING STRUCTURE

178 Townsend Elevation - Existing



KEY NOTES

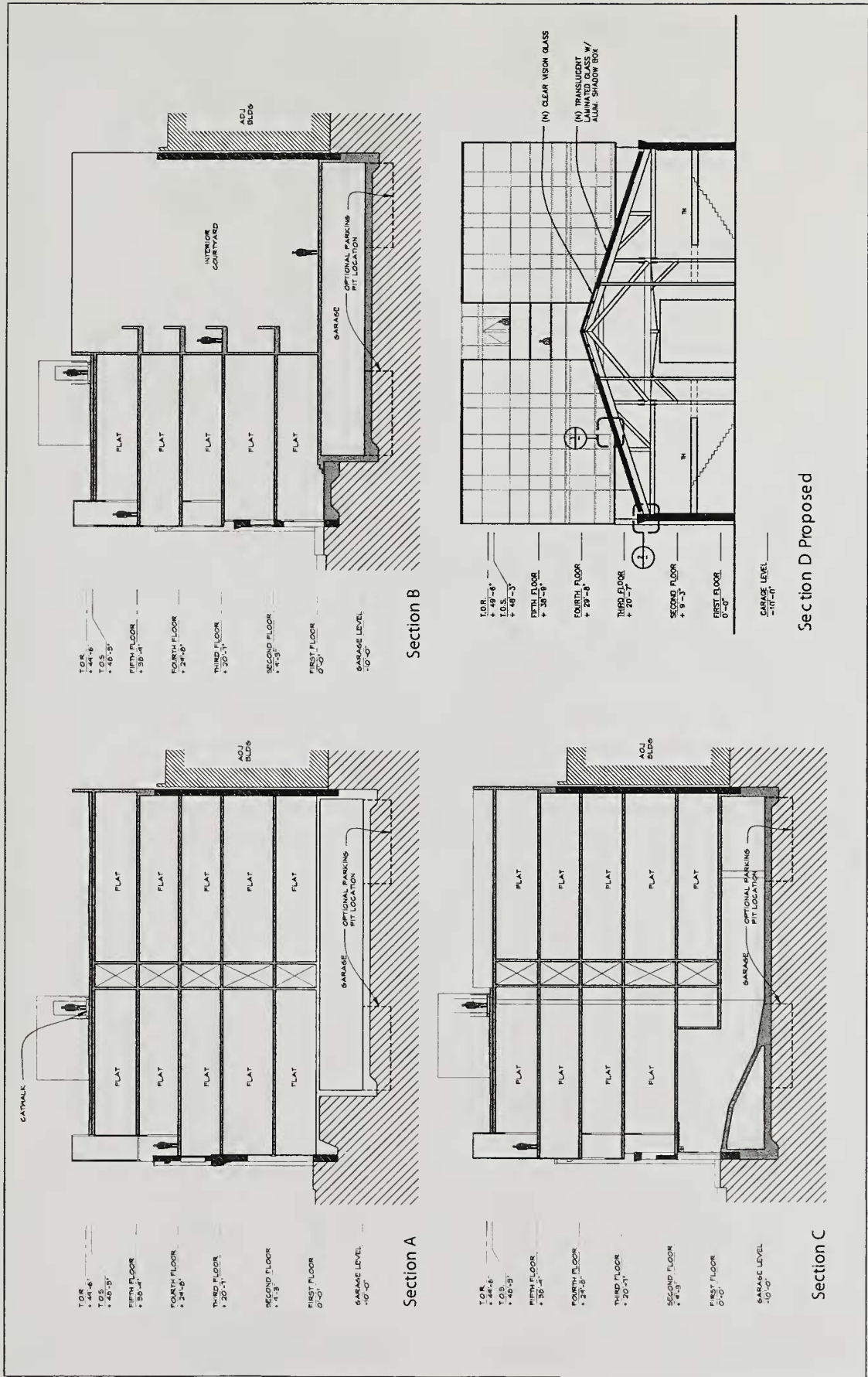
- (O1) NON-HISTORIC STOREFRONT AND NON-HISTORIC ROUGH MASONRY OPENING AT ELL
 - (O2) NON-HISTORIC STEEL FRAME AND LINTEL
 - (O3) NON-HISTORIC BRICK INFILL
 - (O4) NON-HISTORIC STEEL COLUMN
 - (O5) NON-HISTORIC WOOD BLIND PANEL
 - (O6) NON-HISTORIC DOWNSPOUT
 - (O7) NON-HISTORIC SIGNAGE
 - (O8) NON-HISTORIC LANDMARK PLAQUE
 - (O9) NON-HISTORIC EXPOSED ELECTRIC SERVICE
 - (O10) NON-HISTORIC ROUGH MASONRY OPENING AT WINDOW HEAD
 - (O11) NON-HISTORIC LIGHT FIXTURE
 - (O12) NON-HISTORIC KEY BOX
 - (O13) NON-HISTORIC STEEL PLATE GUARD
 - (O14) NON-HISTORIC METAL FRAMED WINDOW
 - (O15) NON-HISTORIC METAL JUNCTION BOX
 - (O16) NON-HISTORIC STEEL TIE-BACKS
 - (O17) NON-HISTORIC WINDOW SASH & FRAME
 - (O18) NON-HISTORIC STEEL FRAME & EXPANDED MESH SCREEN
- *PLEASE NOTE: ALL DIMENSIONS ARE ACCURATE TO PLUS-OR-MINUS 1/2"



KEY NOTES

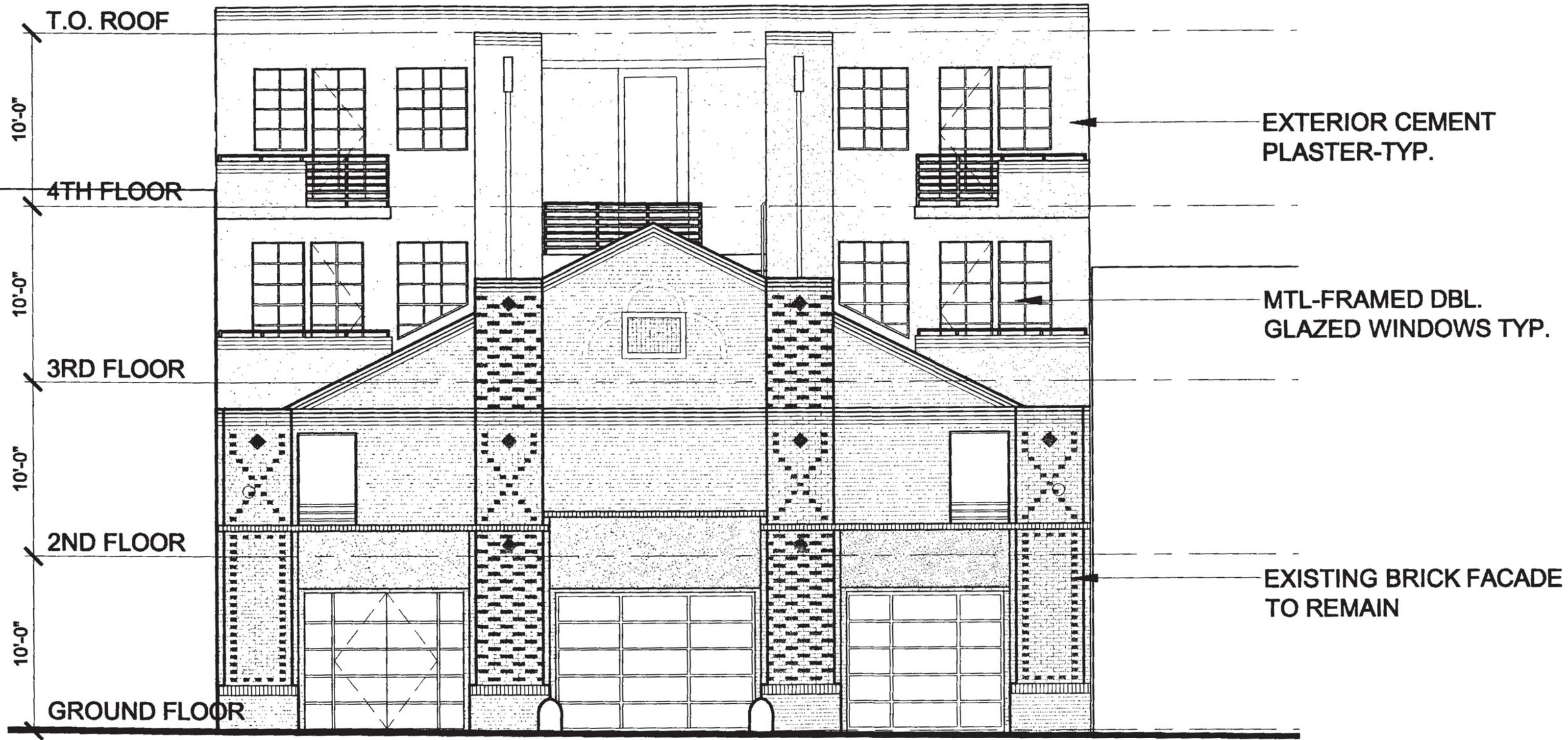
- (O1) (N) SINGLE-HUNG WOOD WINDOW TO APPROXIMATE HISTORIC, MULTI-PANE SASH AND MULLION PATTERN OBSERVED IN CIRCA 1844 PHOTO OF TOWNSEND STREET ELEVATION
- (O2) (N) WOOD BARRI DOOR
- (O3) (N) WOOD HEADER
- (O4) (N) FIXED WINDOW FRAME AND SASH OVER (N) WOOD HEADER
- (O5) (N) DOOR OPENING REDUCED AND (N) BRICKWORK EXTENDED FROM EXISTING ROMAN ARCH TO APPROXIMATE HISTORIC DOOR OPENING AND BRICKWORK OBSERVED IN CIRCA 1844 PHOTO OF TOWNSEND STREET ELEVATION
- (O6) (N) DOWNPOUTS
- (O7) (N) NON-HISTORIC STEEL TIE-BACKS TO REMAIN
- (E) LANDMARK PLAQUE TO REMAIN
- (O8) BRICKWORK AT PARAPET REPAIRED AND RESTORED TO MATCH EXISTING
- (O9)

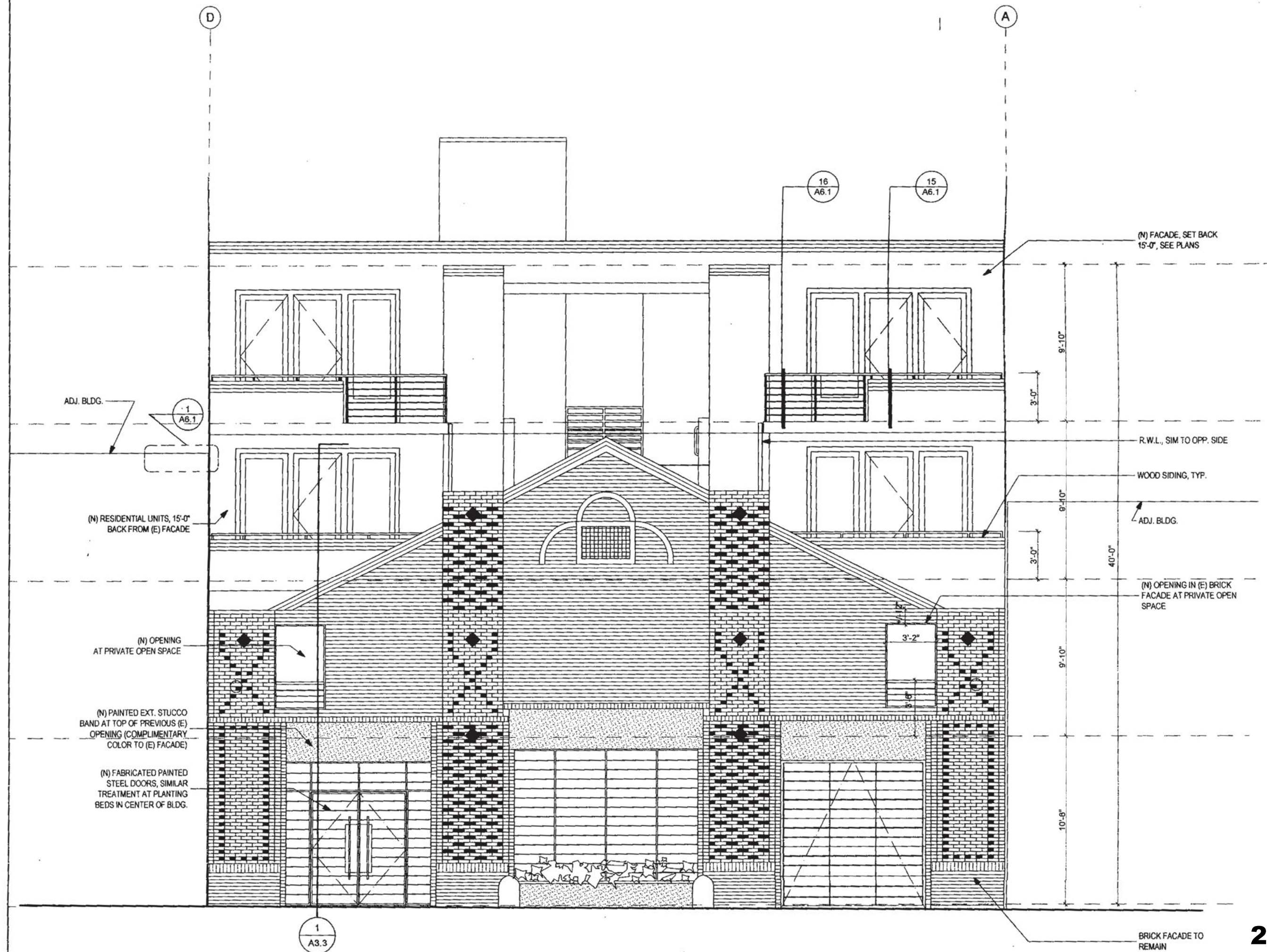
178 Townsend Elevation - Proposed



SOURCE: Martin Building Co.

178 TOWNSEND STREET PROJECT
 FIGURE 6: PROPOSED BUILDING SECTIONS





ADJ. BLDG.

1
A6.1

(N) RESIDENTIAL UNITS, 15'-0"
BACK FROM (E) FACADE

(N) OPENING
AT PRIVATE OPEN SPACE

(N) PAINTED EXT. STUCCO
BAND AT TOP OF PREVIOUS (E)
OPENING (COMPLIMENTARY
COLOR TO (E) FACADE)

(N) FABRICATED PAINTED
STEEL DOORS, SIMILAR
TREATMENT AT PLANTING
BEDS IN CENTER OF BLDG.

1
A3.3

16
A6.1

15
A6.1

(N) FACADE, SET BACK
15'-0", SEE PLANS

9'-10"

3'-0"

R.W.L., SIM TO OPP. SIDE

WOOD SIDING, TYP.

8'-10"

ADJ. BLDG.

3'-0"

40'-0"

(N) OPENING IN (E) BRICK
FACADE AT PRIVATE OPEN
SPACE

9'-10"

3'-2"

10'-8"

BRICK FACADE TO
REMAIN



SAN FRANCISCO FIRE DEPARTMENT
BUREAU OF FIRE PREVENTION
PLAN CHECK DIVISION/WATER FLOW
1660 MISSION STREET
SAN FRANCISCO CA 94103
FAX # (415) 575-6933

REQUEST FOR WATER FLOW INFORMATION

DATE: 03 / 06 / 14 REQUEST IS FOR: FIRE FLOW SPRINKLER

CONTACT PERSON: Bruce Baumann ADDRESS: 1221 Harrison St, Ste 22
PHONE NO. (415) 551-7884 FAX NO. (415) 520-0454 San Francisco CA 94103
OWNER'S NAME/PHONE # Dennis McMahon (415) 867-7646

ADDRESS FOR WATER FLOW INFORMATION: 1335 Larkin St
CROSS STREETS (BOTH ARE REQUIRED): Pine Street / California Street
SPECIFY STREET FOR POINT OF CONNECTION: LARKIN
OCCUPANCY (CIRCLE ONE): R3 R2 LIVE/WORK COMMERCIAL Other
HAZARD CLASSIFICATION: LIGHT ORD 1 ORD 2 EXT 1 EXT 2 OTHER
NUMBER OF STORIES: 6 HEIGHT OF BLDG.: 65 FT.

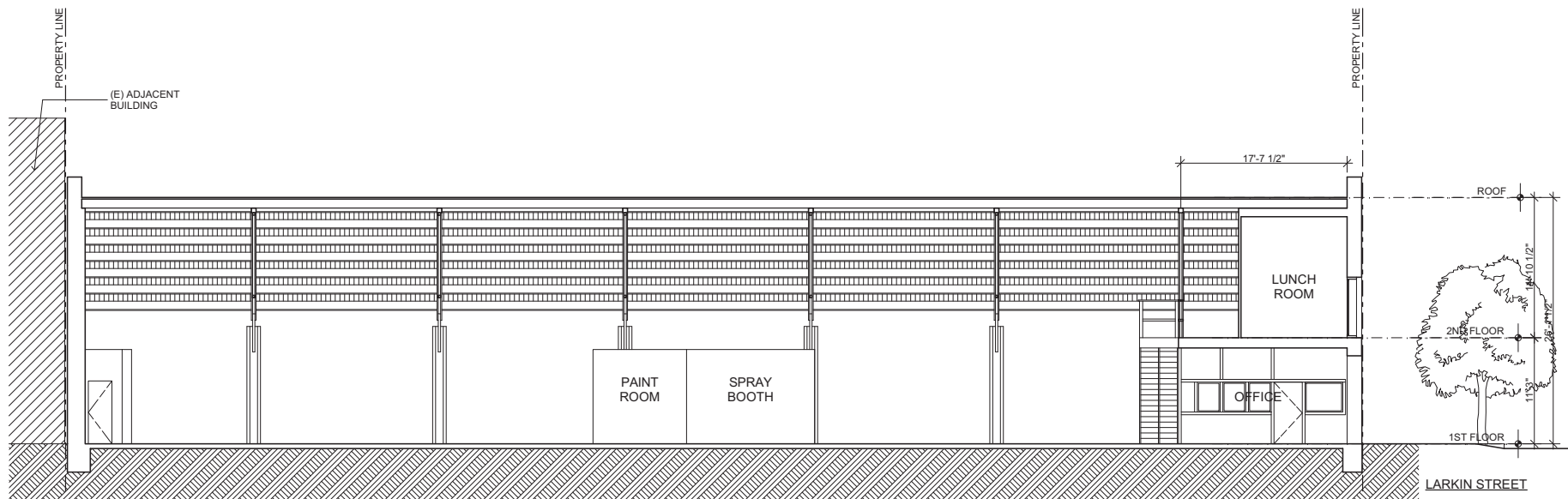


- SUBMIT FORM WITH A \$115.00 CHECK MADE PAYABLE TO 'S.F.F.D.'
- REQUESTS REQUIRING A FIELD FLOW TEST WILL BE NOTIFIED BY FAX AND AN ADDITIONAL FEE OF \$230.00 WILL BE NECESSARY
- WATER FLOW INFORMATION WILL BE RETURNED BY FAX OR MAIL.
- INCOMPLETE FORMS WILL NOT BE PROCESSED.
- PLEASE ALLOW 7-14 WORKING DAYS FOR PROCESSING

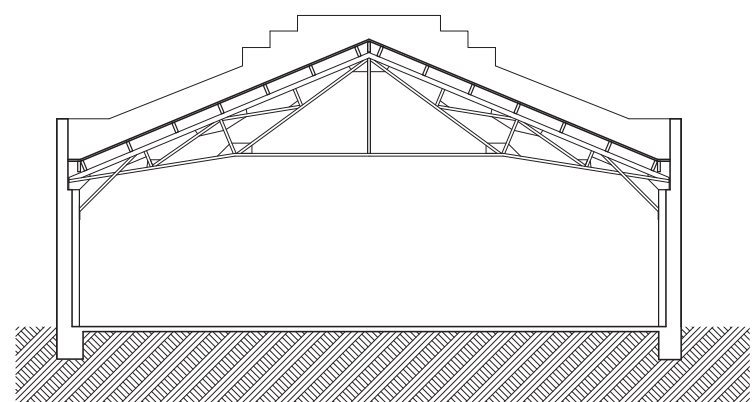
Flow data provided by: R. Brown Date Forwarded 3-18-14
Flow data: FIELD FLOW TEST STATIC 74 PSI
RECORDS ANALYSIS RESIDUAL 70 PSI
Gate Page 9 FLOW 1150 GPM
12" MAIN on LARKIN ST.

IF YOU HAVE ANY QUESTIONS, PLEASE CONTACT INSPECTOR BROWN @ (415) 558-6114
Bruce D. Baumann & Associates Acct# 114506

EMAILED 3-18-14 RB



3 Existing Longitudinal
SCALE: 1/8" = 1'-0"



2 Existing Section
SCALE: 1/8" = 1'-0"



1 Existing Street Elevation
SCALE: 1/8" = 1'-0"

4 WaterFlowTest-03.18.14
SCALE: 1" = 1'-0"

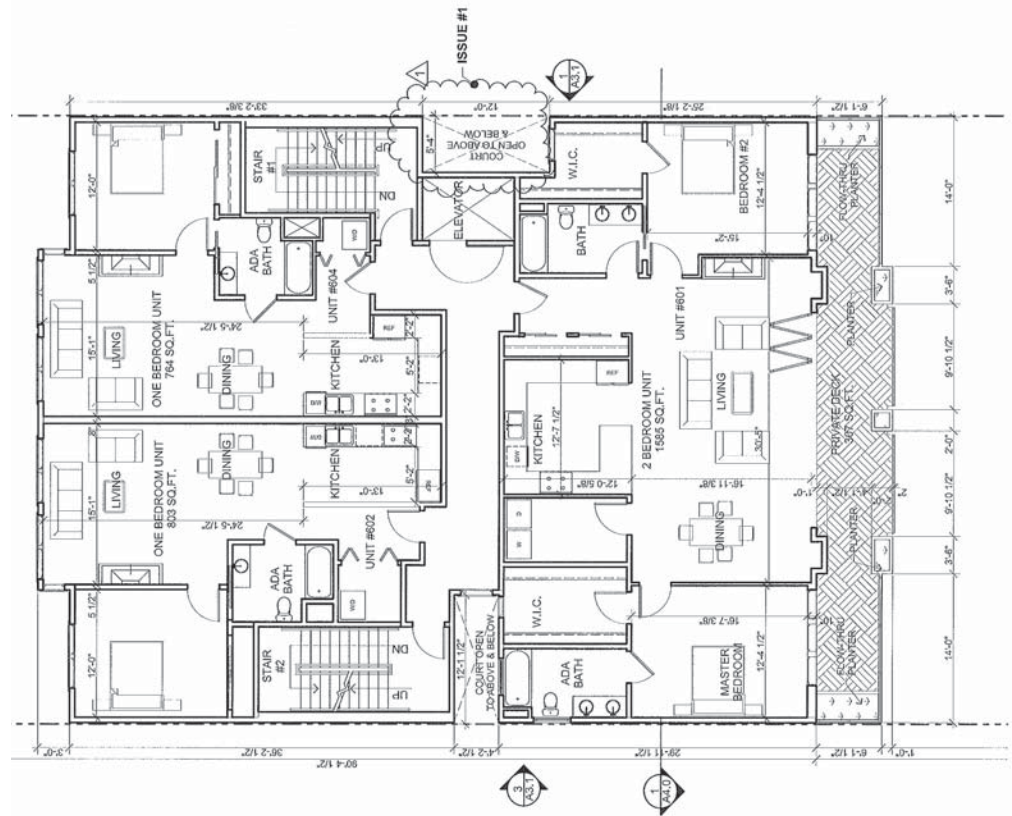
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Pre-App. Resolution 05.12.14	BM
Site Permit Update 05.13.14	BM
AB-005 Update 07.14.14	BM
Site Permit Update 01.19.15	BM
Pre-App Meeting 03.05.15	BM
Site Permit Update 04.01.15	BM

20 UNIT RESIDENTIAL
1335 LARKIN STREET
SAN FRANCISCO, CA

Sheet Title:
Project Info:
(E) ELEV, SECTIONS

Scale: As Noted
Date: 02.24.14
Drawn By: BM
Job Number: 2-1212

Sheet:
A1.2



1 Proposed 6th Floor
SCALE: 1/8" = 1'-0"

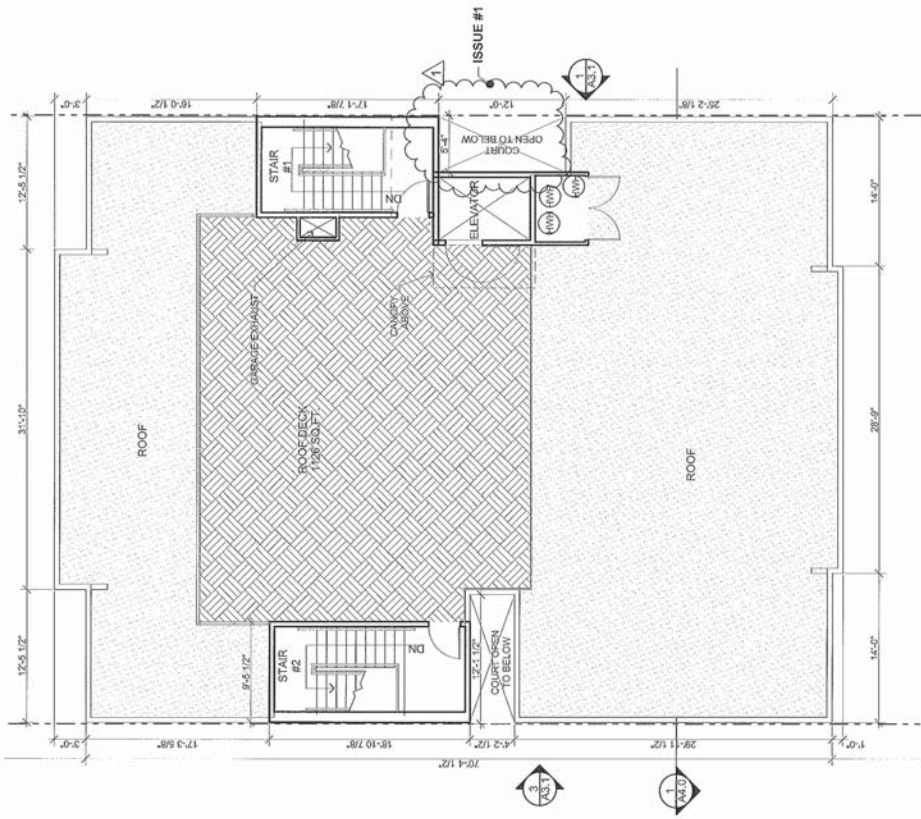
Kotas/
Pantaleoni
Architects

Anthony A. Pantaleoni
LEED AP

70 Zoo Street Suite 200
San Francisco, California 94107
t. 415 495 4051
f. 415 495 6885

20 UNIT RESIDENTIAL
1335 LARKIN STREET
SAN FRANCISCO, CA

SK-3



1 Proposed Roof Plan
SCALE: 1/8" = 1'-0"

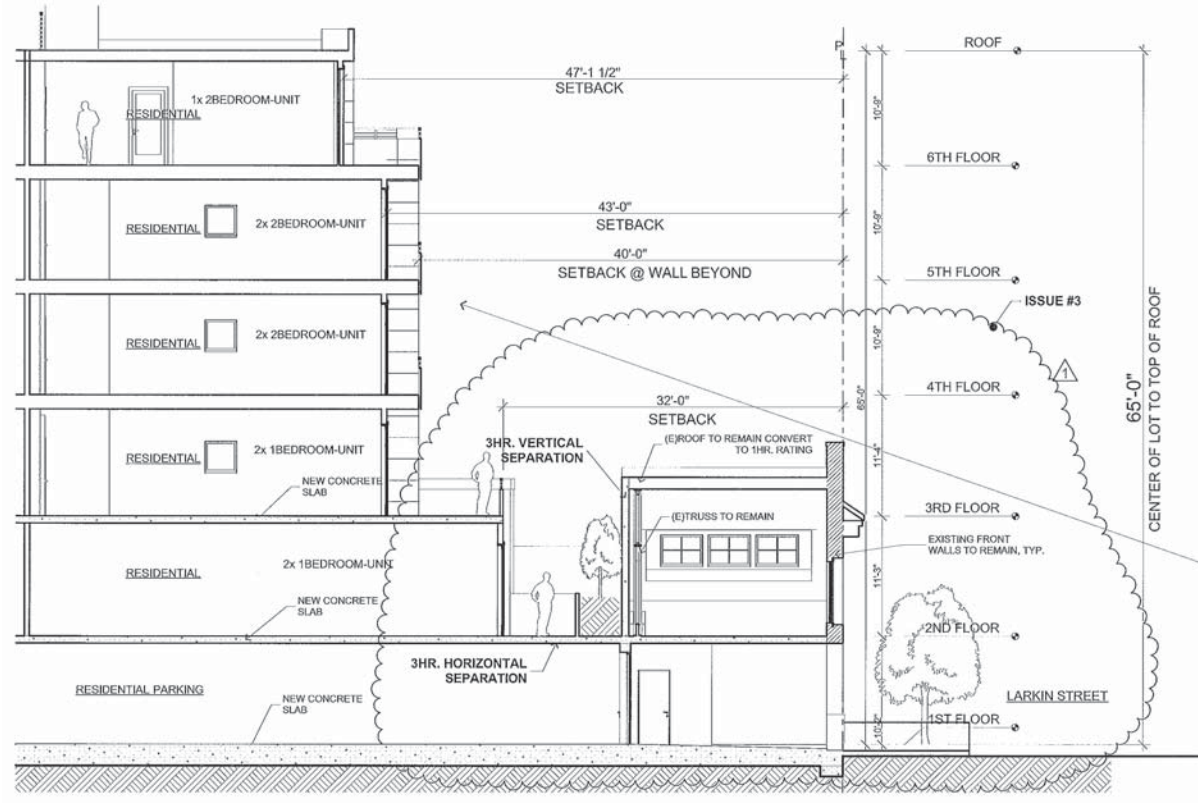
Kotas/
Pantaleoni
Architects

Anthony A. Pantaleoni
LEED AP

70 Zoo Street Suite 200
San Francisco, California 94107
t. 415 495 4051
f. 415 495 6885

20 UNIT RESIDENTIAL
1335 LARKIN STREET
SAN FRANCISCO, CA

SK-4



1 PROPOSED LONG SECTION
SCALE: 1/8" = 1'-0"

Kotas/
Pantaleoni
Architects

Anthony A. Pantaleoni
LEED AP

70 Zoo Street Suite 200
San Francisco, California 94107
t. 415 495 4051
f. 415 495 6885

20 UNIT RESIDENTIAL
1335 LARKIN STREET
SAN FRANCISCO, CA

SK-5

Kotas/
Pantaleoni
Architects

Anthony A. Pantaleoni
LEED AP

70 Zoo Street Suite 200
San Francisco, California 94107
t. 415 495 4051
f. 415 495 6885

Revisions	By
Site Permit Submittal 03.04.14	BM
Pre-App. Resolution 05.12.14	BM
Site Permit Update 05.13.14	BM
AB-005 Update 07.14.14	BM
Site Permit Update 01.19.15	BM
Pre-App Meeting 03.05.15	BM
Site Permit Update 04.01.15	BM

20 UNIT RESIDENTIAL
1335 LARKIN STREET
SAN FRANCISCO, CA

Sheet Title:
Project Info:
PRE-APP RESOLUTIONS

Scale:
As Noted

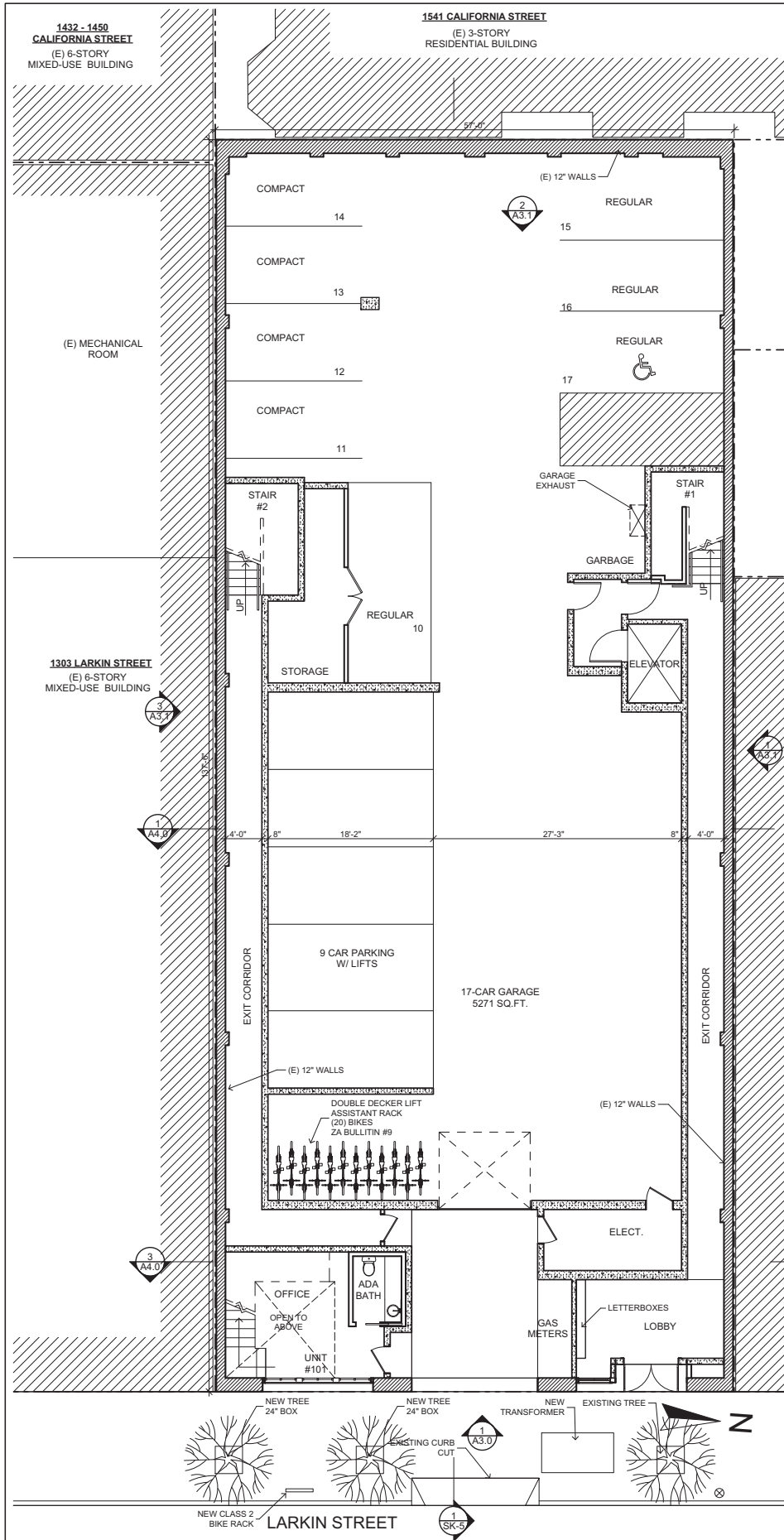
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02.24.14

Drawn By:
BM

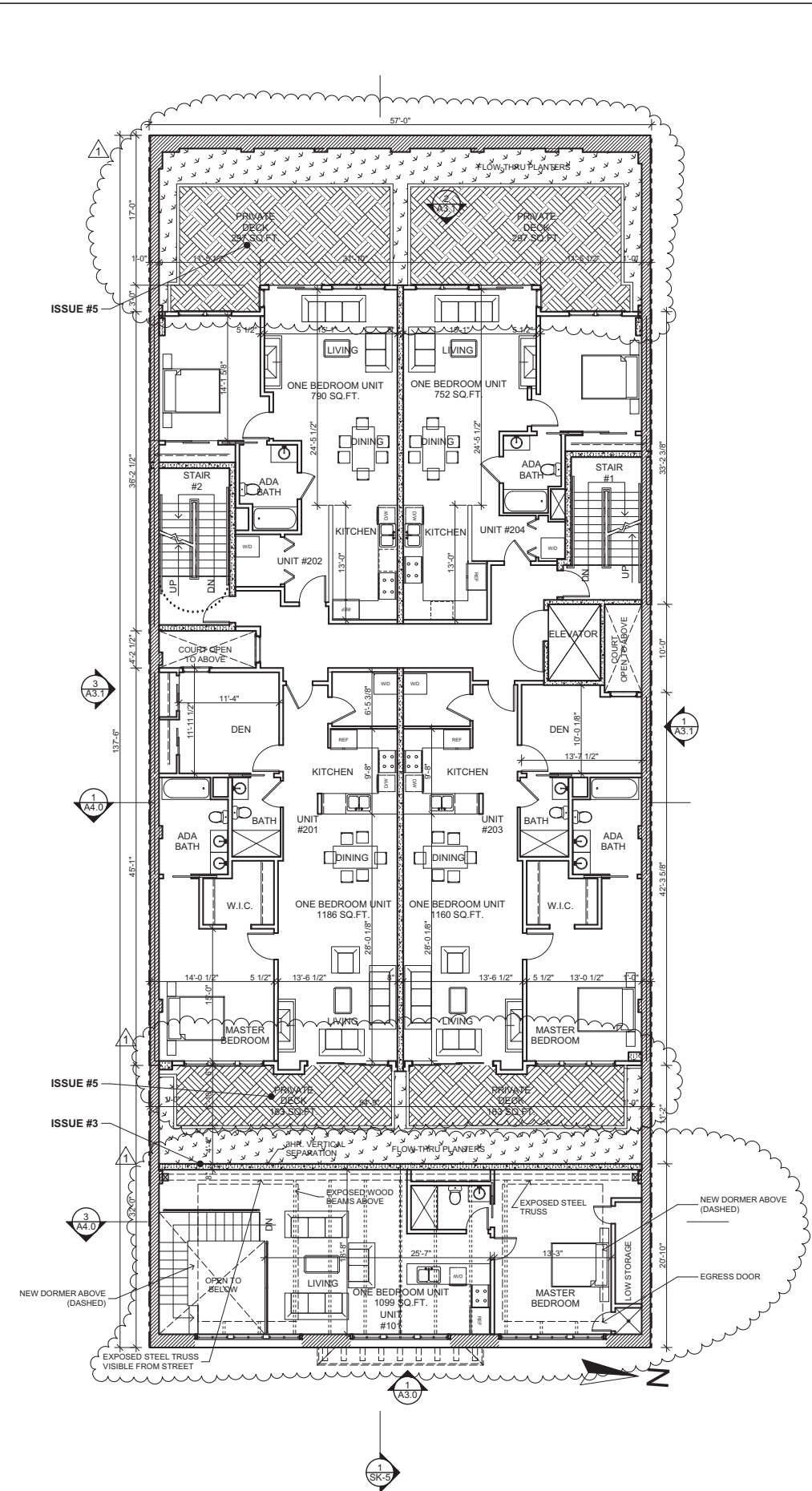
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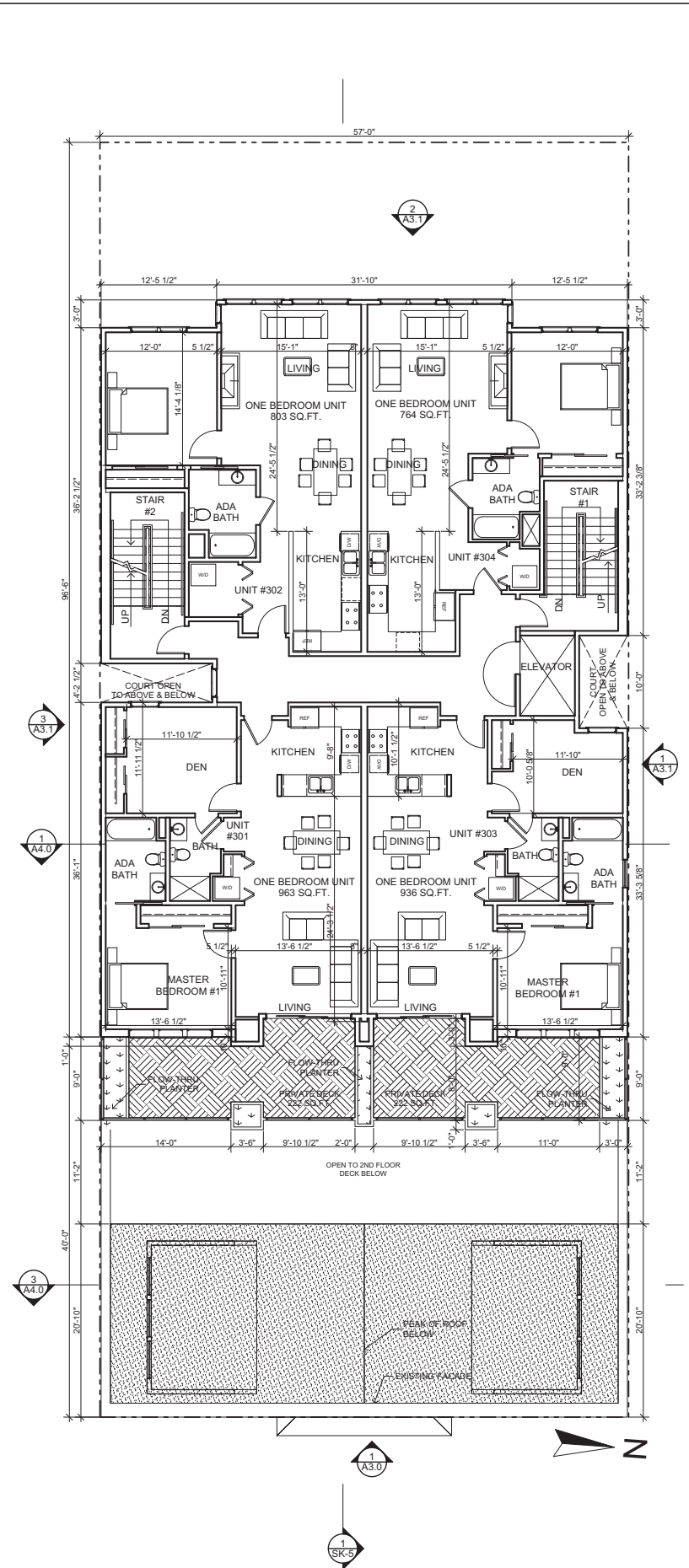
A1.10
24



1 Proposed 1st Floor
SCALE: 1/8" = 1'-0"



2 Proposed 2nd Floor
SCALE: 1/8" = 1'-0"



3 Proposed 3rd Floor
SCALE: 1/8" = 1'-0"

Kotas/
Pantaleoni
Architects

Anthony A. Pantaleoni
LEED AP

70 Zoe Street Suite 200
San Francisco, California 94107
t. 415.495.4051
f. 415.495.6885

Revisions	By
Site Permit Submittal 03.04.14	BM
Pre-App. Resolution 05.12.14	BM
Site Permit Update 05.13.14	BM
AB-005 Update 07.14.14	BM
Site Permit Update 01.19.15	BM
Pre-App Meeting 03.05.15	BM
Site Permit Update 04.01.15	BM

20 UNIT RESIDENTIAL
1335 LARKIN STREET
SAN FRANCISCO, CA

Sheet Title:
Floor Plans:
1ST, 2ND, 3RD

Scale:
As Noted

Date:
02.24.14

Drawn By:
BM

Job Number:
2-1212

Sheet:

A2.0
25

Kotas/
Pantaleoni
Architects

Anthony A. Pantaleoni
LEED AP

70 Zoe Street Suite 200
San Francisco, California 94107
t. 415.495.4051
f. 415.495.6885

Revisions	By
Site Permit Submittal 03.04.14	BM
Pre-App. Resolution 05.12.14	BM
Site Permit Update 05.13.14	BM
AB-005 Update 07.14.14	BM
Site Permit Update 01.19.15	BM
Pre-App Meeting 03.05.15	BM
Site Permit Update 04.01.15	BM

20 UNIT RESIDENTIAL
1335 LARKIN STREET
SAN FRANCISCO, CA

Sheet Title:
Exterior Elevs:
EAST

Scale:
As Noted

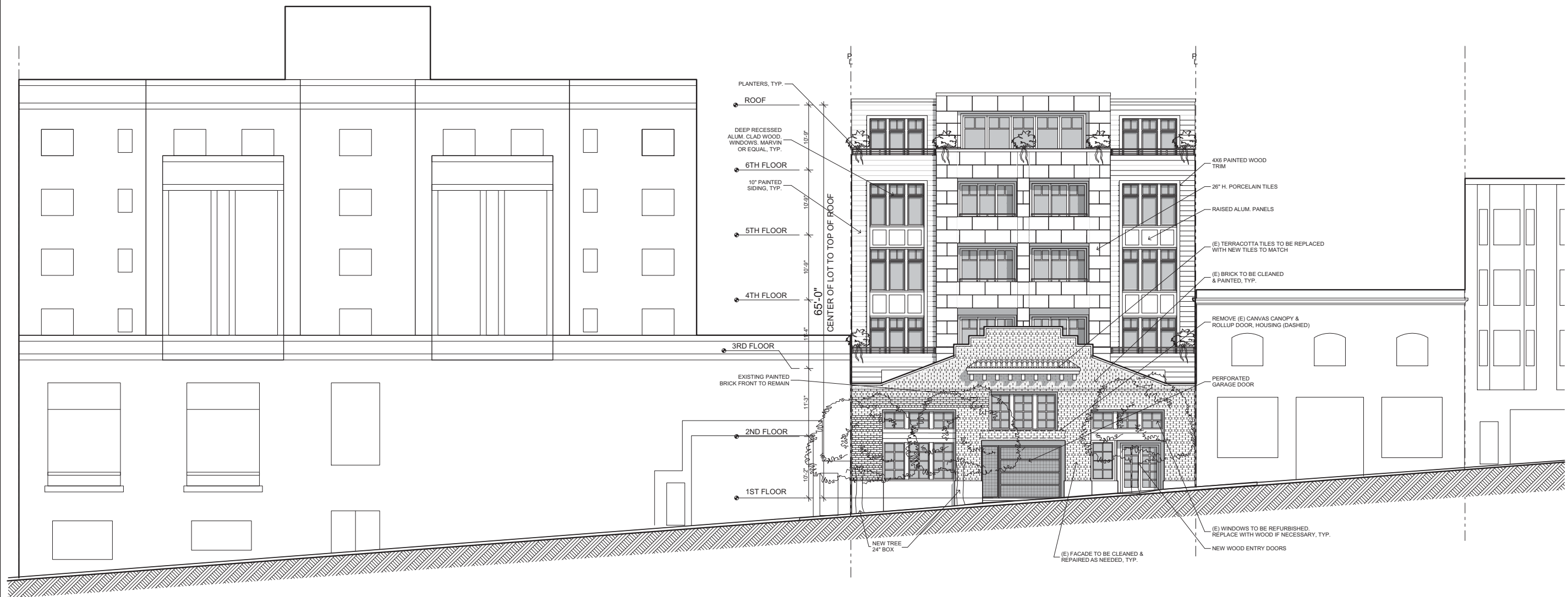
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Drawn By:
BM

Job Number:
2-1212

Sheet:
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26



1 PROPOSED EAST ELEVATION
SCALE: 1/8" = 1'-0"



NORTHWEST STREET VIEW

1

REVISIONS	

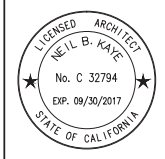
OWNER:
JS SULLIVAN DEVELOPMENT
 2044 FILLMORE STREET, 3RD FLOOR
 SAN FRANCISCO, CA 94115

ARCHITECT:
STANLEY SAIKOWITZ | NATOMA ARCHITECTS Inc.
 1022 Natoma Street, No. 3
 San Francisco, CA 94103
 T 415.626.9977 F 415.626.8978

STORM WATER
BKF ENGINEERS
 255 Shoreline Drive
 Redwood City, Ca 94065
 P 925.940.2218 C 925.357.7610

STRUCTURAL
NISHKIAN MENNINGER
 800 Harrison Street #110
 San Francisco, Ca 94107
 P 415.836.9316

MEP
ACIES
 111 West Evelyn Avenue
 Sunnyvale, Ca 94086
 P 408.552.5255 ex 142
 P 408.307.6700

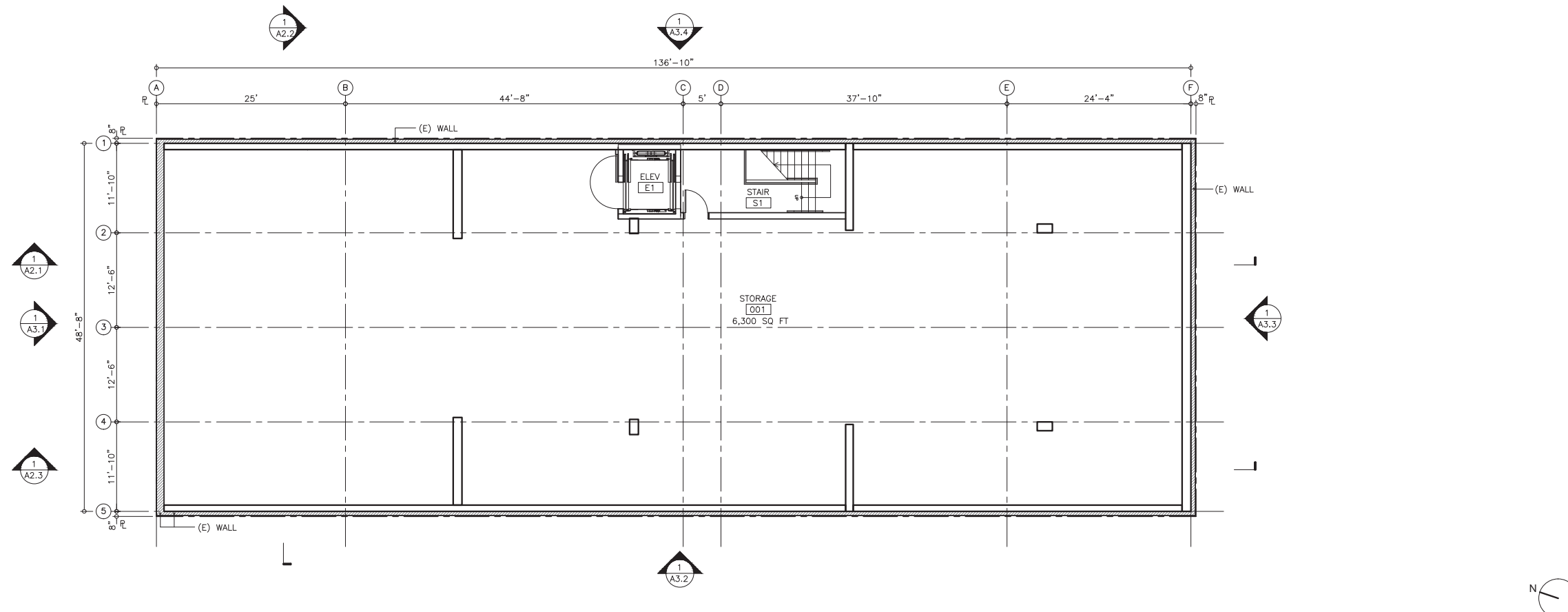


469 EDDY
 469 EDDY STREET, SAN FRANCISCO, CA

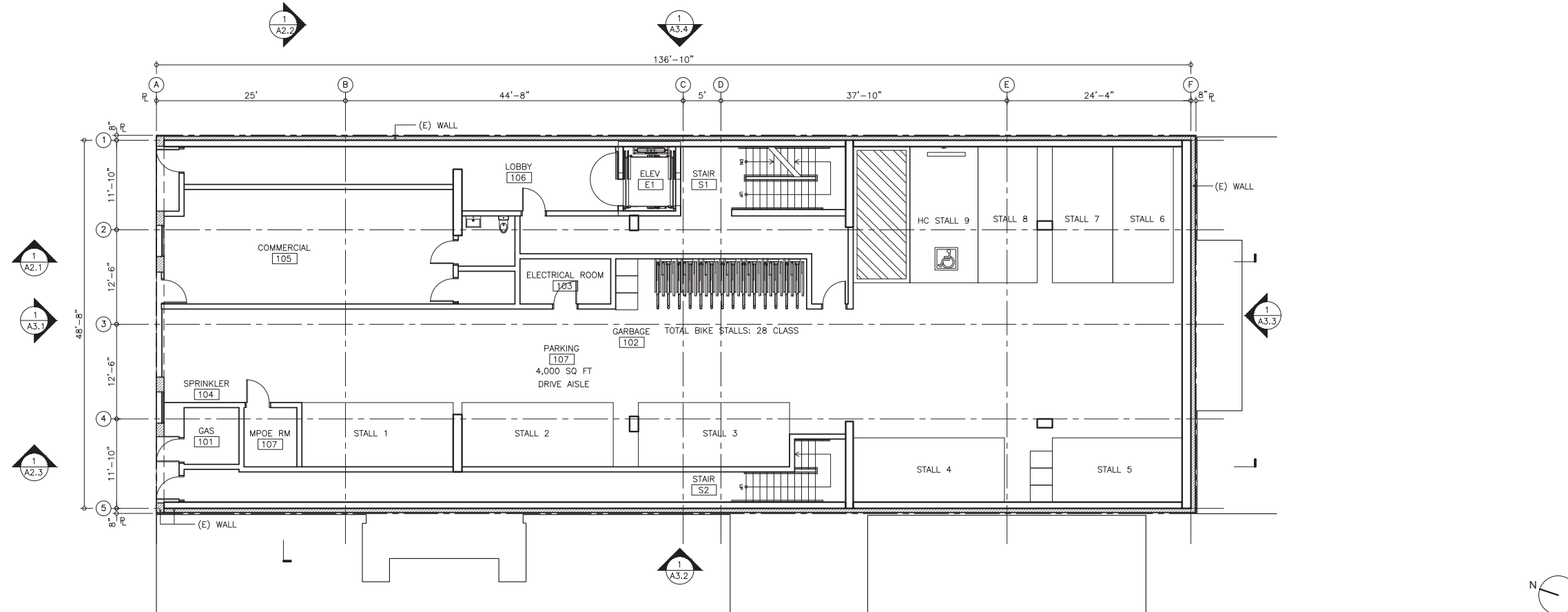
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 STREET VIEW

SET:
 DATE: 10-06-2015
 SCALE: N.T.S.
 DRAWN: SSJNAI

SHEET NO:
A0.3A
27



BASEMENT FLOOR PLAN 1



GROUND FLOOR PLAN 2

REVISIONS	

OWNER:
JS SULLIVAN DEVELOPMENT
 2044 FILLMORE STREET, 3RD FLOOR
 SAN FRANCISCO, CA 94115

ARCHITECT:
STANLEY SAIOWITZ | NATOMA ARCHITECTS Inc.
 1022 Natoma Street, No. 3
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STORM WATER
BKF ENGINEERS
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 600 Harrison Street #110
 San Francisco, Ca 94107
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MEP
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 111 West Evelyn Avenue
 Sunnyvale, Ca 94086
 P 408.552.5255 ex 142
 P 408.307.6700



469 EDDY
 469 EDDY STREET, SAN FRANCISCO, CA

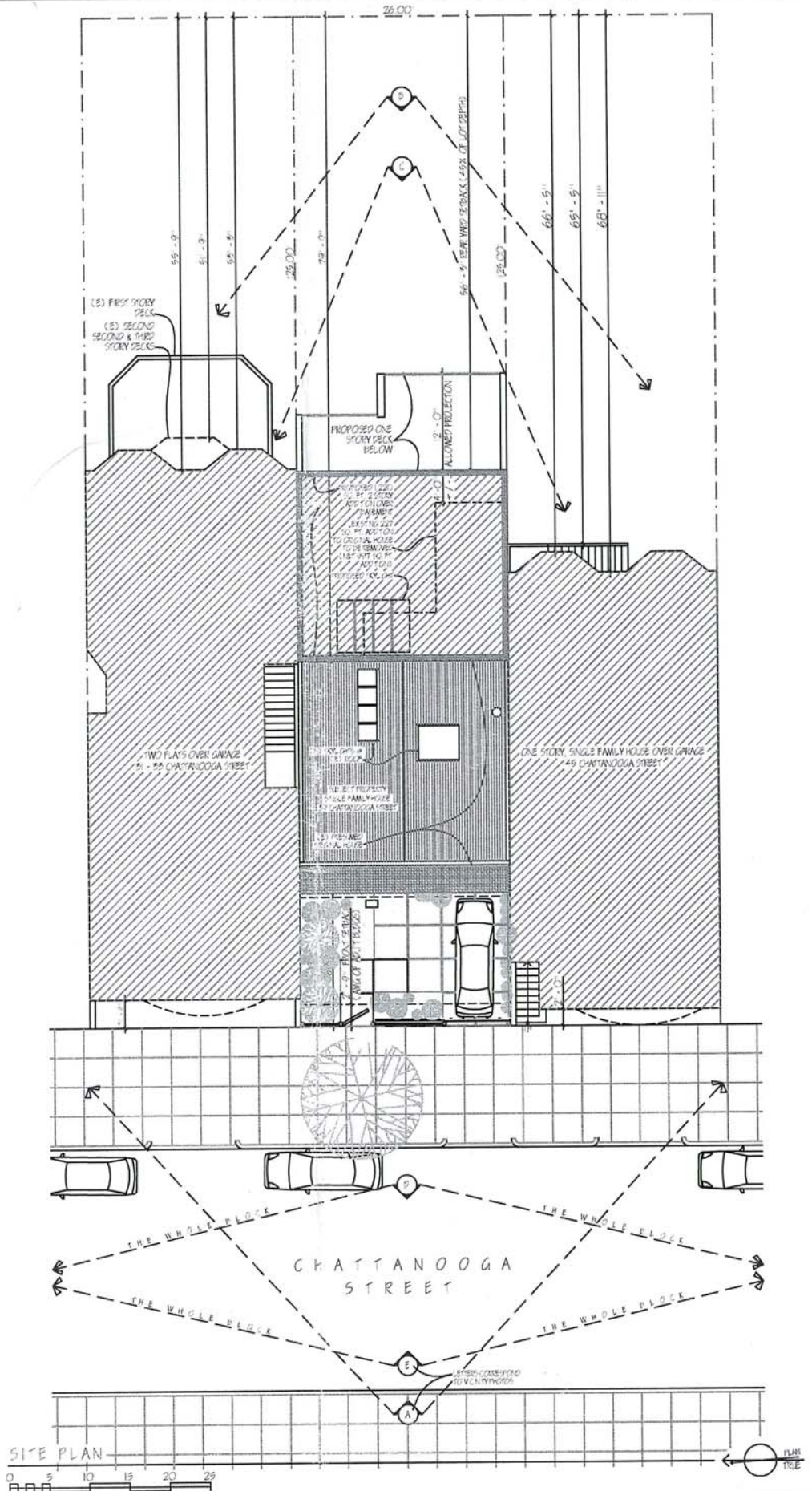
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PLAN

SET:
 DATE: 10-06-2015

SCALE: 1/8" = 1'-0"
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SHEET NO:

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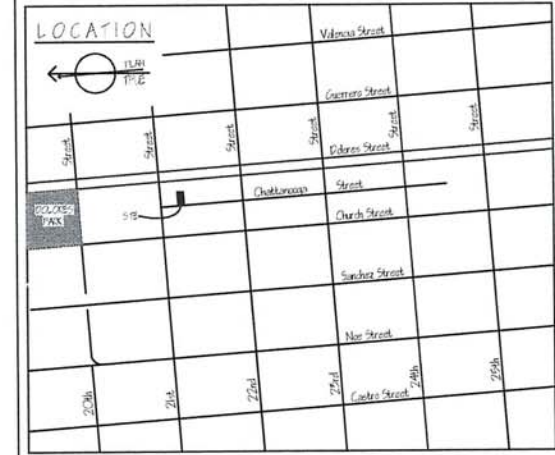


PROJECT SUMMARY

OWNER / APPLICANT INFORMATION:
 Property Owner's Name: Risa Schwartz
 Property Owner's Address: 2051-A Melville Street, Palo Alto, CA 94306
 Property Owner's Telephone: 650-306-0517
 Applicant's Name: Ken Martin
 Applicant's Address: 5052 Blazeman Street, Berkeley, CA 94705
 Applicant's Telephone: 415-271-8566
 Contact's Name: Ken Martin
 Contact's Address: 5052 Blazeman Street, Berkeley, CA 94705
 Contact's Telephone: 510-846-4925

LOCATION and CLASSIFICATION:
 Street Address of Project: 59 Chattanooga Street
 Cross Street: 2nd Street / 22nd Street
 Assessor's Block/ Lot: 269977
 Lot Dimensions: 26'00" x 25'00"
 Lot Area (Sq. Ft.): 650.00 Square Feet
 Zoning District: M1-2
 Height/Plat District: 40'-8"

PROJECT DESCRIPTION:
 Environmental Exception Application for proposed net 997 square foot addition to and remodel of existing 659 square foot house, pursuant to State Guidelines for the implementation of the California Environmental Quality Act (CEQA).



SHEET INDEX

- 1 SITE PLAN & COVER SHEET
- 2 EXISTING BASEMENT & FIRST FLOOR FOOTPRINTS
- 3 EXISTING EXTERIOR ELEVATIONS
- 4 PROPOSED BASEMENT, FIRST & SECOND FLOOR FOOTPRINTS
- 5 PROPOSED EXTERIOR ELEVATIONS

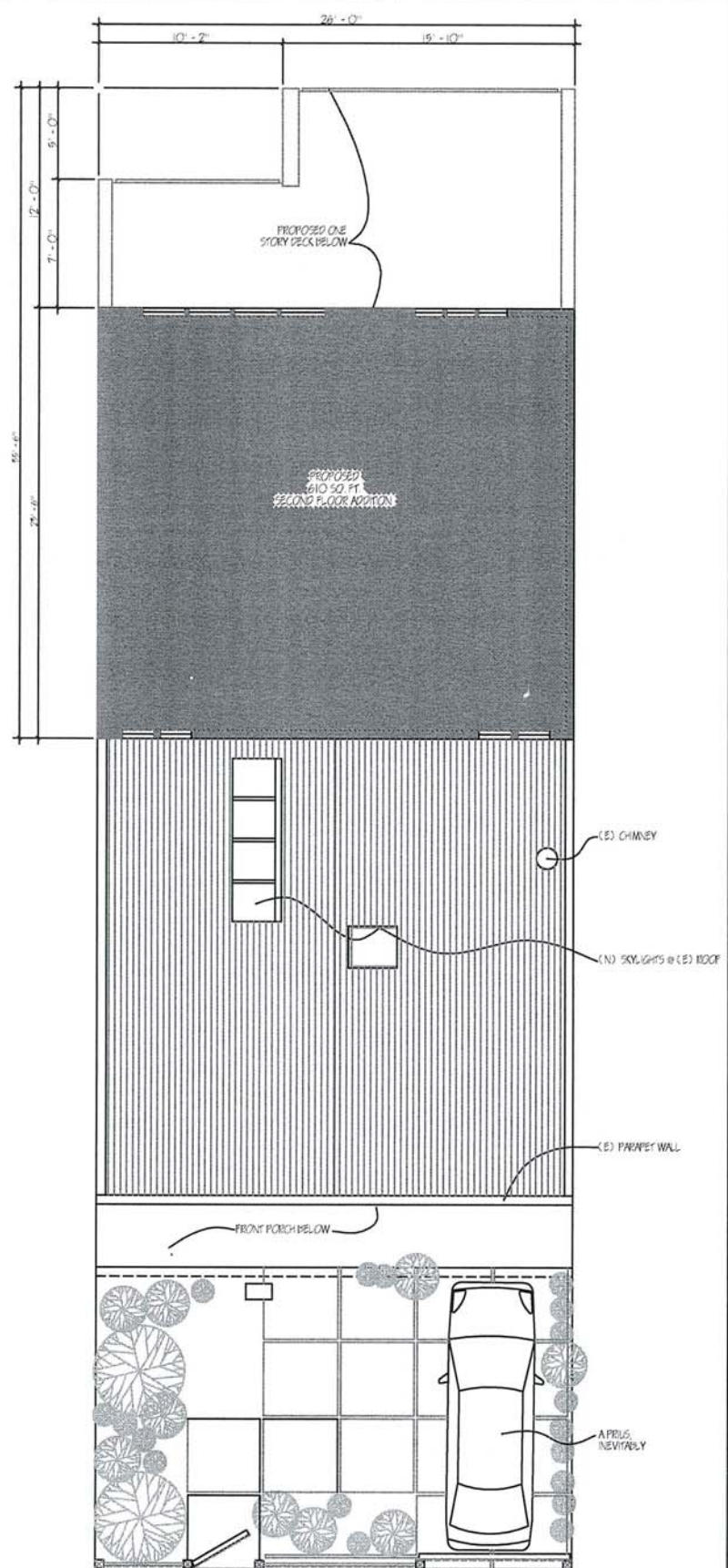
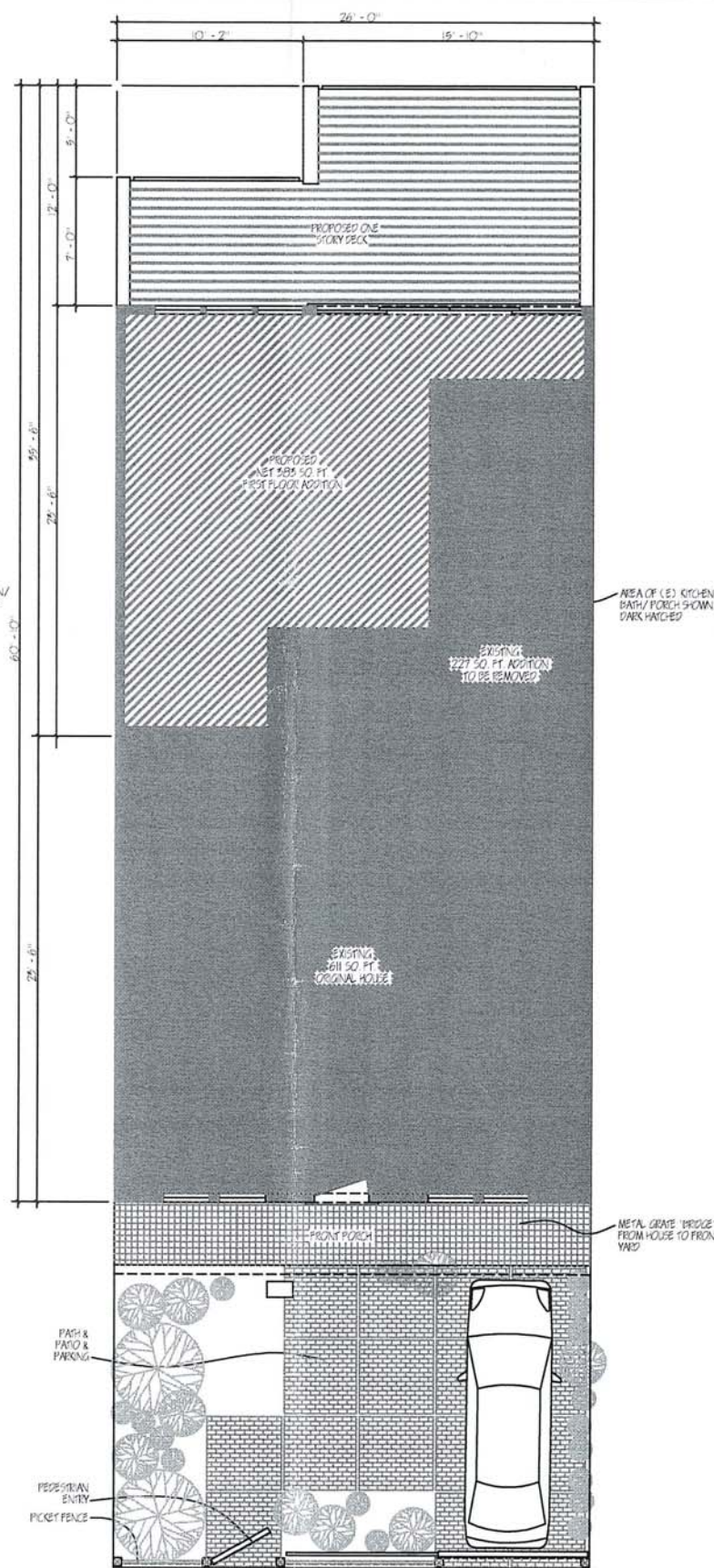
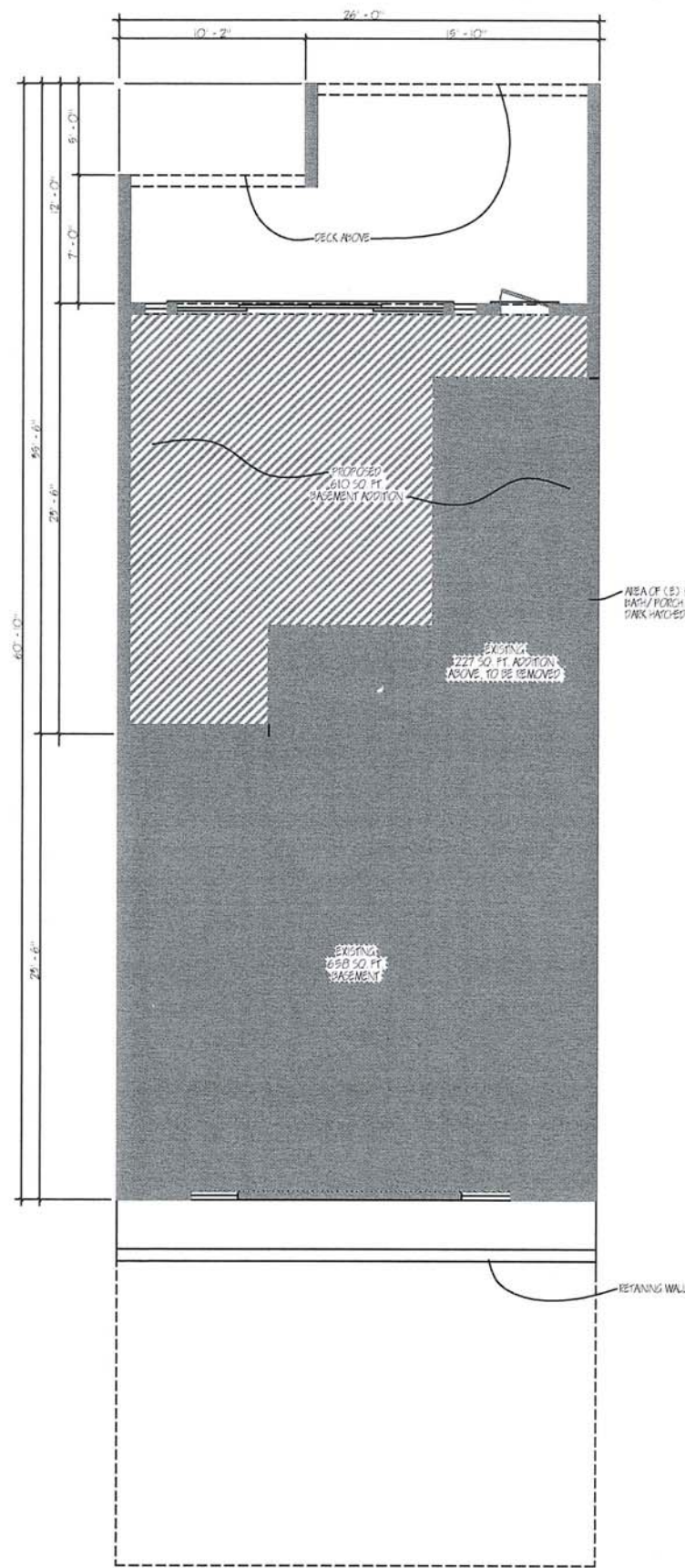
KEN MARTIN
 ARCHITECT
 5052 BLAZEMAN STREET, BERKELEY, CA 94705
 510-846-4925

REVISIONS

NO.	DESCRIPTION

SITE PLAN & COVER SHEET

ENVIRONMENTAL EXEMPTION
 Risa Schwartz Residence
 59 Chattanooga Street
 San Francisco, CA 94114-5024
 FEBRUARY 18, 2017

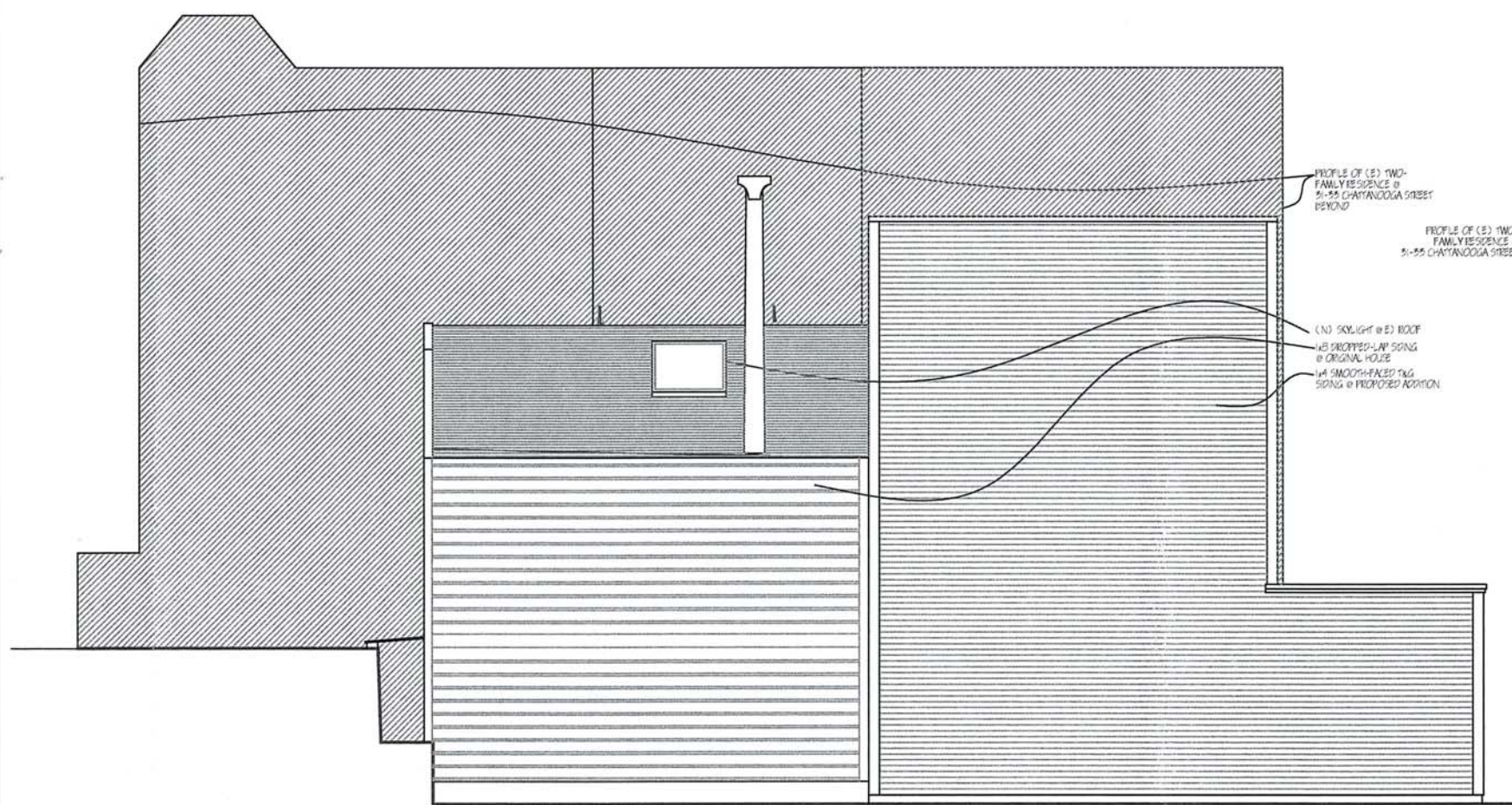


PROPOSED BASEMENT, FIRST & SECOND FLOOR FOOTPRINTS

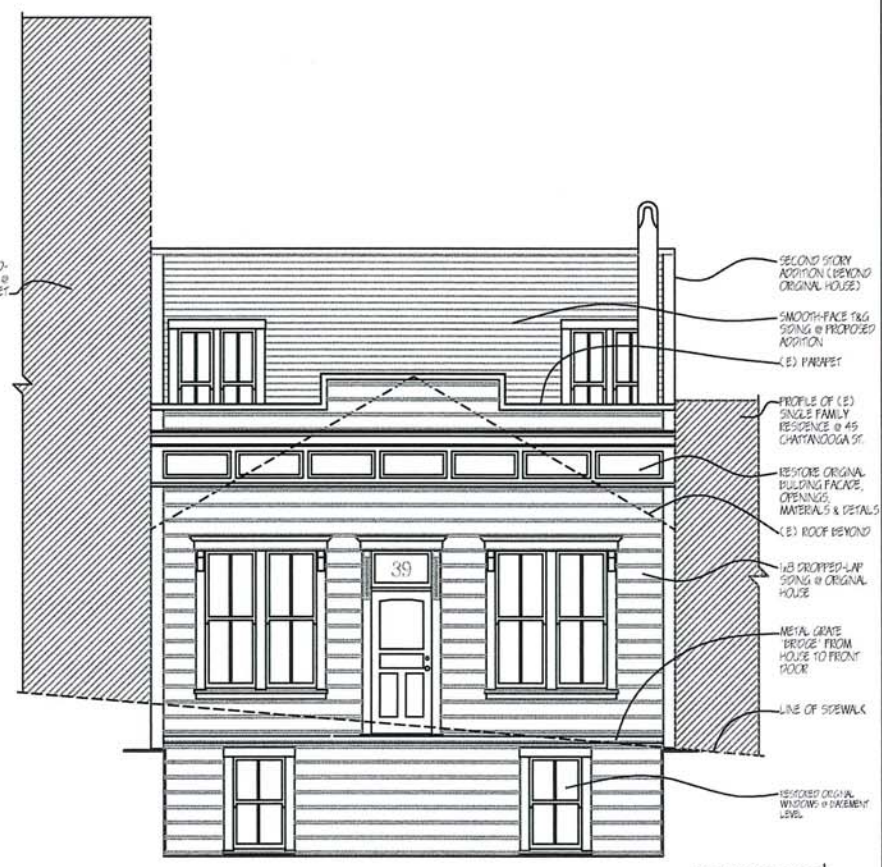
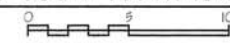
KEN MARTIN
ARCHITECT
4003 PATERSON STREET, DECEMBER 14, 2008
SAN FRANCISCO, CA 94114-5024
PHONE: 415.774.4072

REVISIONS	DATE	BY	CHECKED	APP. NO.

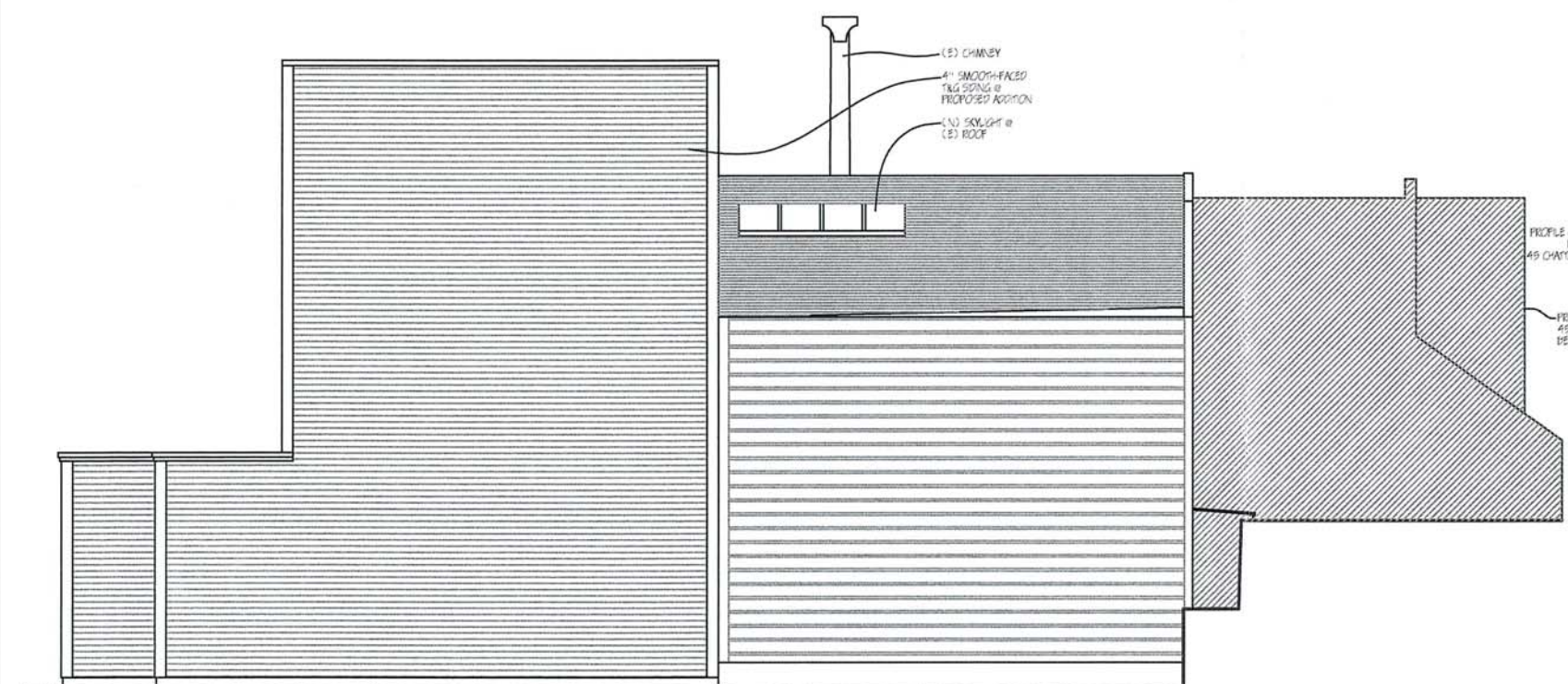
ENVIRONMENTAL CONFORMANCE
Risa Schwartz Residence
29 Chestnut Street
San Francisco, CA 94114-5024
APRIL 11, 2008



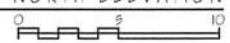
PROPOSED SOUTH ELEVATION



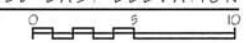
PROPOSED WEST ELEVATION, FROM FRONT YARD



PROPOSED NORTH ELEVATION



PROPOSED EAST ELEVATION



KEN MARTIN
ARCHITECT
1013 BAYMAN STREET, BERKELEY, CA 94708
916.444.4426

NO.	REVISIONS

PROPOSED EXTERIOR ELEVATIONS

ARCHITECTURAL PARTNERSHIP
Risa Schwartz Residence
59 Chatsworth Street
San Francisco, CA 94118-5024
FEBRUARY 17, 2017



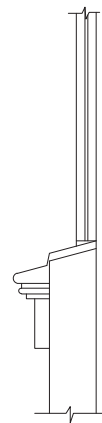
EXISTING



PROPOSED



EXISTING WINDOW TRIM



TRIM SECTION



PROPOSED WINDOW TRIM @ (N) WINDOWS ONLY

1x4 HEAD CASING

SINGLE HUNG WINDOW

1x4 SIDE CASING TYP.

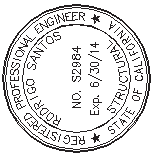
1/2" SILL BOARD



TRIM SECTION

REVISIONS	BY

SANTOS & URRUTIA
STRUCTURAL
ENGINEERS
 2451 HARRISON STREET
 SAN FRANCISCO, CA 94110
 TELEPHONE (415) 642-7722
 FAX (415) 642-7590



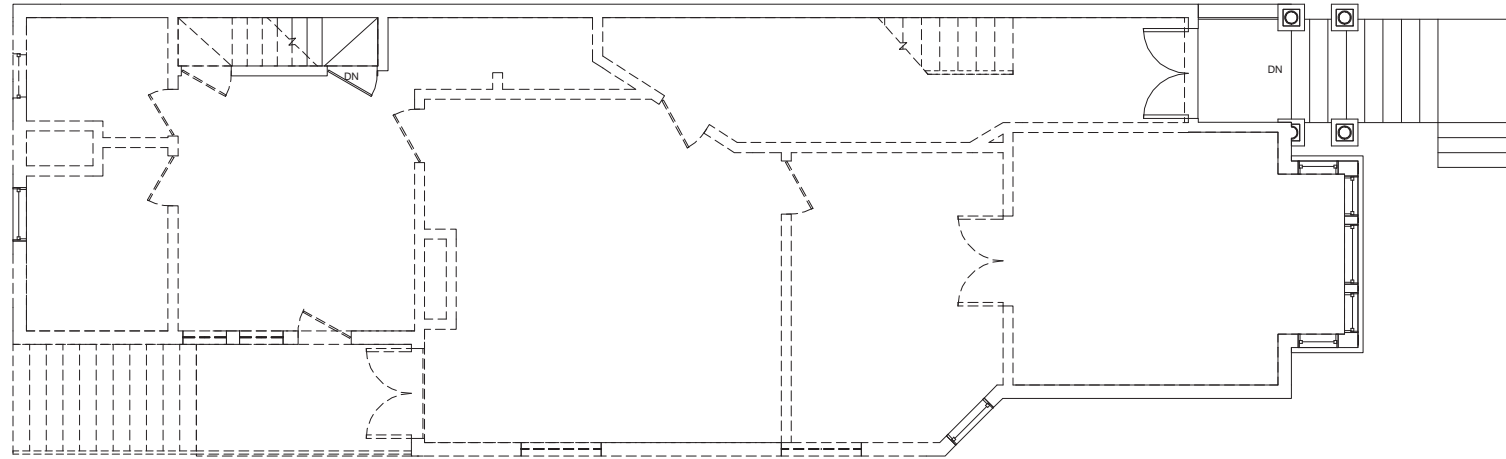
**EXISTING AND
 PROPOSED STREET
 VIEWS**

**RESIDENTIAL REMODEL
 AND ADDITION
 15 BAKER STREET
 SAN FRANCISCO, CALIFORNIA**

Date:	10/31/13
Scale:	
Drawn By:	R.S.
Job No:	8729
Sheet	A0.4
Of 20	Sheets

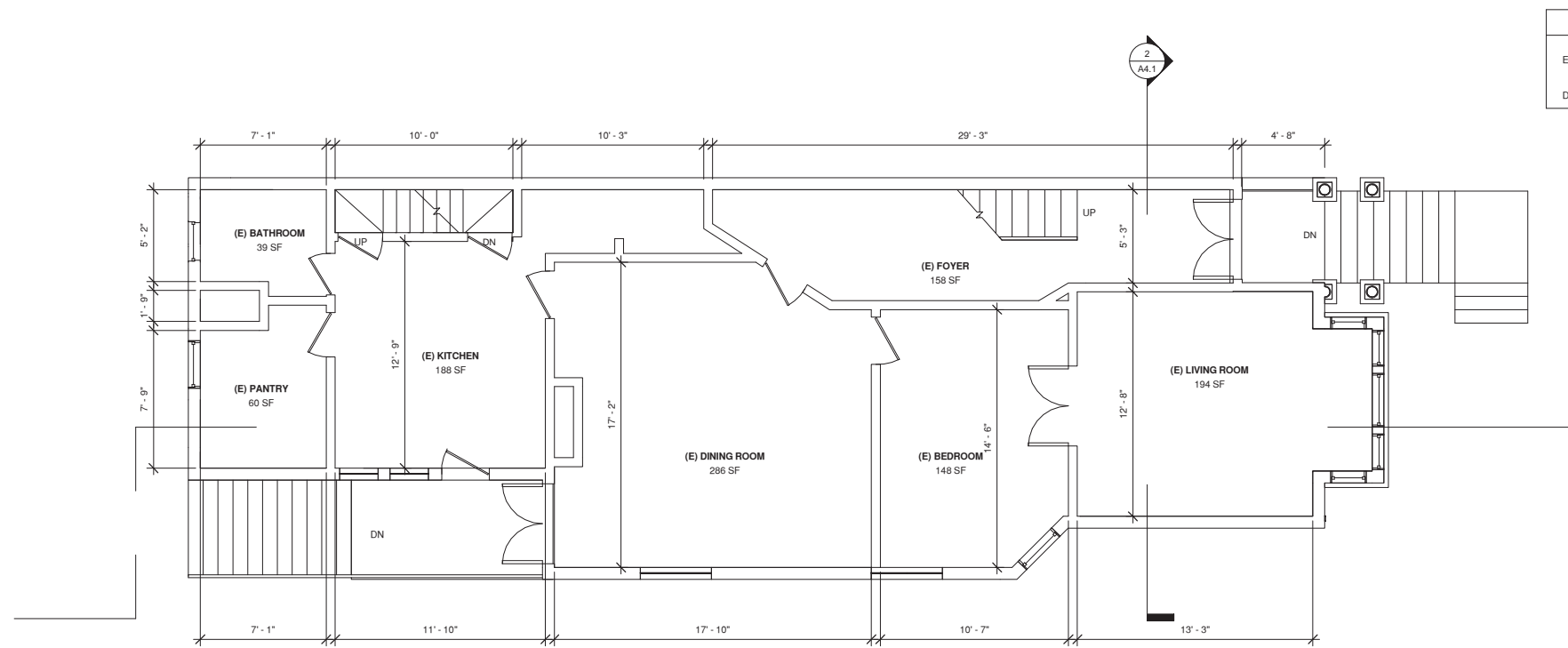
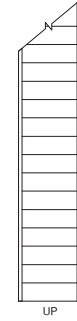
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 06/14/12 S.T.B. - ARCHITECTURAL PLANS
 1/13/2014 11:16:12 AM

DEMOLITION SECOND FLOOR PLAN
 1/4" = 1'-0"



NORTH

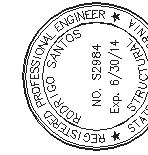
EXISTING SECOND FLOOR PLAN
 1/4" = 1'-0"



WALL LEGEND	
EXISTING WALL	
DEMO WALL	

REVISIONS	BY

SANTOS & URRUTIA
 STRUCTURAL
 ENGINEERS
 2451 HARRISON STREET
 SAN FRANCISCO, CA 94110
 TELEPHONE (415) 642-7722
 FAX (415) 642-7590

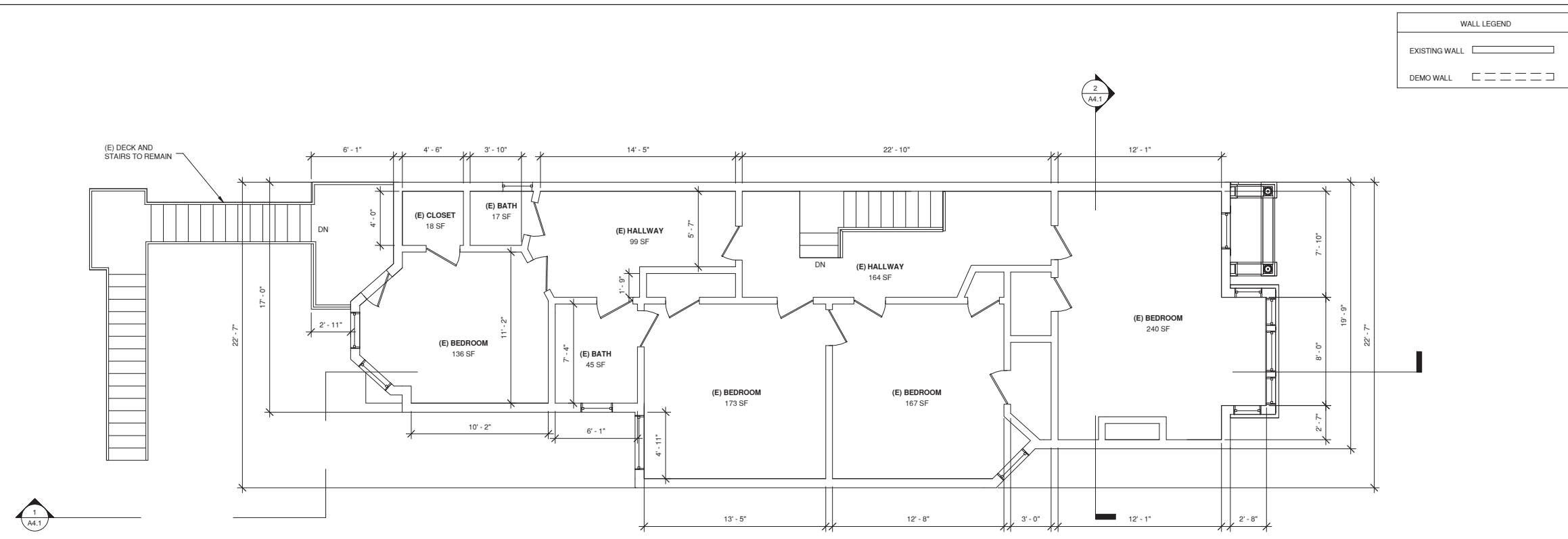


**EXISTING AND
 DEMOLITION SECOND
 FLOOR PLANS**

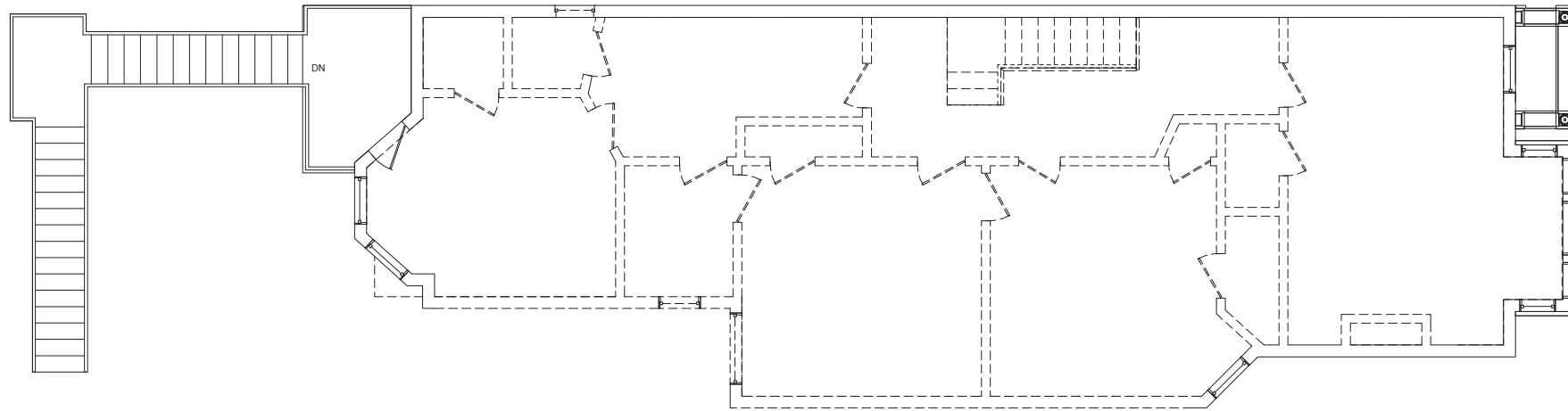
**RESIDENTIAL REMODEL
 AND ADDITION
 15 BAKER STREET
 SAN FRANCISCO, CALIFORNIA**

Date:	10/31/13
Scale:	1/4" = 1'-0"
Drawn By:	R.S.
Job No:	8729
Sheet	A1.2
Of 20	Sheets

EXISTING THIRD FLOOR PLAN
 1/4" = 1'-0"

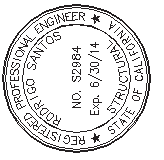


DEMOLITION THIRD FLOOR PLAN
 1/4" = 1'-0"



REVISIONS	BY

SANTOS & URRUTIA
 STRUCTURAL
 ENGINEERS
 2451 HARRISON STREET
 SAN FRANCISCO, CA 94110
 TELEPHONE (415) 642-7722
 FAX (415) 642-7590



**EXISTING AND
 DEMOLITION THIRD
 FLOOR PLANS**

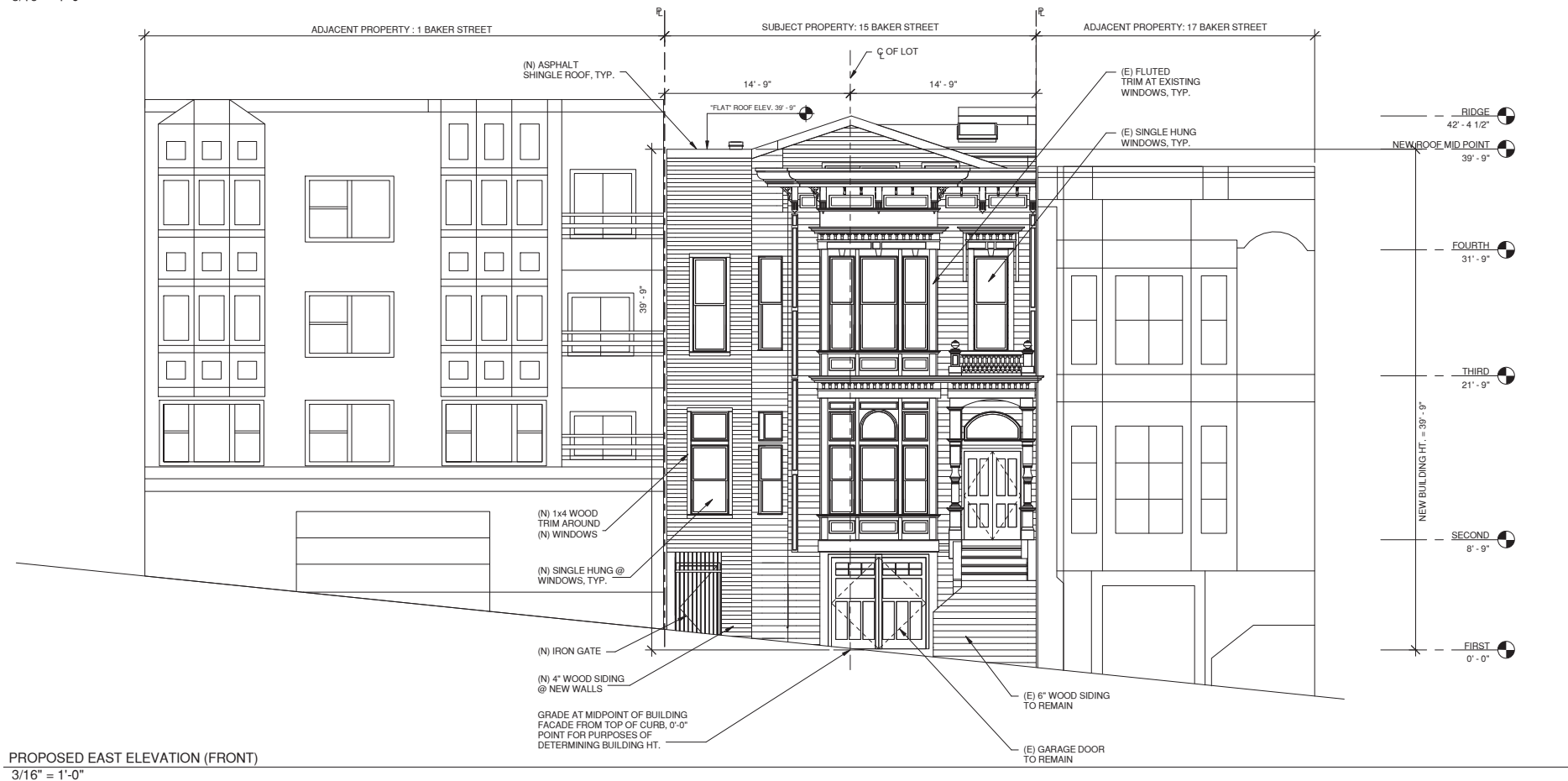
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 AND ADDITION
 15 BAKER STREET
 SAN FRANCISCO, CALIFORNIA**

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Drawn By:	R.S.
Job No:	8729
Sheet	A1.3
Of 20	Sheets

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 1/13/2014 11:16:24 AM



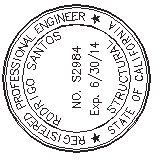
EXISTING EAST ELEVATION (FRONT)
 3/16" = 1'-0"



PROPOSED EAST ELEVATION (FRONT)
 3/16" = 1'-0"

REVISIONS	BY

SANTOS & URRUTIA
 STRUCTURAL
 ENGINEERS
 2451 HARRISON STREET
 SAN FRANCISCO, CA 94110
 TELEPHONE (415) 642-7722
 FAX (415) 642-7590



**EXISTING AND
 PROPOSED EAST
 ELEVATION (FRONT)**

**RESIDENTIAL REMODEL
 AND ADDITION
 15 BAKER STREET
 SAN FRANCISCO, CALIFORNIA**

Date:	10/31/13
Scale:	3/16" = 1'-0"
Drawn By:	R.S.
Job No:	8729
Sheet	A3.1
Of 20	Sheets