



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

DATE: May 1, 2019

TO: Architectural Review Committee (ARC) of the Historic Preservation Commission (HPC)

FROM: Shannon Ferguson, Preservation Planner, (415) 575-9074

REVIEWED BY: Tim Frye, Historic Preservation Officer, (415) 575-6822

RE: **Review and Comment on a proposal for the demolition of an existing garage and construction of new larger garage with roof deck, expansion of the building at the west elevation, new stairs at the west elevation, infill with new roof at the third story, modification of the porte cochere/ carriageway, enlargement of window openings at the west and north facades, replacement of chimneys, and interior alterations at all floors**

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BACKGROUND

The Planning Department (Department) requests review and comment before the Architectural Review Committee (ARC) regarding a proposal for 3500 Jackson Street (subject property, Assessor's Block No. 0970, Lot No. 002) for the demolition of an existing garage and construction of new larger garage with roof deck, expansion of the building at the west elevation, new stairs at the west elevation, infill with new roof at the third story, modification of the porte cochere/carriageway, enlargement of window openings at the west and north facades, replacement of chimneys, and interior alterations at all floors. The subject property is Landmark No. 56 (designated in 1972), also known as the Roos House, and is listed on the National Register of Historic Places. 3500 Jackson Street is in a RH-1 (Residential-House, One Family) Zoning District and a 40-X Height and Bulk District.

PROPERTY DESCRIPTION

3500 Jackson Street is located on the northwest corner of Jackson and Locust streets in the Presidio Heights neighborhood. The Presidio lies one-half block to the north. The subject property sits on a rectangular lot with 60 feet fronting on Jackson Street and approximately 127 feet on Locust Street. In 1909, Leon L. Roos, who founded clothiers Roos Brothers, Inc. with his brother in 1886, commissioned Bernard Maybeck to build the Tudor style house with Gothic influences. The house is three stories with a basement, clad in stucco with half-timbering, and has slate covered gabled roofs. According to the Landmark Designation Report, the subject property was described as Maybeck's "most urbane" residence.

The Landmark Designation Report goes on to describe the Jackson Street façade (south wing) with its "carved quatrefoils resting outward from the walls on extended brackets to support a second-story shallow pitched roof. Above the roof and set back at some distance from its eaves to render it invisible from close-up, a sharply pitched roof encloses the third floor. ...An elaborate balcony serving the second-floor master bedroom and study is housed between two small windowless bays extending over the front garden. The entire composition rests on three projecting beams, the central one being supported by a 45-degree base

anchored to the façade below. Two carved quatrefoils, raked from their point of intersection over the center beam comprise the balcony railing.” A porte cochere is located at the west side of the Jackson Street façade.

Because of the drop in grade on Locust Street, the basement walls of the north wing are exposed and the main floor, actually at Jackson Street level, ranges from one to two stories above grade. The entrance loggia extends under the second floor along Locust Street. Tall, diamond paned windows comprise the entire left wall of the loggia. The entry door has a Maybeck designed, Gothic influenced escutcheon incorporating the owner’s monogram. Above this wing a slate roof rises steeply, its ridge paralleling Locust Street. Several chimneys rise from the roof and through a series of tapers, the horizontal dimensions are gradually reduced until capped at the top.

The garage is located at the northwest corner of the lot and accessed from Locust Street by a concrete driveway. The one-story garage with shallow gabled roof is designed to mimic the house in materials and style. It has a wood garage door surmounted by transom windows and is capped by a gabled cornice.

Maybeck designed several additions to the house. In 1913 a balcony on the first story at the rear of the house was enclosed to become a “Tea Room” off the living room alcove. A dressing room was added to the master bedroom at the second story east elevation in 1919. In 1926, the “Morning Room” was added onto the second story at the rear of the house. Alterations to two rooms and a bathroom located in the attic occurred in 1926 and required the addition of a new dormer window at the Jackson Street facade. The porte cochere structure overhanging the carriageway at the west side of the house was added at an unknown date. These additions are compatible with the design, materials, and workmanship of the subject property and have taken on significance over time to become character defining features. The garage was built in 1982 to replace an earlier 1916 garage and is not significant or a character defining feature of the property.

PROJECT DESCRIPTION

The proposed project is for the demolition of an existing garage and construction of new larger garage with roof deck, expansion of the building at the west elevation, new stairs at the west elevation, infill with new roof at the third story, modification of the porte cochere/carriageway, enlargement of window openings at the west and north facades at the second story rear, replacement of chimneys, and interior alterations at all floors.

- **Garage:** Removal of an existing one-story, wood frame garage with stucco cladding and a composition roofing-clad gable roof form located at the northwest corner of the lot, and construction of a new larger one-story garage in approximately the same location that will require excavation into the hillside. The new larger garage will have a connector that accesses the north elevation of the house at the sub-basement level. The new garage will have a flat roof with a roof deck above. It will be clad in stucco with a horizontal wood garage door. A horizontal planter with simple brackets will be constructed above the door with the glass roof deck railing recessed above. An additional door and window opening will be cut into the sub-basement level on the north elevation of the house.
- **West Elevation Expansion:** Expansion of the west façade will occur near the middle of the façade, behind (to the north) of the porte cochere in a narrow passageway area referred to as the carriageway. It would extend the basement and first story, narrowing the carriageway. An existing projecting mass, and an existing projecting and recessed balcony at the first story would be subsumed by the

increased massing. A new picture window with sidelights would be installed in the location of the balcony (facing north) and additional new windows to match similar windows found on the house would be located on the new areas of the west facing wall. A new assembly of French doors with sidelights will be added to the basement level wall to the immediate north of the addition, replacing an existing pair of windows.

- **West Elevation Stairs:** New stairs will be added at the north side of the west façade accessing a second-floor balcony located in a recessed section between the main mass of the house and the added Tea Room and balcony (1913, designed by Maybeck). Construction of the Tea Room and balcony removed an earlier stair that once provided access to an open terrace where the Tea Room is now located. The balcony currently features low boxy corner posts and planter railings similar to those elsewhere on the house. The new exterior stair will be constructed from the balcony to the rear yard. The quarter turn stair will have wood posts and an open railing. Basement level walls, windows, and a wood bracket will be removed to accommodate an expanded building mass at the basement level underneath the existing balcony.
- **Third Floor Infill:** The third floor is currently two disconnected volumes. There are rooms within the main gable of the roof at the front (south) portion of the house and a separate small suite of rooms within a third-story pop-up mass to the immediate north of the main gable roof at the west side. A gap exists between the gable roof and the pop-up volumes. The proposed project will infill the gap between the gable roof and pop-up. A shallow roof will be inserted to connect the two volumes with the building mass infilled underneath to create interior communication between the two living areas.
- **Porte Cochere & Carriageway:** The porte cochere and concrete carriageway will be modified to create a level area with a new narrow step accessing a new side entry. A new wood deck will elevate the carriageway under the porte cochere to the same level as the bottom of the first story, retaining the existing sloped grade beneath. The posts at the first story of the porte cochere will remain beneath the new wood deck and new wood planters similar to those elsewhere on the house will be added along with a gate. Along the west elevation, the sloped concrete carriageway will be modified with new stairs and garden.
- **Enlarged Window Openings:** Window openings are proposed to be enlarged at the second story of the north and west facades (two windows on the north façade and three windows on the west façade of the “Morning Room” at the rear of the house). The new window sashes will be single-lite, wood awning sash, similar to existing window sash.
- **Chimneys:** Three chimneys (concrete structure with stucco cladding) will be demolished and the stacks above roof level rebuilt to match the look of the original chimneys. Chimneys proposed for demolition are located at the northeast corner of the front gable (visible from Locust Street), at the west corner of the front gable (visible above and east of the porte cochere), and at the third-story pop up. Chimneys are proposed for demolition to provide more interior floor space and are proposed to be replaced with plywood clad in stucco.

- **Interior alterations:** All floors will receive interior alterations, including the basement, kitchen, laundry room, second floor master bedroom suite, second floor bedrooms and bathrooms, and third floor.

OTHER ACTIONS REQUIRED

Pursuant to Planning Code Section 1006.1, the Historic Preservation Commission (HPC) shall review the application for a Certificate of Appropriateness for compliance with Article 10 of the Planning Code, the Secretary of Interior's Standards, and any applicable provisions of the Planning Code at a future date. At a future hearing, the Zoning Administrator will consider a request for a variance from rear yard requirements.

ENVIRONMENTAL REVIEW

The proposed project will undergo environmental review pursuant to the California Environmental Quality Act (CEQA) prior to hearing before the HPC.

PUBLIC/NEIGHBORHOOD INPUT

To date, the Department has not received any public comment about the proposed project.

CHARACTER DEFINING FEATURES OF THE LANDMARK BUILDING

The landmark designation does not state a period of significance. Department staff has determined the period of significance to be 1909-1926 reflecting the subject property's construction date to the last known date of alterations designed by Bernard Maybeck. The designation does not include a list of character defining features, therefore Department staff has identified the following character defining features:

- Varied shape and stories
- Corner loggia entrance that extends under the second floor along Locust Street
- Porte cochere and sloped carriage way
- Highly visible, steeply sloping roof of north and south wings, shallow sloped balcony roof at south facade, shallow stepped roof at east facade, and dormer at south wing; all roof forms are clad in slate
- Tapered, decoratively capped chimneys
- Prominent balcony at south facade housed between windowless bays and supported by three projecting beams, the central one supported by a 45-degree brace anchored to the facade below
- Wood half timbering
- Stucco cladding
- Carved quatrefoils
- Diamond paned leaded glass and wood sash windows
- Elongated flowerboxes
- Small landscaped yard in the front setback and landscaping at shallow side setback on Locust Street
- Highly decorative public rooms, including the dining room, entry foyer, living room, library, main stair, and tea room

STAFF ANALYSIS

The Department seeks feedback from the ARC on the design, materiality, and relationship to setting for the proposed for the demolition of an existing garage and construction of new larger garage with roof deck, expansion of the building at the west elevation, new stairs at the west elevation, infill with new roof at the third story, modification of the porte cochere/carriageway, enlargement of window openings at the west and

north facades, and replacement of chimneys to the landmark property as defined by the Secretary of the Interior's Standards for Rehabilitation (Secretary's Standards) and Article 10 of the San Francisco Planning Code.

Staff reviewed the compatibility of the proposal (see attached plans) for conformance with:

- The Secretary's Standards;
- Character-defining features of the landmark building

The Department would like the ARC to consider the following information:

Secretary of the Interior's Standards for Rehabilitation

The proposed project will alter the existing forms, fenestration patterns, and spatial relationships of the west elevation, porte cochere and north elevation of the house. The existing garage creates a false sense of history in the way it mimics the distractive materials and features of the house. Demolition of the garage appears to not remove distinctive character defining features of the subject property. Department staff will undertake a complete analysis of the proposed project per the applicable Secretary's Standards as part of the environmental review and the subsequent preservation entitlement (Certificate of Appropriateness).

- **Garage:** The new enlarged garage will be constructed at the northwest corner of lot and will project further into the existing Locust Street driveway, connecting with the house at its northwest corner. The roofline will be slightly lower than the existing low gable roofed garage. The new enlarged garage seeks to avoid interruption of the diagonal brackets/projecting beam ends that support the second story on the northwest corner of the house. Overall, the one story, flat-roofed, rectangular form of the garage appears to be compatible with the subject property. The scale of new garage appears similar to the existing garage and its proportions provide a suitable relationship to the subject property. The stucco and wood cladding of the new garage appears to be compatible with the materials, colors and textures of the subject property's half timbering with stucco in between. The horizontal planter relates to the low planters found on the balconies at the south elevation and the brackets relate to the many brackets and projecting beams of the house.

Recommendation: Staff believes the overall form, scale, proportion, materials, and details of the new garage appears to be compatible with the subject property. Staff will provide a full compatibility analysis to the HPC. Staff asks for clarification on whether or not the Architectural Review Committee concurs with staff's assessment.

- **West Elevation Expansion:** Plans dated April 23, 2019 show a rendering of staff recommended proposed changes to the west elevation (See page 7, Alt 3). The project sponsor will present other options at the ARC for discussion. The recommended option begins the west elevation expansion at the location of the existing projecting mass containing the laundry room. New windows at this facade will have a wood sash with a single light and casement operation. The openings will have a wood sill and trim. The new mass at this location appears to be compatible with the scale and proportion of the subject property. The set back of the new mass at the existing laundry room projection minimizes its projection into the existing carriageway and maintains the view of the porte cochere from the public right of way. The new windows are located on secondary elevation and appear to be

compatible with the existing size, configuration, fenestration pattern, materials and operation of the existing windows.

Recommendation: Staff believes the option shown in plans dated April 23, 2019, page 7, Alt 3 for the west elevation expansion appears to be compatible with the subject property. Staff asks for clarification on whether or not the Architectural Review Committee concurs with staff's assessment.

- **West Elevation Stairs:** The new proposed west elevation stairs would remove a small portion of the existing balcony to construct stairs accessing the rear yard and expand the building mass at the basement level underneath the balcony and remove basement level walls, windows, and a wood bracket. The location and form of the new rear yard stair appears to be compatible, but the scale and detailing of the wood and metal elements do not reflect the heavy, substantial appearance of other balcony posts and railings found on the subject property. Expansion underneath the balcony appears to be compatible as it is not visible from the street and does not expand into the carriageway; removal of the bracket appears to be incompatible.

Recommendation: Staff believes the location and form of the stairs appears to be compatible with the subject property, but requests additional details of the wood and metal elements and explore alternate solutions to removal of the bracket in order to complete a full compatibility analysis for the HPC. Staff asks for clarification on whether or not the Architectural Review Committee concurs with staff's assessment.

- **Third Floor Infill:** The proposed infill at the third floor will connect two separate volumes at this level. The infill will be clad in stucco and the shallow roof will be covered in slate. The overall form of the third story infill appears to be compatible with the subject property and its scale and proportion appears to be minimally visible from Jackson and Locust Streets. The stucco cladding, wood trim and slate roofing material of the third story infill is appears to be compatible with the materials, colors and textures of the existing body and roof of the building.

Recommendation: Staff believes the overall form, scale, proportion, materials, and details of the third-floor infill appears to be compatible with the subject property. Staff recommends story poles to analyze its visibility. Staff asks for clarification on whether or not the Architectural Review Committee concurs with staff's assessment.

- **Porte Cochere & Carriageway:** The porte cochere and concrete carriageway will be modified to create a level area with a new narrow step accessing a new side entry. A new wood deck will be added, maintaining the existing sloped grade beneath. The posts at the first story of the porte cochere will be remain beneath the new wood deck. Along the west elevation, the sloped concrete carriageway will be modified with new stairs. The introduction of a narrow step accessing a new side entry appear to be compatible with the form of the porte cochere. The new door has a similar fenestration pattern, material, and detail to those found on the west elevation. Proposed alterations changing the sloped grade of the carriageway within the porte corchere with a new wood deck, elevating it to nearly the same level as the bottom of the first story and concealing the posts, do not appear to be compatible, despite the reversibility of the wood deck. The sloped grade of the carriageway should be retained and decorative posts should be visible. It is important to retain as

many character defining features as possible, which includes the decorative posts of the porte cochere and sloped carriageway. Adding steps to the deeply sloped carriageway appears to be compatible, however, steps should follow the grade of the carriageway.

Recommendation: Staff recommends maintaining the slope of the carriageway under the port cochere and adding additional steps to access the new side entry. Steps in the carriageway should follow the grade, which would make them less visible from the public right of way. Staff asks for clarification on whether or not the Architectural Review Committee concurs with staff's assessment.

- **Enlarged Window Openings:** Windows at the rear of the subject property in the "Morning Room" (north and west facades) are proposed to be enlarged. The second story of the north elevation is slightly visible from Locust Street and from the Presidio (see photos 7-8), while the west elevation is not visible. The new enlarged windows will be a single lite, wood sash, awning windows with wood sill and trim. The new windows appear to be compatible with the configuration, fenestration pattern, materials and operation of the existing windows; however, the top of the windows appear to impede slightly on the eaves of the roof.

Recommendation: Staff believes the scale of the windows should be reduced so as not to interfere with the eaves of the roof to avoid alteration of a character defining feature. Staff asks for clarification on whether or not the Architectural Review Committee concurs with staff's assessment.

- **Chimneys:** Three chimneys are proposed to be removed to provide additional interior floor space, while the tops of the chimneys above the roof are proposed to be replicated using plywood clad with stucco. The chimneys are constructed of concrete and clad with smooth stucco. Two of the three chimneys proposed for removal have decorative caps while the third chimney has a simple rectangular form. Removal of the existing character defining chimneys that display a distinctive example of the subject property's craftsmanship and replication with substitute materials does not appear to be compatible.

Recommendation: Staff recommends exploring whether or not existing chimneys are able to be retained above the roof and asks that a structural engineer with preservation experience be engaged to provide alternate solutions to removal and replication of the chimneys. Detailed and dimensioned drawings and materials samples for replicated chimneys should be provided for Department review. Staff asks for clarification on whether or not the Architectural Review Committee concurs with staff's assessment.

- **Interior alterations:** All floors will receive interior alterations. Alterations appear to be limited to the non-public spaces, such as basement, kitchen, bedrooms and bathrooms. Alterations will not occur in the highly decorative public rooms, such as the dining room, entry foyer, living room, library, main stair, and tea room.

Recommendation: Staff believes alterations to highly decorative public rooms have been minimized. Staff asks for clarification on whether or not the Architectural Review Committee concurs with staff's assessment.

REQUESTED ACTION

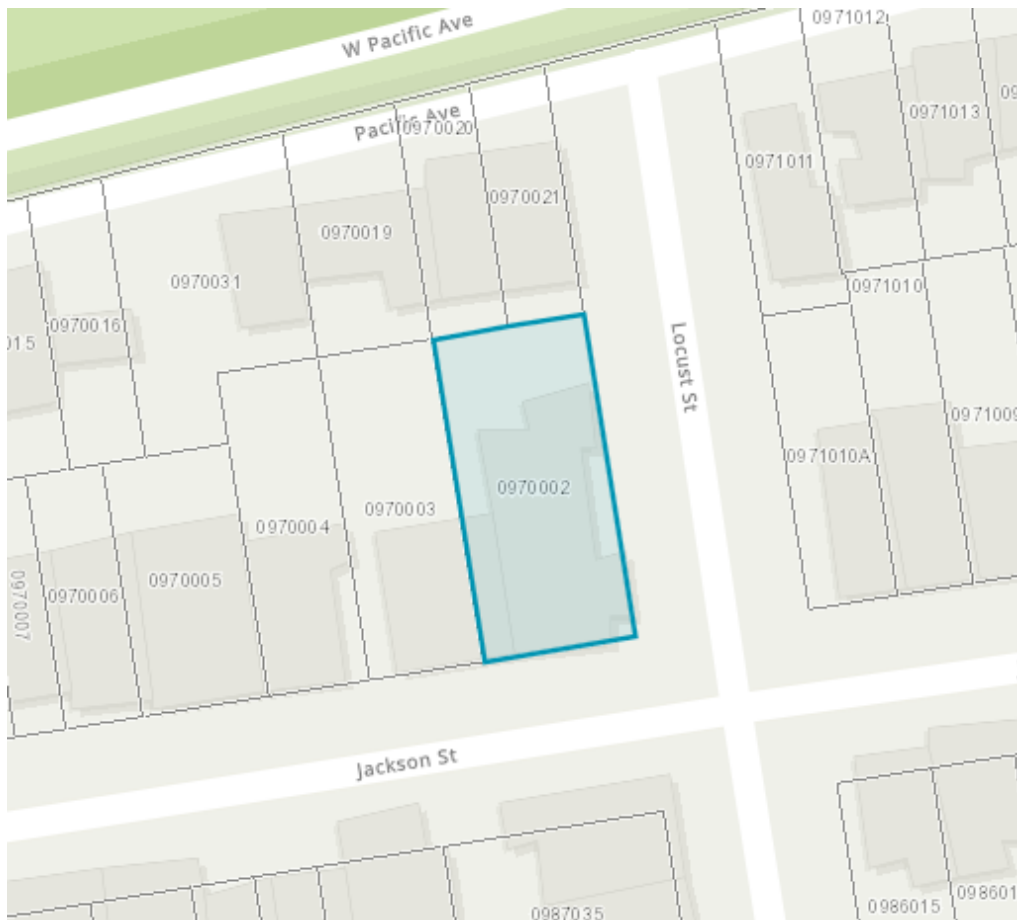
The Department seeks comments on:

- Compatibility of the proposal with the character defining features of the landmark property;
- Recommendations for overall form and continuity of the proposal;
- Recommendations for scale and proportion of the proposal;
- Recommendations for fenestration of the proposal;
- Recommendations for materials, texture, and details of the proposal.

ATTACHMENTS

- Exhibits including:
 - Parcel Map
 - Zoning Map
 - Aerial Photo
 - Sanborn Map
- Exterior site photos
- Landmark Designation Report
- Plans dated March 22, 2019
- Plans dated April 23, 2019

Parcel Map



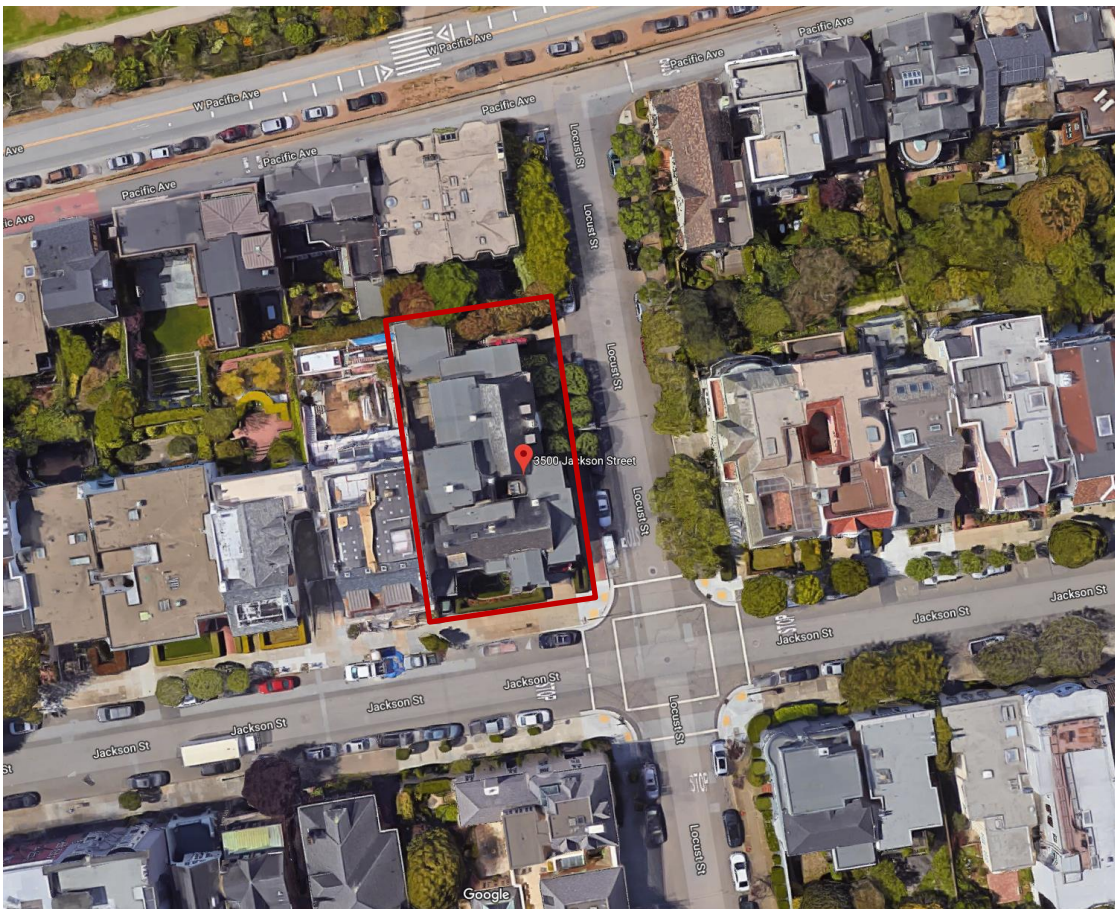
Subject property outlined and shaded in blue.

Zoning Map



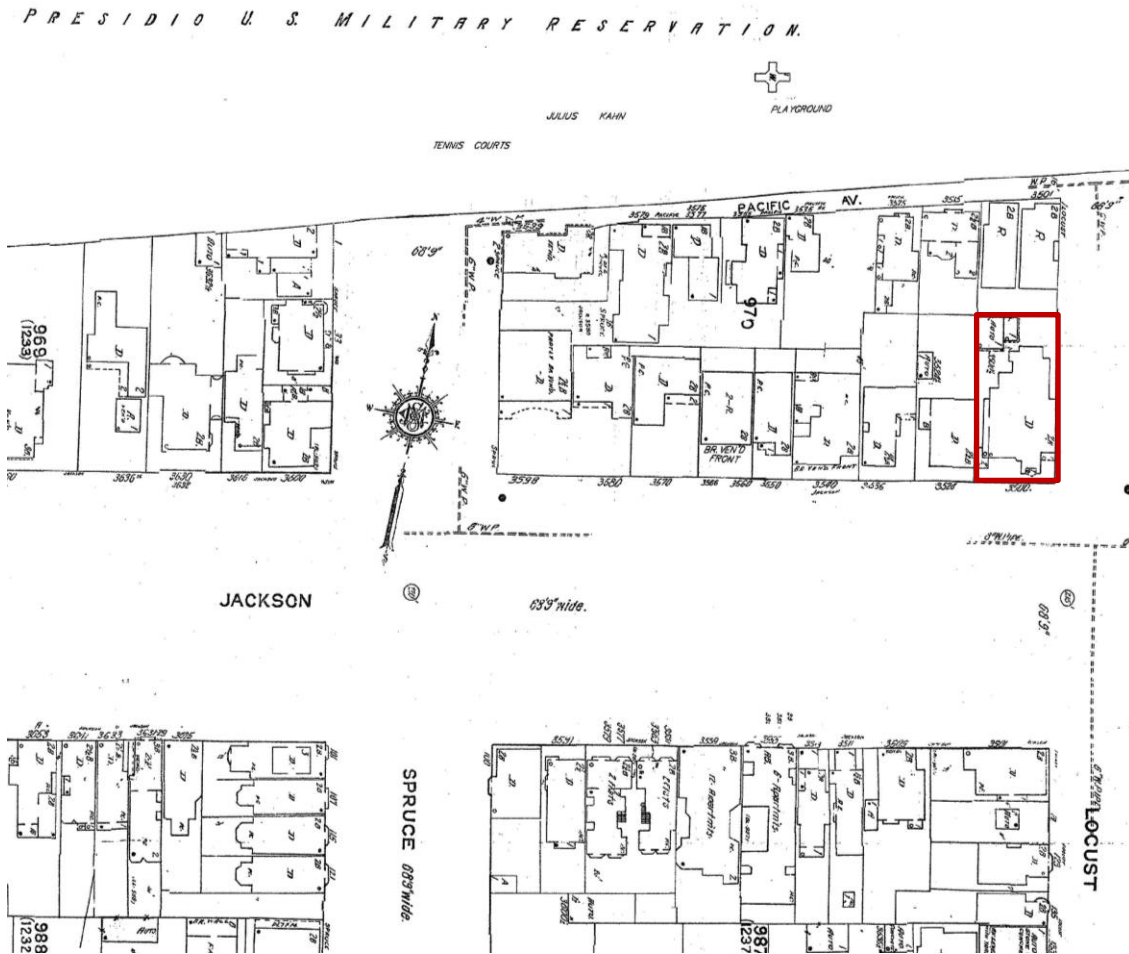
Subject property outlined and shaded in blue.

Aerial Photo



Subject property outlined in red.

Sanborn Map



Subject property outlined in red.



Photo 1. 3500 Jackson Street, view northwest.



Photo 2. South elevation, view north.



Photo 3. Detail of carriageway, view north.



Photo 4. East elevation, view west.



Photo 5. North elevation (left) and garage (right) constructed in 1982, view west.



Photo 6. Detail of northwest corner of house and garage, view southwest.



Photo 7. North elevation, view southwest from Locust and Pacific streets.



Photo 8. North elevation, view south from the Presidio.

FILE COPY
73.1

FILE NO. 90-73-5

ORDINANCE NO. 270-73

1 DESIGNATING THE ROOS HOUSE AS A LANDMARK PURSUANT TO ARTICLE 10 OF THE CITY PLANNING
2 CODE.

3 Be it ordained by the people of the City and County of San Francisco:

4 Section 1. The Board of Supervisors hereby finds that the Roos House located
5 at 3500 Jackson Street, being Lot 2 in Assessor's Block 970, has a special character
6 and special historical, architectural and aesthetic interest and value, and that its
7 designation as a Landmark will be in furtherance of and in conformance with the
8 purposes of Article 10 of the City Planning Code and the standards set forth therein.

9 (a) Designation. Pursuant to Section 1004 of the City Planning Code,
10 Chapter II, Part II of the San Francisco Municipal Code, the Roos House is hereby
11 designated as a Landmark, this designation having been duly approved by Resolution
12 No. 6587 of the City Planning Commission, which Resolution is on file with the Clerk
13 of the Board of Supervisors under File No. 90-73-5.

14 (b) Required Data. The location and boundaries of the landmark site, the
15 characteristics of the landmark which justify its designation, and the particular
16 features that should be preserved, described and included in the said Resolution,
17 are hereby incorporated herein and made a part hereof as though fully set forth.
18

Passed for Second Reading
Board of Supervisors, San Francisco
JUN 25 1973

Ayes: Supervisors Barbagelata, Chinn, Feinstein,
Francis, Gonzales, Kopp, Mendelsohn, Molinari,
Pelosi, Tamaras, von Beroldingen.

~~No. Supervisors~~

~~Absent Supervisors~~

Robert J. Dolan
Clerk

90-73-5 JUL - 6 1973
File No. Approved

Read Second Time and Finally Passed
Board of Supervisors, San Francisco
JUL 2 1973

Ayes: Supervisors Barbagelata, Chinn, Feinstein,
~~Francis~~, Gonzales, Kopp, Mendelsohn, Molinari,
Pelosi, Tamaras, von Beroldingen.

~~No. Supervisors~~

Absent: Supervisor FRANCIS

I hereby certify that the foregoing ordinance was
finally passed by the Board of Supervisors of the
City and County of San Francisco.

Robert J. Dolan
Clerk
Joseph L. Alioto
Mayor

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CITY PLANNING COMMISSION

RESOLUTION NO. 6937

WHEREAS, A proposal to designate the Roos House at 3500 Jackson Street as a Landmark pursuant to the provisions of Article 10 of the City Planning Code was initiated by the Landmarks Preservation Advisory Board on December 6, 1972, and said Advisory Board, after due consideration, has recommended approval of this proposal; and

WHEREAS, The City Planning Commission, after due notice given, held a public hearing on March 8, 1973, to consider the proposed designation and the report of said Advisory Board; and

WHEREAS, The Commission believes that the proposed Landmark has a special character and special historical, architectural and aesthetic interest and value; and that the proposed designation would be in furtherance of and in conformance with the purposes and standards of the said Article 10;

NOW THEREFORE BE IT RESOLVED, First, that the proposal to designate the Roos House at 3500 Jackson Street as a Landmark pursuant to Article 10 of the City Planning Code is hereby APPROVED, the location and boundaries of the landmark site being as follows:

Beginning at the point of intersection of the northerly line of Jackson Street and the westerly line of Locust Street, thence northerly along the westerly line of Locust Street for a distance of 127.688 feet, thence at a right angle westerly for a distance of 60 feet, thence at a right angle southerly for a distance of 127.688 feet, thence at a right angle easterly along the northerly line of Jackson for a distance of 60 feet to the point of beginning. Being Lot 2 in Assessor's Block 970 which property is known as and located at 3500 Jackson Street.

Second, That the special character and special historical, architectural and aesthetic interest and value of the said Landmark justifying its designation are set forth in the Landmarks Preservation Advisory Board Resolution No. 76 as adopted on December 6, 1972, which resolution is incorporated herein and made a part hereof as though fully set forth.

Third, That the said Landmark should be preserved generally in all of its particular exterior features as existing on the date hereof and as described and depicted in the photographs, case report and other material on file in the Department of City Planning Docket LM 73.1

AND BE IT FURTHER RESOLVED, That the Commission hereby directs its Secretary to transmit the proposal for designation, with a copy of this Resolution, to the Board of Supervisors for appropriate action.

I hereby certify that the foregoing resolution was adopted by the City Planning Commission at its hearing of March 8, 1973.

Lynn Pio
Secretary

AYES: Commissioners Farrell, Fleishhacker, Mellon, Newman, Porter, Ritchie
NOES: None
ABSENT: Commissioner Rueda
PASSED: March 8, 1973

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OWNER: Mrs. Leon L. Roos

LOCATION: 3500 Jackson Street, northwest corner of Jackson and Locust Streets. Lot is rectangular with 60 foot frontage on Jackson Street and 127.683 feet on Locust Street; being Lot 2 in Assessor's Block 970.

HISTORY: In 1909, Leon L. Roos commissioned Bernard Maybeck to build the two-story English stucco and half timber house, while he and his wife were on their honeymoon in Europe. Leon Roos was the son of Adolphe Roos, who came to San Francisco from his home in Alsace, France, in 1861. Adolphe and his brother Hyppolite founded Roos Brothers, Inc., clothiers, in 1886. After graduating from the University of California, Leon Roos became a partner in Roos Brothers. He retired in 1927. A philanthropist, Roos had an especial interest in the blind and was responsible for bringing the first seeing eye dogs to California from Germany.

ARCHITECTURE: Bernard Maybeck (1862-1957) received his formal architectural training at L'Ecole des Beaux Arts, Paris, during the 1880's. Unlike most of his contemporaries in architecture who held fast to the strong academic traditions then prevalent in the profession, Maybeck, because he was able to grasp the spirit which created an architectural epoch, succeeded both in bestowing renewed life into old forms and creating new forms and concepts appropriate to his own time. Shared with some few others, many of his concepts - the open plan, the use of natural, unfinished materials and the expansive use of glass to fuse inside and outside - were not only radical for their time but were generally rejected outright for decades. Nevertheless, their validity could not be suppressed forever and today they are commonplace (albeit in a frequently undistinguished manner) not only in Bay Area structures but throughout the nation and beyond.

Described as Maybeck's "most urbane residence",^{*} the three-story wood-frame Roos House is an adaptation of old English half-timber style combined with Gothic influences. Located at the northwest corner of Jackson and Locust Streets, its romantic appeal is heightened, when viewed from Locust Street, by the pastoral-like setting provided by The Presidio.

The exterior Gothic qualities are most evident in the southerly portion of the house. Here, carved quatrefoils rest outward from the walls on extended brackets to support a second-story shallow-pitched roof. Above this roof and set back some distance from its eaves to render it invisible from close up, a sharply pitched roof encloses a third floor. The pitch of the second story roof, the horizontal members of the half-timber styling and elongated flower boxes at second story level, impart a somewhat recumbent appearance to this wing which contrasts with the stronger vertical thrust of the northerly portion of the house.

Although the house is composed of many exciting elements, the focus for the exterior is found facing Jackson Street above and to the left of the loggia entrance at the corner. At this point, an elaborate balcony serving the second-floor master bedroom and study is housed between two small windowless bays extending over the front garden. The entire composition rests on three projecting beams, the central one being supported by a 45 degree brace anchored to the facade below. Two carved quatrefoils, raked from their point of intersection over the center beam, comprise the

* McCoy, Five California Architects, p. 17.

ARCHITECTURE: balcony railing. Overhead, a dormer, whose front wall is aligned with the facade at ground floor level, has its interrupted eaves supported by quatrefoils resting on the sloped roof of the bays flanking the balcony.
(Continued)

Because of the drop in Locust Street, the basement walls of the north wing are exposed and the main floor, actually at Jackson Street level, here ranges from one to two stories above grade. Above this wing, a slate roof rises steeply, its ridge paralleling Locust Street. A fireplace and chimney centered in the Locust Street exterior wall, begins its rise in the basement and at main floor level a projection supported on corbels indicates the fire-box inside. Through a series of tapers, the horizontal dimensions of the capped chimney are gradually reduced to a size no larger than that necessary to house a single flue.

The loggia, entry to which is clearly indicated by trimmed hedges along Jackson Street, extends under the second floor along Locust Street. From one's entry point, tall, diamond-paned windows comprise the entire left wall; on the right, views of The Presidio are visible between the square columns until the northerly end is reached where the columns are replaced by a solid wall opposite the paired door main entrance. On the doors, Gothic influence is found in the form of a Maybeck designed escutcheon incorporating the owner's monogram. In this connection, the doorbell plate was also executed by the architect.

The interior of the house is divided into three living levels. The public rooms: entry hall, living and dining room, as well as the service rooms: kitchen and pantry, are at street level. The second floor contains family living quarters and the third floor, guest rooms which were finished off by Maybeck in the mid-1920's at the same time alterations and additions were made to the two lower floors.

A wide entry hall extends from the main entrance laterally across the house to the service areas. Here, the sublimity of the public rooms is first revealed in the generous use of redwood paneling (Maybeck's favorite) for walls and ceiling, and flush doors surfaced with amethyst velvet. Having no exterior windows, the entry hall's only source of natural light is from a skylight with translucent glass in six panels flush with the ceiling; at night, artificial light is emitted from the same source. Other artificial illumination here and in the adjacent rooms originates from wall fixtures of Maybeck's own design. Some of these fixtures are open metal work in three dimensions; others are two-dimensional plaques (with recessed sockets for exposed light bulbs) whose open metal work reveals the same velvet as on the doors.

On the south in the entry hall, a wide doorway framed in a deep wall leads to the dining room; opposite is a similar entry to the living room. The depth of these walls allows for storage of hinged panels or screens, also covered in velvet, which slide on an overhead track to close off these rooms from the entry. When recessed into the wall, the last or exposed panel takes on an appearance similar to the flush doors nearby.

Redwood paneling also sheathes the walls and ceilings of the dining and living rooms. In the former, the floor surface is of polished quarry tile; oak flooring being used elsewhere. Lowered ceilings at the perimeter of the dining room suggest the presence of alcoves - that on the west containing a fireplace for its focal point. The tall, diamond-paned windows of the loggia occupy the east wall and on the south similar windows in a bay containing a small fountain from Nuremburg and potted plants visually extend the front garden to the inside of the house.

ARCHITECTURE: The living room, baronial in concept and furnishings, exhibits the most lavish and intricate use of redwood. A heavily beamed and paneled ceiling follows the steep exterior pitch of the roof. The height of the ceiling and rhythmic spacing of all paneling, including that on the walls, establish the room's intrinsic Gothic character. In addition to medieval and antique furnishings, this character is further carried out by accoutrements of Maybeck's own design: tall, candle-like sconces of wrought-iron angled inward from the walls; suspended lighting fixtures, near the corners, composed of cast metal open work from which tiers of exposed light bulbs depend several feet below; a wrought-iron fireplace apparatus; and finally, furniture for seating whose end panels incorporate the motif of the main entry doors' escutcheon.

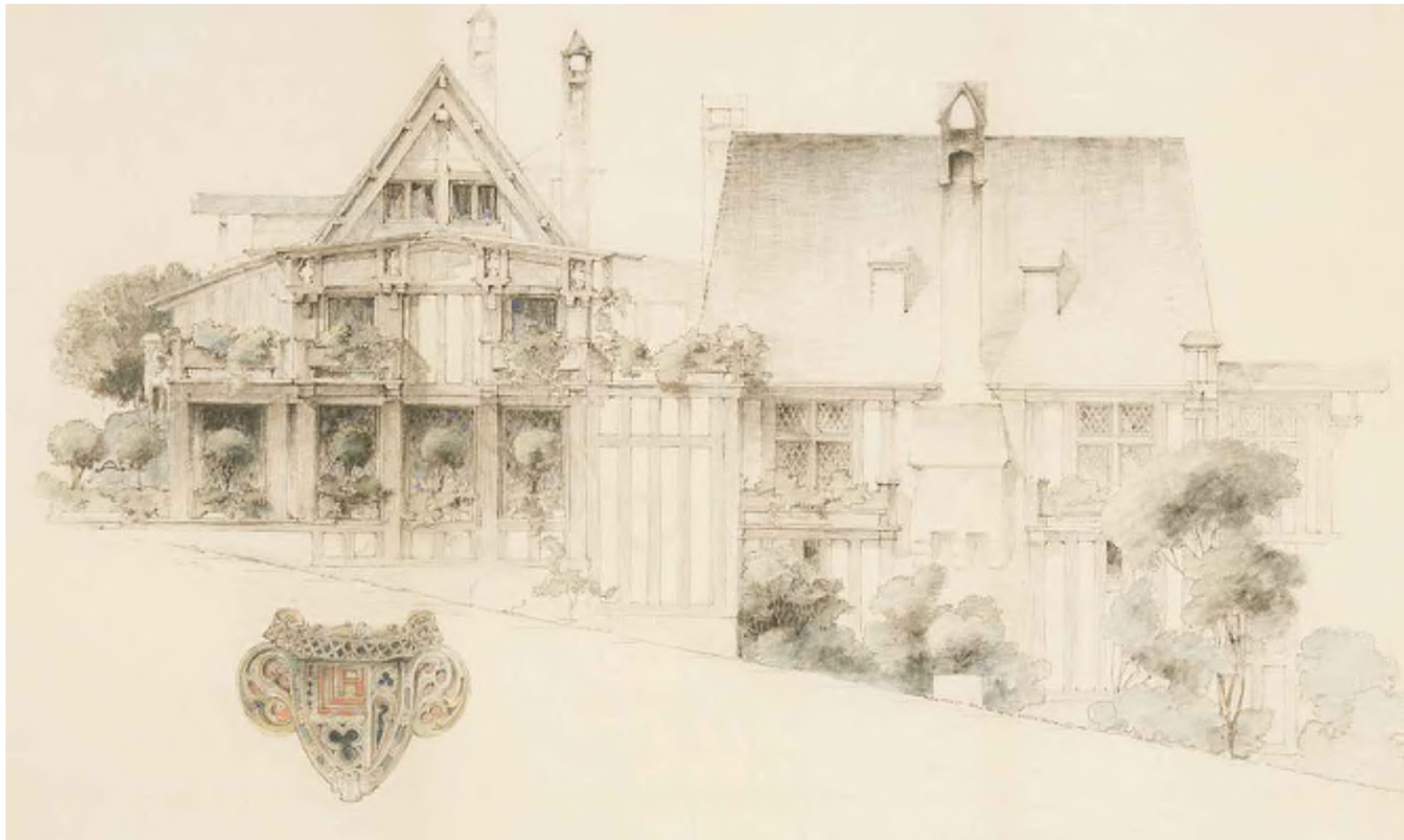
Ancient flags and banners collected by the owners, and whose placement was confirmed by Maybeck, hang from the uppermost parts of the ceiling.

A massive cast stone fireplace rising from floor to ceiling, occupies the center third of the east wall and on either side of which are, again, the diamond paned windows. Opposite the fireplace and of equal width, a tier of several steps leads to a square landing which affords access to the upper floors.

The extreme north wall of the living room (fully 100 feet distant and visible from the southerly wall of the dining room opposite) is located in an alcove with lowered ceiling and, in the truest sense of the words, contains a "picture window" framing an unsurpassed view of The Presidio, the Bay and Marin County. A functional Maybeck innovation allows the window to pivot horizontally in its jambs, thereby allowing its exterior surface to be cleaned from inside the house. To the left, the alcove leads to a small, intimate sitting room at the northwest corner of the house where the same view as above obtains.

SURROUNDING LAND

USE AND ZONING: The zoning of this house and surroundings is R-1 which reflects most of the existing uses. The Presidio, zoned P, lies one-half block to the north.



PROJECT SCOPE	PROJECT DATA	
REMODEL OF GARAGE, & 1ST - 4TH FLOORS OF EXISTING SINGLE FAMILY RESIDENCE. SITEWORK INCLUDES INFILL, RETAINING WALLS, & NEW ROOF DECK OVER NEW GARAGE	BLOCK / LOT	0970 / 002
	CODE COMPLIANCE:	2016 CALIFORNIA BUILDING CODE
	OCCUPANCY TYPE:	R-3
	CONSTRUCTION TYPE:	V-B
	SPRINKLERS:	PARTIALLY SPRINKLERED: SEE G2.02
	STORIES:	4 + GARAGE
	PARCEL SIZE:	0.18 ACRES (7,760 SQ. FT.)
	ZONING:	RH-1
	HEIGHT & BULK:	40-X
	BUILDING HEIGHT PER SF PLANNING CODE: SEE G1.10	
	EXISTING BUILDING HEIGHT PER 2016 CBC: 45'-9" ABOVE GRADE PLANE	
	HISTORIC / PRESERVATION:	LISTED NATIONAL REGISTER OF HISTORIC PLACES
DEFERRED SUBMITTALS	AREA CALCULATIONS	
THE FOLLOWING SUBMITTALS WILL BE DESIGN-BUILD UNDER SEPARATE SUBMITTAL: -LIFE SAFETY		
APPLICABLE CODES	AREA CALCULATIONS	
ALL CONSTRUCTION TO CONFORM TO ALL CURRENT BUILDING, ELECT. MECH. AND PLUMBING CODES FOR OCCUPANCY AND CONSTRUCTION TYPE, SEE BELOW: • 2016 CALIFORNIA BUILDING CODE + 2016 SAN FRANCISCO BUILDING CODE AMENDMENTS • 2016 CALIFORNIA HISTORIC BUILDING CODE • 2016 CALIFORNIA ELECTRICAL CODE + 2016 SAN FRANCISCO ELECTRICAL CODE AMENDMENTS • 2016 CALIFORNIA MECHANICAL CODE + 2016 SAN FRANCISCO MECHANICAL CODE AMENDMENTS • 2016 CALIFORNIA PLUMBING CODE + 2016 SAN FRANCISCO PLUMBING CODE AMENDMENTS • 2016 GREEN BUILDING CODE + 2016 SAN FRANCISCO GREEN BUILDING CODE AMENDMENTS • 2016 CALIFORNIA ENERGY CODE	EXISTING	PROPOSED
	FIRST FLOOR CONDITIONED:	2,613 SF / 2,726 SF
	UNCONDITIONED:	500 SF / 175 SF
	SECOND FLOOR:	3,530 SF / 3,680 SF
	THIRD FLOOR:	2,747 SF / 2,645 SF
	FOURTH FLOOR:	1,362 SF / 1,389 SF
	UNCONDITIONED GARAGE LEVEL:	504 SF / 930 SF
	TOTAL CONDITIONED AREA:	10,309 SF / 10,440 SF
	TOTAL UNCONDITIONED AREA:	1,004 SF / 1,105 SF
	OPEN SPACE:	3479 SF / 3873 SF
DIRECTORY		
ARCHITECT IKE KLIGERMAN BARKLEY 1624 FRANKLIN STREET, SUITE 912 OAKLAND, CA 94612 PHONE: 415 371 1850 CONTACT: CARL BAKER EMAIL: carl@kligermanbarkley.com	OWNER THE NOR CAL REAL ESTATE TRUST	MECHANICAL PHILIP NEUMANN ENERGY DESIGN PHONE: 415 680 7015 CONTACT: PHILIP NEUMANN EMAIL: philip@philipneumann.com
STRUCTURAL ENGINEER GFDS ENGINEERS 99 GREEN STREET, THIRD FLOOR SAN FRANCISCO, CA 94111 PHONE: 415 471 2163 CONTACT: ELLEN HUANG EMAIL: ehuang@gfdseng.com	SOILS ENGINEER ROLLO & ROLLEY, INC. 989 SUTTER STREET, UNIT 4 SAN FRANCISCO, CA 94109 PHONE: 415 670 9123 CONTACT: FRANK ROLLO EMAIL: frank.rollo@rollorandrolley.com	INTERIOR DESIGNER ODADA 201 POST STREET 9TH FLOOR SAN FRANCISCO, CA 94108 PHONE: 415 362 4500 CONTACT: DAVID OLDROYD EMAIL: david@odada.net

Ike Kligerman Barkley
1624 Franklin Street, Suite 912
Oakland, CA 94612
415 371 1850

3500 Jackson Street

APN 0970002

VICINITY MAPS



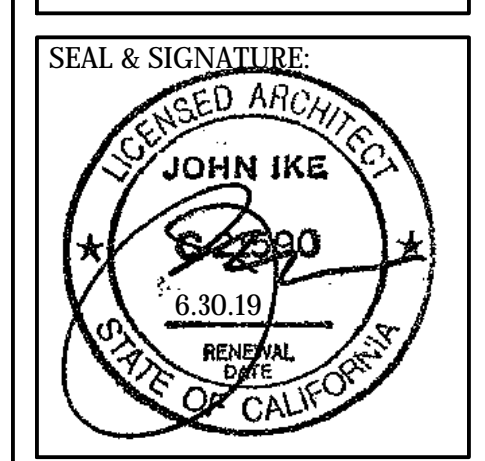
SHEET INDEX

GENERAL	
G1.00	COVERSHEET
G2.01	GRADE PLANE & HEIGHT DIAGRAM
G4.01	HISTORIC & PROPOSED RENDERINGS
G4.02	HISTORIC & PROPOSED RENDERINGS
G4.03	HISTORIC & PROPOSED RENDERINGS
G4.06	CHIMNEY DIAGRAMS
G5.01	CARRIAGEWAY VIGNETTE
G5.02	GARAGE VIGNETTE
G5.03	GARAGE VIGNETTE RENDERINGS
G6.01	MATERIALS
ARCHITECTURAL	
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A2.00	PROPOSED GARAGE LEVEL & FOUNDATION
A2.01	PROPOSED FIRST FLOOR PLAN
A2.02	PROPOSED SECOND FLOOR PLAN
A2.03	PROPOSED THIRD FLOOR PLAN
A2.04	PROPOSED FOURTH FLOOR PLAN
A2.05	PROPOSED ROOF PLAN
A2.11	DEMO FIRST FLOOR PLAN
A2.12	DEMO SECOND FLOOR PLAN
A2.13	DEMO THIRD FLOOR PLAN
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A2.15	DEMO ROOF PLAN
A3.01	EXISTING SOUTH ELEVATION
A3.02	EXISTING EAST ELEVATION
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A3.11	PROPOSED SOUTH ELEVATION
A3.12	PROPOSED EAST ELEVATION
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A4.01	PROPOSED GARAGE SECTION
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A4.03	PROPOSED REAR YARD SECTION
A4.04	BUILDING SECTIONS
A9.32	MASTER BEDROOM CHIMNEY DETAILS
A9.33	HIS OFFICE CHIMNEY DETAILS
A9.34	KITCHEN CHIMNEY DETAILS
A9.52	CARRIAGEWAY DETAILS

IF THIS SHEET IS NOT 30 X 42 IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY

No.	REMARKS	DATE
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1	PLANNING REV 1	3.22.2019
2	PLANNING REV 2	4.19.2019

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San Francisco, CA 94118

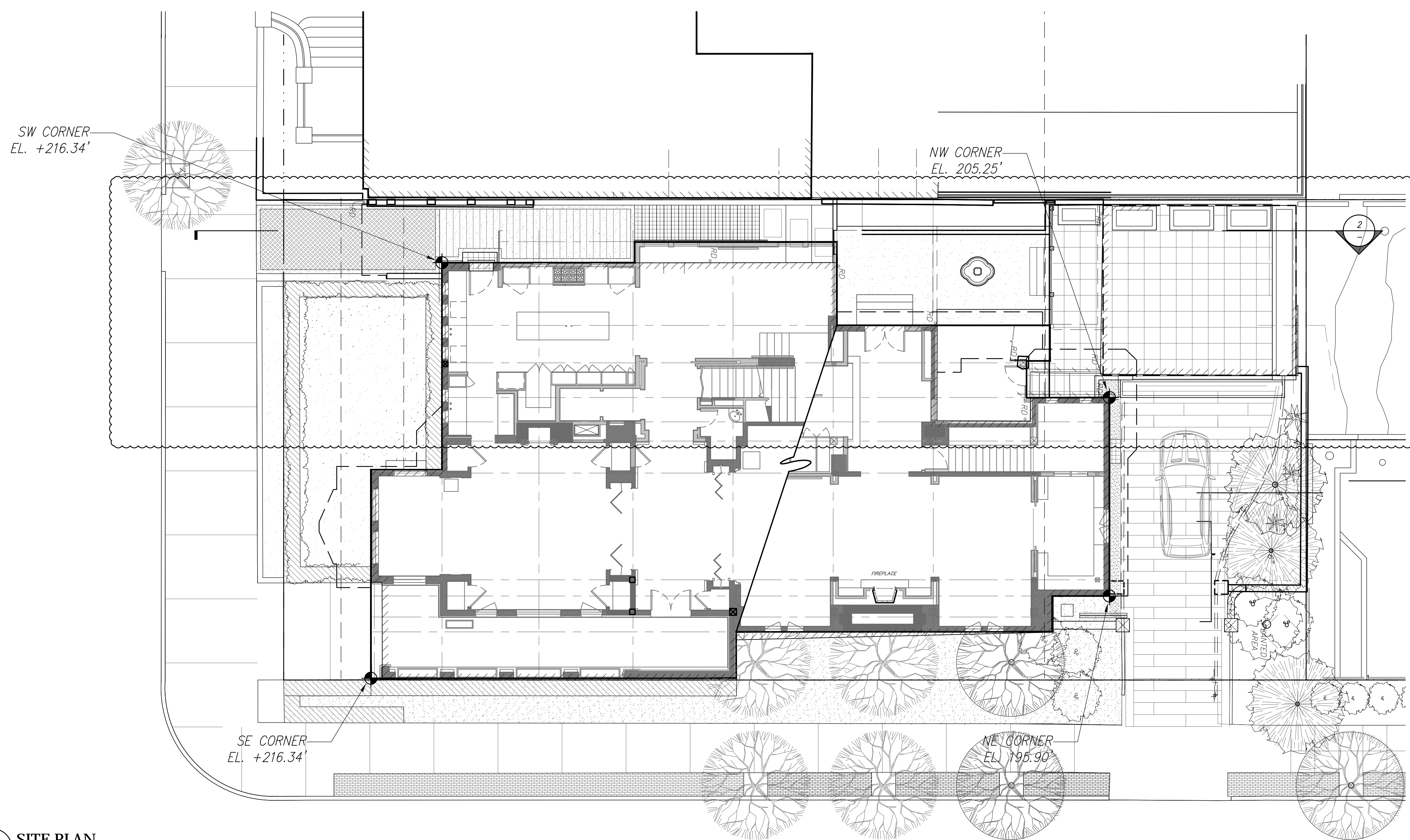


COVERSHEET

DATE:	3.22.2019
PROJECT No.:	18013
DRAWING BY:	B.H.
CHK BY:	T.V. C.B. T.K.
DWG No.:	G1.00
#18.013	



2 BUILDING HEIGHT DIAGRAM
SCALE: 1/8" = 1'-0"



1 SITE PLAN
SCALE: 1/8" = 1'-0"

GRADE PLANE CALCULATION

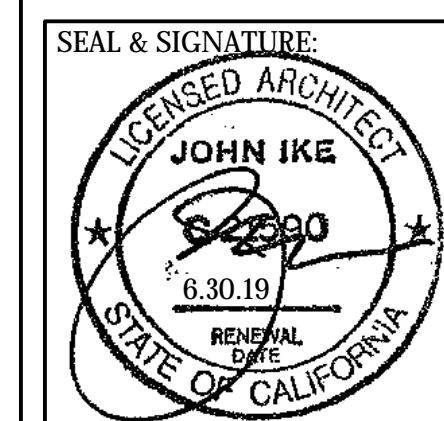
PER 2016 CBC, SECTION 2: DEFINITIONS

SW CORNER:	216.34'
SE CORNER:	216.34'
NW CORNER:	205.25'
NE CORNER:	195.90'
AVERAGE GRADE PLANE:	208.46'

NO PROPOSED INCREASE TO EXISTING BUILDING HEIGHT.

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GRADE PLANE & HEIGHT DIAGRAM

DATE:	3.22.2019
PROJECT No.:	18013
DRAWING BY:	B.H.
CHK BY:	T.V. C.B. T.K.
DWG No.:	

G2.01



1909 VERSION



1909 VERSION



EXISTING VERSION



EXISTING VERSION



PROPOSED



PROPOSED

VIEW 02 - JACKSON STREET ELEVATION

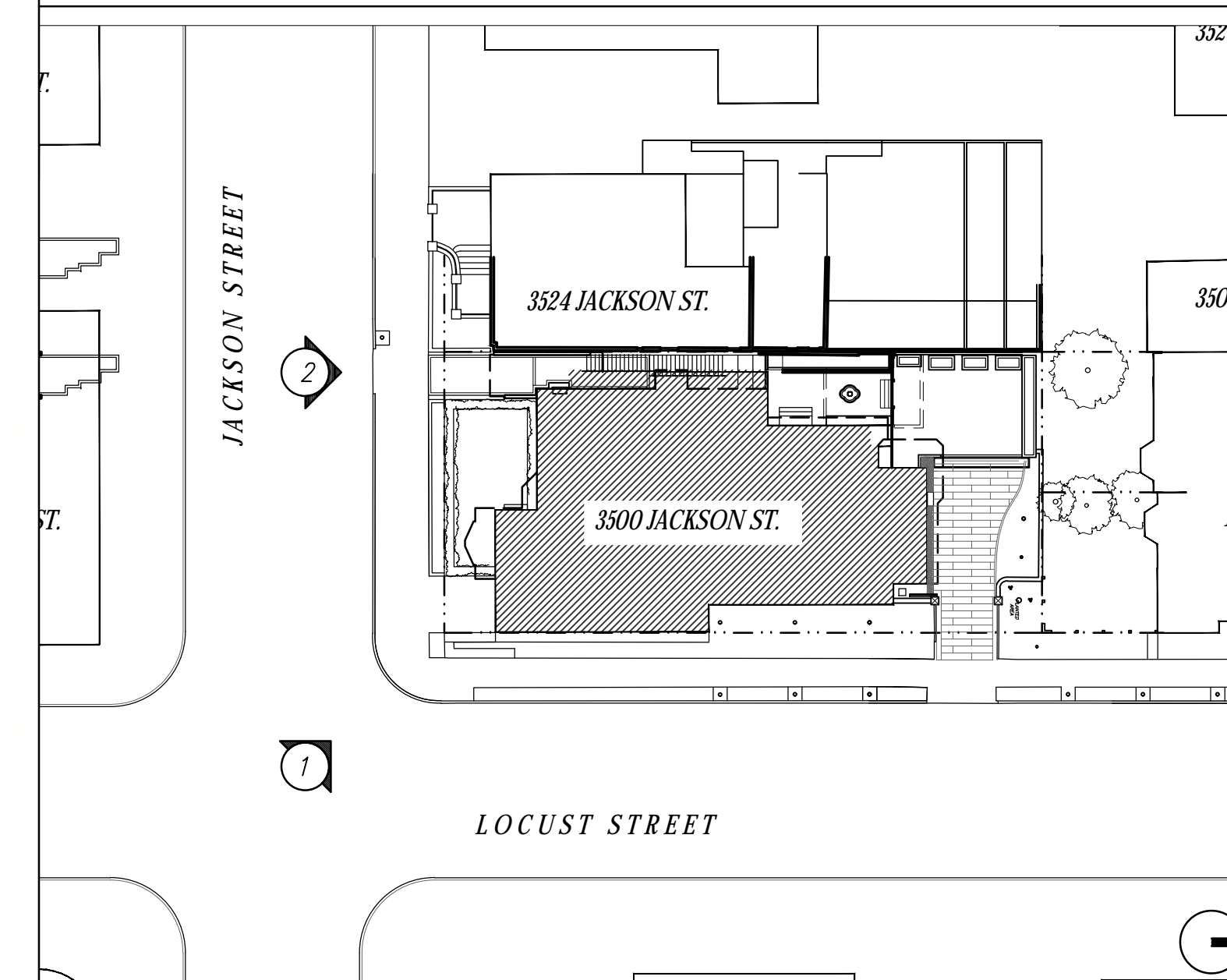
VIEW 01 - CORNER OF JACKSON & LOCUST

- 1 ORIGINAL MASTER BALCONY
- 4 EXISTING ORIGINAL OPEN CARRIAGEWAY

- 2 EXISTING MASTER CLOSET ADDITION TO REMAIN
- 3 EXISTING MODIFIED COVERED CARRIAGEWAY

- 2 EXISTING MASTER CLOSET ADDITION TO REMAIN
- 6 PROPOSED REAR ENTRY AND PORCH

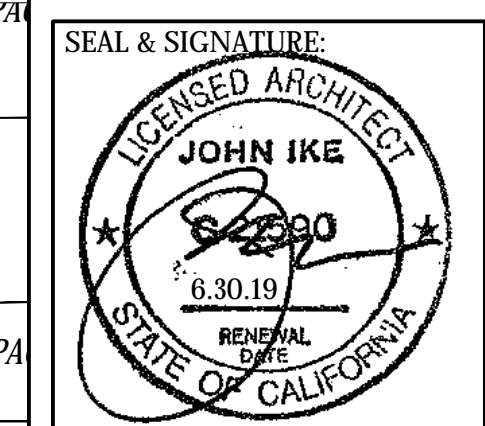
SCOPE NOTES



KEY PLAN (NOT TO SCALE)

No.	REMARKS	DATE
	PLANNING SUB	9.11.18
▲	PLANNING REV 1	3.22.2019
▲	PLANNING REV 2	4.19.2019

PROJECT:
3500 Jackson Street
San Francisco, CA 94118



HISTORIC & PROPOSED RENDERINGS

DATE: 3.22.2019
PROJECT No.: 18013
DRAWING BY: B.H.
CHK BY: T.V. C.B. T.K.
DWG No.:

G4.01



1909 VERSION



1909 VERSION

- 1 ORIGINAL MASTER BALCONY
- 4 ORIGINAL GARAGE MASSING & FOOTPRINT

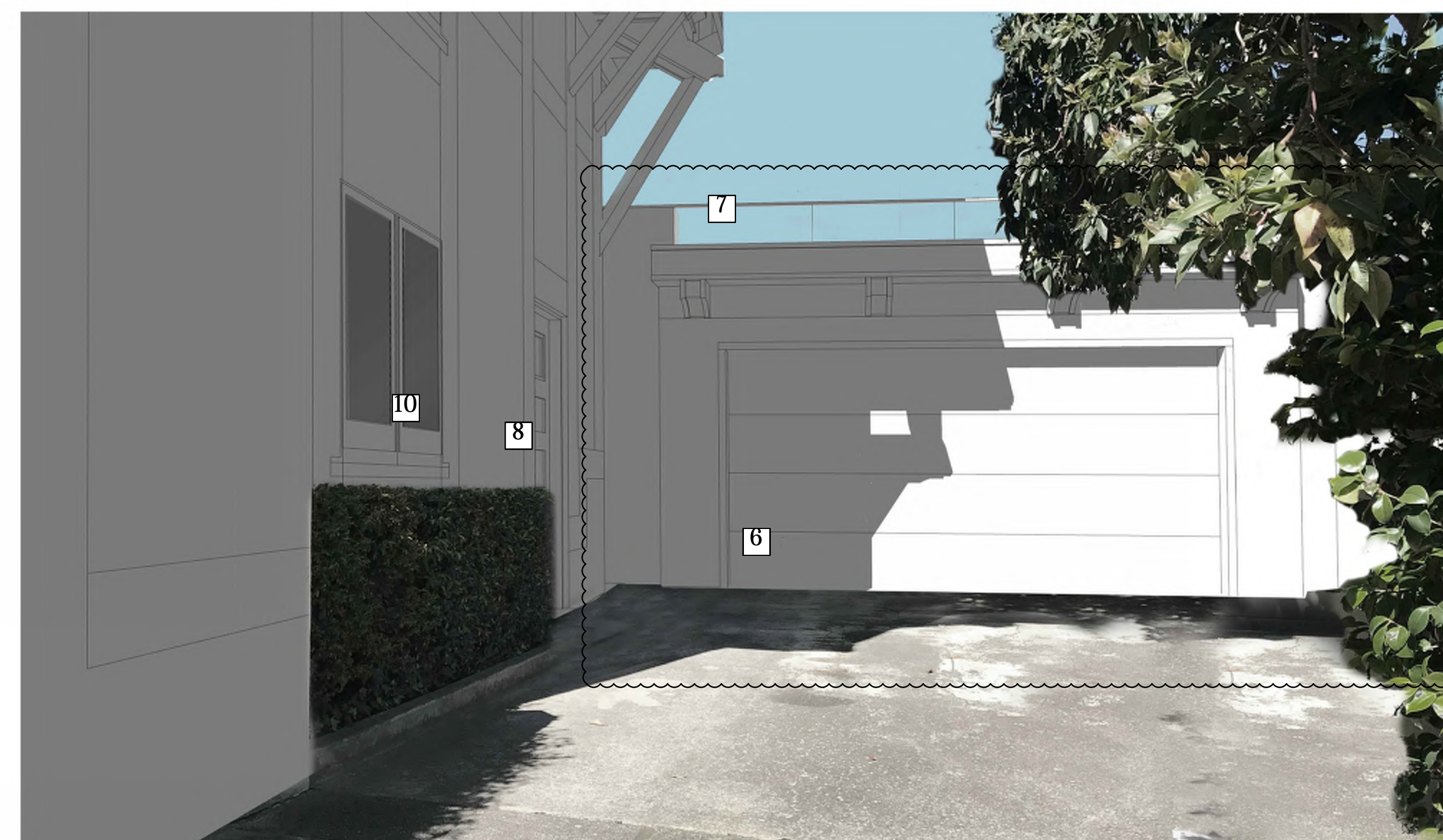


EXISTING VERSION



EXISTING VERSION

- 2 EXISTING MASTER CLOSET ADDITION TO REMAIN
- 5 EXISTING 1981 GARAGE RENOVATION TO BE REMOVED
- 9 EXISTING WALL TO BE RELOCATED: SEE PLANS



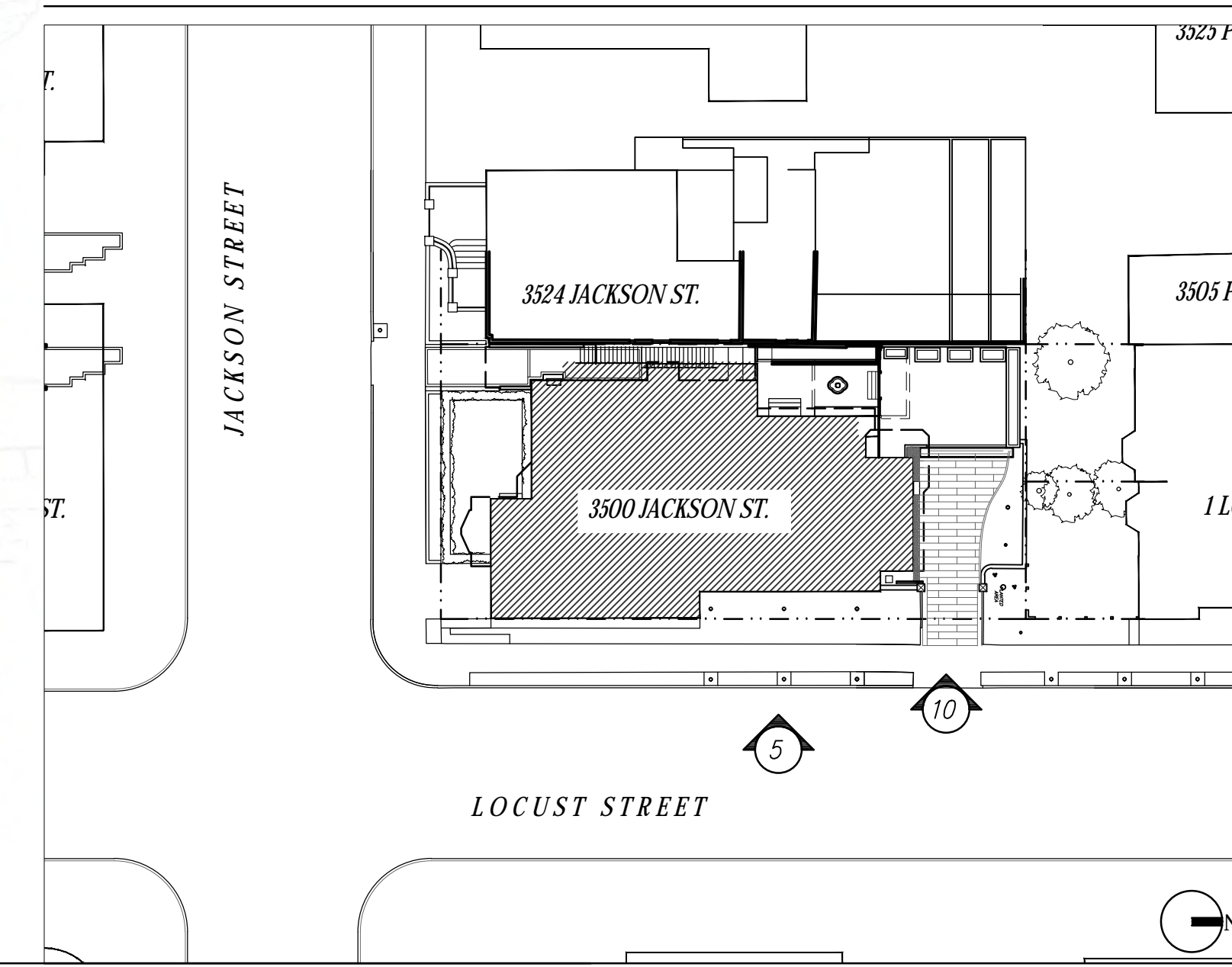
PROPOSED



PROPOSED

- 2 EXISTING MASTER CLOSET ADDITION TO REMAIN
- 6 PROPOSED GARAGE
- 7 PROPOSED REAR DECK OVER GARAGE
- 8 PROPOSED NEW ENTRY
- 9 PROPOSED PORTION OF 4TH FLOOR ROOF TO BE RAISED (CONCEALED BEHIND MASTER CLOSET)
- 10 PROPOSED WINDOW

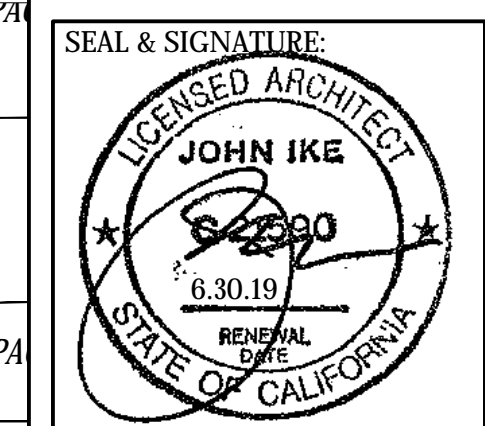
SCOPE NOTES



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PROJECT:
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HISTORIC & PROPOSED RENDERINGS

DATE: 3.22.2019
PROJECT No.: 18013
DRAWING BY: B.H.
CHK BY: T.V. C.B. T.K.
DWG No.:

G4.02

VIEW 10 - DRIVEWAY & GARAGE

VIEW 05 - LOCUST STREET ELEVATION



1909 VERSION



EXISTING VERSION



PROPOSED

- 11 EXISTING ORIGINAL OPEN CARRIAGEWAY
- 12 EXISTING MODIFIED COVERED CARRIAGEWAY
- 13 PROPOSED REAR ENTRY AND PORCH

VIEW 3 - FRONT CARRIAGEWAY



1909 VERSION



EXISTING VERSION

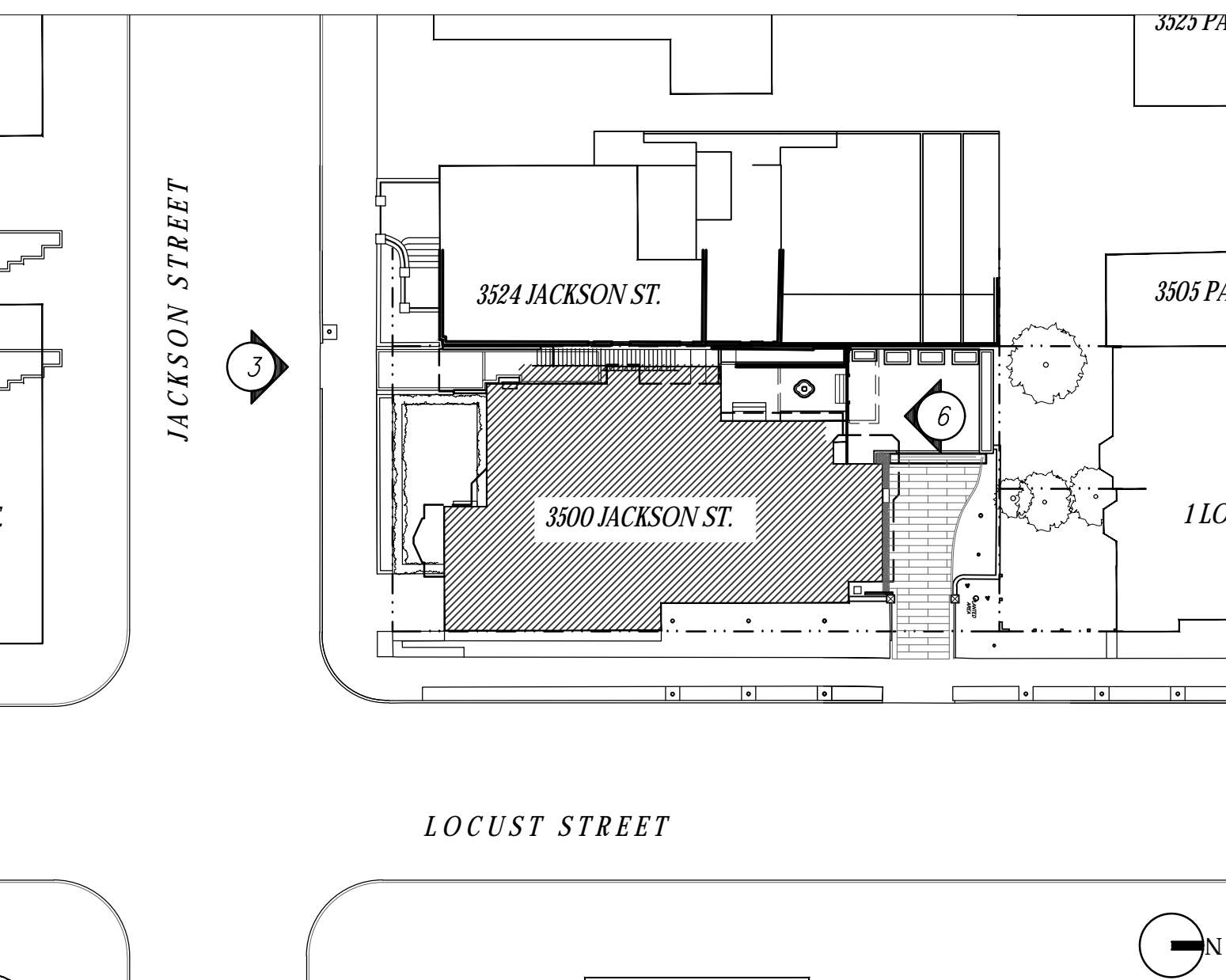


PROPOSED

- 1 PROPOSED HIGHER GRADE & DECK OVER GARAGE
- 2 PROPOSED NEW ENTRY
- 3 NEW STAIRS
- 4 NEW DOORS & SIDELITES
- 5 NEW WINDOWS
- 6 NEW BUILDING ADDITION
- 7 EXISTING ADDITION
- 8 ORIGINAL BUILDING MASSING
- 9 EXISTING LOWER CARRIAGEWAY & GRADE
- 10 EXISTING RECESSED DOOR & BALCONY TO BE REMOVED
- 11 NEW EXTERIOR STAIRS, RAILING, & BALUSTRADE TO MATCH ORIGINAL DESIGN

VIEW 6 - REAR YARD & CARRIAGEWAY

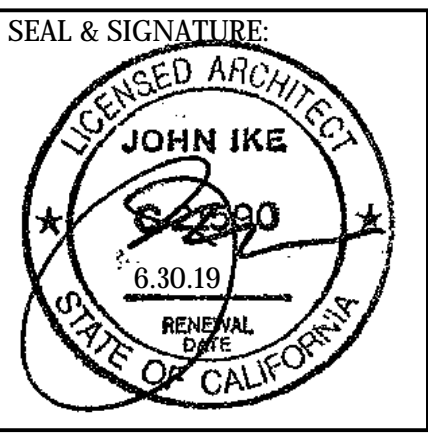
SCOPE NOTES



KEY PLAN (NOT TO SCALE)

No.	REMARKS	DATE
	PLANNING SUB	9.11.18
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	PLANNING REV 2	4.19.2019

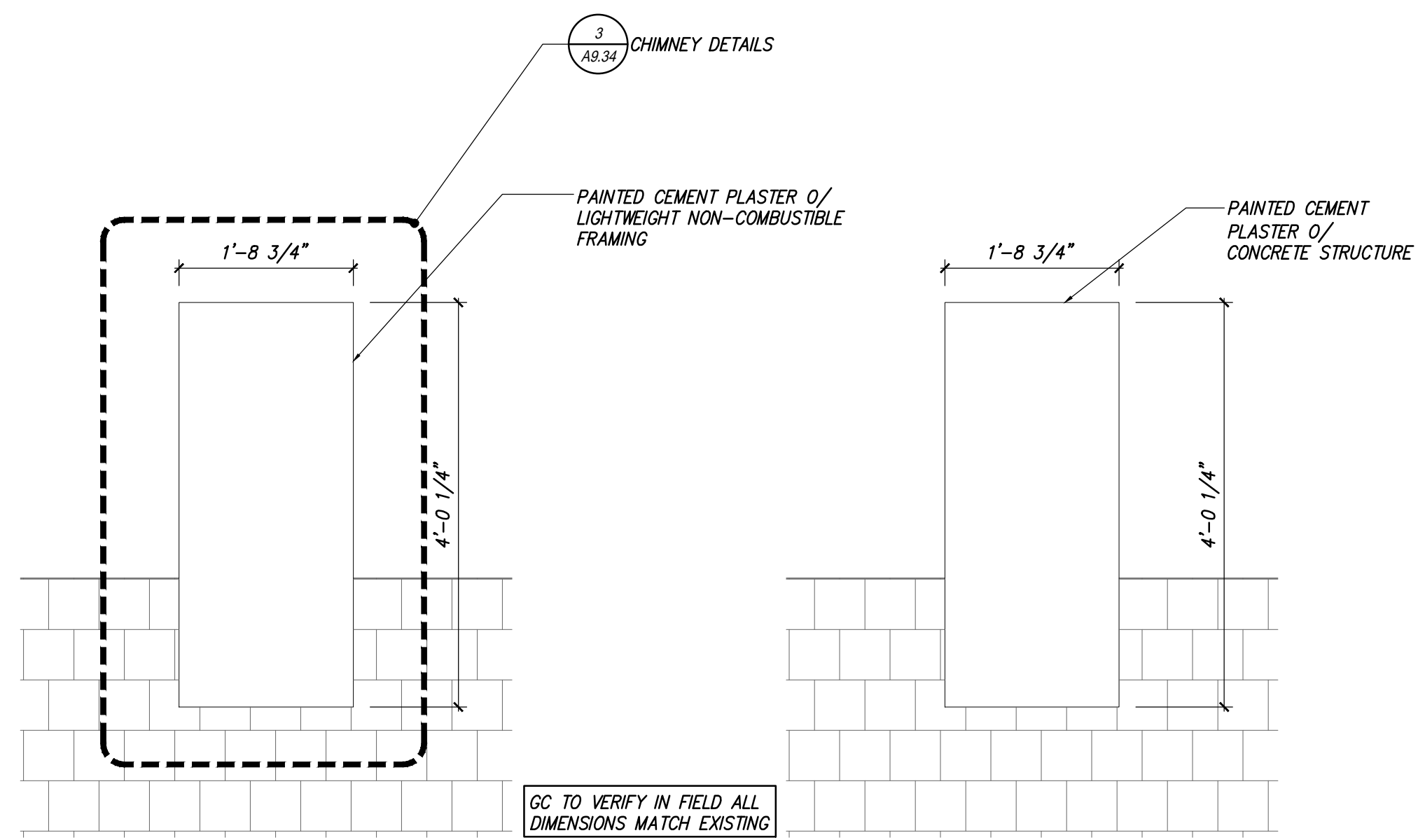
PROJECT:
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HISTORIC & PROPOSED RENDERINGS

DATE: 3.22.2019
PROJECT No.: 18013
DRAWING BY: B.H.
CHK BY: T.V. C.B. T.K.
DWG No.:

G4.03

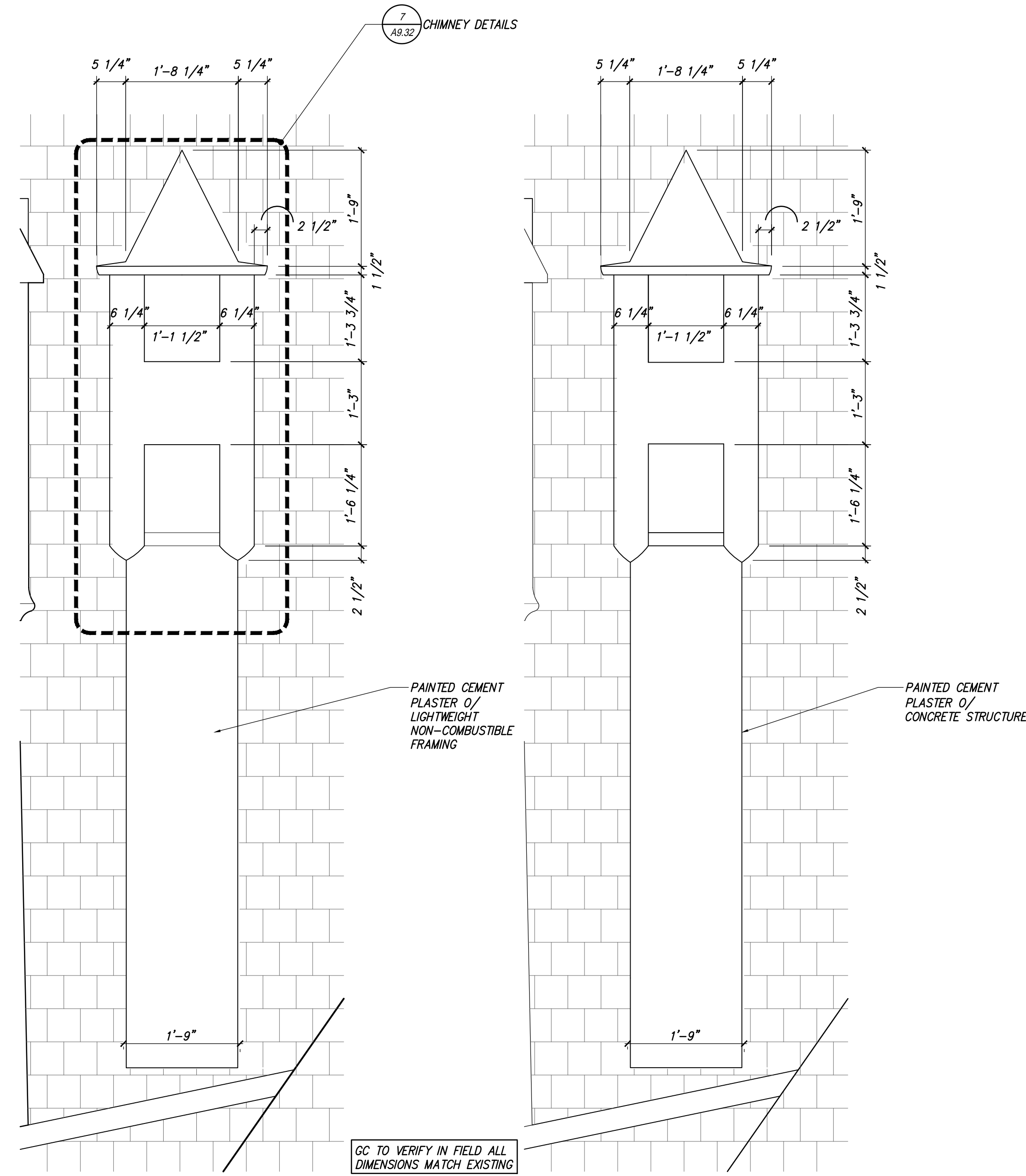


PROPOSED ELEVATION

EXISTING ELEVATION

EXISTING PHOTO

4 CHIMNEY 3/C
 SCALE: 3/4" = 1'-0"

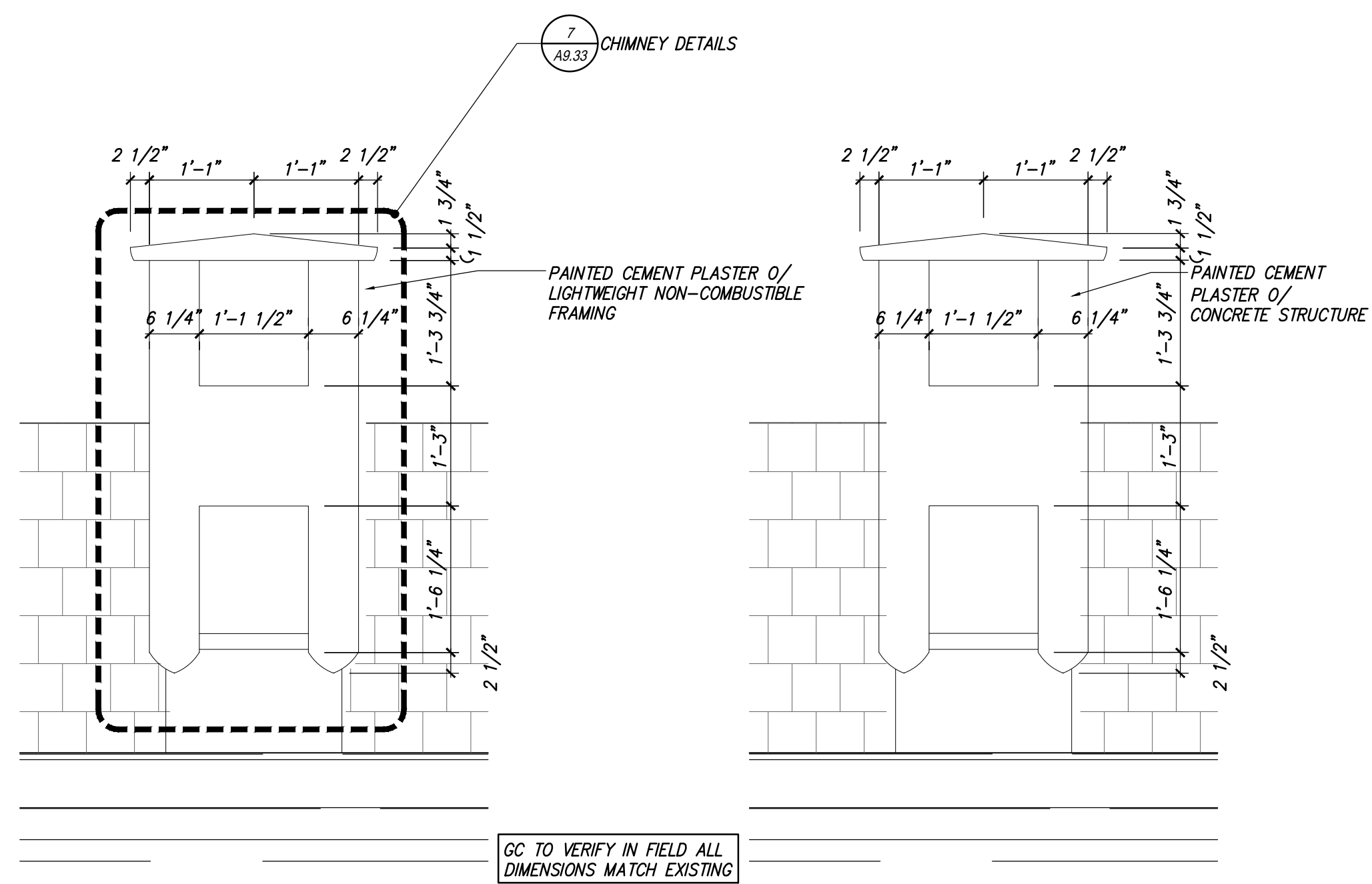


PROPOSED ELEVATION

EXISTING ELEVATION

EXISTING PHOTO

1 CHIMNEY 4/L
 SCALE: 3/4" = 1'-0"

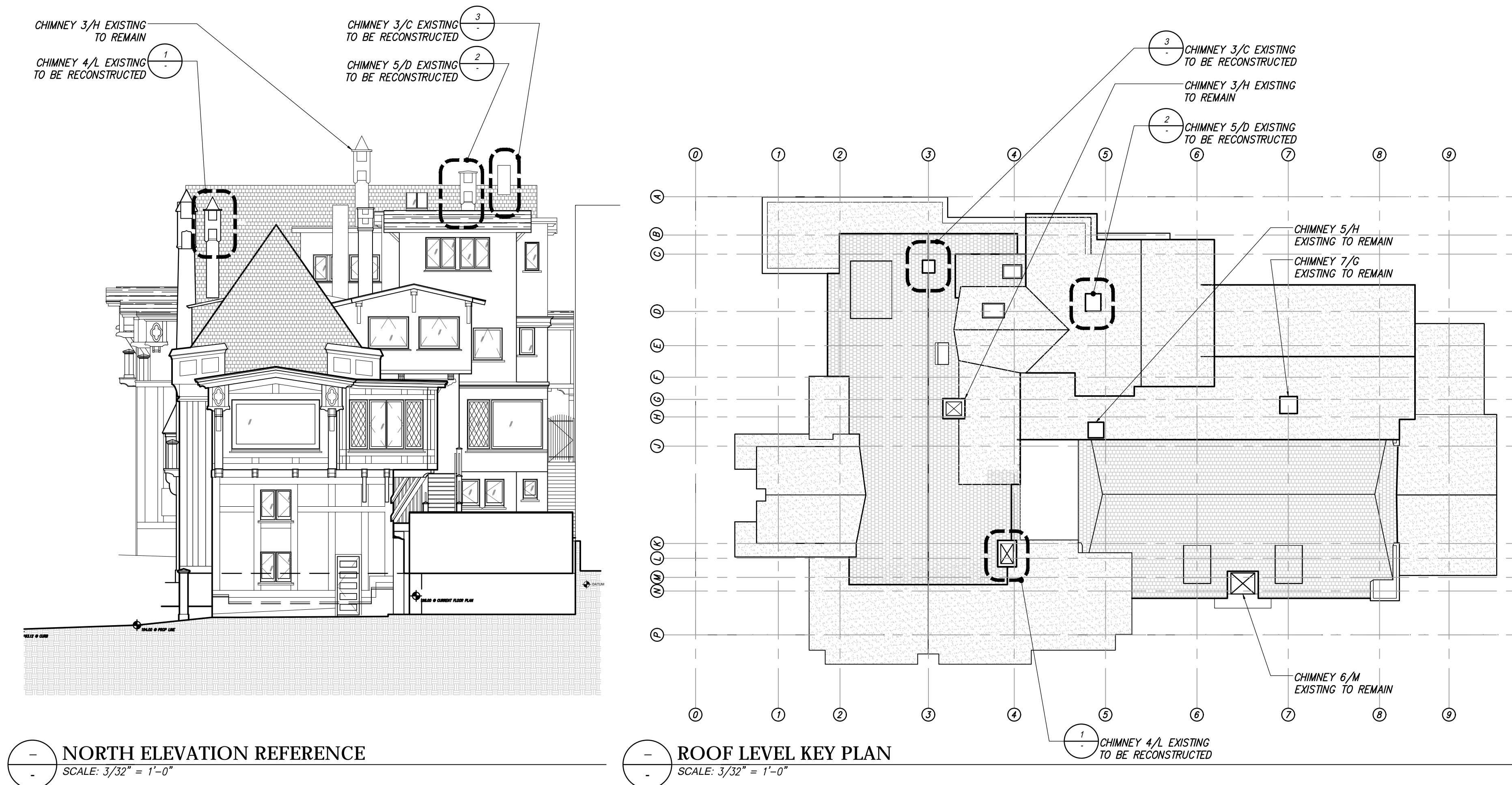


PROPOSED ELEVATION

EXISTING ELEVATION

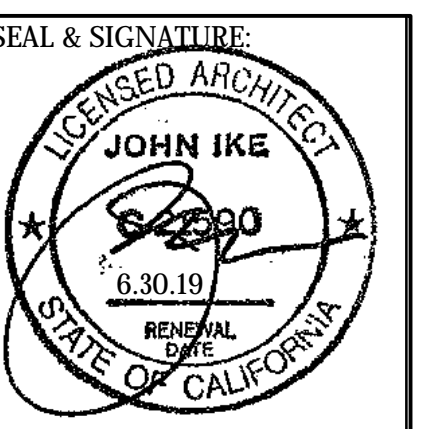
EXISTING PHOTO

3 CHIMNEY 5/D
 SCALE: 3/4" = 1'-0"



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CHIMNEY
 DIAGRAMS

DATE: 3.22.2019
 PROJECT No.: 18013
 DRAWING BY: B.H.
 CHK BY: T.V. C.B. T.K.
 DWG No.:

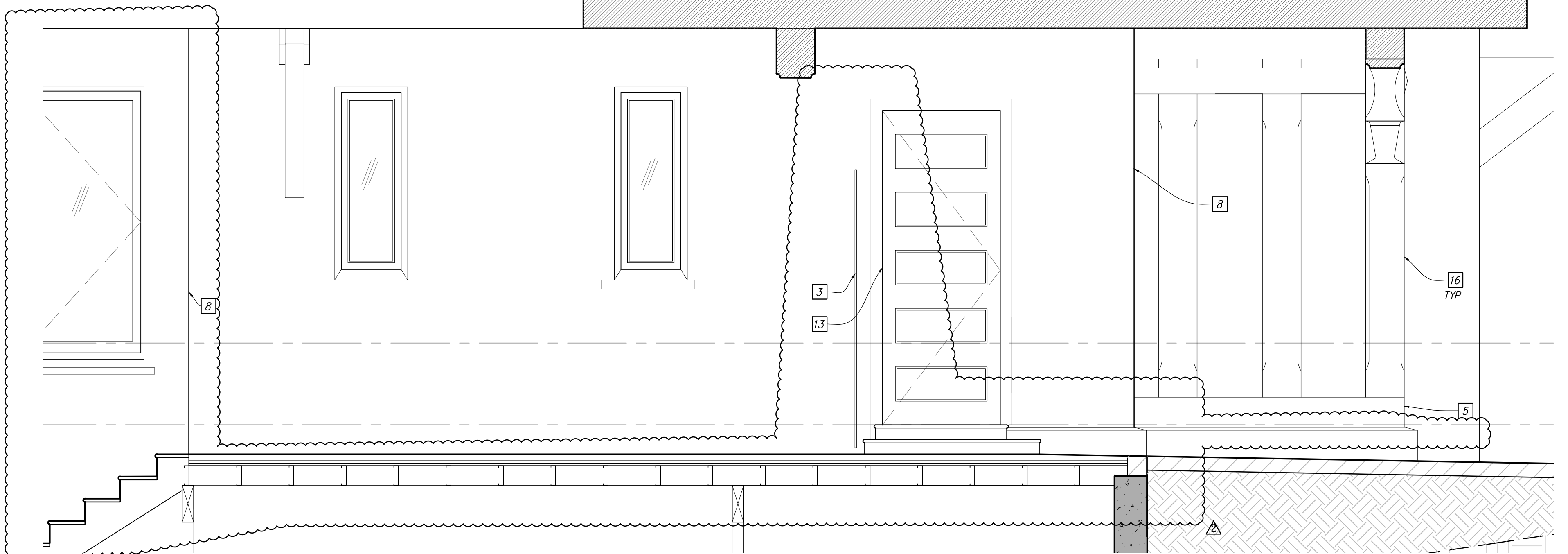
G4.06



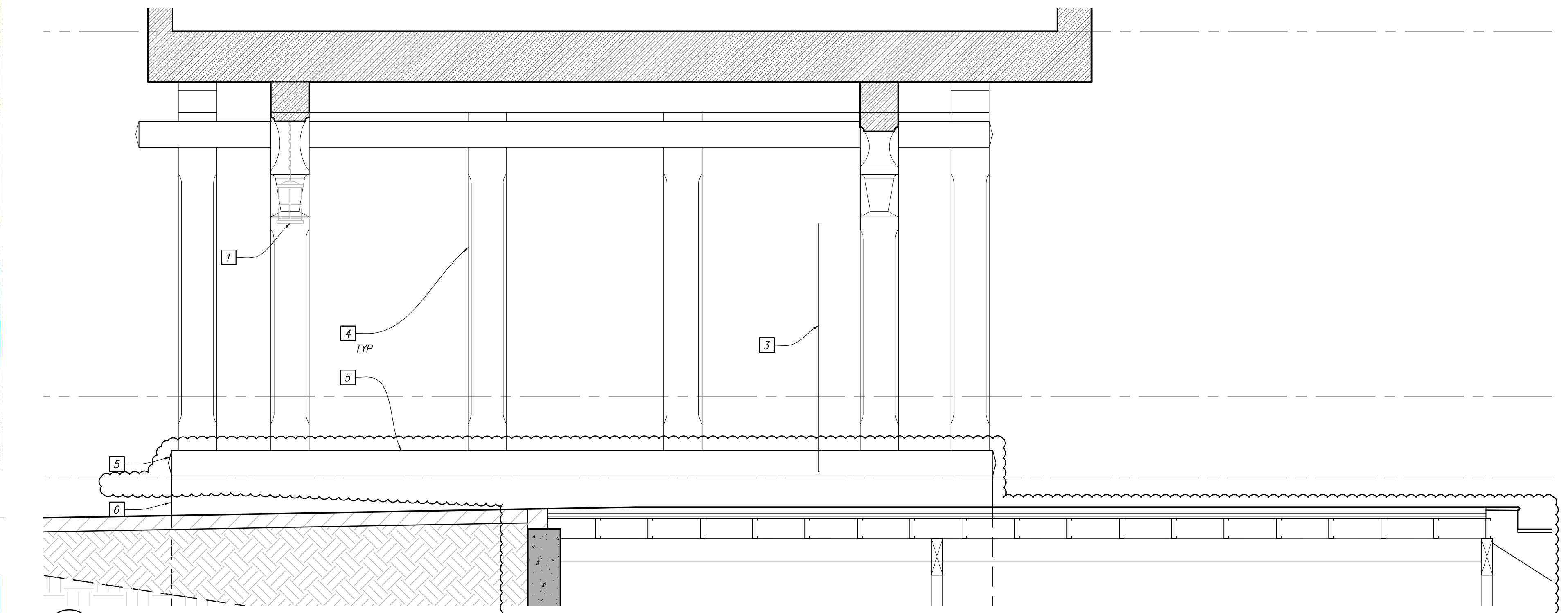
5 PHOTO: EXISTING CARRIAGEWAY
 SCALE: N/S



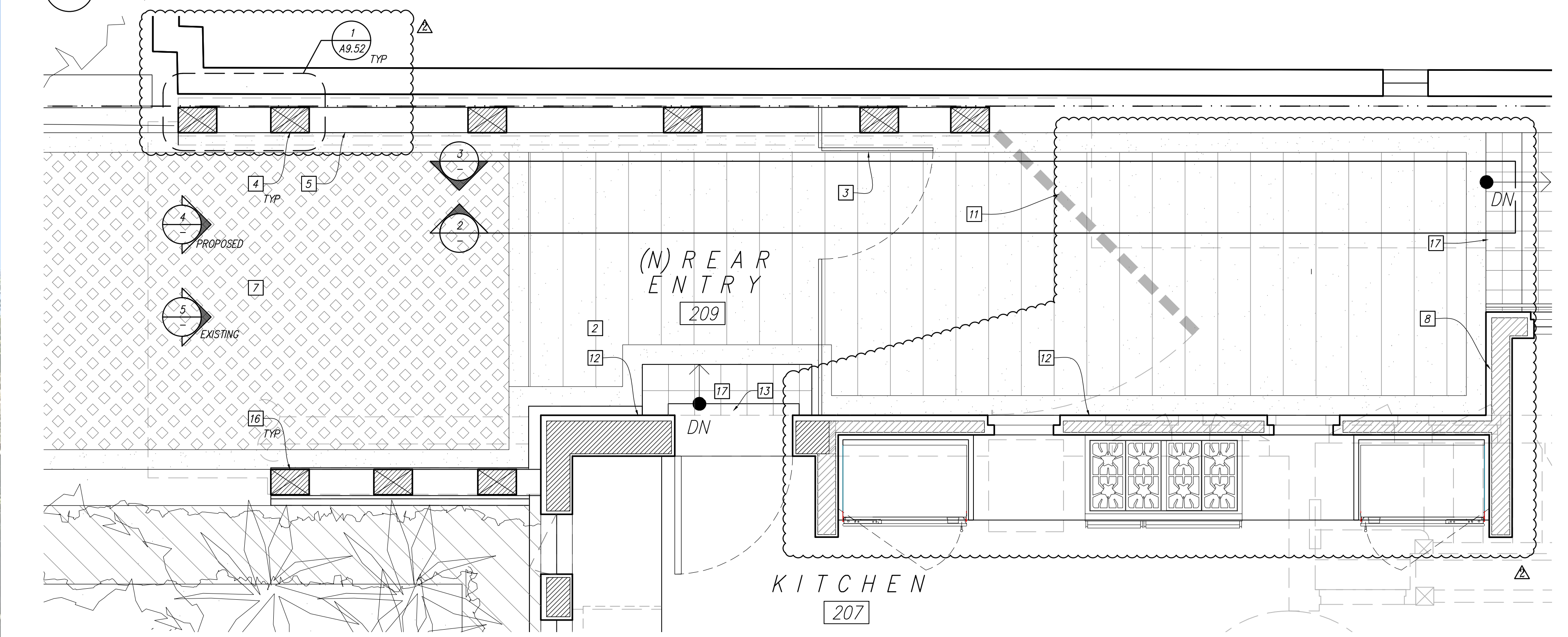
4 RENDERING: PROPOSED CARRIAGEWAY PORCH
 SCALE: N/S



3 ELEVATION: CARRIAGEWAY PORCH LOOKING EAST
 SCALE: 1/2" = 1'-0"



2 ELEVATION: CARRIAGEWAY PORCH LOOKING WEST
 SCALE: 1/2" = 1'-0"



1 FLOOR PLAN: CARRIAGEWAY PORCH
 SCALE: 1/2" = 1'-0"

SCOPE NOTES

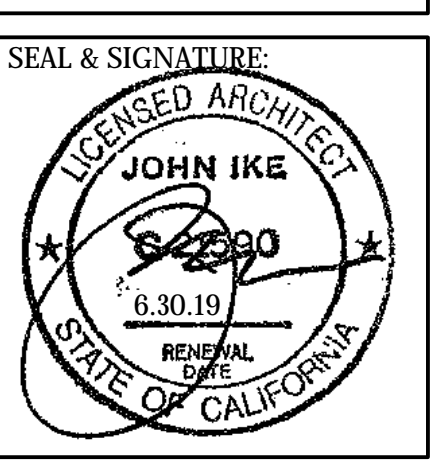
- 1 REMOUNT EXISTING LIGHT FIXTURE PENDANT
- 2 NEW PRECAST CONCRETE PAVERS & BORDER O/ NEW CONCRETE SLAB
- 3 NEW METAL GATE
- 4 MODIFY (E) WOOD COLUMNS TO ACCOMMODATE (N) GRADE: DIMENSIONS, FINISH, & CHAMFER TO MATCH EXISTING COLUMNS
- 5 NEW WOOD BASE: DIMENSIONS & FINISH TO MATCH EXISTING
- 6 NEW PAINTED CONCRETE PLINTH TO MATCH EXISTING
- 7 NEW GRASS PAVERS
- 8 FAMILY ROOM ADDITION
- 9 EXISTING BRACKET TO REMAIN
- 10 GARAGE BEYOND TO BE REMOVED
- 11 EXISTING GATE TO BE REMOVED
- 12 EXISTING WALL LOCATION
- 13 NEW ENTRANCE
- 14 NOT USED
- 15 EXISTING TERRA COTTA TILE
- 16 EXISTING WOOD COLUMNS TO REMAIN
- 17 NEW TERRA COTTA TILE STEPS

3500 Jackson Street

APN 0970002

No.	REMARKS	DATE
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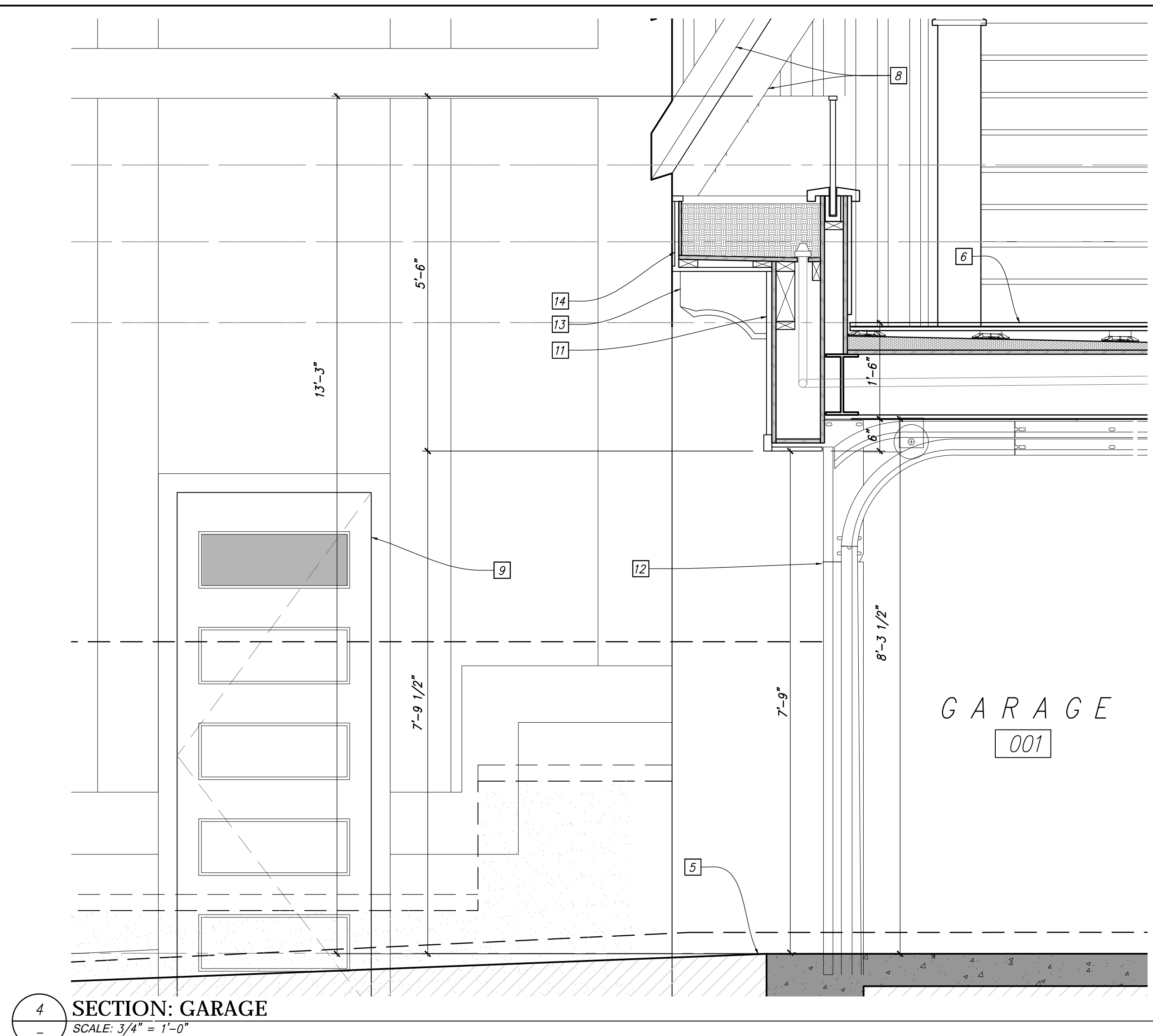
CARRIAGEWAY VIGNETTE

DATE: 3.22.2019
 PROJECT No.: 18013
 DRAWING BY: B.H.
 CHK BY: T.V. C.B. T.K.
 DWG No.:

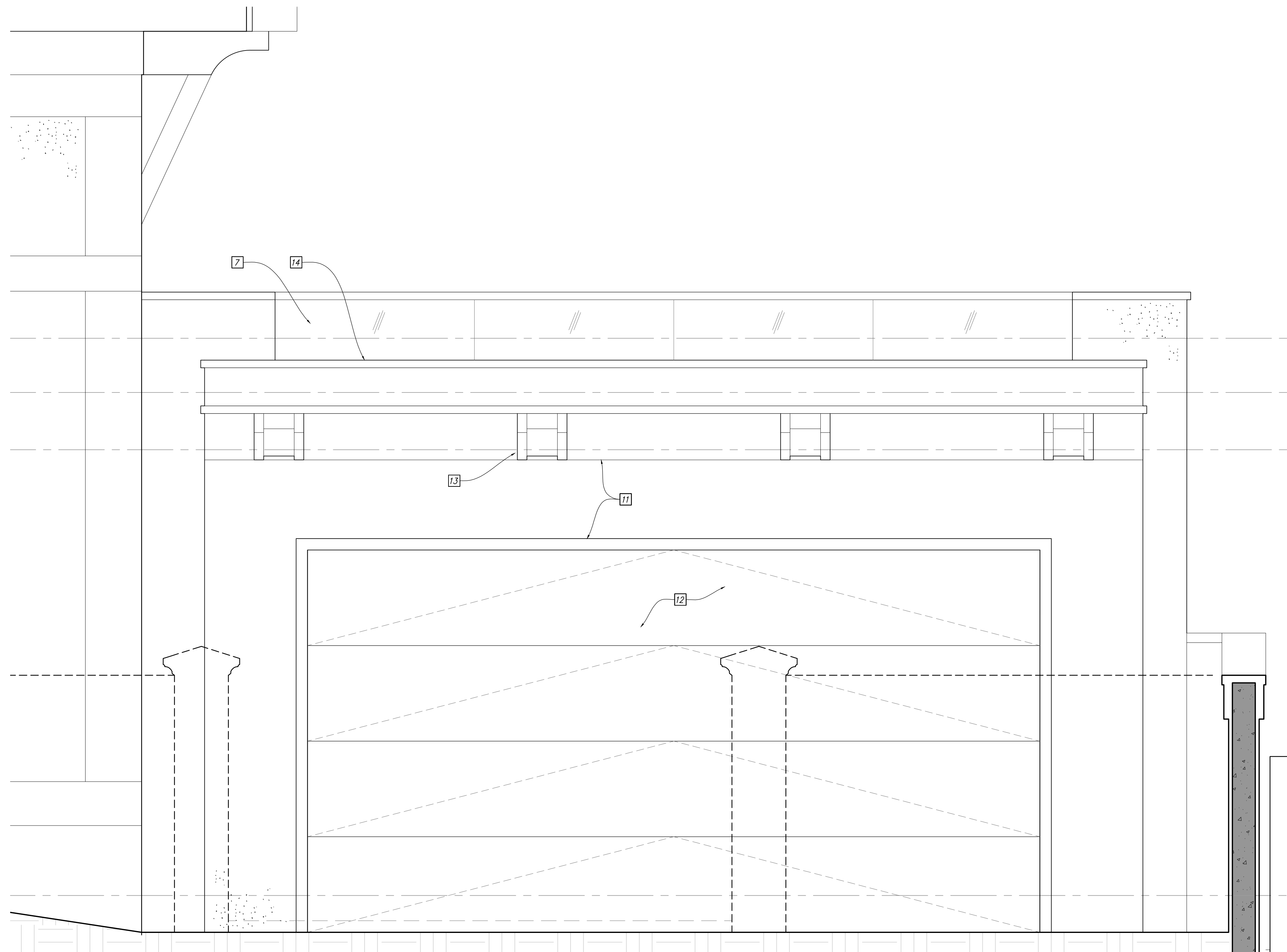
G5.01

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VERIFY ALL DIMENSIONS IN FIELD



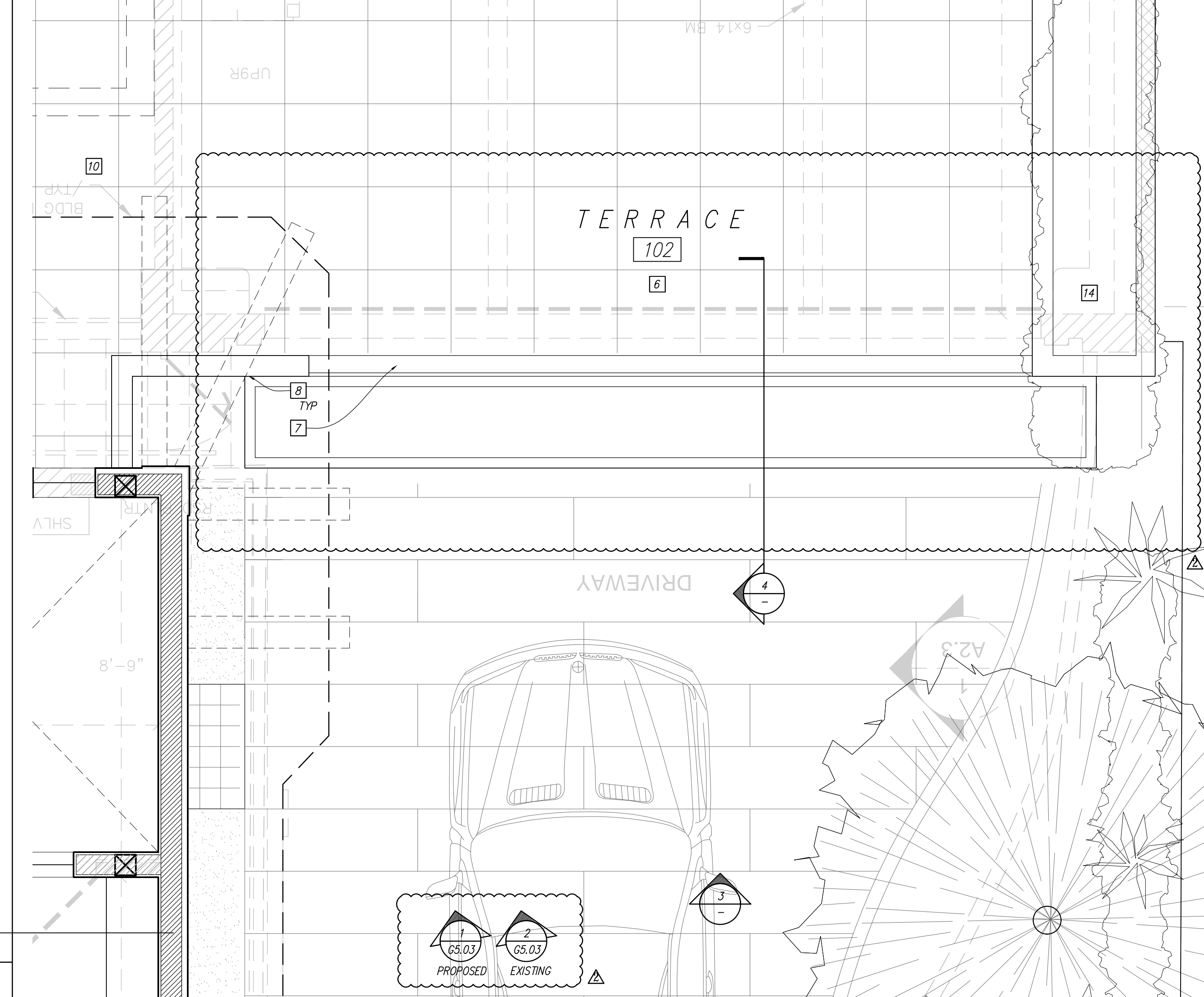
4 SECTION: GARAGE
SCALE: 3/4" = 1'-0"



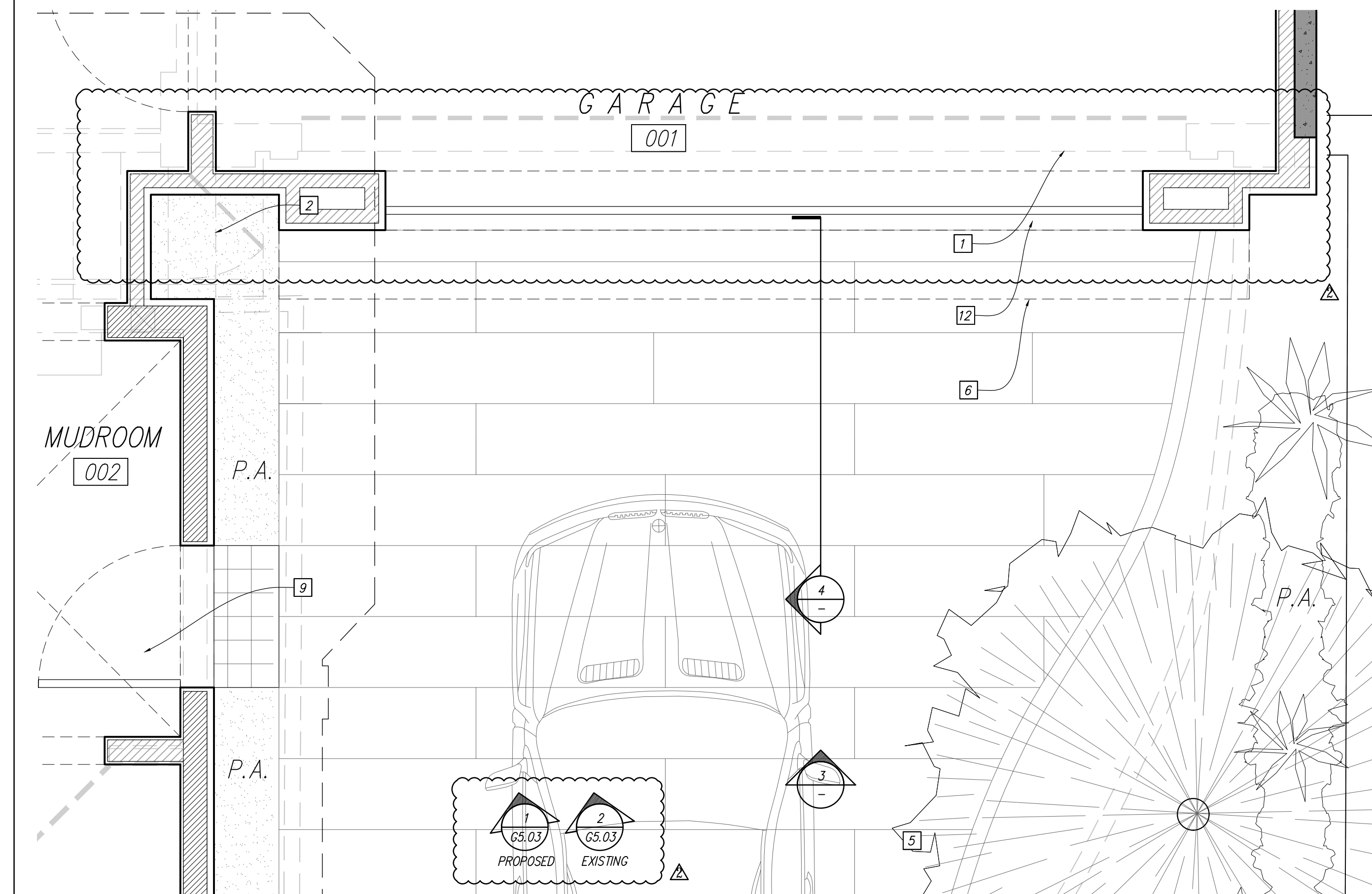
3 ELEVATION: GARAGE
SCALE: 3/4" = 1'-0"

NOT FOR CONSTRUCTION

PLANNING REVISION 2 SET - 4-19-2019



2 1ST LEVEL FLOOR PLAN AT GARAGE
SCALE: 1/2" = 1'-0"



1 GARAGE LEVEL FLOOR PLAN
SCALE: 1/2" = 1'-0"

SCOPE NOTES

- 1 EXISTING GARAGE TO BE DEMOLISHED
- 2 EXISTING SITE STAIRS TO BE DEMOLISHED
- 3 EXISTING LANDSCAPING TO BE DEMOLISHED
- 4 EXISTING DRIVEWAY TO BE DEMOLISHED
- 5 NEW CONCRETE PAVER DRIVEWAY
- 6 NEW TERRACE DECK OVER NEW GARAGE
- 7 NEW GLASS GUARD RAIL
- 8 EXISTING EXTERIOR WD BRACKETRY TO REMAIN
- 9 NEW MUDROOM ENTRANCE
- 10 NEW LANDSCAPING
- 11 NEW PAINTED WOOD TRIM
- 12 NEW GARAGE DOOR
- 13 NEW PAINTED WOOD CORBELS
- 14 NEW PLANTER & LANDSCAPING AT GARAGE PARAPET
- 15 NEW PLASTER GARAGE WALL
- 16 NEW PAINTED WOOD TRIM TO MATCH EXISTING

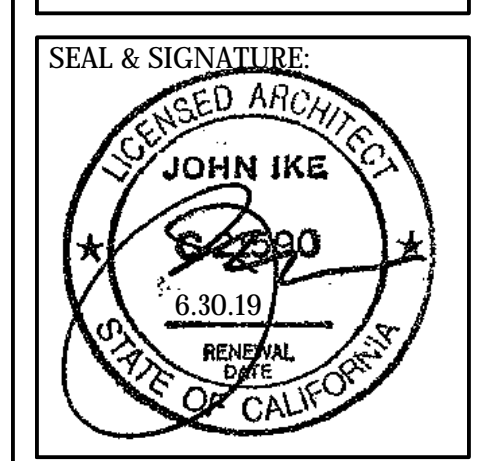
Ike Kligerman Barkley
1624 Franklin Street, Suite 912
Oakland, CA 94612
415.371.1850

3500 Jackson Street

APN 0970002

No.	REMARKS	DATE
	PLANNING SUB	9.11.18
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▲	PLANNING REV 2	4.19.2019

PROJECT:
3500 Jackson Street
San Francisco, CA 94118



GARAGE VIGNETTE

DATE: 3.22.2019
PROJECT No.: 18013
DRAWING BY: B.H.
CHK BY: T.V. C.B. T.K.
DWG No.:

G5.02

#18.013

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2 PHOTO: EXISTING GARAGE
SCALE: NTS



1 RENDERING: PROPOSED GARAGE
SCALE: NTS

SCOPE NOTES

- 1 EXISTING GARAGE TO BE DEMOLISHED
- 2 EXISTING SITE STAIRS TO BE DEMOLISHED
- 3 EXISTING LANDSCAPING TO BE DEMOLISHED
- 4 EXISTING DRIVEWAY TO BE DEMOLISHED
- 5 NEW CONCRETE PAVEMENT DRIVEWAY
- 6 NEW TERRACE DECK OVER NEW GARAGE
- 7 NEW GLASS GUARD RAIL
- 8 EXISTING EXTERIOR WD BRACKETRY TO REMAIN
- 9 NEW MUDROOM ENTRANCE
- 10 NEW LANDSCAPING
- 11 NEW PAINTED WOOD TRIM
- 12 NEW GARAGE DOOR
- 13 NEW PAINTED WOOD CORBELS
- 14 NEW PLANTER & LANDSCAPING AT GARAGE PARAPET
- 15 NEW PLASTER GARAGE WALL
- 16 NEW PAINTED WOOD TRIM TO MATCH EXISTING

3500 Jackson Street

APN 0970002

No.	REMARKS	DATE
	PLANNING SUB	9.11.18
1	PLANNING REV 1	3.22.2019
2	PLANNING REV 2	4.19.2019

PROJECT:
3500 Jackson Street
San Francisco, CA 94118



GARAGE VIGNETTE RENDERINGS

DATE: 3.22.2019
PROJECT No.: 18013
DRAWING BY: B.H.
CHK BY: T.V. C.B. T.K.
DWG No.:

G5.03

#18.013



CHIMNEYS

-PAINTED PLASTER FINISH
-REPLICATE SCALE & DETAIL OF EXISTING CHIMNEYS
-SEE G4.06 FOR EXISTING CHIMNEYS AND CHIMNEYS TO BE RECONSTRUCTED

WOOD POST @ CARRIAGEWAY

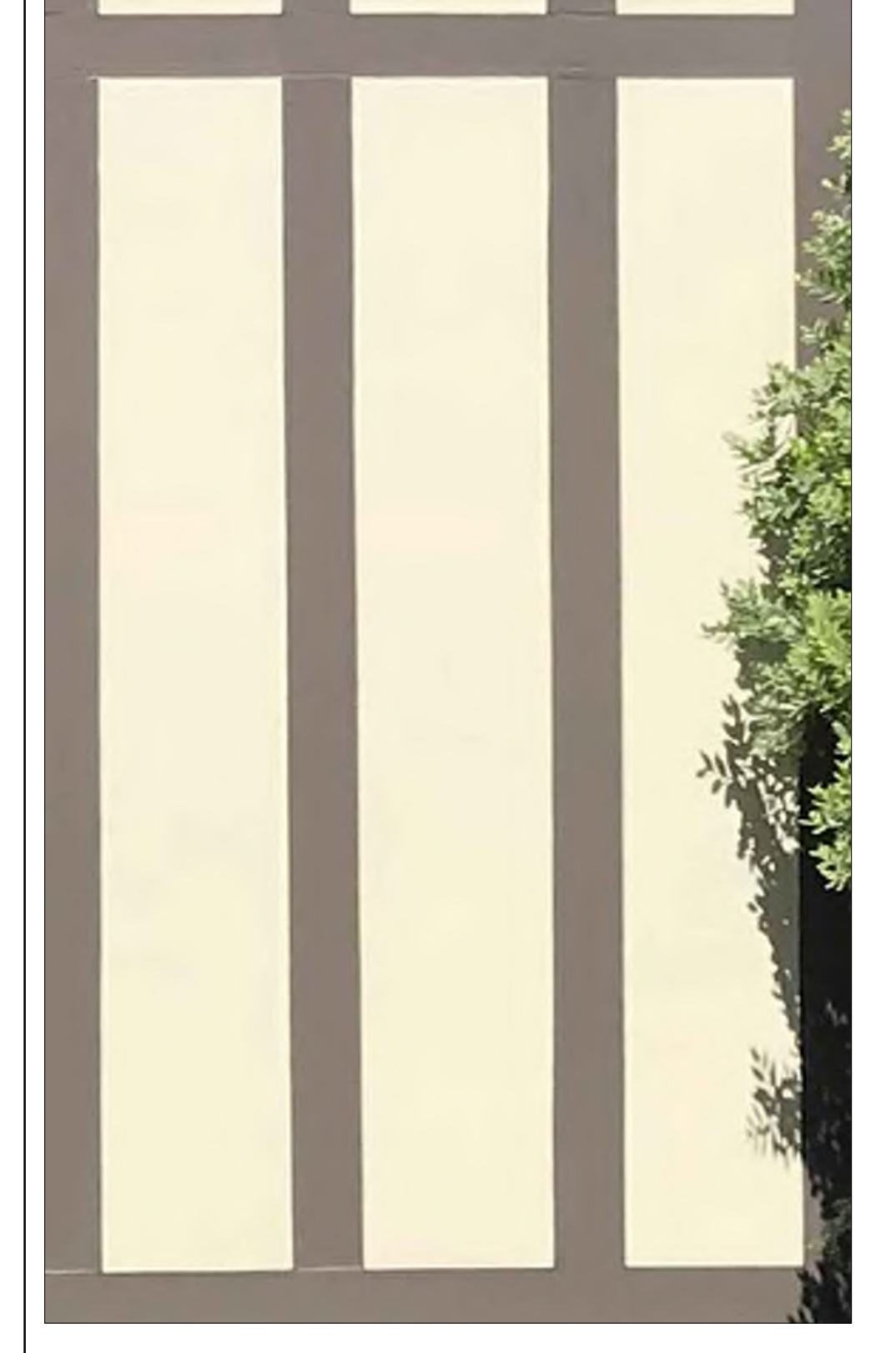
-BX12 PAINTED TIMBER POST & BASE
-1" CHAMFER TO MATCH EXISTING

GLASS GUARDRAIL

-GARAGE ROOF TERRACE

SLATE ROOF TILES

-REPAIR & REPLACE EXISTING TILES
-INFILL AT NEW BALCONY



DOOR

-NEW ENTRIES AT CARRIAGEWAY AND DRIVEWAY
-5 PANEL GLAZED PAINTED WOOD DOORS

WINDOW

-WOOD WINDOW

NOT USED

NOT USED

STUCCO & WOOD SIDING

-AT CARRIAGEWAY BUMP-OUT
-PLASTER FINISH TO MATCH EXISTING



CONCRETE PAVERS

-AT NEW CARRIAGEWAY ENTRY ON JACKSON @ NEW LOWER MOTOR COURT

BASALT GRANITE COBBLES

-AT NEW CARRIAGEWAY ENTRY ON JACKSON @ NEW LOWER MOTOR COURT

BLACKENED STEEL GATE

-AT CARRIAGEWAY
-NEW STEEL TO MATCH EXISTING

TERRACOTTA TILE

-AT REAR ENTRY
-BX8 TERRA COTTA TILES MORTAR SET ON CONCRETE

No.	REMARKS	DATE
	PLANNING SUB	9.11.18
	PLANNING REV 1	3.22.2019
	PLANNING REV 2	4.19.2019

PROJECT:
3500 Jackson Street
San Francisco, CA 94118



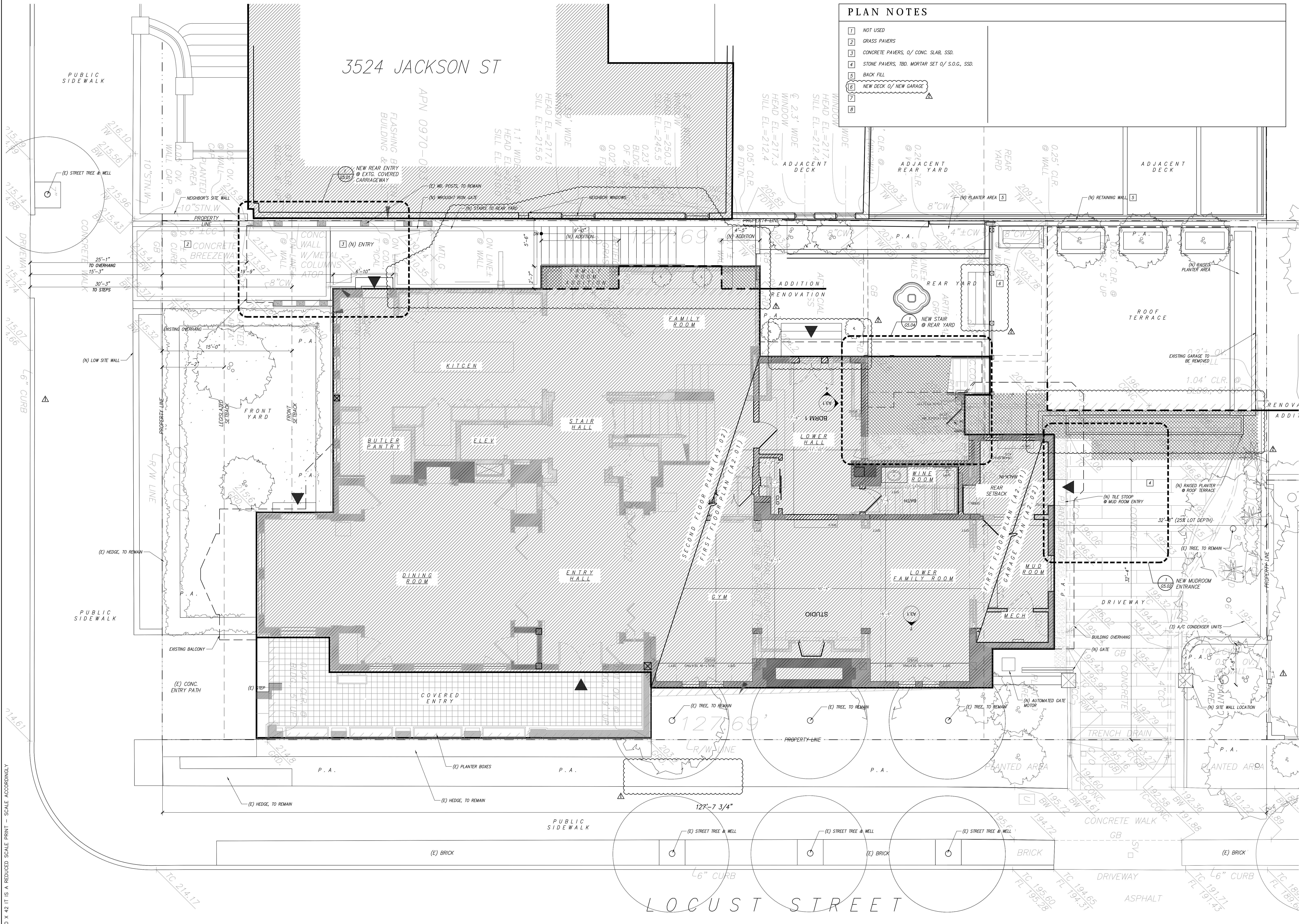
MATERIALS

DATE: 3.22.2019
PROJECT No.: 18013
DRAWING BY: B.H.
CHK BY: T.V. C.B. T.K.
DWG No.:

G6.01

PLAN NOTES

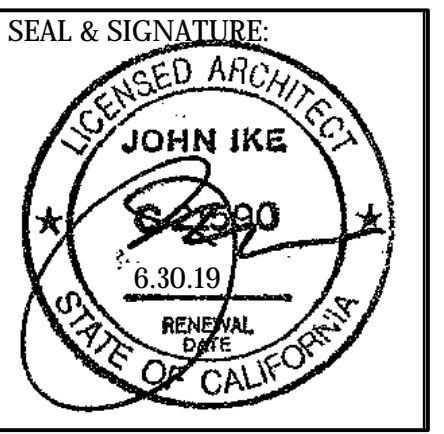
- 1 NOT USED
- 2 GRASS PAVERS
- 3 CONCRETE PAVERS, O/ CONC. SLAB, SSD.
- 4 STONE PAVERS, TBD. MORTAR SET O/ S.O.G., SSD.
- 5 BACK FILL
- 6 NEW DECK O/ NEW GARAGE
- 7
- 8



1 SITE PLAN
 SCALE: 3/16" = 1'-0"

No.	REMARKS	DATE
1	PLANNING SUB	9.11.18
2	PLANNING REV 1	3.22.2019
3	PLANNING REV 2	4.19.2019

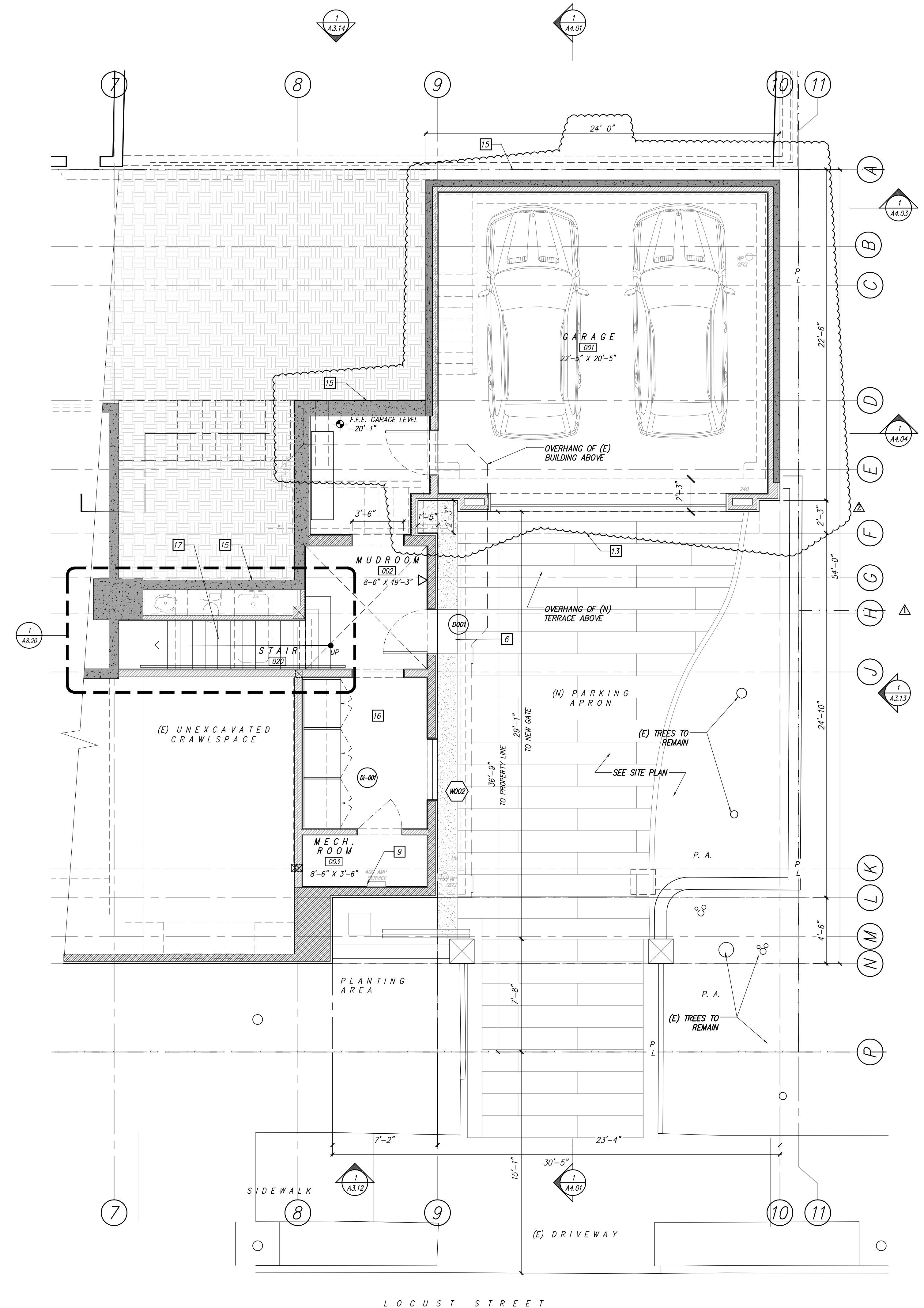
PROJECT:
 3500 Jackson Street
 San Francisco, CA 94118



SITE PLAN

DATE: 3.22.2019
 PROJECT No.: 18013
 DRAWING BY: B.H.
 CHK BY: T.V.C.B.T.K.
 DWG No.:

A1.01



1 GARAGE LEVEL PLAN
A2.00 SCALE: 1/4" = 1'-0"

IF THIS SHEET IS NOT 30 X 42, IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY

GENERAL NOTES	PLAN LEGEND	PLAN KEY NOTES							
<p>A. NOTE 1</p>	<p>EXISTING FRAMED WALLS TO REMAIN</p> <p>NEW FRAMED WALLS</p> <p>NEW CONCRETE WALLS: S.S.D.</p> <p>PREVIOUS CONSTRUCTION: SEE DEMO PLAN</p> <p>WINDOW TAG: SEE WINDOW SCHEDULE</p> <p>DOOR TAG: SEE DOOR SCHEDULE</p>	<p>1 (N) TOILETS TO BE 1.28 GPF MAX.</p> <p>2 (N) SHOWERHEADS TO BE 2.0 GPM @ 80 PSI MAX.</p> <p>3 (N) LAVATORY FAUCETS TO BE 1.2 FPM @ 60 PSI MAX.</p> <p>4 (N) KITCHEN FAUCETS TO BE 1.8 GPM @ 60 PSI MAX.</p> <p>5 (N) EXTERIOR FRAMED STAIRS</p> <p>6 (N) TILE O/ CONCRETE SLAB: SEE FINISH SCHEDULE</p> <p>7 (N) RADIANT HEATING BELOW (N) FLOOR FINISH: SEE MEP</p> <p>8 (N) ROPED HYDRAULIC ELEVATOR (4 STORES)</p>	<p>9 (N) RELOCATED MAIN ELECTRICAL PANEL</p> <p>10 (N) RUBBER GYM FLOOR</p> <p>11 (N) RADIANT HEATING IN (E) JOIST BAYS BELOW SUBFLOOR</p> <p>12 (N) PLANTER BOX TO MATCH (E)</p> <p>13 (N) GARAGE DOOR</p> <p>14 REBUILD (N) CHIMNEY TO MATCH (E)</p> <p>15 (N) CONCRETE RETAINING WALL, INFILL, & WATERPROOFING</p> <p>16 EXCAVATED CRAWLSPACE: NEW SLAB, WALLS, FLOORING, & WATERPROOFING</p>	<p>17 (N) INTERIOR STAIRS</p> <p>18 (N) FLOOR FINISH O/ (E) STAIRS</p> <p>19 (N) TERRACE & PLANTED ROOF</p> <p>20 (N) STONE PAVERS & LANDSCAPING</p> <p>21 (N) WALK-IN REFRIGERATOR: SEE SPECIFICATIONS</p> <p>22 (N) 42" TOWN & COUNTRY DIRECT VENT FIREPLACE (TC42)</p> <p>23 (N) CONCRETE RETAINING WALLS ON PIERS ALONG WEST PROPERTY LINE</p> <p>24 (N) TILE O/ (N) CONCRETE STAIRS</p>	<p>25 (E) ROOMS TO BE PRESERVED & RESTORED</p> <p>26 (N) STEAM SHOWER</p> <p>27 (N) INFRARED SAUNA</p> <p>28 (N) GATE, WROUGHT IRON TO MATCH (E)</p> <p>29 (N) TILE: SEE FINISH SCHEDULE</p> <p>30 (N) GLASS GUARDRAIL</p> <p>31 (E) FLUE</p> <p>32 (N) SOAKING TUB</p>	<p>33 (N) STRUCTURAL SUPPORT FOR CHIMNEY T.R.</p> <p>34 (N) FLOOR AT DEMOLISHED STAIRS</p> <p>35 (N) ENCLOSURE</p> <p>36 (N) ROOF</p> <p>37 (E) SKYLIGHT TO REMAIN</p> <p>38 (E) CHIMNEY TO REMAIN</p> <p>39 (N) GAS FIREPLACE INTAKE EXHAUST CHIMNEY TO MATCH (E)</p> <p>40 (N) SKYLIGHT</p>	<p>41 INFILL (E) WINDOW @ INTERIOR, EXT. WINDOW TREATMENT TO REMAIN</p> <p>42 (N) GLASS GUARD RAIL</p> <p>43 RESTORED REAR STAIR</p> <p>45 (N) BOARD & BATTEN CLAD CONCRETE PLANTER</p> <p>46 RESTORED PARAPET WALL</p> <p>47 NEW PONY WALL</p> <p>48 ENLARGED SKYLIGHT</p> <p>49 (N) TILE TO MATCH (E).</p>		

No.	REMARKS	DATE
	PLANNING SUB.	9.11.18
1	PLANNING REV 1	3.22.2019
2	PLANNING REV 2	4.19.2019

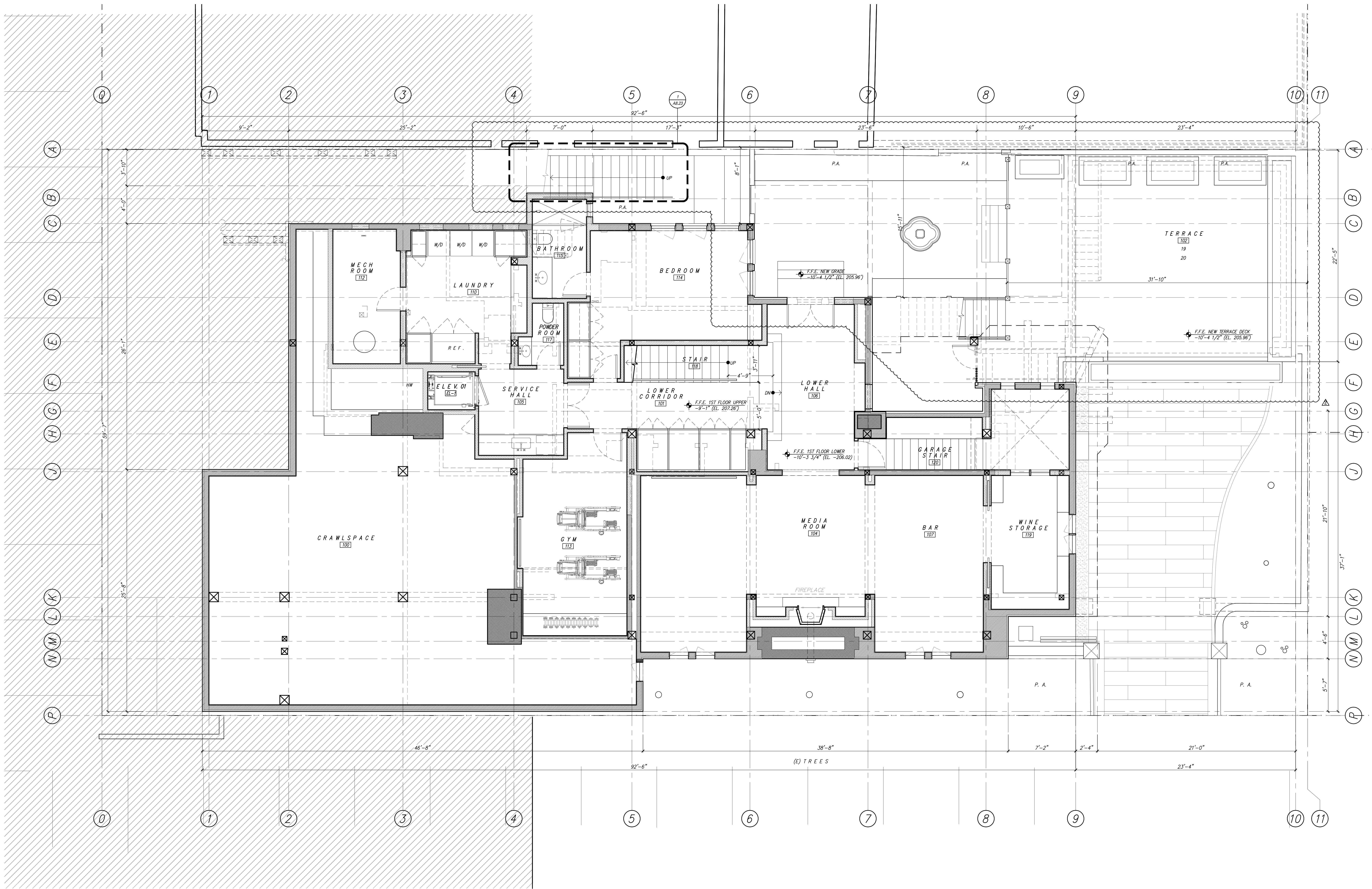
PROJECT:
3500 Jackson Street
San Francisco, CA 94118



PROPOSED GARAGE LEVEL

DATE: 3.22.2019
PROJECT No.: 18013
DRAWING BY: B.H.
CHK BY: T.V. C.B.T.K.
DWG No.:

A2.00



1 1ST FLOOR PLAN
 A2.01 SCALE: 1/4" = 1'-0"

GENERAL NOTES
 A. NOTE 1
 IF THIS SHEET IS NOT 30 X 42 IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY

PLAN LEGEND

	EXISTING FRAMED WALLS TO REMAIN
	NEW FRAMED WALLS
	NEW CONCRETE WALLS: S.S.D.
	PREVIOUS CONSTRUCTION: SEE DEMO PLAN
	WINDOW TAG: SEE WINDOW SCHEDULE
	DOOR TAG: SEE DOOR SCHEDULE

PLAN KEY NOTES

1	(N) TOILETS TO BE 1.28 GPF MAX.
2	(N) SHOWERHEADS TO BE 2.0 GPM @ 80 PSI MAX.
3	(N) LAVATORY FAUCETS TO BE 1.2 FPM @ 60 PSI MAX.
4	(N) KITCHEN FAUCETS TO BE 1.8 GPM @ 60 PSI MAX.
5	(N) EXTERIOR FRAMED STAIRS
6	(N) TILE O/ CONCRETE SLAB: SEE FINISH SCHEDULE
7	(N) RADIANT HEATING BELOW (N) FLOOR FINISH: SEE MEP
8	(N) ROPED HYDRAULIC ELEVATOR (4 STORIES)

9	(N) RELOCATED MAIN ELECTRICAL PANEL
10	(N) RUBBER GYM FLOOR
11	(N) RADIANT HEATING IN (E) JOIST BAYS BELOW SUBFLOOR
12	(N) PLANTER BOX TO MATCH (E)
13	(N) GARAGE DOOR
14	REBUILD (N) CHIMNEY TO MATCH (E)
15	(N) CONCRETE RETAINING WALL, INFILL, & WATERPROOFING
16	EXCAVATED CRAWLSPACE: NEW SLAB, WALLS, FLOORING, & WATERPROOFING

17	(N) INTERIOR STAIRS
18	(N) FLOOR FINISH O/ (E) STAIRS
19	(N) TERRACE & PLANTED ROOF
20	(N) STONE PAVERS & LANDSCAPING
21	(N) WALK-IN REFRIGERATOR: SEE SPECIFICATIONS
22	(N) 42" TOWN & COUNTRY DIRECT VENT FIREPLACE (TC42)
23	(N) CONCRETE RETAINING WALLS ON PIERS ALONG WEST PROPERTY LINE
24	(N) TILE O/ (N) CONCRETE STAIRS

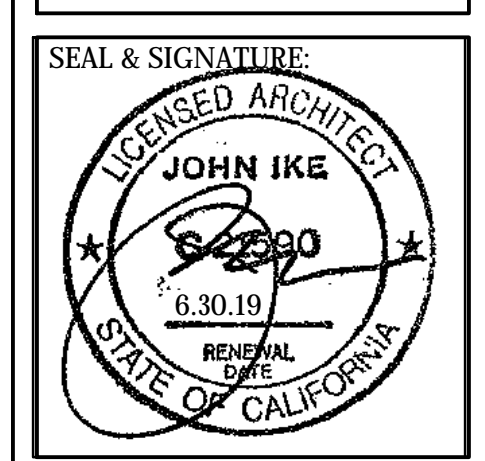
25	(E) ROOMS TO BE PRESERVED & RESTORED
26	(N) STEAM SHOWER
27	(N) INFRARED SAUNA
28	(N) GATE, WROUGHT IRON TO MATCH (E)
29	(N) TILE: SEE FINISH SCHEDULE
30	(N) GLASS GUARDRAIL
31	(E) FLUE
32	(N) SOAKING TUB

33	(N) STRUCTURAL SUPPORT FOR CHIMNEY T.R.
34	(N) FLOOR AT DEMOLISHED STAIRS
35	(N) ENCLOSURE
36	(N) ROOF
37	(E) SKYLIGHT TO REMAIN
38	(E) CHIMNEY TO REMAIN
39	(N) GAS FIREPLACE INTAKE EXHAUST CHIMNEY TO MATCH (E)
40	(N) SKYLIGHT

41	INFILL (E) WINDOW @ INTERIOR, EXT. WINDOW TREATMENT TO REMAIN
42	(N) GLASS GUARD RAIL
43	RESTORED REAR STAIR
45	(N) BOARD & BATTEN CLAD CONCRETE PLANTER
46	RESTORED PARAPET WALL
47	NEW PONY WALL
48	ENLARGED SKYLIGHT
49	(N) TILE TO MATCH (E).

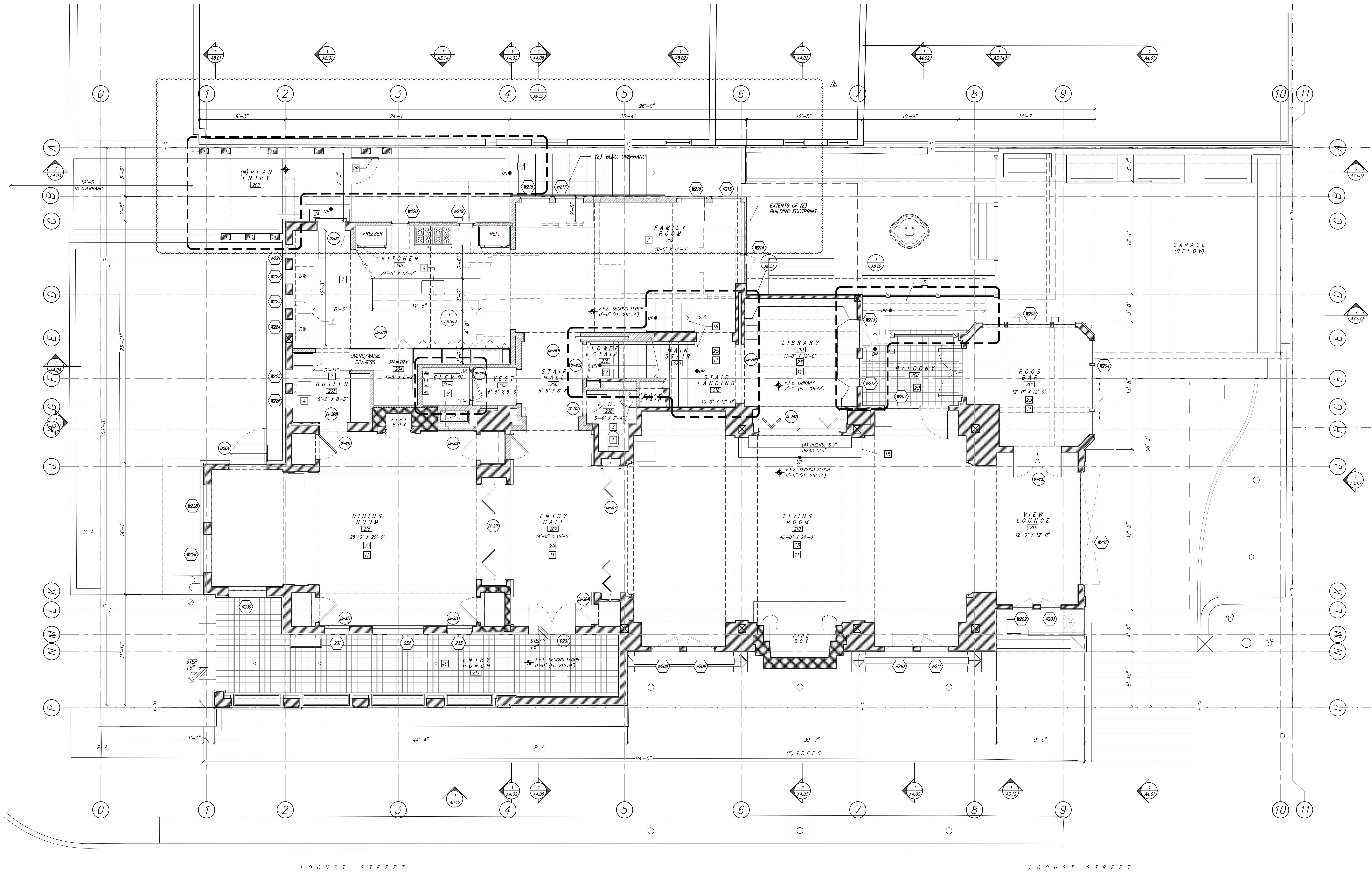
No.	REMARKS	DATE
1	PLANNING SUB	9.11.18
2	PLANNING REV 1	3.22.2019
3	PLANNING REV 2	4.19.2019

PROJECT:
 3500 Jackson Street
 San Francisco, CA 94118



PROPOSED FIRST FLOOR PLAN

DATE: 3.22.2019
 PROJECT No.: 18013
 DRAWING BY: B.H.
 CHK BY: T.V.C.B.T.K.
 DWG No.: **A2.01**
 #18.013

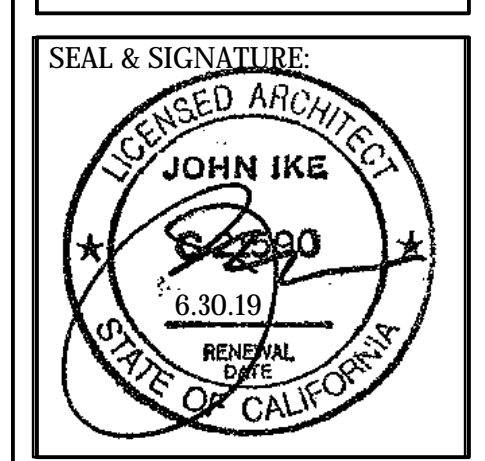


1 2ND FLOOR PLAN
 A2.02 SCALE: 1/4" = 1'-0"

GENERAL NOTES	PLAN LEGEND	PLAN KEY NOTES	PLAN KEY NOTES	PLAN KEY NOTES	PLAN KEY NOTES	PLAN KEY NOTES	
A. NOTE 1	<ul style="list-style-type: none"> EXISTING FRAMED WALLS TO REMAIN NEW FRAMED WALLS NEW CONCRETE WALLS: S.S.D. PREVIOUS CONSTRUCTION: SEE DEMO PLAN WINDOW TAG: SEE WINDOW SCHEDULE DOOR TAG: SEE DOOR SCHEDULE 	<ul style="list-style-type: none"> 1 (N) TOILETS TO BE 1.28 GPF MAX. 2 (N) SHOWERHEADS TO BE 2.0 GPM @ 80 PSI MAX. 3 (N) LAVATORY FAUCETS TO BE 1.2 FPM @ 60 PSI MAX. 4 (N) KITCHEN FAUCETS TO BE 1.8 GPM @ 60 PSI MAX. 5 (N) EXTERIOR FRAMED STAIRS 6 (N) TILE O/ CONCRETE SLAB: SEE FINISH SCHEDULE 7 (N) RADIANT HEATING BELOW (N) FLOOR FINISH: SEE MEP 8 (N) ROPED HYDRAULIC ELEVATOR (4 STORIES) 	<ul style="list-style-type: none"> 9 (N) RELOCATED MAIN ELECTRICAL PANEL 10 (N) RUBBER GYM FLOOR 11 (N) RADIANT HEATING IN (E) JOIST BAYS BELOW SUBFLOOR 12 (N) PLANTER BOX TO MATCH (E) 13 (N) GARAGE DOOR 14 REBUILD (N) CHIMNEY TO MATCH (E) 15 (N) CONCRETE RETAINING WALL, INFILL, & WATERPROOFING 16 EXCAVATED CRAWLSPACE: NEW SLAB, WALLS, FLOORING, & WATERPROOFING 	<ul style="list-style-type: none"> 17 (N) INTERIOR STAIRS 18 (N) FLOOR FINISH O/ (E) STAIRS 19 (N) TERRACE & PLANTED ROOF 20 (N) STONE PAVERS & LANDSCAPING 21 (N) WALK-IN REFRIGERATOR: SEE SPECIFICATIONS 22 (N) 42" TOWN & COUNTRY DIRECT VENT FIREPLACE (TC42) 23 (N) CONCRETE RETAINING WALLS ON PIERS ALONG WEST PROPERTY LINE 24 (N) TILE O/ (N) CONCRETE STAIRS 	<ul style="list-style-type: none"> 25 (E) ROOMS TO BE PRESERVED & RESTORED 26 (N) STEAM SHOWER 27 (N) INFRARED SAUNA 28 (N) GATE, WROUGHT IRON TO MATCH (E) 29 (N) TILE: SEE FINISH SCHEDULE 30 (N) 42" TOWN & COUNTRY DIRECT VENT FIREPLACE (TC42) 31 (E) FLUE 32 (N) SOAKING TUB 	<ul style="list-style-type: none"> 33 (N) STRUCTURAL SUPPORT FOR CHIMNEY T.R. 34 (N) FLOOR AT DEMOLISHED STAIRS 35 (N) ENCLOSURE 36 (N) ROOF 37 (E) SKYLIGHT TO REMAIN 38 (E) CHIMNEY TO REMAIN 39 (N) GAS FIREPLACE INTAKE EXHAUST CHIMNEY TO MATCH (E) 40 (N) SKYLIGHT 	<ul style="list-style-type: none"> 41 INFILL (E) WINDOW @ INTERIOR, EXT. WINDOW TREATMENT TO REMAIN 42 (N) GLASS GUARD RAIL 43 RESTORED REAR STAIR 45 (N) BOARD & BATTEN CLAD CONCRETE PLANTER 46 RESTORED PARAPET WALL 47 NEW PONY WALL 48 ENLARGED SKYLIGHT 49 (N) TILE TO MATCH (E).

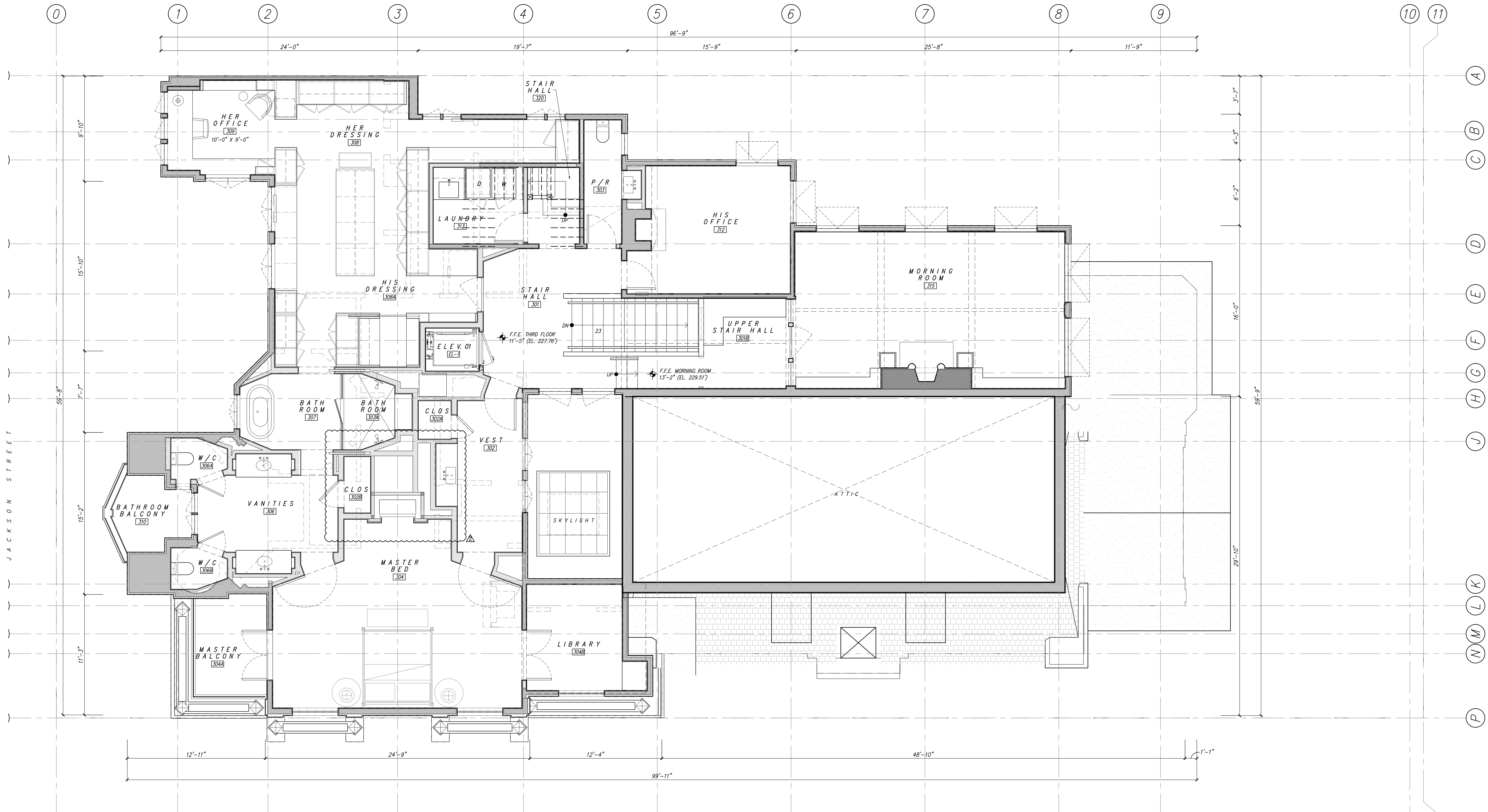
No.	REMARKS	DATE
1	PLANNING SUB	9.11.18
2	PLANNING REV 1	3.22.2019
3	PLANNING REV 2	4.19.2019

PROJECT:
 3500 Jackson Street
 San Francisco, CA 94118



PROPOSED SECOND FLOOR PLAN

DATE: 3.22.2019
 PROJECT No.: 18013
 DRAWING BY: B.H.
 CHK BY: T.V. C.B.T.K.
 DWG No.: A2.02

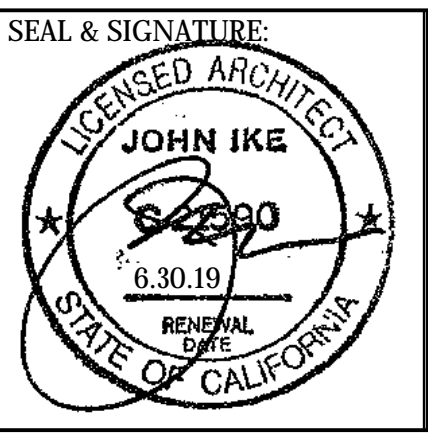


3500 Jackson Street

APN 0970002

No.	REMARKS	DATE
1	PLANNING SUB	9.11.18
2	PLANNING REV 1	3.22.2019
3	PLANNING REV 2	4.19.2019

PROJECT:
3500 Jackson Street
San Francisco, CA 94118



PROPOSED
THIRD FLOOR
PLAN

DATE: 3.22.2019
PROJECT No.: 18013
DRAWING BY: B.H.
CHK BY: T.V.C.B.T.K.
DWG No.:

A2.03
#18.013

1 3RD FLOOR PLAN
A2.03 SCALE: 1/4" = 1'-0"

GENERAL NOTES

A. NOTE 1

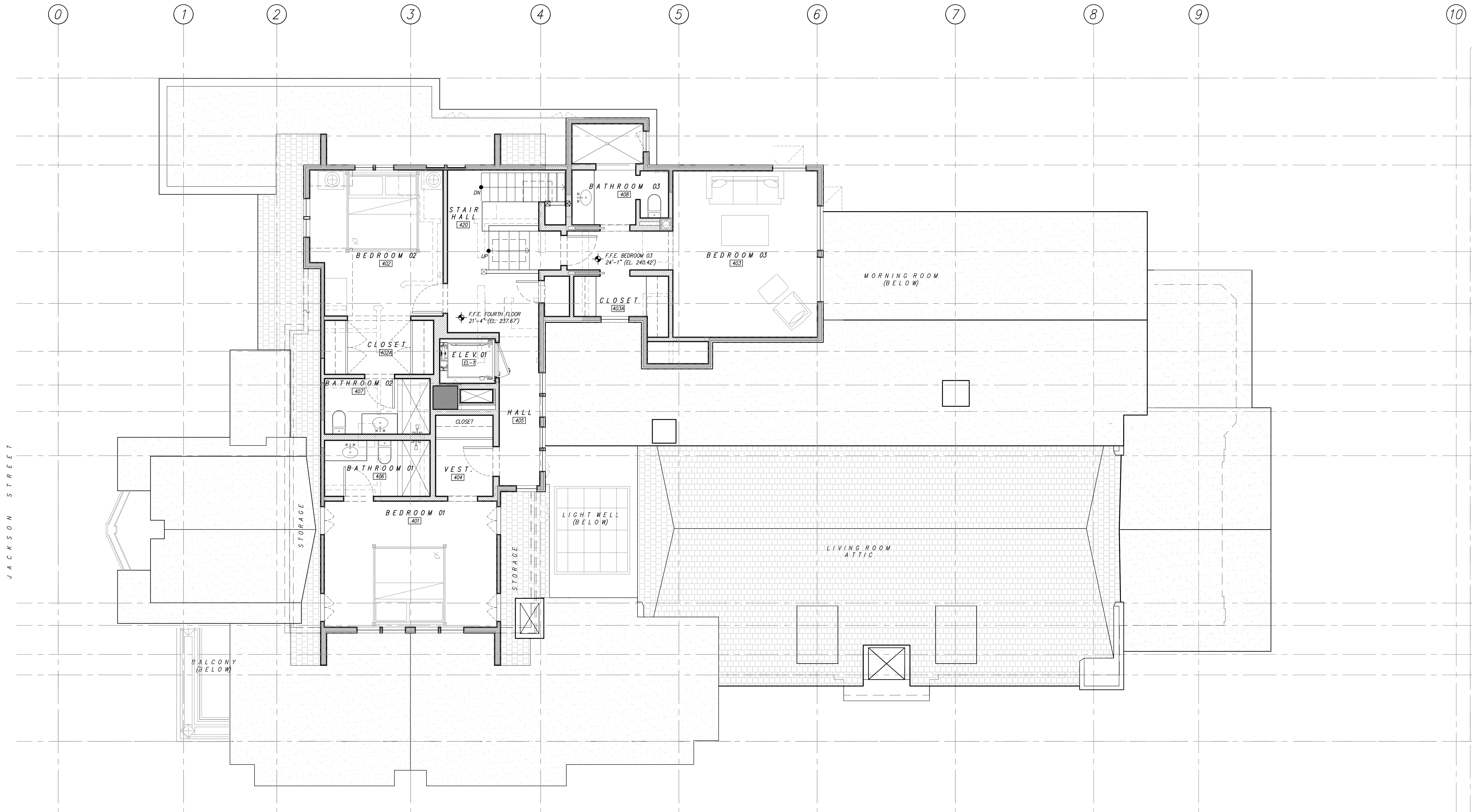
PLAN LEGEND

- EXISTING FRAMED WALLS TO REMAIN
- NEW FRAMED WALLS
- NEW CONCRETE WALLS: S.S.D.
- PREVIOUS CONSTRUCTION: SEE DEMO PLAN
- WINDOW TAG: SEE WINDOW SCHEDULE
- DOOR TAG: SEE DOOR SCHEDULE

PLAN KEY NOTES

- | | | | | | |
|---|---|---|--|--|--|
| 1 (N) TOILETS TO BE 1.28 GPF MAX. | 9 (N) RELOCATED MAIN ELECTRICAL PANEL | 17 (N) INTERIOR STAIRS | 25 (E) ROOMS TO BE PRESERVED & RESTORED | 33 (N) STRUCTURAL SUPPORT FOR CHIMNEY T.R. | 41 INFILL (E) WINDOW @ INTERIOR, EXT. WINDOW TREATMENT TO REMAIN |
| 2 (N) SHOWERHEADS TO BE 2.0 GPM @ 80 PSI MAX. | 10 (N) RUBBER GYM FLOOR | 18 (N) FLOOR FINISH O/ (E) STAIRS | 26 (N) STEAM SHOWER | 34 (N) FLOOR AT DEMOLISHED STAIRS | 42 (N) GLASS GUARD RAIL |
| 3 (N) LAVATORY FAUCETS TO BE 1.2 FPM @ 60 PSI MAX. | 11 (N) RADIANT HEATING IN (E) JOIST BAYS BELOW SUBFLOOR | 19 (N) TERRACE & PLANTED ROOF | 27 (N) INFRARED SAUNA | 35 (N) ENCLOSURE | 43 RESTORED REAR STAIR |
| 4 (N) KITCHEN FAUCETS TO BE 1.8 GPM @ 60 PSI MAX. | 12 (N) PLANTER BOX TO MATCH (E) | 20 (N) STONE PAVERS & LANDSCAPING | 28 (N) GATE, WROUGHT IRON TO MATCH (E) | 36 (N) ROOF | 45 (N) BOARD & BATTEN CLAD CONCRETE PLANTER |
| 5 (N) EXTERIOR FRAMED STAIRS | 13 (N) GARAGE DOOR | 21 (N) WALK-IN REFRIGERATOR: SEE SPECIFICATIONS | 29 (N) TILE: SEE FINISH SCHEDULE | 37 (E) SKYLIGHT TO REMAIN | 46 RESTORED PARAPET WALL |
| 6 (N) TILE O/ CONCRETE SLAB: SEE FINISH SCHEDULE | 14 REBUILD (N) CHIMNEY TO MATCH (E) | 22 (N) 42" TOWN & COUNTRY DIRECT VENT FIREPLACE (TC42) | 30 (N) 42" TOWN & COUNTRY DIRECT VENT FIREPLACE (TC42) | 38 (E) CHIMNEY TO REMAIN | 47 NEW PONY WALL |
| 7 (N) RADIANT HEATING BELOW (N) FLOOR FINISH: SEE MEP | 15 (N) CONCRETE RETAINING WALL, INFILL, & WATERPROOFING | 23 (N) CONCRETE RETAINING WALLS ON PIERS ALONG WEST PROPERTY LINE | 31 (E) FLUE | 39 (N) GAS FIREPLACE INTAKE EXHAUST CHIMNEY TO MATCH (E) | 48 ENLARGED SKYLIGHT |
| 8 (N) ROPED HYDRAULIC ELEVATOR (4 STORIES) | 16 EXCAVATED CRAWLSPACE: NEW SLAB, WALLS, FLOORING, & WATERPROOFING | 24 (N) TILE O/ (N) CONCRETE STAIRS | 32 (N) SOAKING TUB | 40 (N) SKYLIGHT | 49 (N) TILE TO MATCH (E). |

IF THIS SHEET IS NOT 30 X 42 IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY



1 4TH FLOOR PLAN
A2.04 SCALE: 1/4" = 1'-0"

IF THIS SHEET IS NOT 30 X 42 IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY

GENERAL NOTES

A. NOTE 1

PLAN LEGEND

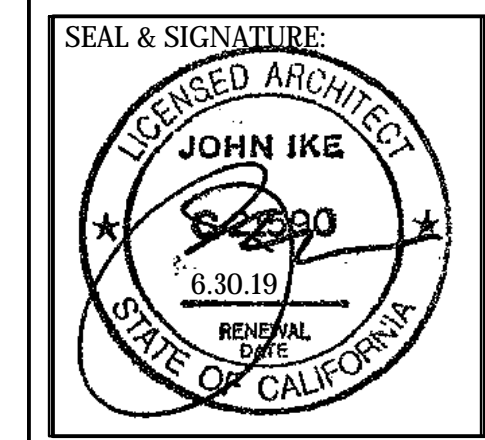
- EXISTING FRAMED WALLS TO REMAIN
NEW FRAMED WALLS
NEW CONCRETE WALLS: S.S.D.
PREVIOUS CONSTRUCTION: SEE DEMO PLAN
WINDOW TAG: SEE WINDOW SCHEDULE
DOOR TAG: SEE DOOR SCHEDULE

PLAN KEY NOTES

- 1 (N) TOILETS TO BE 1.28 GPF MAX.
2 (N) SHOWERHEADS TO BE 2.0 GPM @ 80 PSI MAX.
3 (N) LAVATORY FAUCETS TO BE 1.2 FPM @ 60 PSI MAX.
4 (N) KITCHEN FAUCETS TO BE 1.8 GPM @ 60 PSI MAX.
5 (N) EXTERIOR FRAMED STAIRS
6 (N) TILE O/ CONCRETE SLAB: SEE FINISH SCHEDULE
7 (N) RADIANT HEATING BELOW (N) FLOOR FINISH: SEE MEP
8 (N) ROPED HYDRAULIC ELEVATOR (4 STORIES)
9 (N) RELOCATED MAIN ELECTRICAL PANEL
10 (N) RUBBER GYM FLOOR
11 (N) RADIANT HEATING IN (E) JOIST BAYS BELOW SUBFLOOR
12 (N) PLANTER BOX TO MATCH (E)
13 (N) GARAGE DOOR
14 REBUILD (N) CHIMNEY TO MATCH (E)
15 (N) CONCRETE RETAINING WALL, INFILL, & WATERPROOFING
16 EXCAVATED CRAWLSPACE: NEW SLAB, WALLS, FLOORING, & WATERPROOFING
17 (N) INTERIOR STAIRS
18 (N) FLOOR FINISH O/ (E) STAIRS
19 (N) TERRACE & PLANTED ROOF
20 (N) STONE PAVERS & LANDSCAPING
21 (N) WALK-IN REFRIGERATOR: SEE SPECIFICATIONS
22 (N) 42" TOWN & COUNTRY DIRECT VENT FIREPLACE (TC42)
23 (N) CONCRETE RETAINING WALLS ON PIERS ALONG WEST PROPERTY LINE
24 (N) TILE O/ (N) CONCRETE STAIRS
25 (E) ROOMS TO BE PRESERVED & RESTORED
26 (N) STEAM SHOWER
27 (N) INFRARED SAUNA
28 (N) GATE, WROUGHT IRON TO MATCH (E)
29 (N) TILE: SEE FINISH SCHEDULE
30 (N) GLASS GUARDRAIL
31 (E) FLUE
32 (N) SOAKING TUB
33 (N) STRUCTURAL SUPPORT FOR CHIMNEY T.R.
34 (N) FLOOR AT DEMOLISHED STAIRS
35 (N) ENCLOSURE
36 (N) ROOF
37 (E) SKYLIGHT TO REMAIN
38 (E) CHIMNEY TO REMAIN
39 (N) GAS FIREPLACE INTAKE EXHAUST CHIMNEY TO MATCH (E)
40 (N) SKYLIGHT
41 INFILL (E) WINDOW @ INTERIOR, EXT. WINDOW TREATMENT TO REMAIN
42 (N) GLASS GUARD RAIL
43 RESTORED REAR STAIR
45 (N) BOARD & BATTEN CLAD CONCRETE PLANTER
46 RESTORED PARAPET WALL
47 NEW PONY WALL
48 ENLARGED SKYLIGHT
49 (N) TILE TO MATCH (E).

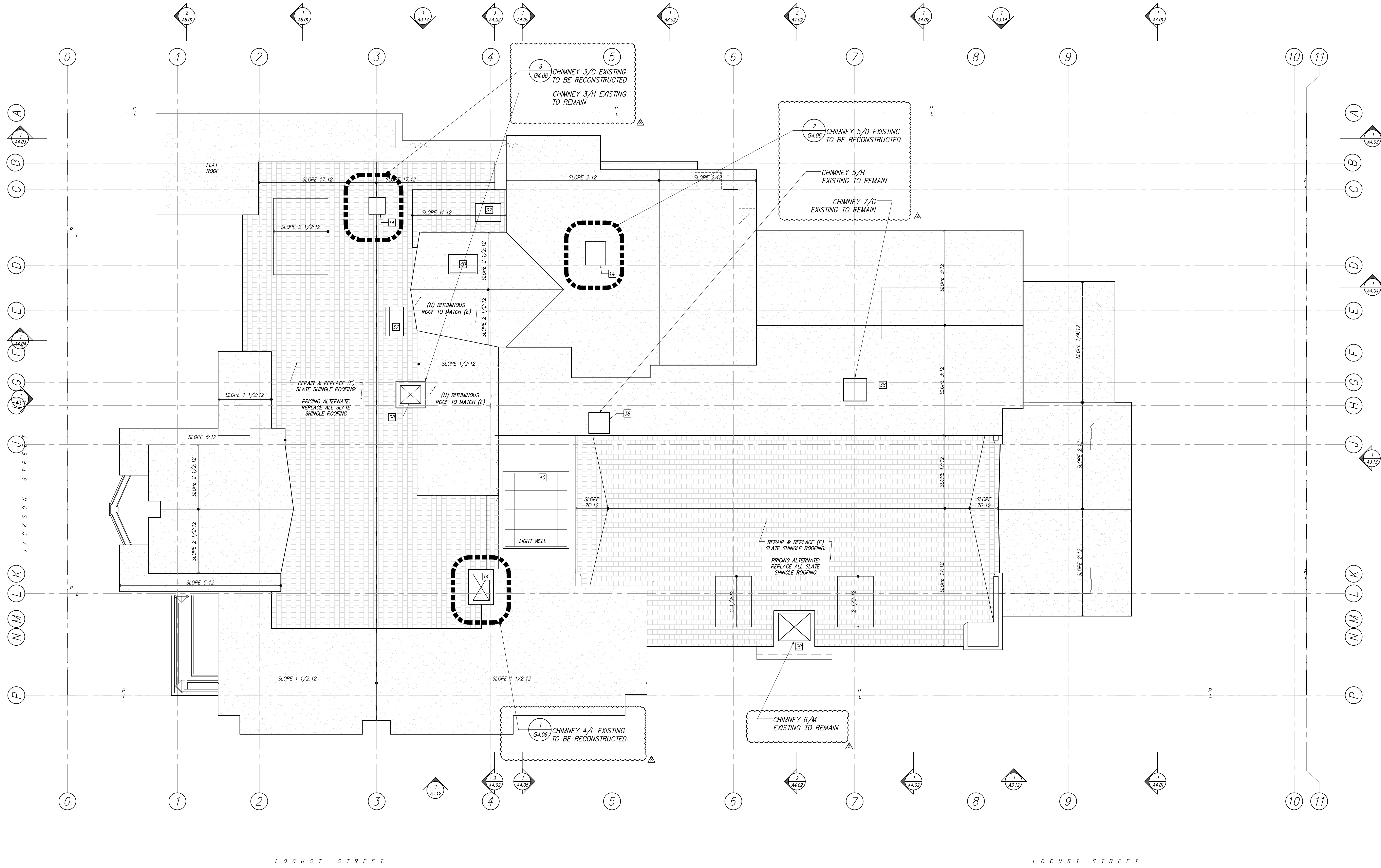
Table with 3 columns: No., REMARKS, DATE. Includes entries for PLANNING SUB, PLANNING REV 1, and PLANNING REV 2.

PROJECT: 3500 Jackson Street, San Francisco, CA 94118



PROPOSED FOURTH FLOOR PLAN

DATE: 3.22.2019
PROJECT No.: 18013
DRAWING BY: B.H.
CHK BY: T.V.C.B.T.K.
DWG No.: A2.04



1 ROOF PLAN
A2.04 SCALE: 1/4" = 1'-0"

IF THIS SHEET IS NOT 30 X 42 IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY

GENERAL NOTES

- A. NOTE 1
- EXISTING FRAMED WALLS TO REMAIN
- NEW FRAMED WALLS
- NEW CONCRETE WALLS: S.S.D.
- PREVIOUS CONSTRUCTION: SEE DEMO PLAN
- WINDOW TAG: SEE WINDOW SCHEDULE
- DOOR TAG: SEE DOOR SCHEDULE

PLAN LEGEND

- EXISTING FRAMED WALLS TO REMAIN
- NEW FRAMED WALLS
- NEW CONCRETE WALLS: S.S.D.
- PREVIOUS CONSTRUCTION: SEE DEMO PLAN
- WINDOW TAG: SEE WINDOW SCHEDULE
- DOOR TAG: SEE DOOR SCHEDULE

PLAN KEY NOTES

- 1 (N) TOILETS TO BE 1.28 GPF MAX.
- 2 (N) SHOWERHEADS TO BE 2.0 GPM @ 80 PSI MAX.
- 3 (N) LAVATORY FAUCETS TO BE 1.2 FPM @ 60 PSI MAX.
- 4 (N) KITCHEN FAUCETS TO BE 1.8 GPM @ 60 PSI MAX.
- 5 (N) EXTERIOR FRAMED STAIRS
- 6 (N) TILE O/ CONCRETE SLAB: SEE FINISH SCHEDULE
- 7 (N) RADIANT HEATING BELOW (N) FLOOR FINISH: SEE MEP
- 8 (N) ROPED HYDRAULIC ELEVATOR (4 STORIES)

PLAN KEY NOTES

- 9 (N) RELOCATED MAIN ELECTRICAL PANEL
- 10 (N) RUBBER GYM FLOOR
- 11 (N) RADIANT HEATING IN (E) JOIST BAYS BELOW SUBFLOOR
- 12 (N) PLANTER BOX TO MATCH (E)
- 13 (N) GARAGE DOOR
- 14 REBUILD (N) CHIMNEY TO MATCH (E)
- 15 (N) CONCRETE RETAINING WALL, INFILL, & WATERPROOFING
- 16 EXCAVATED CRAWLSPACE: NEW SLAB, WALLS, FLOORING, & WATERPROOFING

PLAN KEY NOTES

- 17 (N) INTERIOR STAIRS
- 18 (N) FLOOR FINISH O/ (E) STAIRS
- 19 (N) TERRACE & PLANTED ROOF
- 20 (N) STONE PAVERS & LANDSCAPING
- 21 (N) WALK-IN REFRIGERATOR: SEE SPECIFICATIONS
- 22 (N) 42" TOWN & COUNTRY DIRECT VENT FIREPLACE (TC42)
- 23 (N) CONCRETE RETAINING WALLS ON PIERS ALONG WEST PROPERTY LINE
- 24 (N) TILE O/ (N) CONCRETE STAIRS

PLAN KEY NOTES

- 25 (E) ROOMS TO BE PRESERVED & RESTORED
- 26 (N) STEAM SHOWER
- 27 (N) INFRARED SAUNA
- 28 (N) GATE, WROUGHT IRON TO MATCH (E)
- 29 (N) TILE: SEE FINISH SCHEDULE
- 30 (N) GLASS GUARDRAIL
- 31 (E) FLUE
- 32 (N) SOAKING TUB

PLAN KEY NOTES

- 33 (N) STRUCTURAL SUPPORT FOR CHIMNEY T.R.
- 34 (N) FLOOR AT DEMOLISHED STAIRS
- 35 (N) ENCLOSURE
- 36 (N) ROOF
- 37 (E) SKYLIGHT TO REMAIN
- 38 (E) CHIMNEY TO REMAIN
- 39 (N) GAS FIREPLACE INTAKE EXHAUST CHIMNEY TO MATCH (E)
- 40 (N) SKYLIGHT

PLAN KEY NOTES

- 41 INFILL (E) WINDOW @ INTERIOR, EXT. WINDOW TREATMENT TO REMAIN
- 42 (N) GLASS GUARD RAIL
- 43 RESTORED REAR STAIR
- 45 (N) BOARD & BATTEN CLAD CONCRETE PLANTER
- 46 RESTORED PARAPET WALL
- 47 NEW PONY WALL
- 48 ENLARGED SKYLIGHT
- 49 (N) TILE TO MATCH (E).

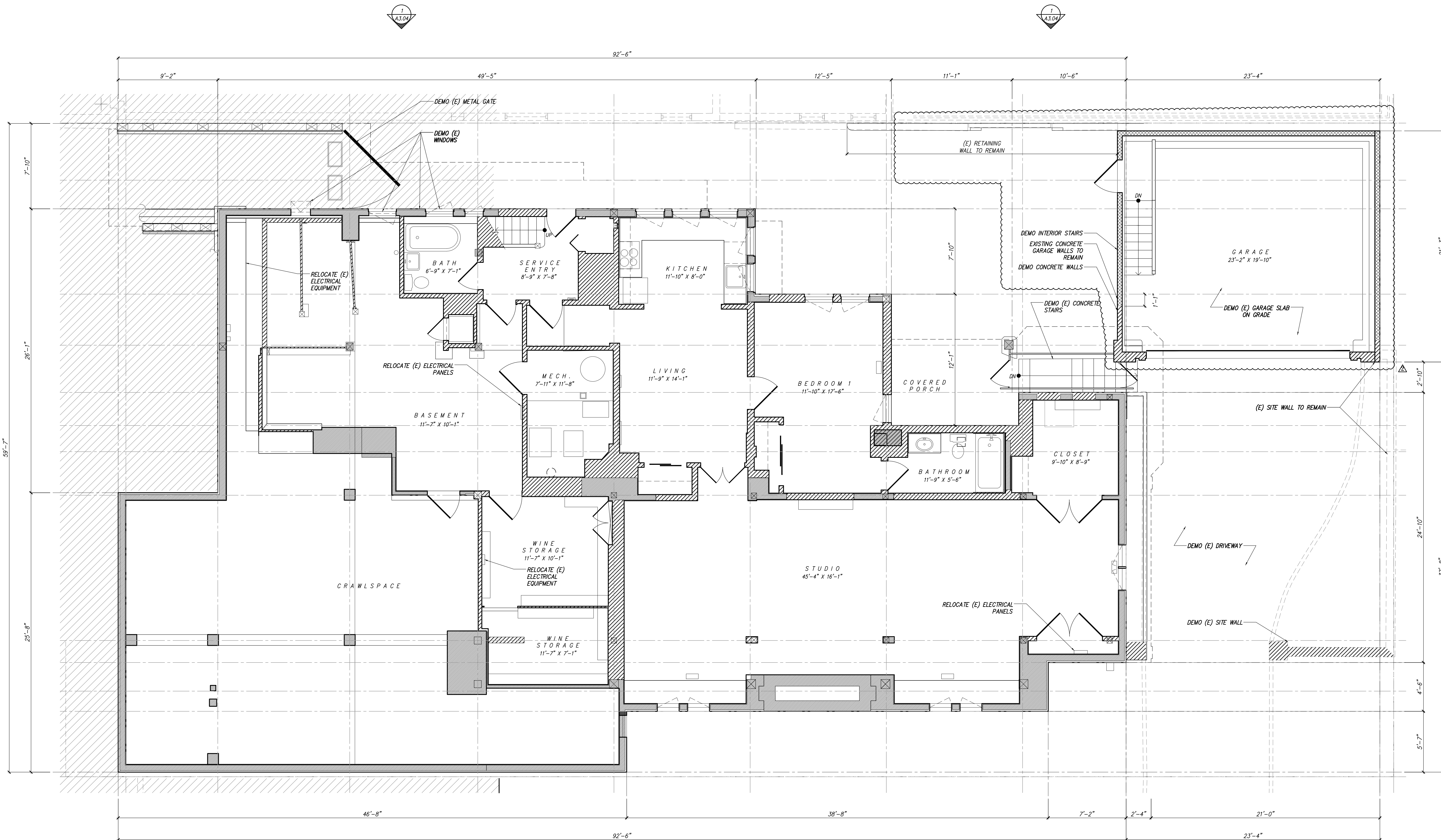
No.	REMARKS	DATE
1	PLANNING SUB	9.11.18
2	PLANNING REV 1	3.22.2019
3	PLANNING REV 2	4.19.2019

PROJECT:
3500 Jackson Street
San Francisco, CA 94118



PROPOSED ROOF PLAN

DATE:	3.22.2019
PROJECT No.:	18013
DRAWING BY:	B.H.
CHK BY:	T.V. C.B. T.K.
DWG No.:	A2.05
#18.013	



1 1ST FLOOR DEMO PAN
SCALE: 1/4" = 1'-0"

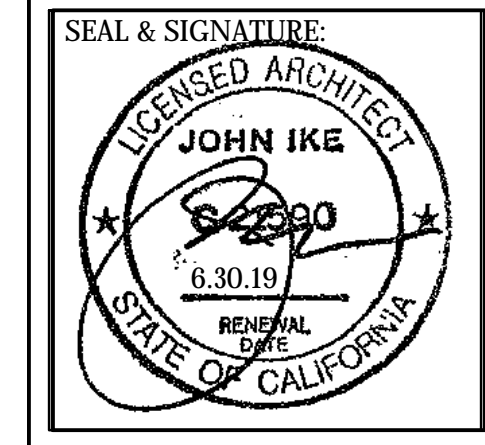
- DEMO SHEET NOTES**
1. DEMO ALL FLOOR FINISHES DOWN TO SUBFLOOR, U.O.N.
 2. SEE SHEET A1.50 FOR CONCRETE & FOUNDATION DEMO SCOPE
 3. DEMO ALL (E) LIGHTING U.O.N.; SEE ROPS
 4. DEMO ALL (E) MECHANICAL EQUIPMENT U.O.N.; SEE MEP DRAWINGS
 5. DEMO ALL (E) PLUMBING FIXTURES U.O.N.; SEE MEP DRAWINGS
 6. DEMO ALL (E) APPLIANCES & CASEWORK, U.O.N.
 7. SEE PLANS & SCHEDULES FOR (E) DOORS & WINDOWS TO REMAIN

LEGEND

	(E) CONSTRUCTION TO BE DEMOLISHED
	(E) CONSTRUCTION TO REMAIN

No.	REMARKS	DATE
1	PLANNING SUB	9.11.18
2	PLANNING REV 1	3.22.2019
3	PLANNING REV 2	4.19.2019

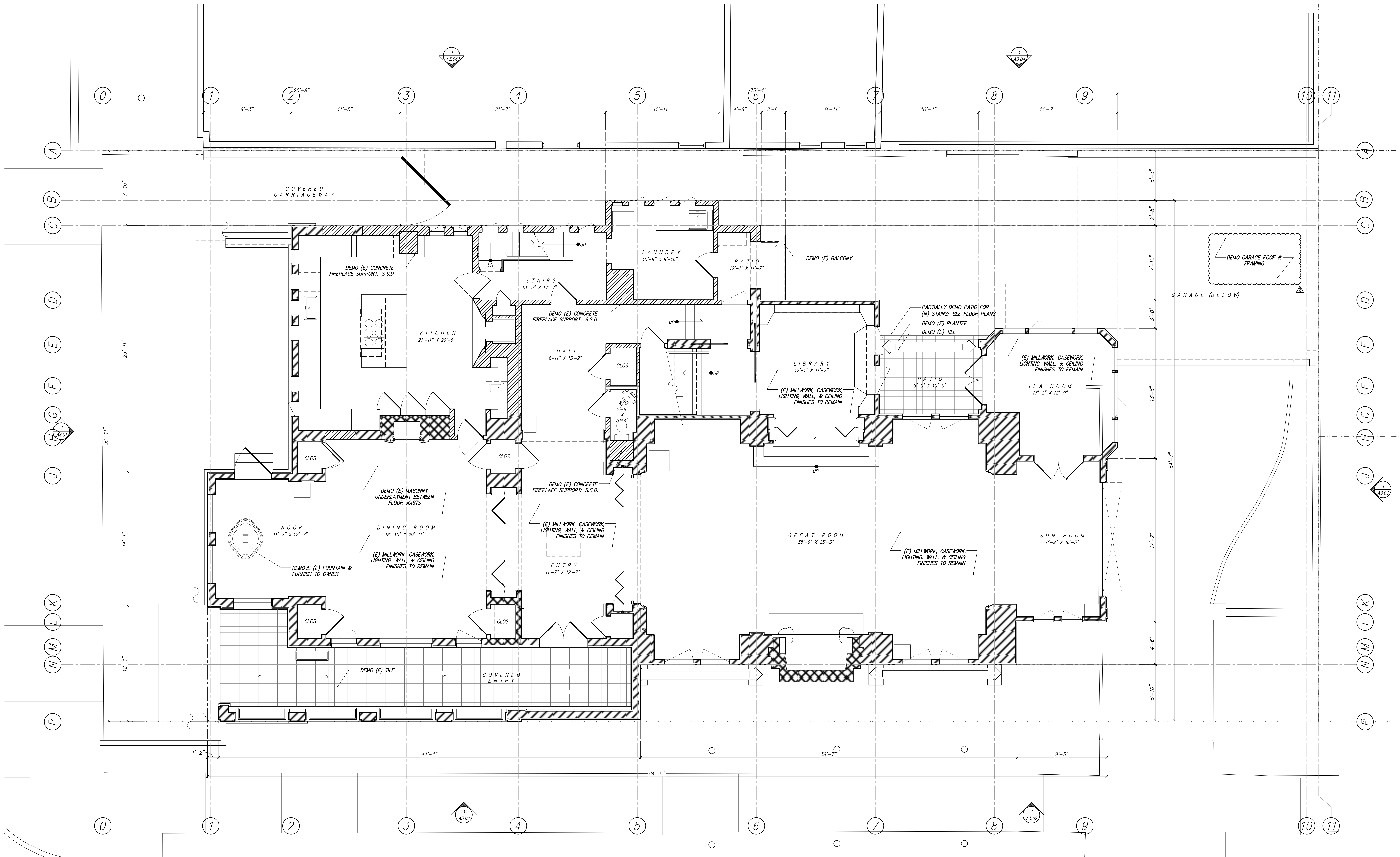
PROJECT:
3500 Jackson Street
San Francisco, CA 94118



DEMO FIRST FLOOR PLAN

DATE: 3.22.2019
PROJECT No.: 18013
DRAWING BY: B.H.
CHK BY: T.V. C.B. T.K.
DWG No.:

A2.11
#18.013

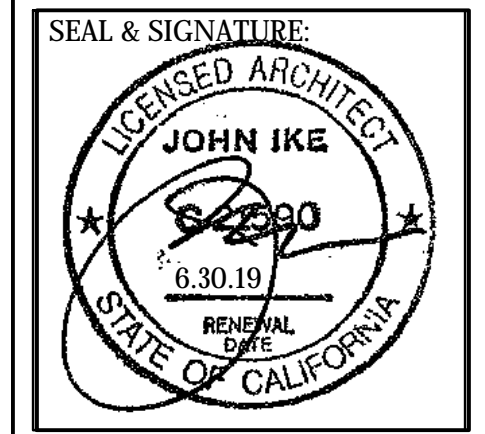


1 2ND FLOOR DEMO PAN
 SCALE: 1/4" = 1'-0"

DEMO SHEET NOTES		LEGEND	
1.	DEMO ALL FLOOR FINISHES DOWN TO SUBFLOOR, U.O.N.		(E) CONSTRUCTION TO BE DEMOLISHED
2.	SEE SHEET A1.50 FOR CONCRETE & FOUNDATION DEMO SCOPE		(E) CONSTRUCTION TO REMAIN
3.	DEMO ALL (E) LIGHTING U.O.N.: SEE ROPS		
4.	DEMO ALL (E) MECHANICAL EQUIPMENT U.O.N.: SEE MEP DRAWINGS		
5.	DEMO ALL (E) PLUMBING FIXTURES U.O.N.: SEE MEP DRAWINGS		
6.	DEMO ALL (E) APPLIANCES & CASEWORK, U.O.N.		
7.	SEE PLANS & SCHEDULES FOR (E) DOORS & WINDOWS TO REMAIN		

No.	REMARKS	DATE
	PLANNING SUB	9.11.18
	PLANNING REV 1	3.22.2019
	PLANNING REV 2	4.19.2019

PROJECT:
 3500 Jackson Street
 San Francisco, CA 94118

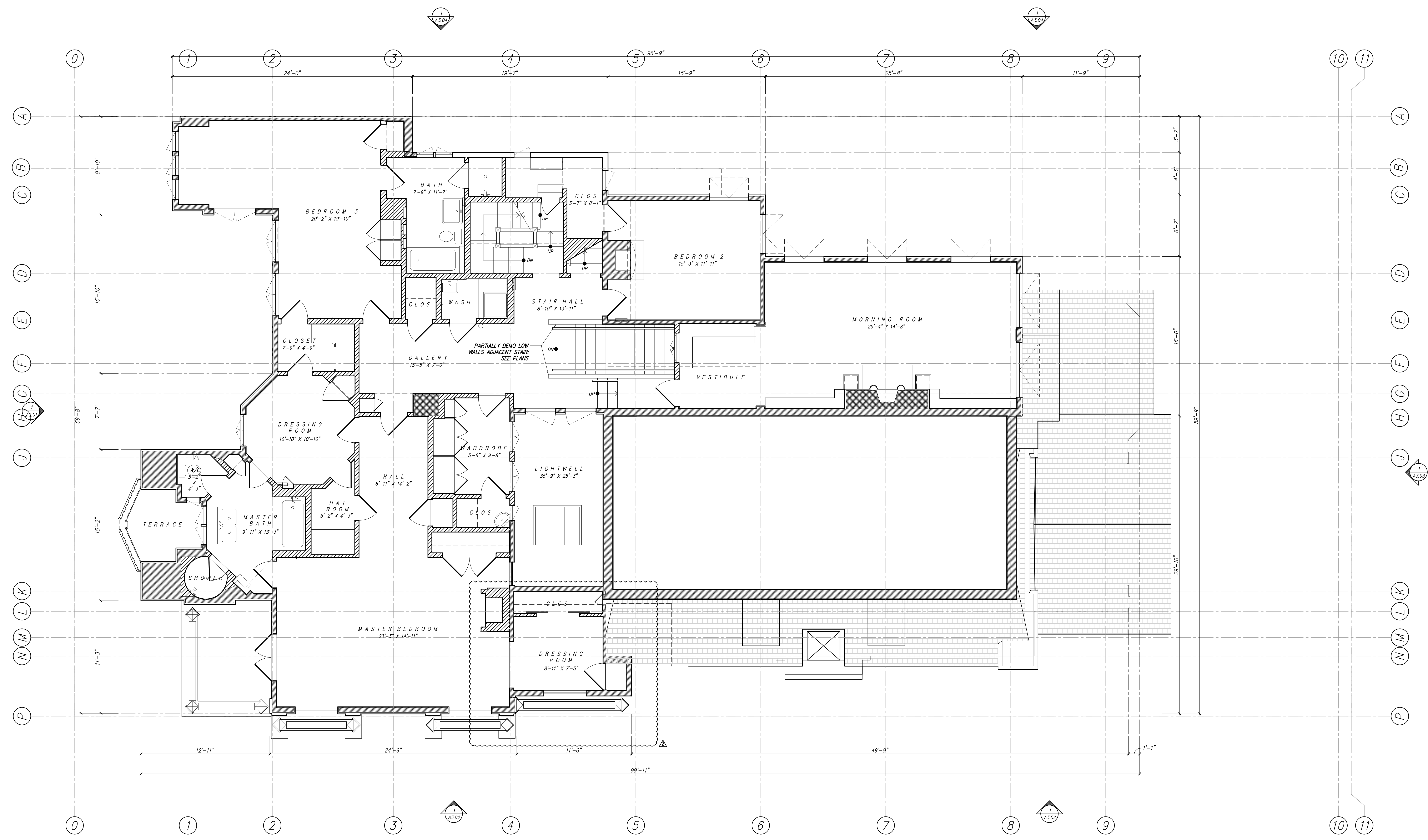


DEMO SECOND FLOOR PLAN

DATE: 3.22.2019
 PROJECT No.: 18013
 DRAWING BY: B.H.
 CHK BY: T.V. C.B. T.K.
 DWG No.:

A2.12
 #18.013

IF THIS SHEET IS NOT 30 X 42 IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY

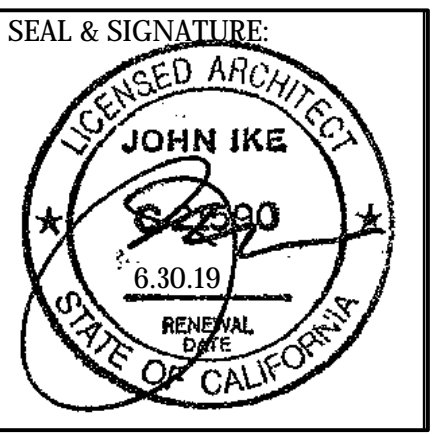


3500 Jackson Street

APN 0970002

No.	REMARKS	DATE
1	PLANNING SUB	9.11.18
2	PLANNING REV 1	3.22.2019
3	PLANNING REV 2	4.19.2019

PROJECT:
 3500 Jackson Street
 San Francisco, CA 94118



DEMO THIRD FLOOR PLAN

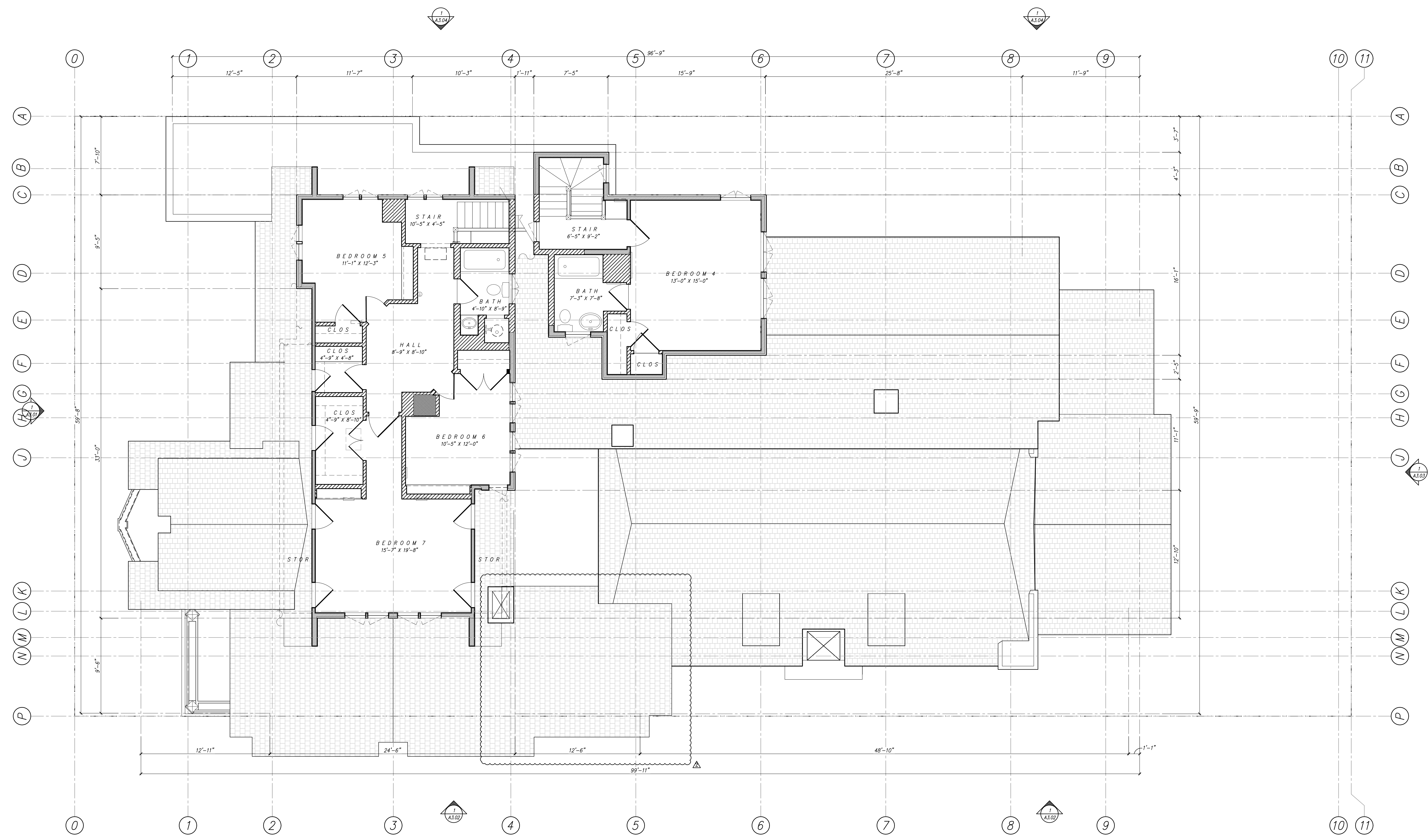
DATE: 3.22.2019
 PROJECT No.: 18013
 DRAWING BY: B.H.
 CHK BY: T.V. C.B. T.K.
 DWG No.:

A2.13
 #18.013

1 3RD FLOOR DEMO PAN
 SCALE: 1/4" = 1'-0"

DEMO SHEET NOTES	LEGEND
1. DEMO ALL FLOOR FINISHES DOWN TO SUBFLOOR, U.O.N.	(E) CONSTRUCTION TO BE DEMOLISHED
2. SEE SHEET A1.50 FOR CONCRETE & FOUNDATION DEMO SCOPE	(E) CONSTRUCTION TO REMAIN
3. DEMO ALL (E) LIGHTING U.O.N.: SEE ROPS	
4. DEMO ALL (E) MECHANICAL EQUIPMENT U.O.N.: SEE MEP DRAWINGS	
5. DEMO ALL (E) PLUMBING FIXTURES U.O.N.: SEE MEP DRAWINGS	
6. DEMO ALL (E) APPLIANCES & CASEWORK, U.O.N.	
7. SEE PLANS & SCHEDULES FOR (E) DOORS & WINDOWS TO REMAIN	

IF THIS SHEET IS NOT 30 X 42 IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY

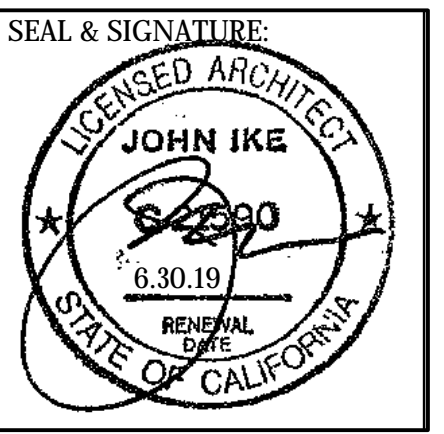


3500 Jackson Street

APN 0970002

No.	REMARKS	DATE
1	PLANNING SUB	9.11.18
2	PLANNING REV 1	3.22.2019
3	PLANNING REV 2	4.19.2019

PROJECT:
 3500 Jackson Street
 San Francisco, CA 94118



DEMO FOURTH FLOOR PLAN

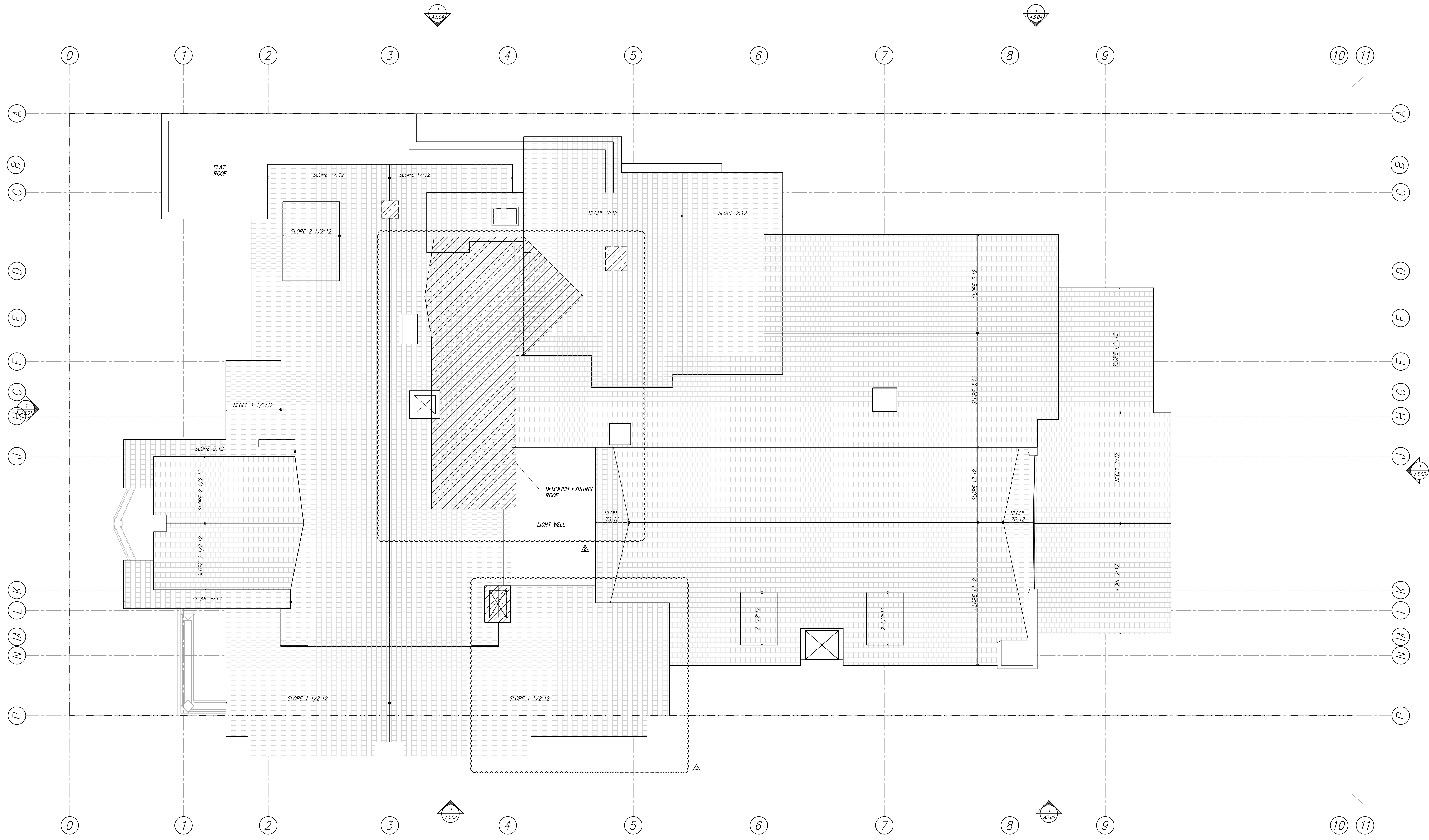
DATE: 3.22.2019
 PROJECT No.: 18013
 DRAWING BY: B.H.
 CHK BY: T.V. C.B. T.K.
 DWG No.:

A2.14
 #18.013

1 4TH FLOOR DEMO PAN
 SCALE: 1/4" = 1'-0"

DEMO SHEET NOTES	LEGEND
1. DEMO ALL FLOOR FINISHES DOWN TO SUBFLOOR, U.O.N. 2. SEE SHEET A1.50 FOR CONCRETE & FOUNDATION DEMO SCOPE 3. DEMO ALL (E) LIGHTING U.O.N.; SEE ROPS 4. DEMO ALL (E) MECHANICAL EQUIPMENT U.O.N.; SEE MEP DRAWINGS 5. DEMO ALL (E) PLUMBING FIXTURES U.O.N.; SEE MEP DRAWINGS 6. DEMO ALL (E) APPLIANCES & CASEWORK, U.O.N. 7. SEE PLANS & SCHEDULES FOR (E) DOORS & WINDOWS TO REMAIN	(E) CONSTRUCTION TO BE DEMOLISHED (E) CONSTRUCTION TO REMAIN

IF THIS SHEET IS NOT 30 X 42 IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY



1 ROOF DEMO PLAN
SCALE: 1/4" = 1'-0"

DEMO SHEET NOTES		LEGEND	
1.	DEMO ALL FLOOR FINISHES DOWN TO SUBFLOOR, U.O.N.		(E) CONSTRUCTION TO BE DEMOLISHED
2.	SEE SHEET A1.50 FOR CONCRETE & FOUNDATION DEMO SCOPE		(E) CONSTRUCTION TO REMAIN
3.	DEMO ALL (E) LIGHTING U.O.N.; SEE ROPS		
4.	DEMO ALL (E) MECHANICAL EQUIPMENT U.O.N.; SEE MEP DRAWINGS		
5.	DEMO ALL (E) PLUMBING FIXTURES U.O.N.; SEE MEP DRAWINGS		
6.	DEMO ALL (E) APPLIANCES & CASEWORK; U.O.N.		
7.	SEE PLANS & SCHEDULES FOR (E) DOORS & WINDOWS TO REMAIN		

No.	REMARKS	DATE
	PLANNING SUB	9.11.18
1	PLANNING REV 1	3.22.2019
2	PLANNING REV 2	4.19.2019

PROJECT:
3500 Jackson Street
San Francisco, CA 94118



DEMO ROOF PLAN

DATE: 3.22.2019
PROJECT No.: 18013
DRAWING BY: B.H.
CHK BY: T.V. C.B. T.K.
DWG No.:

A2.15

IF THIS SHEET IS NOT 30 X 42 IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY

3500 Jackson Street

APN 0970002



1 EXISTING/DEMO EAST ELEVATION
 A3.01 SCALE: 1/4" = 1'-0"

No.	REMARKS	DATE
	PLANNING SUB	9.11.18
1	PLANNING REV 1	3.22.2019
2	PLANNING REV 2	4.19.2019

PROJECT:
 3500 Jackson Street
 San Francisco, CA 94118



EXISTING SOUTH ELEVATION

DATE:	3.22.2019
PROJECT No.:	18013
DRAWING BY:	B.H.
CHK BY:	T.V. C.B. T.K.
DWG No.:	

A3.01



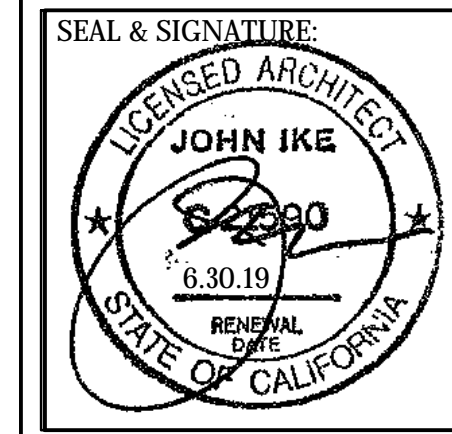
- T.O. (E) ROOF
+ 37'-11" (EL. 254.26)
- T.O. (N) ROOF
+ 33'-2" (EL. 249.56)
- F.F.E. 4TH LEVEL @ BEDROOM 3
+ 24'-0 3/4" (EL. 240.34)
- F.F.E. 4TH LEVEL
+ 21'-4 1/4" (EL. 237.74)
- F.F.E. MORNING ROOM
+ 13'-2 1/4" (EL. 229.57)
- F.F.E. 3RD LEVEL
+ 11'-4 1/2" (EL. 227.76)
- F.F.E. 2ND LEVEL MID LANDING
+ 2'-1" (EL. 218.42)
- F.F.E. 2ND LEVEL (MAIN ENTRY)
+ 0'-0" (EL. 216.54)
- GRADE PLANE
-7'-7" (EL. 208.46)
- F.F.E. 1ST LEVEL UPPER
-9'-1" (EL. 207.26)
- F.F.E. 1ST LEVEL LOWER
-10'-3 3/4" (EL. 206.02)
- F.F.E. GARAGE LEVEL
-20'-1" (EL. 196.28)

1 EXISTING/DEMO EAST ELEVATION
A2.03 SCALE: 1/4" = 1'-0"

IF THIS SHEET IS NOT 30 X 42 IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY

No.	REMARKS	DATE
	PLANNING SUB	9.11.18
1	PLANNING REV 1	3.22.2019
2	PLANNING REV 2	4.19.2019

PROJECT:
3500 Jackson Street
San Francisco, CA 94118



EXISTING EAST ELEVATION

DATE: 3.22.2019
PROJECT No.: 18013
DRAWING BY: B.H.
CHK BY: T.V. C.B. T.K.
DWG No.:

A3.02
#1801313

3500 Jackson Street

APN 0970002



T.O. (E) ROOF
 + 37'-11" (EL. 254.26')

T.O. (N) ROOF
 + 33'-2" (EL. 249.56')

F.F.E. 4TH LEVEL @ BEDROOM 3
 + 24'-0 3/4" (EL. 240.34')

F.F.E. 4TH LEVEL
 + 21'-4 1/4" (EL. 237.74')

F.F.E. MORNING ROOM
 + 13'-2 1/4" (EL. 229.57')

F.F.E. 3RD LEVEL
 + 11'-4 1/2" (EL. 227.76')

F.F.E. 2ND LEVEL MID LANDING
 + 2'-1" (EL. 218.42')

F.F.E. 2ND LEVEL (MAIN ENTRY)
 + 0'-0" (EL. 216.34')

GRADE PLANE
 -7'-7" (EL. 208.46')

F.F.E. 1ST LEVEL UPPER
 -9'-1" (EL. 207.26')

F.F.E. 1ST LEVEL LOWER
 -10'-3 3/4" (EL. 206.02')

F.F.E. GARAGE LEVEL
 -20'-1" (EL. 196.28')

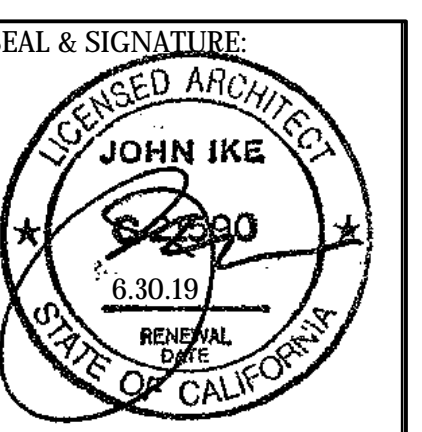
DATUM

1 EXISTING/DEMO NORTHELEVATION
 A3.03 SCALE: 1/4" = 1'-0"

IF THIS SHEET IS NOT 30 X 42 IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY

No.	REMARKS	DATE
	PLANNING SUB	9.11.18
1	PLANNING REV 1	3.22.2019
2	PLANNING REV 2	4.19.2019

PROJECT:
 3500 Jackson Street
 San Francisco, CA 94118



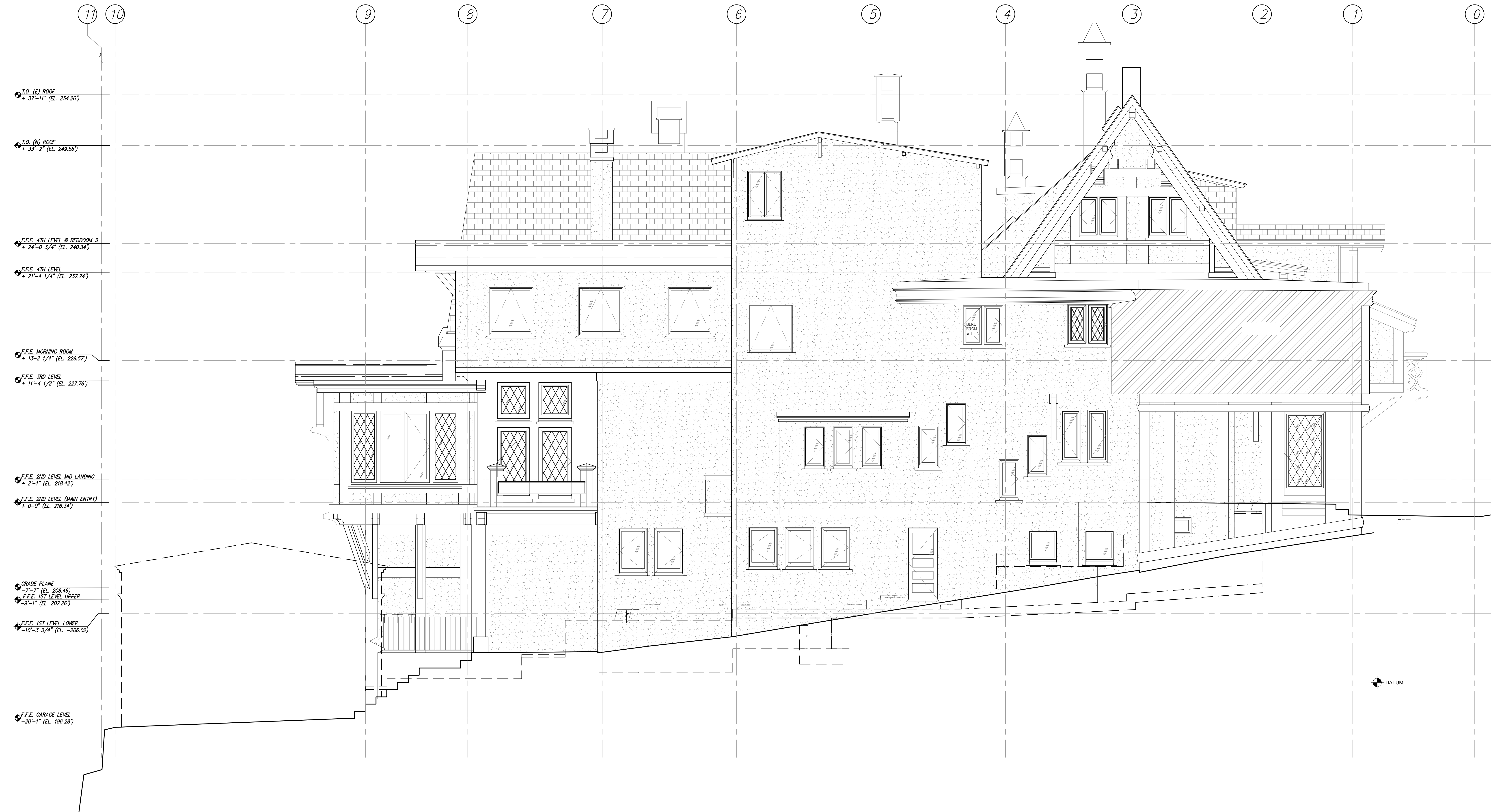
EXISTING
 NORTH
 ELEVATION

DATE: 3.22.2019
 PROJECT No.: 18013
 DRAWING BY: B.H.
 CHK BY: T.V. C.B. T.K.
 DWG No.:

A3.03

3500 Jackson Street

APN 0970002



1 EXISTING/DEMO WEST ELEVATION
 A3.04 SCALE: 1/4" = 1'-0"

IF THIS SHEET IS NOT 30 X 42 IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY

No.	REMARKS	DATE
	PLANNING SUB	9.11.18
1	PLANNING REV	3.22.2019
2	PLANNING REV	4.19.2019

PROJECT:
 3500 Jackson Street
 San Francisco, CA 94118



EXISTING WEST ELEVATION

DATE:	3.22.2019
PROJECT No.:	18013
DRAWING BY:	B.H.
CHK BY:	T.V. C.B. T.K.
DWG No.:	

A3.04
 #18.013



1 PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

IF THIS SHEET IS NOT 30 X 42 IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY

No.	REMARKS	DATE
	PLANNING SUB	9.11.18
1	PLANNING REV 1	3.22.2019
2	PLANNING REV 2	4.19.2019

PROJECT:
3500 Jackson Street
San Francisco, CA 94118



PROPOSED SOUTH ELEVATION

DATE: 3.22.2019
 PROJECT No.: 18013
 DRAWING BY: B.H.
 CHK BY: T.V. C.B. T.K.
 DWG No.:

A3.11



1 PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"

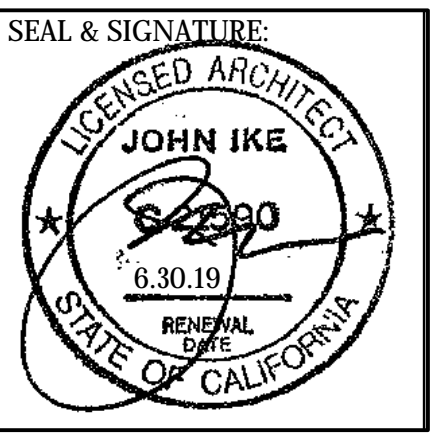
IF THIS SHEET IS NOT 30 X 42 IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY

3500 Jackson Street

APN 0970002

No.	REMARKS	DATE
PLANNING SUB		9.11.18
PLANNING REV 1		3.22.2019
PLANNING REV 2		4.19.2019

PROJECT:
3500 Jackson Street
San Francisco, CA 94118



PROPOSED EAST ELEVATION

DATE: 3.22.2019
 PROJECT No.: 18013
 DRAWING BY: B.H.
 CHK BY: T.V. C.B. T.K.
 DWG No.:

A3.12

#18.013

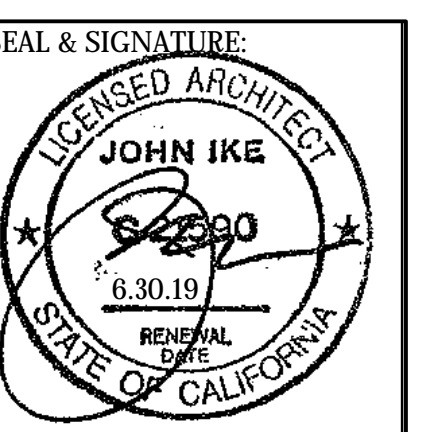


1 PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"

IF THIS SHEET IS NOT 30 X 42 IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY

No.	REMARKS	DATE
	PLANNING SUB	9.11.18
1	PLANNING REV 1	3.22.2019
2	PLANNING REV 2	4.19.2019

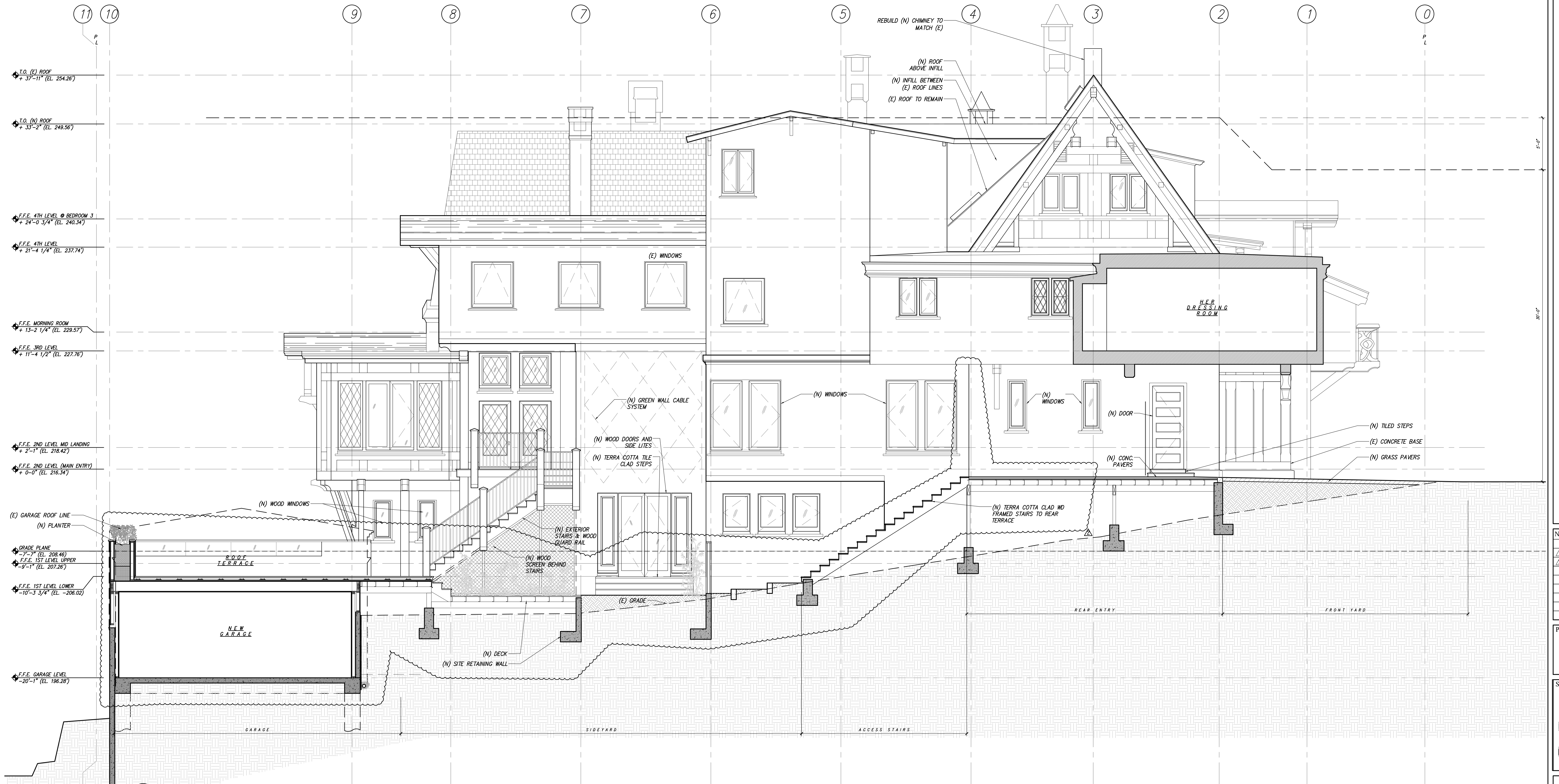
PROJECT:
3500 Jackson Street
San Francisco, CA 94118



PROPOSED NORTH ELEVATION

DATE:	3.22.2019
PROJECT No.:	18013
DRAWING BY:	B.H.
CHK BY:	T.V. C.B. T.K.
DWG No.:	

A3.13



1 PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"

IF THIS SHEET IS NOT 30 X 42 IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY

No.	REMARKS	DATE
	PLANNING SUB	9.11.18
	PLANNING REV 1	3.22.2019
	PLANNING REV 2	4.19.2019

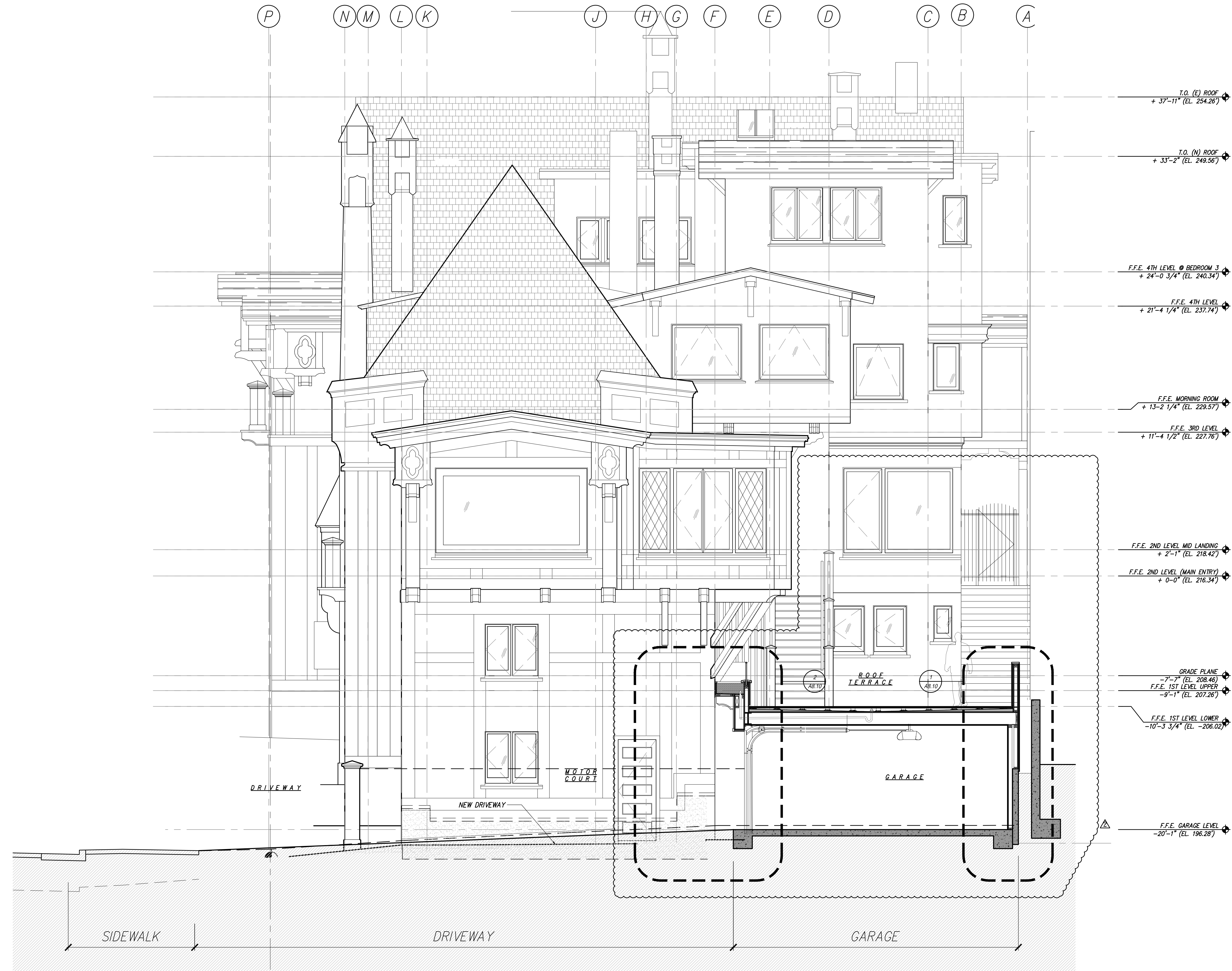
PROJECT:
3500 Jackson Street
San Francisco, CA 94118



PROPOSED WEST ELEVATION

DATE:	3.22.2019
PROJECT No.:	18013
DRAWING BY:	B.H.
CHK BY:	T.V. C.B. T.K.
DWG No.:	

A3.14

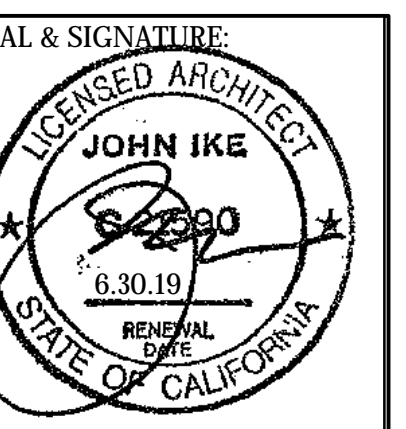


1 PROPOSED GARAGE SECTION
SCALE: 1/4" = 1'-0"

IF THIS SHEET IS NOT 30 X 42 IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY

No.	REMARKS	DATE
	PLANNING SUB	9.11.18
1	PLANNING REV 1	3.22.2019
2	PLANNING REV 2	4.19.2019

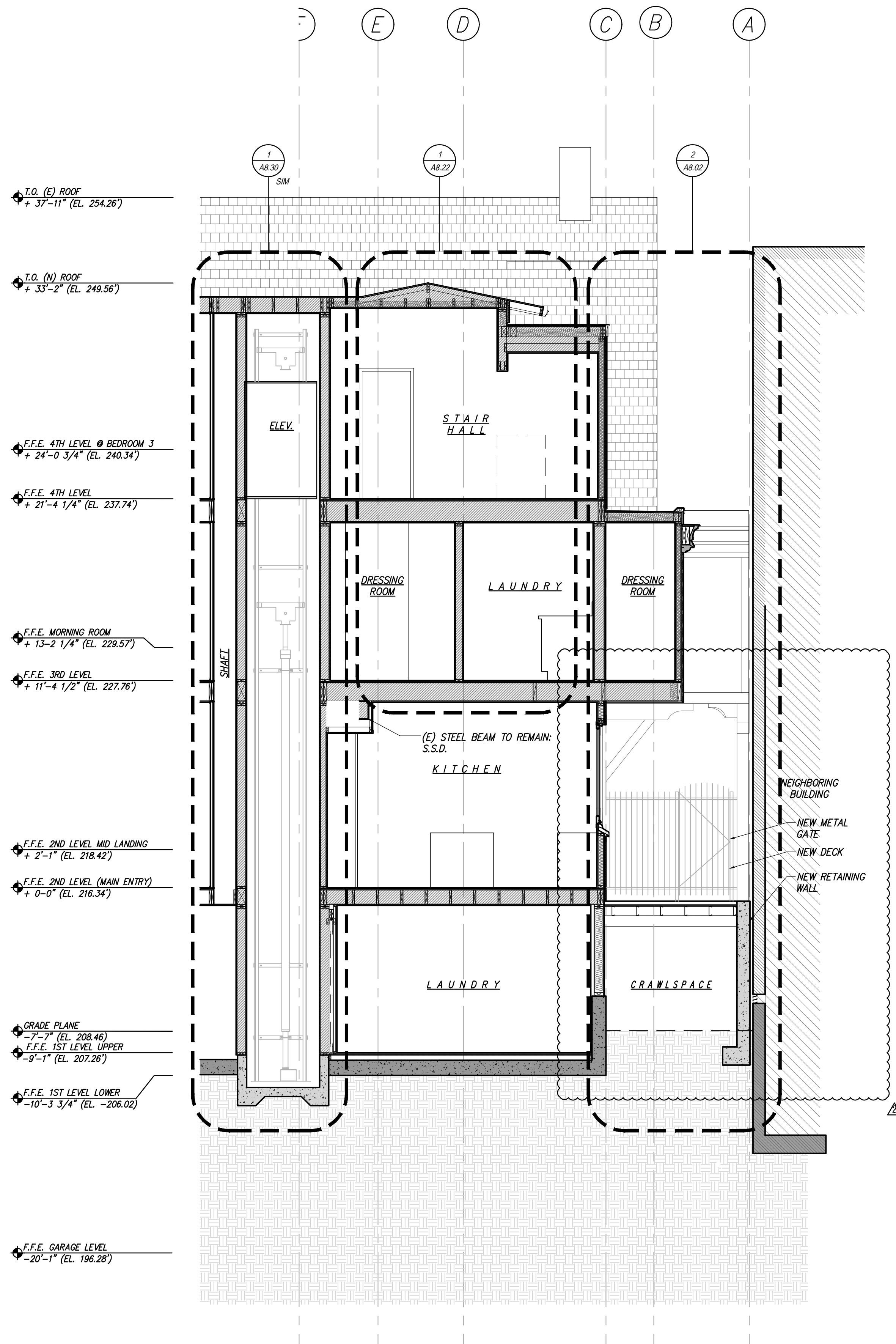
PROJECT:
3500 Jackson Street
San Francisco, CA 94118



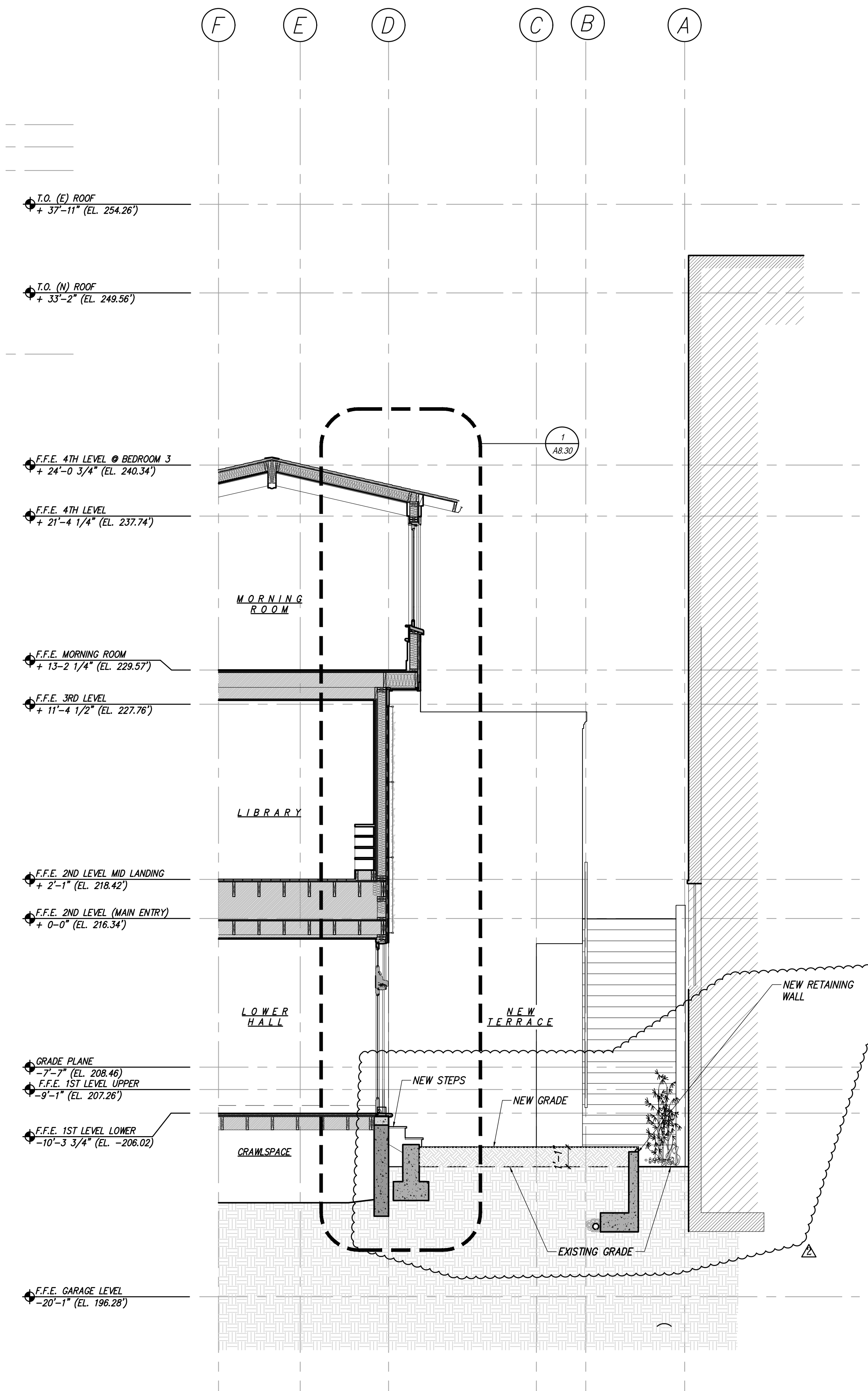
PROPOSED GARAGE SECTION

DATE: 3.22.2019
PROJECT No.: 18013
DRAWING BY: B.H.
CHK BY: T.V. C.B. T.K.
DWG No.:

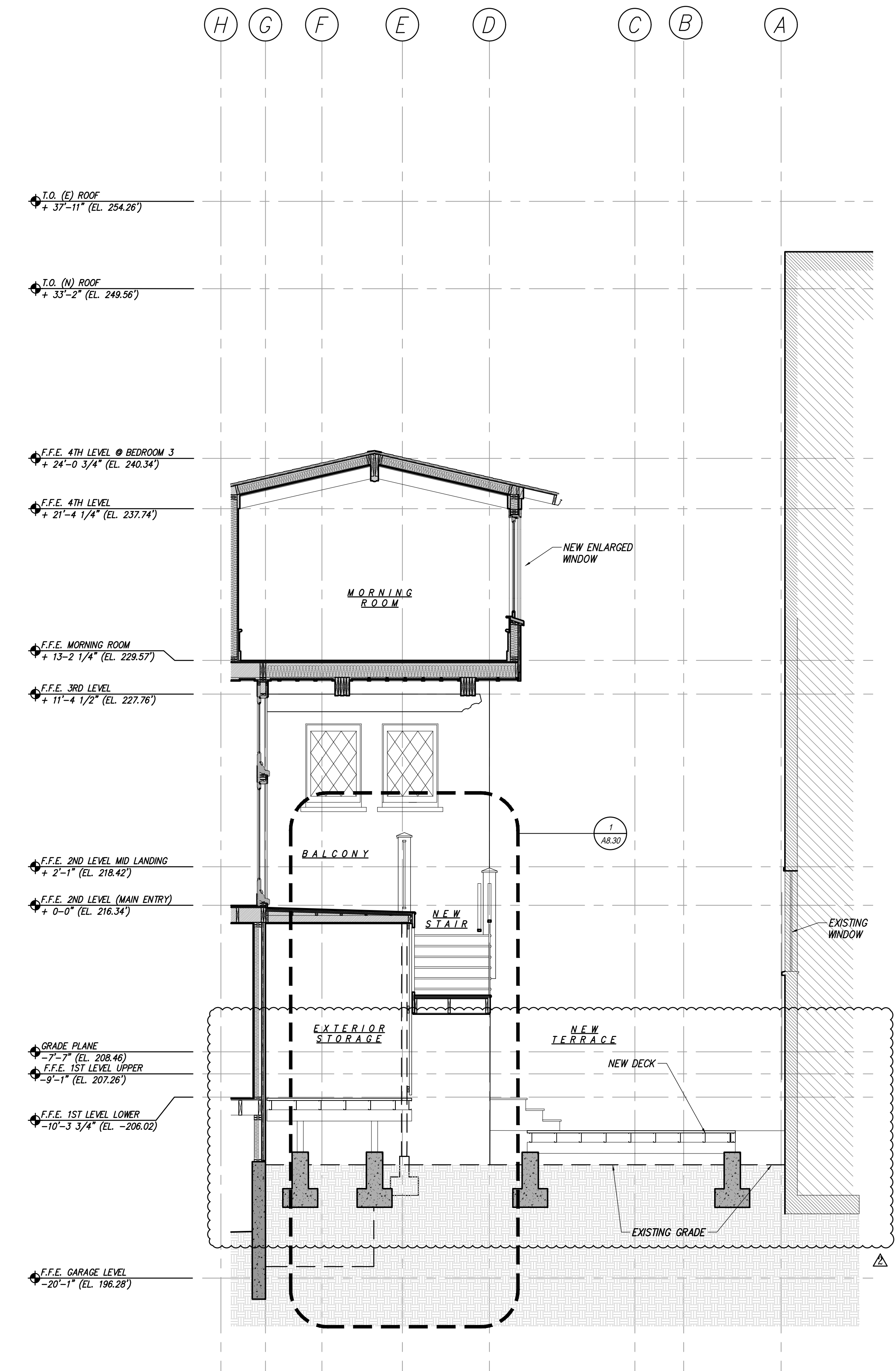
A4.01



1 PROPOSED SECTION @ KITCHEN
SCALE: 1/4" = 1'-0"



2 PROPOSED SECTION @ LOWER HALL
SCALE: 1/4" = 1'-0"

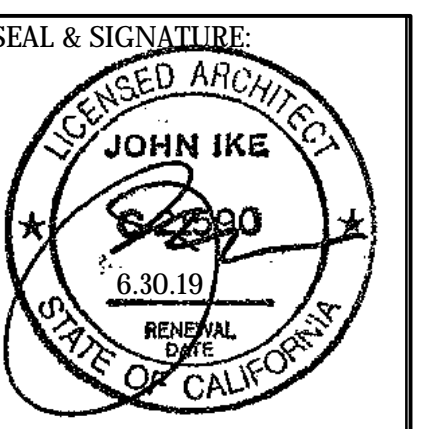


1 PROPOSED SECTION @ TERRACE
SCALE: 1/4" = 1'-0"

IF THIS SHEET IS NOT 30 X 42 IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY

No.	REMARKS	DATE
1	PLANNING SUB	9.11.18
2	PLANNING REV 1	3.22.2019
3	PLANNING REV 2	4.19.2019

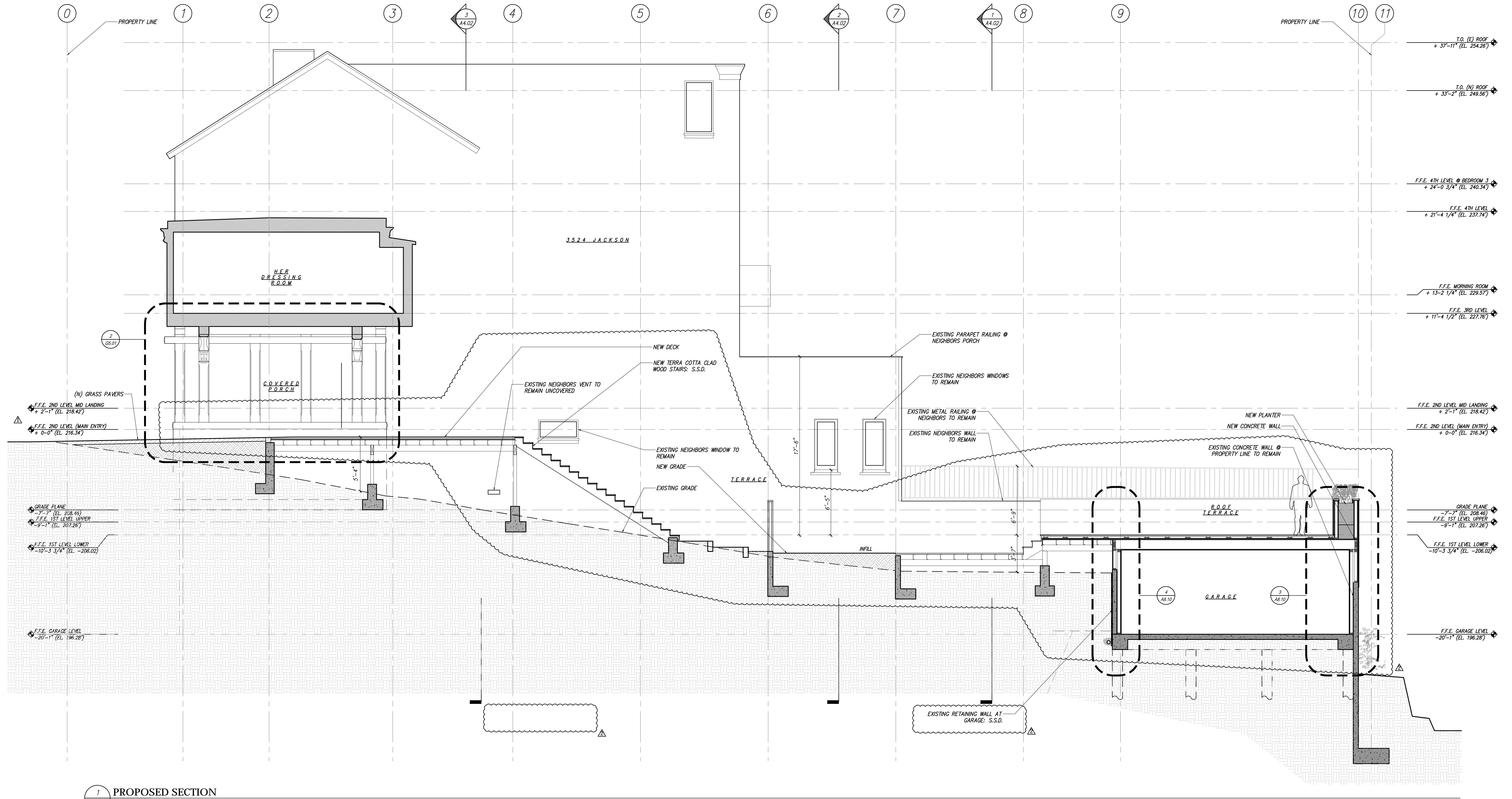
PROJECT:
3500 Jackson Street
San Francisco, CA 94118



PROPOSED
PARTIAL BLDG
SECTIONS

DATE: 3.22.2019
PROJECT No.: 18013
DRAWING BY: B.H.
CHK BY: T.V. C.B. T.K.
DWG No.:

A4.02

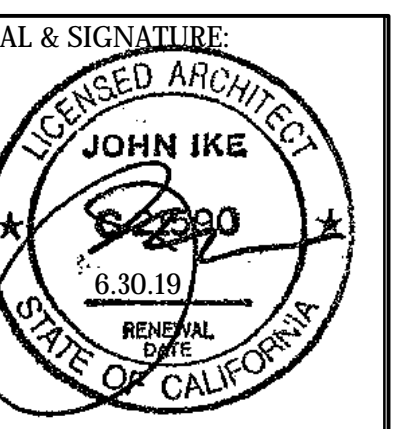


1 PROPOSED SECTION
SCALE: 1/4" = 1'-0"

IF THIS SHEET IS NOT 30 X 42 IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY

No.	REMARKS	DATE
	PLANNING SUB	9.11.18
	PLANNING REV 1	3.22.2019
	PLANNING REV 2	4.19.2019

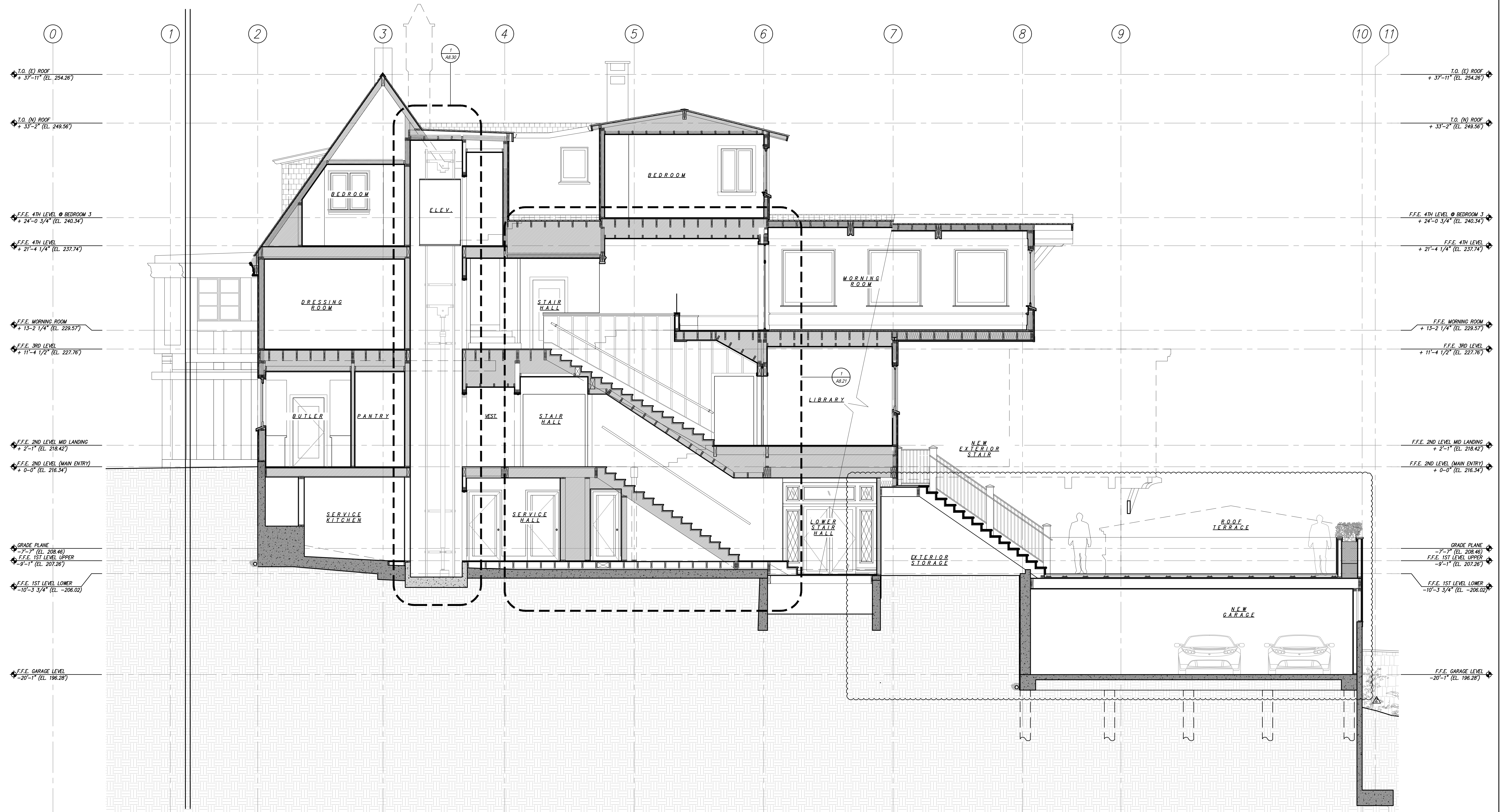
PROJECT:
3500 Jackson Street
San Francisco, CA 94118



PROPOSED REAR YARD SECTION

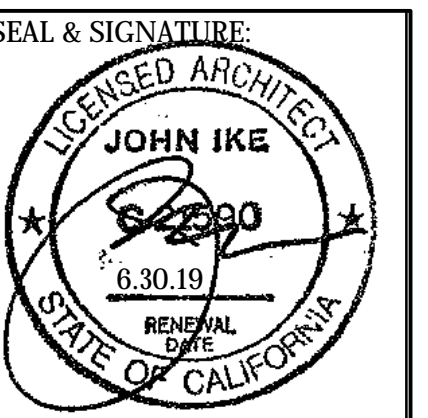
DATE: 3.22.2019
PROJECT No.: 18013
DRAWING BY: B.H.
CHK BY: T.V. C.B. T.K.
DWG No.:

A4.03



No.	REMARKS	DATE
	PLANNING SUB 1	9.11.18
▲	PLANNING REV 1	3.22.2019
▲	PLANNING REV 2	4.19.2019

PROJECT:
 3500 Jackson Street
 San Francisco, CA 94118



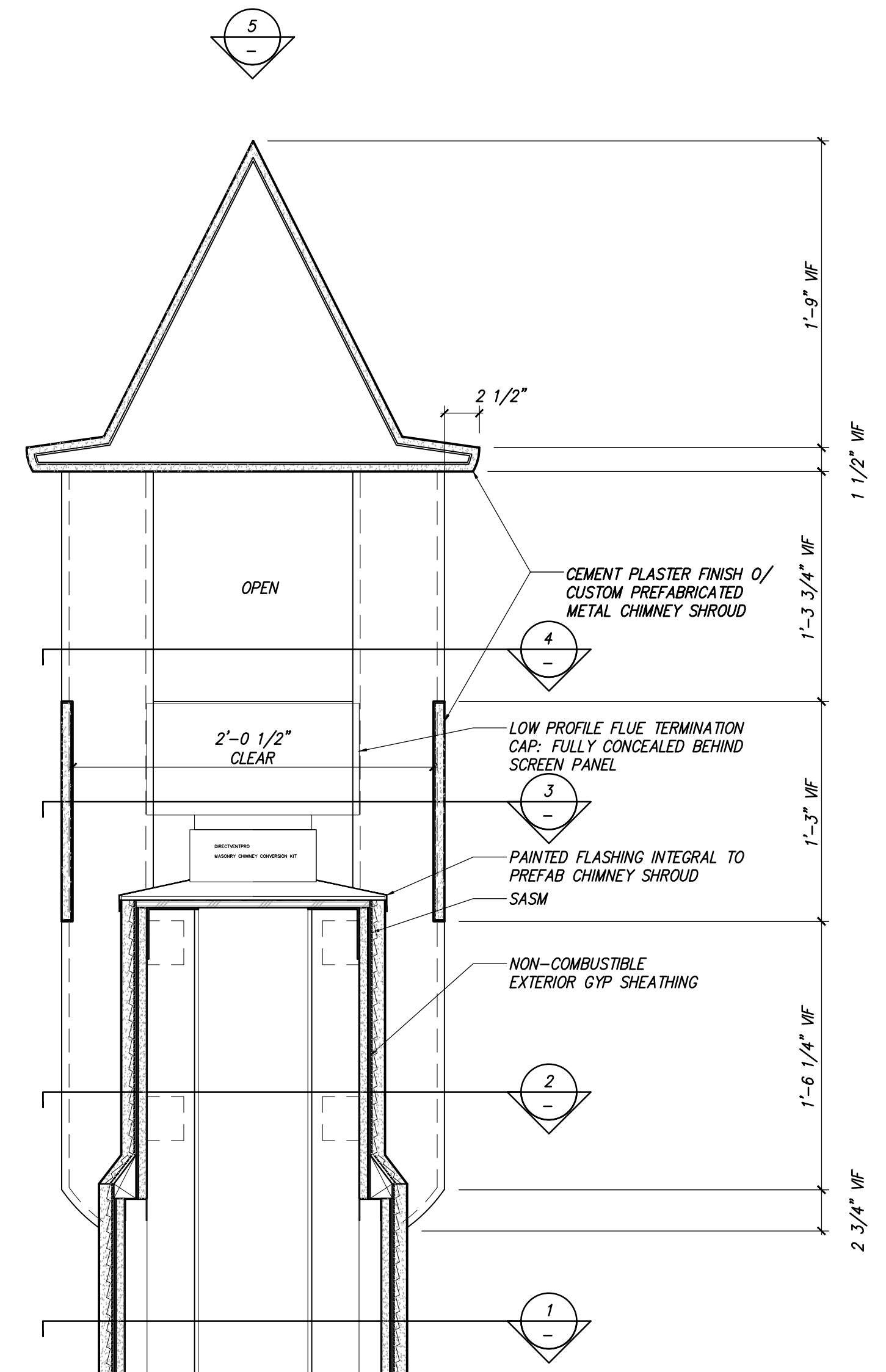
PROPOSED BUILDING SECTION

DATE: 3.22.2019
 PROJECT No.: 18013
 DRAWING BY: B.H.
 CHK BY: T.V. C.B. T.K.
 DWG No.:

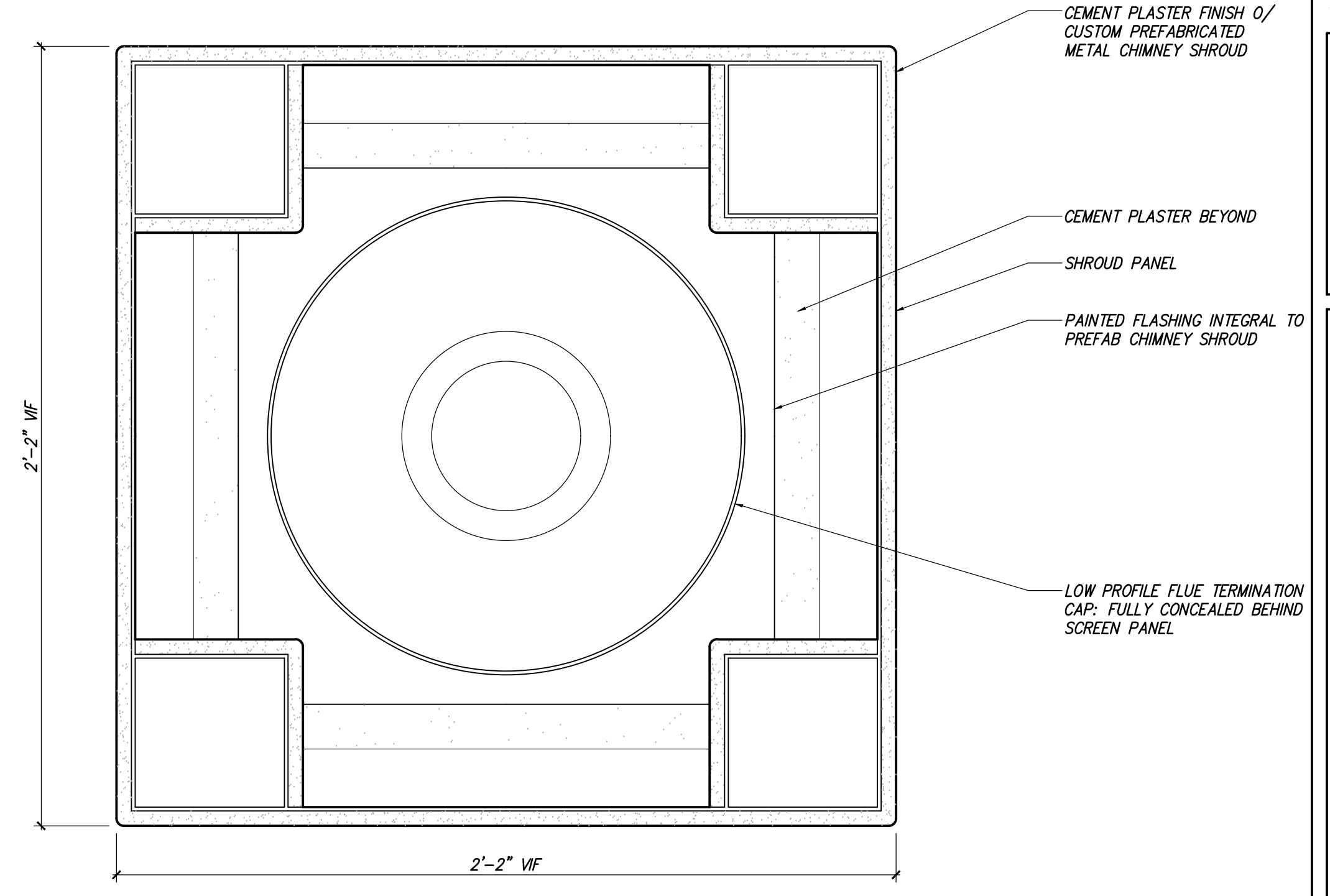
A4.04

IF THIS SHEET IS NOT 30 X 42 IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY

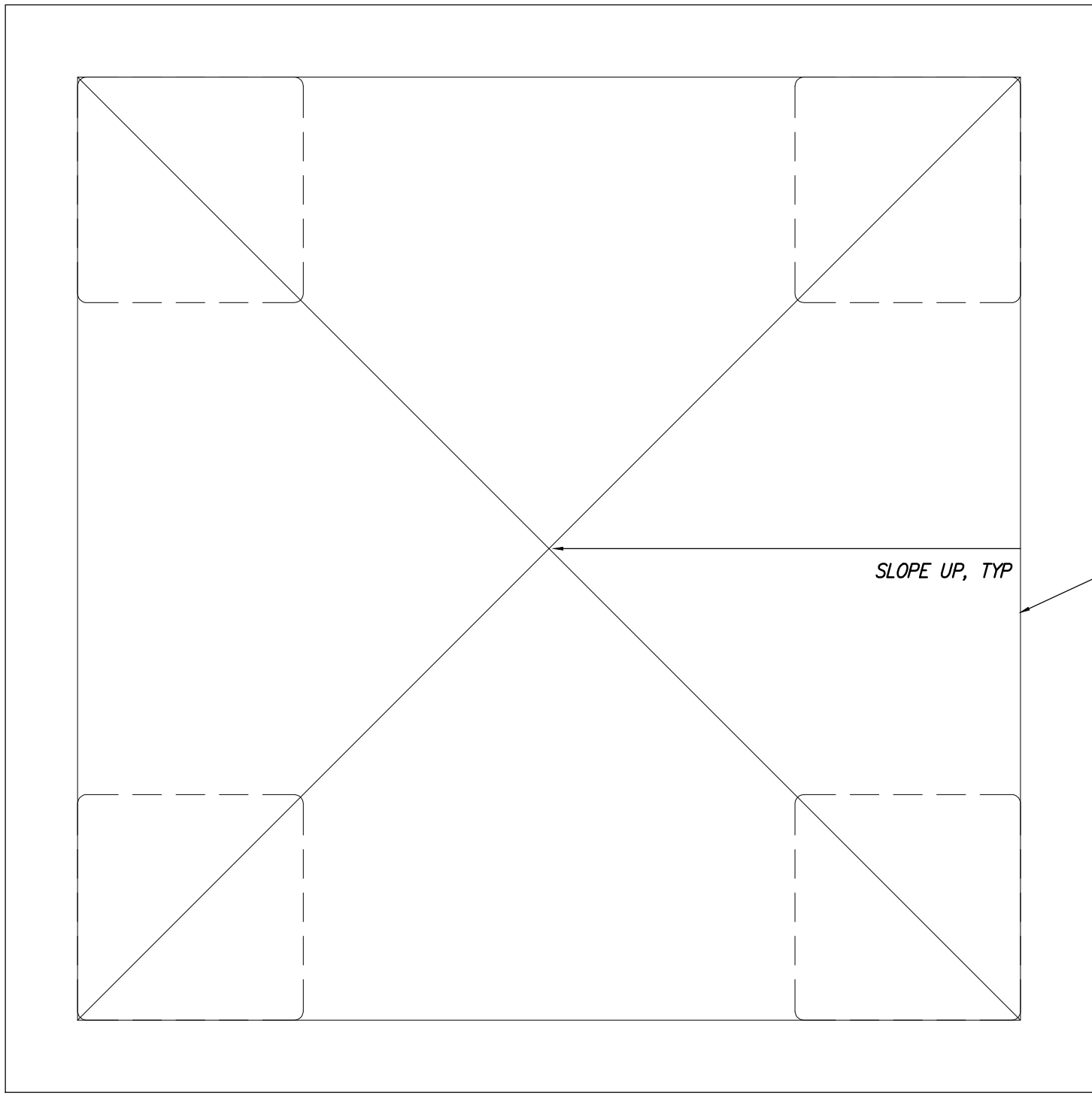
1 PROPOSED SECTION
 SCALE: 1/4" = 1'-0"



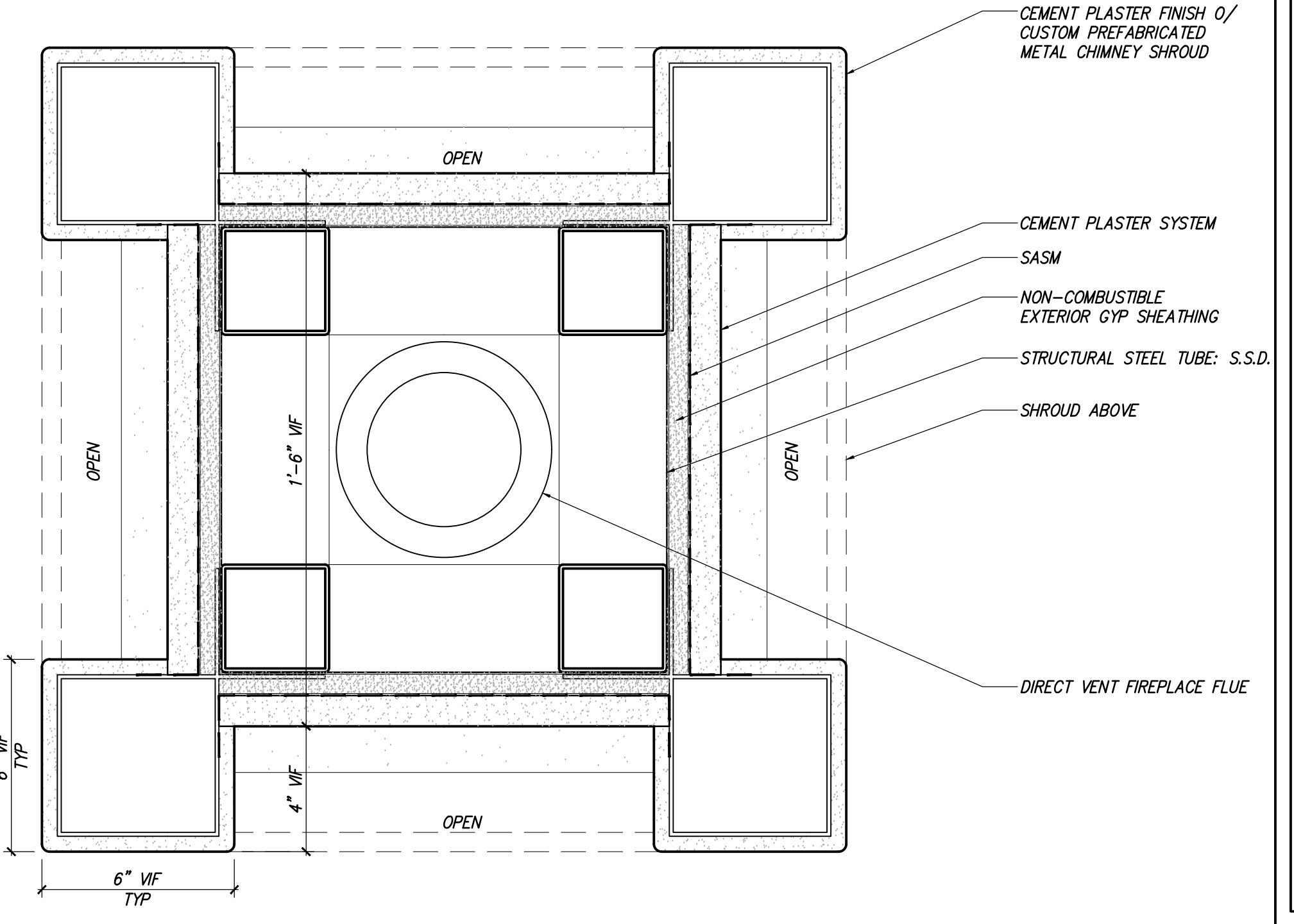
6 EXISTING CHIMNEY PHOTO
SCALE: NTS



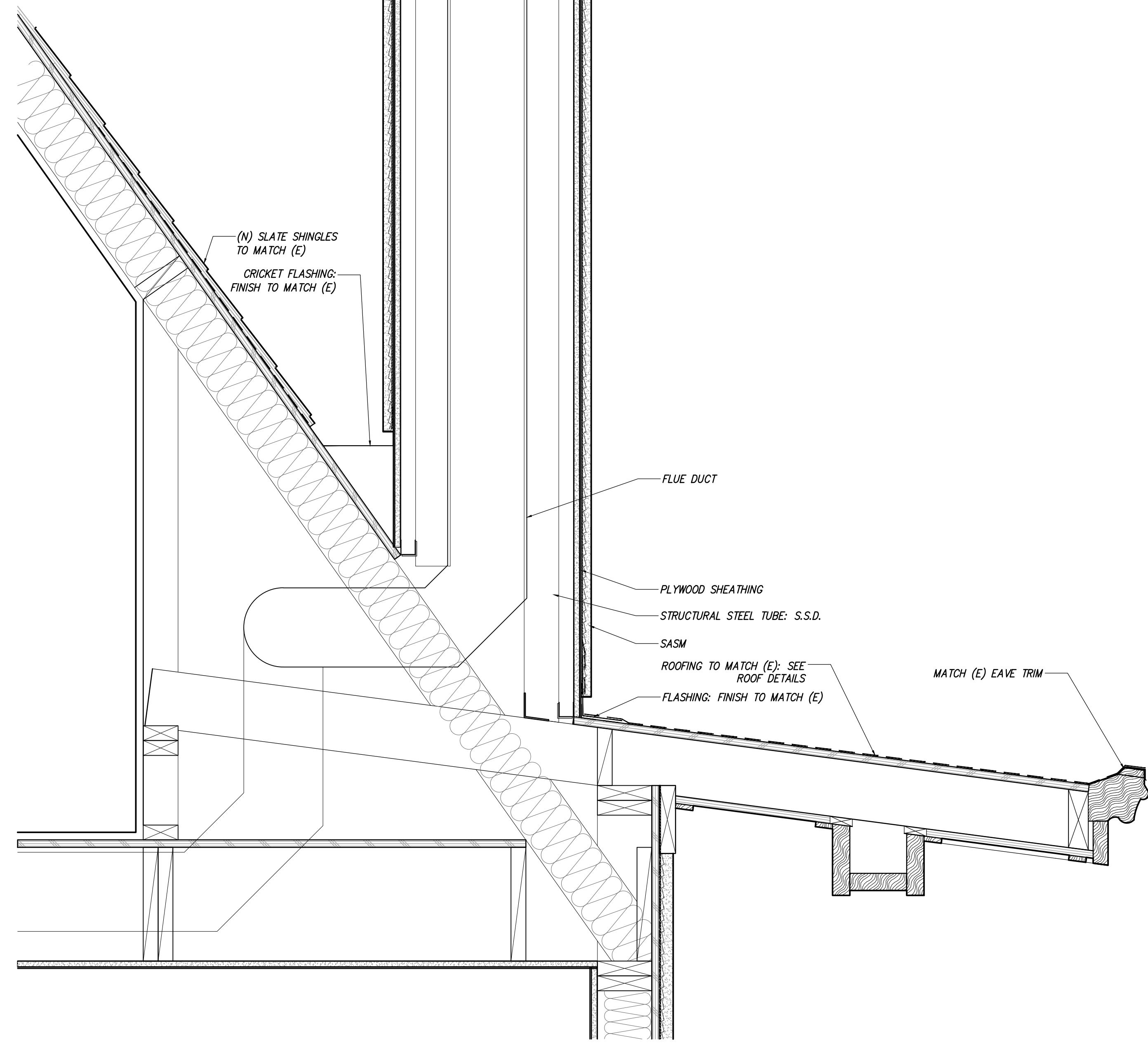
3 MASTER BEDROOM CHIMNEY PLAN AT OPENINGS
SCALE: 3" = 1'-0"



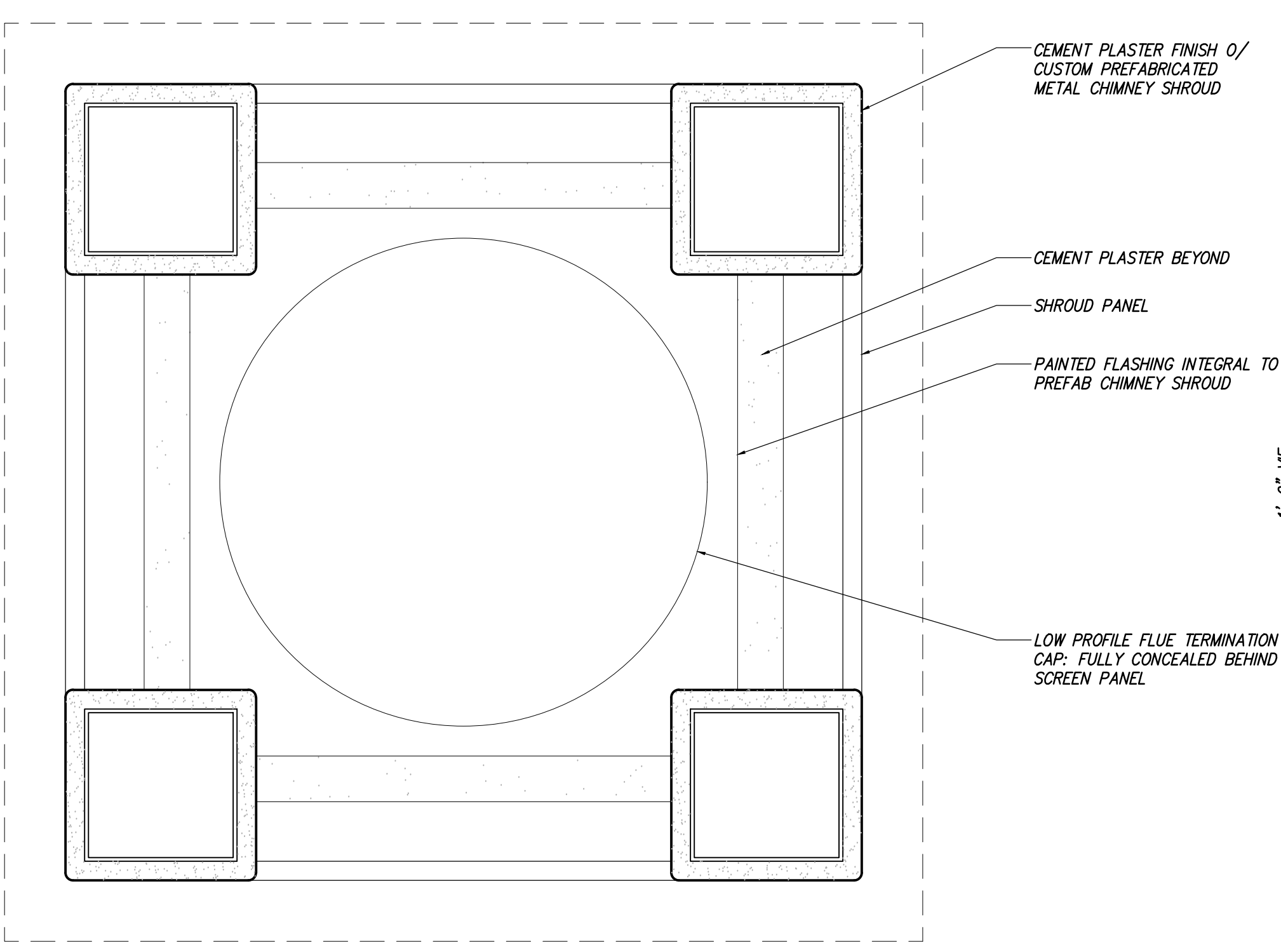
5 MASTER BEDROOM ABOVE SCREEN PANEL
SCALE: 3" = 1'-0"



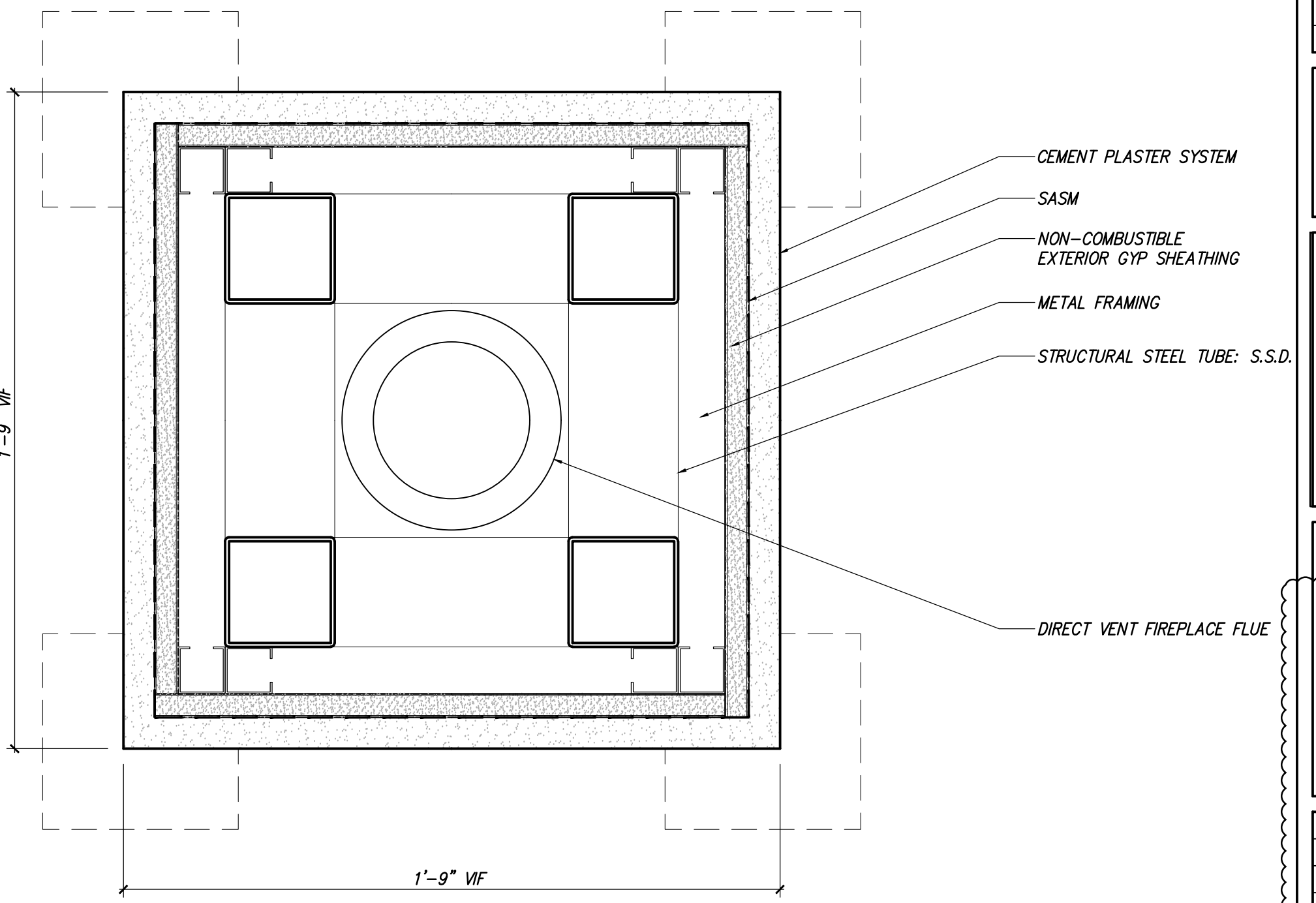
2 MASTER BEDROOM CHIMNEY PLAN AT SCREEN PANEL
SCALE: 3" = 1'-0"



7 MASTER BEDROOM CHIMNEY SECTION
SCALE: 1 1/2" = 1'-0"



4 MASTER BEDROOM ABOVE SCREEN PANEL
SCALE: 3" = 1'-0"

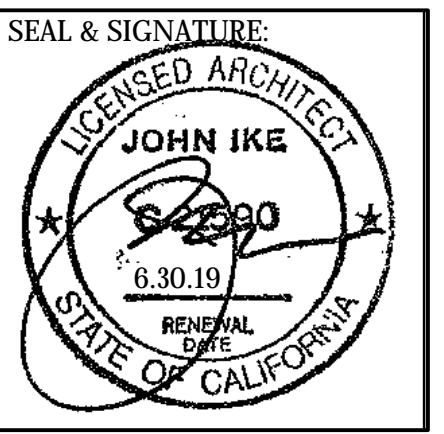


1 MASTER BEDROOM CHIMNEY PLAN LOWER
SCALE: 3" = 1'-0"

ALL DIMENSIONS TO MATCH EXISTING CONDITIONS U.O.N. GC TO NOTIFY ARCHITECT OF DISCREPANCIES

No.	REMARKS	DATE
PLANNING SUB		9.11.18
PLANNING REV 1		3.22.2019
PLANNING REV 2		4.19.2019

PROJECT:
3500 Jackson Street
San Francisco, CA 94118

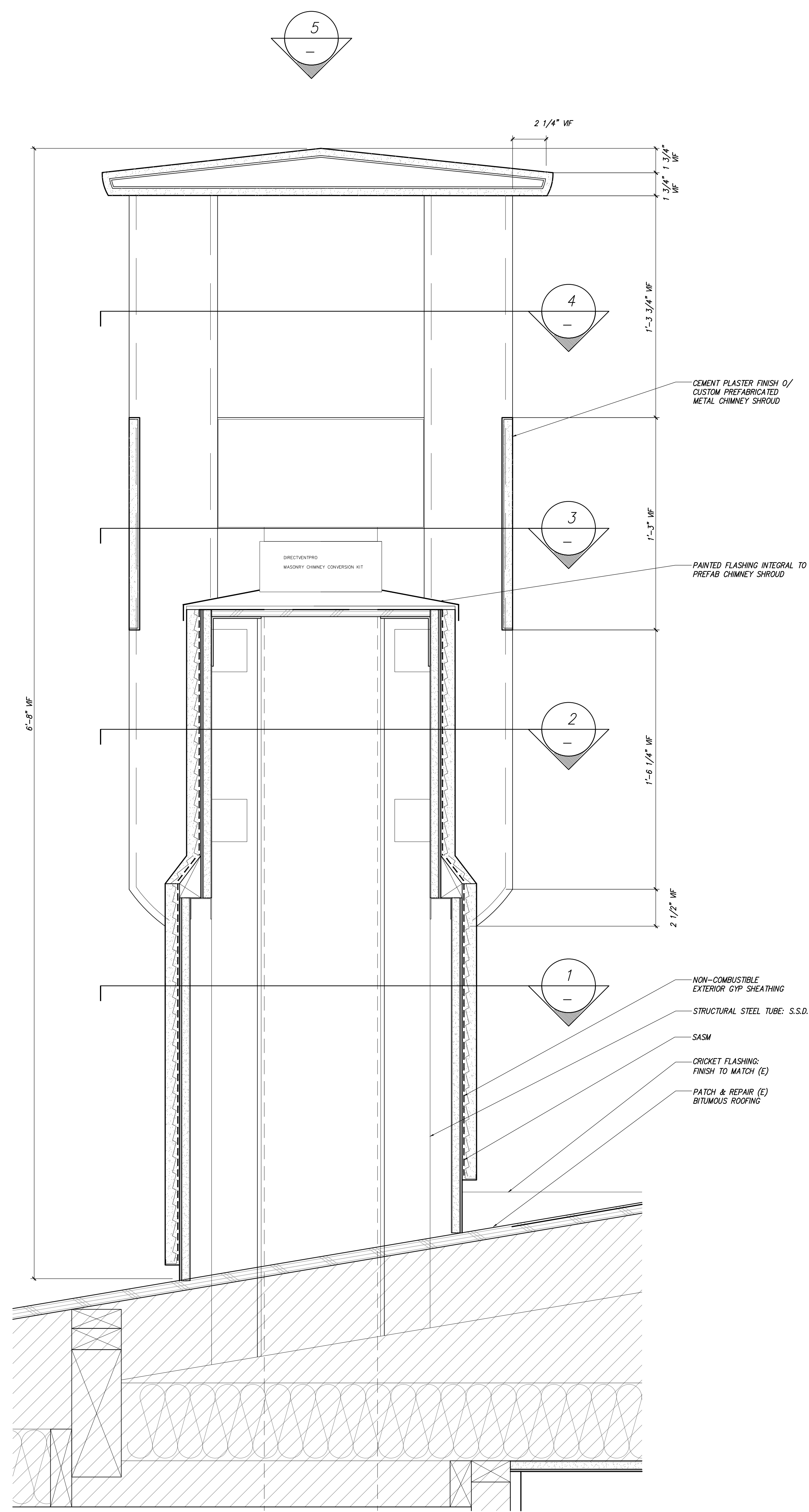


MASTER BEDROOM CHIMNEY DETAILS

DATE: 3.22.2019
PROJECT No.: 18013
DRAWING BY: B.H.
CHK BY: T.V. C.B. T.K.
DWG No.:

A9.32
#18.013

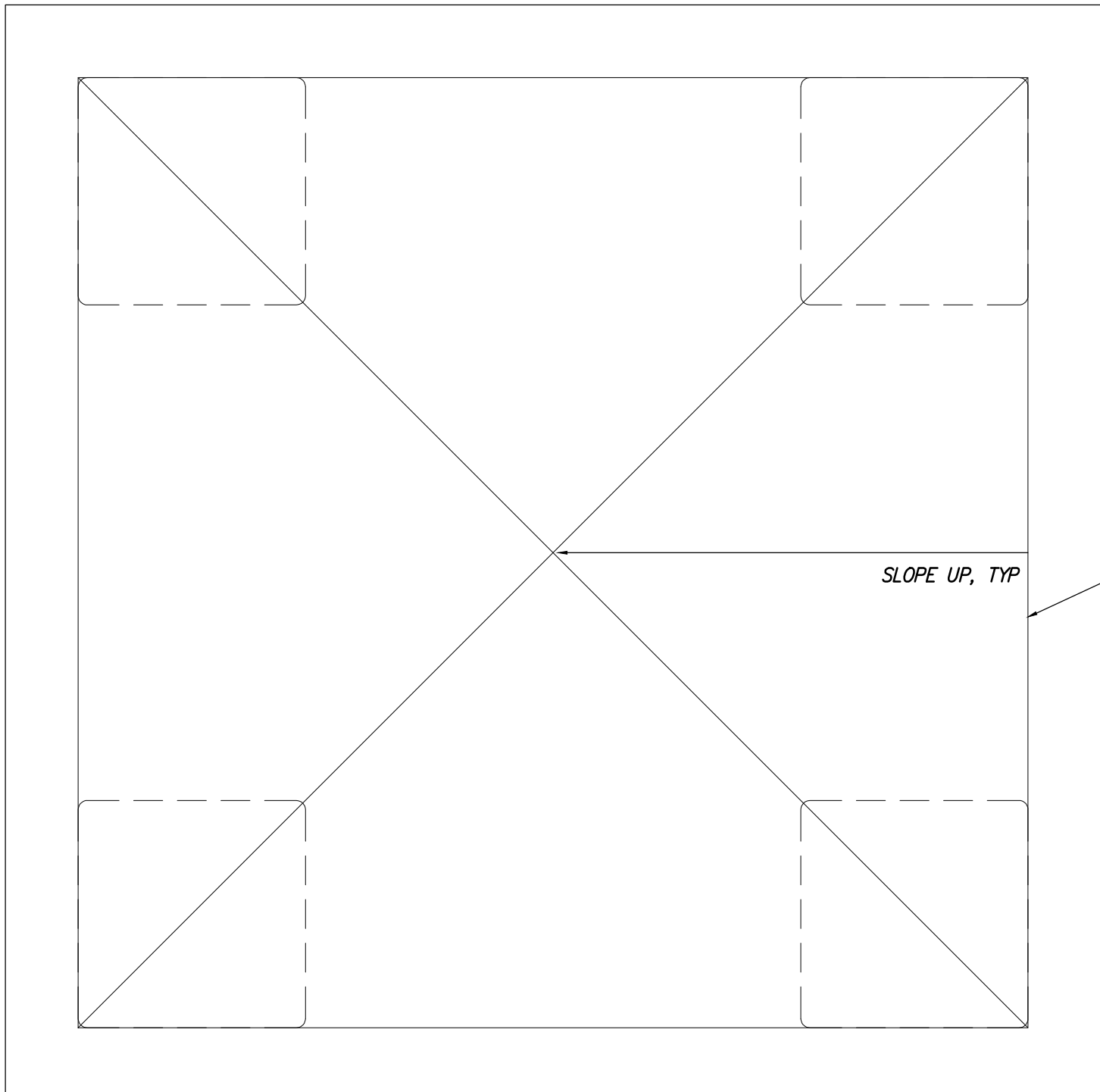
IF THIS SHEET IS NOT 30 X 42 IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY



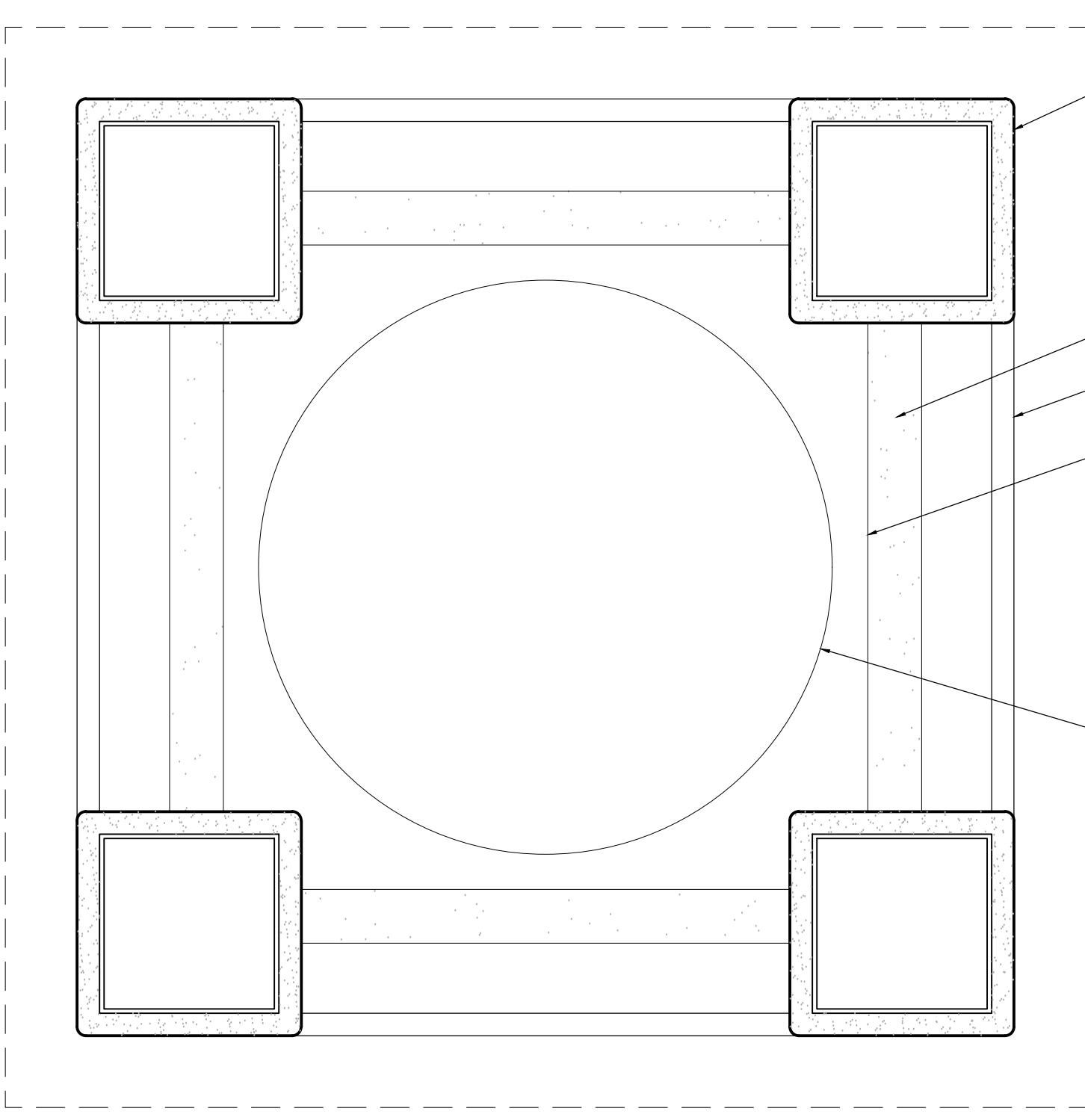
7 "HIS OFFICE" CHIMNEY SECTION
SCALE: 3" = 1'-0"



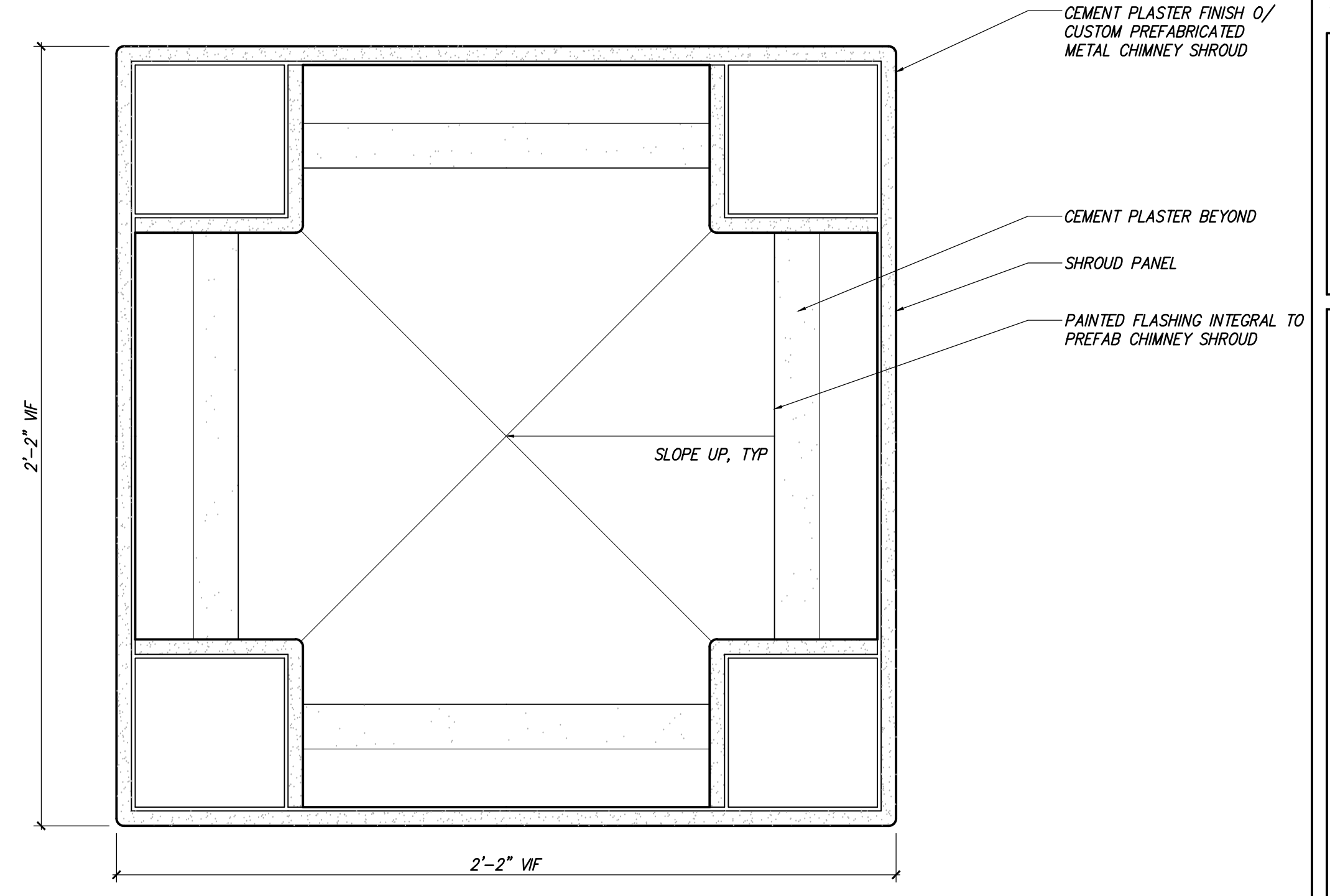
6 EXISTING CHIMNEY PHOTO
SCALE: NTS



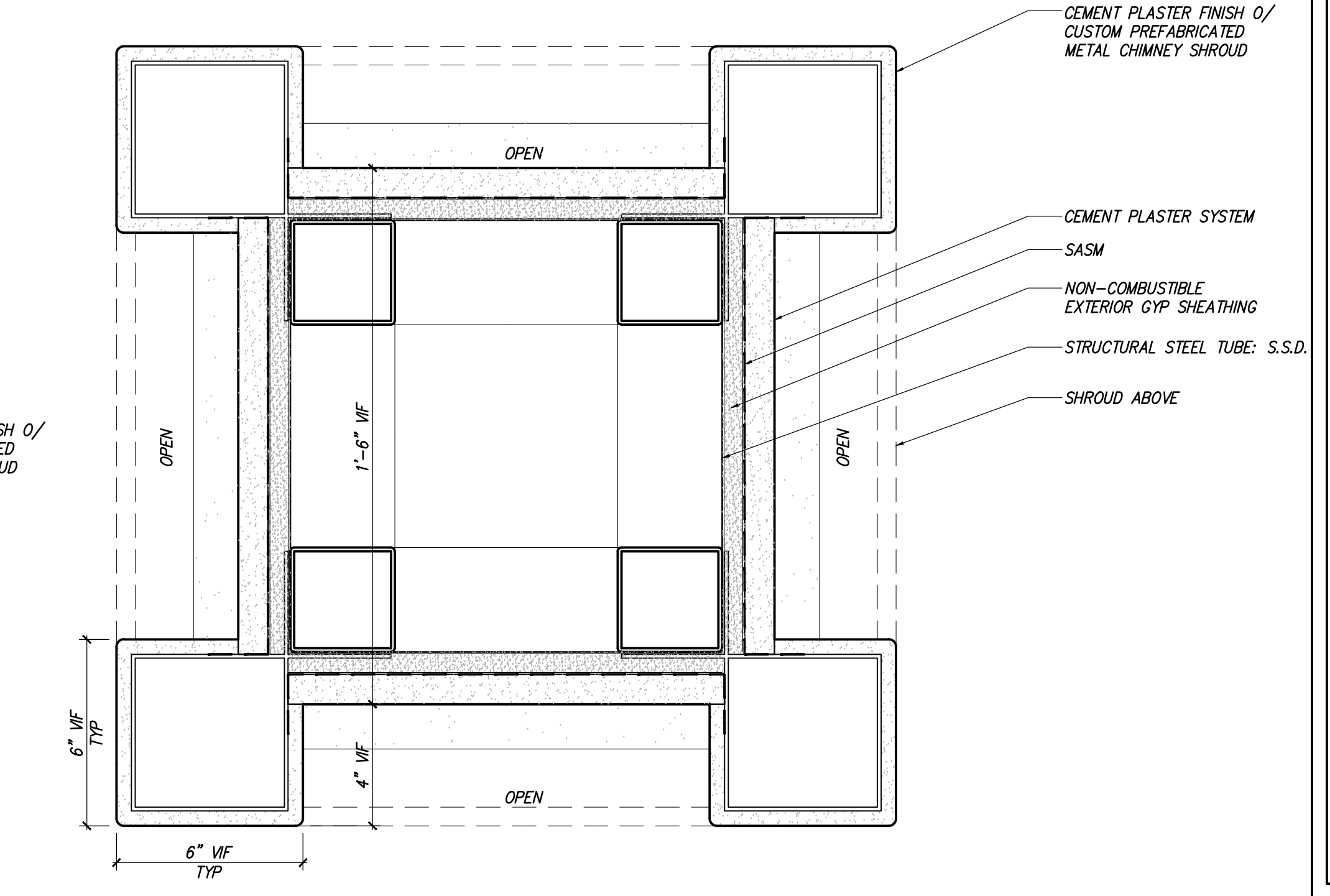
5 "HIS OFFICE" CHIMNEY ABOVE SCREEN PANEL
SCALE: 3" = 1'-0"



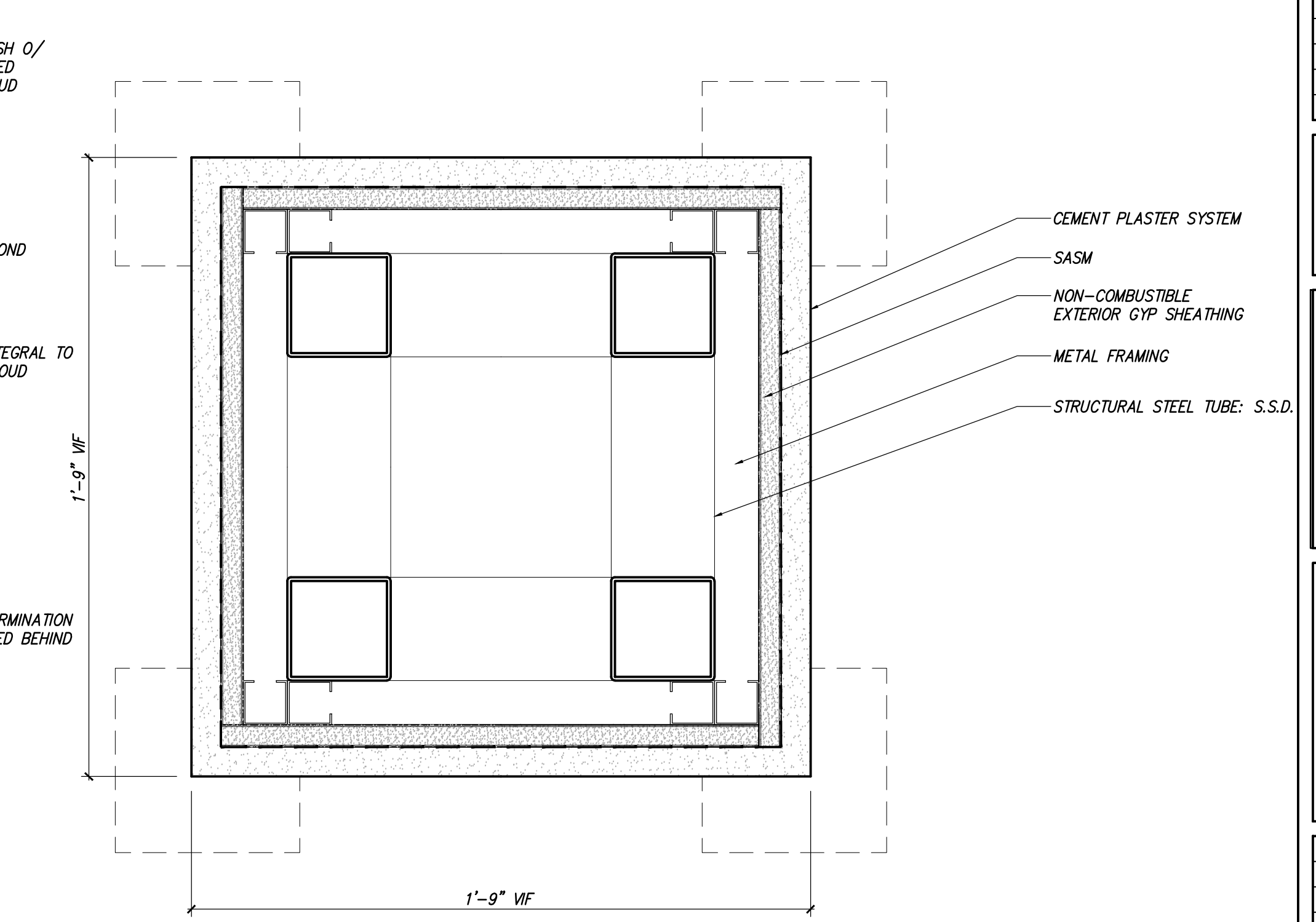
4 "HIS OFFICE" CHIMNEY ABOVE SCREEN PANEL
SCALE: 3" = 1'-0"



3 "HIS OFFICE" CHIMNEY PLAN AT OPENINGS
SCALE: 3" = 1'-0"



2 "HIS OFFICE" CHIMNEY PLAN AT SCREEN PANEL
SCALE: 3" = 1'-0"



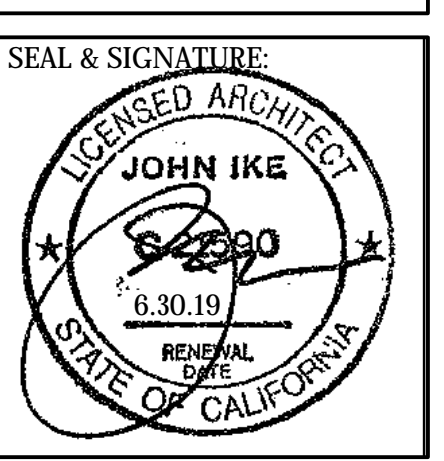
1 "HIS OFFICE" CHIMNEY PLAN LOWER
SCALE: 3" = 1'-0"

ALL DIMENSIONS TO MATCH EXISTING
CONDITIONS U.O.M. GC TO NOTIFY ARCHITECT
OF DISCREPANCIES

IF THIS SHEET IS NOT 30 X 42 IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY

No.	REMARKS	DATE
PLANNING SUB		9.11.18
PLANNING REV 1		3.22.2019
PLANNING REV 2		4.19.2019

PROJECT:
3500 Jackson Street
San Francisco, CA 94118



HIS OFFICE
CHIMNEY
DETAILS

DATE: 3.22.2019
PROJECT No.: 18013
DRAWING BY: B.H.
CHK BY: T.V. C.B. T.K.
DWG No.:

A9.33
#18.013

No.	REMARKS	DATE
	PLANNING SUB	9.11.18
1	PLANNING REV 1	3.22.2019
2	PLANNING REV 2	4.19.2019

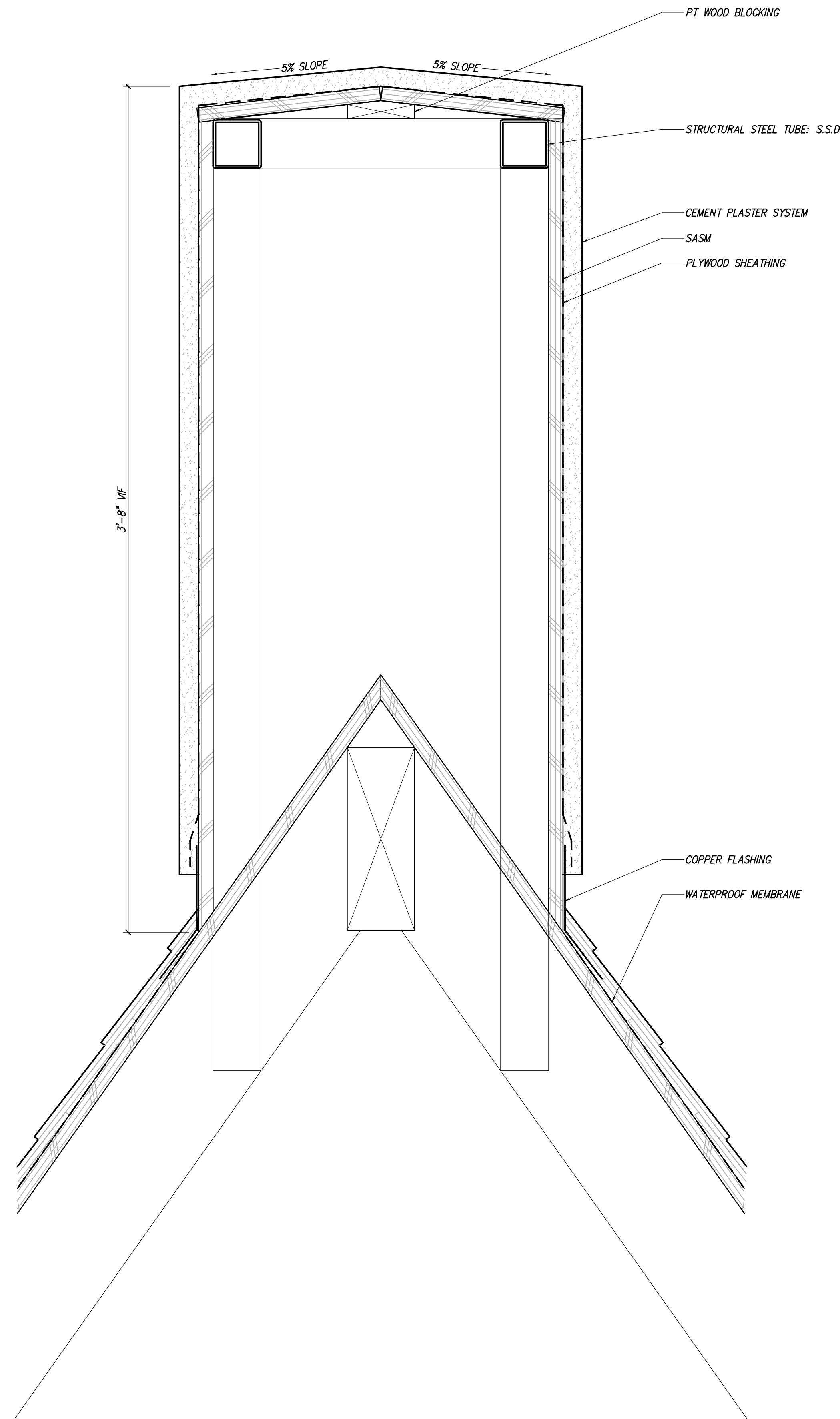
PROJECT:
3500 Jackson Street
San Francisco, CA 94118



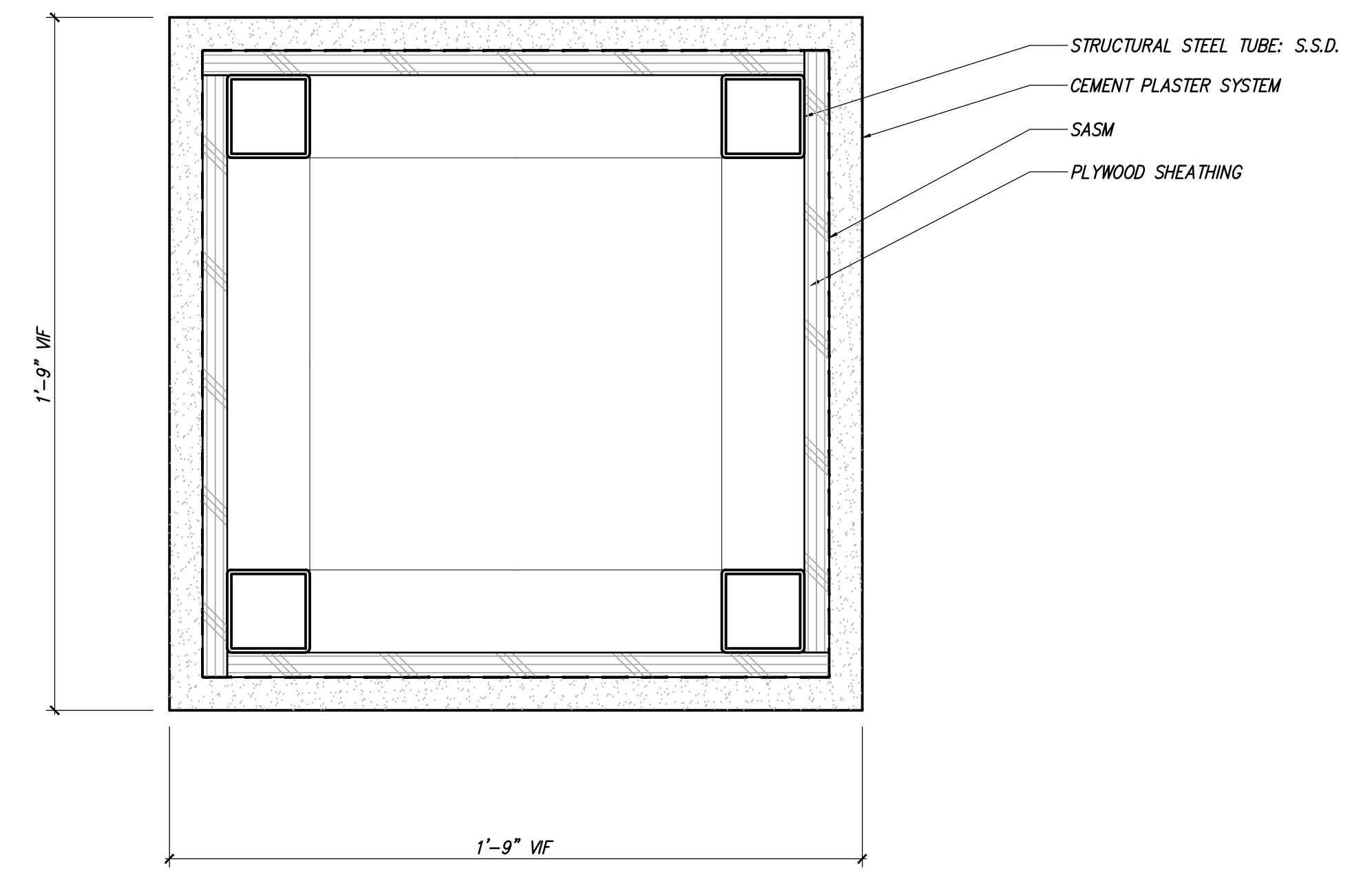
KITCHEN CHIMNEY DETAILS

DATE: 3.22.2019
PROJECT No.: 18013
DRAWING BY: B.H.
CHK BY: T.V. C.B. T.K.
DWG No.:

A9.34
#18.013



2 EXISTING CHIMNEY PHOTO
SCALE: NTS

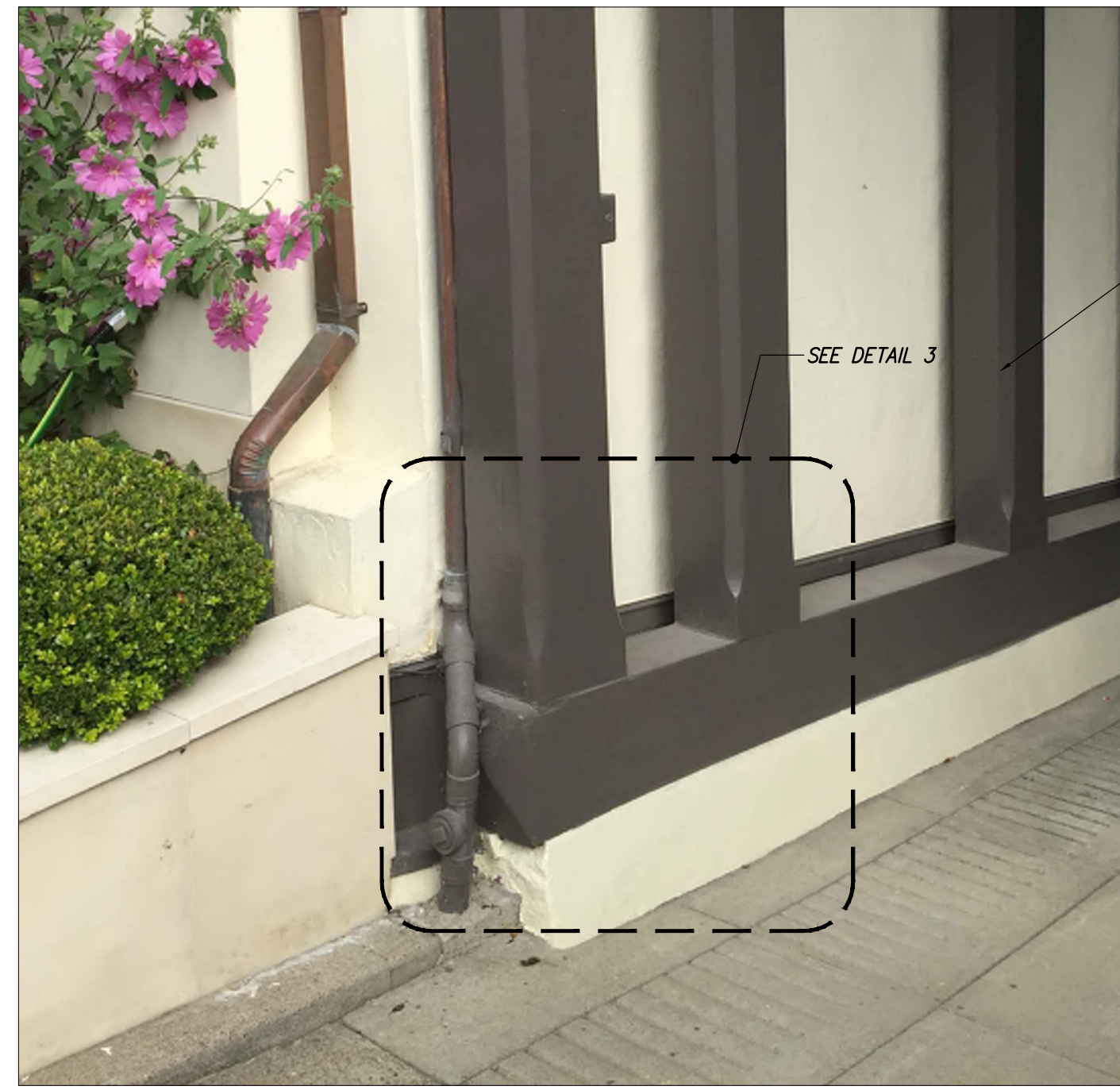


1 KITCHEN CHIMNEY PLAN LOWER
SCALE: 3" = 1'-0"

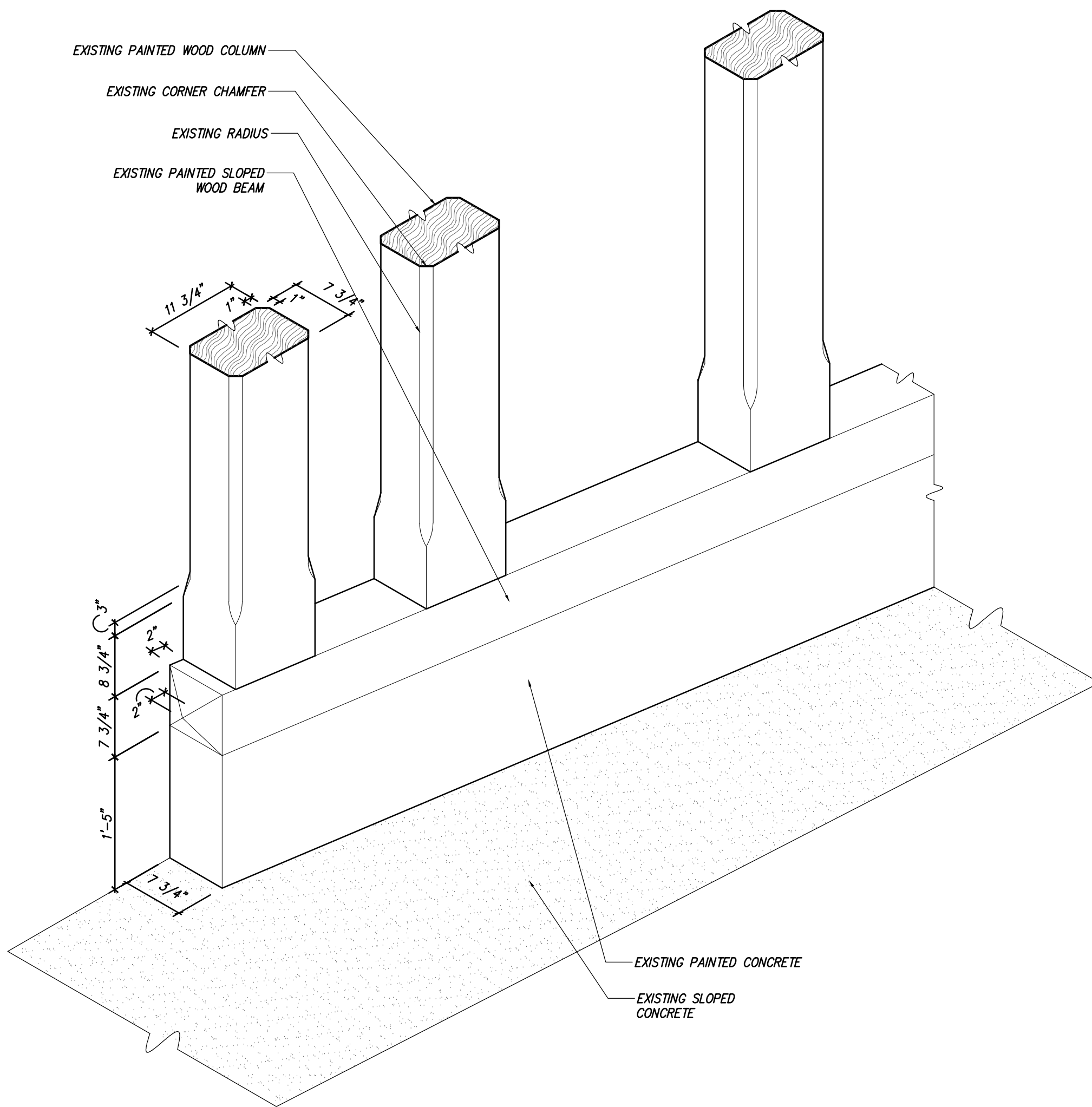
1 KITCHEN CHIMNEY SECTION
SCALE: 3" = 1'-0"

ALL DIMENSIONS TO MATCH EXISTING CONDITIONS U.O.N. GC TO NOTIFY ARCHITECT OF DISCREPANCIES

IF THIS SHEET IS NOT 30 X 42 IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY

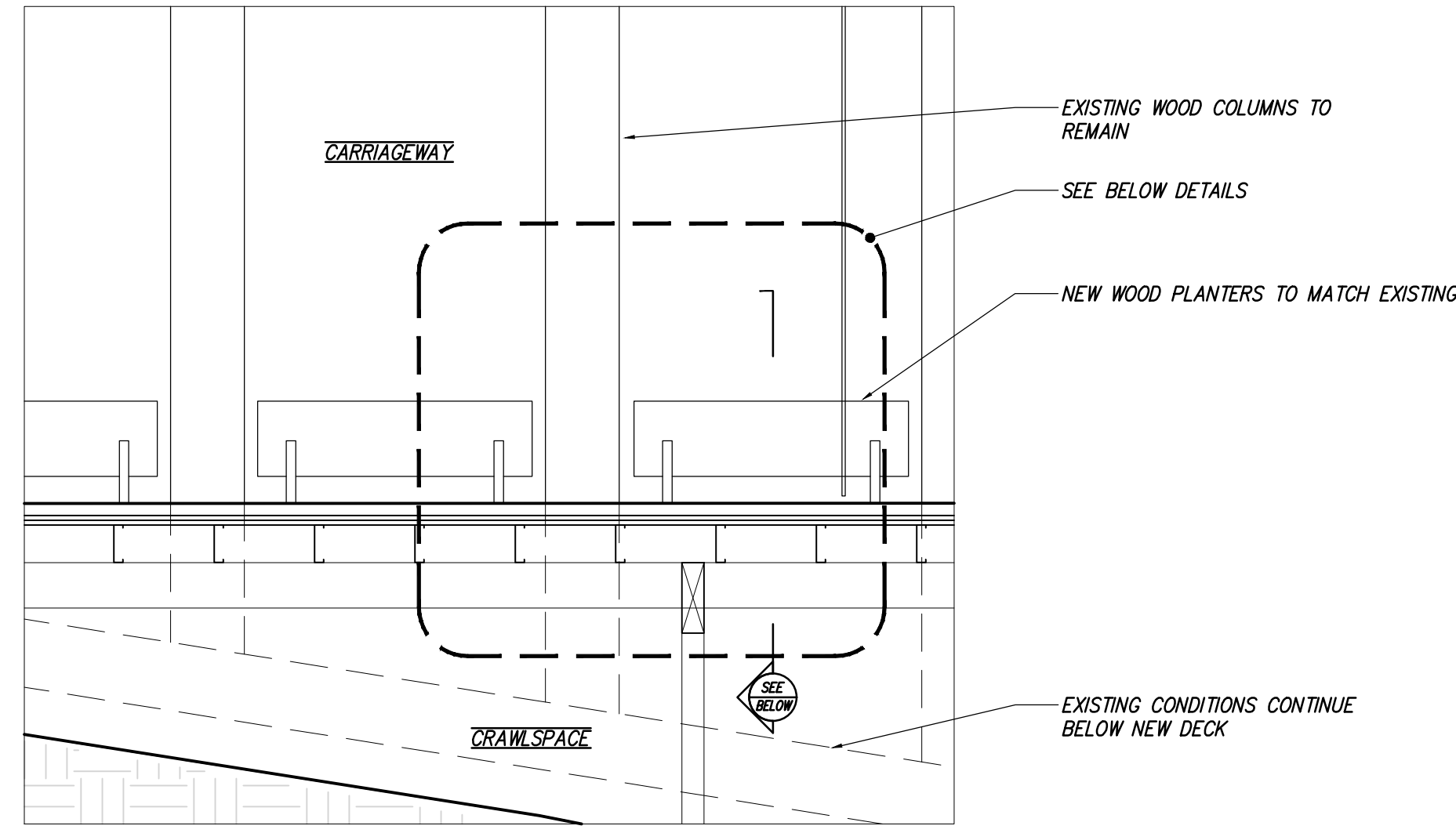


EXISTING COLUMN BASE CONDITION

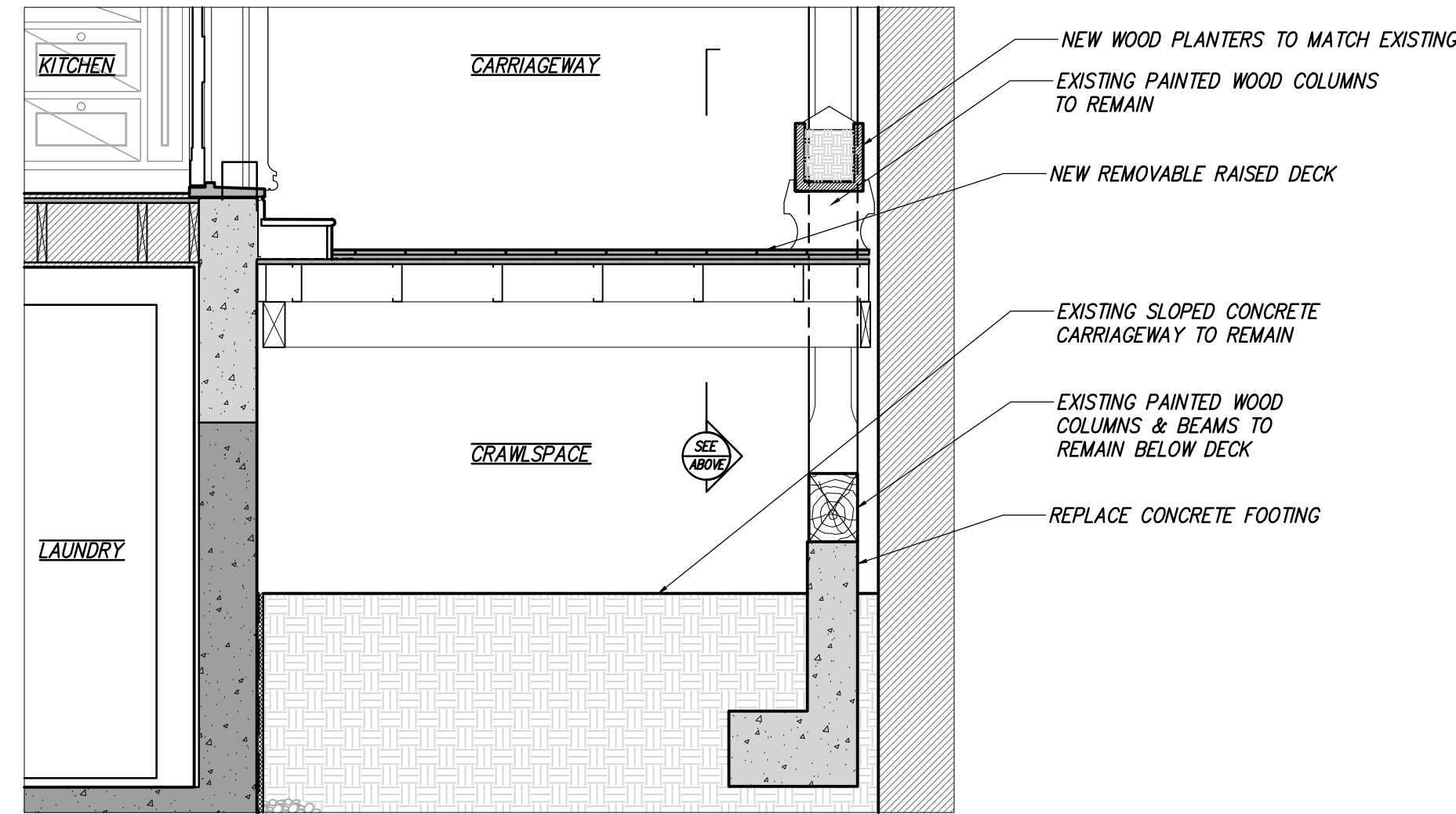


3 EXISTING CARRIAGEWAY COLUMN BASE SCALE: 1/8"=1'-0"

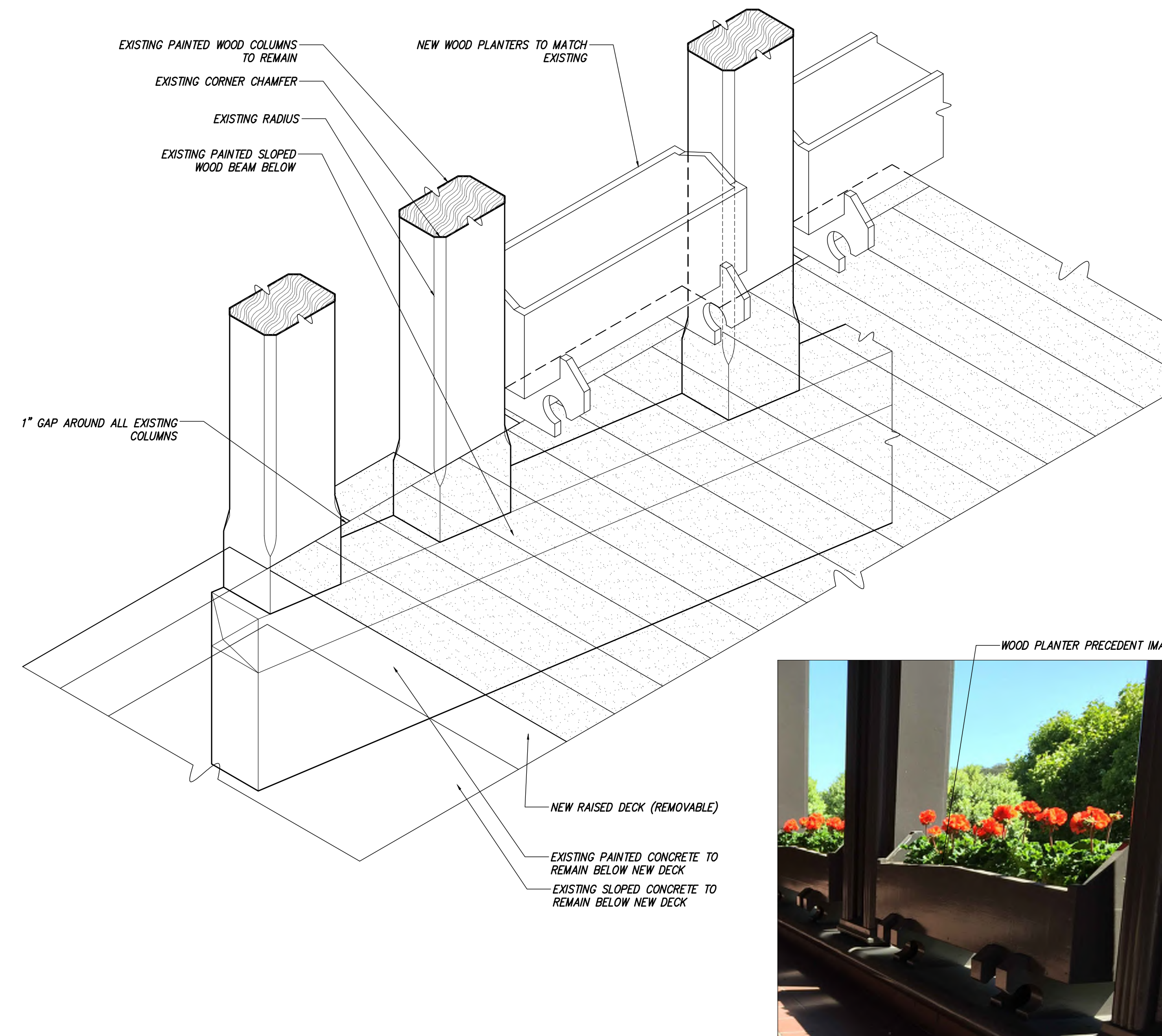
IF THIS SHEET IS NOT 30 X 42 IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY



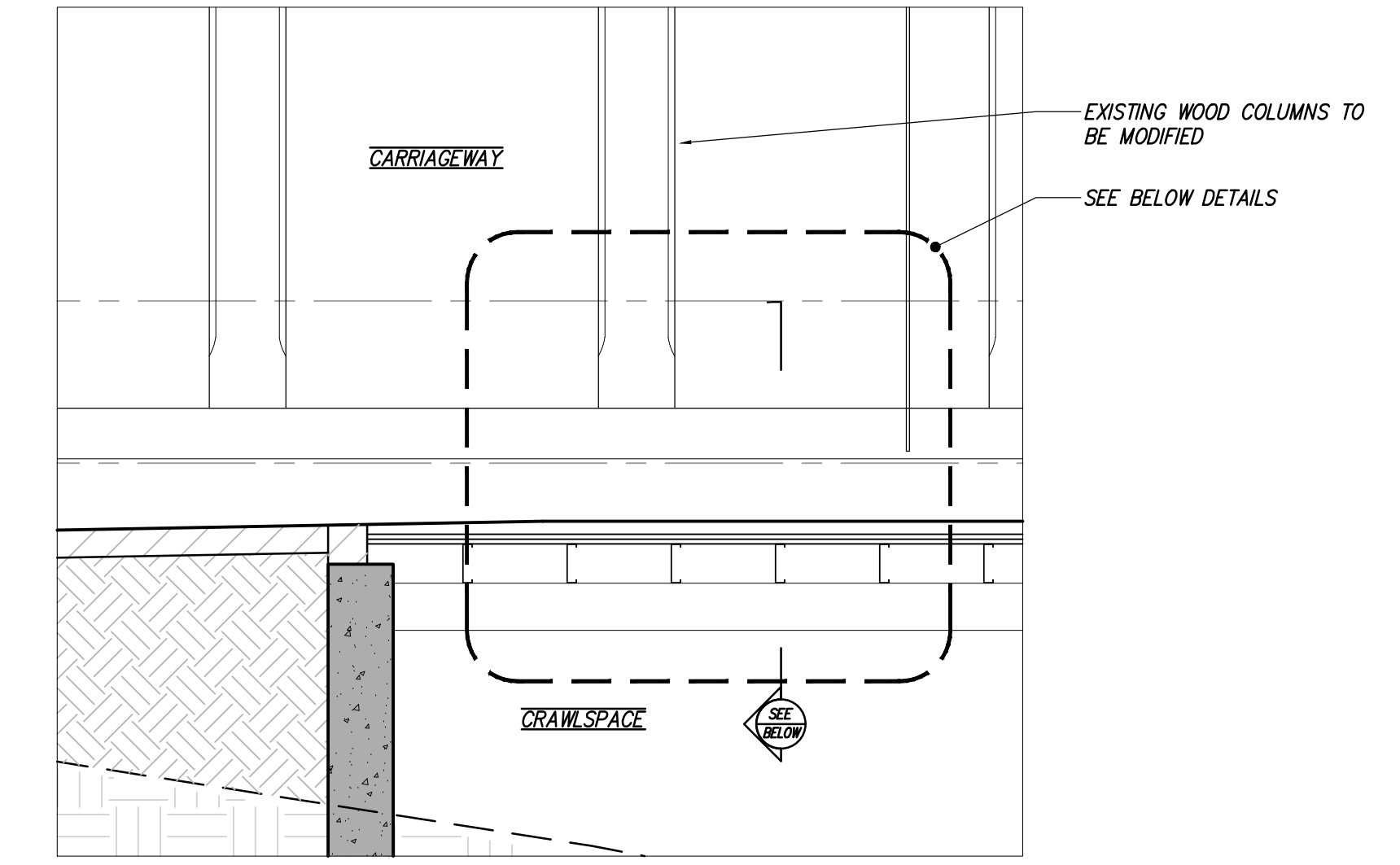
ALTERNATE DESIGN - SECTION FACING WEST



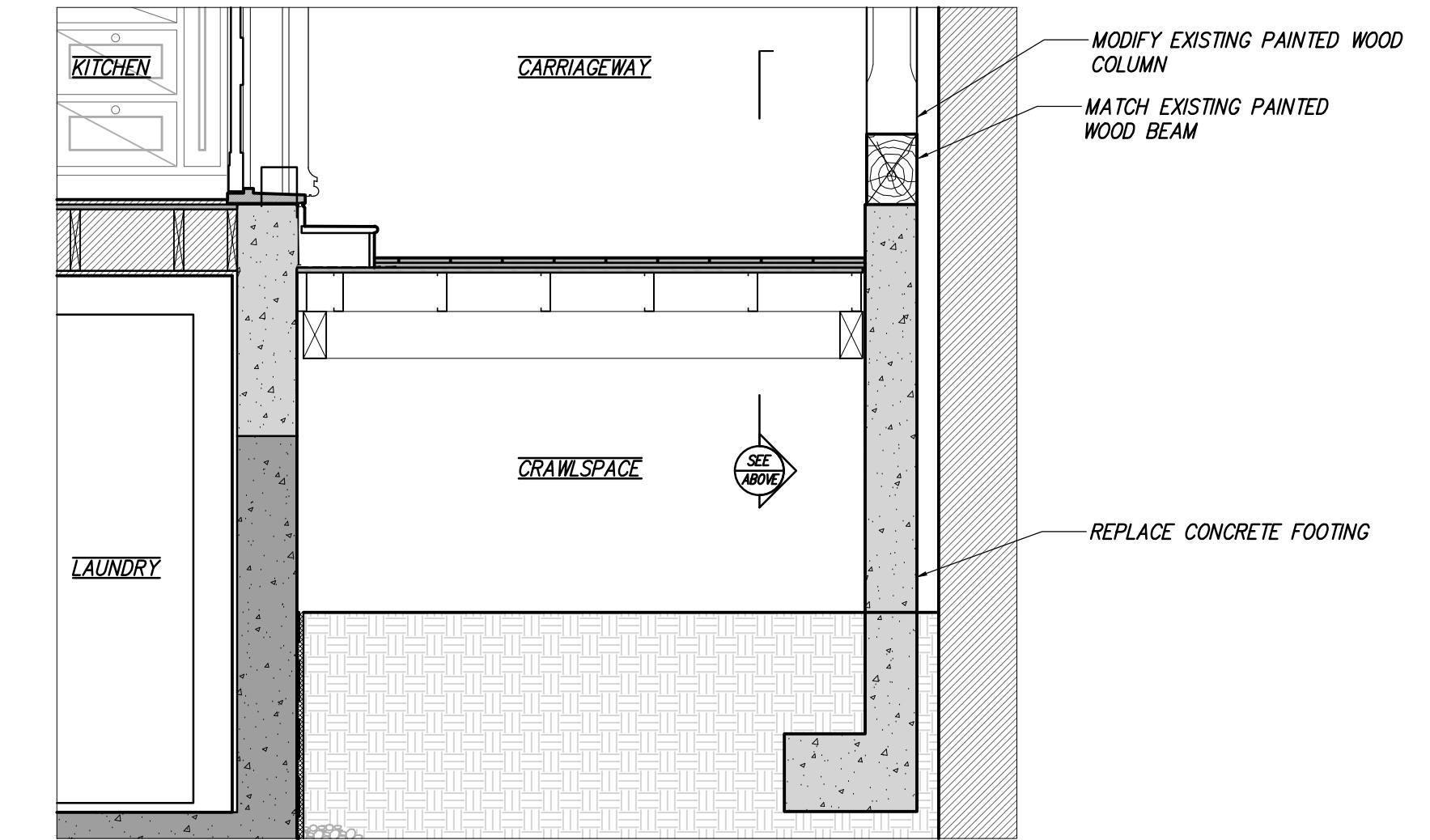
ALTERNATE DESIGN - SECTION FACING SOUTH



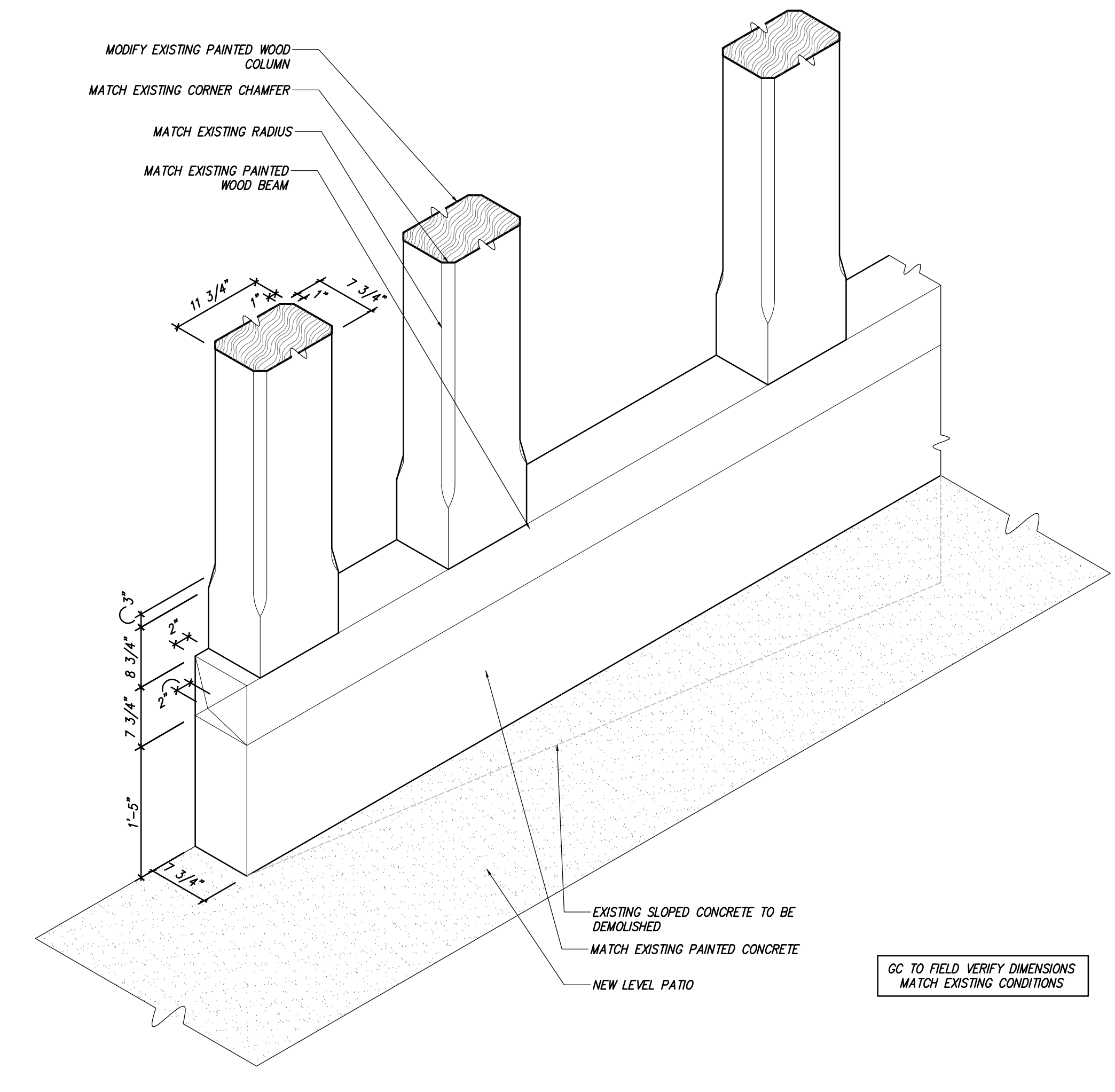
2 PROPOSED ALTERNATE CARRIAGEWAY BASE (MAINTAINS EXISTING CONSTRUCTION) SCALE: 1/8"=1'-0"



ORIGINAL DESIGN - SECTION FACING WEST



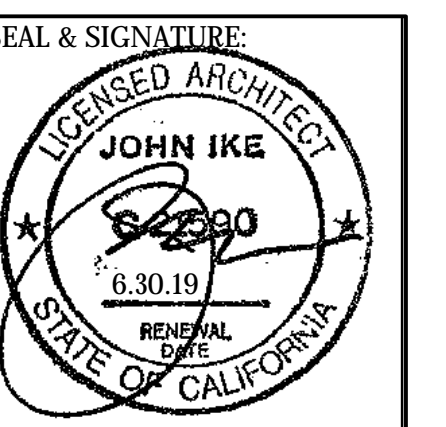
ORIGINAL DESIGN - SECTION FACING SOUTH



1 PROPOSED CARRIAGEWAY COLUMN BASE (ORIGINAL DESIGN) SCALE: 1/8"=1'-0"

No.	REMARKS	DATE
PLANNING SUB		9.11.18
PLANNING REV 1		3.22.2019
PLANNING REV 2		4.19.2019

PROJECT:
3500 Jackson Street
San Francisco, CA 94118



CARRIAGEWAY DETAILS

DATE: 3.22.2019
PROJECT No.: 18013
DRAWING BY: B.H.
CHK BY: T.V. C.B. T.K.
DWG No.:

A9.52

3500 Jackson Street



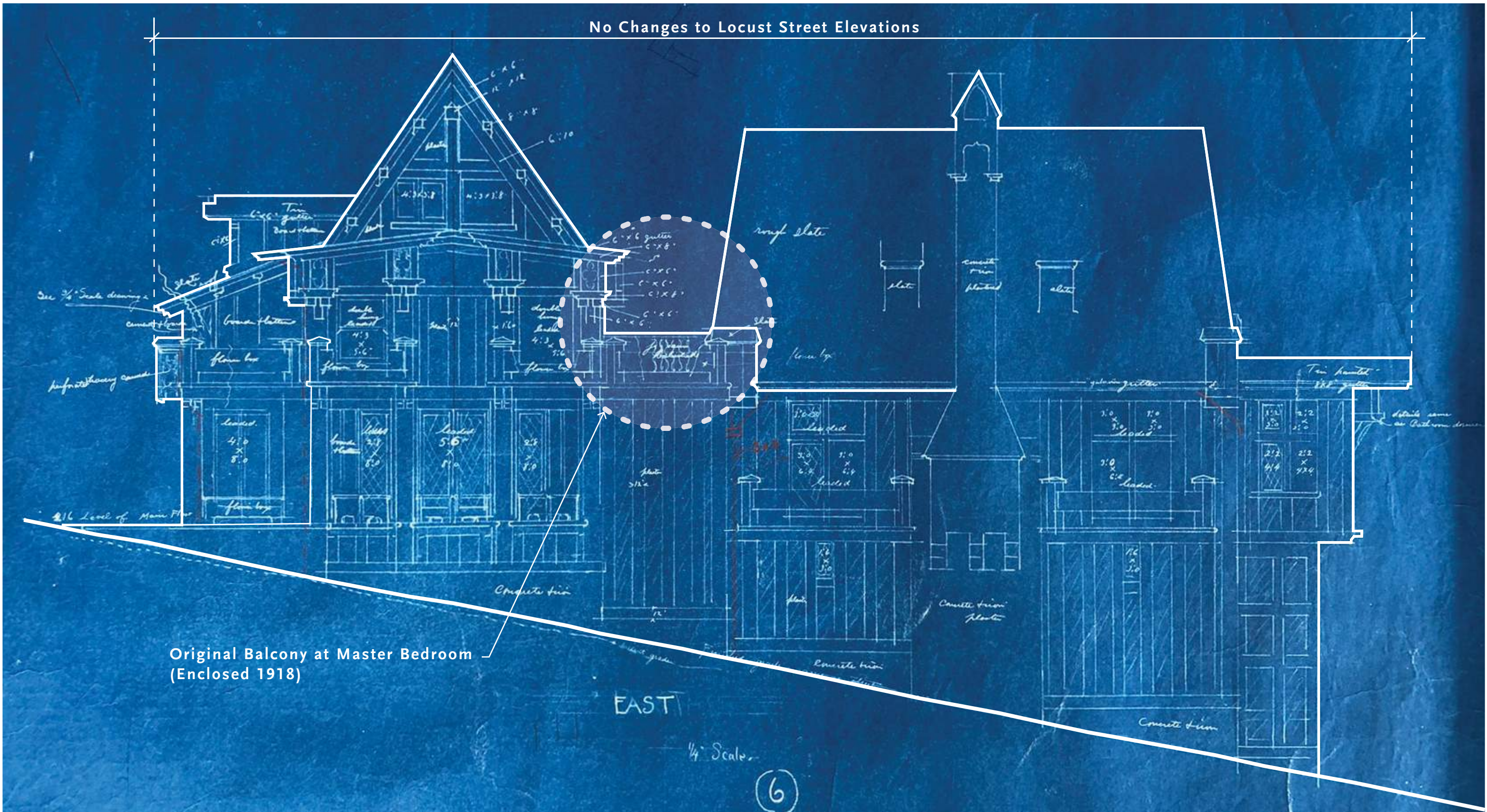
**Historic Preservation Committee Review
April 23, 2019**

No Changes to Locust Street Elevation



Locust Street Elevation - Original Maybeck Drawing

No Changes to Locust Street Elevations



Original Balcony at Master Bedroom
(Enclosed 1918)

Original Main Level Maybeck Rooms - To Be Preserved



Dining Room



Entry Hall



Tea Room



Living Room



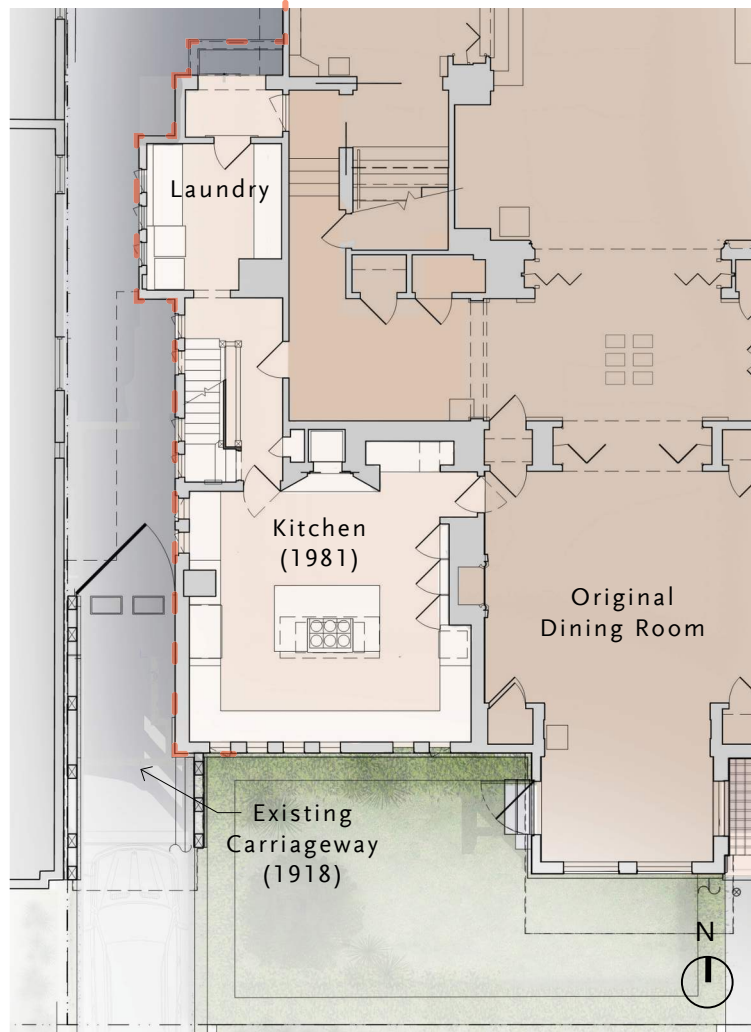
Living Room

No Changes to Jackson Street Elevation

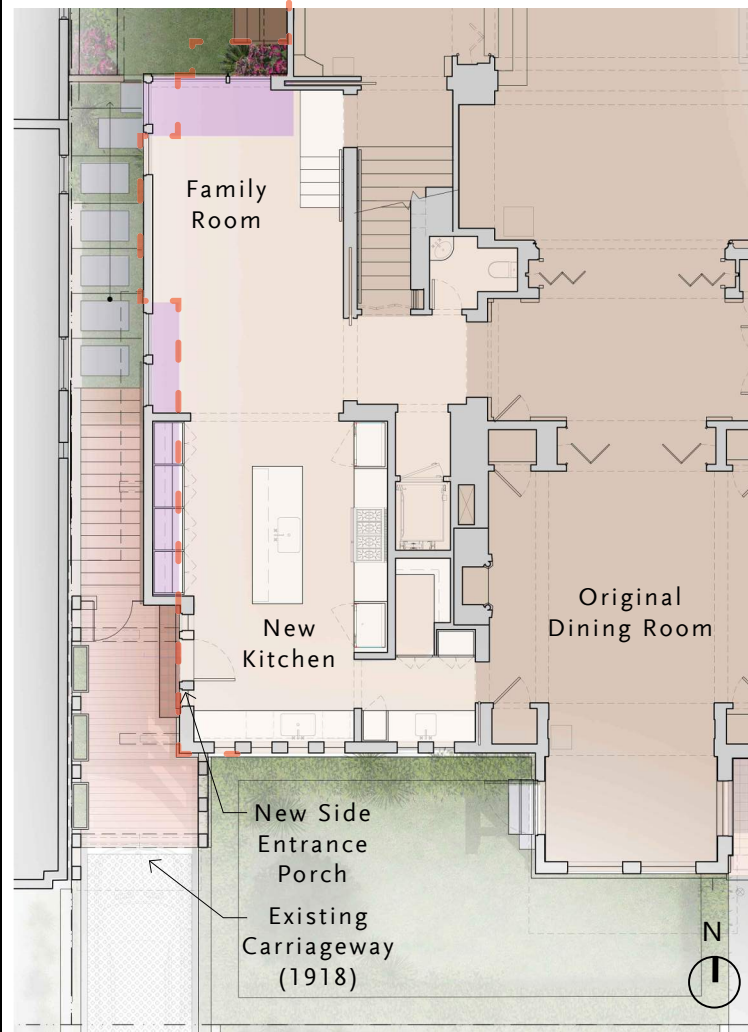


Massing changes limited to West Elevation beyond

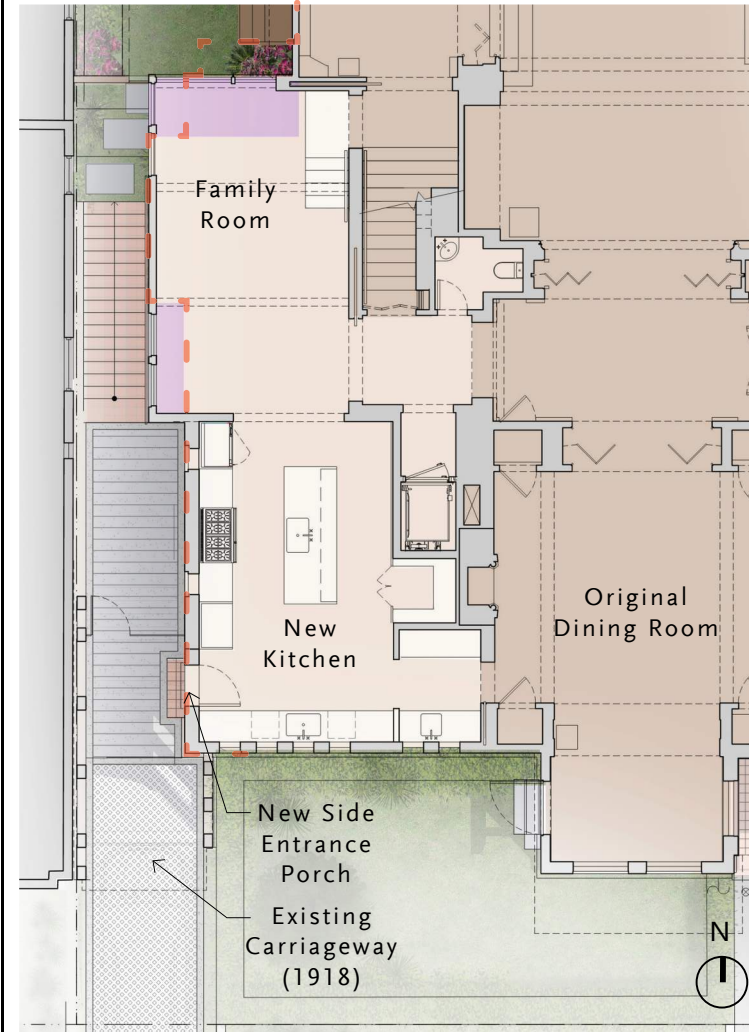
Existing Carriageway



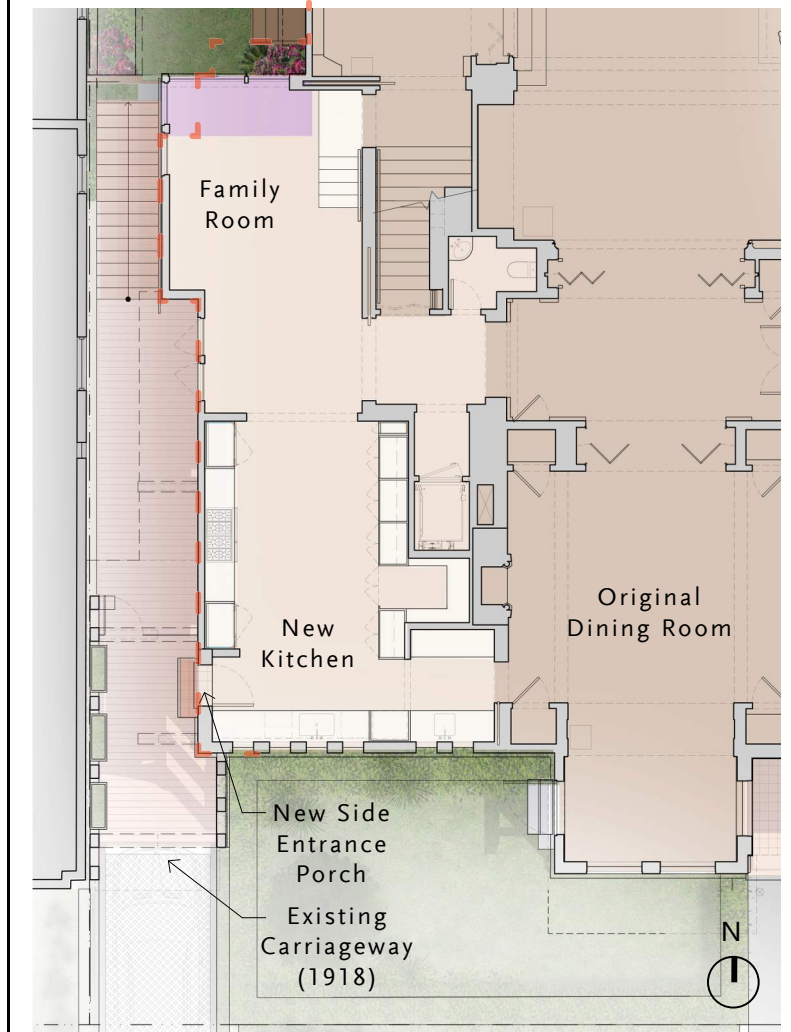
Alt 1



Alt 2



Alt 3



Original Abandoned Carriageway



Creates Connected Kitchen and Family Areas

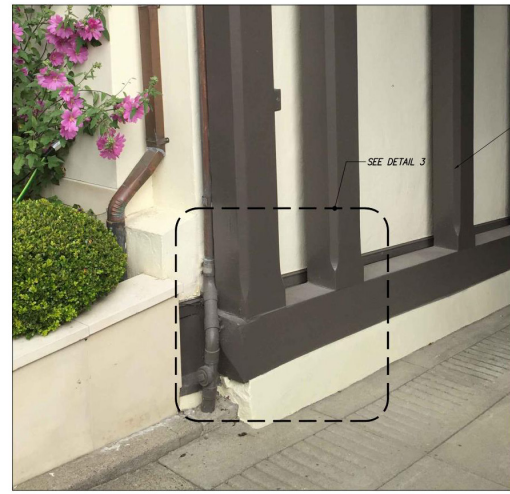


Restricted Family Area

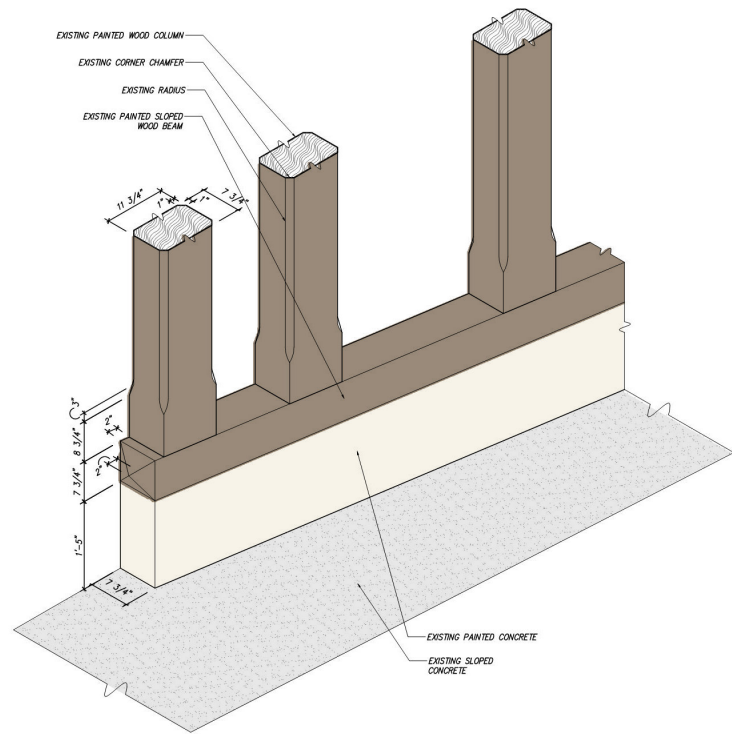


Most Restricted Family Area

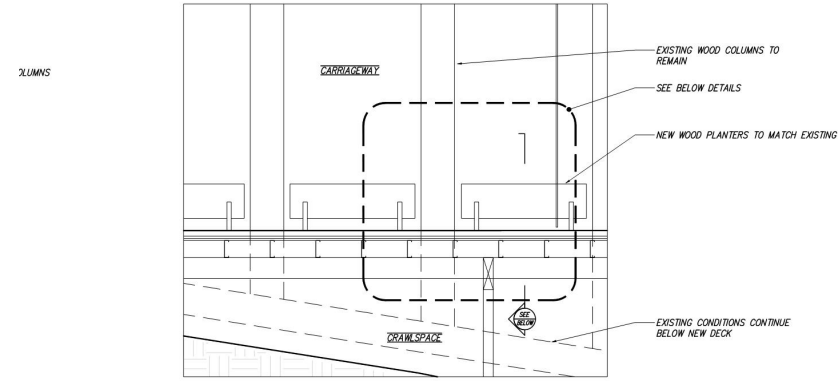
Existing Carriageway Column Base



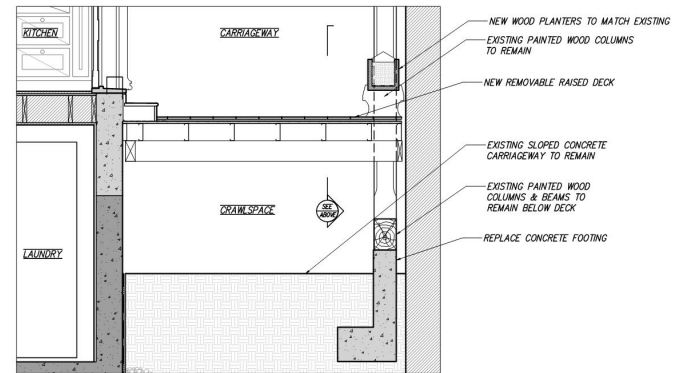
EXISTING COLUMN BASE CONDITION



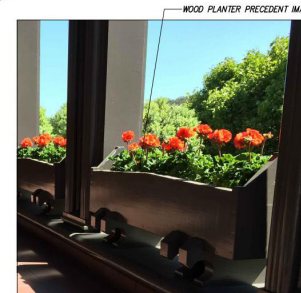
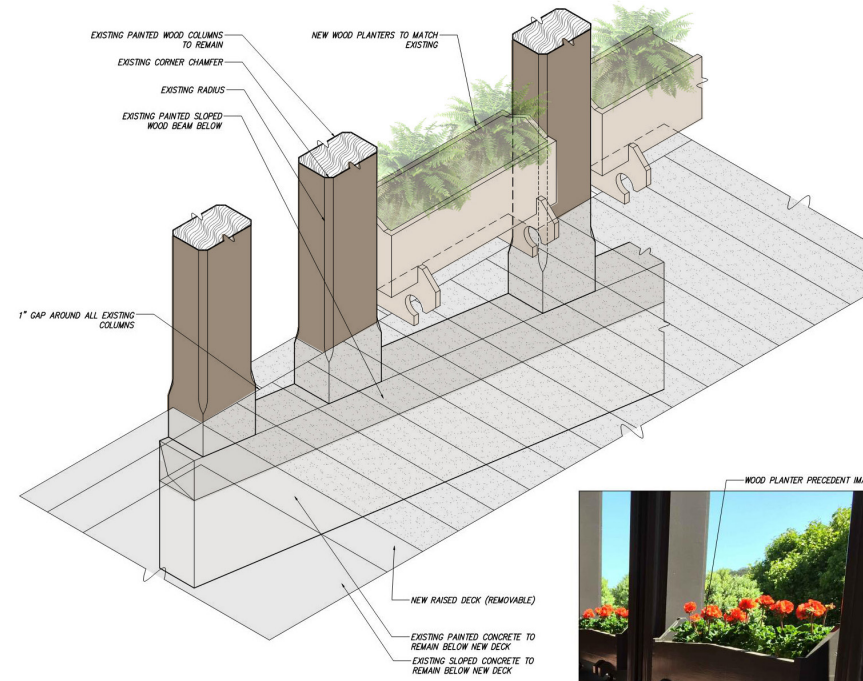
Proposed Alternate Carriageway Column Base



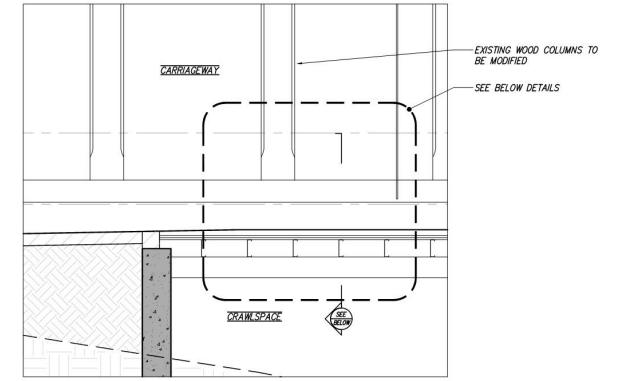
ALTERNATE DESIGN - SECTION FACING WEST



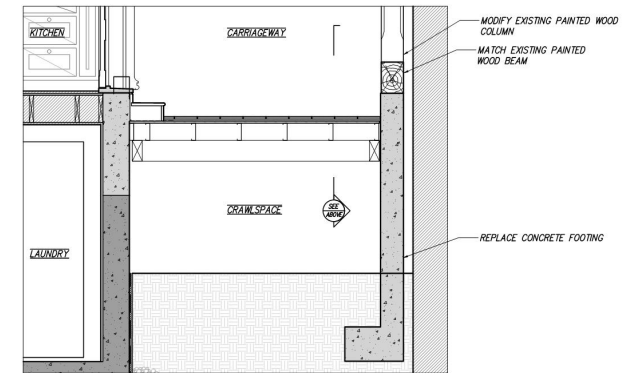
ALTERNATE DESIGN - SECTION FACING SOUTH



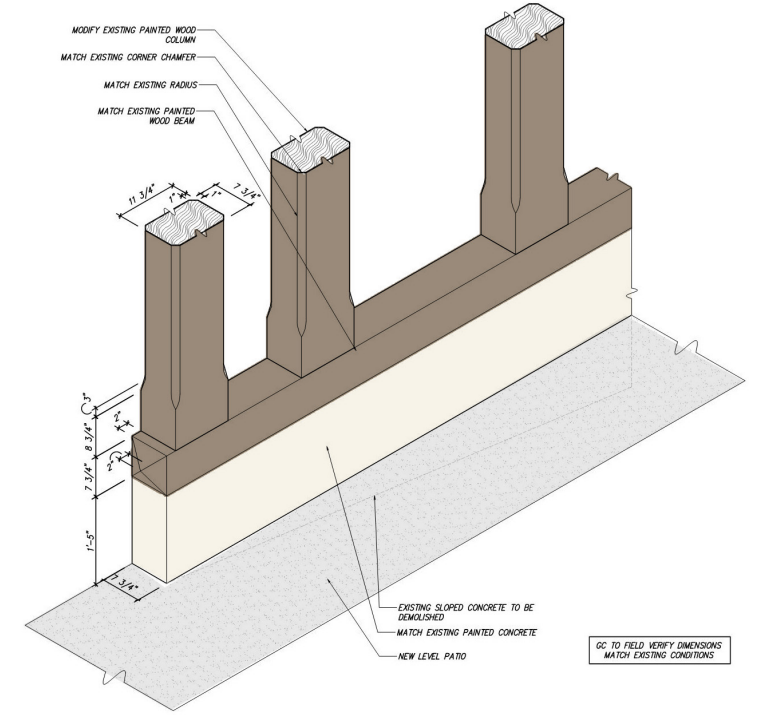
Previously Proposed Carriageway Column Base



ORIGINAL DESIGN - SECTION FACING WEST



ORIGINAL DESIGN - SECTION FACING SOUTH



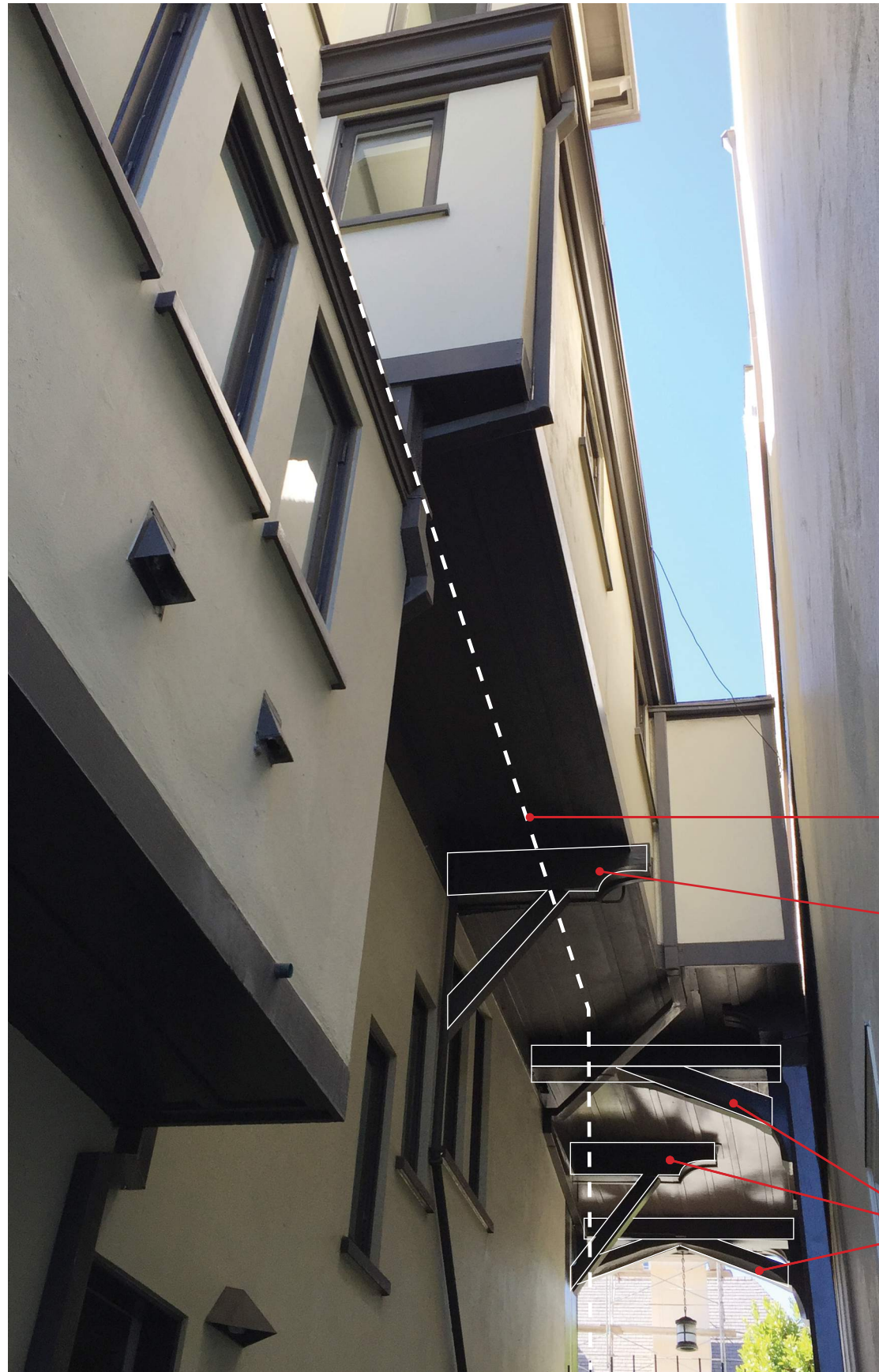
West Elevation - Maybeck's Eclectic Massing



Service Stair

Laundry Addition

Lower Kitchen



Line of Proposed Alt 1

Bracket tail to remain

Beams and brackets to remain



Morning Room

Bedroom 2

Service Stair

Library

Lower Kitchen/Balcony

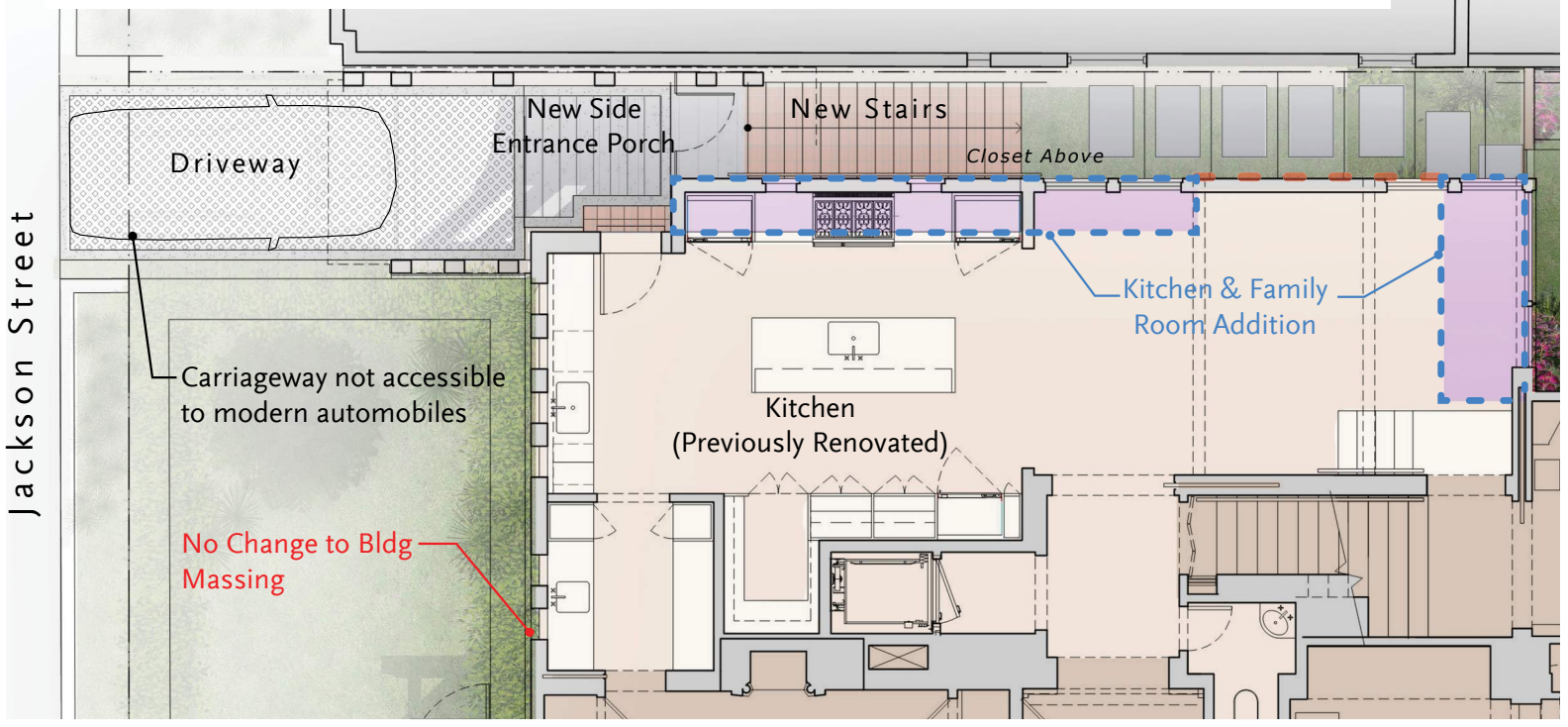
Laundry Addition

Closet Under Stair

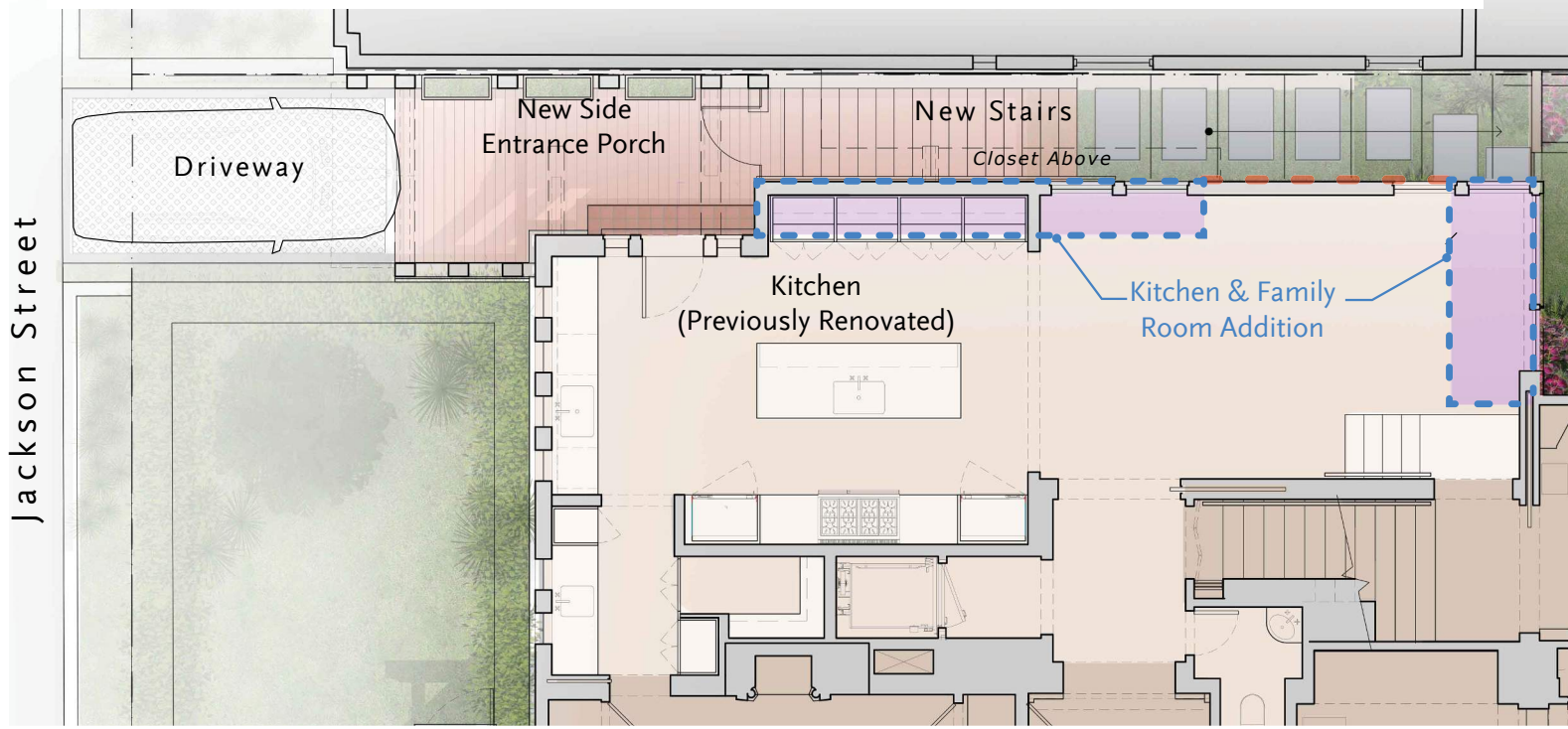
Neighbor

Carriageway Design Progress with Feedback from Planning

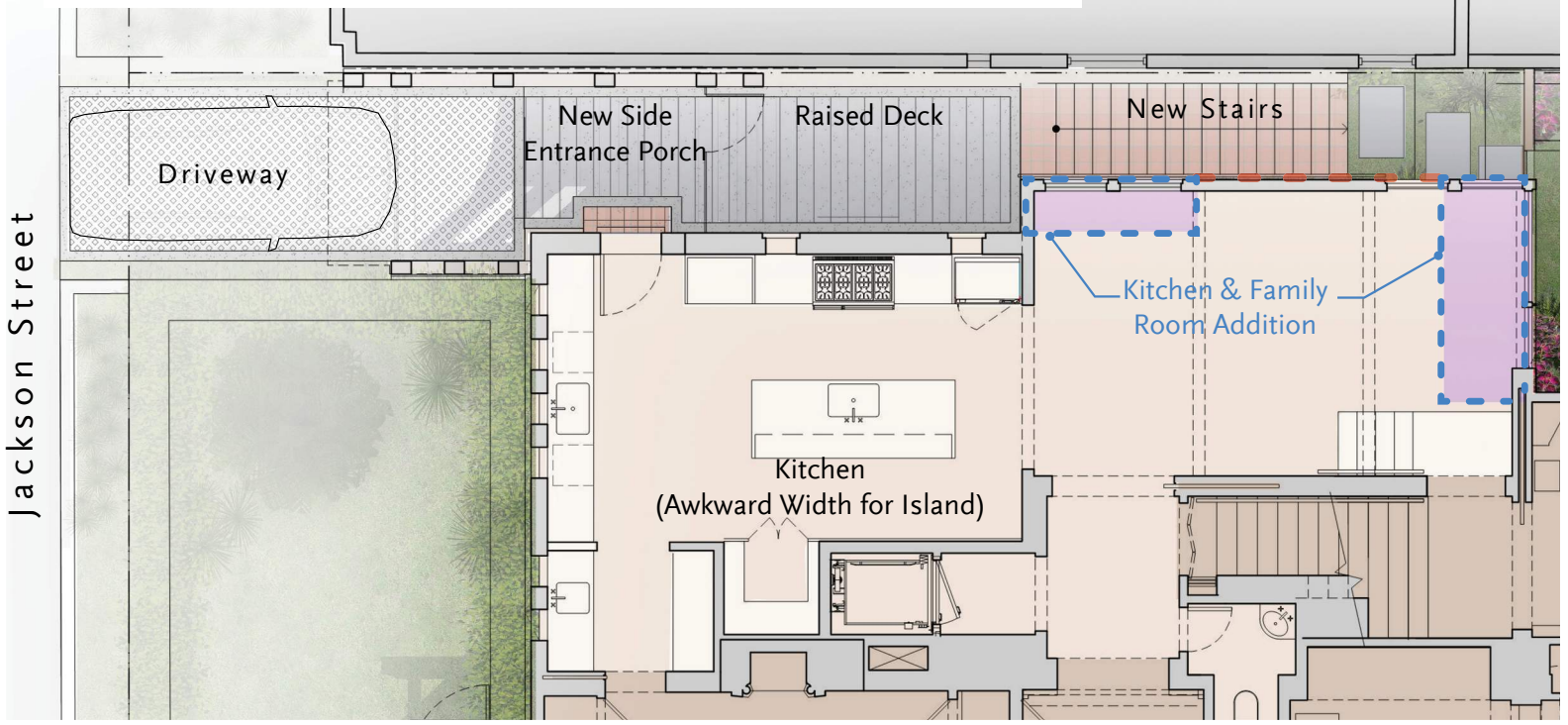
Main Level Plan - Revised Submission per Planning's Comments



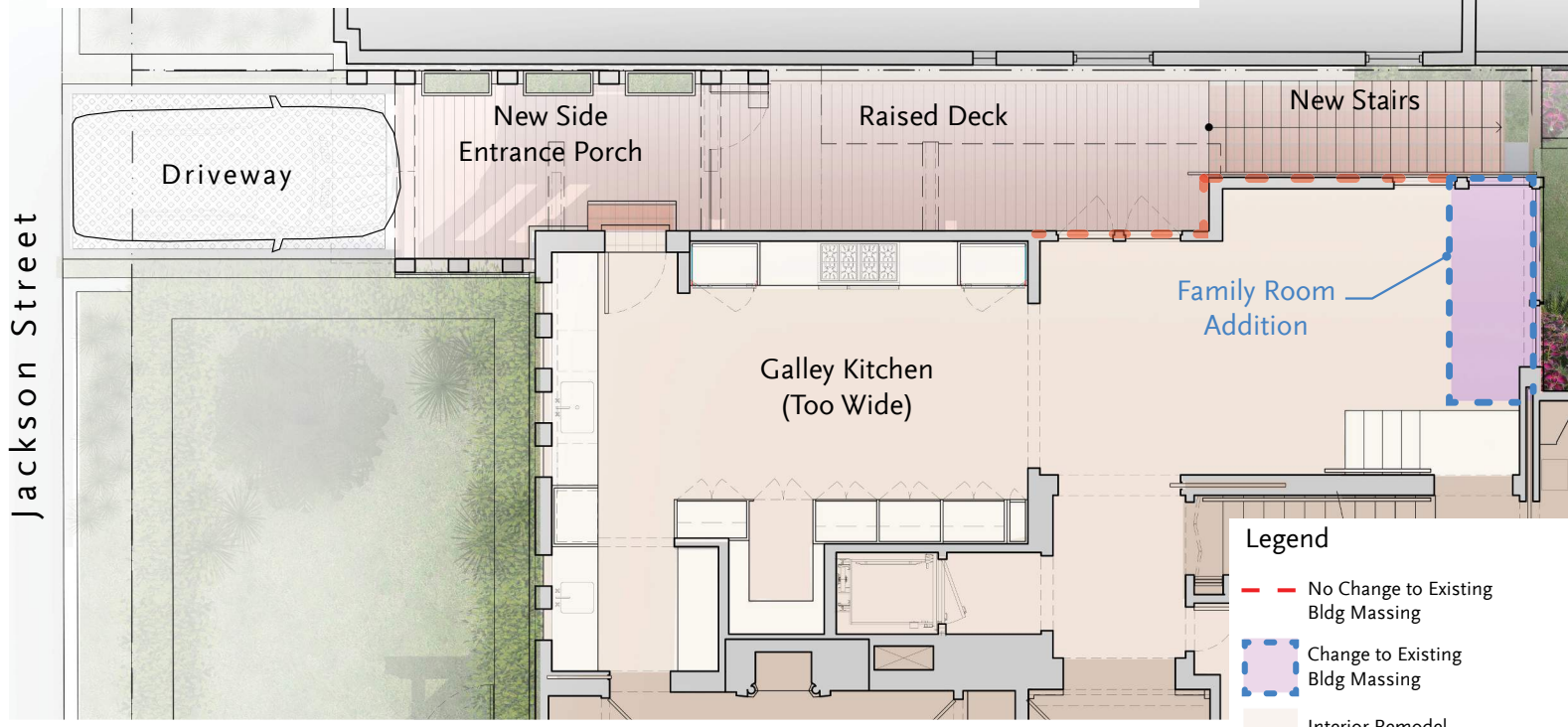
Main Level Plan - Alt 1 - Creates Connected Kitchen & Family Areas



Main Level Plan - Alt 2 - Restricted Family Area



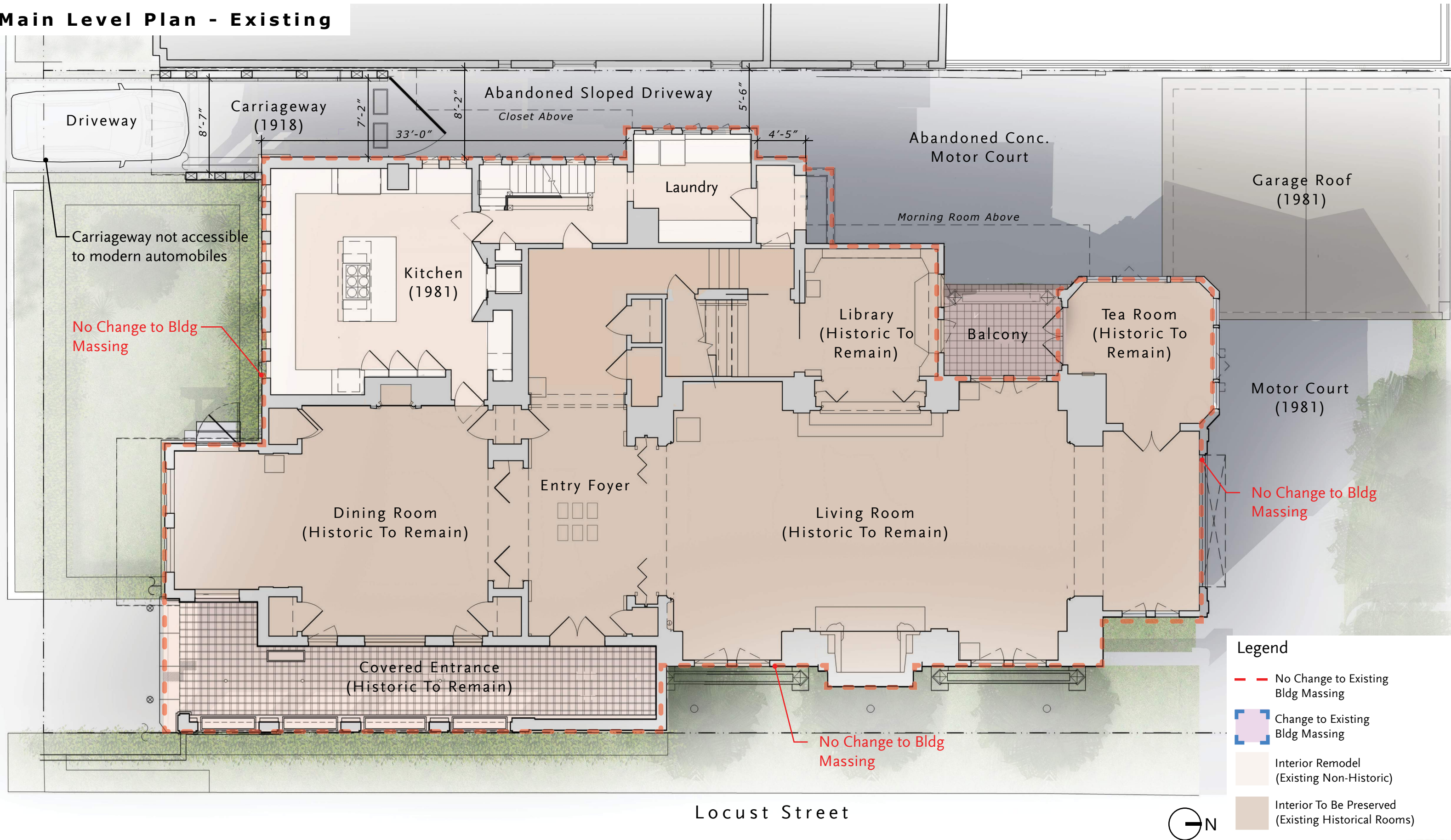
Main Level Plan - Alt 3 - Most Restricted Family Area



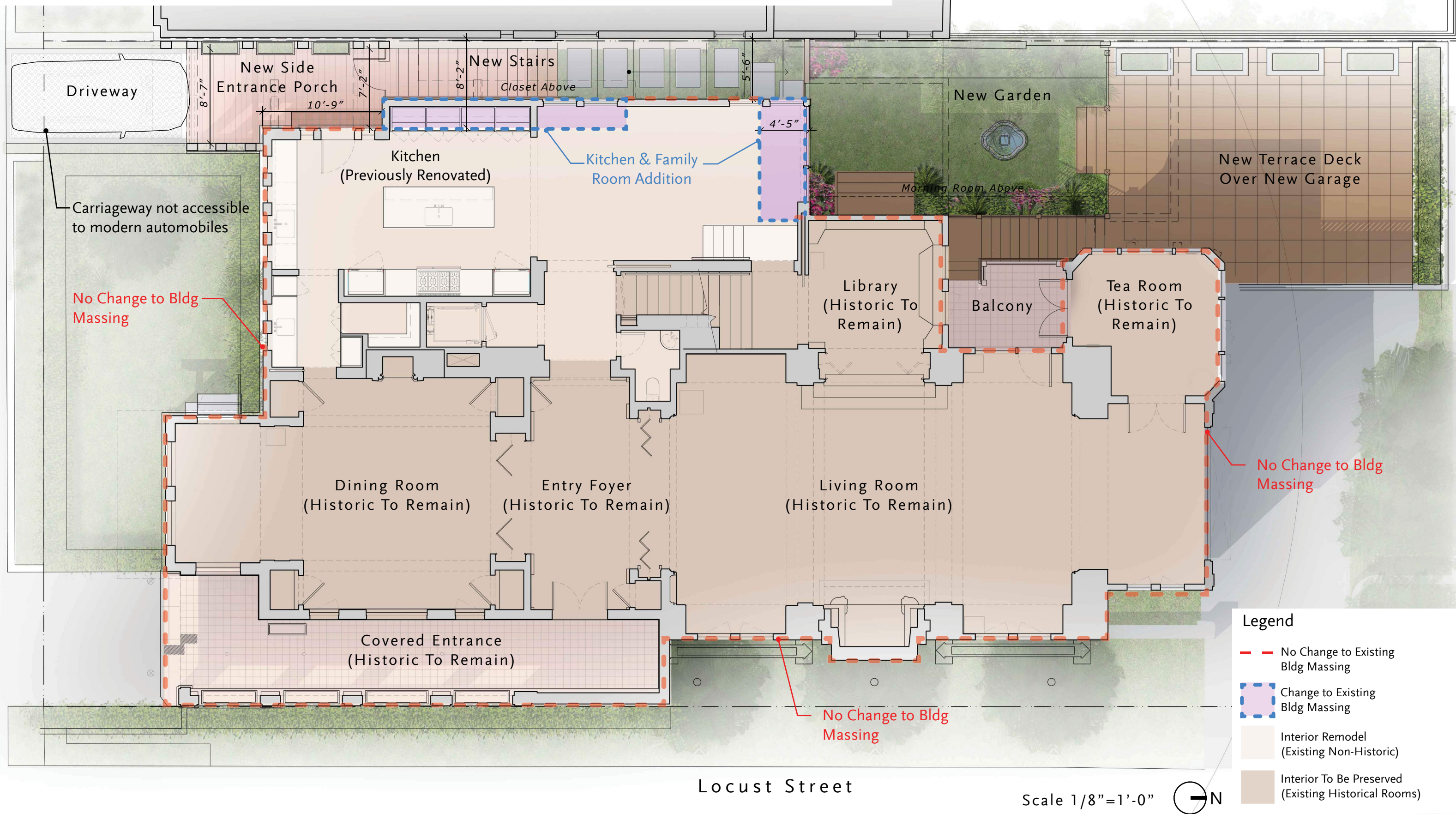
- Legend**
- No Change to Existing Bldg Massing
 - Change to Existing Bldg Massing
 - Interior Remodel (Existing Non-Historic)
 - Interior To Be Preserved (Existing Historical Rooms)



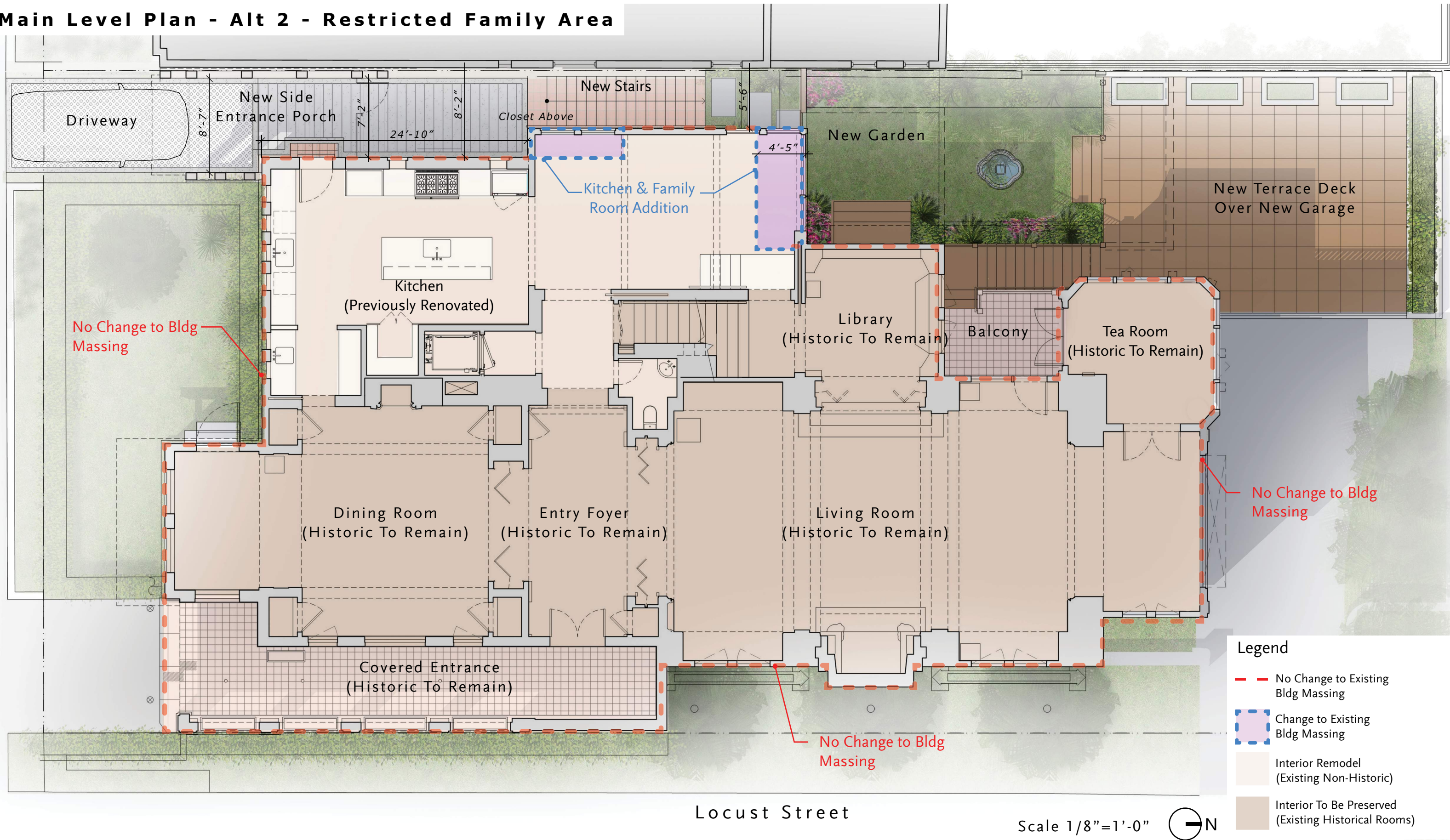
Main Level Plan - Existing



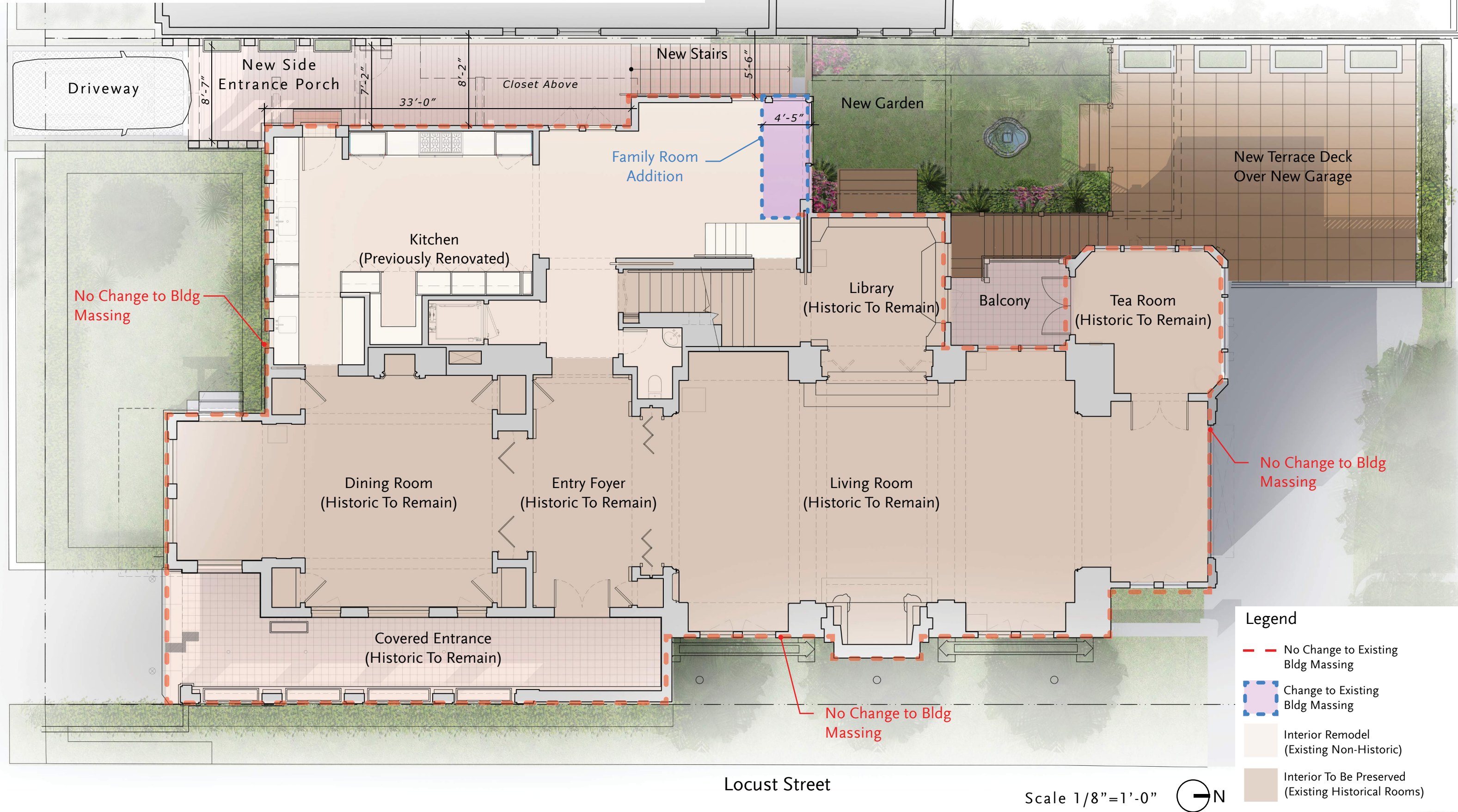
Main Level Plan - Alt 1 - Creates Connected Kitchen & Family Areas



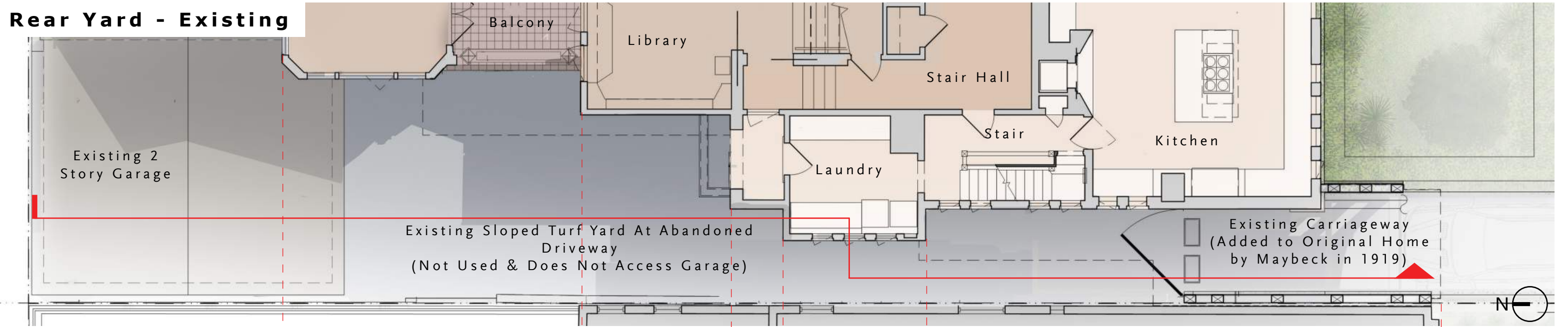
Main Level Plan - Alt 2 - Restricted Family Area



Main Level Plan - Alt 3 - Most Restricted Family Area

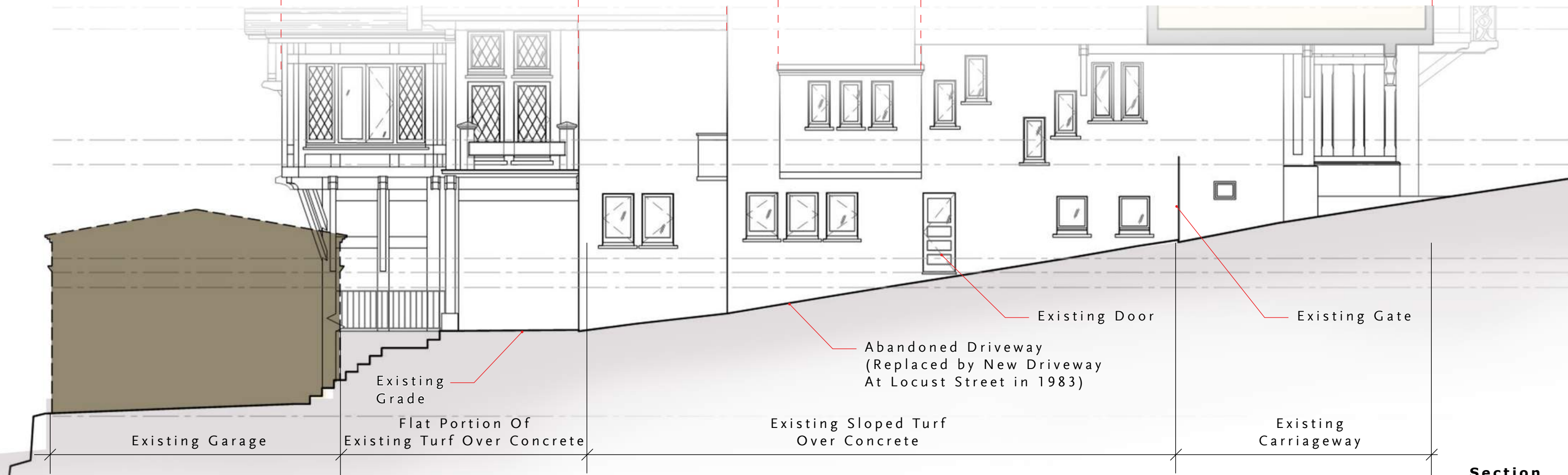


Rear Yard - Existing



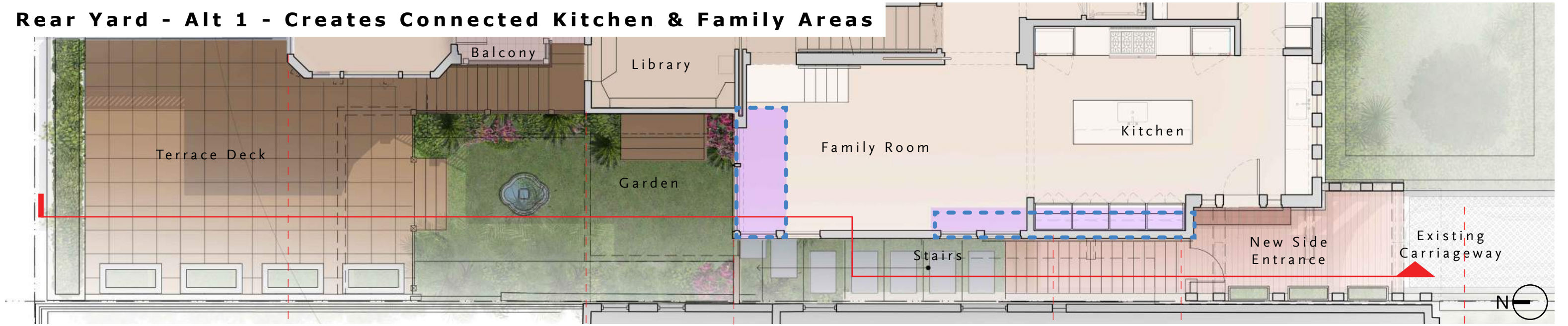
Plan

Scale 1/8"=1'-0"



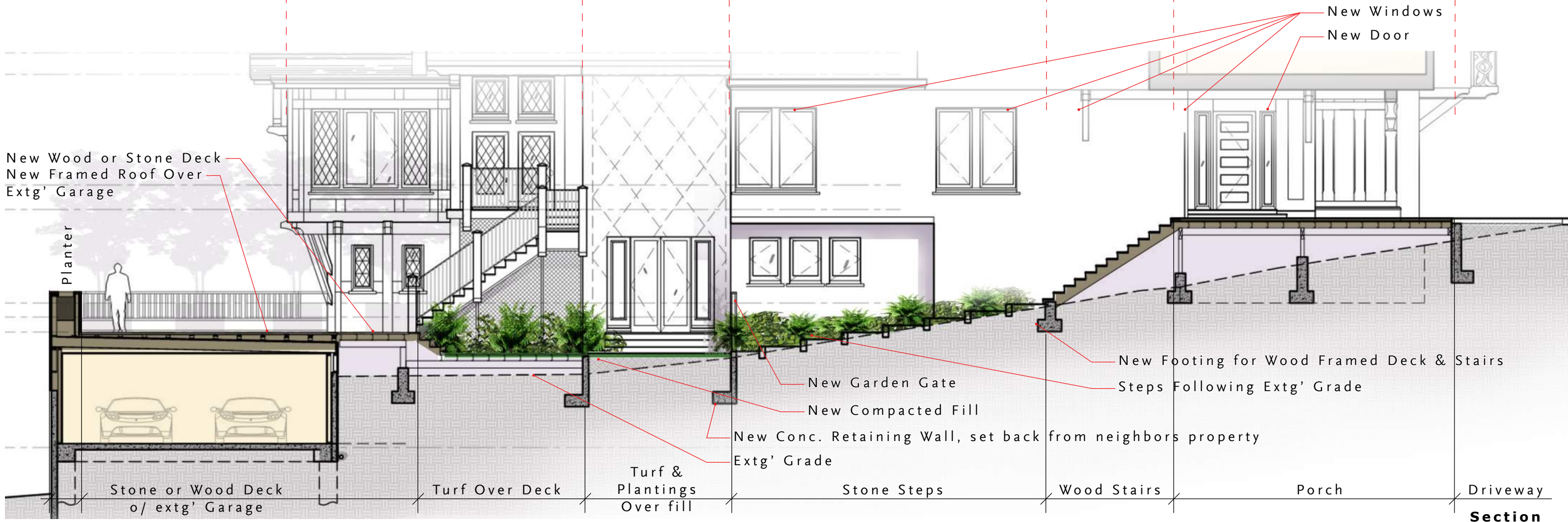
Section

Rear Yard - Alt 1 - Creates Connected Kitchen & Family Areas



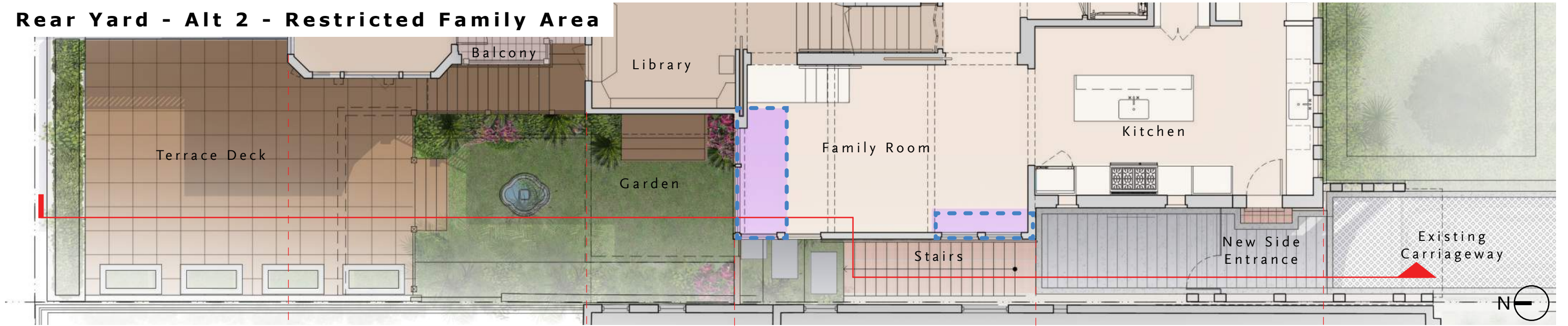
Plan

Scale 1/8"=1'-0"



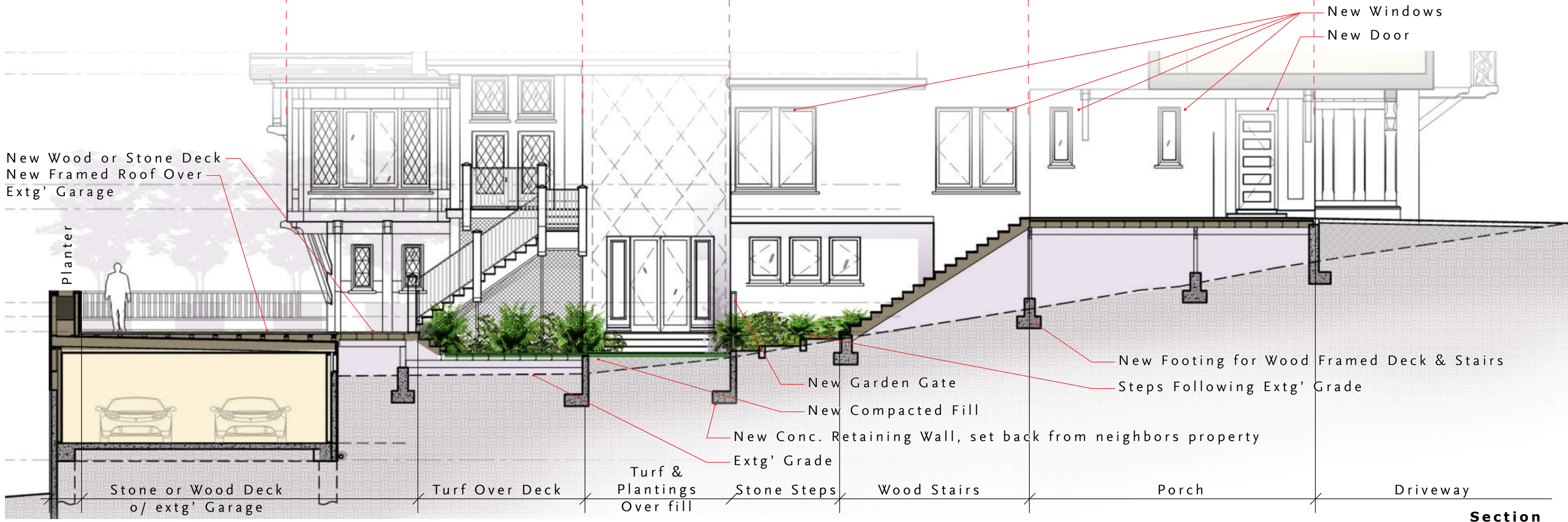
Section

Rear Yard - Alt 2 - Restricted Family Area



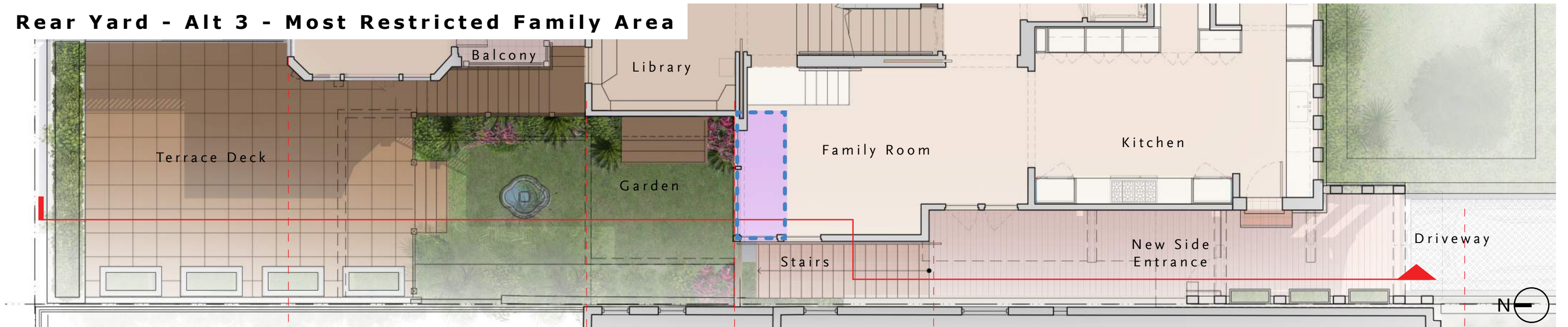
Plan

Scale 1/8"=1'-0"



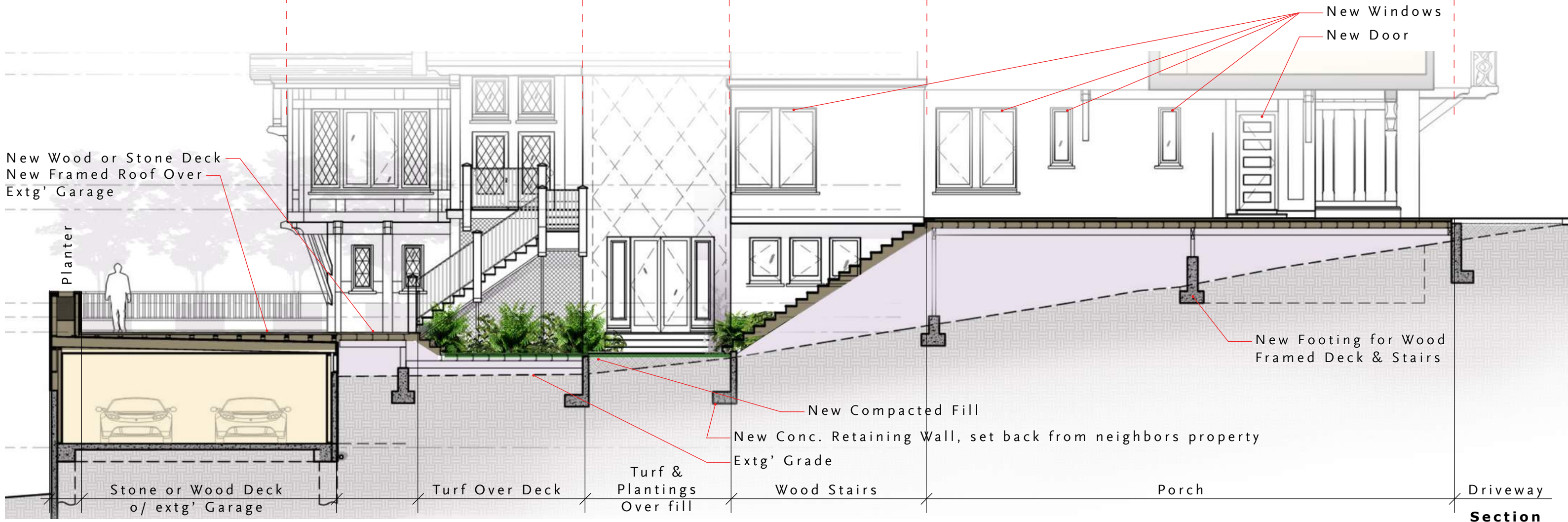
Section

Rear Yard - Alt 3 - Most Restricted Family Area



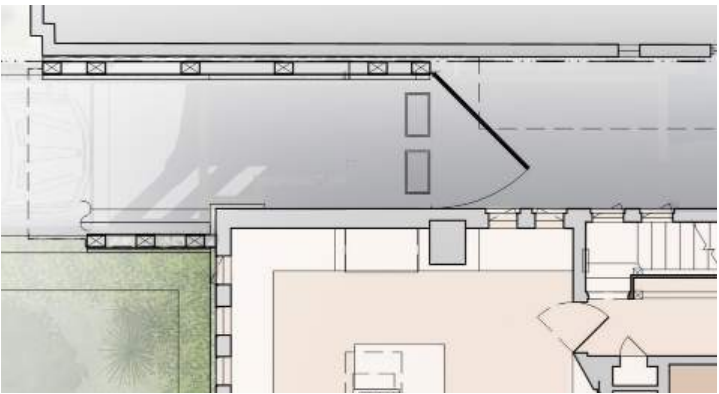
Plan

Scale 1/8"=1'-0"



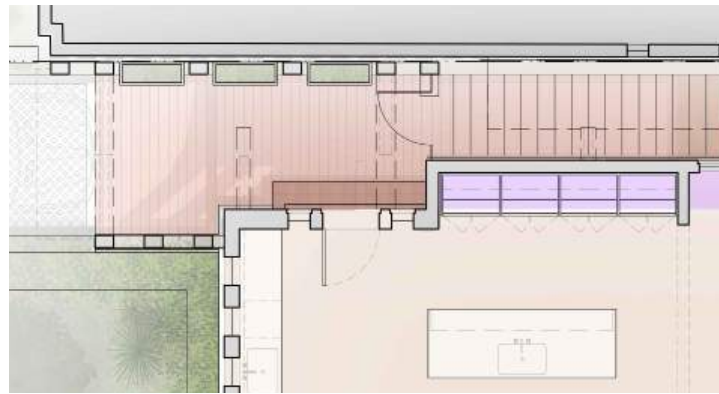
Section

Existing Carriageway



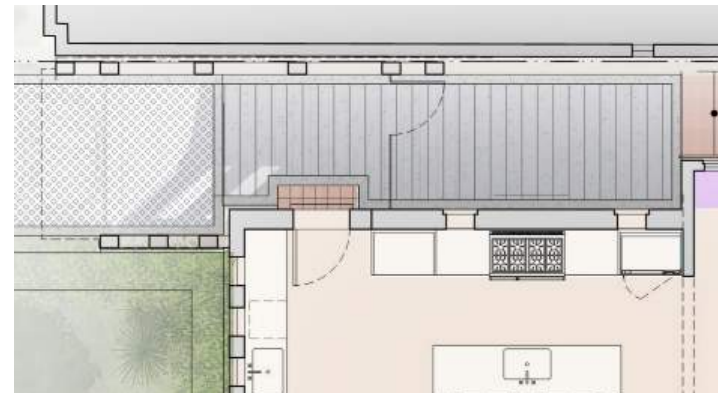
Original Abandoned Carriageway

Alt 1



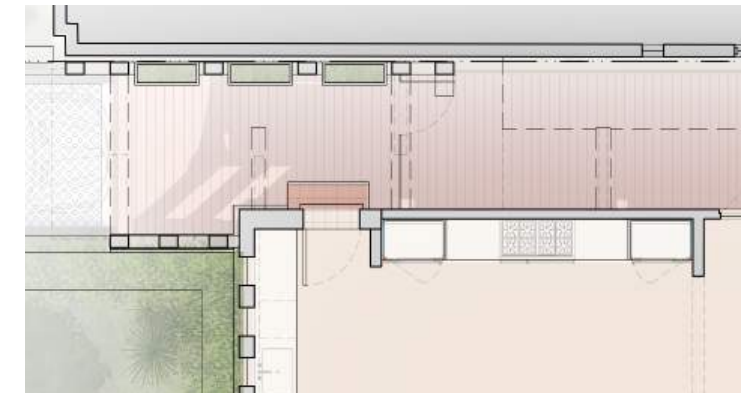
Creates Connected Kitchen and Family Areas

Alt 2



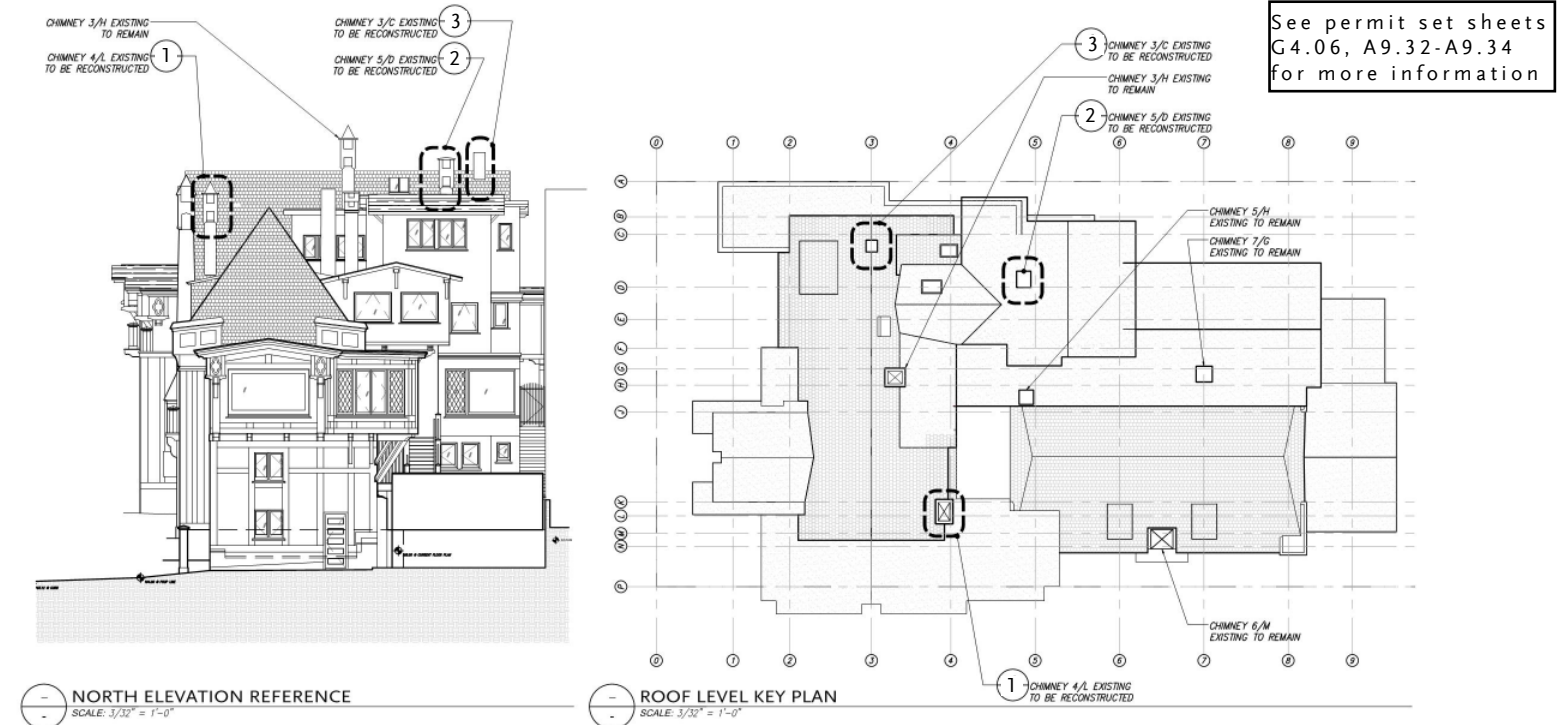
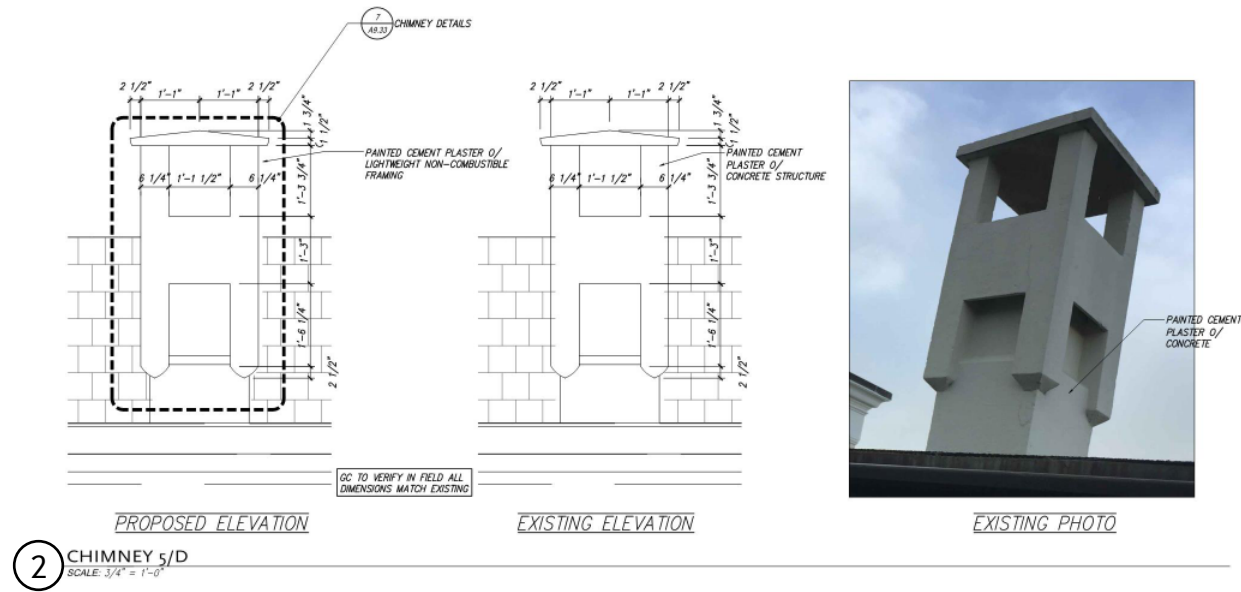
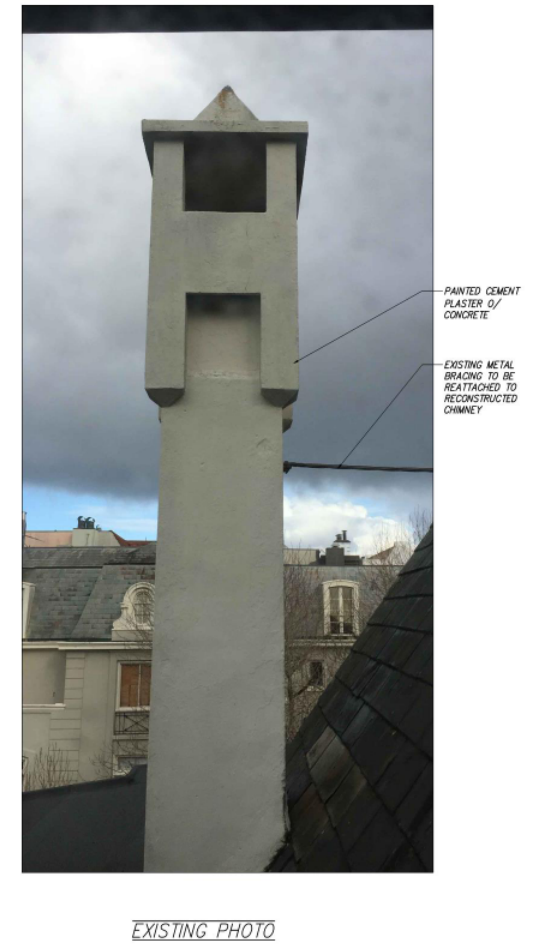
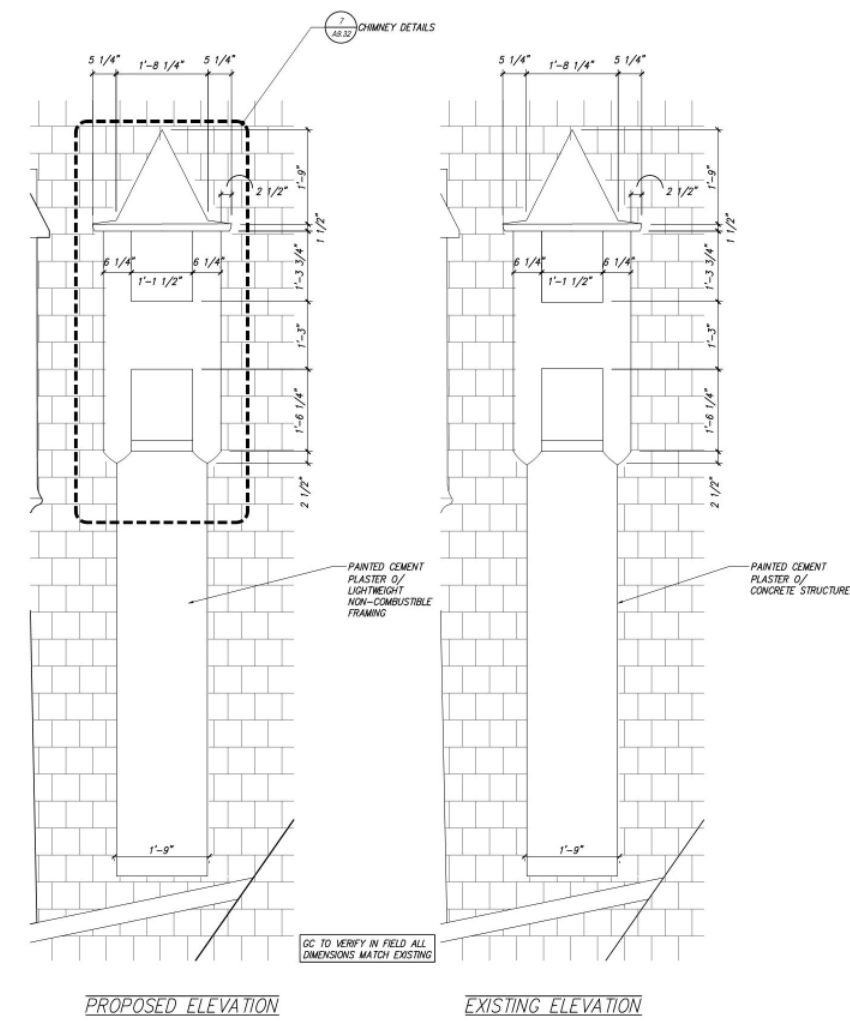
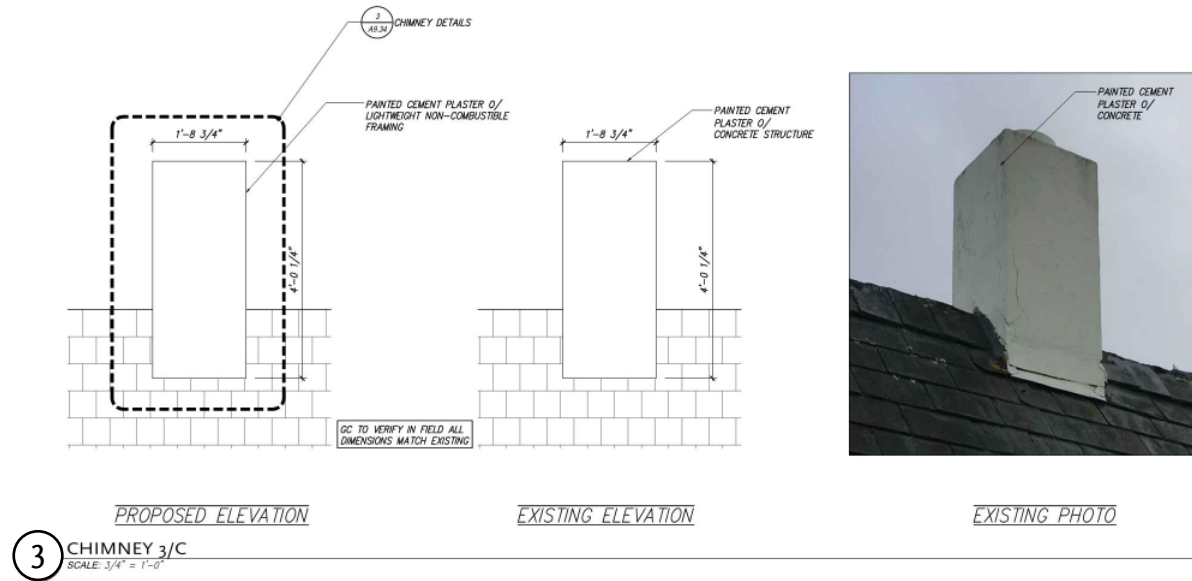
Restricted Family Area

Alt 3



Most Restricted Family Area

Chimney Reconstruction Scope

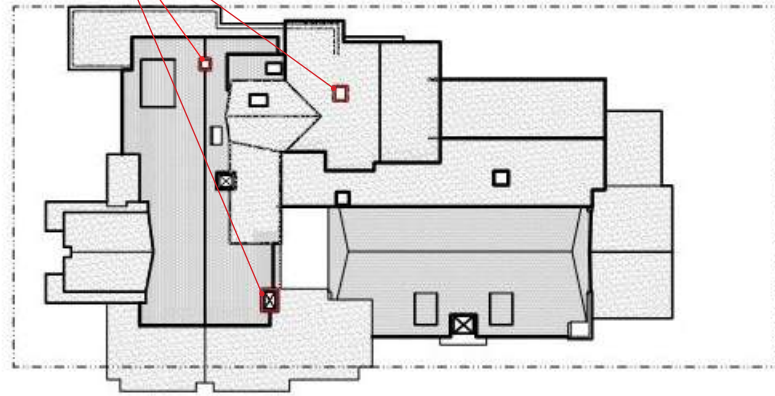


Chimney Structure Locations

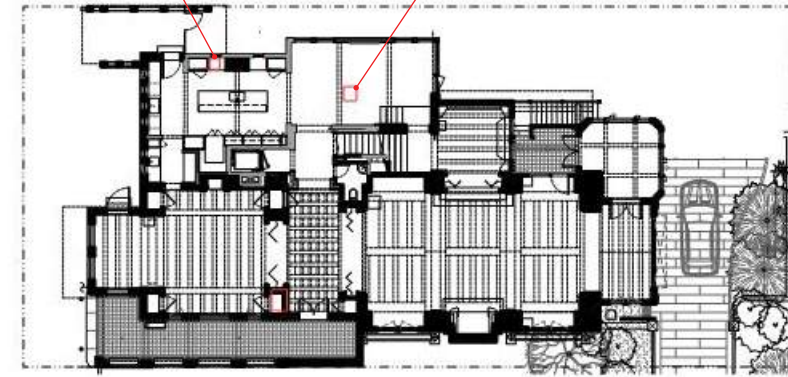
Chimneys proposed to be reconstructed

Structure conflicts with kitchen layout

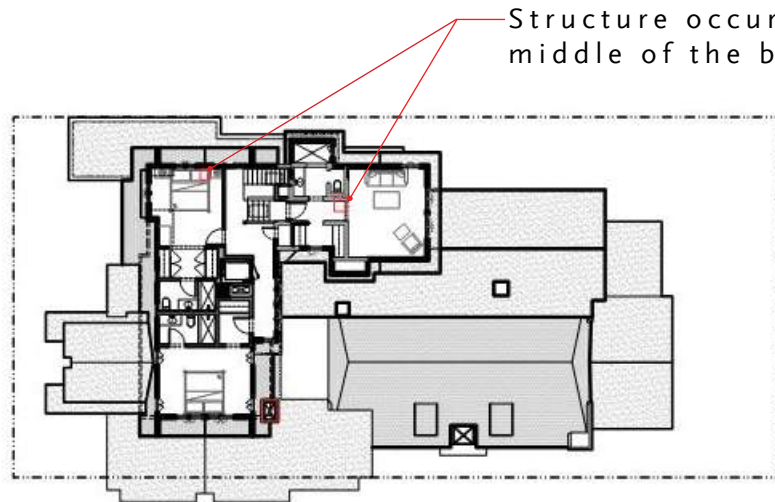
Structure occurs in the middle of the family room



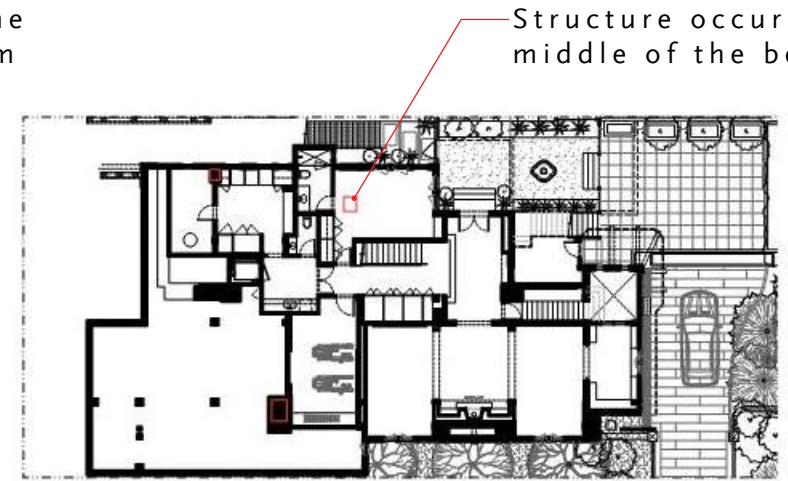
Roof Level



2nd Floor



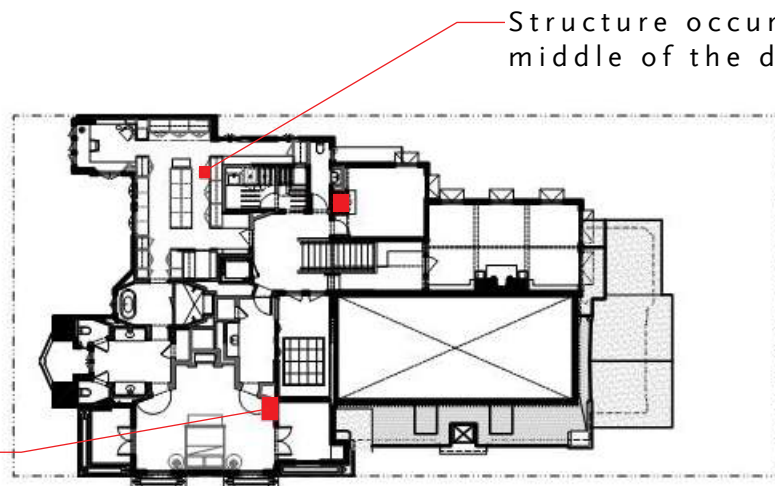
4th Floor



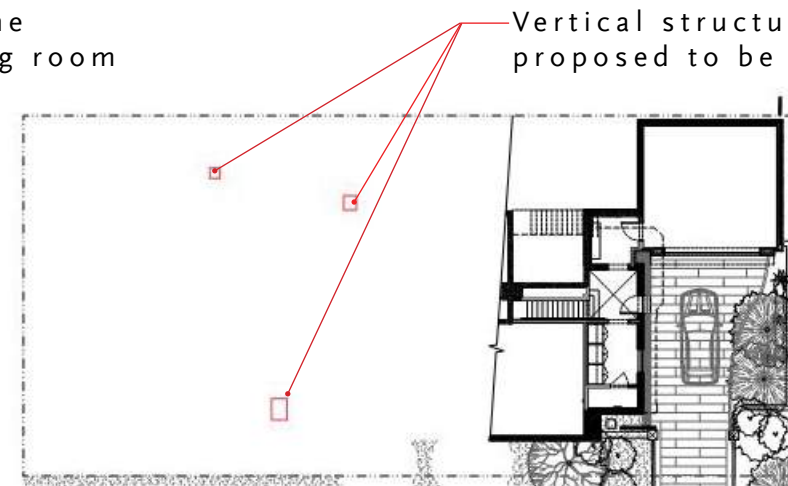
1st Floor



Chimney damaged. Structure conflicts with bedroom layout



3rd Floor



Garage Level

Structure occurs in the middle of the bedroom

Structure occurs in the middle of the bedroom

Structure occurs in the middle of the dressing room

Vertical structure of chimneys proposed to be reconstructed

See permit set sheets
G5.02 & G5.03 for
more information



Proposed Trim Profile



Existing Garage



Proposed Garage