



# SAN FRANCISCO PLANNING DEPARTMENT

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## Major Permit to Alter Case Report

HEARING DATE: JULY 17, 2019

*Filing Date:* May 7, 2019  
*Case No.:* 2019-002884PTA  
*Project Address:* 220 POST STREET  
*Conservation District:* Kearny-Market-Mason-Sutter  
*Building Category:* Category IV (Contributory Building)  
*Zoning:* C-3-R (Downtown-Retail)  
80-130-F Height and Bulk District  
*Block/Lot:* 0294/007  
*Applicant:* Koonshing Wong  
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### PROPERTY DESCRIPTION

**220 Post Street**, north side between Stockton Street and Grant Avenue, Assessor's Block 0294, Lot 007 (District 3). Historically known as the Guggenheim Building, the subject building is developed with a five-story commercial building completed in 1907 from a design by Herman Barth. The base of the Post Street façade has been significantly altered over time, although the upper levels remain largely intact with uniform bays of windows and a prominent cornice capping the structure. Although secondary in nature, the building also fronts on Campton Place. The base of this secondary façade has also been heavily modified, although it retains its historic cast iron pilasters. 220 Post is a Category IV (Contributory) Building located within the Kearny-Market-Mason-Sutter (KMMS) Conservation District, the C-3-R (Downtown Retail) Zoning District, and the 80-130-F Height and Bulk District.

### PROJECT DESCRIPTION

As proposed, the project would result in repainting of existing windows and exterior surfaces, as well as replacement of non-historic storefronts and associated building elements at the ground level of both elevations. The project would also install a new roof deck and skylight, along with new, accompanying stair and elevator penthouses. The guardrail and penthouses would be at least partially visible along Campton Place as well as at its intersection with Stockton Street. Much of the stair up to the roof would be open, with the stair penthouse being sculpted to reduce its massing as much as feasible.

Please note that while this proposal must be brought before the full Historic Preservation Commission due to the construction of a new rooftop penthouse and other visible rooftop appurtenances, the

repainting/refurbishing of windows and exterior surfaces as well as most all work at the base of the building (replacement of non-historic storefronts, new security lights and signage) was previously approved pursuant to a staff delegated Minor Permit to Alter (Case No. 2017-014849PTA). As those aspects of the project remain virtually unchanged and the Minor Permit to Alter has been included as an exhibit, the analysis contained in this case report is limited to the compatibility of the proposed rooftop elements.

## COMPLIANCE WITH THE PLANNING CODE PROVISIONS

The proposed project is in compliance with all other provisions of the Planning Code.

## APPLICABLE PRESERVATION STANDARDS

### ARTICLE 11

Pursuant to Section 1110 of the Planning Code, unless delegated to Planning Department Preservation staff through the Minor Permit to Alter process pursuant to Section 1111.1 of the Planning Code, the Historic Preservation Commission is required to review any applications for the construction, alteration, removal, or demolition for Significant buildings, Contributory buildings, or any building within a Conservation District. In evaluating a request for a Permit to Alter, the Historic Preservation Commission must find that the proposed work is in compliance with the *Secretary of the Interior's Standards for the Treatment of Historic Properties*, Section 1111.6 of the Planning Code, as well as the designating Ordinance and any applicable guidelines, local interpretations, bulletins, related appendices, or other policies.

### SECTION 1111.6 OF THE PLANNING CODE

Section 1111.6 of the Planning Code outline the specific standards and requirements the Historic Preservation Commission shall use when evaluating Permits to Alter. These standards, in relevant part(s), are listed below:

- (a) The proposed alteration shall be consistent with and appropriate for the effectuation of the purposes of this Article 11.

*The proposed project is consistent with Article 11.*

- (b) The proposed work shall comply with the Secretary of the Interior's Standards for the Treatment of Historic Properties for significant and contributory buildings.

*The proposed project complies with the Secretary of the Interior's Standards for the Treatment of Historic Properties.*

- (c) Proposed alterations of structural elements and exterior features shall be consistent with the architectural character of the building.

*All alterations to exterior features are consistent with the architectural character of the building.*

## THE SECRETARY OF THE INTERIOR'S STANDARDS

Rehabilitation is the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features that convey its historical, cultural, or architectural values. The Rehabilitation Standards provide, in relevant part(s):

**Standard 1:** A property would be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.

*The project would not result in a change to the property's historic commercial use.*

**Standard 2:** The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

*The existing flat roof is utilitarian in nature and does not possess any character-defining features; therefore, no historic materials or features would be removed as a result of this project.*

**Standard 3:** Each property would be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, would not be undertaken.

*No conjectural features would be added. The penthouses would be simple and functional in character, while the proposed glazed railing behind the Campton Place parapet is clearly of its time and would not create a false sense of historical development.*

**Standard 5:** Distinctive features, finishes, and construction techniques or examples of fine craftsmanship that characterize a property would be preserved.

*The existing flat roof is utilitarian in nature and does not possess any character-defining features; therefore, no historic materials or features would be removed as a result of this project.*

**Standard 9:** New additions, exterior alterations, or related new construction would not destroy historic materials, features, and spatial relationships that characterize the property. The new work would be differentiated from the old and would be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

*No historic materials or features characterizing the property would be destroyed as the existing roof is utilitarian in nature and does not possess any character-defining features. Most alterations would have no visibility from the surrounding public rights-of-way; this includes the new skylight, roof deck, planters, mechanical equipment, and all glass guardrail other than that near the northern (Campton Place) end of the building. Although that portion of guard rail, as well as the new stair and elevator penthouses would be partially visible when viewed along Campton Place, these elements would be compatible with the property, would only be visible at the secondary facade, and would not diminish the subject building's integrity nor that of the surrounding district.*

*The elevator penthouse would be substantially setback from the Campton Place facade, while the significantly shorter guardrail and stair are also—albeit slightly—setback, allowing all these project elements to read as subordinate. Painted to match the adjacent structure, the cement board-clad penthouses would recede from view. Finally, visible penthouses (even those that are original or have existed for decades) are not uncommon within the district with numerous examples found in the surrounding blocks. The new penthouses would be compatible with the simple, utilitarian character of these typical building elements with the glass guardrail being more contemporary in character. This use of a glazed guardrail allows view through the railing and allows it to blend with the sky, thereby maintaining the masonry structure's overall sense of weight and solidity. While not proposed due to the project sponsor's safety concerns, an open cable railing would accomplish this*

*as well with Department staff finding that either approach would meet the Secretary of the Interior's Standards in this case.*

**Standard 10:** New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

*The essential form and integrity of the building and district would be unimpaired were the skylight, deck, railing and penthouses to be removed in the future and a full flat roof reinstalled.*

## **PUBLIC/NEIGHBORHOOD INPUT**

The Department has received no public input on the project at the date of this report.

## **STAFF ANALYSIS**

Based on the requirements of Article 11 and the Secretary of the Interior's Standards, staff has determined that the proposed work is compatible with the character-defining features of the subject property and the Kearny-Market-Mason-Sutter Conservation District.

Most alterations would have no visibility from the surrounding public rights-of-way; this includes the new skylight, roof deck, planters, mechanical equipment, and all glass guardrail other than that near the northern (Campton Place) end of the building. Although that portion of guard rail, as well as the new stair and elevator penthouses would be partially visible when viewed along Campton Place, these elements would be compatible with the property, would only be visible at the secondary facade, and would not diminish the subject building's integrity nor that of the surrounding district.

The elevator penthouse would be substantially setback from the Campton Place façade, while the significantly shorter guardrail and stair are also—albeit slightly—setback, allowing all these project elements to read as subordinate. Painted to match the adjacent structure, the cement board-clad penthouses would recede from view. Finally, visible penthouses (even those that are original or have existed for decades) are not uncommon within the district with numerous examples found in the surrounding blocks. The new penthouses would be compatible with the simple, utilitarian character of these typical building elements with the glass guardrail being more contemporary in character. This use of a glazed guardrail allows view through the railing and allows it to blend with the sky, thereby maintaining the masonry structure's overall sense of weight and solidity. While not proposed due to the project sponsor's safety concerns, an open cable railing would accomplish this as well with Department staff finding that either approach would meet the Secretary of the Interior's Standards in this case.

Staff therefore recommends approval of the project, with conditions as listed below.

## **ENVIRONMENTAL REVIEW STATUS**

The Planning Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15301 (Class One-Minor Alteration of Existing facility) because the project is a minor alteration of an existing structure and meets the *Secretary of the Interior's Standards*.



## PLANNING DEPARTMENT RECOMMENDATION

Planning Department staff recommends APPROVAL WITH CONDITIONS of the proposed project as it appears to meet the provisions of Article 11 of the Planning Code regarding a Major Alteration to a Category IV (Contributory) Property located within a Conservation District and the *Secretary of the Interior Standards for Rehabilitation*.

- As part of Building Permit implementation, the Project Sponsor shall provide final details and finish/material samples to Planning Department preservation staff for review and approval.

## ATTACHMENTS

Draft Motion  
Parcel Map  
Sanborn Map  
Aerial Photo  
Site Photos  
Project Plans  
Story Pole Mock-up  
Minor Permit to Alter, Case No. 2017-014849PTA



# SAN FRANCISCO PLANNING DEPARTMENT

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## Historic Preservation Commission Motion No. XXXX Permit to Alter MAJOR ALTERATION

*Case No.:* 2019-002884PTA  
*Project Address:* 220 POST STREET  
*Conservation District:* Kearny-Market-Mason-Sutter  
*Building Category:* Category IV (Contributory Building)  
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**ADOPTING FINDINGS FOR A PERMIT TO ALTER FOR MAJOR ALTERATIONS DETERMINED TO BE APPROPRIATE FOR AND CONSISTENT WITH THE PURPOSES OF ARTICLE 11, TO MEET THE SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION, FOR THE CATEGORY IV (CONTRIBUTORY) BUILDING LOCATED ON LOT 007 IN ASSESSOR'S BLOCK 0244. THE SUBJECT PROPERTY IS WITHIN A C-3-R (DOWNTOWN-RETAIL) ZONING DISTRICT, AN 80-130-F HEIGHT AND BULK DISTRICT, AND THE KEARNY-MARKET-MASON-SUTTER CONSERVATION DISTRICT.**

### **PREAMBLE**

WHEREAS, on May 7, 2019, project sponsor Koonshing Wong ("Applicant") filed an application with the San Francisco Planning Department ("Department") for a Permit to Alter to refurbish and retain existing window, replace ground floor storefronts, and install a new roof deck, rooftop elevator and stair penthouses, and a skylight. The subject building is located on Lot 007 in Assessor's block 0294 and is a Category IV (Contributory) building located within the Kearny-Market-Mason-Sutter Conservation District.

WHEREAS, the Project was determined by the Department to be categorically exempt from environmental review. The Historic Preservation Commission ("Commission") has reviewed and concurs with said determination.

WHEREAS, on July 17, 2019, the Commission conducted a duly noticed public hearing on a Permit to Alter application No. 2019-002884PTA (“Project”).

WHEREAS, in reviewing the application, the Commission has had available for its review and consideration case reports, plans, and other materials pertaining to the Project contained in the Department's case files, and has reviewed and heard testimony and received materials from interested parties during the public hearing on the Project.

**MOVED**, that the Commission hereby **APPROVES** the Permit to Alter, in conformance with the architectural plans labeled Exhibit A on file in the docket for Case No. 2019-002884PTA based on the following conditions and findings:

### **CONDITIONS OF APPROVAL**

- As part of Building Permit implementation, the Project Sponsor shall provide final details and finish/material samples to Planning Department preservation staff for review and approval.

### **FINDINGS**

Having reviewed all the materials identified in the recitals above and having heard oral testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and also constitute findings of the Commission.
2. Findings pursuant to Article 11:

The Commission has determined that the proposed work is compatible with the character-defining features of the subject building and conservation district and meets the requirements of Article 11 of the Planning Code:

- That the proposal is compatible in scale and design with the building and district;
- That the new work will utilize materials and finishes that are compatible and complimentary to the existing colors of the historic building material;
- That the proposal will not diminish any of the features that characterize the building;
- That the architectural character of the subject building will be maintained; and
- The proposed project meets the following *Secretary of the Interior's Standards for Rehabilitation*:

***Standard 1.***

*A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.*

***Standard 2.***

*The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*

**Standard 3.**

*Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.*

**Standard 5.**

*Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.*

**Standard 9.**

*New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.*

**Standard 10.**

*New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

3. **General Plan Compliance.** The proposed Permit to Alter is, on balance, consistent with the following Objectives and Policies of the General Plan:

I. URBAN DESIGN ELEMENT

THE URBAN DESIGN ELEMENT CONCERNS THE PHYSICAL CHARACTER AND ORDER OF THE CITY, AND THE RELATIONSHIP BETWEEN PEOPLE AND THEIR ENVIRONMENT.

GOALS

*The Urban Design Element is concerned both with development and with preservation. It is a concerted effort to recognize the positive attributes of the city, to enhance and conserve those attributes, and to improve the living environment where it is less than satisfactory. The Plan is a definition of quality, a definition based upon human needs.*

OBJECTIVE 1

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

POLICY 1.3

*Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.*

OBJECTIVE 2

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

*POLICY 2.4*

*Preserve notable landmarks and areas of historic, architectural or aesthetic value, and promote the preservation of other buildings and features that provide continuity with past development.*

*POLICY 2.5*

*Use care in remodeling of older buildings, in order to enhance rather than weaken the original character of such buildings.*

*POLICY 2.7*

*Recognize and protect outstanding and unique areas that contribute in an extraordinary degree to San Francisco's visual form and character.*

The goal of a Permit to Alter is to provide additional oversight for buildings and districts that are architecturally or culturally significant to the City in order to protect the qualities that are associated with that significance.

The proposed project qualifies for a Permit to Alter and therefore furthers these policies and objectives by maintaining and preserving the character-defining features of the subject property for the future enjoyment and education of San Francisco residents and visitors.

4. The proposed project is generally consistent with the eight General Plan priority policies set forth in Section 101.1 in that:

- A) The existing neighborhood-serving retail uses will be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses will be enhanced:

*The proposed project will have no effect on existing neighborhood-serving retail uses.*

- B) The existing housing and neighborhood character will be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods:

*The proposed project will strengthen neighborhood character by respecting the character-defining features of the historic building in conformance with the Secretary of the Interior's Standards.*

- C) The City's supply of affordable housing will be preserved and enhanced:

*The project will not affect the City's affordable housing supply.*

- D) The commuter traffic will not impede MUNI transit service or overburden our streets or neighborhood parking:

*The proposed project will not result in commuter traffic impeding MUNI transit service or overburdening the streets or neighborhood parking.*

- E) A diverse economic base will be maintained by protecting our industrial and service sectors from displacement due to commercial office development. And future opportunities for resident employment and ownership in these sectors will be enhanced:

*The proposed project is for building alterations only and will not change the use of the existing building, therefore having no effect on industrial and service sector jobs.*

- F) The City will achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

*All construction will be executed in compliance with all applicable construction and safety measures.*

- G) That landmark and historic buildings will be preserved:

*The proposed project is in conformance with Article 11 of the Planning Code and the Secretary of the Interior's Standards.*

- H) Parks and open space and their access to sunlight and vistas will be protected from development:

*The proposed project will not affect the access to sunlight or vistas for parks and open space.*

5. For these reasons, the proposal overall, is appropriate for and consistent with the purposes of Article 11, meets the standards of Article 1111.6 of the Planning Code and complies with the *Secretary of the Interior's Standards for Rehabilitation*, General Plan and Prop M findings of the Planning Code.

**DECISION**

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES WITH CONDITIONS a Permit to Alter** for the property located at Lot 007 in Assessor's Block 0294 for proposed work in conformance with the renderings and architectural sketches labeled Exhibit A on file in the docket for Case No. 2019-002884PTA.

**APPEAL AND EFFECTIVE DATE OF MOTION:** The Commission's decision on a Permit to Alter shall be final unless appealed within thirty (30) days. Any appeal shall be made to the Board of Appeals, unless the proposed project requires Board of Supervisors approval or is appealed to the Board of Supervisors as a conditional use, in which case any appeal shall be made to the Board of Supervisors (see Charter Section 4.135). For further information, please contact the Board of Appeals in person at 1650 Mission Street, (Room 304) or call (415) 575-6880.

**Duration of this Permit to Alter:** This Permit to Alter is issued pursuant to Article 11 of the Planning Code and is valid for a period of three (3) years from the effective date of approval by the Historic Preservation Commission. The authorization and right vested by virtue of this action shall be deemed void and canceled if, within 3 years of the date of this Motion, a site permit or building permit for the Project has not been secured by Project Sponsor.

**THIS IS NOT A PERMIT TO COMMENCE ANY WORK OR CHANGE OF OCCUPANCY UNLESS NO BUILDING PERMIT IS REQUIRED. PERMITS FROM THE DEPARTMENT OF BUILDING INSPECTION (and any other appropriate agencies) MUST BE SECURED BEFORE WORK IS STARTED OR OCCUPANCY IS CHANGED.**

I hereby certify that the Historical Preservation Commission ADOPTED the foregoing Motion on July 17, 2019.

Jonas P. Ionin  
Commission Secretary

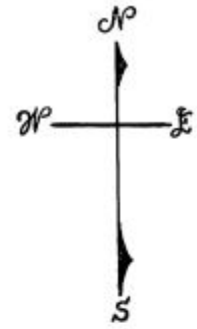
AYES: X

NAYS: X

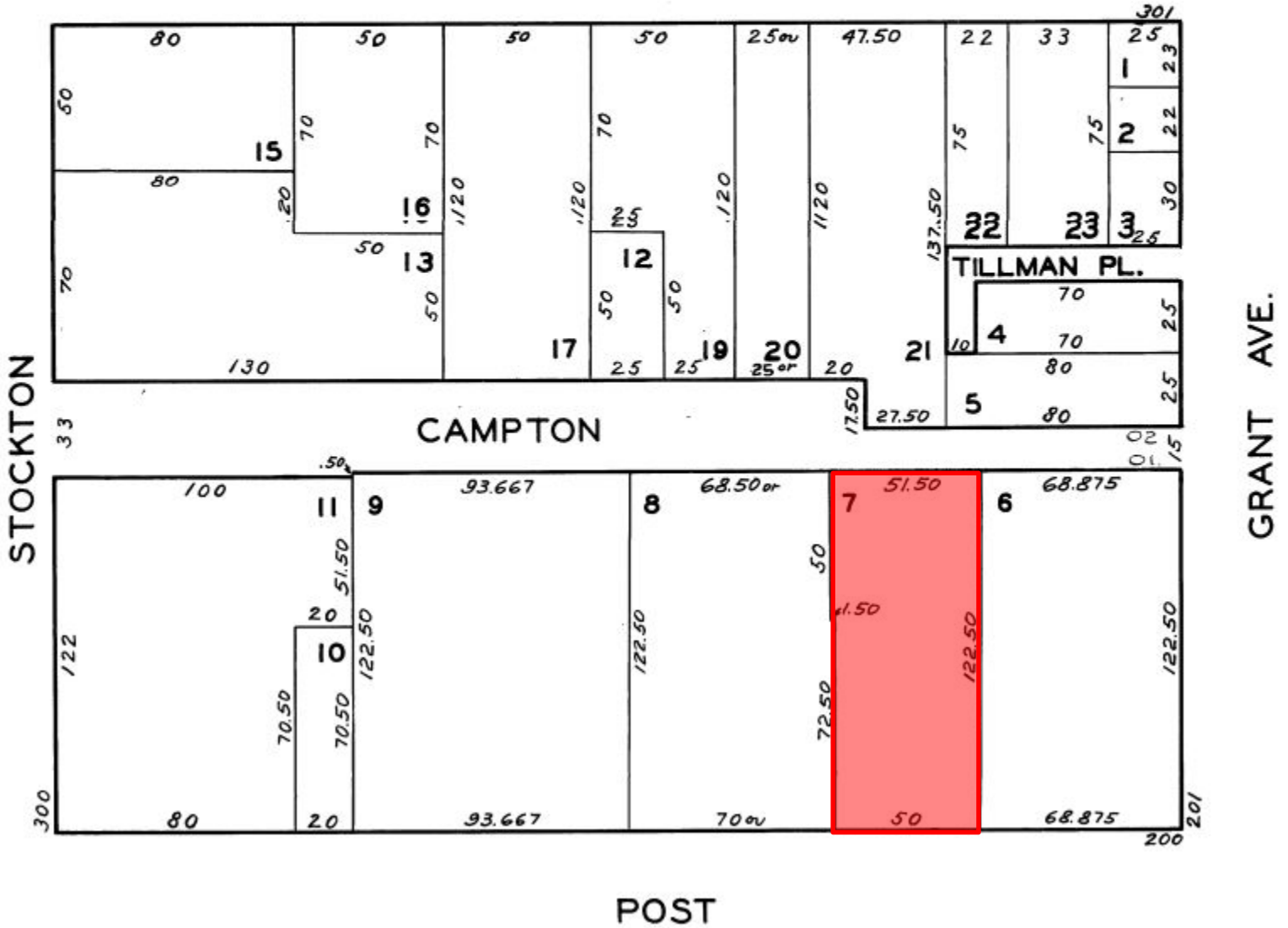
ABSENT: X

ADOPTED: July 17, 2019

# Parcel Map



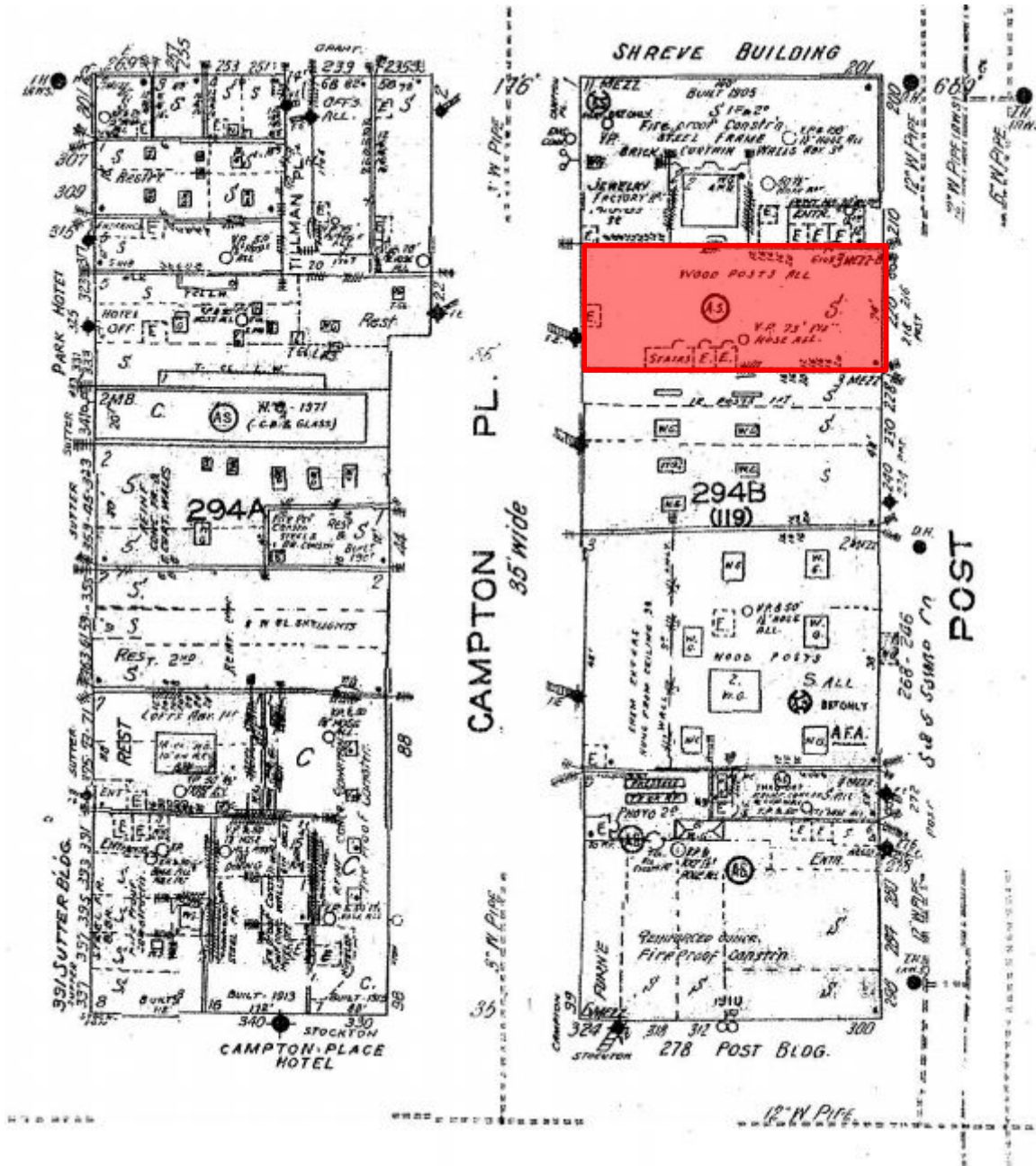
SUTTER



Permit to Alter  
Case Number 2019-002884PTA  
220 Post Street



# Sanborn Map\*

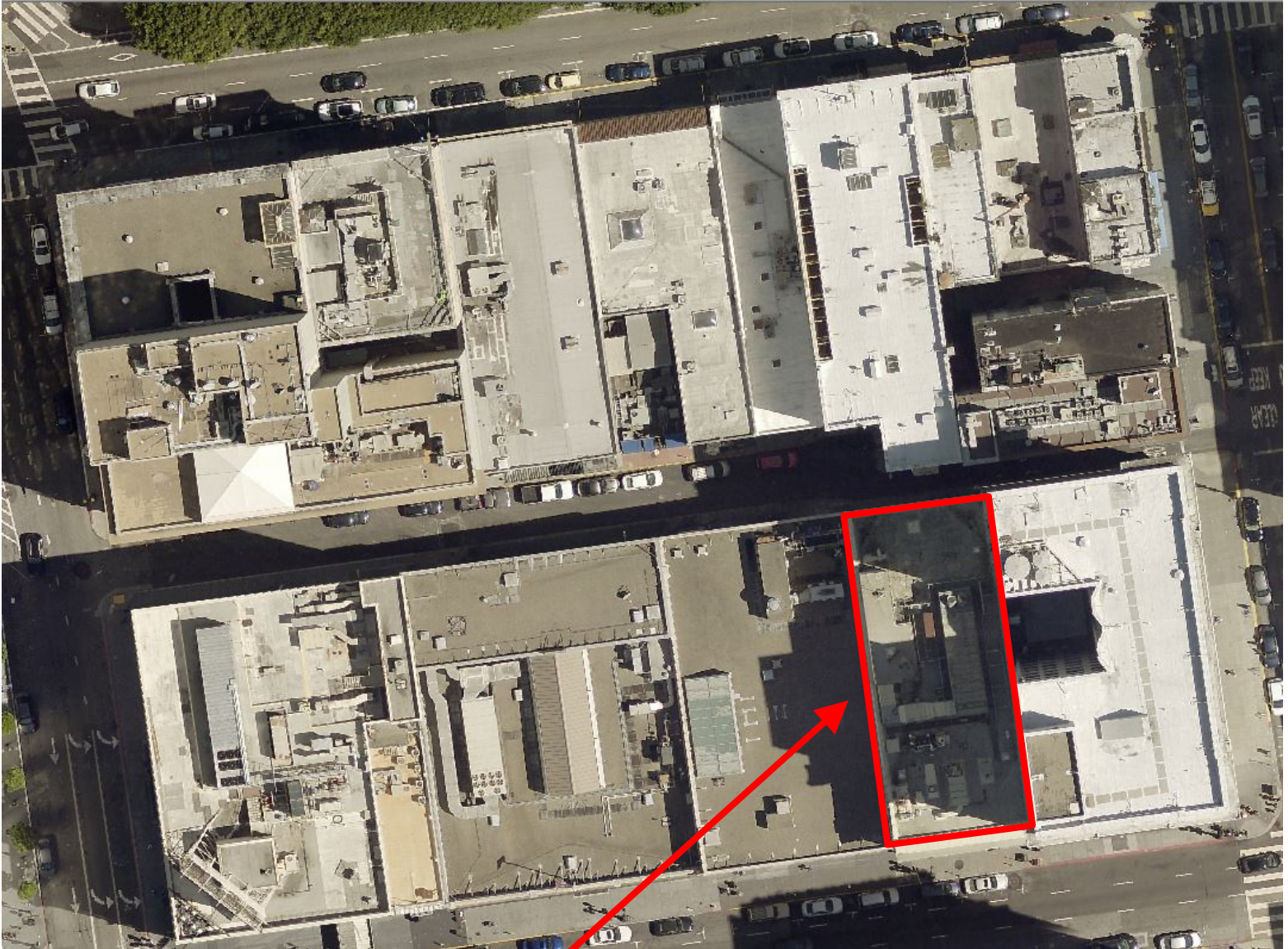


\*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Permit to Alter  
 Case Number 2019-002884PTA  
 220 Post Street

# Aerial Photograph



**SUBJECT PROPERTY**



Permit to Alter  
Case Number 2019-002884PTA  
220 Post Street



# Site Photo\*



**SUBJECT PROPERTY**

*\*South (Post Street) façade.*

Permit to Alter  
Case Number 2019-002884PTA  
220 Post Street

# Site Photo\*

SUBJECT PROPERTY



*\*North (Campton Place) elevation.*

Permit to Alter  
Case Number 2019-002884PTA  
220 Post Street



245 VALLEJO STREET  
SAN FRANCISCO, CA 94111

**220 POST STREET**  
SAN FRANCISCO, CA 94108  
ASSESSOR'S BLOCK 0294/007

**EXTERIOR PERMIT - FACADE**  
Permit Application - 08/07/2018  
Addendum #1 - 11/09/2018  
Addendum #2 - 03/08/2019  
Plan Review Comments - 06/11/2019

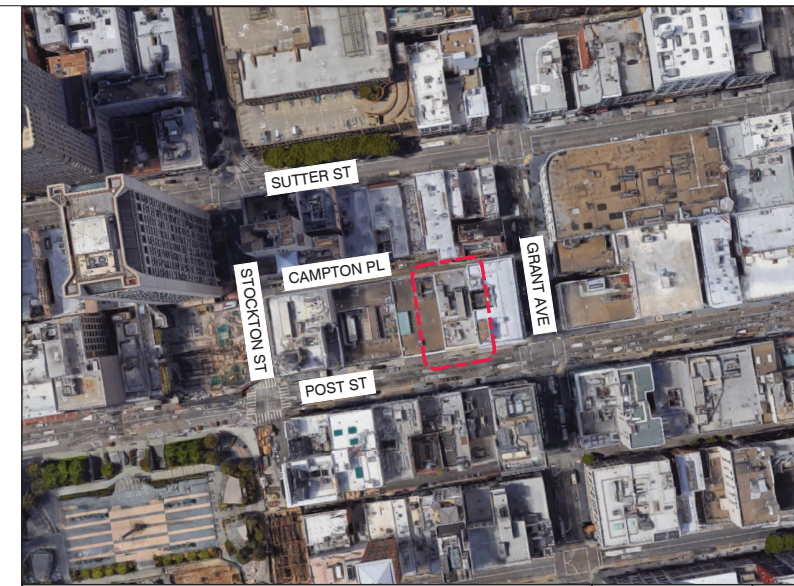


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VICINITY MAP

3

220 POST ST  
SAN FRANCISCO, CA 94108

Rev.	Date	Remarks
	06/13/2018	Permit Application
	10/05/2018	Construction Set
	11/26/2018	Preliminary Pricing
	04/26/2019	Roof Deck Pricing
	06/28/2019	Addendum 3

NOTE: If this drawing is not 24"x36" it has been resized from its original size. Scale noted on drawings/panels are no longer applicable.

Project No:

Drawing Title:

**GENERAL INFORMATION**

Sheet No:

**G-0.01**

SHEET	DESCRIPTION
G	GENERAL
	COVER PAGE
G0.00	GEN INFO INDEX
G0.02A	ALTA/ACSM SURVEY PLAN
G0.02B	UTILITY PLAN
A	ARCHITECTURAL
A1.01	PARTITION PLAN - 1ST FLOOR
A1.07	PARTITION PLAN - ROOF DECK
A1.08	PLAN - ROOF
A2.00	ELEVATION - POST STREET
A2.01	ELEVATION - POST STREET - EXISTING SITE PHOTOGRAPHS
A2.02	ELEVATION - CAMPTON PLACE
A2.03	ELEVATION - CAMPTON PLACE - EXISTING SITE PHOTOGRAPHS
A3.00	SECTION - SK1- ROOF DECK SIGHT LINE STUDY
A4.00	ENLARGED - CAMPTON PL STOREFRONT PLANS
A4.11	ENLARGED - CAMPTON PL STOREFRONT ELEVATION
A4.12	ENLARGED - CAMPTON PL STOREFRONT SECTIONS
A4.13	ENLARGED - POST ST STOREFRONT PLANS
A4.14	ENLARGED - POST ST STOREFRONT ELEVATION
A4.15	ENLARGED - POST ST STOREFRONT SECTIONS
A5.10	DETAILS - CAMPTON PL STOREFRONT
A5.11	DETAILS - CAMPTON PL STOREFRONT
A5.12	DETAILS - POST ST STOREFRONT
A5.62	DETAILS - ROOF
A5.63	DETAILS - ROOF

Plan Review Comm.	06/11/2019
Plan Review Comm.	03/08/2019
Addendum #1	11/09/2018
Permit Application	08/07/2018

**DRAWING INDEX**

**PROJECT ADDRESS**

220 POST STREET  
SAN FRANCISCO, CA 94108  
APN / PARCEL NO: 0294/007

**EXISTING + PROPOSED OCCUPANCY USE**

EXISTING OCCUPANCY USE: M  
PROPOSED OCCUPANCY USE: M (NO CHANGE)

**CONSTRUCTION CLASSIFICATION**

EXISTING TYPE OF CONSTRUCTION: 3-B  
PROPOSED TYPE OF CONSTRUCTION: 3-A  
AUTOMATIC FIRE SPRINKLERS:

**PLANNING ZONE**

PLANNING ZONE: C-3-R - DOWNTOWN - RETAIL

**FLOOR AREA**

BASEMENT	4TH FLOOR	FAR	RATIO:
EXISTING: 7070 GSF	EXISTING: 6175 GSF	5.12 / 1	(EXCLUDING BASEMENT FOR STORAGE & MEP USE)
PROPOSED: 7070 GSF	PROPOSED: 6175 GSF		
CHANGE: +0 GSF	CHANGE: +0 GSF		
<b>1ST FLOOR</b>	<b>5TH FLOOR</b>		
EXISTING: 6175 GSF	EXISTING: 6175 GSF		
PROPOSED: 6175 GSF	PROPOSED: 6175 GSF		
CHANGE: +0 GSF	CHANGE: +0 GSF		
<b>2ND FLOOR</b>	<b>ROOF</b>		
EXISTING: 6175 GSF	EXISTING: 455 GSF		
PROPOSED: 6175 GSF	PROPOSED: 755 GSF		
CHANGE: +0 GSF	CHANGE: +300 GSF		
<b>3RD FLOOR</b>	<b>TOTAL</b>		
EXISTING: 6175 GSF	EXISTING: 38,400 GSF		
PROPOSED: 6175 GSF	PROPOSED: 38,700 GSF		
CHANGE: +0 GSF	CHANGE: +300 GSF		

**BUILDING CODE**

CALIFORNIA ADMINISTRATIVE CODE (CAC), 2016 EDITION  
CALIFORNIA BUILDING CODE (CBC), 2016 EDITION  
CALIFORNIA ELECTRICAL CODE (CEC), 2016 EDITION  
CALIFORNIA MECHANICAL CODE (CMC), 2016 EDITION  
CALIFORNIA PLUMBING CODE (CPC), 2016 EDITION  
CALIFORNIA FIRE CODE (CFC), 2016 EDITION  
STATE OF CALIFORNIA TITLE 24 ENERGY EFFICIENCY STANDARDS, 2016 EDITION  
STATE OF CALIFORNIA TITLE 24 ACCESSIBILITY STANDARDS, 2016 EDITION

THE ARCHITECT OF THE RECORD ON THIS PROJECT WILL BE RESPONSIBLE FOR REVIEWING AND COORDINATING ALL SUBMITTAL DOCUMENTS PREPARED BY OTHERS, INCLUDING DEFERRED SUBMITTALS, FOR COMPATIBILITY WITH THE OVERALL DESIGN OF THE BUILDING.

**FIRE PROTECTION**

FIRE PROTECTION SYSTEM TO BE DESIGN BUILD.  
EXIT WAY FINDING SIGNAGE TO BE DESIGN BUILD.  
BUILDING TO BE EQUIPPED WITH AUTOMATIC SPRINKLER SYSTEM (UNDER SEPARATE PERMIT) IN ACCORDANCE WITH NFPA-13 AND CODE SECTION 903.3.1.1.

**SUMMARY OF WORK**

TYPE OF WORK TO INCLUDE:  
DEMOLITION AND REPLACEMENT OF GROUND FLOOR STOREFRONTS WITH PROPOSED.  
ADDITION OF TWO BLADE SIGNS AT CAMPTON PLACE STOREFRONT (TO BE INSTALLED UNDER SEPARATE PERMIT)  
REFURBISH UPPER FLOOR BUILDING FACADES.  
INSTALL NEW ELEVATOR AND LOBBY AT CAMPTON PLACE.  
ADDITION OF ROOF DECK.

	(DRAWING NO.) (SHEET NO.)	SECTION TAG		(DRAWING NO.) (SHEET NO.)	EXTERIOR ELEVATION TAG
	(DRAWING NO.) (SHEET NO.)	DETAIL TAG		1	KEYNOTE TAG
	AA 000	ROOM TAG		109A	DOOR NUMBER
	1 NR	PARTITION TAG, FIRE RATING		◇	WINDOW TAG
	T.O. FIN FLOOR +0'0"	DATUM POINT, DIMENSION POINT			
	1	GRIDLINE (F.O.S. AT FRAMING, CENTERLINE AT STRUCT. COL.)			
	(SHEET NO.) (DRAWING NO.)	INTERIOR ELEVATION			

**DRAWING SYMBOLS**

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ABBREVIATION	FULL NAME	ABBREVIATION	FULL NAME	ABBREVIATION	FULL NAME
A.C.T.	ACOUSTIC CEILING TILE	F.O.S.	FACE OF STUD	PTD	PAINTED
A.D.	AREA DRAIN	F.P.	FIRE PROOFING	Q.T.	QUARRY TILE
ARCH. STL.	ARCHITECTURAL STEEL	FTG	FOOTING	R	RISER
AUT. CLO.	AUTOMATIC CLOSER	GA	GAGE	RAD	RADIUS
AGGR	AGGREGATE	GALV	GALVINIZED	RE:	REFER TO
ALUM	ALUMINUM	GL	GLASS	REF	REFERENCE
ASPH	ASPHALT	G.B.	GRAB BAR	RCP	REFLECTED CEILING PLAN
BD	BOARD	GR	GRADE	REINF	REINFORCED
BM	BEAM	G.W.B.	GYPSUM WALL BOARD	REQ	REQUIRED
BITUM	BITUMINOUS	H.B.	HOSE BIB	RESIL.FL.	RESILIENT FLOORING
BLDG	BUILDING	HDWD	HARDWOOD	RR	RESTROOM
BLKG	BLOCKING	H.M.	HOLLOW METAL	REV	REVEAL
B.O.	BOTTOM OF	I.D.	INSIDE DIAMETER	RM	ROOM
CAB	CABINET	INS	INSULATION	R.O.	ROUGH OPENING
CEM	CEMENT	INT	INTERIOR	R.W.L.	RAIN WATER LEADER
C.L.	CENTER LINE	JST	JOIST	S.A.S.N.	SELF ADHERED SHEET MEMBRANE
CER	CERAMIC	JT	JOINT	SCH	SCHEDULE
C.T.	CEILING TILE	KIT	KITCHEN	S.C.D.	SEAT COVER DISPENSER
CLG	CEILING	K.P.	KICK PLATE	S.D.	SOAP DISPENSER
CLO	CLOSET	LAM	LAMINATE	SHR	SHOWER
CLR	CLEAR	LAM. GL.	LAMINTATED GLASS	SIM	SIMILAR
COL	COLUMN	LAV	LAVATORY	S.E.D.	SEE ELECTRICAL DRAWINGS
COL. L.	COLUMN LINE	LKR	LOCKER	S.M.D.	SEE MECHANICAL DRAWINGS
C.M.P.	COMPOSITE METAL PANEL	LT	LIGHT	S.P.D.	SEE PLUMBING DRAWINGS
CONC	CONCRETE	M.B.	MOISTURE BARRIER	S.S.D.	SEE STRUCTURAL DRAWINGS
C.F.CLO.	CONCEALED FLOOR CLOSET	MAX	MAXIMUM	SPEC	SPECIFICATIONS
CONT'D	CONTINUED	MECH	MECHANICAL	S.ST	STAINLESS STEEL
CONT	CONTINUOUS	MIN	MINIMUM	STOR	STORAGE
C.B.	CORNER BREAD	MIR	MIRROR	STL	STEEL
CORR	CORRIDOR	MISC	MISCELLANEOUS	STN	STONE
DET	DETAIL	MTL	METAL	SUSP	SUSPENDED
DIA	DIAMETER	MUL	MULLION	T	TILE
DIM	DIMENSION	N	NEW	TC	TERRA COTTA
DS	DOWNSPOUT	NOM	NOMINAL	TD	TREAD
DWG	DRAWING	N.I.C.	NOT IN CONTRACT	TERR	TERRAZZO
D.F.	DRINKING FOUNTAIN	N.T.S.	NOT TO SCALE	T.O.	TOP OF
DIFFER	DIFFUSER	N.T.S.	NOT TO SCALE	T.O.C.	TOP OF CURB
D.S.P.	DRY STANDPIPE	NR	NOT RATED	T.O.W.	TOP OF WALL
EQ	EQUAL	O.C.	ON CENTER	TYP	TYPICAL
E.J.	EXPANSION JOINT	OPP	OPPOSITE	U.O.N.	UNLESS OTHERWISE NOTED
E.P.	ELECTRICAL PANEL	OPNG	OPENING	V.B.	VAPOR BARRIER
ELEV	ELEVATOR	OR.MTL.	ORNAMENTAL METAL	VEST	VESTIBULE
EQPT	EQUIPMENT	O.F.D.	OVERFLOW DRAIN	V.C.T.	VINYL COMPOSITE TILE
EXST	EXISTING	P.C.	PRECAST CONCRETE	V.I.F.	VERIFY IN FIELD
EXT	EXTERIOR	PLAS	PLASTER	W	WITH
F.A.	FIRE ALARM	PLWD	PLYWOOD	W/O	WITHOUT
F.D.	FLOOR DRAIN	P.LAM.	PLASTIC LAMINATE	WD	WOOD
FDN	FOUNDATION	PL	PLATE	WP	WATERPROOFING
F.E.C.	FIRE EXTINGUISHER CABINET	P	PAINT		
F.H.C.	FIRE HOSE CABINET	PNL	PANEL		
F.O.C.	FACE OF CONCRETE	PT	POINT		
F.FL.	FINISH FLOOR	P.T.	POINT		
FL	FLOOR	P.T.D.	PAPER TOWEL DISPENSER		
FLASH	FLASHING	P.T.D/R	PAPER TOWEL DISPENSER AND RECEPTACLE		
F.O.F.	FACE OF FINISH	P.T.R.	PAPER TOWEL RECEPTACLE		
		PTN	PARTITION		

**ABBREVIATIONS**

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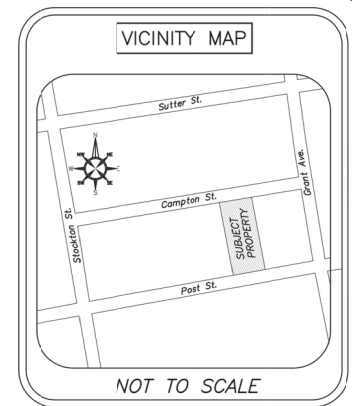
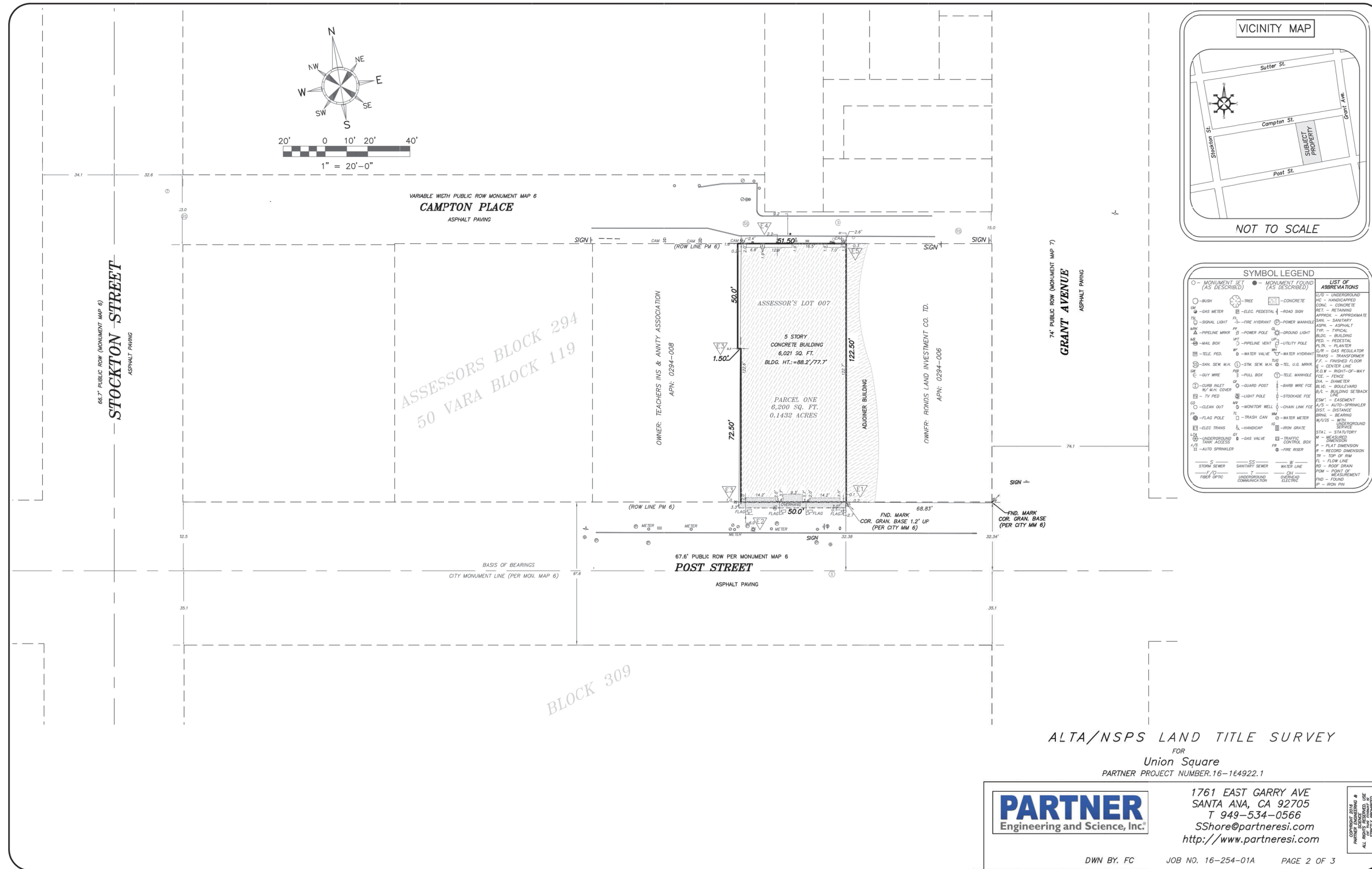
**PROJECT INFORMATION**

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**DRAWING INDEX**

1





**SYMBOL LEGEND**

○ - MONUMENT SET (AS DESCRIBED)	● - MONUMENT FOUND (AS DESCRIBED)	○ - CONCRETE	○ - UNDERGROUND
○ - BUSH	○ - TREE	○ - CONCRETE	○ - MANHOLE
○ - GAS METER	○ - ELEC. HYDRANT	○ - ROAD SIGN	○ - CONCRETE
○ - SIGNAL LIGHT	○ - FIRE HYDRANT	○ - POWER MARIAGE	○ - RETAINING
○ - APPREHENSIVE METER	○ - POWER POLE	○ - GROUND LIGHT	○ - APPROXIMATE
○ - MAIL BOX	○ - PIPELINE VALVE	○ - UTILITY POLE	○ - ASPHALT
○ - TELE. PED.	○ - WATER VALVE	○ - WATER HYDRANT	○ - TYPICAL
○ - SAN. SEW. M.M.	○ - ST. SEW. M.M.	○ - TEL. U.G. M.M.	○ - BUILDING
○ - GUY WIRE	○ - PULL BOX	○ - TELE. MANHOLE	○ - FENCED
○ - DRAIN INLET	○ - GUARD POST	○ - BARB WIRE FENCE	○ - FINISHED FLOOR
○ - EASEMENT	○ - LIGHT POLE	○ - STOCKAGE FCE	○ - CENTER LINE
○ - CLEAN OUT	○ - MONITOR WELL	○ - CHAIN LINK FENCE	○ - RIGHTS-OF-WAY
○ - FLAG POLE	○ - TRASH CAN	○ - WATER METER	○ - FENCE
○ - ELEC. TRANS.	○ - MANHOLE	○ - IRON GRATE	○ - SHANTY
○ - UNDERGROUND TANK ACCESS	○ - GAS VALVE	○ - TRAFFIC CONTROL BOX	○ - SHANTY
○ - AUTO SPRINKLER	○ - FIRE RISER	○ - FIRE RISER	○ - RECORD DIMENSION
○ - STONY BENCH	○ - SANITARY BENCH	○ - WATER LINE	○ - TOP OF RM
○ - UNDERGROUND COMMUNICATION	○ - OVERHEAD ELECTRIC	○ - FOUND	○ - POINT
		○ - FOUND	○ - FOUND
		○ - FOUND	○ - FOUND

**LIST OF ABBREVIATIONS**

U/S - UNDERGROUND  
M.C. - MANHOLE  
CONC. - CONCRETE  
RET. - RETAINING  
APPROX. - APPROXIMATE  
ASPH. - ASPHALT  
TYP. - TYPICAL  
BLDG. - BUILDING  
FENCED - FENCED  
FLTR. - FILTER  
GAS REG. - GAS REGULATOR  
TRANS. - TRANSFORMER  
FIN. - FINISHED FLOOR  
C.L. - CENTER LINE  
R.O.W. - RIGHTS-OF-WAY  
FENCE - FENCE  
SHANTY - SHANTY  
BOLLARD - BOLLARD  
BLDG. SETBACK - BUILDING SETBACK  
EASEMENT - EASEMENT  
A/S - AUTO-SPRINKLER  
DIST. - DISTANCE  
BEARING - BEARING  
M/U/S - METER UNDERGROUND SERVICE  
STAI. - STAIRWAY  
M - METER  
RECORD DIMENSION - RECORD DIMENSION  
TOP OF RM - TOP OF ROOM  
FL - FLOW LINE  
ROD - ROD DRAIN  
POM - POINT  
MEASUREMENT - MEASUREMENT  
FND - FOUND  
RM - ROOM FIN.

220 POST ST  
SAN FRANCISCO, CA 94108

Rev.	Date	Remarks
	08/07/2018	Permit Application
	11/09/2018	Addendum #1
	03/08/2019	Plan Review Comments
	06/11/2019	Plan Review Comments

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DWN BY: FC JOB NO. 16-254-01A PAGE 2 OF 3

NOTE: If this drawing is not 24"x36" it has been revised from its original size. Scale noted on drawings controls and is to be applied.

Project No:  
Drawing Title:  
**ALTA SURVEY PLAN**

Sheet No:  
**G-0.02A**

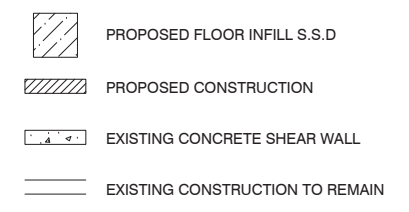
Rev.	Date	Remarks
	08/07/2018	Permit Application
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- 22 2-HR RATED PARTITION @ GAS METER ROOM TO BE MAINTAINED, PATCH AND FINISH AS REQUIRED
- 21 FIRE RISER, PROPOSED LOCATION
- 20 ANTI-CASCADING GATE WITH SELF CLOSING HINGE AND ONE-WAY SWING TO PROVIDE DISCHARGE IDENTIFICATION IN PATH OF EGRESS
- 19 DRAFT CURTAINS ABOVE AT STAIRS OF ESCALATORS, UNDER T.I.
- 18 PROTECT (E) ESCALATOR WITH 1/2" PLY-WOOD AND AIRTIGHT 60 MIL WRAP
- 17 2-HR RATED FIREPROOFING ON STEEL COLUMNS AT ELEVATOR SHAFT, TYP. SPOT REMOVE AS NEEDED TO ATTACH ELEVATOR GUIDE RAILS. HAND-PACK FIREPROOFING AT ATTACHMENT POINTS TO MAINTAIN 2-HOUR RATING OF ELEV SHAFT
- 16 HVAC SHAFT PENETRATION
- 15 ELEVATOR SHAFT VENT
- 14 PROVIDE SHORING AS REQUIRED
- 13 PROVIDE BACKING FOR SINK, GRAB BARS, AND HANDRAILS
- 12 2" GALV. PIPE GUARDRAIL, 48" H FLOOR MOUNTED ON MECH. PLATFORM FOR SAFETY
- 11 STRUCTURAL MEMBER BELOW
- 10 SANITARY LINE CLEANOUTS
- 9 (E) ELECTRICAL CONDUITS RISER + RECEPTACLE LOCATIONS
- 8A REFURBISH ALL (E) WINDOWS. STRIP TO BARE WOOD, PRIME. ADD 2 COATS OF EXTERIOR GRADE GLOSS PAINT TO MATCH SAMPLE. INSTALL NEW SOLID BRONZE/ BRASS HINGES, LATCH, PULL AND SLIDE ROD LIMITERS - 4" OPEN MAX. RECAULK ALL JOINTS TYP.
- 8 REFURBISH ALL (E) WINDOWS, TYP. REPLACE WITH 3/4" THK CLEAR TEMPER GLASS. RECAULK ALL JOINTS TYP. SEE A2.00-2.02.
- 7 SKYLIGHT ABOVE. S.S.D.
- 6 REDUCE SIZE FOR HVAC SHAFT. SEE MEP FOR DUCT LAYOUT.
- 5A (E)CONN. STAIRS, 3F-4F, TO REMAIN. PROTECT WITH FIBER BOARD.
- 5 FLOOR INFILL. SSD FOR ADDITIONAL INFO
- 4 CAMPTON PL AND POST STREET STOREFRONT SYSTEMS, SEE A2.00, 2.02, 4.10-12, 5.10-11 FOR ADDITIONAL INFO
- 3A REPLACE (E) 8" DIA. TIMBER COL. TO HSS 5x5 TYP. @ GL-2
- 3 PROVIDE 1-HR RATED SPRAY ON FIRE PROOFING ON (E) COLUMNS

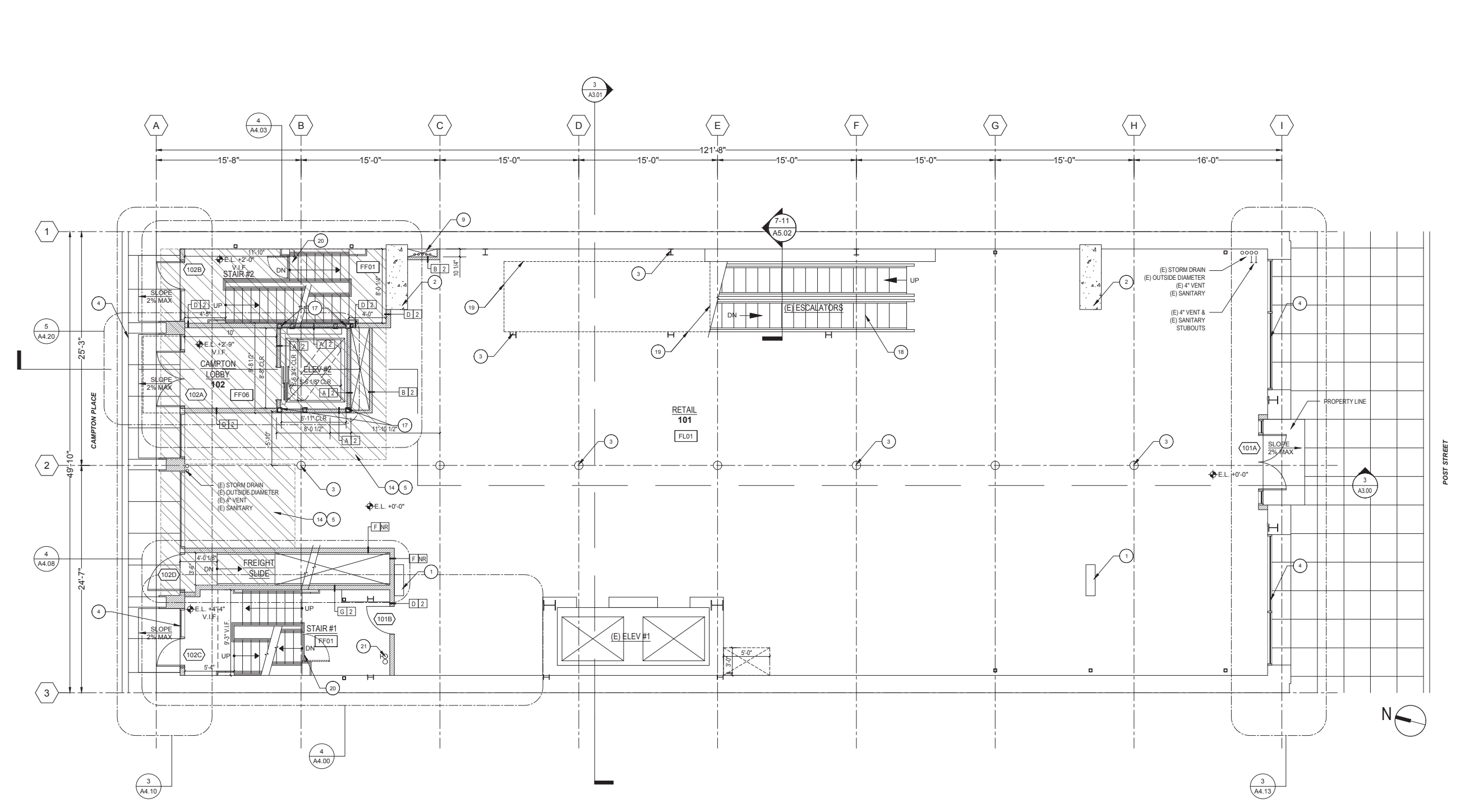
- 2 (E) CONCRETE SHEAR WALL
- 1A PROPOSED TUBE STL COL, TYP. MODIFY (E)FLOOR STRUCTURE AS REQ'D
- 1 (E) STRUCTURAL BRACE FRAME

- FF06 GRANITE
- FF05 7" x 30" EURO OAK PLANKS
- FF04 VERSADECK ALUMINUM DECK
- FF03 TILE
- FF02 POLISHED COLOR CONCRETE
- FF01 SEALED CONCRETE
- FL03 PLYWOOD SUBFLOOR
- FL02 (E) CONCRETE: PATCH AS REQ'D FOR FLAT SURFACE THROUGHOUT
- FL01 LIGHTWEIGHT CONCRETE OVER PLYWOOD SHEATHING TO MATCH (E) FLOOR LEVEL. REMOVE ALL PROTRUSIONS AS REQ'D. FOR FLAT SURFACE THROUGHOUT

- I 2 2-HOUR RATED METAL STUD EXTERIOR PARTITION (6" STUD)
- H NR UNRATED FURRING DETAIL
- G 2 2-HOUR RATED METAL STUD PLUMBING PARTITION (6" STUD)
- G NR UNRATED METAL STUD PLUMBING PARTITION (6" STUD)
- F NR UNRATED METAL STUD PARTITION (3 5/8" STUD)
- F 1 1-HOUR RATED METAL STUD PARTITION (3 5/8" STUD)
- E 1 1-HOUR RATED METAL STUD PARTITION (3 5/8" STUD)
- D 2 2-HOUR RATED METAL STUD PARTITION (3 5/8" STUD)
- B 2 2-HOUR RATED SHAFT PARTITION (2 1/2" STUD)
- A 2 2-HOUR RATED SHAFT PARTITION (4" STUD)



KEY NOTES (CONT'D)	NO SCALE	6A	NOTES	NO SCALE	5	FINISH TYPE	NO SCALE	4	WALL TYPE	NO SCALE	3	GRAPHIC LEGEND	NO SCALE	2
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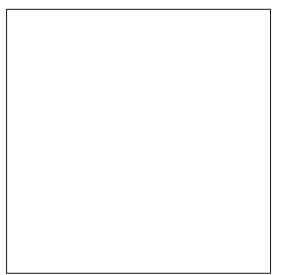
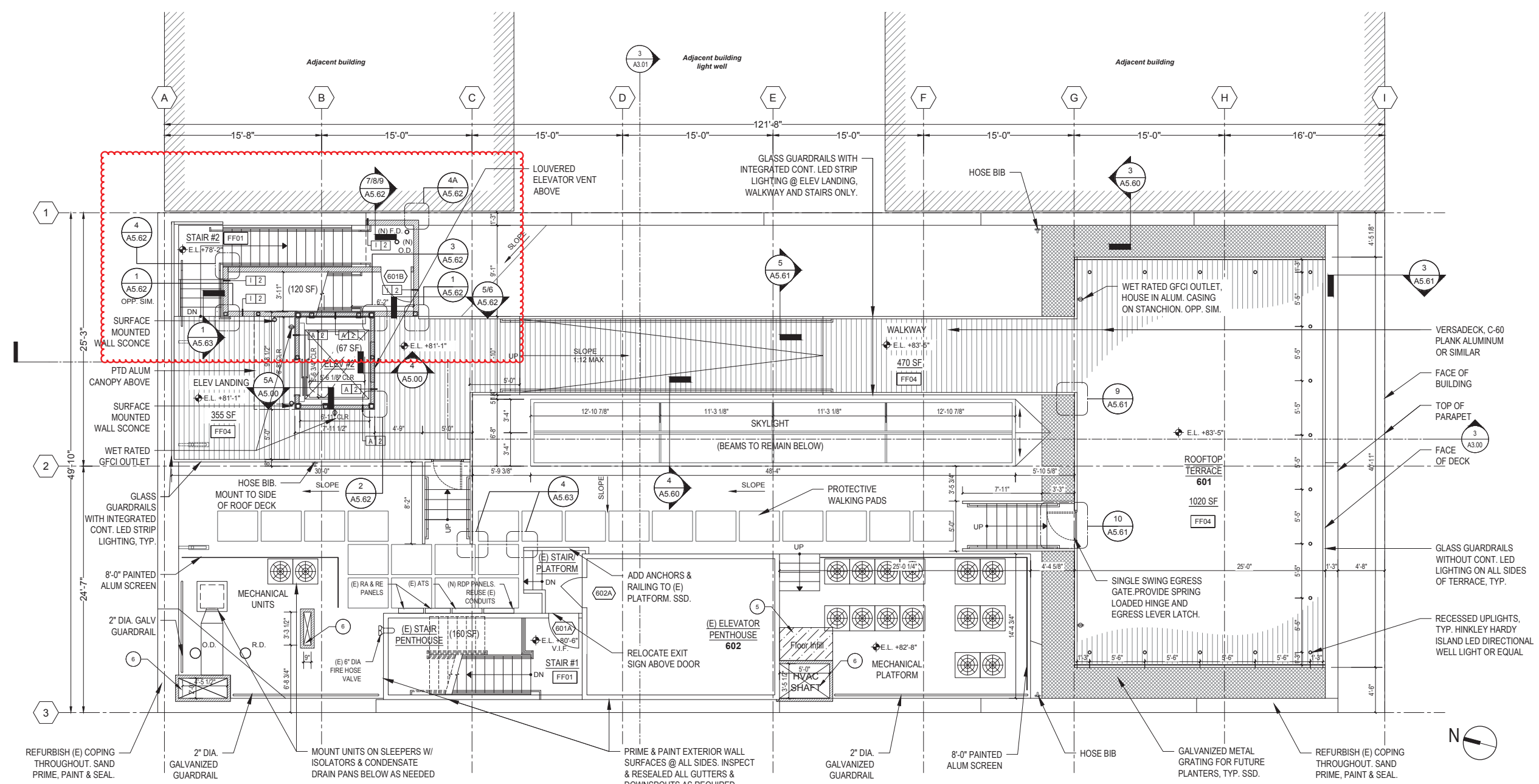


PARTITION PLAN - LEVEL 1 SCALE: 3/16" = 1'-0" 1



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<p>22 2-HR RATED PARTITION @ GAS METER ROOM TO BE MAINTAINED, PATCH AND FINISH AS REQUIRED</p> <p>21 FIRE RISER, PROPOSED LOCATION</p> <p>20 ANTI-CASCADING GATE WITH SELF CLOSING HINGE AND ONE-WAY SWING TO PROVIDE DISCHARGE IDENTIFICATION IN PATH OF EGRESS</p> <p>19 DRAFT CURTAINS ABOVE AT STAIRS OF ESCALATORS, UNDER T.I.</p> <p>18 PROTECT (E) ESCALATOR WITH 3/8" PLY. WOOD AND AIRTIGHT 60 MIL WRAP.</p> <p>17 2-HR RATED FIREPROOFING ON STEEL COLUMNS AT ELEVATOR SHAFT, TYP. SPOT REMOVE AS NEEDED TO ATTACH ELEVATOR GUIDE RAILS. HAND-PACK FIREPROOFING AT ATTACHMENT POINTS TO MAINTAIN 2-HOUR RATING OF ELEV SHAFT</p> <p>16 HVAC SHAFT PENETRATION</p>	<p>15 ELEVATOR SHAFT VENT</p> <p>14 PROVIDE SHORING AS REQUIRED</p> <p>13 PROVIDE BACKING FOR SINK, GRAB BARS, AND HANDRAILS</p> <p>12 2" GALV. PIPE GUARDRAIL, 48" H FLOOR MOUNTED ON MECH. PLATFORM FOR SAFETY</p> <p>11 STRUCTURAL MEMBER BELOW</p> <p>10 SANITARY LINE CLEANOUTS</p> <p>9 (E) ELECTRICAL CONDUITS RISER + RECEPTACLE LOCATIONS</p> <p>8A REFURBISH ALL (E) WINDOWS. STRIP TO BARE WOOD, PRIME. ADD 2 COATS OF EXTERIOR GRADE GLOSS PAINT TO MATCH SAMPLE. INSTALL NEW SOLID BRONZE/ BRASS HINGES, LATCH, PULL AND SLIDE ROD LIMITERS - 4" OPEN MAX. RECAULK ALL JOINTS TYP.</p>	<p>8 REFURBISH ALL (E) WINDOWS, TYP. REPLACE WITH 3/4" THK CLEAR TEMPER GLASS. RECAULK ALL JOINTS TYP. SEE A2.00-2.02.</p> <p>7 SKYLIGHT ABOVE. S.S.D.</p> <p>6 REDUCE SIZE FOR HVAC SHAFT. SEE MEP FOR DUCT LAYOUT.</p> <p>5 FLOOR INFILL. SSD FOR ADDITIONAL INFO</p> <p>4 CAMPTON PL AND POST STREET STOREFRONT SYSTEMS, SEE A2.00, 2.02, 4.10-12, 5.10-11 FOR ADDITIONAL INFO</p> <p>3 PROVIDE 1-HR RATED SPRAY ON FIRE PROOFING ON (E) COLUMNS</p> <p>2 (E) CONCRETE SHEAR WALL</p> <p>1 (E) STRUCTURAL BRACE FRAME</p>	<p>3. PROVIDE TEMPORARY SHORING OF FLOOR JOISTS AS REQUIRED FOR THE CONSTRUCTION OF NEW ELEVATOR #2 AND STAIRS #1&amp;#2.</p> <p>2. ALL INTERIOR PARTITIONS IN THE STAIRWELL AND BACK OF HOUSE SPACES WILL HAVE L3 FINISH.</p> <p>1. ALL INTERIOR PARTITIONS IN THE RETAIL &amp; OFFICE SPACES WILL HAVE L4 FINISH.</p>	<p>FF05 7" x 30" EURO OAK PLANKS</p> <p>FF04 STAINED 2" x 8" TEAK PLANKS</p> <p>FF03 TILE</p> <p>FF02 POLISHED COLOR CONCRETE</p> <p>FF01 SEALED CONCRETE</p> <p>FL03 PLYWOOD SUBFLOOR</p> <p>FL02 CONCRETE</p> <p>FL01 LIGHTWEIGHT CONCRETE O/ PLYWOOD SHEATHING TO MATCH (E) FLOOR LEVEL. REMOVE ALL PROTRUSIONS AS REQD. FOR FLAT SURFACE</p>	<p>I 2 2-HOUR RATED METAL STUD EXTERIOR PARTITION (6" STUD)</p> <p>H NR UNRATED FURRING DETAIL</p> <p>G 2 2-HOUR RATED METAL STUD PLUMBING PARTITION (6" STUD)</p> <p>G NR UNRATED METAL STUD PLUMBING PARTITION (6" STUD)</p> <p>F NR UNRATED METAL STUD PARTITION (3 5/8" STUD)</p> <p>F 1 1-HOUR RATED METAL STUD PARTITION (3 5/8" STUD)</p> <p>E 1 1-HOUR RATED METAL STUD PARTITION (3 5/8" STUD)</p> <p>D 2 2-HOUR RATED METAL STUD PARTITION (3 5/8" STUD)</p> <p>B 2 2-HOUR RATED SHAFT PARTITION (2 1/2" STUD)</p> <p>A 2 2-HOUR RATED SHAFT PARTITION (4" STUD)</p>	<p>RECESSED UPLIGHTS</p> <p>WET RATED GFCI OUTLET</p> <p>WALL MOUNTED UP/DOWN SCNCE</p> <p>PROPOSED FLOOR INFILL S.S.D</p> <p>PROPOSED CONSTRUCTION</p> <p>EXISTING CONCRETE SHEAR WALL</p> <p>EXISTING CONSTRUCTION TO REMAIN</p>			
KEY NOTES NO SCALE 6		NOTES NO SCALE 5		FINISH TYPE NO SCALE 4		WALL TYPE NO SCALE 3		GRAPHIC LEGEND NO SCALE 2	



NOTE: If this drawing is not 24" x 36" it has been revised from its original size. Check notes on drawings for details and no longer applicable.

Project No:

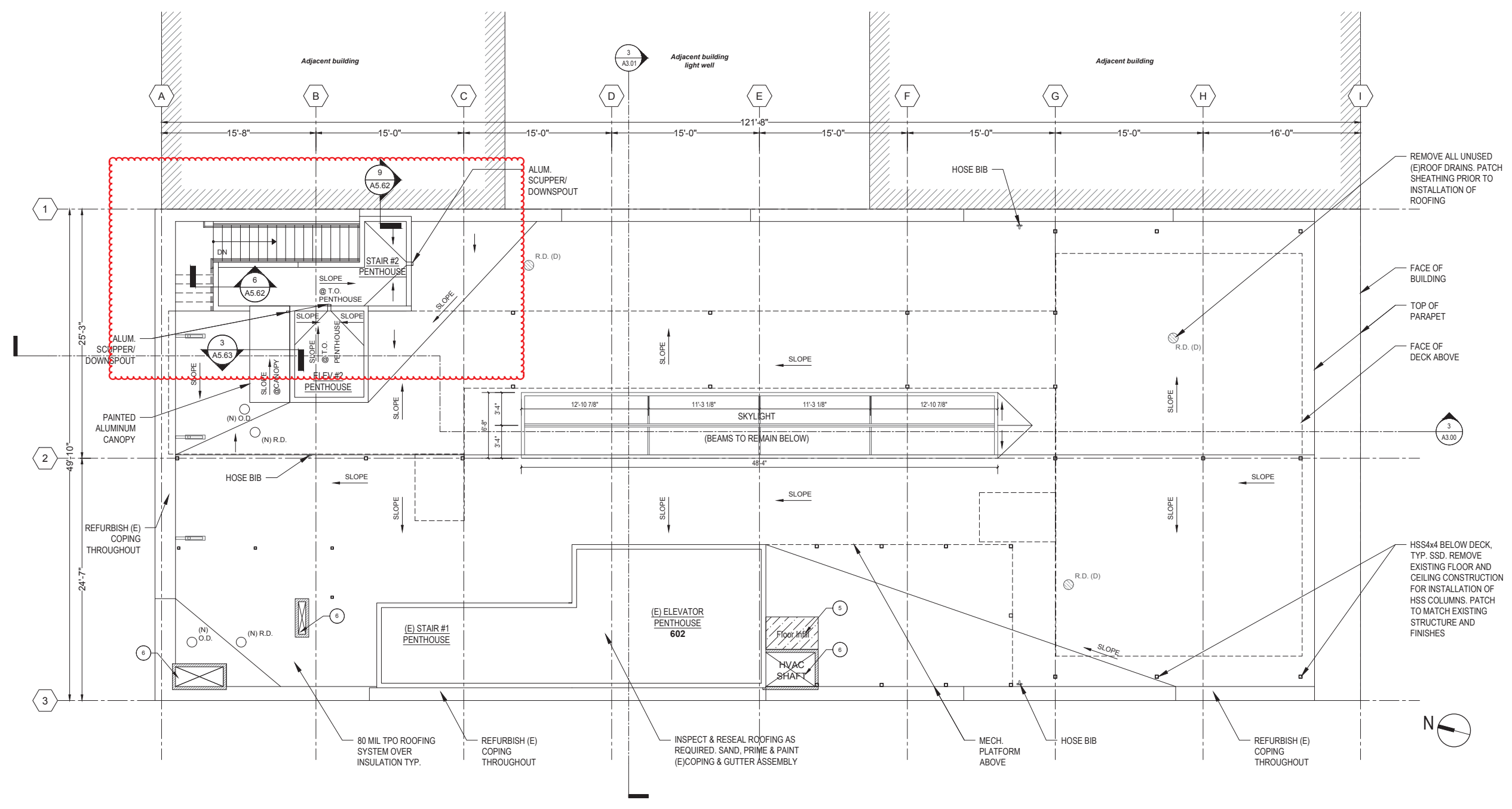
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ROOF TERRACE - PROPOSED

Sheet No: A1.07

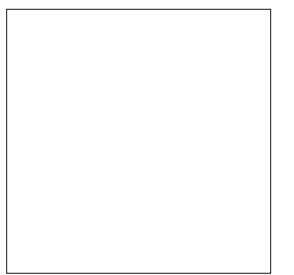
- |  |  |   |   |   |   |  |
|--|--|---|---|---|---|--|
| <ul style="list-style-type: none"> <li>22 2-HR RATED PARTITION @ GAS METER ROOM TO BE MAINTAINED, PATCH AND FINISH AS REQUIRED</li> <li>21 FIRE RISER, PROPOSED LOCATION</li> <li>20 ANTI-CASCADING GATE WITH SELF CLOSING HINGE AND ONE-WAY SWING TO PROVIDE DISCHARGE IDENTIFICATION IN PATH OF EGRESS</li> <li>19 DRAFT CURTAINS ABOVE AT STAIRS OF ESCALATORS, UNDER T.I.</li> <li>18 PROTECT (E) ESCALATOR WITH 1/2" PLY. WOOD AND AIRTIGHT 60 MIL WRAP.</li> <li>17 2-HR RATED FIREPROOFING ON STEEL COLUMNS AT ELEVATOR SHAFT, TYP. SPOT REMOVE AS NEEDED TO ATTACH ELEVATOR GUIDE RAILS. HAND-PACK FIREPROOFING AT ATTACHMENT POINTS TO MAINTAIN 2-HOUR RATING OF ELEV SHAFT</li> <li>16 HVAC SHAFT PENETRATION</li> </ul> | <ul style="list-style-type: none"> <li>15 ELEVATOR SHAFT VENT</li> <li>14 PROVIDE SHORING AS REQUIRED</li> <li>13 PROVIDE BACKING FOR SINK, GRAB BARS, AND HANDRAILS</li> <li>12 2" GALV. PIPE GUARDRAIL, 48" H FLOOR MOUNTED ON MECH. PLATFORM FOR SAFETY</li> <li>11 STRUCTURAL MEMBER BELOW</li> <li>10 SANITARY LINE CLEANOUTS</li> <li>9 (E) ELECTRICAL CONDUITS RISER + RECEPTACLE LOCATIONS</li> <li>8A REFURBISH ALL (E) WINDOWS. STRIP TO BARE WOOD, PRIME. ADD 2 COATS OF EXTERIOR GRADE GLOSS PAINT TO MATCH SAMPLE. INSTALL NEW SOLID BRONZE/ BRASS HINGES, LATCH, PULL AND SLIDE ROD LIMITERS - 4" OPEN MAX. RECAULK ALL JOINTS TYP.</li> </ul> | <ul style="list-style-type: none"> <li>8 REFURBISH ALL (E) WINDOWS, TYP. REPLACE WITH 1/2" THK CLEAR TEMPER GLASS. RECAULK ALL JOINTS TYP. SEE A2.00-2.02.</li> <li>7 SKYLIGHT ABOVE. S.S.D.</li> <li>6 REDUCE SIZE FOR HVAC SHAFT. SEE MEP FOR DUCT LAYOUT.</li> <li>5 FLOOR INFILL. SSD FOR ADDITIONAL INFO</li> <li>4 CAMPTON PL AND POST STREET STOREFRONT SYSTEMS, SEE A2.00, 2.02, 4.10-12, 5.10-11 FOR ADDITIONAL INFO</li> <li>3 PROVIDE 1-HR RATED SPRAY ON FIRE PROOFING ON (E) COLUMNS</li> <li>2 (E) CONCRETE SHEAR WALL</li> <li>1 (E) STRUCTURAL BRACE FRAME</li> </ul> | <p>3. PROVIDE TEMPORARY SHORING OF FLOOR JOISTS AS REQUIRED FOR THE CONSTRUCTION OF NEW ELEVATOR #2 AND STAIRS #1&amp;#2.</p> <p>2. ALL INTERIOR PARTITIONS IN THE STAIRWELL AND BACK OF HOUSE SPACES WILL HAVE L3 FINISH.</p> <p>1. ALL INTERIOR PARTITIONS IN THE RETAIL &amp; OFFICE SPACES WILL HAVE L4 FINISH.</p> | <ul style="list-style-type: none"> <li>FF05 7" x 30" EURO OAK PLANKS</li> <li>FF04 STAINED 2" x 8" TEAK PLANKS</li> <li>FF03 TILE</li> <li>FF02 POLISHED COLOR CONCRETE</li> <li>FF01 SEALED CONCRETE</li> <li>FL03 PLYWOOD SUBFLOOR</li> <li>FL02 CONCRETE</li> <li>FL01 LIGHTWEIGHT CONCRETE O/ PLYWOOD SHEATHING TO MATCH (E) FLOOR LEVEL. REMOVE ALL PROTRUSIONS AS REQD. FOR FLAT SURFACE</li> </ul> | <ul style="list-style-type: none"> <li>I 2 2-HOUR RATED METAL STUD EXTERIOR PARTITION (6" STUD)</li> <li>H NR UNRATED FURRING DETAIL</li> <li>G 2 2-HOUR RATED METAL STUD PLUMBING PARTITION (6" STUD)</li> <li>G NR UNRATED METAL STUD PLUMBING PARTITION (6" STUD)</li> <li>F NR UNRATED METAL STUD PARTITION (3 5/8" STUD)</li> <li>F 1 1-HOUR RATED METAL STUD PARTITION (3 5/8" STUD)</li> <li>E 1 1-HOUR RATED METAL STUD PARTITION (3 5/8" STUD)</li> <li>D 2 2-HOUR RATED METAL STUD PARTITION (3 5/8" STUD)</li> <li>B 2 2-HOUR RATED SHAFT PARTITION (2 1/2" STUD)</li> <li>A 2 2-HOUR RATED SHAFT PARTITION (4" STUD)</li> </ul> | <ul style="list-style-type: none"> <li>RECESSED UPLIGHTS</li> <li>WET RATED GFCI OUTLET</li> <li>WALL MOUNTED UP/DOWN SCONCE</li> <li>PROPOSED FLOOR INFILL S.S.D</li> <li>PROPOSED CONSTRUCTION</li> <li>EXISTING CONCRETE SHEAR WALL</li> <li>EXISTING CONSTRUCTION TO REMAIN</li> </ul> |
|--|--|---|---|---|---|--|

<b>KEY NOTES</b>	NO SCALE	<b>6</b>	<b>NOTES</b>	NO SCALE	<b>5</b>	<b>FINISH TYPE</b>	NO SCALE	<b>4</b>	<b>WALL TYPE</b>	NO SCALE	<b>3</b>	<b>GRAPHIC LEGEND</b>	NO SCALE	<b>2</b>
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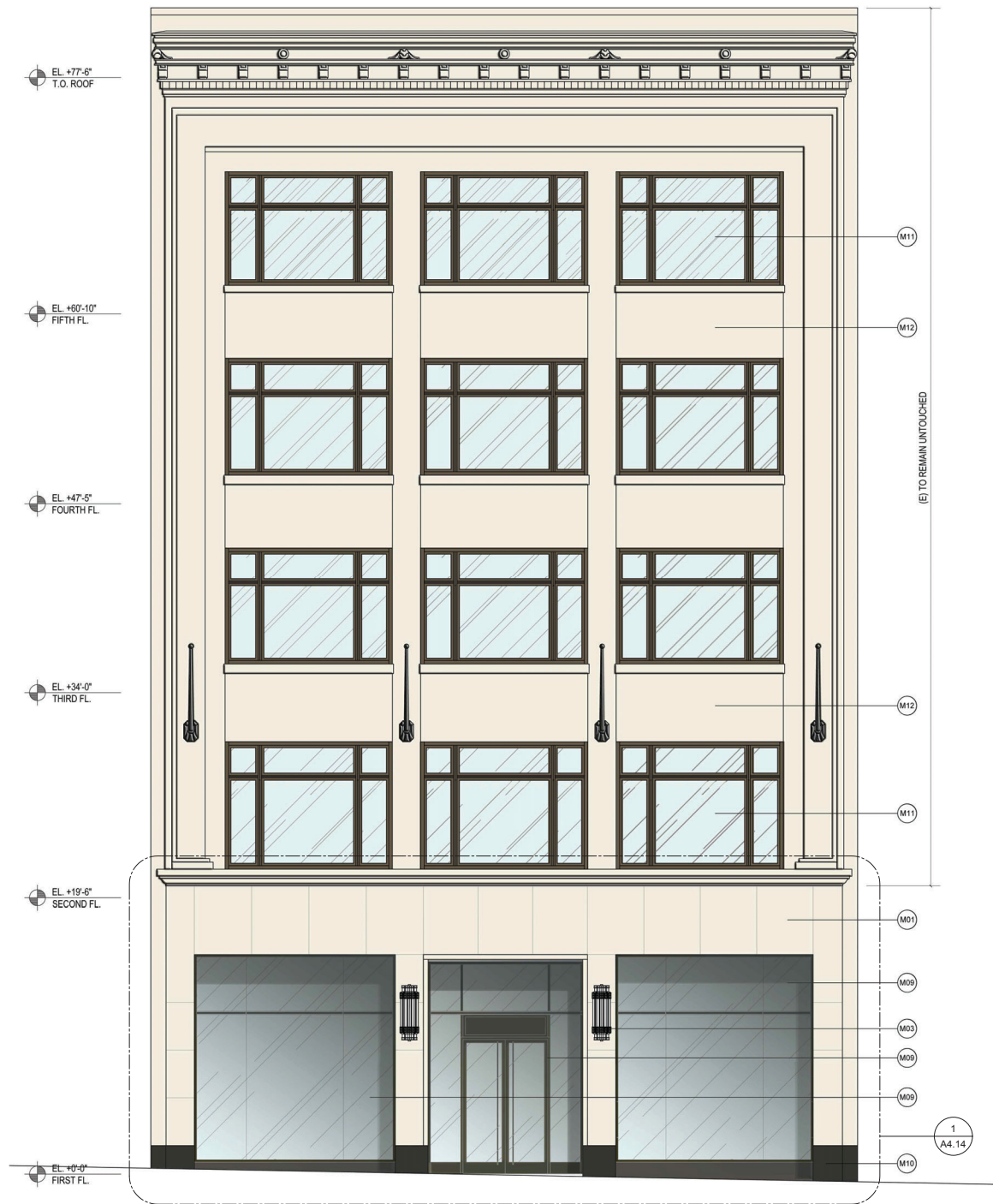
Project No:  
Drawing Title:  
**ROOF PLAN - PROPOSED**

Sheet No:  
**A1.08**

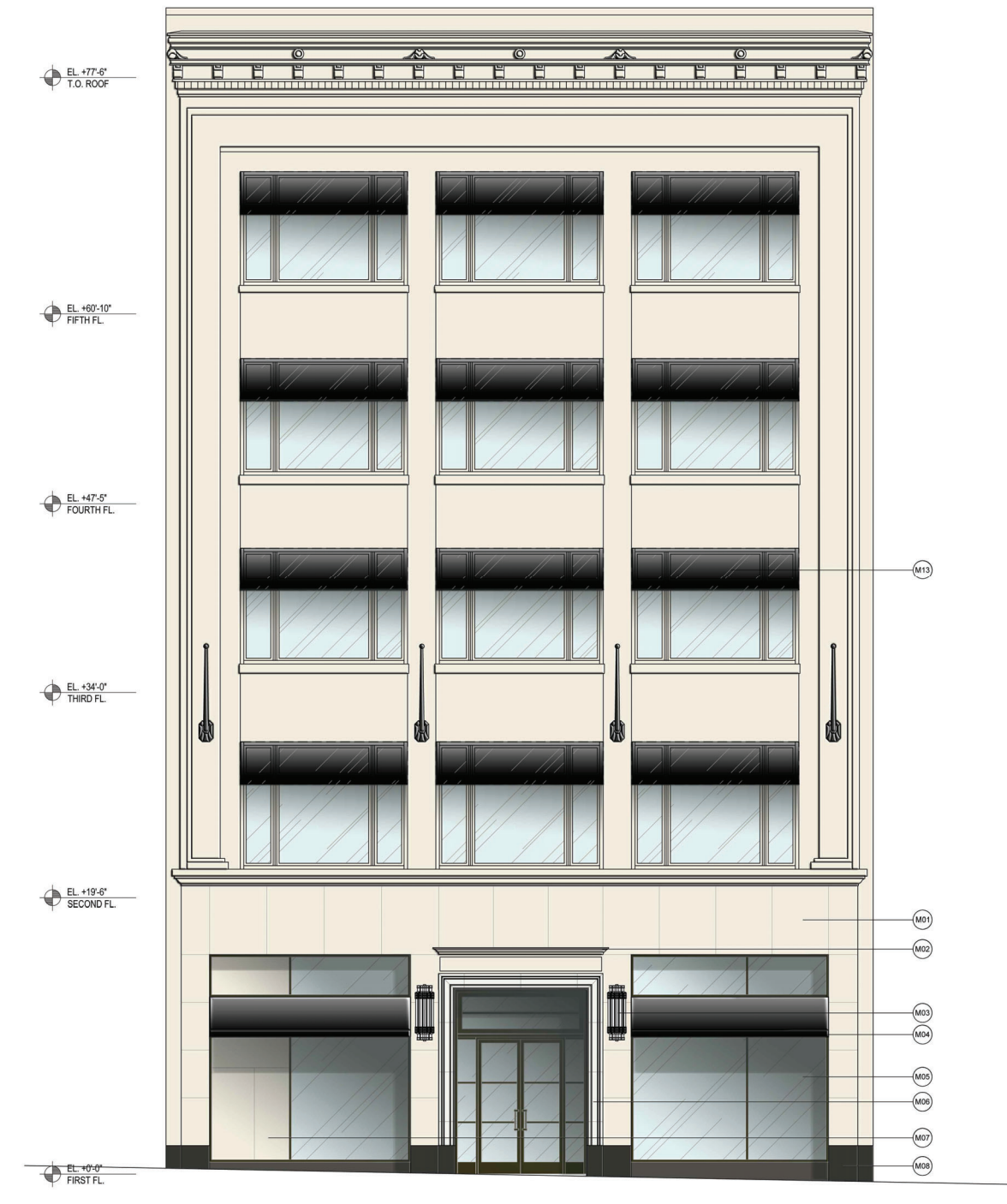
**PROPOSED ROOF PLAN** SCALE: 3/16" = 1'-0" **1**

- |   |  |
|---|--|
| (M01) (E) STONE CLADDING TO REMAIN        | (M08) (E) BASE STONE CLADDING  |
| (M02) (E) PEDIMENT TO BE REMOVED          | (M09) (N) DARK GRAY PAINTED ALUMINUM STOREFRONT SYSTEM WITH 1/8" LAMINATED GLASS   |
| (M03) (E) LANTERN TO REMAIN               | (M10) (N) BASE STONE CLADDING TO BE REPLACED   |
| (M04) (E) AWNING TO BE REMOVED            | (M11) REFURBISH (E) WINDOWS. STRIP (E) PAINT. PRIME AND PAINT TO MATCH SAMPLE. PROVIDE ALTERNATE, REPLACE (E) GLASS WITH LAMINATED GLASS.  |
| (M05) (E) STOREFRONT SYSTEM TO BE REMOVED | (M12) STRIP EXISTING PAINT FROM NORTH & SOUTH FACADES, AND WEST FACING PARTY WALL. PATCH, PRIME AND PAINT TO MATCH ARCHITECT'S COLOUR SAMPLE. SATIN FINISH ON WALLS; HIGH GLOSS FINISH ON WINDOWS + TRIMS. |
| (M06) (E) JAMB TO BE REMOVED              | (M13) (E) AWNINGS ON ALL FLOORS, TO BE REMOVED.  |
| (M07) (E) OPAQUE PANEL TO BE REMOVED      |  |

KEY NOTES NO SCALE 3 GRAPHIC LEGEND NO SCALE 2



PROPOSED (N.I.C. FOR REFERENCE ONLY) SCALE: 3/16" = 1'-0" 2



EXISTING SCALE: 3/16" = 1'-0" 1

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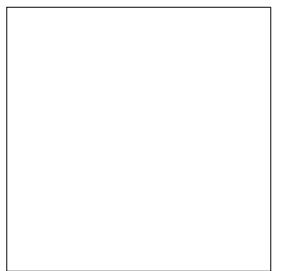
Rev.	Date	Remarks
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Project No:  
Drawing Title:  
ELEVATION - POST STREET (N.I.C.- REFERENCE ONLY)  
Sheet No:  
**A2.00**



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Project No:

Drawing Title:  
**ELEVATION - POST STREET(N.I.C.- REFERENCE ONLY)**

Sheet No:  
**A2.01**





- M01 (E) PAINTED BRICK WALL TO REMAIN. TO BE REPAINTED TO MATCH ARCHITECT'S COLOUR SAMPLE.
- M02 (E) STUCCO INFILL WALL TO BE REMOVED
- M03 (E) LIGHTS TO BE REMOVED
- M04 (E) WINDOW WITH BLANK WALL BEHIND
- M05 (E) CAST-IRON COLUMNS TO REMAIN
- M06 (E) ACCESS DOOR TO SERVICE ELEVATOR TO BE REMOVED

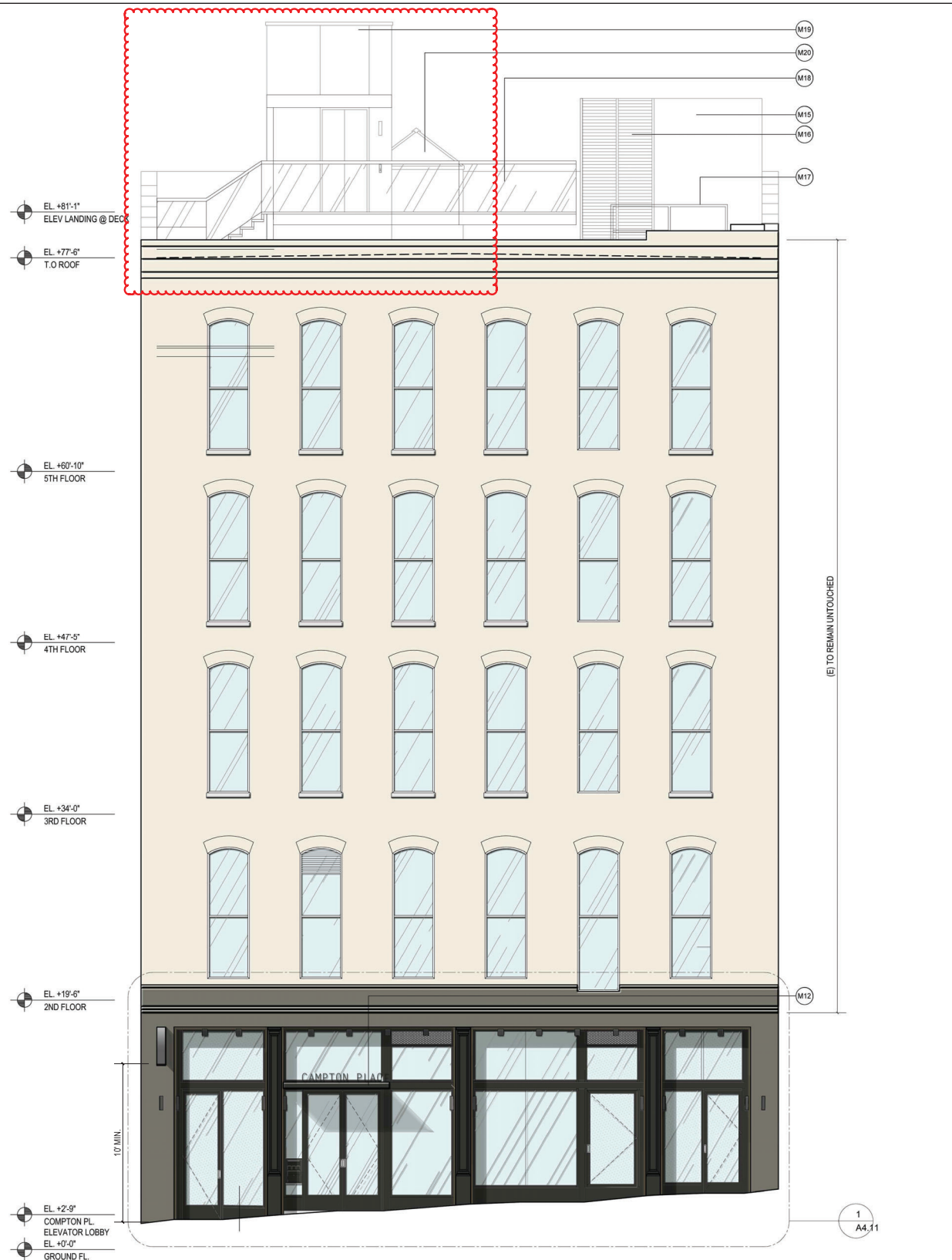
- M07 (N) METAL ACCESS DOOR FOR SERVICE FREIGHT SLIDE; SURFACE FINISHED WITH BACK-PAINTED GLASS
- M08 (N) DARK GRAY PAINTED ALUMINUM STOREFRONT SYSTEM WITH 3/8" CLEAR LAMINATED GLASS
- M09 (N) REMOVE METAL PANELS. REFURBISH (E) WINDOW FRAMES. STRIP (E) PAINT. PRIME AND PAINT TO MATCH SAMPLE.  
REPLACE PANELS WITH 3/8" TEMPERED GLASS AS BASE BID.  
**PROVIDE ALTERNATE 1, REPLACE PANELS AND FRAMING WITH INSULATED GLASS PANELS.  
PROVIDE ALTERNATE 2, REPLACE PANELS AND FRAMING WITH (N) OPERABLE WINDOW SYSTEM.**

- M10 STRIP EXISTING PAINT FROM NORTH & SOUTH FACADES, AND WEST FACING PARTY WALL. PATCH, PRIME AND PAINT TO MATCH ARCHITECT'S COLOUR SAMPLE.
- M11 (N) GLASS AND METAL BLADE SIGN WITH INTERNAL HALO LED LIGHTING. TO BE INSTALLED UNDER SEPARATE PERMIT.
- M12 (N) PAINTED ALUMINUM/GLASS CANOPY. SEE A4.10 - A4.12
- M13 (N) DARK GRAY PAINTED ALUMINUM STOREFRONT SYSTEM WITH 3/8" FROSTED LAMINATED GLASS
- M15 (E) STAIR #1 PENTHOUSE

- M16 (N) PAINTED ALUMINUM SLAT SCREEN
- M17 (N) GALVANIZED SAFETY HANDRAIL BY MECHANICAL UNITS
- M18 (N) ROOF DECK WITH GLASS HAND RAIL
- M19 (N) ELEVATOR #2 PENTHOUSE. TO BE CLAD IN CEMENT BOARD. SEE A5.62. FINISH TAG W08.
- M20 (N) SKYLIGHT. TO BE CLAD IN CEMENT BOARD. SEE A5.62. FINISH TAG W08.

-  M07 BACK PTD. GLASS PANEL
-  M08 9/16" LAMINATED CLEAR GLASS

KEY NOTES NO SCALE 3 GRAPHIC LEGEND NO SCALE 2



PROPOSED SCALE: 3/16" = 1'-0" 2



EXISTING SCALE: 3/16" = 1'-0" 1

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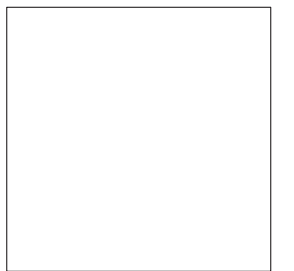
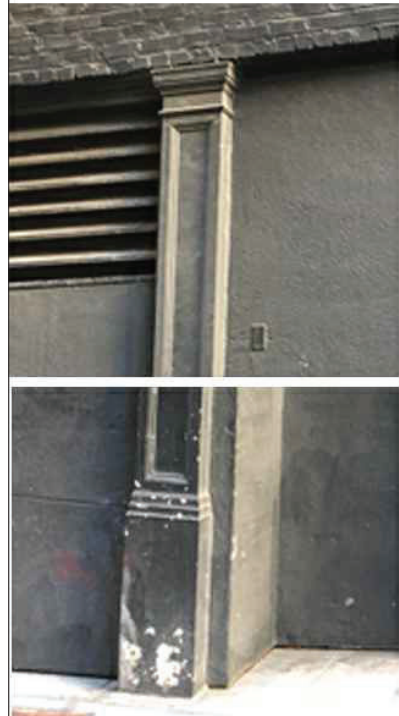
Project No:  
Drawing Title:  
ELEVATION - CAMPTON PLACE

Sheet No:  
A2.02



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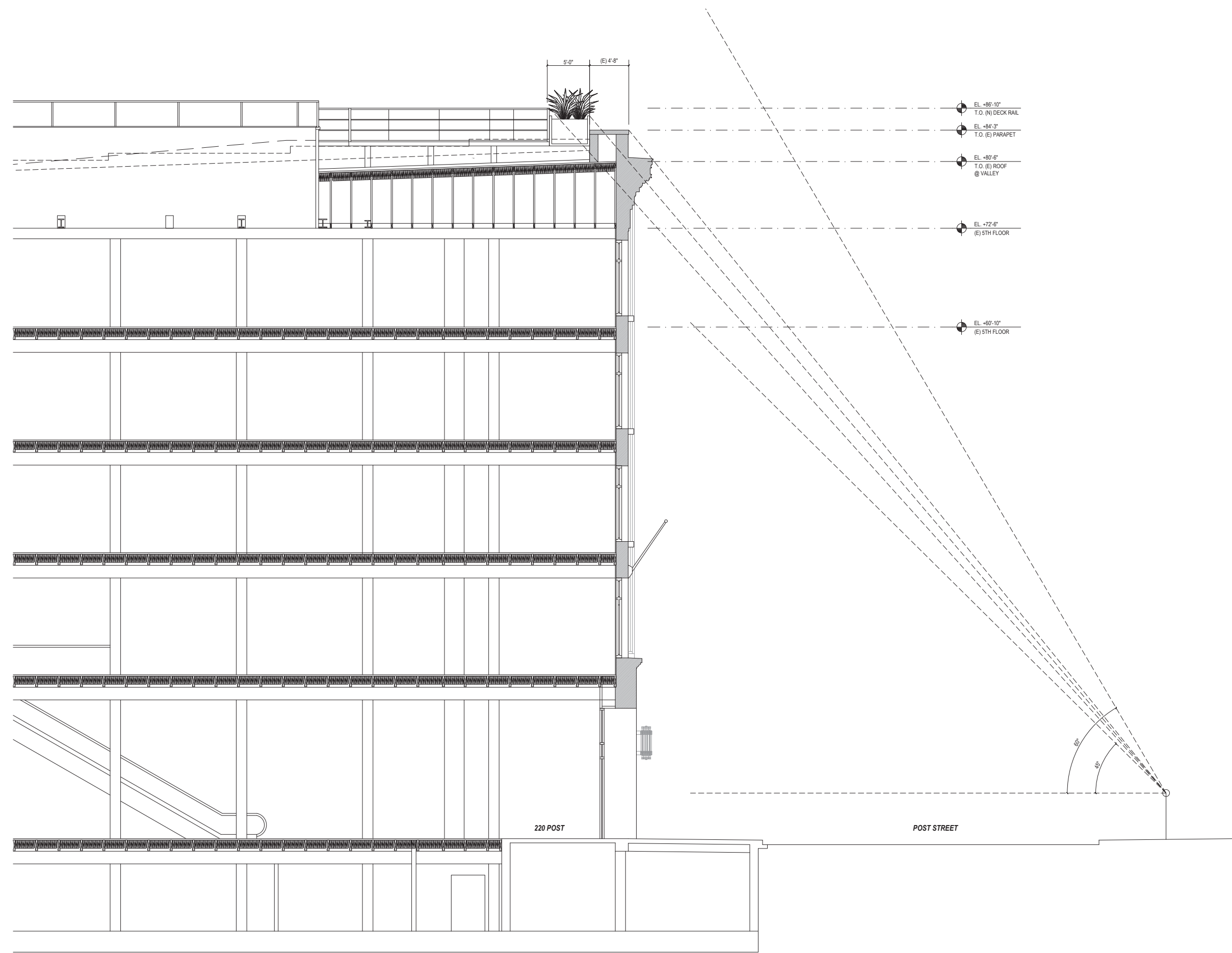
NOTE: If this drawing is not 24"x36" it has been revised from its original size. Scale noted on drawings/details are no longer applicable.  
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Project No:  
Drawing Title:  
**ELEVATION - CAMPTON PLACE**

Sheet No:  
**A2.03**



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EL +86'-10"  
T.O. (N) DECK RAIL

EL +84'-3"  
T.O. (E) PARAPET

EL +80'-6"  
T.O. (E) ROOF  
@ VALLEY

EL +72'-6"  
(E) 5TH FLOOR

EL +60'-10"  
(E) 5TH FLOOR

220 POST

POST STREET

60°  
45°

NOTE: If this drawing is not 24"x36" it has been resized from its original size. Check notes on drawings for details that no longer apply.

Project No:

Drawing Title:

SK1: ROOF  
DECK/STREET SIGHT  
LINES (01/31/2019)

Sheet No:

A-3.00

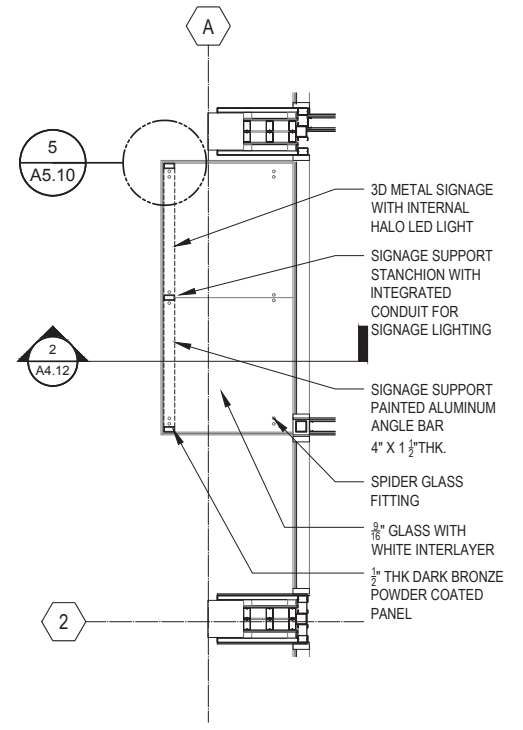
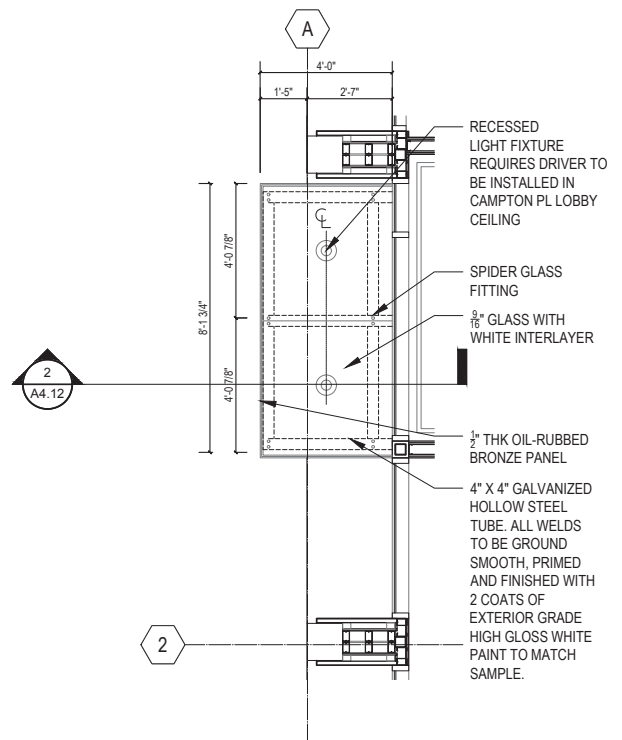
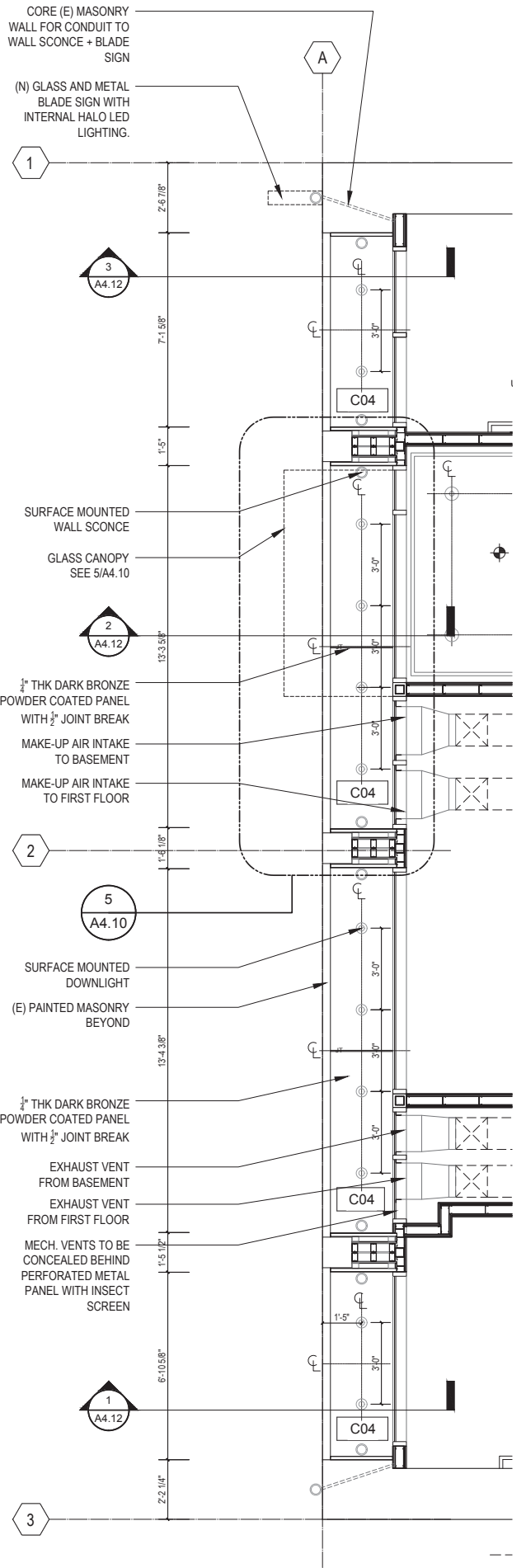
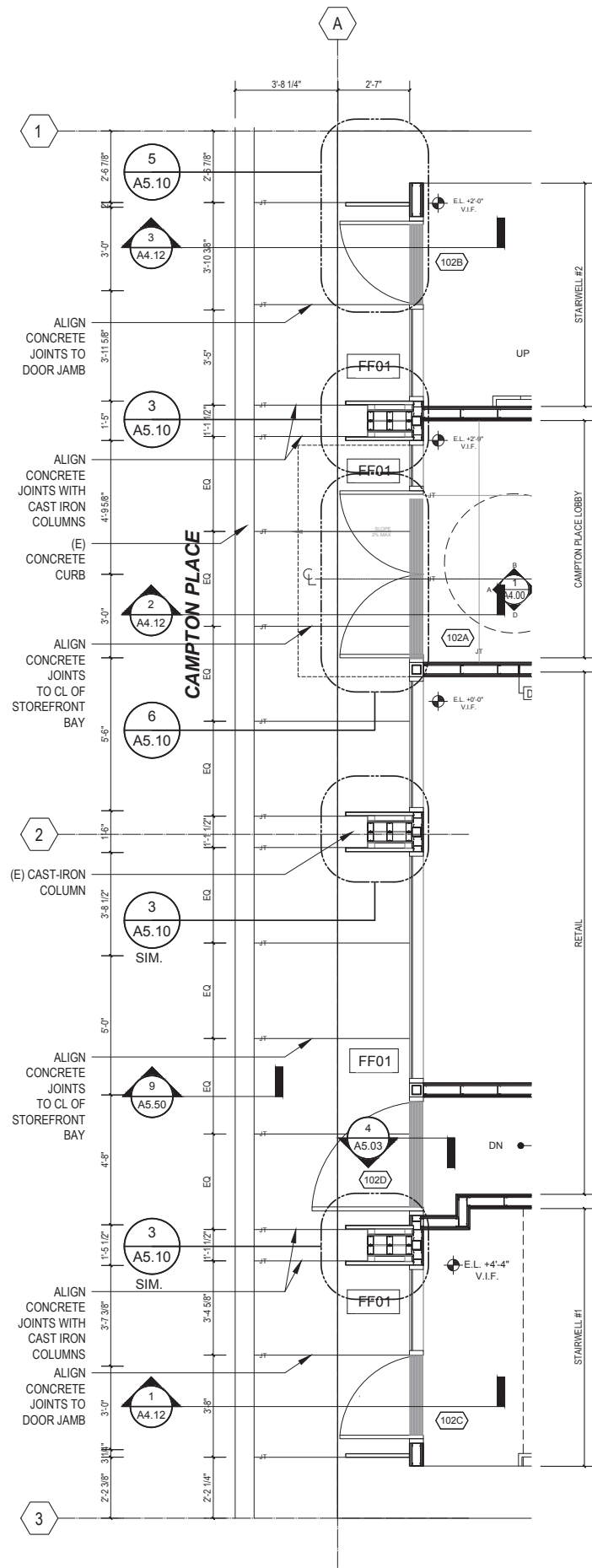
Rev.	Date	Remarks
	08/07/2018	Permit Application
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	03/08/2019	Plan Review Comments
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NOTES:  
1. ELECTRICAL CONDUITS TO BE LAID IN NEW SIDEWALK CONCRETE TOPPING TO ALLOW FOR RECESSED UPLIGHTS AT CAMPTON PLACE STOREFRONT.

NOTES NO SCALE 2

PROPOSED CONSTRUCTION  
EXISTING CONSTRUCTION TO REMAIN

NOTE: If this drawing is not 24"x36" it has been revised from its original size. Scale noted on drawings/elements are no longer applicable.  
Project No:  
Drawing Title:  
ENLARGED CAMPTON PL STOREFRONT - PLANS  
Sheet No:  
A4.10





CANOPY PLAN SCALE: 3/8" = 1'-0" 5

STOREFRONT SOFFIT RCP SCALE: 3/8" = 1'-0" 4

STOREFRONT PLAN SCALE: 3/8" = 1'-0" 3

GRAPHIC LEGEND NO SCALE 1



-  9/16" CLEAR LAMINATED GLASS
-  9/16" FROSTED LAMINATED GLASS

KEY NOTES

NO SCALE

3

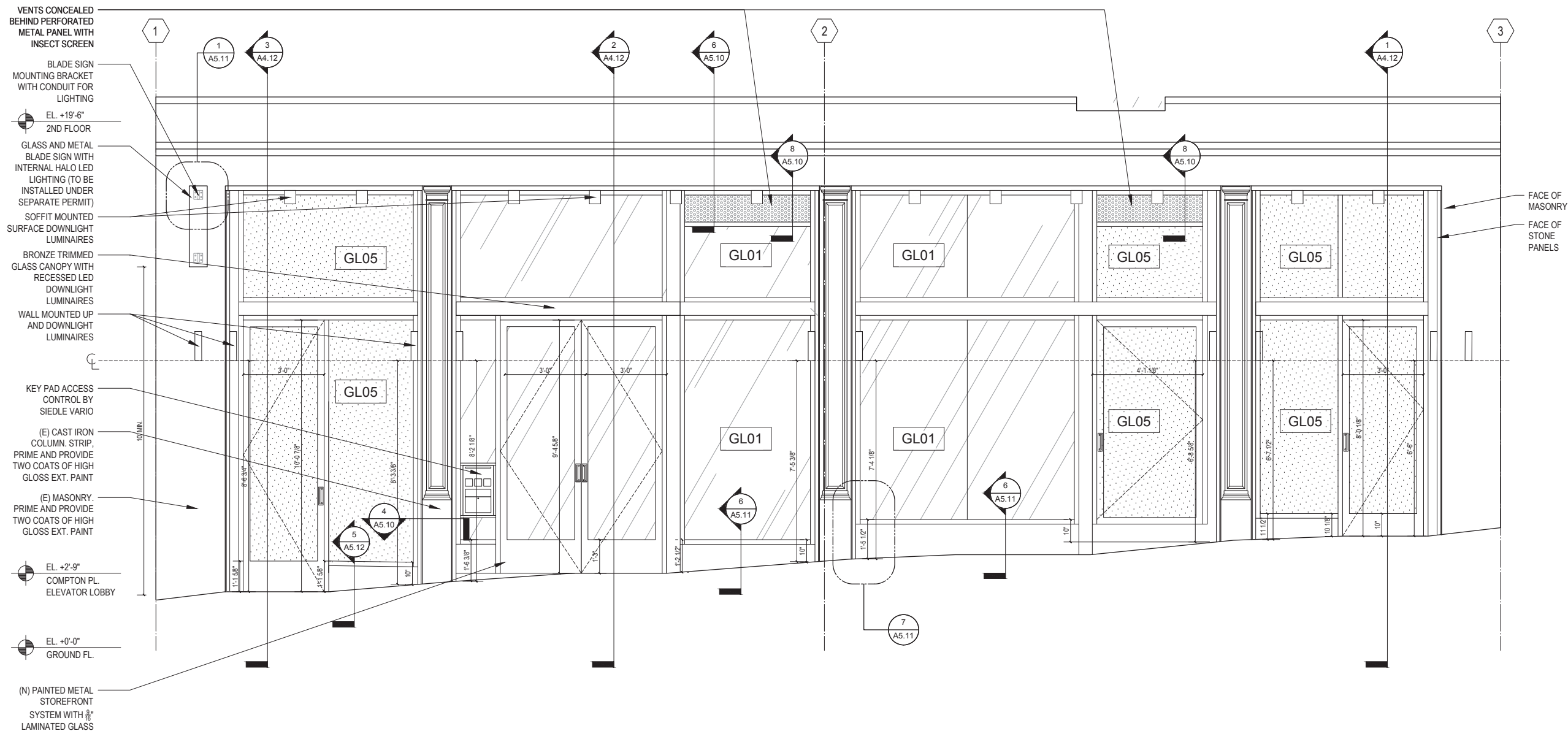
GRAPHIC LEGEND

NO SCALE

2

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Project No:  
Drawing Title:  
**ENLARGED CAMPTON PLACE STOREFRONT - ELEVATION**  
Sheet No:

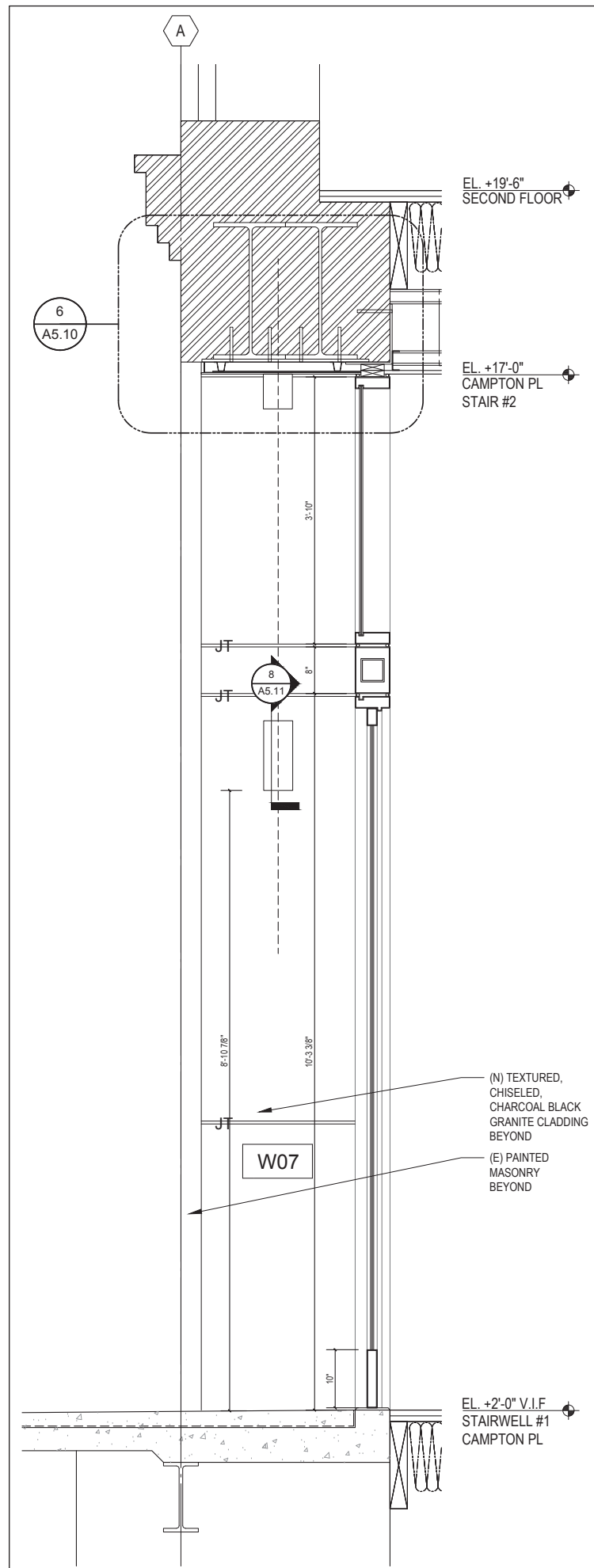
ENLARGED CAMPTON PLACE FACADE

SCALE: 1/2" = 1'-0"

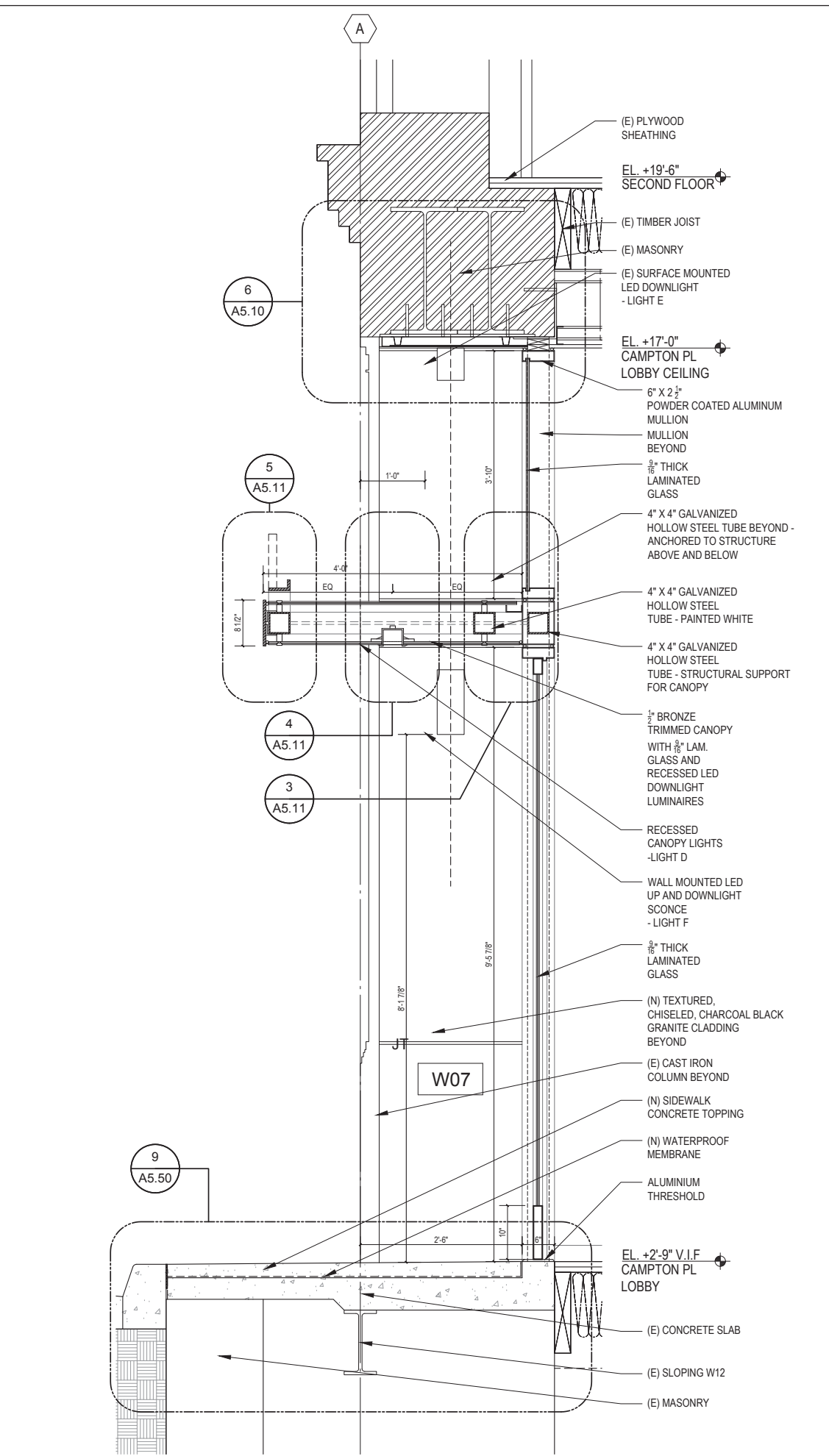
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**A4.11**

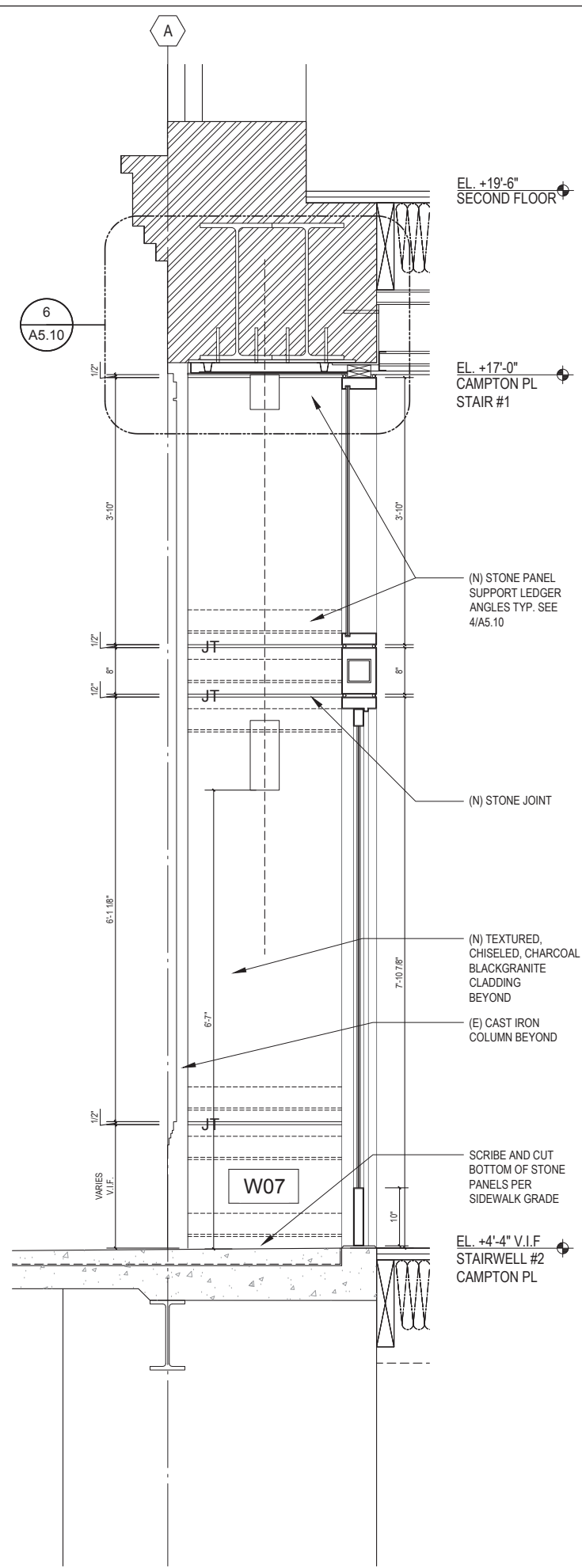
Rev.	Date	Remarks
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	06/11/2019	Plan Review Comments



CAMPTON PL STAIR #2 @ LVL +2'-0" SCALE: 1" = 1'-0" 3



CAMPTON PL LOBBY STOREFRONT @ LVL +2'-9" SCALE: 1" = 1'-0" 2

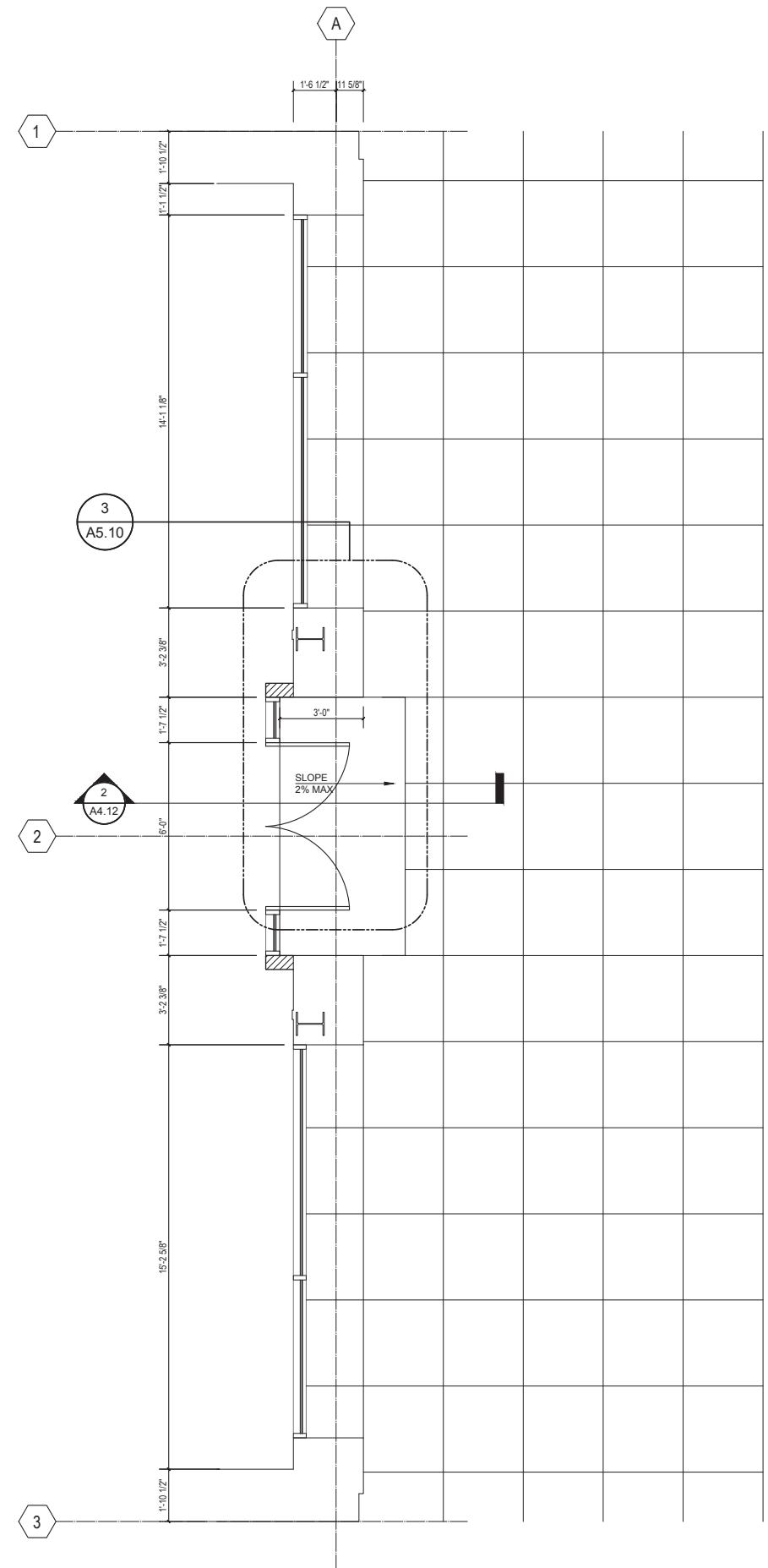


CAMPTON PL STAIR #1 @ LVL +4'-4" SCALE: 1/2" = 1'-0" 1

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


POST STREET

NOTES

NO SCALE

2

-  PROPOSED CONSTRUCTION
-  EXISTING CONSTRUCTION TO REMAIN

STOREFRONT PLAN

SCALE: 3/8" = 1'-0"

3

GRAPHIC LEGEND


NO SCALE

1

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Project No:

Drawing Title:  
**ENLARGED CAMPTON  
PL STOREFRONT -  
PLANS**  
Sheet No:  
**A4.13**

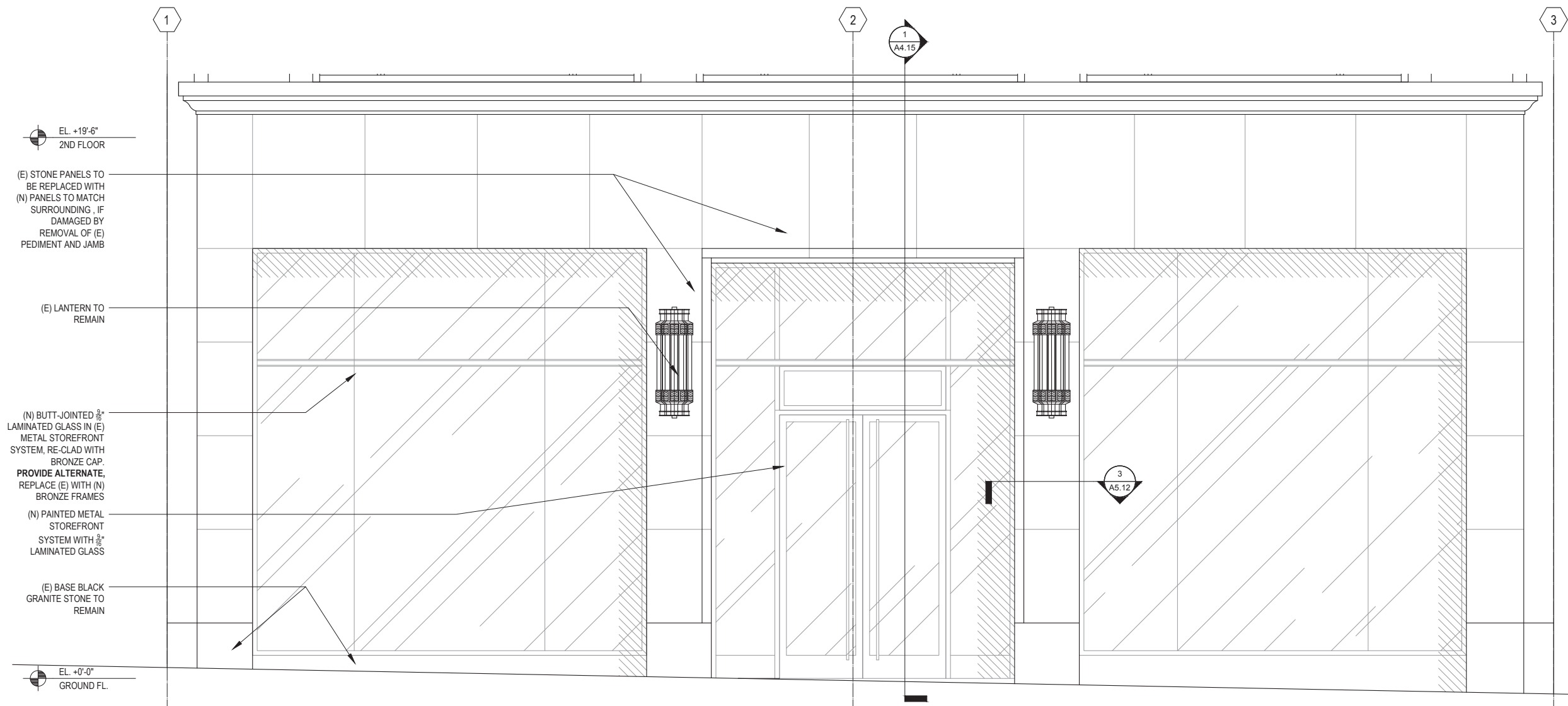
 9/16" LAMINATED CLEAR GLASS

KEY NOTES NO SCALE 3

GRAPHIC LEGEND NO SCALE 2

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EL. +19'-6"  
2ND FLOOR

(E) STONE PANELS TO BE REPLACED WITH (N) PANELS TO MATCH SURROUNDING. IF DAMAGED BY REMOVAL OF (E) PEDIMENT AND JAMB

(E) LANTERN TO REMAIN

(N) BUTT-JOINTED 3/8" LAMINATED GLASS IN (E) METAL STOREFRONT SYSTEM, RE-CLAD WITH BRONZE CAP. PROVIDE ALTERNATE. REPLACE (E) WITH (N) BRONZE FRAMES

(N) PAINTED METAL STOREFRONT SYSTEM WITH 3/8" LAMINATED GLASS

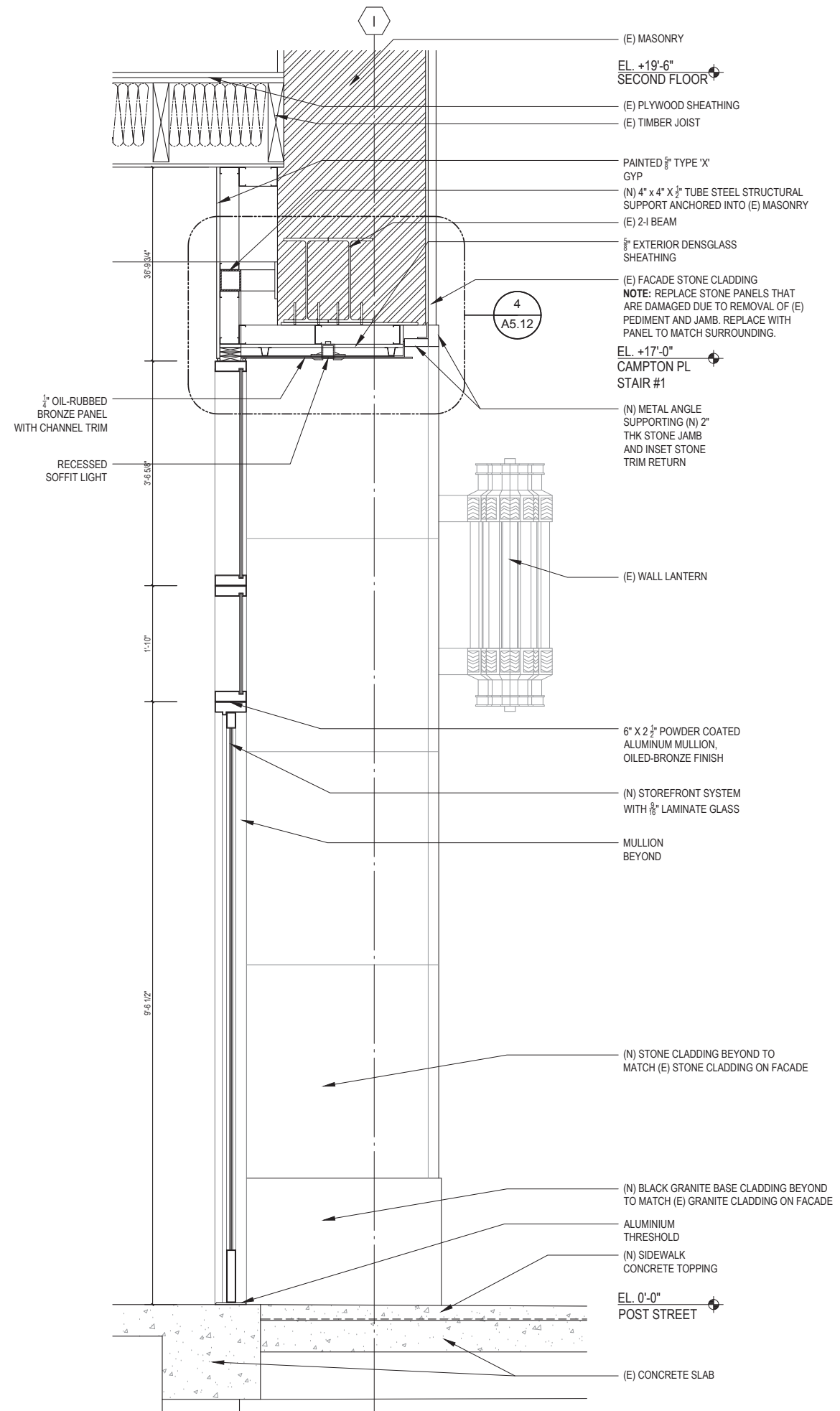
(E) BASE BLACK GRANITE STONE TO REMAIN

EL. +0'-0"  
GROUND FL.

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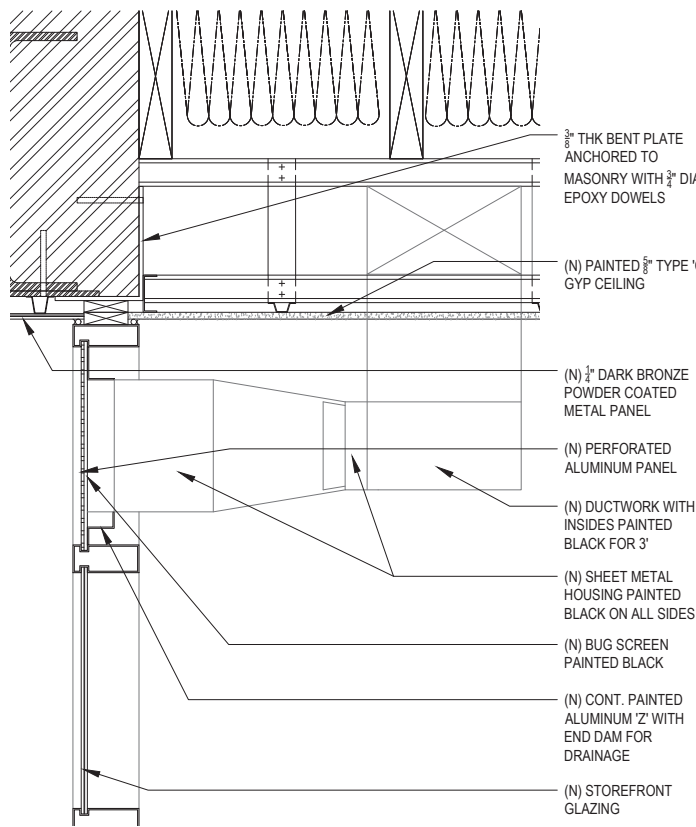
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Drawing Title:  
**ENLARGED POST STREET STOREFRONT - ELEVATION**  
Sheet No:  
**A4.14**

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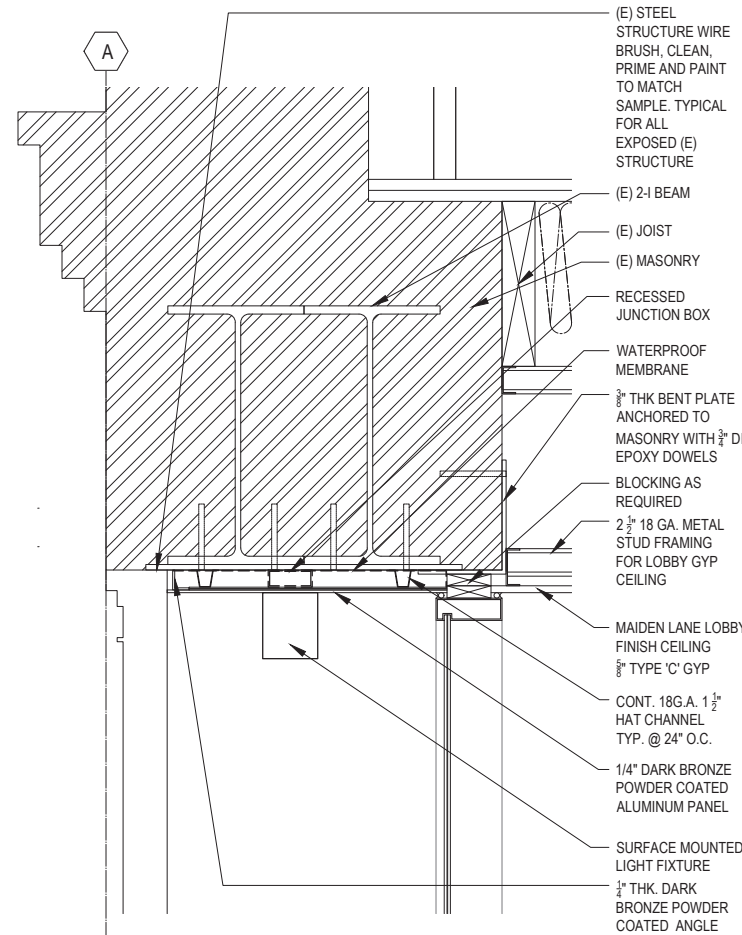


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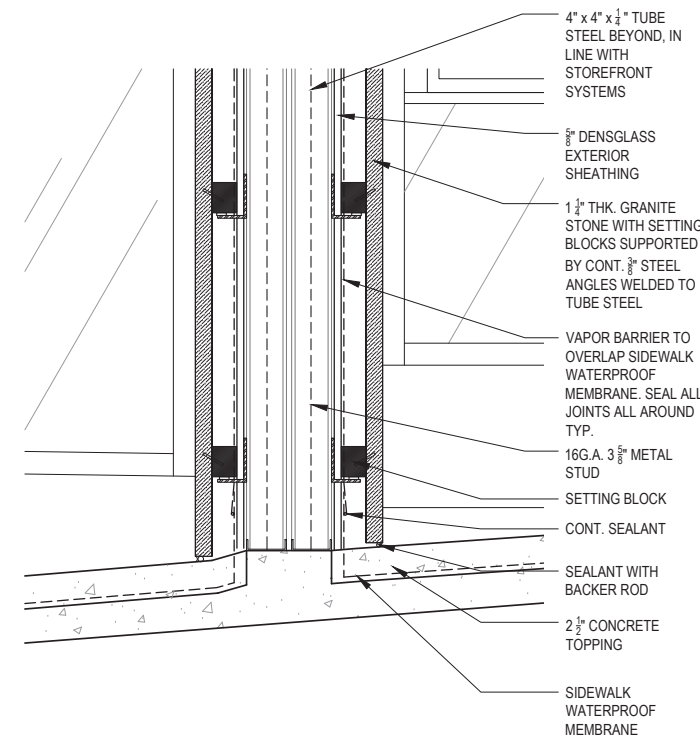
NOTES:  
1. ELECTRICAL CONDUITS TO BE LAID IN NEW SIDEWALK CONCRETE TOPPING TO ALLOW FOR RECESSED UPLIGHTS AT CAMPTON PLACE STOREFRONT.



**INTAKE/EXHAUST DUCT PANEL DETAIL** SCALE: 1 1/2" = 1'-0" **8**

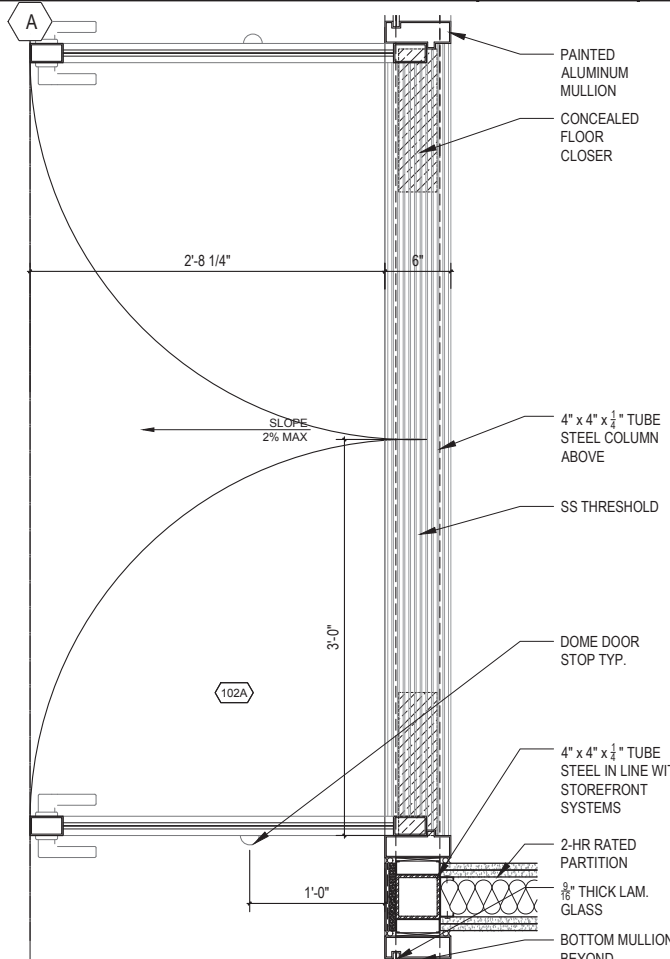


**SOFFIT METAL CLADDING DETAIL** SCALE: 1 1/2" = 1'-0" **6**

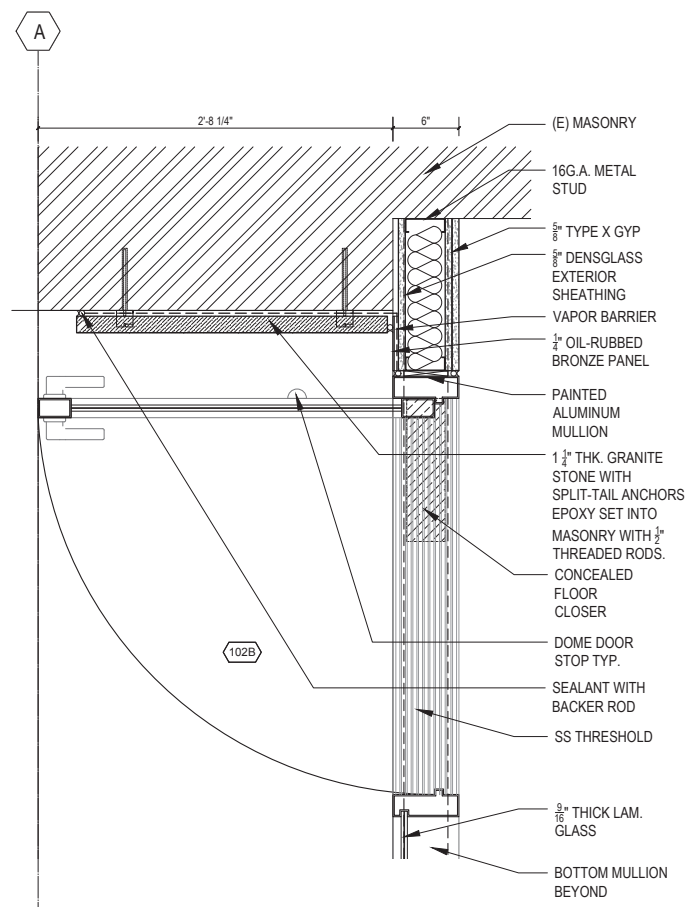


**STONE CLADDING SECTION DETAIL** SCALE: 1 1/2" = 1'-0" **4**

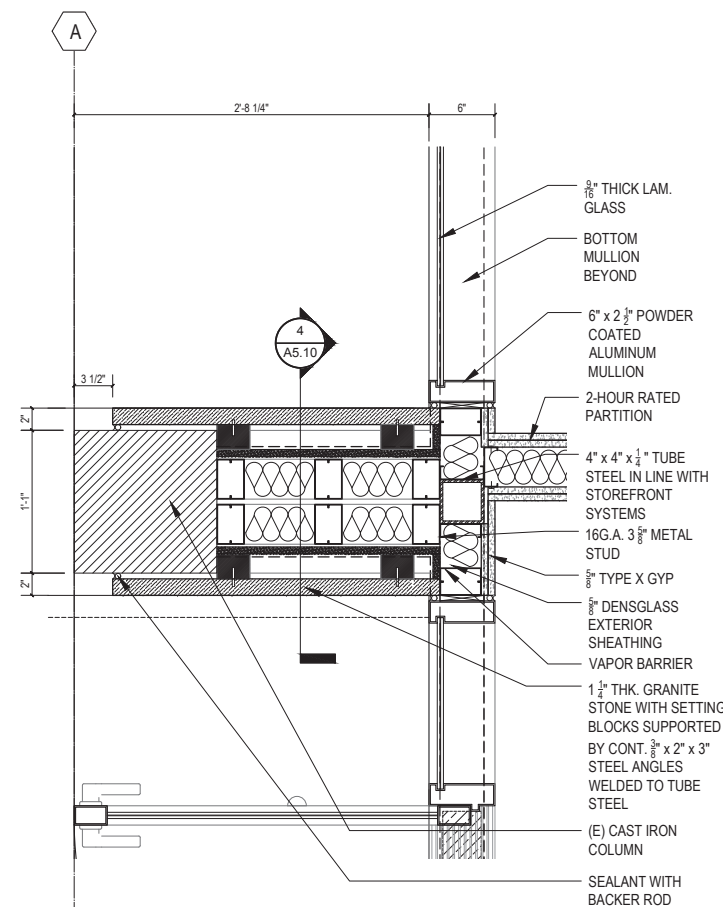
**NOTES** NO SCALE **2**



**LOBBY ENTRANCE DOOR DETAIL** SCALE: 1 1/2" = 1'-0" **7**



**MASONRY CLADDING DETAIL** SCALE: 1 1/2" = 1'-0" **5**



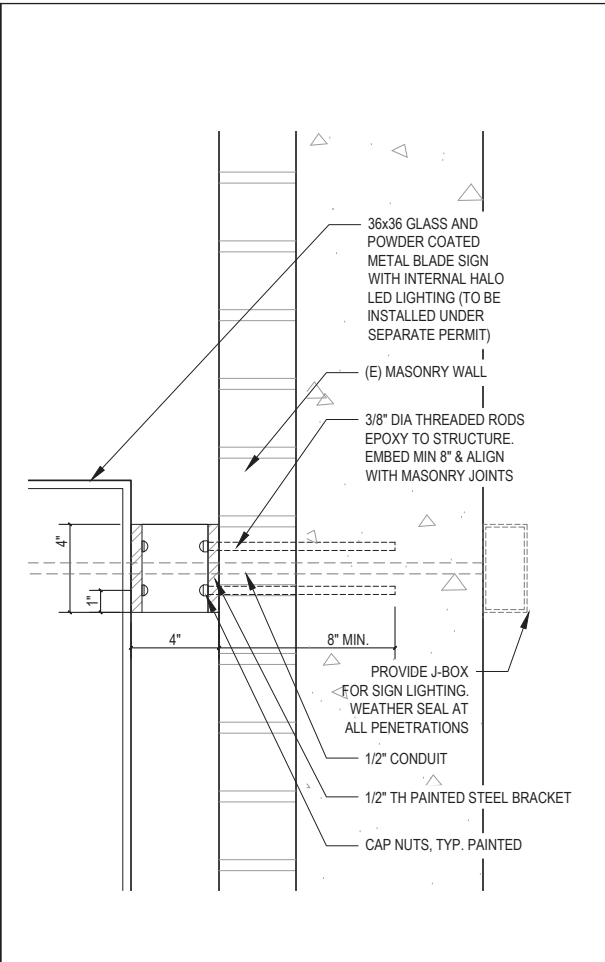
**CAST IRON COLUMN/STONE CLADDING DETAIL** SCALE: 1 1/2" = 1'-0" **3**

**GRAPHIC KEY** NO SCALE **1**

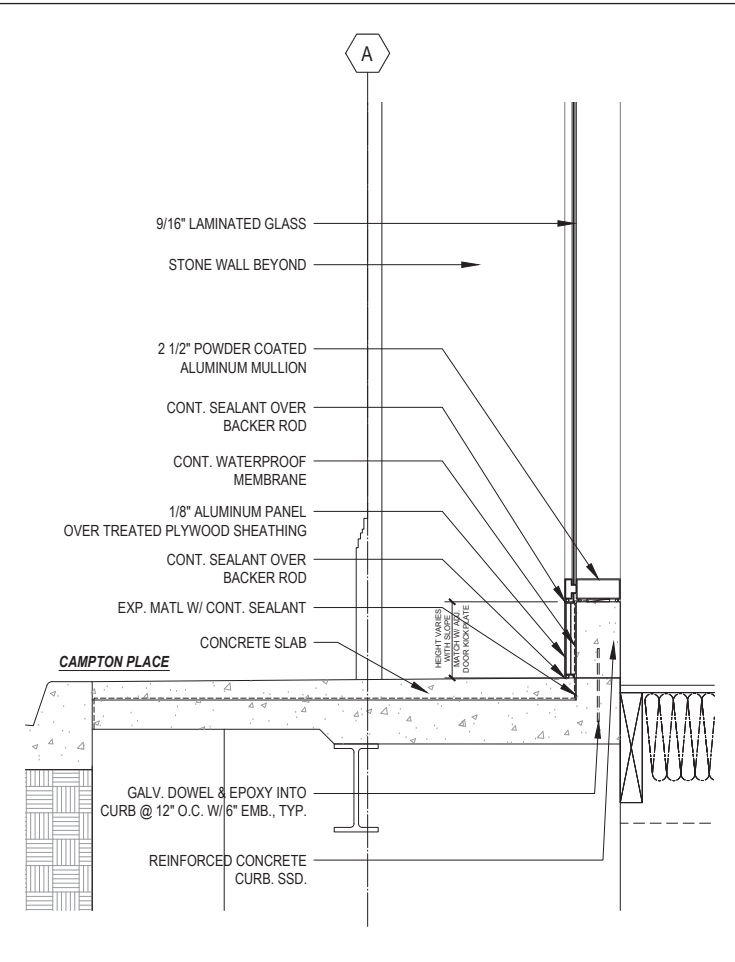
NOTE: If this drawing is not 24"x36" it has been revised from its original size. Scale noted on drawings/notes are no longer applicable.



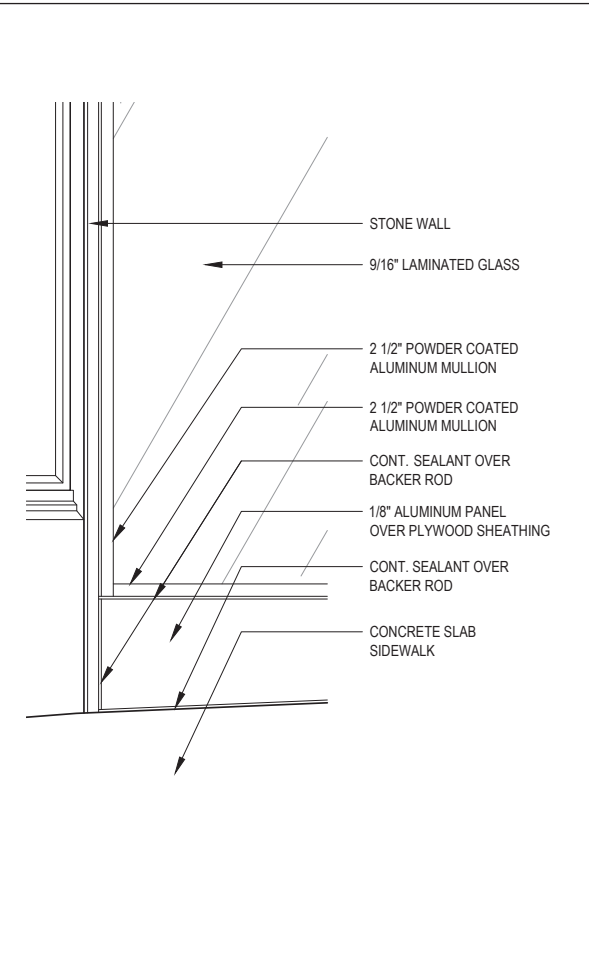
Rev.	Date	Remarks
	08/07/2018	Permit Application
	11/09/2018	Addendum #1
	03/08/2019	Plan Review Comments
	06/11/2019	Plan Review Comments



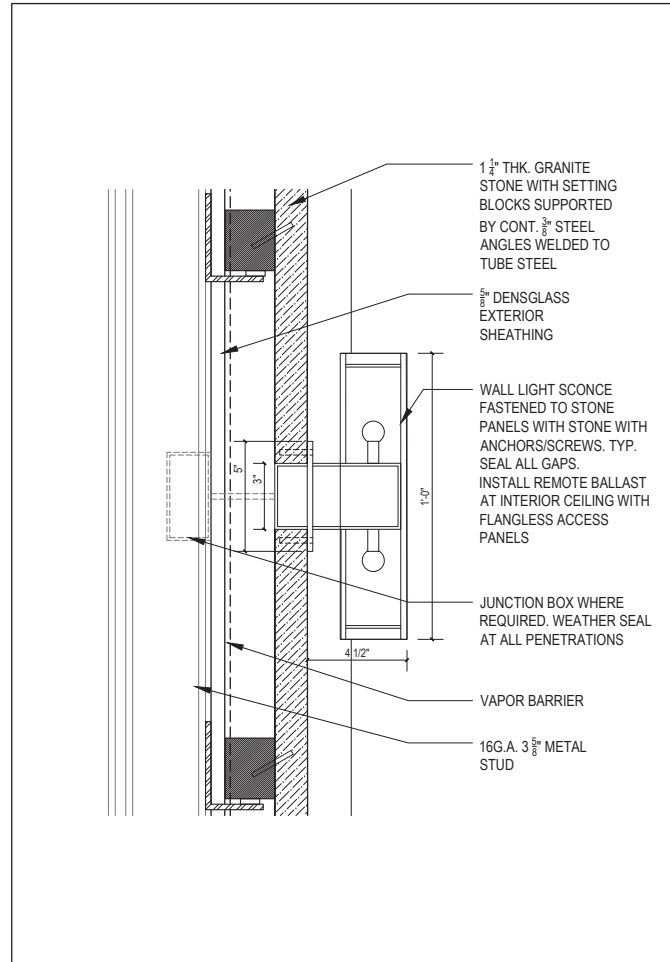
**BLADE SIGN BRACKET DETAIL** SCALE: 3"= 1'-0" **2**



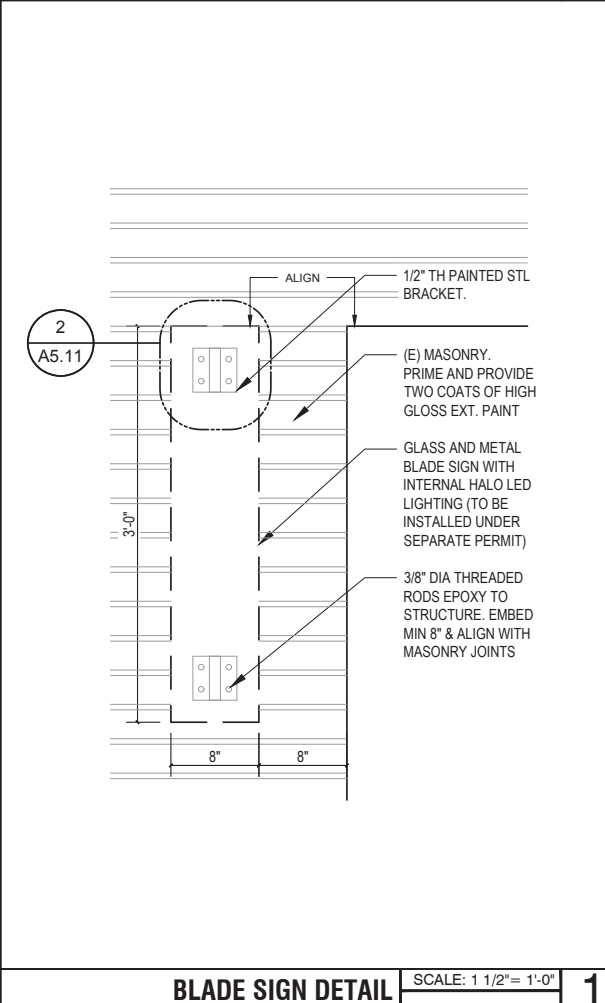
**STOREFRONT SILL DETAIL** SCALE: 1"= 1'-0" **6**



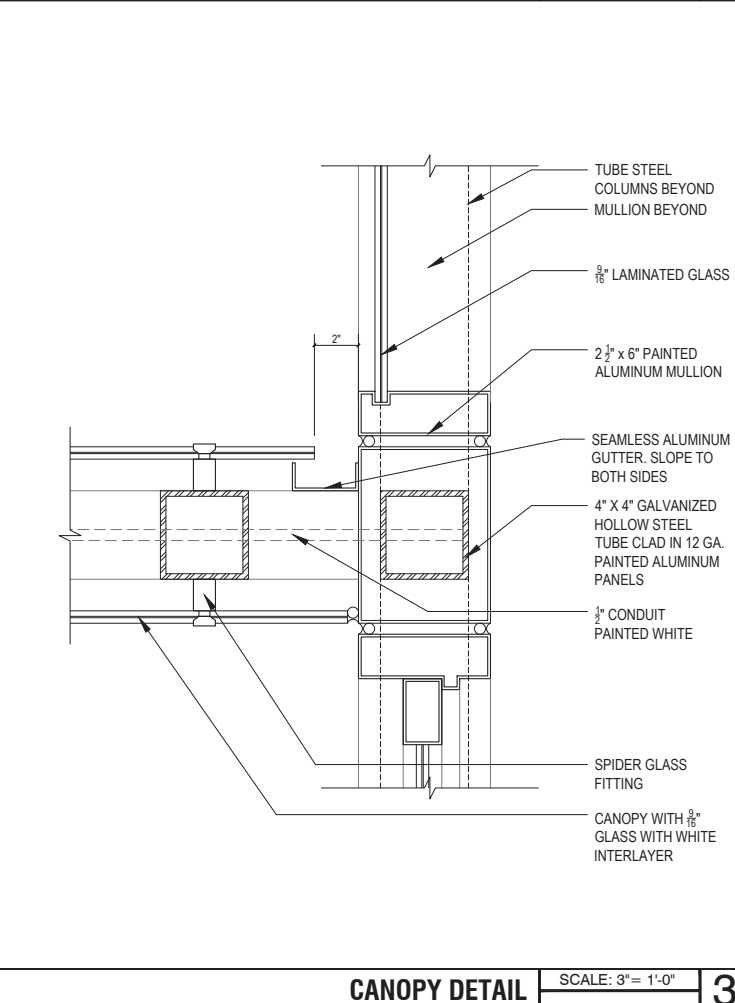
**STOREFRONT SILL DETAIL** SCALE: 1"= 1'-0" **7**



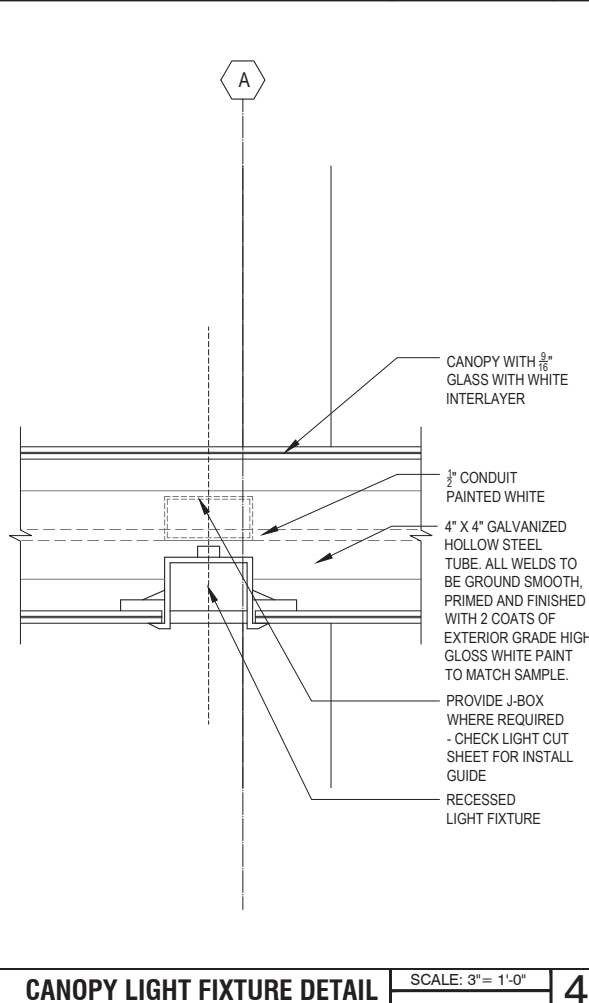
**WALL SCONCE MOUNTING DETAIL** SCALE: 3"= 1'-0" **8**



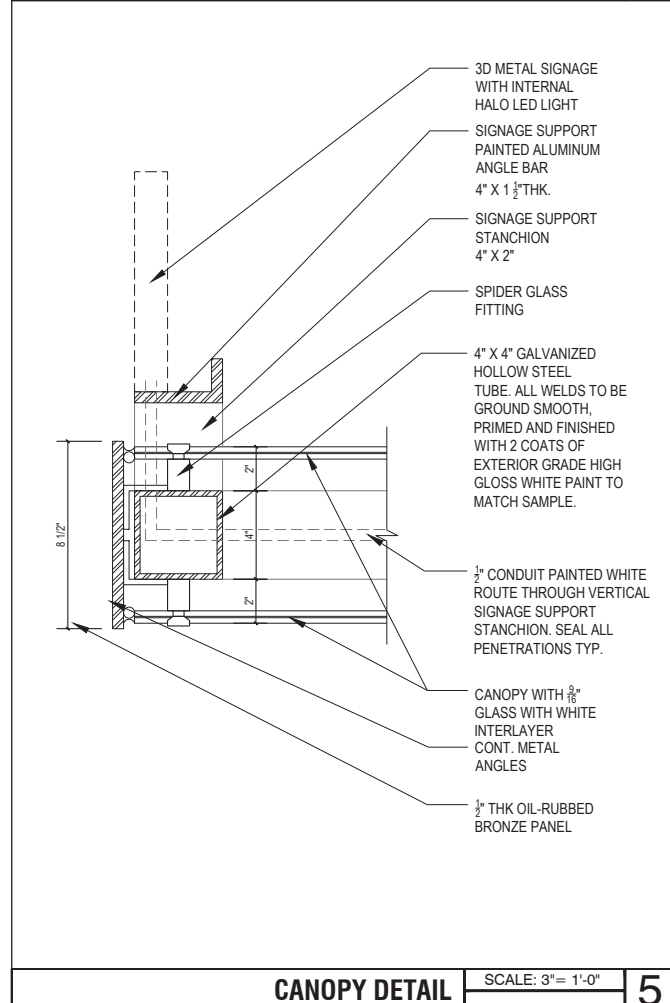
**BLADE SIGN DETAIL** SCALE: 1 1/2"= 1'-0" **1**



**CANOPY DETAIL** SCALE: 3"= 1'-0" **3**



**CANOPY LIGHT FIXTURE DETAIL** SCALE: 3"= 1'-0" **4**



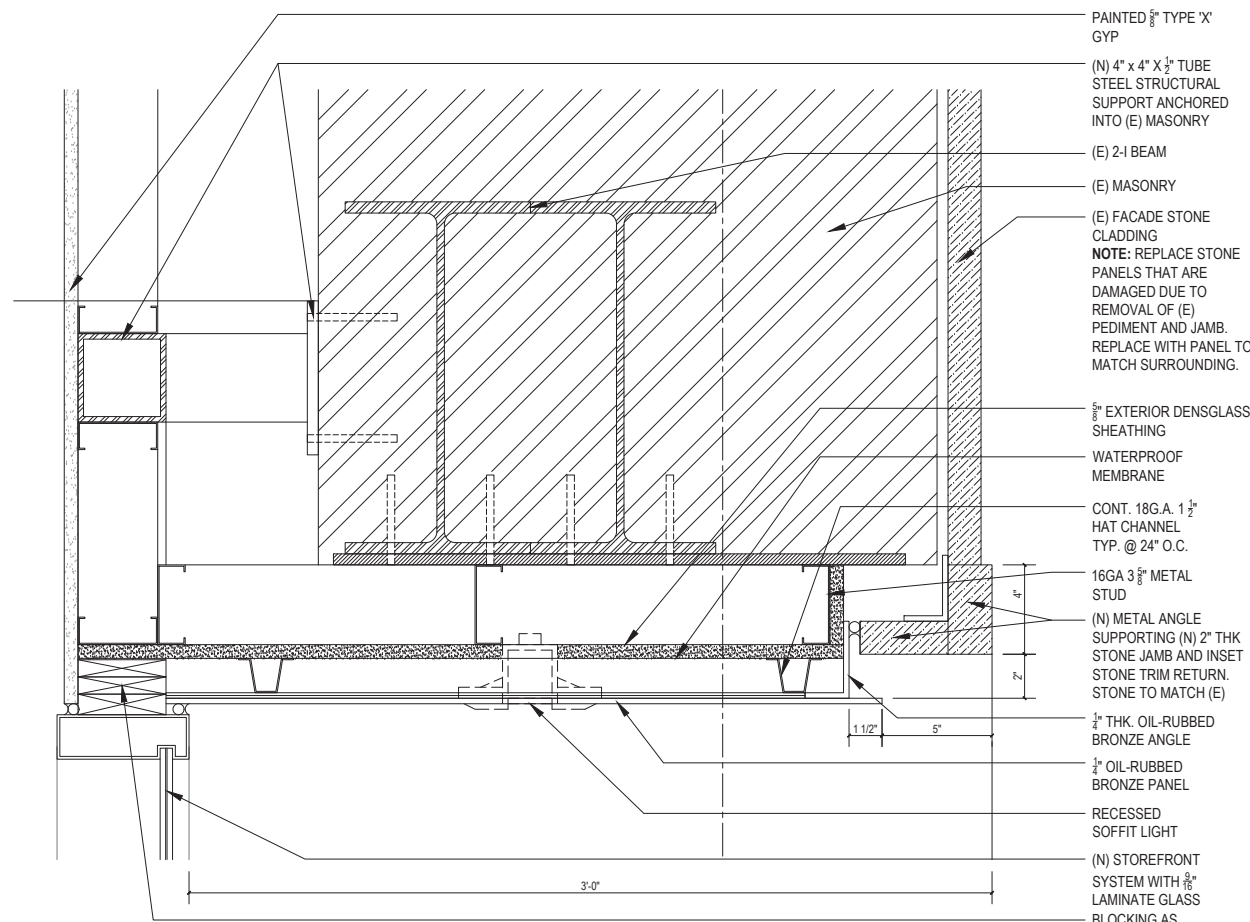
**CANOPY DETAIL** SCALE: 3"= 1'-0" **5**

Rev.	Date	Remarks
	08/07/2018	Permit Application
△	11/09/2018	Addendum #1
△	03/08/2019	Plan Review Comments
	06/11/2019	Plan Review Comments

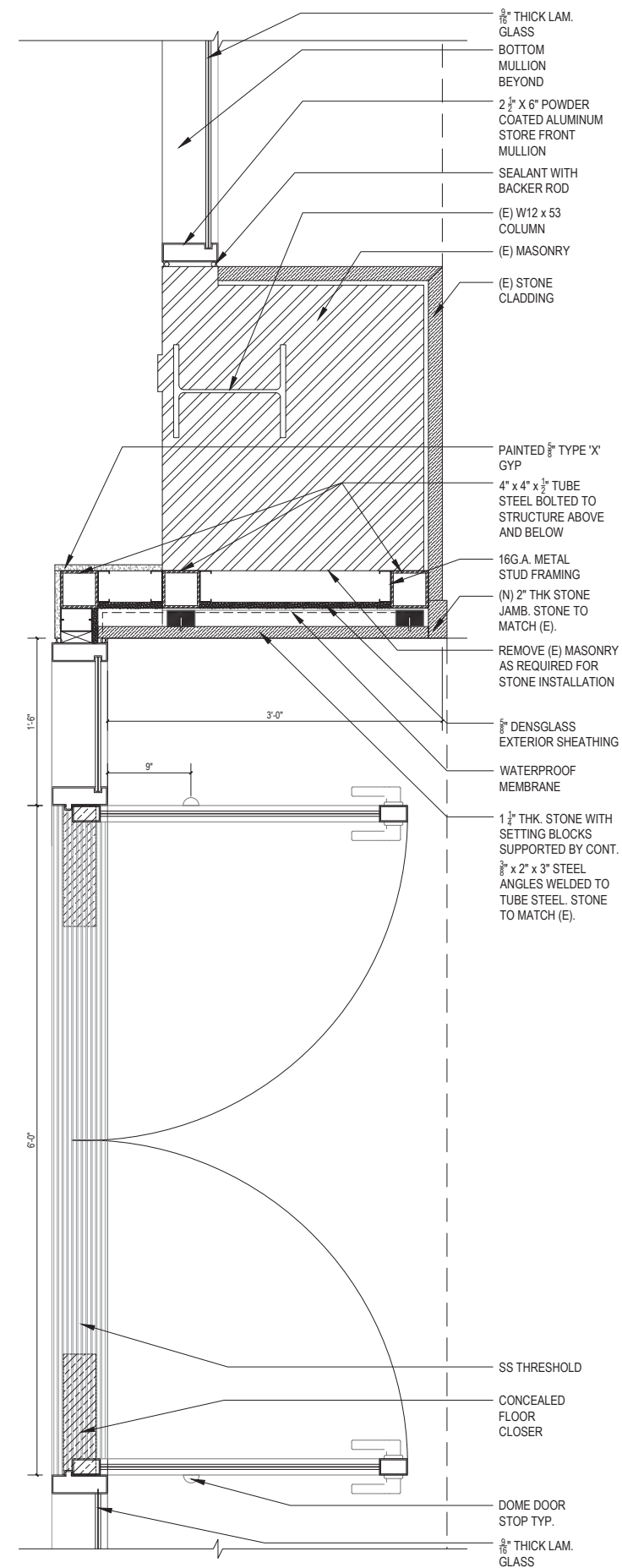
NOT IN USE SCALE: 1"= 1'-0" 6

NOT IN USE SCALE: 1"= 1'-0" 5

NOTES NO SCALE 2



ENTRANCE SOFFIT DETAIL SCALE: 3"= 1'-0" 4

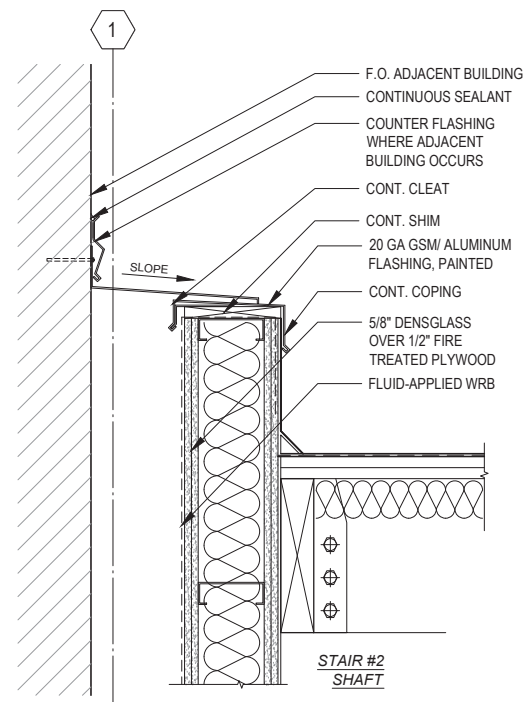


ENTRANCE DETAIL SCALE: 1-1/2"= 1'-0" 3

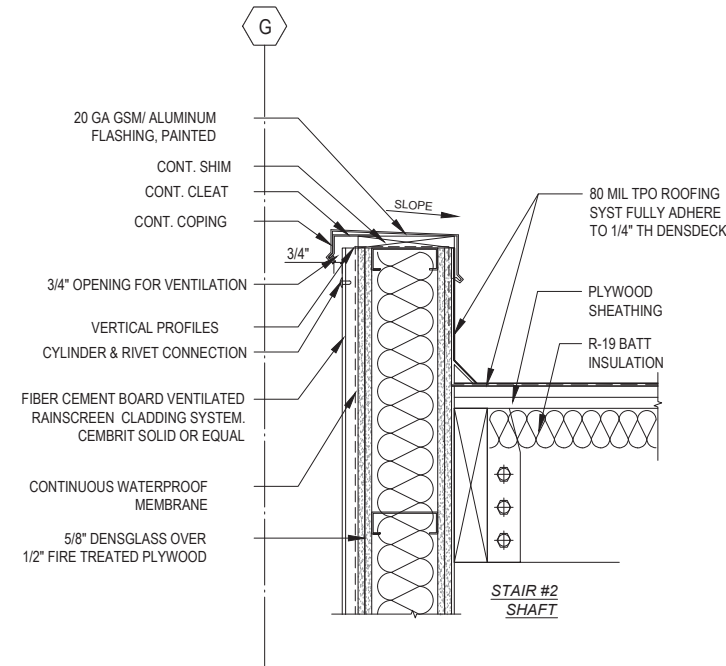
GRAPHIC KEY NO SCALE 1



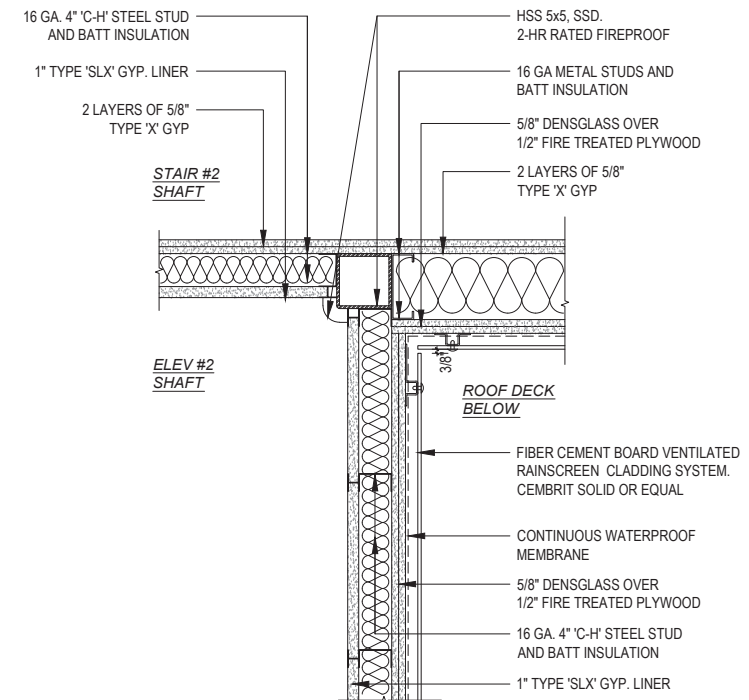
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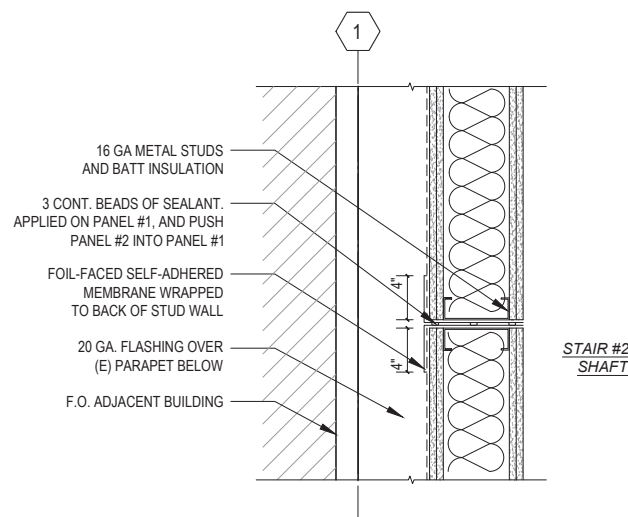
STAIR#2 PENT.-PARAPET SECTION @BLIND WALL SCALE: 1 1/2" = 1'-0" 9



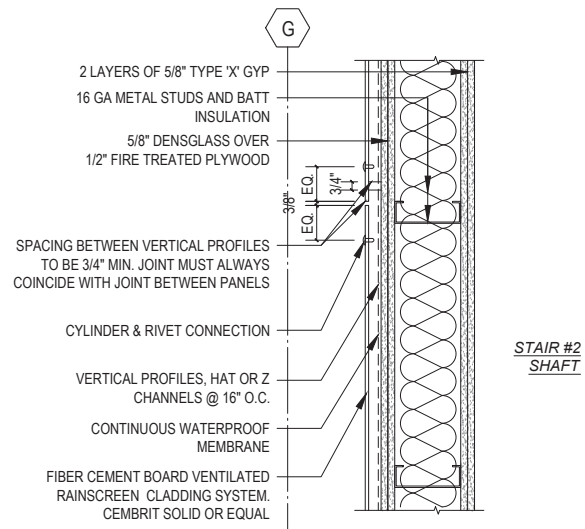
STAIR#2 PENTHOUSE - TYP. PARAPET SECTION SCALE: 1 1/2" = 1'-0" 6



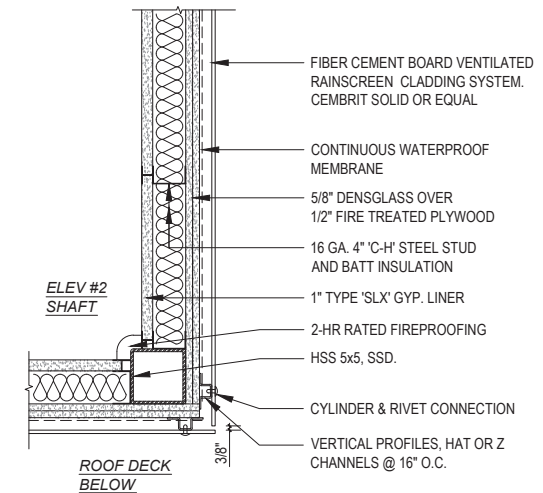
STR#2 & ELEV#2 PENTHOUSE @ ROOF LVL SCALE: 1 1/2" = 1'-0" 3



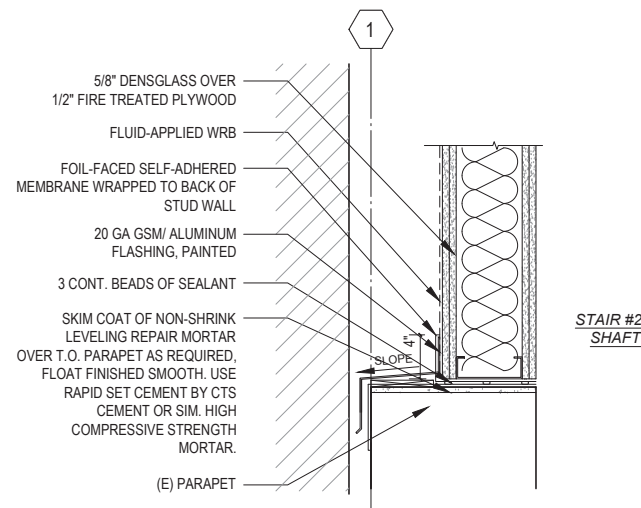
STAIR#2 PENT.-TYP. WALL ENL.PLAN@BLIND WALL SCALE: 1 1/2" = 1'-0" 8



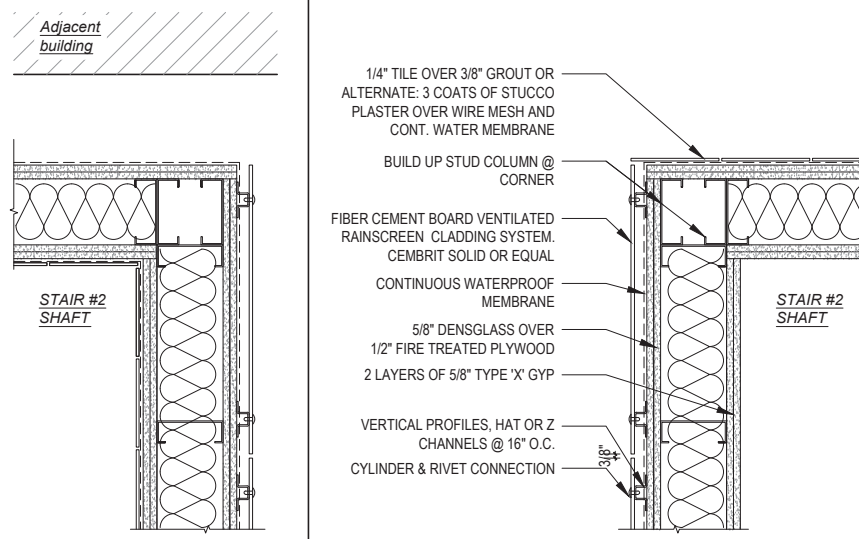
STAIR#2 PENTHOUSE - TYP. WALL SECTION SCALE: 1 1/2" = 1'-0" 5



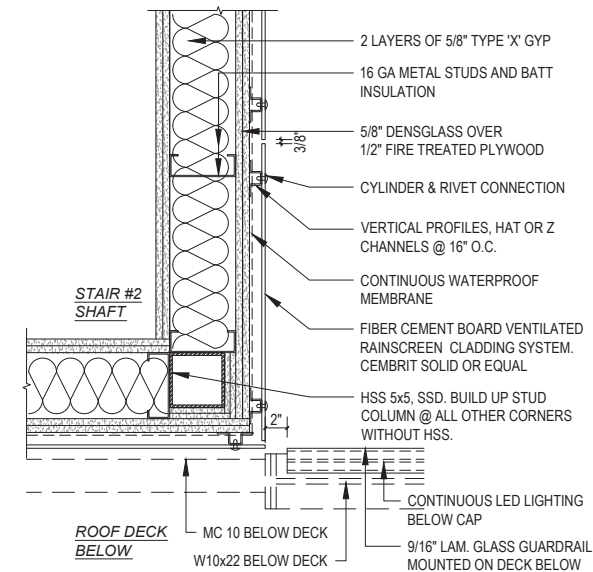
ELEV#2 PENTHOUSE @ ROOF LVL SCALE: 1 1/2" = 1'-0" 2



STAIR#2 PENT.-BASE SECTION @BLIND WALL SCALE: 1 1/2" = 1'-0" 7



STAIR#2 PENT. @ ROOF LVL SCALE: 1 1/2" = 1'-0" 4



STAIR#2 PENTHOUSE @ ROOF LVL SCALE: 1 1/2" = 1'-0" 1

NOTE: If this drawing is not 24"x36" it has been revised from its original size. Check notes on drawings for details that no longer apply.

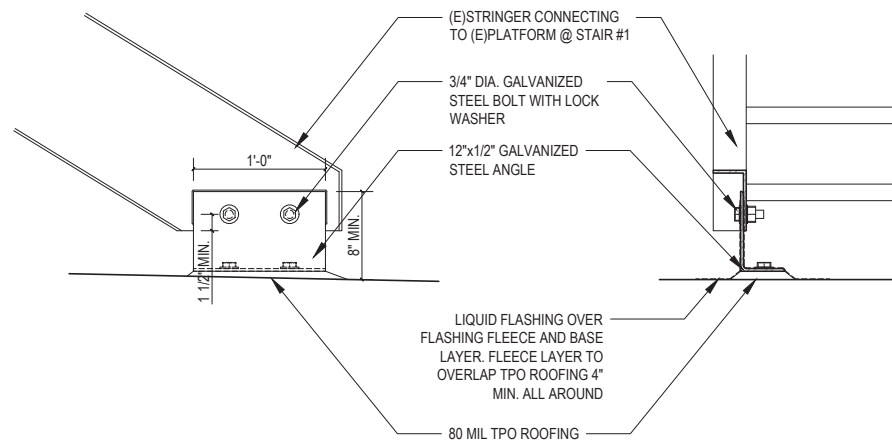
Project No:

Drawing Title:  
ROOF DETAILS  
(CONTD.)

Sheet No:

A5.62

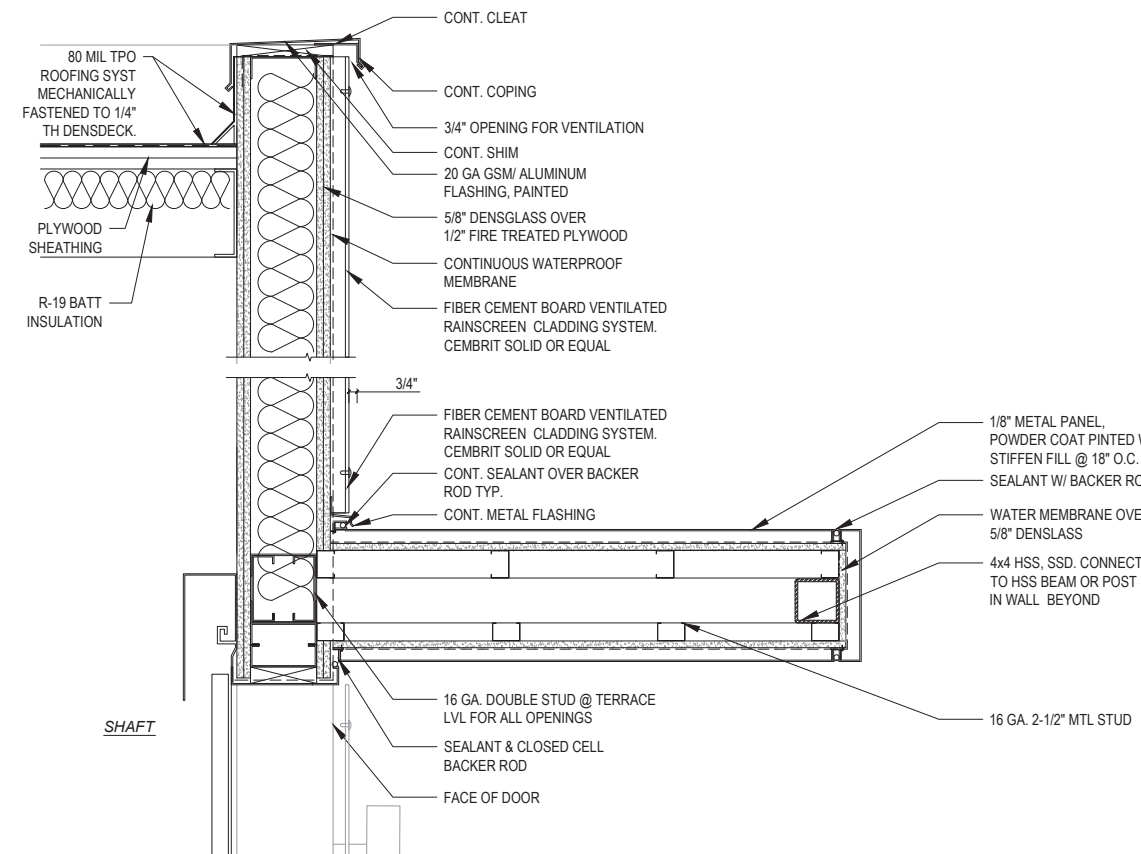
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ANCHOR DETAIL FOR (E) STAIR @ STAIR#1 PLATFORM ON ROOF

SCALE: 1 1/2" = 1'-0"

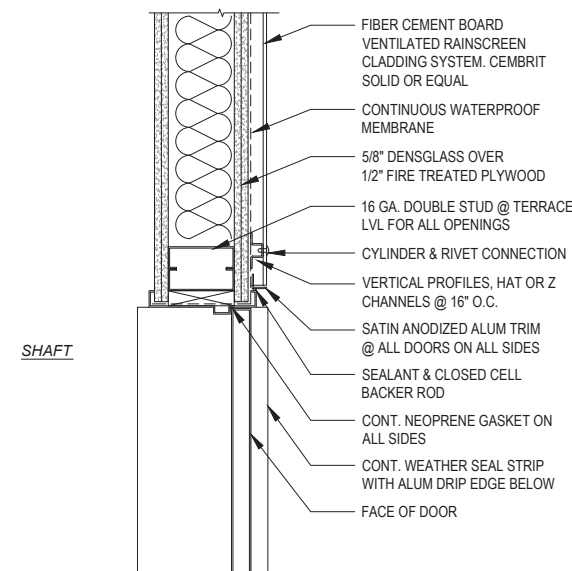
4



ELEVATOR PENTHOUSE CANOPY

SCALE: 1 1/2" = 1'-0"

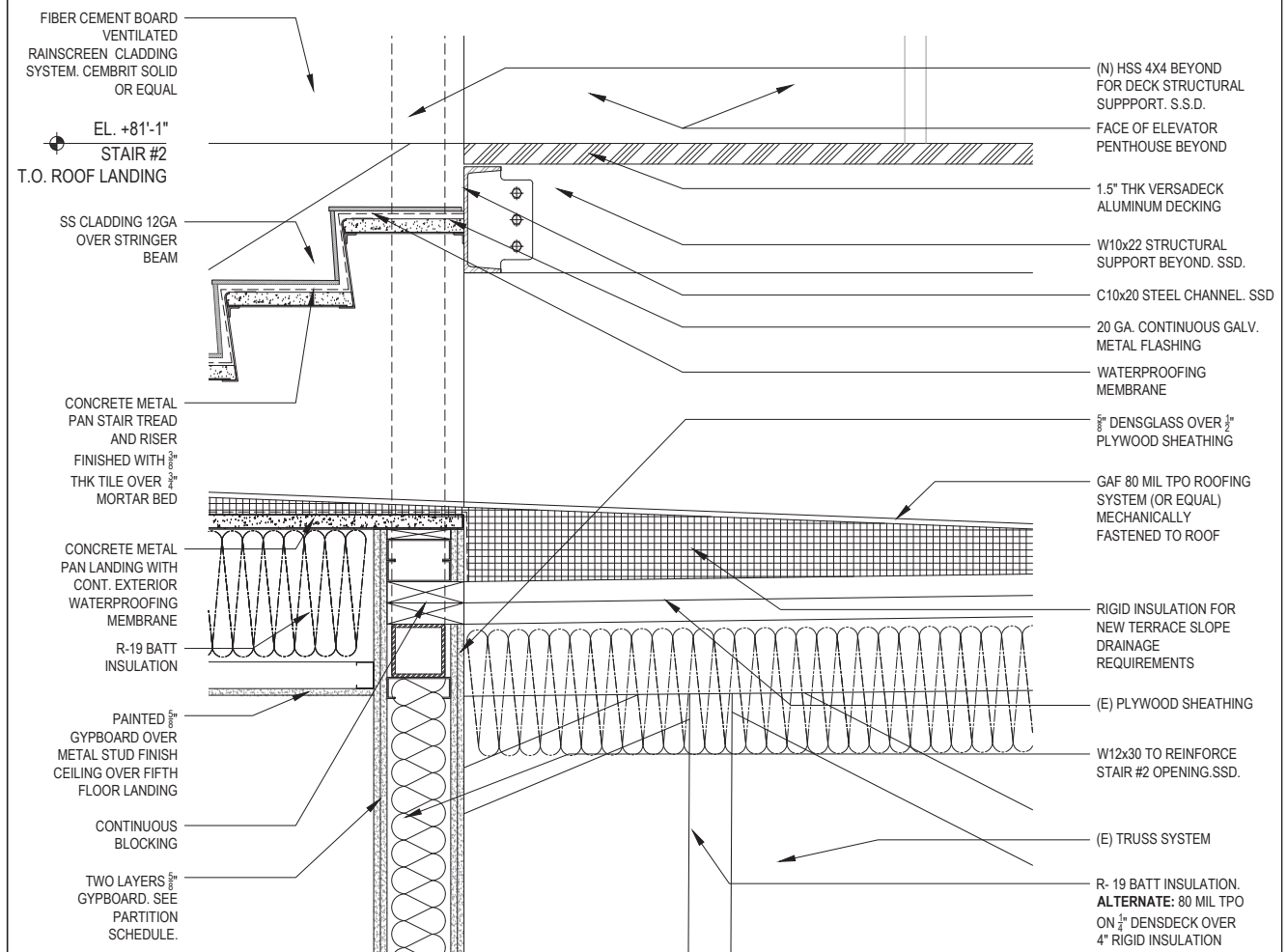
3



PENTHOUSE DOOR JAMB

SCALE: 1 1/2" = 1'-0"

2



STAIR #2 PENTHOUSE DOOR THRESHOLD

SCALE: 1 1/2" = 1'-0"

1

NOTE: If this drawing is not 24"x36" it has been revised from its original size. Scale noted on drawings/panels are no longer applicable.

Project No:

Drawing Title:

ROOF DETAILS  
(CONTD.)

Sheet No:

A5.63



# Story Pole Mock-Up Photo Key



Permit to Alter  
Case Number 2019-002884PTA  
220 Post Street



# Story Pole Mock-Up Photo 1\*

\*note that this earlier mock-up also depicts a second, fully enclosed penthouse for the stair; this is not representative of the revised open stair with a partial setback penthouse



Outline of Elevator Penthouse

Permit to Alter  
Case Number 2019-002884PTA  
220 Post Street



# Story Pole Mock-Up Photo 2\*

\*note that this earlier mock-up also depicts a second, fully enclosed penthouse for the stair; this is not representative of the revised open stair with a partial setback penthouse



Outline of Elevator  
Penthouse

Permit to Alter  
Case Number 2019-002884PTA  
220 Post Street



# Story Pole Mock-Up Photo 3\*

\*note that this earlier mock-up also depicts a second, fully enclosed penthouse for the stair; this is not representative of the revised open stair with a partial setback penthouse



Outline of Elevator  
Penthouse

Permit to Alter  
Case Number 2019-002884PTA  
220 Post Street



# Story Pole Mock-Up Rooftop Photo\*

\*note that this earlier mock-up also depicts a second, fully enclosed penthouse for the stair; this is not representative of the revised open stair with a partial setback penthouse



Permit to Alter  
Case Number 2019-002884PTA  
220 Post Street



# SAN FRANCISCO PLANNING DEPARTMENT

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## Permit to Alter Minor Alteration

*Date:* October 25, 2018  
*Case No.:* 2017-014849PTA  
*Building Permits:* 2018.0621.2631  
*Project Address:* 220 POST STREET  
*Conservation District:* Kearny-Market-Mason-Sutter  
*Category:* Category V – Unrated Building  
*Zoning:* C-3-R (Downtown Retail)  
80-130-F Height and Bulk District  
  
*Block/Lot:* 0294/007  
*Project Sponsor:* Koonshing Wong  
WZ Architecture, LP  
245 Vallejo Street  
San Francisco, CA 94111  
  
*Staff Contact:* Jonathan Vimr - (415) 575-9109  
[jonathan.vimr@sfgov.org](mailto:jonathan.vimr@sfgov.org)

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**

This is to notify you that pursuant to the process and procedures adopted by the Historic Preservation Commission (“HPC”) in Motion No. 0349 and authorized by Section 1111.1 of the Planning Code, the proposal at **220 POST STREET** is determined to be minor in scope and the Minor Permit to Alter has been delegated to the Department. The Department grants **APPROVAL** in conformance with the submittal labeled Exhibit A on file in the docket for Case No. **2017-014849PTA** and associated with Building Permit No. **2018.0621.2631**.

### ENVIRONMENTAL REVIEW STATUS

The Planning Department has determined that the proposed project is categorically exempt from the California Environmental Quality Act (“CEQA”) as a Class 1 (State CEQA Guidelines 15301 – Minor alteration of existing facilities with negligible or no expansion of use) Categorical Exemption because the project is an alteration of an existing structure and meets the *Secretary of the Interior’s Standards for the Treatment of Historic Properties*.

### PROJECT DESCRIPTION

The proposed scope of work is to remove the non-historic awnings and entry door surround at the Post Street façade, and to replace all ground floor storefronts at each building elevation within the same openings. Multiple security light fixtures would also be installed along the ground floor soffit at the Campton Place elevation. The proposed work conforms to the scopes of work delegated to Department staff for Minor Permit to Alter review in HPC Motion No. 0349. The proposed work most closely relates to Scope No. 5 (Awnings on Article 11 buildings), Scope No. 6 (Replacement of non-historic storefronts), and Scope No. 16 (Security Measures). All of the work described above is consistent with the architectural character of the building, District, and the *Secretary Standards*.



## FINDINGS

The project complies with the following requirements:

**1. Compliance with requirements outlined in Article 11, Section 1111.6 of the Planning Code, including the Secretary of the Interior’s Standards for Rehabilitation (Secretary’s Standards), and related HPC policies:**

- a. The distinguishing historic qualities and character of the building may not be damaged or destroyed.

*The distinguishing historic qualities and character of the building will not be damaged or destroyed as the only alterations proposed are to non-historic elements of the subject building. Historic photographs confirm that the existing Post Street entry surround was installed within the last couple decades, and the awnings and storefronts at each elevation are similarly non-historic. These elements will be removed and replaced with new systems in the same openings. In all cases, these new storefronts will have a punched appearance and will include a traditional bulkhead, display, transom configuration with entry doors being recessed and featuring a full frame. The new systems will consist of powder-coated metal and laminated glazing; this design utilizes a differentiated material but reflects the flat, smooth texture characteristic of painted finishes within the district while the laminated (as opposed to insulated) glazing will ensure that they are not overly thick. Particularly so along Campton Place, the proposed project would enhance the character of the property by replacing solid infill material with the previously described, highly transparent storefronts. These would again be appropriately recessed and would fit within the bays defined by the historic cast iron pilasters, which are to be retained and restored. A new canopy would be installed within one of the openings in order to define the primary Campton Place entry. Another one of the Campton Place bays currently consists of solid infill material located in front of an existing service elevator and related structure; as these elements must be retained, back-painted glass is proposed for installation over the existing wall cladding, with the metal access door being repainted. Although this single bay will be slightly out of alignment with the others, this is due to an existing structural condition and will nonetheless be improved through the introduction of opaque glazing and the newly painted access door. These finishes also relate to the new storefront systems, thereby reflecting the overall changes made to the property as a result of the project. The base of the building surrounding the storefront openings, currently painted black, will be repainted with a color that distinguishes the base from the upper levels while fitting within the family of colors specified in the designating ordinance. A number of security light fixtures would be installed at the ground level soffit along Campton Place, but these would be limited in size and have far less visual presence than the existing fixtures. Further, with a dark finish and their location at the soffit, they will be discreetly located and will recede from view; there will be no visible conduit. Thus the proposed work will largely occur at previously altered portions of the building, all historic features will be retained, and the alterations made will be compatible with traditional features and colors while achieving appropriate differentiation through their material and black powder coated finish. In compliance with Article 11, and with the Secretary’s Standards Rehabilitation Standards 2 and 5, the proposed work will retain distinguishing historic qualities and character of the building and district, and will avoid alteration of spaces, features, and spatial relationships that characterize the property.*

- b. The integrity of distinctive stylistic features or examples of skilled craftsmanship that characterize a building shall be preserved.

*The project would not result in the removal of historic fabric or any of the distinctive stylistic features or examples of skilled craftsmanship that characterize the building. The proposed work will not require physical alteration of any character-defining historic fabric in compliance with Article 11 and the Secretary's Standards Rehabilitation Standard 5.*

- c. Distinctive architectural features which are deteriorated shall be repaired rather than replaced, whenever possible. In the event replacement is necessary, the new material shall match the historic material in composition, design, color, profile, texture and other visual qualities. Repair or replacement of missing architectural features shall be based on historic, physical or pictorial evidence, if available, rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.

*Not applicable.*

- d. Contemporary design of alterations is permitted, provided that such alterations do not destroy significant exterior architectural materials, including historic storefronts, and that such design is compatible with the size, scale, color, profile, texture, material, and character of the building and its surroundings.

*Historic photographs confirm that the existing Post Street entry surround was installed within the last couple decades, and the awnings and storefronts at each elevation are similarly non-historic. These elements will be removed and replaced with new systems in the same openings. In all cases, these new storefronts will have a punched appearance and will include a traditional bulkhead, display, transom configuration with entry doors being recessed and featuring a full frame. The new systems will consist of powder-coated metal and laminated glazing; this design utilizes a differentiated material but reflects the flat, smooth texture characteristic of painted finishes within the district while the laminated (as opposed to insulated) glazing will ensure that they are not overly thick. Particularly so along Campton Place, the proposed project would enhance the character of the property by replacing solid infill material with the previously described, highly transparent storefronts. These would again be appropriately recessed and would fit within the bays defined by the historic cast iron pilasters, which are to be retained and restored. A new canopy would be installed within one of the openings in order to define the primary Campton Place entry. Another one of the Campton Place bays currently consists of solid infill material located in front of an existing service elevator and related structure; as these elements must be retained, back-painted glass is proposed for installation over the existing wall cladding, with the metal access door being repainted. Although this single bay will be slightly out of alignment with the others, this is due to an existing structural condition and will nonetheless be improved through the introduction of opaque glazing and the newly painted access door. These finishes also relate to the new storefront systems, thereby reflecting the overall changes made to the property as a result of the project. The base of the building surrounding the storefront openings, currently painted black, will be repainted with a color that distinguishes the base from the upper levels while fitting within the family of colors specified in the designating ordinance. A number of security light fixtures would be installed at the ground level soffit along Campton Place, but these would be limited in size and have far less visual presence than the existing fixtures. Further, with a dark finish and their location at the soffit, they will be discreetly located and will recede from view; there will be no visible conduit. Thus the proposed work will largely occur at previously altered portions of the building, all historic features will be retained, and the alterations made will be compatible with traditional features and colors while achieving appropriate differentiation through their material and black powder coated finish. The proposed work will not destroy historic materials in conformance with the Secretary's Standards*

*Rehabilitation Standard 9 and will be undertaken in a manner that, if removed in the future, the essential form and integrity of the building and surrounding district will be preserved in conformance with the Secretary's Standards Rehabilitation Standard 10. Based on this assessment, it appears that the proposed work is compatible with the size, scale, material, and character of the building and surrounding district.*

- e. All exterior alterations, including signage and awnings, shall be compatible with the character-defining features of the building and/or the historic district.

*The only exterior alterations proposed are to non-historic elements. The overall fenestration pattern will remain unchanged, with the historic cast iron pilasters retained and restored. A single canopy would be installed, but would be appropriately located above a primary entry and within a building opening. The canopy would be composed of glass with a metal frame; a contemporary expression but one that relates to the overall project and is compatible with the character of the Campton Place elevation. The proposal is found to be compatible with Appendix E of Article 11 of the Planning Code in terms of Massing, Composition, Scale, Materials, Detailing, and Ornamentation.*

- 2. **General Plan Compliance.** The proposed Permit to Alter is, on balance, consistent with the following Objectives and Policies of the General Plan:

I. URBAN DESIGN ELEMENT

THE URBAN DESIGN ELEMENT CONCERNS THE PHYSICAL CHARACTER AND ORDER OF THE CITY, AND THE RELATIONSHIP BETWEEN PEOPLE AND THEIR ENVIRONMENT.

GOALS

*The Urban Design Element is concerned both with development and with preservation. It is a concerted effort to recognize the positive attributes of the city, to enhance and conserve those attributes, and to improve the living environment where it is less than satisfactory. The Plan is a definition of quality, a definition based upon human needs.*

OBJECTIVE 1

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

POLICY 1.3

*Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.*

OBJECTIVE 2

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

POLICY 2.4

*Preserve notable landmarks and areas of historic, architectural or aesthetic value, and promote the preservation of other buildings and features that provide continuity with past development.*



*POLICY 2.5*

*Use care in remodeling of older buildings, in order to enhance rather than weaken the original character of such buildings.*

*POLICY 2.7*

*Recognize and protect outstanding and unique areas that contribute in an extraordinary degree to San Francisco's visual form and character.*

The goal of a Permit to Alter is to provide additional oversight for buildings and districts that are architecturally or culturally significant to the City in order to protect the qualities that are associated with that significance.

The proposed project qualifies for a Permit to Alter and therefore furthers these policies and objectives by maintaining and preserving the character-defining features of the subject building and/or Conservation District for the future enjoyment and education of San Francisco residents and visitors.

3. **Prop M Findings.** The proposed project is generally consistent with the eight General Plan priority policies set forth in Section 101.1 in that:

- a. The existing neighborhood-serving retail uses will be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses will be enhanced:

*The proposed project will have no effect on neighborhood-serving retail uses.*

- b. The existing housing and neighborhood character will be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods:

*The proposed project will strengthen neighborhood character by respecting the character-defining features of the subject building and/or Conservation District in conformance with the requirements set forth in HPC Motion No. 0349 and the Secretary of the Interior's Standards.*

- c. The City's supply of affordable housing will be preserved and enhanced:

*The proposed project will have no effect on the City's supply of affordable housing.*

- d. The commuter traffic will not impede MUNI transit service or overburden our streets or neighborhood parking:

*The proposed project will not result in commuter traffic impeding MUNI transit service or overburdening the streets or neighborhood parking.*

- e. A diverse economic base will be maintained by protecting our industrial and service sectors from displacement due to commercial office development. And future opportunities for resident employment and ownership in these sectors will be enhanced:

*The proposed project will provide updated storefronts and finishes for a currently vacant building located in the Commercial-Retail zoning district.*

- f. The City will achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

*Preparedness against injury and loss of life in an earthquake is unaffected by the proposed amendments. Any construction or alteration associated would be executed in compliance with all applicable construction and safety measures.*

- g. That landmark and historic buildings will be preserved:

*The proposed project respects the character-defining features of the subject building and/or Conservation District and is in conformance with the requirements set forth in HPC Motion No. 0349 and the Secretary of the Interior's Standards.*

- h. Parks and open space and their access to sunlight and vistas will be protected from development:

*The proposed Permit to Alter will not impact the City's parks and open space.*

For these reasons, the above-cited work is consistent with the intent and requirements outlined in HPC Motion No. 0349 and will not be detrimental to the subject building and/or the Conservation District.

**Duration of this Minor Permit to Alter:** This Minor Permit to Alter is issued pursuant to Article 11 of the Planning Code and is valid for a period of three (3) years from the effective date of approval by the Planning Department, as delegated by the Historic Preservation Commission. The authorization and right vested by virtue of this action shall be deemed void and canceled if, within 3 years of the date of this Motion, a site permit or building permit for the Project has not been secured by Project Sponsor.

**REQUEST FOR HEARING:** If you have substantial reason to believe that there was an error in the issuance of this Permit to Alter, or abuse of discretion on the part of the Planning Department, you may file for a Request for Hearing with the Historic Preservation Commission within 20 days of the date of this letter. Should you have any questions about the contents of this letter, please contact the Planning Department at 1650 Mission Street, 4<sup>th</sup> Floor or call 415-575-9121.

- cc: Historic Preservation Commission, 1650 Mission Street, San Francisco, CA 94103  
San Francisco Architectural Heritage, 2007 Franklin Street, San Francisco, CA 94109  
Sue Hestor, Attorney, 870 Market Street, #1128, San Francisco, CA 94102  
Nancy Shanahan, Planning & Zoning Committee, Telegraph Hill Dwellers, 224 Filbert Street, San Francisco, CA 94133  
Finance Division, San Francisco Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103

# 2017-014849PTA

# EXHIBIT A



MEP Engineer:  
Syska Hennessy Group, Inc.  
425 California Street, Suite 700  
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T: (415)-288-5932  
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Structural Engineer:  
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WZ Architecture  
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San Francisco, CA 94111  
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Contact: Koonshing Wong

Owner:  
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T: (415) 655-7002  
E: mark@ccrpllc.com  
Contact: Mark Stefan



Rev.	Date	Remarks
	08/07/2018	Permit Application

	(DRAWING NO.) (SHEET NO.)	SECTION TAG		(DRAWING NO.) (SHEET NO.)	EXTERIOR ELEVATION TAG
	(DRAWING NO.) (SHEET NO.)	DETAIL TAG			KEYNOTE TAG
		ROOM TAG			DOOR NUMBER
		PARTITION TAG, FIRE RATING			WINDOW TAG
		DATUM POINT, DIMENSION POINT			
		GRIDLINE (F.O.S. AT FRAMING, CENTERLINE AT STRUCT. COL.)			
	(SHEET NO.) (DRAWING NO.)	INTERIOR ELEVATION			

**DRAWING SYMBOLS** 4

ABBREVIATION	FULL NAME	ABBREVIATION	FULL NAME	ABBREVIATION	FULL NAME
A.C.T.	ACOUSTIC CEILING TILE	F.O.S.	FACE OF STUD	PTD	PAINTED
A.D.	AREA DRAIN	F.P.	FIRE PROOFING	Q.T.	QUARRY TILE
ARCH. STL.	ARCHITECTURAL STEEL	FTG	FOOTING	R	RISER
AUT. CLO.	AUTOMATIC CLOSER	GA	GAGE	RAD	RADIUS
AGGR	AGGREGATE	GALV	GALVINIZED	RE:	REFER TO
ALUM	ALUMINUM	GL	GLASS	REF	REFERENCE
ASPH	ASPHALT	G.B.	GRAB BAR	RCP	REFLECTED CEILING PLAN
BD	BOARD	GR	GRADE	REINF	REINFORCED
BM	BEAM	G.W.B.	GYPSUM WALL BOARD	REQ	REQUIRED
BITUM	BITUMINOUS	H.B.	HOSE BIB	RESIL.FL.	RESILIENT FLOORING
BLDG	BUILDING	HDWD	HARDWOOD	RR	RESTROOM
BLKG	BLOCKING	H.M.	HOLLOW METAL	REV	REVEAL
B.O.	BOTTOM OF	I.D.	INSIDE DIAMETER	RM	ROOM
CAB	CABINET	INS	INSULATION	R.O.	ROUGH OPENING
CEM	CEMENT	INT	INTERIOR	R.W.L	RAIN WATER LEADER
C.L.	CENTER LINE	JST	JOIST	S.A.S.N.	SELF ADHERED SHEET MEMBRANE
CER	CERAMIC	JT	JOINT	SCH	SCHEDULE
C.T.	CEILING TILE	KIT	KITCHEN	S.C.D.	SEAT COVER DISPENSER
CLG	CEILING	K.P.	KICK PLATE	S.D.	SOAP DISPENSER
CLO	CLOSET	LAM	LAMINATE	SHR	SHOWER
CLR	CLEAR	LAM. GL.	LAMINTATED GLASS	SIM	SIMILAR
COL	COLUMN	LAV	LAVATORY	S.E.D.	SEE ELECTRICAL DRAWINGS
COL. L.	COLUMN LINE	LKR	LOCKER	S.M.D.	SEE MECHANICAL DRAWINGS
C.M.P.	COMPOSITE METAL PANEL	LT	LIGHT	S.P.D.	SEE PLUMBING DRAWINGS
CONC	CONCRETE	M.B.	MOISTURE BARRIER	S.S.D.	SEE STRUCTURAL DRAWINGS
C.F.CLO.	CONCEALED FLOOR CLOSET	MAX	MAXIMUM	SPEC	SPECIFICATIONS
CONT'D	CONTINUED	MECH	MECHANICAL	S.ST	STAINLESS STEEL
CONT	CONTINUOUS	MIN	MINIMUM	STOR	STORAGE
C.B.	CORNER BREAD	MIR	MIRROR	STL	STEEL
CORR	CORRIDOR	MISC	MISCELLANEOUS	STN	STONE
DET	DETAIL	MTL	METAL	SUSP	SUSPENDED
DIA	DIAMETER	MUL	MULLION	T	TILE
DIM	DIMENSION	N	NEW	TC	TERRA COTTA
DS	DOWNSPOUT	NOM	NOMINAL	TD	TREAD
DWG	DRAWING	N.I.C.	NOT IN CONTRACT	TERR	TERRAZZO
D.F.	DRINKING FOUNTAIN	N.T.S.	NOT TO SCALE	T.O.	TOP OF
DIFFER	DIFFUSER	NR	NOT RATED	T.O.C.	TOP OF CURB
D.S.P.	DRY STANDPIPE	O.C.	ON CENTER	T.O.W.	TOP OF WALL
EQ	EQUAL	OPP	OPPOSITE	TYP	TYPICAL
E.J.	EXPANSION JOINT	OPNG	OPENING	U.O.N.	UNLESS OTHERWISE NOTED
E.P.	ELECTRICAL PANEL	OR.MTL.	ORNAMENTAL METAL	V.B.	VAPOR BARRIER
ELEV	ELEVATOR	O.F.D.	OVERFLOW DRAIN	VEST	VESTIBULE
EQPT	EQUIPMENT	P.C.	PRECAST CONCRETE	V.C.T.	VINYL COMPOSITE TILE
EXST	EXISTING	PLAS	PLASTER	V.I.F.	VERIFY IN FIELD
EXT	EXTERIOR	PLWD	PLYWOOD	W	WITH
F.A.	FIRE ALARM	P.LAM.	PLASTIC LAMINATE	W/O	WITHOUT
F.D.	FLOOR DRAIN	PL	PLATE	WD	WOOD
F.DN	FOUNDATION	P	PAINT	WP	WATERPROOFING
F.E.C.	FIRE EXTINGUISHER CABINET	PNL	PANEL		
F.H.C.	FIRE HOSE CABINET	PT	POINT		
F.O.C.	FACE OF CONCRETE	P.T.	POINT		
F.FL.	FINISH FLOOR	P.T.D.	PAPER TOWEL DISPENSER		
FL	FLOOR	P.T.D/R	PAPER TOWEL DISPENSER AND RECEPTACLE		
FLASH	FLASHING	P.T.R.	PAPER TOWEL RECEPTACLE		
F.O.F.	FACE OF FINISH	PTN	PARTITION		

**ABBREVIATIONS** 3



**VICINITY MAP** 3

**PROJECT ADDRESS**

220 POST STREET  
SAN FRANCISCO, CA 94108  
APN / PARCEL NO: 0294/007

**EXISTING + PROPOSED OCCUPANCY USE**

EXISTING OCCUPANCY USE: M  
PROPOSED OCCUPANCY USE: M (NO CHANGE)

**CONSTRUCTION CLASSIFICATION**

EXISTING TYPE OF CONSTRUCTION: 3-B  
PROPOSED TYPE OF CONSTRUCTION: 3-A  
AUTOMATIC FIRE SPRINKLERS:

**PLANNING ZONE**

PLANNING ZONE: C-3-R - DOWNTOWN - RETAIL

**FLOOR AREA**

TOTAL GROSS AREA: 42,759 SF  
AREA OF WORK: 41,990 SF  
PARCEL AREA: 6,175 SF

**BUILDING CODE**

CALIFORNIA ADMINISTRATIVE CODE (CAC), 2016 EDITION  
CALIFORNIA BUILDING CODE (CBC), 2016 EDITION  
CALIFORNIA ELECTRICAL CODE (CEC), 2016 EDITION  
CALIFORNIA MECHANICAL CODE (CMC), 2016 EDITION  
CALIFORNIA PLUMBING CODE (CPC), 2016 EDITION  
CALIFORNIA FIRE CODE (CFC), 2016 EDITION  
STATE OF CALIFORNIA TITLE 24 ENERGY EFFICIENCY STANDARDS, 2016 EDITION  
STATE OF CALIFORNIA TITLE 24 ACCESSIBILITY STANDARDS, 2016 EDITION

THE ARCHITECT OF THE RECORD ON THIS PROJECT WILL BE RESPONSIBLE FOR REVIEWING AND COORDINATING ALL SUBMITTAL DOCUMENTS PREPARED BY OTHERS, INCLUDING DEFERRED SUBMITTALS, FOR COMPATIBILITY WITH THE OVERALL DESIGN OF THE BUILDING.

**FIRE PROTECTION**

FIRE PROTECTION SYSTEM TO BE DESIGN BUILD.  
EXIT WAY FINDING SIGNAGE TO BE DESIGN BUILD.  
BUILDING TO BE EQUIPPED WITH AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH NFPA-13 AND CODE SECTION 903.3.1.1.

**SUMMARY OF WORK**

TYPE OF WORK TO INCLUDE:

DEMOLITION AND REPLACEMENT OF GROUND FLOOR STOREFRONTS WITH PROPOSED.  
ADDITION OF TWO BLADE SIGNS AT CAMPTON PLACE STOREFRONT.  
REFURBISH UPPER FLOOR BUILDING FACADES.  
INSTALL NEW ELEVATOR AND LOBBY AT CAMPTON PLACE.

**PROJECT INFORMATION** 2

**DRAWING INDEX** 1

Rev.	Date	Remarks
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- 21 FIRE RISER, PROPOSED LOCATION
- 20 ANTI-CASCADING GATE WITH SELF CLOSING HINGE AND ONE-WAY SWING TO PROVIDE DISCHARGE IDENTIFICATION IN PATH OF EGRESS
- 19 DRAFT CURTAINS ABOVE AT ESCALATOR, UNDER T.I.
- 18 PROTECT (E) ESCALATOR WITH 3/4" PLY-WOOD AND AIRTIGHT 60 MIL WRAP.
- 17 2-HR RATED FIREPROOFING ON STEEL COLUMNS AT ELEVATOR SHAFT, TYP. SPOT REMOVE AS NEEDED TO ATTACH ELEVATOR GUIDE RAILS. HAND-PACK FIREPROOFING AT ATTACHMENT POINTS TO MAINTAIN 2-HOUR RATING OF ELEV SHAFT
- 16 HVAC SHAFT PENETRATION
- 15 ELEVATOR SHAFT VENT
- 14 PROVIDE SHORING AS REQUIRED
- 13 PROVIDE BACKING FOR SINK, GRAB BARS, AND HANDRAILS
- 12 2" GALV. PIPE GUARDRAIL, 48" H FLOOR MOUNTED ON MECH. PLATFORM FOR SAFETY
- 11 STRUCTURAL MEMBER BELOW
- 10 SANITARY LINE CLEANOUTS
- 9 (E) ELECTRICAL CONDUITS + RECEPTACLE LOCATIONS
- 8A REFURBISH ALL (E) WINDOWS. STRIP TO BARE WOOD, PRIME. ADD 2 COATS OF EXTERIOR GRADE TO MATCH SAMPLE. INSTALL NEW SOLID BRONZE/ BRASS HINGES AND LIMITERS.
- 8 REFURBISH ALL (E) WINDOWS, TYP. REPLACE WITH 3/4" THK CLEAR TEMPER GLASS.
- 7 SKYLIGHT ABOVE. S.S.D.
- 6 REDUCE SIZE FOR HVAC SHAFT. SEE MEP FOR DUCT LAYOUT.
- 5 FLOOR INFILL. SSD FOR ADDITIONAL INFO
- 4 CAMPTON LOBBY CANOPY AND POST STREET STOREFRONT SYSTEMS, SEE FACADE SET FOR ADDITIONAL INFO
- 3 PROVIDE 1-HR RATED SPRAY ON FIRE PROOFING ON (E) COLUMNS
- 2 (E) CONCRETE SHEAR WALL
- 1 (E) STRUCTURAL BRACE FRAME

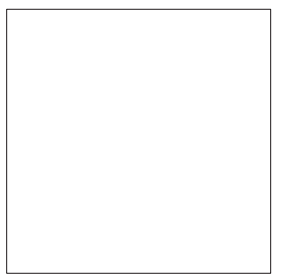
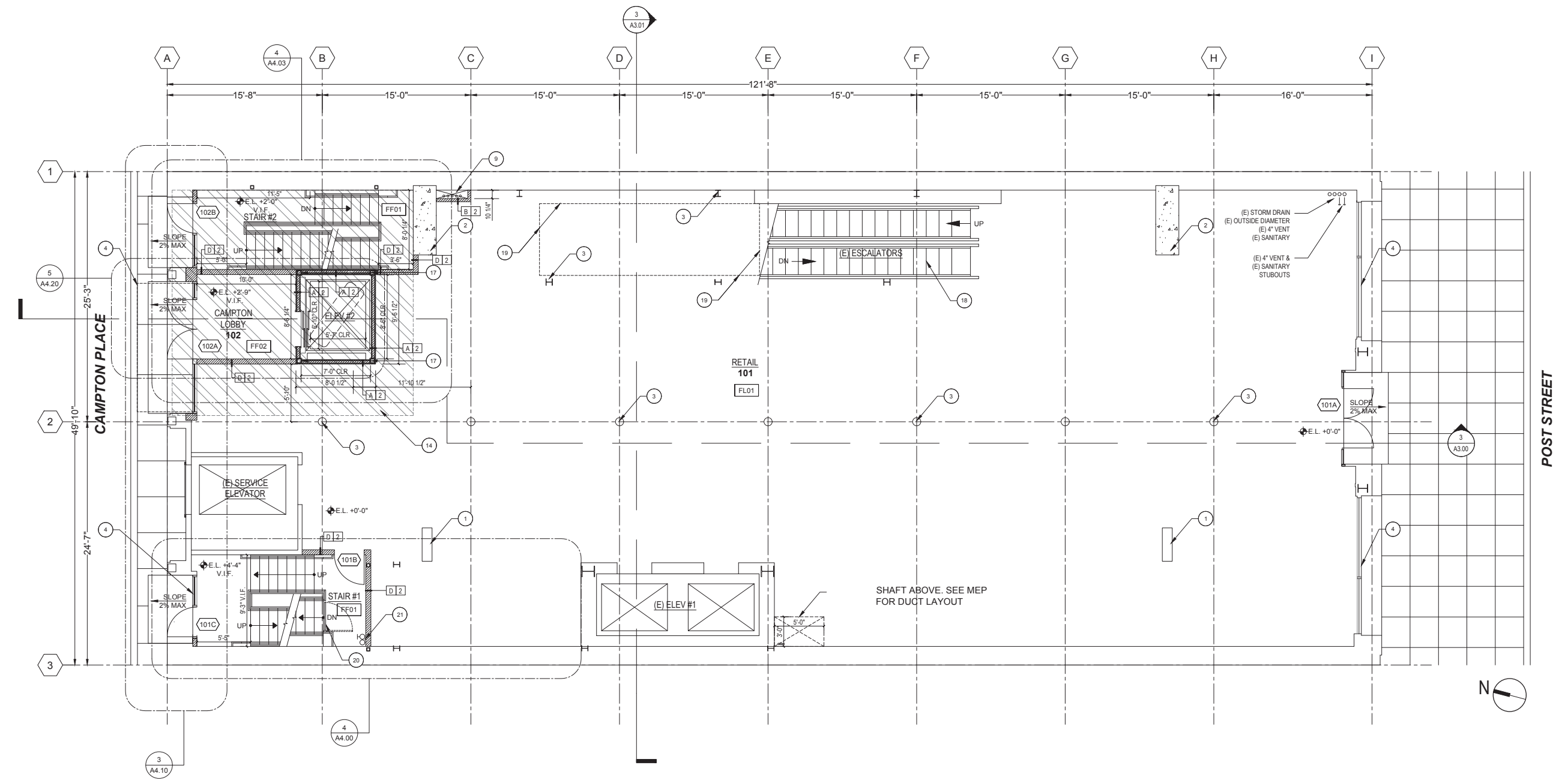
- 3. PROVIDE TEMPORARY SHORING OF FLOOR JOISTS AS REQUIRED FOR THE CONSTRUCTION OF NEW ELEVATOR #2 AND STAIR #2.
- 2. ALL INTERIOR PARTITIONS IN THE STAIRWELL AND BACK OF HOUSE SPACES WILL HAVE AN L3 FINISH.
- 1. ALL INTERIOR PARTITIONS IN THE RETAIL & OFFICE SPACES WILL HAVE AN L4 FINISH.

- FF03 TILE
- FF02 POLISHED COLOR CONCRETE
- FF01 SEALED CONCRETE
- FL03 PLYWOOD SUBFLOOR
- FL02 CONCRETE
- FL01 LIGHTWEIGHT CONCRETE O/ PLYWOOD TO MATCH (E) SHEATHING

- H NR UNRATED FURRING DETAIL
- G 2 2-HOUR RATED METAL STUD PLUMBING PARTITION (6" STUD)
- G NR UNRATED METAL STUD PLUMBING PARTITION (6" STUD)
- F NR UNRATED METAL STUD PARTITION (3 3/8" STUD)
- F 1 1-HOUR RATED METAL STUD PARTITION (3 3/8" STUD)
- E 2 2-HOUR RATED METAL STUD PARTITION (1 5/8" STUD)
- D 2 2-HOUR RATED METAL STUD PARTITION (3 3/8" STUD)
- B 2 2-HOUR RATED SHAFT PARTITION (2 1/2" STUD)
- A 2 2-HOUR RATED SHAFT PARTITION (4" STUD)

- PROPOSED FLOOR INFILL
- PROPOSED CONSTRUCTION
- EXISTING CONCRETE SHEAR WALL
- EXISTING CONSTRUCTION TO REMAIN

KEY NOTES	NO SCALE	6	NOTES	NO SCALE	5	FINISH TYPE	NO SCALE	4	WALL TYPE	NO SCALE	3	GRAPHIC LEGEND	NO SCALE	2
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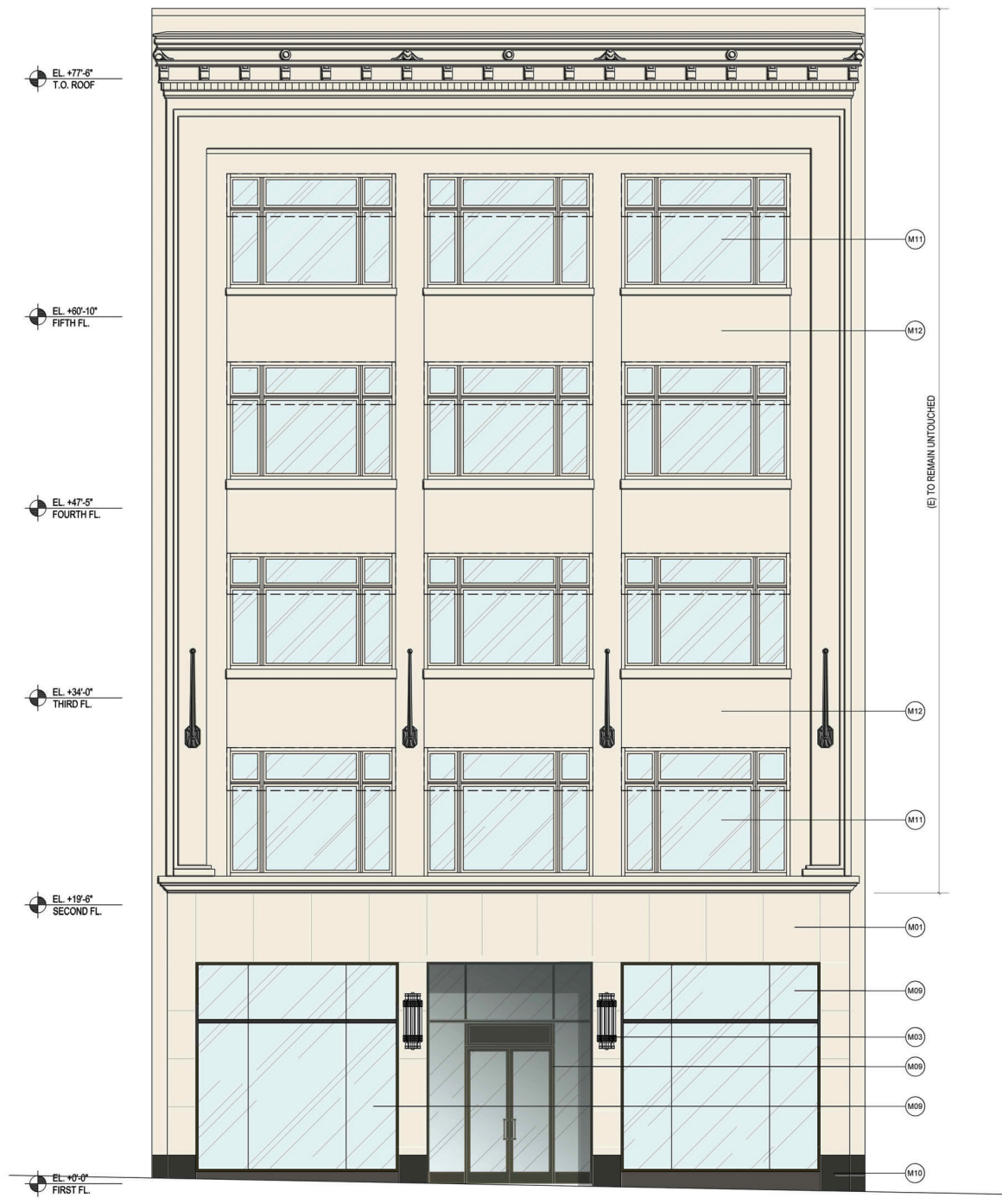
NOTE: If this drawing is not 34"x46" it has been revised from its original size. Scale noted on drawings controls and is not to be applied.

Project No:  
Drawing Title:  
**PARTITION PLAN - LEVEL 1**

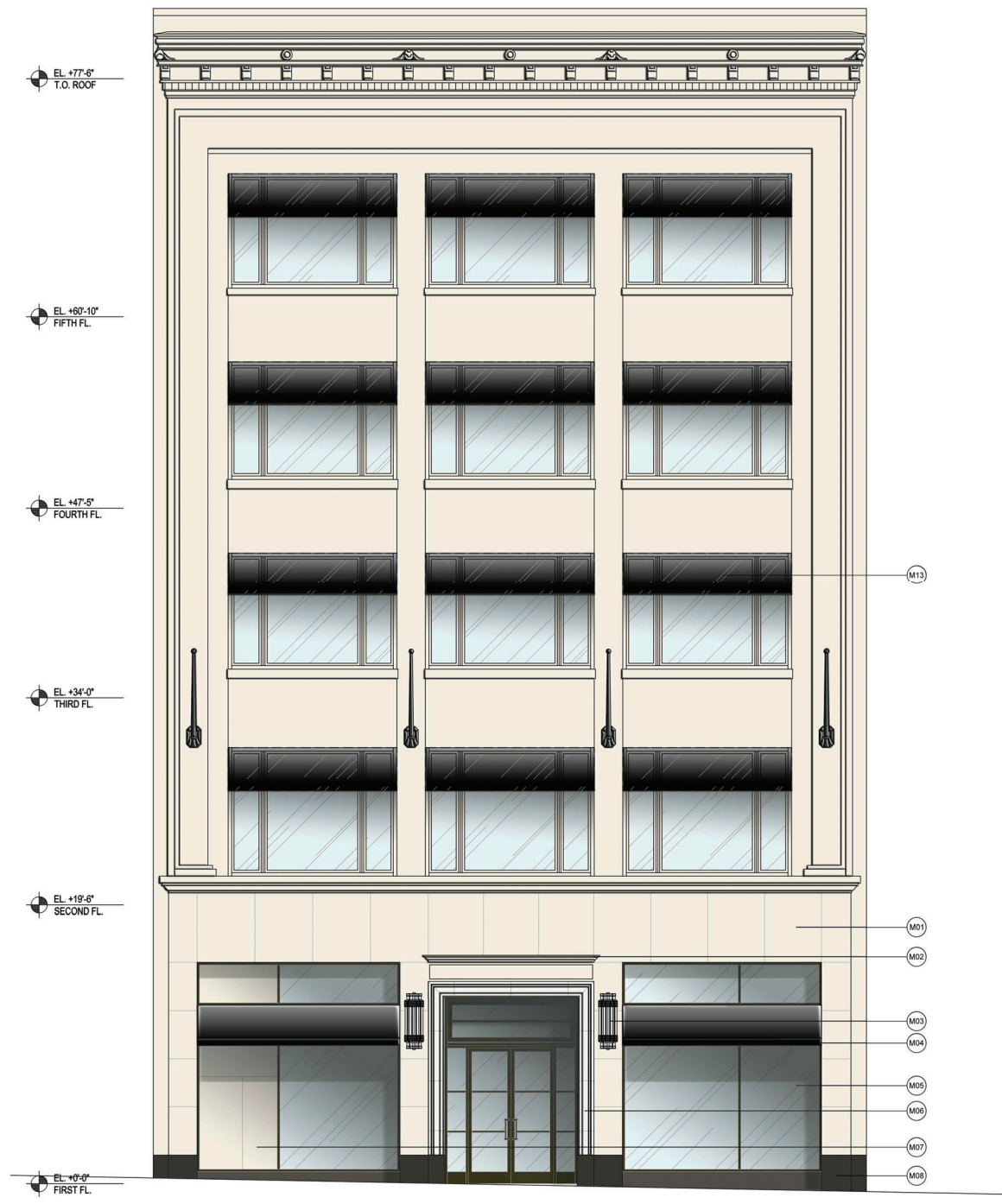


- |   |   |
|---|---|
| Ⓜ01 (E) STONE CLADDING TO REMAIN        | Ⓜ08 (E) BASE STONE CLADDING   |
| Ⓜ02 (E) PEDIMENT TO BE REMOVED          | Ⓜ09 (N) DARK GRAY PAINTED ALUMINUM STOREFRONT SYSTEM WITH 3/8" LAMINATED GLASS  |
| Ⓜ03 (E) LANTERN TO REMAIN               | Ⓜ10 (N) BASE STONE CLADDING TO BE REPLACED  |
| Ⓜ04 (E) AWNING TO BE REMOVED            | Ⓜ11 REFURBISH (E) WINDOWS. STRIP (E) PAINT. PRIME AND PAINT TO MATCH SAMPLE   |
| Ⓜ05 (E) STOREFRONT SYSTEM TO BE REMOVED | Ⓜ12 STRIP EXISTING PAINT FROM NORTH & SOUTH FACADES, AND WEST FACING PARTY WALL. PATCH, PRIME AND PAINT TO MATCH ARCHITECT'S COLOUR SAMPLE. |
| Ⓜ06 (E) JAMB TO BE REMOVED              | Ⓜ13 (E) AWNINGS ON ALL FLOORS, TO BE REMOVED.   |
| Ⓜ07 (E) OPAQUE PANEL TO BE REMOVED      |   |

KEY NOTES NO SCALE 3 GRAPHIC LEGEND NO SCALE 2



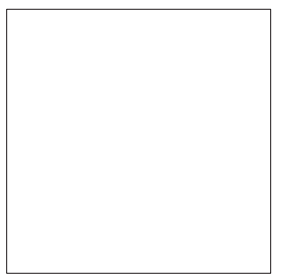
PROPOSED SCALE: 3/16" = 1'-0" 2



EXISTING SCALE: 3/16" = 1'-0" 1

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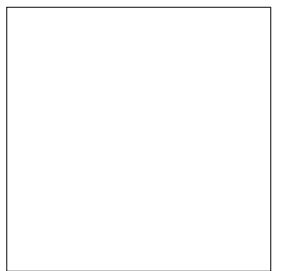
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Drawing Title:  
ELEVATION - POST STREET

Sheet No:  
A2.00



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Project No:

Drawing Title:  
**ELEVATION - POST STREET**

Sheet No:  
**A2.01**



- M01 (E) PAINTED BRICK WALL TO REMAIN
- M02 (E) STUCCO INFILL WALL TO BE REMOVED
- M03 (E) LIGHTS TO BE REMOVED
- M04 (E) WINDOW WITH BLANK WALL BEHIND
- M05 (E) CAST-IRON COLUMNS TO REMAIN
- M06 (N) BACK PAINTED GLASS
- M07 (N) PAINTED METAL ACCESS DOOR FOR EXISTING SERVICE ELEVATOR
- M08 (N) PAINTED STOREFRONT SYSTEM WITH 3/16" GLASS
- M09 (N) REMOVE BLANK WALLS BEHIND EXISTING WINDOWS, REFURBISH WINDOWS AND RESTORE VISION PANELS
- M10 REFURBISH (E) WINDOWS. STRIP (E) PAINT. PRIME AND PAINT TO MATCH SAMPLE
- M11 STRIP EXISTING PAINT FROM NORTH & SOUTH FACADES, AND WEST FACING PARTY WALL. PATCH, PRIME AND PAINT TO MATCH ARCHITECT'S COLOUR SAMPLE.
- M12 (N) GLASS AND METAL BLADE SIGN WITH INTERNAL HALO LED LIGHTING.

KEY NOTES

NO SCALE

3

GRAPHIC LEGEND

NO SCALE

2



PROPOSED

SCALE: 3/16" = 1'-0"

1



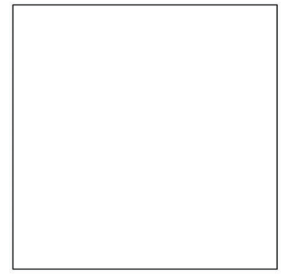
EXISTING

SCALE: 3/16" = 1'-0"

1

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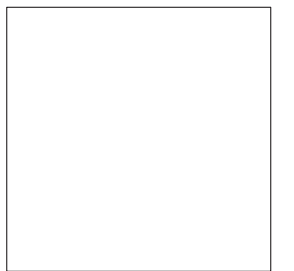
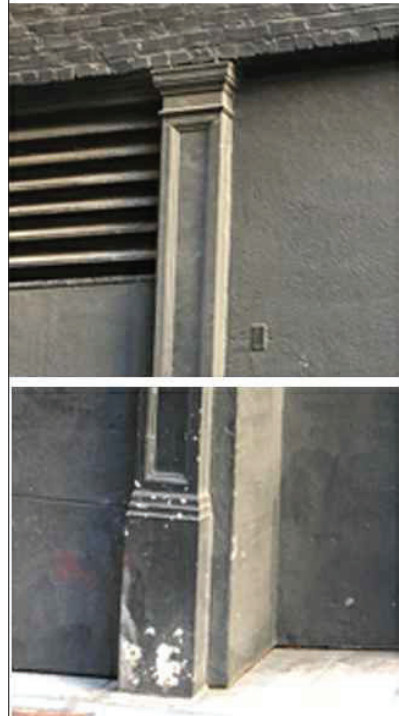
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Drawing Title:  
**ELEVATION - CAMPTON PLACE**

Sheet No:  
**A2.02**



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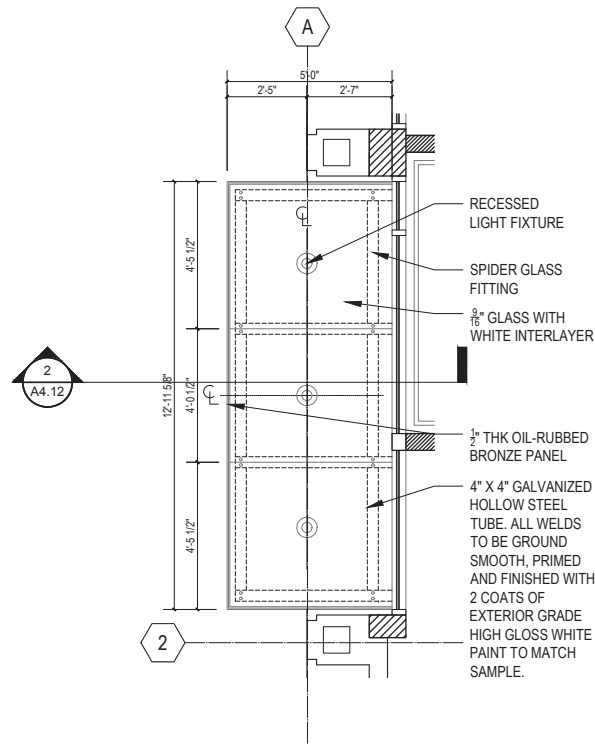
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Drawing Title:  
**ELEVATION - CAMPTON PLACE**

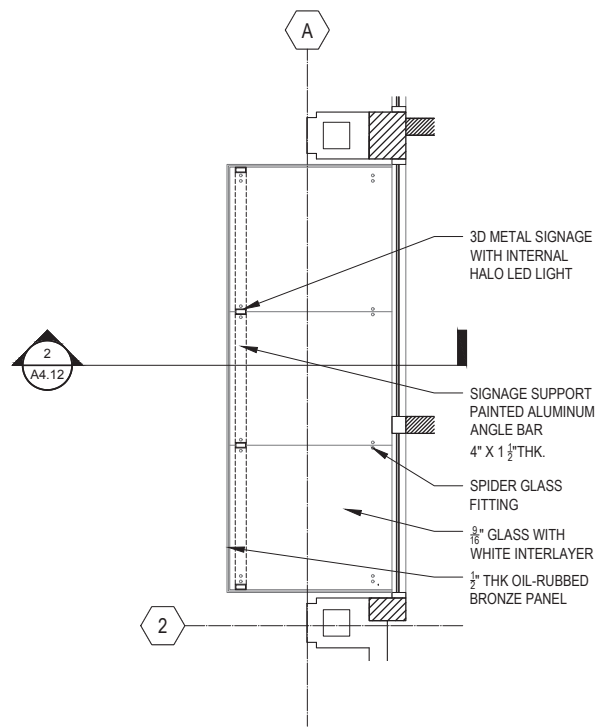
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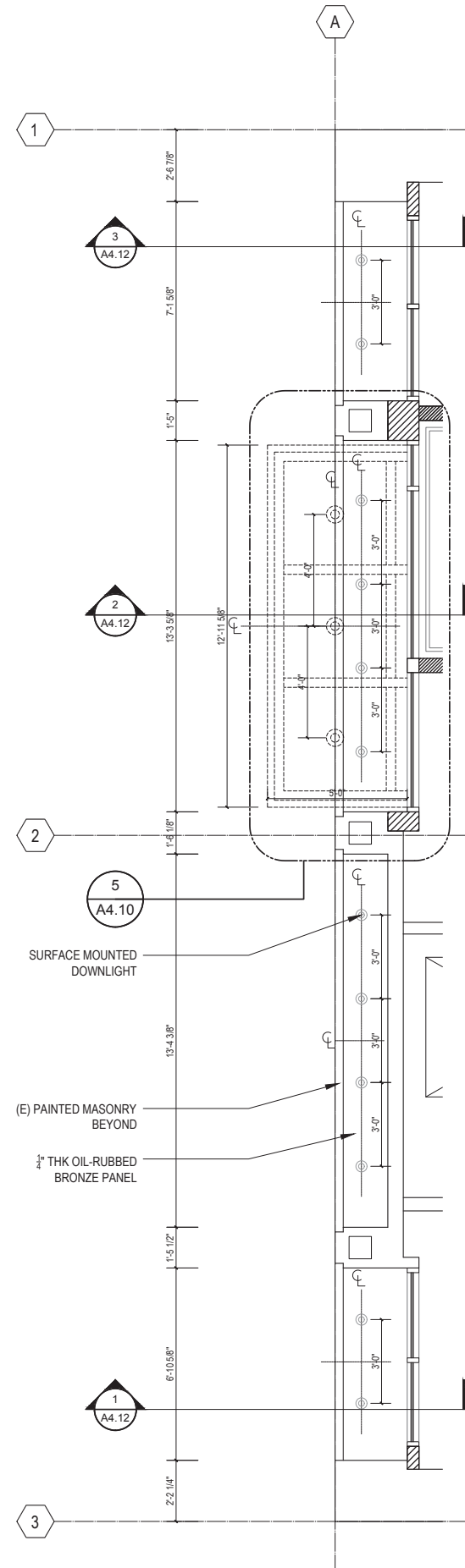
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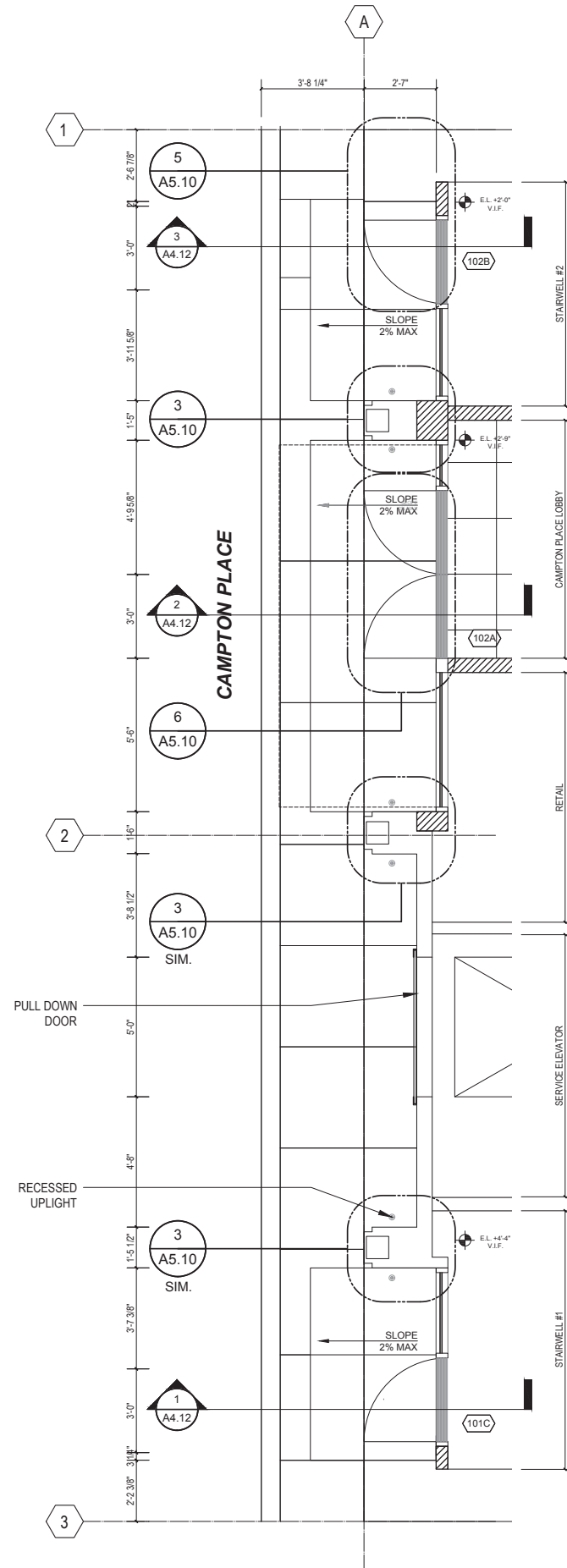
**CANOPY RCP** SCALE: 3/8" = 1'-0" **6**



**CANOPY PLAN** SCALE: 3/8" = 1'-0" **5**



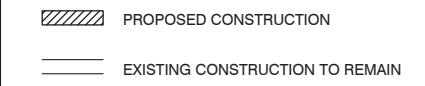
**STOREFRONT SOFFIT RCP** SCALE: 3/8" = 1'-0" **4**





**STOREFRONT PLAN** SCALE: 3/8" = 1'-0" **3**

NOTES:  
1. ELECTRICAL CONDUITS TO BE LAID IN NEW SIDEWALK CONCRETE TOPPING TO ALLOW FOR RECESSED UPLIGHTS AT CAMPTON PLACE STOREFRONT.

**NOTES** NO SCALE **2**



**GRAPHIC LEGEND** NO SCALE **1**

-  9/16" LAMINATED CLEAR GLASS
-  BACK PTD. GLASS PANEL

KEY NOTES

NO SCALE

3

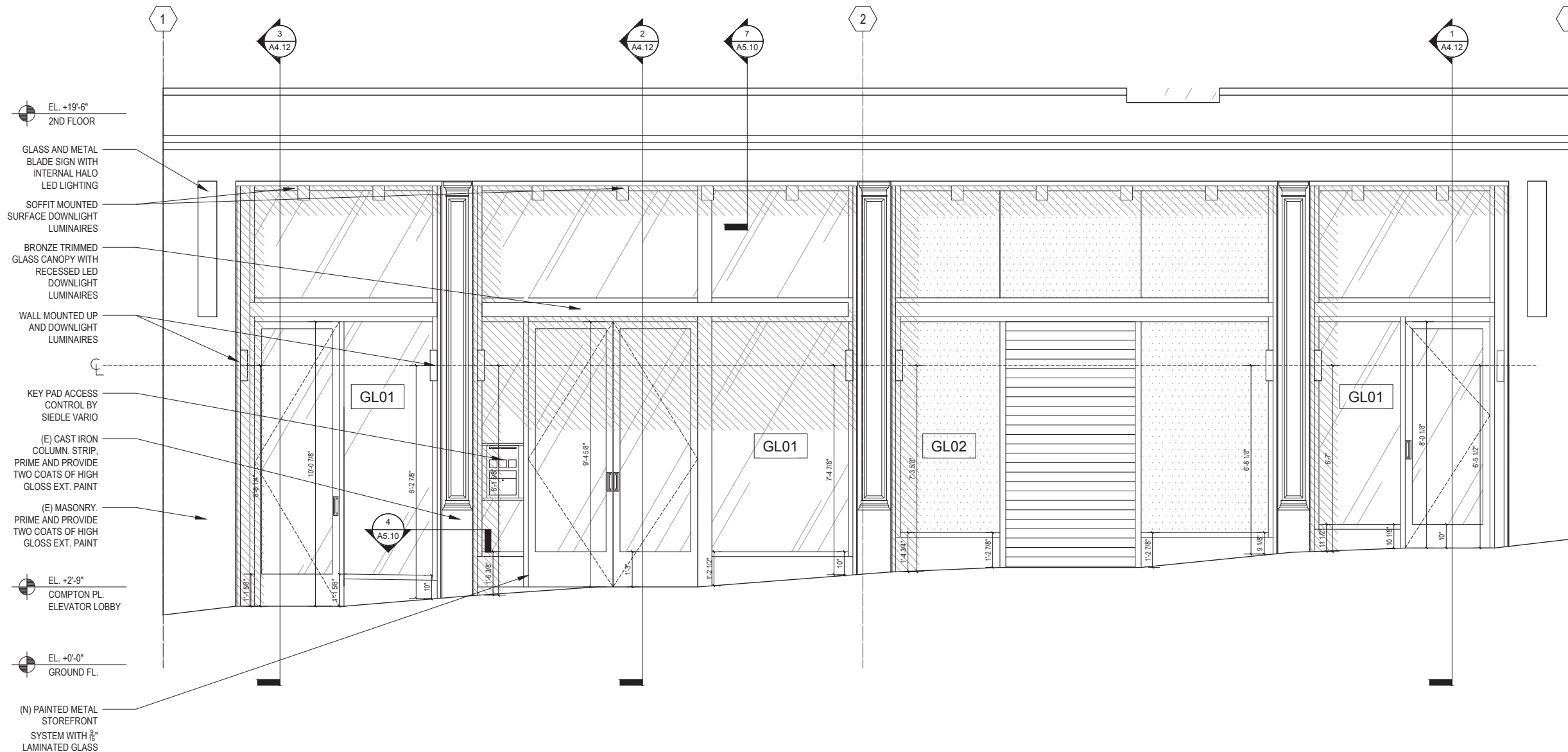
GRAPHIC LEGEND

NO SCALE

2

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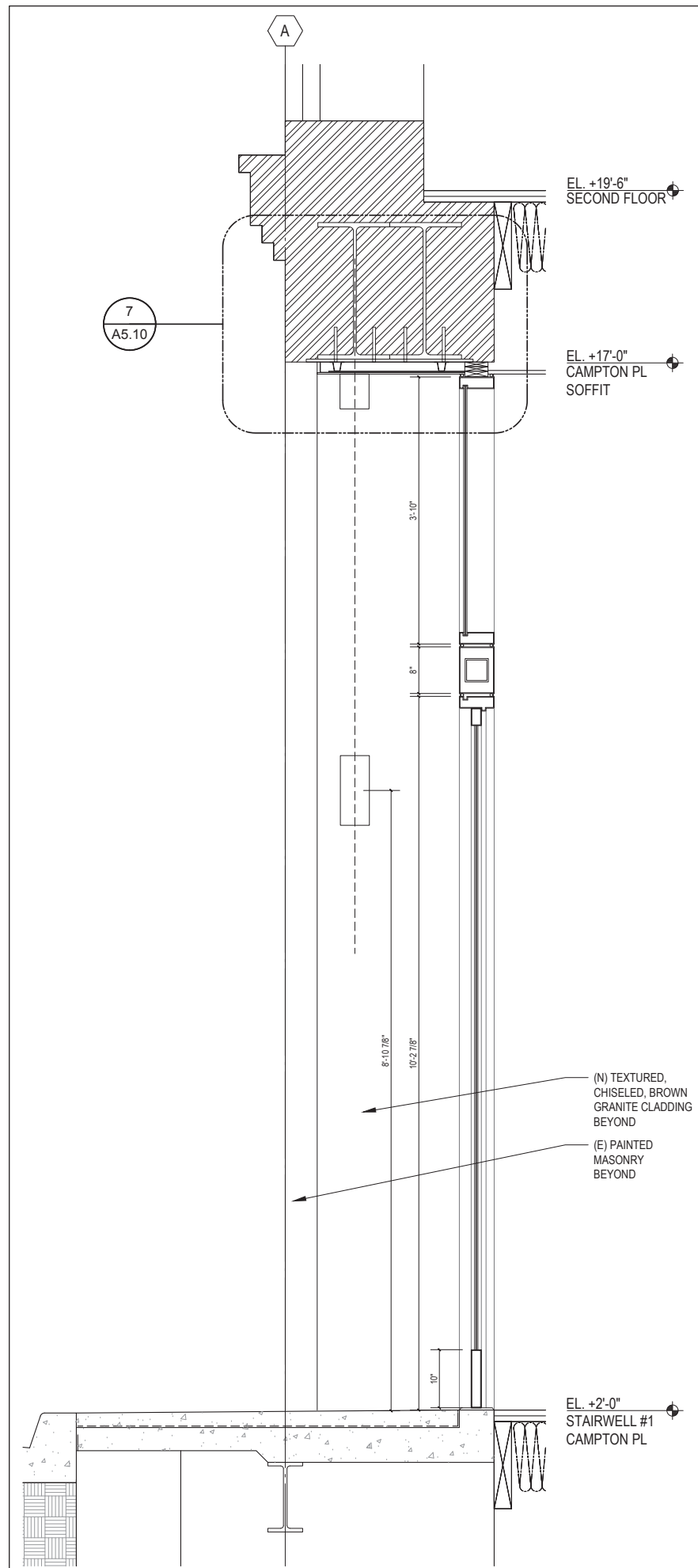
ENLARGED CAMPTON PLACE FACADE

SCALE: 1/2" = 1'-0"

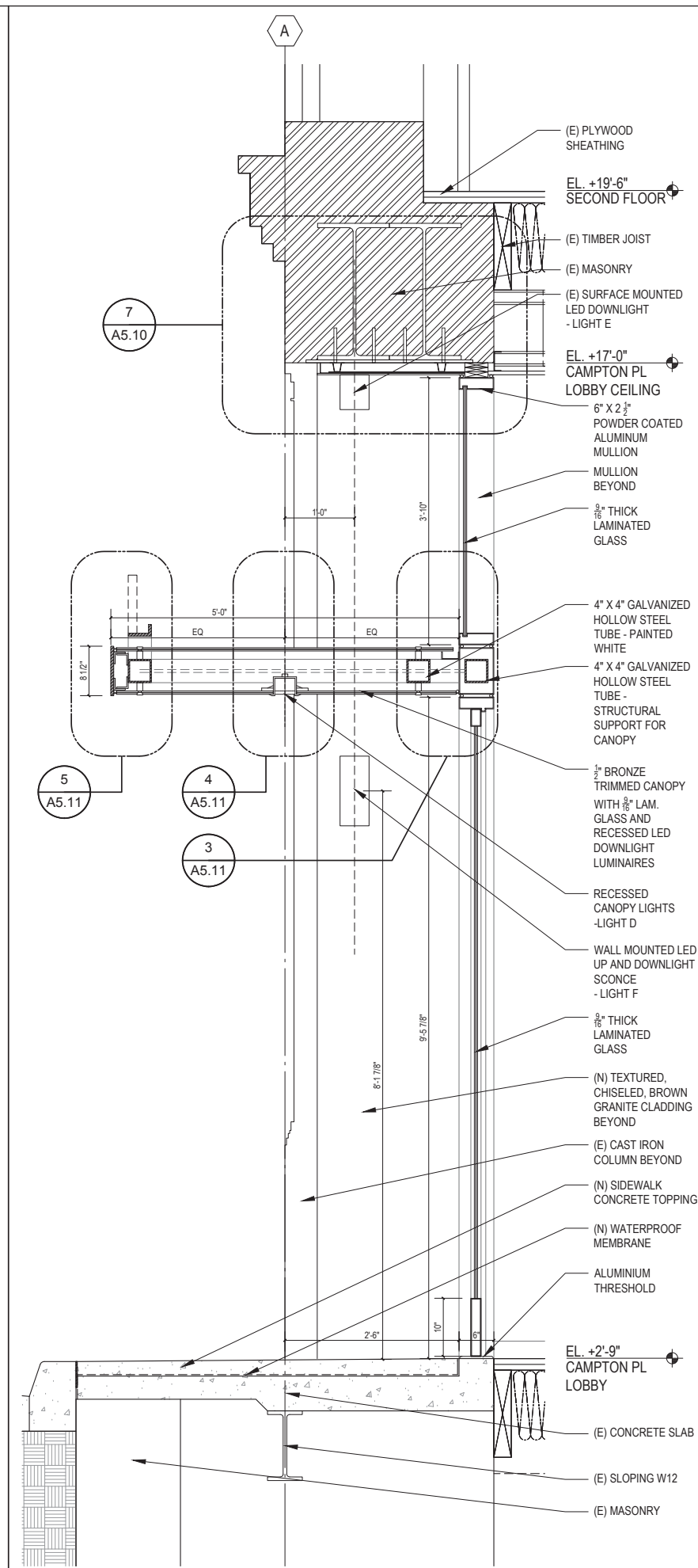
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Project No:  
Drawing Title:  
**ENLARGED CAMPTON PLACE STOREFRONT - ELEVATION**  
Sheet No:  
**A4.11**

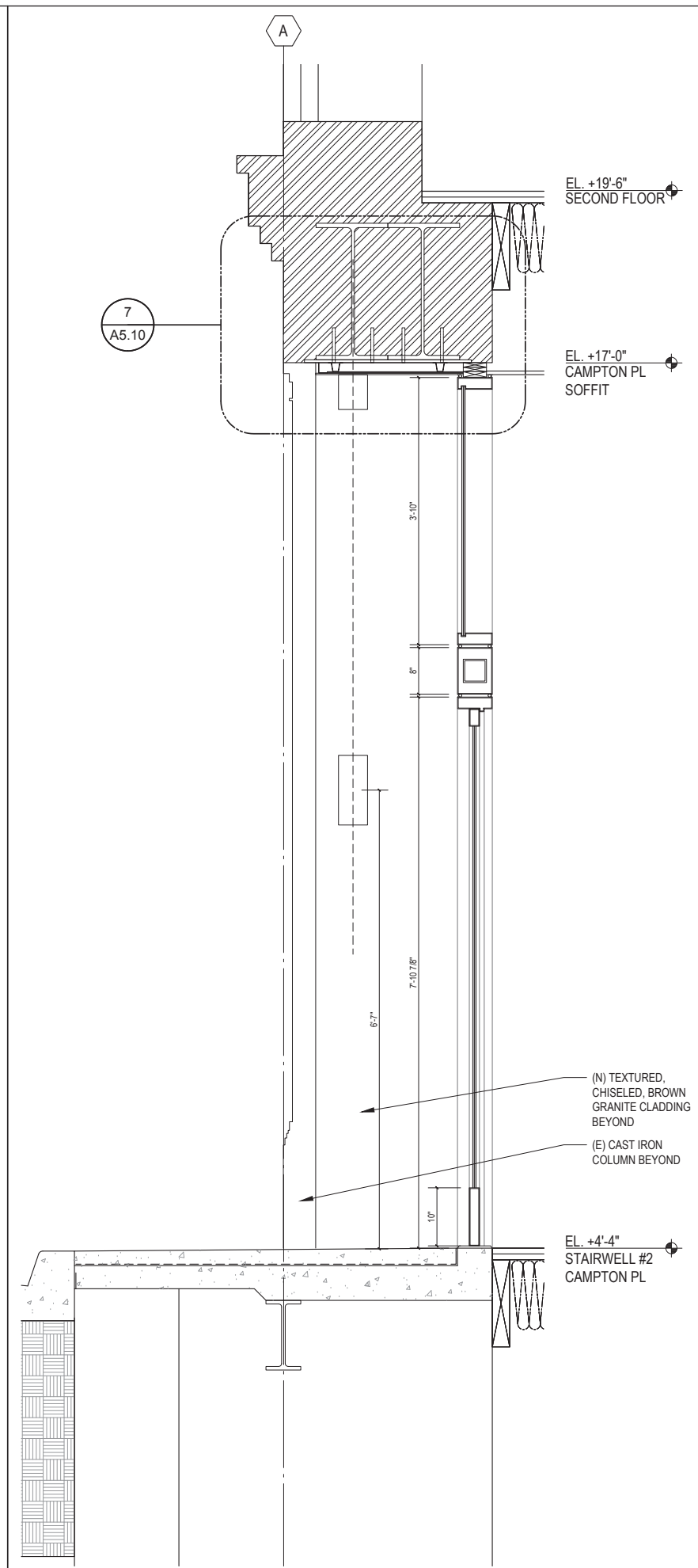
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CAMPTON PL @ LVL +2'-0" SCALE: 1" = 1'-0" 3



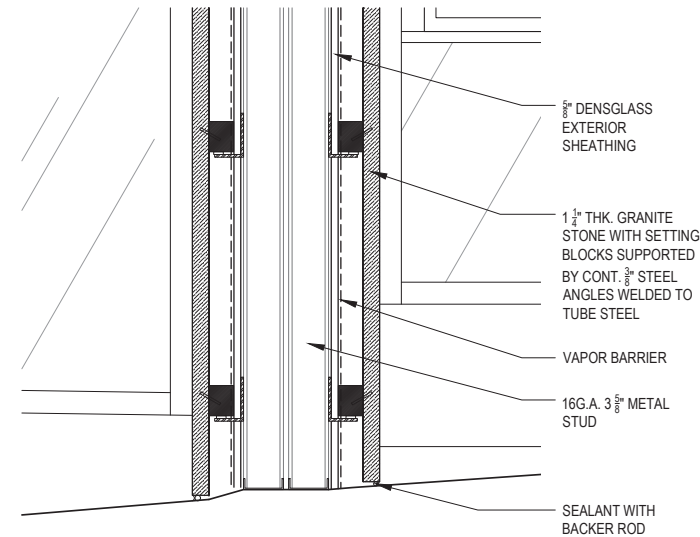
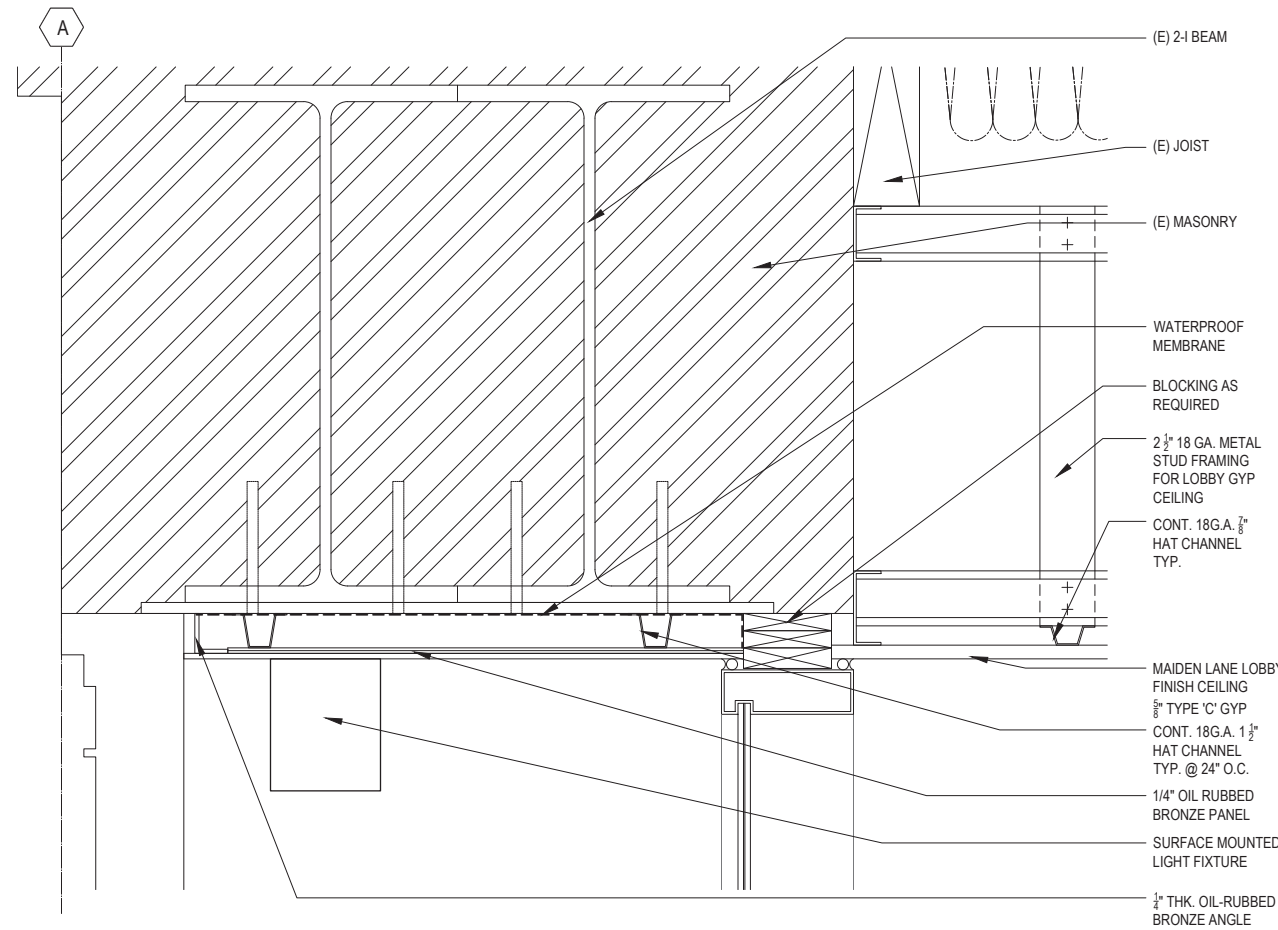
CAMPTON PL LOBBY STOREFRONT @ LVL +2'-9" SCALE: 1" = 1'-0" 2



CAMPTON PL @ LVL +4'-4" SCALE: 1/2" = 1'-0" 1



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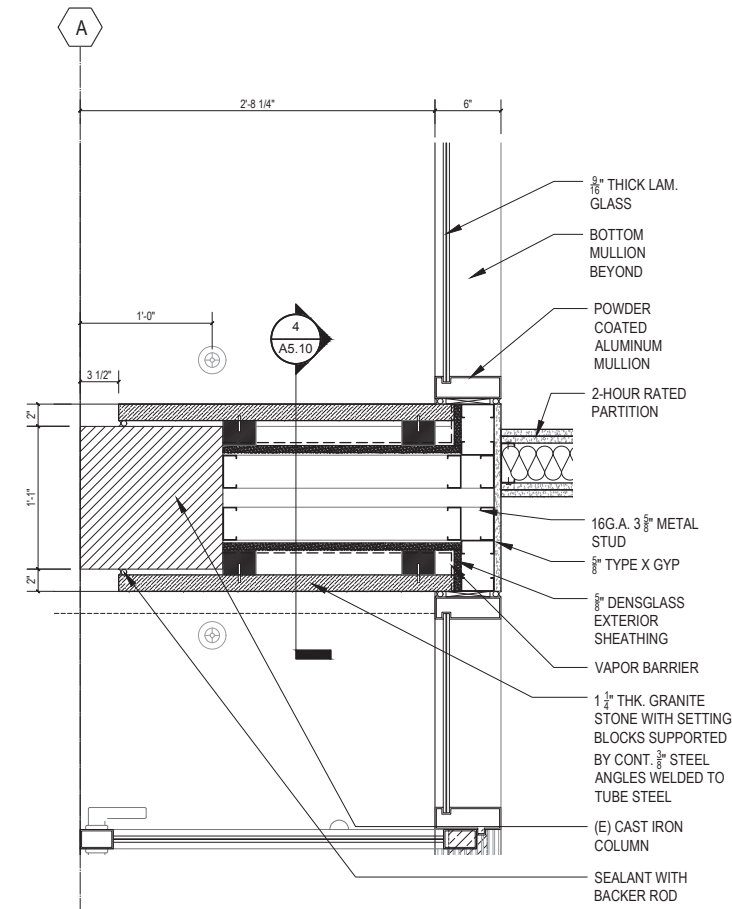
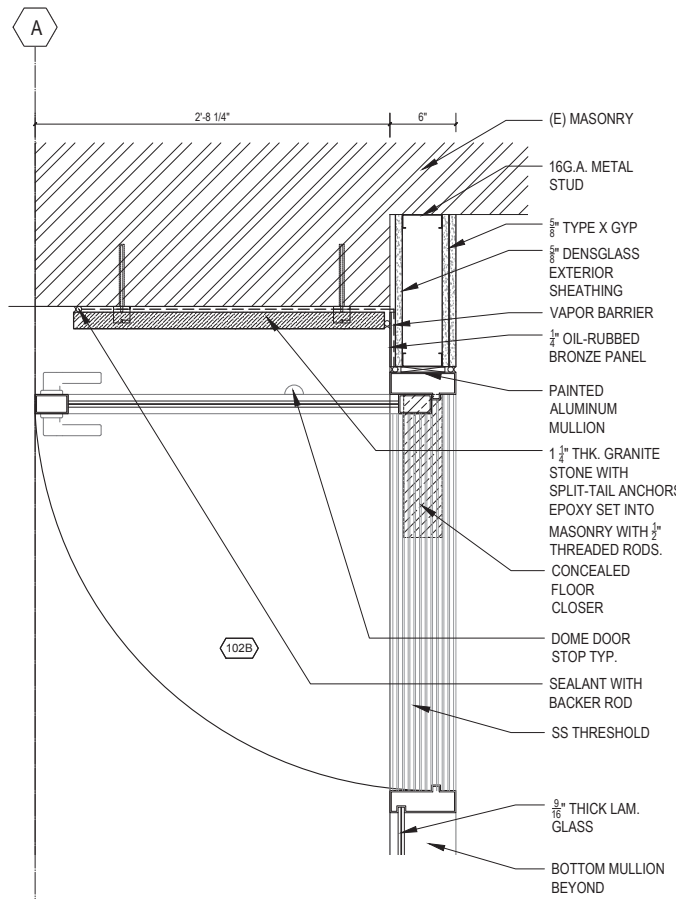
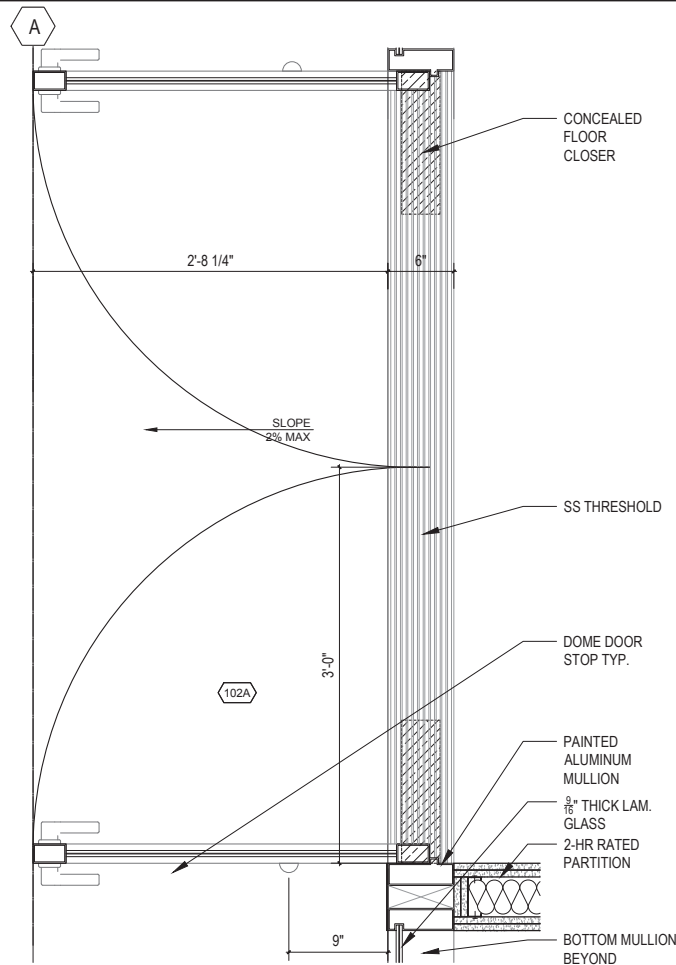


NOTES:  
1. ELECTRICAL CONDUITS TO BE LAID IN NEW SIDEWALK CONCRETE TOPPING TO ALLOW FOR RECESSED UPLIGHTS AT CAMPTON PLACE STOREFRONT.

SOFFIT METAL CLADDING DETAIL SCALE: 1 1/2" = 1'-0" 7

STONE CLADDING SECTION DETAIL SCALE: 1 1/2" = 1'-0" 4

NOTES NO SCALE 2



LOBBY ENTRANCE DOOR DETAIL SCALE: 1 1/2" = 1'-0" 6

MASONRY CLADDING DETAIL SCALE: 1 1/2" = 1'-0" 5

CAST IRON COLUMN/STONE CLADDING DETAIL SCALE: 1 1/2" = 1'-0" 3

GRAPHIC KEY NO SCALE 1

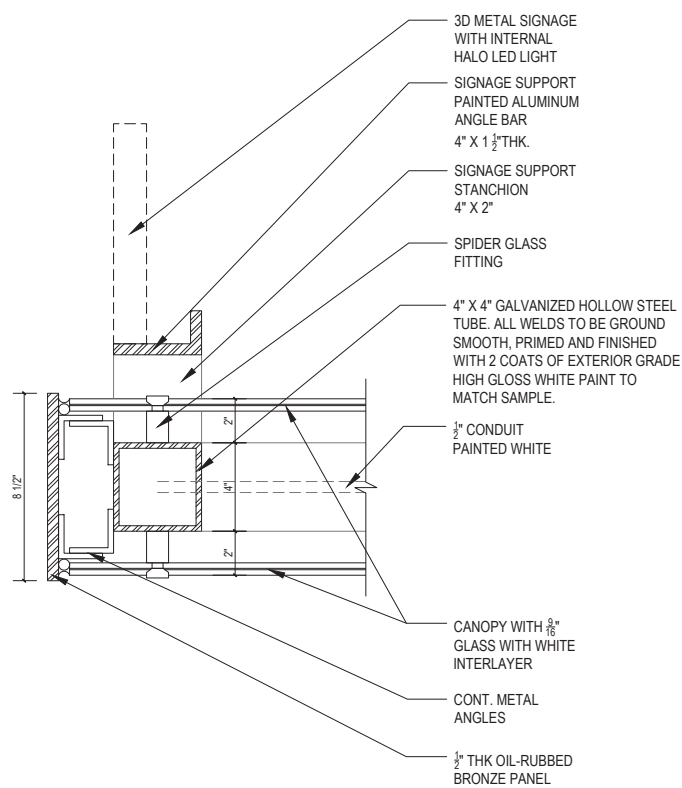
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Project No:  
Drawing Title:  
CAMPTON PLACE  
STOREFRONT DETAILS

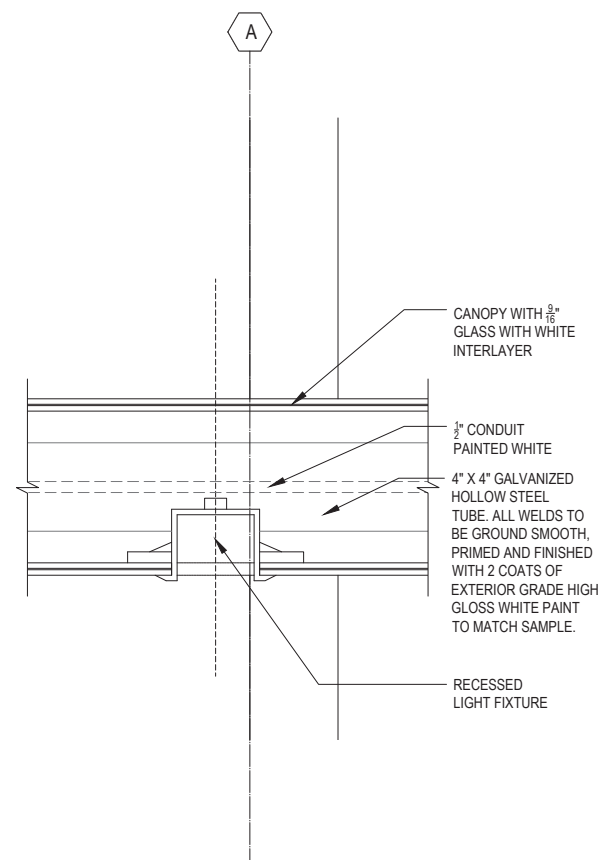
Sheet No:  
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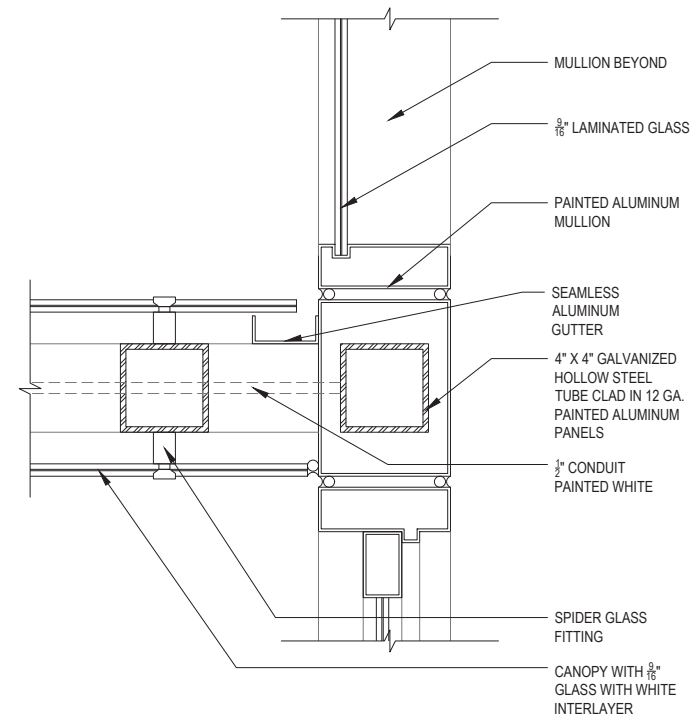
NOTES NO SCALE 2



CANOPY DETAIL SCALE: 3" = 1'-0" 5



CANOPY LIGHT FIXTURE DETAIL SCALE: 3" = 1'-0" 4



CANOPY DETAIL SCALE: 3" = 1'-0" 3

GRAPHIC KEY NO SCALE 1

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