



SAN FRANCISCO PLANNING DEPARTMENT

Certificate of Appropriateness Case Report

HEARING DATE: MARCH 20, 2019

CONSENT

Filing Date: December 6, 2018
Case No.: 2018-016426COA
Project Address: 1088 SANSOME STREET
Historic Landmark: Northeast Waterfront Landmark District
Zoning: C-2 (Community Business)
65-X Height and Bulk District
Waterfront Special Use District No. 3
Northeast Waterfront Special Sign District
Block/Lot: 0135/009
Applicant: Angus McCarthy
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PROPERTY DESCRIPTION

1088 SANSOME STREET, east side between Green and Vallejo Streets, Assessor's Block 0135, Lots 009, Supervisor District 3. The subject property, historically known as the Bemis Bag Building, is a four-story reinforced concrete industrial building constructed in approximately 1906 by an unknown architect. Built as an industrial warehouse and/or manufacturing facility, the building is currently used as office space. The property is within the C-2 (Community Business) Zoning District, the Waterfront Special Use District No. 3, a 65-X Height and Bulk District, and the Northeast Waterfront Special Sign District. It is contributory to the Northeast Waterfront Landmark District.

PROJECT DESCRIPTION

The proposed project involves the construction of a roof deck along the eastern half of the subject property's flat roof. The deck would include new flooring, planters, railings, and wooden trellises. No aspects of the proposed work would be visible from surrounding public rights-of-way, barring the top of potential plants within the planters.

Although Historic Preservation Commission Motion No. 0349 (Delegation of Minor Scopes of Work) delegates the construction of non-visible roof decks on a flat roof to Department staff for review and approval, the construction of pergolas or other similar structures as part of the deck installation does not qualify for this staff-level review. As the proposal includes partially enclosed wooden trellises it therefore must obtain a Certificate of Appropriateness approved by the Historic Preservation Commission.

OTHER ACTIONS REQUIRED

No other actions are required for approval of the associated building permit application.

COMPLIANCE WITH THE PLANNING CODE PROVISIONS

The proposed project complies with all aspects of the Planning Code.

APPLICABLE PRESERVATION STANDARDS

ARTICLE 10

Pursuant to Section 1006.2 of the Planning Code, unless exempt from the Certificate of Appropriateness requirements or delegated to Planning Department Preservation staff through the Administrative Certificate Appropriateness process, the Historic Preservation Commission is required to review any applications for the construction, alteration, removal, or demolition of any designated Landmark for which a City permit is required. Section 1006.6 states that in evaluating a request for a Certificate of Appropriateness for an individual landmark or a contributing building within a historic district, the Historic Preservation Commission must find that the proposed work is in compliance with the Secretary of the Interior's Standards for the Treatment of Historic Properties, as well as the designating Ordinance and any applicable guidelines, local interpretations, bulletins, related appendices, or other policies.

ARTICLE 10 – Appendix D – Northeast Waterfront Landmark District

In reviewing an application for a Certificate of Appropriateness, the Historic Preservation Commission must consider whether the proposed work would be compatible with the character of the Northeast Waterfront Landmark District as described in Appendix D of Article 10 of the Planning Code and the character-defining features specifically outlined in the designating ordinance.

THE SECRETARY OF THE INTERIOR'S STANDARDS

Rehabilitation is the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features that convey its historical, cultural, or architectural values. The Rehabilitation Standards provide, in relevant part(s):

Standard 1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.

The project is limited to rooftop alterations and will not change the existing office use. The project will avoid changes to distinctive materials, features, and spatial relationships of the contributing resource.

Standard 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

The historic character of the property would be retained. No distinctive materials, architectural elements, or spaces that characterize the property would be altered. The project would be limited to the flat roof, which does not possess character-defining features. New flooring, planters, railing,

and wooden trellises would be added as part of a new roof deck along the eastern half of the roof, but no project elements (barring the top of potential plant types) would be visible from surrounding public rights-of-way. Therefore, no historic materials would be altered, and the property will continue to fully convey its historic character.

Standard 3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

The project does not propose to add conjectural features or changes that create a false sense of historical development. Changes are limited to the construction of a non-visible roof deck along the eastern half of the subject property's flat roof.

Standard 5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

As the project pertains solely to non-historic rooftop, all distinctive materials, features, finishes, construction or craftsmanship examples that characterize the property will be retained.

Standard 9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

The exterior alterations will not destroy historic materials, features, and spatial relationships that characterize the property. Alterations are limited to the flat roof, which does not possess character-defining features. New flooring, planters, railing, and wooden trellises would be added as part of a new roof deck along the eastern half of the roof, but no project elements (barring the top of potential plant types) would be visible from surrounding public rights-of-way. The trellises would be composed of wood, which is clearly differentiated from the industrial character of the building but befits their purpose well. Further, no trellis would be visible from the public rights-of-way. Therefore, no historic materials would be altered, and the property will continue to fully convey its historic character.

Standard 10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

All project elements—planters, flooring, railing, and trellises—atop the flat roof could be removed in the future without impairing the essential form and integrity of both the historic property and the surrounding landmark district.

PUBLIC/NEIGHBORHOOD INPUT

The Department has received no public input on the project at the date of this report.

STAFF ANALYSIS

Based on the requirements of Article 10 of the Planning Code and the Secretary of the Interior's Standards, staff has determined that the proposed work is compatible with the character-defining features of the subject property and the Northeast Waterfront Landmark District.

The proposed alterations are limited to the flat roof of the subject property, which does not possess character-defining features. New flooring, planters, railing, and wooden trellises would be added as part of a new roof deck along the eastern half of the roof, but no project elements (barring the top of potential plant types) would be visible from surrounding public rights-of-way. The trellises would be composed of wood, which is clearly differentiated from the industrial character of the building but befits their purpose well. Further, no trellis would be visible from the public rights-of-way. Therefore, no historic materials would be altered, and the property will continue to fully convey its historic character.

ENVIRONMENTAL REVIEW STATUS

The Planning Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Sections 15301 (Class One – Minor Alteration) because the project includes a minor alteration of an existing structure that meets the Secretary of the Interior's Standards.

PLANNING DEPARTMENT RECOMMENDATION

Planning Department staff recommends APPROVAL of the proposed project as it appears to meet the Secretary of the Interior Standards for Rehabilitation.

ATTACHMENTS

Draft Motion
Parcel Map
1998 Sanborn Map
Northeast Waterfront Landmark District Map
Aerial Photograph
Zoning Map
Reduced Project Plans, including:

- Current Site Photos
- Visibility Analysis



SAN FRANCISCO PLANNING DEPARTMENT

Historic Preservation Commission

Motion No.

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ADOPTING FINDINGS FOR A CERTIFICATE OF APPROPRIATENESS FOR PROPOSED WORK DETERMINED TO BE APPROPRIATE FOR AND CONSISTENT WITH THE PURPOSES OF ARTICLE 10, TO MEET THE STANDARDS OF ARTICLE 10 AND TO MEET THE SECRETARY OF INTERIOR'S STANDARDS FOR REHABILITATION, FOR THE PROPERTY LOCATED ON LOT 009 IN ASSESSOR'S BLOCK 0135, WITHIN A C-2 (COMMUNITY BUSINESS) ZONING DISTRICT, WATERFRONT SPECIAL USE DISTRICT NO. 3, NORTHEAST WATERFRONT SPECIAL SIGN DISTRICT, A 65-X HEIGHT AND BULK DISTRICT, AND THE NORTHEAST WATERFRONT LANDMARK DISTRICT.

PREAMBLE

WHEREAS, on December 6, 2018 Angus McCarthy ("Property Owner") filed an application with the San Francisco Planning Department (hereinafter "Department") for a Certificate of Appropriateness to construct a roof deck including new flooring, railing, planters, and trellises atop the flat roof of the building located at 1088 Sansome Street, a contributory property to the Northeast Waterfront Landmark District located on Lot 009 in Assessor's Block 0135.

WHEREAS, the Project was determined by the Department to be categorically exempt from environmental review. The Historic Preservation Commission ("Commission") has reviewed and concurs with said determination.

WHEREAS, on March 20, 2019, the Commission conducted a duly noticed public hearing on the current project, Case No. 2018-016426COA (Project) for its appropriateness.

WHEREAS, in reviewing the Application, the Commission has had available for its review and consideration case reports, plans, and other materials pertaining to the Project contained in the Department's case files, has reviewed and heard testimony and received materials from interested parties during the public hearing on the Project.

MOVED, that the Commission hereby approves the Certificate of Appropriateness, in conformance with the architectural plans dated January 16, 2019 and labeled Exhibit A on file in the docket for Case 2018-016426COA based on the following findings:

FINDINGS

Having reviewed all the materials identified in the recitals above and having heard oral testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and also constitute findings of the Commission.
2. Findings pursuant to Article 10:

The Historic Preservation Commission has determined that the proposed work is compatible with the character of the landmark as described in the designation report dated April 4, 1983.

- That the proposed project is compatible with the character-defining-features of the subject contributing resource and Landmark District.
- That the proposed project maintains and does not alter or destroy the building's character-defining features or materials.
- The proposed project will not remove distinctive materials nor irreversibly alter features, spaces, or spatial relationships that characterize the contributing resource or Landmark District.
- No project elements, barring the top of potential plants within the new planters, will be visible from the surrounding public rights-of-way.
- The proposed project meets the requirements of Article 10.
- The proposed project meets the following *Secretary of Interior's Standards for Rehabilitation*:

Standard 1.

A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

Standard 2.

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

Standard 3.

Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

Standard 5.

Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.

Standard 9.

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Standard 10.

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

3. **General Plan Compliance.** The proposed Certificate of Appropriateness is, on balance, consistent with the following Objectives and Policies of the General Plan:

I. URBAN DESIGN ELEMENT

THE URBAN DESIGN ELEMENT CONCERNS THE PHYSICAL CHARACTER AND ORDER OF THE CITY, AND THE RELATIONSHIP BETWEEN PEOPLE AND THEIR ENVIRONMENT.

GOALS

The Urban Design Element is concerned both with development and with preservation. It is a concerted effort to recognize the positive attributes of the city, to enhance and conserve those attributes, and to improve the living environment where it is less than satisfactory. The Plan is a definition of quality, a definition based upon human needs.

OBJECTIVE 1

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

POLICY 1.3

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

OBJECTIVE 2

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

POLICY 2.4

Preserve notable landmarks and areas of historic, architectural or aesthetic value, and promote the preservation of other buildings and features that provide continuity with past development.

POLICY 2.5

Use care in remodeling of older buildings, in order to enhance rather than weaken the original character of such buildings.

POLICY 2.7

Recognize and protect outstanding and unique areas that contribute in an extraordinary degree to San Francisco's visual form and character.

The goal of a Certificate of Appropriateness is to provide additional oversight for buildings and districts that are architecturally or culturally significant to the City in order to protect the qualities that are associated with that significance.

The proposed project qualifies for a Certificate of Appropriateness and therefore furthers these policies and objectives by maintaining and preserving the character-defining features of the contributory property and landmark district for the future enjoyment and education of San Francisco residents and visitors.

4. The proposed project is generally consistent with the eight General Plan priority policies set forth in Section 101.1 in that:

- A) The existing neighborhood-serving retail uses will be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses will be enhanced:

The proposed project will not have an effect on any existing neighborhood serving retail use as the proposal is tied solely to a space serving an office use.

- B) The existing housing and neighborhood character will be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods:

The proposed project will respect the character-defining features of the contributory property and landmark district in conformance with the Secretary of the Interior's Standards.

- C) The City's supply of affordable housing will be preserved and enhanced:

The project will not affect the City's affordable housing supply.

- D) The commuter traffic will not impede MUNI transit service or overburden our streets or neighborhood parking:

The proposed project will not result in commuter traffic impeding MUNI transit service or overburdening the streets or neighborhood parking.

- E) A diverse economic base will be maintained by protecting our industrial and service sectors from displacement due to commercial office development. And future opportunities for resident employment and ownership in these sectors will be enhanced:

The proposed project will have no effect on industrial and service sector jobs.

- F) The City will achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

Preparedness against injury and loss of life in an earthquake will will not be affected by the project. All construction will be executed in compliance with all applicable construction and safety measures.

- G) That landmark and historic buildings will be preserved:

The proposed project is in conformance with Article 10 of the Planning Code and the Secretary of the Interior's Standards.

- H) Parks and open space and their access to sunlight and vistas will be protected from development:

The proposed project will not affect access to sunlight or vistas for the parks and open space.

5. For these reasons, the proposal overall, is appropriate for and consistent with the purposes of Article 10, meets the standards of Article 10, and the Secretary of the Interior's Standards for Rehabilitation, General Plan and Prop M findings of the Planning Code.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES a Certificate of Appropriateness** for the property located at Lot 009 in Assessor's Block 0135 for proposed work in conformance with the renderings and architectural sketches dated January 16, 2019 and labeled Exhibit A on file in the docket for Case No. 2018-016426COA.

APPEAL AND EFFECTIVE DATE OF MOTION: The Commission's decision on a Certificate of Appropriateness shall be final unless appealed within thirty (30) days. Any appeal shall be made to the Board of Appeals, unless the proposed project requires Board of Supervisors approval or is appealed to the Board of Supervisors as a conditional use, in which case any appeal shall be made to the Board of Supervisors (see Charter Section 4.135).

Duration of this Certificate of Appropriateness: This Certificate of Appropriateness is issued pursuant to Article 10 of the Planning Code and is valid for a period of three (3) years from the effective date of approval by the Historic Preservation Commission. The authorization and right vested by virtue of this action shall be deemed void and canceled if, within 3 years of the date of this Motion, a site permit or building permit for the Project has not been secured by Project Sponsor.

THIS IS NOT A PERMIT TO COMMENCE ANY WORK OR CHANGE OF OCCUPANCY UNLESS NO BUILDING PERMIT IS REQUIRED. PERMITS FROM THE DEPARTMENT OF BUILDING INSPECTION (and any other appropriate agencies) MUST BE SECURED BEFORE WORK IS STARTED OR OCCUPANCY IS CHANGED.

I hereby certify that the Historical Preservation Commission ADOPTED the foregoing Motion on March 20, 2019.

Jonas P. Ionin
Commission Secretary

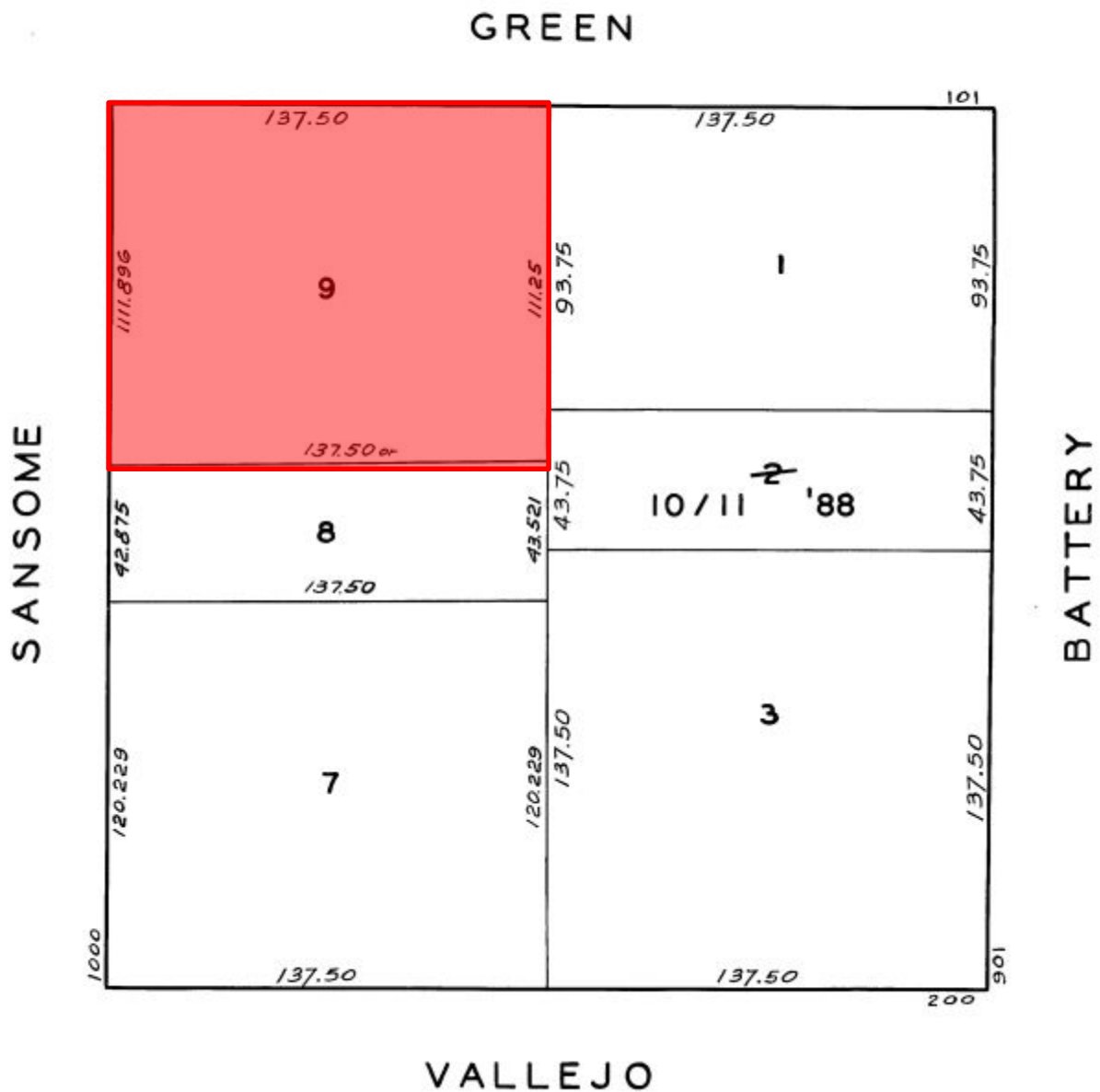
AYES: X

NAYS: X

ABSENT: X

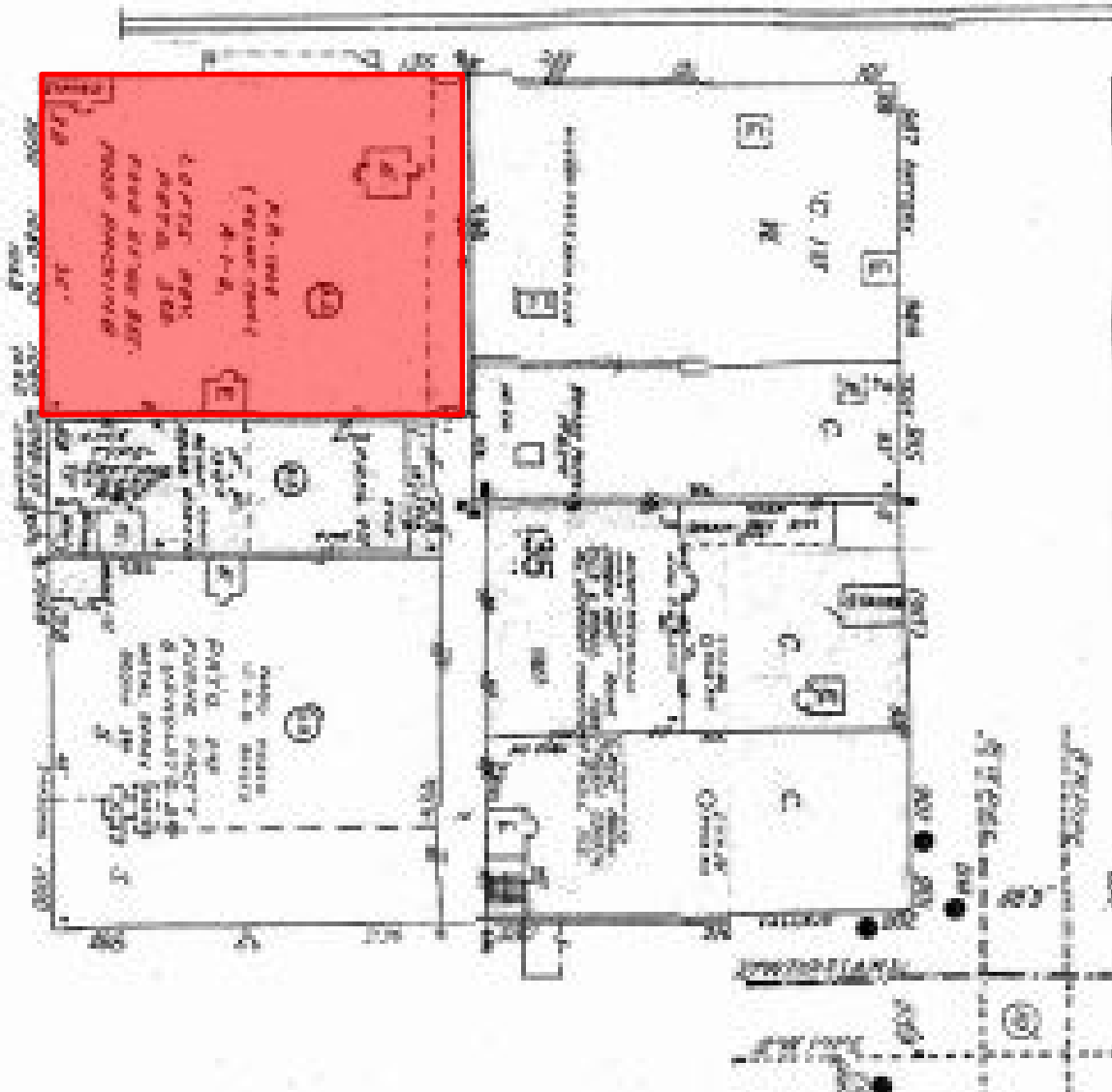
ADOPTED: March 20, 2019

Parcel Map



Certificate of Appropriateness
Case Number 2018-016426COA
1088 Sansome Street

Sanborn Map*

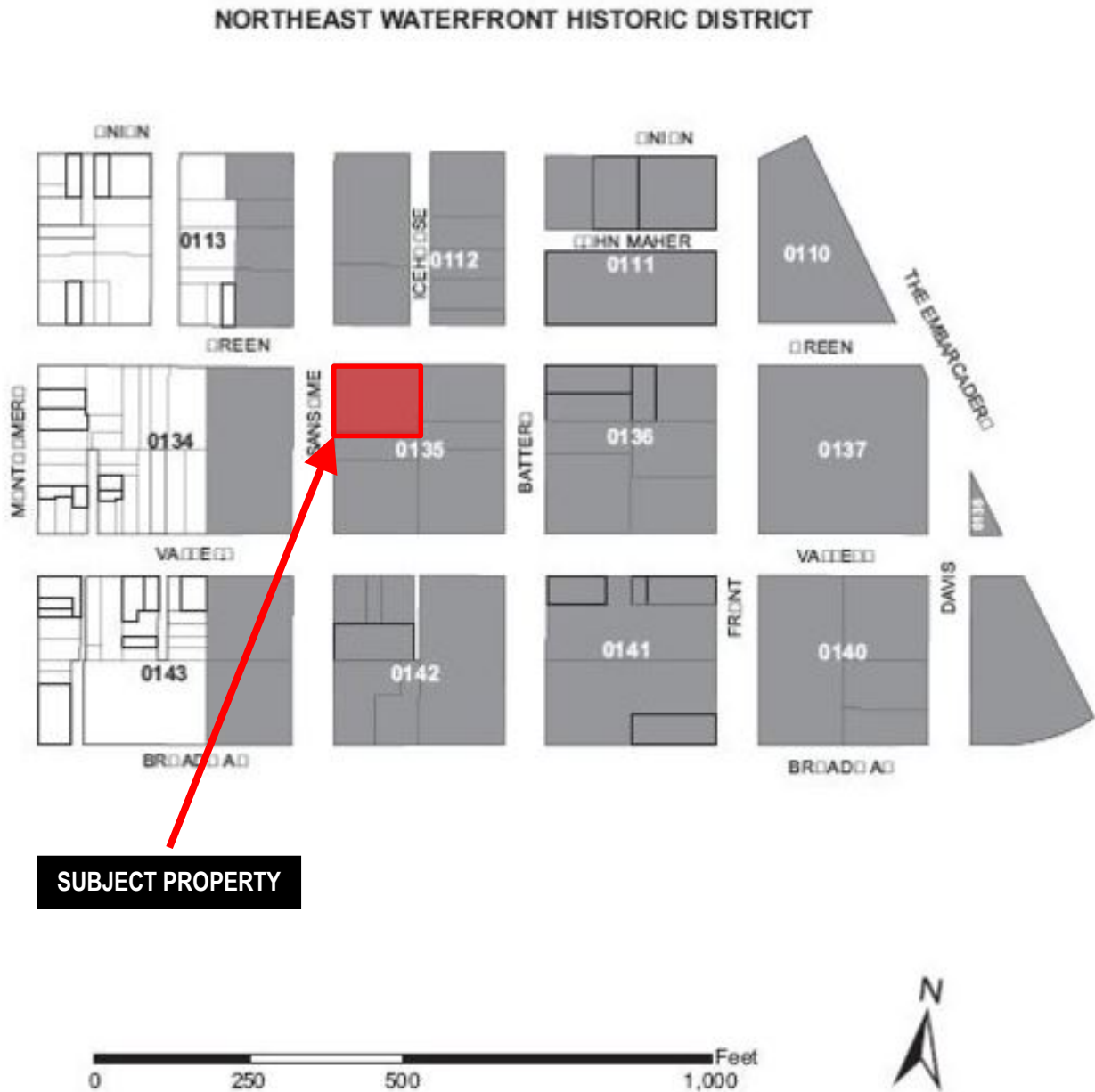


**The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.*



Certificate of Appropriateness
Case Number 2018-016426COA
1088 Sansome Street

Northeast Waterfront Landmark District



SUBJECT PROPERTY



Aerial Photograph

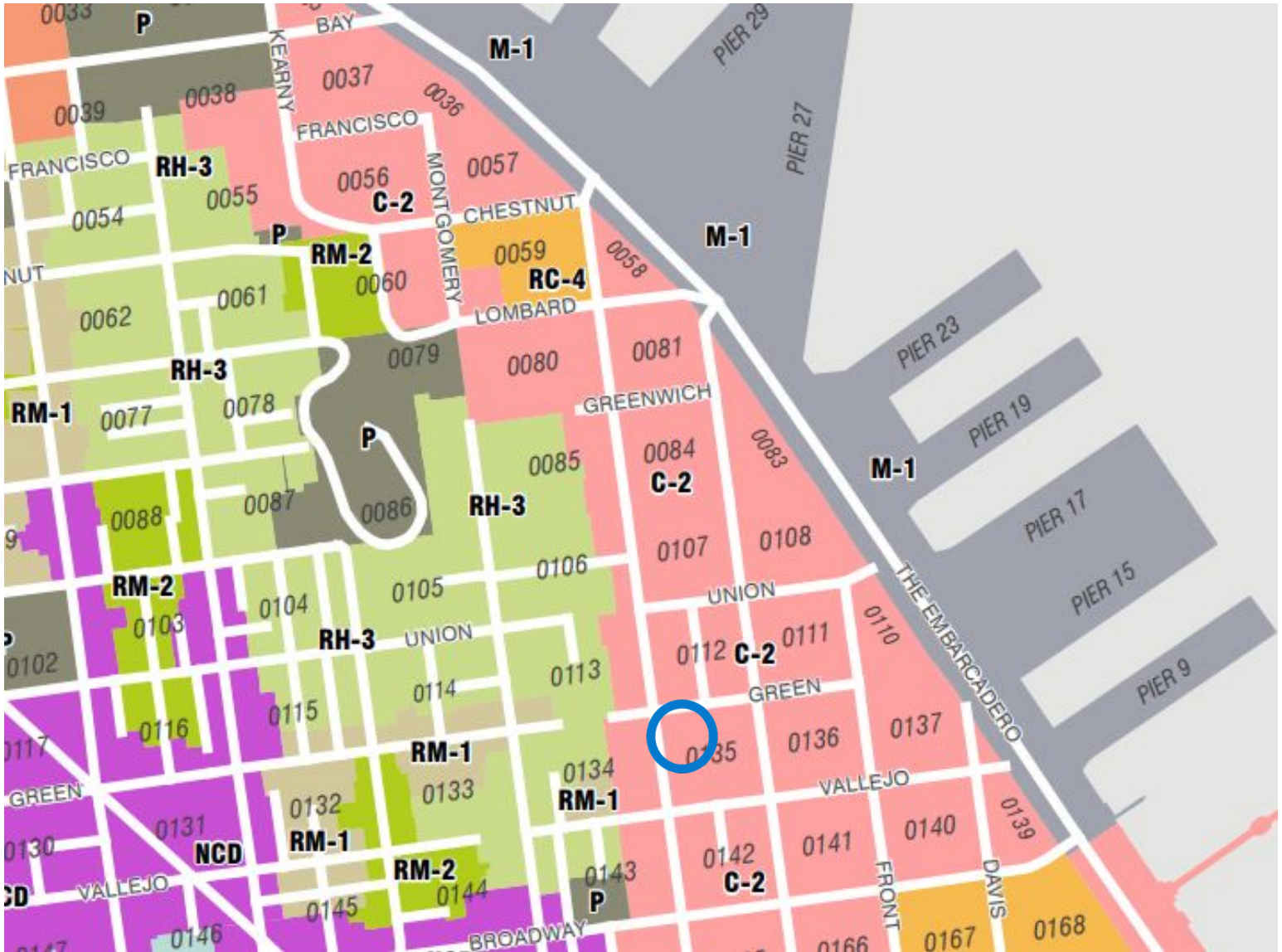


SUBJECT PROPERTY



Certificate of Appropriateness
Case Number 2018-016426COA
1088 Sansome Street

Zoning Map



Certificate of Appropriateness
Case Number 2018-016426COA
1088 Sansome Street

Site Photo



Certificate of Appropriateness
Case Number 2018-016426COA
1088 Sansome Street

ABBREVIATIONS

& L or < @ G O # or LB. (N) ADJ. A.F.F. ALUM. ANOD. APPROX. ARCH. ASB. ASPH. AVG. A-V	AND ANGLE AT CENTERLINE DIAMETER OR ROUND FOUND OR NUMBER EXISTING NEW ADJUSTABLE/ADJACENT ABOVE FINISHED FLOOR ALUMINUM ANODIZED APPROXIMATE ARCHITECTURAL ASBESTOS ASPHALT AVERAGE AUDIO VISUAL	GA. GALV. G.B. G.C. GL. GYP. GEN.	GAUGE GALVANIZED GRAB BAR GENERAL CONTRACTOR GLASS GYPSUM GENERAL	RAD. RDWD. REF. REFR. REINF. REQ. RESIL. RM. R.O.	RADIUS REDWOOD REFERENCE REFRIGERATOR REINFORCED REQUIRED RESILIENT ROOM ROUGH OPENING
BD. BETW. BLDG. BLKG. BLM. BOT.	BOARD BETWEEN BUILDING BLOCKING BEAM BOTTOM	JAN. J-BOX KIT.	JANITOR JUNCTION BOX KITCHEN	S. S.C. SCHD. SAN. SECTY. SERV. S.H.O. SECT. SHT. SIM. SPEC. SQ. S.S. STA. STD. STL. STOR. STR. SUSP. SYM. SPKR. S.F. SYS.	SOUTH SOLID CORE SCHEDULE SANITARY SECRETARY SERVICE SMOKE HOLD OPEN SECTION SHEET SIMILAR SPECIFICATION SQUARE STAINLESS STEEL STATION STANDARD STEEL STORAGE STRUCTURE/STRUCTURAL SUSPENDED SYMMETRICAL SPEAKER SQUARE FEET SYSTEM
CAB. CEM. CLG. CLOS. CLR.OPG. COL. CONC. CONN. CONSTR. CONT. CONTR. CORR. CPT. CTR.	CABINET CEMENT CEMIC CEILING CLOSET CLEAR OPENING COLUMN CONCRETE CONNECTION CONSTRUCTION CONTINUOUS CONTRACTOR CORRIDOR CARPET CENTER	LAB. LAM. LAV. LT. LAT.	LABORATORY LAMINATE LAVATORY LIGHT LATERAL	TEL. TER. THK. T.V. T.O.W. TYP. T & B TEMP.	TELEPHONE TERRAZZO THICK(NESS) TELEVISION TOP OF WALL TYPICAL TOP AND BOTTOM TEMPERED/TEMPERATURE
DBL. DEPT. D.F. DET. DIA. DIM. DISP. DN. DR. DWR. DWG.	DOUBLE DEPARTMENT DRINKING FOUNTAIN DETAIL DIAMETER DIMENSION DISPENSER DOWN DOOR DRAWER DRAWING	N. N.I.C. NO. OR # NOM. N.T.S.	MAINT. MAT. M.C. MECH. MTL. MEZZ. MFR. MGR. MIN. MISC. MTD. MULL.	UNF. U.O.N. UTIL.	UNFINISHED UNLESS OTHERWISE NOTED UNDERWRITERS LABORATORY UTILITY
E. E.A. ELEV. ELEC. ELEV. EMER. ENCL. ENGR. ENTR. EQ. EXP. EXPO. EXT.	EAST EACH ELEVATION ELECTRICAL ELEVATION EMERGENCY ENCLOSURE ENGINEER ENTRANCE EQUAL EXPANSION EXPOSED EXTERIOR	O.A. O.C. OFF. OPNG. OPP. ORIG. OVHD. OZ.	OVERALL ON CENTER OFFICE OPENING OPPOSITE ORIGINAL OVERHEAD OUNCE	VAR. VEN. VERT. VEST. VINL. V.I.F. VOL.	VARIABLE/VARIES VENEER VERTICAL VESTIBULE VINYL VERIFY IN FIELD VOLUME
F.E. F.E.C. F.H.C. FIN. F. PRF. FLR. FLOUR. F.O.C. F.O.W. F.O.F. F.O.S. FR. F-F F.S. FT. FURR. FUT.	FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FIRE HOSE CABINET FINISHED FIREPROOF FLOOR FLUORESCENT FACE OF CONCRETE FACE OF WALL FACE OF FINISH FACE OF STUD FRAME FACE TO FACE FULL SIZE FOOT OR FEET FURRING FUTURE	PERP. PART. BD. PC. PLUMB. P.L. OR P PNL PORT. PL. PLAM PLAST. PLYWD. PR. PT. PTN. PROD. PTD. PREFAB.	PERPENDICULAR PARTICLE BOARD PIECE PLUMBING PROPERTY LINE PANEL PORTABLE PLATE PLASTIC LAMINATE PLYWOOD PAIR POINT PARTITION PRODUCTION PAINTED PREFABRICATED	X YD.	TIMES OR BY (AS IN 2X4) YARD

GENERAL NOTES:

- AMERICAN DISABILITIES ACT, 28 CFR, PART 36 HAS BEEN REVIEWED. THE DESIGN SUBMITTED FOR THE BUILDING PERMIT SUBSTANTIALLY CONFORMS TO THESE REGULATIONS.
- ALL DIMENSIONS INDICATED ON THE PLANS AS "VERIFY" OR "V.I.F." ARE DIMENSIONS THAT ARE EXPECTED. IF CONFLICTS OCCUR UPON VERIFICATION, NOTIFY THE CLIENT'S AGENT IMMEDIATELY.
- ALL DIMENSIONS NOTED AS "CLEAR" OR "CLR" ARE MINIMUM REQUIRED DIMENSIONS AND CLEARANCE MUST BE ACCURATELY MAINTAINED.
- CONTRACTOR SHALL PATCH AND REPAIR ALL FIRE-PROOFING DAMAGE INCURRED DURING DEMOLITION AND/OR CONSTRUCTION. CONTRACTOR SHALL FIREPROOF AS REQUIRED BY CODE ALL NEW AND EXISTING PENETRATIONS GENERATED BY THE WORK DESCRIBED IN THESE DOCUMENTS.
- EXECUTE WORK IN ACCORDANCE WITH ANY AND ALL APPLICABLE CODES, MANUFACTURER'S RECOMMENDATIONS, AND TRADE REFERENCE STANDARDS, INCLUDING BUT NOT LIMITED TO: IBC, SEISMIC CODES, SIBC, NEC, SIBC, NPC, NFPA, ASME, UMC, ANSI, FIRE AND SAFETY CODES, STATE TITLE AND ADMINISTRATIVE CODES, LOCAL CODE AMENDMENTS, AMERICANS WITH DISABILITIES ACT, AND OTHER APPROPRIATE REGULATORY AUTHORITIES' LATEST ENFORCED EDITIONS.
- THE CONTRACTOR SHALL THOROUGHLY CLEAN PROJECT SITE AFTER CONSTRUCTION IS COMPLETE.
- CONTRACTOR SHALL PROVIDE PROTECTION TO ALL EXISTING EQUIPMENT AND FINISHES SCHEDULED TO REMAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED THEREIN DURING CONSTRUCTION.
- ALL FINISHED DIMENSIONS ARE PREDICATED UPON REQUIRED OPENINGS, EQUIPMENT SIZES, ETC. IF ANY DISCREPANCIES OCCUR, NOTIFY CLIENT'S AGENT IMMEDIATELY.
- CHANGES IN FLOOR GRADE GREATER THAN 1/4" OVER ANY MEASURABLE DISTANCE TO BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. LESSER CHANGES IN FLOOR GRADE TO BE THE RESPONSIBILITY OF FLOORING CONTRACTOR.
- THE CONTRACTOR SHALL FURNISH A SYSTEM OF TEMPORARY LIGHTS AND WATER THROUGHOUT THE SPACE UNDER CONSTRUCTION IF REQUIRED.
- DO NOT SCALE DRAWINGS; DIMENSIONS SHALL GOVERN. DETAILS SHALL GOVERN OVER PLANS AND ELEVATIONS.
- CONTRACTOR TO PROVIDE STRICT CONTROL OF JOB CLEANING AND PREVENT DUST, NOISE, AND DEBRIS FROM EMANATING FROM CONSTRUCTION AREA.
- THE CONTRACTOR SHALL REMOVE ALL TRASH AND WASTE MATERIALS FROM THE SITE DUE TO THE WORK.
- THE CONTRACTOR SHALL PROVIDE A PROPER SITE BARRICADE/STOREFRONT BLACKENING AS REQUIRED BY LANDLORD.
- FOR THE FINISH MATERIALS ON THE CEILINGS, INTERIOR WALLS AND FLOORS, IN ACCORDANCE WITH THE CBC SECTION 803 & 804 THE MAXIMUM FLAME SPREAD SHALL NOT EXCEED THE LIMITS OF CLASS C, AS NOTED IN TABLE 803.9 FOR ALL ROOMS & ENCLOSED SPACES WITHIN A FULLY SPRINKLERED BUILDING WITH TYPE B, A-2 & S-2 OCCUPANCY DESIGNATIONS. A CERTIFICATION OF MATERIALS SHALL BE REQUIRED TO PASS INSPECTION IN THE FIELD.
- EXIT SIGNS, EMERGENCY LIGHTING AND FIRE EXTINGUISHERS TO BE FIELD VERIFIED BY THE FIRE INSPECTOR.
- CONTRACTOR IS NOT TO USE THE MAIN BUILDING LOBBY, WITHOUT THE PRIOR CONSENT OF THE BUILDING OWNER.

HAZARDOUS MATERIALS NOTES

- OWNER ACKNOWLEDGES THAT TMDA HAVE NO RESPONSIBILITY FOR THE DISCOVERY, REMOVAL, PRESENCE HANDLING, DISPOSAL OF , OR PERSONS TO HAZARDOUS SUBSTANCES, MATERIALS, AND WASTES IN ANY FORM AT THE PROJECT SITE, INCLUDING BUT NOT LIMITED TO: ASBESTOS PRODUCTS, PCB MOLD, OR OTHER TOXIC SUBSTANCES.
- THE OWNER ACKNOWLEDGES THAT IT ACCEPTS RESPONSIBILITY FOR NOTIFYING THE APPROPRIATE FEDERAL, STATE, AND LOCAL COVERING AGENCIES FOR ANY DEMOLITION, CONSTRUCTION, OR REPAIR WORK.

NON-INFRINGEMENT STATEMENT:

THE BUILDING RENOVATIONS IN THESE DRAWINGS DO NOT AFFECT THE DESIGN OR OPERATION OF EXISTING SMOKE CONTROL SYSTEMS.

NO NEW CARD READERS IN SCOPE OF WORK.

BUILDING INFO:

PARCEL (BLOCK/LOT): 0135/009

CONSTRUCTION TYPE: TYPE 2A PROTECTED NON-COMBUSTABLE

OCCUPANCY: B – OFFICE

ZONE: 1 C-2

SPRINKLERS: FULLY SPRINKLERED

NUMBER OF STORIES: 4

NUMBER OF BASEMENT LEVELS: 2 (BASEMENT + SUB-BASEMENT)

PARCEL/LOT AREA: 15,386 SF

GROSS BLDG. SQ. FOOTAGE: 57,968 SF

SCOPE OF WORK:

TENANT IMPROVEMENT INCLUDES:
NEW EXTERIOR IMPROVEMENTS ON THE PENTHOUSE LEVEL: DESIGN OF NEW FLOORING FINISHES; NEW LIGHTINGS; NEW POWER; NEW ROOF DECK & RAILINGS.

APPLICABLE CODES:

2016	CALIFORNIA BUILDING CODE
2016	CALIFORNIA MECHANICAL CODE
2016	CALIFORNIA PLUMBING CODE
2016	CALIFORNIA ELECTRICAL CODE
2016	CALIFORNIA ENERGY CODE
2016	CALIFORNIA GREEN BLDG. CODE
2016	CALIFORNIA FIRE CODE
2016	NFPA 72 (FIRE ALARMS)
2016	NFPA 13 (FIRE SPRINKLERS)
2016	SAN FRANCISCO AMENDMENTS

PROJECT TEAM:

CLIENT: PATTERN ENERGY PIER 1, BAY 3 SAN FRANCISCO, CA 94111 CONTACT: KEVIN DELVIN (415) 283-4000 KEVIN.DELVIN@PATTERNENERGY.COM	ARCHITECT: TMDA 2062 DIVISADERO ST SAN FRANCISCO, CA 94115 PHONE: 415.986.1600 FAX: 415.986.1655 CONTACT: TIM MURPHY EMAIL: TMURPHY@TMDA.COM
LANDLORD: ANGUS MCCARTHY 1088 SANSOME ST. SAN FRANCISCO, CA 94111 ANGUSMCCARTHY@SBCGLOBAL.NET	GENERAL CONTRACTOR: STRONGHOLD CONSTRUCTION CONTACT: COLM BRENNAN (415) 269-1785 COLM@STRONGHOLDCONSTRUCTIONSF.COM
MEP ENGINEER: MHC ENGINEERS 150 8TH ST. SAN FRANCISCO, CA 94103 CONTACT: TOBY LEE (415) 512-7141 TOBYLEE@MHCENGR.COM	

LIST OF DRAWINGS:

ARCHITECTURAL	
A0.0	COVER SHEET
A0.01	GREEN BUILDING CHECKLIST
A0.02	LEED SCORECARD
R1.0	REFERENCE-HISTORIC PRESERVATION
R1.1	REFERENCE-PRE-APPLICATION
R1.2	REFERENCE-ACCESSIBILITY
R1.3	REFERENCE-ACCESSIBILITY
R1.4	REFERENCE-ACCESSIBILITY
R1.5	REFERENCE-SITE PLAN
R1.6	REFERENCE-ENLARGED BATHROOMS
R1.7	REFERENCE-ENLARGED BATHROOMS
R1.8	REFERENCE-ENLARGED BATHROOMS
R1.9	REFERENCE-ENLARGED LOBBY
R1.10	REFERENCE-STAIR & RAMP DETAILS
R1.11	REFERENCE-POT
R1.12	REFERENCE-POT
R1.13	REFERENCE-POT
R1.14	REFERENCE-POT
R1.15	REFERENCE-POT
A0.1A	GENERAL NOTES
A0.1B	GENERAL NOTES, CONT'D
A0.2	ADA GUIDELINES
A0.3	EXISTING EXTERIOR SIGHTLINE STUDY
A0.4	PROPOSED EXTERIOR SIGHTLINE STUDY
A0.5	ROOF DECK PERIMETER STUDY
A1.0	OCCUPANCY & EGRESS PLAN – PENTHOUSE
A3.0	CONSTRUCTION PLAN-PENTHOUSE
A4.0	LIGHTING & REFLECTED CEILING PLAN-PENTHOUSE
A5.0	POWER & SIGNAL PLAN-PENTHOUSE
A6.0	FINISH PLAN-PENTHOUSE
A7.0	EXISTING EXTERIOR ELEVATIONS
A7.1	PROPOSED EXTERIOR ELEVATIONS
A8.0	ELEVATIONS
A9.0	DETAILS

EXHIBIT
A

DA CHECKLIST:

D.A. CHECKLIST (p. 1 of 2): The address of the project is 1088 SANSOME ST.

For ALL tenant improvement projects in commercial use spaces, both pages of this checklist are required to be reproduced on the plan set and signed.

- The proposed use of the project is **OFFICE** (e.g. Retail, Office, Restaurant, etc.)
- Describe the area of remodel, including which floor: **PENTHOUSE**
- The construction cost of this project excluding disabled access upgrades to the path of travel is **\$1,000,000.00**, which is ; (check one) ☒ more than / ☐ less than the 2018 Valuation Threshold of **\$161,289.00**

4. Is this a City project and/or does it receive any form of public funding? Check one: ☐ Yes / ☒ No
If Yes, then see Step 3 on the Instructions page of the Disabled Access Upgrade Compliance Checklist package for additional forms required.

Conditions below must be fully documented by accompanying drawings

- Read A through I below carefully and check the most applicable boxes. Check one box only:
 - ☒ **A:** All existing conditions serving the area of remodel fully comply with access requirements. No further upgrades are required. Fill out page 2 of D.A. Checklist
 - ☒ **B:** Project Adjusted cost of construction is greater than the current valuation threshold: Fill out and attach page 2 of D.A. Checklist and any other required forms to plans
 - ☐ **C:** Project adjusted cost of construction is less than or equal to the current valuation threshold: List items that will be upgraded on Form C. All other items shall be checked on page 2 of the D.A. Checklist in the "Not required by code" column.
 - ☐ **D:** Proposed project consists entirely of Barrier removal: Fill out and attach Barrier removal form to Plans
 - ☐ **E:** Proposed project is minor revision to previously approved permit drawings only. (Note: This shall NOT be used for new or additional work) Provide previously approved permit application here: _____ Description of revision: _____

CBC chapter 2 section 202 Definitions:

Technically Infeasible. An alteration of a building or a facility, that has little likelihood of being accomplished because the existing structural conditions require the removal or alteration of a load-bearing member that is an essential part of the structural frame, or because other existing physical or site constraints prohibit modification or addition of elements, spaces or features that are in full and strict compliance with the minimum requirements for new construction and which are necessary to provide accessibility.

Unreasonable Hardship. When the enforcing agency finds that compliance with the building standard would make the specific work of the project affected by the building standard infeasible, based on an overall evaluation of the following factors:

- The cost of providing access.
- The cost of all construction contemplated.
- The impact of proposed improvements on financial feasibility of the project.
- The nature of the accessibility which would be gained or lost.
- The nature of the use of the facility under construction and its availability to persons with disabilities

The details of any Technically Infeasible or Unreasonable Hardship shall be recorded and entered into the files of the Department. All Unreasonable Hardships shall be ratified by the AAC.

D.A. CHECKLIST (p. 2 of 2): The address of the project is 1088 SANSOME ST.

Check all applicable boxes and specify where on the drawings the details are shown:

	Existing Fully Complying	Will be Upgraded to Full Compliance	Equivalent Facilitation will be provided for Access	Compliance is Technically Infeasible	Approved by local planning agency immediately preceding code	Not required by Code (per local ordinance)	Non-compliance request (UHR) Must be ratified by AAC	Location of details (include detail no. & drawing sheet (do not leave this part blank)) Also classification comments can be written here.
A One accessible entrance including: approach walk, vertical access, platform (landings), door / gate and hardware for door/gate	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	R1.4; COMPLIANCE UPGRADED PER APPROVED BUILDING PERMIT #2016.2.11.9364 & #2016.07.28.3632
B An accessible route to the area of remodel including: Parking/access aisles and curb ramps	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	R1.4, R1.9, R1.10; COMPLIANCE UPGRADED PER APPROVED BUILDING PERMIT #2016.2.11.9364 & #2016.07.28.3632
Curb ramps and walks	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Corridors, hallways, floors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Ramps elevators, lifts	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
C At least one accessible restroom for each sex or a single unisex restroom serving the area of remodel.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	R1.2, R1.6, R1.7, R1.8
D Accessible public pay phone.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	NOT APPLICABLE
E Accessible drinking fountains.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	R1.4, R1.6, R1.7
F Additional accessible elements such as parking, stairways, storage, alarms and signage.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	R1.3
See the requirements for additional forms listed below	1.	2.	3.	4.	5.	6.	7.	

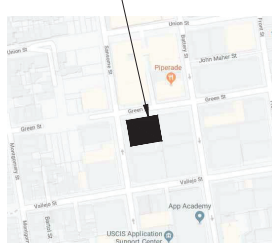
- No additional forms required
- No additional forms required
- Fill out Request for Approval of Equivalent Facilitation form for each item checked and attach to plan.
- Fill out Request for Approval of Technical Infeasibility form for each item checked and attach to plans.
- Provide details from a set of City approved reference drawings, provide its permit application number here: _____ and list reference drawing number on plans.
- No additional forms required
- Fill out Request for an Unreasonable Hardship form for each item checked and attach to plan. All UHR must be ratified by the Access Appeals Commission (see UHR form for details)

SYMBOLS:

	SECTION		WINDOW TAG
	DETAIL REFERENCE		ROOM ID TAG
	INTERIOR ELEVATION MARKER		ROOM*NUMBER ID TAG
	ELEVATION POINT MARKER		COLUMN GRID LINE
	DATUM POINT MARKER		REVISION NUMBER TAG
	DOOR TAG		BREAK LINE
			FLOOR PLAN 1/8" = 1'-0" DRAWING TITLE

PROJECT LOCATION:

ADDRESS: 1088 SANSOME ST.
SAN FRANCISCO, CA 94111



DEFERRED SUBMITTALS:

- THE FOLLOWING DOCUMENTS TO BE SUBMITTED UNDER SEPARATE APPLICATION:
- ELECTRICAL DRAWINGS
 - STRUCTURAL DRAWINGS

date	issue	by/check
11.1.18	Planning Set	aw/sk/cw
01.16.19	Planning Revision	sk/tm



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PROJECT NO. 1008



AS NOTED

Pattern
1088 Sansome St.
San Francisco, CA

Cover Sheet
A0.0



NORTHEAST VIEW



NORTH VIEW



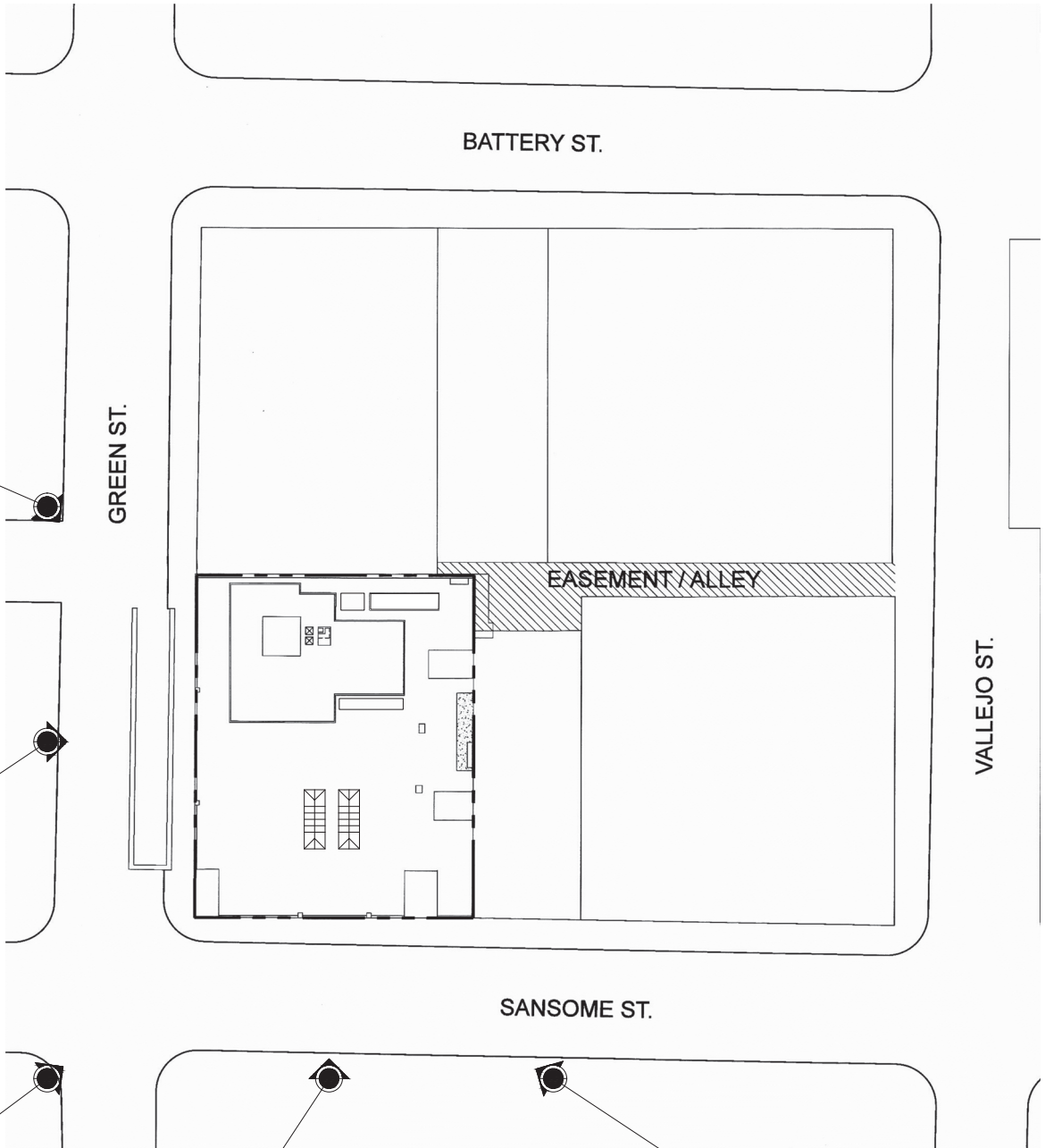
NORTHWEST VIEW



WEST VIEW



SOUTHWEST VIEW



EXISTING EXTERIOR VIEWS - PENTHOUSE 1/8" = 1'-0"

date	issue	by/check
11.1.18	Planning Set	aw/sk/cw
01.16.19	Planning Revision	sk/tm

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Project: A0.3

Pattern
1088 Sansome St.
San Francisco, CA

AS NOTED

Existing Exterior
Sightline Study

A0.3



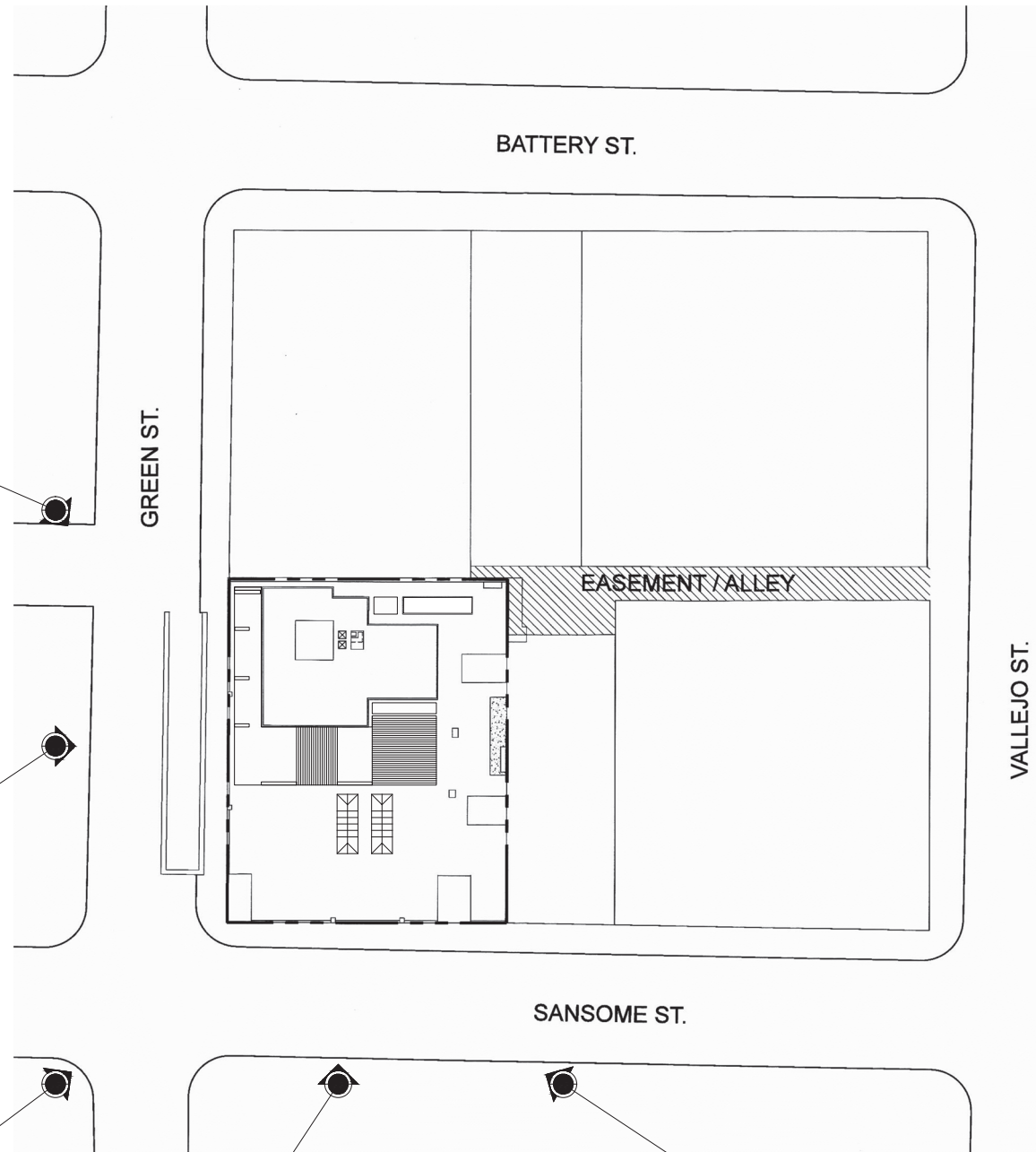
NORTHEAST VIEW



NORTH VIEW



NORTHWEST VIEW



PROPOSED EXTERIOR VIEWS - PENTHOUSE

1/8" = 1'-0"



WEST VIEW (CHANGES NOT VISIBLE)



SOUTHWEST VIEW (CHANGES NOT VISIBLE)



date	issue	by/check
11.1.18	Planning Set	aw/sk/cw
01.16.19	Planning Revision	sk/tm



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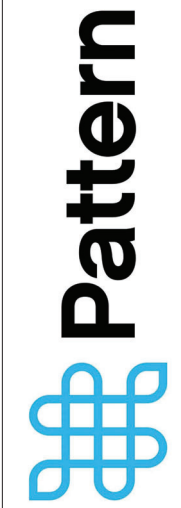
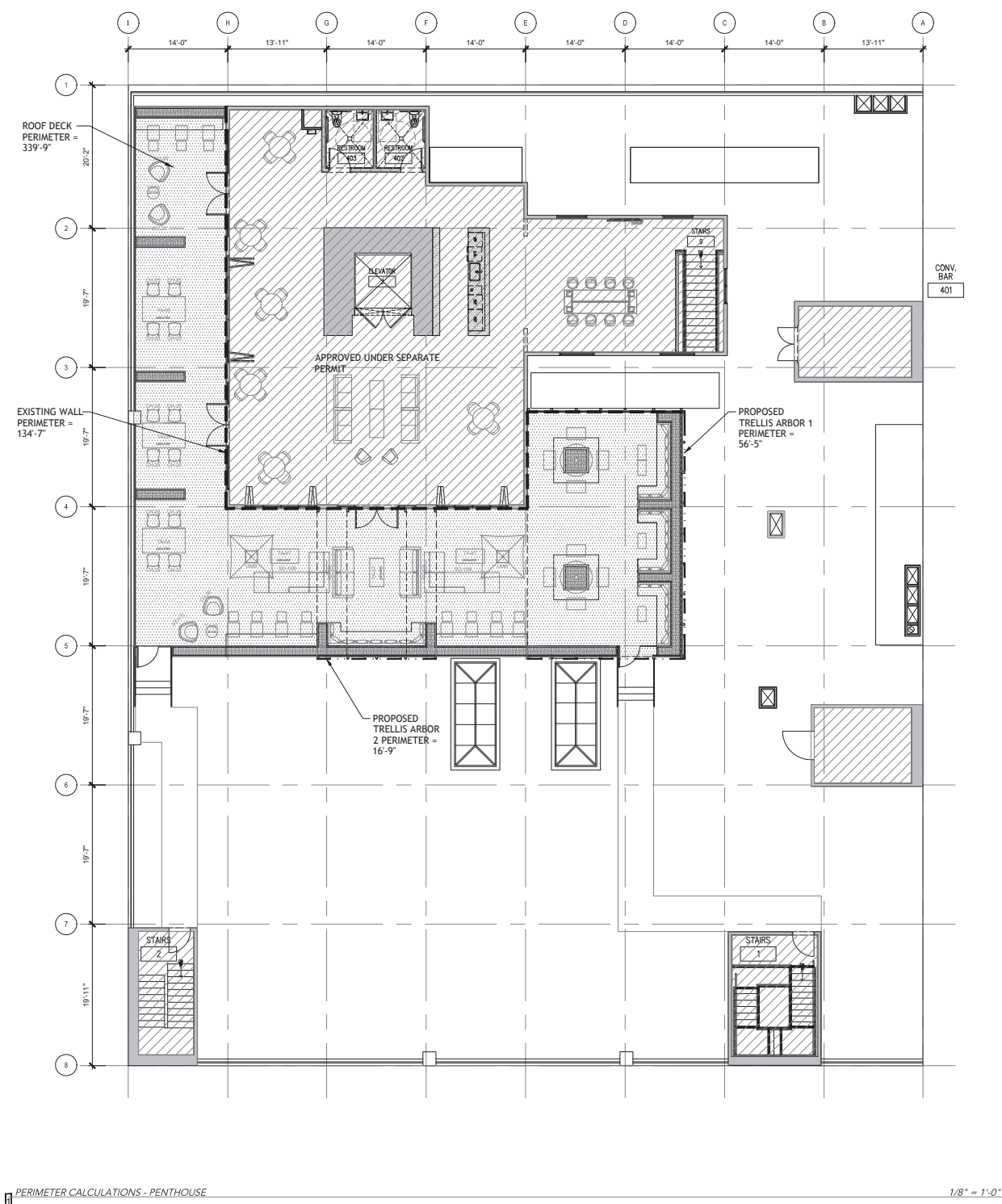
T: 415.986.1600
F: 415.986.1665



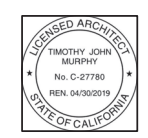
AS NOTED

Proposed Exterior
Sightline Study

A0.4



date	issue	by/check
11.1.18	Planning Set	aw/sk/cw
01.16.19	Planning Revision	sk/tm



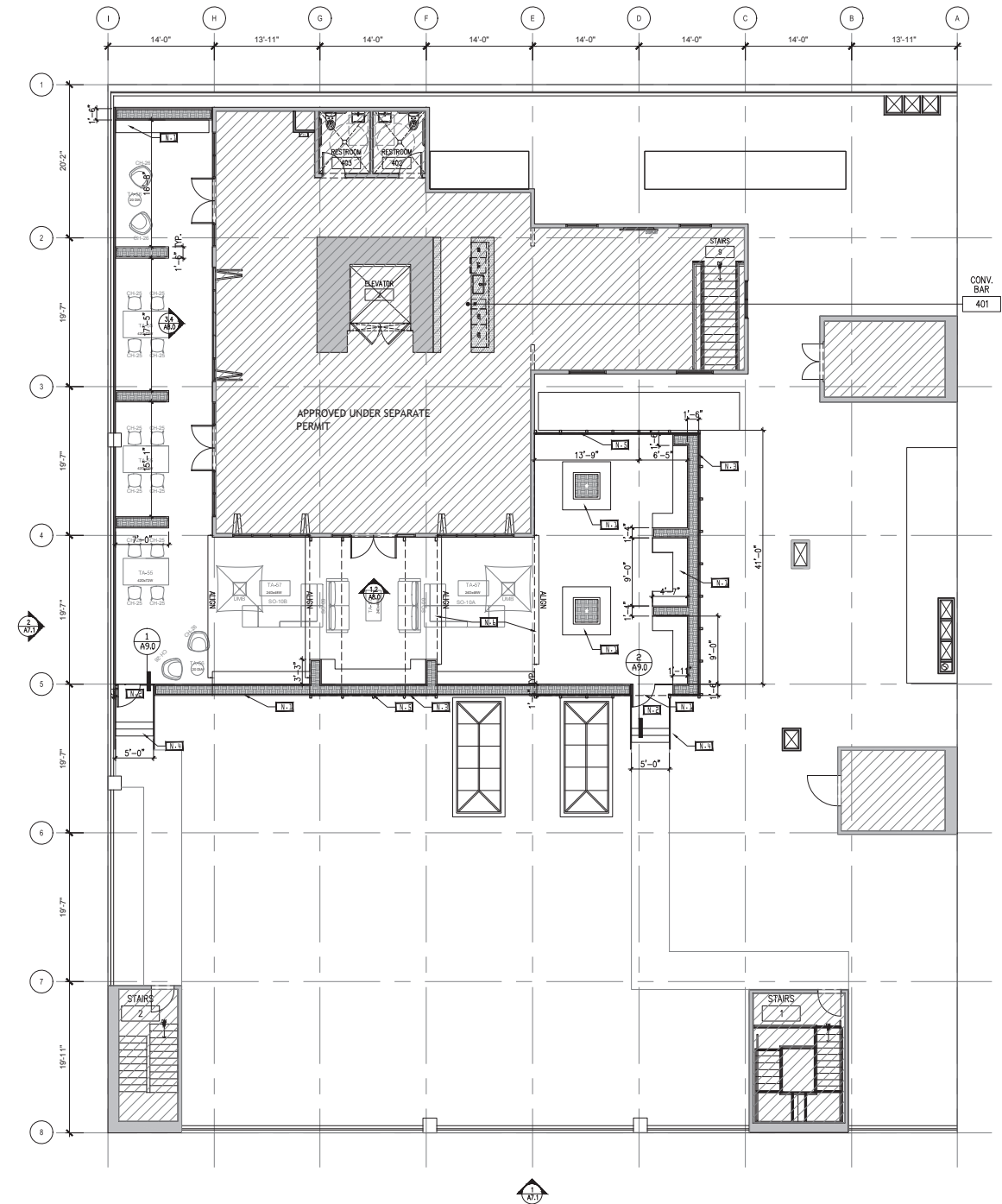
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Pattern
1088 Sansome St.
San Francisco, CA

Roof Deck
Perimeter
Study

A0.5



CONSTRUCTION PLAN - PENTHOUSE

1/8" = 1'-0"

SHEET NOTES

1. ALL CONDITIONS EXISTING U.O.N.
2. GENERAL CONTRACTOR SHALL VERIFY ALL FIELD DIMENSIONS AND NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING.
3. FOR ALL DRYWALL PARTITIONS, USE 5/8" THICK TYPE "X" OR EQUAL.
4. FOR ALL DRYWALL PARTITIONS IN WET/TILE AREAS, USE 5/8" GREENBOARD OR EQUAL.
5. FOR ALL DRYWALL PARTITIONS IN WET/TILE AREAS, USE GREENBOARD, OR CONCRETEBOARD.
6. CONTRACTOR SHALL PROVIDE F.R. BLOCKING, BACKING AND SHEATHING WHERE REQUIRED FOR MOUNTING OF TENANT AND/OR CONSULTANT SUPPLIED EQUIPMENT AND/OR FIXTURES.
7. ALL GYPSUM BOARD WALL SHEATHING SHALL BE UL-CCLASSIFIED AS NON-COMBUSTIBLE PER ASTM E136, AND PARTITION ASSEMBLIES SHALL HAVE A CLASS C FLAME SPREAD INDEX PER CBC SECTION 803.9.
8. FIRE WALLS, FIRE BARRIERS, ETC. SHALL BE LABELED IN AN ACCESSIBLE AREA AT 30' O.C STATING "FIRE AND/OR SMOKE BARRIER-PROTECT ALL OPENINGS"
9. ALL GYP. BOARD TO BE LEVEL 5 FINISH (MINIMUM).
10. CONTRACTOR SHALL CLEAN WINDOWS PRIOR TO TENANT OCCUPANCY.
11. SEE SHEET A11.X FOR FINISH MATERIAL SPECIFICATIONS AND INFORMATION.
12. ALL EXISTING BASE BUILDING CONDITIONS TO BE ACCESSIBLE AND CODE COMPLIANT PER 2016 CBC. CONTRACTOR RESPONSIBLE TO COMPLETE, REVISE, OR CORRECT ALL CONDITIONS PER APPROVED BASE BUILDING PERMITS BEFORE T.I. COMPLETION.

CONSTRUCTION KEYNOTES

SYMB. DESCRIPTION

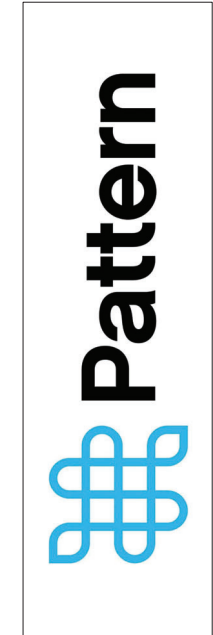
- 1.1 (N) PLANTER W/ BUILT-IN SEATING, PROVIDE SOIL, IRRIGATION, & PROPER DRAINAGE.
- 1.2 (N) GLASS EGRESS GATE W/ INTEGRATED STAIR/HANDRAIL/GUARDRAIL. SEE SCHEDULE BELOW.
- 1.3 (N) PLANT WALL/ARBOR
- 1.4 GC TO COORDINATE QUANTITY OF STEPS FOR COMPLIANT TRANSITION FROM PAVER TO ROOF SYSTEM.
- 1.5 (N) WOOD TRELLIS WALL/ARBOR. STRUCTURAL DRAWINGS TO BE SUBMITTED IN A SEPARATE PERMIT.

CONSTRUCTION LEGEND

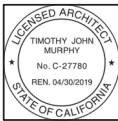
- DETAIL KEY**
- 1-1 (AX-X) DETAIL #
 - 1-2 (AX-X) DOOR TYPE/HARDWARE TYPE - SEE DOOR SCHEDULE ON SHEET A10.0 (IF EXISTS)
 - 1-3 (AX-X) GLAZING TYPE - SEE GLAZING SCHEDULE ON SHEET A10.0 (IF EXISTS)
- DETAIL KEY AREA**
- 1-4 (AX-X) ALIGN WITH ADJACENT
- EXISTING CONSTRUCTION; SCHEDULED TO REMAIN
- N.I.C. / AREA NOT IN CONTRACT
- 1-5 SEMI-RECESSED FIRE EXTINGUISHER CABINET; LARSEN'S #2409-SR W/SQUARE TRIM, VERTICAL DUO DOOR/GLAZING, STEEL FINISH & BLACK VERTICAL LETTERING. PROVIDE W/CLASS C FIRE EXTINGUISHER.

DOOR & GLAZING SCHEDULE

- 1-1 GLASS EGRESS GATE W/ INTEGRATED GUARDRAIL
MFR: CRL US ALUMINUM
MODEL: CRL 1202



date	issue	by/check
11.1.18	Planning Set	aw/sk/cw
01.16.19	Planning Revision	sk/tm



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PROJECT NO. 1008

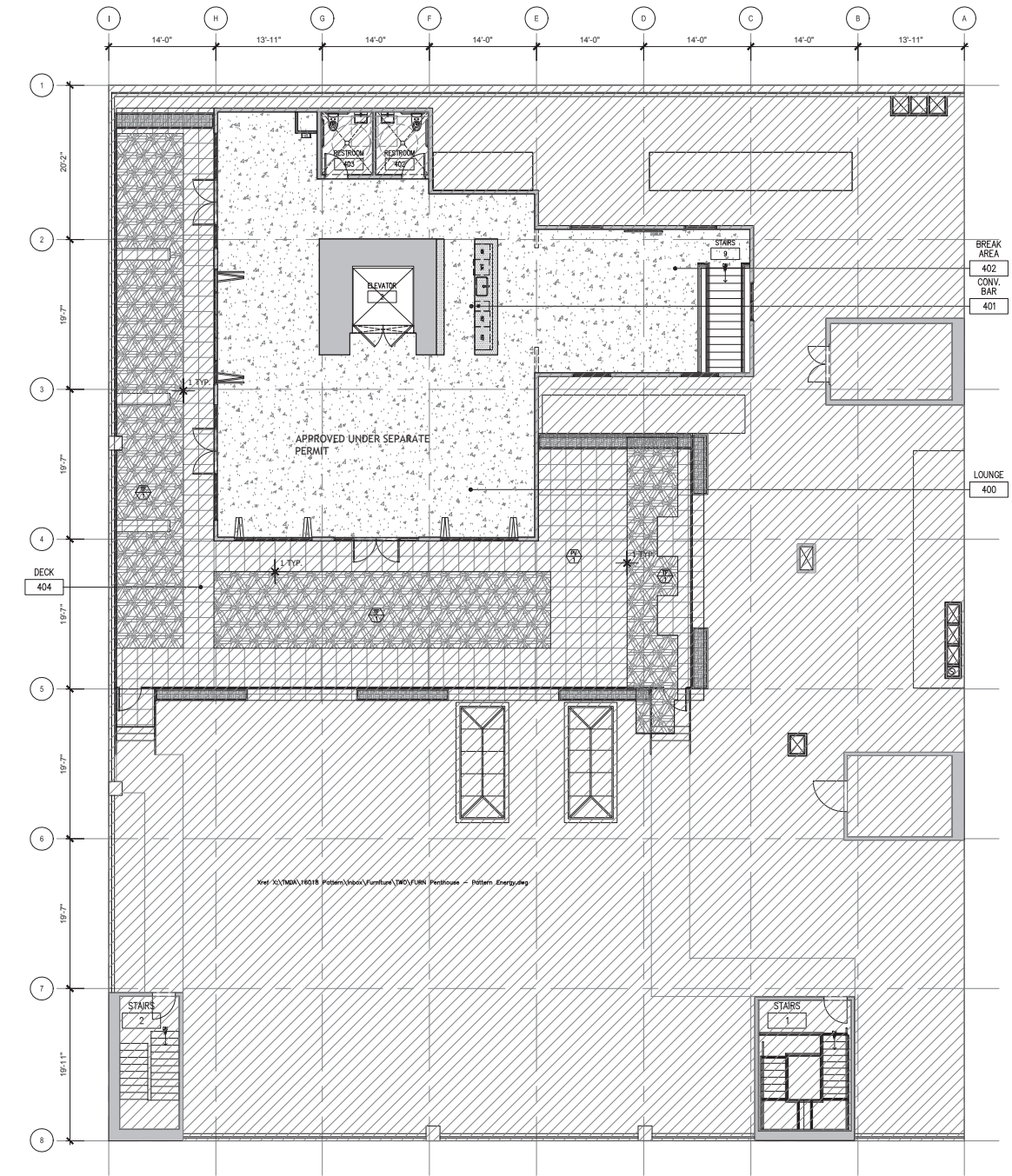


Pattern
1088 Sansome St.
San Francisco, CA

SCALE
AS NOTED

Construction
Plan - Penthouse

A3.0



FINISH PLAN - BASEMENT

1/8" = 1'-0"

SHEET NOTES

1. ALL FINISHES NEW U.O.N.
2. GENERAL WALL PAINT TO BE P-1 TYPICAL THROUGHOUT UNLESS OTHERWISE NOTED.
3. REFER TO ELEVATIONS FOR ADDITIONAL FINISH INFORMATION/LOCATIONS.
4. THE CONTRACTOR SHALL SUBMIT 3 SAMPLES, AT LEAST 8"x10" FOR EACH FINISH, FOR THE ARCHITECT'S APPROVAL PRIOR TO COMMENCING WORK.
5. ELECTRICAL TRIM AND OTHER SURFACE HARDWARE SHALL BE REMOVED PRIOR TO PAINTING/TOUCH UP, AND REINSTALLED AT COMPLETION OF JOB. ALL TRIM, EXISTING AND NEW TO BE WHITE U.O.N.
6. ANY REQUIRED PAINT TOUCH-UP DURING OR AFTER CONSTRUCTION SHALL REQUIRE REMOVAL ANY FIXTURES, COVER PLATES, ETC. AND PAINT TO NEAREST BREAK POINT.
7. PATCH ALL HOLES, GOUGES, AND DINGS ASSOCIATED WITH CONSTRUCTION SO THAT THE FINAL PROJECT PRESENTS A 'LIKE NEW' APPEARANCE.
8. PROTECT ALL EXISTING FINISHES DURING REMAINDER OF CONSTRUCTION.
9. REPAIR/REPLACE TO MATCH EXISTING, ANY DAMAGED/DEMOLISHED/MISSING LANDLORD RELATED FINISHES.
10. ALL TRANSITION SEAMS IN FLOOR COVERING THAT OCCUR AT DOOR OPENINGS TO MEET AT CENTER LINE OF DOOR IN CLOSED POSITION, U.O.N.
11. INSTALL ALL MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
12. G.C. TO PREP AND REPAIR ALL FLOORS TO RECEIVE NEW FINISHES. ALL FLOORING TO MEET MIN. STANDARD FOR SLIP RESISTANCE COEFFICIENT.
13. RETAIN OR MODIFY ALL TRANSITIONS TO MEET ADA REQUIREMENTS.

FINISH KEYNOTES

SYMB.	DESCRIPTION
NOT USED	

FINISH LEGEND - REFER TO SHEET A11.0 FOR FINISH SCHEDULE

SYMB.	DESCRIPTION	SYMB.	DESCRIPTION
 FINISH TYPE FINISH NUMBER	CEILING FINISH SYMBOL	 FINISH TYPE FINISH NUMBER	BASE FINISH SYMBOL
 FINISH TYPE FINISH NUMBER	MILLWORK FINISH SYMBOL	 FINISH TYPE FINISH NUMBER	FLOOR FINISH SYMBOL
 FINISH TYPE FINISH NUMBER	WALL FINISH SYMBOL	 ALIGN	ALIGN TO ADJACENT

FLOOR TRANSITIONS (ALL TRANSITIONS TO BE ADA COMPLIANT)

	MATERIAL TRANSITION TYPE 01: TURF TO CONCRETE PAVERS. SEE DETAIL 3/A9.0.
--	--

FLOOR FINISH

 MFR: TBD	CONCRETE PAVERS
 MFR: TBD	TURF FLOORING



date	issue	by/check
11.1.18	Planning Set	aw/sk/cw
01.16.19	Planning Revision	sk/tm



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PROJECT NO. 16018



SCALE
AS NOTED

Pattern
1088 Sansome St.
San Francisco, CA

Finish Plan -
Penthouse

A6.0



Existing North Building Elevation

3/16" = 1'-0"



Existing West Building Elevation

3/16" = 1'-0"



date	issue	by/check
11.1.18	Planning Set	aw/sk/cw
01.16.19	Planning Revision	sk/tm



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PROJECT NO. 1008



AS NOTED

Pattern
1088 Sansome St.
San Francisco, CA

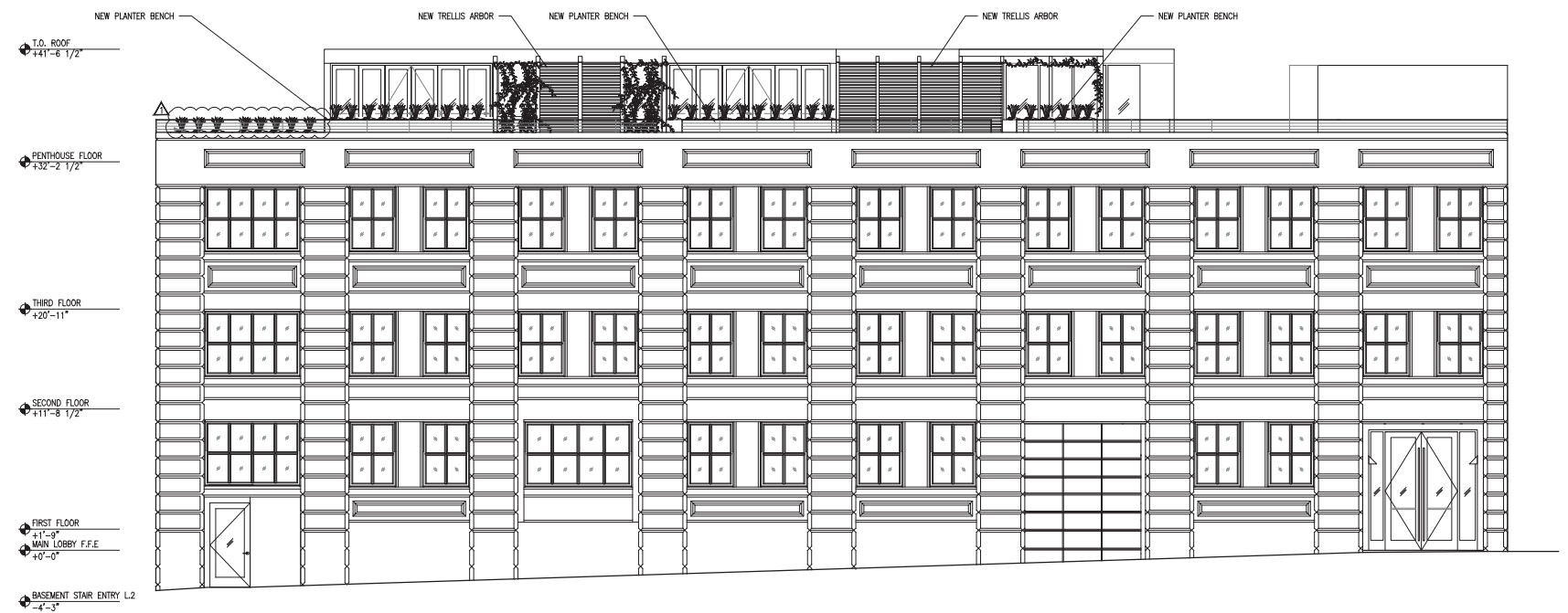
Existing
Exterior
Elevations

A7.0



Proposed North Building Elevation

3/16" = 1'-0"

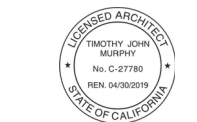


Proposed West Building Elevation

3/16" = 1'-0"



date	issue	by/check
11.1.18	Planning Set	aw/sk/cw
01.16.19	Planning Revision	sk/tm



TMDA

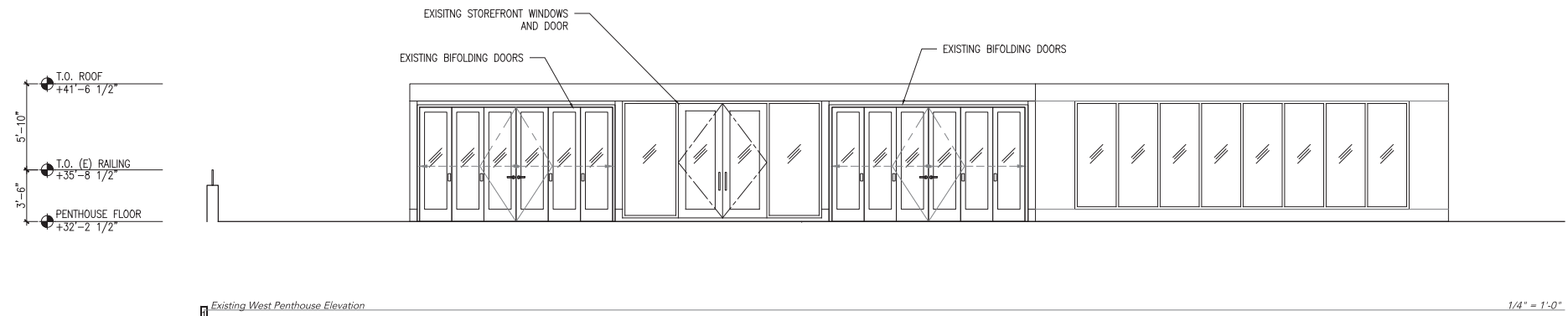
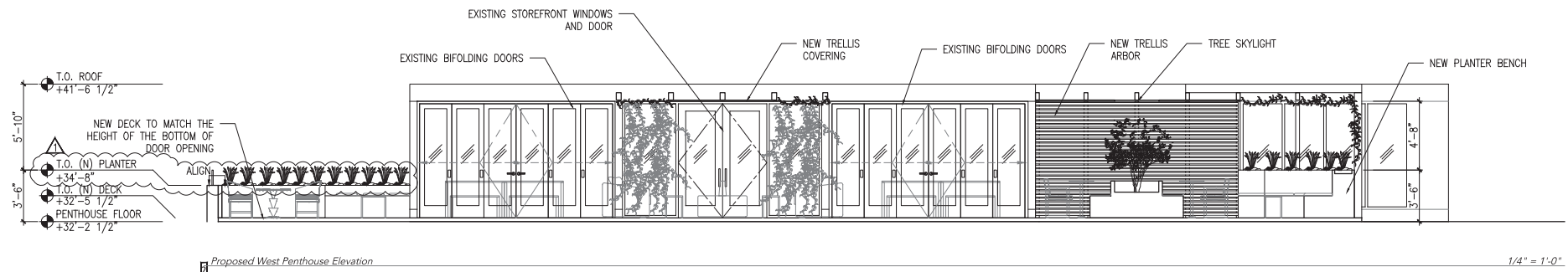
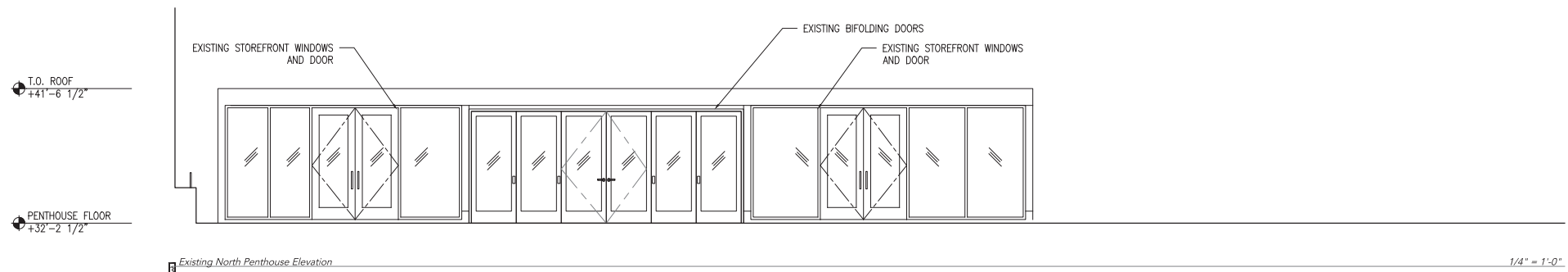
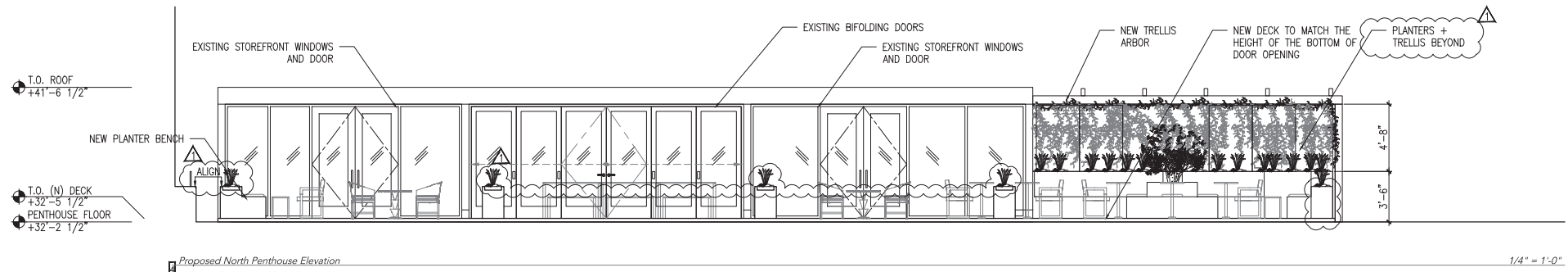
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San Francisco, CA 94115

T: 415.986.1600
F: 415.986.1665

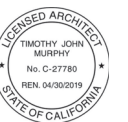
Pattern
1088 Sansome St.
San Francisco, CA

Proposed
Exterior
Elevations

A7.1



date	issue	by/check
11.1.18	Planning Set	aw/sk/cw
01.16.19	Planning Revision	sk/tm



TMDA

2062 Divisadero Street
San Francisco, CA 94115

T: 415.986.1400
F: 415.986.1665

PROJECT NO. 1008



Pattern
1088 Sansome St.
San Francisco, CA

AS NOTED

Elevations

A8.0