



SAN FRANCISCO PLANNING DEPARTMENT

Certificate of Appropriateness Case Report

HEARING DATE: SEPTEMBER 19, 2018

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San Francisco,
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Information:
415.558.6377

Filing Date: September 19, 2018
Case No.: 2018-002272COA
Project Address: 1513 GOLDEN GATE AVENUE
Historic Landmark: Alamo Square Landmark District
Zoning: RH-3 (Residential-House, Three Family)
40-X Height and Bulk District
Block/Lot: 0776/025
Applicant: Brian Milford
101 Montgomery Street, Suite 650
San Francisco, CA 94115
Staff Contact: Jonathan Vimr - (415) 575-9109
jonathan.vimr@sfgov.org
Reviewed By: Tim Frye – (415) 575-6822
tim.frye@sfgov.org

PROPERTY DESCRIPTION

1513 Golden Gate Avenue, south side between Scott and Pierce Streets, Assessor's Block 0776, Lot 025 (District 5). The subject property is developed with a two-story over basement residential building completed in 1876. The structure was designed and constructed by an unknown architect and/or builder. 1513 Golden Gate Avenue is contributory to the Alamo Square Landmark District and is located within a RH-3 (Residential-House, Three Family) Zoning District and a 40-X Height and Bulk District.

PROJECT DESCRIPTION

The proposed project is to make interior and exterior alterations to the subject building primarily in order to accommodate the insertion of a garage and garage door opening at the basement level of the front façade, and to construct a horizontal addition above an existing first floor pop-out at the non-visible rear of the building. More specifically, the project proposes to:

- Remove front landscaping, two basement level front windows, and a limited amount of existing siding.
- Create new opening at basement level and install a painted wood garage door with louvers meeting the minimum requirements in size.
- Install new wood trim above the breezeway gate.
- Replace the existing, non-historic entry stair and door. The new steps will be composed of concrete treads and risers but will have bull-nosed edge to mimic traditional wood steps. Wood will be used for the railing spindles and the simple newel posts, which will feature only curved edges.

- Reconfigure the historic front landscape wall to allow for the creation of a driveway. All intact landscape wall material will be reincorporated with any additional fabric required matching the historic in appearance, texture, and tooling.
- Install two new skylights. Each will be set off the ridgeline and will be mounted low to the roof with a curb as low as possible. Each will be significantly setback from the front of the building.
- Create new window openings along the east elevation and install new wood windows.
- Remove existing windows, doors, and a portico at the non-visible rear of the building. Install new wood windows and doors as well as a second floor horizontal addition above the existing first floor pop-out.
- Modify landscaping at the rear yard; all elements will possess a height less than three feet above grade.

OTHER ACTIONS REQUIRED

Prior to the approval of the associated building permit applications, the project will require neighborhood notification in conformance with Section 311 of the Planning Code.

APPLICABLE PRESERVATION STANDARDS

ARTICLE 10

Pursuant to Section 1006.2 of the Planning Code, unless exempt from the Certificate of Appropriateness requirements or delegated to Planning Department Preservation staff through the Administrative Certificate Appropriateness process, the Historic Preservation Commission is required to review any applications for the construction, alteration, removal, or demolition of any designated Landmark for which a City permit is required. Section 1006.6 states that in evaluating a request for a Certificate of Appropriateness for an individual landmark or a contributing building within a historic district, the Historic Preservation Commission must find that the proposed work is in compliance with the Secretary of the Interior's Standards for the Treatment of Historic Properties, as well as the designating Ordinance and any applicable guidelines, local interpretations, bulletins, related appendices, or other policies.

ARTICLE 10 – Appendix E – Alamo Square Landmark District

In reviewing an application for a Certificate of Appropriateness, the Historic Preservation Commission must consider whether the proposed work would be compatible with the character of the Alamo Square Landmark District as described in Appendix E of Article 10 of the Planning Code and the character-defining features specifically outlined in the designating ordinance.

THE SECRETARY OF THE INTERIOR'S STANDARDS

Rehabilitation is the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features that convey its historical, cultural, or architectural values. The Rehabilitation Standards provide, in relevant part(s):

- Standard 1.** A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.

The project would retain the historic residential use of the property.

Standard 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

The historic character of the property would be retained. The only visible alterations would be at the front façade, where two existing basement level windows and a limited amount of siding would be removed to create a new garage opening. This new garage would not alter the massing and overall proportions of the subject building, nor would it be deeply recessed or project out from the façade. The garage door would be composed of painted wood, reflecting a ubiquitous material and finish within the District, and would possess simple detailing in order to maintain subordination to and differentiation from the historic façade. Condition of Approval No. 1 will ensure that the historic millwork in proximity to the new garage opening will be protected and preserved during construction. Although the historic landscape wall would be reconfigured to accommodate a driveway to the new garage, it would be retained at either end of the property and also include returns following the first several feet of the driveway. This adaptation of the landscape wall allows for the feature to be maintained but reincorporated as part of the building's evolution over time. Condition of Approval No. 2 will ensure that any new landscape wall that may need to be fabricated will match the historic in appearance, texture, and tooling. Planters will continue to be utilized at the front of the property, providing continuity from the historic conditions and enhancing the pedestrian experience. The new entry stair would utilize cast concrete treads and risers, but these would feature a bull-nosed edge to mimic the appearance of traditional wood steps, and the railing would be composed of painted wood with simple newel posts with curved edges. This simpler newel post will avoid creating a false sense of history without resulting in an overly differentiated condition. There would be no alterations to the existing west elevation, while those at the non-visible east elevation would be limited to new window and door openings and installation of associated painted wood windows and a door, as well as the removal of an entry portico. New skylights would be limited in number while being sufficiently setback, located off the ridgeline, and mounted low to the roof with a minimal curb. The opening at the rear of the first floor pop-out would be modified to accommodate a centered door, while the rear of the second level would be extended above said pop-out. A new brick wall at the west end of this horizontal addition would retain privacy, with the addition largely consisting of a glass solarium with a painted metal frame. None of these modifications would be visible from the public right-of-way, and would implement a more contemporary architectural language properly denoting the addition's period of construction.

Standard 3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

The project would not create a false sense of historical development. The new garage door would be of a standard, contemporary design with exhaust louvers at the minimal required size and a simple trim would be utilized as the surround. The entry stair railing would be composed of painted wood

with simple newel posts with curved edges. This more simple post will avoid creating a false sense of history without resulting in an overly differentiated condition.

Standard 5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

No distinctive materials, features, finishes, or construction or craftsmanship examples that characterize the property would be removed. The only visible alterations would be at the front façade, where two existing basement level windows and a limited amount of siding would be removed to create a new garage opening. This new garage would not alter the massing and overall proportions of the subject building, nor would it be deeply recessed or project out from the façade. The garage door would be composed of painted wood, reflecting a ubiquitous material and finish within the District, and would possess simple detailing in order to maintain subordination to and differentiation from the historic façade. Condition of Approval No. 1 will ensure that the historic millwork in proximity to the new garage opening will be protected and preserved during construction. Although the historic landscape wall would be reconfigured to accommodate a driveway to the new garage, it would be retained at either end of the property and also include returns following the first several feet of the driveway. This adaptation of the landscape wall allows for the feature to be maintained but reincorporated as part of the building's evolution over time. Condition of Approval No. 2 will ensure that any new landscape wall that may need to be fabricated will match the historic in appearance, texture, and tooling. Planters will continue to be utilized at the front of the property, providing continuity from the historic conditions and enhancing the pedestrian experience. The new entry stair would utilize cast concrete treads and risers, but these would feature a bull-nosed edge to mimic the appearance of traditional wood steps, and the railing would be composed of painted wood with simple newel posts with curved edges. This simpler newel post will avoid creating a false sense of history without resulting in an overly differentiated condition.

Standard 9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

The only visible alterations would be at the front façade, where two existing basement level windows and a limited amount of siding would be removed to create a new garage opening. This new garage would not alter the massing and overall proportions of the subject building, nor would it be deeply recessed or project out from the façade. The garage door would be composed of painted wood, reflecting a ubiquitous material and finish within the District, and would possess simple detailing in order to maintain subordination to and differentiation from the historic façade. Condition of Approval No. 1 will ensure that the historic millwork in proximity to the new garage opening will be protected and preserved during construction. Although the historic landscape wall would be reconfigured to accommodate a driveway to the new garage, it would be retained at either end of the property and also include returns following the first several feet of the driveway. This adaptation of the landscape wall allows for the feature to be maintained but reincorporated as part

of the building's evolution over time. Condition of Approval No. 2 will ensure that any new landscape wall that may need to be fabricated will match the historic in appearance, texture, and tooling. Planters will continue to be utilized at the front of the property, providing continuity from the historic conditions and enhancing the pedestrian experience. The new entry stair would utilize cast concrete treads and risers, but these would feature a bull-nosed edge to mimic the appearance of traditional wood steps, and the railing would be composed of painted wood with simple newel posts with curved edges. This simpler newel post will avoid creating a false sense of history without resulting in an overly differentiated condition. There would be no alterations to the existing west elevation, while those at the non-visible east elevation would be limited to new window and door openings and installation of associated painted wood windows and a door, as well as the removal of an entry portico. New skylights would be limited in number while being sufficiently setback, located off the ridgeline, and mounted low to the roof with a minimal curb. The opening at the rear of the first floor pop-out would be modified to accommodate a centered door, while the rear of the second level would be extended above said pop-out. A new brick wall at the west end of this horizontal addition would retain privacy, with the addition largely consisting of a glass solarium with a painted metal frame. None of these modifications would be visible from the public right-of-way, and would implement a more contemporary architectural language properly denoting the addition's period of construction.

Standard 10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The new skylights, entry stairs, and rear addition could be removed in the future without harming the integrity of the historic property. Similarly, the garage opening at the basement level could be infilled with siding and windows matching the existing. All portions of the landscape wall that are intact after demolition will be retained and reincorporated; new fabric matching the historic in appearance, texture, and tooling will be used in the proposed project as needed and could also be employed to restore the original configuration in the future.

PUBLIC/NEIGHBORHOOD INPUT

The Department has received no public input on the project at the date of this report.

STAFF ANALYSIS

Based on the requirements of Article 10 and the Secretary of Interior's Standards, staff has determined that the proposed work is compatible with the character-defining features of the subject property and the Alamo Square Landmark District.

The project will retain the historic residential use and historic character of the buildings and landmark district. The only visible alterations would be at the front façade, where two existing basement level windows and a limited amount of siding would be removed to create a new garage opening. This new garage would not alter the massing and overall proportions of the subject building, nor would it be deeply recessed or project out from the façade. The garage door would be composed of painted wood, reflecting a ubiquitous material and finish within the District, and would possess simple detailing in

order to maintain subordination to and differentiation from the historic façade. Condition of Approval No. 1 will ensure that the historic millwork in proximity to the new garage opening will be protected and preserved during construction.

Although the historic landscape wall would be reconfigured to accommodate a driveway to the new garage, it would be retained at either end of the property and also include returns following the first several feet of the driveway. This adaptation of the landscape wall allows for the feature to be maintained but reincorporated as part of the building's evolution over time. Condition of Approval No. 2 will ensure that any new landscape wall that may need to be fabricated will match the historic in appearance, texture, and tooling. Planters will continue to be utilized at the front of the property, providing continuity from the historic conditions and enhancing the pedestrian experience.

The new entry stair would utilize cast concrete treads and risers, but these would feature a bull-nosed edge to mimic the appearance of traditional wood steps, and the railing would be composed of painted wood with simple newel posts with curved edges. This simpler newel post will avoid creating a false sense of history without resulting in an overly differentiated condition.

There would be no alterations to the existing west elevation, while those at the non-visible east elevation would be limited to new window and door openings and installation of associated painted wood windows and a door, as well as the removal of an entry portico. New skylights would be limited in number while being sufficiently setback, located off the ridgeline, and mounted low to the roof with a minimal curb.

The opening at the rear of the first floor pop-out would be modified to accommodate a centered door, while the rear of the second level would be extended above said pop-out. A new brick wall at the west end of this horizontal addition would retain privacy, with the addition largely consisting of a glass solarium with a painted metal frame. None of these modifications would be visible from the public right-of-way, and would implement a more contemporary architectural language properly denoting the addition's period of construction.

Staff therefore finds that the proposed work is compatible with the Alamo Square Landmark District and recommends approval, with conditions.

ENVIRONMENTAL REVIEW STATUS

The Planning Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Sections 15301 (Class One – Minor Alteration) because the project includes a minor alteration of an existing structure that meets the Secretary of the Interior's Standards.

PLANNING DEPARTMENT RECOMMENDATION

Planning Department staff recommends APPROVAL WITH CONDITIONS of the proposed project as it appears to meet the Secretary of the Interior Standards for Rehabilitation.

CONDITIONS OF APPROVAL

To ensure that the proposed work is undertaken in conformance with this Certificate of Appropriateness, staff recommends the following conditions:

1. As part of the Building Permit, the project sponsor shall provide to Planning Department preservation staff for review and approval a detailed construction protection plan concerning the preservation of historic millwork in proximity to the new garage opening.
2. As part of the Building Permit, the project sponsor shall contact Planning Department preservation staff for review and approval of an on-site mockup of any matching replacement material for the reconfigured landscape wall.

ATTACHMENTS

Draft Motion
Parcel Map
1998 Sanborn Map
Alamo Square Landmark District Map
Aerial Photograph
Zoning Map
Site Photographs
Project Plans



SAN FRANCISCO PLANNING DEPARTMENT

Historic Preservation Commission Motion No.

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ADOPTING FINDINGS FOR A CERTIFICATE OF APPROPRIATENESS FOR PROPOSED WORK DETERMINED TO BE APPROPRIATE FOR AND CONSISTENT WITH THE PURPOSES OF ARTICLE 10, TO MEET THE STANDARDS OF ARTICLE 10 AND TO MEET THE SECRETARY OF INTERIOR'S STANDARDS FOR REHABILITATION, FOR THE PROPERTY LOCATED ON LOT 025 IN ASSESSOR'S BLOCK 0776, WITHIN A RH-3 (RESIDENTIAL-HOUSE, THREE FAMILY) ZONING DISTRICT, A 40-X HEIGHT AND BULK DISTRICT, AND THE ALAMO SQUARE LANDMARK DISTRICT.

PREAMBLE

WHEREAS, on May 9, 2018 Brian Milford ("Project Sponsor") filed an application with the San Francisco Planning Department (hereinafter "Department") for a Certificate of Appropriateness for exterior and interior alterations of the subject property including: insertion of a garage and garage door at the basement level, removal of two double-hung windows on the front façade, alterations to the existing front landscape wall, new landscaping at the front and rear, replacement of the entry stair and door, and a second floor horizontal addition at the rear above an existing first floor pop-out.

WHEREAS, the Project was determined by the Department to be categorically exempt from environmental review. The Historic Preservation Commission ("Commission") has reviewed and concurs with said determination.

WHEREAS, on Septmebr 19, 2018, the Commission conducted a duly noticed public hearing on the current project, Case No. 2018-002272COA (Project) for its appropriateness.

WHEREAS, in reviewing the Application, the Commission has had available for its review and consideration case reports, plans, and other materials pertaining to the Project contained in the Department's case files, has reviewed and heard testimony and received materials from interested parties during the public hearing on the Project.

MOVED, that the Commission hereby grants the Certificate of Appropriateness, in conformance with the architectural plans labeled Exhibit A on file in the docket for Case 2018-002272COA based on the following conditions and findings:

CONDITIONS

1. As part of the Building Permit, the project sponsor shall provide to Planning Department preservation staff for review and approval a detailed construction protection plan concerning the preservation of historic millwork in proximity to the new garage opening.
2. As part of the Building Permit, the project sponsor shall contact Planning Department preservation staff for review and approval of an on-site mockup of any matching replacement material for the reconfigured landscape wall.

FINDINGS

Having reviewed all the materials identified in the recitals above and having heard oral testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and also constitute findings of the Commission.
2. Findings pursuant to Article 10:

The Historic Preservation Commission has determined that the proposed work is compatible with the character of the landmark as described in the designation report.

- The project will retain the existing single-family residential use of the building.
- The project will cause minimal changes to the form of the building with alterations to character-defining features limited to the insertion of a garage at the front façade and the corresponding removal of two windows, as well as modifications to the configuration of the front landscape wall.
- All historic millwork in proximity to the new garage opening will be protected and preserved during construction.
- All new windows and doors will be painted wood, which is appropriate to the subject building as well as a character-defining feature throughout the District.

- The new stairs will have concrete treads and risers with a bull-nosed edge to mimic wood steps, whiel the new railing will be composed of wood spindles and simple newel posts with curved edges.
- Any new material required for the reconfigured landscape wall will match the existing in appearance, texture, and tooling.
- The proposed project meets the requirements of Article 10, Appendix E of the Planning Code.
- The proposed project meets the following *Secretary of Interior's Standards for Rehabilitation*:

Standard 1.

A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

Standard 2.

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

Standard 3.

Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

Standard 5.

Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.

Standard 9.

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Standard 10.

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

3. **General Plan Compliance.** The proposed Certificate of Appropriateness is, on balance, consistent with the following Objectives and Policies of the General Plan:

I. URBAN DESIGN ELEMENT

THE URBAN DESIGN ELEMENT CONCERNS THE PHYSICAL CHARACTER AND ORDER OF THE CITY, AND THE RELATIONSHIP BETWEEN PEOPLE AND THEIR ENVIRONMENT.

GOALS

The Urban Design Element is concerned both with development and with preservation. It is a concerted effort to recognize the positive attributes of the city, to enhance and conserve those attributes, and to improve the living environment where it is less than satisfactory. The Plan is a definition of quality, a definition based upon human needs.

OBJECTIVE 1

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

POLICY 1.3

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

OBJECTIVE 2

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

POLICY 2.4

Preserve notable landmarks and areas of historic, architectural or aesthetic value, and promote the preservation of other buildings and features that provide continuity with past development.

POLICY 2.5

Use care in remodeling of older buildings, in order to enhance rather than weaken the original character of such buildings.

POLICY 2.7

Recognize and protect outstanding and unique areas that contribute in an extraordinary degree to San Francisco's visual form and character.

The goal of a Certificate of Appropriateness is to provide additional oversight for buildings and districts that are architecturally or culturally significant to the City in order to protect the qualities that are associated with that significance.

The proposed project qualifies for a Certificate of Appropriateness and therefore furthers these policies and objectives by maintaining and preserving the character-defining features of the contributory property and landmark district for the future enjoyment and education of San Francisco residents and visitors.

4. The proposed project is generally consistent with the eight General Plan priority policies set forth in Section 101.1 in that:

- A) The existing neighborhood-serving retail uses will be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses will be enhanced:

The proposed project is for the rehabilitation of a residential property and will not have any effect on neighborhood-serving retail uses.

- B) The existing housing and neighborhood character will be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods:

The proposed project will strengthen neighborhood character by respecting the character-defining features of the site and landmark district in conformance with the Secretary of the Interior's Standards.

- C) The City's supply of affordable housing will be preserved and enhanced:

The project will not reduce the affordable housing supply as the existing single-family residential use will not be changed.

- D) The commuter traffic will not impede MUNI transit service or overburden our streets or neighborhood parking:

The proposed project will not result in commuter traffic impeding MUNI transit service or overburdening the streets or neighborhood parking.

- E) A diverse economic base will be maintained by protecting our industrial and service sectors from displacement due to commercial office development. And future opportunities for resident employment and ownership in these sectors will be enhanced:

The proposed project will not have any impact on industrial and service sector jobs.

- F) The City will achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

Preparedness against injury and loss of life in an earthquake will be improved by the proposed work. The work will be executed in compliance with all applicable construction and safety measures.

- G) That landmark and historic buildings will be preserved:

The proposed project is in conformance with Article 10 of the Planning Code and the Secretary of the Interior's Standards.

- H) Parks and open space and their access to sunlight and vistas will be protected from development:

The proposed project will not impact the access to sunlight or vistas for the parks and open space.

5. For these reasons, the proposal overall, is appropriate for and consistent with the purposes of Article 10, meets the standards of Article 10, and the Secretary of Interior's Standards for Rehabilitation, General Plan and Prop M findings of the Planning Code.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES WITH CONDITIONS a Certificate of Appropriateness** for the property located at Lot 025 in Assessor's Block 0776 for proposed work in conformance with the renderings and architectural sketches labeled Exhibit A on file in the docket for Case No. 2018-002272COA.

APPEAL AND EFFECTIVE DATE OF MOTION: The Commission's decision on a Certificate of Appropriateness shall be final unless appealed within thirty (30) days. Any appeal shall be made to the Board of Appeals, unless the proposed project requires Board of Supervisors approval or is appealed to the Board of Supervisors as a conditional use, in which case any appeal shall be made to the Board of Supervisors (see Charter Section 4.135).

Duration of this Certificate of Appropriateness: This Certificate of Appropriateness is issued pursuant to Article 10 of the Planning Code and is valid for a period of three (3) years from the effective date of approval by the Historic Preservation Commission. The authorization and right vested by virtue of this action shall be deemed void and canceled if, within 3 years of the date of this Motion, a site permit or building permit for the Project has not been secured by Project Sponsor.

THIS IS NOT A PERMIT TO COMMENCE ANY WORK OR CHANGE OF OCCUPANCY UNLESS NO BUILDING PERMIT IS REQUIRED. PERMITS FROM THE DEPARTMENT OF BUILDING INSPECTION (and any other appropriate agencies) MUST BE SECURED BEFORE WORK IS STARTED OR OCCUPANCY IS CHANGED.

I hereby certify that the Historical Preservation Commission ADOPTED the foregoing Motion on September 19, 2018.

Jonas P. Ionin
Commission Secretary

AYES: X

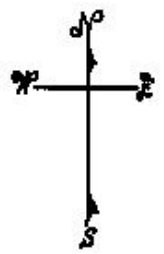
NAYS: X

ABSENT: X

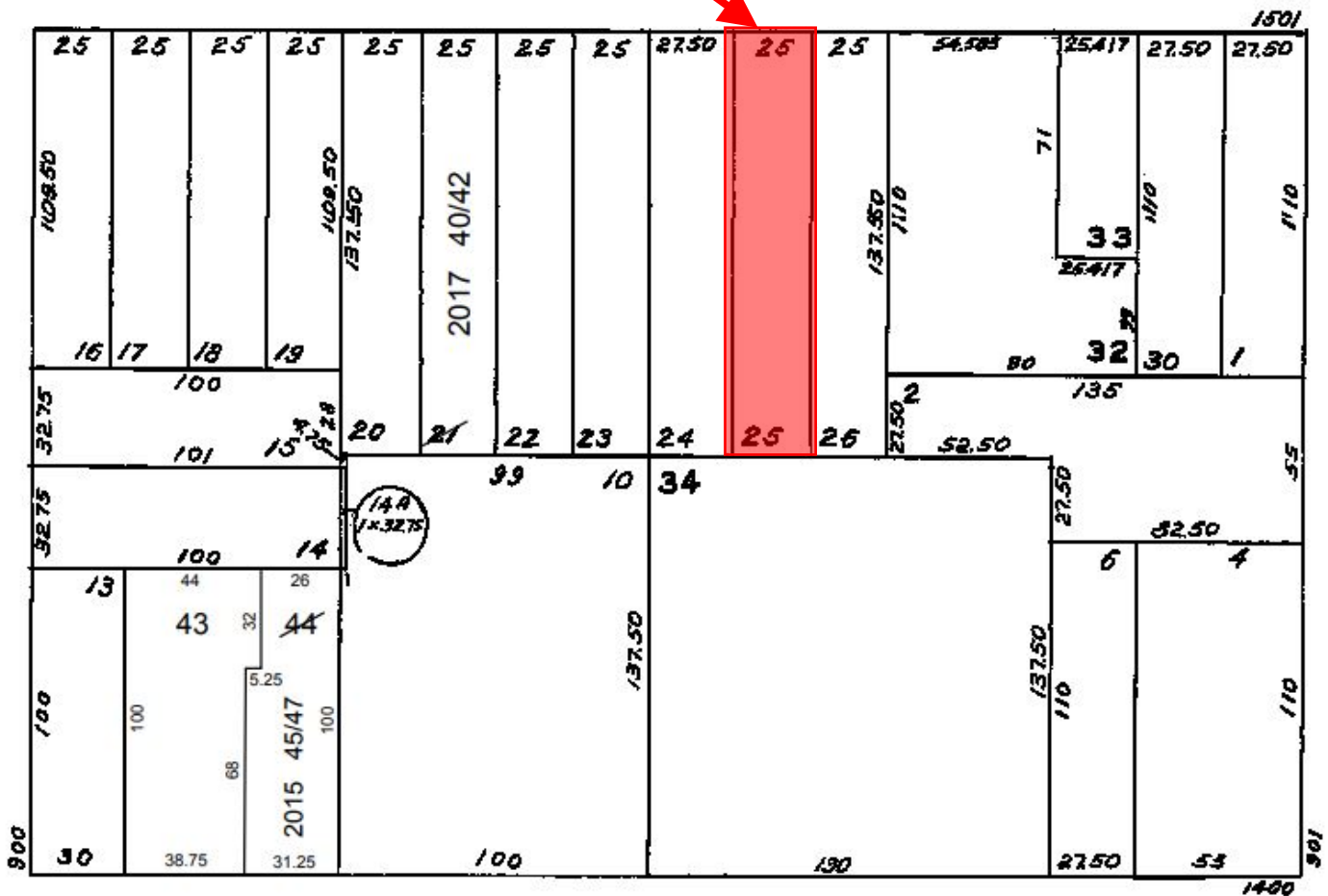
ADOPTED: September 19, 2018

Parcel Map

SUBJECT PROPERTY



GOLDEN GATE AVE.



Mc ALLISTER

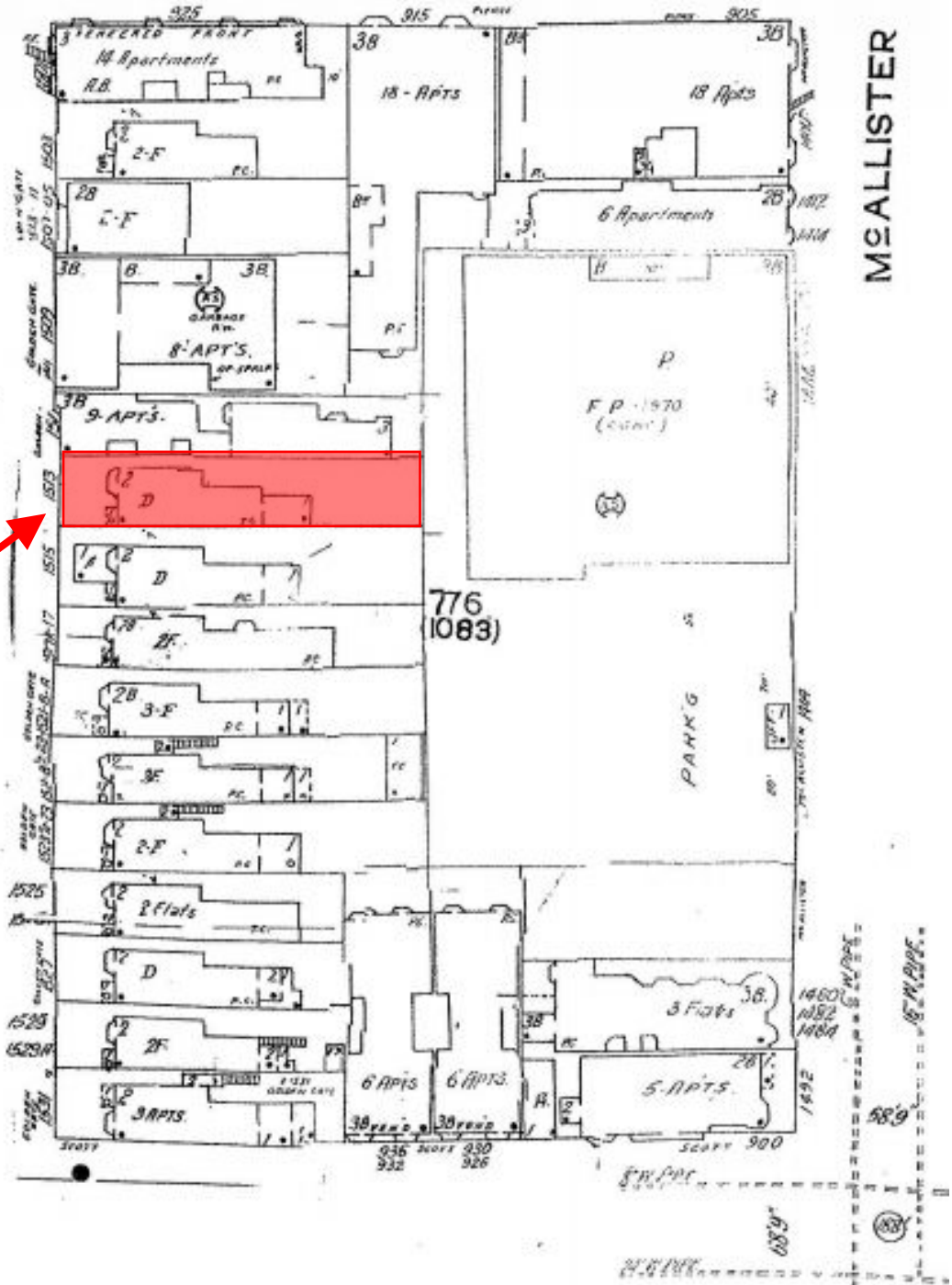


Certificate of Appropriateness
 Case Number 2018-002272COA
 1513 Golden Gate Avenue

Sanborn Map*

GOLDEN GATE

MCALLISTER



SUBJECT PROPERTY

*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Certificate of Appropriateness
Case Number 2018-002272COA
1513 Golden Gate Avenue

Alamo Square Landmark District

ALAMO SQUARE HISTORIC DISTRICT



SUBJECT PROPERTY



Certificate of Appropriateness
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Aerial Photograph

SUBJECT PROPERTY



Certificate of Appropriateness
Case Number 2018-002272COA
1513 Golden Gate Avenue

Zoning Map



Certificate of Appropriateness
Case Number 2018-002272COA
1513 Golden Gate Avenue

Site Photo

SUBJECT PROPERTY



Certificate of Appropriateness
Case Number 2018-002272COA
1513 Golden Gate Avenue

Site Photo



Certificate of Appropriateness
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1513 Golden Gate Avenue

SYMBOLS	
	ALIGN (SURFACES, PLANES OR OBJECTS ARE IN ALIGNMENT)
	AREA OF DETAIL
	CENTERLINE
	DETAIL TAG
	DOOR TAG
	DOOR AND HARDWARE TAG
	ELEVATION
	ELEVATION MARKER
	EQUIPMENT TAG
	FINISH TAG
	FIXTURE TAG
	KEYNOTE
	NORTH ARROW
	PARTITION TYPE
	REVISION CLOUD AND REVISION NUMBER. RED OR BLACK INDICATES CURRENT REVISION SET. GRAY CLOUD INDICATES PRIOR REVISION.
	ROOM TAG
	WINDOW TAG
	ELEVATION SECTION NUMBER

PROJECT TEAM	
OWNER:	1513 GOLDEN GATE AVENUE GARAGE ADDITION CONTACT: NICOLE KRASINSKI AND STUART BRIOZA PHONE:
ARCHITECT:	MARTINKOVIC MILFORD ARCHITECTS 101 MONTGOMERY STREET SUITE 650 SAN FRANCISCO, CA 94104 CONTACT: BRIAN MILFORD PHONE: 415.346.9990 FAX: 415.398.0116
INTERIOR DESIGNER:	STUDIO MUIR 2427 17TH ST SAN FRANCISCO, CA 94110 CONTACT: KENLY SHANKMAN PHONE: 415.851.8335
STRUCTURAL ENGINEER:	ASHLEY & VANCE ENGINEERING 1610 HARRISON STREET SUITE A DUBLIN, CA 94568 CONTACT: MATTHEW TROPP PHONE: 510.473.2221
GENERAL CONTRACTOR:	CAL CADE CONSTRUCTION 85 COLUMBIA SQUARE SAN FRANCISCO, CA 94103 CONTACT: NAME PHONE: 415.206.0550 FAX: 415.206.0556

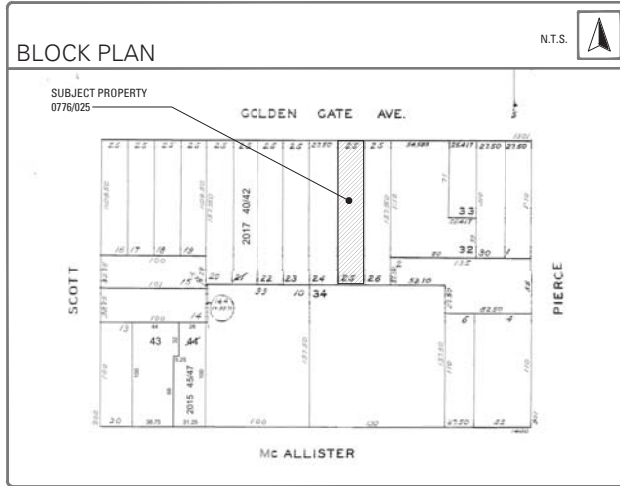
1513 GOLDEN GATE AVENUE GARAGE ADDITION

1513 GOLDEN GATE AVENUE
SAN FRANCISCO, CALIFORNIA 94115



PROJECT DATA	
ADDRESS:	1513 GOLDEN GATE AVENUE SAN FRANCISCO, CA 94115
SITE INFORMATION:	BLOCK / LOT 0776/025
LOT SIZE:	3,436 SF
STORIES:	2 + BASEMENT
YEAR BUILT:	1900
ZONING:	RH-3
HEIGHT & BULK DISTRICT:	40-X
CONSTRUCTION TYPE:	TYPE V-B
FULLY SPRINKLERED:	(E) NO (N) NO
OCCUPANCY TYPE:	R-3
USE:	SINGLE FAMILY RESIDENTIAL
AREA OF WORK:	870 SQ FT
FLOOR LEVELS AFFECTED:	BASEMENT, 1, 2
REQUIRED SETBACKS:	FRONT: 6'-5 1/2" REAR: 6'-10 1/2" SIDE: 0'-0"
PROVIDED PARKING:	(E) NONE (N) 1 CAR

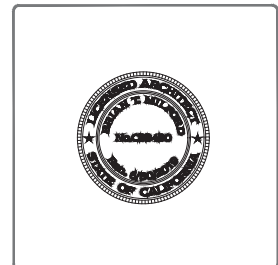
SCOPE OF WORK	
SCOPE OF WORK INCLUDES REMOVAL OF FRONT LANDSCAPING AND RETAINING WALLS TO INCORPORATE NEW DRIVEWAY AND RECONFIGURED FRONT ENTRY STAIRS. EXISTING BASEMENT STORAGE IS TO BE CONVERTED INTO NEW GARAGE WITH MINOR EXCAVATION. WORK AT THE FIRST FLOOR TO INCLUDE RELOCATED WINDOWS AND DOORS AT REAR ONLY. WORK AT SECOND FLOOR TO INCLUDE HORIZONTAL ADDITION AT REAR ABOVE EXISTING FIRST FLOOR AND AND CONVERTING EXISTING FLAT ROOF TO NEW ROOF DECK. EXTERIOR WORK INCLUDES A NEW GARAGE DOOR AT FRONT FACADE AND NEW WINDOWS AND DOORS AT REAR AND EAST FACADE AT FIRST AND SECOND FLOOR.	
DEFERRED SUBMITTAL	DEFERRED SUBMITTALS & COORDINATING SCOPE OF WORK AS REQUIRED (UNDER SEPARATE SUBMITTAL)
SHORING AND UNDERPINNING	LIFE SAFETY
FIRE SPRINKLER	MECHANICAL
STRUCTURAL ENGINEERING	PLUMBING
LANDSCAPING	ELECTRICAL
FIRE ALARM	TITLE 24
CIVIL ENGINEERING	



DRAWING INDEX		LEGEND	DATE	REV.	NAME OF SET
<input checked="" type="checkbox"/>	INCLUDED	12.19.17			PRE-APPLICATION MEETING
<input checked="" type="checkbox"/>	INCLUDED AND REVISED	01.03.18			SITE PERMIT SET
		06.05.18			PLANNING RESPONSE 1
		07.23.18			PLANNING RESPONSE 2
		09.07.18			C.O.A. HEARING SET
DRAWING SERIES	DRAWING NUMBER	DRAWING TITLE			
ARCHITECTURAL	A001	TITLE SHEET	<input checked="" type="checkbox"/>		
	A002	EXISTING SITE PLAN	<input checked="" type="checkbox"/>		
	A003	PROPOSED SITE PLAN	<input checked="" type="checkbox"/>		
	A004	EXISTING SITE PHOTOGRAPHS	<input checked="" type="checkbox"/>		
	A004a	SECTION 1005(i) CALCULATIONS	<input checked="" type="checkbox"/>		
	A004b	SECTION 1005(i) CALCULATIONS	<input checked="" type="checkbox"/>		
	A004c	SECTION 1005(i) CALCULATIONS	<input checked="" type="checkbox"/>		
	A100	DEMOLITION & CONSTRUCTION NOTES	<input checked="" type="checkbox"/>		
	A101	BASEMENT & FIRST FLOOR EXISTING & DEMOLITION PLAN	<input checked="" type="checkbox"/>		
	A102	SECOND FLOOR EXISTING & DEMOLITION PLAN	<input checked="" type="checkbox"/>		
	A111	BASEMENT & FIRST FLOOR CONSTRUCTION PLAN	<input checked="" type="checkbox"/>		
	A112	SECOND FLOOR CONSTRUCTION PLAN	<input checked="" type="checkbox"/>		
	A201	EXTERIOR ELEVATIONS	<input checked="" type="checkbox"/>		
	A202	EXTERIOR ELEVATIONS	<input checked="" type="checkbox"/>		
	A203	EXTERIOR ELEVATIONS	<input checked="" type="checkbox"/>		
	A204	EXTERIOR ELEVATIONS	<input checked="" type="checkbox"/>		
	A301	BUILDING SECTIONS	<input checked="" type="checkbox"/>		
	A901	SCHEDULES	<input checked="" type="checkbox"/>		
STRUCTURAL					

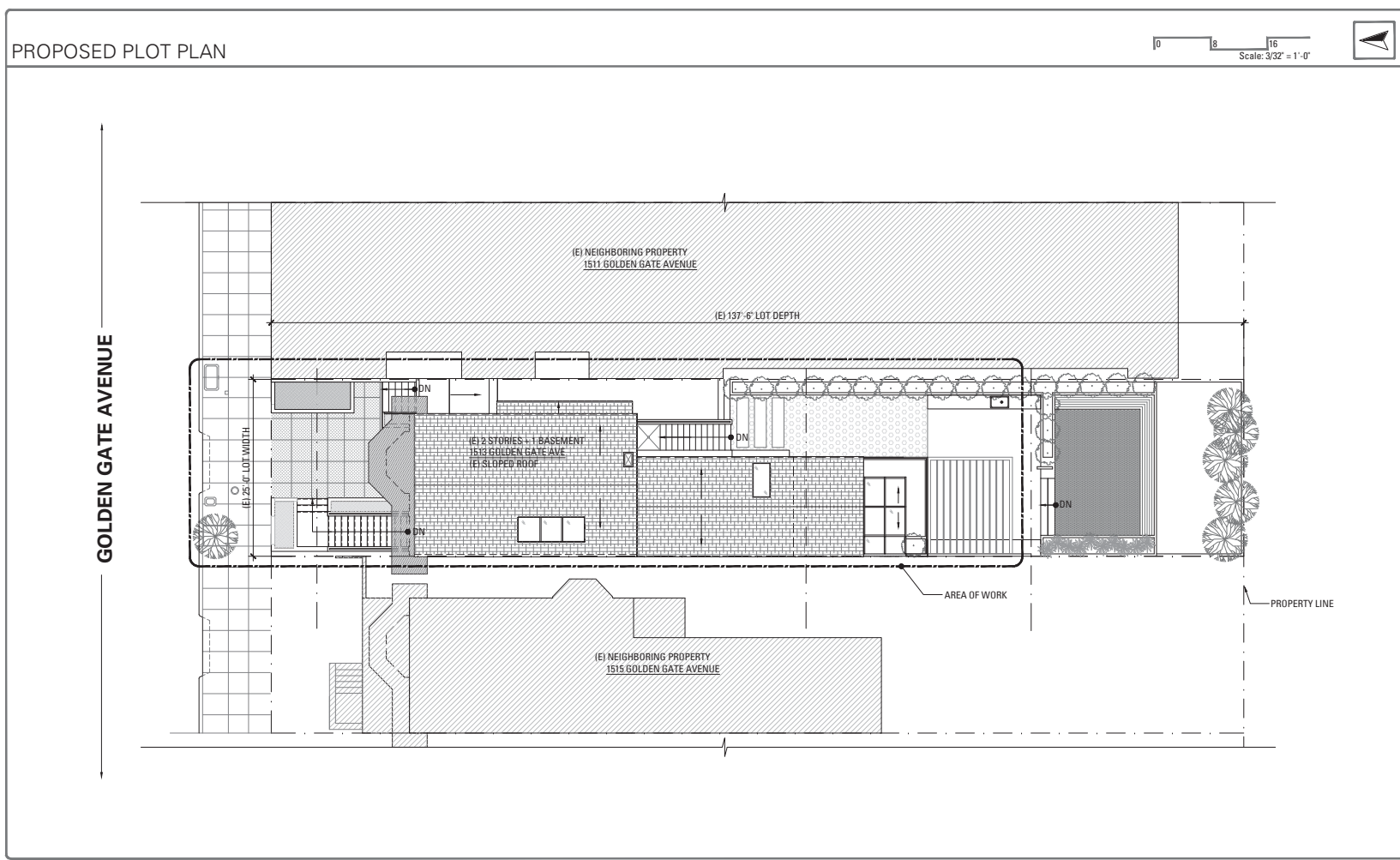
1513 GOLDEN GATE AVENUE GARAGE ADDITION

1513 GOLDEN GATE AVENUE
SAN FRANCISCO, CA 94115



ABBREVIATIONS			
&	AND	EQPT	EQUIPMENT
@	AT	(E)	EXISTING
⊕	CENTERLINE	EXT.	EXTERIOR
±	PLUS OR MINUS	EXTR.	EXTRUSION
⊥	PROPERTY LINE	F.A.	FIRE ALARM
#	POUND OR NUMBER	FAU.	FORCED AIR UNIT
A.F.F.	ABOVE FINISHED FLOOR	F.E.	FIRE EXTINGUISHER
AL	ALUMINUM	F.E.C.	FIRE EXTINGUISHER CABINET
ALUM.	ALUMINUM	F.H.C.	FIRE HOSE CABINET
ANOD.	ANODIZED	FIN.	FINISH
APPROX.	APPROXIMATE	FL.	FLOOR
A.R.	AS REQUIRED	FLUOR.	FLUORESCENT
ARCH.	ARCHITECTURAL	F.O.C.	FACE OF CONCRETE
AV	AUDIOVISUAL	F.O.F.	FACE OF FINISH
BD.	BOARD	F.O.P.	FACE OF PLYWOOD
BLDG.	BUILDING	F.O.S.	FACE OF STUD
BLK.	BLOCK	F.R.	FIRE RETARDANT OR FIRE RATED
BLKG.	BLOCKING	FT.	FOOT OR FEET
B.O.	BOTTOM OF	FURR.	FURRING
B.T.W.	BETWEEN	FUT.	FUTURE
CAB.	CABINET	F.V.	FIELD VERIFY
CBC	CALIFORNIA BUILDING CODE	GA.	GAUGE
CEC	CALIFORNIA ELECTRICAL CODE	GALV.	GALVANIZED
CFC	CALIFORNIA FIRE CODE	GSM.	GALVANIZED SHEET METAL
CGC	CALIFORNIA GREEN BUILDING CODE	G.C.	GENERAL CONTRACTOR
CLG.	CEILING	GEN.	GENERAL
CLKG.	CAULKING	GWB	GYPSON WALL BOARD
CLOS.	CLOSET	GYP.	GYPSON
CLR	CLEAR	H.B.	HOSEBIB
CMC	CALIFORNIA MECHANICAL CODE	H.C.	HANDICAPPED
CMU	CONCRETE MASONRY UNIT	H.M.	HOLLOW METAL
C.O.	CLEANOUT	HORIZ.	HORIZONTAL
COL.	COLUMN	HR.	HOUR
CONC.	CONCRETE	HT.	HEIGHT
CONN.	CONNECTION	H.W.D.	HOT WATER DISPENSER
CONSTR.	CONSTRUCTION	H.W.H.	HOT WATER HEATER
CONT.	CONTINUOUS	INSUL.	INSULATION
CORR.	CORRIDOR	INT.	INTERIOR
CPC	CALIFORNIA PLUMBING CODE	JAN.	JANITOR
CRK	CALIFORNIA RESIDENTIAL CODE	J.C.	JANITOR'S CLOSET
CTR.	CENTER	JT.	JOINT
CTSK.	COUNTERSUNK	KIT.	KITCHEN
DBL.	DOUBLE	LAM.	LAMINATE
DEPT.	DEPARTMENT	LAV.	LAVATORY
DET.	DETAIL	LAV.	LAVATORY
D.F.	DRINKING FOUNTAIN	MAX.	MAXIMUM
DIA. OR Ø	DIAMETER	MDF	MEDIUM DENSITY FIBERBOARD
DIM.	DIMENSION	MESH.	MESH
DISP.	DISPENSER	MEMB.	MEMBRANE
DN	DOWN	MET.	METAL
D.O.	DOOR OPENING	MEZZ.	MEZZANINE
DR.	DOOR	MFR.	MANUFACTURER
DS	DOWNSPOUT	MIN.	MINIMUM
DWG.	DRAWING	MISC.	MISCELLANEOUS
DWR.	DRAWER	M.O.	MASONRY OPENING
E.	EAST	MTD.	MOUNTED
EA.	EACH	MTG.	MOUNTING
E.J.	EXPANSION JOINT	MUL.	MULLION
ELEC.	ELECTRICAL	(N)	NEW
EMER.	EMERGENCY	N.	NORTH
ENGR.	ENGINEER	N.I.C.	NOT IN CONTRACT
E.P.	ELECTRICAL PANEL BOARD	NO.	NUMBER
EQ	EQUAL	NOM.	NOMINAL
		N.T.S.	NOT TO SCALE
		Ø	OVER
			X OR x
			BY

APPLICABLE CODES	
2016 CALIFORNIA BUILDING CODE	
2016 CALIFORNIA ELECTRICAL CODE	
2016 CALIFORNIA MECHANICAL CODE	
2016 CALIFORNIA PLUMBING CODE	
2016 CALIFORNIA FIRE CODE	
2016 CALIFORNIA ENERGY CODE	
2016 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS	
2016 CALIFORNIA GREEN BUILDING CODE	
2016 SAN FRANCISCO BUILDING CODE AMENDMENTS	
2016 SAN FRANCISCO ELECTRICAL CODE AMENDMENTS	
2016 SAN FRANCISCO MECHANICAL CODE AMENDMENTS	
2016 SAN FRANCISCO PLUMBING CODE AMENDMENTS	
2016 SAN FRANCISCO GREEN BUILDING CODE AMENDMENTS	
2016 SAN FRANCISCO HOUSING CODE AMENDMENTS	



NO.	RECORD OF DRAWING ISSUANCE	DATE
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4	PLANNING RESPONSE 2	07.23.2018
5	C.O.A. HEARING SET	09.07.2018

C.O.A. HEARING SET	
Drawn By:	A.W.
Checked By:	B.M.
Project Number:	17011.1

TITLE SHEET

SHEET NUMBER

A001

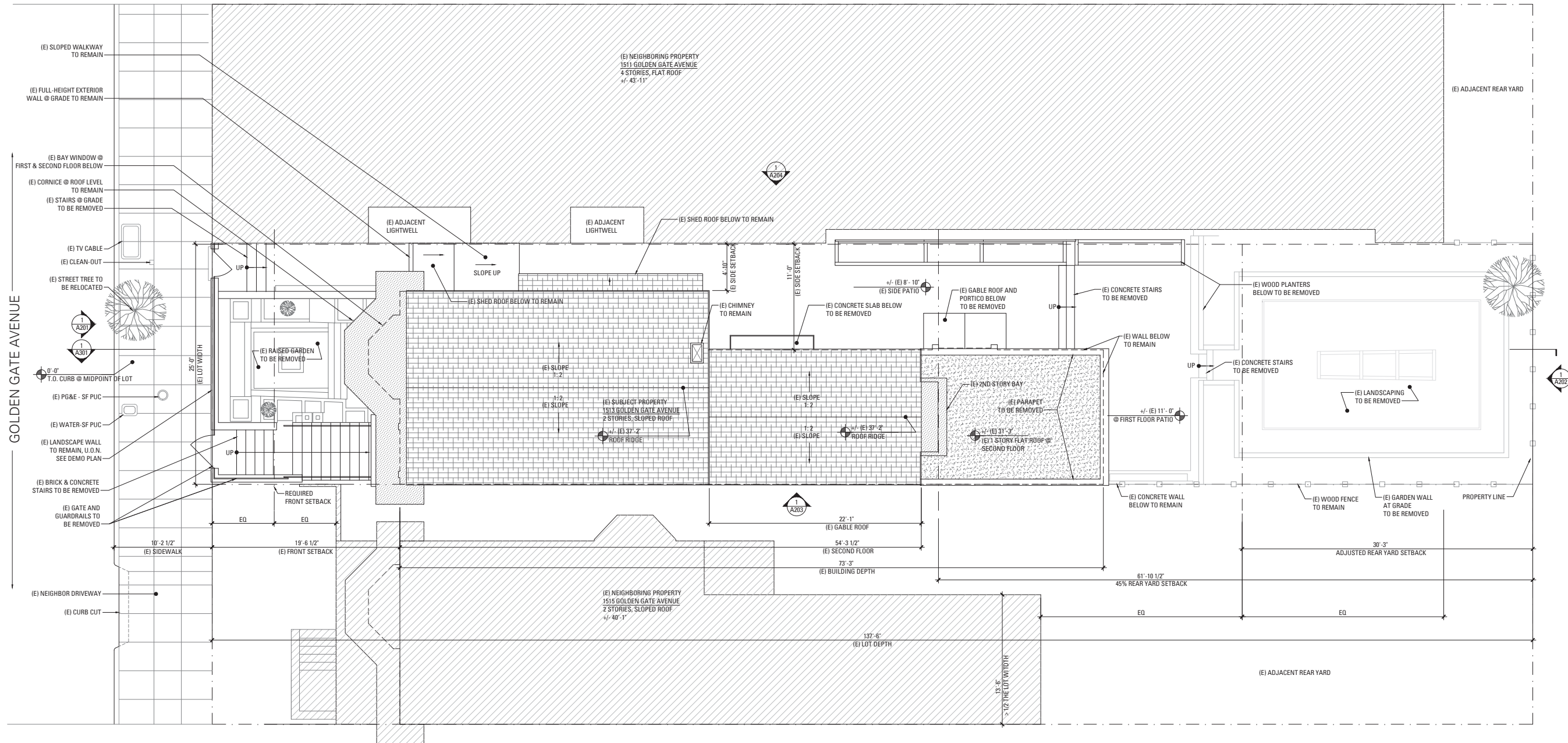
2018 05/10/18 A001-TITLE SHEET.DWG

1513 GOLDEN GATE AVENUE GARAGE ADDITION

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C.O.A. HEARING SET	
Drawn By:	A.W.
Checked By:	B.M.
Project Number:	17011.1

EXISTING SITE PLAN
SHEET NUMBER
A002

A002 EXISTING SITE PLAN.DWG

PERMEABLE SURFACES AND LANDSCAPING AREA WITHIN THE FRONT SETBACK:

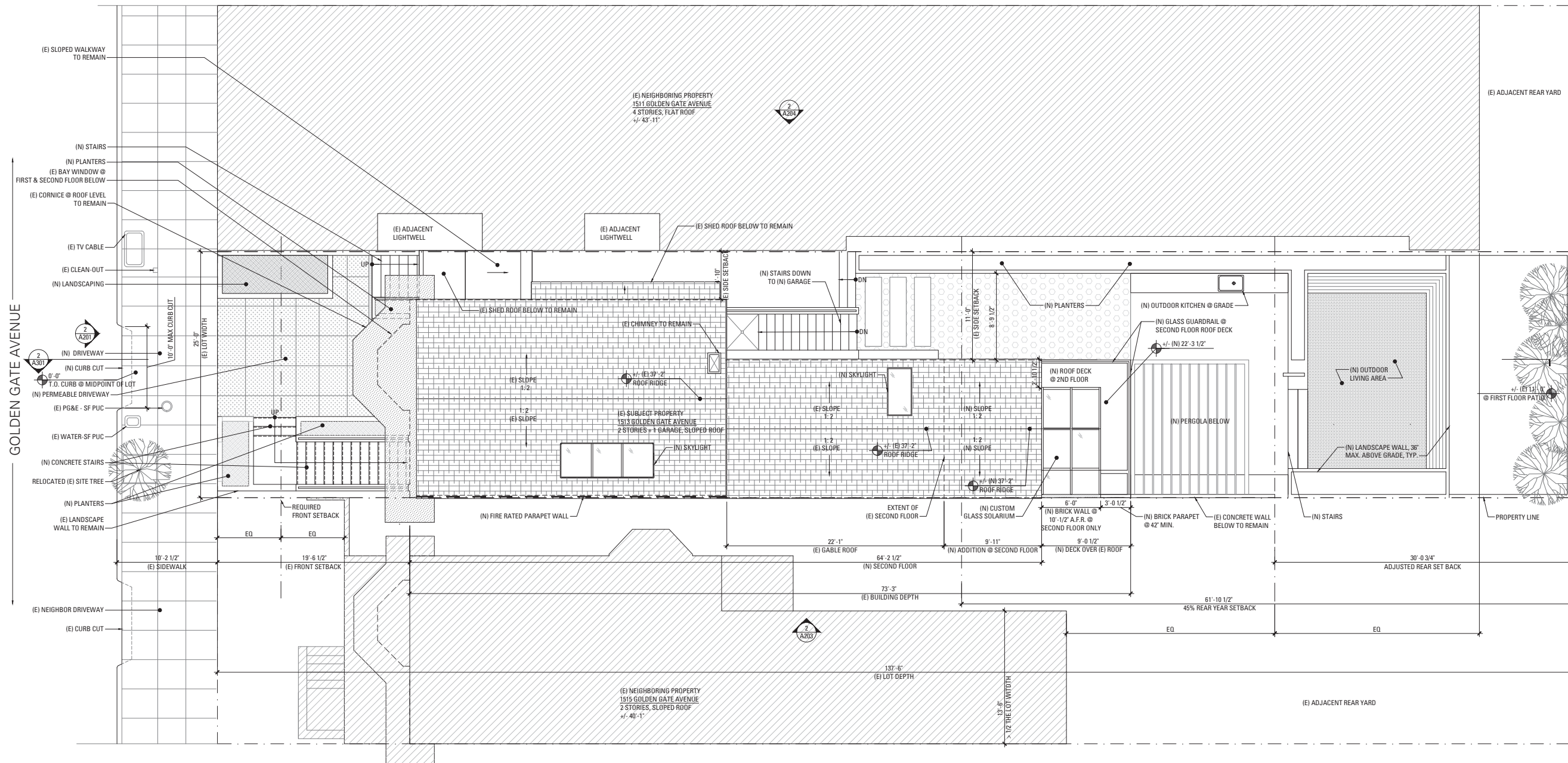
TOTAL FRONT SETBACK - ENTRY STAIRS=	389 SF
REQUIRED LANDSCAPE AREA=	389 SF X 20%= 77.8 SF
PROPOSED LANDSCAPE AREA=	10'-8" X 3'-10"= 41.3 SF
	3'-6" X 1'-6"= 5.3 SF
	11'-1" X 1'-5"= 15.7 SF
	2'-8" X 6'-5"= 17.1 SF
	79.4 SF > 77.8 SF
REQUIRED PERMEABLE SURFACE AREA=	389 X 50%= 194.5 SF
PROPOSED PERMEABLE SURFACE AREA=	15'-8" X 12'-0"= 188.5 SF
	4'-4" X 4'-0"= 17.5 SF
	9'-11" X 4'-2"= 41.5 SF
	247.5 SF > 194.5 SF

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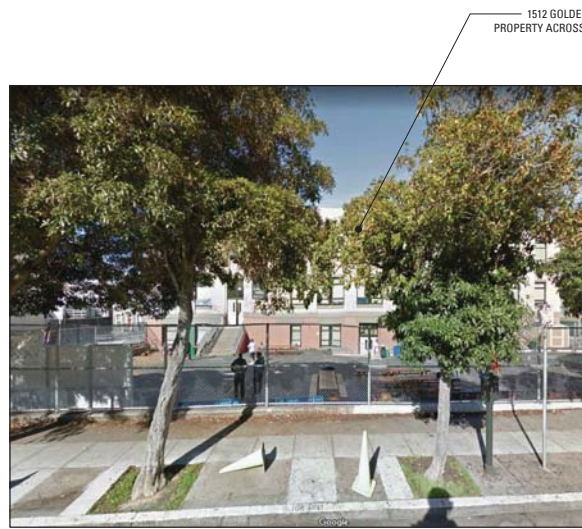
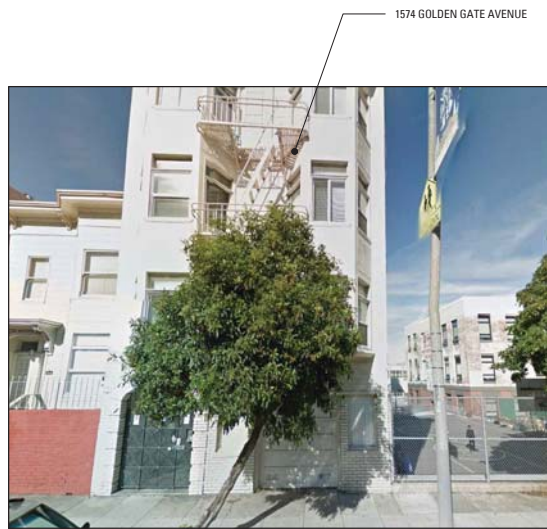
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C.O.A. HEARING SET	
Drawn By:	A.W.
Checked By:	B.M.
Project Number:	17011.1

PROPOSED SITE PLAN

SHEET NUMBER
A003

A003 PROPOSED SITE PLAN DWG



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4 (E) SITE PHOTOS - GOLDEN GATE AVENUE STREET VIEWS (ACROSS FROM SUBJECT PROPERTY)
SCALE: N.T.S.



3 (E) SITE PHOTOS - GOLDEN GATE AVENUE STREET VIEWS
SCALE: N.T.S.



1 (E) SITE PHOTOS - OVERHEAD CONTEXT PHOTO
SCALE: N.T.S.

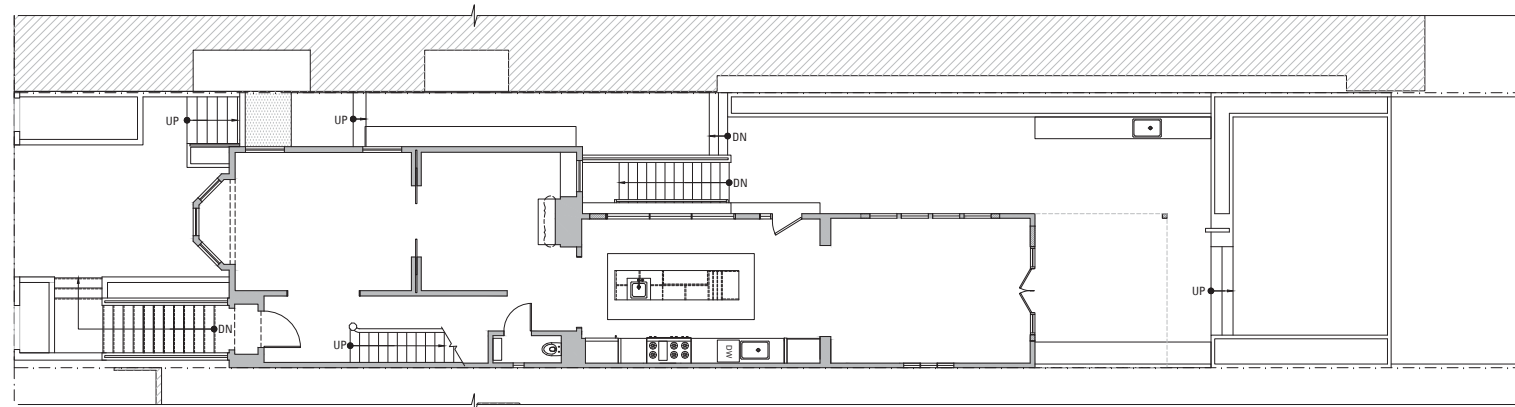


2 (E) SITE PHOTOS - BACKYARD VIEWS
SCALE: N.T.S.

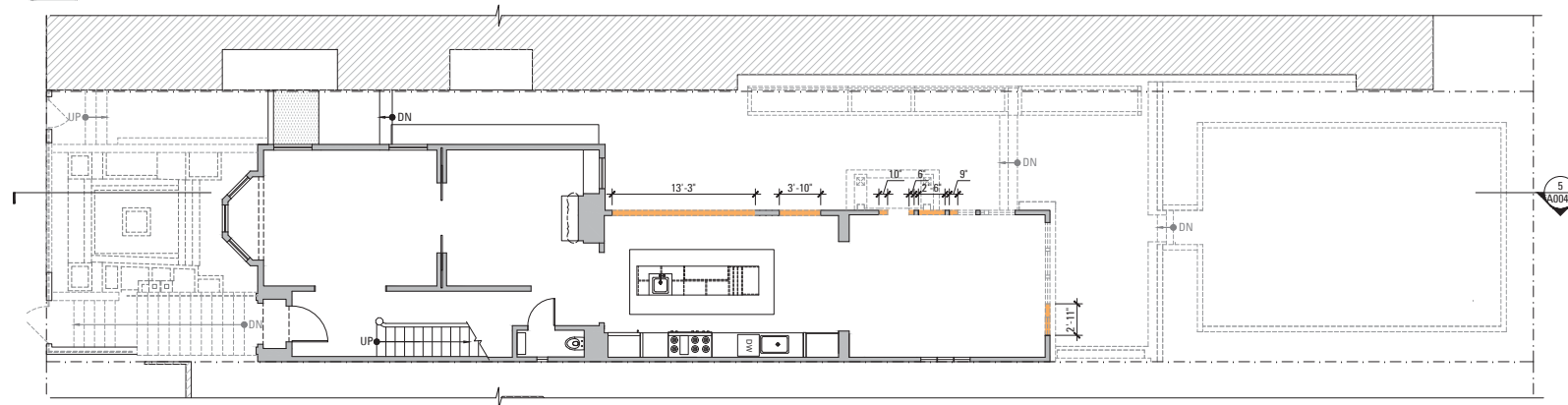
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C.O.A. HEARING SET	
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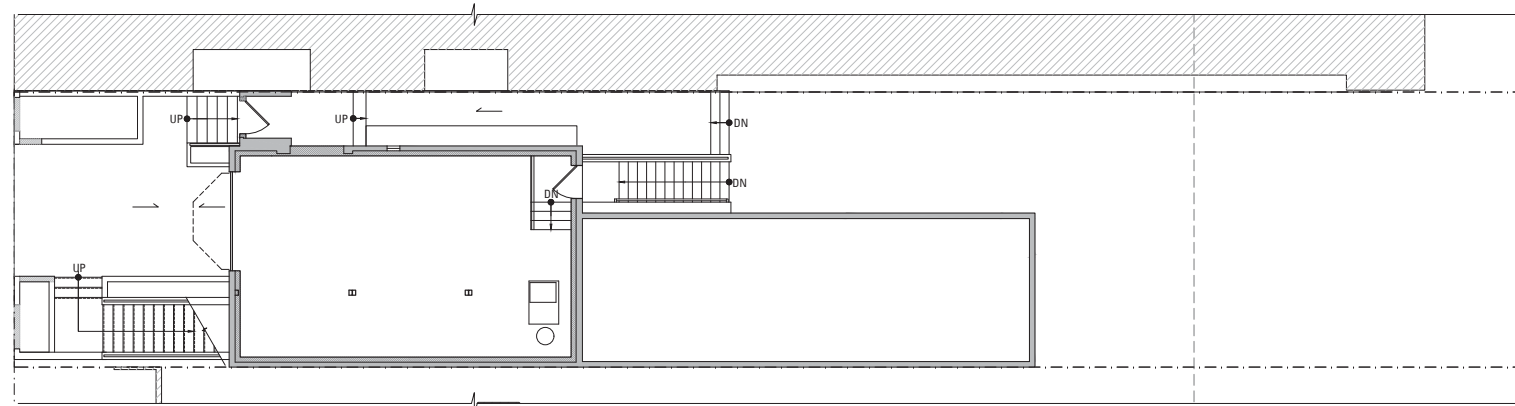
PHOTOGRAPHS
SHEET NUMBER
A004



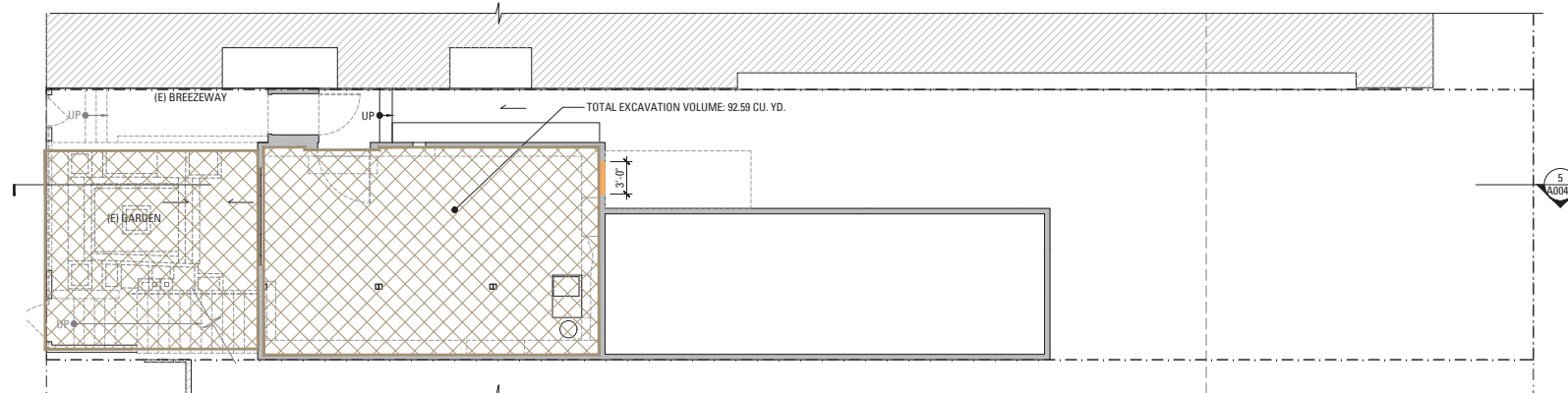
4 PROPOSED FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



3 EXISTING FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



2 PROPOSED BASEMENT LEVEL PLAN
SCALE: 1/8" = 1'-0"



1 EXISTING BASEMENT LEVEL PLAN
SCALE: 1/8" = 1'-0"

DEMOLITION SCOPE LEGEND

- (E) VERTICAL ENVELOPE ELEMENTS TO BE REMOVED
- (E) EXTERNAL WALLS TO BE REMOVED
- (E) HORIZONTAL ELEMENTS TO BE REMOVED
- (E) INTERNAL STRUCTURAL FRAMEWORK TO BE REMOVED
- (E) VERTICAL ENVELOPE ELEMENTS TO REMAIN
- EXCAVATION AREA

1513 GOLDEN GATE AVENUE GARAGE ADDITION

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C.O.A. HEARING SET	
Drawn By:	A.W.
Checked By:	B.M.
Project Number:	17011.1

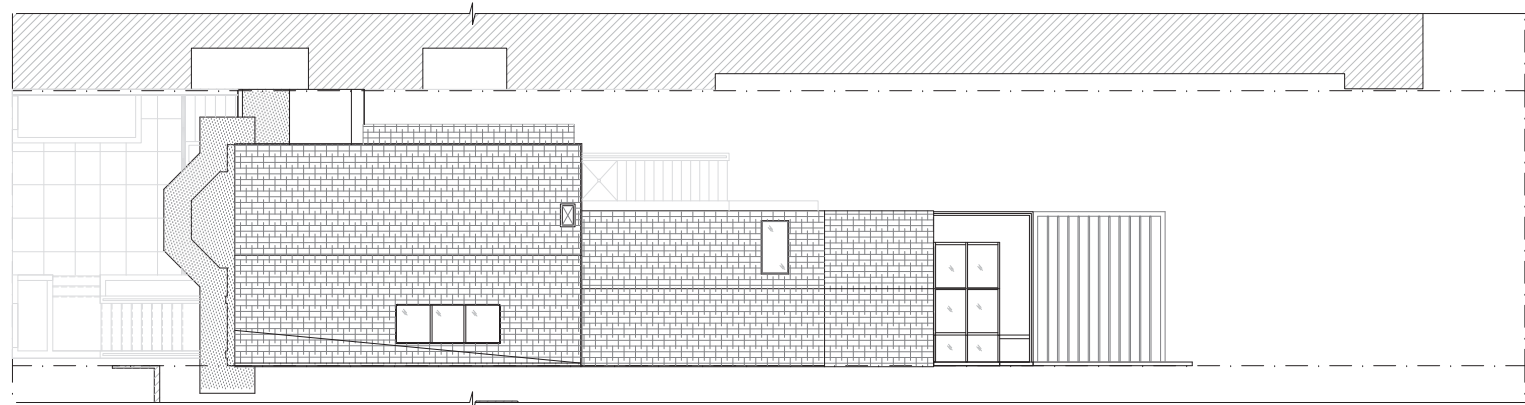
Section 1005(f)
Calculations

SHEET NUMBER

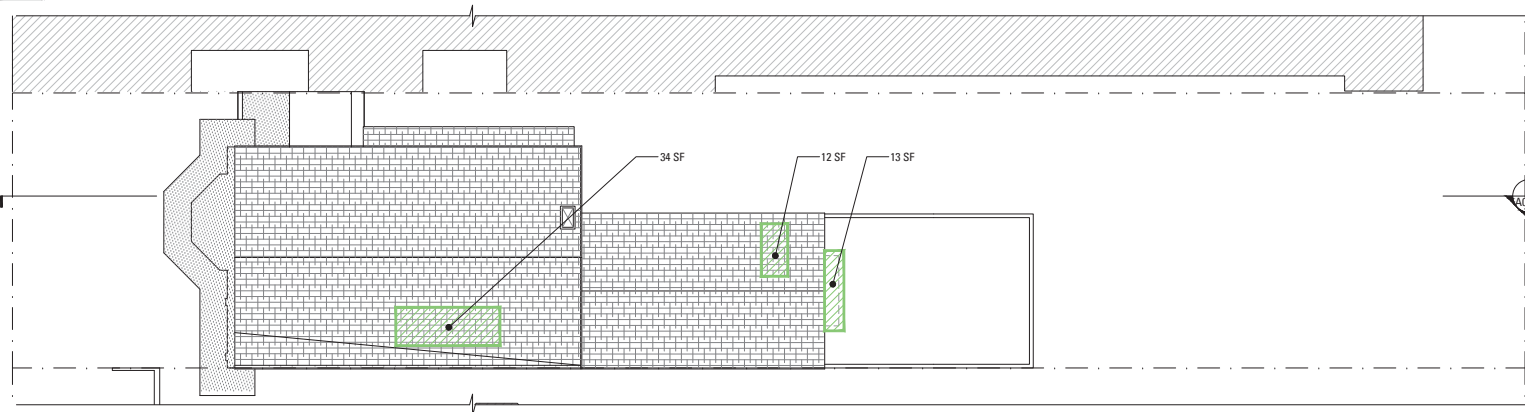
A004a

2018/05/06

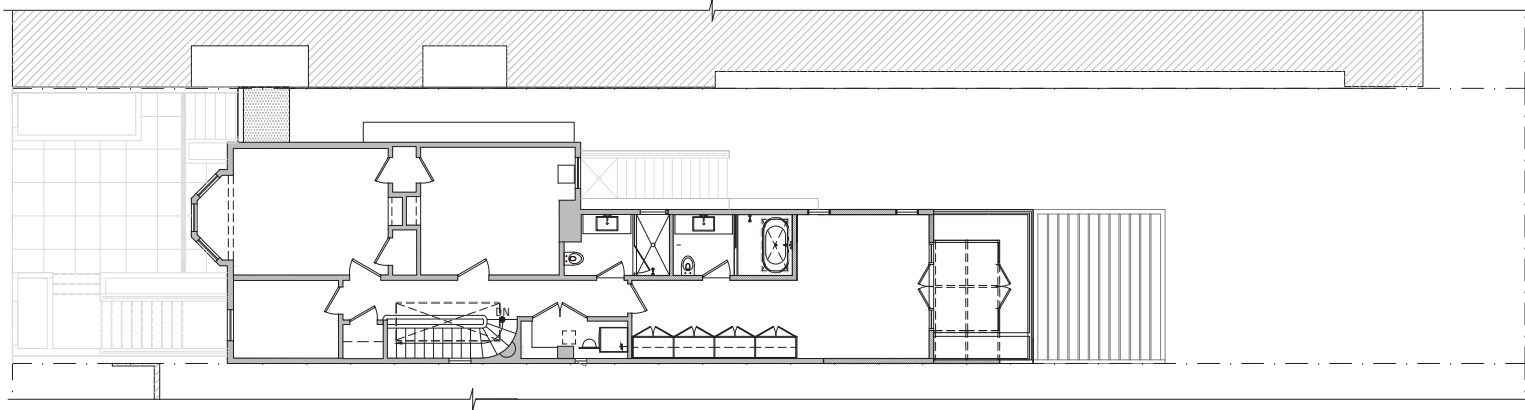
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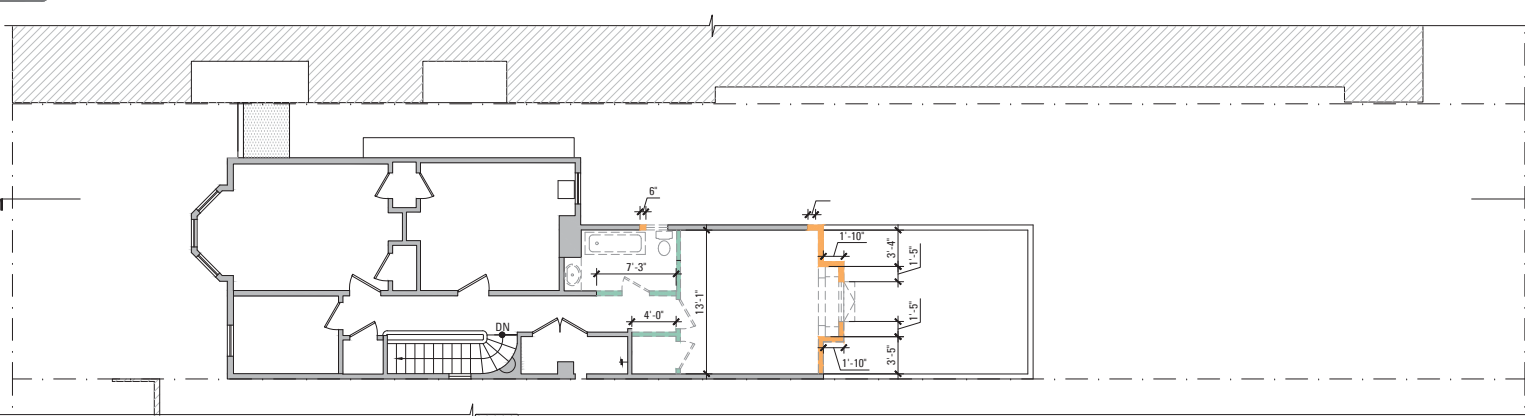
4 PROPOSED ROOF PLAN
SCALE: 1/8" = 1'-0"



3 EXISTING ROOF PLAN
SCALE: 1/8" = 1'-0"



2 PROPOSED SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



1 EXISTING SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

DEMOLITION SCOPE LEGEND

- (E) VERTICAL ENVELOPE ELEMENTS TO BE REMOVED
- (E) EXTERNAL WALLS TO BE REMOVED
- (E) HORIZONTAL ELEMENTS TO BE REMOVED
- (E) INTERNAL STRUCTURAL FRAMEWORK TO BE REMOVED
- (E) VERTICAL ENVELOPE ELEMENTS TO REMAIN
- EXCAVATION AREA

DEMOLITION CALCULATIONS TABLE

REMOVAL OF ELEMENTS	DEMOLITION AREA OR LINEAR FT	SECTION 1005 LIMITS	EXISTING PROJECT TOTAL SF OR LINEAR FT	PROPOSED PROJECT TOTAL %	PROPOSED PROJECT TOTAL SF OR LINEAR FT	MEET PLANNING CODE?	LEGEND
VERTICAL ENVELOPE ELEMENTS (s.f. of surface area)							
FRONT ELEVATION	27 sf	50% or more (function as external walls) OR	4,128 sf	6%	248 sf	YES	
REAR ELEVATION	89 sf						
EAST ELEVATION	116 sf						
WEST ELEVATION	16 sf						
EXTERNAL WALLS (used for external or internal wall functions)							
BASEMENT LEVEL	3'-0"	25% or more OR	526'-2"	8%	42'-9"	YES	
FIRST FLOOR	23'-7"						
SECOND FLOOR	15'-2"						
HORIZONTAL ELEMENTS (roof area, floor plates, except at/below grade)							
FIRST FLOOR	0 sf	75% or more (combined internal structural frame work or floor plates)	3,220 sf	2%	59 sf	YES	
SECOND FLOOR	0 sf						
ROOF	59 sf						
INTERNAL STRUCTURAL FRAMEWORK (interior partitions, etc.)							
BASEMENT LEVEL	0'-0"	75% or more (combined internal structural frame work or floor plates)	281'-7"	9%	24'-4"	YES	
FIRST FLOOR	0'-0"						
SECOND FLOOR	24'-4"						

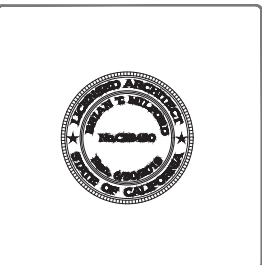
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C.O.A. HEARING SET

Drawn By:	A.W.
Checked By:	B.M.
Project Number:	17011.1

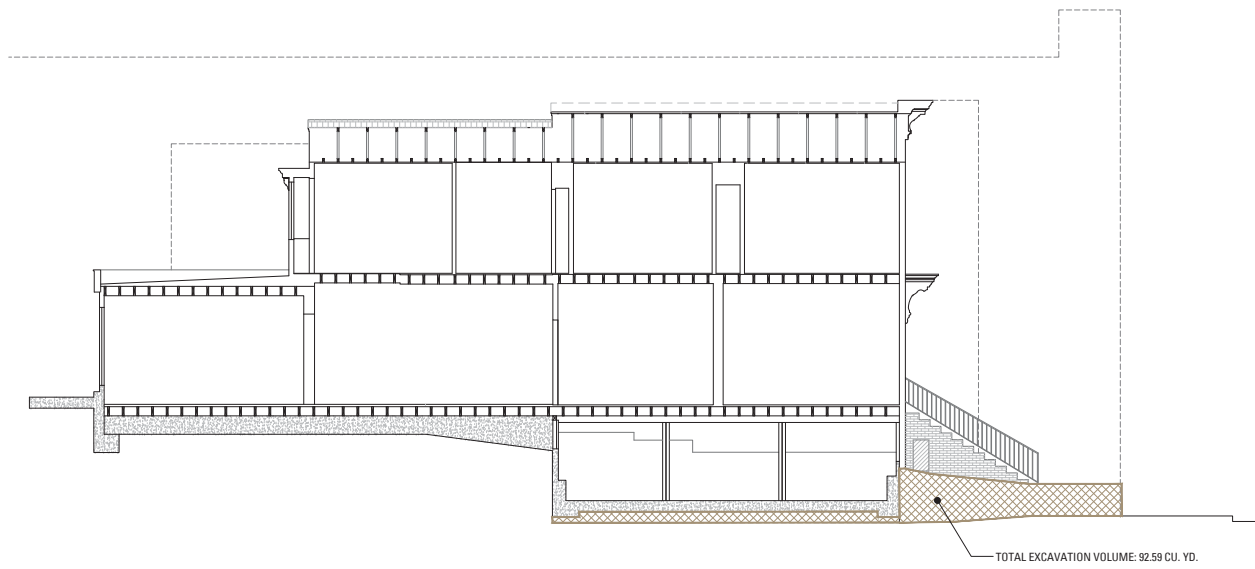
Section 1005(f)
Calculations

SHEET NUMBER

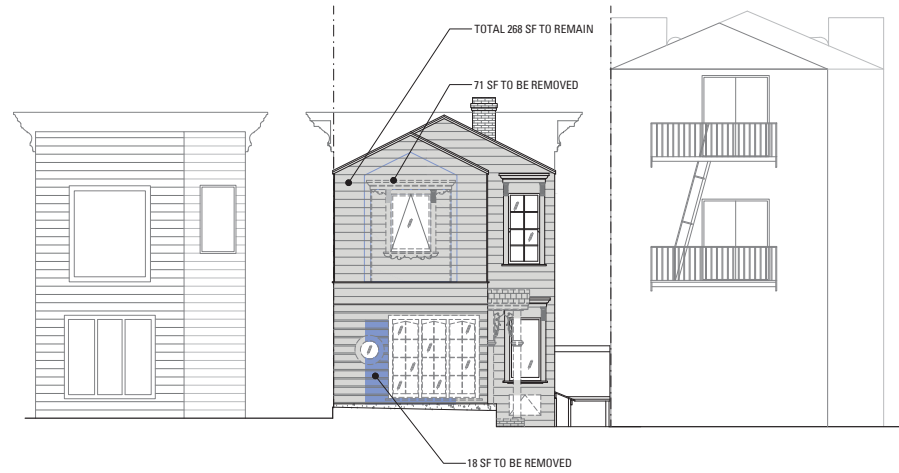
A004b

2018/05/07

A004b SECTION 1005(F) CALCULATIONS.DWG



5 EXISTING BUILDING SECTION: 92.59 CU. YD. EXCAVATION VOLUME
SCALE: 1/8" = 1'-0"



2 EXISTING SOUTH ELEVATION: 357 sf total existing; 89 sf to be removed
SCALE: 1/8" = 1'-0"

DEMOLITION SCOPE LEGEND

- (E) VERTICAL ENVELOPE ELEMENTS TO BE REMOVED
- (E) EXTERNAL WALLS TO BE REMOVED
- (E) HORIZONTAL ELEMENTS TO BE REMOVED
- (E) INTERNAL STRUCTURAL FRAMEWORK TO BE REMOVED
- (E) VERTICAL ENVELOPE ELEMENTS TO REMAIN
- EXCAVATION AREA

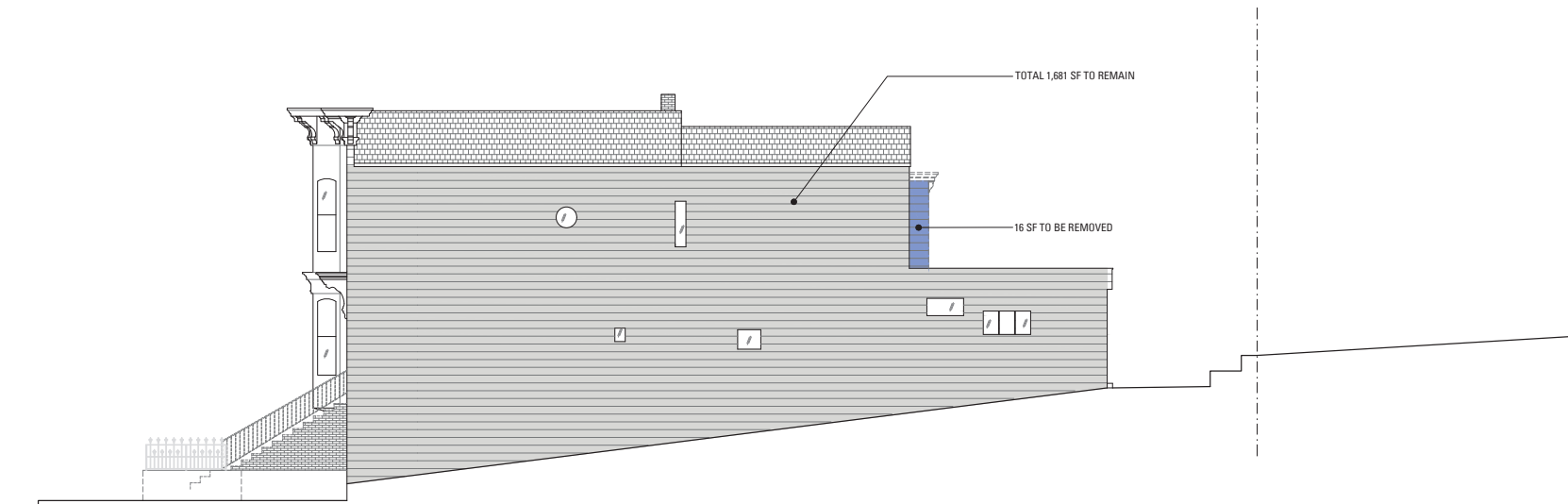
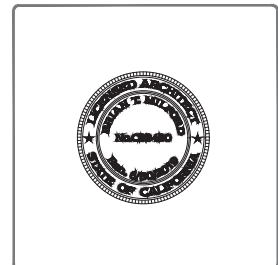
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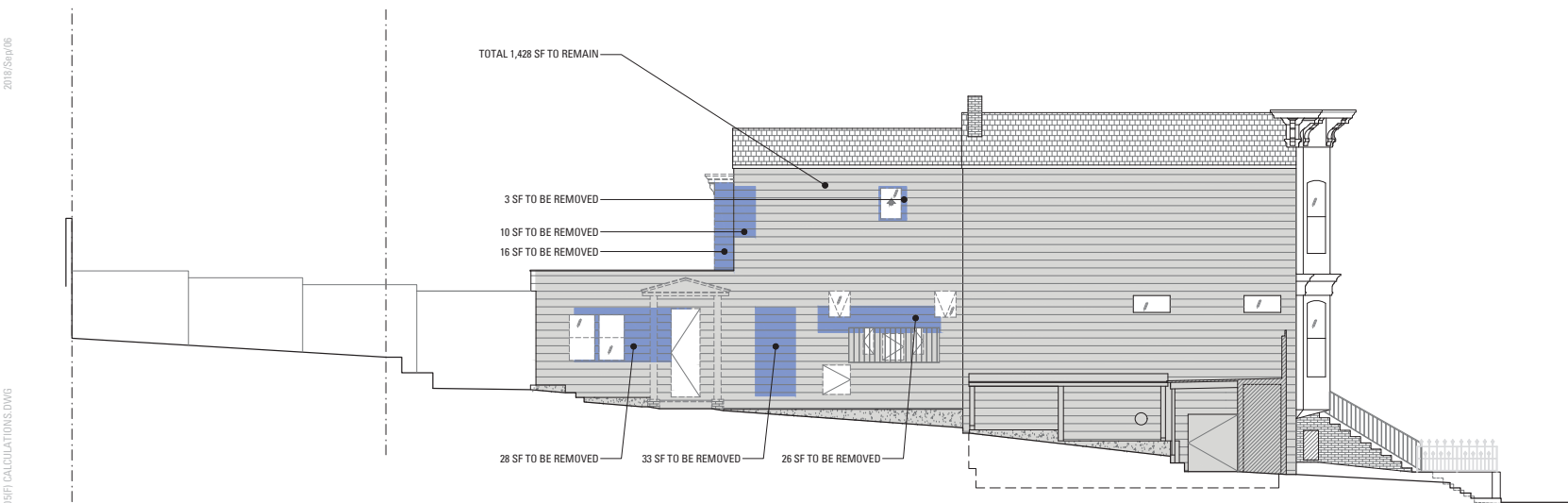
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4 EXISTING WEST ELEVATION - NO PROPOSED DEMOLITION: 1,697 sf total existing; 16 sf to be removed
SCALE: 1/8" = 1'-0"



1 EXISTING NORTH ELEVATION: 530 sf total existing, 27 sf to be removed
SCALE: 1/8" = 1'-0"



3 EXISTING EAST ELEVATION: 1,544 sf total existing; 116 sf to be removed
SCALE: 1/8" = 1'-0"

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C.O.A. HEARING SET

Drawn By:	A.W.
Checked By:	B.M.
Project Number:	17011.1

Section 1005(f)
Calculations

SHEET NUMBER

A004c

2018/05/16/06
A004c-SECTION 1005(F) CALCULATIONS.DWG

CONSTRUCTION GENERAL NOTES

- ALL (N) WALLS TYPE 'A' U.O.N. SEE SCHEDULE, A901.
- ALL DIMENSIONS ARE TO FACE OF FINISH, CENTERLINE OF OPENING OR EDGE OF JAMB FRAME, U.O.N.
- DOORS NOT LOCATED BY DIMENSION SHALL BE PLACED 3' OFF JAMB, U.O.N.
- ALL REQUIRED HANDRAILS SHALL COMPLY WITH HANDRAIL GRASPABILITY PER CBC 1012.3.
- PROVIDE & INSTALL FLASHING, COUNTERFLASHING, CAP FLASHING, METAL TRIM, OTHER FABRICATED ITEMS AND MISCELLANEOUS SHEET METALWORK AT JUNCTIONS OF A ROOF AND WALL, AT CHIMNEYS, OVER EXPOSED DOORS AND WINDOWS, AT CHANGES OF SIDING MATERIAL IN ROOF VALLEYS OR WHERE REQUIRED TO PROVIDE COMPLETE WATERTIGHT AND WATERPROOF CONSTRUCTION.
- PROVIDE & INSTALL ONE PIECE GSM PAN FLASHING AT ALL NEW AND REPLACEMENT EXTERIOR DOORS. COMPLY WITH ASTM E2112-07, STANDARD PRACTICE FOR INSTALLATION OF EXTERIOR WINDOWS, DOORS, AND SKYLIGHTS.
- WATERPROOFING SHALL OVERLAP FLASHINGS FOR POSITIVE DRAINAGE AT ALL CONDITIONS.
- FLASHING & SHEET METALWORK SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH SHEET METAL & AIR CONDITIONING CONTRACTORS' NATIONAL ASSOCIATION (SMACNA) ARCHITECTURAL SHEET METAL MANUAL, COMPLY WITH MINIMUM THICKNESS OR GAGE REQUIREMENTS AS SPECIFIED IN SMACNA ARCHITECTURAL SHEET METAL MANUAL.
- ISOLATE AND PROTECT DISSIMILAR METALS FROM CONTACT WITH EACH OTHER BY APPLYING SPECIFIED ISOLATION MATERIAL TO CONTACT SURFACES. PROTECT SURFACES OF SHEET METAL IN CONTACT WITH CONCRETE, TREATED WOOD, OR ALUMINUM WITH A HEAVY COATING OF BITUMINOUS PAINT AS RECOMMENDED BY MANUFACTURER/FABRICATOR.
- FLASHING & SHEET METALWORK WILL NOT BE MEASURED SEPARATELY FOR PAYMENT BUT WILL BE PAID FOR AS PART OF THE CONTRACT LUMP SUM PRICE FOR ARCHITECTURAL WORK.
- PROVIDE MINIMUM OF R-13 BATT INSULATION IN EXTERIOR WALLS ADJACENT TO (N) AND (E) LIVING SPACE, IN AREAS NOT ALREADY INSULATED.
- PROVIDE CEMENT BOARD BACKING IN AREAS TO RECEIVE TILE FINISH.
- WOOD LOCATED NEARER THAN 6" TO EARTH SHALL BE TREATED WOOD.
- ALL DOORS AND WINDOWS NOT TAGGED ARE EXISTING TO REMAIN U.O.N.
- ALL TOILETS TO HAVE A MINIMUM CLEARANCE OF 24" IN FRONT AND 15" FROM CENTERLINE OF THE TOILET TO EACH SIDE.
- STAIRWAYS SHALL HAVE A MINIMUM HEADROOM CLEARANCE OF 80 INCHES ABOVE THE FRONT EDGE OF THE NOSING.
- ALL APPLIANCES WITH QUICK-ACTING VALVES, INCLUDING BUT NOT LIMITED TO DISHWASHERS & CLOTHES WASHERS, SHALL HAVE WATER HAMMER ARRESTORS (CPC 609.10).
- ALL EXISTING NON-COMPLIANT AND NEW PLUMBING FIXTURES SHALL COMPLY WITH CALIFORNIA SB-407 (2009).
- WATER HEATERS SHALL HAVE SEISMIC STRAPPING AT A POINT WITHIN THE UPPER 1/3 AND THE LOWER 1/3 OF THE WATER HEATER'S VERTICAL DIMENSIONS. AT THE LOWER POINT, A MINIMUM DISTANCE OF FOUR (4) INCHES SHALL BE MAINTAINED ABOVE THE CONTROLS TO THE STRAP. (CPC 507.2)
- KITCHEN RANGES SHALL BE PROVIDED WITH A METAL VENTILATING HOOD. A VERTICAL CLEARANCE OF 24" MINIMUM BETWEEN THE COOKTOP & METAL VENTILATING HOOD SHALL BE MAINTAINED. THE HOOD SHALL BE AS WIDE AS THE RANGE AND CENTERED OVER THE UNIT. THE METAL HOOD SHALL BE 0.012" MINIMUM THICK (2013 CMC 920.3)
- EACH KITCHEN IS REQUIRED TO HAVE AN EXHAUST FAN DUCTED TO THE OUTSIDE WITH A MINIMUM VENTILATION RATE OF 100 CFM.
- ALL EXHAUST FAN DUCTING, INCLUDING BUT NOT LIMITED TO TO KITCHEN AND BATHROOM EXHAUST FANS, SHALL BE SIZED ACCORDING TO ASHRAE STANDARD 62.2 TABLE 7.1.
- APPLIANCES IN ATTIC AND UNDER-FLOOR SPACES SHALL BE ACCESSIBLE THROUGH AN OPENING AND PASSAGEWAY AT LEAST AS LARGE AS THE LARGEST COMPONENT OF THE APPLIANCE, AND NOT LESS THAN 22 INCHES BY 30 INCHES. (CPC 508.4)
- APPLIANCES IN ATTIC AND UNDER-FLOOR SPACES SHALL HAVE A SOLID FLOOR PASSAGEWAY OF NOT LESS THAN 24 INCHES AND A WORK PLATFORM OF NOT LESS THAN 30 INCHES BY 30 INCHES IN FRONT OF THE SERVICE SIDE OF THE APPLIANCE. (CPC 508.4.2 & 508.4.3)
- APPLIANCES IN ATTIC AND UNDER-FLOOR SPACES SHALL HAVE A PERMANENT 120-VOLT RECEPTACLE OUTLET AND A LIGHTING FIXTURE NEAR THE APPLIANCE. (CPC 508.4.4)

MECHANICAL GENERAL NOTES

- ENVIRONMENTAL AIR DUCTS TERMINATE 3' FROM PROPERTY LINE & OPENINGS INTO BUILDING.
- PROVIDE GAS VENT TERMINATIONS PER CMC 802.6 & 802.6.2
- PROVIDE COMBUSTION AIR PER CMC CHAPTER 7.
- PROVIDE SPACE HEATING TO ALL INTERIOR SPACES INTENDED FOR HUMAN OCCUPANCY.

LEGEND

- (E) CONSTRUCTION TO BE REMOVED
 - ===== (E) WALL CONSTRUCTION
 - ===== (N) SCHEDULED WALL OR FINISH ASSEMBLY. SEE SHEET A901.
 - INDICATES RATED ASSEMBLY. SEE SHEET A901.
 - ===== (N) SOUND ATTENUATION BATT INSULATION
 - G
↑ (N) GAS SHUT OFF. LOCATE IN ACCESSIBLE AREA IN CABINET [CMC 1312.3]
- NOTE: ALL (N) WALLS TYPE 'A' U.O.N.

EXISTING & DEMOLITION NOTES

- CONTRACTOR SHALL COORDINATE THE EXTENT OF THE DEMOLITION WITH CONSTRUCTION PLANS AND PROTECT ALL PORTIONS OF (E) STRUCTURE TO REMAIN.
- REMOVE ALL (E) FINISHES, HARDWARE, EQUIPMENT, CONDUIT, PLUMBING, AND FRAMING NECESSARY TO ACCOMMODATE ALL NEW WORK.
- CAP OFF ALL PLUMBING, GAS, & ELECTRICAL LINES AS REQUIRED.
- CONTRACTOR SHALL ENSURE THE STABILITY OF ALL (E) STRUCTURE, FRAMING AND FOUNDATIONS TO REMAIN DURING DEMOLITION AND CONSTRUCTION OF NEW WORK.
- CONTRACTOR SHALL REPLACE ALL DAMAGED OR DECAYED EXISTING WOOD FRAMING, FLOOR, OR SHEATHING IN AREAS OF REMODEL AND REPAIR. NOTIFY ARCHITECT IF DAMAGED OR DECAYED CONDITIONS ARE ENCOUNTERED PRIOR TO COMMENCING REPAIR WORK.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFE REMOVAL AND DISPOSAL OF ALL MATERIALS NOT FOR RE-USE ON THIS PROJECT. RECYCLE AND HAIL ALL DEBRIS IN ACCORDANCE WITH LOCAL JURISDICTION REQUIREMENTS & APPLICABLE LAWS.
- DOCUMENTATION HEREIN DOES NOT AUTHORIZE, DESCRIBE, REQUIRE OR INCLUDE THE REMOVAL OF ANY HAZARDOUS MATERIALS OR ELEMENTS, INCLUDING BUT NOT LIMITED TO LEAD PAINT, ASBESTOS AND PCB'S. GENERAL CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS, REGULATIONS, ORDINANCES AND RULES RELATING TO ANY HAZARDOUS OR TOXIC MATERIALS. IF GENERAL CONTRACTOR DISCOVERS ANY SUCH MATERIALS ON THE PROPERTY, GENERAL CONTRACTOR SHALL PROMPTLY NOTIFY THE OWNER. ANY REMOVAL OF HAZARDOUS MATERIALS SHALL BE DOCUMENTED SEPARATELY, AND SHALL OCCUR AS REQUIRED BY CODE AND REGULATORY REQUIREMENTS.

DEMOLITION PROTECTION

- CONTRACTOR SHALL PROVIDE AND COORDINATE PROTECTION FOR ALL EXISTING CONSTRUCTION ON THE INTERIOR AND EXTERIOR OF THE BUILDING FROM DUST, DEBRIS, CONSTRUCTION EQUIPMENT, AND ANY OTHER CONSTRUCTION RELATED WORK.

1513 GOLDEN GATE AVENUE GARAGE ADDITION

1513 GOLDEN GATE AVENUE
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NO.	RECORD OF DRAWING ISSUANCE	DATE
1	PRE-APPLICATION MEETING	12.19.2017
2	SITE PERMIT SET	01.03.2018
3	PLANNING RESPONSE 1	06.05.2018
4	PLANNING RESPONSE 2	07.23.2018
5	C.O.A. HEARING SET	09.07.2018

C.O.A. HEARING SET

Drawn By:	A.W.
Checked By:	B.M.
Project Number:	17011.1

EXISTING & DEMOLITION AND CONSTRUCTION GENERAL NOTES

SHEET NUMBER

A100

1513 GOLDEN GATE AVENUE GARAGE ADDITION

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LEGEND

- (E) CONSTRUCTION TO BE REMOVED
- ===== (E) WALL CONSTRUCTION
- ===== (N) SCHEDULED WALL OR FINISH ASSEMBLY. SEE SHEET A901.
- INDICATES RATED ASSEMBLY. SEE SHEET A901.
- (N) SOUND ATTENUATION BATT INSULATION
- G (N) GAS SHUT OFF. LOCATE IN ACCESSIBLE AREA IN CABINET [CMC 1312.3]

NOTE: ALL (N) WALLS TYPE "A" U.O.N.

EXISTING & DEMOLITION KEYNOTES

D1	REMOVE (E) WALL TO ACCOMMODATE (N) WORK (S.S.D.)
D2	REMOVE (E) DOOR
D3	REMOVE (E) WINDOW TO ACCOMMODATE (N) WORK
D4	NOT USED.
D5	REMOVE (E) CASEWORK/CABINERY
D6	REMOVE (E) PLUMBING FIXTURE, CAP OFF/RE-ROUTE UTILITY LINES, AS REQUIRED.
D7	REMOVE (E) FINISHES.
D8	REMOVE PORTION OF ROOF TO ACCOMMODATE (N) SKYLIGHT.
D9	(E) STAIR TO REMAIN.
D10	REMOVE (E) PLANTERS AND LANDSCAPE WALLS.
D11	REAR YEAR TO BE RE-GRADED TO ACCOMMODATE (N) WORK.
D12	REMOVE (E) APPLANCE/EQUIPMENT. CAP OFF/REMOVE UTILITY LINES AS REQUIRED.
D13	REMOVE (E) SECOND FLOOR POPOUT
D14	REMOVE (E) ROOF TO ACCOMMODATE (N) WORK
D15	(E) COLUMNS AND BEAM TO REMAIN.
D16	(E) MECHANICAL EQUIPMENT TO BE REPLACED ON-KIND, CAP OFF/RE-ROUTE UTILITY LINES AS REQUIRED.
D17	(E) FLAT ROOF TO REMAIN AS REQUIRED.
D18	(E) EXTERIOR STAIR, HANDRAILS AND FINISHES TO BE REMOVED.
D19	(E) EXTERIOR GATES TO BE REMOVED.
D20	(E) CONCRETE STEP TO BE REMOVED.
D21	(E) CONCRETE WALKWAY TO REMAIN.
D22	(E) FOOTING AND FOUNDATIONS TO BE REMOVED.
D23	(E) SHED ROOF TO REMAIN.
D24	EXCAVATE TO ACCOMMODATE (N) WORK.
D25	(E) ENTRY PORTICO AND ROOF TO BE REMOVED.
D26	(E) PORTIONS OF THE LANDSCAPE WALL TO REMAIN ALONG PROPERTY LINE AND SIDEWALK. ANY MATERIALS REMOVED TO ACCOMMODATE NEW WORK SHALL BE STORED FOR REUSE.
D27	REMOVE (E) PARAPET WALLS.
D28	(E) WOOD FENCE TO REMAIN.
D29	(E) CHIMNEY FLUE TO REMAIN.
D30	(E) SLOPED ROOF TO REMAIN.
D31	(E) DECORATIVE ROOF CORNICE TO REMAIN.

NO. RECORD OF DRAWING ISSUANCE DATE

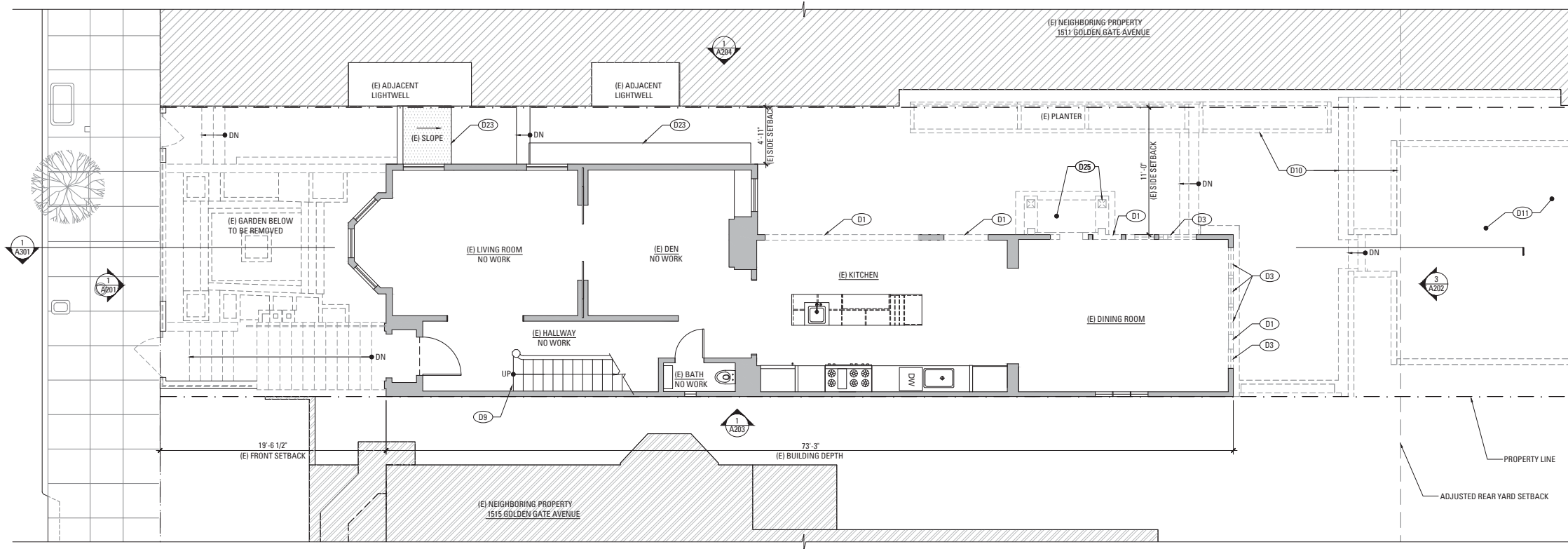
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C.O.A. HEARING SET

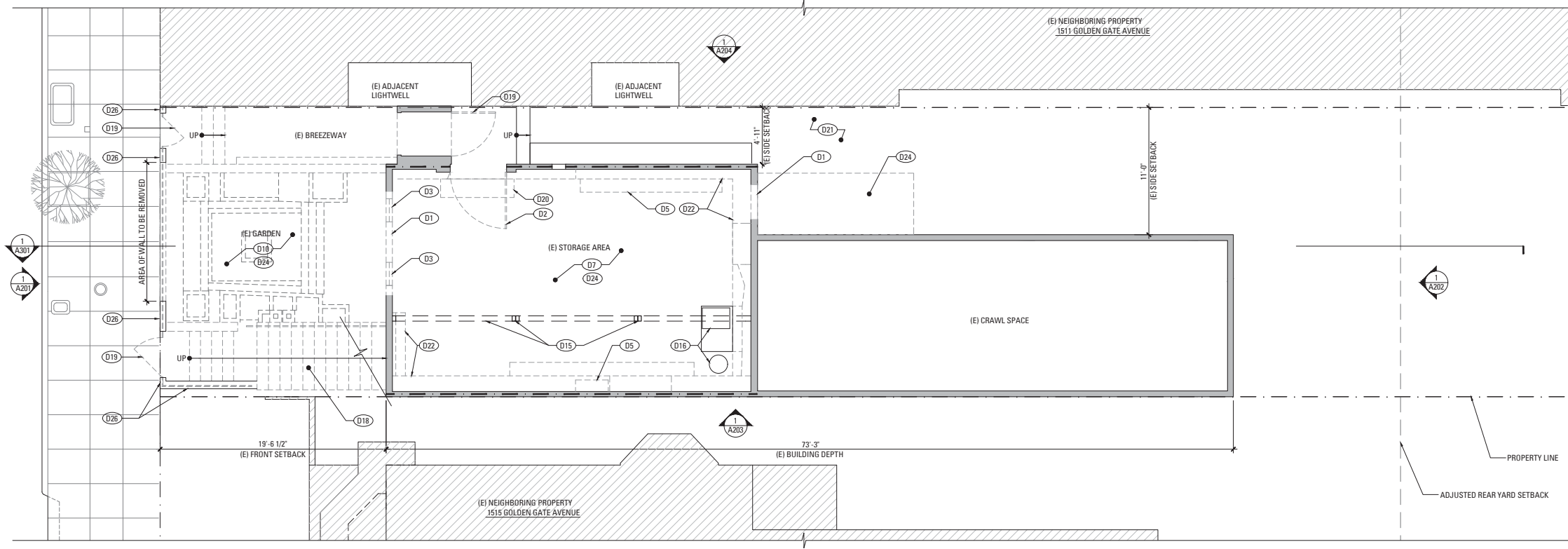
Drawn By:	A.W.
Checked By:	B.M.
Project Number:	17011.1

BASEMENT & FIRST FLOOR EXISTING & DEMO PLANS

SHEET NUMBER
A101



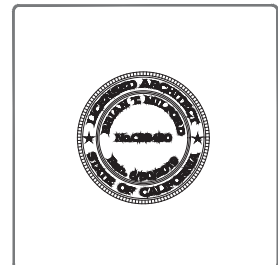
2 FIRST FLOOR EXISTING/DEMOLITION PLAN
SCALE: 3/16" = 1'-0"



1 BASEMENT LEVEL EXISTING/DEMOLITION PLAN (PUBLIC RIGHT-OF-WAY)
SCALE: 3/16" = 1'-0"

2018/05/06

A101 EXISTING & DEMOLITION PLANNING



LEGEND

- (E) CONSTRUCTION TO BE REMOVED
- ===== (E) WALL CONSTRUCTION
- ===== (N) SCHEDULED WALL OR FINISH ASSEMBLY. SEE SHEET A901.
- INDICATES RATED ASSEMBLY. SEE SHEET A901.
- (N) SOUND ATTENUATION BATT INSULATION
- G (N) GAS SHUT OFF. LOCATE IN ACCESSIBLE AREA IN CABINET [CMC 1312.3]

NOTE: ALL (N) WALLS TYPE 'A' U.O.N.

EXISTING & DEMOLITION KEYNOTES

D1	REMOVE (E) WALL TO ACCOMMODATE (N) WORK (S.S.D.)
D2	REMOVE (E) DOOR
D3	REMOVE (E) WINDOW TO ACCOMMODATE (N) WORK
D4	NOT USED.
D5	REMOVE (E) CASEWORK/CABINETS
D6	REMOVE (E) PLUMBING FIXTURE, CAP OFF/RE-ROUTE UTILITY LINES, AS REQUIRED.
D7	REMOVE (E) FINISHES.
D8	REMOVE PORTION OF ROOF TO ACCOMMODATE (N) SKYLIGHT.
D9	(E) STAIR TO REMAIN.
D10	REMOVE (E) PLANTERS AND LANDSCAPE WALLS.
D11	REAR YEAR TO BE RE-GRADED TO ACCOMMODATE (N) WORK.
D12	REMOVE (E) APPLANCE/EQUIPMENT. CAP OFF/REMOVE UTILITY LINES AS REQUIRED.
D13	REMOVE (E) SECOND FLOOR POPOUT
D14	REMOVE (E) ROOF TO ACCOMMODATE (N) WORK
D15	(E) COLUMNS AND BEAM TO REMAIN.
D16	(E) MECHANICAL EQUIPMENT TO BE REPLACED ON-KIND, CAP OFF/RE-ROUTE UTILITY LINES AS REQUIRED.
D17	(E) FLAT ROOF TO REMAIN AS REQUIRED.
D18	(E) EXTERIOR STAIR, HANDRAILS AND FINISHES TO BE REMOVED.
D19	(E) EXTERIOR GATES TO BE REMOVED.
D20	(E) CONCRETE STEP TO BE REMOVED.
D21	(E) CONCRETE WALKWAY TO REMAIN.
D22	(E) FOOTING AND FOUNDATIONS TO BE REMOVED.
D23	(E) SHED ROOF TO REMAIN.
D24	EXCAVATE TO ACCOMMODATE (N) WORK.
D25	(E) ENTRY PORTICO AND ROOF TO BE REMOVED.
D26	(E) PORTIONS OF THE LANDSCAPE WALL TO REMAIN ALONG PROPERTY LINE AND SIDEWALK. ANY MATERIALS REMOVED TO ACCOMMODATE NEW WORK SHALL BE STORED FOR REUSE.
D27	REMOVE (E) PARAPET WALLS.
D28	(E) WOOD FENCE TO REMAIN.
D29	(E) CHIMNEY FLUE TO REMAIN.
D30	(E) SLOPED ROOF TO REMAIN.
D31	(E) DECORATIVE ROOF CORNICE TO REMAIN.

NO. RECORD OF DRAWING ISSUANCE DATE

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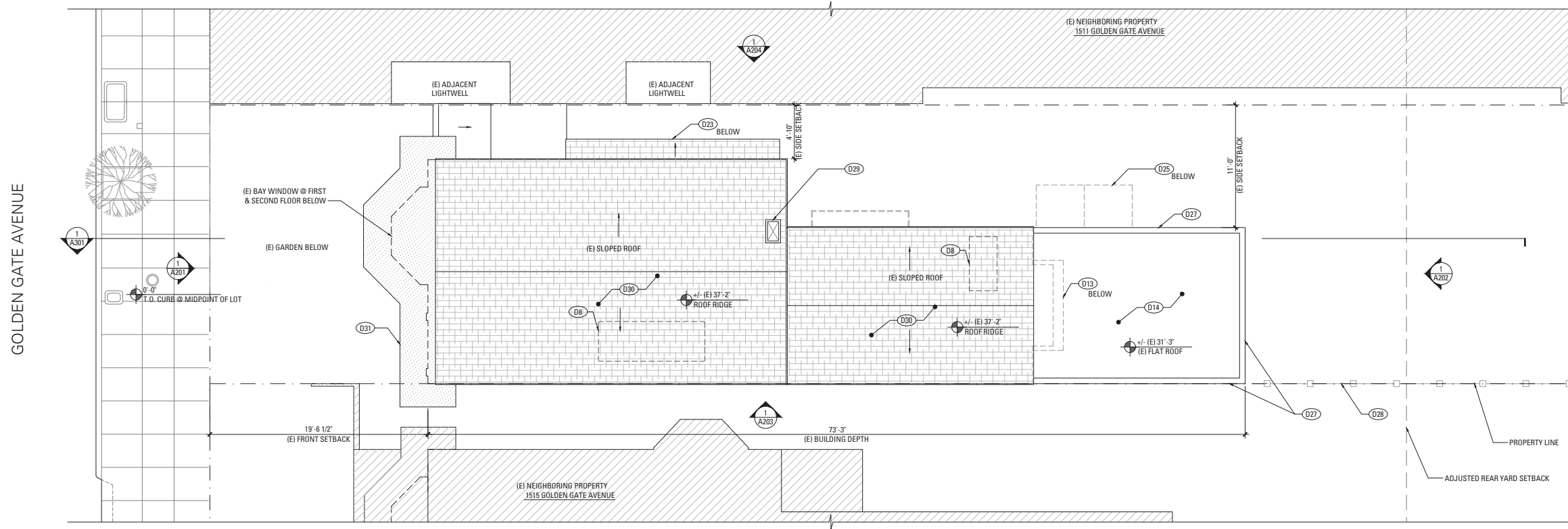
C.O.A. HEARING SET

Drawn By:	A.W.
Checked By:	B.M.
Project Number:	17011.1

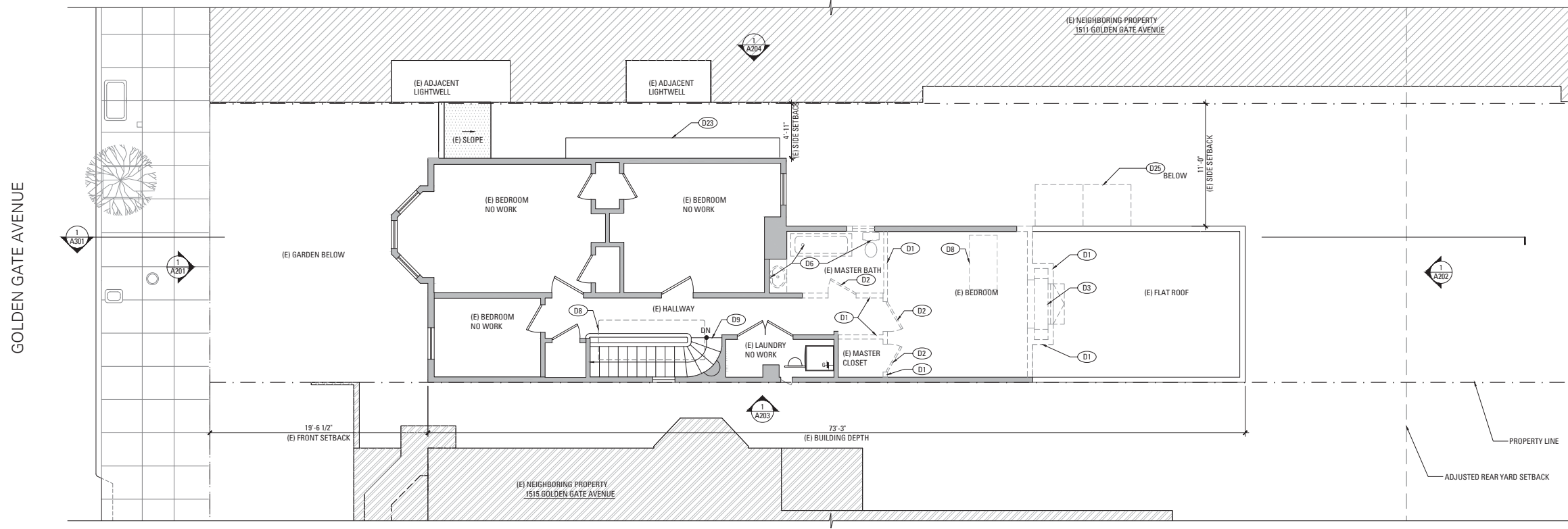
SECOND FLOOR AND ROOF EXISTING & DEMO PLAN

SHEET NUMBER

A102



2 ROOF EXISTING/DEMOLITION PLAN
SCALE: 3/16" = 1'-0"



1 SECOND FLOOR EXISTING AND DEMOLITION PLAN
SCALE: 3/16" = 1'-0"

2018/05/06

A102 EXISTING AND DEMOLITION PLAN.DWG

1513 GOLDEN GATE AVENUE GARAGE ADDITION

1513 GOLDEN GATE AVENUE
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New York, NY 10016
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LEGEND

- (E) CONSTRUCTION TO BE REMOVED
 - (E) WALL CONSTRUCTION
 - (N) SCHEDULED WALL OR FINISH ASSEMBLY. SEE SHEET A901.
 - INDICATES RATED ASSEMBLY. SEE SHEET A901.
 - (N) SOUND ATTENUATION BATT INSULATION
 - (N) GAS SHUT OFF. LOCATE IN ACCESSIBLE AREA IN CABINET [CMC 1312.3]
- NOTE: ALL (N) WALLS TYPE "A" U.O.N.

CONSTRUCTION KEYNOTES

- C1 (N) APPLIANCES AND EQUIPMENT.
- C2 (N) PLUMBING FIXTURES, TYP.
- C3 (N) BUILT-IN CASEWORK. PROVIDE BACKING
- C4 (N) FULL HEIGHT BUILT-IN CASEWORK. PROVIDE BACKING
- C5 (N) PARTIAL HEIGHT FIRE RATED PARAPET
- C6 (N) GLASS SHED ROOF EXTENDS ABOVE.
- C7 (N) GRIPPABLE HANDRAIL @ 36" ABOVE NOSING; DESIGN SHALL RESIST LINEAR LOAD OF 50 P.L.F. IN ACCORDANCE W/ SECTION 4.5.1 OF ASCE 7 PER CBC 1607.8.1;
- C8 (N) GUARDRAIL AT 42" A.F.F. WITH 4" MAX. OPENING; DESIGN SHALL RESIST LINEAR LOAD OF 50 P.L.F. IN ACCORDANCE W/ SECTION 4.5.1 OF ASCE 7 PER CBC 1607.8.1;
- C9 (N) CONCRETE STAIR.
- C10 (N) TEMPERED GLASS SHOWER ENCLOSURE
- C11 (N) SKYLIGHT ABOVE. SEE SCHEDULE
- C12 (E) FENCE TO REMAIN
- C13 PROVIDE MIN. 1/2" TYPE "X" GWB. TO WALLS & MIN. 5/8" TYPE "X" GWB. TO THE CEILING ON THE GARAGE SIDE PER CBC 408.3.4
- C14 (N) FAU. HEAT SYSTEM BY G.C.
- C15 (N) HOT WATER HEATER BY G.C.
- C16 AREA OF INFILL, G.C. TO REUSE (E) LANDSCAPE WALL REMOVED TO ACCOMMODATE NEW DRIVEWAY
- C17 PORTION OF LANDSCAPING WALL TO BE CONSTRUCTED WITH (E) MATERIALS REMOVED TO ACCOMMODATE (N) DRIVEWAY
- C18 (N) CARPENTER-BUILT STAIR;
(3) 2X12 WD. STRINGERS MIN. W/ 3/4" PLYWD. TREADS & RISERS;
P.T. LUMBER AT ALL EXTERIOR CONDITIONS
- C19 (N) GARAGE DOOR W/ MIN 200 SQ. INCH VENTILATION LOUVER
- C20 LOCATION OF EQUAL ACCESS FOR STORAGE. COLLECTION AND LOADING OF RECYCLABLE COMPOSTABLE AND LANDFILL MATERIALS.
- C21 (N) 144 SQUARE FOOT DEDICATED PARKING SPACE
- C22 (N) STAINED WOOD PERGOLA
- C23 (N) FULL HEIGHT BRICK WALL SEE ELEVATIONS.
- C24 (N) GLASS GUARDRAIL WITH PAINTED METAL FRAME AT 42" A.F.F. WITH 4" MAX. OPENING. DESIGN SHALL RESIST LINEAR LOAD OF 50 P.L.F. IN ACCORDANCE W/SECTION 4.5.1 OF ASCE 7 PER CBC 1607.8.1
- C25 (E) FIREPLACE TO REMAIN
- C26 (N) PARTIAL HEIGHT FIRE RATED BRICK WALL. SEE ELEVATIONS.
- C27 (N) CUSTOM GLASS SOLARIUM
- C28 (N) TRENCH DRAINING
- C29 (N) PERMEABLE DRIVEWAY
- C30 (N) PLANTERS AND LANDSCAPE WALLS, 36" MAX. ABOVE GRADE, TYP.
- C31 EXTENT OF (E) UPPER STORY
- C32 AREA OF (E) LANDSCAPE WALL TO REMAIN

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C.O.A. HEARING SET

Drawn By:	A.W.
Checked By:	B.M.
Project Number:	17011.1

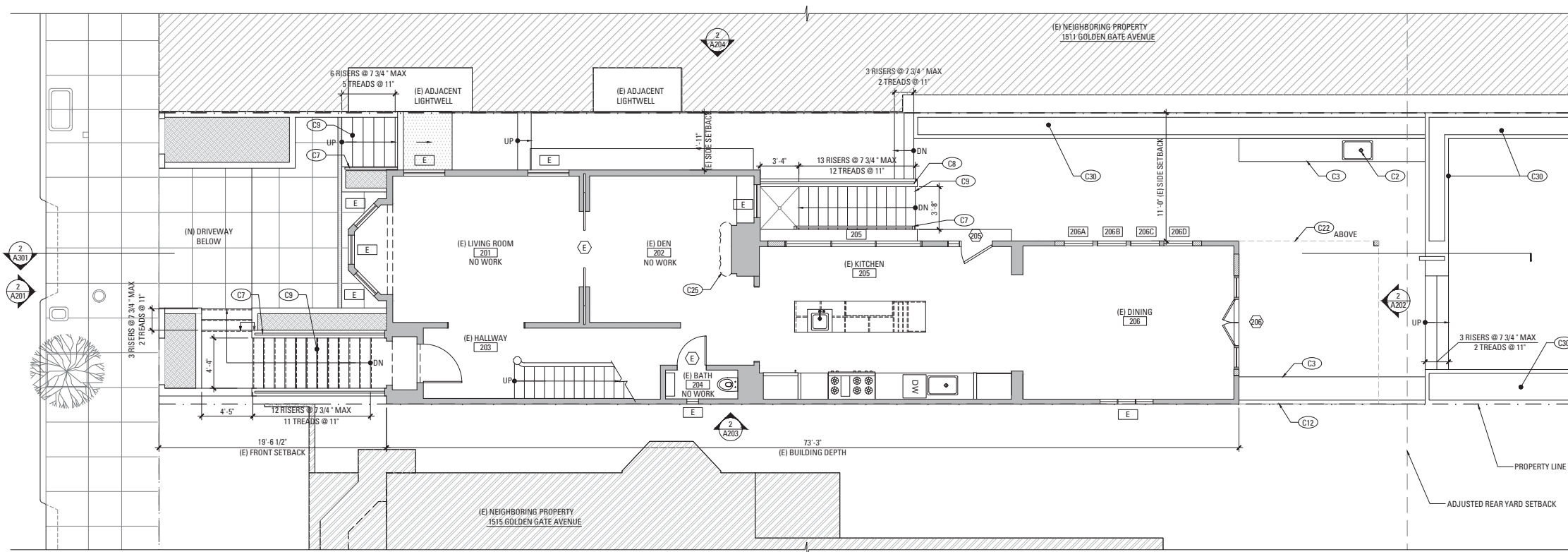
BASEMENT & FIRST FLOOR CONSTRUCTION PLAN

SHEET NUMBER

A111

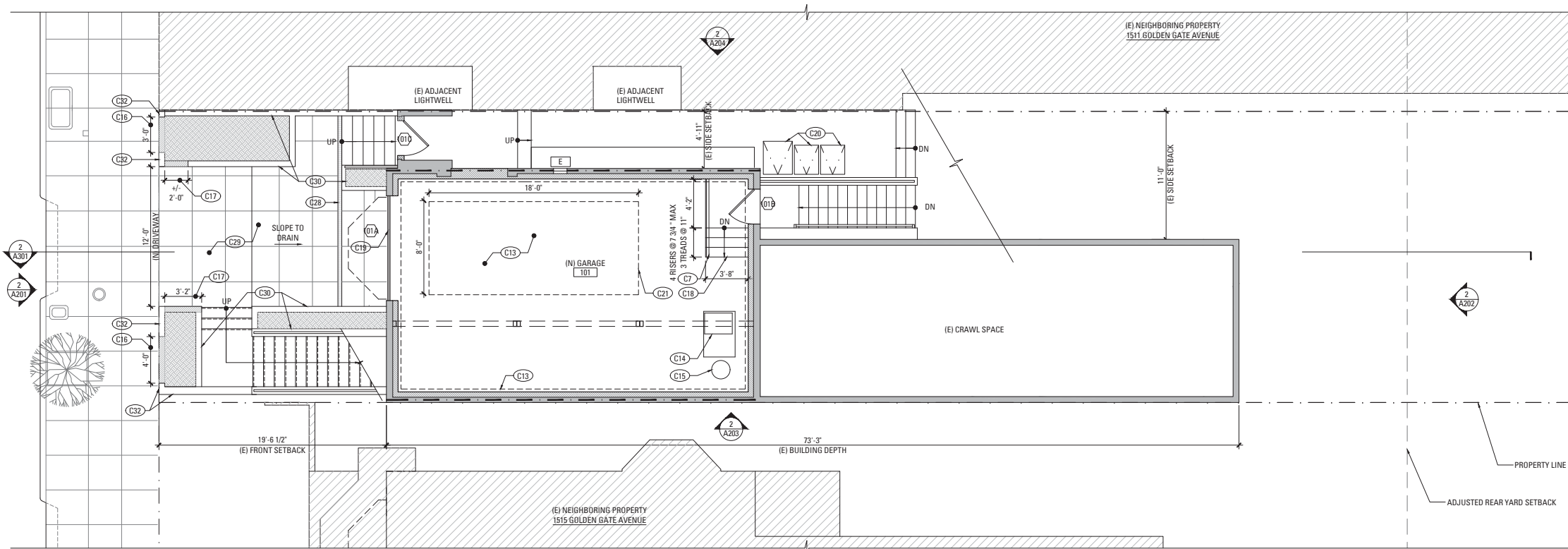
2 FIRST FLOOR CONSTRUCTION PLAN

SCALE: 3/16" = 1'-0"

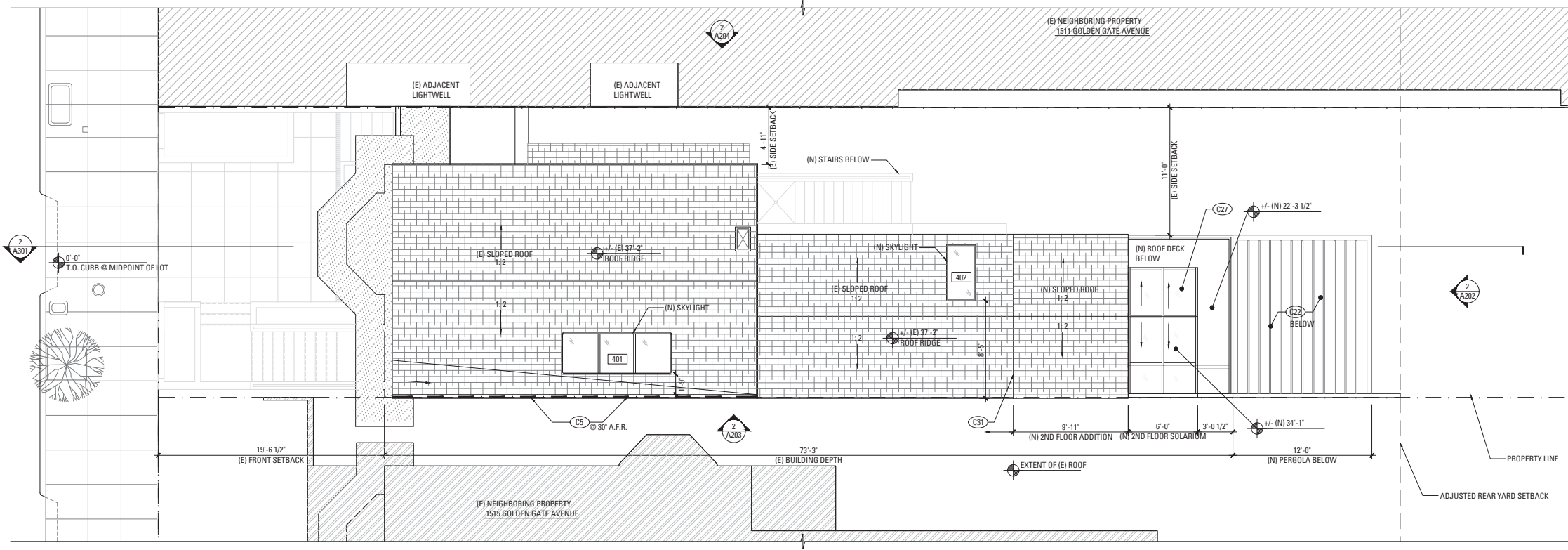


1 BASEMENT LEVEL CONSTRUCTION PLAN (PUBLIC RIGHT-OF-WAY)

SCALE: 3/16" = 1'-0"

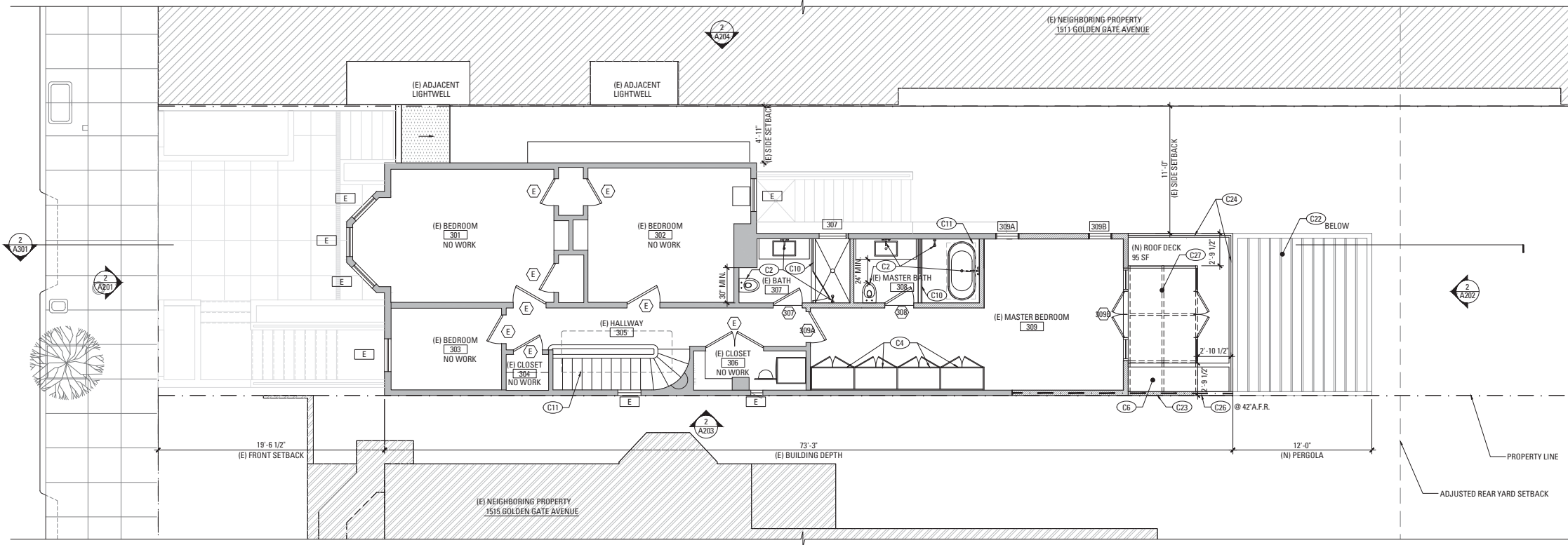


GOLDEN GATE AVENUE



2 ROOF CONSTRUCTION PLAN
SCALE: 1/4" = 1'-0"

GOLDEN GATE AVENUE



1 SECOND FLOOR CONSTRUCTION PLAN
SCALE: 3/16" = 1'-0"

LEGEND

- (E) CONSTRUCTION TO BE REMOVED
- ▬ (E) WALL CONSTRUCTION
- ▨ (N) SCHEDULED WALL OR FINISH ASSEMBLY. SEE SHEET A901.
- (INDICATES RATED ASSEMBLY. SEE SHEET A901.
- ▨ (N) SOUND ATTENUATION BATT INSULATION
- G (N) GAS SHUT OFF. LOCATE IN ACCESSIBLE AREA IN CABINET [CMC 1312.3]

NOTE: ALL (N) WALLS TYPE "A" U.O.N.

CONSTRUCTION KEYNOTES

- C1 (N) APPLIANCES AND EQUIPMENT.
- C2 (N) PLUMBING FIXTURES, TYP.
- C3 (N) BUILT-IN CASEWORK. PROVIDE BACKING
- C4 (N) FULL HEIGHT BUILT-IN CASEWORK. PROVIDE BACKING
- C5 (N) PARTIAL HEIGHT FIRE RATED PARAPET
- C6 (N) GLASS SHED ROOF EXTENDS ABOVE.
- C7 (N) GRIPPABLE HANDRAIL @ 36" ABOVE NOSING; DESIGN SHALL RESIST LINEAR LOAD OF 50 P.L.F. IN ACCORDANCE W/ SECTION 4.5.1 OF ASCE 7 PER CBC 1607.8.1;
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- C9 (N) CONCRETE STAIR.
- C10 (N) TEMPERED GLASS SHOWER ENCLOSURE
- C11 (N) SKYLIGHT ABOVE. SEE SCHEDULE
- C12 (E) FENCE TO REMAIN
- C13 PROVIDE MIN. 1/2" TYPE "X" GWB. TO WALLS & MIN. 5/8" TYPE "X" GWB. TO THE CEILING ON THE GARAGE SIDE PER CBC 406.3.4
- C14 (N) FAN. HEAT SYSTEM BY G.C.
- C15 (N) HOT WATER HEATER BY G.C.
- C16 AREA OF INFILL, G.C. TO REUSE (E) LANDSCAPE WALL REMOVED TO ACCOMMODATE NEW DRIVEWAY
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- C19 (N) GARAGE DOOR W/ MIN 200 SQ. INCH VENTILATION LOUVER
- C20 LOCATION OF EQUAL ACCESS FOR STORAGE. COLLECTION AND LOADING OF RECYCLABLE COMPOSTABLE AND LANDFILL MATERIALS.
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- C28 (N) TRENCH DRAINING
- C29 (N) PERMEABLE DRIVEWAY
- C30 (N) PLANTERS AND LANDSCAPE WALLS, 36" MAX. ABOVE GRADE, TYP.
- C31 EXTENT OF (E) UPPER STORY
- C32 AREA OF (E) LANDSCAPE WALL TO REMAIN

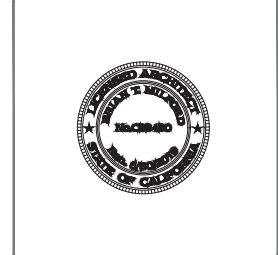
1513 GOLDEN GATE AVENUE GARAGE ADDITION

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New York, NY 10016
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NO.	RECORD OF DRAWING ISSUANCE	DATE
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2	SITE PERMIT SET	01.03.2018
3	PLANNING RESPONSE 1	06.05.2018
4	PLANNING RESPONSE 2	07.23.2018
5	C.O.A. HEARING SET	09.07.2018

C.O.A. HEARING SET
Drawn By: A.W.
Checked By: B.M.
Project Number: 17011.1

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C.O.A. HEARING SET

Drawn By: A.W.
Checked By: B.M.
Project Number: 17011.1

SECOND FLOOR AND ROOF CONSTRUCTION PLAN

SHEET NUMBER

A112

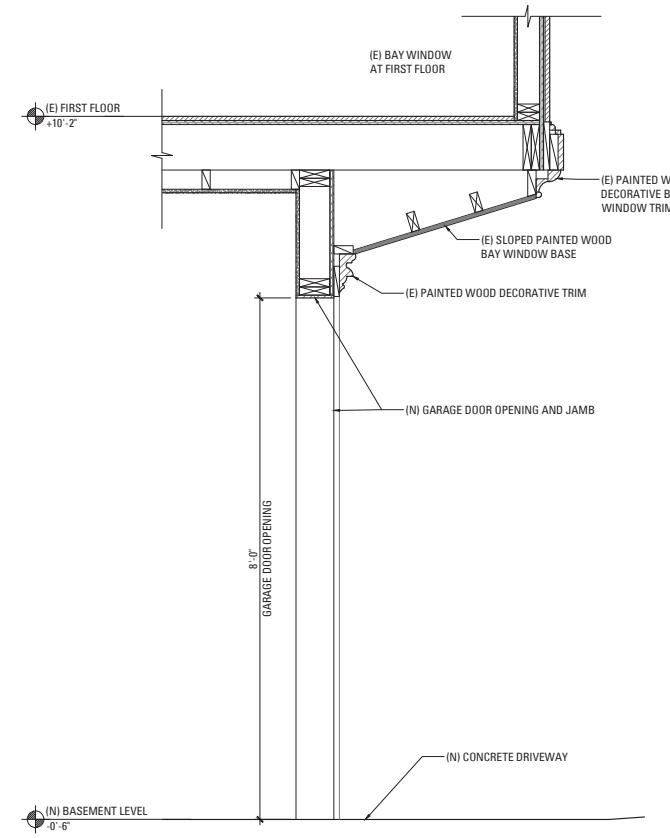
2018/05/08
A112 CONSTRUCTION PLAN.DWG



2 PROPOSED FRONT ELEVATION (NORTH)
SCALE: 3/16" = 1'-0"



1 EXISTING FRONT ELEVATION (NORTH)
SCALE: 3/16" = 1'-0"



3 PROPOSED GARAGE DOOR HEADER SECTION
SCALE: 1" = 1'-0"

ELEVATION KEYNOTES

- (E) WINDOW OR DOOR TO REMAIN
- (D) WINDOW OR DOOR TO BE REMOVED
- (N) WINDOW OR DOOR
- (1) FIRE RATED PARAPET
- (2) PAINTED WOOD SIDING TO BE REMOVED
- (3) PAINTED WOOD CORNICE TO REMAIN
- (4) PAINTED WOOD TRIM TO REMAIN
- (5) PAINTED BRICK FINISH TO REMOVE
- (6) PAINTED STUCCO FINISH TO REMAIN
- (7) PAINTED WOOD SIDING TO REMAIN
- (8) PAINTED WOOD SIDING FINISH TO MATCH (E)
- (9) AREAS OF (E) LANDSCAPE WALLS TO BE REMOVED AND STORED FOR REUSE.
- (10) EXTERIOR STAIRS, HANDRAILS, AND FINISHES, TO BE REMOVED
- (11) FIREWALL AT PROPERTY LINE TO REMAIN
- (12) PROPERTY LINE
- (13) METAL GATE TO BE REMOVED
- (14) ROOF TO BE REMOVED
- (15) PAINTED METAL GUARDRAIL @ EXTERIOR STAIRS
- (16) GLASS GUARDRAIL AT DECK, 42" A.F.F.
- (17) HANDRAIL, TO REMAIN
- (18) CAST IN PLACE CONCRETE STEPS TO HAVE BULL-NOSE EDGE AT NOSING TO MATCH THE (E) WOOD STAIRS
- (19) CUSTOM GLASS SOLARIUM WITH PAINTED METAL FRAMES
- (20) SKYLIGHT, SEE SCHEDULE
- (21) CHIMNEY TO REMAIN
- (22) ADJUSTED REAR YARD SETBACK
- (23) STAINED WOOD PERGOLA
- (24) BRICK WALL
- (25) PAINTED WOOD TRIM
- (26) CONCRETE PLANTERS AND GARDEN/LANDSCAPE WALLS.
- (27) PERMEABLE DRIVEWAY
- (28) PORTICO AND COLUMNS TO BE REMOVED
- (29) POP-OUT TO BE REMOVED
- (30) PAINTED WOOD TRIM TO BE REMOVED
- (31) ROOF TO REMAIN
- (32) ROOF TO MATCH (E)
- (33) FENCE TO REMAIN
- (34) LANDSCAPE GARDEN WALL, <= 36" ABOVE GRADE
- (35) CONCRETE WALL TO REMAIN
- (36) GLASS SHED ROOF ABOVE
- (37) EXTENT OF SECOND FLOOR
- (37) OPEN AREA OF LANDSCAPE WALL TO BE INFILLED WITH (E) MATERIALS REMOVED TO ACCOMMODATE THE (N) DRIVEWAY
- (38) LANDSCAPE WALL ALONG SIDEWALK AND PROPERTY LINE TO REMAIN
- (39) MINIMUM TOTAL 200 SQ. INCH LOUVER IN GARAGE DOOR TO BE PAINTED TO MATCH GARAGE DOOR FINISH
- (40) PAINTED WOOD HANDRAIL WITH PAINTED WOOD NEWEL POSTS ON TOP OF CONCRETE CURB @ EXTERIOR ENTRY STAIRS

1513 GOLDEN GATE AVENUE GARAGE ADDITION

1513 GOLDEN GATE AVENUE
SAN FRANCISCO, CA 94115



101 Montgomery Street Suite 650
San Francisco, CA 94104
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349 5th Avenue
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C.O.A. HEARING SET

Drawn By:	A.W.
Checked By:	B.M.
Project Number:	17011.1

EXTERIOR ELEVATIONS

SHEET NUMBER

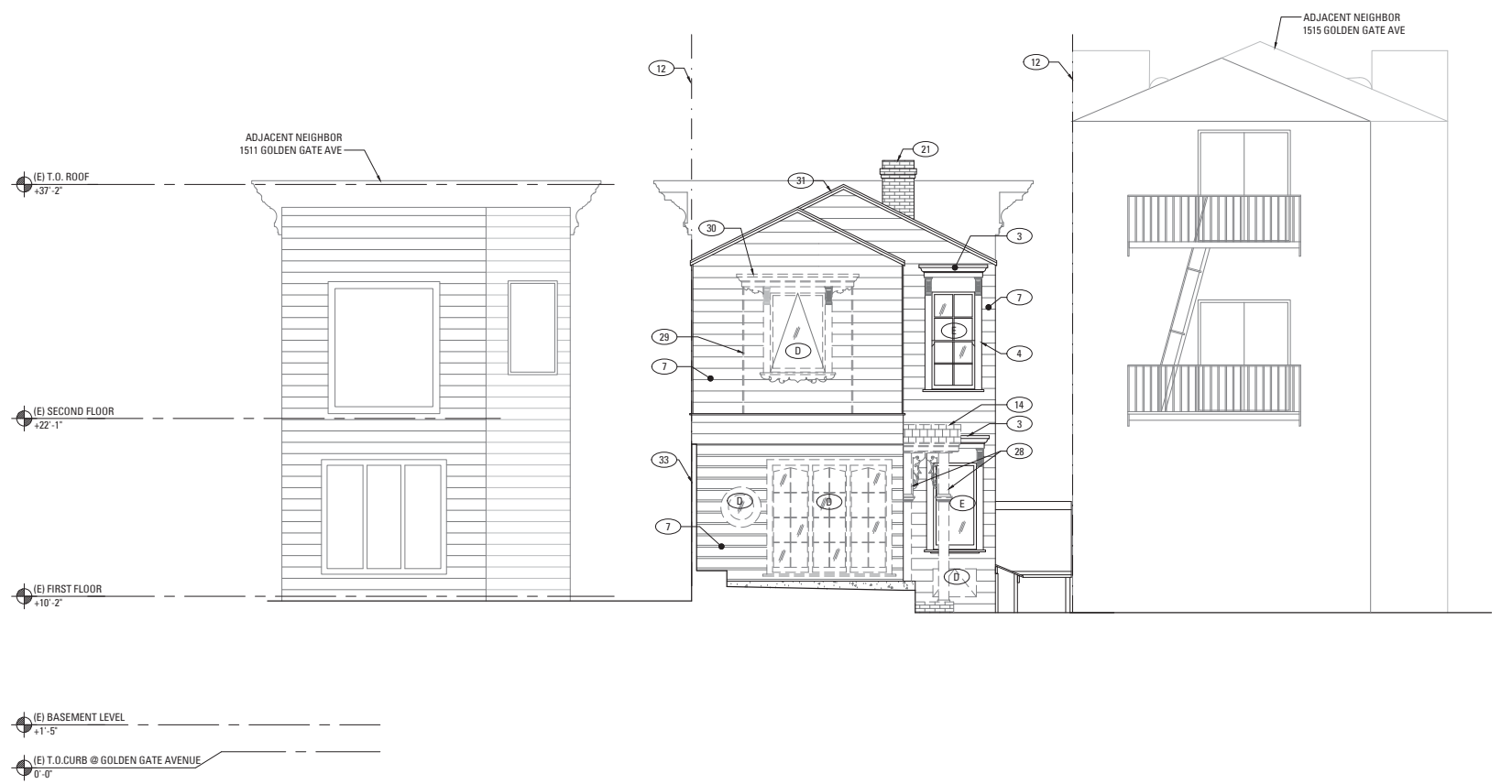
A201

2018/05/07

A201 EXTERIOR ELEVATIONS.DWG



2 PROPOSED REAR ELEVATION (SOUTH)
SCALE: 3/16" = 1'-0"



1 EXISTING REAR ELEVATION (SOUTH)
SCALE: 3/16" = 1'-0"

ELEVATION KEYNOTES	
(E)	(E) WINDOW OR DOOR TO REMAIN
(D)	(E) WINDOW OR DOOR TO BE REMOVED
(N)	(N) WINDOW OR DOOR
1	(N) FIRE RATED PARAPET
2	(E) PAINTED WOOD SIDING TO BE REMOVED
3	(E) PAINTED WOOD CORNICE TO REMAIN
4	(E) PAINTED WOOD TRIM TO REMAIN
5	(E) PAINTED BRICK FINISH TO REMOVE
6	(E) PAINTED STUCCO FINISH TO REMAIN
7	(E) PAINTED WOOD SIDING TO REMAIN
8	(N) PAINTED WOOD SIDING FINISH TO MATCH (E)
9	AREAS OF (E) LANDSCAPE WALLS TO BE REMOVED AND STORED FOR REUSE.
10	(E) EXTERIOR STAIRS, HANDRAILS, AND FINISHES, TO BE REMOVED
11	(E) FIREWALL AT PROPERTY LINE TO REMAIN
12	PROPERTY LINE
13	(E) METAL GATE TO BE REMOVED
14	(E) ROOF TO BE REMOVED
15	(N) PAINTED METAL GUARDRAIL @ EXTERIOR STAIRS
16	(N) GLASS GUARDRAIL AT DECK, 42" A.F.F.
17	(E) HANDRAIL, TO REMAIN
18	(N) CAST IN PLACE CONCRETE STEPS TO HAVE BULL-NOSE EDGE AT NOSING TO MATCH THE (E) WOOD STAIRS
19	(N) CUSTOM GLASS SOLARIUM WITH PAINTED METAL FRAMES
20	(N) SKYLIGHT, SEE SCHEDULE
21	(E) CHIMNEY TO REMAIN
22	ADJUSTED REAR YARD SETBACK
23	(N) STAINED WOOD PERGOLA
24	(N) BRICK WALL
25	(N) PAINTED WOOD TRIM
26	(N) CONCRETE PLANTERS AND GARDEN/LANDSCAPE WALLS.
27	(N) PERMEABLE DRIVEWAY
28	(E) PORTICO AND COLUMNS TO BE REMOVED
29	(E) POP-OUT TO BE REMOVED
30	(E) PAINTED WOOD TRIM TO BE REMOVED
31	(E) ROOF TO REMAIN
32	(N) ROOF TO MATCH (E)
33	(E) FENCE TO REMAIN
34	(N) LANDSCAPE GARDEN WALL, $\leq 36''$ ABOVE GRADE
35	(E) CONCRETE WALL TO REMAIN
36	(N) GLASS SHED ROOF ABOVE
37	(E) EXTENT OF SECOND FLOOR
37	(E) OPEN AREA OF LANDSCAPE WALL TO BE INFILLED WITH (E) MATERIALS REMOVED TO ACCOMMODATE THE (N) DRIVEWAY
38	(E) LANDSCAPE WALL ALONG SIDEWALK AND PROPERTY LINE TO REMAIN
39	MINIMUM TOTAL 200 SQ. INCH LOUVER IN GARAGE DOOR TO BE PAINTED TO MATCH GARAGE DOOR FINISH
40	(N) PAINTED WOOD HANDRAIL WITH PAINTED WOOD NEWEL POSTS ON TOP OF CONCRETE CURB @ EXTERIOR ENTRY STAIRS

1513 GOLDEN GATE AVENUE GARAGE ADDITION

1513 GOLDEN GATE AVENUE
SAN FRANCISCO, CA 94115

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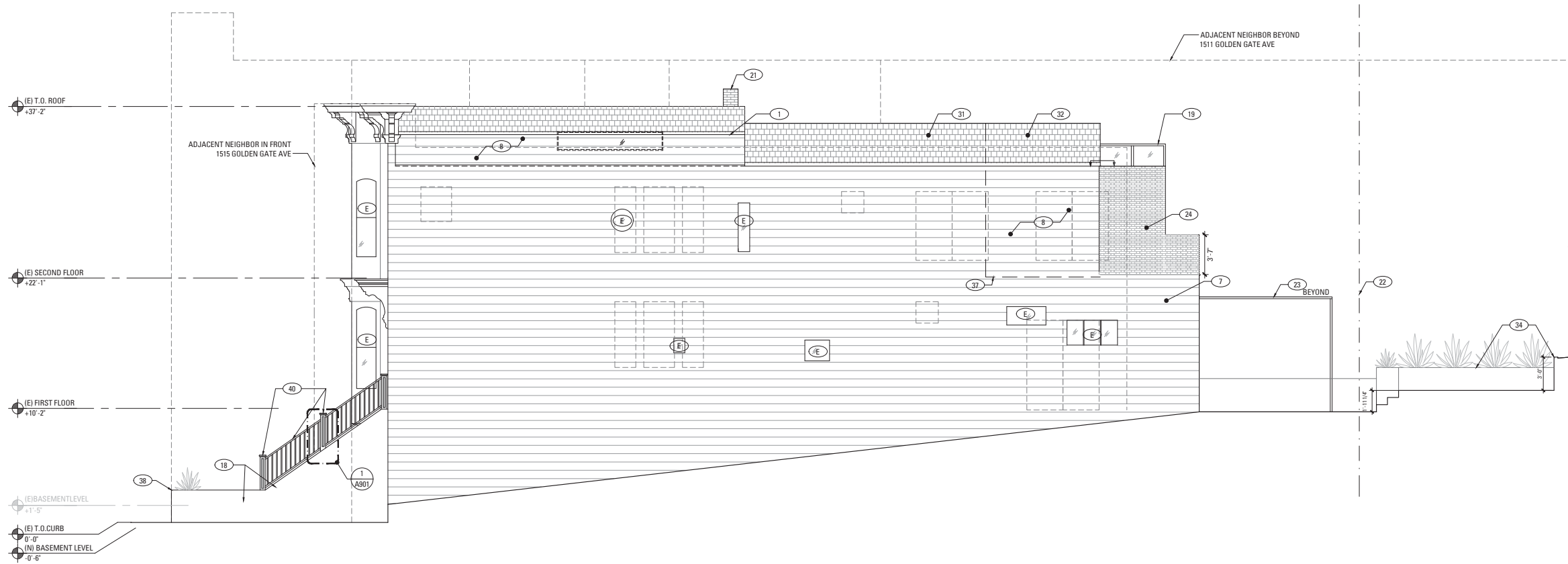
EXTERIOR ELEVATIONS

SHEET NUMBER

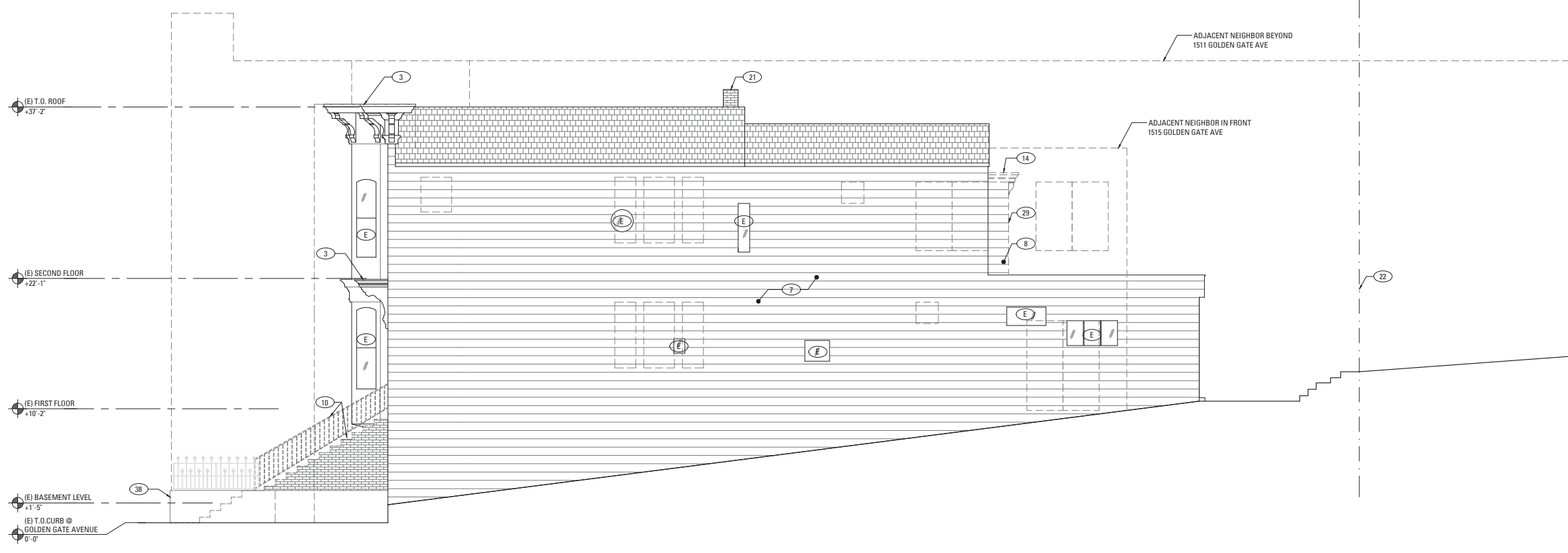
A202

2018/05/06

2018 EXTERIOR ELEVATIONS.DWG



2 PROPOSED SIDE ELEVATION (WEST)
SCALE: 3/16" = 1'-0"

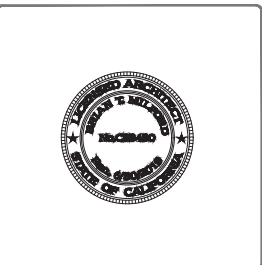


1 EXISTING SIDE ELEVATION (WEST)
SCALE: 3/16" = 1'-0"

ELEVATION KEYNOTES	
(E)	(E) WINDOW OR DOOR TO REMAIN
(D)	(E) WINDOW OR DOOR TO BE REMOVED
(N)	(N) WINDOW OR DOOR
(1)	(N) FIRE RATED PARAPET
(2)	(E) PAINTED WOOD SIDING TO BE REMOVED
(3)	(E) PAINTED WOOD CORNICE TO REMAIN
(4)	(E) PAINTED WOOD TRIM TO REMAIN
(5)	(E) PAINTED BRICK FINISH TO REMOVE
(6)	(E) PAINTED STUCCO FINISH TO REMAIN
(7)	(E) PAINTED WOOD SIDING TO REMAIN
(8)	(N) PAINTED WOOD SIDING FINISH TO MATCH (E)
(9)	AREAS OF (E) LANDSCAPE WALLS TO BE REMOVED AND STORED FOR REUSE.
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(17)	(E) HANDRAIL, TO REMAIN
(18)	(N) CAST IN PLACE CONCRETE STEPS TO HAVE BULL-NOSE EDGE AT NOSING TO MATCH THE (E) WOOD STAIRS
(19)	(N) CUSTOM GLASS SOLARIUM WITH PAINTED METAL FRAMES
(20)	(N) SKYLIGHT, SEE SCHEDULE
(21)	(E) CHIMNEY TO REMAIN
(22)	ADJUSTED REAR YARD SETBACK
(23)	(N) STAINED WOOD PERGOLA
(24)	(N) BRICK WALL
(25)	(N) PAINTED WOOD TRIM
(26)	(N) CONCRETE PLANTERS AND GARDEN/LANDSCAPE WALLS.
(27)	(N) PERMEABLE DRIVEWAY
(28)	(E) PORTICO AND COLUMNS TO BE REMOVED
(29)	(E) POP-OUT TO BE REMOVED
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(31)	(E) ROOF TO REMAIN
(32)	(N) ROOF TO MATCH (E)
(33)	(E) FENCE TO REMAIN
(34)	(N) LANDSCAPE GARDEN WALL, <= 36" ABOVE GRADE
(35)	(E) CONCRETE WALL TO REMAIN
(36)	(N) GLASS SHED ROOF ABOVE
(37)	(E) EXTENT OF SECOND FLOOR
(37)	(E) OPEN AREA OF LANDSCAPE WALL TO BE INFILLED WITH (E) MATERIALS REMOVED TO ACCOMMODATE THE (N) DRIVEWAY
(38)	(E) LANDSCAPE WALL ALONG SIDEWALK AND PROPERTY LINE TO REMAIN
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(40)	(N) PAINTED WOOD HANDRAIL WITH PAINTED WOOD NEWEL POSTS ON TOP OF CONCRETE CURB @ EXTERIOR ENTRY STAIRS

1513 GOLDEN GATE AVENUE GARAGE ADDITION

1513 GOLDEN GATE AVENUE
SAN FRANCISCO, CA 94115



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C.O.A. HEARING SET	
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Project Number:	17011.1

EXTERIOR ELEVATIONS

SHEET NUMBER

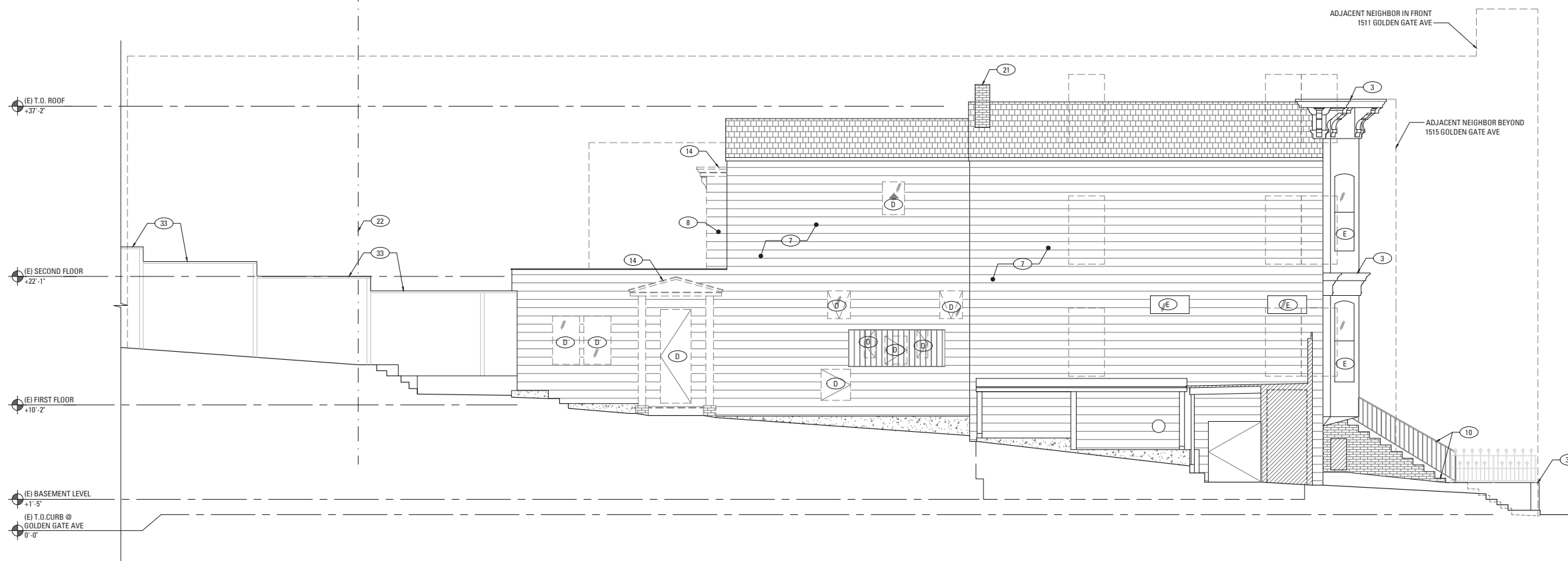
A203

2018/05/07

A203 EXTERIOR ELEVATIONS.DWG



2 PROPOSED SIDE ELEVATION (EAST)
SCALE: 3/16" = 1'-0"

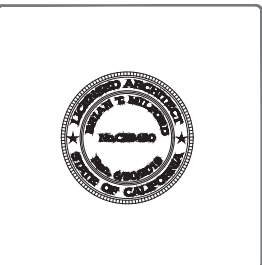


1 EXISTING SIDE ELEVATION (EAST)
SCALE: 3/16" = 1'-0"

ELEVATION KEYNOTES	
(E)	(E) WINDOW OR DOOR TO REMAIN
(D)	(E) WINDOW OR DOOR TO BE REMOVED
(N)	(N) WINDOW OR DOOR
(1)	(N) FIRE RATED PARAPET
(2)	(E) PAINTED WOOD SIDING TO BE REMOVED
(3)	(E) PAINTED WOOD CORNICE TO REMAIN
(4)	(E) PAINTED WOOD TRIM TO REMAIN
(5)	(E) PAINTED BRICK FINISH TO REMOVE
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(17)	(E) HANDRAIL, TO REMAIN
(18)	(N) CAST IN PLACE CONCRETE STEPS TO HAVE BULL-NOSE EDGE AT NOSING TO MATCH THE (E) WOOD STAIRS
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(20)	(N) SKYLIGHT, SEE SCHEDULE
(21)	(E) CHIMNEY TO REMAIN
(22)	ADJUSTED REAR YARD SETBACK
(23)	(N) STAINED WOOD PERGOLA
(24)	(N) BRICK WALL
(25)	(N) PAINTED WOOD TRIM
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(27)	(N) PERMEABLE DRIVEWAY
(28)	(E) PORTICO AND COLUMNS TO BE REMOVED
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(35)	(E) CONCRETE WALL TO REMAIN
(36)	(N) GLASS SHED ROOF ABOVE
(37)	(E) EXTENT OF SECOND FLOOR
(37)	(E) OPEN AREA OF LANDSCAPE WALL TO BE INFILLED WITH (E) MATERIALS REMOVED TO ACCOMMODATE THE (N) DRIVEWAY
(38)	(E) LANDSCAPE WALL ALONG SIDEWALK AND PROPERTY LINE TO REMAIN
(39)	MINIMUM TOTAL 200 SQ. INCH LOUVER IN GARAGE DOOR TO BE PAINTED TO MATCH GARAGE DOOR FINISH
(40)	(N) PAINTED WOOD HANDRAIL WITH PAINTED WOOD NEWEL POSTS ON TOP OF CONCRETE CURB @ EXTERIOR ENTRY STAIRS

1513 GOLDEN GATE AVENUE GARAGE ADDITION

1513 GOLDEN GATE AVENUE
SAN FRANCISCO, CA 94115



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C.O.A. HEARING SET	
Drawn By:	A.W.
Checked By:	B.M.
Project Number:	17011.1

EXTERIOR ELEVATIONS

SHEET NUMBER

A204

2018/05/07

2018 EXTERIOR ELEVATIONS.DWG

VOLUME OF EXCAVATION CALCULATION

EXCAVATION AREA #1 (E) BASEMENT:	25'-0" LOT WIDTH X 29 SQ.FT. = 725 CU.FT. 725 CU.FT. X 1 CU.YD/ 27 CU.FT. = 26.85 CU.YD.
EXCAVATION AREA #2 (E) FRONT GARDEN:	25'-0" LOT WIDTH X 71 SQ.FT. = 1775 CU.FT. 1775 CU.FT. X 1 CU.YD/ 27 CU.FT. = 65.74 CU.YD.
TOTAL AREA OF EXCAVATION	26.85 + 65.74 = 92.59 CU. YD.

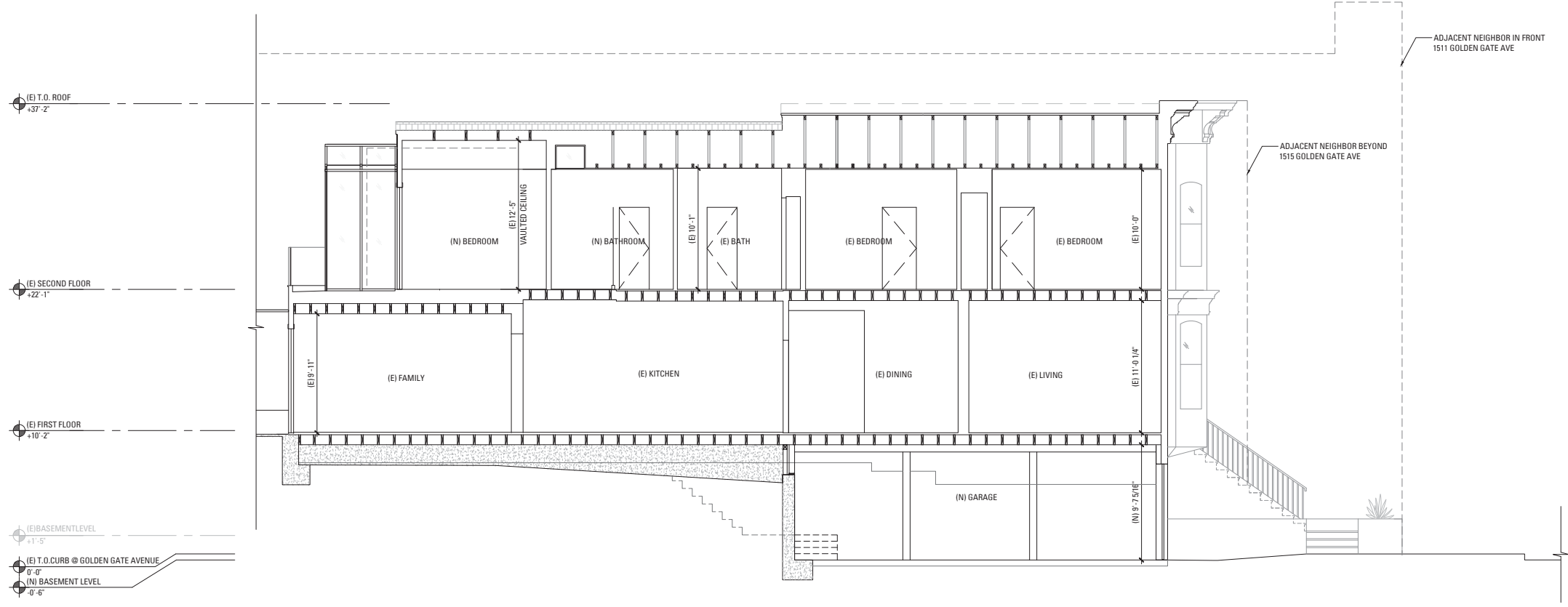
1513 GOLDEN GATE AVENUE GARAGE ADDITION

1513 GOLDEN GATE AVENUE
SAN FRANCISCO, CA 94115

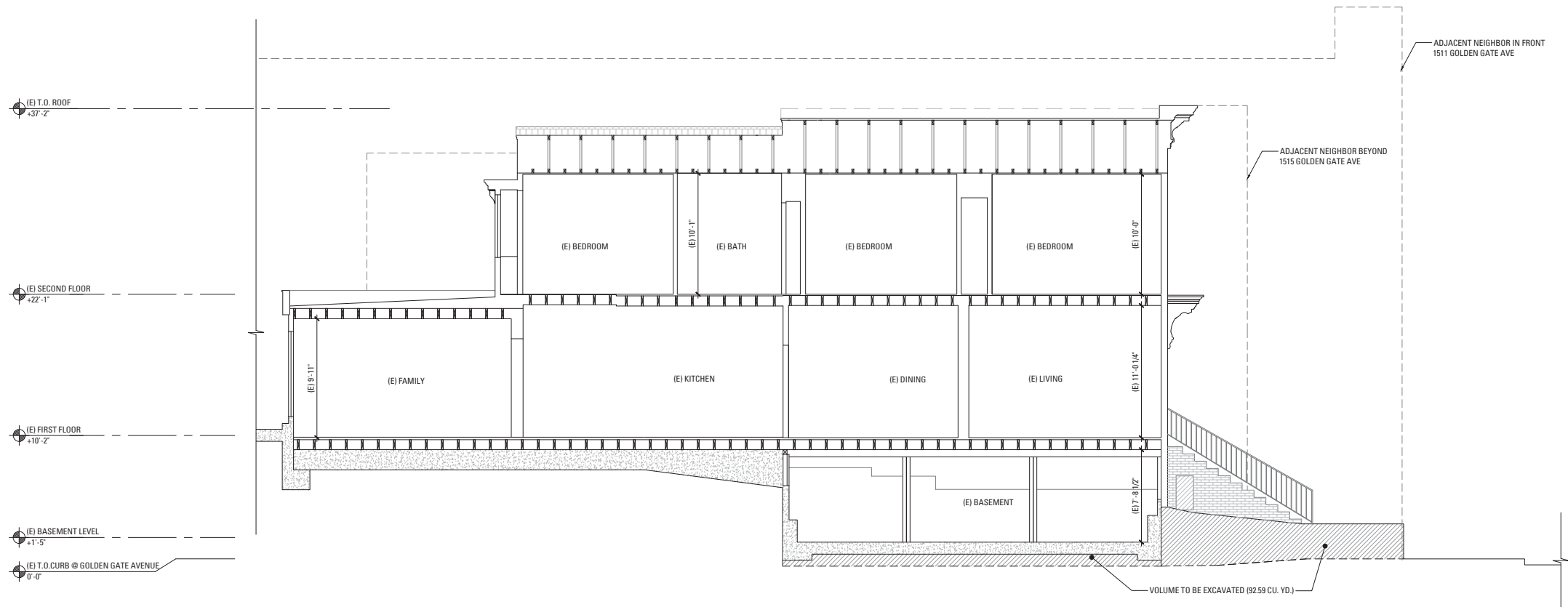
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New York, NY 10016
T 646 741 0341



2 PROPOSED SECTION
SCALE: 3/16" = 1'-0"



1 EXISTING SECTION
SCALE: 3/16" = 1'-0"

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C.O.A. HEARING SET

Drawn By:	A.W.
Checked By:	B.M.
Project Number:	17011.1

SECTIONS

SHEET NUMBER

A301

2018/05/06

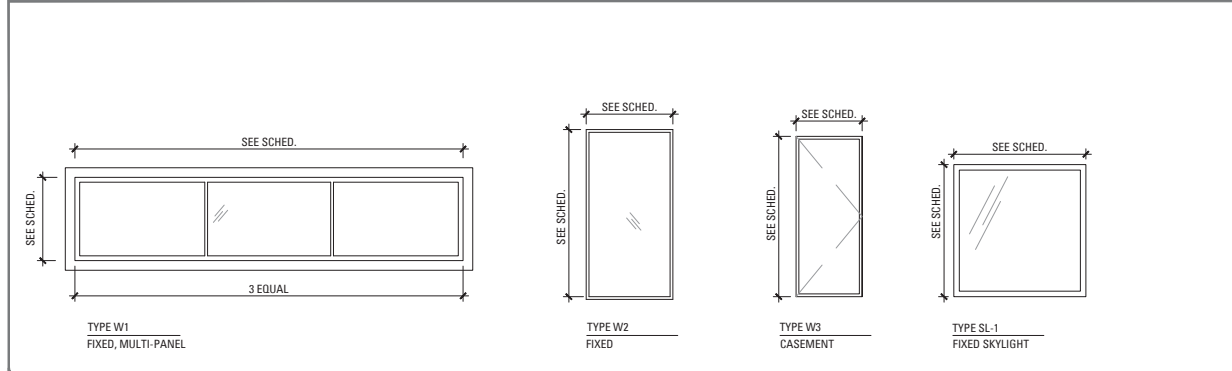
2018 SECTIONS DWG

WINDOW SCHEDULE												
NO.	LOCATION			WINDOW								
	FLOOR	ROOM	VARIABLES	TYPE	HEIGHT	WIDTH	MATERIAL	HEAD HEIGHT A.F.F.	INTERIOR FINISH	EXTERIOR FINISH	MFR.	COMMENTS
E	01,02,03	VARIABLES	VARIABLES	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	--	--
205	02	KITCHEN	W1	2'-6 1/4"	11'-9 1/4"	WOOD	8'-11"	PAINTED WOOD	PAINTED WOOD	MARVIN OR EQUAL	--	--
206A	02	DINING	W2	5'-1 3/4"	2'-5 1/2"	WOOD	8'-7 1/2"	PAINTED WOOD	PAINTED WOOD	MARVIN OR EQUAL	--	--
206B	02	DINING	W2	5'-1 3/4"	2'-5 1/2"	WOOD	8'-7 1/2"	PAINTED WOOD	PAINTED WOOD	MARVIN OR EQUAL	--	--
206C	02	DINING	W2	5'-1 3/4"	2'-5 1/2"	WOOD	8'-7 1/2"	PAINTED WOOD	PAINTED WOOD	MARVIN OR EQUAL	--	--
206D	02	DINING	W2	5'-1 3/4"	2'-5 1/2"	WOOD	8'-7 1/2"	PAINTED WOOD	PAINTED WOOD	MARVIN OR EQUAL	--	--
307	03	BATH	W2	3'-3 1/4"	2'-4"	WOOD	8'-7"	PAINTED WOOD	PAINTED WOOD	MARVIN OR EQUAL	--	SAFETY GLAZING
309A	03	MASTER BEDROOM	W3	4'-10 1/4"	2'-0"	WOOD	8'-7"	PAINTED WOOD	PAINTED WOOD	MARVIN OR EQUAL	--	--
309B	03	MASTER BEDROOM	W3	4'-10 1/4"	2'-0"	WOOD	8'-7"	PAINTED WOOD	PAINTED WOOD	MARVIN OR EQUAL	--	--
401	--	HALLWAY	SL-1	9'-6 1/2"	3'-7"	WOOD	--	TBD	COLOR TO MATCH (E) ROOF	TBD	--	SAFETY GLAZING, MAXIMUM GLAZING PANEL TO BE 16 SQ. FT. SHALL BE FLAT AND MOUNTED ON LOW CURB
402	--	MASTER BATH	SL-1	4'-10 1/4"	2'-6"	WOOD	--	TBD	COLOR TO MATCH (E) ROOF	TBD	--	SAFETY GLAZING, MAXIMUM GLAZING PANEL TO BE 16 SQ. FT. SHALL BE FLAT AND MOUNTED ON LOW CURB

WINDOW & SKYLIGHT NOTES

- ALL DIMENSIONS ARE UNIT SIZES TO OUTSIDE FRAME DIMENSIONS, U.O.N.
- SILL OR HEAD HEIGHTS GIVEN ARE TO INSIDE OF UNIT OR INSIDE OF FRAME, U.O.N.
- GENERAL CONTRACTOR TO PROVIDE CODE COMPLIANT SAFETY GLAZING WHERE REQUIRED
- EGRESS WINDOWS TO COMPLY WITH 2016 CBC SECTION 1030 AND SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET, A MINIMUM NET CLEAR OPENING HEIGHT OF 24" AND MINIMUM NET OPENING WIDTH OF 20" AS A RESULT OF NORMAL OPERATION OF THE OPENING. THE BOTTOM OF THE OPENING SHALL NOT BE GREATER THAN 44" ABOVE FINISHED FLOOR.
- WINDOW TO BE GLAZED WITH DOUBLE PANE, LOW-E CLEAR GLASS, 0.32 U-FACTOR OR BETTER, WITH U.V. PROTECTION, U.O.N.
- PER 2016 CBC SECTION 1015.8, AT OPERABLE EXTERIOR WINDOWS LOCATED MORE THAN 72" ABOVE FINISHED GRADE OR OTHER SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE AT A HEIGHT NOT LESS THAN 36" ABOVE THE FINISHED FLOOR SURFACE OF THE ROOM IN WHICH THE WINDOW IS LOCATED. GLAZING BETWEEN THE FLOOR AND A HEIGHT OF 36" SHALL BE FIXED OR HAVE OPENINGS THROUGH WHICH A 4" DIAMETER SPHERE CANNOT PASS. EXCEPTION: OPENINGS THAT ARE PROVIDED WITH WINDOW GUARDS THAT COMPLY WITH ASTM F 2006, F 2090 OR 1015.8.
- ALL GLAZED EXTERIOR DOORS AND WINDOWS TO HAVE THERMAL SEAL GASKETING, U.O.N.
- ALL EXTERIOR DOORS AND WINDOWS TO HAVE GALVANIZED SHEET METAL PAN FLASHING AND GALVANIZED METAL HEAD FLASHING, U.O.N.
- ALL EXTERIOR DOOR AND WINDOW OPENINGS SHALL HAVE SELF-ADHERED FLASHING
- ALL GAPS BETWEEN FRAMING AND EXTERIOR DOOR & WINDOW FRAMES TO BE FILLED WITH EXPANDING FOAM INSULATION

WINDOW & SKYLIGHT TYPES

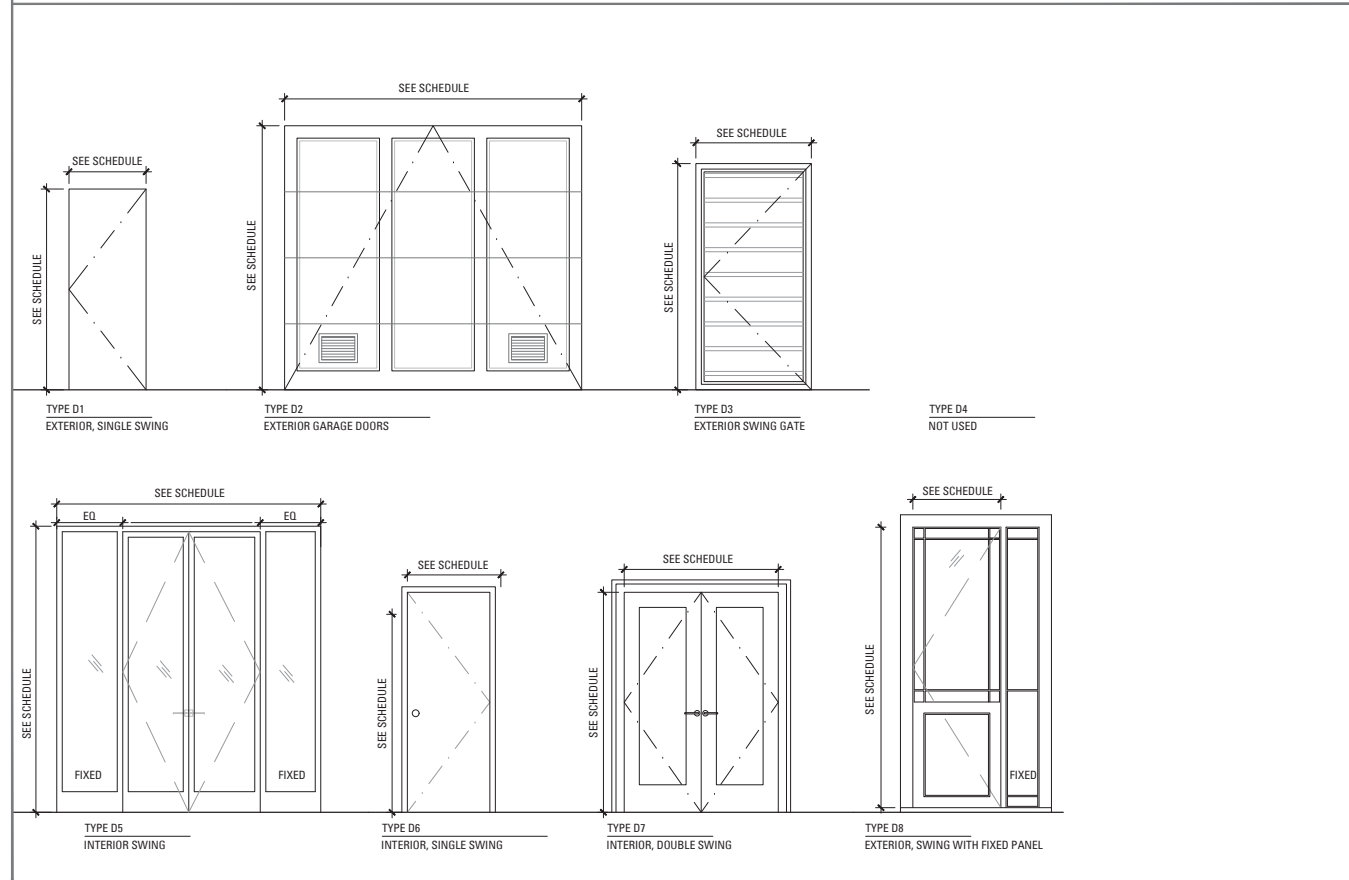


DOOR SCHEDULE											
TYPE	DOOR								FRAME		COMMENTS
	ELEV. TYPE	ROOM NAME	WIDTH	HEIGHT	THICK	MATERIAL	FINISH	MATERIAL	FINISH		
E	EXISTING	VARIABLES	--	--	--	EXISTING	EXISTING	EXISTING	EXISTING	--	--
01A	D2	GARAGE	9'-0"	8'-0"	2"	WD	PT	WD	PT	--	MINIMUM 200 SQ INCH LOUVER, PAINTED TO MATCH GARAGE DOOR FINISH
01B	D1	GARAGE	3'-0"	6'-8"	1 3/4"	WD	PT	WD	PT	--	20-MIN RATED DOOR AND FRAME
01C	D3	GARAGE	3'-0"	6'-11"	1 3/4"	WD	PT	WD	PT	--	--
025	D8	KITCHEN	2'-7 1/2"	8'-6"	1 3/4"	WD	PT	WD	PT	--	--
026	D5	DINING	4'-0"	8'-6"	1 3/4"	WD	PT	WD	PT	--	--
027	D6	BATH	2'-6"	6'-8"	1 3/4"	WD	PT	WD	PT	--	--
028	D6	MASTER BATH	2'-6"	6'-8"	1 3/4"	WD	PT	WD	PT	--	--
029	D6	MASTER BEDROOM	2'-8"	6'-8"	1 3/4"	WD	PT	WD	PT	--	--
029	D5	MASTER BEDROOM	8'-0"	6'-8"	1 3/4"	WD	PT	WD	PT	--	--

DOOR NOTES

- HARDWARE ON RATED DOORS SHALL BEAR UL LABEL
- GENERAL CONTRACTOR TO PROVIDE CODE COMPLIANT SAFETY GLAZING WHERE REQUIRED
- GENERAL CONTRACTOR TO VERIFY SIZE OF DOORS TO FIT IN (E) OPENINGS
- EXTERIOR DOORS TO BE GLAZED WITH DOUBLE PANE, LOW-E CLEAR GLASS WITH U.V. PROTECTION
- PROVIDE MASTER BEDROOM & ALL BATHROOMS W/ PRIVACY LOCKS.

DOOR TYPES



1513 GOLDEN GATE AVENUE GARAGE ADDITION

1513 GOLDEN GATE AVENUE
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NO.	RECORD OF DRAWING ISSUANCE	DATE
1	PRE-APPLICATION MEETING	12.19.2017
2	SITE PERMIT SET	01.03.2018
3	PLANNING RESPONSE 1	06.05.2018
4	PLANNING RESPONSE 2	07.23.2018
5	C.O.A. HEARING SET	09.07.2018

C.O.A. HEARING SET

Drawn By:	A.W.
Checked By:	B.M.
Project Number:	17011.1

SCHEDULES

SHEET NUMBER

A901

1 ENLARGED FRONT ENTRY STAIR HANDRAIL ELEVATION DETAIL
SCALE: 1" = 1'-0"

