



SAN FRANCISCO PLANNING DEPARTMENT

Certificate of Appropriateness Case Report

HEARING DATE: OCTOBER 17, 2018

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San Francisco,
CA 94103-2479

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Filing Date: May 30, 2018
Case No.: 2017-015622COA
Project Address: 925 PIERCE STREET
Historic Landmark: Alamo Square Landmark District
Zoning: RH-3 (Residential-House, Three Family)
40-X Height and Bulk District
Block/Lot: 0776/001
Applicant: Serina Calhoun
Syncopated Architecture
657 Fillmore Street
San Francisco, CA 94117
Staff Contact Jonathan Vimr – (415) 575-9109
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Reviewed By Tim Frye – (415) 575-6822
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PROPERTY DESCRIPTION

925 PIERCE STREET, at the southwest corner of the intersection of Pierce Street and Golden Gate Avenue, Assessor's Block 0776, Lot 001 (District 5). The subject property is developed with a three-story over basement, twelve-unit residential building completed in 1912 by Felix Marcuse, a builder (the architect is unknown). It features an elaborate cornice, ornamental brick cladding along all but one elevation, and textured stucco at the bay windows. The property is contributory to the Alamo Square Landmark District, which was designated in 1984, and has period of significance "from the 1870s to the 1920s."

PROJECT DESCRIPTION

The proposed project is to remove an existing garage door and infill the opening with wooden windows, sill, and bulkhead as part of the conversion of one (1) existing garage and storage space into one (1) new accessory dwelling unit. Additional work would include replacement of several ground level windows along Pierce Street; one new window opening at that same level; a new door opening in place of an existing window at the Golden Gate façade; and related interior alterations. New street trees and curb healing are also included in the overall scope.

Please see photographs and plans for details.

OTHER ACTIONS REQUIRED

Since the building contains Rental Units, as defined in Section 37.2(r) of the Administrative Code, the property owner shall enter into an agreement with the City stating that the new Accessory Dwelling

Units are not subject to the Costa Hawkins Rental Housing Act (California Civil Code Section 1954.50) and will be subject to the San Francisco Residential Rent Stabilization and Arbitration Ordinance (Chapter 37 of the Administrative Code). This agreement must be fully executed prior to the City's issuance of the first construction document.

COMPLIANCE WITH THE PLANNING CODE PROVISIONS

The proposed project is in compliance with all other provisions of the Planning Code.

APPLICABLE PRESERVATION STANDARDS

ARTICLE 10

Pursuant to Section 1006.2 of the Planning Code, unless exempt from the Certificate of Appropriateness requirements or delegated to Planning Department preservation staff through the Administrative Certificate of Appropriateness process, the Historic Preservation Commission is required to review any application for the construction, alteration, removal, or demolition of any designated Landmark for which a City permit is required. Section 1006.6 states that in evaluating a request for a Certificate of Appropriateness for an individual landmark or a contributing building within a historic district, the Historic Preservation Commission must find that the proposed work is in compliance with the Secretary of the Interior's Standards for the Treatment of Historic Properties, as well as the designating ordinance and any applicable guidelines, local interpretations, bulletins, related appendices, or other policies.

ARTICLE 10 – Appendix E – Alamo Square Landmark District

In reviewing an application for a Certificate of Appropriateness, the Historic Preservation Commission must consider whether the proposed work would be compatible with the character of the Alamo Square Landmark District as described in Appendix E of Article 10 of the Planning Code and the character-defining features specifically outlined in the designating ordinance.

THE SECRETARY OF THE INTERIOR'S STANDARDS

Rehabilitation is the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features that convey its historical, cultural, or architectural values. The Rehabilitation Standards provide, in relevant part(s):

Standard 1: A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

The proposed project does not involve a change in use of the property. Therefore, the proposed project complies with Rehabilitation Standard 1.

Standard 2: The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

The historic character of the property will be preserved. Work along the Pierce Street façade is limited to the replacement of several existing ground level windows with wooden casement windows largely within the same openings; the only exception being the shifting of the southernmost window and one new opening adjacent to it. This will provide additional exposure for the new dwelling unit while resulting in minimal loss of brick cladding at the partially obscured ground level. Similarly, a single window at the Golden Gate Avenue façade would be removed with the opening expanded to allow for a door to access the new unit. A single garage opening would be infilled with a pair of double-hung windows, a wooden sill, and a wooden bulkhead within the same opening. All the new windows as well as the door would be composed of wood, which is not just compatible with the subject building but is a character-defining material that is ubiquitous within the District, as is reflected in the designating ordinance. The new double-hung windows at the garage opening infill system will be aligned with the existing fenestration at the upper floors of the building in order to maintain a consistent fenestration pattern. The overall infill system will be composed of wood, in contrast to the surrounding brick, which coupled with its inset positioning will allow it to be visually legible as an alteration to the garage opening.

Although the garage opening appears to be original to the building, and is reflective of developmental changes in response to the spread of automobiles, it is not a character-defining feature. The designating ordinance (Appendix E to Article 10 of the Planning Code) states that the character-defining features of the District are the exterior architectural features of the buildings in addition to street and park furniture. The corresponding Landmark Preservation Advisory Board's case report more specifically describes these features as including painted wood siding; the elaborate ornamentation of Victorian style buildings; consistent fenestration patterns; bay windows; paneled entries with accompanying porticos; obscured roofs; double-hung wood windows; front steps; designs responsive to hillside topography; and notes that larger, compatible apartment block buildings—such as 925 Pierce Street—frequently punctuate corners within the District and include traditional compositions with subdued classical revivalist ornamentation focused on cornices and entries. Nowhere is auto-oriented development discussed, nor are garages noted as character-defining or even mentioned beyond reference to small garages on two of the four vacant lots present within the District at the time of designation.

As the new windows and infill system will be inset within the opening, the structure's defined base in contrast to the projecting bays of the upper levels will be retained and no ornamentation will be altered. A small amount of historic brick at the base of the building will be removed, but this is limited to a portion of the partially obscured ground level along Pierce Street and to non-ornamental brick cladding underneath an existing Golden Gate Avenue window opening. None of the decorative brickwork found at the upper levels will be altered. The proposed conditions of approval will ensure that the new infill system appropriately meets and attaches to the historic wall. Therefore, the proposed project complies with Rehabilitation Standard 2.

Standard 3: Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

The proposed project does not include the addition of conjectural elements or architectural features from other buildings. The new double-hung windows will not include the integrated ogee lugs found on the historic windows, and will be located within the inset infill system, which will create differentiation without resulting in incompatibility. Achieving compatible differentiation is particularly significant for this project as the garage opening is original to the building and the alteration of this element must be legible. Given the distinction between the new wood infill system and the surrounding brick cladding, as well as its punched appearance, the project will successfully do so and therefore complies with Rehabilitation Standard 3.

Standard 4: Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

The proposed project does not involve alterations to changes to the property that have acquired significance in their own right. Therefore, the proposed project complies with Rehabilitation Standard 4.

Standard 5: Distinctive features, finishes, and construction techniques or examples of fine craftsmanship that characterize a property will be preserved.

The garage opening and door to be modified as part of the proposed project, while original to building, are utilitarian in character and not distinctive elements. The Alamo Square Landmark District's designating ordinance (Appendix E to Article 10 of the Planning Code) states that the character-defining features of the District are the exterior architectural features of the buildings in addition to street and park furniture. The corresponding Landmark Preservation Advisory Board's case report more specifically describes these features as including painted wood siding; the elaborate ornamentation of Victorian style buildings; consistent fenestration patterns; bay windows; paneled entries with accompanying porticos; obscured roofs; double-hung wood windows; front steps; designs responsive to hillside topography; and notes that larger, compatible apartment block buildings—such as 925 Pierce Street—frequently punctuate corners within the District and include traditional compositions with subdued classical revivalist ornamentation focused on cornices and entries. Nowhere is auto-oriented development discussed, nor are garages noted as character-defining or even mentioned beyond reference to small garages on two of the four vacant lots present within the District at the time of designation.

As the new windows and infill system will be inset within the opening, the structure's defined base in contrast to the projecting bays of the upper levels will be retained and no ornamentation will be altered. A small amount of historic brick at the base of the building will be removed, but this is limited to a portion of the partially obscured ground level along Pierce Street and to non-ornamental brick cladding underneath an existing Golden Gate Avenue window opening. None of the decorative brickwork found at the upper levels will be altered. The proposed conditions of approval will ensure that the new infill system appropriately meets and attaches to the historic wall. Therefore, the proposed project complies with Rehabilitation Standard 5.

Standard 6: Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacements of a distinctive feature, the new feature will match the old in design, color, texture and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

The proposed project does not call for the replacement or repair of deteriorated historic features, with the exception of any necessary repairs to the historic brick base in connection with the removal of the garage door and existing basement level windows. Where necessary, damaged bricks or mortar will be repaired with matching materials. Therefore, the proposed project complies with Rehabilitation Standard 6.

Standard 7: Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

The proposed project will involve limited cleaning of the historic brick at the base of the building in connection with the modification of the single garage opening and installation of new windows and door. Only gentle cleaning methods will be used in order to avoid damage to historic materials at the subject property. Therefore, the proposed project complies with Rehabilitation Standard 7.

Standard 8: Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures will be undertaken.

The proposed project does not involve any excavation work. Therefore, the proposed project complies with Rehabilitation Standard 8.

Standard 9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Work along the Pierce Street façade is limited to the replacement of several existing ground level windows with wooden casement windows largely within the same openings; the only exception being the shifting of the southernmost window and one new opening adjacent to it. This will provide additional exposure for the new dwelling unit while resulting in minimal loss of brick cladding at the partially obscured ground level. Similarly, a single window at the Golden Gate Avenue façade would be removed with the opening expanded to allow for a door to access the new unit. A single garage opening would be infilled with a pair of double-hung windows, a wooden sill, and a wooden bulkhead within the same opening. All the new windows as well as the door would be composed of wood, which is not just compatible with the subject building but is a character-defining material that is ubiquitous within the District, as is reflected in the designating ordinance. The new double-hung windows at the garage opening infill system will be aligned with

the existing fenestration at the upper floors of the building in order to maintain a consistent fenestration pattern. The overall infill system will be composed of wood, in contrast to the surrounding brick, which coupled with its inset positioning will allow it to be visually legible as an alteration to the garage opening. The project therefore appears to be consistent with the fenestration pattern, materials, size, scale, and proportion of the subject property and those within the District and thus complies with Rehabilitation Standard 9.

Standard 10: New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The proposed project would not affect the essential form and integrity of the building or surrounding district, as the work visible from a public right-of-way is limited to a portion of the base of the building and will not meaningfully affect any character-defining features of the subject property. The new windows and door could be removed in the future, and the garage opening could be restored without impacting the essential form and integrity of the landmark. Therefore, the proposed project complies with Rehabilitation Standard 10.

Summary: The Department finds that the overall project is consistent with the *Secretary of the Interior Standards for Rehabilitation*.

PUBLIC/NEIGHBORHOOD INPUT

As of publication, the Department has received no letters stating opposition or support of the project.

STAFF ANALYSIS

Included as an exhibit are architectural drawings of the existing building and the proposed project. Based on the requirements of Article 10 and the *Secretary of Interior's Standards*, Department staff has determined the following:

The proposed project would retain the existing residential use of the building and would cause minimal changes to the form of the building without removing any character-defining features or materials, with the exception of a limited amount of historic brick at the base of the building. The District's designating ordinance (Appendix E to Article 10 of the Planning Code) states that the character-defining features of the Alamo Square Landmark District are the exterior architectural features of the buildings located within the District in addition to street and park furniture. The corresponding Landmark Preservation Advisory Board's case report more specifically describes these features as including painted wood siding; the elaborate ornamentation of Victorian style buildings; consistent fenestration patterns; bay windows; paneled entries often with accompanying porticos; obscured roofs; double-hung wood windows; front steps; designs that are responsive to hillside topography; and notes that larger, compatible apartment block buildings—such as 925 Pierce Street—frequently punctuate corners within the District and feature traditional compositions with subdued classical revivalist ornamentation focused on cornices and entries.

As proposed, the project would affect none of these elements. The garage opening to be modified, while likely original to the building, is not a character-defining feature and as such the proposed alterations will not destroy historic materials, features, and spatial relationships that characterize the property. The new wood double-hung windows and infill system will be compatible with the property, as wood is a ubiquitous material within the District that also manages to provide differentiation from the surrounding brick, and the double-hung windows will match the material and operation of historic windows while achieving differentiation due to the lack of ogee lugs and their placement within the inset infill system. Compatibility will be further achieved through the alignment of the new double-hung windows with those at the upper levels.

Both the replacement windows along Pierce Street—and the one new window—as well as the new door at the Golden Gate Avenue façade will be composed of wood. This again reflects the appropriate material for the property and District at large, as is reflected in the designating ordinance.

The project will involve the removal of a limited amount of historic brick at the base of the building in connection with the modifications to the ground level window openings. Having said that, the total removal will entail very little brick, all of which is non-ornamental in contrast to the decorative brickwork found at the upper levels.

The Department staff therefore finds that proposed work will be in conformance with the Secretary's Standards and requirements of Article 10, and that the proposed work is compatible with the character-defining features of the subject site and those of the Alamo Square Landmark District.

ENVIRONMENTAL REVIEW STATUS

The Planning Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15301 (Class One-Minor Alteration of Existing facility) because the project is a minor alteration of an existing structure and meets the *Secretary of the Interior's Standards*.

PLANNING DEPARTMENT RECOMMENDATION

Planning Department staff recommends APPROVAL WITH CONDITIONS of the proposed project as it appears to meet the *Secretary of the Interior's Standards for Rehabilitation*.

CONDITIONS OF APPROVAL

To ensure that the proposed work is undertaken in conformance with this Certificate of Appropriateness, staff recommends the following conditions:

1. As part of the Building Permit, the project sponsor shall provide final details regarding the attachment of the garage infill system with existing building reveals to Planning Department preservation staff for review and approval.

2. As part of the Building Permit, the project sponsor shall contact Planning Department preservation staff to arrange a site visit for the review and approval of a mockup of the wood infill system's attachment to an existing building reveal.
3. As part of the Building Permit, material samples for any replacement brick that may be needed shall be provided to Planning Department preservation staff for review and approval.

ATTACHMENTS

Draft Motion

Exhibits

- Parcel Map
- 1998 Sanborn Map
- Alamo Square Landmark District Map
- Aerial Photograph
- Zoning Map
- Site Photographs

Reduced Project Plans



SAN FRANCISCO PLANNING DEPARTMENT

Historic Preservation Commission

Motion No. #####

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ADOPTING FINDINGS FOR A CERTIFICATE OF APPROPRIATENESS FOR PROPOSED WORK DETERMINED TO BE APPROPRIATE FOR AND CONSISTENT WITH THE PURPOSES OF ARTICLE 10, TO MEET THE STANDARDS OF ARTICLE 10 AND TO MEET THE SECRETARY OF INTERIOR'S STANDARDS FOR REHABILITATION, FOR THE PROPERTY LOCATED ON LOT 001 IN ASSESSOR'S BLOCK 0776, WITHIN THE RH-3 (RESIDENTIAL-HOUSE, THREE FAMILY) ZONING DISTRICT, A 40-X HEIGHT AND BULK DISTRICT, AND THE ALAMO SQUARE LANDMARK DISTRICT.

PREAMBLE

WHEREAS, on May 30, 2018 Serina Calhoun ("Project Sponsor") filed an application with the San Francisco Planning Department (hereinafter "Department") for a Certificate of Appropriateness for exterior and interior alterations of the subject property including: modifications to one garage opening with the removal of a garage door and the installation of wood windows, sill, and bulkhead; replacement of the basement level windows along the Pierce Street façade; one new window opening at that level; a new door opening in place of an existing window at the Golden Gate Avenue façade; and interior alterations as part of the conversion of one existing garage and storage space to one accessory dwelling unit.

WHEREAS, the Project was determined by the Department to be categorically exempt from environmental review. The Historic Preservation Commission ("Commission") has reviewed and concurs with said determination.

WHEREAS, on October 17, 2018, the Commission conducted a duly noticed public hearing on the current project, Case No. 2017-015622COA (Project) for its appropriateness.

WHEREAS, in reviewing the Application, the Commission has had available for its review and consideration case reports, plans, and other materials pertaining to the Project contained in the Department's case files, has reviewed and heard testimony and received materials from interested parties during the public hearing on the Project.

MOVED, that the Commission hereby grants the Certificate of Appropriateness, in conformance with the architectural plans labeled Exhibit A on file in the docket for Case 2017-015622COA based on the following conditions and findings:

CONDITIONS

1. As part of the Building Permit, the project sponsor shall provide final details regarding the attachment of the garage infill system with existing building reveals to Planning Department preservation staff for review and approval.
2. As part of the Building Permit, the project sponsor shall contact Planning Department preservation staff to arrange a site visit for the review and approval of a mockup of the wood infill system's attachment to an existing building reveal.
3. As part of the Building Permit, material samples for any replacement brick that may be needed shall be provided to Planning Department preservation staff for review and approval.

FINDINGS

Having reviewed all the materials identified in the recitals above and having heard oral testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and also constitute findings of the Commission.
2. Findings pursuant to Article 10:

The Historic Preservation Commission has determined that the proposed work is compatible with the character of the landmark as described in the designation report.

- The project will retain the existing residential use of the building.
- The project would cause minimal changes to the form of the building without removing any character-defining features or materials, with the exception of a minimal amount of historic brick at the base of the building. As such, the proposed changes will not destroy historic materials, features, and spatial relationships that characterize the property.

- Apartment block buildings such as 925 Pierce Street are contributing properties within the Alamo Square Landmark District for their tripartite composition and the subdued revivalist ornamentation centered around entries and cornices. Garage openings and auto-oriented development patterns are not character-defining features within the District.
- The project will ensure that the new wood windows at the ground floor of the Golden Gate Avenue façade will be compatible with the historic windows in that they will match the materials, operation, and alignment, while being differentiated from the historic windows due to their lack of integrated ogee lugs and their location within the punched garage opening infill.
- The proposed project meets the requirements of Article 10, Appendix E of the Planning Code.
- The proposed project meets the following *Secretary of Interior's Standards for Rehabilitation*:

Standard 1.

A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

Standard 2.

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

Standard 3.

Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

Standard 5.

Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.

Standard 9.

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Standard 10.

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

3. **General Plan Compliance.** The proposed Certificate of Appropriateness is, on balance, consistent with the following Objectives and Policies of the General Plan:

I. URBAN DESIGN ELEMENT

THE URBAN DESIGN ELEMENT CONCERNS THE PHYSICAL CHARACTER AND ORDER OF THE CITY, AND THE RELATIONSHIP BETWEEN PEOPLE AND THEIR ENVIRONMENT.

GOALS

The Urban Design Element is concerned both with development and with preservation. It is a concerted effort to recognize the positive attributes of the city, to enhance and conserve those attributes, and to improve the living environment where it is less than satisfactory. The Plan is a definition of quality, a definition based upon human needs.

OBJECTIVE 1

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

POLICY 1.3

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

OBJECTIVE 2

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

POLICY 2.4

Preserve notable landmarks and areas of historic, architectural or aesthetic value, and promote the preservation of other buildings and features that provide continuity with past development.

POLICY 2.5

Use care in remodeling of older buildings, in order to enhance rather than weaken the original character of such buildings.

POLICY 2.7

Recognize and protect outstanding and unique areas that contribute in an extraordinary degree to San Francisco's visual form and character.

The goal of a Certificate of Appropriateness is to provide additional oversight for buildings and districts that are architecturally or culturally significant to the City in order to protect the qualities that are associated with that significance.

The proposed project qualifies for a Certificate of Appropriateness and therefore furthers these policies and objectives by maintaining and preserving the character-defining features of the contributory property and landmark district for the future enjoyment and education of San Francisco residents and visitors.

4. The proposed project is generally consistent with the eight General Plan priority policies set forth in Section 101.1 in that:

- A) The existing neighborhood-serving retail uses will be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses will be enhanced:

The proposed project is for the rehabilitation of a residential property and will not have any effect on neighborhood-serving retail uses.

- B) The existing housing and neighborhood character will be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods:

The proposed project will strengthen neighborhood character by respecting the character-defining features of the site and landmark district in conformance with the Secretary of the Interior's Standards.

- C) The City's supply of affordable housing will be preserved and enhanced:

The project will not reduce the affordable housing supply as the existing units will be retained and six new housing units will be added as part of the proposed work.

- D) The commuter traffic will not impede MUNI transit service or overburden our streets or neighborhood parking:

The proposed project will not result in commuter traffic impeding MUNI transit service or overburdening the streets or neighborhood parking.

- E) A diverse economic base will be maintained by protecting our industrial and service sectors from displacement due to commercial office development. And future opportunities for resident employment and ownership in these sectors will be enhanced:

The proposed project will not have any impact on industrial and service sector jobs.

- F) The City will achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

Preparedness against injury and loss of life in an earthquake will be improved by the proposed work. The work will be executed in compliance with all applicable construction and safety measures.

- G) That landmark and historic buildings will be preserved:

The proposed project is in conformance with Article 10 of the Planning Code and the Secretary of the Interior's Standards.

H) Parks and open space and their access to sunlight and vistas will be protected from development:

The proposed project will not impact the access to sunlight or vistas for the parks and open space.

5. For these reasons, the proposal overall, is appropriate for and consistent with the purposes of Article 10, meets the standards of Article 10, and the Secretary of Interior's Standards for Rehabilitation, General Plan and Prop M findings of the Planning Code.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES WITH CONDITIONS a Certificate of Appropriateness** for the property located at Lot 001 in Assessor's Block 0776 for proposed work in conformance with the renderings and architectural sketches labeled Exhibit A on file in the docket for Case No. 2017-015622COA.

APPEAL AND EFFECTIVE DATE OF MOTION: The Commission's decision on a Certificate of Appropriateness shall be final unless appealed within thirty (30) days. Any appeal shall be made to the Board of Appeals, unless the proposed project requires Board of Supervisors approval or is appealed to the Board of Supervisors as a conditional use, in which case any appeal shall be made to the Board of Supervisors (see Charter Section 4.135).

Duration of this Certificate of Appropriateness: This Certificate of Appropriateness is issued pursuant to Article 10 of the Planning Code and is valid for a period of three (3) years from the effective date of approval by the Historic Preservation Commission. The authorization and right vested by virtue of this action shall be deemed void and canceled if, within 3 years of the date of this Motion, a site permit or building permit for the Project has not been secured by Project Sponsor.

THIS IS NOT A PERMIT TO COMMENCE ANY WORK OR CHANGE OF OCCUPANCY UNLESS NO BUILDING PERMIT IS REQUIRED. PERMITS FROM THE DEPARTMENT OF BUILDING INSPECTION (and any other appropriate agencies) MUST BE SECURED BEFORE WORK IS STARTED OR OCCUPANCY IS CHANGED.

I hereby certify that the Historical Preservation Commission ADOPTED the foregoing Motion on October 17, 2018.

Jonas P. Ionin
Commission Secretary

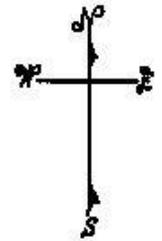
AYES: X

NAYS: X

ABSENT: X

ADOPTED: October 17, 2018

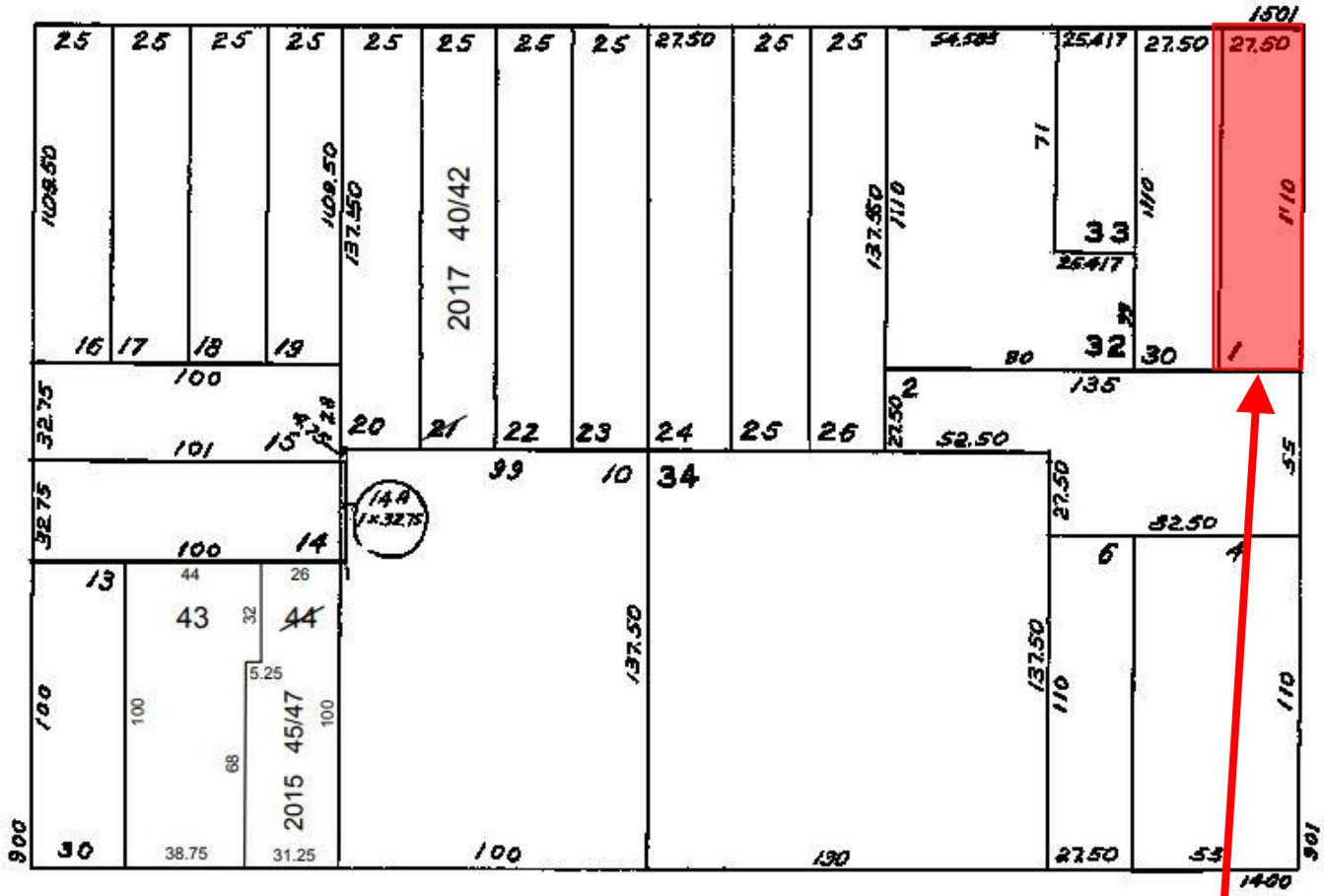
Parcel Map



GOLDEN GATE AVE.

SCOTT

PIERCE



Mc ALLISTER

SUBJECT PROPERTY



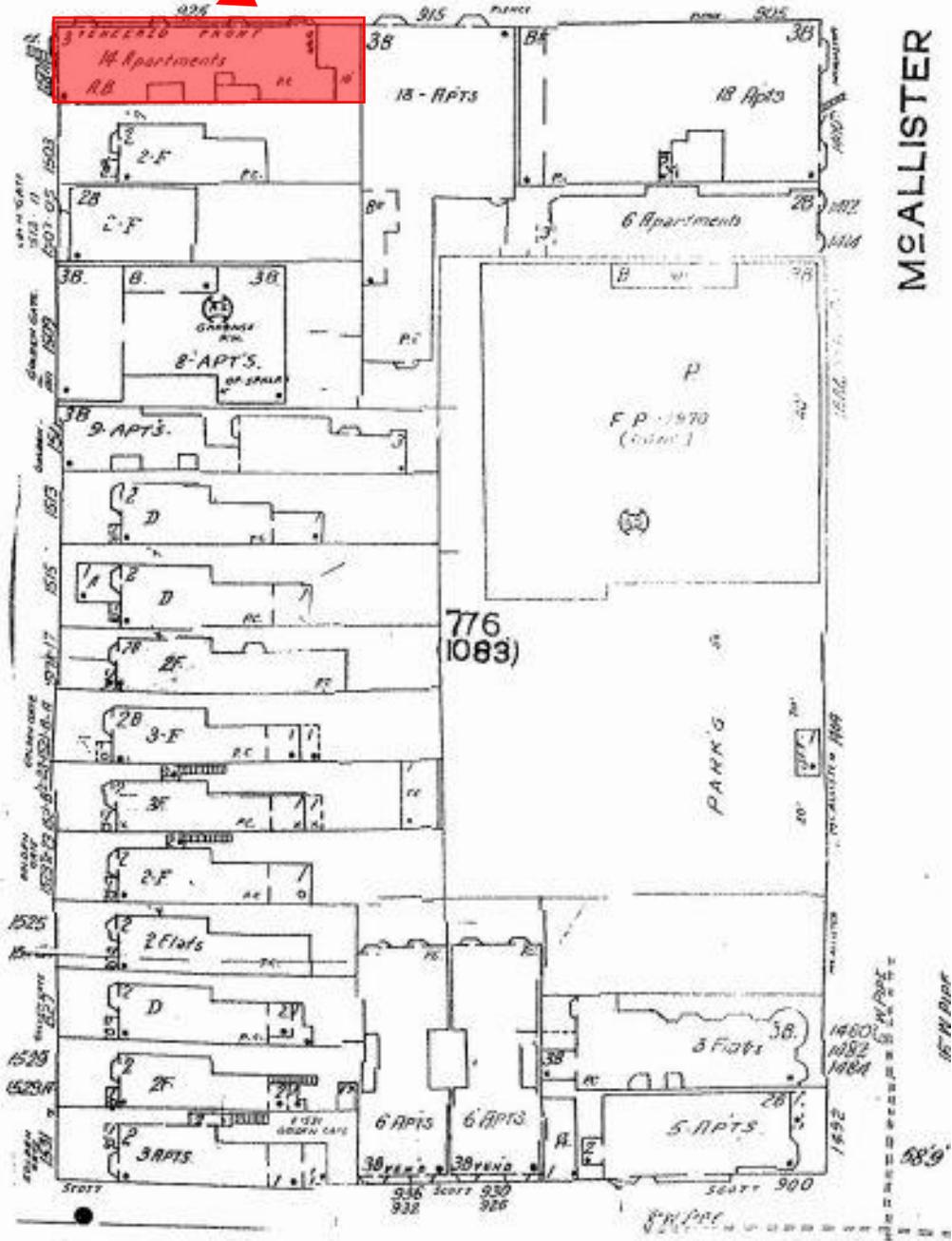
Certificate of Appropriateness
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 925 Pierce Street

Sanborn Map*

SUBJECT PROPERTY

GOLDEN GATE

MCALLISTER



*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.

Certificate of Appropriateness
Case Number 2017-015622COA
925 Pierce Street



Alamo Square Landmark District

ALAMO SQUARE HISTORIC DISTRICT



SUBJECT PROPERTY



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925 Pierce Street

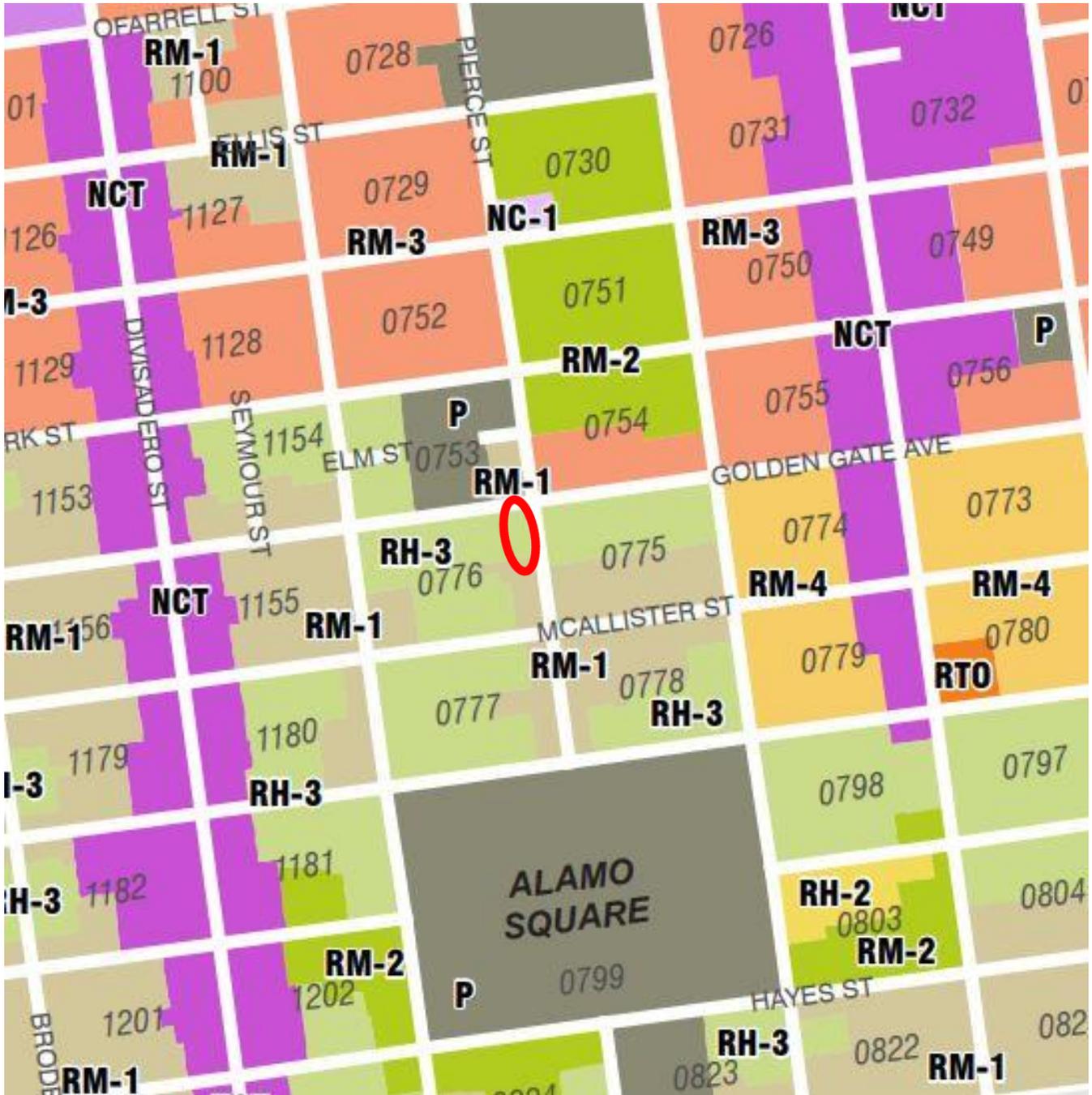
Aerial Photograph

SUBJECT PROPERTY



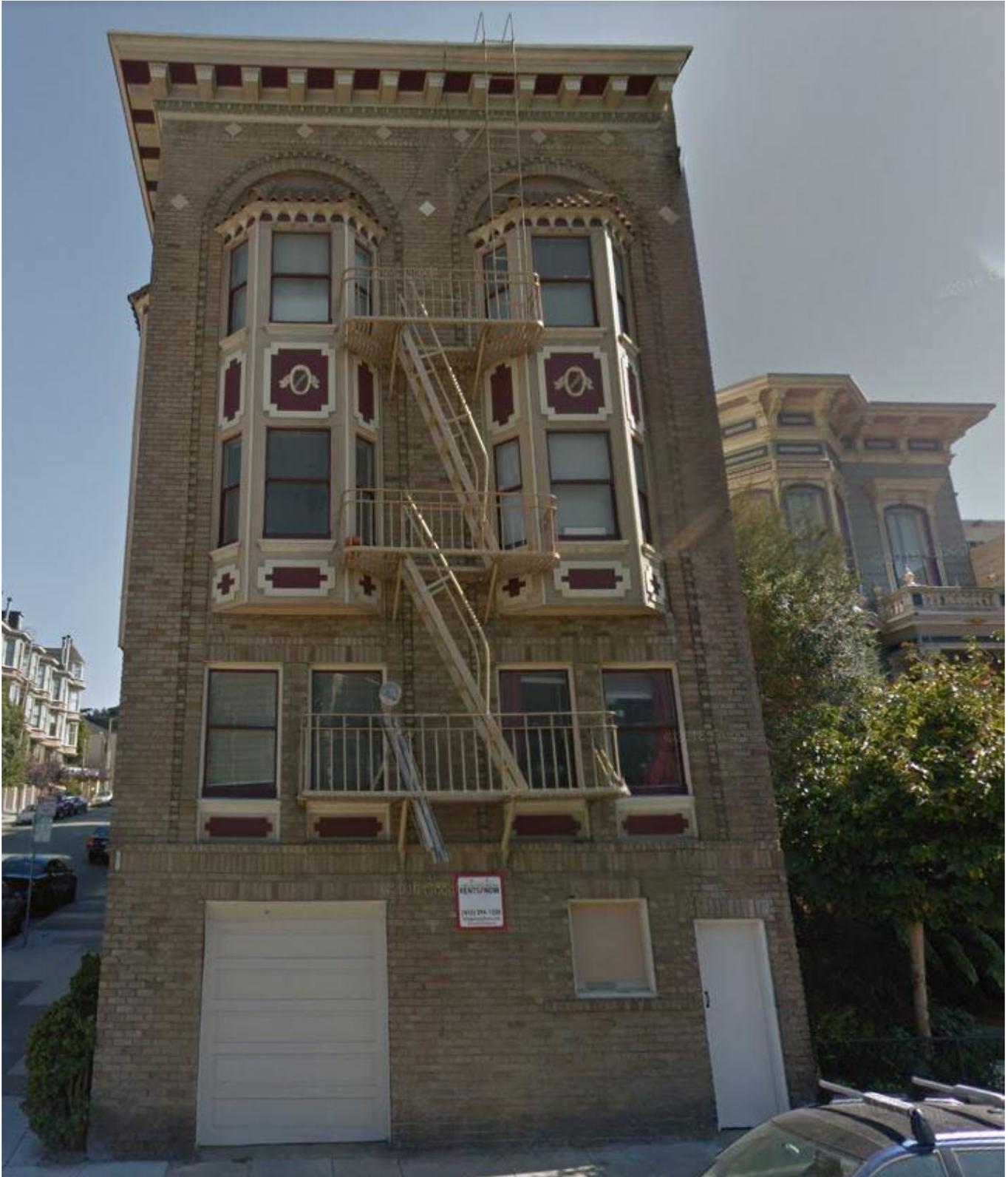
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925 Pierce Street

Zoning Map



Certificate of Appropriateness
Case Number 2017-015622COA
925 Pierce Street

Site Photo*



*North (Golden Gate Avenue) façade.

Certificate of Appropriateness
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925 Pierce Street

Site Photo*



**East (Pierce Street) façade.*

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Case Number 2017-015622COA
925 Pierce Street

925 Pierce Street, San Francisco, 94115

Addition of (1) New Accessory Dwelling Unit



925 Pierce Street
San Francisco, CA



925 Pierce Street
San Francisco, CA
PROJECT NO. 16-36

DATE	SET ISSUE
2017-01-06	PERMIT SUBMITTAL
2018-04-03	NOFDR #1

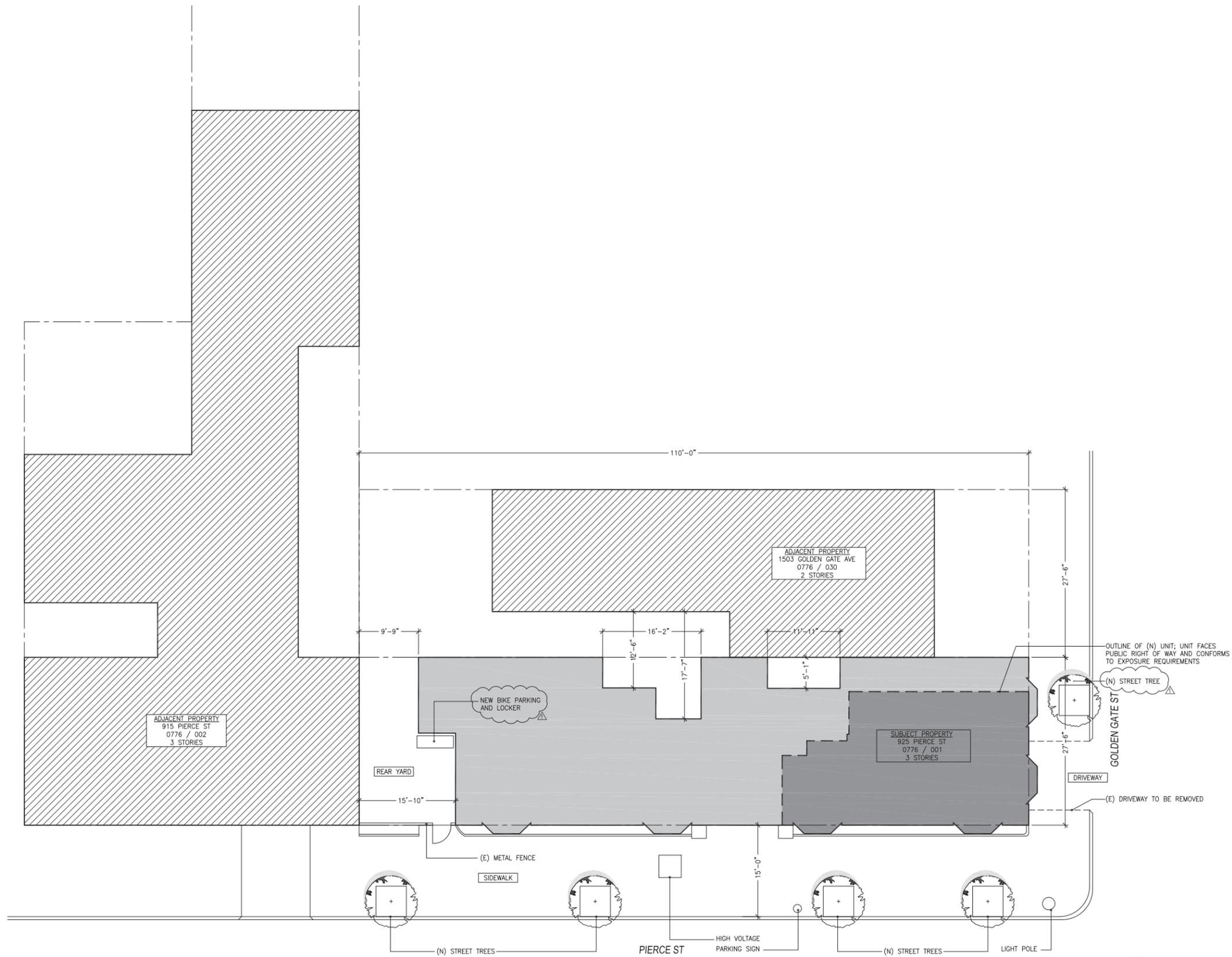
CONTACT:
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SCALE: AS NOTED

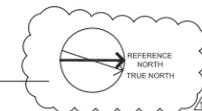
COVER SHEET

A0.0

ABBREVIATIONS	GENERAL NOTES	FRONT FACADE	CODE INFORMATION	LEGEND	SCOPE OF WORK
<p>A/C AIR CONDITIONING ADJ. ADJUSTABLE A.F.F. ABOVE FINISH FLOOR ALUM. ALUMINUM ALT. ALTERNATE APPROX. APPROXIMATELY ARCH. ARCHITECTURAL A.C.T. ACOUSTIC CEILING TILE</p> <p>B.BD. TELEPHONE BACK BOARD BLDG. BUILDING BLKG. BLOCKING BOT. BOTTOM</p> <p>C./CL. CENTER LINE CAB. CABINET C.C.G. CORNER GUARD C.C. CHANGE CLG. CEILING CLOS. CLOSET C.F. CONCRETE C.M.U. CONCRETE MASONRY UNIT COL. COLUMN CONN. CONNECTION CONST. CONSTRUCTION CORR. CORRIDOR C.T. CERAMIC TILE CTR. CENTER</p> <p>DET. DETAIL DIA. DIAMETER DIM. DIMENSION DNG. DRAWING D.S. DOWN SPOUT</p> <p>(E) EXISTING EACH EACH ELE. ELEVATION ELEC. ELECTRICAL ELEV. ELEVATOR EQ. EQUAL EQUIP. EQUIPMENT EQUIV. EQUIVALENT EXPOS. EXPOSED EXT. EXTERIOR</p> <p>F.D. FLOOR DRAIN FIN. FINISH FLASH. FLASHING FLUOR. FLUORESCENT F.O.F. FACE OF FINISH F.O.S. FACE OF STUD F.PRF. FIREPROOF FURR. FURRING</p> <p>G. GAGE GALV. GALVANIZED G.C. GENERAL CONTRACTOR GL. GLASS GR. GRADE GYP. BD. GYPSUM BOARD</p> <p>H.B. HOSE BIB HC. HANDICAPPED H.C. HOLLOW CORE H.DWR. HARDWARE H.H. HOLLOW METAL H.P. HIGH POINT HR. HOUR H.W. HOT WATER INSUL. INSULATION/INSULATED INT. INTERIOR</p> <p>JAN. JANITOR JT. JOINT</p> <p>L.P. LOW POINT</p> <p>MAX. MAXIMUM M.C. MEDICINE CABINET M.D. MOTION DETECTOR MECH. MECHANICAL MIN. MINIMUM MTD. MOUNTED MTL. METAL</p> <p>(N) NEW N.C. NOT IN CONTRACT NO. NUMBER N.T.S. NOT TO SCALE O.C. ON CENTER OFF. OFFICE OPNG. OPENING OPP. OPPOSITE O.T.B. OPEN TO BELOW</p> <p>PR. PAIR P-LAM. PLASTIC LAMINATE PTD. PAINTED PLYWD. PLYWOOD P.O. PRIVATE OFFICE</p> <p>R. RISER R.D. ROOF DRAIN REQ. REQUIRED RM. ROOM R.O. ROUGH OPENING S.C. SOLID CORE STOR. STORAGE SHT. SHEET SIM. SIMILAR STR. STRUCTURAL TREAD TREAD T&G TONGUE AND GROOVE TEL. TELEPHONE T.O. TOP OF TYP. TYPICAL U.O.N. UNLESS OTHERWISE NOTED V.O. VERTICAL IN FIELD WD. WOOD W.P. WATERPROOF</p>	<p>GENERAL CONDITIONS: AIA DOCUMENT A201, GENERAL CONDITIONS FOR THE PERFORMANCE OF THE CONTRACT IS HEREBY INCORPORATED INTO THESE DRAWINGS AND SHALL BE CONSIDERED AS PART OF THE REQUIREMENTS FOR THE COMPLETION OF THE WORK.</p> <p>EXISTING CONDITIONS: CONDITIONS SHOWN OF THE DRAWINGS ARE AS SHOWN ON THE ORIGINAL DRAWINGS AND AS OBSERVED ON THE SITE, BUT THEIR ACCURACY IS NOT GUARANTEED. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE. ANY DISCREPANCIES SHALL BE REPORTED TO ARCHITECT PRIOR TO PROCEEDING WITH THE WORK. NOTE: DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE OF THE DRAWINGS.</p> <p>PERMITS: THE CONTRACTOR SHALL OBTAIN AND PAY ALL CITY AND/OR COUNTY FEES RELATING TO PROJECT, EXCEPTING THE GENERAL PERMIT, WHICH IS THE RESPONSIBILITY OF THE OWNERS' AND IS REIMBURSABLE TO THE G.C.</p> <p>CODES: ALL WORK SHALL BE DONE IN COMPLIANCE WITH ALL APPLICABLE CODES, INCLUDING BUT NOT LIMITED TO: UNIFORM BUILDING CODES, NATIONAL ELECTRICAL, MECHANICAL, AND PLUMBING CODES, HEALTH DEPARTMENT REGULATIONS, FIRE AND SAFETY CODES, CITY AND/OR COUNTY ORDINANCES AND REGULATIONS AND OTHER CODES GOVERNING CONSTRUCTION.</p> <p>SITE RESPONSIBILITY: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING HEALTH AND SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. CONTRACTOR TO LIMIT TRAFFIC AND ACCESS TO THOSE AREAS WHERE WORK IS PERFORMED.</p> <p>CLEAN UP AND REPAIRS: THE CONSTRUCTION SITE SHALL BE MAINTAINED IN AN ORDERLY MANNER AT ALL TIMES WITH ALL DEBRIS REMOVED AT THE END OF THE EACH DAY. AT THE COMPLETION OF THE CONSTRUCTION REMOVE ALL EXCESS MATERIALS AND REFUSE FROM SITE. LEAVE ALL SURFACES WITHIN CONSTRUCTION SITE FREE FROM DUST, DIRT AND STAINS. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY SURFACES OR ITEMS DAMAGED BY CONSTRUCTION TO THE SATISFACTION OF THE ARCHITECT AND OWNER.</p> <p>PATCHING: PROPERLY PREPARE SURFACES FOR RECEIVING THE SPECIFIED FINISHES INCLUDING PATCHING OF SURFACES ALTERED BY CONSTRUCTION. ON PATCHED AREAS OR AREAS WHERE A FINISH IS NOT SPECIFIED, THE FINISH SHALL MATCH ADJACENT MATERIAL IN CONSTRUCTION, COLOR AND TEXTURE.</p> <p>ALL WORK NOTED "N.I.C." OR NOT IN CONTRACT IS TO BE PROVIDED BY A CONTRACTOR OTHER THAN THE GENERAL CONTRACTOR.</p> <p>*"ALIGN" AS USED IN THESE DOCUMENTS SHALL MEAN TO ACCURATELY LOCATE FINISH FACES ON THE SAME PLANE.</p> <p>*"TYPICAL" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS THE SAME OR REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, U.O.N.</p> <p>DETAILS ARE USUALLY KEYED AND NOTED "TYPICAL" ONLY ONCE, WHEN THEY FIRST OCCUR, AND ARE REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, U.O.N.</p> <p>SCHEDULE: UPON SUBMITTAL OF THE FINAL CONSTRUCTION COSTS, THE CONTRACTOR SHALL ALSO SUBMIT A CONSTRUCTION SCHEDULE INDICATING THE REQUIRED CONSTRUCTION TIME FOR ALL SUBCONTRACTORS AND CONTRACTOR'S WORK AND A COST-BY-TRADE BREAKDOWN FOR USE IN SCHEDULING AND EVALUATING PAY REQUESTS.</p> <p>SUBSTITUTIONS: SUBSTITUTIONS, REVISIONS, OR CHANGES MUST HAVE APPROVAL BY THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.</p> <p>DAMAGE: THE CONTRACTOR SHALL REPAIR OR REPLACE ANY SURFACES OR ITEMS DAMAGED BY CONSTRUCTION TO THE SATISFACTION OF THE ARCHITECT OR OWNER.</p> <p>GUARANTEES: THE CONTRACTOR SHALL GUARANTEE THAT THE PROJECT WILL BE FREE OF DEFECTS OF WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE BY THE OWNER. NO WORK DEFECTIVE IN CONSTRUCTION OR QUALITY DEFICIENT IN ANY REQUIREMENT OF THE DRAWINGS OR NOTES WILL BE ACCEPTABLE IN CONSEQUENCE OF THE OWNER'S OR ARCHITECT'S FAILURE TO POINT OUT DEFECTS OR DEFICIENCIES DURING CONSTRUCTION. DEFECTS OF WORKMANSHIP OR MATERIALS REVEALED WITHIN A PERIOD OF ONE YEAR FROM THE ACCEPTANCE SHALL BE REPLACED BY WORK CONFORMING WITH THE INTENT OF THE CONTRACT AT NO COST TO THE OWNER. NO PAYMENT, EITHER PARTIAL OR FINAL, SHALL BE CONSTRUED AS AN ACCEPTANCE OF DEFECTIVE WORK.</p> <p>COLUMN CENTERLINES (ALSO REFERRED TO AS GRIDLINES) ARE SHOWN FOR DIMENSIONAL PURPOSES. (REFER TO BASE BUILDING DRAWINGS FOR EXACT LOCATIONS).</p>		<p>ADDRESS: 925 PIERCE STREET SAN FRANCISCO, CA 94115</p> <p>BLOCK #: 0766 LOT #: 001 LOT SIZE: 3,025 SF</p> <p>CODES: 2016 CALIFORNIA BUILDING CODE (CBC) 2016 CALIFORNIA ELECTRICAL CODE (CEC) 2016 CALIFORNIA MECHANICAL CODE (CMC) 2016 CALIFORNIA PLUMBING CODE (CPC) 2016 GREEN BUILDING CODE (GBC) 2016 CALIFORNIA ENERGY CODE 2016 SAN FRANCISCO FIRE CODE W/ ALL 2016 SAN FRANCISCO CODE AMENDMENTS</p> <p>ZONING: RH-3 HEIGHT & BULK: 54-X HISTORIC DESIGNATION: A- HISTORIC RESOURCE PRESENT</p> <p>SETBACKS: SETBACKS ARE EXISTING AND ARE NOT BEING CHANGED (E) FRONT: 0'-0" (E) SIDE: 0'-0" (E) REAR: 0'-0"</p> <p>BUILDING HEIGHT: BUILDING HEIGHT IS NOT BEING CHANGED</p> <p>NUMBER OF STORIES: EXISTING: 3 - PROPOSED: 3</p> <p>NUMBER OF UNITS: EXISTING: 12 - PROPOSED: 13</p> <p>OCCUPANT CLASS: R-2</p> <p>CONSTRUCTION TYPE: EXISTING: TYPE VB - PROPOSED: TYPE VB</p> <p>SPRINKLERS: EXISTING: NONE - PROPOSED: NONE</p> <p>FLOOR AREA: GARAGE/UTILITY AREA: 1896 SF GROUND FLOOR AREA: 2255 SF SECOND FLOOR AREA: 2255 SF THIRD FLOOR AREA: 2255 SF BUILDING TOTAL AREA: 8661 SF</p> <p>HABITABLE EXISTING: 6765 SF HABITABLE PROPOSED: +654 SF NEW HABITABLE TOTAL AREA: 7419 SF</p> <p>PARKING: EXISTING: 1 PROPOSED: NONE</p> <p>BIKE PARKING: PROPOSED: 1</p>	<p>LEGEND</p> <p># XXV DETAIL REFERENCE NUMBER SHEET WHERE DETAIL IS LOCATED</p> <p>X/XXX DIRECTION OF SECTION VIEW INTERIOR SECTION IDENTIFICATION/SHEET WHERE SECTION IS LOCATED</p> <p>A/B SHEET WHERE ELEVATION IS LOCATED ELEVATION REFERENCE NUMBER</p> <p>A DOOR SYMBOL W-BB WINDOW SYMBOL BA WALL/FLOOR TYPE SYMBOL E ELEVATION DATUM X'-X" CEILING HEIGHT A REVISION SYMBOL</p>	<p>SCOPE OF WORK</p> <ul style="list-style-type: none"> CONVERT (E) GARAGE SPACE TO (N) 2 BED/2BATH UNIT AT GROUND FLOOR PER ORDINANCE NO.162-16 FOR A TOTAL OF 14 UNITS. REFER TO PERMIT # 201203085610 FOR SOFT STORY RETROFIT PER SFBC CHAPTER 34B, 2012 IEBC A-4 AREA OF WORK AND PATH OF EGRESS OF THE PROPOSED UNITS TO BE SPRINKLERED; PER INFORMATION SHEET SF-05. SFFD TO SPECIFY THE DESIGNATED HAZARD CLASSIFICATION NFPA 13R OR NFPA 13. SPRINKLERS UNDER A SEPARATE PERMIT ENTIRE GROUND FLOOR CEILING ASSEMBLY TO BE UPGRADED TO AN 1-HOUR RATED ASSEMBLY PER INFORMATION SHEET SF-05 MECHANICAL, ELECTRICAL, PLUMBING (MEP) UNDER A DIFFERED SUBMITTAL
PROJECT DIRECTORY			DRAWING INDEX		
<p>OWNER: KEVIN KAWASHITA GREENTREE PROPERTY MANAGEMENT 800 CALIFORNIA STREET; FLOOR 19 SAN FRANCISCO, CA 94108 415-935-4134</p> <p>ARCHITECT: SERINA CALHOUN SYNCPATED ARCHITECTURE 657 FILLMORE STREET SAN FRANCISCO, CA 94117 415.558.9843</p> <p>CONTRACTOR: TBD</p>			<p>A0.0 ARCHITECTURAL COVER SHEET</p> <p>A0.1 ADDITIONAL UNIT(S) SCREENING FORM - ORDINANCE NO.162-16</p> <p>A0.2 ENERGY INSPECTION FORMS</p> <p>A0.3 C-7: GREEN BUILDING SUBMITTAL</p> <p>A1.0 SITE PLAN</p> <p>A2.0 GROUND FLOOR PLAN - DEMO/NEW</p> <p>A2.1 FIRST/SECOND FLOOR- REFERENCE ONLY</p> <p>A2.2 THIRD FLOOR - REFERENCE ONLY</p> <p>A3.1 EXTERIOR ELEVATIONS</p> <p>A3.2 EXTERIOR ELEVATIONS</p> <p>A3.3 EXTERIOR ELEVATIONS</p> <p>A3.4 EXTERIOR ELEVATIONS</p> <p>A3.5 EXTERIOR ELEVATIONS</p> <p>A8.1 DOOR/WINDOW SCHEDULE</p> <p>A8.2 DOOR/WINDOW DETAILS</p> <p>A9.1 DETAILS</p> <p>E2.0 GROUND FLOOR ELECTRICAL - DEMO/NEW</p> <p>A2.1 TITLE 24</p> <p>A2.2 TITLE 24</p> <p>A2.3 TITLE 24</p>		
			<p>AREA MAP</p> <p>Z:\01-Project Files\16-36 925 Pierce\925 Pierce St - Google Maps.jpg</p>		



1 SITE PLAN
1/8"=1'-0"



925 Pierce Street

San Francisco, CA



925 Pierce Street
San Francisco, CA
PROJECT NO. 16-36

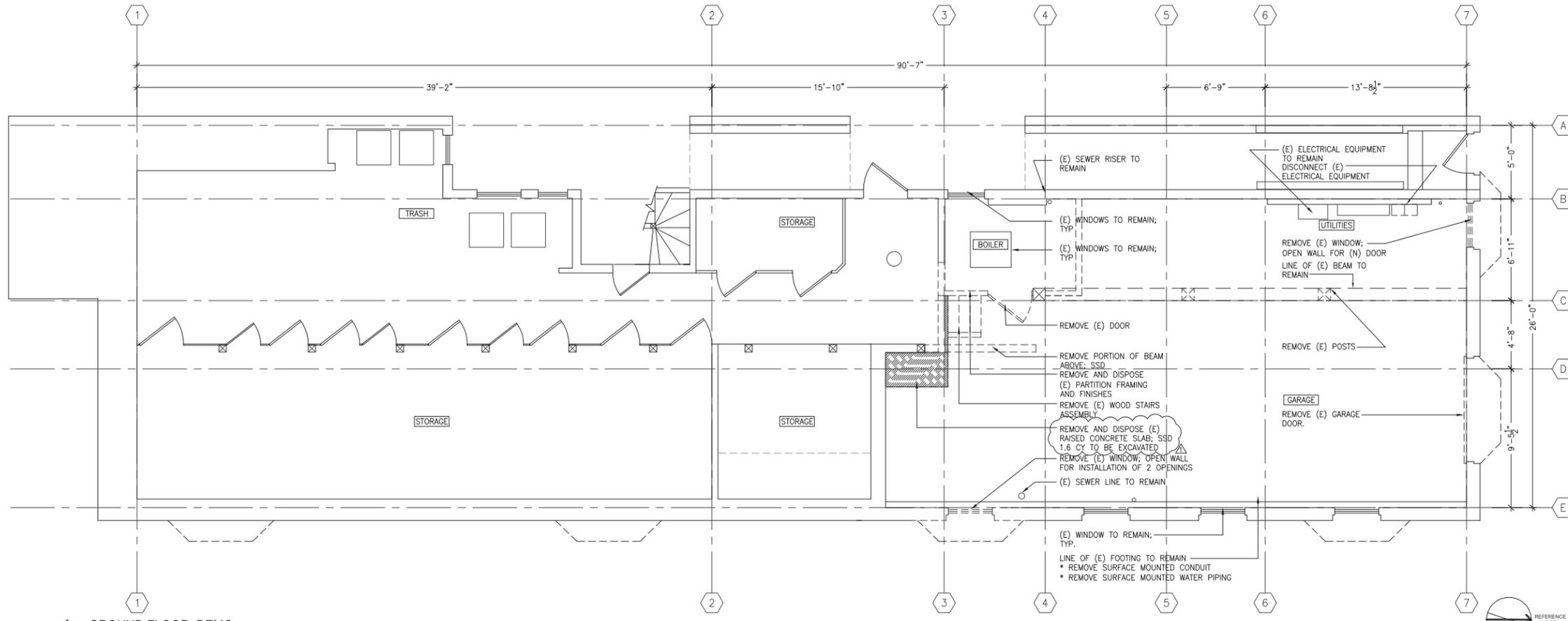
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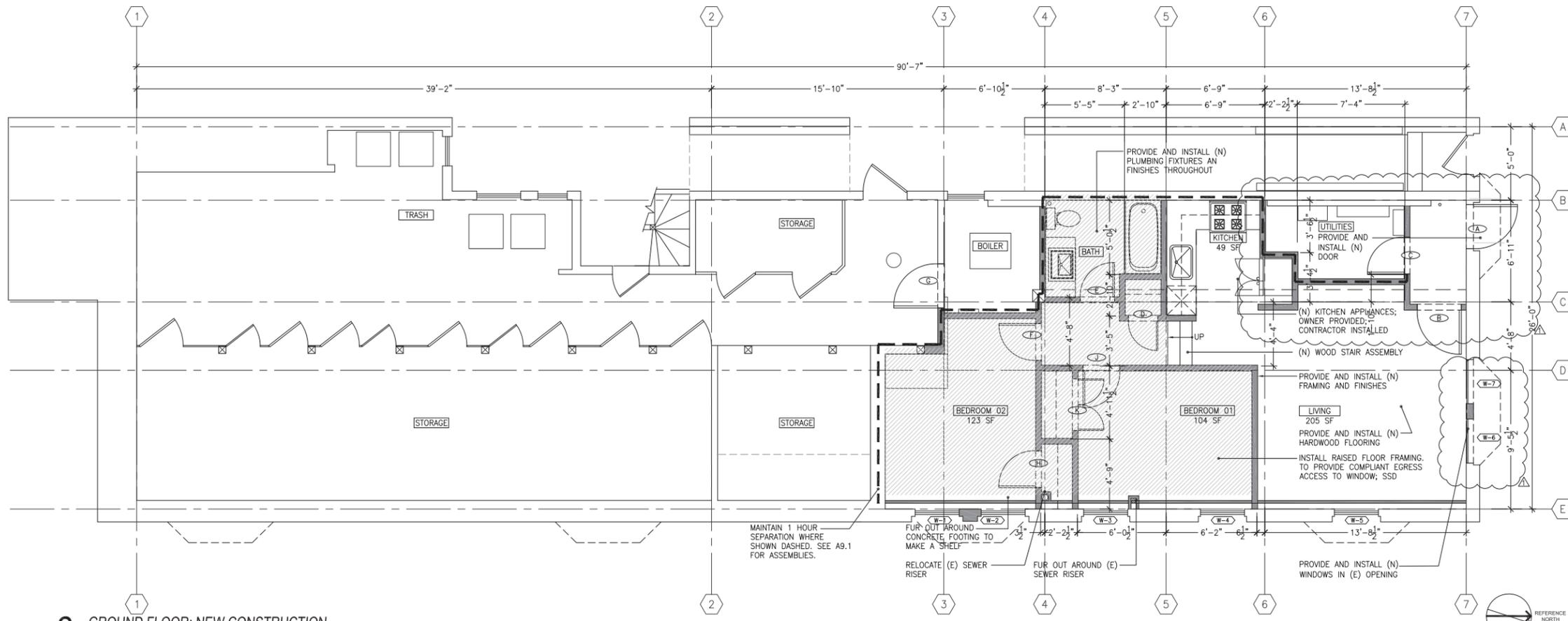
SCALE: AS NOTED

SITE PLAN

A1.0



1 GROUND FLOOR: DEMO
1/4"=1'-0"



2 GROUND FLOOR: NEW CONSTRUCTION
1/4"=1'-0"

GENERAL						
FIELD VERIFY EXISTING JOBSITE CONDITIONS PRIOR TO START OF DEMOLITION AND/OR START OF WORK. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND SPECIFIC JOBSITE CONDITIONS						
NOT ALL PIPING, DUCTWORK, OR DEVICES HAVE BEEN SHOWN FOR CLARITY. CONTRACTOR IS RESPONSIBLE FOR ALL WORK IN AND AROUND SYSTEMS NOT SHOWN HEREIN.						
CONTRACTOR TO TEST ALL SYSTEMS PRIOR TO START OF WORK AND DOCUMENT ANY SYSTEMS NOT WORKING PROPERLY.						
CONTRACTOR SHALL PROVIDE AND INSTALL ANY INCIDENTAL WORK OR ITEMS NOT SHOWN OR SPECIFIED WHICH ARE NECESSARY TO PROVIDE A COMPLETE AND WORKABLE SYSTEM.						
WHERE HOT WATER PIPING IS EXTENDED PROVIDE PIPE INSULATION THROUGHOUT						
DIMENSIONS SHOWN ARE BASED ON SITE MEASUREMENTS AND SHOULD BE VERIFIED IN FIELD PRIOR TO START OF CONSTRUCTION OF ORDERING ANY MATERIALS						
DIMENSION NOTES						
1. DIMENSIONS ARE TO FACE OF STUD U.N.O.						
DEMOLITION NOTES						
PROTECT EXISTING HARDWOOD FLOORS FROM DAMAGE DURING CONSTRUCTION.						
OPEN WALLS AS NEEDED FOR INSTALLATION OF NEW UTILITY LINES, DUCTS, AND STRUCTURAL FRAMING WHERE NOT SHOWN EXPLICITLY HEREIN						
NEW CONSTRUCTION NOTES						
WHERE (E) EXTERIOR WALLS ARE OPENED AND AT ALL NEW EXTERIOR WALLS; PROVIDE R-13 INSULATION MIN.						
ALL SHADED WALLS INDICATE NEW WALL FRAMING AND FINISHES						
PROVIDE POWER, GAS, COMBUSTION AIR, ETC. AS NEEDED TO ALL NEW APPLIANCES AND DEVICES.						
CONTRACTOR SHALL CLEAR ALL SITE DRAINS AND TEST SYSTEM THOROUGHLY						
WHERE NEW EQUIPMENT REQUIRES VENTING, INSTALL VENTS A MINIMUM OF 3 FEET AWAY FROM OPERABLE WINDOWS OR DOORS						
WALL LEGEND						
WALL RATING LEGEND						
<ul style="list-style-type: none"> --- 1-HR. WALL --- 2-HR. WALL - - - - - DEMOLITION ▨ NEW WALL 						
STAIR NOTES						
ALL DIMENSIONS ARE TO F.O.S., U.N.O.						
STAIRWAY WIDTH SHALL BE 36" MIN. CLEAR PER CBC 1009.1 EXCEPTION 1.						
ALL RISER HEIGHTS TO BE 7.75" MAX						
ALL TREAD WIDTHS TO BE 10" MIN						
PROVIDE MIN. HEADROOM CLEARANCE OF 6'-8"						
FOR STAIR TREAD DETAILS REFER ^X _{A9.1}						
FOR HANDRAIL DETAILS, REFER ^X _{A8.1}						
PROVIDE HANDRAILS WITH 1-1/2" OUTSIDE DIAMETER, MOUNT AT A HEIGHT BETWEEN 34-38 INCHES, PROVIDE HANDRAIL EXTENSIONS OF 12" AT TOP LANDINGS, AND 12" PLUS 1 RISER DEPTH AT BOTTOM LANDINGS. ALL HANDRAILS SHALL COMPLY WITH CBC 1012						
LIGHT/VENT CALCULATIONS						
UNIT #	AREA	SF	LIGHT		VENT	
			REQUIRED: SF*0.08(8%)	PROVIDED (SF)	REQUIRED: SF*0.04(4%)	PROVIDED (SF)
UNIT 14	KITCHEN/DINING/LIVING	249	20.32	30	10.16	15
	BEDROOM 1	111	9.2	12.5	4.6	6.25
	BEDROOM 2	123	9.84	12.5	4.92	6.25



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SCALE: AS NOTED

DEMO/NEW
GROUND FLOOR

A2.0



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SCALE: 1/4" = 1'-0"

EXTERIOR
ELEVATIONS

A3.1



1 EAST ELEVATION: EXISTING
1/4" = 1'-0"



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SCALE: 1/4" = 1'-0"

EXTERIOR
ELEVATIONS

A3.2



1 EAST ELEVATION: NEW
1/4"=1'-0"



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SCALE: 1/4" = 1'-0"

EXTERIOR
ELEVATIONS

A3.3



1 WEST ELEVATION: (NO WORK)
1/4"=1'-0"



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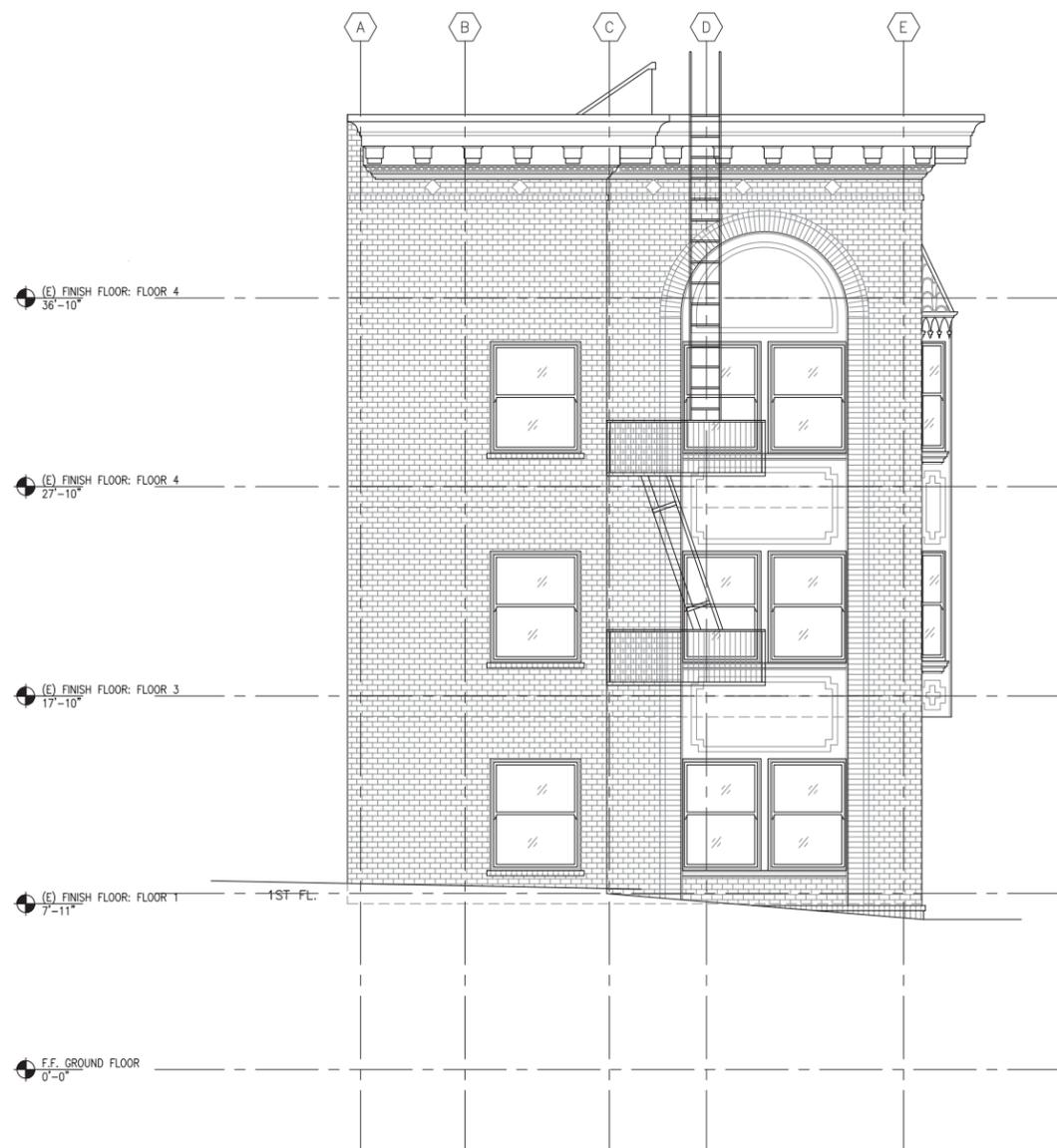
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SCALE: 1/4" = 1'-0"

EXTERIOR
ELEVATIONS

A3.4



1 SOUTH ELEVATION: (NO WORK)
1/4"=1'-0"



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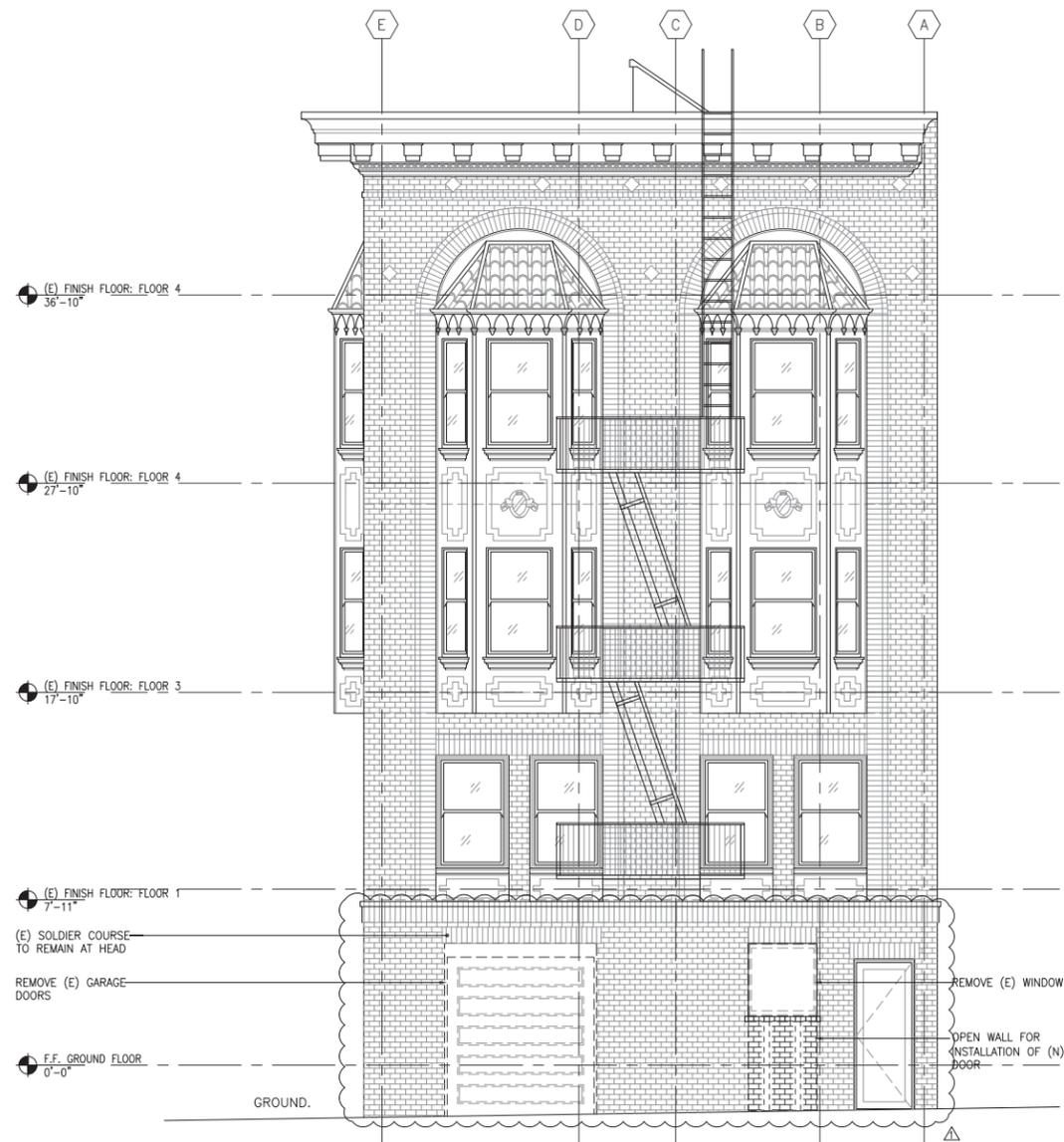
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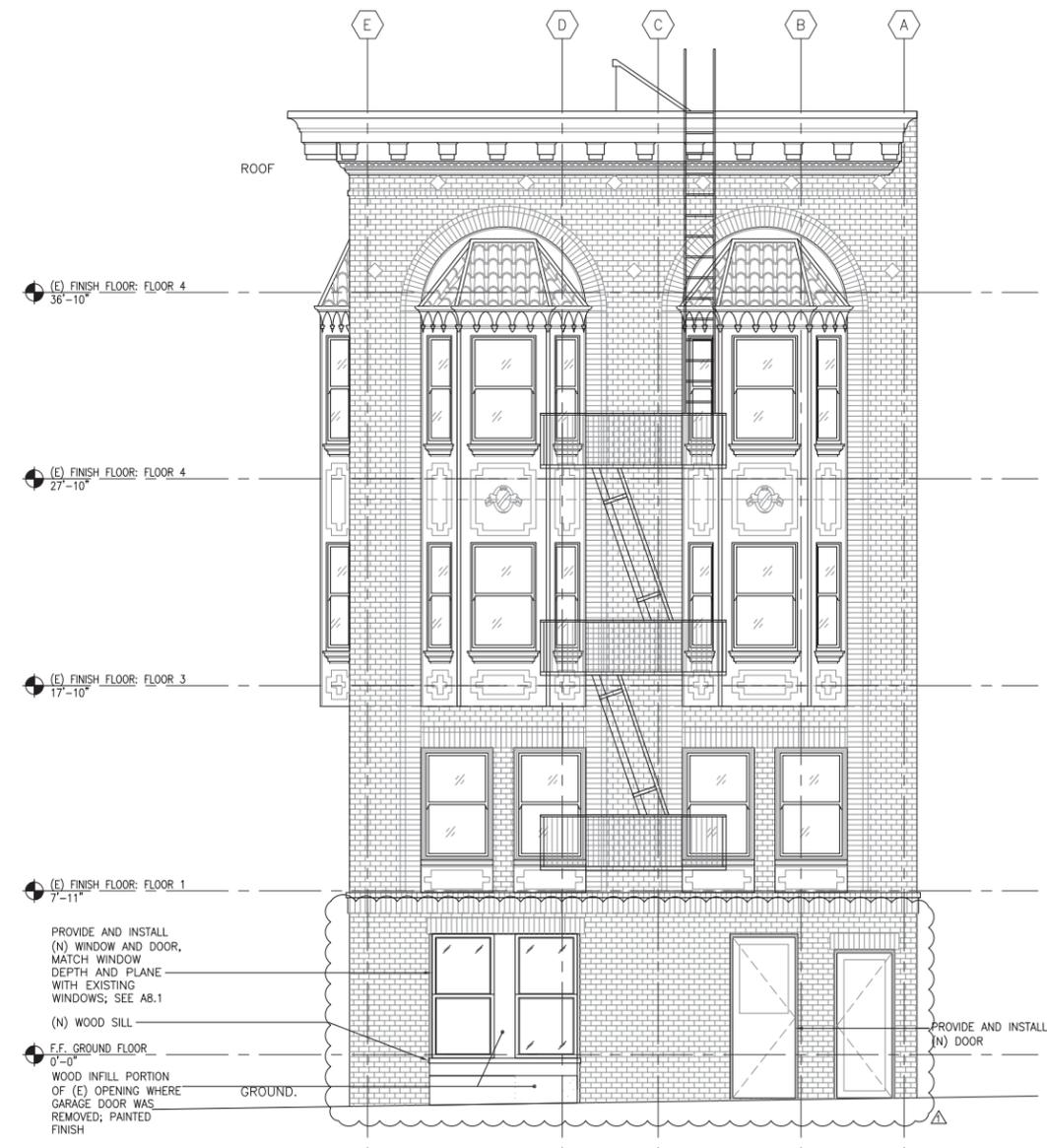
SCALE: 1/4" = 1'-0"

EXTERIOR
ELEVATIONS

A3.5



1 NORTH ELEVATION: EXISTING
1/4"=1'-0"



2 NORTH ELEVATION: NEW
1/4"=1'-0"

WINDOW SCHEDULE

WINDOW I.D.	OVERALL SIZE	WINDOW TYPE	FRAME	GLAZING	EMERGENCY EGRESS	DETAILS			REMARKS
						HEAD	JAMB	SILL/THRESHOLD	
W-1	3'-0" x 3'-0"	CASEMENT	WD.	CLEAR	YES	14 A8.2	14 A9.1 SIM	13 A9.1	
W-2	3'-0" x 3'-0"	CASEMENT	WD.	CLEAR		14 A9.1	14 A9.1 SIM	13 A9.1	
W-3	3'-0" x 3'-0"	CASEMENT	WD.	CLEAR	YES	14 A9.1	14 A9.1 SIM	13 A9.1	
W-4	3'-0" x 3'-0"	CASEMENT	WD.	CLEAR		14 A9.1	14 A9.1 SIM	13 A9.1	
W-5	3'-0" x 3'-0"	CASEMENT	WD.	CLEAR		14 A9.1	14 A9.1 SIM	13 A9.1	
W-6	3'-0" x 5'-0"	DOUBLE HUNG	WD.	CLEAR		14 A9.1	14 A9.1 SIM	13 A9.1	
W-7	3'-0" x 5'-0"	DOUBLE HUNG	WD.	CLEAR		14 A9.1	14 A9.1 SIM	13 A9.1	

WINDOW NOTES

TOP OF WINDOW IS MEASURED FROM FINISH FLOOR.

EMERGENCY ESCAPE: PER CBC310.4:
EVERY SLEEPING ROOM SHALL HAVE AN EMERGENCY ESCAPE DOOR OR WINDOW.
PROVIDE MIN. NET CLEAR OPENING OF 5.7 S.F. MINIMUM DIMENSION TO BE 20" WIDE X 24" HIGH.
SILL HEIGHT SHALL NOT BE MORE THAN 44."

WHERE WINDOWS ARE REPLACED IN KIND; EGRESS REQUIREMENTS DO NOT APPLY. EXEMPT FOR EMERGENCY ESCAPE AND RESCUE CBC1029.1

NEW WINDOWS IN NEW OR ALTERED OPENINGS SHALL COMPLY WITH EMERGENCY ESCAPE REQUIREMENTS.

ALL GLAZING TO BE CLEAR U.N.O.

PROVIDE INSECT SCREENS AT ALL OPERABLE WINDOWS, U.N.O.

ALL OPERABLE WINDOWS / DOORS SHALL BE LOCATED A MINIMUM OF 3'-0" AWAY FROM ANY MECHANICAL EXHAUST OUTLETS. CONTRACTOR SHALL COMPLY WITH CBC 1203.3.

ALL NEW WINDOWS SHALL BE MILGARD WOOD CLAD OR EQ.

ABBREVIATIONS

ALUM: ALUMINUM
MFR: PER MANUFACTURER
T: TEMPERED
VIF: VERIFY IN FIELD

SAFETY GLAZING

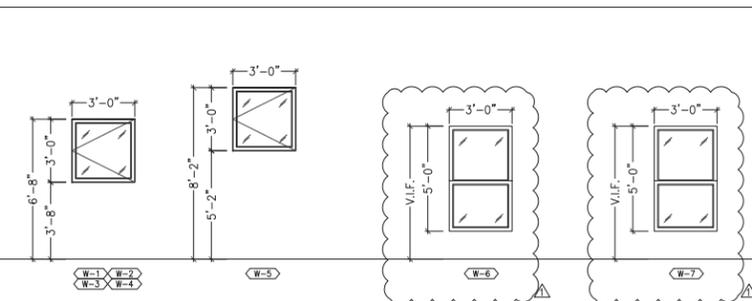
GLAZING IN ALL DOORS SHALL BE TEMPERED.

GLAZING IN FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WITHIN 24" OF THE ARC OF THE DOOR SHALL BE TEMPERED AS REQUIRED BY CBC 2406.4.6.

GLAZING THAT MEETS ALL THE FOLLOWING CONDITIONS SHALL BE TEMPERED:

1. EXPOSED ARE OF AN INDIVIDUAL PANE IS GREATER THAN 9 SF.
2. EXPOSED BOTTOM EDGE IS LESS THAN 18" ABOVE THE FLOOR.
3. EXPOSED TOP EDGE IS GREATER THAN 36" ABOVE THE FLOOR.
4. ONE OR MORE WALKING SURFACES WITHIN 36" HORIZONTALLY OF THE PLANE OF THE GLAZING.

WINDOW TYPES



DOOR SCHEDULE

BUILDING DOORS											DETAILS			REMARKS
DOOR I.D.	SIZE	DOOR TYPE	FRAME TYPE	DOOR MATERIAL	FRAME MATERIAL	FINISH	FIRE RATING(MIN)	HARDWARE	GLAZING	HEAD	JAMB	SILL/THRESHOLD		
A	3'-0" X V.I.F.	2	WD.	WOOD CLAD	WD.	PTD.		A57PD	T				VERIFY HEIGHT IN FIELD	
B	3'-0" X 6'-8"	1	WD.	WOOD CLAD	WD.	PTD.	60	A57PD		18 A9.1	18 A9.1 SIM	17 A9.1		
C	2'-6" X 6'-8"	1	WD.	HCW	WD.	PTD.	60	A40S		14 A9.1	14 A9.1 SIM	13 A9.1		
D	2'-0" X 6'-8"	1	WD.	HCW	WD.	PTD.		A10S		14 A9.1	14 A9.1 SIM	13 A9.1		
E	2'-4" X 6'-8"	1	WD.	SCW	WD.	PTD.		A40S		10 A9.1	10 A9.1 SIM	9 A9.1		
F	2'-6" X 6'-8"	1	WD.	SCW	WD.	PTD.		A40S		14 A9.1	14 A9.1 SIM	13 A9.1		
G	3'-0" X 6'-8"	1	WD.	SCW	WD.	PTD.		A40S						
H	3'-6" X 6'-8"	3	WD.	HCW	WD.	PTD.		A10S		14 A9.1	14 A9.1 SIM	13 A9.1		
J	2'-6" X 6'-8"	1	WD.	SCW	WD.	PTD.		A40S		14 A9.1	14 A9.1 SIM	13 A9.1		
K	3'-6" X 6'-8"	3	WD.	HCW	WD.	PTD.		A10S		14 A9.1	14 A9.1 SIM	13 A9.1		

DOOR NOTES

DOOR THRESHOLDS: AT PRIVATE AREAS THRESHOLDS SHALL NOT EXCEED 3/4" IN HEIGHT PER CBC 1120A.2.4 EXCEPTION 3.

DOOR THRESHOLDS SHALL COMPLY WITH CBC 1133B.2.4.1.

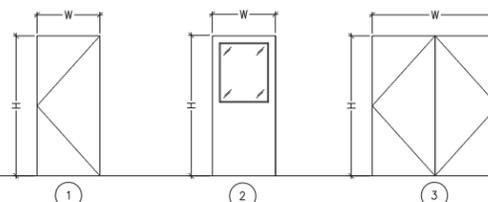
NEW DOORS SHALL BE TRUSTILE TS1000 OR EQ

ALL DOOR HARDWARE SHALL RECEIVE SCHLAGE LONGITUDE LEVER 626 FINISH

ABBREVIATIONS

ALUM: ALUMINUM
HM: HOLLOW METAL
HCW: HOLLOW CORE WOOD
SCW: SOLID CORE WOOD
MFR: PER MANUFACTURER
PT: PAINT
SEAL: SEALANT
STL: STEEL
T: TEMPERED
WD: WOOD

DOOR TYPES



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San Francisco, CA



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DATE SET ISSUE
2017-01-06 PERMIT SUBMITTAL
2018-04-03 NOPDR #1

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SCALE: 1/4" = 1'-0"

DOOR & WINDOW
SCHEDULE

A8.1



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SCALE: 1/4" = 1'-0"

DOOR/WINDOW

A8.2

