



SAN FRANCISCO PLANNING DEPARTMENT

Certificate of Appropriateness Case Report

HEARING DATE: MAY 2, 2018

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

<i>Filing Date:</i>	September 19, 2017	<i>Reception:</i>	415.558.6378
<i>Case No.:</i>	2017-011755COA	<i>Fax:</i>	415.558.6409
<i>Project Address:</i>	1942 Sutter Street	<i>Planning Information:</i>	415.558.6377
<i>Landmark District:</i>	Bush Street – Cottage Row		
<i>Zoning:</i>	RM-1 (Residential, Mixed, Low Density) 40-X Height and Bulk District		
<i>Block/Lot:</i>	0677 / 032		
<i>Applicant:</i>	Mark English Architects 523 Francisco Street San Francisco, CA 94133		
<i>Staff Contact</i>	Alexandra Kirby - (415) 575-9133 alexandra.kirby@sfgov.org		
<i>Reviewed By</i>	Tim Frye – (415) 575-6822 tim.frye@sfgov.org		

PROPERTY DESCRIPTION

1942 Sutter Street, north side between Webster and Fillmore Streets, immediately west of Cottage Row, Assessor's Block 0677, Lot 032. The two-story-over-basement, two-family residence is the work of Silas P. Ford, architect for The Real Estate Associates ("TREA"). The building was constructed in 1875 in the Italianate style, most likely as a single-family house. The subject property is a contributing building within the San Francisco Bush Street – Cottage Row Landmark District. It is located in a RM-1 (Residential, Mixed, Low Density) Zoning District and a 40-X Height and Bulk District.

The Bush Street - Cottage Row Landmark District is a remarkably intact group of 22 architecturally consistent Italianate and Stick residential buildings constructed between 1870 and about 1885, that is also registered on the National Register of Historic Places. The typical building height is two stories over basement including six cottages that front Cottage Row. In the 1930s the walkway was popularly called "Japan Street," because the entire District was inhabited by Japanese-Americans until their internment during World War II. Very few alterations have occurred within the district, although the immediate surroundings feature larger residential developments from the 1970s and 1980s, from various redevelopment projects in the area.

PROJECT DESCRIPTION

The proposal includes:

- Conversion of the basement level to habitable space and relocating the square footage of the second unit to the rear of the property;

- A 5'-11" horizontal expansion at the rear of the first story on the east (side) façade, facing Cottage Row with a residential entrance for the second unit;
- Extending the existing bay on the east façade to the second story;
- Installing new double-hung wood windows on the east façade for additional light and air.

OTHER ACTIONS REQUIRED

The proposed work requires 311 Neighborhood Notification and a Building Permit from the Department of Building Inspection (DBI).

COMPLIANCE WITH THE PLANNING CODE PROVISIONS

The proposed project is in compliance with all other provisions of the Planning Code.

APPLICABLE PRESERVATION STANDARDS

ARTICLE 10

Pursuant to Section 1006.2 of the Planning Code, unless exempt from the Certificate of Appropriateness requirements or delegated to Planning Department Preservation staff through the Administrative Certificate Appropriateness process, the Historic Preservation Commission is required to review any applications for the construction, alteration, removal, or demolition of any designated Landmark for which a City permit is required. Section 1006.6 states that in evaluating a request for a Certificate of Appropriateness for an individual landmark or a contributing building within a landmark district, the Historic Preservation Commission must find that the proposed work is in compliance with the *Secretary of the Interior's Standards for the Treatment of Historic Properties*, as well as the designating Ordinance and any applicable guidelines, local interpretations, bulletins, related appendices, or other policies.

ARTICLE 10 – Appendix K – The Bush Street - Cottage Row Landmark District

In reviewing an application for a Certificate of Appropriateness, the Historic Preservation Commission must consider whether the proposed work will be compatible with the character of the Bush Street - Cottage Row Landmark District as described in Appendix K of Article 10 of the Planning Code and the character-defining features specifically outlined in the designating ordinance.

THE SECRETARY OF THE INTERIOR'S STANDARDS

Rehabilitation is the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features that convey its historical, cultural, or architectural values. The Rehabilitation Standards provide, in relevant part(s):

Standard 1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.

The project will retain the existing two-family residential use of the building and does not require

significant changes to the distinctive elements of the building or of the landmark district.

Therefore, the proposed project complies with Rehabilitation Standard 1.

- Standard 2.** The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

Most aspects of the historic character of the building will be retained and preserved.

The massing of the building will be minimally affected by the horizontal addition, which will be minimally visible from Sutter Street and Cottage Row, and located at a secondary façade of the building. No historic character-defining features will be altered in the proposed project.

Therefore, the proposed project complies with Rehabilitation Standard 2.

- Standard 3.** Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

No new elements will be added to the historic building that may confuse its historical development. The proposed horizontal addition will be minimally visible from the public right of way and constructed in a contemporary yet compatible design. All new fenestration on the east façade will be compatible in scale and design, yet differentiated from the original windows on the front façade by their simple wood surrounds and contemporary glazing. The design includes a total of 15 new windows on the east façade; those most visible from the right of way will be aligned in three columns of two-foot by six-foot double-hung wood windows. No conjectural elements are proposed.

Therefore, the proposed project complies with Rehabilitation Standard 3.

- Standard 4.** Changes to a property that have acquired historic significance in their own right will be retained and preserved.

No distinctive materials, features, finishes, construction techniques or examples of craftsmanship will be affected by the proposed project. The non-historic trellis structure to be removed at the second story has not acquired historic significance.

Therefore, the proposed project complies with Rehabilitation Standard 4.

- Standard 5.** Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

No distinctive materials, features, finishes, construction techniques or examples of craftsmanship will be affected by the proposed project.

Therefore, the proposed project complies with Rehabilitation Standard 5.

- Standard 9.** New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic

materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

The proposed addition will not destroy the materials, features, or spatial relationships that characterize the property or the district. The horizontal addition will remove a small portion of the rear side wall, which is not character-defining, and will be minimally visible from Cottage Row, a public right of way. The design of the addition is utilitarian in style and will be subordinate and compatible with the historic fabric of the residence, and the massing and scale of the new addition will relate to the existing massing of the subject building.

Therefore, the proposed project complies with Rehabilitation Standard 9.

Standard 10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

While unlikely, the proposed alterations could be reversed in the future relying upon historic photographs, physical evidence, and the building permit record.

Therefore, the proposed project complies with Rehabilitation Standard 10.

PUBLIC/NEIGHBORHOOD INPUT

The Department has received no public input on the project at the date of this report.

STAFF ANALYSIS

Based on the requirements of Article 10 and the *Secretary of Interior's Standards*, staff has determined that the proposed work is compatible with the character-defining features of the subject building and with the Bush Street - Cottage Row Landmark District. All aspects of the historic character of the existing building, most notably those at the primary façade facing Sutter Street, would be retained and preserved and no distinctive materials, architectural elements, or spaces that characterize the property would be removed.

Staff finds that the proposed horizontal additions will not destroy significant historic material and will minimally affect the massing of the property as seen from Sutter Street and the Cottage Row pedestrian thoroughfare. The proposed second story addition is set back approximately 31 feet from the front façade and will match the footprint and design of the existing bay below. The addition at the ground story will be located approximately 40 feet from the front façade and extend approximately six feet from the side wall to match the width of the front portion of the building. Overall the proposed massing is compatible with the existing scale of the existing building.

All new fenestration on the east façade will be set back approximately 15 feet from the front façade and feature three narrow bays of double-hung wood windows that will relate to the original fenestration of the property in design, proportion, and material, and will feature simplified details such as utilitarian wood trim. New windows at the rear of the building along the east façade will similarly relate to the proportions and materials of fenestration on the subject building and in the surrounding district, while reading as simple and compatible contemporary alterations.

Department staff finds that proposed work will be in conformance with the *Secretary's Standards* and requirements of Article 10, as the proposed work shall not adversely affect the special character or special historical, architectural, or aesthetic interest or value of the landmark and its site. The new materials specified for the rear addition will be in alignment with the district's character-defining features, which include wood siding and wood-sash double-hung windows. No decorative or conjectural elements are proposed in the design of the alterations.

ENVIRONMENTAL REVIEW STATUS

The Planning Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Sections 15301 (Class One - Minor Alteration of Existing Structure) because the project includes a minor alteration of an existing structure that meets the Secretary of the Interior Standards for Rehabilitation of a Historic Property.

PLANNING DEPARTMENT RECOMMENDATION

Planning Department staff recommends APPROVAL WITH CONDITIONS of the proposed project as it appears to meet the Secretary of the Interior Standards for Rehabilitation. Staff supports the project with the following conditions:

- Following issuance of the permit, the project sponsor shall provide a construction timeline for soft demolition. During this phase of construction, the sponsor shall contact Department staff to schedule a site visit to verify conformance with the proposed demolition plans and determine whether a stabilization program shall be required to preserve the property.
- The project sponsor shall complete a site visit with Department preservation staff prior to occupancy in order to verify compliance with the approved project description and conditions of approval.

ATTACHMENTS

Draft Motion
Parcel and 1998 Sanborn Maps
Photographs
Plans



SAN FRANCISCO PLANNING DEPARTMENT

Historic Preservation Commission Draft Motion XXXXX

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ADOPTING FINDINGS FOR A CERTIFICATE OF APPROPRIATENESS FOR PROPOSED WORK DETERMINED TO BE APPROPRIATE FOR AND CONSISTENT WITH THE PURPOSES OF ARTICLE 10, TO MEET THE STANDARDS OF ARTICLE 10 AND TO MEET THE SECRETARY OF INTERIOR'S STANDARDS FOR REHABILITATION, FOR THE PROPERTY LOCATED ON LOT 032 IN ASSESSOR'S BLOCK 0677, WITHIN AN RM-1 (RESIDENTIAL, MIXED, LOW DENSITY) ZONING DISTRICT AND A 40-X HEIGHT AND BULK DISTRICT.

PREAMBLE

WHEREAS, on September 19, 2017, Mark English of Mark English Architects (Project Sponsor) filed an application with the San Francisco Planning Department (hereinafter "Department") for a Certificate of Appropriateness to rehabilitate and expand a single-family residence located on the subject property on lot 032 in Assessor's Block 0677 for continued use as a two-unit residence. Exterior work includes construction of a horizontal addition at the first and second stories of the east (side) façade set back from the primary façade and addition of new windows along the east elevation. In total, the project will add approximately 816 square feet to the existing 2,636 square-foot building for a total of approximately 3,450 square feet of habitable space.

WHEREAS, the Project was determined by the Department to be categorically exempt from environmental review. The Historic Preservation Commission (hereinafter "Commission") has reviewed and concurs with said determination.

WHEREAS, on May 2, 2018, the Commission conducted a duly noticed public hearing on the current project, Case No. 2017-011755COA ("Project") for its appropriateness.

WHEREAS, in reviewing the Application, the Commission has had available for its review and consideration case reports, plans, and other materials pertaining to the Project contained in the Department's case files, has reviewed and heard testimony and received materials from interested parties during the public hearing on the Project.

MOVED, that the Commission hereby grants the Certificate of Appropriateness, in conformance with the architectural plans dated received March 27, 2018 and labeled Exhibit A on file in the docket for Case No. 2017-011755COA based on the following findings:

CONDITIONS OF APPROVAL

- Following issuance of the permit, the project sponsor shall provide a construction timeline for soft demolition. During this phase of construction, the sponsor shall contact Department staff to schedule a site visit to verify conformance with the proposed demolition plans and determine whether a stabilization program shall be required to preserve the property.
- The project sponsor shall complete a site visit with Department preservation staff prior to occupancy in order to verify compliance with the approved project description and conditions of approval.

FINDINGS

Having reviewed all the materials identified in the recitals above and having heard oral testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and also constitute findings of the Commission.
2. Findings pursuant to Article 10:

The Historical Preservation Commission has determined that the proposed work is compatible with the character of the landmark as described in the designation report.

- The proposed project will retain the two-unit residential use while adding a minimal horizontal addition at a secondary façade.
- The proposed horizontal addition will be minimally visible from the public right-of-way and will require minimal removal of historic materials.
- The proposed scale of the addition will be compatible with the existing scale of the building, continuing the plane of the east wall to the rear of the property and extending the existing side bay up a story.

- The design of the addition will be sufficiently differentiated from the historic buildings through the use of contemporary architectural details while maintaining a compatible appearance through the use of elements such as horizontal wood cladding and wood-framed window openings.
- New fenestration on the east side façade will be minimal and will relate to the existing historic fabric.
- The proposed excavation to provide for additional ceiling height at the basement level will not be visible from the public right-of-way.
- The proposed project will not add any conjectural historical features or features that add a false sense of historical development.
- The project will retain distinctive materials and finishes from the period of significance, including the decorative elements, wood siding, and wood-frame structure.
- If the proposed additions were removed in the future, the essential form and integrity of the site will remain intact.
- The proposed project meets the following *Secretary of the Interior's Standards for Rehabilitation*:

Standard 1.

A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

Standard 2.

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

Standard 3.

Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

Standard 4.

Changes to a property that have acquired historic significance in their own right will be retained and preserved.

Standard 5.

Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.

Standard 9.

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Standard 10.

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment will be unimpaired.

3. **General Plan Compliance.** The proposed Certificate of Appropriateness is, on balance, consistent with the following Objectives and Policies of the General Plan:

I. URBAN DESIGN ELEMENT

THE URBAN DESIGN ELEMENT CONCERNS THE PHYSICAL CHARACTER AND ORDER OF THE CITY, AND THE RELATIONSHIP BETWEEN PEOPLE AND THEIR ENVIRONMENT.

GOALS

The Urban Design Element is concerned both with development and with preservation. It is a concerted effort to recognize the positive attributes of the city, to enhance and conserve those attributes, and to improve the living environment where it is less than satisfactory. The Plan is a definition of quality, a definition based upon human needs.

OBJECTIVE 1

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

POLICY 1.3

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

OBJECTIVE 2

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

POLICY 2.4

Preserve notable landmarks and areas of historic, architectural or aesthetic value, and promote the preservation of other buildings and features that provide continuity with past development.

POLICY 2.5

Use care in remodeling of older buildings, in order to enhance rather than weaken the original character of such buildings.

POLICY 2.7

Recognize and protect outstanding and unique areas that contribute in an extraordinary degree to San Francisco's visual form and character.

The goal of a Certificate of Appropriateness is to provide additional oversight for buildings and districts that are architecturally or culturally significant to the City in order to protect the qualities that are associated with that significance.

The proposed project qualifies for a Certificate of Appropriateness and therefore furthers these policies and objectives by maintaining and preserving the character-defining features of 1942 Sutter Street and the Bush Street – Cottage Row Historic District for the future enjoyment and education of San Francisco residents and visitors.

4. The proposed project is generally consistent with the eight General Plan priority policies set forth in Section 101.1 in that:

- A) The existing neighborhood-serving retail uses will be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses will be enhanced:

The proposed project is for the restoration of a residential property and will not have any impact on neighborhood serving retail uses.

- B) The existing housing and neighborhood character will be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods:

The proposed project will strengthen neighborhood character by respecting the character-defining features of the landmark in conformance with the Secretary of the Interior's Standards.

- C) The City's supply of affordable housing will be preserved and enhanced:

The project will not reduce the affordable housing supply as the existing ten units at the property are uninhabitable.

- D) The commuter traffic will not impede MUNI transit service or overburden our streets or neighborhood parking:

The proposed project will not result in commuter traffic impeding MUNI transit service or overburdening the streets or neighborhood parking. It will provide sufficient off-street parking for the proposed units.

- E) A diverse economic base will be maintained by protecting our industrial and service sectors from displacement due to commercial office development. And future opportunities for resident employment and ownership in these sectors will be enhanced:

The proposed will not have any impact on industrial and service sector jobs.

- F) The City will achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

Preparedness against injury and loss of life in an earthquake is improved by the proposed work. The work will eliminate unsafe conditions at the site and all construction will be executed in compliance with all applicable construction and safety measures.

- G) That landmark and historic buildings will be preserved:

The proposed project is in conformance with Article 10 of the Planning Code and the Secretary of the Interior's Standards.

- H) Parks and open space and their access to sunlight and vistas will be protected from development:

The proposed project will not impact the access to sunlight or vistas for the parks and open space.

5. For these reasons, the proposal overall, is appropriate for and consistent with the purposes of Article 10, meets the standards of Article 10, and the Secretary of Interior's Standards for Rehabilitation, General Plan and Prop M findings of the Planning Code.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **GRANTS a Certificate of Appropriateness** for the property located at Lot 032 in Assessor's Block 0677 for proposed work in conformance with the renderings and architectural sketches dated March 27, 2018 and labeled Exhibit A on file in the docket for Case No. 2017-01755COA.

APPEAL AND EFFECTIVE DATE OF MOTION: The Commission's decision on a Certificate of Appropriateness shall be final unless appealed within thirty (30) days. Any appeal shall be made to the Board of Appeals, unless the proposed project requires Board of Supervisors approval or is appealed to the Board of Supervisors as a conditional use, in which case any appeal shall be made to the Board of Supervisors (see Charter Section 4.135).

Duration of this Certificate of Appropriateness: This Certificate of Appropriateness is issued pursuant to Article 10 of the Planning Code and is valid for a period of three (3) years from the effective date of approval by the Historic Preservation Commission. The authorization and right vested by virtue of this action shall be deemed void and canceled if, within 3 years of the date of this Motion, a site permit or building permit for the Project has not been secured by Project Sponsor.

THIS IS NOT A PERMIT TO COMMENCE ANY WORK OR CHANGE OF OCCUPANCY UNLESS NO BUILDING PERMIT IS REQUIRED. PERMITS FROM THE DEPARTMENT OF BUILDING INSPECTION (and any other appropriate agencies) MUST BE SECURED BEFORE WORK IS STARTED OR OCCUPANCY IS CHANGED.

I hereby certify that the Historical Preservation Commission ADOPTED the foregoing Motion on May 2, 2018

Jonas P. Ionin
Commission Secretary

AYES: X

NAYS: X

ABSENT: X

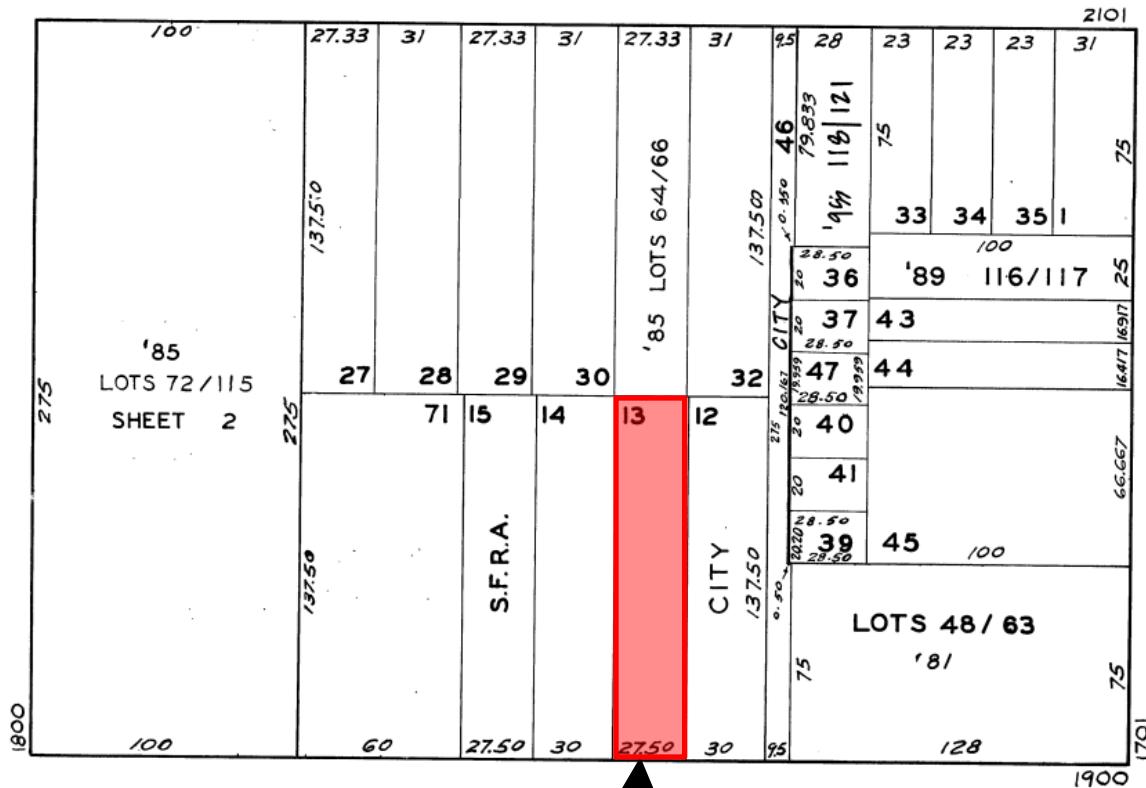
ADOPTED: May 2, 2018

Parcel Map

FILLMORE

WEBSTER

BUSH

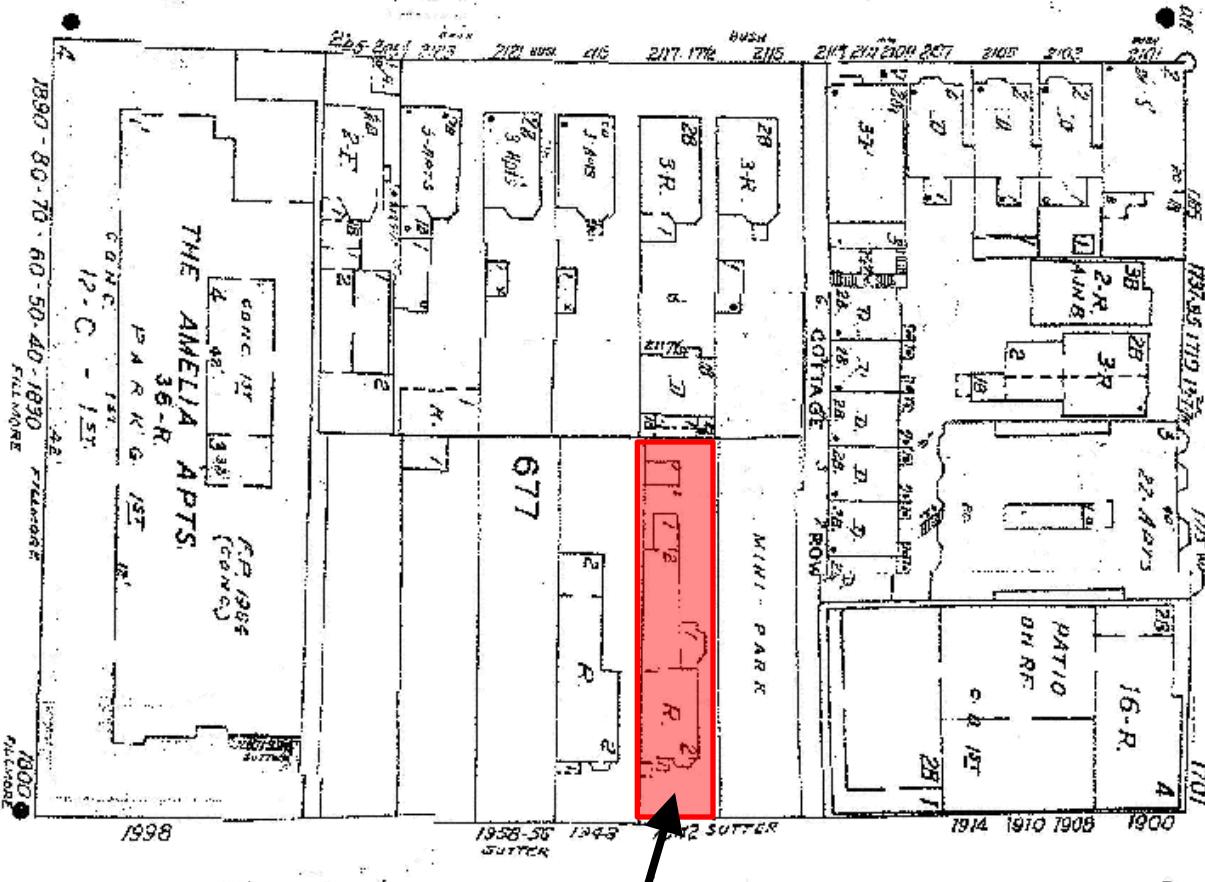


SUBJECT PROPERTY



Certificate of Appropriateness Hearing
Case Number 2012017-011755COA
1942 Sutter Street
Block 0677 Lot 032

Sanborn Map*



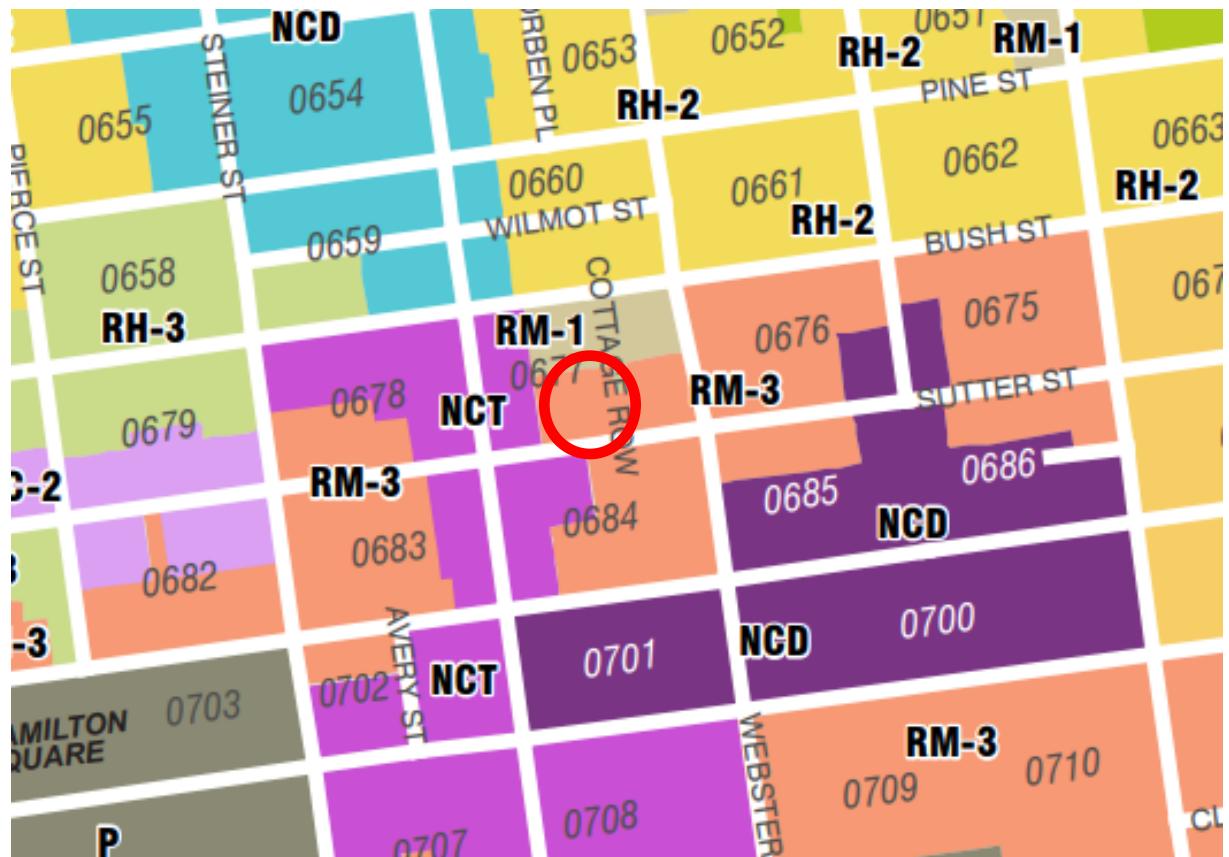
SUBJECT PROPERTY

**The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.*



Certificate of Appropriateness Hearing
Case Number 2012017-011755COA
1942 Sutter Street
Block 0677 Lot 032

Zoning Map



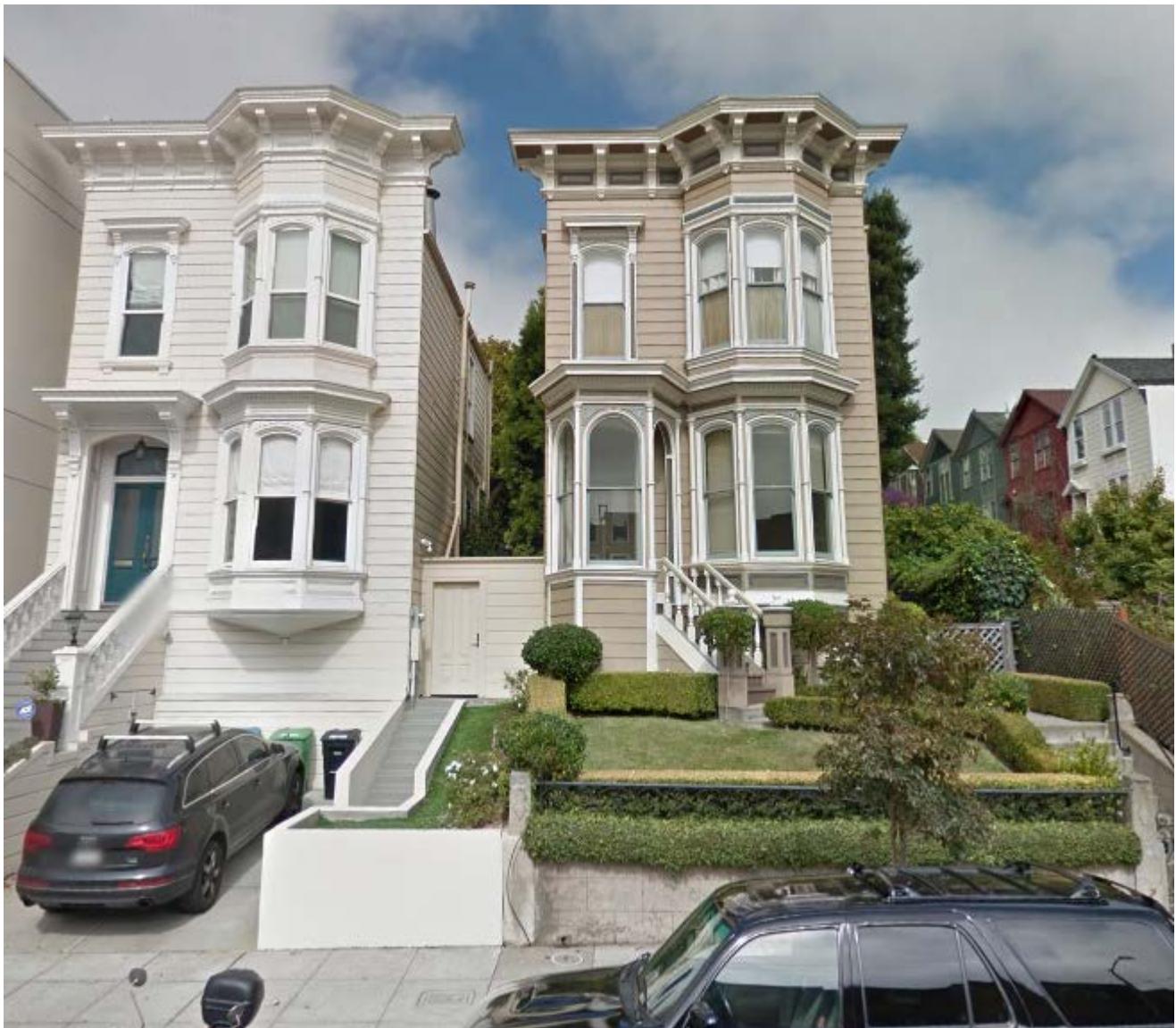
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Aerial Photo (looking east)



Certificate of Appropriateness Hearing
Case Number 2012017-011755COA
1942 Sutter Street
Block 0677 Lot 032

Site Photo



Certificate of Appropriateness Hearing
Case Number 2012017-011755COA
1942 Sutter Street
Block 0677 Lot 032

Site Photo

(Side elevation, looking northwest)



Certificate of Appropriateness Hearing
Case Number 2012017-011755COA
1942 Sutter Street
Block 0677 Lot 032

PROJECT DATA:

LOCATION: 1942 SUTTER STREET, SAN FRANCISCO, CA 94115

OWNER: CHIHLIAN "ETHAN" YANG
181 O'FARRELL STREET, SUITE 503
SAN FRANCISCO, CA 94102
TEL: 415.988.2826

APPLICABLE CODES:

2016 CALIFORNIA BUILDING CODE
2016 CALIFORNIA MECHANICAL CODE
2016 CALIFORNIA PLUMBING CODE
2016 CALIFORNIA FIRE CODE
WITH 2016 SAN FRANCISCO AMENDMENTS

LOT AREA: 3,782 SQ FT (0.08 ACRE)

PARKING REQUIRED EXISTING

2 (1 PER EACH DWELLING UNIT)
(ON STREET PARKING)

	EXISTING	PROPOSED
ZONE:	Rm-3	Rm-3
HEIGHT/BULK DISTRICT	40-X	40-X
OCCUPANCY GROUP:	R3	R3
CONSTRUCTION TYPE:	VB	NO CHANGE
LOT / BLOCK NUMBER:	0677 / 013	
SEISMIC UPGRADE:	NO	NO
FIRE SPRINKLERING:	NO	NO
DWELLING UNITS:	TWO	TWO
PARKING:	TWO	TWO
YEAR BUILT:	'1900	

AREA CALCULATION: (FROM OUTSIDE FACE OF FRAMING)

	EXISTING	PROPOSED	TOTAL
UNIT 1	BASEMENT MAIN LEVEL	1,407.7 SQ FT -	461.4 SQ FT 1,007.43 SQ FT
	SECOND LEVEL	-	+902.93 SQ FT 902.93 SQ FT
TOTAL		1,407.7 SQ FT	2,371.76 SQ FT
UNIT 2	MAIN LEVEL	-	+964.06 SQ FT 658.35 SQ FT
	SECOND LEVEL	1,228.8 SQ FT	-807.76 SQFT 421.04 SQ FT
TOTAL		1,228.8 SQ FT	1079.99 SQ FT
		2,636.5 SQ FT	3,451.15 SQ FT

DISCLAIMER:
ALL EXISTING DIMENSIONS SHOWN ARE FIELD MEASUREMENTS TAKEN BY THE ARCHITECT. THE ARCHITECT DOES NOT MAKE ANY WARRANTY EXPRESSED OR IMPLIED OR ASSUME ANY LEGAL LIABILITY OR RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF THE EXISTING DIMENSIONS.

PROJECT DESCRIPTION:
RE MODEL AND ADDITION TO AN EXISTING TWO UNIT RESIDENTIAL DUPLEX W/ (N) BASEMENT.
RE CONVERSION OF (E) CRAWL SPACE INTO (N) BASEMENT
- HORIZONTAL ADDITION OF (E) FLOOR TO (N) FLOOR PARTITIONS
- UPGRADING INFERIOR FLOORING AND INTERIOR PARTITION FINISHES
- REPLACING EXTERIOR DECORATIVE RAILING AND ROOFING
- REBUILDING MASONRY AND DOORS, IN KIND

PROJECT TEAM:
OWNER: CHIHLIAN "ETHAN" YANG
181 O'FARRELL STREET
SAN FRANCISCO, CA 94102
TEL: 415.391.0186

ARCHITECT: MARK ENGLISH ARCHITECTS
5 SAN FRANCISCO, CA 94115
TEL: 415.391.0186

SHEET INDEX:

ARCHITECTURAL	A00	PROJECT NOTES, INDEX, ETC
A01		EXISTING SITE PLAN
A02		PROPOSED SITE PLAN
A11		EXISTING FLOOR PLANS
A12		EXISTING EXTERIOR ELEVATIONS
A13		EXISTING EXTERIOR ELEVATIONS
A14		EXISTING EXTERIOR ELEVATIONS
A15		EXISTING EXTERIOR ELEVATIONS
A17		EXISTING BUILDING SECTIONS
A21		PROPOSED FLOOR PLANS
A22		PROPOSED EXTERIOR ELEVATIONS
A23		PROPOSED EXTERIOR ELEVATIONS
A24		PROPOSED BUILDING SECTIONS
A35		PROPOSED BUILDING SECTIONS

NOTE: If removal and replacement of additional building elements considered beyond repair is required during construction, contact the Planning Department immediately for review and approval. This includes: floor framing, sidewalls and other structural members not visible from the public right-of-way. Removal of elements beyond percentages submitted above is considered a violation. If removal is beyond percentages outlined in Planning Code Section 1005, further environmental review by the Planning Department is required.

PROJECT NOTES, INDEX, ETC

BLDG/LOT: 0677 / 013
SAN FRANCISCO, CA 94115

PROJECT NUMBER: Z-01

MARK ENGLISH Architects

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San Francisco, California
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t. 415.391.0186

PRINT DATE: 03.08.18
SCALE: AS SHOWN
DRAFTED BY: AAC
CHECKED BY: ME
PRINT DATE: 03.08.18
SCALE: AS SHOWN

VICINITY MAP

A0.0

GENERAL NOTES:		
1. ALL WORK SHALL COMPLY WITH THE 2016 CALIFORNIA BUILDING CODE (2015 INTERNATIONAL BUILDING CODE) AND AMENDMENT 5A (2016) FOR THE STATE OF CALIFORNIA. ALSO, THE 2015 CALIFORNIA ELECTRICAL CODE, 2015 CALIFORNIA PLUMBING CODE, 2015 CALIFORNIA GREEN BUILDING CODE, 2015 CALIFORNIA RESIDENTIAL CODE, 2015 CALIFORNIA FIRE CODE, AND WHEN APPLICABLE, THE 2016 CALIFORNIA PRE-SENTIMENTAL CODE. 2015 INTERNATIONAL RESIDENTIAL CODE, 2015 CALIFORNIA PLUMBING CODE, AND 2016 CALIFORNIA GREEN BUILDING CODE. CONTRACTOR SHALL COMPLY WITH ANY OTHER STANDARD OR CODE IN EFFECT AS OF DATE OF CONTRACT DOCUMENTS.		
2. DO NOT SCALE DRAWINGS. FIGURED DIMENSIONS SHALL BE FOLLOWED. LARGE SCALE DRAWINGS OR OTHER DRAWINGS, NOTES AND DETAILS, NOTIFY ARCHITECT IMMEDIATELY OR ANY DIMENSIONAL DISCREPANCIES.		
3. BEFORE STARTING ANY PORTION OF WORK THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL VISIT THE SITE AND BE KNOWLEDGEABLE OF CONDITIONS THEREIN. ALL EXISTING CONDITIONS THAT HAVE BEARING ON HIS WORK, ARCHITECT IS TO NOTIFY IMMEDIATELY OF ANY DISCREPANCIES. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL TRADES. CONTRACTOR IS TO NOTIFY ARCHITECT IMMEDIATELY OF ANY CONDITION REQUIRING MODIFICATION BEFORE PROCEEDING WITH WORK.		
4. CONTRACTOR SHALL COORDINATE ALL MECHANICAL, PLUMBING, ELECTRICAL, CIVIL, STRUCTURAL AND CONSTRUCTION WORK CONTRACTS FOR SHALLOW OUTLINE WORK. THE ARCHITECT OR OTHER PERMIT ISSUING AGENCY IS RESPONSIBLE FOR COORDINATING DEEPER WORK. CONTRACTOR IS TO NOTIFY ARCHITECT IMMEDIATELY OF ANY CONDITION REQUIRING MODIFICATION BEFORE PROCEEDING WITH WORK.		
5. CONTRACTOR SHALL PROVIDE PUBLIC PROTECTION AS REQUIRED BY CITY AND COUNTY REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ANY TEMPORARY BRACING TO INSURE THE SAFETY OF THE WORK.		
6. THE CONTRACTOR IS RESPONSIBLE FOR CUTTING, FITTING AND PATCHING AS REQUIRED TO MAKE THE SEVERAL PARTS FIT TOGETHER PROPERLY.		
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING SEPARATE PERMITS FOR ELECTRICAL, MECHANICAL, PLUMBING, GRADING OR OTHER PERMITS AS MAY BE REQUIRED BY LOCAL AUTHORITIES. ISSUANCE OF A BUILDING PERMIT BASED ON THESE DRAWINGS DOES NOT CONSTITUTE GRANTING OF THESE SEPARATE PERMITS.		
8. THE CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR AND EQUIPMENT REQUIRED FOR THE FULL PERFORMANCE OF THE WORK. IF UNLAWFUL, UNLAWFUL SPECIFICALLY NOTED OTHERWISE, ALL WORK SHALL BE PERFORMED IN A GOOD AND WORKMAN-LIKE MANNER AND CONFORM TO ALL PERTINENT REGULATIONS AND INSTRUCTIONS.		
9. ALL WORK SHOWN IS TO BE CONSTRUCTED OF NEW MATERIAL U.O.N. INSTALLATION AND/OR MAINTENANCE DIRECTIONS PROVIDED BY THE MANUFACTURER SHALL BE FOLLOWED FOR ALL MATERIALS U.O.N.		
10. ALL ITEMS MARKED (E) ARE EXISTING AND (N) ARE NEW.		
11. ALL WALLS AND CEILINGS SHALL BE 3/8" GYPSUM WALL BOARD (GWB) UNLESS OTHERWISE NOTED. AT WALLS SEPARATING GARAGE FROM HOUSE AND ENCLOSED USABLE SPACE BEHIND STAIRS SHALL BE ONE-HOUR FIRE RESISTANT 5/8" TYP X GWB. AT WET AREAS SHALL BE WATER RESISTANT GWB (GREEN BOARD). SEE FINISH SCHEDULE FOR GYP-BRD. FINISH LEVELS.		
12. NO EXTRA COMPENSATION SHALL BE ALLOWED FOR EXTRA WORK RESULTING FROM LACK OF COORDINATION BETWEEN TRADES.		
13. ALL KNOWN UNDERGROUND CONDITIONS HAVE BEEN SHOWN. THE CONTRACTOR SHOULD EXERCISE CAUTION WHEN EXCAVATING TO AVOID DAMAGE TO (E) UNDERGROUND PIPE, CONDUITS, ETC. WHICH ARE TO REMAIN.		
SITE NOTES:		
1. PUBLIC RIGHT OF WAY SHALL BE KEPT CLEAN AND FREE OF DEBRIS FOR THE DURATION OF THE PROJECT.		
2. GENERAL CONTRACTOR RESPONSIBLE FOR DAILY SWEEPING DAILY.		
3. GENERAL CONTRACTOR RESPONSIBLE FOR COORDINATION OF SHUTDOWN AND REMOVAL OF (E) UTILITIES OWNED BY SAN FRANCISCO DEPARTMENT OF PUBLIC HEALTH AND ANY ASSOCIATED AGENCIES AS REQUIRED.		
4. GENERAL CONTRACTOR RESPONSIBLE FOR PUBLIC AND SITE SAFETY AT ALL TIMES.		
DEMOLITION NOTES:		
1. CONTRACTOR SHALL PROTECT ALL EXISTING CONSTRUCTION TO REMAIN FROM DAMAGE DURING DEMOLITION.		
2. CONTRACTOR SHALL PATCH AND/ OR REPAIR ALL EXISTING ADJACENT CONSTRUCTION AS REQUIRED AFTER DEMOLITION TO PROVIDE A COMPLETE AND FINISHED INSTALLATION.		
3. CONTRACTOR TO PROVIDE TEMPORARY SHORING AS NECESSARY DURING DEMOLITION. CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY AT ALL TIMES DURING DEMOLITION AND CONSTRUCTION. PROVIDE PUBLIC PROTECTION AS NECESSARY.		
4. CONTRACTOR SHALL DEMOLISH AND/ OR REMOVE ALL ITEMS AS INDICATED ON THE DRAWINGS.		
5. CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS CAUSED BY DEMOLITION AND OTHER DEBRIS IN THE BUILDING. CONTRACTOR SHALL CLEAN UP DAILY AND SHALL NOT ALLOW AN EXCESSIVE AMOUNT OF DEBRIS TO ACCUMULATE AT ANY TIME.		
6. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND LEGAL DISPOSAL OF ALL ITEMS, MATERIALS, ETC. DEMOLISHED FROM PROPERTY.		
7. WHERE EXISTING LIGHT FIXTURES, ELECTRICAL OUTLETS, ETC. ARE TO BE REMOVED, ALL SERVICE TO SAME SHALL BE CAPPED OR REMOVED IN ACCORDANCE WITH ALL APPLICABLE CODES.		
8. WHERE EXISTING MECHANICAL CHIMNEY, DUCTWORK, ETC. IS TO BE DEMOLISHED CONTRACTOR TO PROTECT EQUIPMENT AND DUCTWORK TO REMAIN.		
GRAPHIC SYMBOLS LEGEND:		
AREA OF DEMOLITION		
(E) CONSTRUCTION TO REMAIN		
(E) CONSTRUCTION TO BE REMOVED		
(N) CONSTRUCTION		
AREA OF (N) CONSTRUCTION		
(N) ONE-HOUR RATED CONSTRUCTION		
DETAIL MARKER		
REVISION		
(N) DOOR, (E) TO REMAIN WITHOUT TAG		
(N) WINDOW, (E) TO REMAIN WITHOUT TAG		
# - #-# DIMENSION		

BLOCK / LOT: 0677 / 029
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523 Francisco Street
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PROJECT NUMBER: Z-01

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SAN FRANCISCO, CA 94115

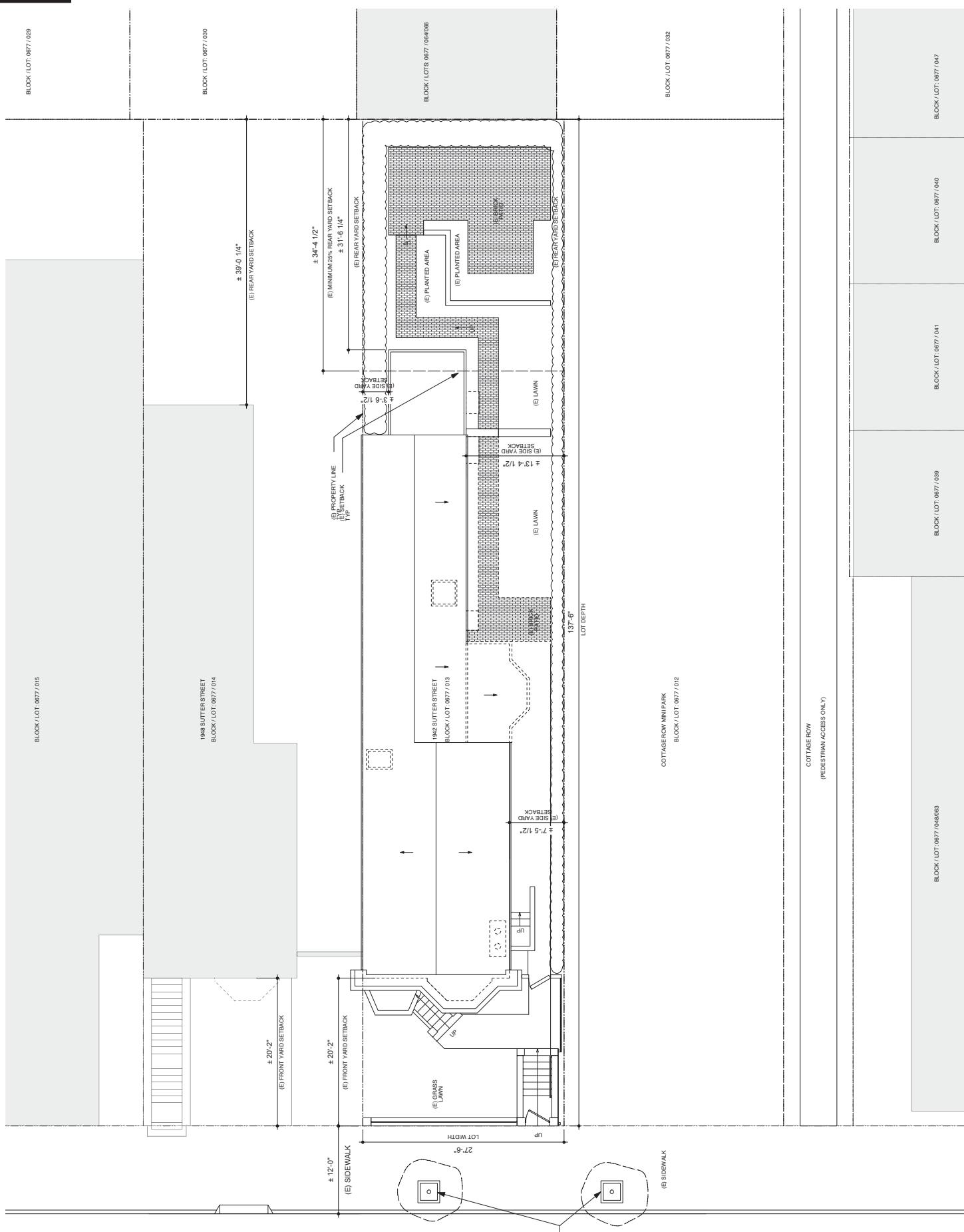
1942 SUTTER STREET

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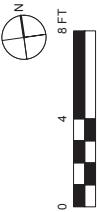
SITE PLAN



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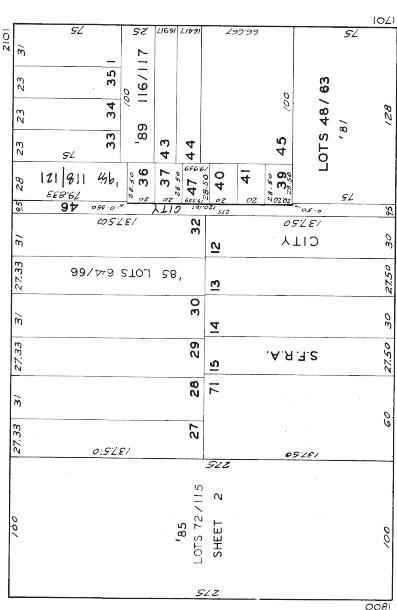
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A0.1



EXISTING SITE PLAN
A0.1
Scale: 1/4" = 1'-0"

BUSH



EXISTING ASSESSOR'S PARCEL MAP - 199

SITE NOTES:

- PUBLIC RIGHT OF WAY SHALL BE KEPT CLEAN AND FREE OF DEBRIS FOR THE DURATION OF THE PROJECT. GENERAL CONTRACTOR IS RESPONSIBLE FOR DAILY SWEEPING DAILY.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF SHUTDOWN AND REMOVAL OF UTILITIES WITH CITY OF SAN FRANCISCO DEPARTMENT OF PUBLIC HEALTH AND ANY ASSOCIATED AGENCIES AS REQUIRED.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR PUBLIC AND SITE SAFETY AT ALL TIMES.

FILM MORE

1942 SUTTER STREET

1942 SOUTHERN SHIELD
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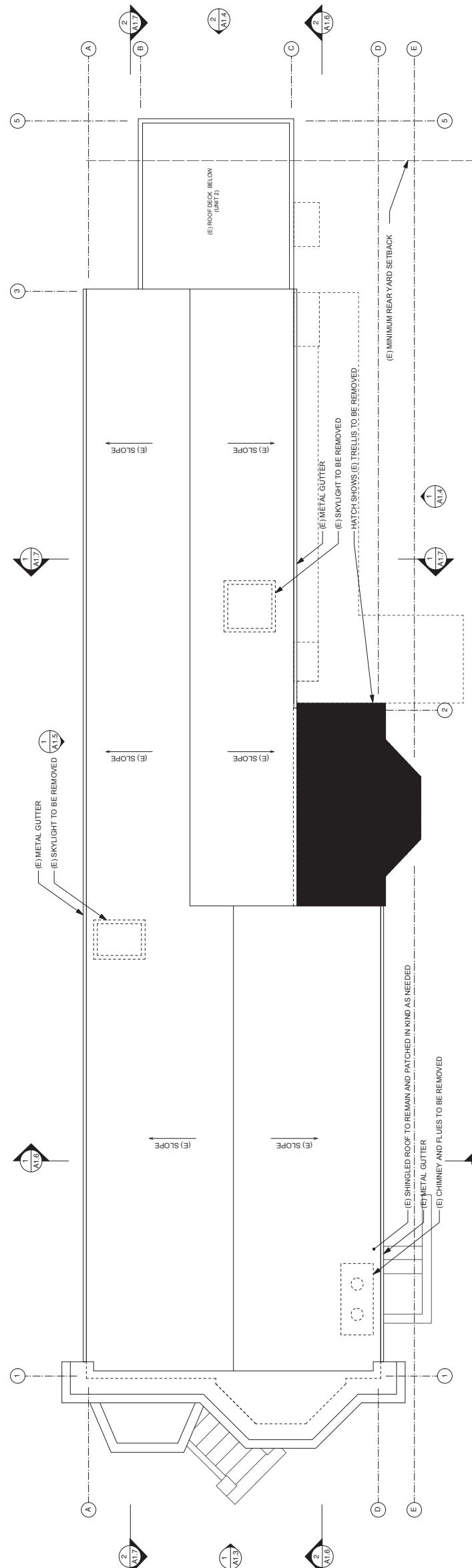
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MARK ENGLISH architects



EXISTING/DEMOLITION ROOF PLAN



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EXISTING SECOND LEVEL & ROOF PLANS

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21

The legend includes:

- WALL LEGEND:**
- AREA OF DEMOLITION**: A solid black rectangle.
- (E) CONSTRUCTION TO REMAIN**: A dashed rectangle.
- (E) CONSTRUCTION TO BE REMOVED**: A dashed rectangle.
- (N) CONSTRUCTION**: A solid black circle with a vertical line through it.
- (N) AREA OF (N) CONSTRUCTION**: A dashed circle with a vertical line through it.
- (N) ONE-HOUR RATED CONSTRUCTION**: A solid black rectangle with a diagonal cross.

Below the legend is a scale bar from 0 to 8 FT with a checkered pattern.

CONSTRUCTION AS REQUIRED AFTER DEMOLITION TO PROVIDE A COMPLETE AND FINISHED INSTALLATION.

CONTRACTOR TO PROVIDE TEMPORARY SHORING AS NECESSARY DURING DEMOLITION. CONTRACTOR IS RESPONSIBLE FOR THE SAFETY AT ALL TIMES DURING DEMOLITION AND CONSTRUCTION. PROVIDE PUBLIC NOTICE AS NECESSARY.

CONTRACTOR SHALL DEMOLISH AND / OR REMOVE ALL ITEMS AS INDICATED ON THE DRAWINGS.

CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS CAUSED BY DEMOLITION AND OTHER DEBRIS IN THE BUILDING. CONTRACTOR SHALL CLEAN UP DAILY AND SHALL NOT ALLOW AN EXCESSIVE AMOUNT OF DEBRIS TO ACCUMULATE AT ANY TIME.

CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND LEGAL DISPOSAL OF ALL ITEMS, MATERIALS, ETC. DEMOLISHED FROM PROPERTY.

WHERE EXISTING LIGHT FIXTURES, ELECTRICAL OUTLETS, ETC. ARE TO BE REMOVED, ALL SERVICE TO SAME SHALL BE CAPTURED OR REMOVED IN ACCORDANCE WITH ALL APPLICABLE CODES.

WHERE ANY EXISTING MECHANICAL CHIMNEY DUCTWORK ETC. IS TO BE DEMOLISHED

DEMOLITION NOTES:

- CONTRACTOR SHALL PROTECT ALL EXISTING CONSTRUCTION TO REMAIN FROM DAMAGE DURING DEMOLITION.**

CONTRACTOR SHALL PATCH AND / OR REPAIR ALL EXISTING ADJACENT CONSTRUCTION AS REQUIRED AFTER DEMOLITION TO PROVIDE A COMPLETE AND FINISHED INSTALLATION.

CONTRACTOR TO PROVIDE TEMPORARY SHORING AS NECESSARY DURING DEMOLITION. CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY AT ALL TIMES DURING DEMOLITION AND CONSTRUCTION. PROVIDE PUBLIC PROTECTION AS NECESSARY.

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CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND LEGAL DISPOSAL OF PROPERTY, MATERIALS, ETC. DEMOLISHED FROM THE PROPERTY.

WHERE EXISTING LIGHT FIXTURES, ELECTRICAL OUTLETS, ETC. ARE TO BE REMOVED, ALL SERVICE TO SAME SHALL BE CAPPED OR REMOVED IN ACCORDANCE WITH ALL APPLICABLE CODES.

WHERE EXISTING MECHANICAL CHIMNEY, DUCTWORK, ETC. IS TO BE DEMOLISHED, CONTRACTOR TO PROTECT EQUIPMENT AND DUCTWORK TO REMAIN WITHIN THE EXISTING STRUCTURE.

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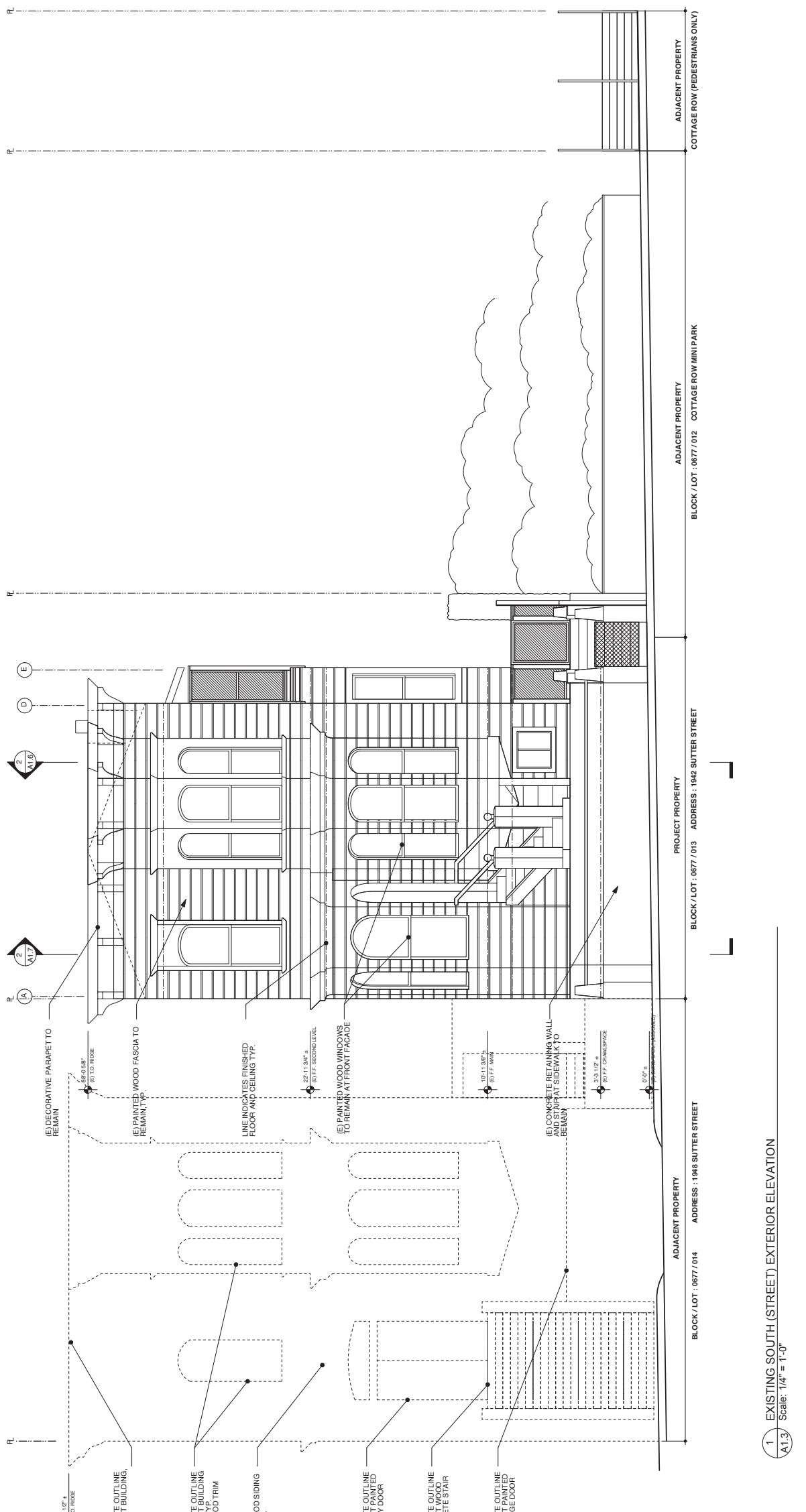
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EXISTING SOUTH ELEVATION

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A1.3

A1.3



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PROJECT NUMBER: Z-01



1942 SUTTER STREET
SAN FRANCISCO, CA 94115
BLOCK / LOT: 0677 / 013

523 Francisco Street
San Francisco, California

STREET
1942 SOUTH

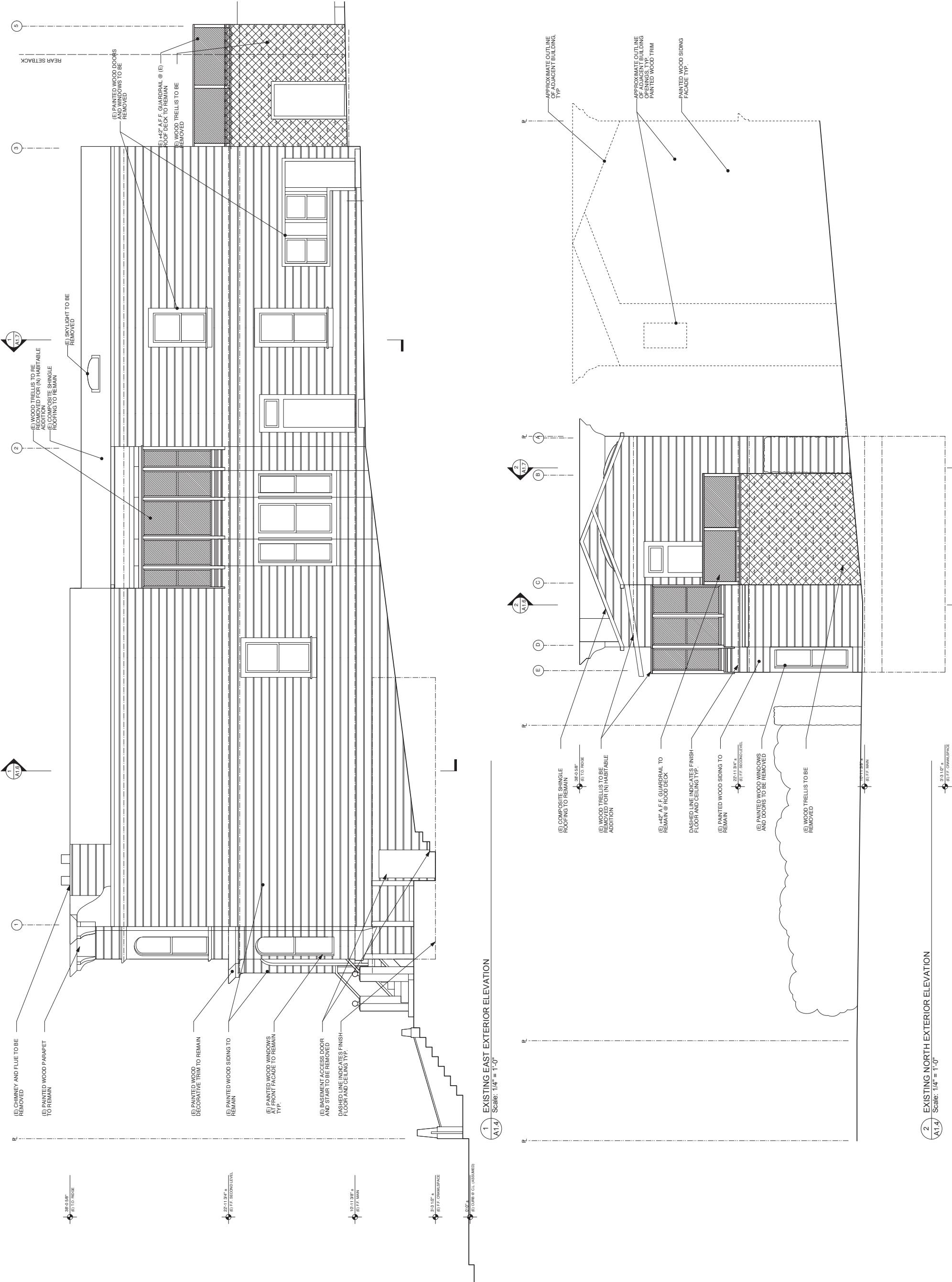
EXISTING EAST & NORTH ELEVATIONS

REVISIONS:	NO.	DATE	DESCRIPTION	NODR #/RESPONSE
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A1.4



1942 SUTTER
STREET

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EXISTING EAST & NORTH ELEVATIONS

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5
Al

1 EXISTING WEST EXTERIOR ELEVATION
A1.5 Scale: 1/4" = 1'-0"

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EXISTING BUILDING SECTIONS

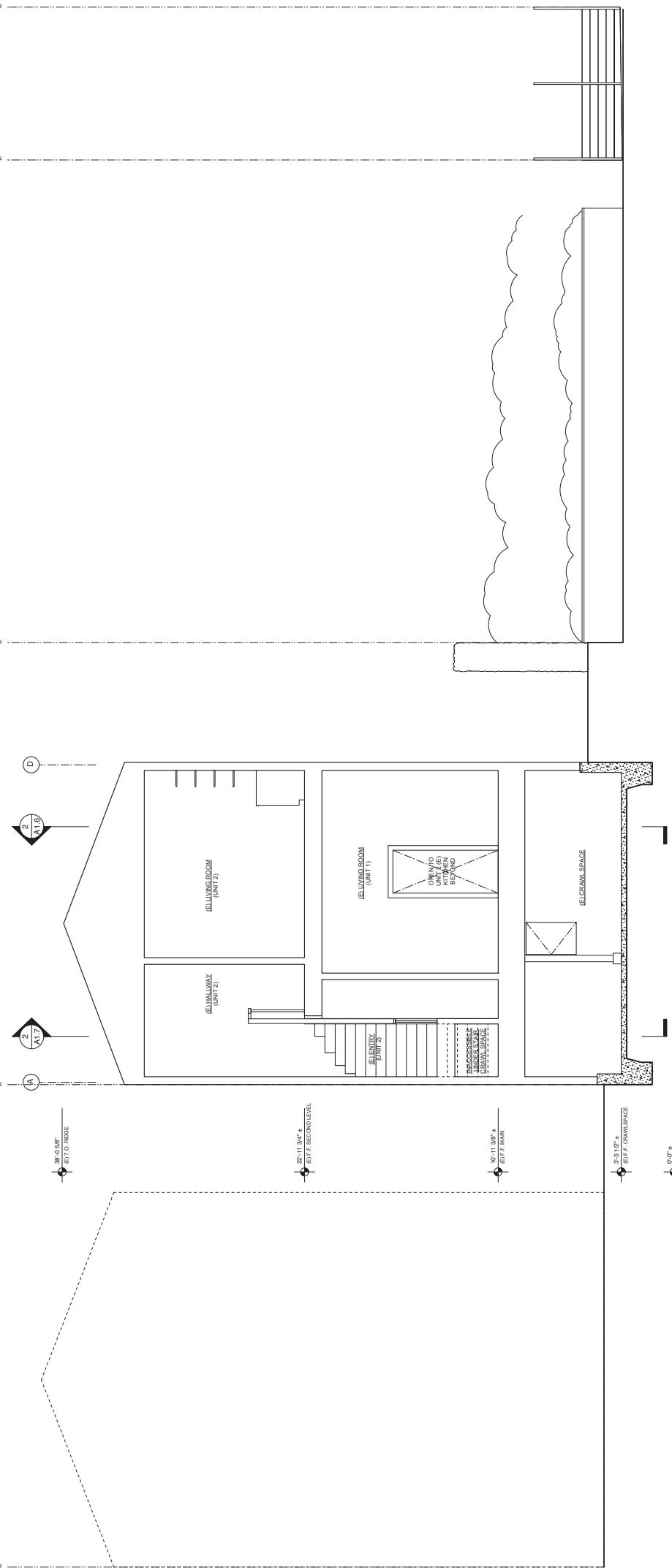
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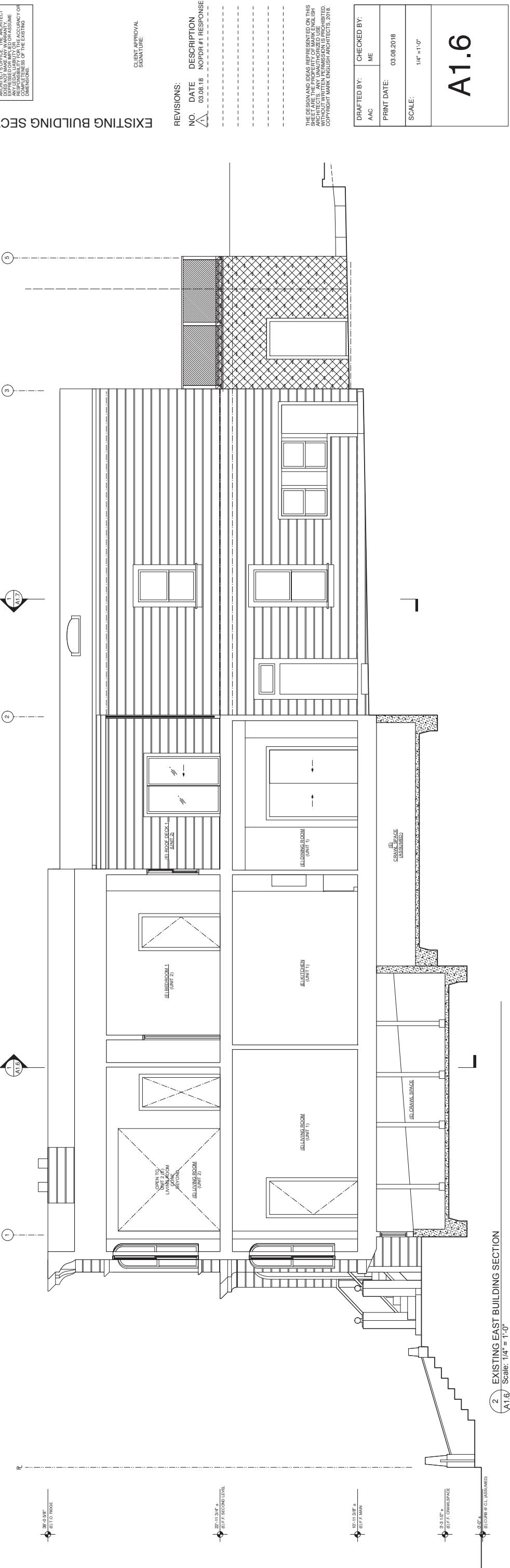
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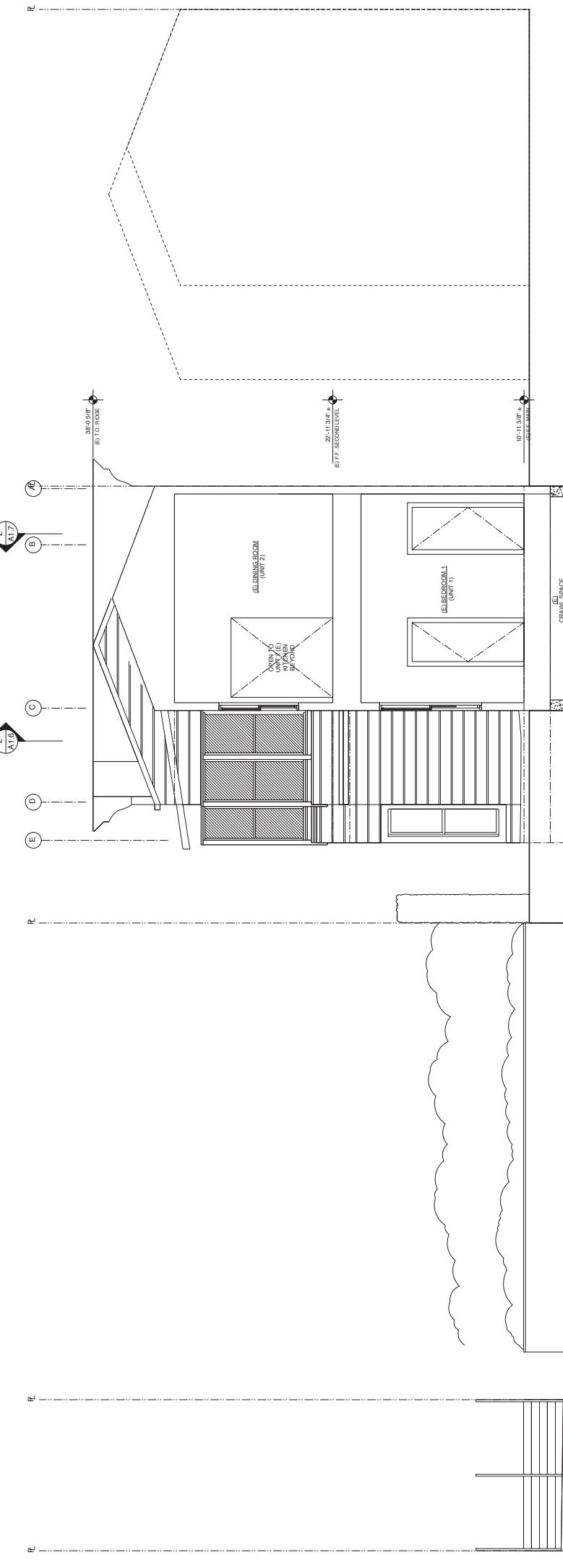
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A1



1 EXISTING SOUTH BUILDING SECTION





1 EXISTING SOUTH BUILDING SECTION



LICENSED ARCHITECT
MARK DAVID ENGLISH
C-10594
07.31.19
RESIDENTIAL
STATE OF CALIFORNIA

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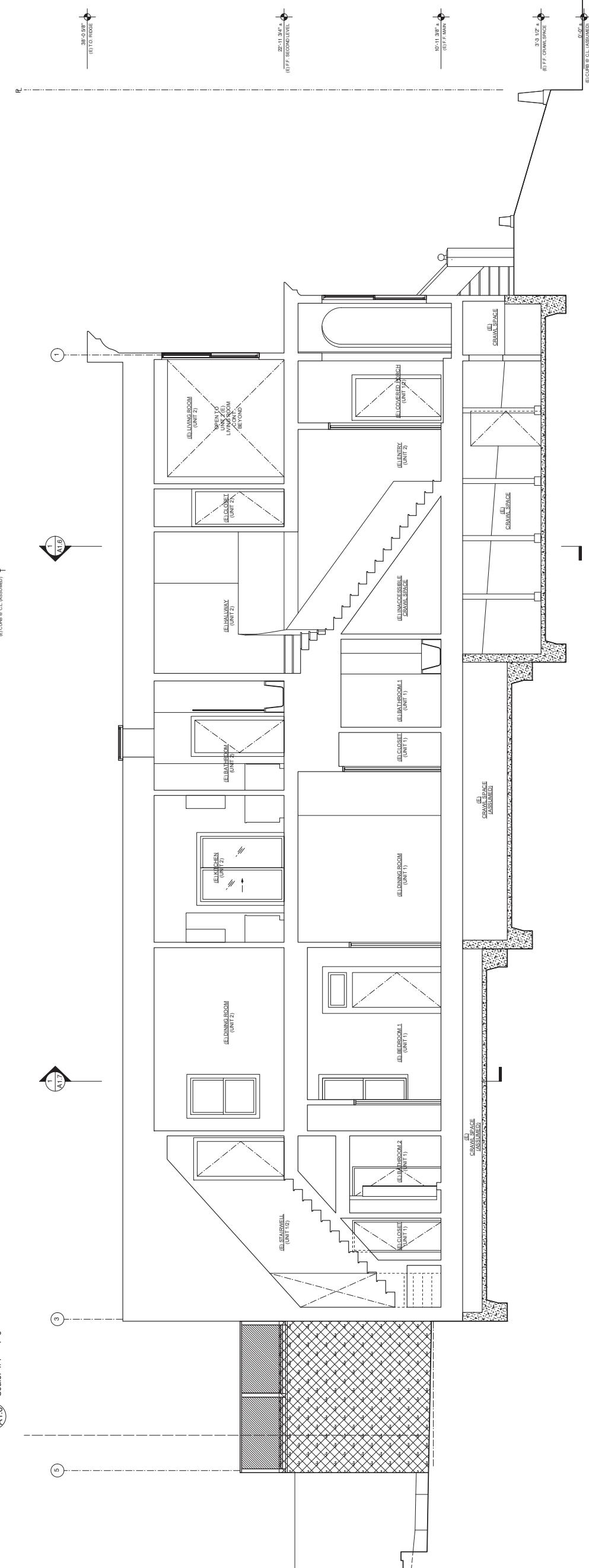
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EXISTING BUILDING SECTIONS



2 EXISTING EAST BUILDING SECTION

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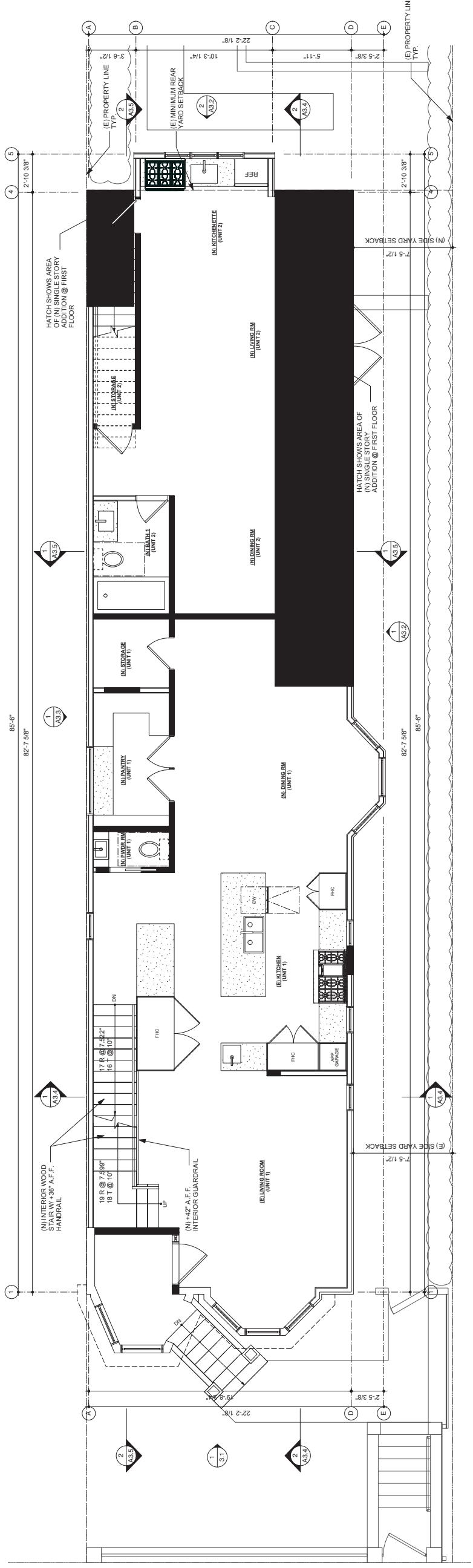
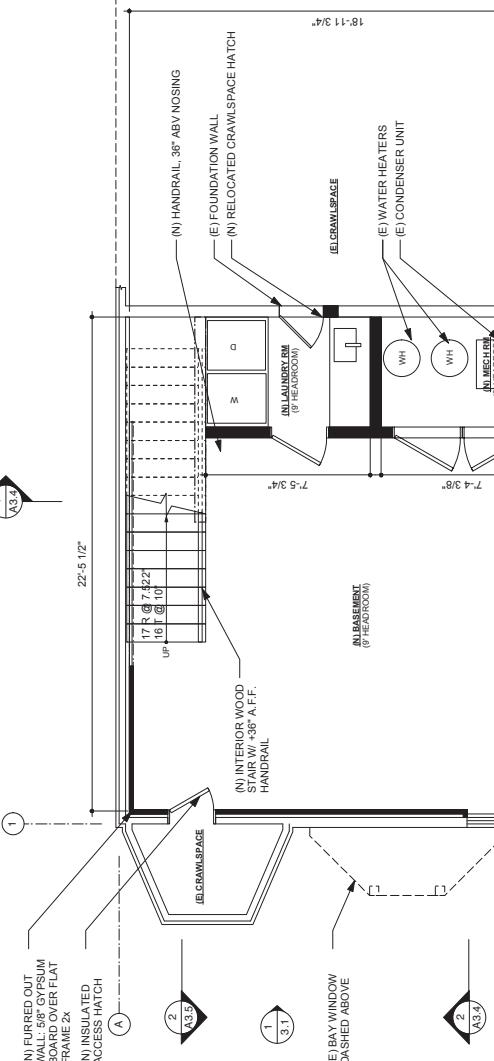
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1942 SUTTER STREET

1942 SUTTER STREET

523 Francisco Street
San Francisco, California
94133**PROPOSED BASEMENT PLAN**
Scale: 1/4" = 1'-0"**SAFETY GLAZING NOTES:**

PER SECTION R004, THE FOLLOWING ARE REQUIRED FOR
TEMPED GLASS AT WINDOWS THAT MEET THE FOLLOWING
CONDITIONS:

- GLAZING IN DOORS.
- GLAZING WITHIN 24" OF THE ARC OF DOOR OPENINGS.
- GLAZING IN GUARDS AND RAILINGS.
- GLAZING IN SHOWER AND TUB ENCLOSURES.
- GLAZING IN WINDOWS AS RECD BY C.R.R. 808.4.
- GLAZING ADJACENT TO STAIRS AND RAMPS.

F.

- ALL DIMENSIONS TO FACE OF STUD, FACE OF MASONRY OR FACE OF CONCRETE U.O.N.
- ALL EXTERIOR WALLS ARE 2 X 4 STUDS @ 16" O.C. UNO. SEE STRUCTURAL DRAWINGS.
- PROVIDE AN ESCAPE OR RESCUE WINDOW IN EACH BEDROOM THAT INCORPORATES OPENABLE AREA OF 57 SF. A MINIMUM NEW CLEAR HEIGHT OF 24 INCHES - A MINIMUM NET CLEAR WIDTH OF 20 INCHES - A MAXIMUM FINISHED SILL HEIGHT OF 44 INCHES ABOVE F.T.
- PROVIDE SAFETY GLAZING FOR SHOWER OR TUB SHOWER SHALL BE OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE PER U.C. SEE SHEET G00 FOR ADDITIONAL NOTES.

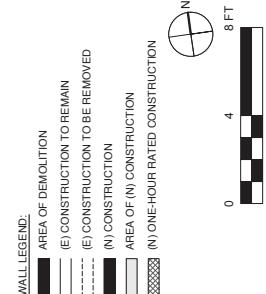


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PROPOSED FLOOR PLANS

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A2.1

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SAN FRANCISCO, CA 94115

1942 SUTTER STREET

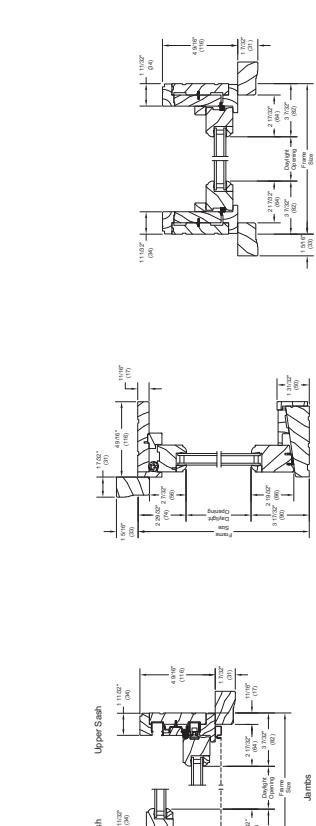
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5 TYPICAL PROPOSED AWNING WINDOW CUT SHEET

A3.1 Scale: N.T.S. 'MARVIN' WOOD ULTIMATE AWNING WINDOW

5 TYPICAL PROPOSED AWNING WINDOW CUT SHEET

A3.1 Scale: N.T.S. 'MARVIN' WOOD ULTIMATE DOUBLE HUNG WINDOW



6 TYPICAL PROPOSED GLIDER WINDOW CUT SHEET

A3.1 Scale: N.T.S. 'MARVIN' WOOD ULTIMATE GLIDER WINDOW



7 TYPICAL PROPOSED CASEMENT WINDOW CUT SHEET

A3.1 Scale: N.T.S. 'MARVIN' WOOD ULTIMATE PUSH OUT FRENCH CASEMENT

LICENSED ARCHITECT

MARK DAVID ENGLISH

REGISTRATION NO.

C-10594

RENEWAL DATE

07.31.19

STATE OF CALIFORNIA

*

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ME

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SCALE:

1/4" = 1'-0"

A3.1



0 4

FT

PROJECT PROPERTY

ADJACENT PROPERTY

PROJECT PROPERTY

ADJACENT PROPERTY

ADJACENT PROPERTY

ADJACENT PROPERTY

ADJACENT PROPERTY

ADJACENT PROPERTY

PROPOSED SOUTH (STREET) EXTERIOR ELEVATION

BLOCK / LOT : 0677 / 014 ADDRESS : 1948 SUTTER STREET

BLOCK / LOT : 0677 / 012 ADDRESS : 1942 SUTTER STREET

BLOCK / LOT : 0677 / 013 ADDRESS : 1942 SUTTER STREET

BLOCK / LOT : 0677 / 012 COTTAGE ROW MINI PARK

ADJACENT PROPERTY

PROPOSED SOUTH (STREET) EXTERIOR ELEVATION

BLOCK / LOT : 0677 / 014 ADDRESS : 1948 SUTTER STREET

BLOCK / LOT : 0677 / 012 ADDRESS : 1942 SUTTER STREET

BLOCK / LOT : 0677 / 013 ADDRESS : 1942 SUTTER STREET

ADJACENT PROPERTY

ADJACENT PROPERTY

PROPOSED SOUTH (STREET) EXTERIOR ELEVATION

BLOCK / LOT : 0677 / 014 ADDRESS : 1948 SUTTER STREET

BLOCK / LOT : 0677 / 012 ADDRESS : 1942 SUTTER STREET

BLOCK / LOT : 0677 / 013 ADDRESS : 1942 SUTTER STREET

ADJACENT PROPERTY

ADJACENT PROPERTY

PROPOSED SOUTH (STREET) EXTERIOR ELEVATION

BLOCK / LOT : 0677 / 014 ADDRESS : 1948 SUTTER STREET

BLOCK / LOT : 0677 / 012 ADDRESS : 1942 SUTTER STREET

BLOCK / LOT : 0677 / 013 ADDRESS : 1942 SUTTER STREET

ADJACENT PROPERTY

ADJACENT PROPERTY

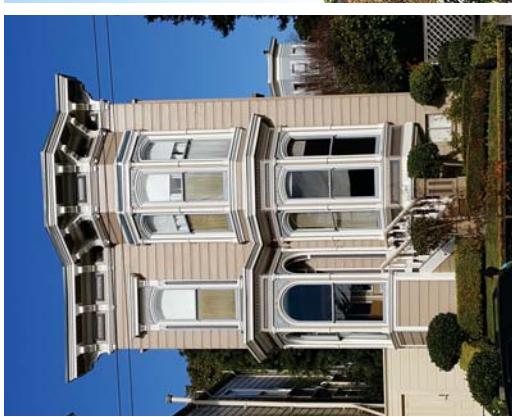
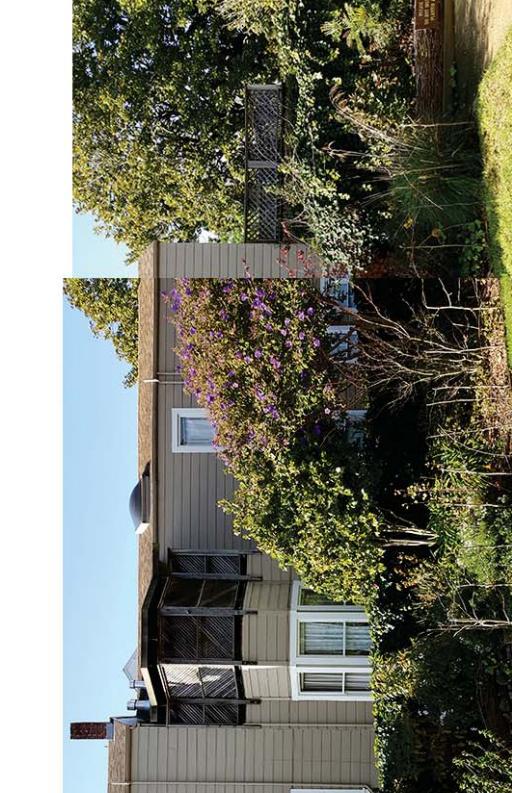
1 PROPOSED SOUTH (STREET) EXTERIOR ELEVATION

A3.1

Scale: 1/4" = 1'-0"

1 FT

0 FT



1942 SUTTER STREET

PROJECT NUMBER: Z-01

94133
San Francisco, California

t. 415.391.0186
e. mark@markenglischarchitects.com
w. www.markenglischarchitects.com

PROPOSED EXTERIOR ELEVATIONS



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CLIENT APPROVAL
SIGNATURE:

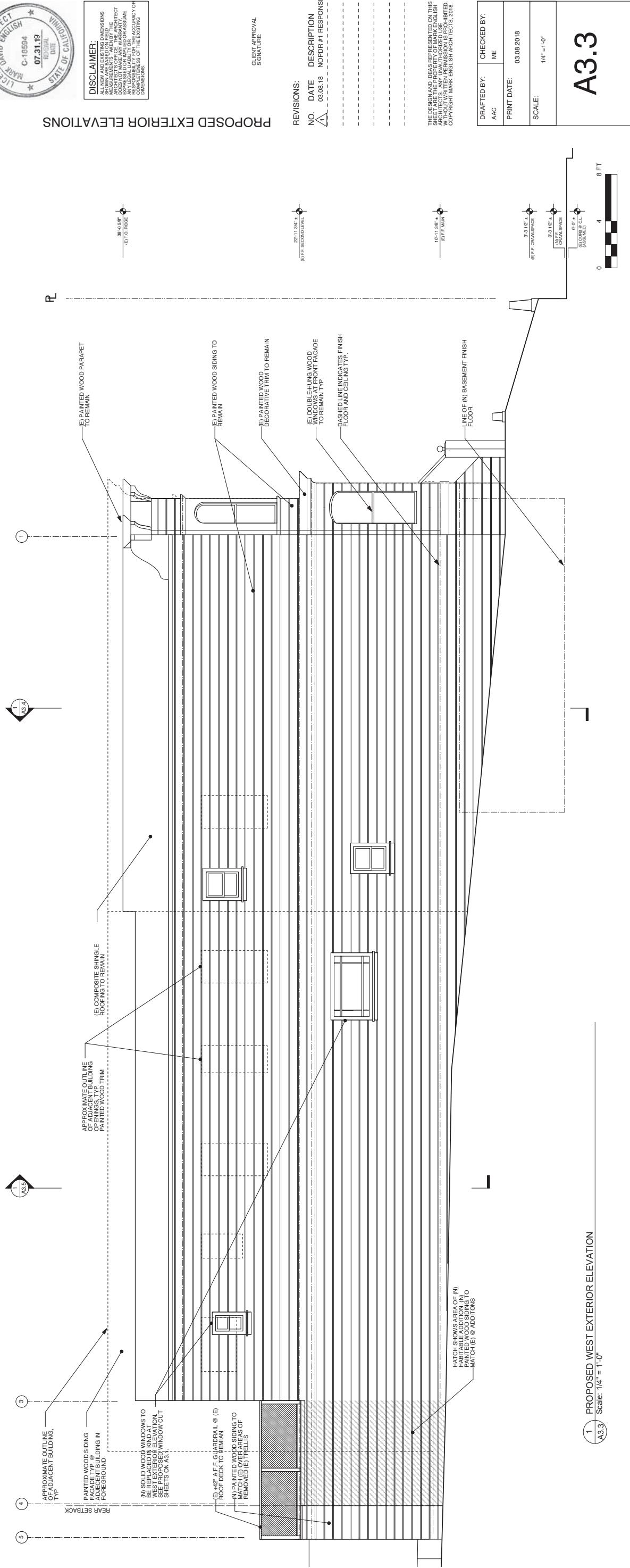
REVISIONS:	NO.	DATE	DESCRIPTION
1	1	03.08.18	NOPDR #1 RESPONS

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DRAFTED BY: AAC	CHECKED BY: ME
PRINT DATE:	03.08.2018

A3.3

EXISTING EXTERIOR SOUTH AND WEST ELEVATION PHOTOGRAPHS

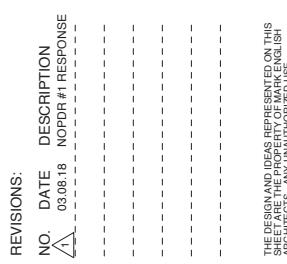


MARK ENGLISH ARCHITECTS		PROJECT NUMBER: Z-01
		BLOCK / LOT: 0677 / 013
		STATE OF CALIFORNIA
1942 SUTTER STREET		LICENSED ARCHITECT MARK DAVID ENGLISH C-10594 07.31.19
SAN FRANCISCO, CA 94115		RESIDENTIAL
523 Francisco Street		REVISION DATE
San Francisco, California		
94133		
e. mark@markenglisharchitects.com		
w. www.markenglisharchitects.com		
t. 415.391.0186		



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THE EXISTING DIMENSIONS.

EXISTING BUILDING SECTIONS



REVISIONS:
NO. 03.08.18
DATE NO/P# RESPONSE

CLIENT APPROVAL
SIGNATURE:

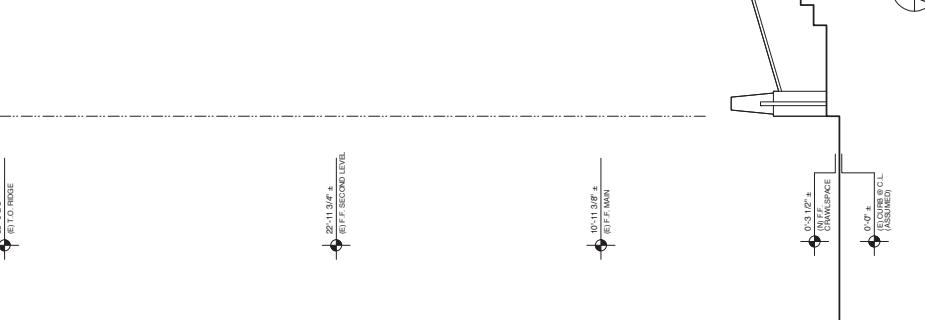
DRAFTED BY: AAC
PRINT DATE: 03.08.2018
CHECKED BY: ME
SCALE: 1/4" = 1'-0"
COMBINE C
(ASSUMED)

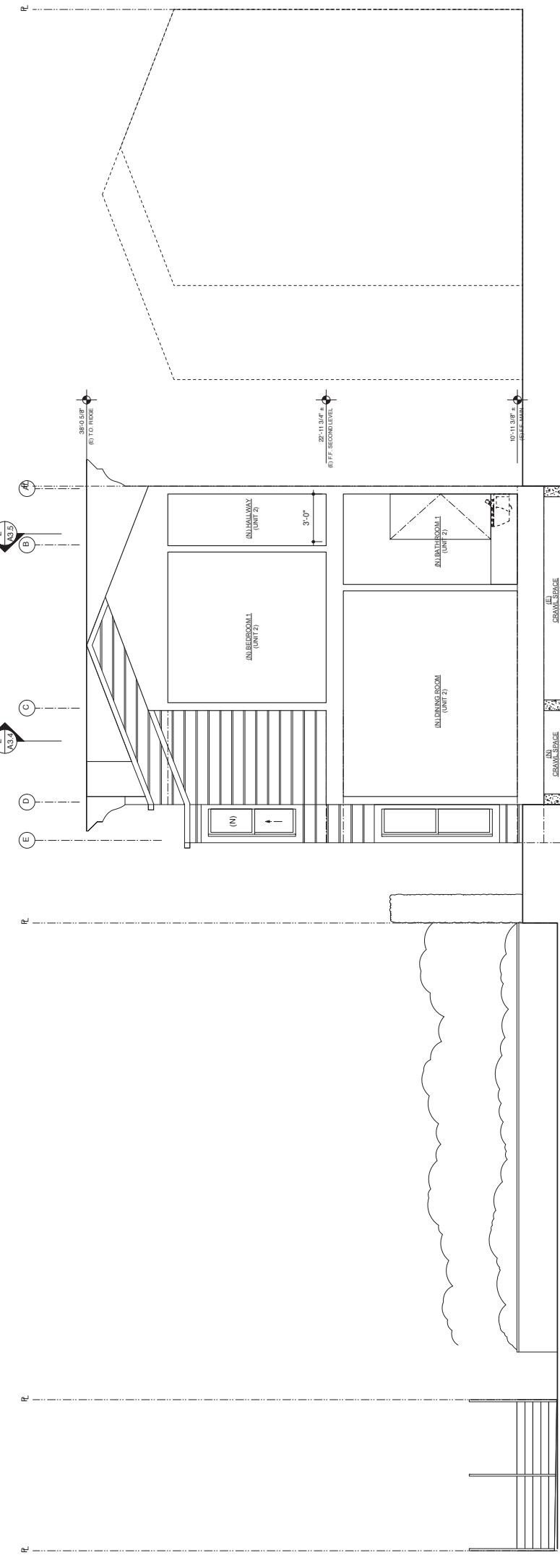
A3.4

1 PROPOSED SOUTH BUILDING SECTION
A3.4 Scale: 1/4" = 1'-0"



2 PROPOSED EAST BUILDING SECTION
A3.4 Scale: 1/4" = 1'-0"





PROJECT NUMBER: Z-01

1942 SUTTER STREET

MARK ENGLISH ARCHITECTS

523 Francisco Street
San Francisco, California
94133

1942 SUTTER STREET
SAN FRANCISCO, CA 94115
BLOCK / LOT: 0677 / 013
REGISTRATION DATE: 07.31.19
LICENCED ARCHITECT
MARK DAVID ENGLISH
C-10594
STATE OF CALIFORNIA

1 PROPOSED SOUTH BUILDING SECTION
A3.5 Scale: 1/4" = 1'-0"



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PROPOSED BUILDING SECTIONS

