



SAN FRANCISCO PLANNING DEPARTMENT

Certificate of Appropriateness Case Report

HEARING DATE: OCTOBER 4, 2017

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Filing Date: February 8, 2017
Case No.: **2016-010367COA**
Project Address: **651 Scott Street**
Historic Landmark: Alamo Square Landmark District
Zoning: RM-2 (Residential-Mixed, Moderate Density)
40-X Height and Bulk District
Block/Lot: 1202 / 001A
Applicant: John Hood
Hood Thomas Architects
440 Spear Street
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Reviewed By Tim Frye – (415) 575-6822
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PROPERTY DESCRIPTION

651 SCOTT STREET is within the Alamo Square Landmark District's boundaries on the west side of Scott Street, on Assessor's Block 1202, Lot 001A. The property's lot has approximately 52.5 feet of frontage on Scott Street. 651 Scott Street was constructed in 1923. The Classical Revival-style three-story, wood-frame building has a stucco exterior with brick cladding at the first floor. The Alamo Square Landmark District was designated in 1984.

PROJECT DESCRIPTION

The proposed project is to modify window and door openings at the front, rear, and side light well elevations of the subject property at the first floor to accommodate three new accessory dwelling units at the first floor, in addition to related interior alterations. Specifically, the proposal includes:

- Removal of two garage doors at the Scott Street façade and the installation of two smaller wood multi-lite casement windows in their place, with surrounding new brick infill matching the historic brick at the first floor, to be painted to match the surrounding painted brick.
- Modifications to the existing window and door openings at the non-visible rear elevation at the first floor, including the following:
 - Removing an existing egress door and slightly widening the opening.
 - Removing all existing windows and doors at this level, including an egress door, a modest one-story rear expansion constructed without benefit of a permit or a Certificate of Appropriateness, an existing paired aluminum entrance door with wood steps leading to the rear yard, and three one-over-one double-hung windows.

- Creating seven new or modified window openings and two door openings, one each for the two proposed new ADU units at the rear of the property. All rear windows are proposed to be wood one-over-one double-hung units, and new doors are proposed to be wood with glazing.
- Modifications to the existing window and door openings at the non-visible side light wells at the first floor, including modification of existing door openings into window openings, and the addition of three new window openings. All windows in the side light wells are proposed to be wood one-over-one double-hung units.
- Alterations to the main entrance door to the building at the Scott Street façade, to include the reversal and reuse of existing hinges to reverse the swing direction of the door to meet Building Code requirements.
- Interior alterations at the first floor related to the creation of three accessory dwelling units, including reconfiguration of utility, storage, and trash-collection spaces, and the creation of designated bicycle parking spaces in the existing garage.
- Removal of an existing curb cut at the sidewalk in front of the area of the removal of the garage doors at the Scott Street façade.

Please see photographs and plans for details.

OTHER ACTIONS REQUIRED

Since the building contains Rental Units, as defined in Section 37.2(r) of the Administrative Code, the property owner shall enter into an agreement with the City stating that the new Accessory Dwelling Units are not subject to the Costa Hawkins Rental Housing Act (California Civil Code Section 1954.50) and will be subject to the San Francisco Residential Rent Stabilization and Arbitration Ordinance (Chapter 37 of the Administrative Code). This agreement must be fully executed prior to the City's issuance of the first construction document.

COMPLIANCE WITH THE PLANNING CODE PROVISIONS

The proposed project is in compliance with all other provisions of the Planning Code.

APPLICABLE PRESERVATION STANDARDS

ARTICLE 10

Pursuant to Section 1006.2 of the Planning Code, unless exempt from the Certificate of Appropriateness requirements or delegated to Planning Department Preservation staff through the Administrative Certificate Appropriateness process, the Historic Preservation Commission is required to review any applications for the construction, alteration, removal, or demolition of any designated Landmark for which a City permit is required. Section 1006.6 states that in evaluating a request for a Certificate of Appropriateness for an individual landmark or a contributing building within a historic district, the

Historic Preservation Commission must find that the proposed work is in compliance with the *Secretary of the Interior's Standards for the Treatment of Historic Properties*, as well as the designating Ordinance and any applicable guidelines, local interpretations, bulletins, related appendices, or other policies.

THE SECRETARY OF THE INTERIOR'S STANDARDS

Rehabilitation is the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features that convey its historical, cultural, or architectural values. The Rehabilitation Standards provide, in relevant part(s):

Standard 1: A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

The proposed project does not involve a change in use of the property. Therefore, the proposed project complies with Rehabilitation Standard 1.

Standard 2: The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

While the proposed project involves the removal of two existing garage doors and a limited amount of surrounding historic brick at the first floor of the Scott Street façade, the new wood casement windows to be installed in their place will be compatible with the existing wood casement windows found at the upper floors of the building, and will be surrounded by painted brick matching the historic painted brick found at the base of the building. The new features will align with the character-defining features of the historic Scott Street façade.

The changes to window and door openings at the rear elevation and side light wells will not remove character-defining features of the building. The new windows to be installed at these elevations will match the material and operation of the existing windows at these elevations. The new doors at the rear elevation will match the material of the existing windows at the rear elevation. Therefore, the proposed project complies with Rehabilitation Standard 2.

Standard 3: Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

The proposed project does not include the addition of conjectural elements or architectural features from other buildings. Therefore, the proposed project complies with Rehabilitation Standard 3.

Standard 4: Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

The proposed project does not involve alterations to changes to the property that have acquired significance in their own right. The rear one-story expansion to be removed, which does not appear to be historic, is of indeterminate age, does not comply with the Planning Code, and was constructed without benefit of a permit or Certificate of Appropriateness. Therefore, the proposed project complies with Rehabilitation Standard 4.

Standard 5: Distinctive features, finishes, and construction techniques or examples of fine craftsmanship that characterize a property will be preserved.

The garage doors to be removed as part of the proposed project are not distinctive features of the building, and are utilitarian in character. A small amount of historic brick at the base of the building will be removed, and new painted brick matching the historic painted brick will be installed around the two new window openings at the Scott Street façade. To ensure that the maximum amount of historic brick is retained, and that the new brick will align with the historic brick, a materials conservator will review and approve replacement brick and mortar samples, cleaning methods for any necessary paint removal at the existing brick, and repair methods for any brick damaged during paint removal. Planning staff and the materials conservator will also oversee the installation of the new brick during construction. Therefore, the proposed project complies with Rehabilitation Standard 5.

Standard 6: Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacements of a distinctive feature, the new feature will match the old in design, color, texture and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

The proposed project does not call for the replacement or repair of deteriorated historic features, with the exception of any necessary repairs to the historic brick base in connection with the removal of the garage doors. Where necessary, damaged bricks or mortar will be repaired with the guidance of a materials conservator. Therefore, the proposed project complies with Rehabilitation Standard 6.

Standard 7: Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

The proposed project will involve limited cleaning and paint removal from portions of the historic brick base of the building at the Scott Street façade, in connection with the removal of the existing garage doors and installation of new window openings. A materials conservator will work with Planning staff to ensure that any cleaning or paint-removal methods are as gentle as possible and will not cause damage to historic materials at the subject property. Therefore, the proposed project complies with Rehabilitation Standard 7.

Standard 8: Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures will be undertaken.

The proposed project does not involve any excavation work. Therefore, the proposed project complies with Rehabilitation Standard 8.

Standard 9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

The proposed project includes exterior alterations to the subject property, including the removal of two garage doors at the Scott Street façade and the installation of two smaller wood multi-lite casement windows in their place, as well as other exterior alterations not visible from a public right-of-way. The garage doors to be removed at the Scott Street façade are not character-defining features of the building, and as such, their removal will not destroy historic materials, features, and spatial relationships that characterize the property. The new true-divided-lite wood casement windows at the ground floor will be compatible with the historic windows at the building, in that they will match the materials and operation of the historic windows, while also being differentiated from the historic windows due to their slightly different proportions and lack of a transom. The new windows will also achieve compatibility with the remaining garage door openings by vertically aligning the tops of the new windows with the tops of the existing garage door openings, and by using the same molding profile for the new window trim as is found at the existing garage door openings.

Similar to the new windows at the Scott Street façade, the new windows at the rear and side elevations will match the materials and operation of existing windows at these elevations, but will be simpler in their details and configuration than the existing windows to differentiate the new windows from the existing windows. The new glazed doors will also be compatible with existing features at the rear elevation. Overall, the proposed project maintains the historic integrity of the subject property since the new window and door openings are compatible with, yet differentiated from, the historic building. Therefore, the proposed project complies with Rehabilitation Standard 9.

Standard 10: New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The proposed project would not affect the essential form and integrity of the building, as the work visible from a public right-of-way is limited to just a portion of the brick base of the building and will not impact any character-defining features of the subject property. The new windows at the Scott Street facade could be removed in the future, and the garage door openings could be restored,

without impacting the essential form and integrity of the landmark. Therefore, the proposed project complies with Rehabilitation Standard 10.

Summary: The Department finds that the overall project is consistent with the *Secretary of the Interior Standards for Rehabilitation*.

PUBLIC/NEIGHBORHOOD INPUT

To date, the Department has received no public input on the project at the date of this report.

ISSUES & OTHER CONSIDERATIONS

None.

STAFF ANALYSIS

Included as an exhibit are architectural drawings of the existing building and the proposed project. Based on the requirements of Article 10 and the *Secretary of Interior's Standards*, Department staff has determined the following:

The proposed project would retain the existing residential use of the building and would cause minimal changes to the form of the building without removing any character-defining features or materials, with the exception of a limited amount of historic brick at the base of the building. The garage doors to be removed at the Scott Street façade are not character-defining features of the building, and as such, their removal will not destroy historic materials, features, and spatial relationships that characterize the property. The new true-divided-lite wood casement windows at the ground floor of the Scott Street façade will be compatible with the historic windows at the building, in that they will match the materials and operation of the historic windows, while also being differentiated from the historic windows due to their slightly different proportions and lack of a transom. Similarly, the new wood double-hung windows at the rear and side elevations will be compatible with the existing windows at these elevations due to their shared material and operation, but will be simpler in their configuration and detailing than the existing windows to differentiate the new windows from the existing. The new glazed wood entrance doors at the rear elevation will align with the materials of existing windows at this elevation, and are compatible with the historic features of the building.

The project will involve the removal of a limited amount of historic brick at the base of the building at the Scott Street façade, in connection with the removal of the existing garage doors and installation of new window openings. New painted brick matching the historic painted brick will be installed around the two new window openings at the Scott Street façade. To ensure that the maximum amount of historic brick is retained, and that the new brick will align with the historic brick, a materials conservator will review and approve replacement brick and mortar samples, cleaning methods for any necessary paint removal at the existing brick, and repair methods for any brick damaged during paint removal. Planning staff and the materials conservator will also oversee the installation of the new brick during construction.

Department staff finds that proposed work will be in conformance with the Secretary's Standards and requirements of Article 10, and that the proposed work is compatible with the character-defining features of the subject site and with the Alamo Square Landmark District.

ENVIRONMENTAL REVIEW STATUS

The Planning Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15301 (Class One-Minor Alteration of Existing facility) because the project is a minor alteration of an existing structure and meets the *Secretary of the Interior's Standards*.

PLANNING DEPARTMENT RECOMMENDATION

Planning Department staff recommends APPROVAL WITH CONDITIONS of the proposed project as it appears to meet the *Secretary of the Interior's Standards for Rehabilitation*.

CONDITIONS OF APPROVAL

To ensure that the proposed work is undertaken in conformance with this Certificate of Appropriateness, staff recommends the following conditions:

1. As part of the Building Permit, a materials conservator shall be retained by the Project Sponsor to review and approve replacement brick and mortar samples, cleaning methods for any necessary paint removal at the existing brick, and repair methods for any brick damaged during paint removal.
2. As part of the Building Permit, planning staff and the materials conservator shall oversee the installation of the new brick during construction.

ATTACHMENTS

Draft Motion

Exhibits:

- Parcel Map
- Sanborn Map
- Alamo Square Landmark District Map

Project Sponsor submittal, including:

- Existing Conditions Photographs
- Reduced Plans



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Historic Preservation Commission Draft Motion

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ADOPTING FINDINGS FOR A CERTIFICATE OF APPROPRIATENESS FOR PROPOSED WORK DETERMINED TO BE APPROPRIATE FOR AND CONSISTENT WITH THE PURPOSES OF ARTICLE 10, TO MEET THE STANDARDS OF ARTICLE 10 AND TO MEET THE SECRETARY OF INTERIOR'S STANDARDS FOR REHABILITATION, FOR THE PROPERTY LOCATED ON LOT 001A IN ASSESSOR'S BLOCK 1202, WITHIN AN RM-2 (RESIDENTIAL-MIXED, MODERATE DENSITY) ZONING DISTRICT AND A 40-X HEIGHT AND BULK DISTRICT.

PREAMBLE

WHEREAS, on February 8, 2017, John Hood of Hood Thomas Architects (Project Sponsor) filed an application with the San Francisco Planning Department (hereinafter "Department") for a Certificate of Appropriateness to modify window and door openings at the front, rear, and side light well elevations of the subject property at the first floor to accommodate three new accessory dwelling units at the first floor, in addition to related interior alterations at the subject property located on lot 001A in Assessor's Block 1202. Specifically, the proposal includes:

- Removal of two garage doors at the Scott Street façade and the installation of two smaller wood multi-lite casement windows in their place, with surrounding new brick infill matching the historic brick at the first floor, to be painted to match the surrounding painted brick.
- Modifications to the existing window and door openings at the non-visible rear elevation at the first floor, including the following:
 - Removing an existing egress door and slightly widening the opening.

- Removing all existing windows and doors at this level, including an egress door, a modest one-story rear expansion constructed without benefit of a permit or a Certificate of Appropriateness, an existing paired aluminum entrance door with wood steps leading to the rear yard, and three one-over-one double-hung windows.
 - Creating seven new or modified window openings and two door openings, one each for the two proposed new ADU units at the rear of the property. All rear windows are proposed to be wood one-over-one double-hung units, and new doors are proposed to be wood with glazing.
- Modifications to the existing window and door openings at the non-visible side light wells at the first floor, including modification of existing door openings into window openings, and the addition of three new window openings. All windows in the side light wells are proposed to be wood one-over-one double-hung units.
 - Alterations to the main entrance door to the building at the Scott Street façade, to include the reversal and reuse of existing hinges to reverse the swing direction of the door to meet Building Code requirements.
 - Interior alterations at the first floor related to the creation of three accessory dwelling units, including reconfiguration of utility, storage, and trash-collection spaces, and the creation of designated bicycle parking spaces in the existing garage.
 - Removal of an existing curb cut at the sidewalk in front of the area of the removal of the garage doors at the Scott Street façade..

WHEREAS, the Project was determined by the Department to be categorically exempt from environmental review. The Historic Preservation Commission (hereinafter "Commission") has reviewed and concurs with said determination.

WHEREAS, on October 4, 2017, the Commission conducted a duly noticed public hearing on the current project, Case No. 2017.006323 ("Project") for its appropriateness.

WHEREAS, in reviewing the Application, the Commission has had available for its review and consideration case reports, plans, and other materials pertaining to the Project contained in the Department's case files, has reviewed and heard testimony and received materials from interested parties during the public hearing on the Project.

MOVED, that the Commission hereby grants the Certificate of Appropriateness, in conformance with the architectural plans dated June 5, 2017 and labeled Exhibit A on file in the docket for Case No. 2016-010367 based on the following findings:

CONDITIONS OF APPROVAL

- That a materials conservator shall be retained by the Project Sponsor to review and approve replacement brick and mortar samples, cleaning methods for any necessary paint removal at the existing brick, and repair methods for any brick damaged during paint removal.
- That planning staff and the materials conservator shall oversee the installation of the new brick during construction.

FINDINGS

Having reviewed all the materials identified in the recitals above and having heard oral testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and also constitute findings of the Commission.
2. Findings pursuant to Article 10:

The Historical Preservation Commission has determined that the proposed work is compatible with the character of the landmark district as described in the designation report dated January 18, 1984.

- The project would retain the existing residential use of the building.
- The project would cause minimal changes to the form of the building without removing any character-defining features or materials, with the exception of a minimal amount of historic brick at the base of the Scott Street façade. The garage doors to be removed at the Scott Street façade are not character-defining features of the building, and as such, their removal will not destroy historic materials, features, and spatial relationships that characterize the property.
- The project will ensure that the new true-divided-lite wood casement windows at the ground floor of the Scott Street façade will be compatible with the historic windows at the building, in that they will match the materials and operation of the historic windows, while also being differentiated from the historic windows due to their slightly different proportions and lack of a transom.
- The project will allow for the new wood double-hung windows at the rear and side elevations to be compatible with the existing windows at these elevations due to their shared material and operation, but will be simpler in their configuration and detailing than the existing windows to differentiate the new windows from the existing. The new glazed wood entrance doors at the rear elevation will align with the materials of existing windows at this elevation, and are compatible with the historic features of the building
- The project will involve the removal of a limited amount of historic brick at the base of the building at the Scott Street façade, in connection with the removal of the existing garage doors and installation of new window openings. New painted brick matching the historic

painted brick will be installed around the two new window openings at the Scott Street façade, under the consultation of a materials conservator and Planning staff.

- The proposed project meets the requirements of Article 10, Appendix E, of the Planning Code.
- The proposed project meets the following Secretary of the Interior's Standards for Rehabilitation:

Standard 1.

A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

Standard 2.

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

Standard 3.

Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

Standard 4.

Changes to a property that have acquired historic significance in their own right will be retained and preserved.

Standard 5.

Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.

Standard 6.

Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

Standard 7.

Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

Standard 9.

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and

massing to protect the integrity of the property and its environment.

Standard 10.

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

3. **General Plan Compliance.** The proposed Certificate of Appropriateness is, on balance, consistent with the following Objectives and Policies of the General Plan:

I. URBAN DESIGN ELEMENT

THE URBAN DESIGN ELEMENT CONCERNS THE PHYSICAL CHARACTER AND ORDER OF THE CITY, AND THE RELATIONSHIP BETWEEN PEOPLE AND THEIR ENVIRONMENT.

GOALS

The Urban Design Element is concerned both with development and with preservation. It is a concerted effort to recognize the positive attributes of the city, to enhance and conserve those attributes, and to improve the living environment where it is less than satisfactory. The Plan is a definition of quality, a definition based upon human needs.

OBJECTIVE 1

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

POLICY 1.3

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

OBJECTIVE 2

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

POLICY 2.4

Preserve notable landmarks and areas of historic, architectural or aesthetic value, and promote the preservation of other buildings and features that provide continuity with past development.

POLICY 2.5

Use care in remodeling of older buildings, in order to enhance rather than weaken the original character of such buildings.

POLICY 2.7

Recognize and protect outstanding and unique areas that contribute in an extraordinary degree to San Francisco's visual form and character.

The goal of a Certificate of Appropriateness is to provide additional oversight for buildings and districts that are architecturally or culturally significant to the City in order to protect the qualities that are associated with that significance.

The proposed project qualifies for a Certificate of Appropriateness and therefore furthers these policies and objectives by maintaining and preserving the character-defining features of the Alamo Square Landmark District for the future enjoyment and education of San Francisco residents and visitors.

4. The proposed project is generally consistent with the eight General Plan priority policies set forth in Section 101.1 in that:

- A) The existing neighborhood-serving retail uses will be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses will be enhanced:

The proposed project will not have any impact on neighborhood serving retail uses.

- B) The existing housing and neighborhood character will be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods:

The proposed project will strengthen neighborhood character by respecting the character-defining features of the landmark district in conformance with the Secretary of the Interior's Standards.

- C) The City's supply of affordable housing will be preserved and enhanced:

The project will not reduce the affordable housing supply as the existing units will be retained and three new housing units will be added as part of the proposed work.

- D) The commuter traffic will not impede MUNI transit service or overburden our streets or neighborhood parking:

The proposed project will not result in commuter traffic impeding MUNI transit service or overburdening the streets or neighborhood parking.

- E) A diverse economic base will be maintained by protecting our industrial and service sectors from displacement due to commercial office development. And future opportunities for resident employment and ownership in these sectors will be enhanced:

The proposed project will not have any impact on industrial and service sector jobs.

- F) The City will achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

Preparedness against injury and loss of life in an earthquake is improved by the proposed work. The

work will be executed in compliance with all applicable construction and safety measures.

- G) That landmark and historic buildings will be preserved:

The proposed project is in conformance with Article 10 of the Planning Code and the Secretary of the Interior's Standards.

- H) Parks and open space and their access to sunlight and vistas will be protected from development:

The proposed project will not impact the access to sunlight or vistas for the parks and open space.

5. For these reasons, the proposal overall, is appropriate for and consistent with the purposes of Article 10, meets the standards of Article 10, and the Secretary of Interior's Standards for Rehabilitation, General Plan and Prop M findings of the Planning Code.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **GRANTS a Certificate of Appropriateness** for the property located at Lot 001A in Assessor's Block 1202 for proposed work in conformance with the renderings and architectural sketches dated June 5, 2017 and labeled Exhibit A on file in the docket for Case No. 2016-010367.

APPEAL AND EFFECTIVE DATE OF MOTION: The Commission's decision on a Certificate of Appropriateness shall be final unless appealed within thirty (30) days. Any appeal shall be made to the Board of Appeals, unless the proposed project requires Board of Supervisors approval or is appealed to the Board of Supervisors as a conditional use, in which case any appeal shall be made to the Board of Supervisors (see Charter Section 4.135).

Duration of this Certificate of Appropriateness: This Certificate of Appropriateness is issued pursuant to Article 10 of the Planning Code and is valid for a period of three (3) years from the effective date of approval by the Historic Preservation Commission. The authorization and right vested by virtue of this action shall be deemed void and canceled if, within 3 years of the date of this Motion, a site permit or building permit for the Project has not been secured by Project Sponsor.

THIS IS NOT A PERMIT TO COMMENCE ANY WORK OR CHANGE OF OCCUPANCY UNLESS NO BUILDING PERMIT IS REQUIRED. PERMITS FROM THE DEPARTMENT OF BUILDING INSPECTION (and any other appropriate agencies) MUST BE SECURED BEFORE WORK IS STARTED OR OCCUPANCY IS CHANGED.

I hereby certify that the Historical Preservation Commission ADOPTED the foregoing Motion on October 4, 2017.

Jonas P. Ionin
Acting Commission Secretary

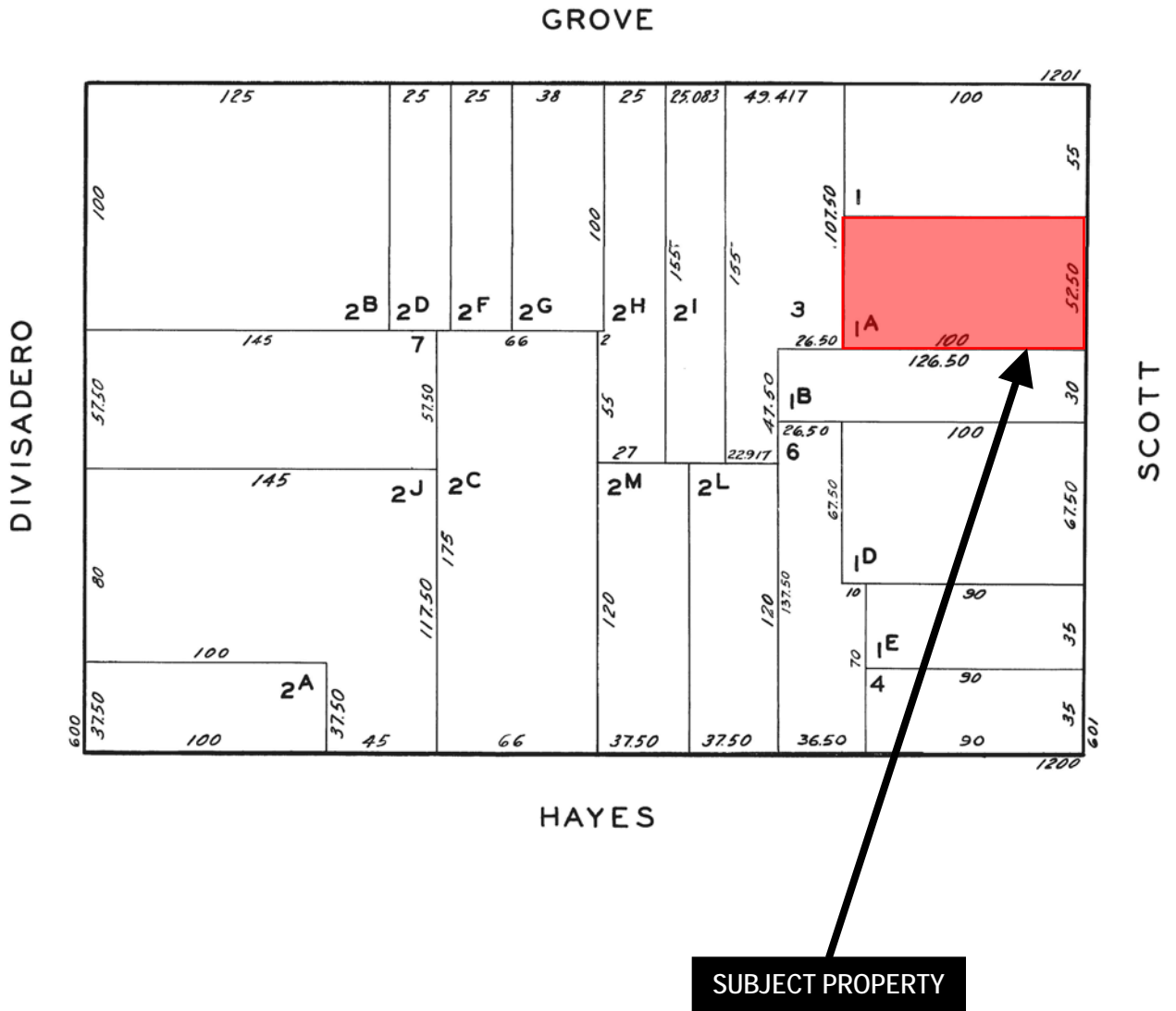
AYES: X

NAYS: X

ABSENT: X

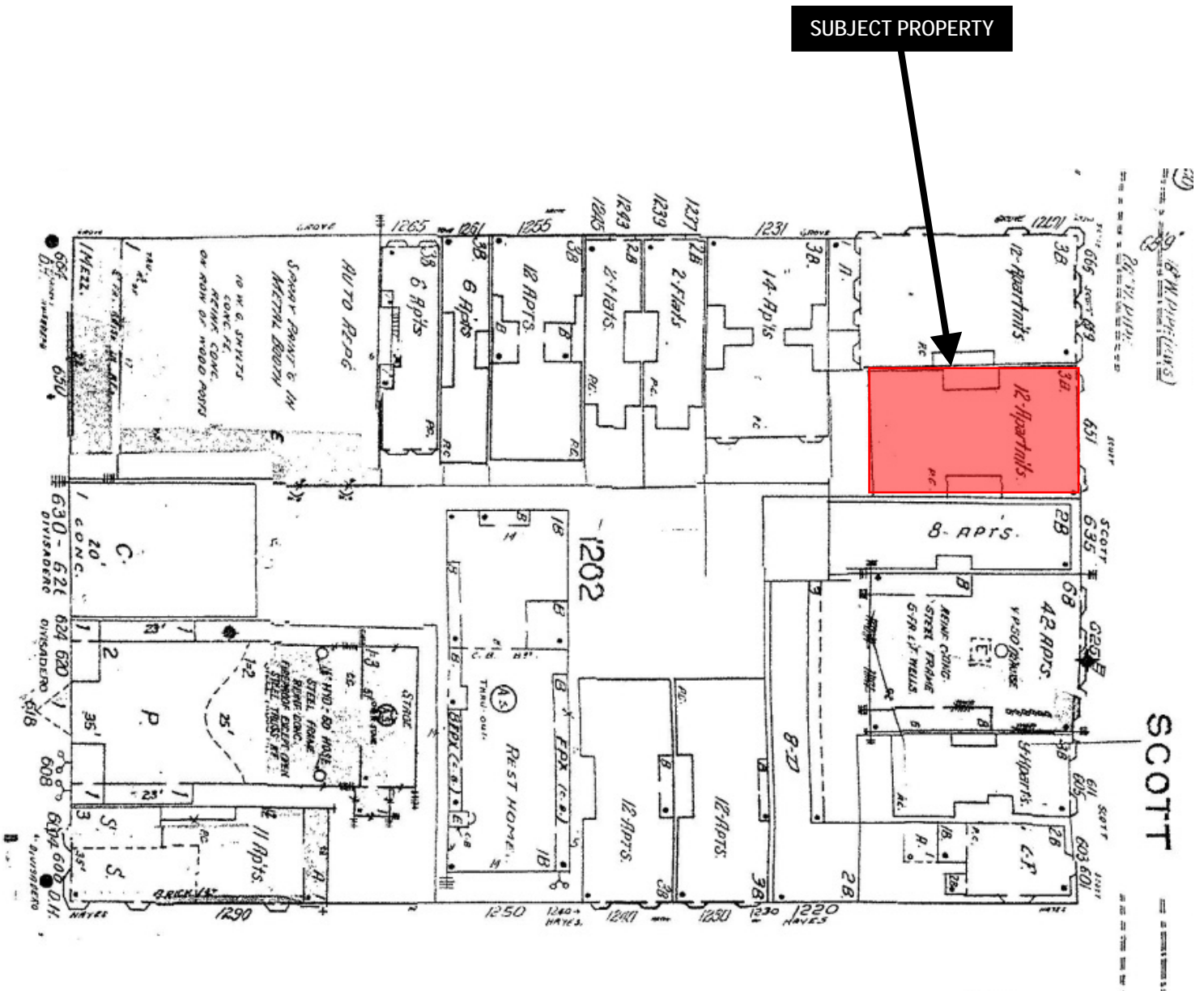
ADOPTED: October 4, 2017

Parcel Map



Historic Preservation Commission Hearing
Case Number 2016-010367COA
Alamo Square Landmark District
651 Scott Street

Sanborn Map*

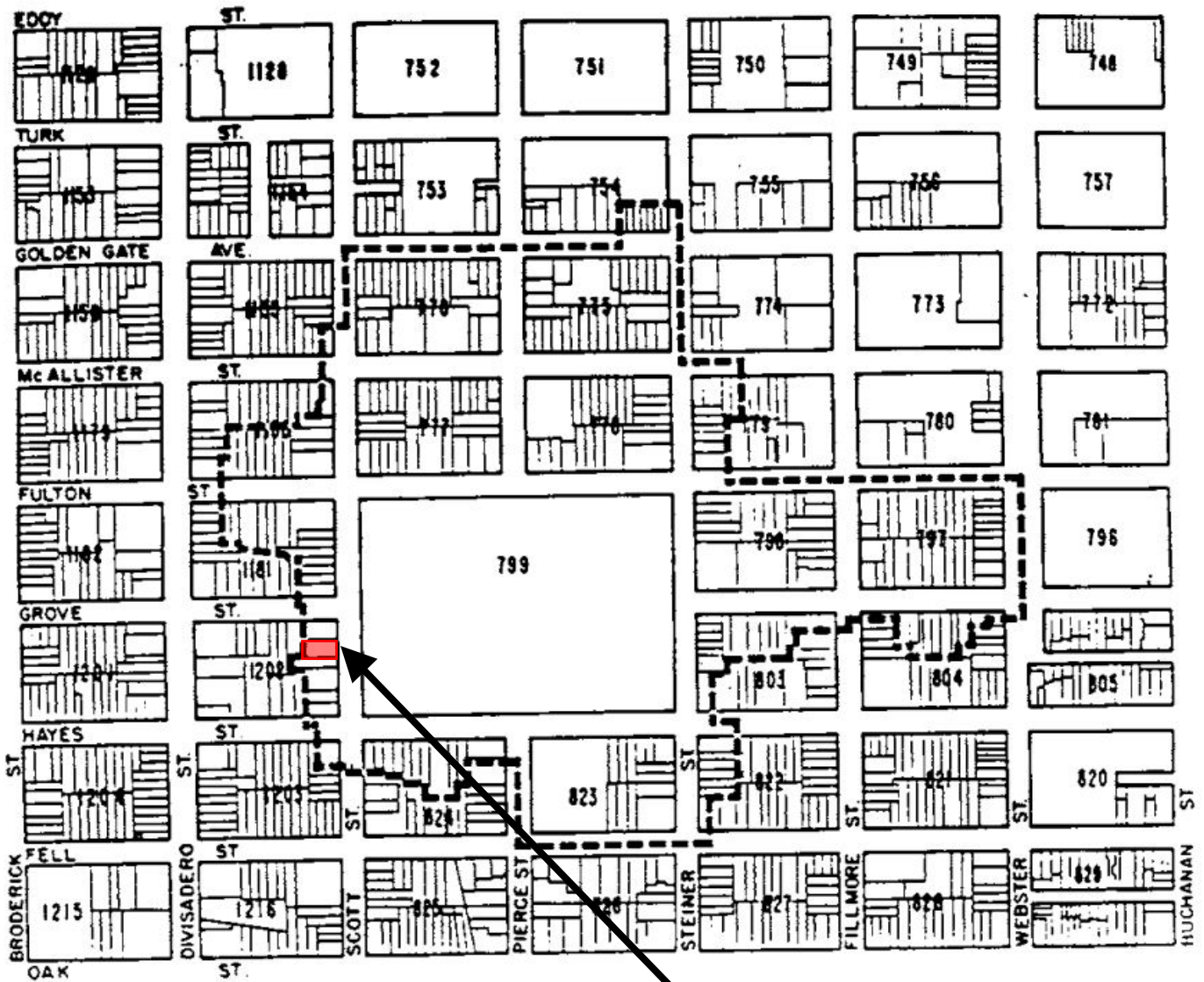


*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.

Historic Preservation Commission Hearing
Case Number 2016-010367COA
Alamo Square Landmark District
651 Scott Street



Alamo Square District Map



SUBJECT PROPERTY



Historic Preservation Commission Hearing
Case Number 2016-010367COA
Alamo Square Landmark District
651 Scott Street



1 EXISTING FRONT FACADE
NOT TO SCALE

UNIT ADDITION

651 SCOTT ST.
San Francisco, CA
94117
Block: 1202 Lot: 001A

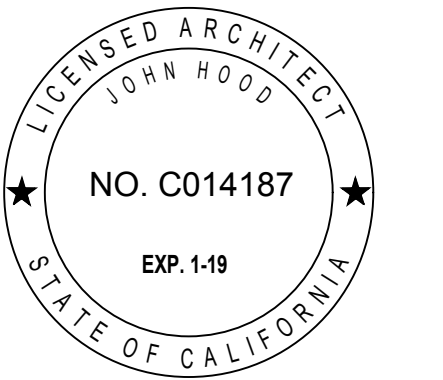
ISSUE:	DATE:
CERT. OF APPROPRIATENESS	02.08.17
CERT. OF APPROV. REV-1	06.05.17
CERT. OF APPROV. REV-2	09.21.17

DRAWN BY:	YO
DATE:	09.21.17
SHEET TITLE:	

**EXISTING
SITE PHOTOS**

SHEET NUMBER:

A0.1



UNIT ADDITION

651 SCOTT ST.
San Francisco, CA
94117
Block: 1202 Lot: 001A

ISSUE:	DATE:
CERT. OF APPROPRIATENESS	02.08.17
CERT. OF APPROP. REV-1	06.05.17
CERT. OF APPROP. REV-2	09.21.17

DRAWN BY:	YO
DATE:	09.21.17
SHEET TITLE:	

EXISTING SITE PHOTOS

SHEET NUMBER:

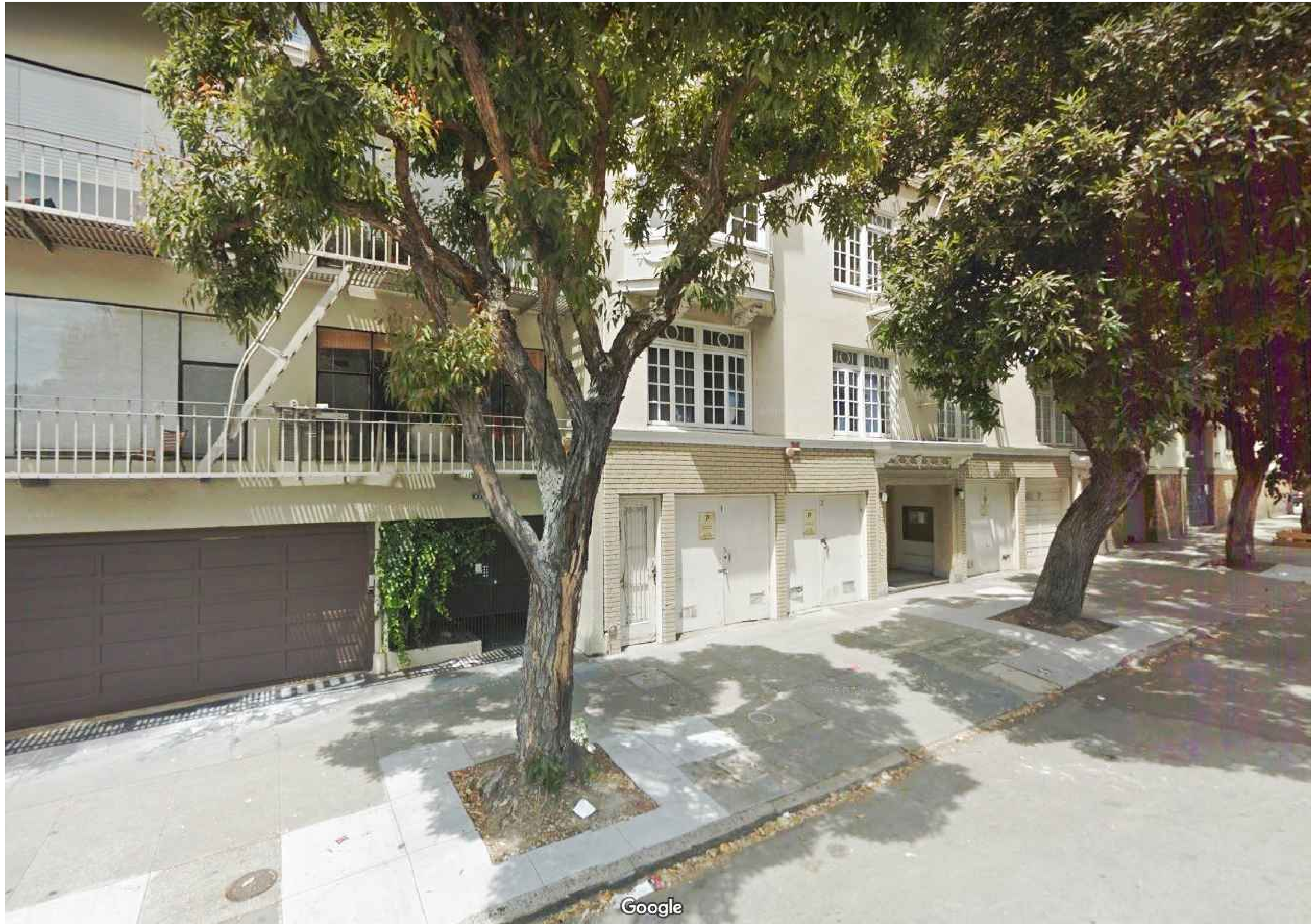
A0.2

REV #: DATE:



2 EXISTING FRONT ENTRY - LEFT
NOT TO SCALE

1 EXISTING FRONT ENTRY - RIGHT
NOT TO SCALE



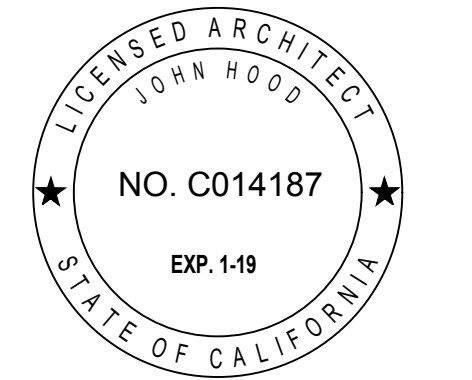
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EXISTING FRONT FACADE - LEFT
NOT TO SCALE

HTA!

HOOD THOMAS ARCHITECTS

440 SPEAR STREET SAN FRANCISCO, CALIFORNIA 94105
P: (415) 643-6005 F: (415) 495-3336
WWW.HOODTHOMAS.COM



UNIT ADDITION

651 SCOTT ST.
San Francisco, CA
94117
Block: 1202 Lot: 001A

ISSUE:	DATE:
CERT. OF APPROPRIATENESS	02.08.17
CERT. OF APPROP. REV-1	06.05.17
CERT. OF APPROP. REV-2	09.21.17

DRAWN BY:	YO
DATE:	09.21.17
SHEET TITLE:	

**EXISTING
SITE PHOTOS**

SHEET NUMBER:

A0.3

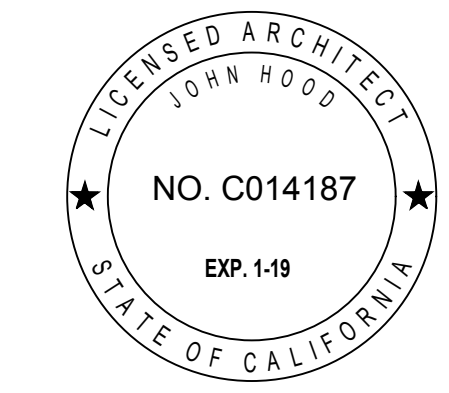
REV #: DATE:



1 EXISTING FRONT FACADE - RIGHT
NOT TO SCALE

HTA!
HOOD THOMAS ARCHITECTS

440 SPEAR STREET SAN FRANCISCO, CALIFORNIA 94105
P: (415) 943-4005 F: (415) 945-3336
WWW.HOODTHOMAS.COM



UNIT ADDITION

651 SCOTT ST.
San Francisco, CA
94117
Block: 1202 Lot: 001A

ISSUE:	DATE:
CERT. OF APPROPRIATENESS	02.08.17
CERT. OF APPROP. REV-1	06.05.17
CERT. OF APPROP. REV-2	09.21.17

DRAWN BY:	YO
DATE:	09.21.17
SHEET TITLE:	

**EXISTING
SITE PHOTOS**

SHEET NUMBER:

A0.4

REV #: DATE:



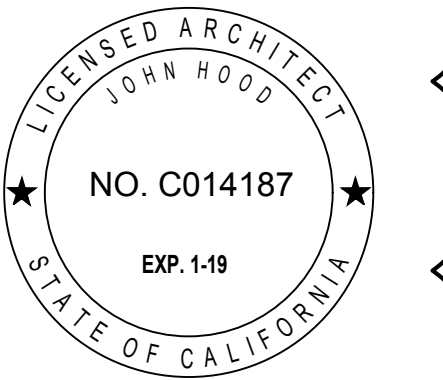
2 EXISTING REAR FACADE
NOT TO SCALE

1 EXISTING REAR FACADE
NOT TO SCALE

HTA!

HOOD THOMAS ARCHITECTS

440 SPEAR STREET SAN FRANCISCO, CALIFORNIA 94105
P: (415) 443-4005 F: (415) 495-3336
WWW.HOODTHOMAS.COM



UNIT ADDITION

651 SCOTT ST.
San Francisco, CA
94117
Block: 1202 Lot: 001A

ISSUE:	DATE:
CERT. OF APPROPRIATENESS	02.08.17
CERT. OF APPROP. REV-1	06.05.17
CERT. OF APPROP. REV-2	09.21.17

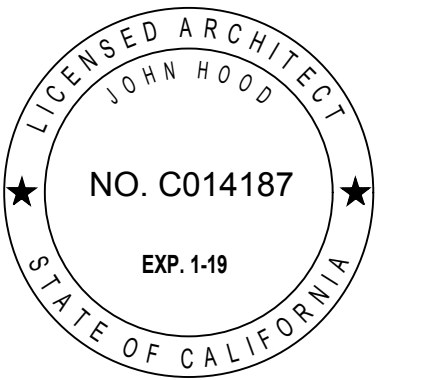
DRAWN BY:	YO
DATE:	09.21.17
SHEET TITLE:	

**EXISTING
SITE PHOTOS**

SHEET NUMBER:

A0.5

REV #: DATE:



UNIT ADDITION

651 SCOTT ST.
San Francisco, CA
94117
Block: 1202 Lot: 001A

ISSUE:	DATE:
CERT. OF APPROPRIATENESS	02.08.17
CERT. OF APPROP. REV-1	06.05.17
CERT. OF APPROP. REV-2	09.21.17

DRAWN BY: **YO**
DATE: **09.21.17**
SHEET TITLE:

EXISTING & PROPOSED SITE PLAN

SHEET NUMBER:

A0.6

REV #: DATE:

KEYNOTES

- DIVISION - GENERAL CONDITIONS**
- SEE GENERAL CONSTRUCTION NOTES 6-12 ON COVER SHEET FOR A0.0 GENERAL NOTES PERTAINING TO DEMOLITION.
 - SEE GENERAL NOTES ON SHEET A0.0 FOR MINIMUM STANDARDS FOR WORK PERFORMANCE. NOTE NOT ALL CONDITIONS LISTED APPLY TO THE SCOPE OF WORK INDICATED IN PLAN.
- DIVISION 2 - EXISTING CONDITION**
- NOT USED.
 - NOT USED.
 - NOT USED.
 - DEMO (E) NON-BEARING WALL AS SHOWN, TYP.
 - NOT USED.

- DIVISION 8 - DOORS, WINDOWS & GLAZING**
- (E) SINGLE GLAZED WOOD WINDOW TO PROVIDE NATURAL VENTILATION PER CBC 1203.4.1 & NATURAL LIGHT PER CBC 1205.2.8.2

	LIGHT / AIR REQUIRED BY CBC SEC 1205.2 & 1203.4.1		
	UNIT #1	UNIT #2	UNIT #3
LIVING AREA	394 SF	490 SF	521 SF
LIGHT 8%	31.52 SF	39.2 SF	41.68 SF
LIGHT PROV.	37.06 SF	58.33 SF	46.33 SF
AIR 4%	15.76 SF	19.6 SF	20.84 SF
AIR PROV.	37.06 SF	46.5 SF	40.5 SF
BEDROOM	--	123 SF	156 SF
LIGHT 8%	--	9.84 SF	12.48 SF
LIGHT PROV.	--	16.5 SF	33 SF
AIR 4%	--	4.92 SF	6.24 SF
AIR PROV.	--	8.25 SF	16.5 SF

- EGRESS WINDOW PER CBC 1029.1
 - MIN. 5.7 S.F. NET CLEAR OPENING.
 - MIN. NET CLEAR HEIGHT: 24"
 - MIN. NET CLEAR WIDTH: 20"
 - BOTTOM OF CLEAR OPENING MAX. 44" A.F.F.
- DOOR SHALL BE READILY OPENABLE FROM EGRESS SIDE WITHOUT USE OF KEY OR SPECIAL KNOWLEDGE OR EFFORD PER CBC 1008.1.9. DOOR TO MEET REQUIREMENTS OF CBC 1008.

DIVISION 9 - FINISHES

- (N) HARDWOOD FLOORING.
- (N) PAINTED GYP. BOARD WALL / CEILING, THROUGHOUT, TYPICAL.
- PROVIDE FLOOR DRAIN FOR NEW DRYER.
- DRYER TO BE VENTLESS WITH A DRAIN TO BE INSTALLED PER MANUFACTURERS SPECS.
- ALL (N) LIGHTING TO COMPLY WITH CEC 150.0 (K).

K 1-6 KITCHEN REMODEL NOTES

- KITCHEN & BATH FAUCETS TO BE MAX. 2.2 G.P.M MEASURED AT 60 PSI.
- GAS RANGE WITH GAS SHUT-OFF VALVE IN APPROVED ACCESSIBLE LOCATION.
- (N) APPLIANCES TO BE INSTALLED PER MANUFACTURER INSTRUCTIONS.
- RANGE HOOD w/ WEATHERPROOF BACKDRAFT DAMPER, REMOTE EXHAUST FAN & DEDICATED CIRCUIT. TERMINATE VENT 3'-0" MIN. AWAY FROM PROPERTY LINE & BUILDING OPENINGS.
- KITCHEN SINK WITH GARBAGE DISPOSAL. PROVIDE REQUIRED AIR GAP AND PLUMBING.
- PROVIDE (N) CABINETRY, COUNTERTOPS THROUGHOUT.

B 1-9 BATHROOM REMODEL NOTES

- KITCHEN AND BATH FAUCETS TO BE MAX. 2.2 G.P.M MEASURED AT 60 PSI.
- WATER CLOSET PER CBC 2903 CENTERED WITHIN 30" WIDE CLEAR SPACE. TOILETS SHALL HAVE MAX. 1.6 GPF WATER CONSUMPTION.
- (N) TUB; LOCATE PLUMBING AS NEEDED.
- (N) TOILET; LOCATE PLUMBING AS NEEDED.
- (N) VANITY SINK; RELOCATE PLUMBING AS NEEDED.
- G.C. TO VERIFY OUTLET FOR GFI; IF NOT PROVIDE (N) GFI OUTLET AS NEEDED.
- G.C. TO VERIFY FOR SWITCH AND LIGHTS ARE IN WORKING ORDER; IF NOT G.C. TO REPAIR/REPLACE AS NEEDED.
- G.C. TO VERIFY FOR EXHAUST FAN IN WORKING ORDER; IF NOT G.C. TO REPAIR/REPLACE/PROVIDE AS NEEDED.
- PROVIDE NEW FINISHES AS NEEDED.

ELECTRICAL SYMBOL LEGEND

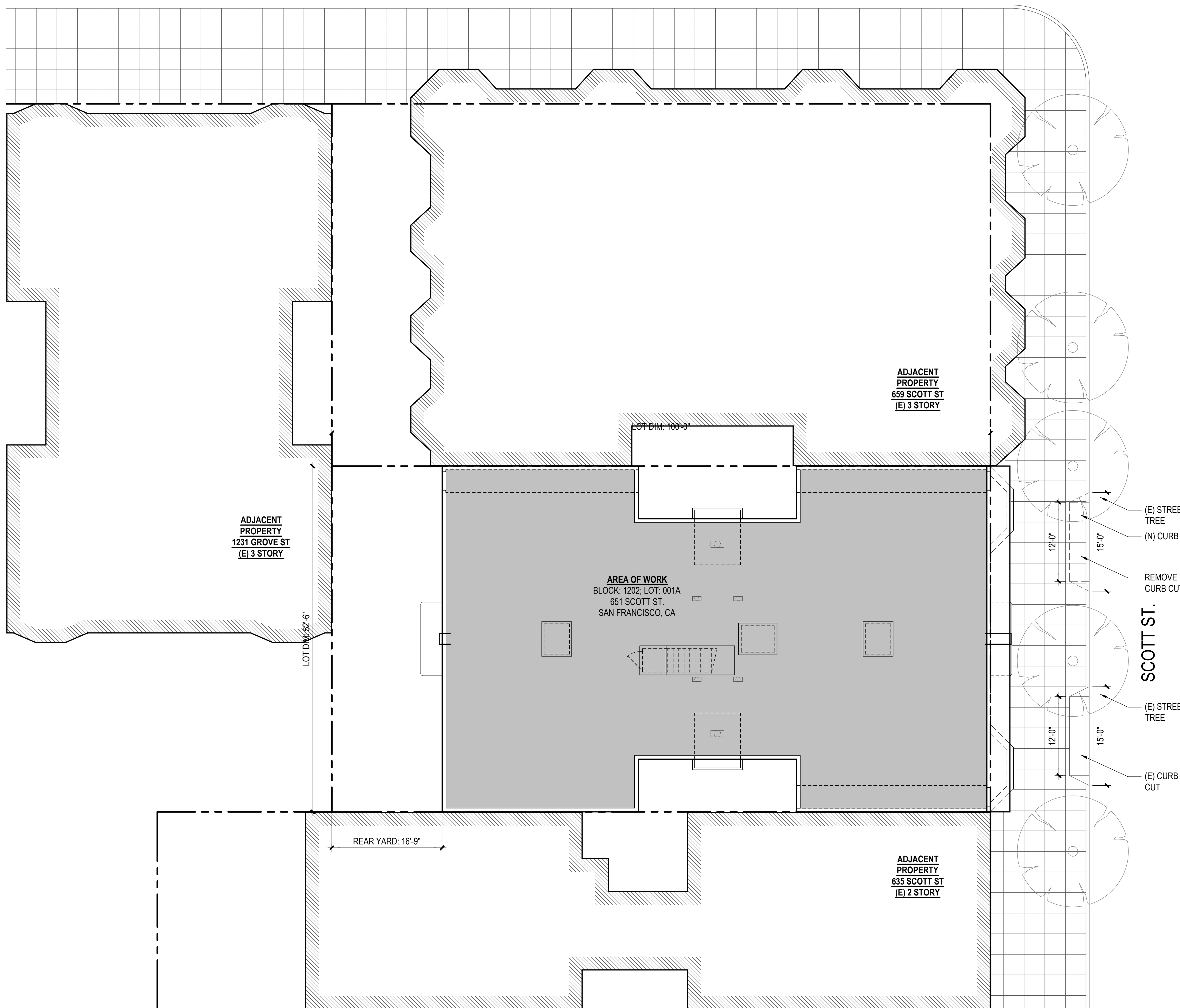
SEE GENERAL NOTES ON SHEET A0.0 FOR MORE INFORMATION

- GFI OUTLET WITH GROUND FAULT INTERRUPTER
 - AFI OUTLET WITH ARC FAULT INTERRUPTER
 - Φ DEDICATED OUTLET FOR ADJACENT APPLIANCE
 - Φ FLUORESCENT CEILING FIXTURE
 - Φ INCANDESCENT CEILING FIXTURE
 - ⊕ LIGHT SWITCH
 - ⊕ THREE WAY SWITCH
 - ⊕ LIGHT SWITCH WITH DIMMER CONTROL
 - SA SMOKE ALARM
 - SC SMOKE/CARBON MONOXIDE DUAL ALARM
 - EXHAUST FAN, MIN. 5 AIR CHANGES/HR
- HARD-WIRED + BATTERY BACK-UP + INTER CONNECTED

PLAN SYMBOL LEGEND

SEE GENERAL NOTES ON SHEET A0.0 FOR MORE INFORMATION

- EXISTING WALL
- DEMOLISHED WALL
- 20 MIN DOOR
- EXIT PATH
- NEW WALL
- 1 HR RATED WALL
- 1 HR RATED CORRIDOR



KEYNOTES

- DIVISION - GENERAL CONDITIONS**
- 1.1 SEE GENERAL CONSTRUCTION NOTES 6-12 ON COVER SHEET FOR A0.0 GENERAL NOTES PERTAINING TO DEMOLITION.
 - 1.2 SEE GENERAL NOTES ON SHEET A0.0 FOR MINIMUM STANDARDS FOR WORK PERFORMANCE. NOTE NOT ALL CONDITIONS LISTED APPLY TO THE SCOPE OF WORK INDICATED IN PLAN.
- DIVISION 2 - EXISTING CONDITION**
- 2.1 NOT USED.
 - 2.2 NOT USED.
 - 2.3 NOT USED.
 - 2.4 DEMO (E) NON-BEARING WALL AS SHOWN, TYP.
 - 2.5 NOT USED.

- DIVISION 8 - DOORS, WINDOWS & GLAZING**
- 8.1 (E) SINGLE GLAZED WOOD WINDOW TO PROVIDE NATURAL VENTILATION PER CBC 1203.4.1 & NATURAL LIGHT PER CBC 1205.2.8.2

	LIGHT / AIR REQUIRED BY CBC SEC 1205.2 & 1203.4.1		
	UNIT #1	UNIT #2	UNIT #3
LIVING AREA	394 SF	490 SF	521 SF
LIGHT 8%	31.62 SF	39.2 SF	41.68 SF
LIGHT PROV.	37.06 SF	58.33 SF	46.33 SF
AIR 4%	15.76 SF	19.6 SF	20.84 SF
AIR PROV.	37.06 SF	46.5 SF	40.5 SF
BEDROOM	--	123 SF	156 SF
LIGHT 8%	--	9.84 SF	12.48 SF
LIGHT PROV.	--	16.5 SF	33 SF
AIR 4%	--	4.92 SF	6.24 SF
AIR PROV.	--	8.25 SF	16.5 SF

- 8.2 EGRESS WINDOW PER CBC 1029.1
 - A. MIN. 5.7 S.F. NET CLEAR OPENING.
 - B. MIN. NET CLEAR HEIGHT: 24"
 - C. MIN. NET CLEAR WIDTH: 20"
 - D. BOTTOM OF CLEAR OPENING MAX. 44" A.F.F.
- 8.3 DOOR SHALL BE READILY OPENABLE FROM EGRESS SIDE WITHOUT USE OF KEY OR SPECIAL KNOWLEDGE OR EFFORD PER CBC 1008.1.9. DOOR TO MEET REQUIREMENTS OF CBC 1008.

- DIVISION 9 - FINISHES**
- 9.1 (N) HARDWOOD FLOORING.
 - 9.2 (N) PAINTED GYP. BOARD WALL / CEILING, THROUGHOUT, TYPICAL.
 - 9.3 PROVIDE FLOOR DRAIN FOR NEW DRYER.
 - 9.4 DRYER TO BE VENTLESS WITH A DRAIN TO BE INSTALLED PER MANUFACTURERS SPECS.
 - 9.5 ALL (N) LIGHTING TO COMPLY WITH CEC 150.0 (K).

- K 1-6 KITCHEN REMODEL NOTES**
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 2. GAS RANGE WITH GAS SHUT-OFF VALVE IN APPROVED ACCESSIBLE LOCATION.
 3. (N) APPLIANCES TO BE INSTALLED PER MANUFACTURER INSTRUCTIONS.
 4. RANGE HOOD w/ WEATHERPROOF BACKDRAFT DAMPER, REMOTE EXHAUST FAN & DEDICATED CIRCUIT. TERMINATE VENT 3'-0" MIN. AWAY FROM PROPERTY LINE & BUILDING OPENINGS.
 5. KITCHEN SINK WITH GARBAGE DISPOSAL. PROVIDE REQUIRED AIR GAP AND PLUMBING.
 6. PROVIDE (N) CABINETRY, COUNTERTOPS THROUGHOUT.

- B 1-9 BATHROOM REMODEL NOTES**
1. KITCHEN AND BATH FAUCETS TO BE MAX. 2.2 G.P.M MEASURED AT 60 PSI.
 2. WATER CLOSET PER CBC 2903 CENTERED WITHIN 30" WIDE CLEAR SPACE. TOILETS SHALL HAVE MAX. 1.6 GPF WATER CONSUMPTION.
 3. (N) TUB; LOCATE PLUMBING AS NEEDED.
 4. (N) TOILET; LOCATE PLUMBING AS NEEDED.
 5. (N) VANITY SINK; RELOCATE PLUMBING AS NEEDED.
 6. G.C. TO VERIFY OUTLET FOR GFI; IF NOT PROVIDE (N) GFI OUTLET AS NEEDED.
 7. G.C. TO VERIFY FOR SWITCH AND LIGHTS ARE IN WORKING ORDER; IF NOT G.C. TO REPAIR/REPLACE AS NEEDED.
 8. G.C. TO VERIFY FOR EXHAUST FAN IN WORKING ORDER; IF NOT G.C. TO REPAIR/REPLACE/PROVIDE AS NEEDED.
 9. PROVIDE NEW FINISHES AS NEEDED.

ELECTRICAL SYMBOL LEGEND

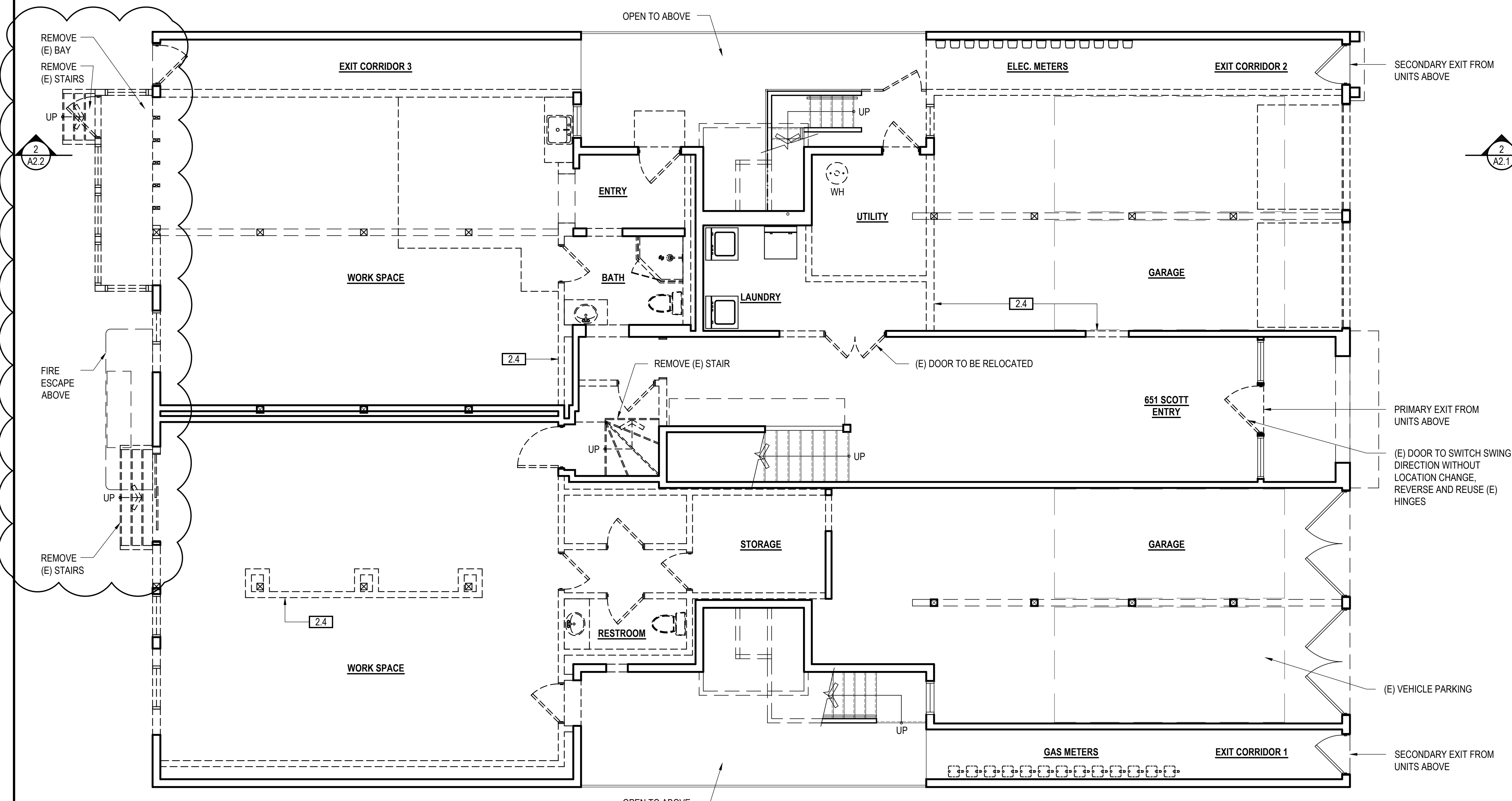
SEE GENERAL NOTES ON SHEET A0.0 FOR MORE INFORMATION

- GFI OUTLET WITH GROUND FAULT INTERRUPTER
 - AFI OUTLET WITH ARC FAULT INTERRUPTER
 - Φ DEDICATED OUTLET FOR ADJACENT APPLIANCE
 - Φ FLUORESCENT CEILING FIXTURE
 - Φ INCANDESCENT CEILING FIXTURE
 - ⊕ LIGHT SWITCH
 - ⊕ THREE WAY SWITCH
 - ⊕ LIGHT SWITCH WITH DIMMER CONTROL
 - SA SMOKE ALARM
 - SMOKE/CARBON MONOXIDE DUAL ALARM
 - EXHAUST FAN, MIN. 5 AIR CHANGES/HR
- HARD-WIRED + BATTERY BACK-UP + INTER CONNECTED

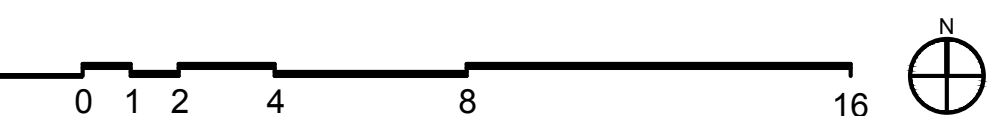
PLAN SYMBOL LEGEND

SEE GENERAL NOTES ON SHEET A0.0 FOR MORE INFORMATION

- EXISTING WALL
- DEMOLISHED WALL
- 20 MIN DOOR
- EXIT PATH
- NEW WALL
- 1 HR RATED WALL
- 1 HR RATED CORRIDOR



1 EXISTING & DEMO FIRST FLOOR
SCALE: 1/4" = 1'-0"



UNIT ADDITION

651 SCOTT ST.
San Francisco, CA
94117
Block: 1202 Lot: 001A

ISSUE:	DATE:
CERT. OF APPROPRIATENESS	02.08.17
CERT. OF APPROP. REV-1	06.05.17
CERT. OF APPROP. REV-2	09.21.17

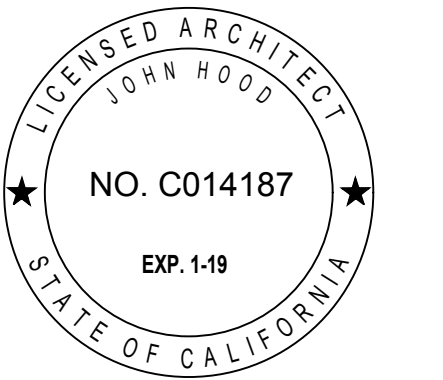
DRAWN BY: YQ
DATE: 09.21.17
SHEET TITLE:

EXISTING & DEMO FIRST FLOOR PLAN

SHEET NUMBER:

A1.0

REV #: DATE:



UNIT ADDITION

651 SCOTT ST.
San Francisco, CA
94117
Block: 1202 Lot: 001A

ISSUE: _____ DATE: _____
CERT. OF APPROPRIATENESS 02.08.17
CERT. OF APPROX. REV-1 06.05.17
CERT. OF APPROX. REV-2 09.21.17

DRAWN BY: YO
DATE: 09.21.17
SHEET TITLE:

PROPOSED FIRST FLOOR PLAN

SHEET NUMBER:

A1.1

REV #: _____ DATE: _____

KEYNOTES

DIVISION - GENERAL CONDITIONS

- 1.1 SEE GENERAL CONSTRUCTION NOTES 6-12 ON COVER SHEET FOR A0.0 GENERAL NOTES PERTAINING TO DEMOLITION.
- 1.2 SEE GENERAL NOTES ON SHEET A0.0 FOR MINIMUM STANDARDS FOR WORK PERFORMANCE. NOTE NOT ALL CONDITIONS LISTED APPLY TO THE SCOPE OF WORK INDICATED IN PLAN.

DIVISION 2 - EXISTING CONDITION

- 2.1 NOT USED.
- 2.2 NOT USED.
- 2.3 NOT USED.
- 2.4 DEMO (E) NON-BEARING WALL AS SHOWN, TYP.
- 2.5 NOT USED.

DIVISION 8 - DOORS, WINDOWS & GLAZING

- 8.1 (E) SINGLE GLAZED WOOD WINDOW TO PROVIDE NATURAL VENTILATION PER CBC 1203.4.1 & NATURAL LIGHT PER CBC 1205.2.8.2

	LIGHT / AIR REQUIRED BY CBC SEC 1205.2 & 1203.4.1		
	UNIT #1	UNIT #2	UNIT #3
LIVING AREA	394 SF	490 SF	521 SF
LIGHT 8%	31.52 SF	39.2 SF	41.68 SF
LIGHT PROV.	37.06 SF	58.33 SF	46.33 SF
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AIR PROV.	37.06 SF	46.5 SF	40.5 SF
BEDROOM	-	123 SF	156 SF
LIGHT 8%	-	9.84 SF	12.48 SF
LIGHT PROV.	-	16.5 SF	33 SF
AIR 4%	-	4.92 SF	6.24 SF
AIR PROV.	-	8.25 SF	16.5 SF

- 8.2 EGRESS WINDOW PER CBC 1029.1
A. MIN. 5.7 S.F. NET CLEAR OPENING.
B. MIN. NET CLEAR HEIGHT: 24"
C. MIN. NET CLEAR WIDTH: 20"
D. BOTTOM OF CLEAR OPENING MAX. 44" A.F.F. PER CBC 1029.1
- 8.3 DOOR SHALL BE READILY OPENABLE FROM EGRESS SIDE WITHOUT USE OF KEY OR SPECIAL KNOWLEDGE OR EFFORT PER CBC 1008.1.9. DOOR TO MEET REQUIREMENTS OF CBC 1008.

DIVISION 9 - FINISHES

- 9.1 (N) HARDWOOD FLOORING.
- 9.2 (N) PAINTED GYP. BOARD WALL / CEILING, THROUGHOUT, TYPICAL.
- 9.3 PROVIDE FLOOR DRAIN FOR NEW DRYER.
- 9.4 DRYER TO BE VENTLESS WITH A DRAIN TO BE INSTALLED PER MANUFACTURERS SPECS.
- 9.5 ALL (N) LIGHTING TO COMPLY WITH CEC 150.0 (K).

K 1-6 KITCHEN REMODEL NOTES

1. KITCHEN & BATH FAUCETS TO BE MAX. 2.2 G.P.M MEASURED AT 60 PSI. GAS RANGE WITH GAS SHUT-OFF VALVE IN APPROVED ACCESSIBLE LOCATION.
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4. KITCHEN SINK WITH GARBAGE DISPOSAL. PROVIDE REQUIRED AIR GAP AND PLUMBING.
5. PROVIDE (N) CABINETRY, COUNTERTOPS THROUGHOUT.

B 1-9 BATHROOM REMODEL NOTES

1. KITCHEN AND BATH FAUCETS TO BE MAX. 2.2 G.P.M MEASURED AT 60 PSI.
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9. PROVIDE NEW FINISHES AS NEEDED.

ELECTRICAL SYMBOL LEGEND

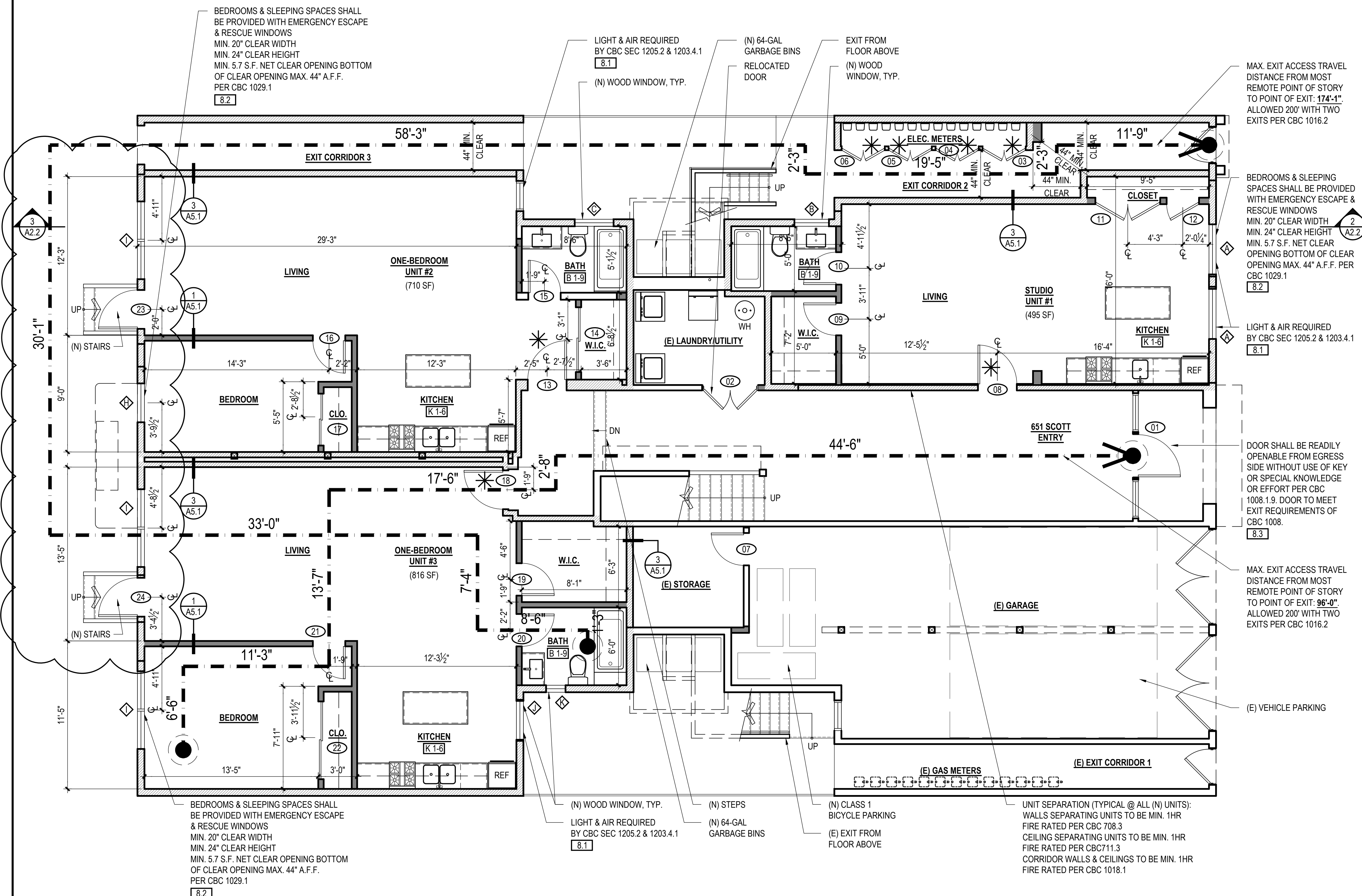
SEE GENERAL NOTES ON SHEET A0.0 FOR MORE INFORMATION

- GFI OUTLET WITH GROUND FAULT INTERRUPTER
- AFI OUTLET WITH ARC FAULT INTERRUPTER
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- SMOKE/CARBON MONOXIDE DUAL ALARM
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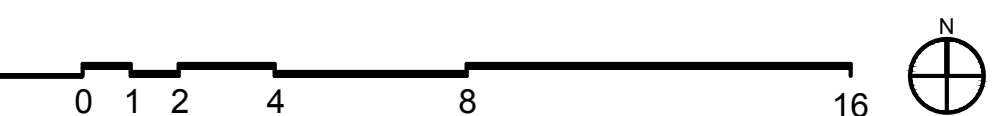
PLAN SYMBOL LEGEND

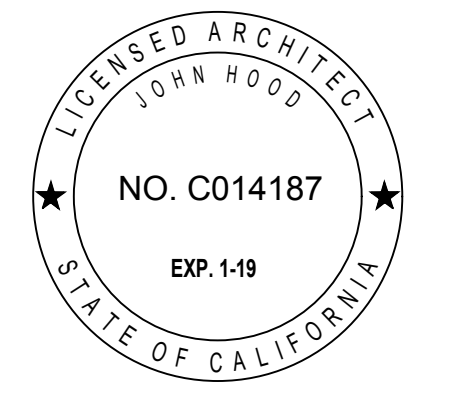
SEE GENERAL NOTES ON SHEET A0.0 FOR MORE INFORMATION

- EXISTING WALL
- DEMOLISHED WALL
- 20 MIN DOOR
- EXIT PATH
- NEW WALL
- 1 HR RATED WALL
- 1 HR RATED CORRIDOR



1 PROPOSED FIRST FLOOR
SCALE: 1/4" = 1'-0"





UNIT ADDITION

651 SCOTT ST.
San Francisco, CA
94117
Block: 1202 Lot: 001A

ISSUE:	DATE:
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CERT. OF APPROV. REV-1	06.05.17
CERT. OF APPROV. REV-2	09.21.17

DRAWN BY: YQ
DATE: 09.21.17
SHEET TITLE:

EXISTING FLOOR PLANS

SHEET NUMBER:

A1.2

REV #: **DATE:**

KEYNOTES

- DIVISION - GENERAL CONDITIONS**
- 1.1 SEE GENERAL CONSTRUCTION NOTES 6-12 ON COVER SHEET FOR A0.0 GENERAL NOTES PERTAINING TO DEMOLITION.
 - 1.2 SEE GENERAL NOTES ON SHEET A0.0 FOR MINIMUM STANDARDS FOR WORK PERFORMANCE. NOTE NOT ALL CONDITIONS LISTED APPLY TO THE SCOPE OF WORK INDICATED IN PLAN.
- DIVISION 2 - EXISTING CONDITION**
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 - 2.2 NOT USED.
 - 2.3 NOT USED.
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- 8.1 (E) SINGLE GLAZED WOOD WINDOW TO PROVIDE NATURAL VENTILATION PER CBC 1203.4.1 & NATURAL LIGHT PER CBC 1205.2.8.2

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- DIVISION 9 - FINISHES**
- 9.1 (N) HARDWOOD FLOORING.
 - 9.2 (N) PAINTED GYP. BOARD WALL / CEILING, THROUGHOUT, TYPICAL.
 - 9.3 PROVIDE FLOOR DRAIN FOR NEW DRYER.
 - 9.4 DRYER TO BE VENTLESS WITH A DRAIN TO BE INSTALLED PER MANUFACTURERS SPECS.
 - 9.5 ALL (N) LIGHTING TO COMPLY WITH CEC 150.0 (K).

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1. KITCHEN & BATH FAUCETS TO BE MAX. 2.2 G.P.M MEASURED AT 60 PSI.
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 3. (N) APPLIANCES TO BE INSTALLED PER MANUFACTURER INSTRUCTIONS.
 4. RANGE HOOD w/ WEATHERPROOF BACKDRAFT DAMPER, REMOTE EXHAUST FAN & DEDICATED CIRCUIT. TERMINATE VENT 3'-0" MIN. AWAY FROM PROPERTY LINE & BUILDING OPENINGS.
 5. KITCHEN SINK WITH GARBAGE DISPOSAL. PROVIDE REQUIRED AIR GAP AND PLUMBING.
 6. PROVIDE (N) CABINETRY, COUNTERTOPS THROUGHOUT.

- B 1-9 BATHROOM REMODEL NOTES**
1. KITCHEN AND BATH FAUCETS TO BE MAX. 2.2 G.P.M MEASURED AT 60 PSI.
 2. WATER CLOSET PER CBC 2903 CENTERED WITHIN 30" WIDE CLEAR SPACE. TOILETS SHALL HAVE MAX. 1.6 GPF WATER CONSUMPTION.
 3. (N) TUB; LOCATE PLUMBING AS NEEDED.
 4. (N) TOILET; LOCATE PLUMBING AS NEEDED.
 5. (N) VANITY SINK; RELOCATE PLUMBING AS NEEDED.
 6. G.C. TO VERIFY OUTLET FOR GFI; IF NOT PROVIDE (N) GFI OUTLET AS NEEDED.
 7. G.C. TO VERIFY FOR SWITCH AND LIGHTS ARE IN WORKING ORDER; IF NOT G.C. TO REPAIR/REPLACE AS NEEDED.
 8. G.C. TO VERIFY FOR EXHAUST FAN IN WORKING ORDER; IF NOT G.C. TO REPAIR/REPLACE/PROVIDE AS NEEDED.
 9. PROVIDE NEW FINISHES AS NEEDED.

ELECTRICAL SYMBOL LEGEND

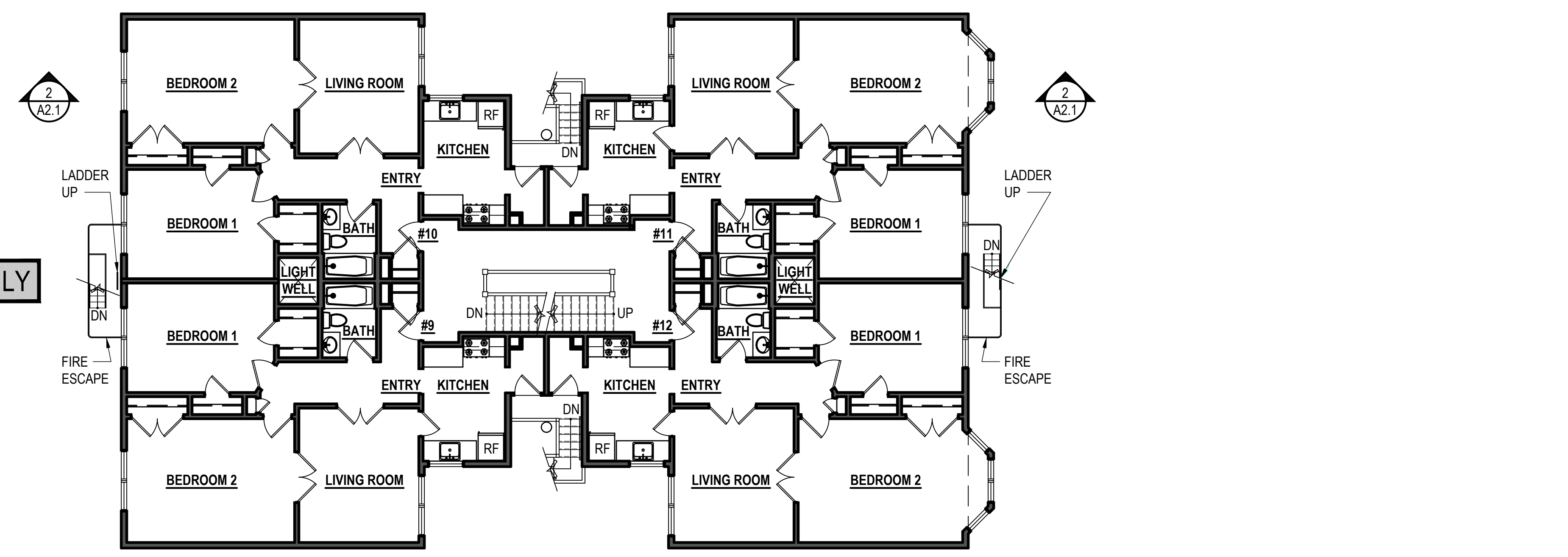
SEE GENERAL NOTES ON SHEET A0.0 FOR MORE INFORMATION

- GFI OUTLET WITH GROUND FAULT INTERRUPTER
 - AFI OUTLET WITH ARC FAULT INTERRUPTER
 - Φ DEDICATED OUTLET FOR ADJACENT APPLIANCE
 - Φ_F FLUORESCENT CEILING FIXTURE
 - Φ_G INCANDESCENT CEILING FIXTURE
 - ⊕ LIGHT SWITCH
 - ⊕₃ THREE WAY SWITCH
 - ⊕_D LIGHT SWITCH WITH DIMMER CONTROL
 - SA SMOKE ALARM
 - SC SMOKE/CARBON MONOXIDE DUAL ALARM
 - ⊕ EXHAUST FAN, MIN. 5 AIR CHANGES/HR
- HARD-WIRED + BATTERY BACK-UP + INTER CONNECTED

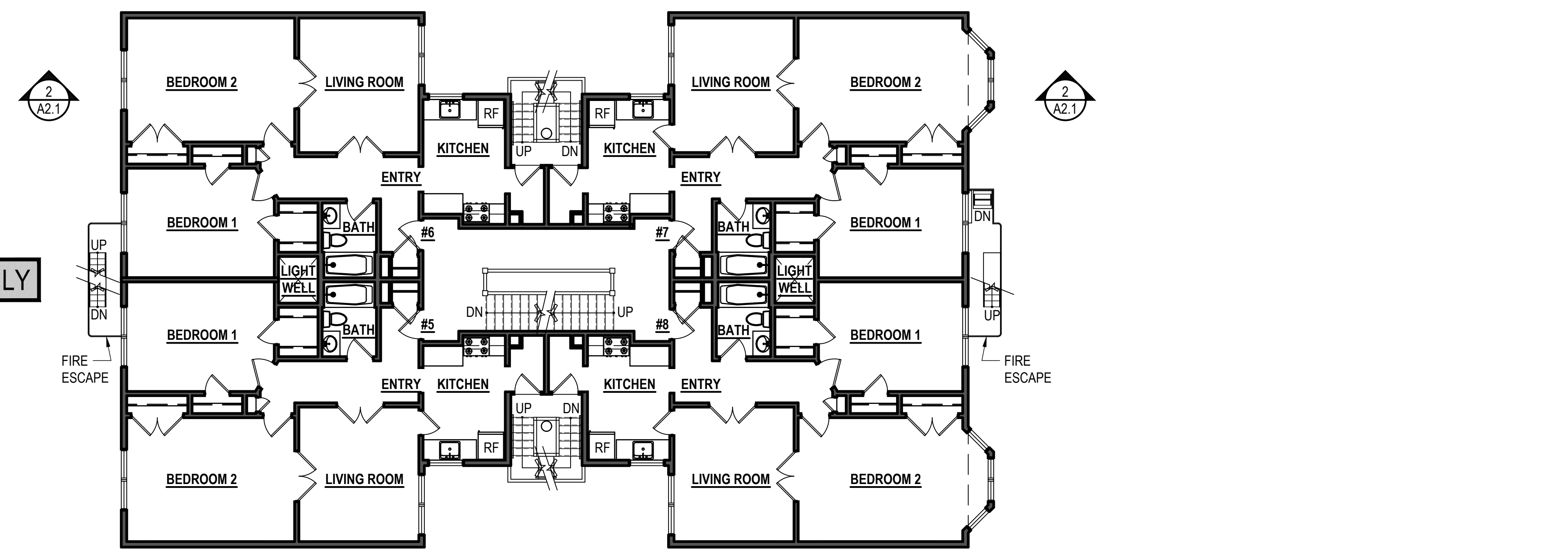
PLAN SYMBOL LEGEND

SEE GENERAL NOTES ON SHEET A0.0 FOR MORE INFORMATION

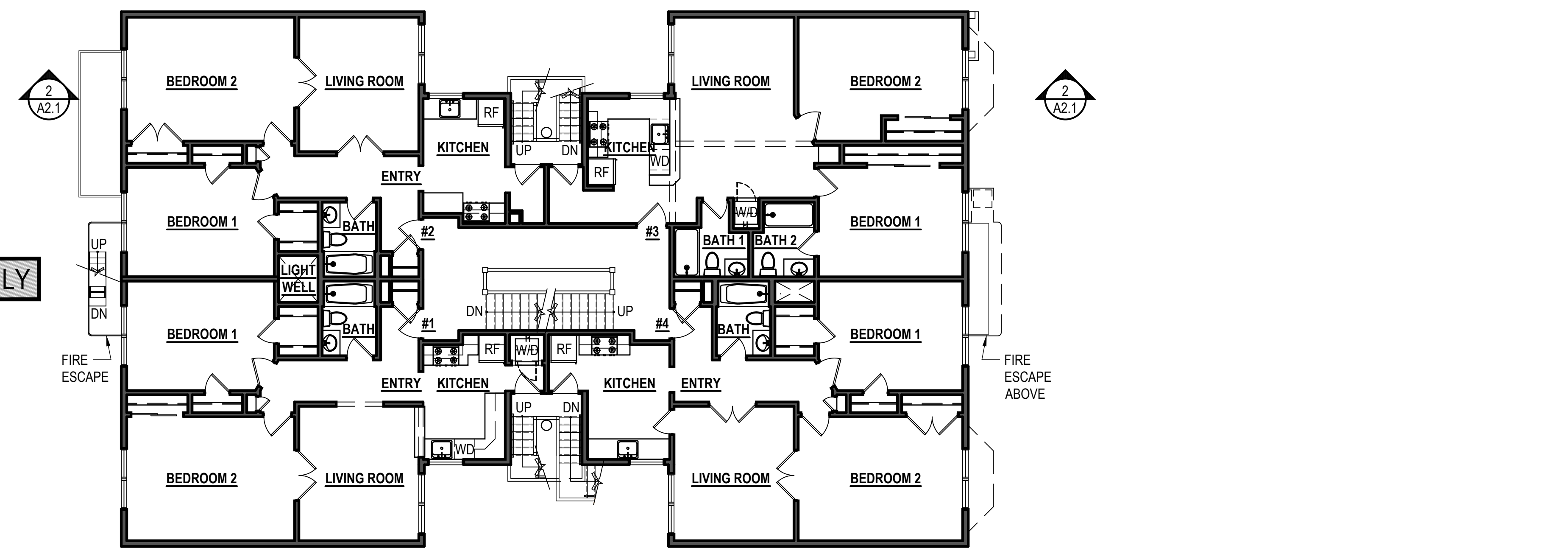
- EXISTING WALL
- NEW WALL
- DEMOLISHED WALL
- 1 HR RATED WALL
- * 20 MIN DOOR
- ⊕ 1 HR RATED CORRIDOR
- ← EXIT PATH



3 EXISTING FOURTH FLOOR
 SCALE: 1/8" = 1'-0"



2 EXISTING THIRD FLOOR
 SCALE: 1/8" = 1'-0"



1 EXISTING SECOND FLOOR
 SCALE: 1/8" = 1'-0"

UNIT ADDITION

651 SCOTT ST.
San Francisco, CA
94117
Block: 1202 Lot: 001A

ISSUE:	DATE:
CERT. OF APPROPRIATENESS	02.08.17
CERT. OF APPROP. REV-1	06.05.17
CERT. OF APPROP. REV-2	09.21.17

DRAWN BY: YO
DATE: 09.21.17
SHEET TITLE:

EXISTING & PROPOSED EAST (FRONT) ELEVATION

SHEET NUMBER:

A2.1

REV #: DATE:

KEYNOTES

DIVISION - GENERAL CONDITIONS

- 1.1 SEE GENERAL CONSTRUCTION NOTES 6-12 ON COVER SHEET FOR A0.0 GENERAL NOTES PERTAINING TO DEMOLITION.
- 1.2 SEE GENERAL NOTES ON SHEET A0.0 FOR MINIMUM STANDARDS FOR WORK PERFORMANCE. NOTE NOT ALL CONDITIONS LISTED APPLY TO THE SCOPE OF WORK INDICATED IN PLAN.

DIVISION 2 - EXISTING CONDITION

- 2.1 NOT USED.
- 2.2 NOT USED.
- 2.3 NOT USED.
- 2.4 DEMO (E) NON-BEARING WALL AS SHOWN, TYP.
- 2.5 NOT USED.

DIVISION 8 - DOORS, WINDOWS & GLAZING

- 8.1 (E) SINGLE GLAZED WOOD WINDOW TO PROVIDE NATURAL VENTILATION PER CBC 1203.4.1 & NATURAL LIGHT PER CBC 1205.2.8.2

	LIGHT / AIR REQUIRED BY CBC SEC 1205.2 & 1203.4.1		
	UNIT #1	UNIT #2	UNIT #3
LIVING AREA	394 SF	490 SF	521 SF
LIGHT 8%	31.62 SF	39.2 SF	41.68 SF
LIGHT PROV.	37.06 SF	58.33 SF	46.33 SF
AIR 4%	15.76 SF	19.6 SF	20.84 SF
AIR PROV.	37.06 SF	46.5 SF	40.5 SF
BEDROOM	--	123 SF	156 SF
LIGHT 8%	--	9.84 SF	12.48 SF
LIGHT PROV.	--	16.5 SF	33 SF
AIR 4%	--	4.92 SF	6.24 SF
AIR PROV.	--	8.25 SF	16.5 SF

- 8.2 EGRESS WINDOW PER CBC 1029.1
 - A. MIN. 5.7 S.F. NET CLEAR OPENING.
 - B. MIN. NET CLEAR HEIGHT: 24"
 - C. MIN. NET CLEAR WIDTH: 20"
 - D. BOTTOM OF CLEAR OPENING MAX. 44" A.F.F.
- 8.3 DOOR SHALL BE READILY OPENABLE FROM EGRESS SIDE WITHOUT USE OF KEY OR SPECIAL KNOWLEDGE OR EFFORD PER CBC 1008.1.9. DOOR TO MEET REQUIREMENTS OF CBC 1008.

DIVISION 9 - FINISHES

- 9.1 (N) HARDWOOD FLOORING.
- 9.2 (N) PAINTED GYP. BOARD WALL / CEILING, THROUGHOUT, TYPICAL.
- 9.3 PROVIDE FLOOR DRAIN FOR NEW DRYER.
- 9.4 DRYER TO BE VENTLESS WITH A DRAIN TO BE INSTALLED PER MANUFACTURERS SPECS.
- 9.5 ALL (N) LIGHTING TO COMPLY WITH CEC 150.0 (K).

K 1-6 KITCHEN REMODEL NOTES

1. KITCHEN & BATH FAUCETS TO BE MAX. 2.2 G.P.M MEASURED AT 60 PSI.
2. GAS RANGE WITH GAS SHUT-OFF VALVE IN APPROVED ACCESSIBLE LOCATION.
3. (N) APPLIANCES TO BE INSTALLED PER MANUFACTURER INSTRUCTIONS.
4. RANGE HOOD w/ WEATHERPROOF BACKDRAFT DAMPER, REMOTE EXHAUST FAN & DEDICATED CIRCUIT. TERMINATE VENT 3'-0" MIN. AWAY FROM PROPERTY LINE & BUILDING OPENINGS.
5. KITCHEN SINK WITH GARBAGE DISPOSAL. PROVIDE REQUIRED AIR GAP AND PLUMBING.
6. PROVIDE (N) CABINETS, COUNTERTOPS THROUGHOUT.

B 1-9 BATHROOM REMODEL NOTES

1. KITCHEN AND BATH FAUCETS TO BE MAX. 2.2 G.P.M MEASURED AT 60 PSI.
2. WATER CLOSET PER CBC 2903 CENTERED WITHIN 30" WIDE CLEAR SPACE. TOILETS SHALL HAVE MAX. 1.6 GPF WATER CONSUMPTION.
3. (N) TUB; LOCATE PLUMBING AS NEEDED.
4. (N) TOILET; LOCATE PLUMBING AS NEEDED.
5. (N) VANITY SINK; RELOCATE PLUMBING AS NEEDED.
6. G.C. TO VERIFY OUTLET FOR GFI; IF NOT PROVIDE (N) GFI OUTLET AS NEEDED.
7. G.C. TO VERIFY FOR SWITCH AND LIGHTS ARE IN WORKING ORDER; IF NOT G.C. TO REPAIR/REPLACE AS NEEDED.
8. G.C. TO VERIFY FOR EXHAUST FAN IN WORKING ORDER; IF NOT G.C. TO REPAIR/REPLACE/PROVIDE AS NEEDED.
9. PROVIDE NEW FINISHES AS NEEDED.

ELECTRICAL SYMBOL LEGEND

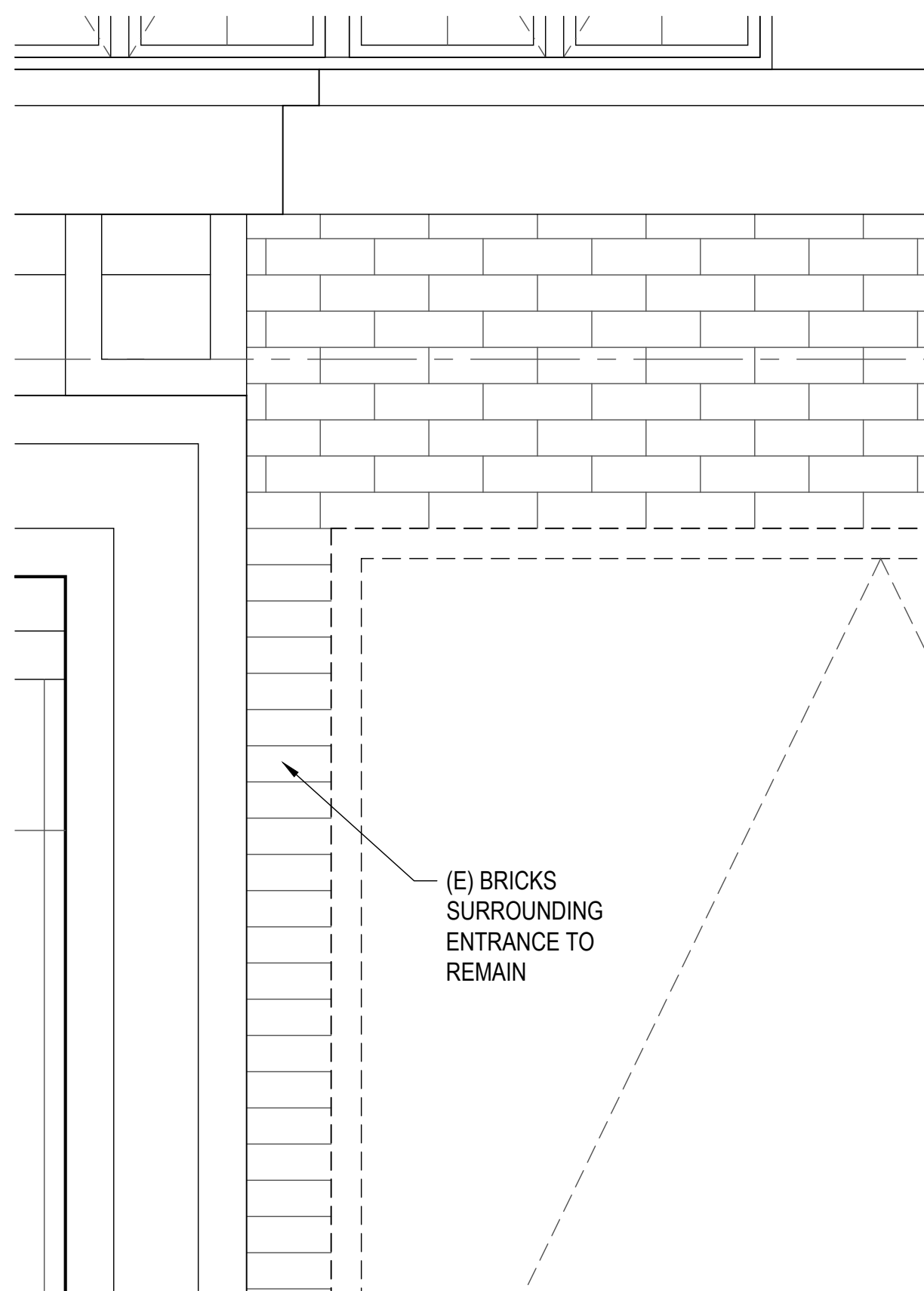
SEE GENERAL NOTES ON SHEET A0.0 FOR MORE INFORMATION

- GFI OUTLET WITH GROUND FAULT INTERRUPTER
 - AFI OUTLET WITH ARC FAULT INTERRUPTER
 - DEDICATED OUTLET FOR ADJACENT APPLIANCE
 - FLUORESCENT CEILING FIXTURE
 - INCANDESCENT CEILING FIXTURE
 - LIGHT SWITCH
 - THREE WAY SWITCH
 - LIGHT SWITCH WITH DIMMER CONTROL
 - SMOKE ALARM
 - SMOKE/CARBON MONOXIDE DUAL ALARM
 - EXHAUST FAN, MIN. 5 AIR CHANGES/HR
- HARD-WIRED + BATTERY BACK-UP + INTER CONNECTED

PLAN SYMBOL LEGEND

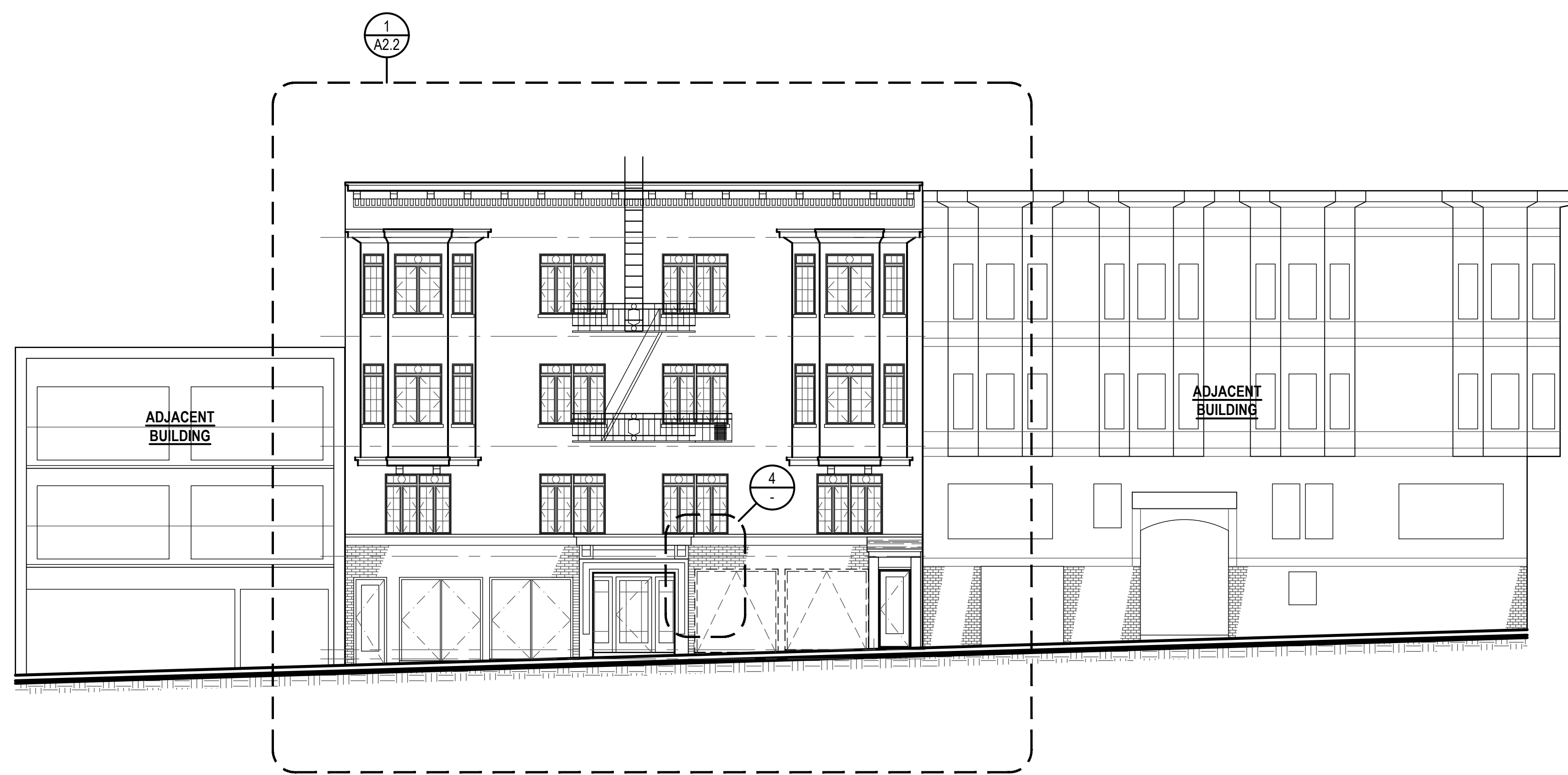
SEE GENERAL NOTES ON SHEET A0.0 FOR MORE INFORMATION

- EXISTING WALL
- DEMOLISHED WALL
- 20 MIN DOOR
- EXIT PATH
- NEW WALL
- 1 HR RATED WALL
- 1 HR RATED CORRIDOR



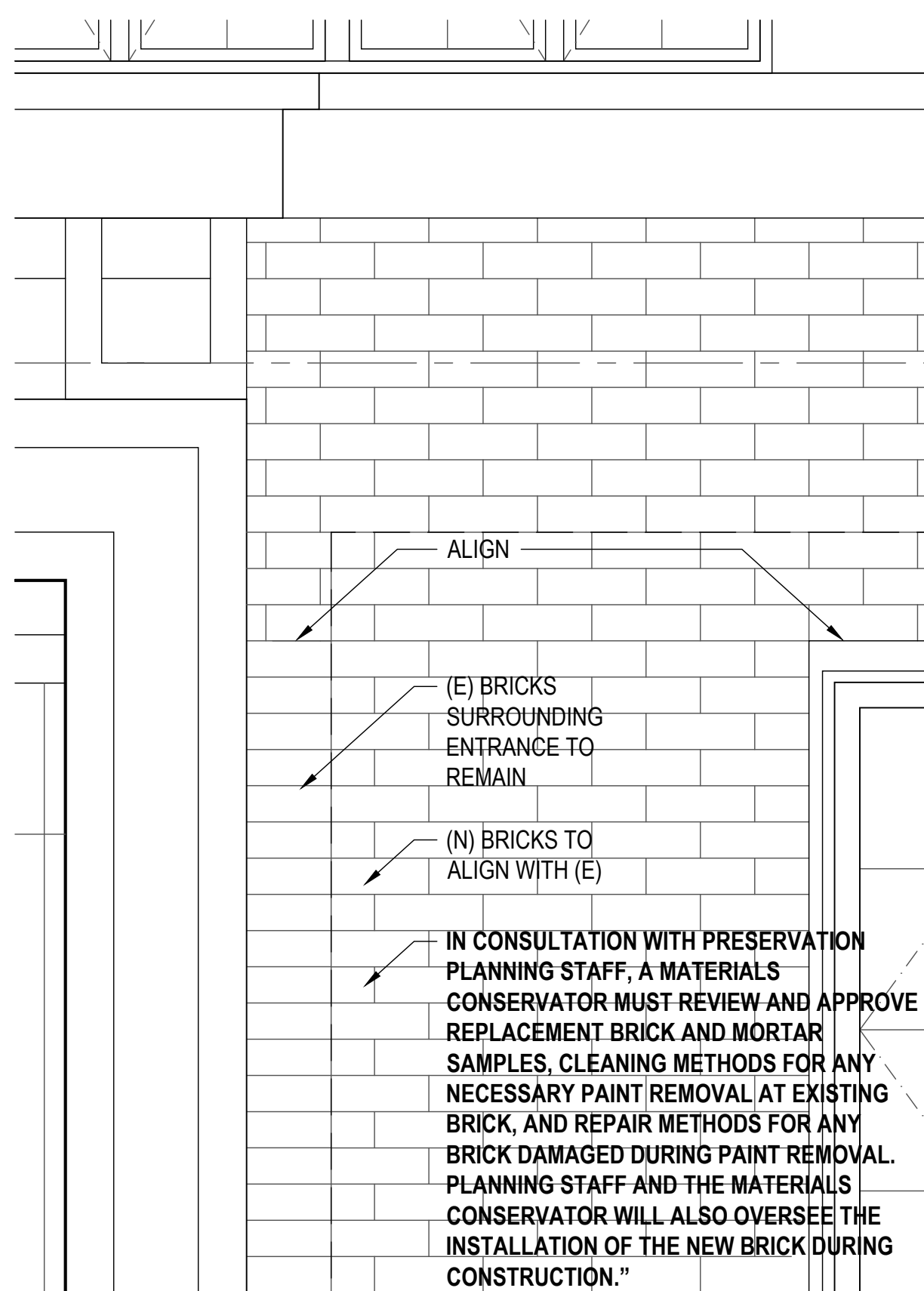
4 EXISTING FACADE BRICK PATTERN

SCALE: 1" = 1'-0"



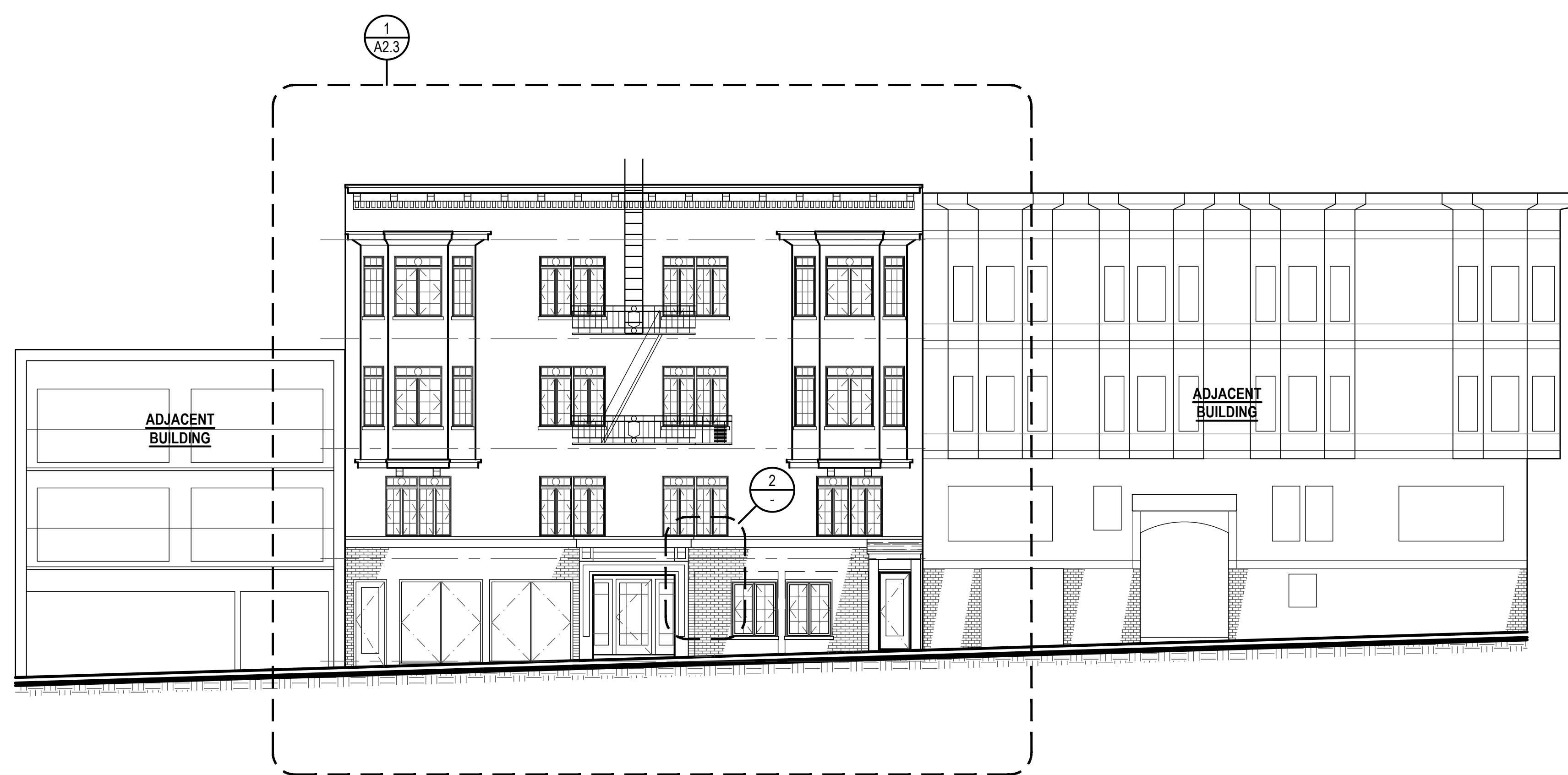
3 EXISTING EAST (FRONT) ELEVATION

SCALE: 1/8" = 1'-0"



2 PROPOSED FACADE BRICK PATTERN

SCALE: 1" = 1'-0"



1 PROPOSED EAST (FRONT) ELEVATION

SCALE: 1/8" = 1'-0"

UNIT ADDITION

651 SCOTT ST.
San Francisco, CA
94117
Block: 1202 Lot: 001A

ISSUE: DATE:
CERT. OF APPROPRIATENESS 02.08.17
CERT. OF APPROP. REV-1 06.05.17
CERT. OF APPROP. REV-2 09.21.17

DRAWN BY: YO
DATE: 09.21.17
SHEET TITLE:

EXISTING & DEMO
EAST (FRONT)
ELEVATION,
PARTIAL
SECTION, &
SECTION DETAIL

SHEET NUMBER:

A2.2

REV #: DATE:

KEYNOTES

- DIVISION - GENERAL CONDITIONS**
- 1.1 SEE GENERAL CONSTRUCTION NOTES 6-12 ON COVER SHEET FOR A0.0 GENERAL NOTES PERTAINING TO DEMOLITION.
 - 1.2 SEE GENERAL NOTES ON SHEET A0.0 FOR MINIMUM STANDARDS FOR WORK PERFORMANCE. NOTE NOT ALL CONDITIONS LISTED APPLY TO THE SCOPE OF WORK INDICATED IN PLAN.
- DIVISION 2 - EXISTING CONDITION**
- 2.1 NOT USED.
 - 2.2 NOT USED.
 - 2.3 NOT USED.
 - 2.4 DEMO (E) NON-BEARING WALL AS SHOWN, TYP.
 - 2.5 NOT USED.

- DIVISION 8 - DOORS, WINDOWS & GLAZING**
- 8.1 (E) SINGLE GLAZED WOOD WINDOW TO PROVIDE NATURAL VENTILATION PER CBC 1203.4.1 & NATURAL LIGHT PER CBC 1205.2.8.2

	LIGHT / AIR REQUIRED BY CBC SEC 1205.2 & 1203.4.1		
	UNIT #1	UNIT #2	UNIT #3
LIVING AREA	394 SF	490 SF	521 SF
LIGHT 8%	31.52 SF	39.2 SF	41.68 SF
LIGHT PROV.	37.06 SF	58.33 SF	46.33 SF
AIR 4%	15.76 SF	19.6 SF	20.84 SF
AIR PROV.	37.06 SF	46.5 SF	40.5 SF
BEDROOM	--	123 SF	156 SF
LIGHT 8%	--	9.84 SF	12.48 SF
LIGHT PROV.	--	16.5 SF	33 SF
AIR 4%	--	4.92 SF	6.24 SF
AIR PROV.	--	8.25 SF	16.5 SF

- 8.2 EGRESS WINDOW PER CBC 1029.1
 - A. MIN. 5.7 S.F. NET CLEAR OPENING.
 - B. MIN. NET CLEAR HEIGHT: 24"
 - C. MIN. NET CLEAR WIDTH: 20"
 - D. BOTTOM OF CLEAR OPENING MAX. 44" A.F.F.
- 8.3 DOOR SHALL BE READILY OPENABLE FROM EGRESS SIDE WITHOUT USE OF KEY OR SPECIAL KNOWLEDGE OR EFFORD PER CBC 1008.1.9. DOOR TO MEET REQUIREMENTS OF CBC 1008.

DIVISION 9 - FINISHES

- 9.1 (N) HARDWOOD FLOORING.
- 9.2 (N) PAINTED GYP. BOARD WALL / CEILING, THROUGHOUT, TYPICAL.
- 9.3 PROVIDE FLOOR DRAIN FOR NEW DRYER.
- 9.4 DRYER TO BE VENTLESS WITH A DRAIN TO BE INSTALLED PER MANUFACTURERS SPECS.
- 9.5 ALL (N) LIGHTING TO COMPLY WITH CEC 150.0 (K).

K 1-6 KITCHEN REMODEL NOTES

- 1. KITCHEN & BATH FAUCETS TO BE MAX. 2.2 G.P.M MEASURED AT 60 PSI.
- 2. GAS RANGE WITH GAS SHUT-OFF VALVE IN APPROVED ACCESSIBLE LOCATION.
- 3. (N) APPLIANCES TO BE INSTALLED PER MANUFACTURER INSTRUCTIONS.
- 4. RANGE HOOD w/ WEATHERPROOF BACKDRAFT DAMPER, REMOTE EXHAUST FAN & DEDICATED CIRCUIT. TERMINATE VENT 3'-0" MIN. AWAY FROM PROPERTY LINE & BUILDING OPENINGS.
- 5. KITCHEN SINK WITH GARBAGE DISPOSAL. PROVIDE REQUIRED AIR GAP AND PLUMBING.
- 6. PROVIDE (N) CABINETRY, COUNTERTOPS THROUGHOUT.

B 1-9 BATHROOM REMODEL NOTES

- 1. KITCHEN AND BATH FAUCETS TO BE MAX. 2.2 G.P.M MEASURED AT 60 PSI.
- 2. WATER CLOSET PER CBC 2903 CENTERED WITHIN 30" WIDE CLEAR SPACE. TOILETS SHALL HAVE MAX. 1.6 GPF WATER CONSUMPTION.
- 3. (N) TUB: LOCATE PLUMBING AS NEEDED.
- 4. (N) TOILET: LOCATE PLUMBING AS NEEDED.
- 5. (N) VANITY SINK: RELOCATE PLUMBING AS NEEDED.
- 6. G.C. TO VERIFY OUTLET FOR GFI; IF NOT PROVIDE (N) GFI OUTLET AS NEEDED.
- 7. G.C. TO VERIFY FOR SWITCH AND LIGHTS ARE IN WORKING ORDER; IF NOT G.C. TO REPAIR/REPLACE AS NEEDED.
- 8. G.C. TO VERIFY FOR EXHAUST FAN IN WORKING ORDER; IF NOT G.C. TO REPAIR/REPLACE/PROVIDE AS NEEDED.
- 9. PROVIDE NEW FINISHES AS NEEDED.

ELECTRICAL SYMBOL LEGEND

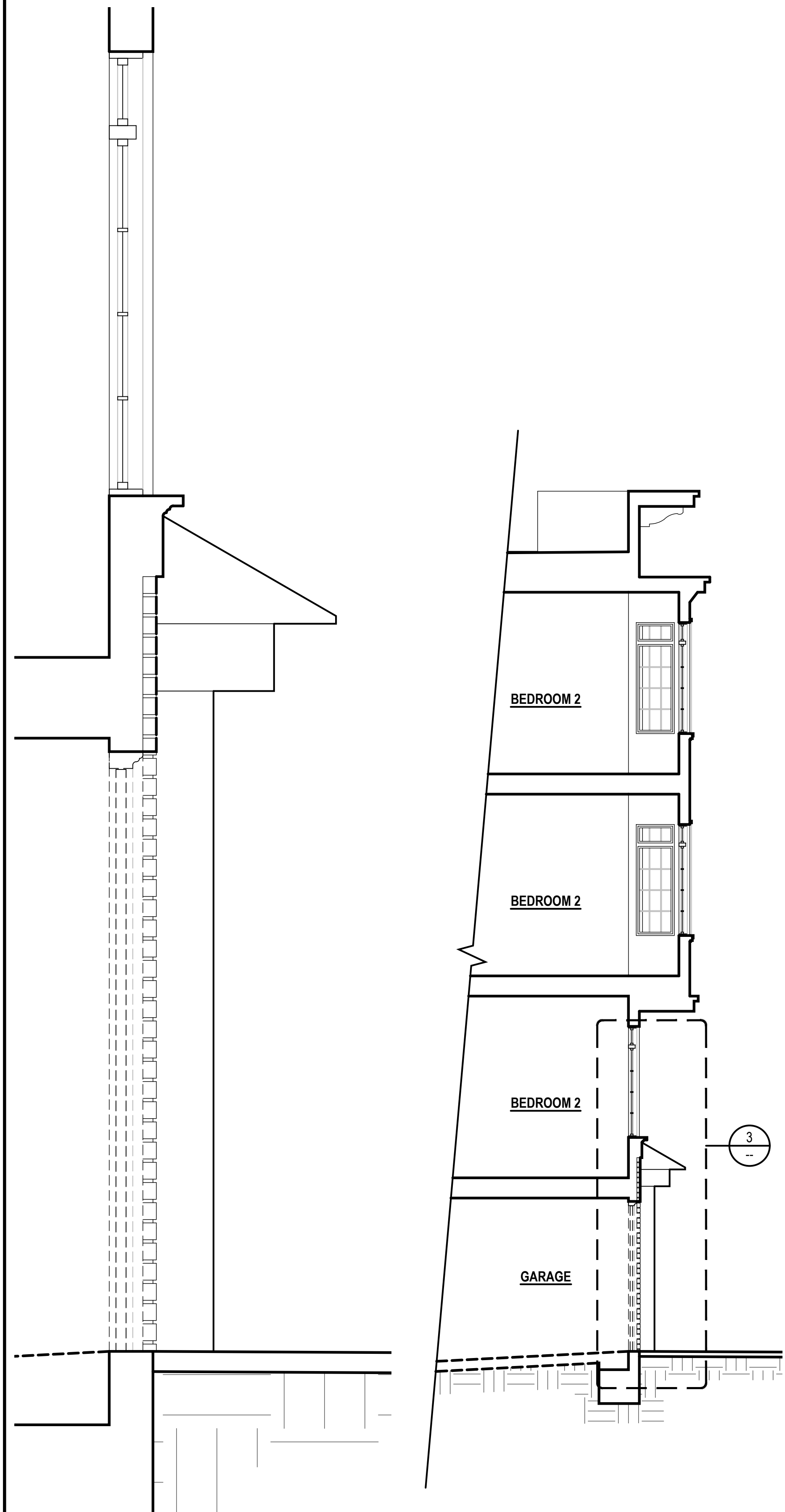
SEE GENERAL NOTES ON SHEET A0.0 FOR MORE INFORMATION

- GFI OUTLET WITH GROUND FAULT INTERRUPTER
 - AFI OUTLET WITH ARC FAULT INTERRUPTER
 - DEDICATED OUTLET FOR ADJACENT APPLIANCE
 - FLUORESCENT CEILING FIXTURE
 - INCANDESCENT CEILING FIXTURE
 - LIGHT SWITCH
 - THREE WAY SWITCH
 - LIGHT SWITCH WITH DIMMER CONTROL
 - SA SMOKE ALARM
 - SMOKE/CARBON MONOXIDE DUAL ALARM
 - EXHAUST FAN, MIN. 5 AIR CHANGES/HR
- HARD-WIRED + BATTERY BACK-UP + INTER CONNECTED

PLAN SYMBOL LEGEND

SEE GENERAL NOTES ON SHEET A0.0 FOR MORE INFORMATION

- EXISTING WALL
- DEMOLISHED WALL
- 20 MIN DOOR
- EXIT PATH
- NEW WALL
- 1 HR RATED WALL
- 1 HR RATED CORRIDOR

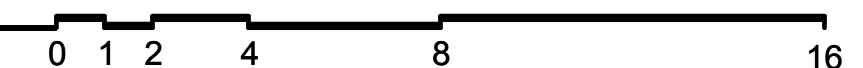


3 EXISTING & DEMO SECTION DETAIL
SCALE: 1" = 1'-0"

2 EXISTING & DEMO PARTIAL SECTION
SCALE: 1/4" = 1'-0"



1 EXISTING & DEMO EAST (FRONT) ELEVATION
SCALE: 1/4" = 1'-0"



UNIT ADDITION

651 SCOTT ST.
San Francisco, CA
94117
Block: 1202 Lot: 001A

ISSUE: DATE:
CERT. OF APPROPRIATENESS 02.08.17
CERT. OF APPROP. REV-1 06.05.17
CERT. OF APPROP. REV-2 09.21.17

DRAWN BY: YO
DATE: 09.21.17
SHEET TITLE:

PROPOSED EAST (FRONT) ELEVATION, PARTIAL SECTION, & SECTION DETAIL

SHEET NUMBER:

A2.3

REV #: DATE:

KEYNOTES

DIVISION - GENERAL CONDITIONS

- 1.1 SEE GENERAL CONSTRUCTION NOTES 6-12 ON COVER SHEET FOR A0.0 GENERAL NOTES PERTAINING TO DEMOLITION.
- 1.2 SEE GENERAL NOTES ON SHEET A0.0 FOR MINIMUM STANDARDS FOR WORK PERFORMANCE. NOTE NOT ALL CONDITIONS LISTED APPLY TO THE SCOPE OF WORK INDICATED IN PLAN.

DIVISION 2 - EXISTING CONDITION

- 2.1 NOT USED.
- 2.2 NOT USED.
- 2.3 NOT USED.
- 2.4 DEMO (E) NON-BEARING WALL AS SHOWN, TYP.
- 2.5 NOT USED.

DIVISION 8 - DOORS, WINDOWS & GLAZING

- 8.1 (E) SINGLE GLAZED WOOD WINDOW TO PROVIDE NATURAL VENTILATION PER CBC 1203.4.1 & NATURAL LIGHT PER CBC 1205.2.8.2

	LIGHT / AIR REQUIRED BY CBC SEC 1205.2 & 1203.4.1		
	UNIT #1	UNIT #2	UNIT #3
LIVING AREA	394 SF	490 SF	521 SF
LIGHT 8%	31.62 SF	39.2 SF	41.68 SF
LIGHT PROV.	37.06 SF	58.33 SF	46.33 SF
AIR 4%	15.76 SF	19.6 SF	20.84 SF
AIR PROV.	37.06 SF	46.5 SF	40.5 SF
BEDROOM	--	123 SF	156 SF
LIGHT 8%	--	9.84 SF	12.48 SF
LIGHT PROV.	--	16.5 SF	33 SF
AIR 4%	--	4.92 SF	6.24 SF
AIR PROV.	--	8.25 SF	16.5 SF

- 8.2 EGRESS WINDOW PER CBC 1029.1
A. MIN. 5.7 S.F. NET CLEAR OPENING.
B. MIN. NET CLEAR HEIGHT: 24"
C. MIN. NET CLEAR WIDTH: 20"
D. BOTTOM OF CLEAR OPENING MAX. 44" A.F.F.
- 8.3 DOOR SHALL BE READILY OPENABLE FROM EGRESS SIDE WITHOUT USE OF KEY OR SPECIAL KNOWLEDGE OR EFFORD PER CBC 1008.1.9. DOOR TO MEET REQUIREMENTS OF CBC 1008.

DIVISION 9 - FINISHES

- 9.1 (N) HARDWOOD FLOORING.
- 9.2 (N) PAINTED GYP. BOARD WALL / CEILING, THROUGHOUT, TYPICAL.
- 9.3 PROVIDE FLOOR DRAIN FOR NEW DRYER.
- 9.4 DRYER TO BE VENTLESS WITH A DRAIN TO BE INSTALLED PER MANUFACTURERS SPECS.
- 9.5 ALL (N) LIGHTING TO COMPLY WITH CEC 150.0 (K).

K 1-6 KITCHEN REMODEL NOTES

- 1. KITCHEN & BATH FAUCETS TO BE MAX. 2.2 G.P.M MEASURED AT 60 PSI.
- 2. GAS RANGE WITH GAS SHUT-OFF VALVE IN APPROVED ACCESSIBLE LOCATION.
- 3. (N) APPLIANCES TO BE INSTALLED PER MANUFACTURER INSTRUCTIONS.
- 4. RANGE HOOD w/ WEATHERPROOF BACKDRAFT DAMPER, REMOTE EXHAUST FAN & DEDICATED CIRCUIT. TERMINATE VENT 3'-0" MIN. AWAY FROM PROPERTY LINE & BUILDING OPENINGS.
- 5. KITCHEN SINK WITH GARBAGE DISPOSAL. PROVIDE REQUIRED AIR GAP AND PLUMBING.
- 6. PROVIDE (N) CABINETRY, COUNTERTOPS THROUGHOUT.

B 1-9 BATHROOM NOTES

- 1. KITCHEN AND BATH FAUCETS TO BE MAX. 2.2 G.P.M MEASURED AT 60 PSI.
- 2. WATER CLOSET PER CBC 2903 CENTERED WITHIN 30" WIDE CLEAR SPACE. TOILETS SHALL HAVE MAX. 1.6 GPF WATER CONSUMPTION.
- 3. (N) TUB: LOCATE PLUMBING AS NEEDED.
- 4. (N) TOILET: LOCATE PLUMBING AS NEEDED.
- 5. (N) VANITY SINK: RELOCATE PLUMBING AS NEEDED.
- 6. G.C. TO VERIFY OUTLET FOR GFI; IF NOT PROVIDE (N) GFI OUTLET AS NEEDED.
- 7. G.C. TO VERIFY FOR SWITCH AND LIGHTS ARE IN WORKING ORDER; IF NOT G.C. TO REPAIR/REPLACE AS NEEDED.
- 8. G.C. TO VERIFY FOR EXHAUST FAN IN WORKING ORDER; IF NOT G.C. TO REPAIR/REPLACE/PROVIDE AS NEEDED.
- 9. PROVIDE NEW FINISHES AS NEEDED.

ELECTRICAL SYMBOL LEGEND

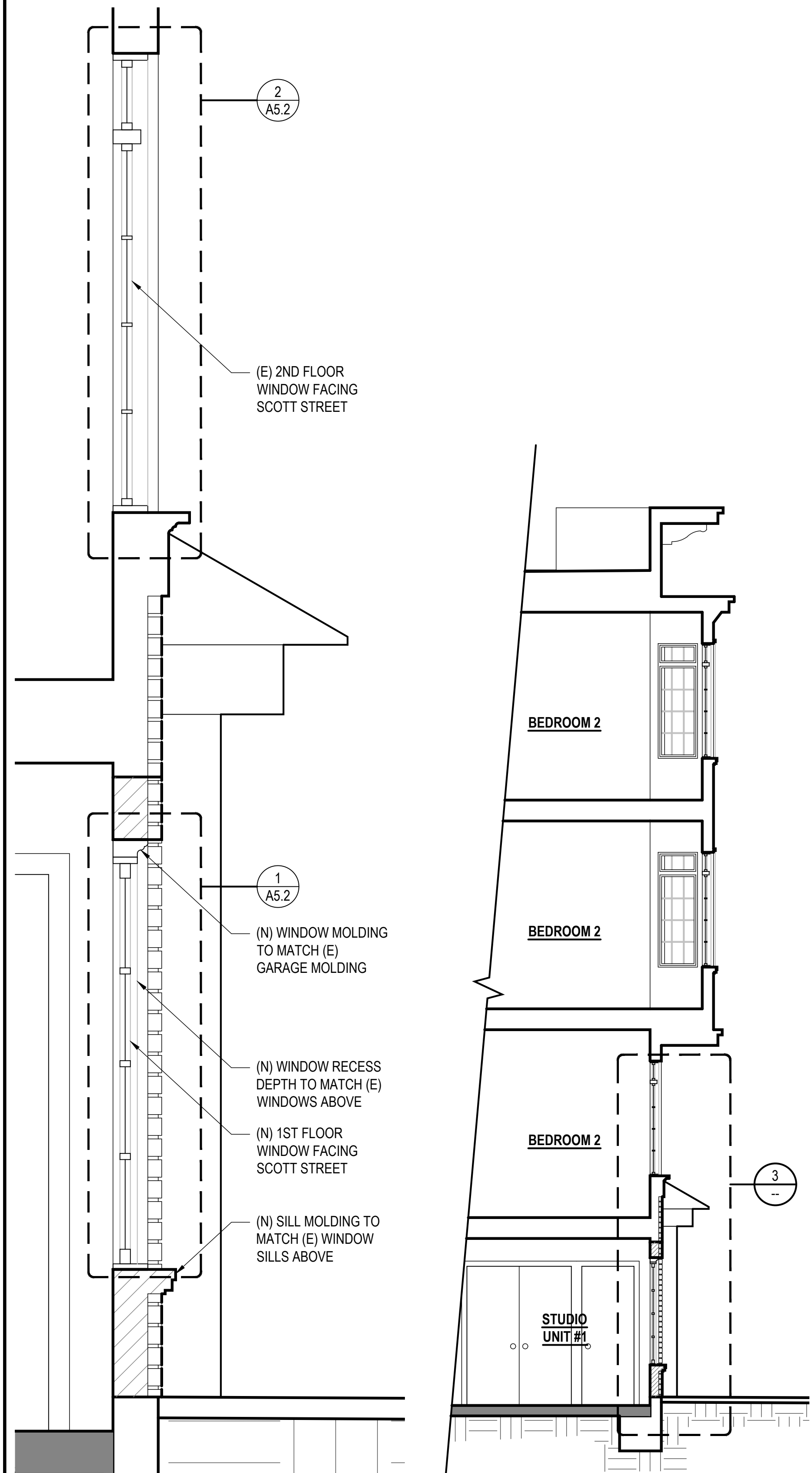
SEE GENERAL NOTES ON SHEET A0.0 FOR MORE INFORMATION

- GFI OUTLET WITH GROUND FAULT INTERRUPTER
 - AFI OUTLET WITH ARC FAULT INTERRUPTER
 - DEDICATED OUTLET FOR ADJACENT APPLIANCE
 - FLUORESCENT CEILING FIXTURE
 - INCANDESCENT CEILING FIXTURE
 - LIGHT SWITCH
 - THREE WAY SWITCH
 - LIGHT SWITCH WITH DIMMER CONTROL
 - SA SMOKE ALARM
 - SIC SMOKE/CARBON MONOXIDE DUAL ALARM
 - EXHAUST FAN, MIN. 5 AIR CHANGES/HR
- HARD-WIRED + BATTERY BACK-UP + INTER CONNECTED

PLAN SYMBOL LEGEND

SEE GENERAL NOTES ON SHEET A0.0 FOR MORE INFORMATION

- EXISTING WALL
- DEMOLISHED WALL
- 20 MIN DOOR
- EXIT PATH
- NEW WALL
- 1 HR RATED WALL
- 1 HR RATED CORRIDOR

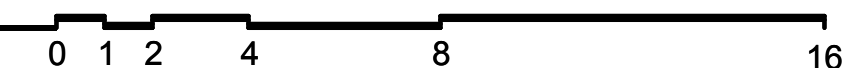


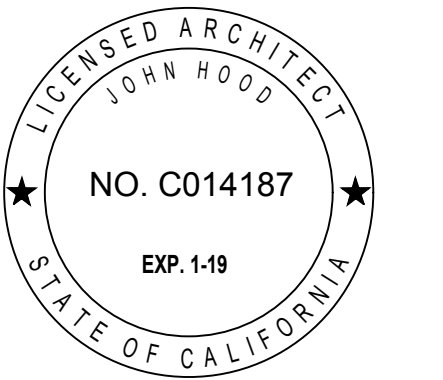
3 PROPOSED SECTION DETAIL
SCALE: 1" = 1'-0"

2 PROPOSED PARTIAL SECTION
SCALE: 1/4" = 1'-0"



1 PROPOSED EAST (FRONT) ELEVATION
SCALE: 1/4" = 1'-0"





UNIT ADDITION

651 SCOTT ST.
San Francisco, CA
94117
Block: 1202 Lot: 001A

ISSUE:	DATE:
CERT. OF APPROPRIATENESS	02.08.17
CERT. OF APPROP. REV-1	06.05.17
CERT. OF APPROP. REV-2	09.21.17

DRAWN BY: YO
DATE: 09.21.17
SHEET TITLE:

EXISTING & DEMO WEST (REAR) ELEVATION

SHEET NUMBER:

A2.4

REV #: **DATE:**

KEYNOTES

DIVISION - GENERAL CONDITIONS

- 1.1 SEE GENERAL CONSTRUCTION NOTES 6-12 ON COVER SHEET FOR A0.0 GENERAL NOTES PERTAINING TO DEMOLITION.
- 1.2 SEE GENERAL NOTES ON SHEET A0.0 FOR MINIMUM STANDARDS FOR WORK PERFORMANCE. NOTE NOT ALL CONDITIONS LISTED APPLY TO THE SCOPE OF WORK INDICATED IN PLAN.

DIVISION 2 - EXISTING CONDITION

- 2.1 NOT USED.
- 2.2 NOT USED.
- 2.3 NOT USED.
- 2.4 DEMO (E) NON-BEARING WALL AS SHOWN, TYP.
- 2.5 NOT USED.

DIVISION 8 - DOORS, WINDOWS & GLAZING

- 8.1 (E) SINGLE GLAZED WOOD WINDOW TO PROVIDE NATURAL VENTILATION PER CBC 1203.4.1 & NATURAL LIGHT PER CBC 1205.2.8.2

	LIGHT / AIR REQUIRED BY CBC SEC 1205.2 & 1203.4.1		
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LIGHT PROV.	37.06 SF	58.33 SF	46.33 SF
AIR 4%	15.76 SF	19.6 SF	20.84 SF
AIR PROV.	37.06 SF	46.5 SF	40.5 SF
BEDROOM	--	123 SF	156 SF
LIGHT 8%	--	9.84 SF	12.48 SF
LIGHT PROV.	--	16.5 SF	33 SF
AIR 4%	--	4.92 SF	6.24 SF
AIR PROV.	--	8.25 SF	16.5 SF

- 8.2 EGRESS WINDOW PER CBC 1029.1
 - A. MIN. 5.7 S.F. NET CLEAR OPENING.
 - B. MIN. NET CLEAR HEIGHT: 24"
 - C. MIN. NET CLEAR WIDTH: 20"
 - D. BOTTOM OF CLEAR OPENING MAX. 44" A.F.F.
- 8.3 DOOR SHALL BE READILY OPENABLE FROM EGRESS SIDE WITHOUT USE OF KEY OR SPECIAL KNOWLEDGE OR EFFORD PER CBC 1008.1.9. DOOR TO MEET REQUIREMENTS OF CBC 1008.

DIVISION 9 - FINISHES

- 9.1 (N) HARDWOOD FLOORING.
- 9.2 (N) PAINTED GYP. BOARD WALL / CEILING, THROUGHOUT, TYPICAL.
- 9.3 PROVIDE FLOOR DRAIN FOR NEW DRYER.
- 9.4 DRYER TO BE VENTLESS WITH A DRAIN TO BE INSTALLED PER MANUFACTURERS SPECS.
- 9.5 ALL (N) LIGHTING TO COMPLY WITH CEC 150.0 (K).

K 1-6 KITCHEN REMODEL NOTES

1. KITCHEN & BATH FAUCETS TO BE MAX. 2.2 G.P.M MEASURED AT 60 PSI.
2. GAS RANGE WITH GAS SHUT-OFF VALVE IN APPROVED ACCESSIBLE LOCATION.
3. (N) APPLIANCES TO BE INSTALLED PER MANUFACTURER INSTRUCTIONS.
4. RANGE HOOD w/ WEATHERPROOF BACKDRAFT DAMPER, REMOTE EXHAUST FAN & DEDICATED CIRCUIT. TERMINATE VENT 3'-0" MIN. AWAY FROM PROPERTY LINE & BUILDING OPENINGS.
5. KITCHEN SINK WITH GARBAGE DISPOSAL. PROVIDE REQUIRED AIR GAP AND PLUMBING.
6. PROVIDE (N) CABINETRY, COUNTERTOPS THROUGHOUT.

B 1-9 BATHROOM REMODEL NOTES

1. KITCHEN AND BATH FAUCETS TO BE MAX. 2.2 G.P.M MEASURED AT 60 PSI.
2. WATER CLOSET PER CBC 2903 CENTERED WITHIN 30" WIDE CLEAR SPACE. TOILETS SHALL HAVE MAX. 1.6 GPF WATER CONSUMPTION.
3. (N) TUB; LOCATE PLUMBING AS NEEDED.
4. (N) TOILET; LOCATE PLUMBING AS NEEDED.
5. (N) VANITY SINK; RELOCATE PLUMBING AS NEEDED.
6. G.C. TO VERIFY OUTLET FOR GFI; IF NOT PROVIDE (N) GFI OUTLET AS NEEDED.
7. G.C. TO VERIFY FOR SWITCH AND LIGHTS ARE IN WORKING ORDER; IF NOT G.C. TO REPAIR/REPLACE AS NEEDED.
8. G.C. TO VERIFY FOR EXHAUST FAN IN WORKING ORDER; IF NOT G.C. TO REPAIR/REPLACE/PROVIDE AS NEEDED.
9. PROVIDE NEW FINISHES AS NEEDED.

ELECTRICAL SYMBOL LEGEND

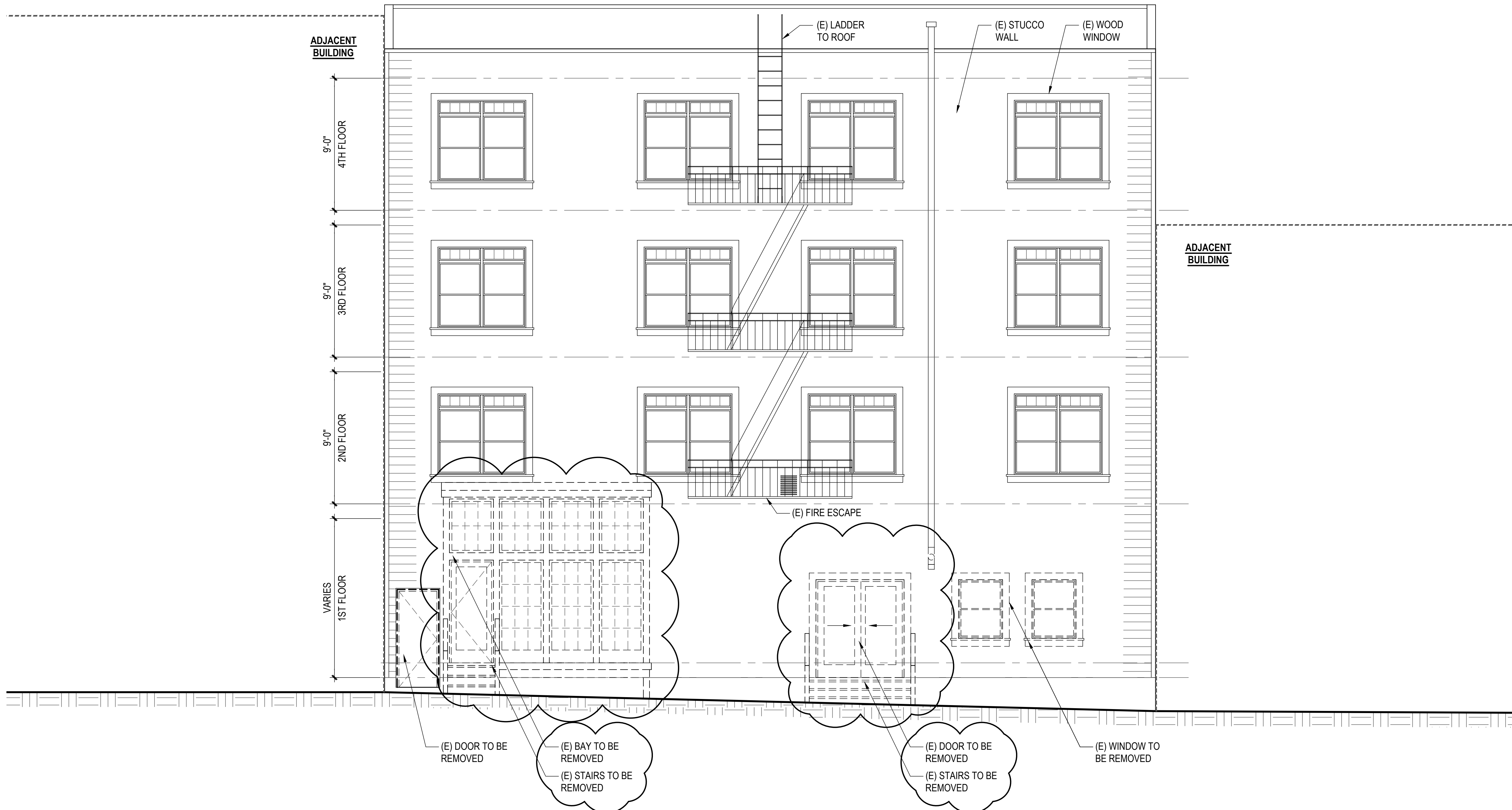
SEE GENERAL NOTES ON SHEET A0.0 FOR MORE INFORMATION

- GFI OUTLET WITH GROUND FAULT INTERRUPTER
 - AFI OUTLET WITH ARC FAULT INTERRUPTER
 - Φ DEDICATED OUTLET FOR ADJACENT APPLIANCE
 - Φ_F FLUORESCENT CEILING FIXTURE
 - Φ_I INCANDESCENT CEILING FIXTURE
 - ⊕ LIGHT SWITCH
 - ⊕₃ THREE WAY SWITCH
 - ⊕_D LIGHT SWITCH WITH DIMMER CONTROL
 - SA SMOKE ALARM
 - SC SMOKE/CARBON MONOXIDE DUAL ALARM
 - EXHAUST FAN, MIN. 5 AIR CHANGES/HR
- HARD-WIRED + BATTERY BACK-UP + INTER CONNECTED

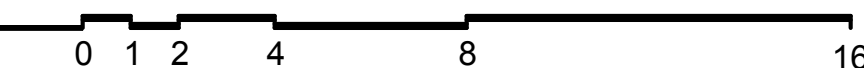
PLAN SYMBOL LEGEND

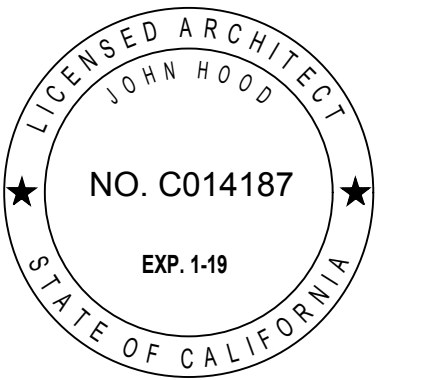
SEE GENERAL NOTES ON SHEET A0.0 FOR MORE INFORMATION

- EXISTING WALL
- DEMOLISHED WALL
- 20 MIN DOOR
- EXIT PATH
- NEW WALL
- 1 HR RATED WALL
- 1 HR RATED CORRIDOR



1 EXISTING & DEMO WEST (REAR) ELEVATION
SCALE: 1/4" = 1'-0"





UNIT ADDITION

651 SCOTT ST.
San Francisco, CA
94117
Block: 1202 Lot: 001A

ISSUE:	DATE:
CERT. OF APPROPRIATENESS	02.08.17
CERT. OF APPROP. REV-1	06.05.17
CERT. OF APPROP. REV-2	09.21.17

DRAWN BY: YO
DATE: 09.21.17
SHEET TITLE:

PROPOSED WEST (REAR) ELEVATION

SHEET NUMBER:

A2.5

REV #: DATE:

KEYNOTES

- DIVISION - GENERAL CONDITIONS**
- 1.1 SEE GENERAL CONSTRUCTION NOTES 6-12 ON COVER SHEET FOR A0.0 GENERAL NOTES PERTAINING TO DEMOLITION.
 - 1.2 SEE GENERAL NOTES ON SHEET A0.0 FOR MINIMUM STANDARDS FOR WORK PERFORMANCE. NOTE NOT ALL CONDITIONS LISTED APPLY TO THE SCOPE OF WORK INDICATED IN PLAN.
- DIVISION 2 - EXISTING CONDITION**
- 2.1 NOT USED.
 - 2.2 NOT USED.
 - 2.3 NOT USED.
 - 2.4 DEMO (E) NON-BEARING WALL AS SHOWN, TYP.
 - 2.5 NOT USED.

- DIVISION 8 - DOORS, WINDOWS & GLAZING**
- 8.1 (E) SINGLE GLAZED WOOD WINDOW TO PROVIDE NATURAL VENTILATION PER CBC 1203.4.1 & NATURAL LIGHT PER CBC 1205.2.8.2

	LIGHT / AIR REQUIRED BY CBC SEC 1205.2 & 1203.4.1		
	UNIT #1	UNIT #2	UNIT #3
LIVING AREA	394 SF	490 SF	521 SF
LIGHT 8%	31.52 SF	39.2 SF	41.68 SF
LIGHT PROV.	37.06 SF	58.33 SF	46.33 SF
AIR 4%	15.76 SF	19.6 SF	20.84 SF
AIR PROV.	37.06 SF	46.5 SF	40.5 SF
BEDROOM	--	123 SF	156 SF
LIGHT 8%	--	9.84 SF	12.48 SF
LIGHT PROV.	--	16.5 SF	33 SF
AIR 4%	--	4.92 SF	6.24 SF
AIR PROV.	--	8.25 SF	16.5 SF

- 8.2 EGRESS WINDOW PER CBC 1029.1
 - A. MIN. 5.7 S.F. NET CLEAR OPENING.
 - B. MIN. NET CLEAR HEIGHT: 24"
 - C. MIN. NET CLEAR WIDTH: 20"
 - D. BOTTOM OF CLEAR OPENING MAX. 44" A.F.F.
- 8.3 DOOR SHALL BE READILY OPENABLE FROM EGRESS SIDE WITHOUT USE OF KEY OR SPECIAL KNOWLEDGE OR EFFORD PER CBC 1008.1.9. DOOR TO MEET REQUIREMENTS OF CBC 1008.

DIVISION 9 - FINISHES

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- 9.4 DRYER TO BE VENTLESS WITH A DRAIN TO BE INSTALLED PER MANUFACTURERS SPECS.
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5. KITCHEN SINK WITH GARBAGE DISPOSAL. PROVIDE REQUIRED AIR GAP AND PLUMBING.
6. PROVIDE (N) CABINETRY, COUNTERTOPS THROUGHOUT.

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9. PROVIDE NEW FINISHES AS NEEDED.

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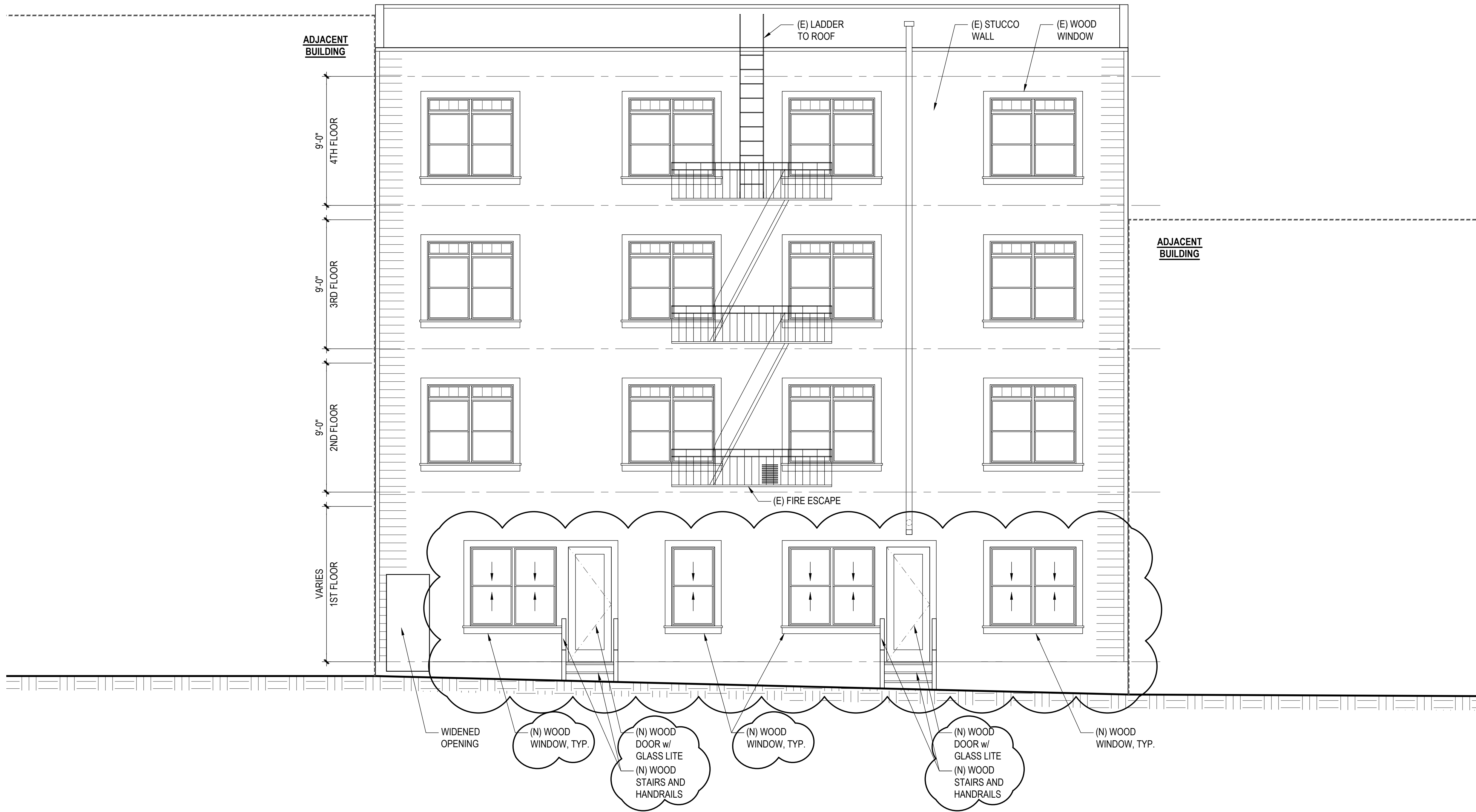
SEE GENERAL NOTES ON SHEET A0.0 FOR MORE INFORMATION

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 - Φ DEDICATED OUTLET FOR ADJACENT APPLIANCE
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 - SA SMOKE ALARM
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PLAN SYMBOL LEGEND

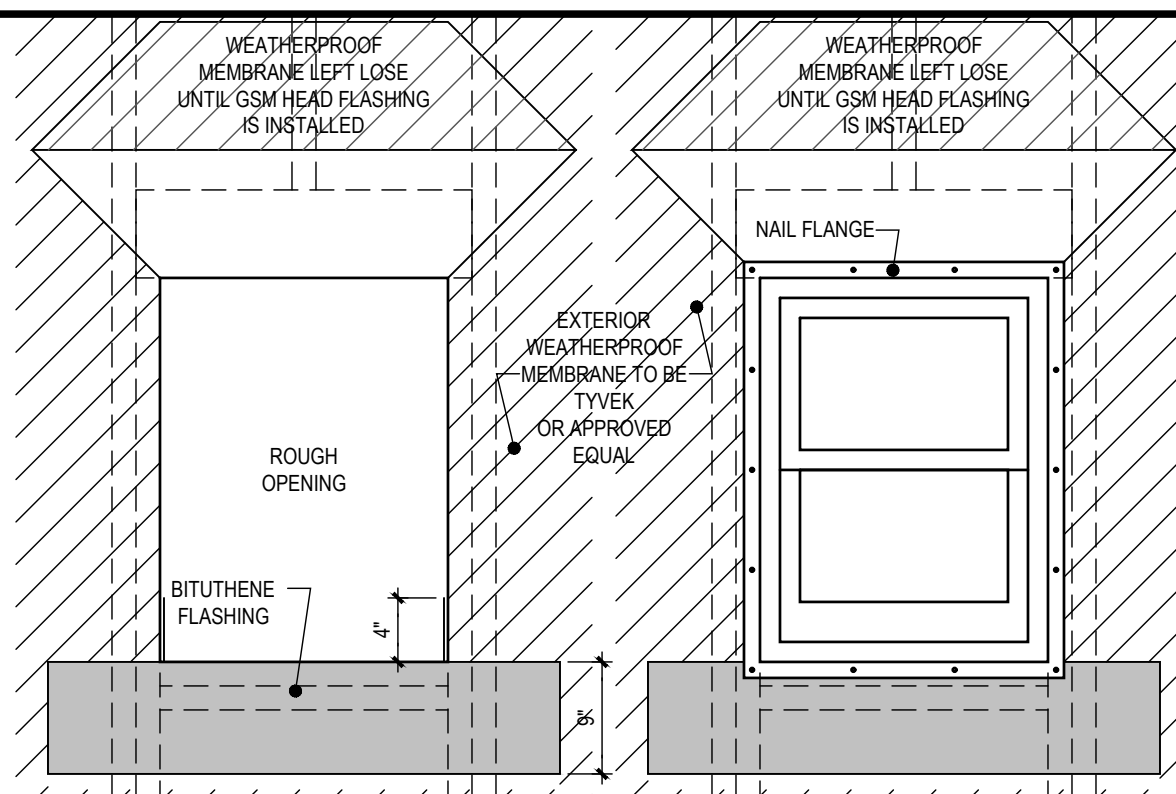
SEE GENERAL NOTES ON SHEET A0.0 FOR MORE INFORMATION

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- DEMOLISHED WALL
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- 1 HR RATED CORRIDOR



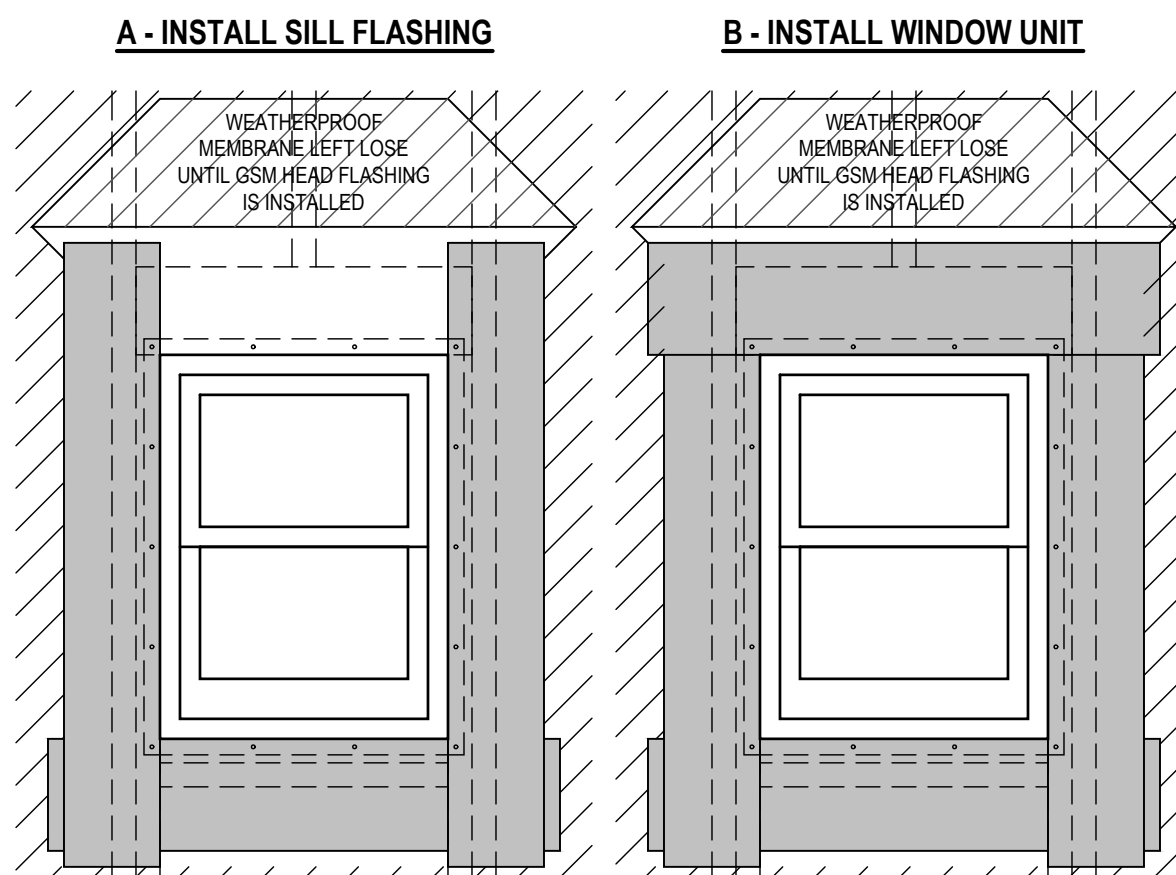
1 PROPOSED WEST (REAR) ELEVATION
SCALE: 1/4" = 1'-0"

0 1 2 4 8 16



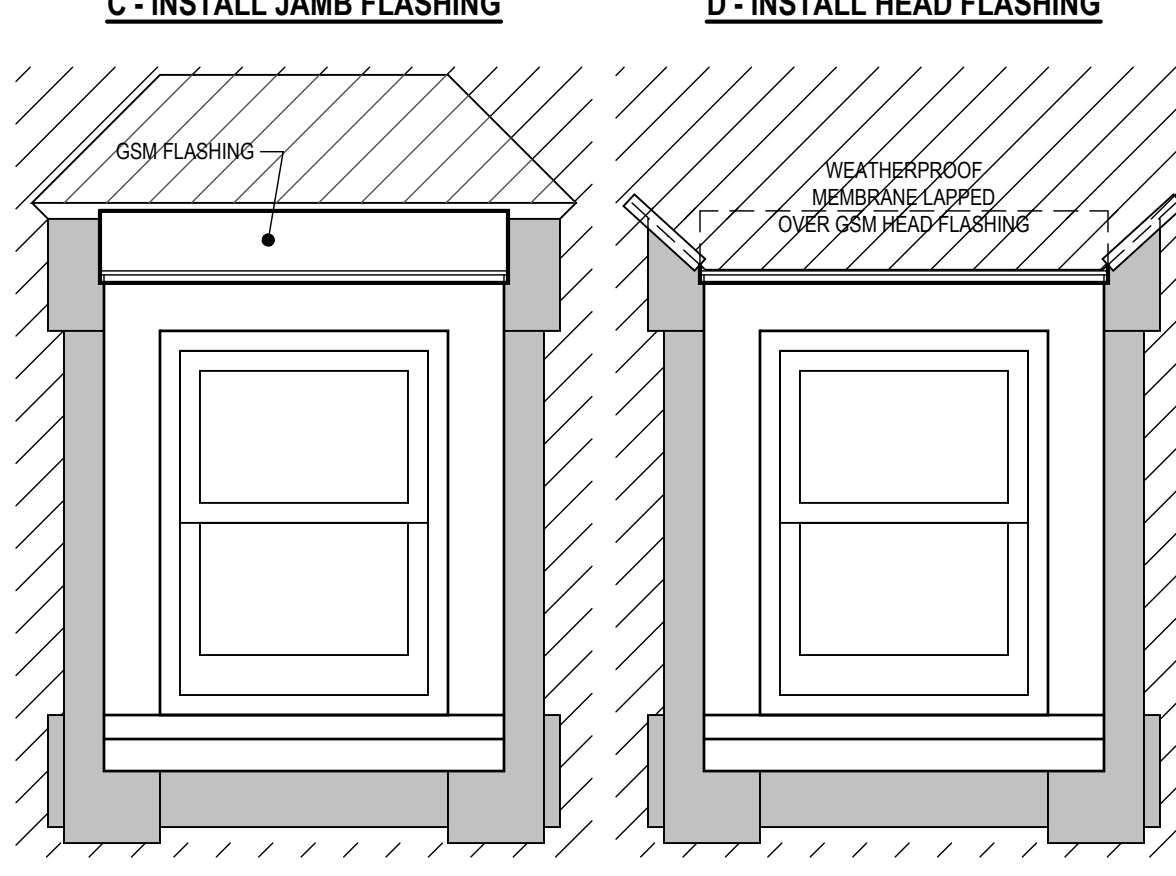
ATTACH BITUTHENE FLASHING STRIP TO TOP SURFACE OF SILL AT THE BOTTOM OF THE WINDOW ROUGH OPENING. EXTEND STRIP 4" UP VERTICAL JAMBS AND 9" DOWN FROM TOP OF ROUGH SILL ALONG OUTSIDE FACE OF WALL. LAP SILL FLASHING STRIP OVER EXTERIOR WEATHERPROOF MEMBRANE. EXTEND EDGES OF SILL FLASHING STRIP 9" BEYOND EDGES OF OPENING AT EACH SIDE.

APPLY A BEAD OF CAULKING TO THE BACK SURFACES OF THE WINDOW NAIL FLANGE. INSTALL WINDOW INTO OPENING WITH FLANGES OVER EDGES OF WEATHERPROOF MEMBRANE AT JAMBS AND BITUTHENE SILL FLASHING.



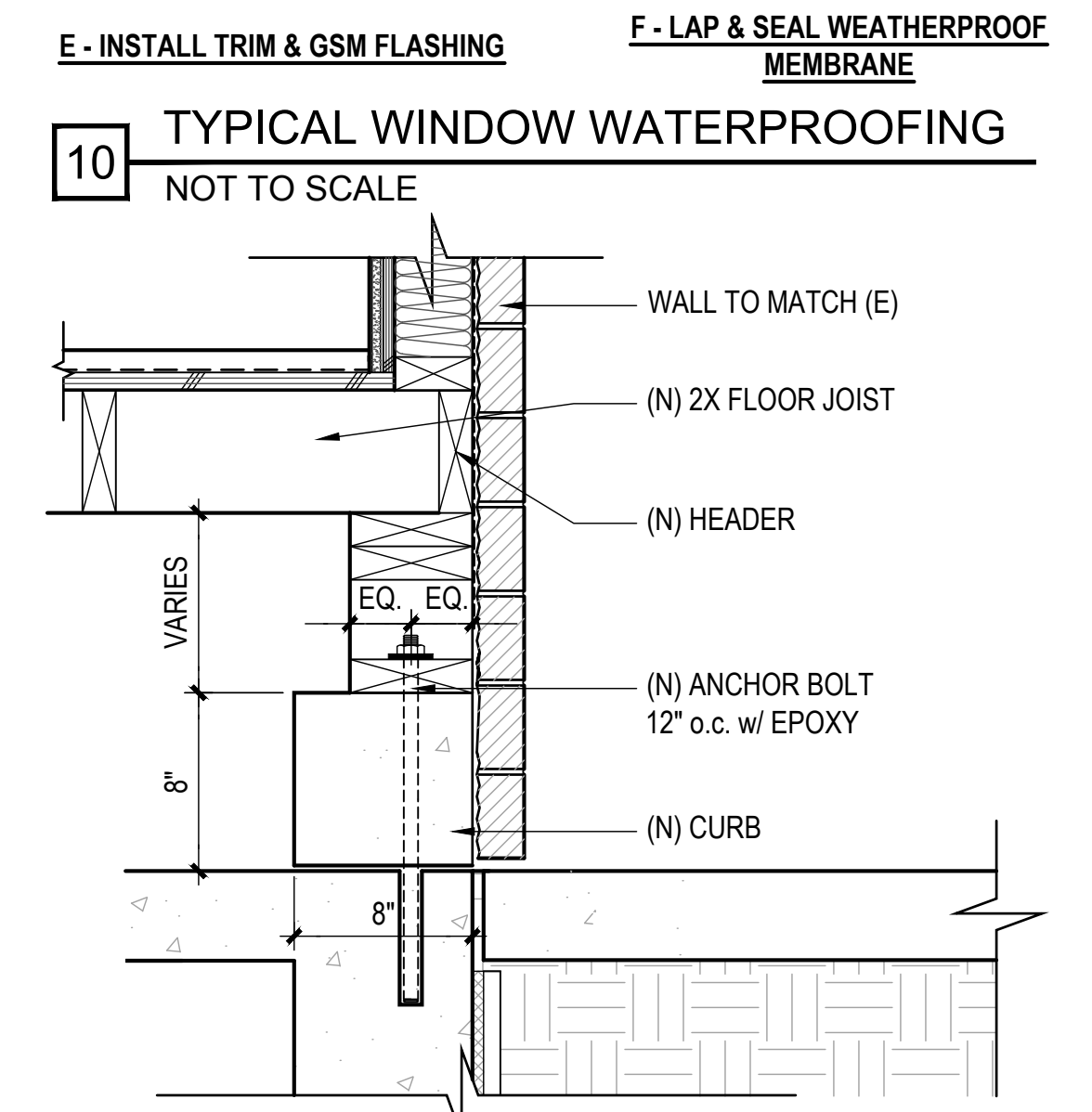
INSTALL 9" WIDE STRIP OF BITUTHENE FLASHING OVER WINDOW NAIL FLANGE AT EACH JAMB. LAP JAMB FLASHING OVER SILL FLASHING. EXTEND BEYOND BOTTOM EDGE OF SILL FLASHING BY 1".

INSTALL 9" WIDE STRIP OF BITUTHENE FLASHING OVER NAIL FLANGES AT THE HEAD OF WINDOW. EXTEND FLASHING OVER THE TOP PORTION OF JAMB FLASHING STRIPS. EXTEND FLASHING AT WINDOW HEAD 1" ABOVE TOP EDGE AND OUTER EDGES OF JAMB FLASHING STRIPS.

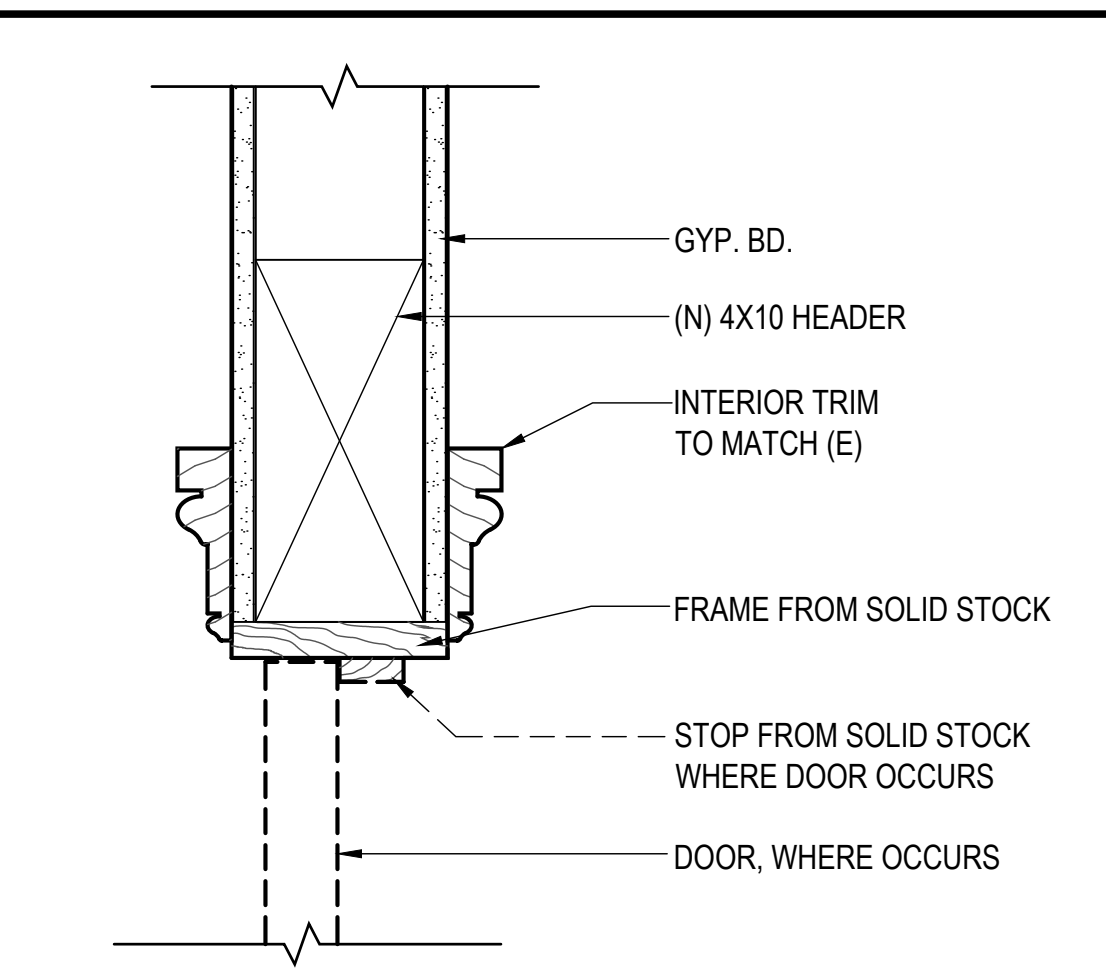


INSTALL EXTERIOR WINDOW TRIM OVER BITUTHENE HEAD, JAMB AND SILL FLASHING. INSTALL GALVANIZED SHEET METAL FLASHING WITH DRIP EDGE OVER TOP EDGE OF TRIM AT HEAD OF WINDOW.

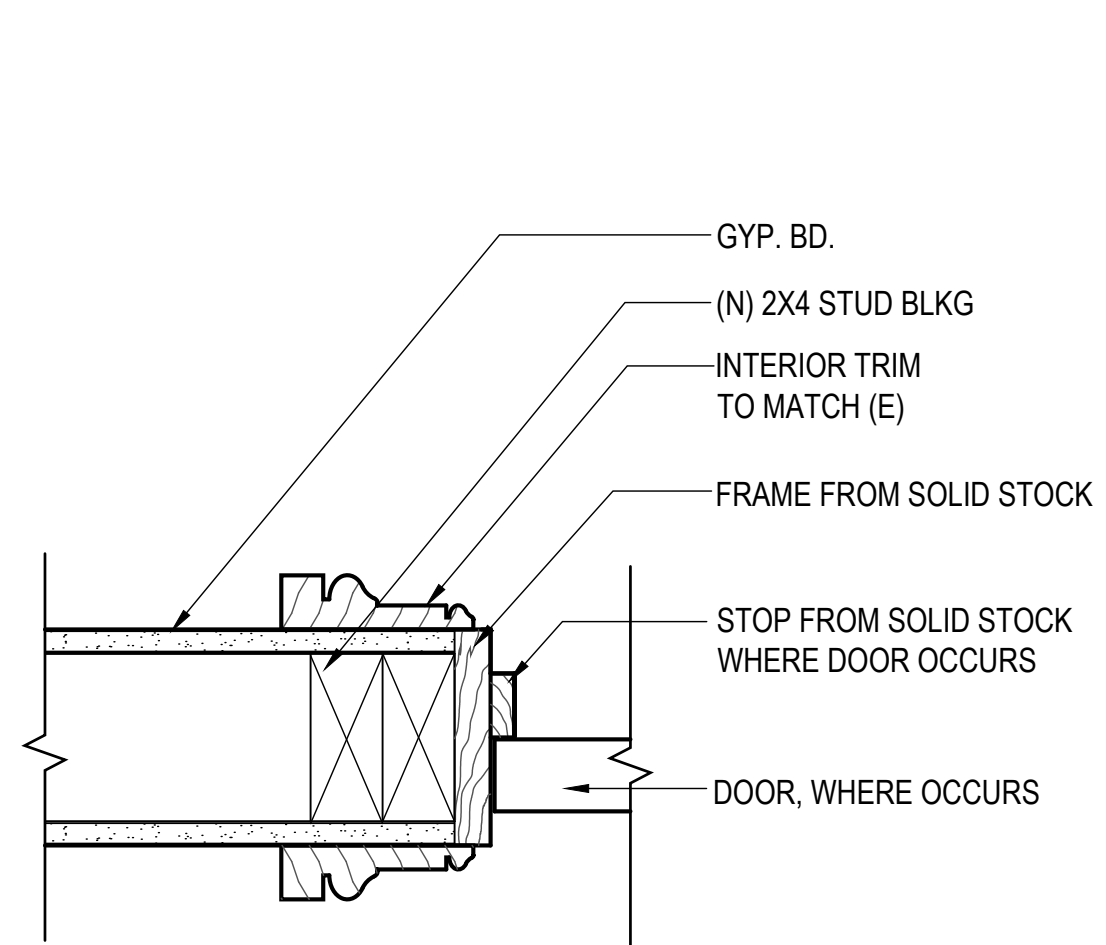
COVER UPPER PORTION OF GALVANIZED HEAD FLASHING WITH SECTION OF WEATHERPROOF MEMBRANE FLAP AT TOP OF WINDOW INSTALLATION. SEAL EDGES OF FLAP WITH BITUTHENE STRIP.



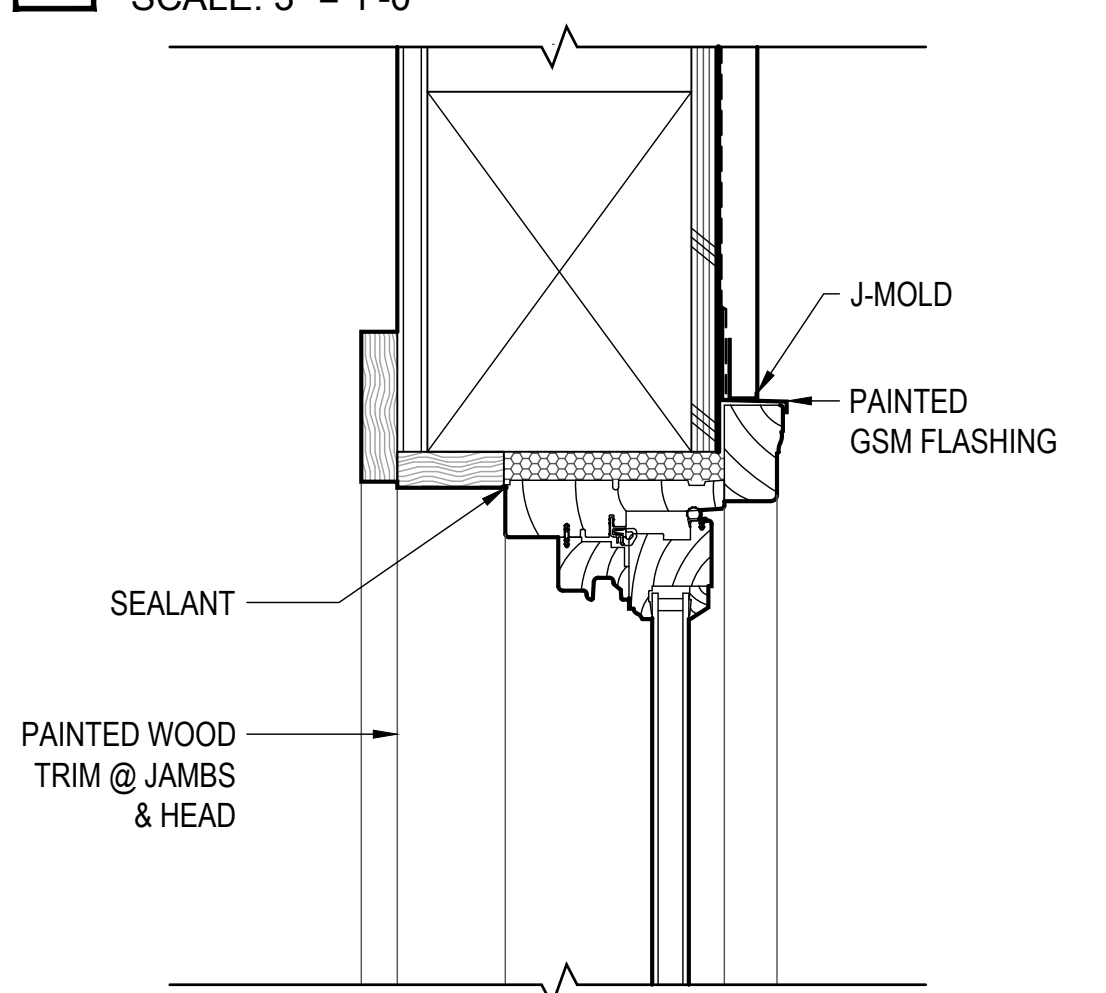
10 TYPICAL WINDOW WATERPROOFING
 NOT TO SCALE



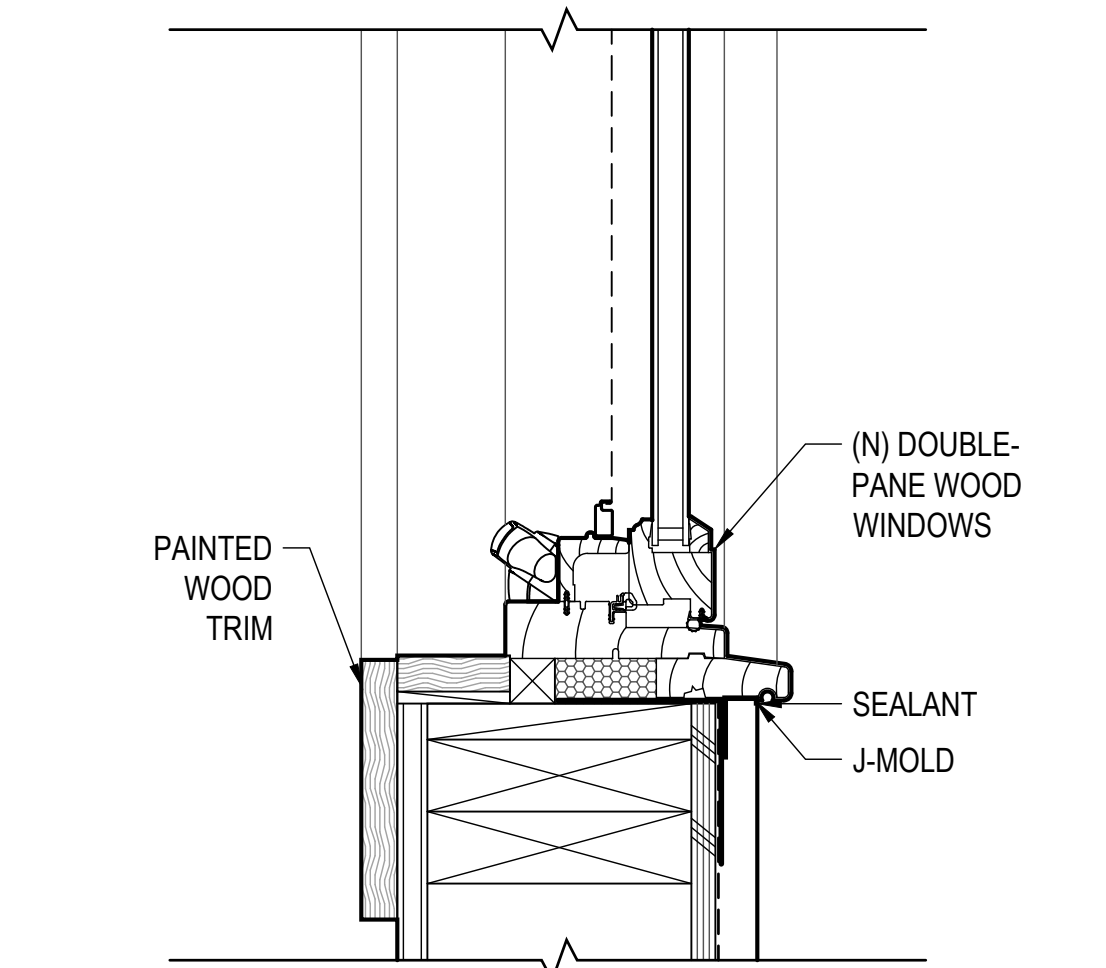
7 TYPICAL JAMB DETAIL
 SCALE: 3" = 1'-0"



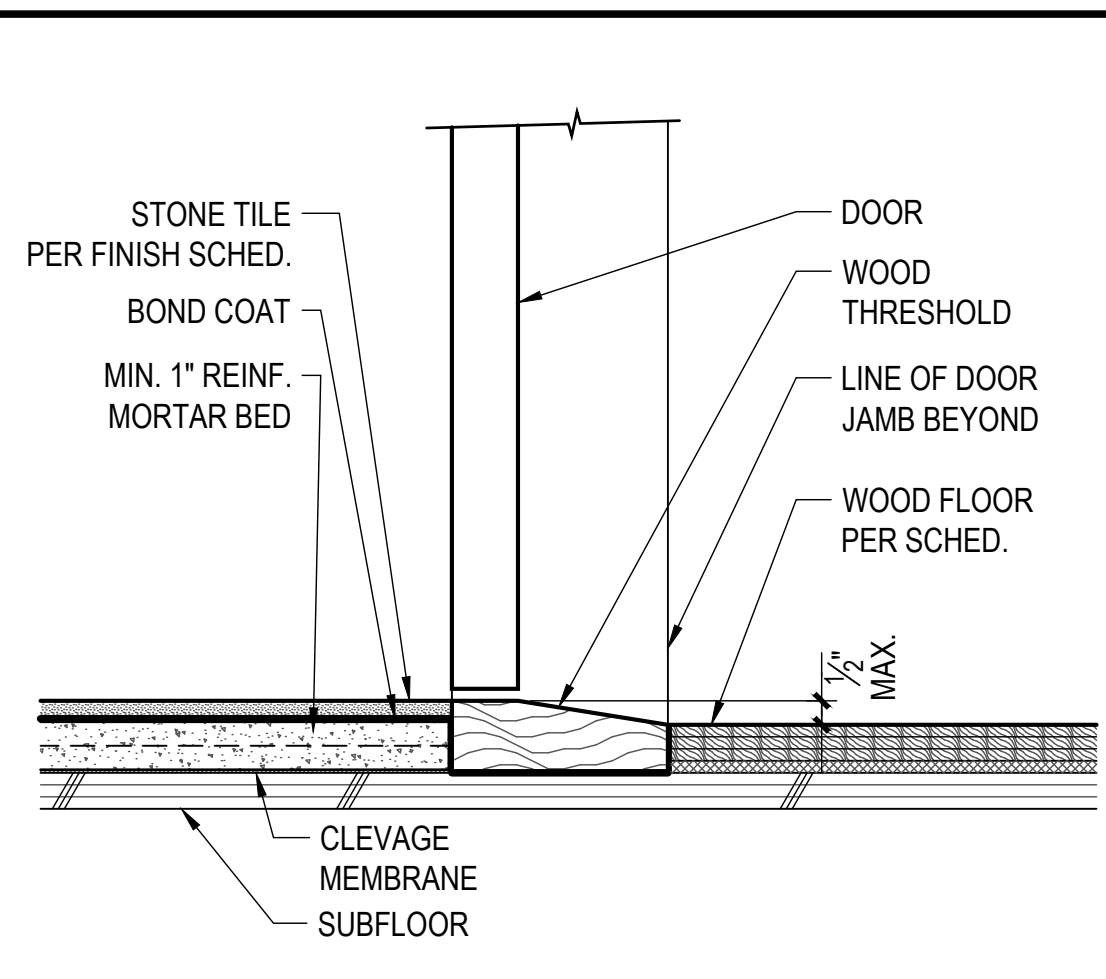
6 TYP. WINDOW HEAD DETAIL @ REAR/SIDE FACADES
 SCALE: 3" = 1'-0"



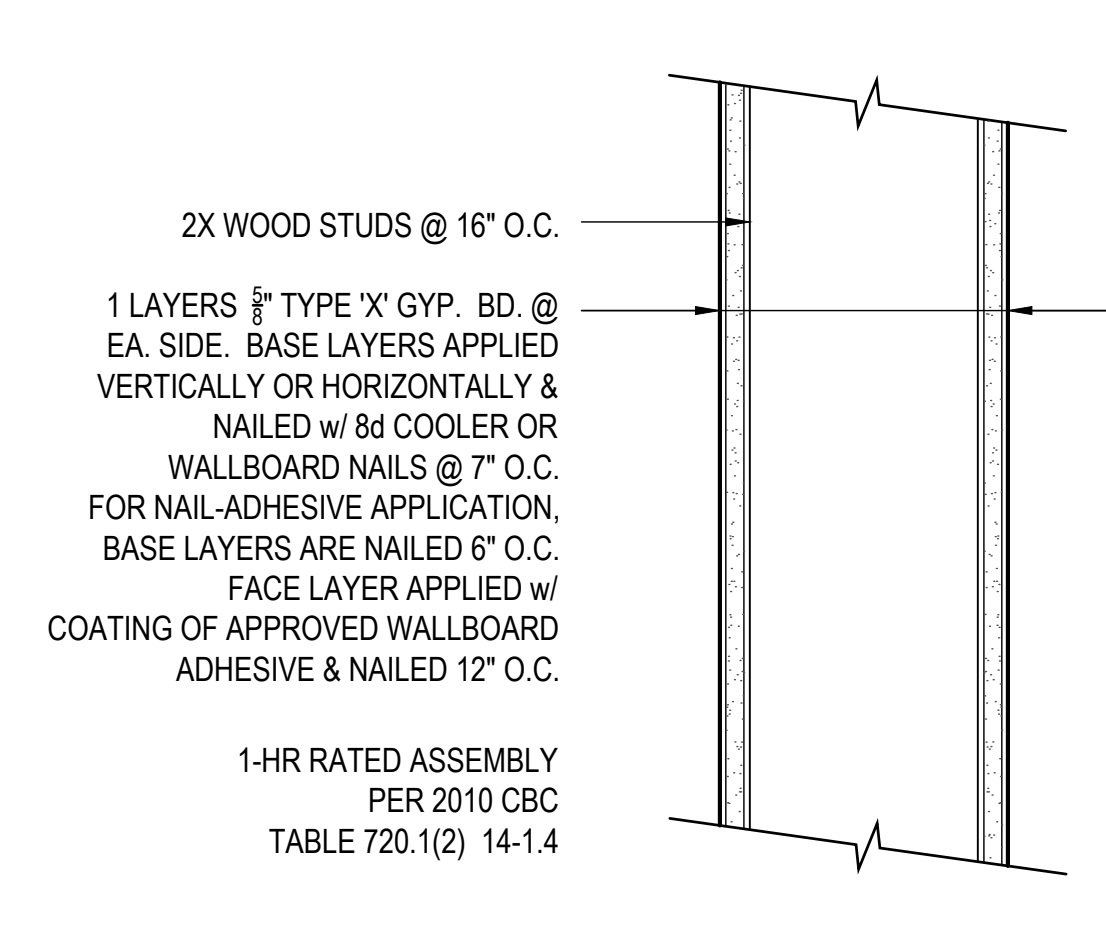
5 TYP. WINDOW SILL DETAIL @ REAR/SIDE FACADES
 SCALE: 3" = 1'-0"



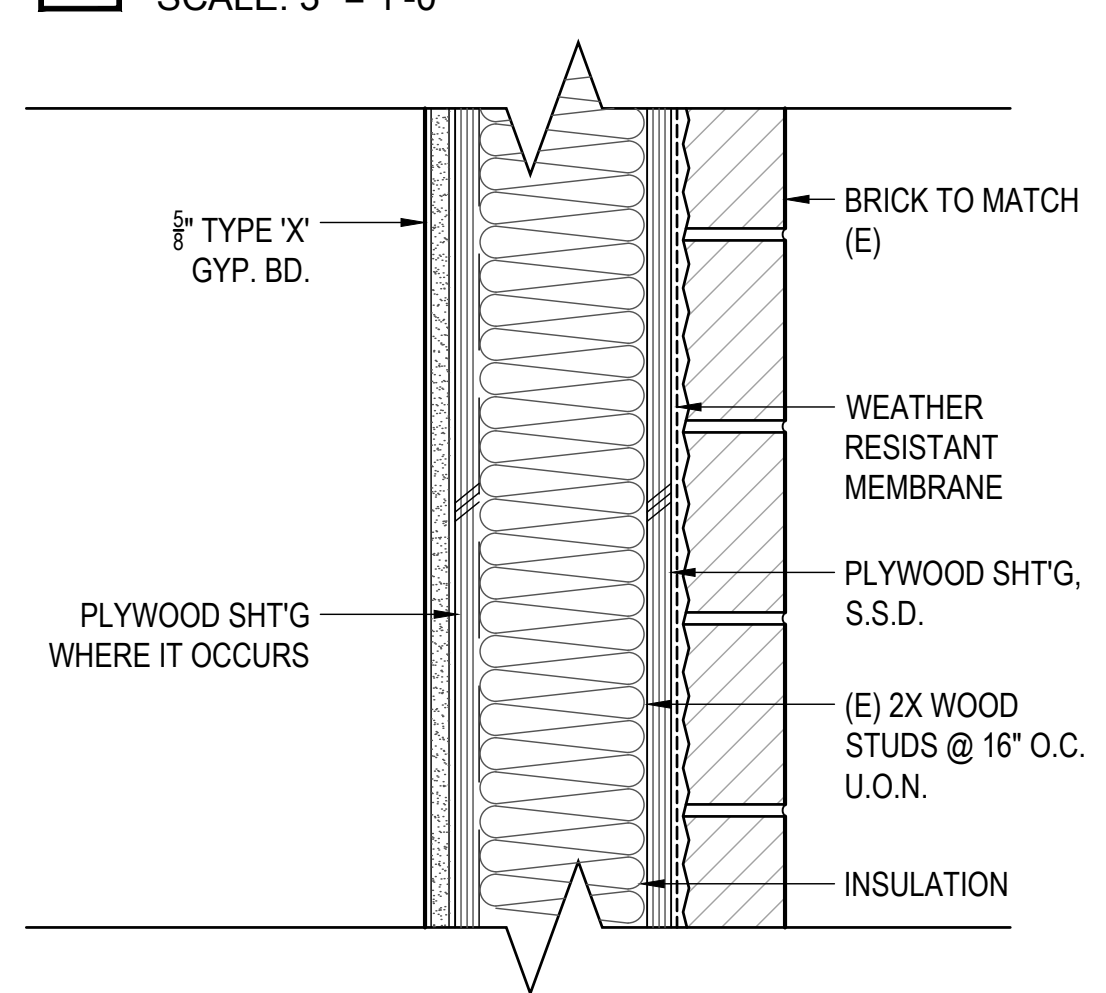
4 THRESHOLD @ BATHROOM DOOR
 SCALE: 3" = 1'-0"



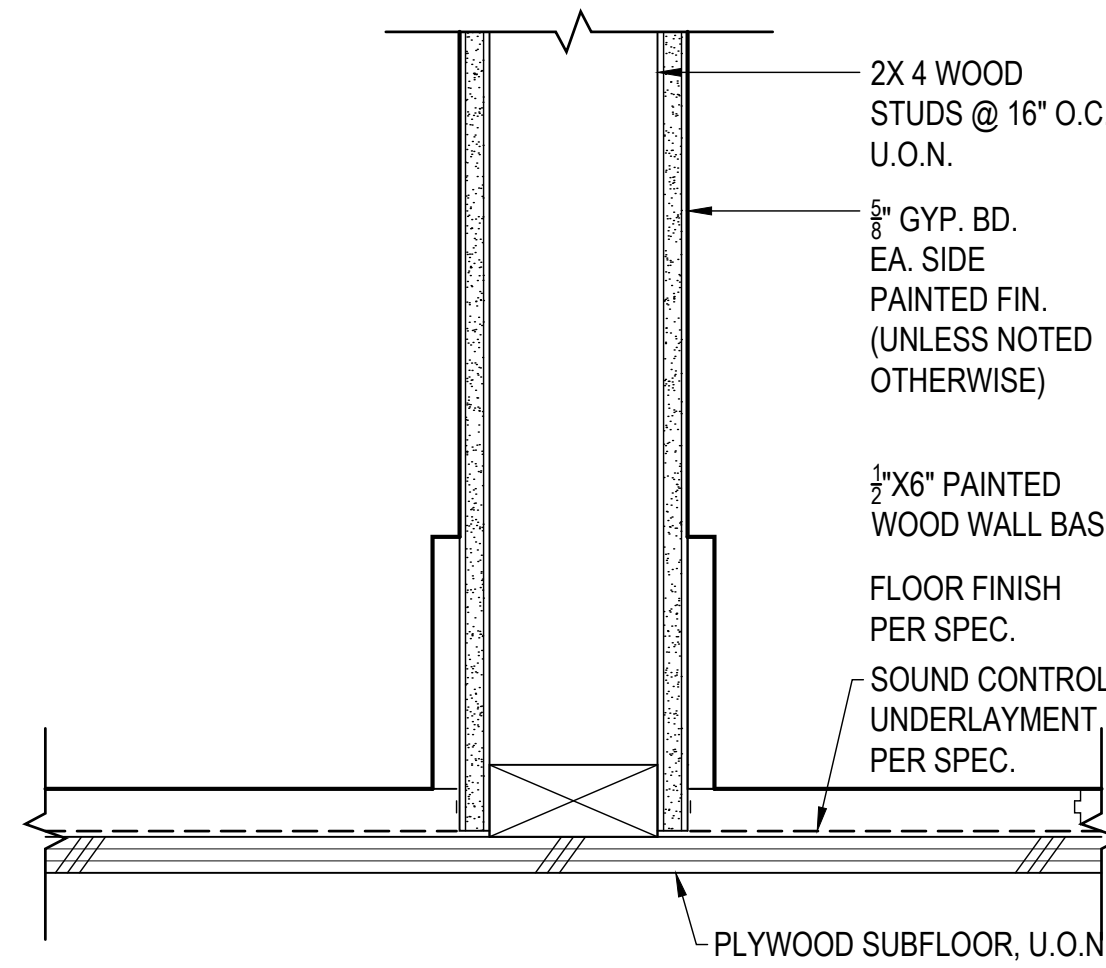
3 1 HR RATED WALL DETAIL
 SCALE: 3" = 1'-0"



2 EXTERIOR WALL DETAIL
 SCALE: 3" = 1'-0"



1 TYPICAL (N) WALL
 SCALE: 3" = 1'-0"



UNIT ADDITION

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 San Francisco, CA
 94117
 Block: 1202 Lot: 001A

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CERT. OF APPROV. REV-2	09.21.17

DRAWN BY: YQ
 DATE: 09.21.17
 SHEET TITLE:

ARCHITECTURAL DETAILS

SHEET NUMBER:

A5.1

REV #: DATE:

UNIT ADDITION

651 SCOTT ST.
San Francisco, CA
94117
Block: 1202 Lot: 001A

ISSUE:	DATE:
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CERT. OF APPROV. REV-2	09.21.17

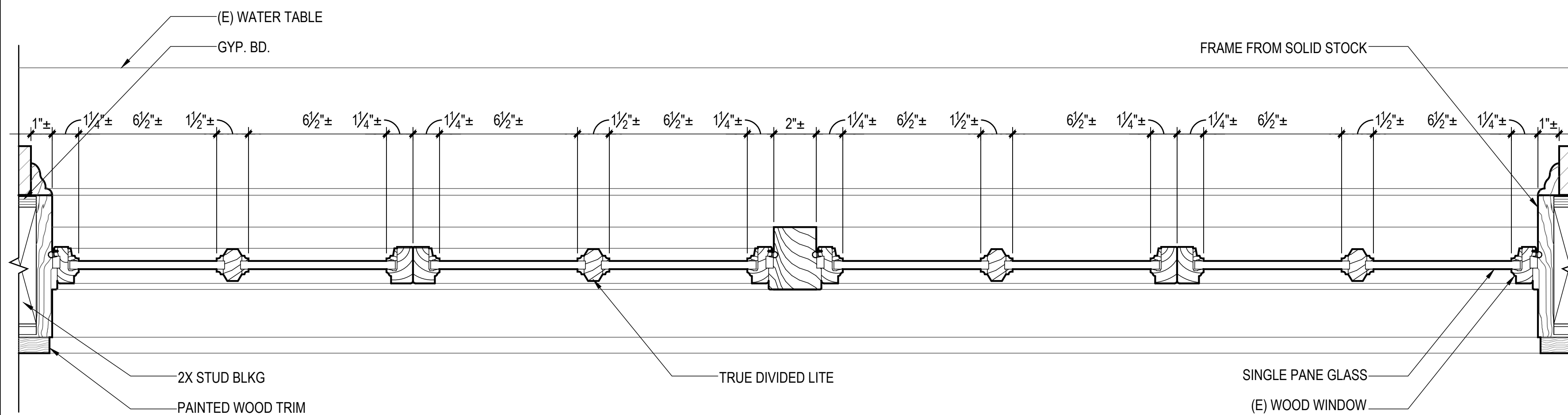
DRAWN BY:	YO
DATE:	09.21.17
SHEET TITLE:	

ARCHITECTURAL DETAILS

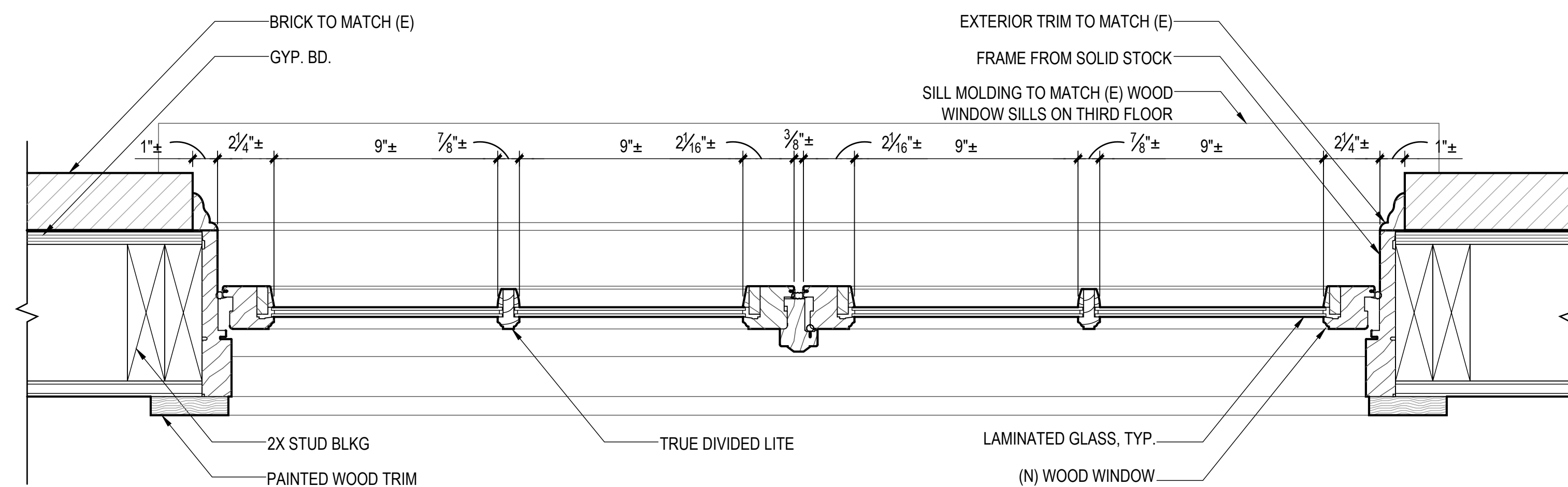
SHEET NUMBER:

A5.2

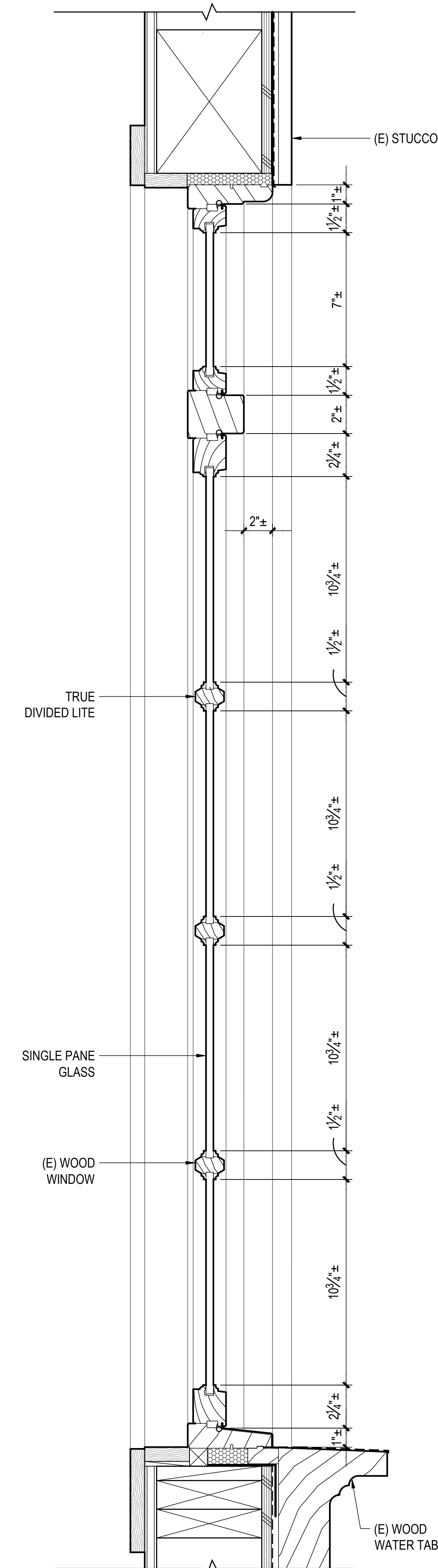
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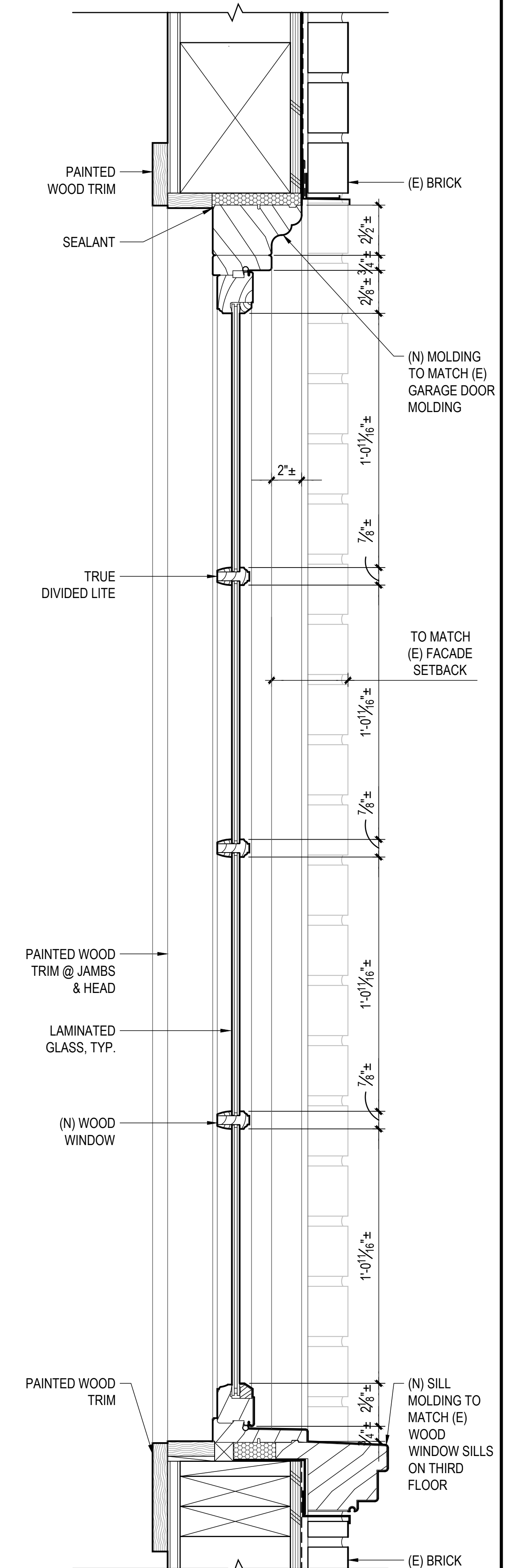
4 (E) WINDOW PLAN DETAIL @ 2ND FL SCOTT ST
SCALE: 3" = 1'-0"



3 (N) WINDOW PLAN DETAIL @ 1ST FL SCOTT ST
SCALE: 3" = 1'-0"



2 (E) WINDOW DETAIL @ 2ND FL SCOTT ST
SCALE: 3" = 1'-0"



1 (N) WINDOW DETAIL @ 1ST FL SCOTT ST
SCALE: 3" = 1'-0"