

SAN FRANCISCO PLANNING DEPARTMENT

February 8, 2017

2016-010367COA

40-X Height and Bulk District

Hood Thomas Architects

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651 Scott Street

Historic Landmark: Alamo Square Landmark District

1202 / 001A

John Hood

440 Spear Street

Certificate of Appropriateness Case Report

HEARING DATE: OCTOBER 4, 2017

RM-2 (Residential-Mixed, Moderate Density)

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San Francisco,
CA 94103-2479

1650 Mission St.

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Filing Date:

Project Address:

Case No.:

Zoning:

Block/Lot:

Applicant:

Staff Contact

Reviewed By

651 SCOTT STREET is within the Alamo Square Landmark District's boundaries on the west side of Scott Street, on Assessor's Block 1202, Lot 001A. The property's lot has approximately 52.5 feet of frontage on Scott Street. 651 Scott Street was constructed in 1923. The Classical Revival–style three-story, wood-frame building has a stucco exterior with brick cladding at the first floor. The Alamo Square Landmark District was designated in 1984.

PROJECT DESCRIPTION

The proposed project is to modify window and door openings at the front, rear, and side light well elevations of the subject property at the first floor to accommodate three new accessory dwelling units at the first floor, in addition to related interior alterations. Specifically, the proposal includes:

- Removal of two garage doors at the Scott Street façade and the installation of two smaller wood multi-lite casement windows in their place, with surrounding new brick infill matching the historic brick at the first floor, to be painted to match the surrounding painted brick.
- Modifications to the existing window and door openings at the non-visible rear elevation at the first floor, including the following:
 - Removing an existing egress door and slightly widening the opening.
 - Removing all existing windows and doors at this level, including an egress door, a modest one-story rear expansion constructed without benefit of a permit or a Certificate of Appropriateness, an existing paired aluminum entrance door with wood steps leading to the rear yard, and three one-over-one double-hung windows.

- Creating seven new or modified window openings and two door openings, one each for the two proposed new ADU units at the rear of the property. All rear windows are proposed to be wood one-over-one double-hung units, and new doors are proposed to be wood with glazing.
- Modifications to the existing window and door openings at the non-visible side light wells at the first floor, including modification of existing door openings into window openings, and the addition of three new window openings. All windows in the side light wells are proposed to be wood one-over-one double-hung units.
- Alterations to the main entrance door to the building at the Scott Street façade, to include the reversal and reuse of existing hinges to reverse the swing direction of the door to meet Building Code requirements.
- Interior alterations at the first floor related to the creation of three accessory dwelling units, including reconfiguration of utility, storage, and trash-collection spaces, and the creation of designated bicycle parking spaces in the existing garage.
- Removal of an existing curb cut at the sidewalk in front of the area of the removal of the garage doors at the Scott Street façade.

Please see photographs and plans for details.

OTHER ACTIONS REQUIRED

Since the building contains Rental Units, as defined in Section 37.2(r) of the Administrative Code, the property owner shall enter into an agreement with the City stating that the new Accessory Dwelling Units are not subject to the Costa Hawkins Rental Housing Act (California Civil Code Section 1954.50) and will be subject to the San Francisco Residential Rent Stabilization and Arbitration Ordinance (Chapter 37 of the Administrative Code). This agreement must be fully executed prior to the City's issuance of the first construction document.

COMPLIANCE WITH THE PLANNING CODE PROVISIONS

The proposed project is in compliance with all other provisions of the Planning Code.

APPLICABLE PRESERVATION STANDARDS

ARTICLE 10

Pursuant to Section 1006.2 of the Planning Code, unless exempt from the Certificate of Appropriateness requirements or delegated to Planning Department Preservation staff through the Administrative Certificate Appropriateness process, the Historic Preservation Commission is required to review any applications for the construction, alteration, removal, or demolition of any designated Landmark for which a City permit is required. Section 1006.6 states that in evaluating a request for a Certificate of Appropriateness for an individual landmark or a contributing building within a historic district, the

Historic Preservation Commission must find that the proposed work is in compliance with the *Secretary of the Interior's Standards for the Treatment of Historic Properties,* as well as the designating Ordinance and any applicable guidelines, local interpretations, bulletins, related appendices, or other policies.

THE SECRETARY OF THE INTERIOR'S STANDARDS

Rehabilitation is the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features that convey its historical, cultural, or architectural values. The Rehabilitation Standards provide, in relevant part(s):

Standard 1: A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

The proposed project does not involve a change in use of the property. Therefore, the proposed project complies with Rehabilitation Standard 1.

Standard 2: The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

While the proposed project involves the removal of two existing garage doors and a limited amount of surrounding historic brick at the first floor of the Scott Street façade, the new wood casement windows to be installed in their place will be compatible with the existing wood casement windows found at the upper floors of the building, and will be surrounded by painted brick matching the historic painted brick found at the base of the building. The new features will align with the character-defining features of the historic Scott Street façade.

The changes to window and door openings at the rear elevation and side light wells will not remove character-defining features of the building. The new windows to be installed at these elevations will match the material and operation of the existing windows at these elevations. The new doors at the rear elevation will match the material of the existing windows at the rear elevation. Therefore, the proposed project complies with Rehabilitation Standard 2.

Standard 3: Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

The proposed project does not include the addition of conjectural elements or architectural features from other buildings. Therefore, the proposed project complies with Rehabilitation Standard 3.

Standard 4: Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

The proposed project does not involve alterations to changes to the property that have acquired significance in their own right. The rear one-story expansion to be removed, which does not appear to be historic, is of indeterminate age, does not comply with the Planning Code, and was constructed without benefit of a permit or Certificate of Appropriateness. Therefore, the proposed project complies with Rehabilitation Standard 4.

Standard 5: Distinctive features, finishes, and construction techniques or examples of fine craftsmanship that characterize a property will be preserved.

The garage doors to be removed as part of the proposed project are not distinctive features of the building, and are utilitarian in character. A small amount of historic brick at the base of the building will be removed, and new painted brick matching the historic painted brick will be installed around the two new window openings at the Scott Street façade. To ensure that the maximum amount of historic brick is retained, and that the new brick will align with the historic brick, a materials conservator will review and approve replacement brick and mortar samples, cleaning methods for any necessary paint removal at the existing brick, and repair methods for any brick damaged during paint removal. Planning staff and the materials conservator will also oversee the installation of the new brick during construction. Therefore, the proposed project complies with Rehabilitation Standard 5.

Standard 6: Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacements of a distinctive feature, the new feature will match the old in design, color, texture and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

The proposed project does not call for the replacement or repair of deteriorated historic features, with the exception of any necessary repairs to the historic brick base in connection with the removal of the garage doors. Where necessary, damaged bricks or mortar will be repaired with the guidance of a materials conservator. Therefore, the proposed project complies with Rehabilitation Standard 6.

Standard 7: Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

The proposed project will involve limited cleaning and paint removal from portions of the historic brick base of the building at the Scott Street façade, in connection with the removal of the existing garage doors and installation of new window openings. A materials conservator will work with Planning staff to ensure that any cleaning or paint-removal methods are as gentle as possible and will not cause damage to historic materials at the subject property. Therefore, the proposed project complies with Rehabilitation Standard 7.

Standard 8: Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures will be undertaken.

The proposed project does not involve any excavation work. Therefore, the proposed project complies with Rehabilitation Standard 8.

Standard 9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

The proposed project includes exterior alterations to the subject property, including the removal of two garage doors at the Scott Street façade and the installation of two smaller wood multi-lite casement windows in their place, as well as other exterior alterations not visible from a public right-of-way. The garage doors to be removed at the Scott Street façade are not character-defining features of the building, and as such, their removal will not destroy historic materials, features, and spatial relationships that characterize the property. The new true-divided-lite wood casement windows at the ground floor will be compatible with the historic windows at the building, in that they will match the materials and operation of the historic windows, while also being differentiated from the historic windows due to their slightly different proportions and lack of a transom. The new windows will also achieve compatibility with the remaining garage door openings by vertically aligning the tops of the new windows with the tops of the existing garage door openings, and by using the same molding profile for the new window trim as is found at the existing garage door openings.

Similar to the new windows at the Scott Street façade, the new windows at the rear and side elevations will match the materials and operation of existing windows at these elevations, but will be simpler in their details and configuration than the existing windows to differentiate the new windows from the existing windows. The new glazed doors will also be compatible with existing features at the rear elevation. Overall, the proposed project maintains the historic integrity of the subject property since the new window and door openings are compatible with, yet differentiated from, the historic building. Therefore, the proposed project complies with Rehabilitation Standard 9.

Standard 10: New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The proposed project would not affect the essential form and integrity of the building, as the work visible from a public right-of-way is limited to just a portion of the brick base of the building and will not impact any character-defining features of the subject property. The new windows at the Scott Street facade could be removed in the future, and the garage door openings could be restored,

without impacting the essential form and integrity of the landmark. Therefore, the proposed project complies with Rehabilitation Standard 10.

Summary: The Department finds that the overall project is consistent with the *Secretary of the Interior Standards for Rehabilitation*.

PUBLIC/NEIGHBORHOOD INPUT

To date, the Department has received no public input on the project at the date of this report.

ISSUES & OTHER CONSIDERATIONS

None.

STAFF ANALYSIS

Included as an exhibit are architectural drawings of the existing building and the proposed project. Based on the requirements of Article 10 and the *Secretary of Interior's Standards*, Department staff has determined the following:

The proposed project would retain the existing residential use of the building and would cause minimal changes to the form of the building without removing any character-defining features or materials, with the exception of a limited amount of historic brick at the base of the building. The garage doors to be removed at the Scott Street façade are not character-defining features of the building, and as such, their removal will not destroy historic materials, features, and spatial relationships that characterize the property. The new true-divided-lite wood casement windows at the ground floor of the Scott Street façade will be compatible with the historic windows at the building, in that they will match the materials and operation of the historic windows, while also being differentiated from the historic windows due to their slightly different proportions and lack of a transom. Similarly, the new wood double-hung windows at the rear and side elevations will be compatible with the existing windows at these elevations due to their shared material and operation, but will be simpler in their configuration and detailing than the existing windows to differentiate the new windows from the existing. The new glazed wood entrance doors at the rear elevation will align with the materials of existing windows at this elevation, and are compatible with the historic features of the building.

The project will involve the removal of a limited amount of historic brick at the base of the building at the Scott Street façade, in connection with the removal of the existing garage doors and installation of new window openings. New painted brick matching the historic painted brick will be installed around the two new window openings at the Scott Street façade. To ensure that the maximum amount of historic brick is retained, and that the new brick will align with the historic brick, a materials conservator will review and approve replacement brick and mortar samples, cleaning methods for any necessary paint removal at the existing brick, and repair methods for any brick damaged during paint removal. Planning staff and the materials conservator will also oversee the installation of the new brick during construction.

Department staff finds that proposed work will be in conformance with the Secretary's Standards and requirements of Article 10, and that the proposed work is compatible with the character-defining features of the subject site and with the Alamo Square Landmark District.

ENVIRONMENTAL REVIEW STATUS

The Planning Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15301 (Class One-Minor Alteration of Existing facility) because the project is a minor alteration of an existing structure and meets the *Secretary of the Interior's Standards*.

PLANNING DEPARTMENT RECOMMENDATION

Planning Department staff recommends APPROVAL WITH CONDITIONS of the proposed project as it appears to meet the *Secretary of the Interior's Standards for Rehabilitation*.

CONDITIONS OF APPROVAL

To ensure that the proposed work is undertaken in conformance with this Certificate of Appropriateness, staff recommends the following conditions:

- 1. As part of the Building Permit, a materials conservator shall be retained by the Project Sponsor to review and approve replacement brick and mortar samples, cleaning methods for any necessary paint removal at the existing brick, and repair methods for any brick damaged during paint removal.
- 2. As part of the Building Permit, planning staff and the materials conservator shall oversee the installation of the new brick during construction.

ATTACHMENTS

Draft Motion Exhibits:

- Parcel Map
- Sanborn Map
- Alamo Square Landmark District Map

Project Sponsor submittal, including:

- Existing Conditions Photographs
- Reduced Plans



SAN FRANCISCO PLANNING DEPARTMENT

Historic Preservation Commission Draft Motion

HEARING DATE: OCTOBER 4, 2017

1650 Mission St. Suite 400 San Francisco, CA 94103-2479

Filing Date:	February 8, 2017
Case No.:	2016-010367COA
Project Address:	651 Scott Street
Historic Landmark:	Alamo Square Landmark District
Zoning:	RM-2 (Residential-Mixed, Moderate Density)
	40-X Height and Bulk District
Block/Lot:	1202 / 001A
Applicant:	John Hood
	Hood Thomas Architects
	440 Spear Street
	San Francisco, CA 94105
Staff Contact	Rebecca Salgado – (415) 575-9101
	rebecca.salgado@sfgov.org
Reviewed By	Tim Frye – (415) 575-6822
	tim.frye@sfgov.org

Reception: 415.558.6378

Fax: 415.558.6409

Planning Information: **415.558.6377**

ADOPTING FINDINGS FOR A CERTIFICATE OF APPROPRIATENESS FOR PROPOSED WORK DETERMINED TO BE APPROPRIATE FOR AND CONSISTENT WITH THE PURPOSES OF ARTICLE 10, TO MEET THE STANDARDS OF ARTICLE 10 AND TO MEET THE SECRETARY OF INTERIOR'S STANDARDS FOR REHABILITATION, FOR THE PROPERTY LOCATED ON LOT 001A IN ASSESSOR'S BLOCK 1202, WITHIN AN RM-2 (RESIDENTIAL-MIXED, MODERATE DENSITY) ZONING DISTRICT AND A 40-X HEIGHT AND BULK DISTRICT.

PREAMBLE

WHEREAS, on February 8, 2017, John Hood of Hood Thomas Architects (Project Sponsor) filed an application with the San Francisco Planning Department (hereinafter "Department") for a Certificate of Appropriateness to modify window and door openings at the front, rear, and side light well elevations of the subject property at the first floor to accommodate three new accessory dwelling units at the first floor, in addition to related interior alterations at the subject property located on lot 001A in Assessor's Block 1202. Specifically, the proposal includes:

- Removal of two garage doors at the Scott Street façade and the installation of two smaller wood multi-lite casement windows in their place, with surrounding new brick infill matching the historic brick at the first floor, to be painted to match the surrounding painted brick.
- Modifications to the existing window and door openings at the non-visible rear elevation at the first floor, including the following:
 - o Removing an existing egress door and slightly widening the opening.

- Removing all existing windows and doors at this level, including an egress door, a modest one-story rear expansion constructed without benefit of a permit or a Certificate of Appropriateness, an existing paired aluminum entrance door with wood steps leading to the rear yard, and three one-over-one double-hung windows.
- Creating seven new or modified window openings and two door openings, one each for the two proposed new ADU units at the rear of the property. All rear windows are proposed to be wood one-over-one double-hung units, and new doors are proposed to be wood with glazing.
- Modifications to the existing window and door openings at the non-visible side light wells at the first floor, including modification of existing door openings into window openings, and the addition of three new window openings. All windows in the side light wells are proposed to be wood one-over-one double-hung units.
- Alterations to the main entrance door to the building at the Scott Street façade, to include the reversal and reuse of existing hinges to reverse the swing direction of the door to meet Building Code requirements.
- Interior alterations at the first floor related to the creation of three accessory dwelling units, including reconfiguration of utility, storage, and trash-collection spaces, and the creation of designated bicycle parking spaces in the existing garage.
- Removal of an existing curb cut at the sidewalk in front of the area of the removal of the garage doors at the Scott Street façade..

WHEREAS, the Project was determined by the Department to be categorically exempt from environmental review. The Historic Preservation Commission (hereinafter "Commission") has reviewed and concurs with said determination.

WHEREAS, on October 4, 2017, the Commission conducted a duly noticed public hearing on the current project, Case No. 2017.006323 ("Project") for its appropriateness.

WHEREAS, in reviewing the Application, the Commission has had available for its review and consideration case reports, plans, and other materials pertaining to the Project contained in the Department's case files, has reviewed and heard testimony and received materials from interested parties during the public hearing on the Project.

MOVED, that the Commission hereby grants the Certificate of Appropriateness, in conformance with the architectural plans dated June 5, 2017 and labeled Exhibit A on file in the docket for Case No. 2016-010367 based on the following findings:

CONDITIONS OF APPROVAL

- That a materials conservator shall be retained by the Project Sponsor to review and approve replacement brick and mortar samples, cleaning methods for any necessary paint removal at the existing brick, and repair methods for any brick damaged during paint removal.
- That planning staff and the materials conservator shall oversee the installation of the new brick during construction.

FINDINGS

Having reviewed all the materials identified in the recitals above and having heard oral testimony and arguments, this Commission finds, concludes, and determines as follows:

- 1. The above recitals are accurate and also constitute findings of the Commission.
- 2. Findings pursuant to Article 10:

The Historical Preservation Commission has determined that the proposed work is compatible with the character of the landmark district as described in the designation report dated January 18, 1984.

- The project would retain the existing residential use of the building.
- The project would cause minimal changes to the form of the building without removing any character-defining features or materials, with the exception of a minimal amount of historic brick at the base of the Scott Street facade. The garage doors to be removed at the Scott Street façade are not character-defining features of the building, and as such, their removal will not destroy historic materials, features, and spatial relationships that characterize the property.
- The project will ensure that the new true-divided-lite wood casement windows at the ground floor of the Scott Street façade will be compatible with the historic windows at the building, in that they will match the materials and operation of the historic windows, while also being differentiated from the historic windows due to their slightly different proportions and lack of a transom.
- The project will allow for the new wood double-hung windows at the rear and side elevations to be compatible with the existing windows at these elevations due to their shared material and operation, but will be simpler in their configuration and detailing than the existing windows to differentiate the new windows from the existing. The new glazed wood entrance doors at the rear elevation will align with the materials of existing windows at this elevation, and are compatible with the historic features of the building
- The project will involve the removal of a limited amount of historic brick at the base of the building at the Scott Street façade, in connection with the removal of the existing garage doors and installation of new window openings. New painted brick matching the historic

painted brick will be installed around the two new window openings at the Scott Street façade, under the consultation of a materials conservator and Planning staff.

- The proposed project meets the requirements of Article 10, Appendix E, of the Planning Code.
- The proposed project meets the following Secretary of the Interior's Standards for Rehabilitation:

Standard 1.

A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

Standard 2.

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

Standard 3.

Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

Standard 4.

Changes to a property that have acquired historic significance in their own right will be retained and preserved.

Standard 5.

Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.

Standard 6.

Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

Standard 7.

Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

Standard 9.

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and

massing to protect the integrity of the property and its environment.

Standard 10.

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

3. **General Plan Compliance.** The proposed Certificate of Appropriateness is, on balance, consistent with the following Objectives and Policies of the General Plan:

I. URBAN DESIGN ELEMENT

THE URBAN DESIGN ELEMENT CONCERNS THE PHYSICAL CHARACTER AND ORDER OF THE CITY, AND THE RELATIONSHIP BETWEEN PEOPLE AND THEIR ENVIRONMENT.

GOALS

The Urban Design Element is concerned both with development and with preservation. It is a concerted effort to recognize the positive attributes of the city, to enhance and conserve those attributes, and to improve the living environment where it is less than satisfactory. The Plan is a definition of quality, a definition based upon human needs.

OBJECTIVE 1

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

POLICY 1.3

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

OBJECTIVE 2

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

POLICY 2.4

Preserve notable landmarks and areas of historic, architectural or aesthetic value, and promote the preservation of other buildings and features that provide continuity with past development.

POLICY 2.5

Use care in remodeling of older buildings, in order to enhance rather than weaken the original character of such buildings.

POLICY 2.7

Recognize and protect outstanding and unique areas that contribute in an extraordinary degree to San Francisco's visual form and character.

The goal of a Certificate of Appropriateness is to provide additional oversight for buildings and districts that are architecturally or culturally significant to the City in order to protect the qualities that are associated with that significance.

The proposed project qualifies for a Certificate of Appropriateness and therefore furthers these policies and objectives by maintaining and preserving the character-defining features of the Alamo Square Landmark District for the future enjoyment and education of San Francisco residents and visitors.

- 4. The proposed project is generally consistent with the eight General Plan priority policies set forth in Section 101.1 in that:
 - A) The existing neighborhood-serving retail uses will be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses will be enhanced:

The proposed project will not have any impact on neighborhood serving retail uses.

B) The existing housing and neighborhood character will be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods:

The proposed project will strengthen neighborhood character by respecting the character-defining features of the landmark district in conformance with the Secretary of the Interior's Standards.

C) The City's supply of affordable housing will be preserved and enhanced:

The project will not reduce the affordable housing supply as the existing units will be retained and three new housing units will be added as part of the proposed work.

D) The commuter traffic will not impede MUNI transit service or overburden our streets or neighborhood parking:

The proposed project will not result in commuter traffic impeding MUNI transit service or overburdening the streets or neighborhood parking.

E) A diverse economic base will be maintained by protecting our industrial and service sectors from displacement due to commercial office development. And future opportunities for resident employment and ownership in these sectors will be enhanced:

The proposed project will not have any impact on industrial and service sector jobs.

F) The City will achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

Preparedness against injury and loss of life in an earthquake is improved by the proposed work. The

work will be executed in compliance with all applicable construction and safety measures.

G) That landmark and historic buildings will be preserved:

The proposed project is in conformance with Article 10 of the Planning Code and the Secretary of the Interior's Standards.

H) Parks and open space and their access to sunlight and vistas will be protected from development:

The proposed project will not impact the access to sunlight or vistas for the parks and open space.

5. For these reasons, the proposal overall, is appropriate for and consistent with the purposes of Article 10, meets the standards of Article 10, and the Secretary of Interior's Standards for Rehabilitation, General Plan and Prop M findings of the Planning Code.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **GRANTS a Certificate of Appropriateness** for the property located at Lot 001A in Assessor's Block 1202 for proposed work in conformance with the renderings and architectural sketches dated June 5, 2017 and labeled Exhibit A on file in the docket for Case No. 2016-010367.

APPEAL AND EFFECTIVE DATE OF MOTION: The Commission's decision on a Certificate of Appropriateness shall be final unless appealed within thirty (30) days. Any appeal shall be made to the Board of Appeals, unless the proposed project requires Board of Supervisors approval or is appealed to the Board of Supervisors as a conditional use, in which case any appeal shall be made to the Board of Supervisors (see Charter Section 4.135).

Duration of this Certificate of Appropriateness: This Certificate of Appropriateness is issued pursuant to Article 10 of the Planning Code and is valid for a period of three (3) years from the effective date of approval by the Historic Preservation Commission. The authorization and right vested by virtue of this action shall be deemed void and canceled if, within 3 years of the date of this Motion, a site permit or building permit for the Project has not been secured by Project Sponsor.

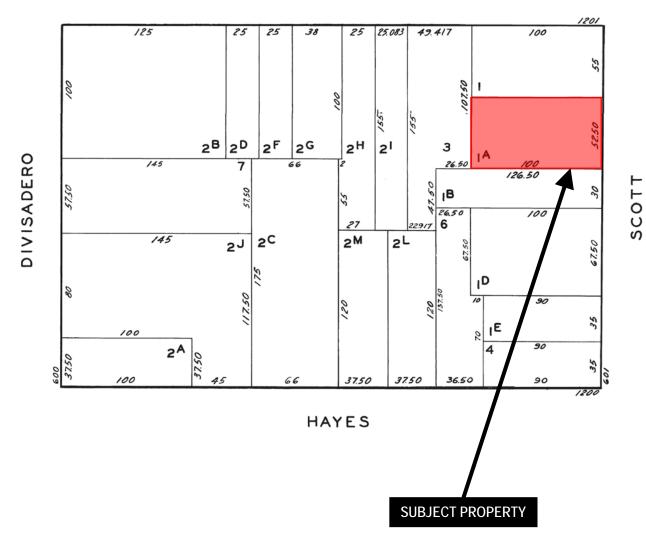
THIS IS NOT A PERMIT TO COMMENCE ANY WORK OR CHANGE OF OCCUPANCY UNLESS NO BUILDING PERMIT IS REQUIRED. PERMITS FROM THE DEPARTMENT OF BUILDING INSPECTION (and any other appropriate agencies) MUST BE SECURED BEFORE WORK IS STARTED OR OCCUPANCY IS CHANGED.

I hereby certify that the Historical Preservation Commission ADOPTED the foregoing Motion on October 4, 2017.

Jonas P. Ionin Acting Commission Secretary

- AYES: X NAYS: X ABSENT: X
- ADOPTED: October 4, 2017

Parcel Map

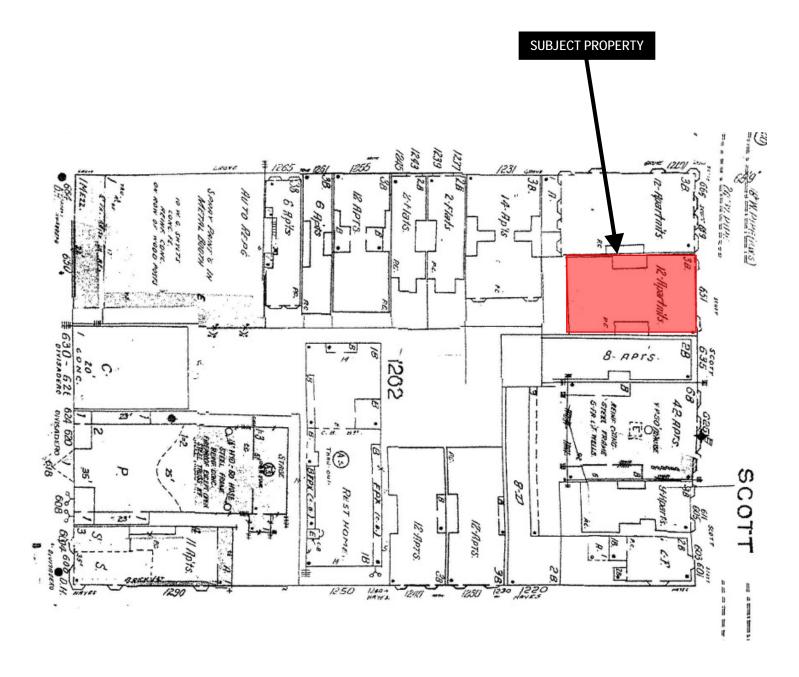


GROVE



Historic Preservation Commission Hearing **Case Number 2016-010367COA** Alamo Square Landmark District 651 Scott Street

Sanborn Map*

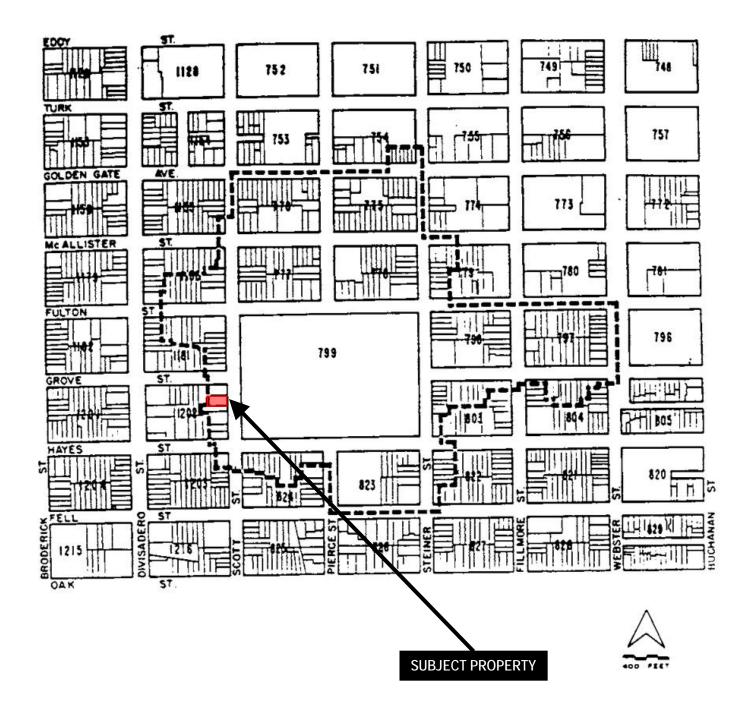


*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.

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Historic Preservation Commission Hearing **Case Number 2016-010367COA** Alamo Square Landmark District 651 Scott Street

Alamo Square District Map





Historic Preservation Commission Hearing **Case Number 2016-010367COA** Alamo Square Landmark District 651 Scott Street

651 SCOTT ST. SAN FRANCISCO CALIFORNIA 94117 INTERIOR & EXTERIOR ALTERATIONS CERTIFICATE OF APPROPRIATENESS

GENERAL CONSTRUCTION NOTES

- 1. ALL CONSTRUCTION SHALL CONFORM TO THE 2013 CALIFORNIA BUILDING CODE, AS AMENDED BY THE CITY OF SAN FRANCISCO, AND ANY OTHER GOVERNING CODES, RULES, REGULATION, ORDINANCES, LAWS, ORDER, APPROVALS, ETC. THAT ARE REQUIRED BY PUBLIC AUTHORITIES. IN THE EVENT OF A CONFLICT. THE MOST STRINGENT REQUIREMENTS SHALL APPLY.
- 2. ANY ERRORS, OMISSIONS, OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- VERIFY ALL DIMENSIONS IN THE FIELD. CARE HAS BEEN TAKEN TO PREPARE THESE DOCUMENTS USING ALL AVAILABLE INFORMATION PROVIDED BY THE OWNER. DIMENSIONS MARKED (+/-) MAY BE ADJUSTED UP TO 2" AS REQUIRED BY FIELD CONDITIONS. ADJUSTMENTS OF MORE THAN 2" SHALL BE APPROVED BY THE ARCHITECT. DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS IF CONFLICTS EXIST NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH WORK. DIMENSIONS ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF HIS WORK AND THAT OF ALL SUB-CONTRACTORS. VERIFY AND COORDINATE ALL ROUTING OF MECHANICAL, ELECTRICAL AND PLUMBING ITEMS, ROUGH-IN DIMENSIONS, AND REQUIRED CLEARANCES ASSOCIATED WITH THE PROJECT WORK SUCH THAT CONFLICTS DO NOT OCCUR. NOTIFY ARCHITECT OF PROBLEMATIC CONDITIONS.
- 5. WHERE WORK REQUIRES CUTTING INTO OR DISRUPTION OF EXISTING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR PATCHING AND REPAIRING BOTH THE AREA OF WORK AND ITS A ADJACENT SURFACES TO MATCH ADJACENT EXISTING SURFACES. PATCHING INCLUDES FINISHED PAINTING OF AREA DISRUPTED.
- CONTRACTOR SHALL REMOVE EXISTING WALLS AND OTHER ASSOCIATED CONSTRUCTION AS INDICATED ON THE DEMOLITION PLAN BY DASHED LINES.
- CONTRACTOR TO VERIFY ALL CONDITIONS BEFORE PROCEEDING WITH DEMOLITION WORK IN ANY AREA. DEMOLITION OF DOORS, WINDOWS, CABINETRY, FINISHES, PARTITIONS OR ANY OTHER NONSTRUCTURAL ITEMS MAY PROCEED AS INDICATED. WHERE DISCREPANCIES INVOLVE STRUCTURAL ITEMS, REPORT SUCH DIFFERENCES TO THE ARCHITECT AND SECURE INSTRUCTIONS BEFORE PROCEEDING IN THE AFFECTED AREA.
- 8. SEE ELECTRICAL POWER & LIGHTING DRAWINGS FOR EXTENT OF (N) LIGHTING TO BE INSTALLED. CONTRACTOR TO REMOVE CEILING PLASTER AS REQUIRED FOR INSTALLATION OF PROPOSED LIGHTING.
- 9. CONTRACTOR SHALL COORDINATE WITH OWNER THE SALVAGE OF LIGHT FIXTURES, FURNISHINGS, DOORS AND MISC. EQUIPMENT.
- 10. CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADES AND OTHER FORMS OF PROTECTION AS REQUIRED TO GUARD THE OWNER. OTHER TENANTS AND THE GENERAL PUBLIC FROM INJURY DUE TO DEMOLITION WORK.
- 11. CONTRACTOR SHALL ENSURE THAT DEMOLITION WORK DOES NOT INTERFERE WITH OR PROHIBIT THE CONTINUING OCCUPATION OF ADJACENT DWELLINGS WITHIN THE STRUCTURE. THIS INCLUDES BUT IS NOT LIMITED TO THE SELECTIVE DEMOLITION OF PARTITIONS, ELECTRICAL AND MECHANICAL SYSTEMS, THE CONTRACTOR SHALL INFORM OWNER 72 HOURS IN ADVANCE OF DEMOLITION ACTIVITIES THAT WILL AFFECT NORMAL OPERATION OF BUILDING.
- 12. CONTRACTOR SHALL REPAIR DAMAGE CAUSED TO ADJACENT FACILITIES BY DEMOLITION WORK.

GENERAL STRUCTURAL NOTES

- 1. STRUCTURAL OBSERVATION SHALL BE REQUIRED BY THE ENGINEER FOR STRUCTURAL CONFORMANCE TO THE APPROVED PLANS.
- 2. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL NOTES & REQUIREMENTS.

GENERAL ENERGY CONSERVATION NOTES

- 1. EXTERIOR WALL, ROOF & RAISED FLOOR CAVITIES EXPOSED DURING DEMOLITION ARE TO BE INSULATED PER TITLE 24 ENERGY CALCULATIONS AND OR MANDATORY MEASURES PROVIDED WITHIN THIS DRAWING SET. SEE GENERAL INSULATION NOTES BELOW FOR MINIMUM INSULATION REQUIREMENTS SHOULD TITLE 24 ENERGY CALCULATION NOT BE REQUIRED FOR THIS PROJECT.
- 2. ALL LIGHTING TO COMPLY WITH CCR TITLE 24, LATEST EDITION. SEE GENERAL LIGHTING NOTES & ELECTRICAL & LIGHTING PLANS FOR ENERGY CONSERVATION FEATURES.

GENERAL INSULATION NOTES

- 1. PROVIDE INSULATION AT ALL EXTERIOR WALLS, FLOORS AND ROOFS WHEN EXPOSED DURING REMODELING PER MINIMUM REQUIREMENTS LISTED BELOW. UNLESS OTHERWISE NOTED IN TITLE 24 OR SUPPLEMENTAL GREEN COMPLIANCE DOCUMENTATION.
 - R-15 AT 2X4 WALLS R-19 AT 2X6 WALLS AND FLOORS R-30 AT CEILING

GENERAL ELECTRICAL NOTES

- 1. ALL ELECTRICAL WORK IS DESIGN/BUILD BY CONTRACTOR. V LOCATIONS OF EQUIPMENT AND FIXTURES AS SHOWN ON THE W/ ACTUAL FIELD CONDITIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES. DO NOT CUT NOTCH, HEAD OFF OR MODIFY STRUCTURAL MEMBERS.
- 2. VERIFY ELECTRICAL / TELEPHONE / CATV / SPEAKER REQUIREMENTS WITH OWNER BEFORE INITIATING ANY WORK.
- 3. ELECTRICAL CONTRACTOR SHALL PROVIDE PROPER ELECTRICAL SERVICE TO ALL APPLIANCES. CONSULT MANUFACTURER'S INSTALLATION INSTRUCTIONS AND SPECIFICATIONS AS REQUIRED.
- INSTALL THERMOSTATS AT 64" FROM CENTERLINE OF COVER PLATE TO FINISH FLOOR. MECHANICAL SUB-CONTRACTOR TO VERIFY LOCATIONS WITH OWNER.
- MINIMUM REQUIREMENTS FOR ELECTRICAL WORK AT ALL HABITABLE ROOMS: PROVIDE DUPLEX RECEPTACLES TO COMPLY WITH CURRENT CEC AS AMENDED BY LOCAL BUILDING CODES AS FOLLOWS:
- A. RECEPTACLES SHALL BE 6'-0" FROM DOOR
- OPENINGS RECEPTACLES SHALL BE SPACED 12'-0" MAXIMUM ON CENTER ALONG WALLS IN HALLWAYS AND IN ROOMS.
- C. ANY WALL 2'-0" OR GREATER IN LENGTH SHALL
- HAVE MINIMUM (1) ELECTRICAL OUTLET. D. RECEPTACLES SHALL BE PLACED +12" ABOVE THE FINISH FLOOR UNLESS NOTED OTHERWISE.
- 6. MINIMUM REQUIREMENTS FOR ELECTRICAL WORK AT NEW & REMODELED KITCHENS & BATHROOMS: PROVIDE DUPLEX RECEPTACLES IN COMPLIANCE WITH CURRENT CEC AND LOCAL BUILDING CODE AMENDMENTS AS FOLLOWS:
- A. RECEPTACLES SHALL BE 4'-0" MINIMUM FORM SINK LOCATIONS. B. RECEPTACLES SHALL BE SPACED 4'-0" MAX. ON **CENTER ALONG KITCHEN & BATH COUNTERS**
- PROVIDE GFIC AT RECEPTACLES WHERE REQUIRED BY CODE. D. ALL KITCHEN COUNTERS WIDER THAN 12" TO HAVE RECEPTACLE OUTLETS PER 2013 CEC.
- 7. PROVIDE 20 AMP BRANCH CIRCUITS TO SERVE BATHROOM RECEPTACLES OUTLETS PER CEC 210.11.
- 8. PROVIDE 20 BRANCH CIRCUITS TO SERVE LAUNDRY ROOM RECEPTACLE OUTLETS PER CEC 210.11.
- 9. KITCHENS SHALL BE PROVIDED WITH AT LEAST (2) 20 AMP SMALL SMALL APPLIANCE BRANCH CIRCUITS.
- 10. RANGES, DISHWASHERS, WASHER & DRYERS, HVAC EQUIPMENT & GARAGE DOOR OPENERS WHEN INSTALLED, TO BE PROVIDED WITH DEDICATED CIRCUIT AS REQUIRED BY CODE.
- 11. BEDROOMS BRANCH CIRCUITS SHALL BE PROTECTED BY LISTED ARC FAULT CIRCUIT INTERRUPTER PER CEC 210.12.
- 12. INSTALL HARDWIRED SMOKE DETECTORS CRC & CBC SECT 907.2.11.2 AT EACH FLOOR OR RESIDENCE ON WALL OR CEILING GIVING ACCESS TO SLEEPING AREAS AND INSIDE ROOMS INTENDED FOR SLEEPING. VERIFY ACCEPTABILITY OF LOCATIONS WITH FIRE MARSHALL / BUILDING INSPECTOR BEFORE INSTALLATION. SMOKE DETECTORS SHALL BE HARDWIRED w/ BATTERY BACK-UP & AUDIBLE IN ALL SLEEPING ROOMS.
- 13. CARBON MONOXIDE ALARMS TO BE INSTALLED PER CBC 420.4 IN DWELLING UNITS CONTAINING FUEL BURNING APPLIANCES. ALARM TO BE LOCATED HALLWAYS GIVING ACCESS TO BEDROOMS & ON ALL FLOORS OF DWELLING. COMBINATION CARBON MONOXIDE / SMOKE ALARMS ARE PERMITTED PER CBC 420.4.3.1. IF COMBINATION UNIT IS USED, UNIT TO BE INSTALLED PER REQUIREMENTS OF SMOKE ALARMS.
- 14. KITCHEN LIGHTING (REMODELED OR NEW) SHALL BE MIN. 50% HIGH EFFICACY & MUST BE SWITCHED SEPARATELY FROM NON-HIGH EFFICACY LIGHTING.
- 15. BATHROOM, LAUNDRY ROOM, GARAGE & UTILITY ROOM (REMODELED & NEW) SHALL BE ALL HIGH EFFICACY UNLESS NON-HIGH EFFICACY CONTROLLED BY CERTIFIED OCCUPANCY SENSOR(S) WITH MANUAL ON MOTION SENSOR. "ALWAYS-ON" OPTION NOT PERMITTED.
- BEDROOM, HALLWAY, STAIR, DINING ROOM & CLOSET LIGHTING SHALL BE HIGH EFFICACY UNLESS NON-HIGH EFFICACY LIGHTING CONTROLLED BY DIMMER SWITCH OR CERTIFIED OCCUPANCY SENSOR(S) WITH MANUAL ON MOTION SENSOR. "ALWAYS-ON" OPTION NOT PERMITTED.
- 17. LIGHT FIXTURES IN TUB. SHOWER OR ANY OTHER LOCATION SUBJECT TO WATER SPRAY SHALL BE LABELED "SUITABLE FOR WET LOCATION".
- 18. OUTDOOR LIGHTING SHALL BE HIGH EFFICACY UNLESS LIGHTING IS CONTROLLED BY CERTIFIED MOTION SENSORS & PHOTOCONTROL OF LANDSCAPE LIGHTING (NOT ATTACHED TO BUILDINGS).
- 19. RECESSED LIGHTING FIXTURES TO BE "ZERO CLEARANCE INSULATION COVER" (IC) APPROVED AT INSULATED AREAS.
- 20. CLOSET LAMPS SHALL BE ENCLOSED TYPE IF INCANDESCENT. FIXTURE CLEARANCES SHALL BE PER CEC 410.16 (C).

GENERAL PLUMBING NOTES

ERIFY	1.	ALL PLUMBING SYSTEMS ARE DESIGN / BUILD BY CONTRACTOR.
E PLANS		LOCATE THE VARIOUS PLUMBING RUNS INCLUDING DWV AND VERIFY
		LOCATIONS OF PROPOSED RUNS WITH ACTUAL FIELD CONDITIONS.
ANY		VERIFY LOCATIONS WITH ARCHITECT. DO NOT CUT, NOTCH, HEAD
		OFF OR MODIFY ANY STRUCTURAL MEMBERS.

- RELOCATE / RECONFIGURE ALL PLUMBING AS REQUIRED AND AS DIAGRAMMATICALLY SHOWN ON DRAWINGS TO ACHIEVE REMODELING OR NEW CONSTRUCTION. WHERE SPACES CONTAINING PLUMBING FIXTURES ARE EITHER NEW OR REMODELED THE THE FOLLOWING MINIMUM STANDARDS ARE TO BE MET.
 - KITCHEN AND LAVATORY FAUCETS TO BE MAX. 2.2 G.P.M MEASURED AT 60 PSI.
 - 4. WATER CLOSETS HAVE MAX. 1.6 GPF WATER CONSUMPTION.
 - 5. SHOWER HEADS NOT TO EXCEED 2.5 GPM MEASURED AT 80 PSI.
 - SHOWERS & TUBS TO HAVE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THERMOSTATIC MIX TYPE.
 - SHOWER VALVES & HEADS SHALL BE PLACED INSIDE SHOWER COMPARTMENT SUCH THAT SHOWER HEAD DOES NOT DISCHARGE DIRECTLY TOWARD THE ENTRANCE OF THE COMPARTMENT AND THE BATHER CAN ADJUST VALVES PRIOR TO STEPPING INTO SHOWER SPRAY.
 - DISHWASHER WASTE LINE TO BE PROVIDED WITH APPROVED AIR GAP SEPARATION DEVICE.
 - HOSE BIBBS TO HAVE APPROVED BACK-FLOW PREVENTION DEVICE.
 - 10. PROVIDE SEISMIC BRACING FOR WATER HEATERS IN ACCORDANCE WITH CPC 510.
 - 11. ALL COLD WATER PIPES TO BE INSULATED.

GENERAL MECHANICAL NOTES

- 1. ALL MECHANICAL WORK IS DESIGN / BUILD BY CONTRACTOR. VERIFY LOCATION OF EQUIPMENT AND FIXTURES AS SHOWN ON THE PLANS WITH ACTUAL FIELD CONDITIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES. DO NOT CUT, NOTCH, HEAD OFF OR MODIFY ANY STRUCTURAL MEMBERS. VERIFY ALL ELECTRICAL / TELEPHONE / CATV / SPEAKER REQUIREMENTS WITH OWNER BEFORE INITIATING ANY MECHANICAL SYSTEM WORK.
- PROVIDE MINIMUM 100 S.I. COMBUSTION AIR AT NEW & REMODELED FAU'S & SPACES CONTAINING THEM PER UMC.
- 3. ALL NEW FAU'S TO BE RATED FOR THEIR SPECIFIC LOCATION.
- 4. NEW & REMODELED BATHROOMS TO BE PROVIDED WITH EXHAUST FAN CAPABLE OF PROVIDING 5 AIR CHANGES PER HOUR. VENT TO OUTSIDE PER CMC 504.5. PROVIDE BACK-DRAFT DAMPER.
- 5. TYPE B GAS VENTS. WHEN INSTALLED AS PART OF THIS PROJECT TO BE PER CMC 802.6
- 6. RANGEHOOD. BATH VENTILATION EXHAUST. DRYER EXHAUST & SIMILAR ENVIRONMENTAL DUCTS TO TERMINATE AT EXTERIOR OF BUILDING PER CMC 504.5. TERMINATE AT LEAST 3'-0" FROM PROPERTY LINE & 3'-0" FROM OPENINGS INTO BUILDINGS.
- INTERSTITIAL SPACES SHALL NOT BE USED TO SUPPLY OR RETURN FORCED AIR.

SYMBOL LEGEND

SECTION

- SECTION IDENTIFICATION # SHT – SHEET WHERE LOCATED
 - DETAIL - DETAIL IDENTIFICATION
- - SHEET WHERE LOCATED INTERIOR ELEVATIONS # SHT
- ELEVATION IDENTIFICATION - SHEET WHERE LOCATED
 - ELEVATION VIEW
- <u>GRID LINE</u> - NUMBER OR LETTER ➤ COLUMN LINE
 - DOOR SYMBOL
 - $\langle \rangle$ WINDOW SYMBOL
 - 5.1 SHEET NOTE REVISION

VICINITY MAP



PROJECT DIRECTORY

ARCHITECT HOOD THOMAS ARCHITECTS JOHN HOOD 440 SPEAR STREET SAN FRANCISCO, CA 94105 P: (415) 543-5005 F: (415) 495-3336

STRUCTURAL ENGINEER JOHN YADEGAR & ASSOCIATES 90 NEW MONTGOMERY ST., STE 415 SAN FRANCISCO, CA 94105 P: (415) 243-0858 F: (415) 243-0486

PRE-APP RESPONSE

Building Data Property Address 651 Scott Street San Francisco, CA 94117 Block: 1202 Lot: 001A Existing Proposed 4 (No Change) Stories: Occupancy: R2 R2 (No Change) V-B V-B Construction Type: Sprinklers: Units:

Scope of Proposed Work:

Remodel at the first floor to add 3 (N) apartments. No expansion of building footprint proposed under this scope of work. No work is proposed at floors other than the first floor. NOTE: See attached revised plans that supersede the ones used in pre-app meeting.

Code Compliance Questions:

1. Per Information Bulletin FS-05, Sprinkler Systems Requirements for Addition or Legalization of Dwelling Units, are we allowed to only sprinkler the first floor where our new units will be?

Response to Question 1 Sprinklers are only required at the new units as per FS-05. SFFD: _____ DBI: TAL

2. Per CBC section 1014.3, is the common path of egress travel distance 125' if the first floor is equipped with a sprinkler system?

Response to Question 2 No. 75' is required with one exit. Provide two exits and the travel distance to either exit is not more than 200'.

SFFD: =

- DBI: TQL
- 3. (E) Exit corridor 2 on the first floor is 41¹/₂" wide. If it does not serve as primary exit for the proposed units, can it remain unaffected?
- Response to Question 3 It is used as second exit access, therefore it must be 44" clear if it serves more than 50 occupants. WALLS & CEILING FULL LENGTH OF CORRIDORS 2& 3 SHALL DE UPGRADED TO 1 HR DBI: TQL. SFED: FIRE RATED CONSTRUCTION. DBI: TQL. SFFD:

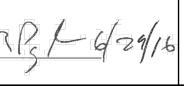
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ALAMO SCOTT LLC FIRST CLASS COSO, LLC PHILL BOERSMA 655 MONTGOMERY STREET STE 1705 SAN FRANCISCO, CA 94111 P: (415) 273-2173 F: (415) 704-3168

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Automatic fire sprinkler system throughout ground floor 15 (3 additional units proposed at the First Floor)



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PROJECT DESCRIPTION

- 1. CONSTRUCT 3 NEW UNITS: 1 STUDIO UNIT (FRONT) AND 2 ONE-BEDROOM UNITS (REAR) ON THE FIRST FLOOR.
- 2. NEW UNITS AND ENTIRE GROUND FLOOR TO BE PROVIDED WITH AUTOMATIC FIRE SPRINKLER SYSTEM UNDER SEPARATE BUILDING DEPARTMENT PERMIT
- PROJECT ADDRESS: 651 SCOTT STREET SAN FRANCISCO, CA 94117

PLANNING DEPARTMENT DATA

- 4. PROPERTY BLOCK: 1202 LOT:001A
- 5. ZONING: RM-2 (RESIDENTIAL-MIXED, MODERATE DENSITY) 6. MAXIMUM HEIGHT: 40'-0" PROPOSED HEIGHT: 40'-0"

V-B

R2

4

12

NO

40'-0"

PROPOSED

YES @ 1ST FLOOR

(SEPARATE PERMIT)

V-B

R2

40'-0"

BUILDING DEPARTMENT DATA EXISTING

CONSTRUCTION GROUP OCCUPANCY TYPE **BUILDING HEIGHT BUILDING STORIES** DWELLING UNITS SPRINKLER SYSTEM

GOVERNING CODES

ALL WORK SHALL BE IN COMPLIANCE WITH ALL STATE AND LOCAL CODES, INCLUDING THE FOLLOWING: 2013 CALIFORNIA BUILDING CODE (W/ SAN FRANCISCO AMENDMENTS) 2013 CALIFORNIA MECHANICAL CODE (W/ SAN FRANCISCO AMENDMENTS 2013 CALIFORNIA PLUMBING CODE (W/ SAN FRANCISCO AMENDMENTS) 2013 CALIFORNIA ELECTRICAL CODE (W/ SAN FRANCISCO AMENDMENTS) 2013 CALIFORNIA ENERGY CODE (W/ SAN FRANCISCO AMENDMENTS) 2013 CALIFORNIA FIRE CODE

DRAWING INDEX

ARCHITECTURAL DRAWINGS

A0.0 COVER SHEET, PROJECT DATA, VICINITY MAP, PROJECT DIRECTORY, DRAWING INDEX, PRE-APP RESPONSE, AREA CALCULATIONS A0.1 EXISTING SITE PHOTOS A0.2 EXISTING SITE PHOTOS

- A0.3 EXISTING SITE PHOTOS
- A0.4 EXISTING SITE PHOTOS A0.5 EXISTING SITE PHOTOS
- A0.6 EXISTING & PROPOSED SITE PLAN
- A1.0 EXISTING & DEMO FIRST FLOOR PLAN
- A1.1 PROPOSED FIRST FLOOR PLAN A1.2 EXISTING FLOOR PLANS
- A2.1 EXISTING & PROPOSED EAST (FRONT) ELEVATION A2.2 EXISTING & DEMO EAST (FRONT) ELEVATION, PARTIAL SECTION.
- & SECTION DETAIL A2.3 PROPOSED EAST (FRONT) ELEVATION, PARTIAL SECTION,
- & SECTION DETAIL
- EVATION A2.4
- A2.5 A5.1
- A5.2 ARCHITECTURAL DETAILS

AREA CALCULATIONS

PROPOSED FLC	DOR AREA		
FLOOR LEVEL	EXISTING	PROPOSED	ADDITIONAL
1ST FLOOR	1,616 S.F.	2,021 S.F.	405 S.F.
2ND FLOOR	3,351 S.F.	3,3 51 S .F.	0 S.F.
3RD FLOOR	3,368 S.F.	3,368 S.F.	0 S.F.
4TH FLOOR	3,368 S.F.	3,368 S.F	- OSE.
TOTAL	11,703 S.F.	(12,108 S.F.	405 S.F.
		\searrow	



440 SPEAR STREET SAN FRANCISCO, CALIFORNIA 94105 P:(415)543-5005 F:(415)495-3336 WWW.HOODTHOMAS.COM



UNIT ADDITION

651 SCOTT ST. San Francisco, CA 94117 Block: 1202 Lot: 001A

ISSUE:	DATE:
CERT. OF APPROPRIATENESS	02.08.17
CERT. OF APPROP_REV-1	06.05.17
CERT. OF APPROP. REV-2	09.21.17
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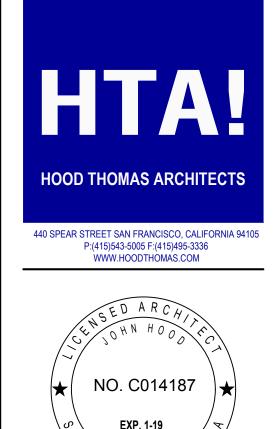
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DATE:

4	EXISTING & DEMO WEST (REAR) ELE
5	PROPOSED WEST (REAR) ELEVATION
1	ARCHITECTURAL DETAILS
2	ARCHITECTURAL DETAILS





651 SCOTT ST. San Francisco, CA 94117 Block: 1202 Lot: 001A

ISSUE:	DATE:
CERT. OF APPROPRIATENESS	02.08.17
CERT. OF APPROP_REV-1	06.05.17
CERT. OF APPROP. REV-2	09.21.17

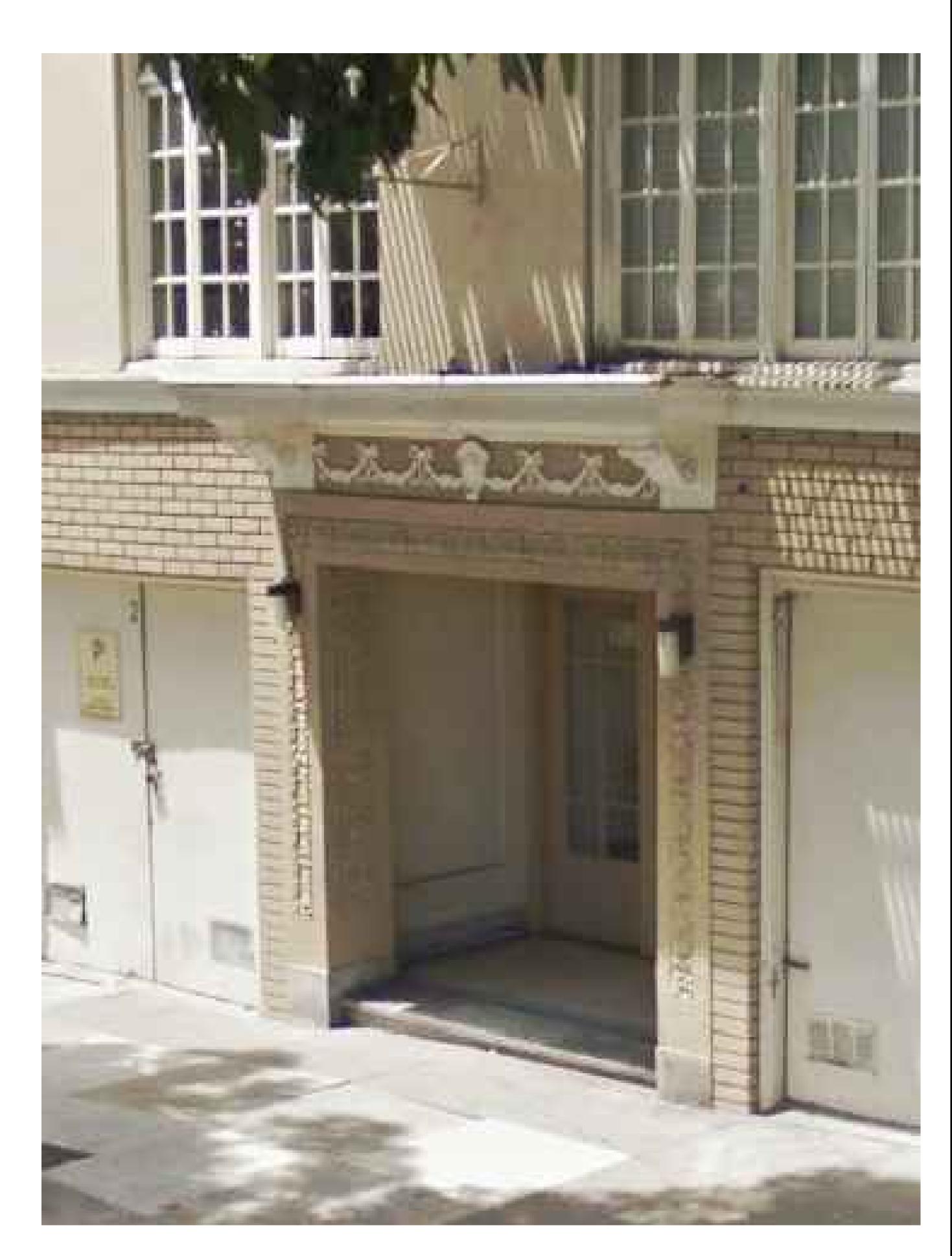
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DATE:	(09.21.17)
SHEET TITLE:	

EXISTING SITE PHOTOS

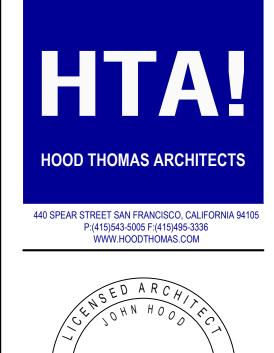
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651 SCOTT ST. San Francisco, CA 94117 Block: 1202 Lot: 001A

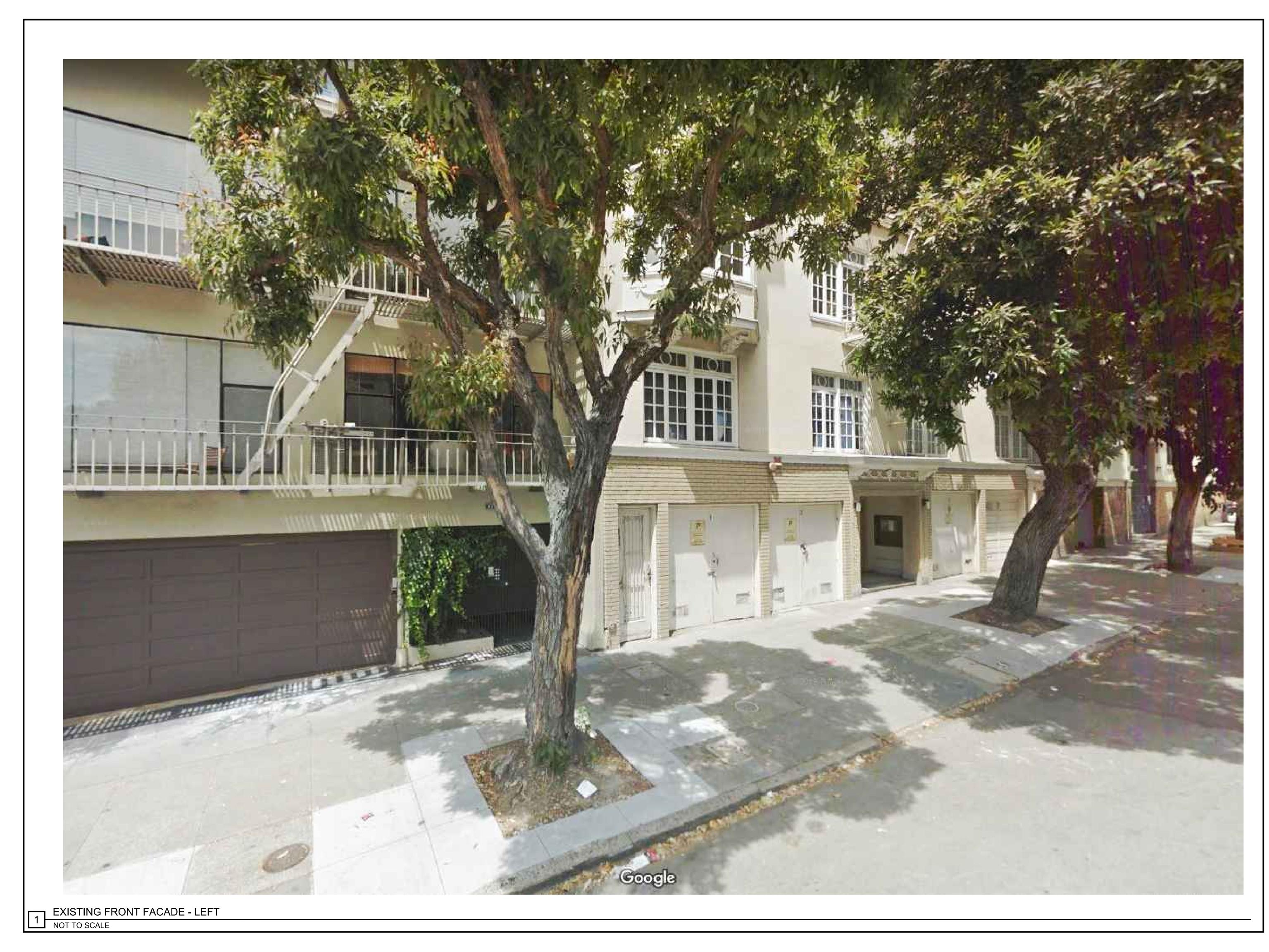
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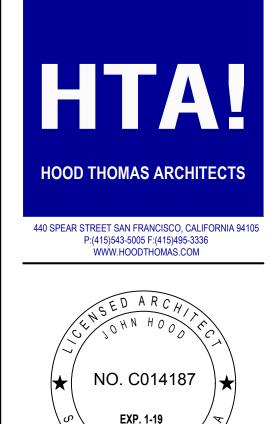
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SHEET NUMBER:







651 SCOTT ST. San Francisco, CA 94117 Block: 1202 Lot: 001A

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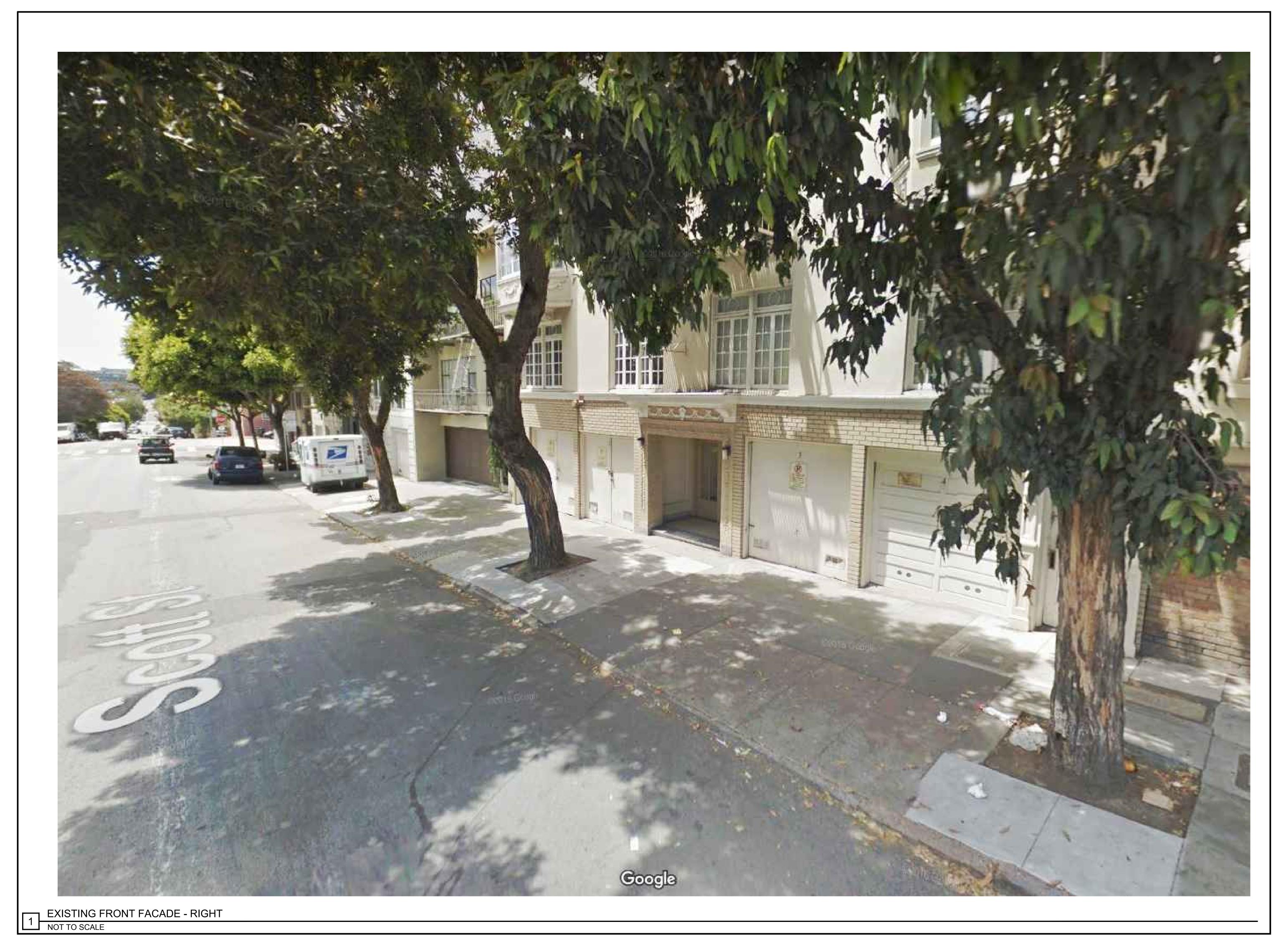
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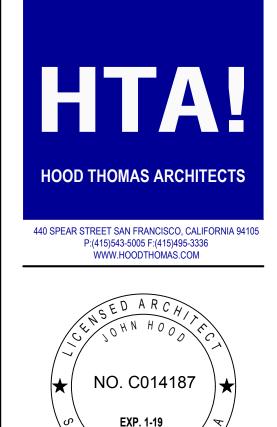
EXISTING SITE PHOTOS

SHEET NUMBER:



DATE:





651 SCOTT ST. San Francisco, CA 94117 Block: 1202 Lot: 001A

ISSUE:	DATE:
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SHEET NUMBER:

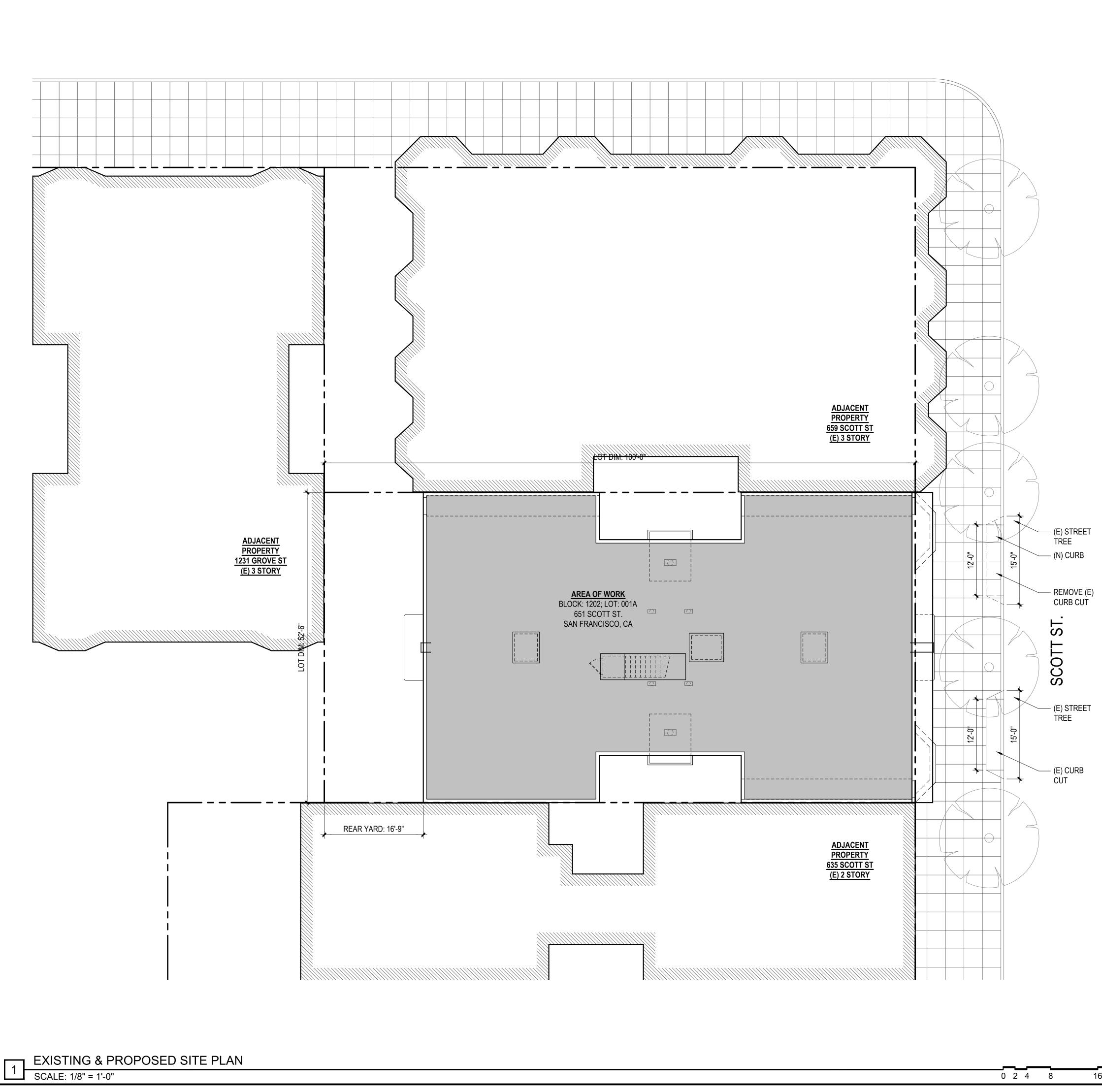






REV #: DATE:

EXISTING REAR FACADE



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KEYNOTES

DIVISION - GENERAL CONDITIONS1.1SEE GENERAL CONSTRUCTION NOTES 6-12 ON COVER SHEET FOR A0.0 GENERAL NOTES PERTAINING TO DEMOLITION. 1.2 SEE GENERAL NOTES ON SHEET A0.0 FOR MINIMUM STANDARDS FOR WORK PERFORMANCE. NOTE NOT ALL CONDITIONS LISTED APPLY TO THE SCOPE OF WORK INDICATED IN PLAN.

DIVISION 2 - EXISTING CONDITION2.1NOT USED

- 2.2 NOT USED.
- 2.3 NOT USED.
- 2.4 DEMO (E) NON-BEARING WALL AS SHOWN, TYP. 2.5 NOT USED.

DIVISION 8 - DOORS, WINDOWS & GLAZING 8.1 (E) SINGLE GLAZED WOOD WINDOW TO PROVIDE NATI IRAI

(E) SINGLE GLAZED WOOD WINDOW TO TROVIDE NATORAL
VENTILATION PER CBC 1203.4.1 & NATURAL LIGHT PER CBC 1205.2 8.2

	LIGHT / AIR REQUIRED BY CBC SEC 1205.2 & 1203.4.1		
	UNIT #1	UNIT #2	UNIT #3
LIVING AREA	394 SF	490 SF	521 SF
LIGHT 8%	31.52 SF	39.2 SF	41.68 SF
LIGHT PROV.	37.06 SF	58.33 SF	46.33 SF
AIR 4%	15.76 SF	19.6 SF	20.84 SF
AIR PROV.	37.06 SF	46.5 SF	40.5 SF
BEDROOM		123 SF	156 SF
LIGHT 8%		9.84 SF	12.48 SF
LIGHT PROV.		16.5 SF	33 SF
AIR 4%		4.92 SF	6.24 SF
AIR PROV.		8.25 SF	16.5 SF

8.2 EGRESS WINDOW PER CBC 1029.1 A. MIN. 5.7 S.F. NET CLEAR OPENING.

B. MIN. NET CLEAR HEIGHT: 24"

C. MIN. NET CLEAR WIDTH: 20:

D. BOTTOM OF CLEAR OPENING MAX. 44" A.F.F. 8.3 DOOR SHALL BE READILY OPENABLE FROM EGRESS SIDE WITHOUT USE OF KEY OR SPECIAL KNOWLEDGE OR EFFORD PER CBC 1008.1.9. DOOR TO MEET REQUIREMENTS OF CBC 1008.

DIVISION 9 - FINISHES

9.1 (N) HARDWOOD FLOORING.

- 9.2 (N) PAINTED GYP. BOARD WALL / CEILING, THROUGHOUT, TYPICAL. 9.3 PROVIDE FLOOR DRAIN FOR NEW DRYER.
- 9.4 DRYER TO BE VENTLESS WITH A DRAIN TO BE INSTALLED PER
- MANUFACTURERS SPECS.
- 9.5 ALL (N) LIGHTING TO COMPLY WITH CEC 150.0 (K).

K 1-6 KITCHEN REMODEL NOTES

- KITCHEN & BATH FAUCETS TO BE MAX. 2.2 G.P.M MEASURED AT 60 PSI. GAS RANGE WITH GAS SHUT-OFF VALVE IN APPROVED ACCESSIBLE LOCATION.
- (N) APPLIANCES TO BE INSTALLED PER MANUFACTURER
- INSTRUCTIONS. RANGE HOOD w/ WEATHERPROOF BACKDRAFT DAMPER, REMOTE EXHAUST FAN & DEDICATED CIRCUIT. TERMINATE VENT 3'-0" MIN. AWAY FROM PROPERTY LINE & BUILDING OPENINGS.
- KITCHEN SINK WITH GARBAGE DISPOSAL. PROVIDE REQUIRED AIR GAP AND PLUMBING. PROVIDE (N) CABINETRY, COUNTERTOPS THROUGHOUT.

B 1-9 BATHROOM REMODEL NOTES

- KITCHEN AND BATH FAUCETS TO BE MAX. 2.2 G.P.M MEASURED AT 60 PSI.
- WATER CLOSET PER CBC 2903 CENTERED WITHIN 30" WIDE CLEAR SPACE. TOILETS SHALL HAVE MAX. 1.6 GPF WATER CONSUMPTION.
- (N) TUB; LOCATE PLUMBING AS NEEDED. (N)TOILET; LOCATE PLUMBING AS NEEDED.
- (N) VANITY SINK; RELOCATE PLUMBING AS NEEDED.
- G.C. TO VERIFY OUTLET FOR GFI; IF NOT PROVIDE (N) GFI OUTLET AS NEEDED.
- G.C. TO VERIFY FOR SWITCH AND LIGHTS ARE IN WORKING ORDER; IF NOT G.C. TO REPAIR/REPLACE AS NEEDED.
- G.C. TO VERIFY FOR EXHAUST FAN IN WORKING ORDER; IF NOT G.C. TO REPAIT/REPLACE/PROVIDE AS NEEDED.
- PROVIDE NEW FINISHES AS NEEDED.

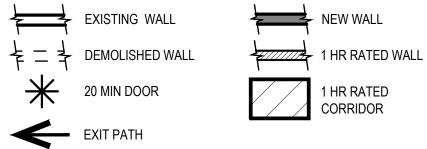
ELECTRICAL SYMBOL LEGEND SEE GENERAL NOTES ON SHEET A0.0 FOR MORE INFORMATION

GFI

- OUTLET WITH ARC FAULT INTERRUPTER
- DEDICATED OUTLET FOR ADJACENT APPLIANCE
- $\Phi_{\rm H}$ FLUORESCENT CEILING FIXTURE
- $\Phi_{\mathbf{G}}$ INCANDESCENT CEILING FIXTURE
- <u>\$</u>LIGHT SWITCH
- \$³ THREE WAY SWITCH
- LIGHT SWITCH WITH DIMMER CONTROL
- SA) SMOKE ALARM HARD-WIRED + ► BATTERY BACK-UP +
- S/C SMOKE/CARBON MONOXIDE INTER CONNECTED
- EXHAUST FAN, MIN. 5 AIR CHAINGES/HR

PLAN SYMBOL LEGEND

SEE GENERAL NOTES ON SHEET A0.0 FOR MORE INFORMATION





440 SPEAR STREET SAN FRANCISCO, CALIFORNIA 94105 P:(415)543-5005 F:(415)495-3336 WWW.HOODTHOMAS.COM

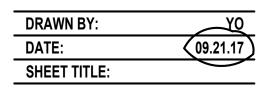


UNIT ADDITION

651 SCOTT ST. San Francisco, CA 94117

Block: 1202 Lot: 001A

ISSUE:	DATE:
CERT. OF APPROPRIATENESS	02.08.17
CERT. OF APPROP_REV-1	06.05.17
CERT. OF APPROP. REV-2	09.21.17



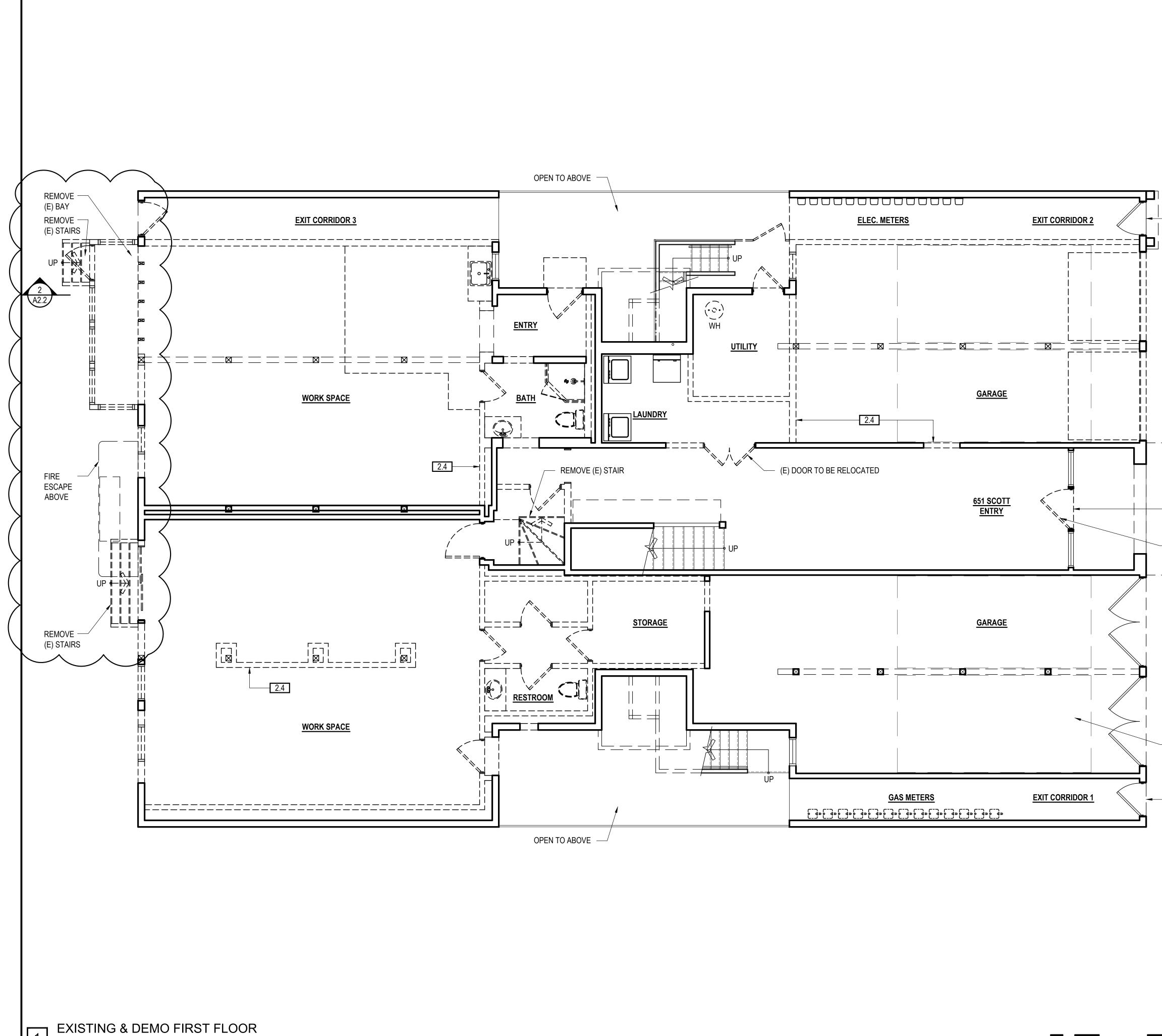
EXISTING & PROPOSED SITE PLAN

SHEET NUMBER:



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SCALE: 1/4" = 1'-0"

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8

KEYNOTES

DIVISION - GENERAL CONDITIONS

 SEE GENERAL CONSTRUCTION NOTES 6-12 ON COVER SHEET FOR A0.0 GENERAL NOTES PERTAINING TO DEMOLITION.
 SEE GENERAL NOTES ON SHEET A0.0 FOR MINIMUM STANDARDS FOR WORK PERFORMANCE. NOTE NOT ALL CONDITIONS LISTED APPLY TO THE SCOPE OF WORK INDICATED IN PLAN.

DIVISION 2 - EXISTING CONDITION 2.1 NOT USED

- 2.2 NOT USED.
- 2.3 NOT USED.
- 2.4 DEMO (E) NON-BEARING WALL AS SHOWN, TYP.2.5 NOT USED.

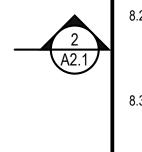
DIVISION 8 - DOORS, WINDOWS & GLAZING

8.1 (E) SINGLE GLAZED WOOD WINDOW TO PROVIDE NATURAL

VENTILATION PER CBC 1203.4.1 & NATURAL LIGHT PER CBC 1205.2 8.2

	LIGHT / AIR REQUIRED BY CBC SEC 1205.2 & 1203.4.1		
	UNIT #1	UNIT #2	UNIT #3
LIVING AREA	394 SF	490 SF	521 SF
LIGHT 8%	31.52 SF	39.2 SF	41.68 SF
LIGHT PROV.	37.06 SF	58.33 SF	46.33 SF
AIR 4%	15.76 SF	19.6 SF	20.84 SF
AIR PROV.	37.06 SF	46.5 SF	40.5 SF
BEDROOM		123 SF	156 SF
LIGHT 8%		9.84 SF	12.48 SF
LIGHT PROV.		(16.5 SF)	33 SF
AIR 4%		4.92 SF	6.24 SF
AIR PROV.		(8.25 SF)	(16.5 SF)

SECONDARY EXIT FROM UNITS ABOVE



PRIMARY EXIT FROM UNITS ABOVE

(E) DOOR TO SWITCH SWING DIRECTION WITHOUT LOCATION CHANGE, REVERSE AND REUSE (E) HINGES

(E) VEHICLE PARKING

SECONDARY EXIT FROM UNITS ABOVE

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16

- 8.2 EGRESS WINDOW PER CBC 1029.1 A. MIN. 5.7 S.F. NET CLEAR OPENING.
- B. MIN. NET CLEAR HEIGHT: 24" C. MIN. NET CLEAR WIDTH: 20:
- D. BOTTOM OF CLEAR OPENING MAX. 44" A.F.F.
- DOOR SHALL BE READILY OPENABLE FROM EGRESS SIDE WITHOUT USE OF KEY OR SPECIAL KNOWLEDGE OR EFFORD PER CBC 1008.1.9. DOOR TO MEET REQUIREMENTS OF CBC 1008.

DIVISION 9 - FINISHES

- 9.1 (N) HARDWOOD FLOORING.
 9.2 (N) PAINTED GYP. BOARD WALL / CEILING, THROUGHOUT, TYPICAL.
- 9.3 PROVIDE FLOOR DRAIN FOR NEW DRYER.9.4 DRYER TO BE VENTLESS WITH A DRAIN TO BE INSTALLED PER
- MANUFACTURERS SPECS. 9.5 ALL (N) LIGHTING TO COMPLY WITH CEC 150.0 (K).

K 1-6 KITCHEN REMODEL NOTES

- KITCHEN & BATH FAUCETS TO BE MAX. 2.2 G.P.M MEASURED AT 60 PSI.
 GAS RANGE WITH GAS SHUT-OFF VALVE IN APPROVED
- ACCESSIBLE LOCATION. (N) APPLIANCES TO BE INSTALLED PER MANUFACTURER INSTRUCTIONS.
- 4. RANGE HOOD w/ WEATHERPROOF BACKDRAFT DAMPER, REMOTE EXHAUST FAN & DEDICATED CIRCUIT. TERMINATE VENT 3'-0" MIN. AWAY FROM PROPERTY LINE & BUILDING OPENINGS.
- . KITCHEN SINK WITH GARBAGE DISPOSAL. PROVIDE REQUIRED AIR GAP AND PLUMBING.
- 6. PROVIDE (N) CABINETRY, COUNTERTOPS THROUGHOUT.

B 1-9 BATHROOM REMODEL NOTES

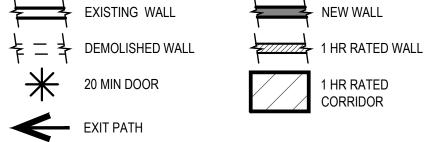
- KITCHEN AND BATH FAUCETS TO BE MAX. 2.2 G.P.M MEASURED AT 60 PSI.
- WATER CLOSET PER CBC 2903 CENTERED WITHIN 30" WIDE CLEAR SPACE. TOILETS SHALL HAVE MAX. 1.6 GPF WATER CONSUMPTION.
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- (N) TUB; LOCATE PLUMBING AS NEEDED.
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- TO REPAIT/REPLACE/PROVIDE AS NEEDED. 9. PROVIDE NEW FINISHES AS NEEDED.

ELECTRICAL SYMBOL LEGEND SEE GENERAL NOTES ON SHEET A0.0 FOR MORE INFORMATION

- GFI OUTLET WITH GROUND FAULT INTERRUPTER
- AFI AFI OUTLET WITH ARC FAULT INTERRUPTER
- DEDICATED OUTLET FOR ADJACENT APPLIANCE
- $\Phi_{\rm H}$ FLUORESCENT CEILING FIXTURE
- Φ_{c} INCANDESCENT CEILING FIXTURE
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- \$³ THREE WAY SWITCH
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- (SA) SMOKE ALARM HARD-WIRED +
- S/C SMOKE/CARBON MONOXIDE BATTERY BACK-UP + DUAL ALARM INTER CONNECTED
- EXHAUST FAN, MIN. 5 AIR CHAINGES/HR

PLAN SYMBOL LEGEND

SEE GENERAL NOTES ON SHEET A0.0 FOR MORE INFORMATION



HTAI HOOD THOMAS ARCHITECTS





UNIT ADDITION

651 SCOTT ST. San Francisco, CA 94117

Block: 1202 Lot: 001A

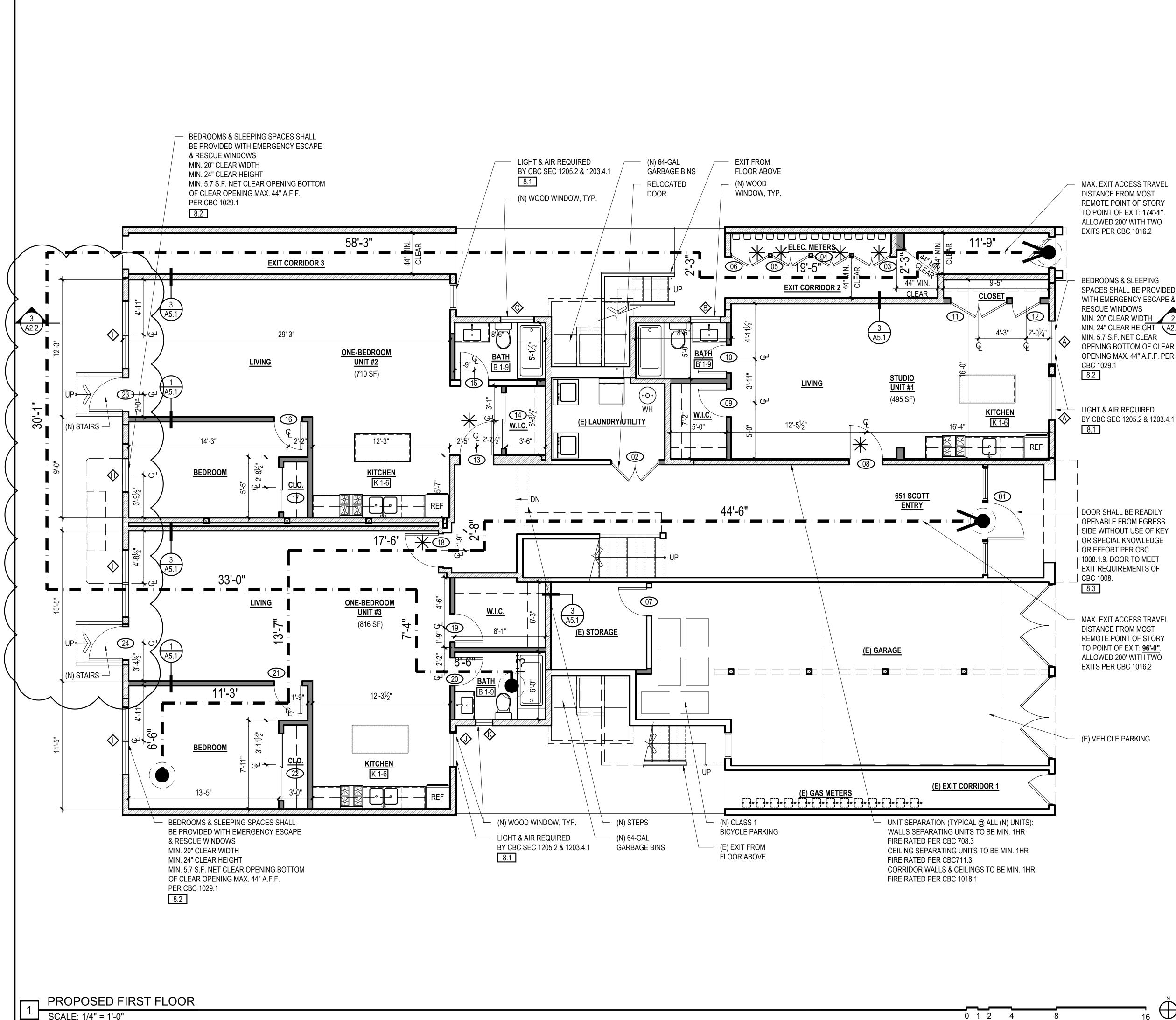
ISSUE:	DATE:
CERT. OF APPROPRIATENESS	02.08.17
CERT. OF APPROP_REV-1	06.05.17
CERT. OF APPROP. REV-2	09.21.17

DRAWN BY:	YO
DATE:	(09.21.17
SHEET TITLE:	\bigcirc

EXISTING & DEMO FIRST FLOOR PLAN

SHEET NUMBER:





DIVISION - GENERAL CONDITIONS

1.1 SEE GENERAL CONSTRUCTION NOTES 6-12 ON COVER SHEET FOR A0.0 GENERAL NOTES PERTAINING TO DEMOLITION. 1.2 SEE GENERAL NOTES ON SHEET A0.0 FOR MINIMUM STANDARDS FOR WORK PERFORMANCE. NOTE NOT ALL CONDITIONS LISTED APPLY TO THE SCOPE OF WORK INDICATED IN PLAN.

DIVISION 2 - EXISTING CONDITION

- 2.1 NOT USED 2.2 NOT USED.
- 2.3 NOT USED.
- 2.4 DEMO (E) NON-BEARING WALL AS SHOWN, TYP. 2.5 NOT USED.

DIVISION 8 - DOORS, WINDOWS & GLAZING 8.1 (E) SINGLE GLAZED WOOD WINDOW TO PROVIDE NATURAL

(L) SINGLE GLAZED WOOD WINDOW TO FROM DE NATORAL	
VENTILATION PER CBC 1203.4.1 & NATURAL LIGHT PER CBC 1205.2 8.2	

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- 8.2 EGRESS WINDOW PER CBC 1029.1
 - A. MIN. 5.7 S.F. NET CLEAR OPENING. B. MIN. NET CLEAR HEIGHT: 24"
 - C. MIN. NET CLEAR WIDTH: 20:
 - D. BOTTOM OF CLEAR OPENING MAX. 44" A.F.F.
- DOOR SHALL BE READILY OPENABLE FROM EGRESS SIDE WITHOUT USE OF KEY OR SPECIAL KNOWLEDGE OR EFFORD PER CBC 1008.1.9. DOOR TO MEET REQUIREMENTS OF CBC 1008.

DIVISION 9 - FINISHES

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- KITCHEN & BATH FAUCETS TO BE MAX. 2.2 G.P.M MEASURED AT 60 PSI. GAS RANGE WITH GAS SHUT-OFF VALVE IN APPROVED ACCESSIBLE LOCATION.
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- RANGE HOOD w/ WEATHERPROOF BACKDRAFT DAMPER, REMOTE EXHAUST FAN & DEDICATED CIRCUIT. TERMINATE VENT 3'-0" MIN. AWAY FROM PROPERTY LINE & BUILDING OPENINGS.
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- 9. PROVIDE NEW FINISHES AS NEEDED.

ELECTRICAL SYMBOL LEGEND

SEE GENERAL NOTES ON SHEET A0.0 FOR MORE INFORMATION

- OUTLET WITH GROUND FAULT INTERRUPTER
- OUTLET WITH ARC FAULT INTERRUPTER
- DEDICATED OUTLET FOR ADJACENT APPLIANCE
- $\Phi_{\rm L}$ FLUORESCENT CEILING FIXTURE
- Φ_{c} INCANDESCENT CEILING FIXTURE
- <u><u>\$</u> LIGHT SWITCH</u>
- **5**³ THREE WAY SWITCH
- LIGHT SWITCH WITH DIMMER CONTROL
- (SA) SMOKE ALARM

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DUAL ALARM

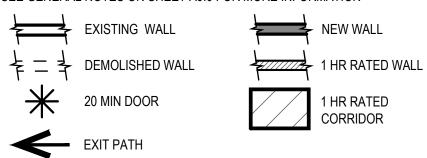
BATTERY BACK-UP + S/C SMOKE/CARBON MONOXIDE INTER CONNECTED

HARD-WIRED +

EXHAUST FAN, MIN. 5 AIR CHAINGES/HR

PLAN SYMBOL LEGEND

SEE GENERAL NOTES ON SHEET A0.0 FOR MORE INFORMATION



HTA! HOOD THOMAS ARCHITECTS





UNIT ADDITION

651 SCOTT ST. San Francisco, CA 94117

Block: 1202 Lot: 001A

ISSUE:	DATE:
CERT. OF APPROPRIATENESS	02 08 17
CERT_OF APPROP_REV-1	06.05.17
CERT. OF APPROP. REV-2	09.21.17
	00.21.11

DRAWN BY:	YO
DATE:	(09.21.17)
SHEET TITLE:	\bigcirc

PROPOSED FIRST **FLOOR PLAN**

SHEET NUMBER:



MAX. EXIT ACCESS TRAVEL

DISTANCE FROM MOST

REMOTE POINT OF STORY

TO POINT OF EXIT: 174'-1" ALLOWED 200' WITH TWO EXITS PER CBC 1016.2

BEDROOMS & SLEEPING

RESCUE WINDOWS

CBC 1029.1

8.2

8.1

MIN. 20" CLEAR WIDTH

MIN. 5.7 S.F. NET CLEAR

LIGHT & AIR REQUIRED

DOOR SHALL BE READILY

OPENABLE FROM EGRESS

OR SPECIAL KNOWLEDGE

1008.1.9. DOOR TO MEET

EXIT REQUIREMENTS OF

MAX. EXIT ACCESS TRAVEL

REMOTE POINT OF STORY

TO POINT OF EXIT: 96'-0".

ALLOWED 200' WITH TWO

EXITS PER CBC 1016.2

DISTANCE FROM MOST

OR EFFORT PER CBC

| CBC 1008.

8.3

SIDE WITHOUT USE OF KEY

SPACES SHALL BE PROVIDED

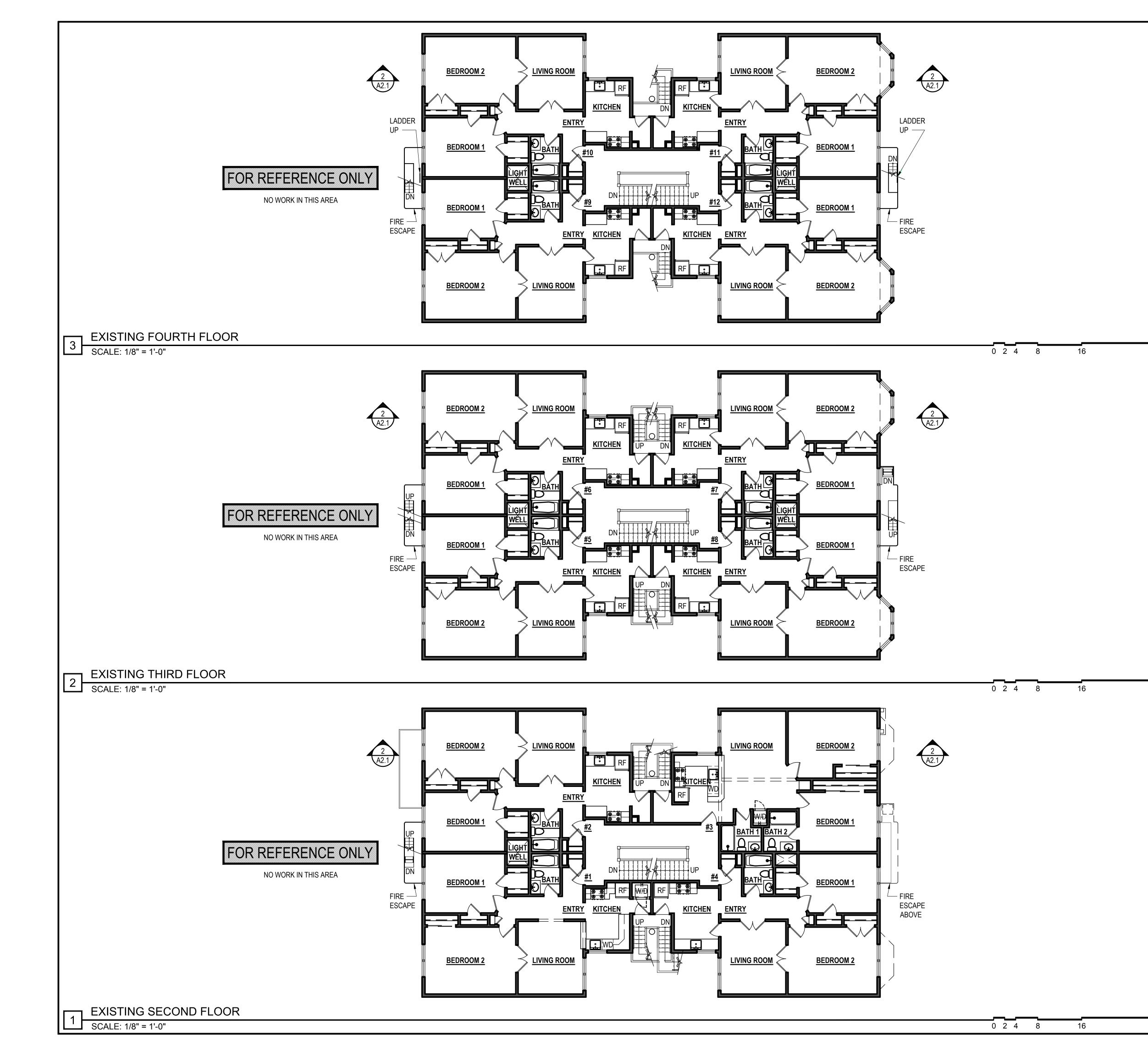
WITH EMERGENCY ESCAPE &

MIN. 24" CLEAR HEIGHT A2.2

OPENING BOTTOM OF CLEAR

OPENING MAX. 44" A.F.F. PER

(E) VEHICLE PARKING



DIVISION - GENERAL CONDITIONS1.1SEE GENERAL CONSTRUCTION NOTES 6-12 ON COVER SHEET FOR A0.0 GENERAL NOTES PERTAINING TO DEMOLITION. 1.2 SEE GENERAL NOTES ON SHEET A0.0 FOR MINIMUM STANDARDS FOR WORK PERFORMANCE. NOTE NOT ALL CONDITIONS LISTED APPLY TO THE SCOPE OF WORK INDICATED IN PLAN.

DIVISION 2 - EXISTING CONDITION 2.1 NOT USED

- 2.2 NOT USED.
- 2.3 NOT USED.
- 2.4 DEMO (E) NON-BEARING WALL AS SHOWN, TYP. 2.5 NOT USED.

DIVISION 8 - DOORS, WINDOWS & GLAZING

8.1 (E) SINGLE GLAZED WOOD WINDOW TO PROVIDE NATURAL VENTILATION PER CBC 1203.4.1 & NATURAL LIGHT PER CBC 1205.2 8.2

	LIGHT / AIR REQUIRED BY CBC SEC 1205.2 & 1203.4.1		
	UNIT #1	UNIT #2	UNIT #3
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- 8.2 EGRESS WINDOW PER CBC 1029.1
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- C. MIN. NET CLEAR WIDTH: 20:
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DIVISION 9 - FINISHES

- (N) HARDWOOD FLOORING. 9.1 9.2 (N) PAINTED GYP. BOARD WALL / CEILING, THROUGHOUT, TYPICAL.
- 9.3 PROVIDE FLOOR DRAIN FOR NEW DRYER.
- 9.4 DRYER TO BE VENTLESS WITH A DRAIN TO BE INSTALLED PER
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K 1-6 KITCHEN REMODEL NOTES

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- AND PLUMBING. PROVIDE (N) CABINETRY, COUNTERTOPS THROUGHOUT.

B 1-9 BATHROOM REMODEL NOTES

- KITCHEN AND BATH FAUCETS TO BE MAX. 2.2 G.P.M MEASURED AT 60 PSI
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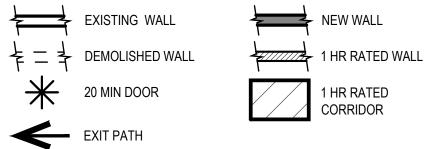
ELECTRICAL SYMBOL LEGEND SEE GENERAL NOTES ON SHEET A0.0 FOR MORE INFORMATION

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- OUTLET WITH ARC FAULT INTERRUPTER
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PLAN SYMBOL LEGEND

SEE GENERAL NOTES ON SHEET A0.0 FOR MORE INFORMATION

HARD-WIRED +





440 SPEAR STREET SAN FRANCISCO, CALIFORNIA 94105 P:(415)543-5005 F:(415)495-3336 WWW.HOODTHOMAS.COM

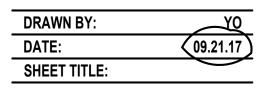


UNIT ADDITION

651 SCOTT ST. San Francisco, CA 94117

Block: 1202 Lot: 001A

ISSUE:	DATE:
CERT. OF APPROPRIATENESS	02.08.17
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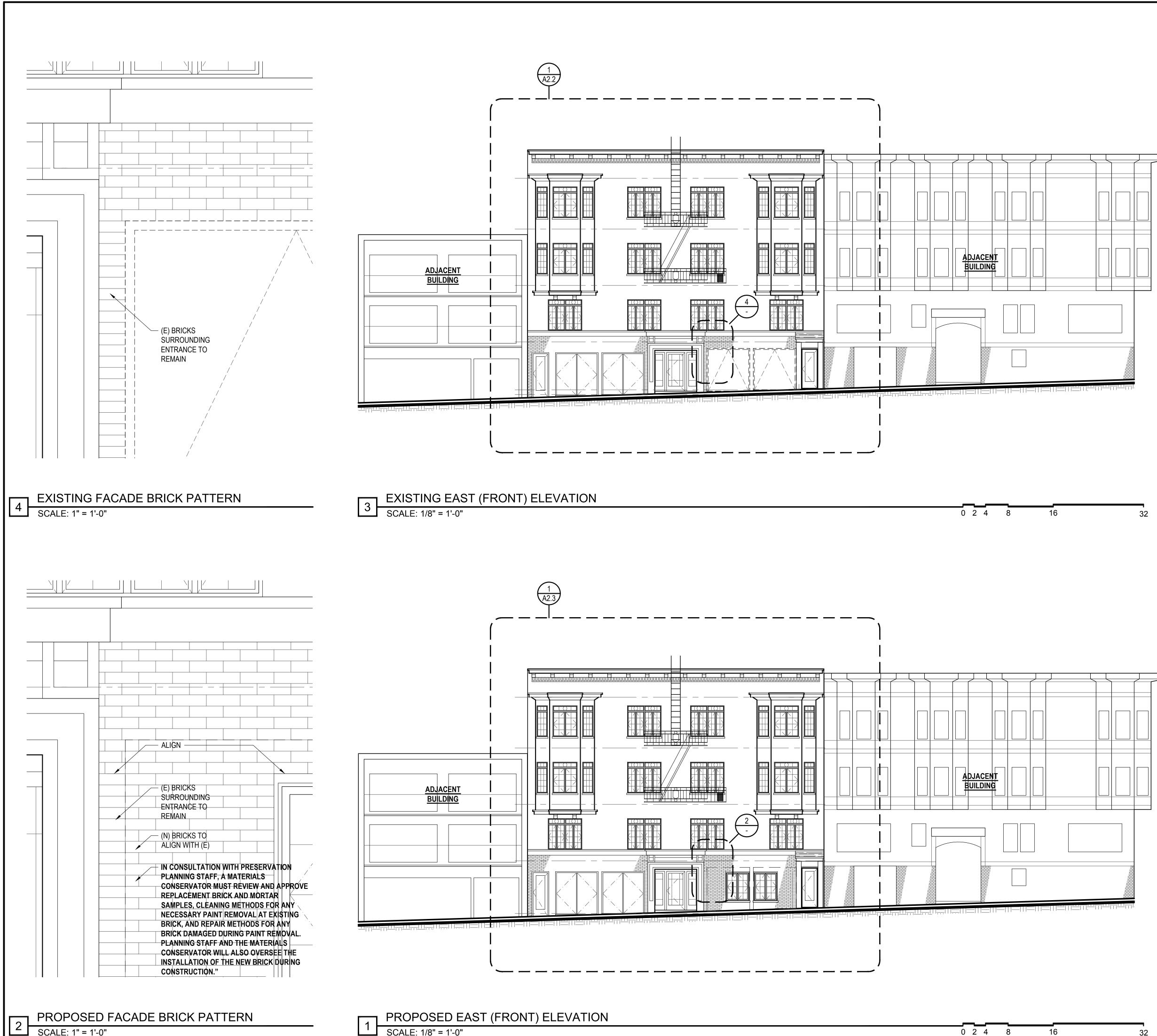


SHEET NUMBER:



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DIVISION - GENERAL CONDITIONS1.1SEE GENERAL CONSTRUCTION NOTES 6-12 ON COVER SHEET FOR A0.0 GENERAL NOTES PERTAINING TO DEMOLITION. 1.2 SEE GENERAL NOTES ON SHEET A0.0 FOR MINIMUM STANDARDS FOR WORK PERFORMANCE. NOTE NOT ALL CONDITIONS LISTED APPLY TO THE SCOPE OF WORK INDICATED IN PLAN.

DIVISION 2 - EXISTING CONDITION

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() = = =		 -
VENTILATION PER	°RC 1203 / 1 & N	R CRC 1205 2 8 2
	DO 1200.4.1 Q IV	

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- 8.2 EGRESS WINDOW PER CBC 1029.1 A. MIN. 5.7 S.F. NET CLEAR OPENING.
 - B. MIN. NET CLEAR HEIGHT: 24"

DIVISION 9 - FINISHES

9.1 (N) HARDWOOD FLOORING.

MANUFACTURERS SPECS.

C. MIN. NET CLEAR WIDTH: 20:

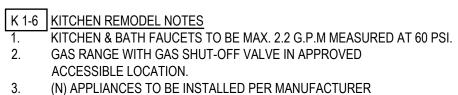
9.3 PROVIDE FLOOR DRAIN FOR NEW DRYER.

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D. BOTTOM OF CLEAR OPENING MAX. 44" A.F.F. 8.3 DOOR SHALL BE READILY OPENABLE FROM EGRESS SIDE WITHOUT USE OF KEY OR SPECIAL KNOWLEDGE OR EFFORD PER CBC 1008.1.9. DOOR TO MEET REQUIREMENTS OF CBC 1008.

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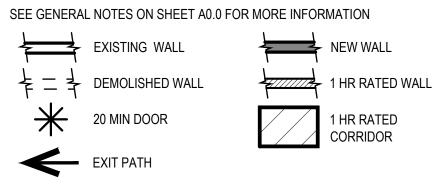
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- \$³ THREE WAY SWITCH
- LIGHT SWITCH WITH DIMMER CONTROL
- SA) SMOKE ALARM
- S/C SMOKE/CARBON MONOXIDE
- EXHAUST FAN, MIN. 5 AIR CHAINGES/HR

PLAN SYMBOL LEGEND



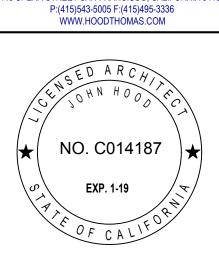
HARD-WIRED +

BATTERY BACK-UP +

INTER CONNECTED

HTA! HOOD THOMAS ARCHITECTS

440 SPEAR STREET SAN FRANCISCO, CALIFORNIA 94105

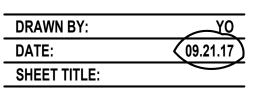


UNIT ADDITION

651 SCOTT ST. San Francisco, CA 94117

Block: 1202 Lot: 001A

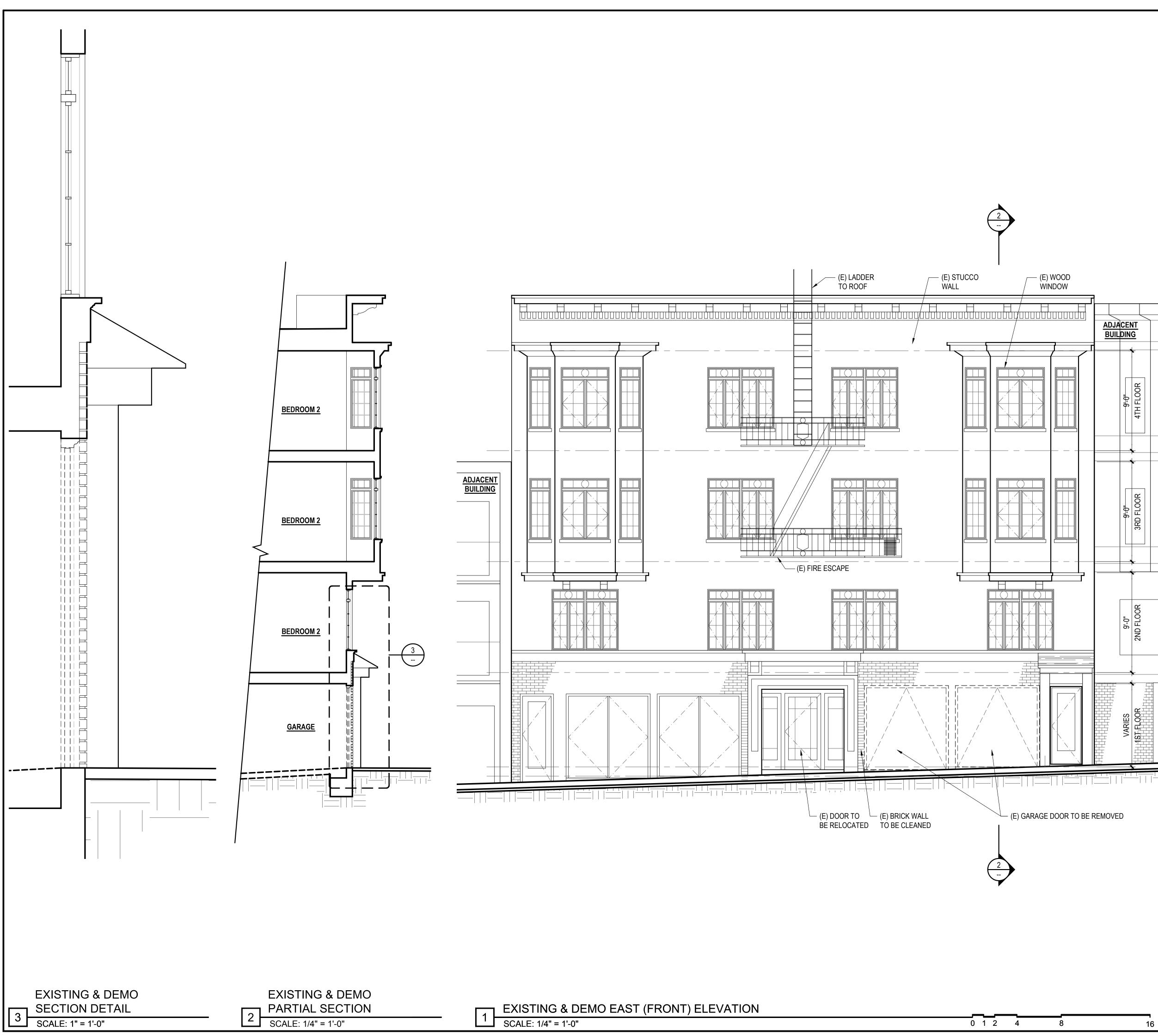
ISSUE:	DATE:
CERT. OF APPROPRIATENESS	02.08.17
CERT. OF APPROP_REV-1	06.05.17
CERT. OF APPROP. REV-2	09.21.17
CERT. OF APPROP. REV-2	09.21.17



EXISTING & PROPOSED EAST (FRONT) ELEVATION

SHEET NUMBER:





- DIVISION GENERAL CONDITIONS1.1SEE GENERAL CONSTRUCTION NOTES 6-12 ON COVER SHEET FOR A0.0 GENERAL NOTES PERTAINING TO DEMOLITION. 1.2 SEE GENERAL NOTES ON SHEET A0.0 FOR MINIMUM STANDARDS FOR WORK PERFORMANCE. NOTE NOT ALL CONDITIONS LISTED APPLY TO THE SCOPE OF WORK INDICATED IN PLAN.

DIVISION 2 - EXISTING CONDITION 2.1 NOT USED

- 2.2 NOT USED.
- 2.3 NOT USED.
- 2.4 DEMO (E) NON-BEARING WALL AS SHOWN, TYP. 2.5 NOT USED.

DIVISION 8 - DOORS, WINDOWS & GLAZING 8.1 (E) SINGLE GLAZED WOOD WINDOW TO PROVIDE NATURAL

VENTILATION PER CBC 1203.4.1 & NATURAL LIGHT PER CBC 1205.2 8.2

	LIGHT / AIR REQUIRED BY CBC SEC 1205.2 & 1203.4.1		
	UNIT #1	UNIT #2	UNIT #3
LIVING AREA	394 SF	490 SF	521 SF
LIGHT 8%	31.52 SF	39.2 SF	41.68 SF
LIGHT PROV.	37.06 SF	58.33 SF	46.33 SF
AIR 4%	15.76 SF	19.6 SF	20.84 SF
AIR PROV.	37.06 SF	46.5 SF	40.5 SF
BEDROOM		123 SF	156 SF
LIGHT 8%		9.84 SF	12.48 SF
LIGHT PROV.		(16.5 SF)	33 SF
AIR 4%		4.92 SF	6.24 SF
AIR PROV.		8.25 SF	16.5 SF

- 8.2 EGRESS WINDOW PER CBC 1029.1
 - A. MIN. 5.7 S.F. NET CLEAR OPENING. B. MIN. NET CLEAR HEIGHT: 24"
 - C. MIN. NET CLEAR WIDTH: 20:
- D. BOTTOM OF CLEAR OPENING MAX. 44" A.F.F.
- 8.3 DOOR SHALL BE READILY OPENABLE FROM EGRESS SIDE WITHOUT USE OF KEY OR SPECIAL KNOWLEDGE OR EFFORD PER CBC 1008.1.9. DOOR TO MEET REQUIREMENTS OF CBC 1008.

DIVISION 9 - FINISHES

- 9.1 (N) HARDWOOD FLOORING. 9.2 (N) PAINTED GYP. BOARD WALL / CEILING, THROUGHOUT, TYPICAL. 9.3 PROVIDE FLOOR DRAIN FOR NEW DRYER.
- 9.4 DRYER TO BE VENTLESS WITH A DRAIN TO BE INSTALLED PER MANUFACTURERS SPECS.
- 9.5 ALL (N) LIGHTING TO COMPLY WITH CEC 150.0 (K).

K 1-6 KITCHEN REMODEL NOTES

- KITCHEN & BATH FAUCETS TO BE MAX. 2.2 G.P.M MEASURED AT 60 PSI. GAS RANGE WITH GAS SHUT-OFF VALVE IN APPROVED ACCESSIBLE LOCATION.
- (N) APPLIANCES TO BE INSTALLED PER MANUFACTURER INSTRUCTIONS.
- RANGE HOOD w/ WEATHERPROOF BACKDRAFT DAMPER, REMOTE EXHAUST FAN & DEDICATED CIRCUIT. TERMINATE VENT 3'-0" MIN. AWAY FROM PROPERTY LINE & BUILDING OPENINGS. KITCHEN SINK WITH GARBAGE DISPOSAL. PROVIDE REQUIRED AIR GAP
- AND PLUMBING. PROVIDE (N) CABINETRY, COUNTERTOPS THROUGHOUT.

B 1-9 BATHROOM REMODEL NOTES

- KITCHEN AND BATH FAUCETS TO BE MAX. 2.2 G.P.M MEASURED AT 60 PSI.
- WATER CLOSET PER CBC 2903 CENTERED WITHIN 30" WIDE CLEAR SPACE. TOILETS SHALL HAVE MAX. 1.6 GPF WATER CONSUMPTION. (N) TUB; LOCATE PLUMBING AS NEEDED.
- (N)TOILET; LOCATE PLUMBING AS NEEDED.
- (N) VANITY SINK; RELOCATE PLUMBING AS NEEDED.
- G.C. TO VERIFY OUTLET FOR GFI; IF NOT PROVIDE (N) GFI OUTLET AS 6. NEEDED. G.C. TO VERIFY FOR SWITCH AND LIGHTS ARE IN WORKING ORDER; IF
- NOT G.C. TO REPAIR/REPLACE AS NEEDED. G.C. TO VERIFY FOR EXHAUST FAN IN WORKING ORDER; IF NOT G.C.
- TO REPAIT/REPLACE/PROVIDE AS NEEDED. 9. PROVIDE NEW FINISHES AS NEEDED.

ELECTRICAL SYMBOL LEGEND

SEE GENERAL NOTES ON SHEET A0.0 FOR MORE INFORMATION

- OUTLET WITH ARC FAULT INTERRUPTER
- DEDICATED OUTLET FOR ADJACENT APPLIANCE
- $\Phi_{\rm H}$ FLUORESCENT CEILING FIXTURE
- $\Phi_{\mathbf{G}}$ INCANDESCENT CEILING FIXTURE
- LIGHT SWITCH
- **\$**³ THREE WAY SWITCH
- LIGHT SWITCH WITH DIMMER CONTROL
- SA) SMOKE ALARM
- S/C SMOKE/CARBON MONOXIDE
- EXHAUST FAN, MIN. 5 AIR CHAINGES/HR

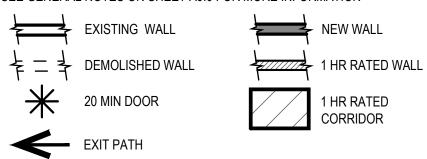
PLAN SYMBOL LEGEND

SEE GENERAL NOTES ON SHEET A0.0 FOR MORE INFORMATION

HARD-WIRED +

► BATTERY BACK-UP +

INTER CONNECTED





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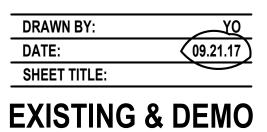


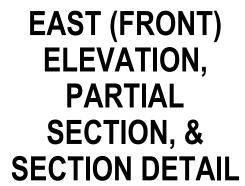
UNIT ADDITION

651 SCOTT ST. San Francisco, CA 94117

Block: 1202 Lot: 001A

ISSUE:	DATE:
CERT. OF APPROPRIATENESS	02.08.17
CERT. OF APPROP_REV-1	06.05.17
CERT. OF APPROP. REV-2	09.21.17

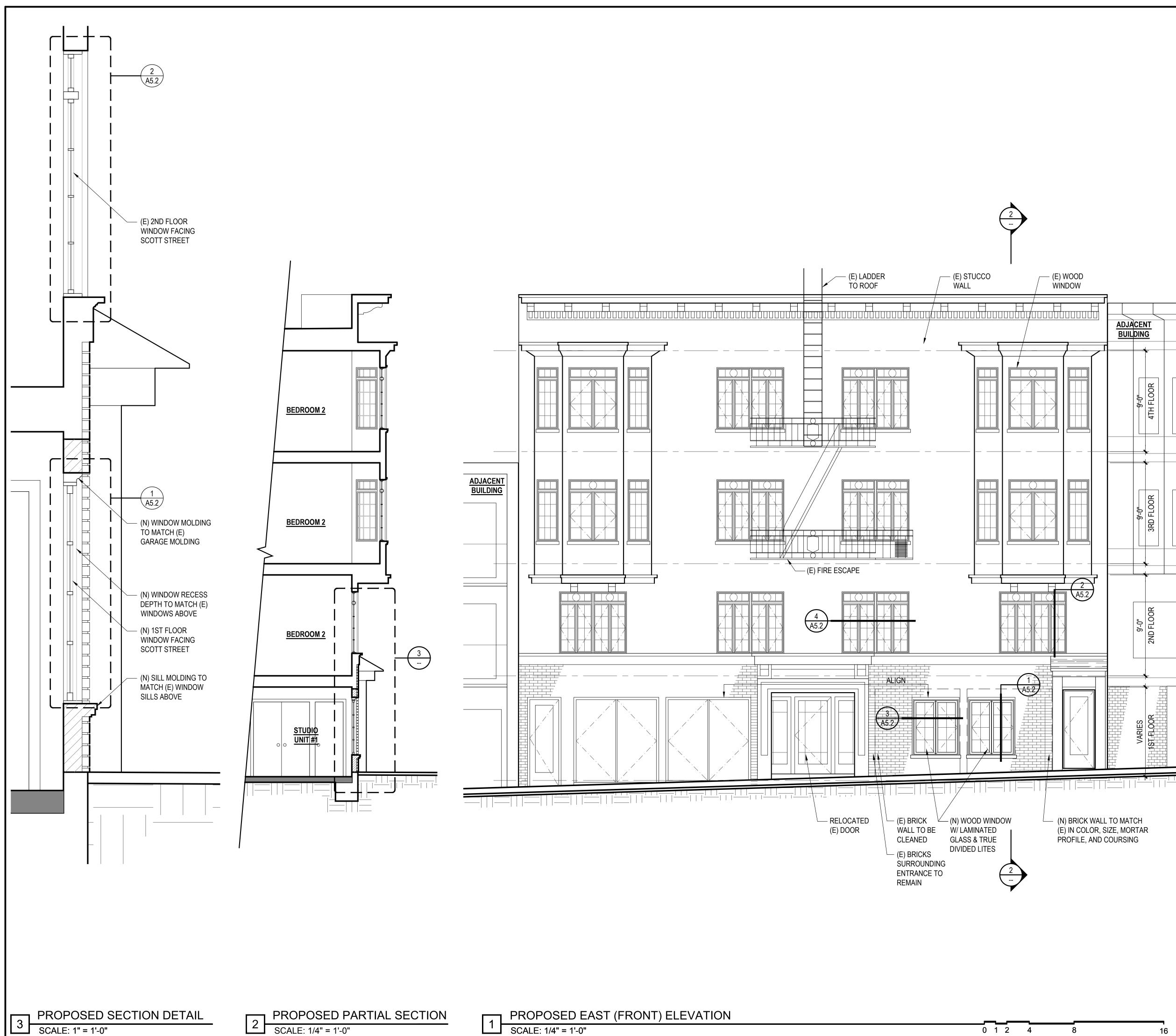




SHEET NUMBER:



DATE:



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DIVISION 2 - EXISTING CONDITION 2.1 NOT USED

- 2.2 NOT USED.
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- 2.4 DEMO (E) NON-BEARING WALL AS SHOWN, TYP. 2.5 NOT USED.

DIVISION 8 - DOORS, WINDOWS & GLAZING 8.1 (E) SINGLE GLAZED WOOD WINDOW TO PROVIDE NATURAL

VENTILATION PER CBC 1203.4.1 & NATURAL LIGHT PER CBC 1205.2 8.2	

	LIGHT / AIR REQUIRED BY CBC SEC 1205.2 & 1203.4.1		
	UNIT #1	UNIT #2	UNIT #3
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- 8.2 EGRESS WINDOW PER CBC 1029.1
 - A. MIN. 5.7 S.F. NET CLEAR OPENING. B. MIN. NET CLEAR HEIGHT: 24"
- C. MIN. NET CLEAR WIDTH: 20:
- D. BOTTOM OF CLEAR OPENING MAX. 44" A.F.F.
- 8.3 DOOR SHALL BE READILY OPENABLE FROM EGRESS SIDE WITHOUT USE OF KEY OR SPECIAL KNOWLEDGE OR EFFORD PER CBC 1008.1.9. DOOR TO MEET REQUIREMENTS OF CBC 1008.

DIVISION 9 - FINISHES

- 9.1 (N) HARDWOOD FLOORING. 9.2 (N) PAINTED GYP. BOARD WALL / CEILING, THROUGHOUT, TYPICAL. 9.3 PROVIDE FLOOR DRAIN FOR NEW DRYER.
- 9.4 DRYER TO BE VENTLESS WITH A DRAIN TO BE INSTALLED PER MANUFACTURERS SPECS.
- 9.5 ALL (N) LIGHTING TO COMPLY WITH CEC 150.0 (K).

K 1-6 KITCHEN REMODEL NOTES

- KITCHEN & BATH FAUCETS TO BE MAX. 2.2 G.P.M MEASURED AT 60 PSI. GAS RANGE WITH GAS SHUT-OFF VALVE IN APPROVED ACCESSIBLE LOCATION.
- (N) APPLIANCES TO BE INSTALLED PER MANUFACTURER INSTRUCTIONS.
- RANGE HOOD w/ WEATHERPROOF BACKDRAFT DAMPER, REMOTE EXHAUST FAN & DEDICATED CIRCUIT. TERMINATE VENT 3'-0" MIN. AWAY FROM PROPERTY LINE & BUILDING OPENINGS. KITCHEN SINK WITH GARBAGE DISPOSAL. PROVIDE REQUIRED AIR GAP
- AND PLUMBING. PROVIDE (N) CABINETRY, COUNTERTOPS THROUGHOUT.

B 1-9 BATHROOM REMODEL NOTES

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- WATER CLOSET PER CBC 2903 CENTERED WITHIN 30" WIDE CLEAR SPACE. TOILETS SHALL HAVE MAX. 1.6 GPF WATER CONSUMPTION. (N) TUB; LOCATE PLUMBING AS NEEDED.
- (N)TOILET; LOCATE PLUMBING AS NEEDED.
- (N) VANITY SINK; RELOCATE PLUMBING AS NEEDED.
- G.C. TO VERIFY OUTLET FOR GFI; IF NOT PROVIDE (N) GFI OUTLET AS 6. NEEDED. G.C. TO VERIFY FOR SWITCH AND LIGHTS ARE IN WORKING ORDER; IF
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- TO REPAIT/REPLACE/PROVIDE AS NEEDED. 9. PROVIDE NEW FINISHES AS NEEDED.

ELECTRICAL SYMBOL LEGEND

SEE GENERAL NOTES ON SHEET A0.0 FOR MORE INFORMATION

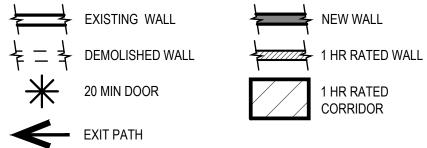
- OUTLET WITH GROUND FAULT INTERRUPTER
- OUTLET WITH ARC FAULT INTERRUPTER
- DEDICATED OUTLET FOR ADJACENT APPLIANCE
- $\Phi_{\rm H}$ FLUORESCENT CEILING FIXTURE
- $\Phi_{\mathbf{G}}$ INCANDESCENT CEILING FIXTURE
- \$ LIGHT SWITCH
- \$³ THREE WAY SWITCH
- LIGHT SWITCH WITH DIMMER CONTROL
- SA SMOKE ALARM
- ► BATTERY BACK-UP + S/C SMOKE/CARBON MONOXIDE INTER CONNECTED
- EXHAUST FAN, MIN. 5 AIR CHAINGES/HR

PLAN SYMBOL LEGEND



HARD-WIRED +

1 HR RATED





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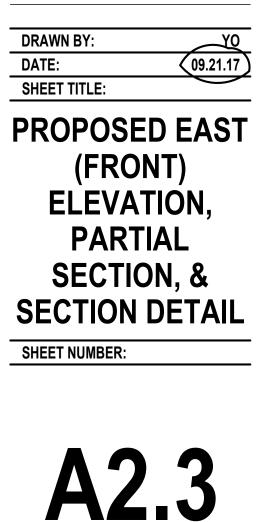


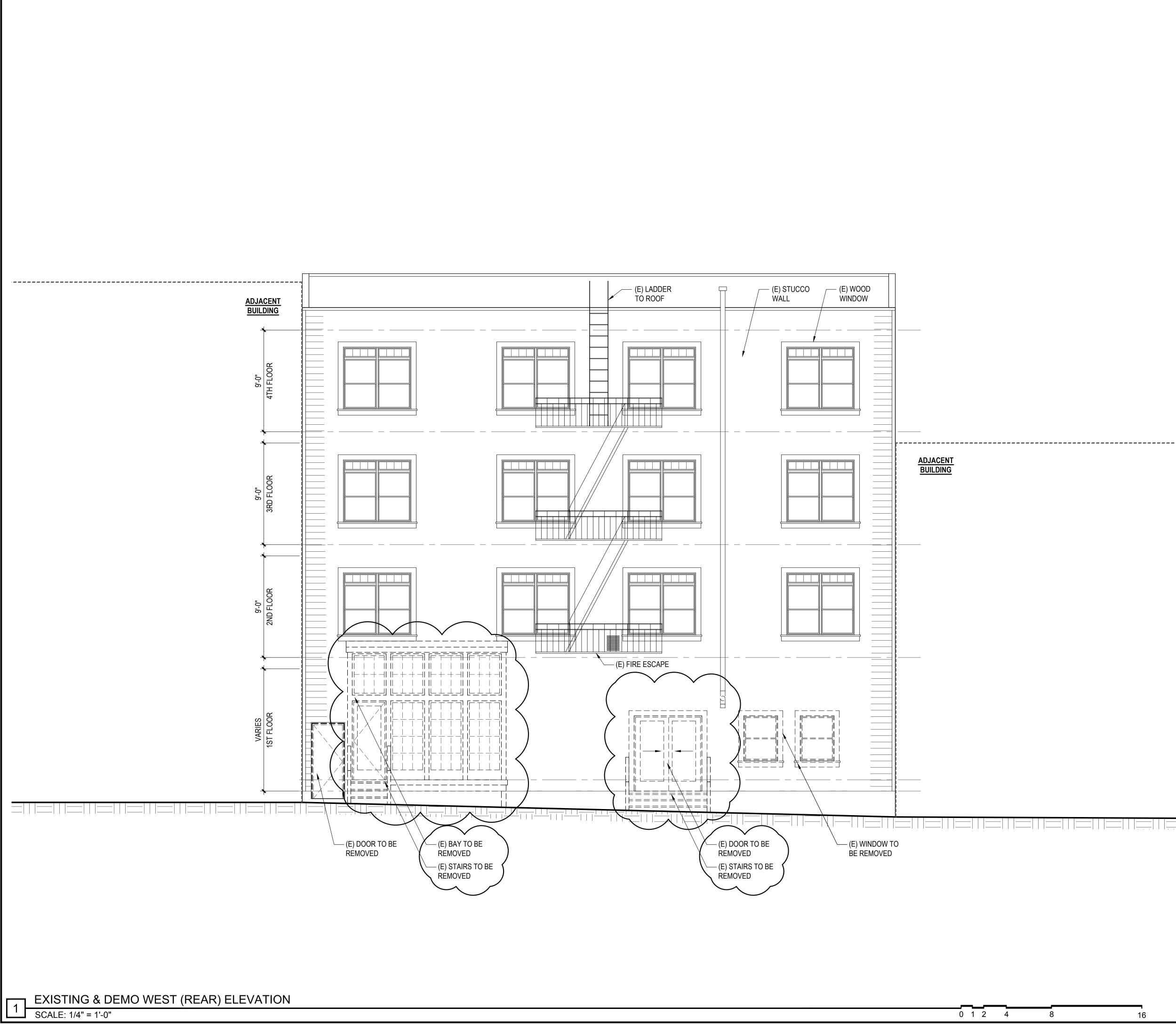
UNIT ADDITION

651 SCOTT ST. San Francisco, CA 94117

Block: 1202 Lot: 001A

ISSUE:	DATE:
CERT. OF APPROPRIATENESS	02.08.17
CERT. OF APPROP_REV-1	06.05.17
CERT. OF APPROP. REV-2	09.21.17





DIVISION - GENERAL CONDITIONS

1.1 SEE GENERAL CONSTRUCTION NOTES 6-12 ON COVER SHEET FOR A0.0 GENERAL NOTES PERTAINING TO DEMOLITION. 1.2 SEE GENERAL NOTES ON SHEET A0.0 FOR MINIMUM STANDARDS FOR WORK PERFORMANCE. NOTE NOT ALL CONDITIONS LISTED APPLY TO THE SCOPE OF WORK INDICATED IN PLAN.

DIVISION 2 - EXISTING CONDITION

- 2.1 NOT USED 2.2 NOT USED.
- 2.3 NOT USED.
- 2.4 DEMO (E) NON-BEARING WALL AS SHOWN, TYP. 2.5 NOT USED.

DIVISION 8 - DOORS, WINDOWS & GLAZING 8.1 (E) SINGLE GLAZED WOOD WINDOW TO PROVIDE NATURAL

(E) SINGLE GEALED WOOD WINDOW TO THOUSE NATIONAL
VENTILATION PER CBC 1203.4.1 & NATURAL LIGHT PER CBC 1205.2 8.2

	LIGHT / AIR REQUIRED BY CBC SEC 1205.2 & 1203.4.1		
	UNIT #1	UNIT #2	UNIT #3
LIVING AREA	394 SF	490 SF	521 SF
LIGHT 8%	31.52 SF	39.2 SF	41.68 SF
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8.2 EGRESS WINDOW PER CBC 1029.1 A. MIN. 5.7 S.F. NET CLEAR OPENING.

B. MIN. NET CLEAR HEIGHT: 24"

- C. MIN. NET CLEAR WIDTH: 20:
- D. BOTTOM OF CLEAR OPENING MAX. 44" A.F.F. DOOR SHALL BE READILY OPENABLE FROM EGRESS SIDE WITHOUT USE OF KEY OR SPECIAL KNOWLEDGE OR EFFORD PER CBC 1008.1.9. DOOR TO MEET REQUIREMENTS OF CBC 1008.

DIVISION 9 - FINISHES

(N) HARDWOOD FLOORING. 9.1

- 9.2 (N) PAINTED GYP. BOARD WALL / CEILING, THROUGHOUT, TYPICAL.
- 9.3 PROVIDE FLOOR DRAIN FOR NEW DRYER. 9.4 DRYER TO BE VENTLESS WITH A DRAIN TO BE INSTALLED PER
- MANUFACTURERS SPECS. 9.5 ALL (N) LIGHTING TO COMPLY WITH CEC 150.0 (K).

K 1-6 KITCHEN REMODEL NOTES

- KITCHEN & BATH FAUCETS TO BE MAX. 2.2 G.P.M MEASURED AT 60 PSI. GAS RANGE WITH GAS SHUT-OFF VALVE IN APPROVED ACCESSIBLE LOCATION.
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B 1-9 BATHROOM REMODEL NOTES

- KITCHEN AND BATH FAUCETS TO BE MAX. 2.2 G.P.M MEASURED AT 60 PSI.
- WATER CLOSET PER CBC 2903 CENTERED WITHIN 30" WIDE CLEAR SPACE. TOILETS SHALL HAVE MAX. 1.6 GPF WATER CONSUMPTION.
- (N) TUB; LOCATE PLUMBING AS NEEDED. (N)TOILET; LOCATE PLUMBING AS NEEDED.
- (N) VANITY SINK; RELOCATE PLUMBING AS NEEDED.
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- 9. PROVIDE NEW FINISHES AS NEEDED.

ELECTRICAL SYMBOL LEGEND

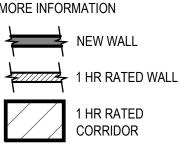
SEE GENERAL NOTES ON SHEET A0.0 FOR MORE INFORMATION GFI

- . AFI OUTLET WITH ARC FAULT INTERRUPTER
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PLAN SYMBOL LEGEND

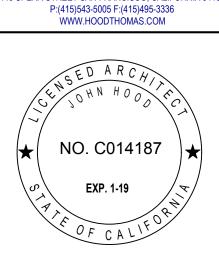
SEE GENERAL NOTES ON SHEET A0.0 FOR MORE INFORMATION

20 MIN DOOR EXIT PATH



HT HOOD THOMAS ARCHITECTS

440 SPEAR STREET SAN FRANCISCO, CALIFORNIA 94105

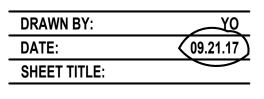


UNIT ADDITION

651 SCOTT ST. San Francisco, CA 94117

Block: 1202 Lot: 001A

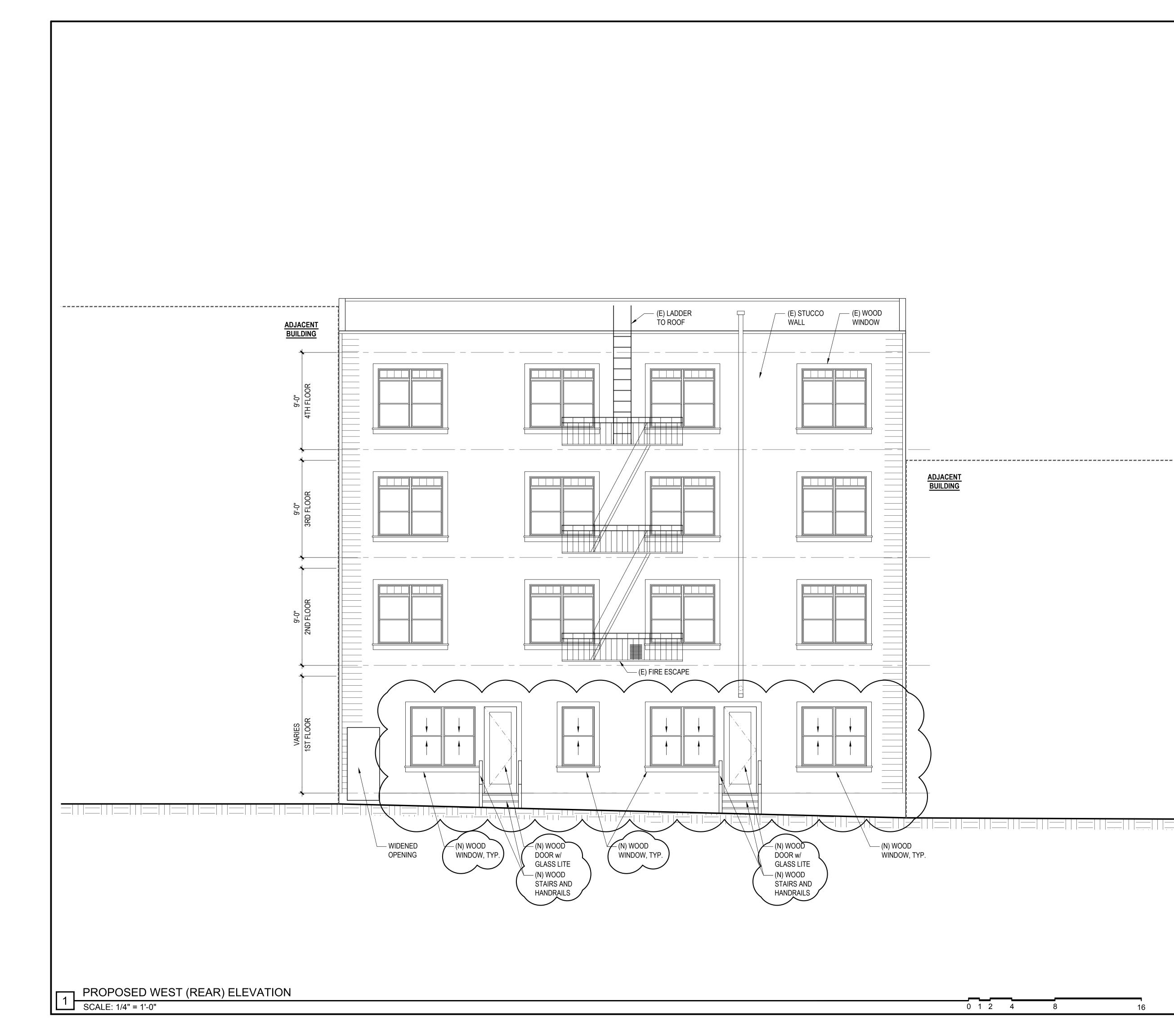
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CERT. OF APPROP. REV-2	09.21.17



EXISTING &			
DEMO WEST			
(REAR)			
ELEVATION			

SHEET NUMBER:





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- 2.2 NOT USED.
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DIVISION 8 - DOORS, WINDOWS & GLAZING 8.1 (E) SINGLE GLAZED WOOD WINDOW TO PROVIDE NATURAL

(E) SINGLE SEALED WOOD WINDOW IS I NOWDEN	
VENTILATION PER CBC 1203.4.1 & NATURAL LIGHT	PER CBC 1205.2 8.2

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DIVISION 9 - FINISHES

(N) HARDWOOD FLOORING. 9.1

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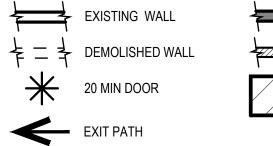
ELECTRICAL SYMBOL LEGEND

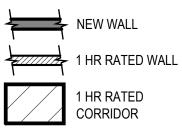
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PLAN SYMBOL LEGEND

SEE GENERAL NOTES ON SHEET A0.0 FOR MORE INFORMATION





HT HOOD THOMAS ARCHITECTS

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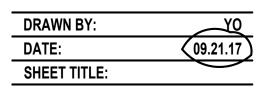


UNIT ADDITION

651 SCOTT ST. San Francisco, CA 94117

Block: 1202 Lot: 001A

DATE:
02.08.17
06.05.17
09.21.17



PROPOSED WEST (REAR) ELEVATION

SHEET NUMBER:





