



# SAN FRANCISCO PLANNING DEPARTMENT

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## Certificate of Appropriateness Case Report

HEARING DATE: NOVEMBER 7, 2018

*Filing Date:* August 30, 2017  
*Case No.:* **2016-010079COA**  
*Project Address:* **3620 Buchanan Street**  
*Historic Landmark:* No. 58 – Merryvale Antiques/S.F. Gas Light Co.  
*Zoning:* NC-2 (Neighborhood Commercial, Small Scale)  
40-X Height and Bulk District  
*Block/Lot:* 0459/003  
*Project Sponsor:* Tusker Corporation, Property Owner  
3636 Buchanan Street  
San Francisco, CA 94123  
*Staff Contact* Stephanie Cisneros - (415) 575-9186  
stephanie.cisneros@sfgov.org  
*Reviewed By* Tim Frye – (415) 575-6822  
tim.frye@sfgov.org

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**

### PROPERTY DESCRIPTION

**3620 BUCHANAN STREET**, east side of Buchanan Street between North Point and Bay Streets. Located on the same parcel as City Landmark No. 58 (Merryvale Antiques/S.F. Gas Light No.) at the southernmost portion of Assessor's Block 0459, Lot 003. The property is located in a NC-2 (Neighborhood Commercial, Small Scale) Zoning District and a 40-X Height and Bulk District.

The Landmark No. 58 property contains two buildings: the two-story S.F. Gas Light Co. building at the north end of the parcel (3636 Buchanan Street) and a one-story garden house at the southern end of the parcel (3620 Buchanan Street). The two-story brick S.F. Gas Light Co. building was designed in the Richardsonian-Romanesque architectural style by architect Joseph B. Crockett. Constructed 1891-1893, the building was used as the company's administration building. The one-story, vernacular style garden house was constructed in 1958 and designed by Clifford Conly, Jr. The wood-framed building features minimally applied French ornamentation such as window surrounds. The property also features a garden patio between the two structures, designed by Jean Wolffe and also constructed in 1958.

City Landmark No. 58 was designated in 1973 for its association with the development of the S.F. Gas Light Co. and its North Beach Station (Criterion 1) and as an outstanding example of Richardsonian-Romanesque architecture (Criterion 3). The period of significance for Landmark No. 58 is 1893-1958, which is the period of time that the S.F. Gas Light Co. (and later PG&E) owned, occupied and operated out of the property.

#### *Historic Context of City Landmark No. 58*

Historically, the S.F. Gas Light Co. was one component of a larger complex known as the Gas House Cove designed by Crockett and comprised of other predominantly brick buildings, an oiler dock, a gasometer,

and two storage tanks that collectively came to be known as the gas company's North Beach Station. The surrounding area was also built up around this time to house other industrial plants such as the California Pressed Brick Company, the Pacific Ammonia Chemical Company, and a soap and tallow works. PG&E merged with the S.F Gas Light Co. in 1905 and retained ownership and use of the subject property until 1958.

#### *1958*

By 1958, the S.F. Gas Light Co. building that was once the main building of the historically larger complex was the only remaining remnant of the previous industrial use of the area; all other buildings and associated structures had been destroyed during the 1906 Earthquake and Fire or demolished to make way for the 1915 Panama Pacific International Exposition. In the mid-1950s, the property was purchased by Mr. and Mrs. Dent W. Macdonough, who began extensive renovations to convert the property into a high-end antique shop. Renovations included a complete restoration and reuse of the extant brick building as a showroom and offices for the Merryvale Antiques shop, construction of a one-story garden house (completed in 1958) and addition of a garden patio between the garden house and the S.F. Gas Light Co. building (also completed in 1958). The garden house was designed by architect Clifford Conly, Jr. and is a wood-frame structure approximately three bays wide and two bays deep. It is vernacular in nature with minimally applied French ornamentation and underwent alterations in the 1980s. The garden patio that separates the landmarked building to the north and the garden house to the south was constructed in 1958 and was originally designed by Jean Wolff, a local gardener who often assisted with the construction of Thomas Church commissions. Since construction, the garden has undergone extensive alterations before and in 2000.

#### *1973 Landmark Ordinance*

The 1973 Landmark Ordinance outlines the history and significance of the property associated with the development of the S.F. Gas Light Co. and its North Beach Station. The garden house and adjacent garden patio were constructed in 1958, as part of a restoration of the S.F. Gas Light Co. building and its conversion to a high-end antiques shop. The garden house and adjacent garden patio are not considered to be contributing features of the site associated with the landmark's significance. The 1973 Landmark Ordinance does not identify character-defining features of the site or building but describes the S.F. Gas Light Co. building in great detail. Similarly, the ordinance describes the garden house as "an equally impressive garden shop" and garden patio as a "handsomely landscaped and spacious area," but does not directly call them out as significant or character-defining features. The character-defining features of Landmark No. 58 are identified as follows:

- Red brick construction
- Rectangular form of 3636 Buchanan Street featuring two stories and an attic
- Corner tower with conical roof (exceeds the height of the main roof)
- Hipped main roof, without projecting eaves, resting on a corbelled cornice
- Brick chimney
- Fenestration at the front (west) one-third that includes windows indicating two floors with a heavy string course of brickwork at the upper floor level

- Fenestration at the rear (east) two-thirds containing tall windows divided into panes with fanlights above, the sill line of which is uniformed with those on the lower floor at the front, and the tops of which extend upward approximately three-quarters of the total wall height
- Decorative terra-cotta lintels divided into sections containing a patera
- Centered arched main entrance resting on short black pilasters framing a recessed doorway
- Two-story opening at the rear (east) façade with flat decorative terra-cotta lintel similar to those above the windows
- Two-story brick pilasters
- Open space surrounding the building, allowing the building to maintain dominance of the corner without being overshadowed by neighbors on either side

## PROJECT DESCRIPTION

The proposed project will be located the same parcel as City Landmark No. 58 and involves the demolition of a non-contributory one-story garden house currently used as office space and a portion of the non-contributory garden patio and the construction of a new four-story, 13,279 square-foot residential building. The new construction will include eight units, eight bicycle parking spaces, and one accessible vehicle parking space. The portion of the existing garden to remain will be utilized as open space. No interior or exterior changes to the S.F. Gas Light Co. building at 3636 Buchanan are proposed.

## OTHER ACTIONS REQUIRED

None.

## COMPLIANCE WITH THE PLANNING CODE PROVISIONS

The proposed project will require a Conditional Use Authorization pursuant to Section 303 of the Planning Code to address lot size. The proposed project will also require a Variance from the rear yard requirement.

## APPLICABLE PRESERVATION STANDARDS

### ARTICLE 10

Pursuant to Section 1006.2 of the Planning Code, unless exempt from the Certificate of Appropriateness requirements or delegated to Planning Department Preservation staff through the Administrative Certificate Appropriateness process, the Historic Preservation Commission is required to review any applications for the construction, alteration, removal, or demolition of any designated Landmark for which a City permit is required. Section 1006.6 states that in evaluating a request for a Certificate of Appropriateness for an individual landmark or a contributing building within a landmark district, the Historic Preservation Commission must find that the proposed work is in compliance with the *Secretary of the Interior's Standards for the Treatment of Historic Properties*, as well as the designating Ordinance and any applicable guidelines, local interpretations, bulletins, related appendices, or other policies.

The proposed work shall be compatible with the historic structure in terms of design, materials, form, scale, and location. The proposed project will not detract from the site's architectural character as described in the designating ordinance. For all of the exterior and interior work proposed, reasonable

efforts have been made to preserve, enhance or restore, and not to damage or destroy, the exterior architectural features of the subject property which contribute to its significance.

#### **THE SECRETARY OF THE INTERIOR'S STANDARDS**

Rehabilitation is the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features that convey its historical, cultural, or architectural values. The Rehabilitation Standards provide, in relevant part(s):

##### **Standard 1.**

A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

*The project proposes to demolish an existing, non-contributing garden house currently used as offices and portion of a non-contributing garden and construct a new, four-story, eight-unit residential building on the same parcel as City Landmark No. 58. The project does not propose to change the existing use of the landmark building on the property, which has undergone changes to its use since initial construction. As such, none of the landmark site's distinctive, character-defining materials, features, spaces or spatial relationships will be affected by the proposed project.*

*Therefore, the proposed project complies with Rehabilitation Standard 1.*

##### **Standard 2.**

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

*Historically, the setting of Landmark No. 58 was made up of a larger complex of predominantly brick buildings, an oiler dock, a gasometer, and two storage tanks used by the S. F. Gas Light Co. and other surrounding industrial-oriented companies. At the time of the 1973 Landmark Designation, the industrially-based historic setting had been significantly altered to include two- to four-story, residential and mixed use buildings, which continues to be its current setting. The proposed project will not diminish the historic character of the landmark site.*

*Therefore, the proposed project complies with Rehabilitation Standard 2.*

##### **Standard 3.**

Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

*The project does not propose historicist or conjectural features that would give the false perception of historical development.*

*Therefore, the proposed project complies with Rehabilitation Standard 3.*

**Standard 4.**

Changes to a property that have acquired historic significance in their own right will be retained and preserved.

*There are no proposed changes to features of the property that have acquired significance in their own right.*

*Therefore, the proposed project complies with Rehabilitation Standard 4.*

**Standard 5.**

Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.

*The new construction will not diminish or remove distinctive features, finishes and construction techniques and examples of craftsmanship of the landmark site. All work will be localized to the new development.*

*Therefore, the proposed project complies with Rehabilitation Standard 5.*

**Standard 6.**

Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

*The proposed project does not include replacement of deteriorated or missing historic features.*

*Therefore, the proposed project complies with Rehabilitation Standard 6.*

**Standard 7.**

Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

*The proposed project does not include chemical or physical treatments to historic materials.*

*Therefore, the proposed project complies with Rehabilitation Standard 7.*

**Standard 9.**

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

*The proposed new construction will not destroy historic materials, features or spatial relationships that characterize the property. The proposed new construction will be differentiated from the old but will be compatible in terms of materials, features, size, scale and proportion. Brick cladding, punched fenestration and fenestration features will*

*reference the features of the landmark building but will be completed in a differentiated manner such that the integrity of the landmark and its environment will be protected.*

*Therefore, the proposed project complies with Rehabilitation Standard 9.*

#### **Standard 10.**

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

*The proposed new construction will occur on a portion of the landmark site that contains non-contributing features. If removed in the future, the essential form and integrity of the landmark and its environment would be unimpaired.*

*Therefore, the proposed project complies with Rehabilitation Standard 10.*

### **PUBLIC/NEIGHBORHOOD INPUT**

To date, the Department has received one email and multiple phone calls in opposition to the proposed project (email is attached). The main concerns regarding the proposed project were related to loss of views, the possibility of soil contamination, traffic, and concern that the garden house and garden patio adjacent to the landmark building are of individual and/or contributory significance.

### **ISSUES & OTHER CONSIDERATIONS**

The Project Sponsor filed an Environmental Evaluation Application for the proposed project on August 3, 2016, which included a Draft Historic Resource Evaluation (HRE) prepared by a qualified historic preservation consultant that assessed whether the garden house and garden patio were considered individually significant in their own right and/or could be considered contributing features of the landmark site. The Draft HRE was finalized in July 2018 and concluded that the one-story garden house and adjacent garden patio were not individually significant in their own right and were not considered to be contributing features to the overall significance of the landmark site. Staff concurs with the HRE findings (see attached).

### **STAFF ANALYSIS**

Based on the requirements of Article 10 and the Secretary of Interior's Standards, staff has determined that the proposed work is compatible with the character-defining features of the Merryvale Antiques/S.F. Gas Light Co. site, Landmark Number 58. All aspects of the historic character of the historic building would be retained and preserved and no distinctive materials, architectural elements, or spaces that characterize the property would be removed.

**Massing:** The existing landmark site contains a two-story building at the north end presently used as offices and the surrounding context includes two- to four-story, residential and mixed use buildings. The proposed new construction will be a generally rectangular, four-story residential building that is in keeping with the surrounding context. The footprint of the new construction will be smaller than the

footprint of the adjacent landmark building and of the new construction occurring immediately to the south. Although a portion of the existing garden will be demolished in order to allow for the new construction, the remaining portion will provide sufficient space to allow the landmark building and its significance to be maintained and read. With regard to visibility of the landmark building, the west elevation of the new construction will be set back from the property line except for a portion that will project out to the property line. This will allow for a stronger visual connection to the landmark building at the pedestrian level. Overall, the Department believes that the form and footprint of the proposed project is compatible with the adjacent landmark site and the surrounding context.

**Scale and Proportion:** The new construction will be located at the southern end of the landmark site. The building's overall height will sit below that of the landmark building and below the height of the new construction occurring immediately to the south. The rectangular proportion of the new construction will appear subordinate to the landmark building and is in keeping with the surrounding context.

**Materials:** The landmark building is clad in brick with a heavy stringcourse between the first and second floors. The proposed materials of the new construction will be brick at floors one through three. The horizontal bands between each floor will be composed of sailor course brick veneer oriented vertically, while each of the three floors will be composed of stack bond brick veneer oriented horizontally. The proposed material at the fourth floor will be fiber cement panels.

**ARC Recommendations:** The ARC heard this item on August 18, 2018 and agreed with Staff's recommendation regarding materials that the proposed brick at the horizontals should be articulated to better relate to the stringcourse of the Merryvale Antiques/S.F. Gas Light Co. building.

**Project Sponsor Response:** The Project Sponsor revised the plans to indicate that two courses of dark brown brick slips will be introduced to the building's primary elevations as a response to the brick pattern and coursing in the Landmark building.

**Ornamentation:** The proposed new construction will have no applied architectural details other than at the primary entrance and decorative railings at each proposed balcony. The primary entrance will be located along Buchanan Street and will include a rectangular recessed entryway with a gate along the street frontage that is designed to match the existing gate at the northwest corner of the site. The railings at each proposed balcony will be comprised of a combination of central glass guardrails and aluminum picket guardrails, with the aluminum guardrails being the dominant material.

**ARC Recommendations:** The ARC heard this item on August 18, 2018 and agreed with Staff's recommendation regarding ornamentation that the primary entryway should be studied further to establish a stronger relationship to the formal entryways of the Merryvale Antiques/S. F. Gas Light Co. building. A suggestion to add a frame or border around the entry way was made.

**Project Sponsor Response:** The Project Sponsor revised the plans to illustrate that the definition of the entrance to the building has been enhanced with the replacement of the lower of the double

“soldier courses” with aluminum plate to match the picture framing of the opening. This creates an “L-shaped” profile over the entrance aperture.

Staff finds that the new construction is in keeping with the character-defining features of the landmark site, meets the *Secretary of the Interior’s Standards for Rehabilitation*, and will retain and preserve the historic character of the property. The proposed project will not remove, destroy or alter any historic features associated with the significance of the landmark site.

Additionally, Staff finds that the proposed project is in conformance with the requirements laid out in Article 10 of the Planning code.

## ENVIRONMENTAL REVIEW STATUS

The Planning Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15301 (Class 32 – In-Fill Development Project) because the project includes in-fill residential development and meets the *Secretary of the Interior’s Standards*.

## PLANNING DEPARTMENT RECOMMENDATION

Planning Department staff recommends APPROVAL WITH CONDITIONS of the proposed project as it appears to meet the Secretary of the Interior Standards for Rehabilitation. Staff supports the project with the following conditions:

### Conditions of Approval:

- As part of the Site Permit submittal, the Project Sponsor shall provide material samples, including the examples of the materials for the proposed brick cladding for floors one through three and fiber cement panels for floor four, metal railing at the street level, and railing for balconies to ensure compatibility with the landmark site. These material samples shall demonstrate the range of color, texture and finish for the identified materials. Generally, the materials should feature a matte or painted finish, and be consistent with the building’s overall historic character.
- As part of the Site Permit, the Project Sponsor shall provide the following details: window schedule detailing the materials and dimensions of the proposed new windows and corresponding window surrounds and providing elevations and sections; design of the metal railing at the street level and at the balconies; and design and dimensions of the entryway.
- The project sponsor shall complete a site visit with Department preservation enforcement staff prior to occupancy in order to verify compliance with the approved project description and conditions of approval.

## ATTACHMENTS

Draft Motion  
Exhibits  
Certificate of Appropriateness Application



Landmark No. 58 Ordinance and Designation Report  
Site Development Timeline  
Historic Resource Evaluation prepared by Page & Turnbull (dated July 2018)  
Preservation Team Review Form  
August 18, 2018 Architectural Review Committee Packet and Notes  
Letters in Opposition  
Sponsor Letter

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# Draft Motion





# SAN FRANCISCO PLANNING DEPARTMENT

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## Historic Preservation Commission Draft Motion

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**ADOPTING FINDINGS FOR A CERTIFICATE OF APPROPRIATENESS FOR PROPOSED WORK DETERMINED TO BE APPROPRIATE FOR AND CONSISTENT WITH THE PURPOSES OF ARTICLE 10, TO MEET THE STANDARDS OF ARTICLE 10 AND TO MEET THE SECRETARY OF INTERIOR'S STANDARDS FOR REHABILITATION, FOR THE PROPERTY LOCATED ON LOT 003 IN ASSESSOR'S BLOCK 0459, WITHIN AN NC-2 (NEIGHBORHOOD COMMERCIAL, SMALL SCALE) ZONING DISTRICT AND A 40-X HEIGHT AND BULK DISTRICT.**

### PREAMBLE

WHEREAS, on August 30, 2017, Tusker Corporation (Project Sponsor) filed an application with the San Francisco Planning Department (hereinafter "Department") for a Certificate of Appropriateness to demolish a non-contributory one-story garden house and portion of an existing non-contributory garden patio and construct a new, four-story residential building on the same parcel as City Landmark No. 58 (Merryvale Antiques/S.F. Gas Light Co.) on Lot 003 in Assessor's Block 0459. The proposed project will result in a new, eight-unit, 13,279 square foot residential building that includes eight bicycle parking spaces and one accessible vehicle parking.

WHEREAS, the Project was determined by the Department to be categorically exempt from environmental review. The Historic Preservation Commission (hereinafter "Commission") has reviewed and concurs with said determination.

WHEREAS, on November 7, 2018, the Commission conducted a duly noticed public hearing on the current project, Case No. 2016-010079COA (“Project”) for its appropriateness.

WHEREAS, in reviewing the Application, the Commission has had available for its review and consideration case reports, plans, and other materials pertaining to the Project contained in the Department’s case files, has reviewed and heard testimony and received materials from interested parties during the public hearing on the Project.

**MOVED**, that the Commission hereby grants the Certificate of Appropriateness, in conformance with the architectural plans dated October 8, 2018 on file in the docket for Case No. 2016-010079COA based on the following findings:

### **CONDITIONS OF APPROVAL**

- *As part of the Site Permit submittal, the Project Sponsor shall provide material samples, including the examples of the materials for the proposed brick cladding for floors one through three and fiber cement panels for floor four, metal railing at the street level, and railing for balconies to ensure compatibility with the landmark site. These material samples shall demonstrate the range of color, texture and finish for the identified materials. Generally, the materials should feature a matte or painted finish, and be consistent with the building’s overall historic character.*
- *As part of the Site Permit, the Project Sponsor shall provide the following details: window schedule detailing the materials and dimensions of the proposed new windows and corresponding window surrounds and providing elevations and sections; design of the metal railing at the street level and at the balconies; and design and dimensions of the entryway.*
- *The project sponsor shall complete a site visit with Department preservation enforcement staff prior to occupancy in order to verify compliance with the approved project description and conditions of approval.*

### **FINDINGS**

Having reviewed all the materials identified in the recitals above and having heard oral testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and also constitute findings of the Commission.
2. Findings pursuant to Article 10:

The Historical Preservation Commission has determined that the proposed work is compatible with the character of the landmark as described in the designation report dated September 20, 1973.

- The project does not propose to change the existing use of the S.F. Gas Light Co. building on the property, which has undergone changes to its use since initial construction. As such, none

of the landmark site's distinctive, character-defining materials, features, spaces or spatial relationships will be affected by the proposed project.

- Historically, the setting of Landmark No. 58 was made up of a larger complex of predominantly brick buildings, an oiler dock, a gasometer, and two storage tanks used by the S. F. Gas Light Co. and other surrounding industrial-oriented companies. At the time of the 1973 Landmark Designation, the industrially-based historic setting had been significantly altered to include two- to four-story, residential and mixed use buildings, which continues to be its current setting. The proposed project will not diminish the historic character of the landmark site.
- The project does not propose historicist or conjectural features that would give the false perception of historical development.
- There are no proposed changes to features of the property that have acquired significance in their own right.
- The new construction will not diminish or remove distinctive features, finishes and construction techniques and examples of craftsmanship of the landmark site. All work will be localized to the new development.
- The proposed project does not include replacement of deteriorated or missing historic features.
- The proposed project does not include chemical or physical treatments to historic materials.
- The proposed new construction will not destroy historic materials, features or spatial relationships that characterize the property. The proposed new construction will be differentiated from the old but will be compatible in terms of materials, features, size, scale and proportion. Brick cladding, punched fenestration and fenestration features will reference the features of the landmark building but will be completed in a differentiated manner such that the integrity of the landmark and its environment will be protected.
- The proposed new construction will occur on a portion of the landmark site that contains non-contributing features. If removed in the future, the essential form and integrity of the landmark and its environment would be unimpaired.
- The proposed project meets the following Secretary of the Interior's Standards for Rehabilitation:

***Standard 1.***

*A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.*

**Standard 2.**

*The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*

**Standard 3.**

*Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.*

**Standard 4.**

*Changes to a property that have acquired historic significance in their own right will be retained and preserved.*

**Standard 5.**

*Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.*

**Standard 6.**

*Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.*

**Standard 7.**

*Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.*

**Standard 9.**

*New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.*

**Standard 10.**

*New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

3. **General Plan Compliance.** The proposed Certificate of Appropriateness is, on balance, consistent with the following Objectives and Policies of the General Plan:

I. URBAN DESIGN ELEMENT

THE URBAN DESIGN ELEMENT CONCERNS THE PHYSICAL CHARACTER AND ORDER OF THE CITY, AND THE RELATIONSHIP BETWEEN PEOPLE AND THEIR ENVIRONMENT.



**GOALS**

*The Urban Design Element is concerned both with development and with preservation. It is a concerted effort to recognize the positive attributes of the city, to enhance and conserve those attributes, and to improve the living environment where it is less than satisfactory. The Plan is a definition of quality, a definition based upon human needs.*

**OBJECTIVE 1**

**EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.**

**POLICY 1.3**

*Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.*

**OBJECTIVE 2**

**CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.**

**POLICY 2.4**

*Preserve notable landmarks and areas of historic, architectural or aesthetic value, and promote the preservation of other buildings and features that provide continuity with past development.*

**POLICY 2.5**

*Use care in remodeling of older buildings, in order to enhance rather than weaken the original character of such buildings.*

**POLICY 2.7**

*Recognize and protect outstanding and unique areas that contribute in an extraordinary degree to San Francisco's visual form and character.*

*The goal of a Certificate of Appropriateness is to provide additional oversight for buildings and districts that are architecturally or culturally significant to the City in order to protect the qualities that are associated with that significance.*

*The proposed project qualifies for a Certificate of Appropriateness and therefore furthers these policies and objectives by maintaining and preserving the character-defining features of 3636 Buchanan Street for the future enjoyment and education of San Francisco residents and visitors.*

4. The proposed project is generally consistent with the eight General Plan priority policies set forth in Section 101.1 in that:

- A) The existing neighborhood-serving retail uses will be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses will be enhanced:

*The proposed project is for the demolition of non-contributing features of a landmark site and construction of a new residential building that will not have any impact on neighborhood serving retail uses.*

- B) The existing housing and neighborhood character will be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods:

*The proposed project will strengthen neighborhood character by respecting the character-defining features of the landmark in conformance with the Secretary of the Interior's Standards.*

- C) The City's supply of affordable housing will be preserved and enhanced:

*The project will not reduce the affordable housing supply as the existing ten units at the property are uninhabitable.*

- D) The commuter traffic will not impede MUNI transit service or overburden our streets or neighborhood parking:

*The proposed project will not result in commuter traffic impeding MUNI transit service or overburdening the streets or neighborhood parking.*

- E) A diverse economic base will be maintained by protecting our industrial and service sectors from displacement due to commercial office development. And future opportunities for resident employment and ownership in these sectors will be enhanced:

*The proposed will not have any impact on industrial and service sector jobs.*

- F) The City will achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

*Preparedness against injury and loss of life in an earthquake is improved by the proposed work. The work will eliminate unsafe conditions at the site and all construction will be executed in compliance with all applicable construction and safety measures.*

- G) That landmark and historic buildings will be preserved:

*The proposed project is in conformance with Article 10 of the Planning Code and the Secretary of the Interior's Standards.*

H) Parks and open space and their access to sunlight and vistas will be protected from development:

*The proposed project will not impact the access to sunlight or vistas for the parks and open space.*

5. For these reasons, the proposal overall, is appropriate for and consistent with the purposes of Article 10, meets the standards of Article 10, and the Secretary of Interior's Standards for Rehabilitation, General Plan and Prop M findings of the Planning Code.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **GRANTS a Certificate of Appropriateness** for the property located at Lot 003 in Assessor's Block 0459 for proposed work in conformance with the renderings and architectural sketches dated October 8, 2018 on file in the docket for Case No. 2016-010079COA.

**APPEAL AND EFFECTIVE DATE OF MOTION:** The Commission's decision on a Certificate of Appropriateness shall be final unless appealed within thirty (30) days. Any appeal shall be made to the Board of Appeals, unless the proposed project requires Board of Supervisors approval or is appealed to the Board of Supervisors as a conditional use, in which case any appeal shall be made to the Board of Supervisors (see Charter Section 4.135).

**Duration of this Certificate of Appropriateness:** This Certificate of Appropriateness is issued pursuant to Article 10 of the Planning Code and is valid for a period of three (3) years from the effective date of approval by the Historic Preservation Commission. The authorization and right vested by virtue of this action shall be deemed void and canceled if, within 3 years of the date of this Motion, a site permit or building permit for the Project has not been secured by Project Sponsor.

**THIS IS NOT A PERMIT TO COMMENCE ANY WORK OR CHANGE OF OCCUPANCY UNLESS NO BUILDING PERMIT IS REQUIRED. PERMITS FROM THE DEPARTMENT OF BUILDING INSPECTION (and any other appropriate agencies) MUST BE SECURED BEFORE WORK IS STARTED OR OCCUPANCY IS CHANGED.**

I hereby certify that the Historical Preservation Commission ADOPTED the foregoing Motion on November 7, 2018.

Jonas P. Ionin  
Acting Commission Secretary

AYES: X

NAYS: X

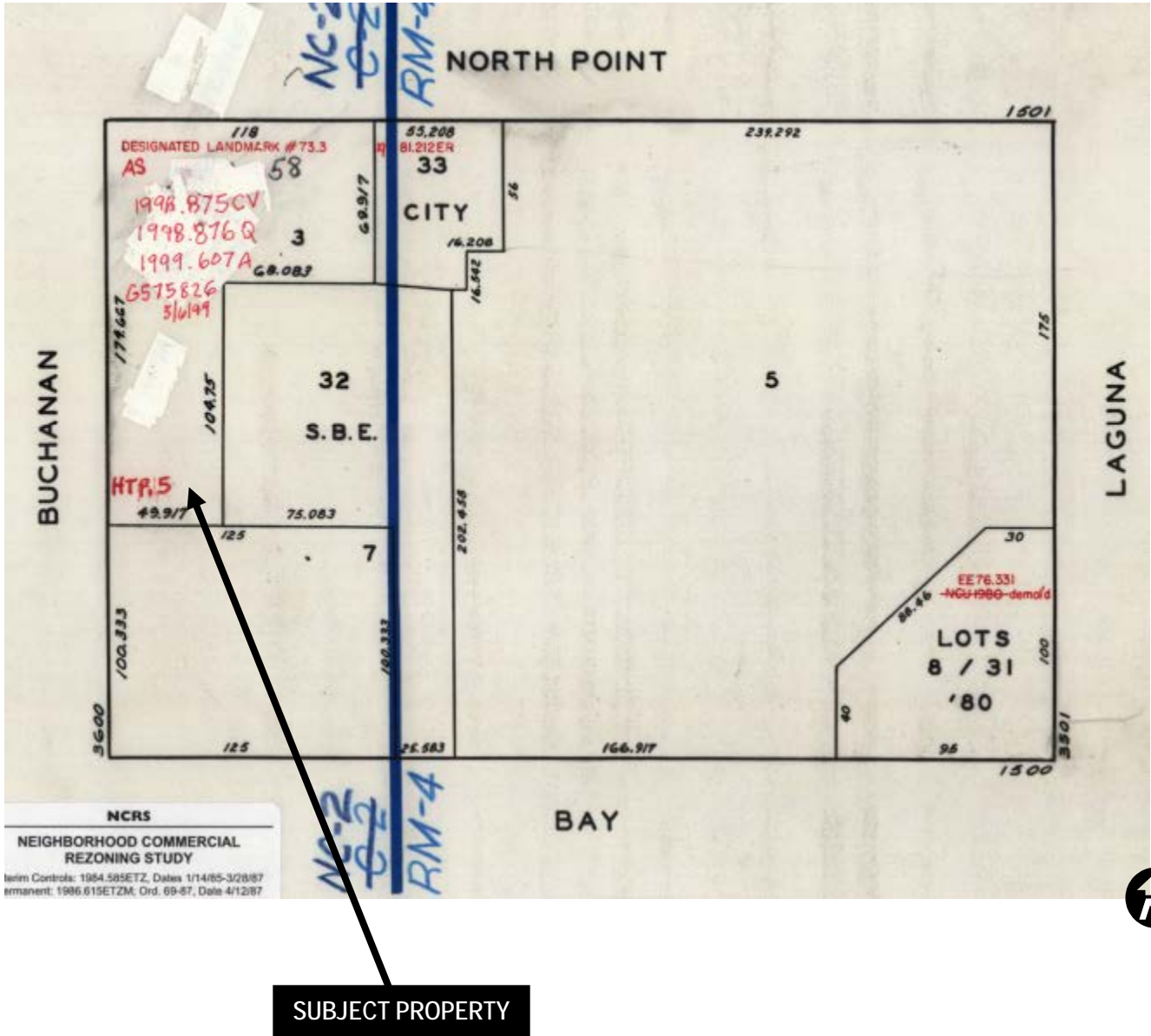
ABSENT: X

ADOPTED: November 7, 2018

# Exhibits

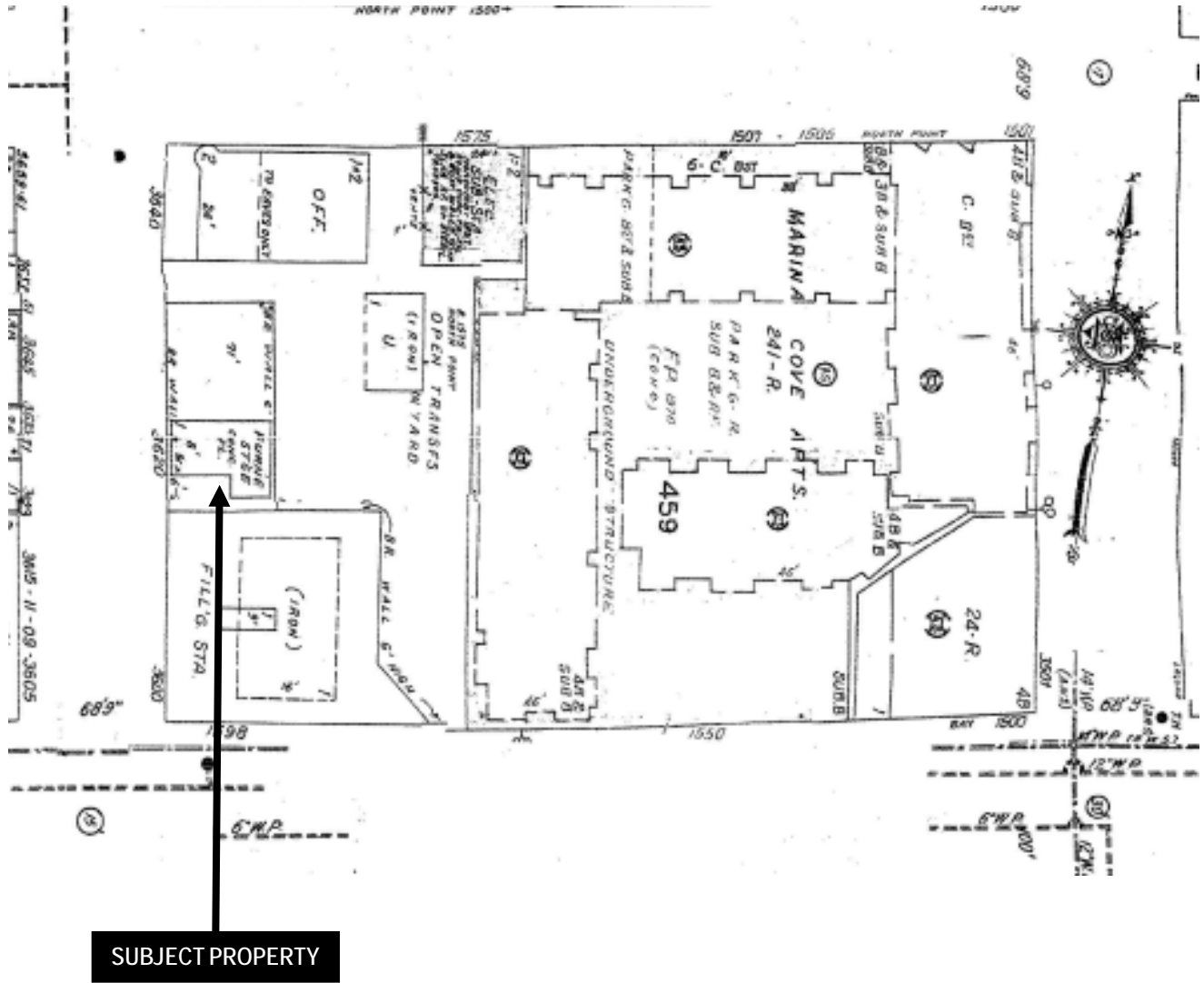


# Parcel Map



Certificate of Appropriateness Hearing  
Case Number 2016-010079COA  
3620 Buchanan Street

# Sanborn Map\*



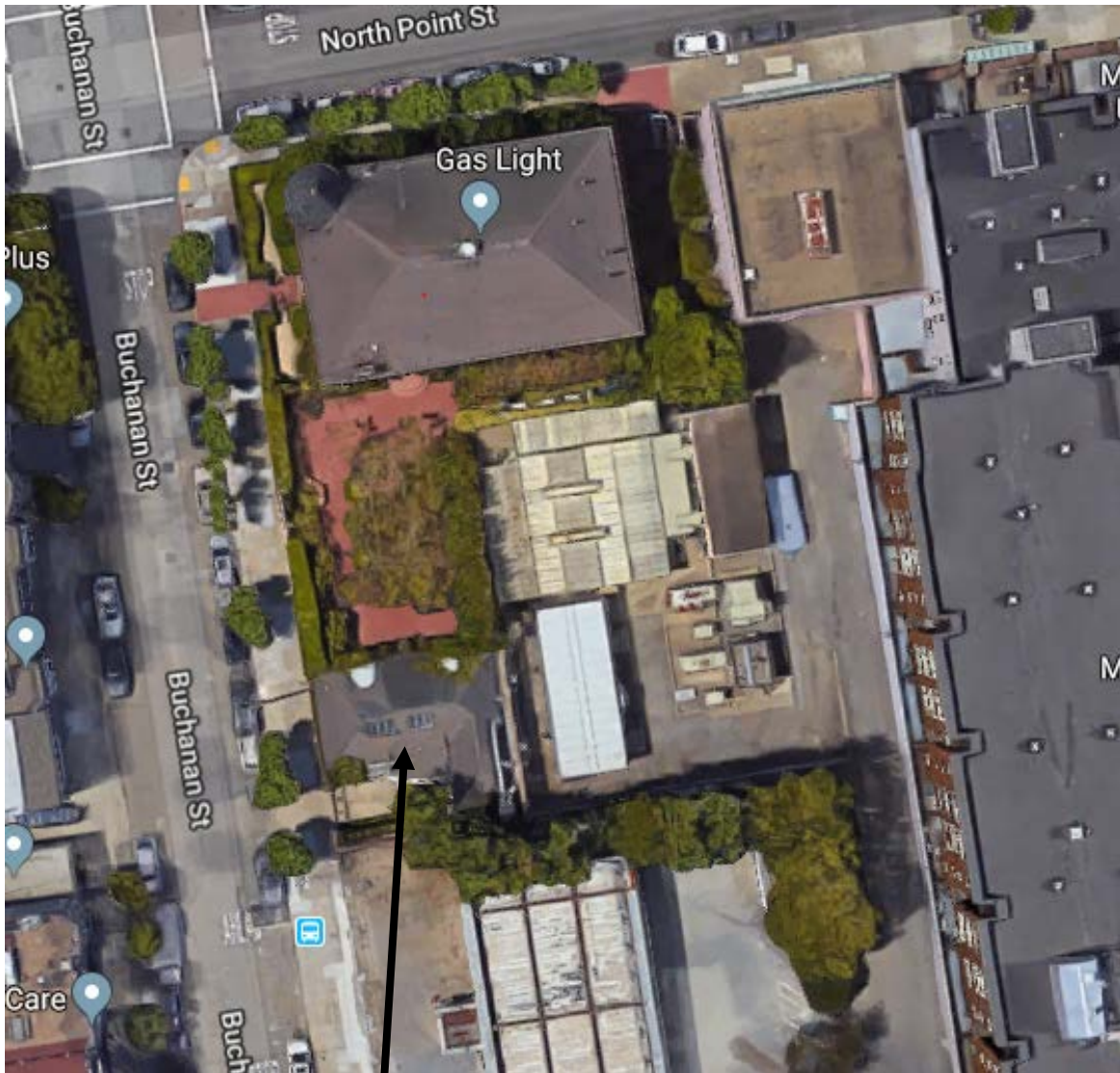
\*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Certificate of Appropriateness Hearing  
Case Number 2016-010079COA  
3620 Buchanan Street



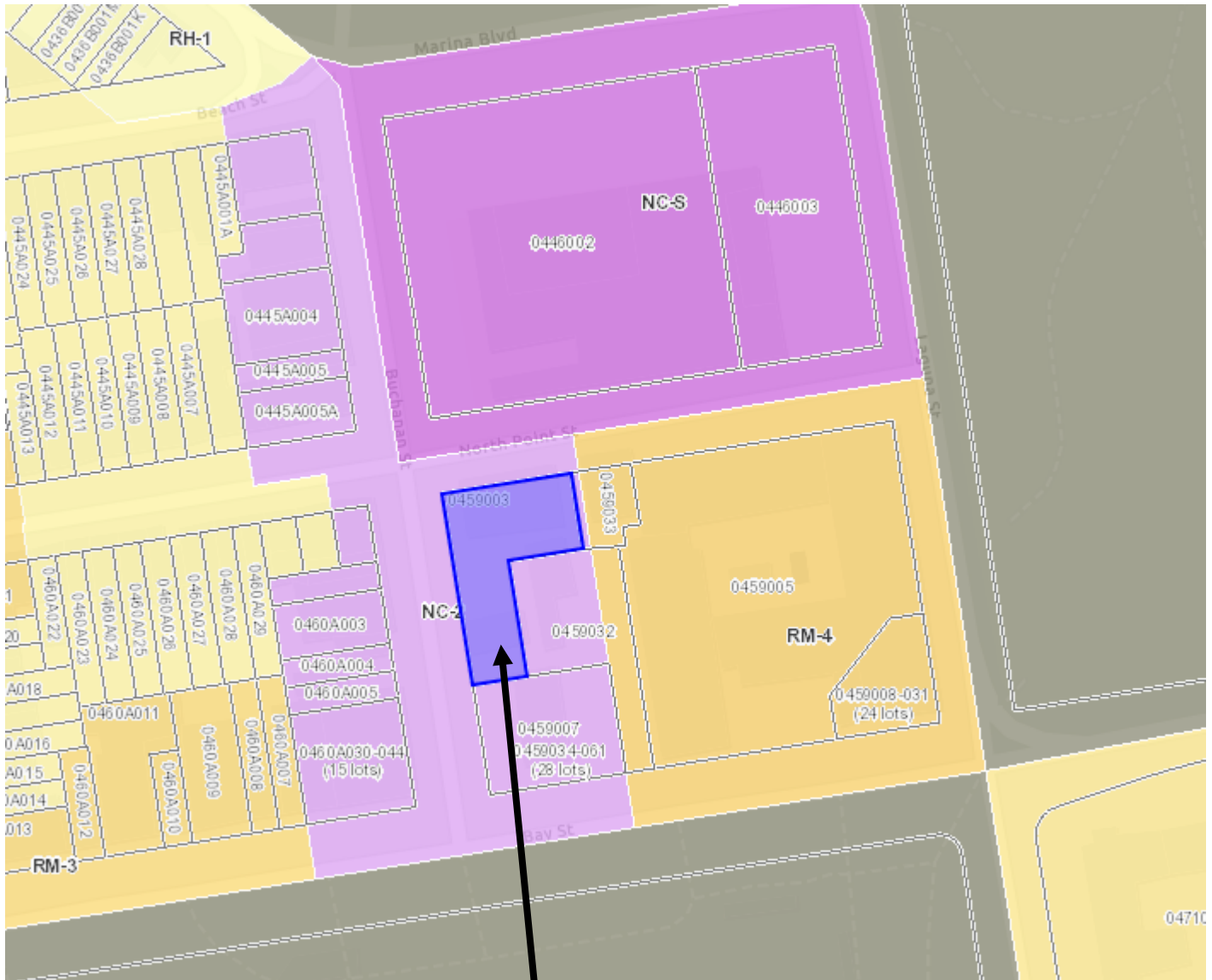
# Aerial Photo



**SUBJECT PROPERTY**

Certificate of Appropriateness Hearing  
Case Number 2016-010079COA  
3620 Buchanan Street

# Zoning Map



**SUBJECT PROPERTY**

Certificate of Appropriateness Hearing  
Case Number 2016-010079COA  
3620 Buchanan Street

# Site Photos



Certificate of Appropriateness Hearing  
Case Number 2016-010079COA  
3620 Buchanan Street



# Certificate of Appropriateness Application





SAN FRANCISCO  
PLANNING  
DEPARTMENT

# APPLICATION PACKET FOR Certificate of Appropriateness

Planning Department  
1650 Mission Street  
Suite 400  
San Francisco, CA  
94103-9425

T: 415.558.6378  
F: 415.558.6409

Section 1002(a)(2) states that the Historic Preservation Commission (“HPC”) shall review and decide on applications for construction, alteration, demolition and other applications pertaining to landmark sites and districts regulated under Article 10 of the Planning Code.

The first pages of this packet consist of instructions which should be read carefully before the application form is completed. Planning Department staff are available to advise you in the preparation of this application. Call (415) 558-6377 for further information.

## WHAT IS A CERTIFICATE OF APPROPRIATENESS AND WHEN IS IT NECESSARY?

Incorporated into the Planning Code in 1968, Article 10 outlines the process for the review and entitlement of alterations to properties locally designated as City Landmarks. An individual landmark is a stand-alone building, site, or object that is important for its contributions to San Francisco. A landmark district is a group of properties or a portion of a neighborhood that is architecturally, historically, or culturally important. Designated properties that are recognized for their architectural, historic, and cultural value to the City, are subject to the review and entitlement processes outlined in Article 10 of the Planning Code. The Historic Preservation Commission oversees and regulates these properties.

A Certificate of Appropriateness is the entitlement required to alter an individual landmark and any property within a landmark district. A Certificate of Appropriateness is required for any construction, addition, major alteration, relocation, removal, or demolition of a structure, object or feature, on a designated landmark property, in a landmark district, or a designated landmark interior. Depending on the scope of a project, some require a hearing before the Historic Preservation Commission. For those that don't, they're called Administrative Certificates of Appropriateness and are approved by Planning Department Preservation staff.

## HOW DOES THE CERTIFICATE OF APPROPRIATENESS PROCESS WORK?

- File the Certificate of Appropriateness application with the Department. Instructions about this process is below. The application will be assigned to a Preservation Planner, who will review the materials for completeness.
- When the Preservation Planner determines that the application is complete, the project will be scheduled for a hearing at the Historic Preservation Commission.
- All Certificates of Appropriateness require public notification prior to the scheduled hearing. Projects must have a 20-day mailed notice and poster erected on the project site.
  - For individual landmarks, notice must be mailed to all owners and occupants of the property and within 150-feet from the property. Interested parties and neighborhood groups must also receive notice.

- For properties located within historic districts, notice must be mailed to all owners within 300-feet of the property and occupants within 150-feet of the property. The radius includes properties that are located outside of the designated historic district, if applicable. Interested parties and neighborhood groups must also receive notice.
- At the public hearing, the Historic Preservation Commission will make a decision on the proposed project and approve, disapprove, or approve with modifications, the Certificate of Appropriateness.
- After the hearing, the Department issues the Certificate of Appropriateness document.
- Department staff will review the associated building permit to make sure that the work conforms to what the Historic Preservation Commission approved. If the proposed work conforms, the permit will be approved and routed to the Department of Building Inspection for final issuance.

## WHO MAY APPLY FOR A CERTIFICATE OF APPROPRIATENESS?

A Certificate of Appropriateness is an entitlement that runs with the property; therefore, the property owner or a party designated as the owner's agent may apply for a Certificate of Appropriateness. [A letter of agent authorization from the owner must be attached.]

## INSTRUCTIONS:

Gather the information needed and fill out the attached application, which includes a project description, necessary contact information, and two sets of findings that must be answered. The first set of findings is for compliance with preservation standards. The second set of findings are the General Plan Priority Policy Findings, which determine San Francisco General Plan consistency. Please answer all questions fully. If you need assistance, contact the Planning Information Center, 1660 Mission Street, 1st Floor; Telephone No. (415) 558-6377; open Monday through Friday.

Contact the Department to schedule an Application Intake at (415) 558-6378. At your scheduled appointment with a Preservation Planner, please bring the application and related materials. Note that all plans and materials submitted with this application will be retained as a part of the permanent public record for the case.

Please provide the following materials with this application:

- **Authorization:** If the applicant in this case is the authorized agent of the property owner, rather than the owner, a letter signed by the owner and creating or acknowledging that agency must be attached and is included in the application for a Certificate of Appropriateness.
- **Drawings:** The application must be accompanied by plans sufficient for proper determination of the case. One full set of architectural plans showing existing conditions and proposed scope of work. All plans shall include a site plan with the area of work identified, and existing and proposed floor plans, elevations (including those of adjacent properties), and section(s) at either 1/8" or 1/4" scale dependent on the size of the project, and detail drawings at 1/2" scale.
- **Photographs:** The application must include photographs of the subject property, including the primary facade and where the work is proposed. In addition, photographs must be submitted of the adjacent properties and street frontages that accurately depict the existing context. Please submit historic photos of the project, if applicable. All photographs should be large enough to show the nature of the property but not over 11 x 17 inches.
- **Specifications & Material Samples:** Include product specifications if there is any cleaning and/or repair of historic materials. If there is repointing or material replacement, product samples must be submitted.
- **Cut-Sheets:** For replacement windows and other features, product cut sheets must be submitted.
- **Notification Radius Map, Address List, and Labels:** See instructions on the following pages for more details.

## Fees:

Please refer to the Planning Department Fee Schedule available at [www.sfplanning.org](http://www.sfplanning.org) or at the Planning Information Center (PIC) located at 1660 Mission Street, First Floor, San Francisco for the applicable application fees. For questions related to the Fee Schedule, please call the PIC at (415) 558-6377. Fees will be determined based on the estimated construction costs. Time and materials charges will be added if staff costs exceed the initial fee.



**CEQA Review:**

The California Environmental Quality Act (CEQA) and Chapter 31 of the San Francisco Administrative Code implementing that act may require an Environmental Evaluation before the application may be considered. Please consult the Planning Department staff to determine if an Environmental Evaluation application must be submitted with this application. A separate fee is required for environmental review.

**Historic Preservation Commission Hearing Material:**

This time line includes a deadline for project sponsors to submit material to staff to be included in the Commission packet. If the Project Sponsor does not submit the necessary material by the deadline, the project will be continued to a later hearing date.

- Three weeks prior to hearing: Project Sponsor submits draft project graphics (plans, renderings etc) to project planner.
- Two weeks prior to hearing: Project planner submits Draft staff report (must include draft attachments) to Team Leader for review.
- Ten days prior to hearing (5pm on Monday): Deadline for submittal of all sponsor material and public comment to be included in Commission packets.
- One week prior to hearing: Project planner delivers complete Commission packets to the Commission Secretary.

**To file your Certificate of Appropriateness application, please call (415) 558-6378 in advance to schedule an intake appointment. At your scheduled appointment with a staff planner, please bring your completed application with all required materials.**

# What Applicants Should Know About the Public Hearing Process and Community Outreach

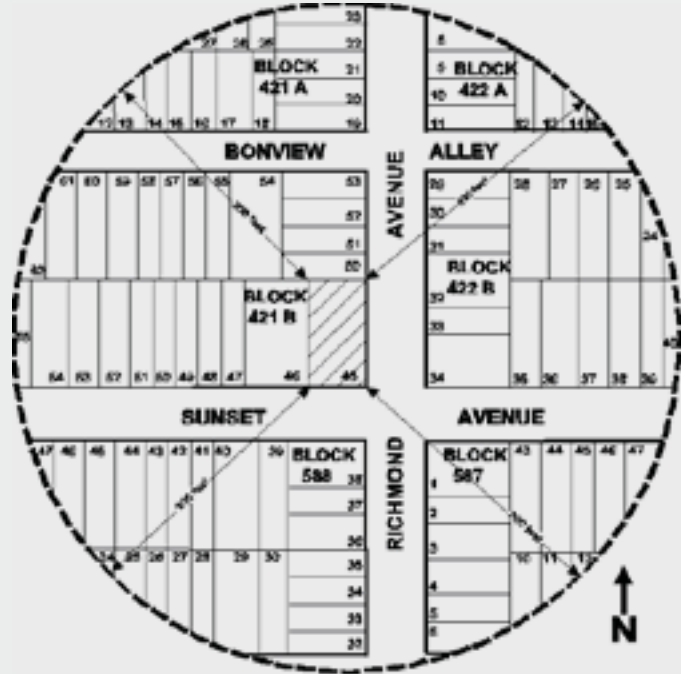
- A. The Historic Preservation Commission encourages applicants to meet with all community groups and parties interested in their application early in the entitlement process. Department staff is available to assist in determining how to contact interested groups. Neighborhood organization lists area available on the Department's website. Notice of the hearing will be sent to groups in or near the neighborhood of the project. The applicant may be contacted by the Planning Department staff with requests for additional information or clarification. An applicant's cooperation will facilitate the timely review of the application.
- B. The Historic Preservation Commission requests that applicants familiarize themselves with the procedure for public hearings, which are excerpted from the Historic Preservation Commission's Rules and Regulations below.
5. In public hearings on Draft Environmental Impact reports, each member of the public may speak for a period not to exceed three (3) minutes.
6. Discussion and vote by the Historic Preservation Commission on the matter before it.
7. The President may impose time limits on appearances by members of the public and may otherwise exercise his or her discretion on procedures for the conduct of public hearings.
- C. **Private Transcription.** The Commission President may authorize any person to transcribe the proceedings of a Regular, Special or Committee Meeting provided that the President may require that a copy of such transcript be provided for the Commission's permanent records.

**Hearings.** A public hearing may be held on any matter before the Commission at either a Regular or a Special Meeting. The procedure for such public hearings shall be as follows:

1. A description of the project by the Department staff along with the Department's recommendation.
  2. A presentation of the proposal by the project sponsor's team for a period not to exceed 10 minutes.
  3. Public testimony from proponents of the proposal. An individual may speak for a period not to exceed 3 minutes. An organization or group will be given a period not to exceed 5 minutes if the organization or group is represented by one speaker. Members of such groups are not allowed separate three (3) minutes of testimony.
  4. Public testimony from opponents of the proposal would be taken under conditions parallel to those imposed on proposal proponents, 3 minutes for an individual and 5 minutes for a group or organization if the group or organization is represented by one speaker.
- D. **Opportunities for Appeals by Other Bodies:** Historic Preservation Commission actions on Certificates of Appropriateness are final unless appealed to the Board of Appeals, or to the Board of Supervisors when applicable, within **30 days** of Commission action.

# Notification Instructions

1. **Radius Map:** The required notification map must show all properties within the 150-foot or 300-foot (whichever is applicable; see page 1-2 for specifics) of the EXTERIOR boundaries of the property; a 150-foot or 300-foot radius map, drawn to a scale of 1 inch to 50 feet, either the original on TRACING paper or a blueprint copy (no photocopy accepted) is required for submittal with Certificate of Appropriateness applications.
2. **Labels:** Submit two lists of the names and addresses, including the block and lot for each one, of all owners of the properties within 150 feet or 300 feet of the subject property and self-adhering labels with the same data. The latest Citywide tax roll is available at the Office of the Treasurer and Tax Collector, City Hall Room 140, 1 Dr. Carlton B. Goodlett Pl., San Francisco, CA 94102, for the preparation of this list. The labels will be used to mail notice of the time and place of the public hearing required.



NOTE: THIS EXAMPLE IS NOT TO REQUIRED SCALE

### EXAMPLE OF MAILING LABEL

Block # / Lot #	#9331 / #07
Name	JOHN DOE
Address	123 South Street #2 San Francisco, CA 94100

The following businesses have indicated that they provide professional notification services. This listing does not constitute an endorsement. Other professionals can also perform this work and can be added to this list upon request.

3. If you wish to prepare the materials yourself, block maps may be traced at the office of the Assessor, 81 Dr. Carlton B. Goodlett Place, City Hall, Room 190. The width of the public right-of-way for the streets separating the blocks may be determined at the Department of Public Works, Bureau of Street Use and Mapping, 875 Stevenson Street, Room 460, 554-5810.
4. You may, for a fee that varies by firm, have a private drafting or mailing service prepare these materials.

**Build CADD**  
3515 Santiago Street  
San Francisco, CA 94116  
(415) 759-8710

**Notificationmaps.com**  
Barry Dunzer  
(866) 752-6266  
[www.notificationmaps.com](http://www.notificationmaps.com)

**Javier Solorzano**  
3288 - 21st Street #49  
San Francisco, CA 94110  
(415) 724-5240  
[Javier131064@yahoo.com](mailto:Javier131064@yahoo.com)

**Radius Services**  
1221 Harrison Street #18  
San Francisco, CA 94103  
(415) 391-4775  
[radiuservices@aol.com](mailto:radiuservices@aol.com)

**Jerry Brown Designs**  
619 - 27th Street, Apt. A  
Oakland, CA 94612  
(415) 810-3703  
[jbdsgn328@gmail.com](mailto:jbdsgn328@gmail.com)

**Notice This**  
(650) 814-6750

**Ted Madison Drafting**  
P.O. Box 8102  
Santa Rosa, CA 95407  
(707) 228-8850  
[tmadison@pacbell.net](mailto:tmadison@pacbell.net)

# APPLICATION FOR Certificate of Appropriateness

## 1. Owner/Applicant Information

PROPERTY OWNER'S NAME: Tusker Corporation (contacts are Elaine A. Reyff and Peter Scott)	
PROPERTY OWNER'S ADDRESS: 3636 Buchanan Street San Francisco, CA 94123	TELEPHONE: (415 ) 563-2500 EMAIL: ereyff@tuskercorp.com

APPLICANT'S NAME: Jody Knight <span style="float: right;">Same as Above <input type="checkbox"/></span>	
APPLICANT'S ADDRESS: Reuben, Junius & Rose, LLP One Bush Street, Suite 600 San Francisco, CA 94104	TELEPHONE: (415 ) 567-9000 EMAIL:

CONTACT FOR PROJECT INFORMATION: Jody Knight <span style="float: right;">Same as Above <input checked="" type="checkbox"/></span>	
CONTACT PERSON'S ADDRESS:	TELEPHONE: ( ) EMAIL:

## 2. Location and Classification

STREET ADDRESS OF PROJECT: 3620 Buchanan Street	ZIP CODE: 94123
CROSS STREETS: North Point and Bay streets	

ASSESSORS BLOCK/LOT: 0459 / 003	LOT DIMENSIONS: See below	LOT AREA (SQ FT): 13,480sf	ZONING DISTRICT: NC-2	HEIGHT/BULK DISTRICT: 40-X
ARTICLE 10 LANDMARK NUMBER: 58*			HISTORIC DISTRICT: None	

Property is on an L-shaped lot that is 118' x 174.667' x 49.917' x 104.75' x 68.083' x 69.917'

## 3. Project Description

The proposed project consists of the demolition of 3620 Buchanan Street, which is located on the same parcel as 3636 Buchanan Street, Landmark #58. The non-historic building at 3620 Buchanan Street is proposed to be replaced with a four-story (40' in height) multi-family residential building that will include on-site parking.

Building Permit Application No. N/A Date Filed: N/A

\*The subject building is not a Landmark; however, it is located on the same parcel as Landmark #58.

#### 4. Project Summary Table

If you are not sure of the eventual size of the project, provide the maximum estimates.

GROSS SQUARE FOOTAGE (GSF)	EXISTING USES:	EXISTING USES TO BE RETAINED:	NET NEW CONSTRUCTION AND/OR ADDITION:	PROJECT TOTALS:
Residential	0	N/A	8,615sf (units only)	8,615sf (units only)
Retail	0	N/A	0	0
Office	1,600sf	0	0	0
Industrial / PDR Production, Distribution, & Repair	0	N/A	0	0
Parking	0	N/A	891sf	891sf
Other (Specify Use)	0	N/A	3,938sf Circulation & Storage	3,938sf Circulation & Storage
<b>Total GSF</b>	<b>1,600sf</b>	<b>0</b>	<b>13,279sf</b>	<b>13,279sf</b>
PROJECT FEATURES	EXISTING USES:	EXISTING USES TO BE RETAINED:	NET NEW CONSTRUCTION AND/OR ADDITION:	PROJECT TOTALS:
Dwelling Units	0	N/A	8 units	8 units
Hotel Rooms	0	N/A	0	0
Parking Spaces	0	N/A	1 + bike storage	1 + bike storage
Loading Spaces	0	N/A	0	0
Number of Buildings	1	0	1	1
Height of Building(s)	14'-10"	0	40'	40'
Number of Stories	1	0	4	4

Please provide a narrative project description, and describe any additional project features that are not included in this table:

The project consists of the demolition of 3620 Buchanan Street, which is located on the same parcel as Landmark #58, the San Francisco Gas Light Company's historic North Beach Station (3636 Buchanan Street). 3620 Buchanan Street originally served as a garden house/workshop, and has since been used as an office. It is neither an individual historic resource nor a contributing feature of Landmark #58. The non-historic building will be replaced with a four-story multi-family residential building that will consist of eight dwelling units.

Landmark #58 and the non-historic building proposed to be demolished are separated by a courtyard garden. Similar to the non-historic building, the courtyard is not a contributing feature of Landmark #58. The non-historic courtyard will need to be reduced in size since the new building will have a larger footprint than the existing non-historic building. However, the larger massing and footprint of the proposed new building will not diminish views of Landmark #58 as seen from across the street.

The proposed new building will be contemporary in design but will be compatible with Landmark #58 due to:

- Use of a color palette that incorporates colors and tones similar to Landmark #58;
- Use of compatible materials such as brick; and
- Recessed windows.

Though the new building will be 40 feet in height, it will not exceed the overall height of Landmark #58; the roofline of the new building will be below the roofline of the historic resource. Further, the change in materials and color palette of the fourth story visually reduces the conveyed massing. Landmark #58 will continue to visually dominate the block.

## Findings of Compliance with Preservation Standards

FINDINGS OF COMPLIANCE WITH PRESERVATION STANDARDS		YES	NO	N/A
1	Is the property being used as it was historically?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2	Does the new use have minimal impact on distinctive materials, features, spaces, and spatial relationship?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3	Is the historic character of the property being maintained due to minimal changes of the above listed characteristics?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4	Are the design changes creating a false sense of history of historical development, possible from features or elements taken from other historical properties?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5	Are there elements of the property that were not initially significant but have acquired their own historical significance?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6	Have the elements referenced in Finding 5 been retained and preserved?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
7	Have distinctive materials, features, finishes, and construction techniques or examples of fine craftsmanship that characterize the property been preserved?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8	Are all deteriorating historic features being repaired per the Secretary of the Interior Standards?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
9	Are there historic features that have deteriorated and need to be replaced?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10	Do the replacement features match in design, color, texture, and, where possible, materials?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11	Are any specified chemical or physical treatments being undertaken on historic materials using the gentlest means possible?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
12	Are all archeological resources being protected and preserved in place?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
13	Do exterior alterations or related new construction preserve historic materials, features, and spatial relationships that are characteristic to the property?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14	Are exterior alterations differentiated from the old, but still compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
15	If any alterations are removed one day in the future, will the forms and integrity of the historic property and environment be preserved?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Please summarize how your project meets the Secretary of the Interior's *Standards for the Treatment of Historic Properties*, in particular the *Guidelines for Rehabilitation* and will retain character-defining features of the building and/or district:

The proposed project complies with the Secretary of the Interior's Standards for Rehabilitation because it will not result in the removal or alteration of historic features that characterize the historic resource, Landmark #58. The height of the new building will have a similar scale and massing as the adjacent resource. Due to the stepped massing, the new building will only minimally impact views of Landmark #58 from the south; views from other directions will not be impacted. Further, the color palette and materials proposed for the new building will be compatible with Landmark #58.

# Findings of Compliance with General Preservation Standards

In reviewing applications for Certificate of Appropriateness the Historic Preservation Commission, Department staff, Board of Appeals and/or Board of Supervisors, and the Planning Commission shall be governed by *The Secretary of the Interior's Standards for the Treatment of Historic Properties* pursuant to Section 1006.6 of the Planning Code. Please respond to each statement completely (Note: Attach continuation sheets, if necessary). Give reasons as to *how* and *why* the project meets the ten Standards rather than merely concluding that it does so. IF A GIVEN REQUIREMENT DOES NOT APPLY TO YOUR PROJECT, EXPLAIN WHY IT DOES NOT.

1. The property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships;  
The project will not impact or alter the use of Landmark #58. The project consists of demolishing an existing, non-historic building (originally used as a garden house/workshop) and constructing a four-story multi-family residential building. The new building will be larger than the non-historic building it replaces; but will have a similar scale and massing as the adjacent resource, Landmark #58. It will only minimally impact views of Landmark #58. This change will only minimally alter the spatial relationships of the property. The proposed project will largely comply with Standard 1.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize the property will be avoided;  
The proposed multi-family residential building will be located on the same parcel and across the courtyard from Landmark #58. The proposed project will retain Landmark #58, the only historic resource on the parcel. No distinctive materials will be removed. The only spatial relationship that will be impacted is the courtyard, which will be reduced in size to accommodate the new building. However, the courtyard is not a contributing feature of the historic resource and is not visible from the public right-of-way. Landmark #58 will still dominate the block and be spatially separated from the new building. The proposed project will comply with Standard 2.
3. Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken;  
The design of the new building will be contemporary in style and it will be compatible through the use of a color palette and materials that compliment the historic resource. The property will be recognized as a physical record of its time, place, and use. The new building will not use conjectural features or create a false sense of historical development. The proposed project will comply with Standard 3.

4. Changes to a property that have acquired historic significance in their own right will be retained and preserved;

There are no changes on the property that have acquired historic significance in their own right. The existing building at 3620 Buchanan Street and the adjacent courtyard are not historic resources and are not contributing features of Landmark #58. The proposed project is in compliance with Standard 4.

5. Distinctive materials, features, finishes, and construction techniques or examples of fine craftsmanship that characterize a property will be preserved;

The only historic feature on the property is Landmark #58, the San Francisco Gas Light Company's historic North Beach Station, which will be retained along with all of its materials, features, finishes, and construction techniques. The proposed project is in compliance with Standard 5.

6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence;

There is no scope that involves Landmark #58, the only historic feature on the site. The proposed project is in compliance with Standard 6.

7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used;

As noted above, there is no scope that involves Landmark #58, the only historic feature on the site. The proposed project is in compliance with Standard 7.



8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken;

It is not anticipated that archeological resources will be uncovered. If any archaeological material is encountered during construction, the City of San Francisco's standard procedures for the treatment of archeological materials will be adhered to; mitigation measures will be undertaken. If standard procedures are followed in the case of an encounter with archaeological material, the proposed project will be in compliance with Standard 8.

9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment;

The proposed project involves neither an addition nor an exterior alteration to the historic resource, Landmark #58; however, the proposed new multi-family residential building represents related new construction. The new building will not destroy historic materials or features. It will be located across the courtyard so the the spatial qualities of the site are only minimally changed. The new building will be contemporary and distinct from

Landmark #58, yet it will also incorporate materials and a color palette that are compatible with Landmark #58.

Though the proposed building is four stories in height, it will not exceed the overall height of Landmark #58; the roofline of the new building will be below the roofline of the historic resource. Further, the change in materials and color palette of the fourth story visually reduces the conveyed massing. The proposed project will comply with Standard 9.

10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would not be impaired;

The proposed project will be constructed across an existing, non-historic courtyard from Landmark #58. The new multi-family residential building could be removed and the essential form and integrity of the historic resource and its environment would not be impaired. The proposed project will comply with Standard 10.

*PLEASE NOTE: For all applications pertaining to buildings located within Historic Districts, the proposed work must comply with all applicable standards and guidelines set forth in the corresponding Appendix which describes the District, in addition to the applicable standards and requirements set forth in Section 1006.6. In the event of any conflict between the standards of Section 1006.6 and the standards contained within the Appendix which describes the District, the more protective shall prevail.*

# Priority General Plan Policies Findings

Proposition M was adopted by the voters on November 4, 1986. It requires that the City shall find that proposed projects and demolitions are consistent with eight priority policies set forth in Section 101.1 of the City Planning Code. These eight policies are listed below. Please state how the project is consistent or inconsistent with each policy. Each statement should refer to specific circumstances or conditions applicable to the property. Each policy must have a response. IF A GIVEN POLICY DOES NOT APPLY TO YOUR PROJECT, EXPLAIN WHY IT DOES NOT.

1. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses enhanced;

The proposed project will not impact the existing neighborhood-serving retail uses.

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2. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods;

The proposed project will not remove any existing housing, though it will add an additional eight dwelling units to the neighborhood. Overall, the existing neighborhood character will be conserved and protected so as to preserve the cultural and economic diversity of the surrounding neighborhood.

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3. That the City's supply of affordable housing be preserved and enhanced;

The proposed project will not remove any existing affordable housing.

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4. That commuter traffic not impede Muni transit service or overburden our streets or neighborhood parking;

The proposed project will add eight dwelling units to the neighborhood and one parking space; thus, the impact to commuter traffic will be negligible.

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5. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced;

The proposed project will not result in the removal of any industrial or service sectors. The project consists of a multi-family residential building that adds eight dwelling units. No commercial office development is proposed.

6. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake;

The proposed project will be built according to current structural and seismic code.

7. That landmarks and historic buildings be preserved; and

The proposed project will be constructed on a parcel that contains Landmark #58, the San Francisco Gas Light Company's historic North Beach Station, which will be preserved.

8. That our parks and open space and their access to sunlight and vistas be protected from development.

The proposed project will not impact any public parks or open spaces. The four-story height of the new multi-family residential building will not deprive any nearby public parks access to sunlight. Vistas will not be impacted, especially due to the project's massing on the property as well as details such as the transparency of the northern balcony railings.


# Estimated Construction Costs

TYPE OF APPLICATION:	
Certificate of Appropriateness (Building Permit to follow pending CofA approval)	
OCCUPANCY CLASSIFICATION:	
R-2, S-2	
BUILDING TYPE:	
Type V-A over I-A Podium	
TOTAL GROSS SQUARE FEET OF CONSTRUCTION:	BY PROPOSED USES:
13,279sf	Dwelling Units: 8,615sf;
	Parking: 891sf; and
	Circulation & Storage: 3,938sf
ESTIMATED CONSTRUCTION COST:	
ESTIMATE PREPARED BY:	
FEE ESTABLISHED:	

## Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: Other information or applications may be required.

Signature: 

Date: 10/19/2018

Print name, and indicate whether owner, or authorized agent:

Jody Knight (Authorized Agent)

Owner / Authorized Agent (circle one)

# Certificate of Appropriateness Application Submittal Checklist

The intent of this application is to provide Staff and the Historic Preservation Commission with sufficient information to understand and review the proposal. Receipt of the application and the accompanying materials by the Planning Department shall only serve the purpose of establishing a Planning Department file for the proposed project. After the file is established, the Department will review the application to determine whether the application is complete or whether additional information is required for the Certificate of Appropriateness process. Applications listed below submitted to the Planning Department must be accompanied by this checklist and all required materials. The checklist is to be completed and **signed by the applicant or authorized agent**.

REQUIRED MATERIALS (please check correct column)	CERTIFICATE OF APPROPRIATENESS
Application, with all blanks completed	<input checked="" type="checkbox"/>
Site Plan	<input checked="" type="checkbox"/>
Floor Plan	<input checked="" type="checkbox"/>
Elevations	<input checked="" type="checkbox"/>
Prop. M Findings	<input checked="" type="checkbox"/>
Historic photographs (if possible), and current photographs	<input checked="" type="checkbox"/>
Check payable to Planning Department	<input checked="" type="checkbox"/>
Original Application signed by owner or agent	<input checked="" type="checkbox"/>
Letter of authorization for agent	<input checked="" type="checkbox"/>
Other: Section Plan, Detail drawings (i.e. windows, door entries, trim), Specifications (for cleaning, repair, etc.) and/or product cut sheets for new elements (i.e. windows, doors)	<input checked="" type="checkbox"/>

**NOTES:**

- Required Material. Write "N/A" if you believe the item is not applicable, (e.g. letter of authorization is not required if application is signed by property owner.)
- Typically would not apply. Nevertheless, in a specific case, staff may require the item.

**PLEASE NOTE:** *The Historic Preservation Commission will require additional copies each of plans and color photographs in \ reduced sets (11" x 17") for the public hearing packets. If the application is for a demolition, additional materials not listed above may be required. All plans, drawings, photographs, mailing lists, maps and other materials required for the application must be included with the completed application form and cannot be "borrowed" from any related application.*

For Department Use Only

Application received by Planning Department:

By: \_\_\_\_\_

Date: \_\_\_\_\_



**SAN FRANCISCO  
PLANNING  
DEPARTMENT**

**FOR MORE INFORMATION:  
Call or visit the San Francisco Planning Department**

**Central Reception**  
1650 Mission Street, Suite 400  
San Francisco CA 94103-2479

TEL: **415.558.6378**  
FAX: **415 558-6409**  
WEB: **<http://www.sfplanning.org>**

**Planning Information Center (PIC)**  
1660 Mission Street, First Floor  
San Francisco CA 94103-2479

TEL: **415.558.6377**

*Planning staff are available by phone and at the PIC counter.  
No appointment is necessary.*



**3620 BUCHANAN STREET**  
SAN FRANCISCO, CALIFORNIA

CERTIFICATE OF APPROPRIATENESS: APPENDIX  
NEW MULTI-FAMILY RESIDENTIAL BUILDING



**ib+a**  
architecture

**PAGE & TURNBULL**

imagining change in historic environments through design, research, and technology

OCTOBER 19, 2018

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Page & Turnbull, September 2018

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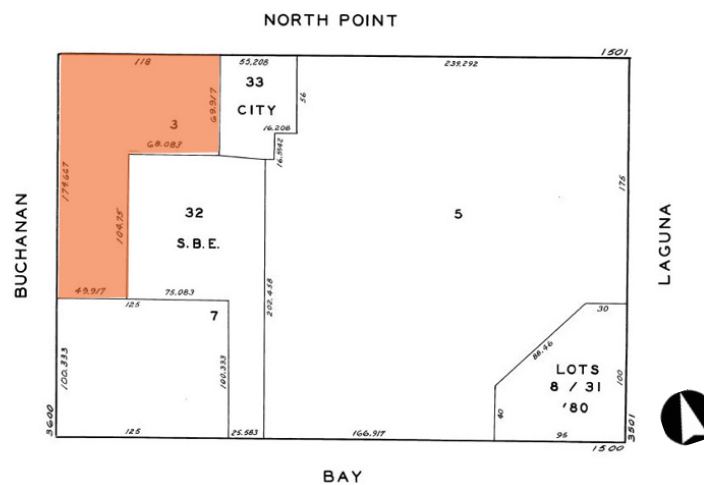
## 3620 BUCHANAN OVERVIEW AND PROJECT SUMMARY

### SITE INTRODUCTION & BRIEF HISTORY

The site parcel (APN 0459/003) in San Francisco's Marina neighborhood is an L-shaped property that contains the San Francisco Gas Light Company's historic North Beach Station (Landmark No. 58) located at 3636 Buchanan Street as well as the one-story garden house/workshop located at 3620 Buchanan Street. The two buildings are connected by a non-historic garden, with a non-historic brick perimeter wall and metal entrance gates. Currently, both buildings are used as offices by Tusker Corporation, PG&E, and other tenants. The addresses at the site are 3620, 3636, and 3640 Buchanan Street; 1593 and 1959 North Point Street.

The site was first developed by the San Francisco Gas Light Company between 1891 and 1893 as the North Beach Station complex. The subject building of this Certificate of Appropriateness application is the one-story garden house/workshop built in 1958. Prior to its construction, the 1893 and 1899 Sanborn maps show a one-story horse cart shed and a one-story horse shed at the location of the future garden house/workshop. These sheds were removed by 1913 and the area remained vacant for 45 years.

Dent and Margaret Macdonough purchased the property from PG&E in 1958. They carried out a restoration and adaptation of the Gas Light Company building into an antique store. They also commissioned the construction of a new garden house/workshop by architect Clifford Conly, Jr. and new landscaping by Jean Wolff. Their company, Merryvale Antiques, operated at the property until 1980 when it was sold to the Pacific Union Land Company. The garden house/workshop was renovated into office use in the 1980s under the ownership of Pacific Union. The property was later sold to Roger Walther in 1998, who carried out a second building restoration project at Landmark No. 58, including renovation of the garden spaces and extension of the brick wall in 2000.



Assessor's map of the subject block. Subject parcel is highlighted orange. Subject project site at 3620 Buchanan Street is located at the south end of the lot (San Francisco Office of the Assessor-Recorder, edited by Page & Turnbull).

### HISTORIC STATUS

The subject building at 3620 Buchanan Street is not currently designated as a San Francisco City Landmark or Structure of Merit. However, 3636 Buchanan Street is designated as San Francisco Landmark No. 58 (Merryvale Antiques; originally the San Francisco Gas Light Company). 3620 and 3636 Buchanan Street do not fall within the boundaries of any existing locally designated historic districts or conservation districts.

3620 Buchanan Street is not listed in the California Historic Resources Information System (CHRIS) database with a status code. The most recent update to the California Historic Resources Information System (CHRIS) database for San Francisco County that lists the status codes was in April 2012. However, 3636 Buchanan Street is listed as the "Meter and Office House" of the San Francisco Gas Light Company (Landmark No. 58) with a Status Code of 7J, "Received by OHP for evaluation or action but not yet evaluated" (status date: 08/09/2000).

A Historic Resource Evaluation (HRE) Part 1 of the existing one-story garden house/workshop designed by Clifford Conly in 1958 was carried out by Page & Turnbull in 2016. The HRE Part 1 determined that the garden house/workshop, although compatible in scale to Landmark No. 58, is not integral to the significance of the landmarked building, nor does it appear to qualify for individual listing in the California Register of Historical Resources.



Aerial view of the subject block. Subject property is outlined with black dashes. Current garden house/workshop building at 3620 Buchanan Street is outlined with orange dashes (Microsoft Bing Maps, 2016, edited by Page & Turnbull).

### PROJECT SUMMARY

The project sponsor (Tusker Corporation) proposes to replace the existing garden house/workshop used as an office with a residential-use building. The project will demolish the existing one-story building to construct a four-story multi-family residential building. Project drawings and renderings included herein were completed by Ian Birchall + Associates in July and October 2018.

The proposed residential building is sited at the location of the garden house/workshop, which is at the south end of the parcel. A portion of the non-historic courtyard garden as well as planters along the south edge of the property are also proposed to be demolished to accommodate the proposed footprint of the new building. Alterations will be made to the sidewalk and brick perimeter wall for a new driveway and entry gate at Buchanan Street.



View of subject block face from the northwest corner of Buchanan and North Point streets, facing southeast (Page & Turnbull, September 2018).



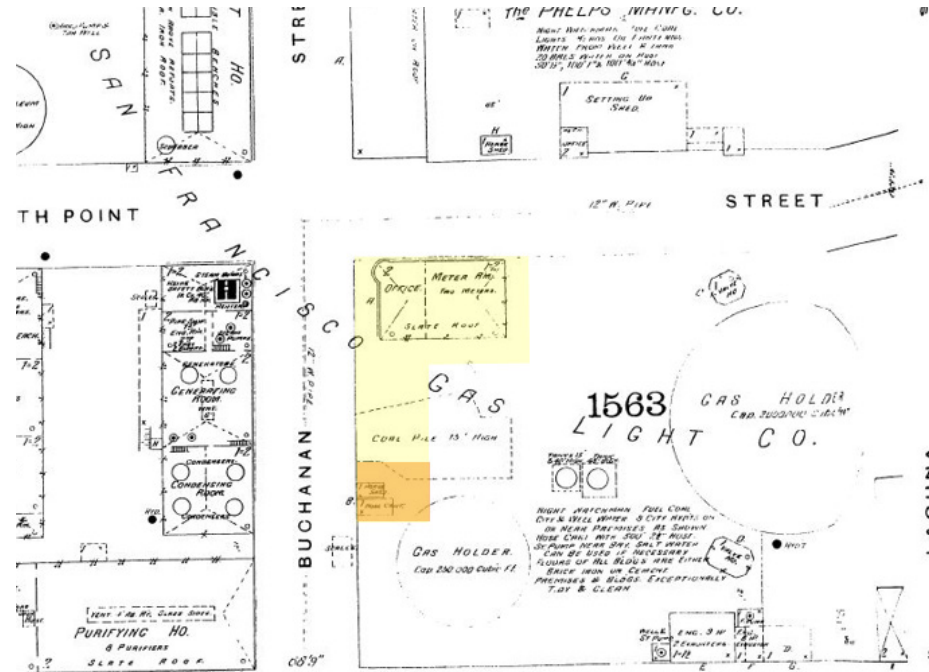
Rear (north) façade of garden house/workshop and courtyard garden, facing southeast (Page & Turnbull, September 2018).

## SAN FRANCISCO LANDMARK NO. 58

The designation of Landmark No. 58 emphasized the history and architecture of what once was the administration building for San Francisco Gas Light Company's North Beach Station.<sup>1</sup> The administration building is the only surviving building of the North Beach Station and reportedly the "oldest intact survivor of the origins of the private utility company known as PG&E."<sup>2</sup>

The character-defining features of Landmark No. 58 located at 3636 Buchanan Street include:<sup>3</sup>

- Red brick construction
- Rectangular form of two stories and an attic
- Queen Anne corner tower with conical roof (taller than the main roof)
- Hipped main roof, without projecting eaves, resting on a corbelled cornice
  - Brick chimney
- Fenestration
  - Reflects the interior division of the building into two elements
    1. The front, or westerly, one-third possessing windows indicating two floors with a heavy string course of brickwork at the upper floor level
    2. The back, or easterly, remaining two-thirds of the building, containing tall windows divided into panes with fanlights above, whose sill line is uniform with those on the lower floor at the front, but whose tops extend upward about three-quarters of the total wall height
  - Decorative, arched terra-cotta lintels divided into sections containing a patera
- Centered, arched main entrance resting on short brick pilasters framing a recessed doorway
  - Arch contains raised letters of the name of the original occupant of the building: S.F. GAS LIGHT Co<sup>3</sup>
- Two story opening at the rear (east) façade with flat decorative terra-cotta lintel similar to those above the windows
- Two-story brick pilasters
- Open space surrounding the building, allowing the building to maintain dominance of the corner without being overshadowed by neighbors on either side



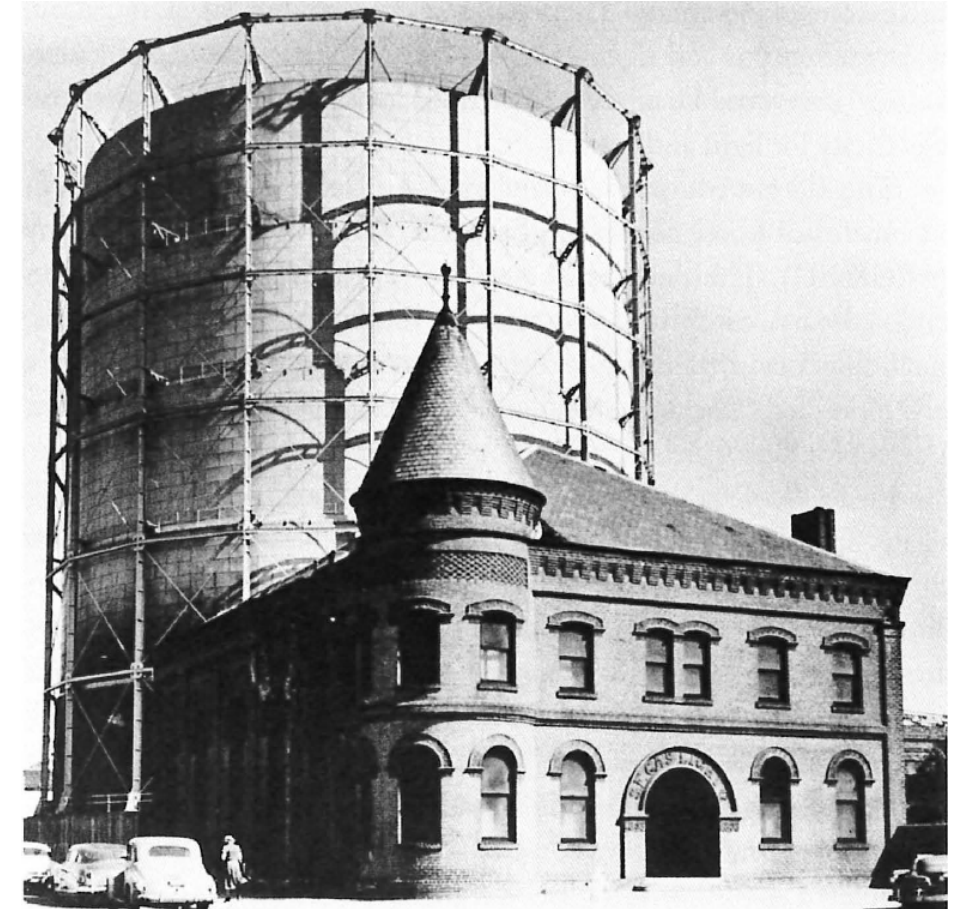
1893 fire insurance map by the Sanborn-Perris Map Co. Yellow shading roughly delineates subject parcel and orange shading delineates future location of 3620 Buchanan Street (SFPL, edited by Page & Turnbull).



1969 photograph of Landmark No. 58, then known as Merryvale Antiques (SF History Center, SF Public Library, AAC-4810).



ca. 2000 photograph of courtyard garden after the 2000 renovation (A Place of Light and Power, page 26; Anne Lawrence).



1951 photograph of Landmark No. 58, then known as the PG&E administration building (A Place of Light and Power, page 18; PG&E).



1906 photograph of Lobos Square Refugee Camp, showing the damaged North Beach Station in the background (SF History Center, SF Public Library, AAC-3104).

<sup>1</sup> Landmarks Preservation Advisory Board, "Merryvale Antiques (Formerly San Francisco Gas Light Company)."

<sup>2</sup> Patrick McGrew, "The San Francisco Gas Light Company: Abbreviated Historic Structure Report," December 22, 1998.

<sup>3</sup> Based on the architectural description provided by the Landmarks Preservation Advisory Board in the "Merryvale Antiques (Formerly San Francisco Gas Light Company)" Landmark No. 58 designation.

## EXISTING CONDITION IMAGES OF PROJECT SITE

Photographs taken by Page & Turnbull in September 2018



Primary (south) and west façades of garden house/workshop behind the perimeter brick wall, facing northeast. Landmark No. 58 is in the background to the left.



West façade of eastern-most bay of garden house/workshop, facing east.



Relationship between Landmark No. 58 (left) and the garden house/workshop (right), facing east.



Rear (north) façade of garden house/workshop, facing southwest.



Rear (north) façade of garden house/workshop and courtyard garden, facing south.

## EXISTING CONDITION IMAGES OF SURROUNDING AREA

Photographs taken by Page & Turnbull in September 2018



New residential development at 1598 Bay Street, facing northeast.



Relationship between Landmark No. 58 (left), project site (center), and 1598 Bay Street (right), facing northeast.



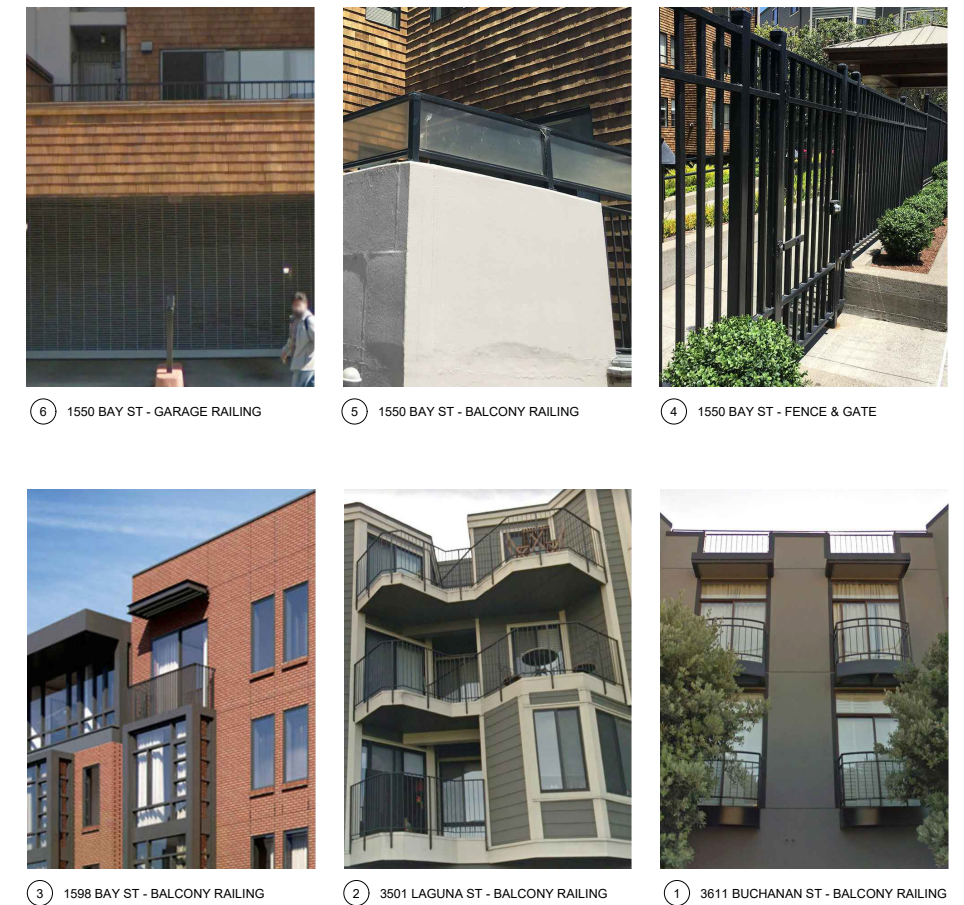
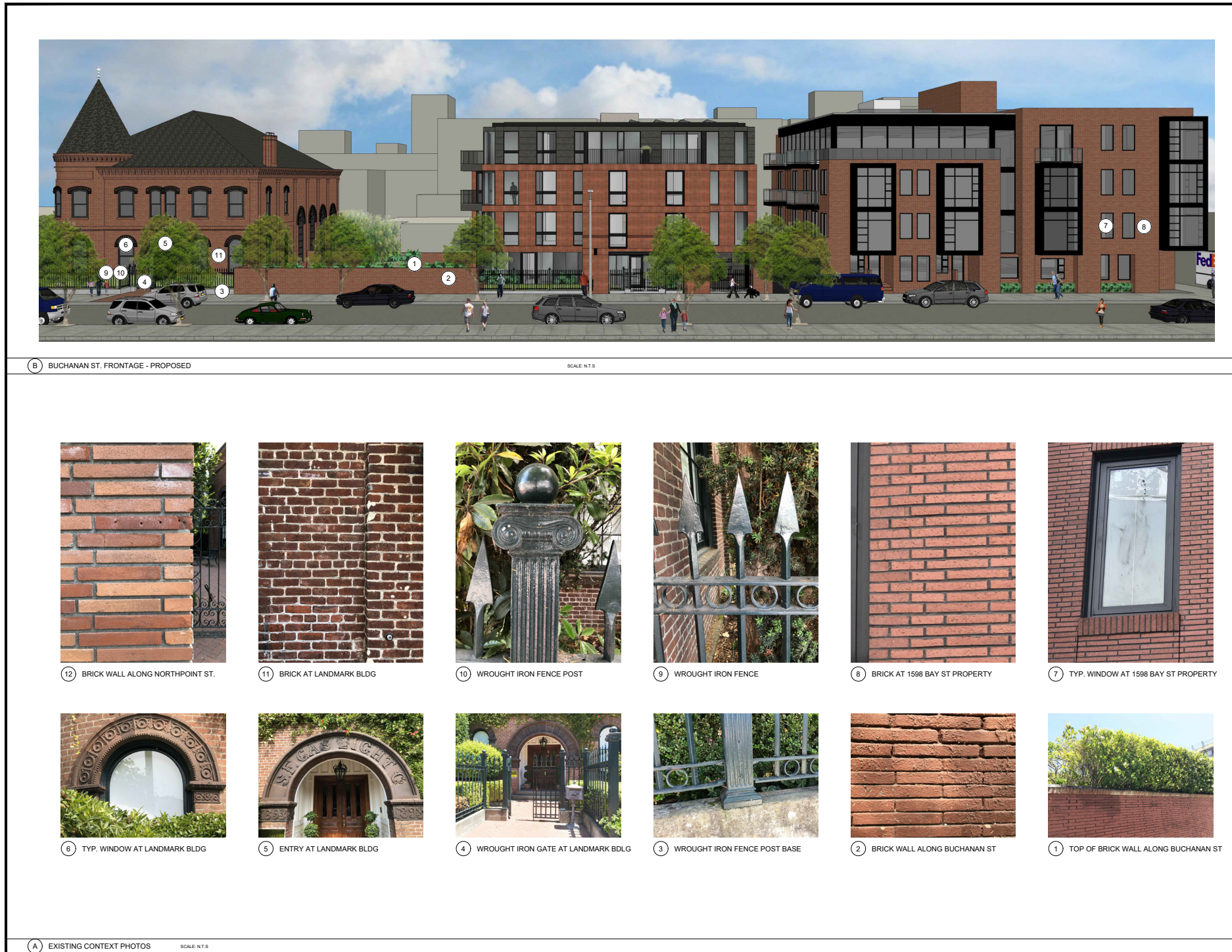
Relationship between project site (left) and 1598 Bay Street (right), facing southeast.



Landmark No. 58 with project site and 1598 Bay Street in the background, facing southeast.

**EXISTING CONDITION IMAGES OF SURROUNDING AREA**

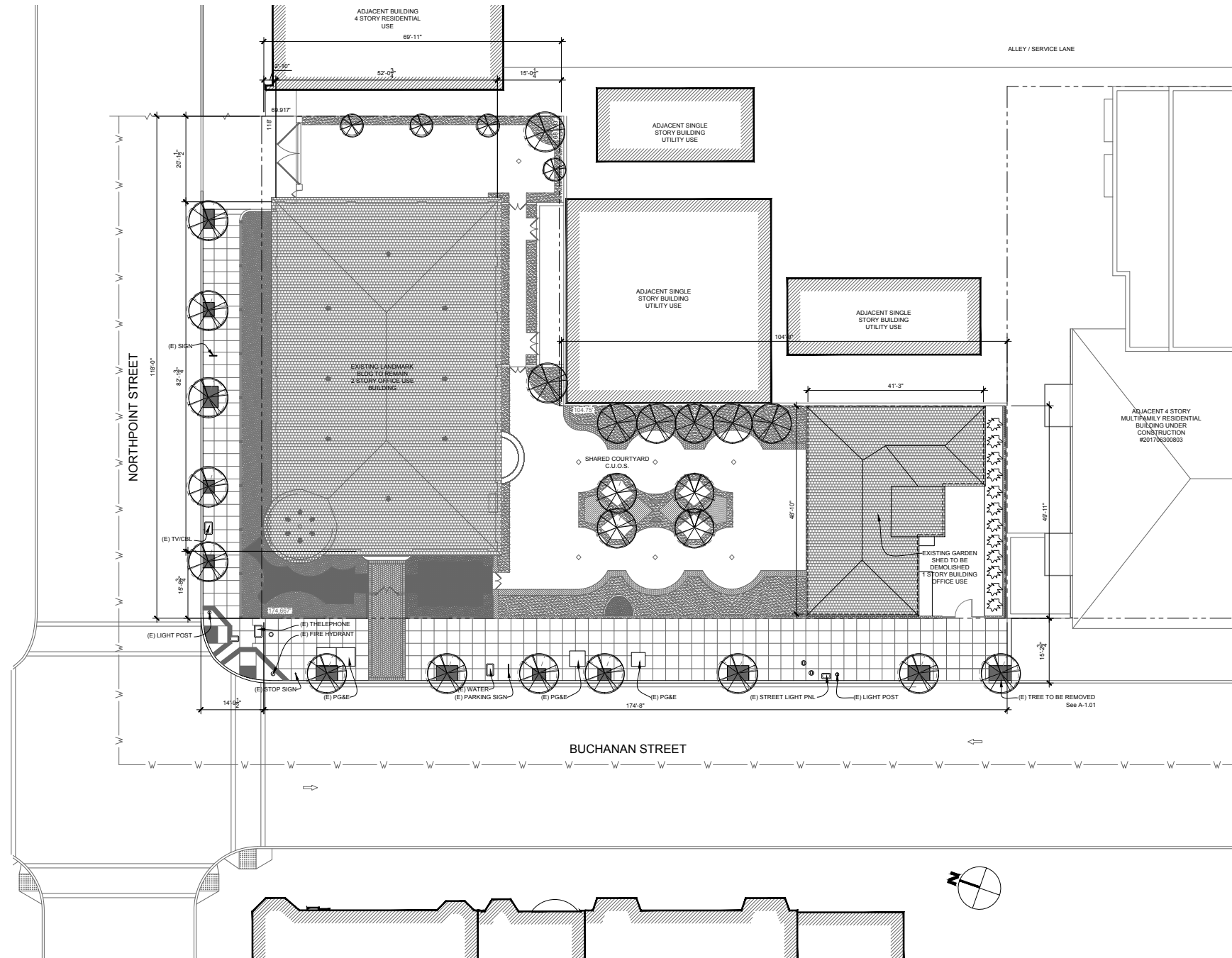
Photographs were taken by Ian Birchall + Associates (ca. 2017-2018)



IMAGES

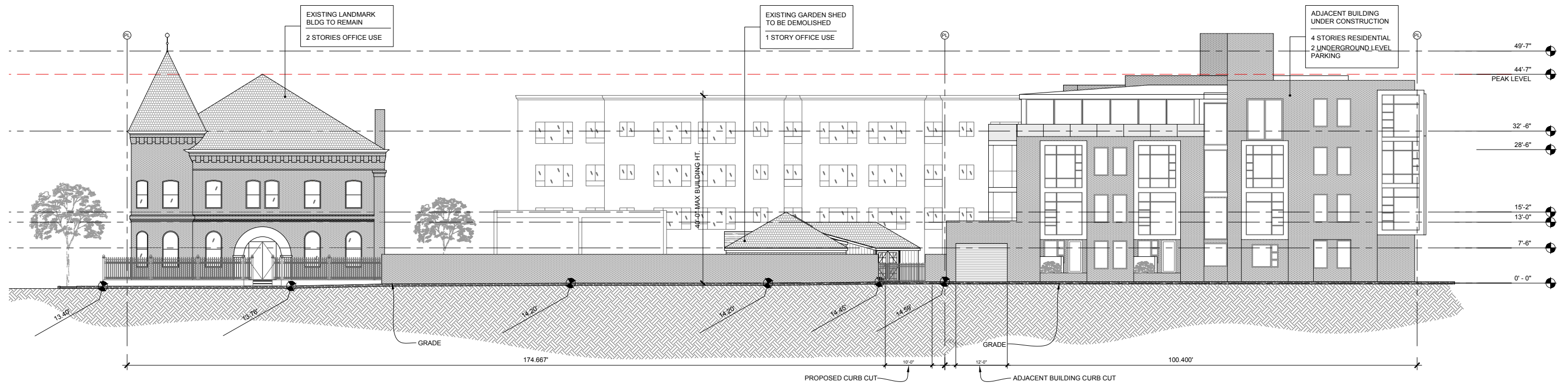


EXISTING SITE PLAN



Existing Site Plan (Scale: N.T.S.)

EXISTING SITE ELEVATION

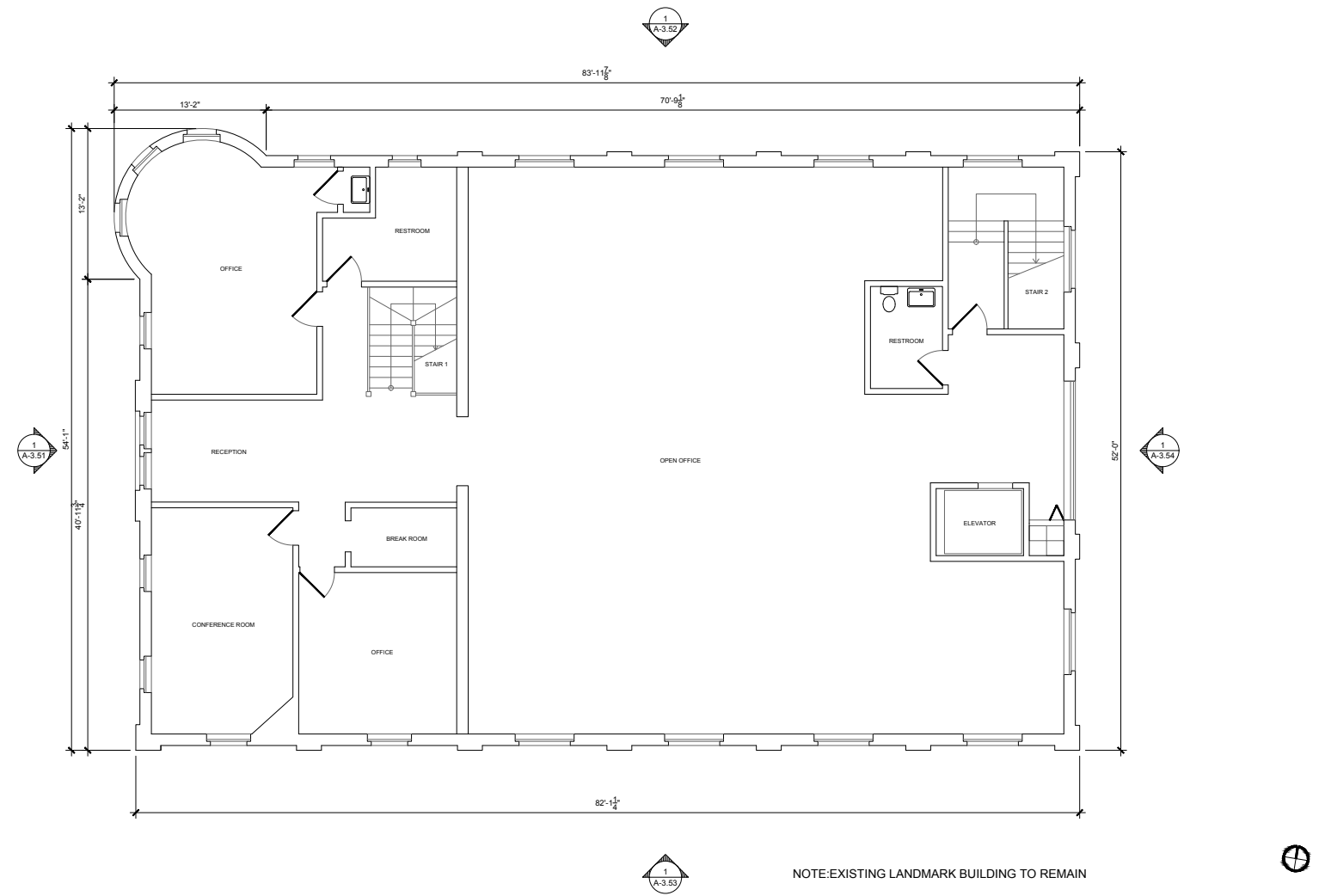
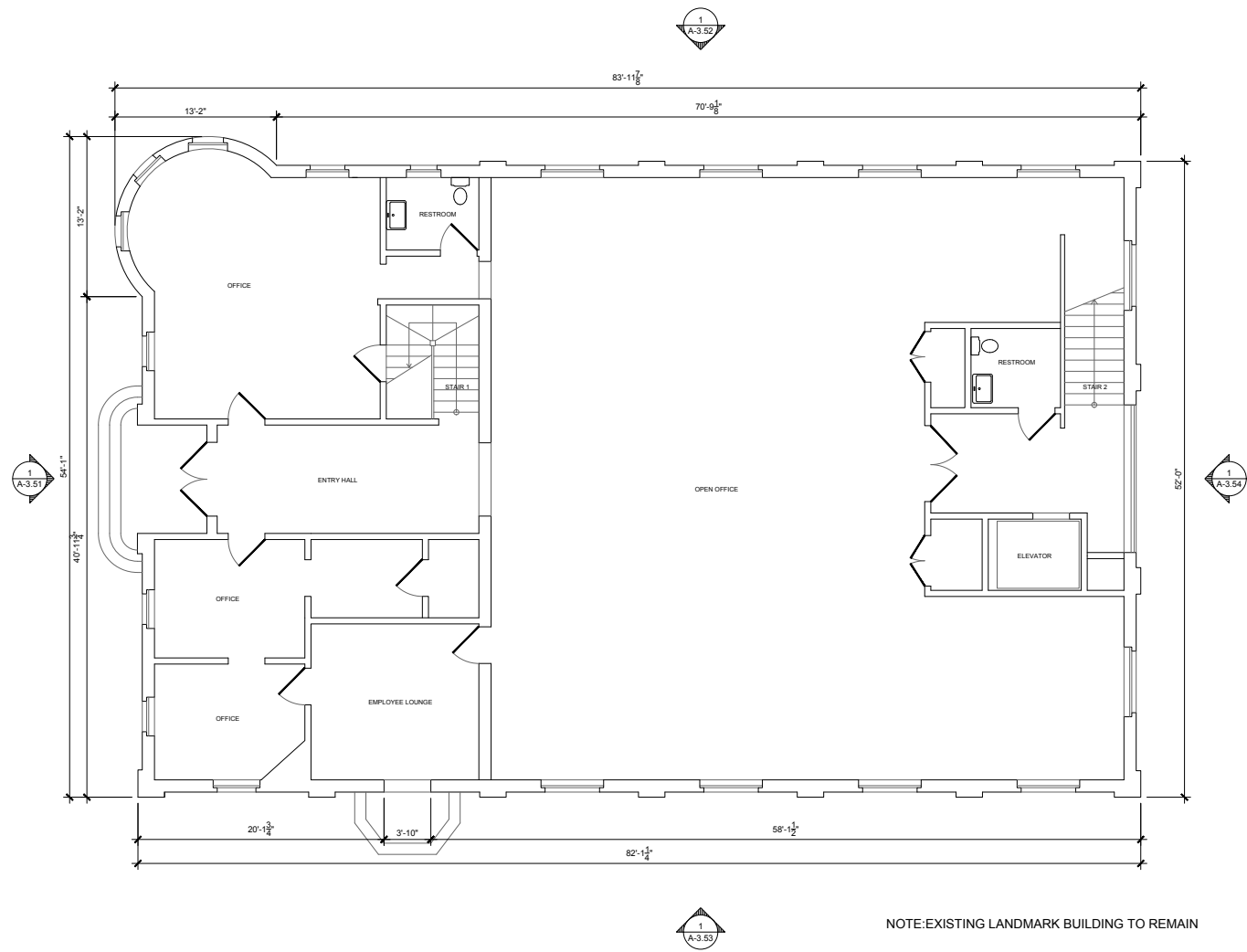


NOTE: SEE ENLARGED ELEVATIONS ON SHEETS A-3.00 - A-3.54 FOR EXISTING / PROPOSED MATERIAL FINISHES.

Existing West Elevation - Buchanan Street (Scale: N.T.S.)



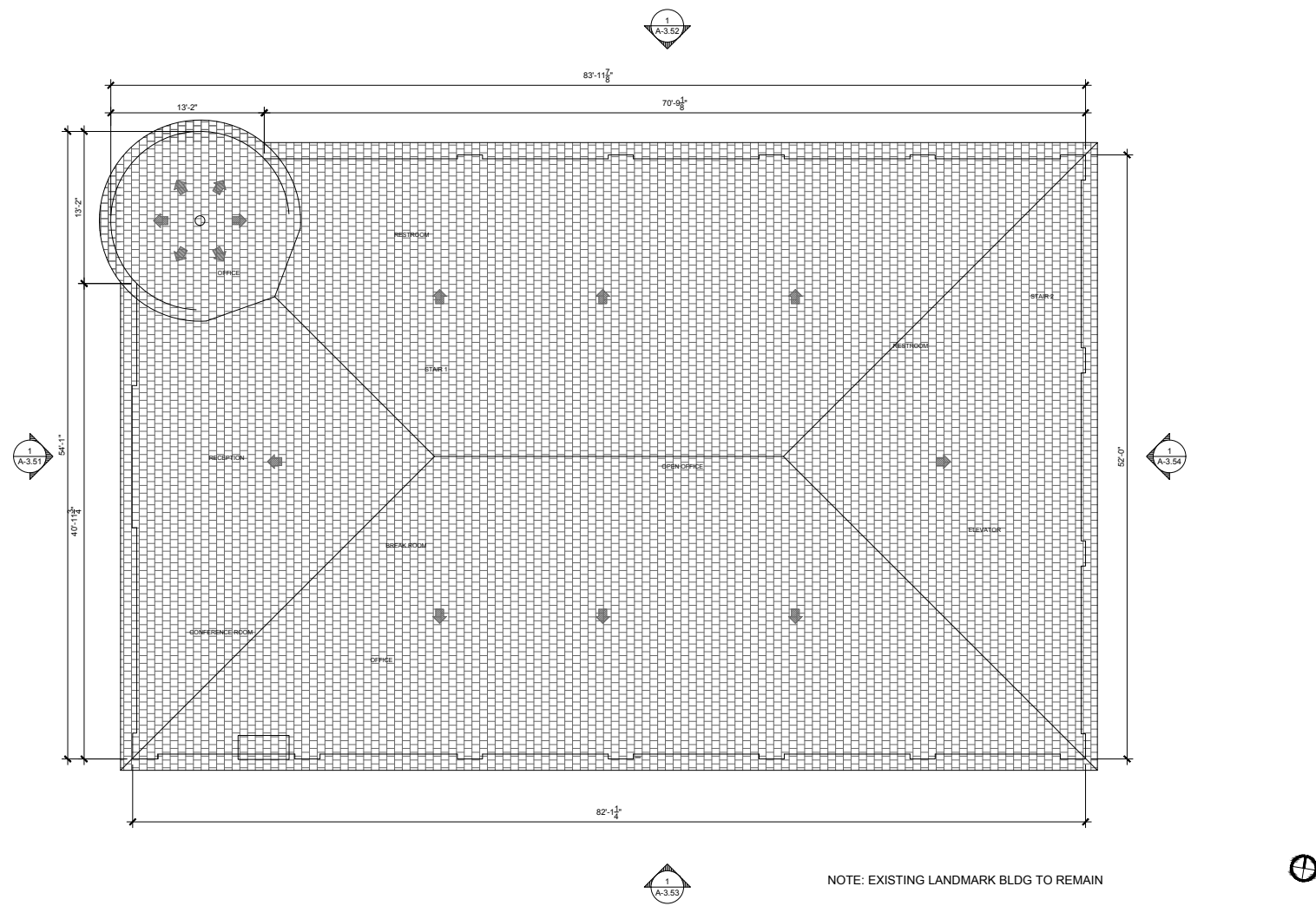
EXISTING LANDMARK BUILDING - FLOOR PLANS



Existing first floor plan (Scale: N.T.S.)

Existing second floor plan (Scale: N.T.S.)

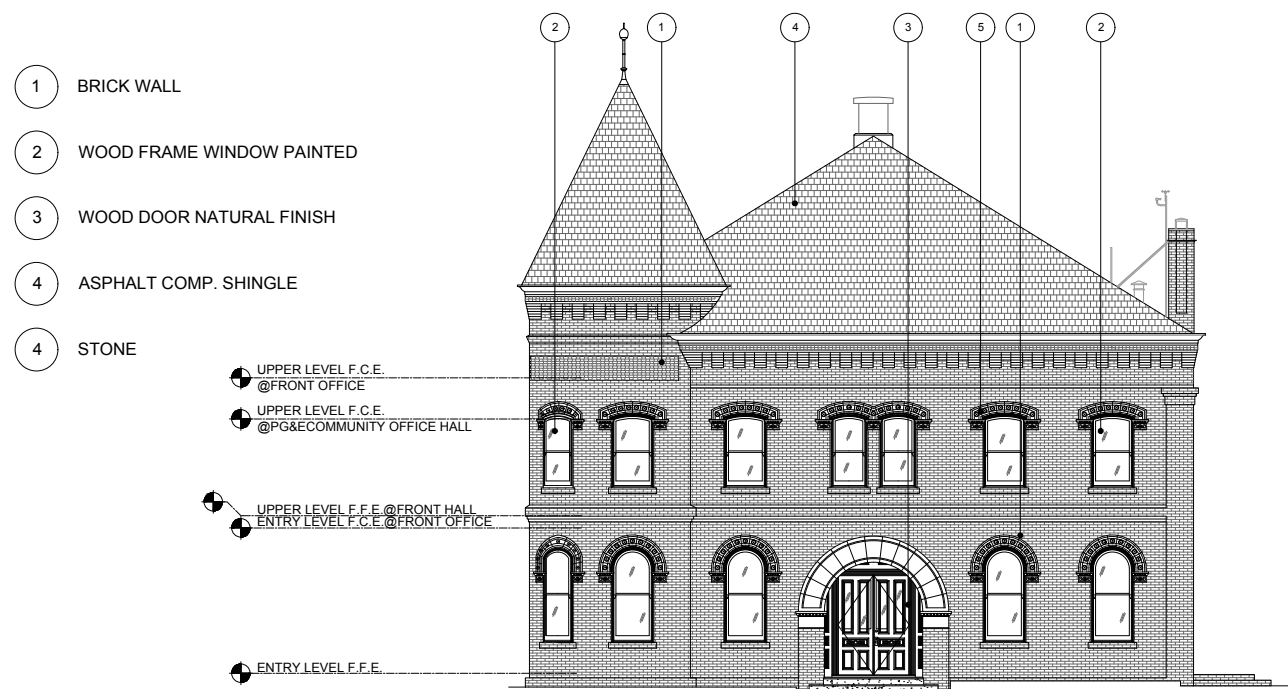
### EXISTING LANDMARK BUILDING - FLOOR PLANS



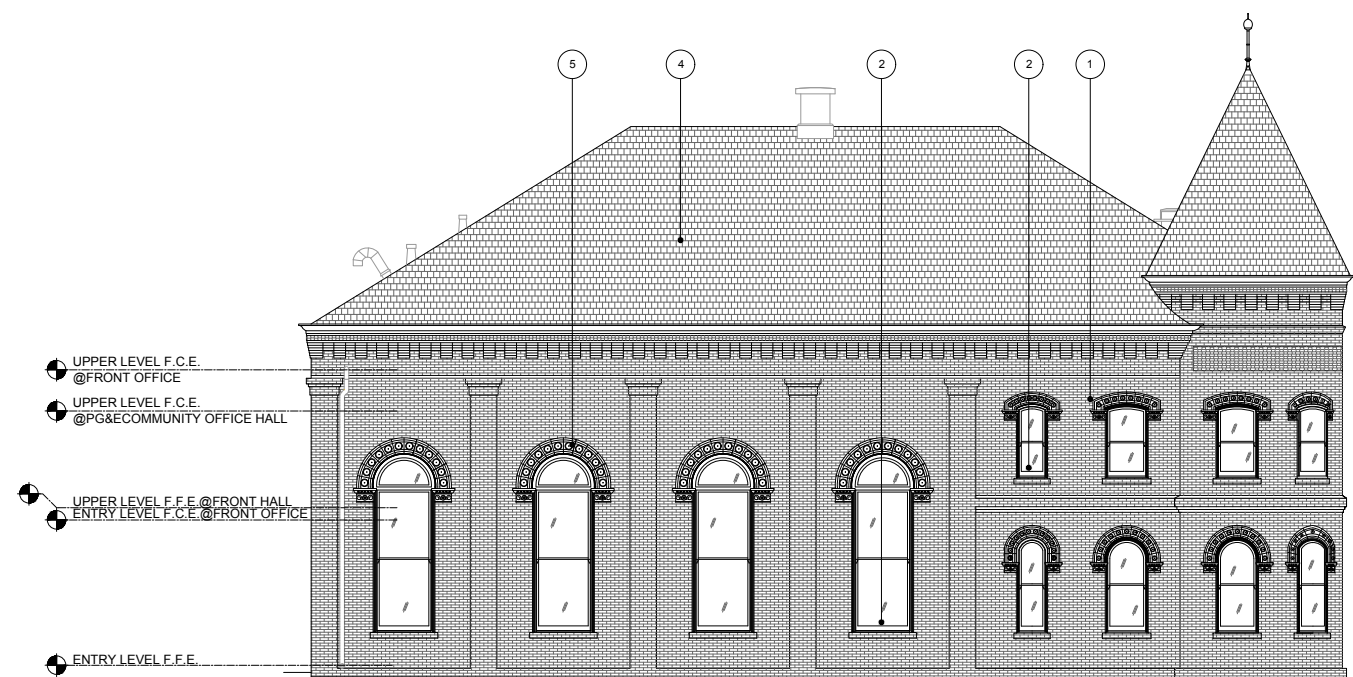
Existing roof plan (Scale: N.T.S.)

(E) LANDMARK  
BUILDING

EXISTING LANDMARK BUILDING - ELEVATIONS

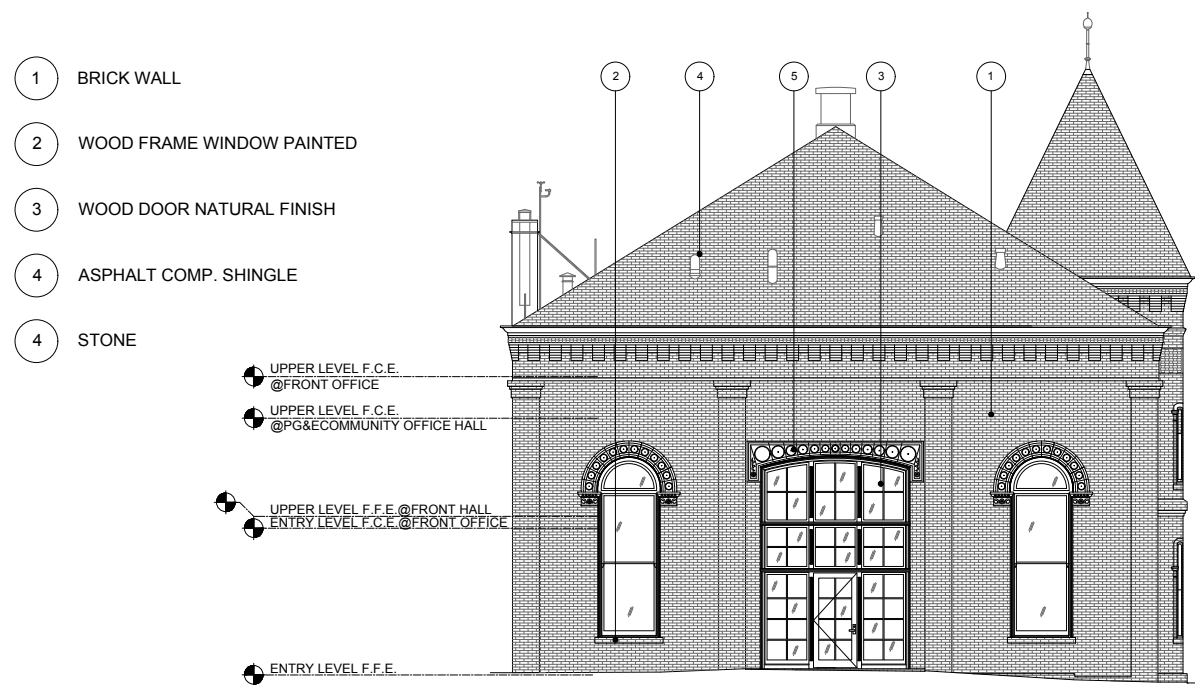


West elevation (Scale: N.T.S.)

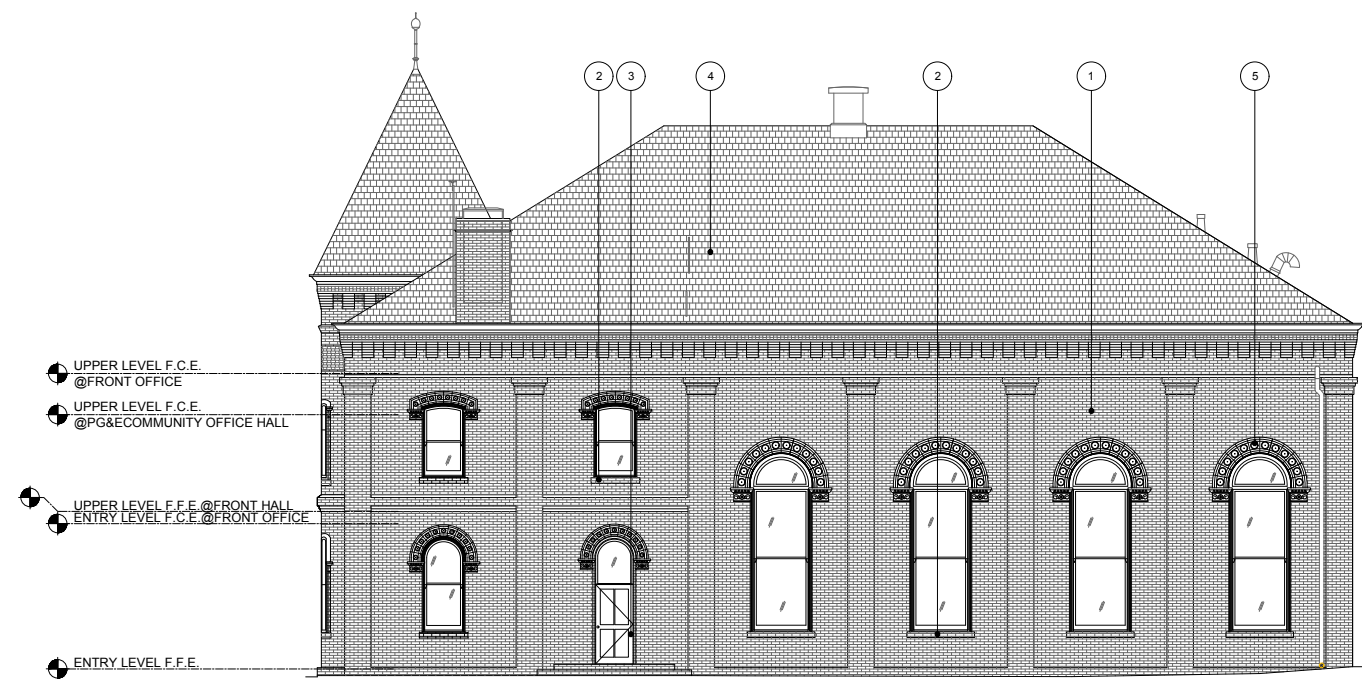


North elevation (Scale: N.T.S.)

EXISTING LANDMARK BUILDING - ELEVATIONS



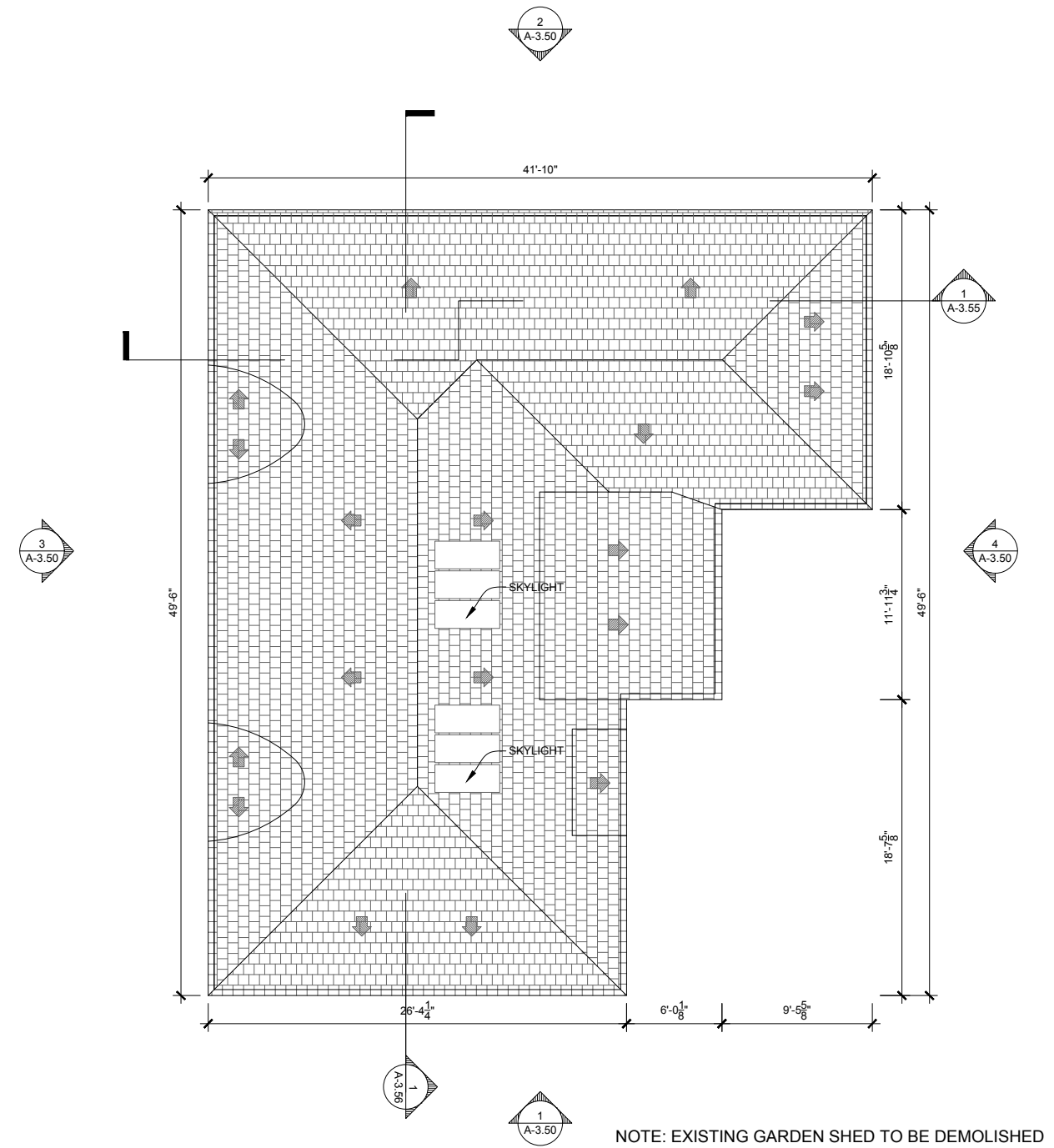
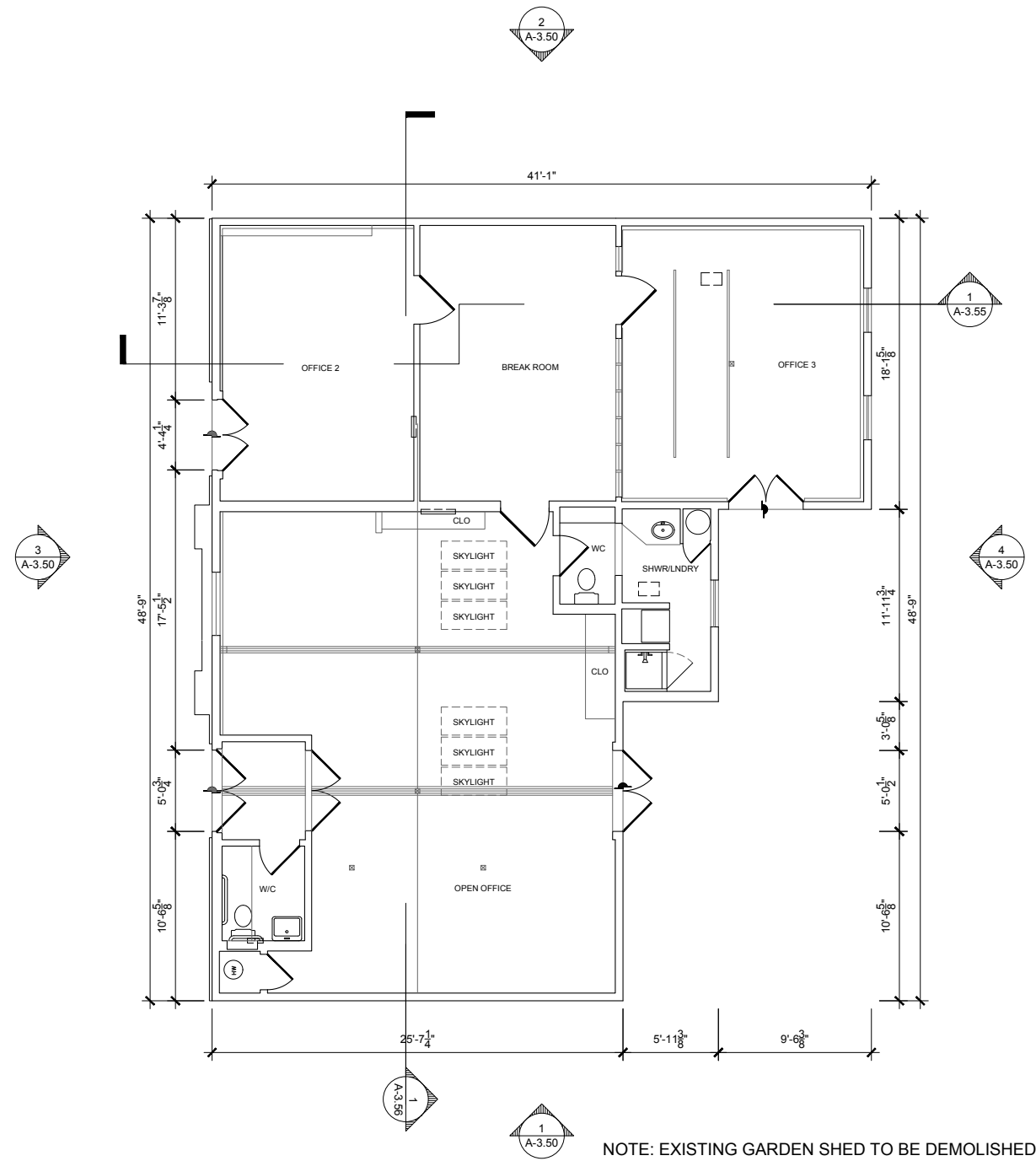
East elevation (Scale: N.T.S.)



South elevation (Scale: N.T.S.)

(E) LANDMARK BUILDING

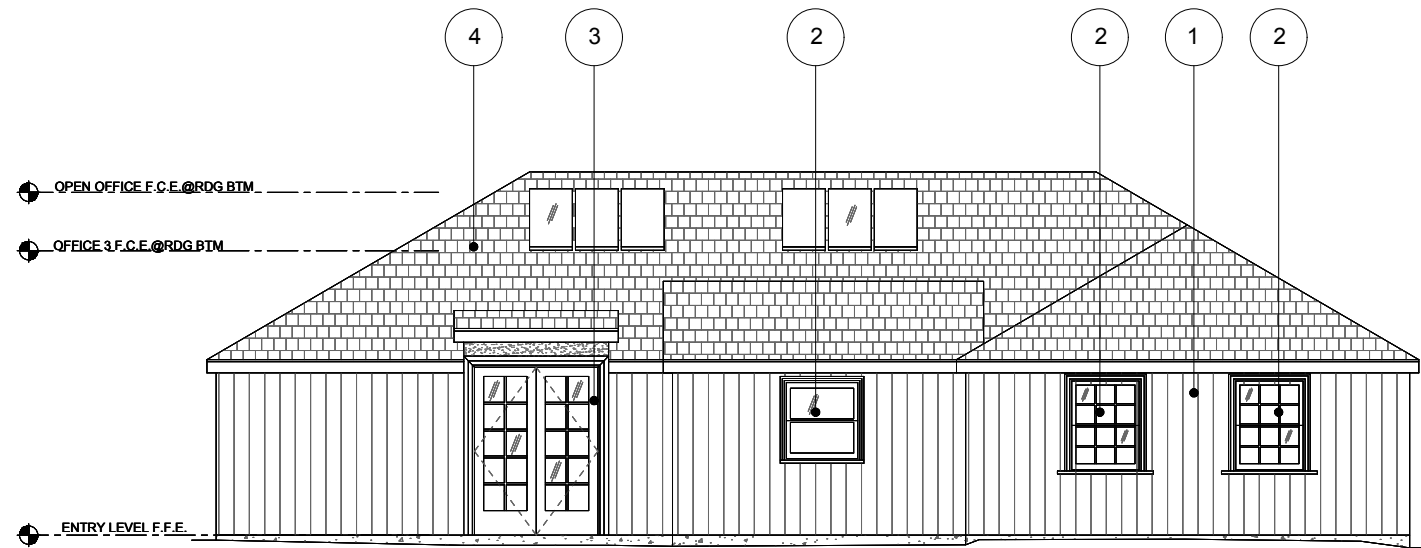
EXISTING NON-HISTORIC BUILDING TO BE DEMOLISHED - FLOOR PLANS



Existing first floor plan (Scale: N.T.S.)

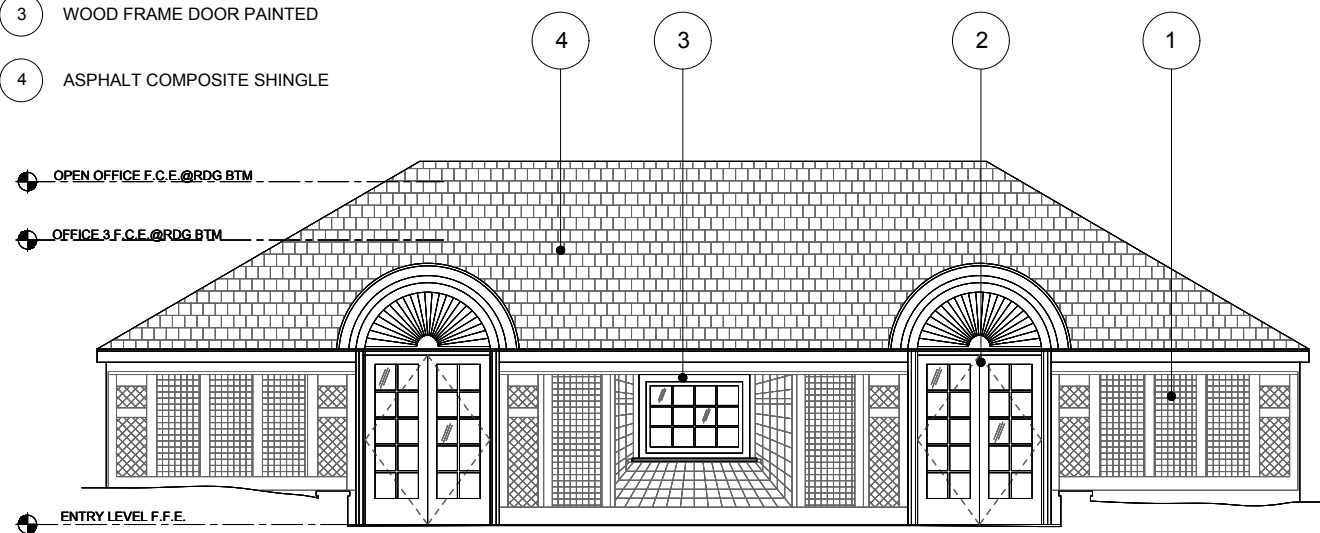
Existing roof plan (Scale: N.T.S.)

EXISTING NON-HISTORIC BUILDING TO BE DEMOLISHED - ELEVATIONS

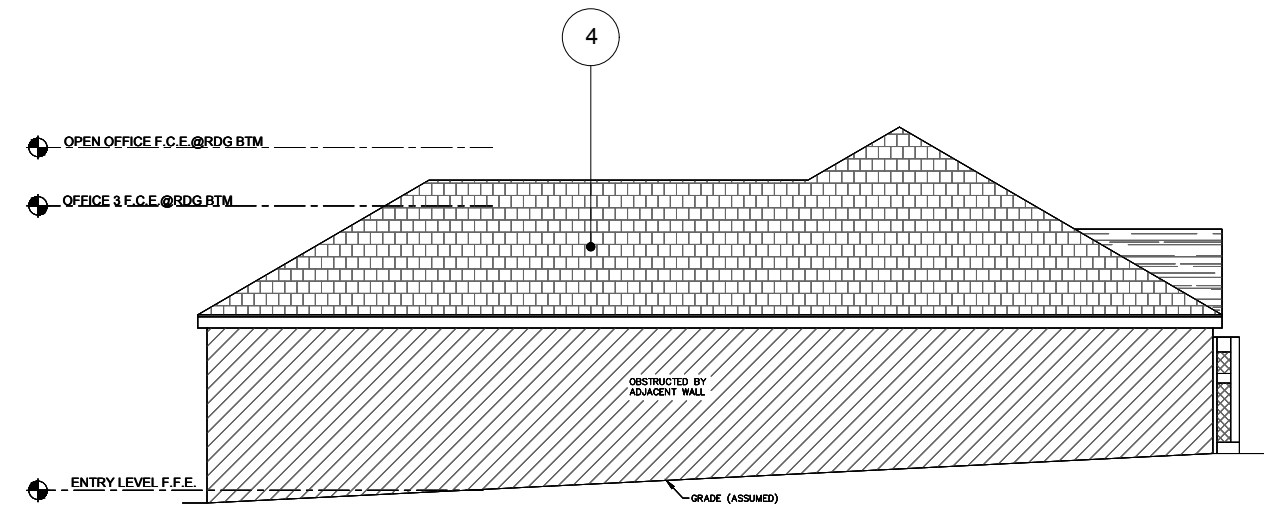


South elevation (Scale: N.T.S.)

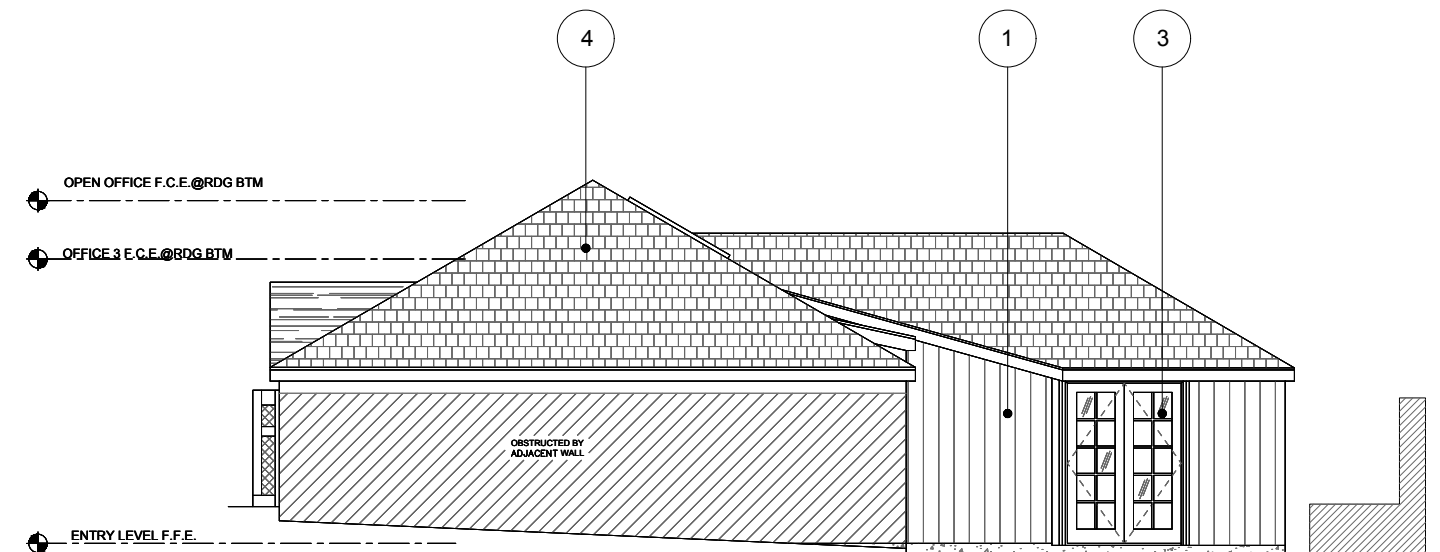
- 1 WOOD SIDING PAINTED
- 2 WOOD FRAME WINDOW PAINTED
- 3 WOOD FRAME DOOR PAINTED
- 4 ASPHALT COMPOSITE SHINGLE



North elevation (Scale: N.T.S.)



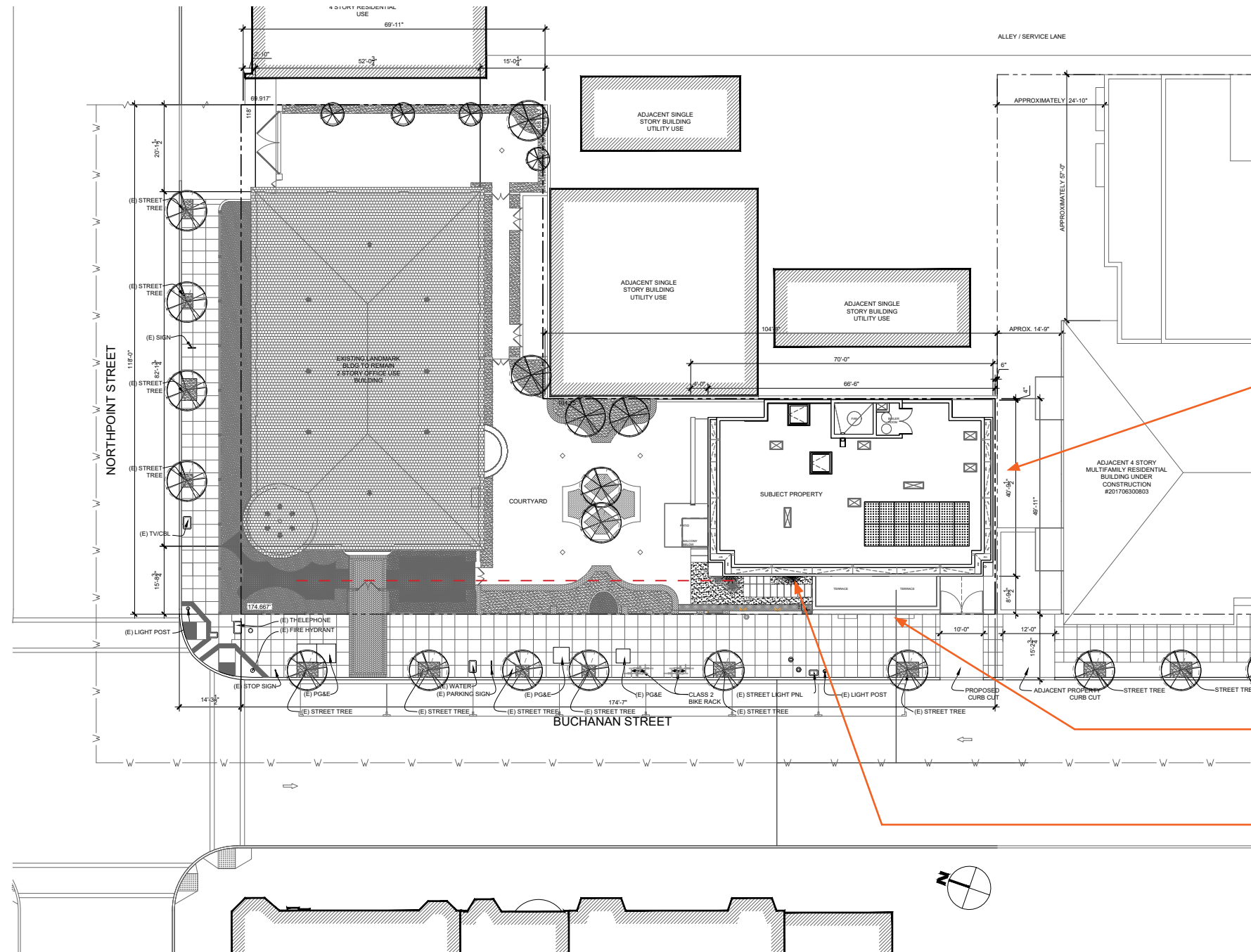
East Elevation (Scale: N.T.S.)



West elevation (Scale: N.T.S.)

(E) BUILDING TO BE  
 DEMOLISHED

PROPOSED SITE PLAN



Angled volumes have been removed. The proposed project is rectangular in massing.

The southern portion of the building has been pulled forward to provide a stronger street wall.

The northern portion of the building has been pushed back closer to the adjacent historic resource.

Proposed Site Plan (Scale: N.T.S.)

PROPOSED SITE ELEVATION



COMPATIBILITY

The proposed project will be compatible in:

**Massing:** The proposed new construction will have a rectangular massing that will be compatible to the adjacent historic resource.

**Scale:** The height of the new building will be slightly less than the historic building.

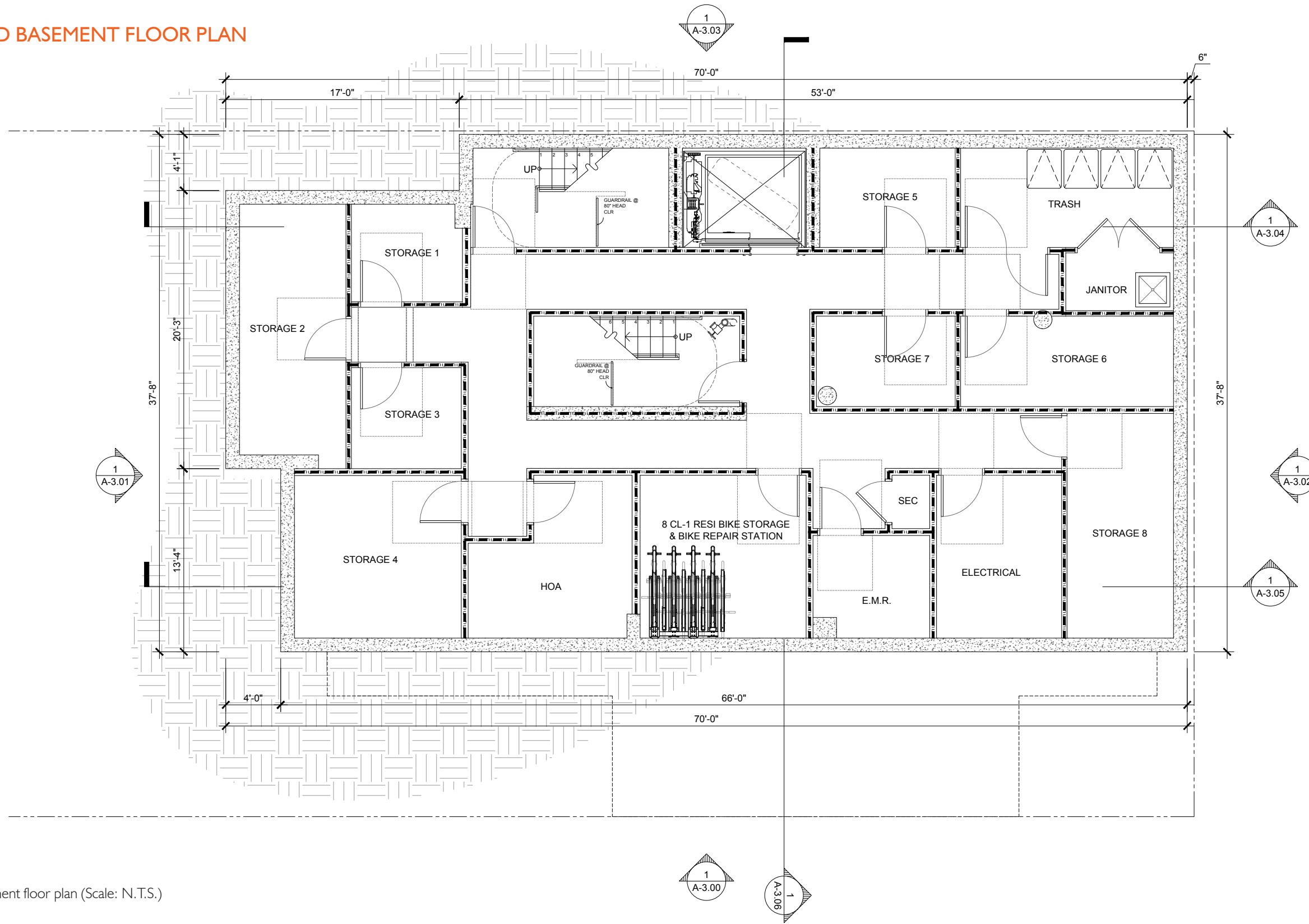
**Materials and Color:** The new building will also be compatible in materials and color. The new building will incorporate brick cladding at the front wall that will have similar tones as the brick on the historic resource.

NOTE: SEE ENLARGED ELEVATIONS ON SHEETS A-3.00 - A-3.54 FOR EXISTING / PROPOSED MATERIAL FINISHES.

Proposed West Elevation - Buchanan Street (Scale: N.T.S.)

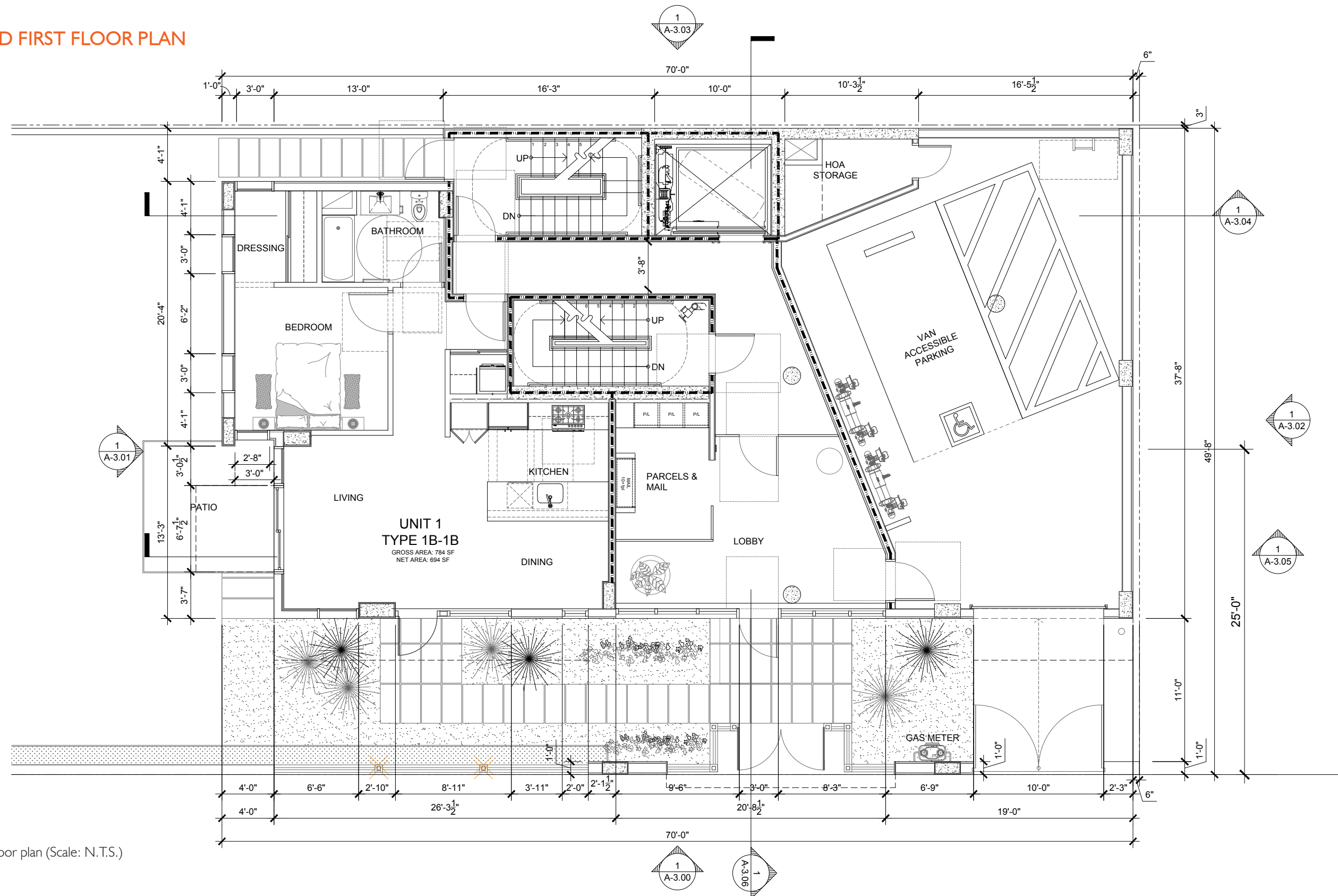


PROPOSED BASEMENT FLOOR PLAN



Proposed basement floor plan (Scale: N.T.S.)

PROPOSED FIRST FLOOR PLAN

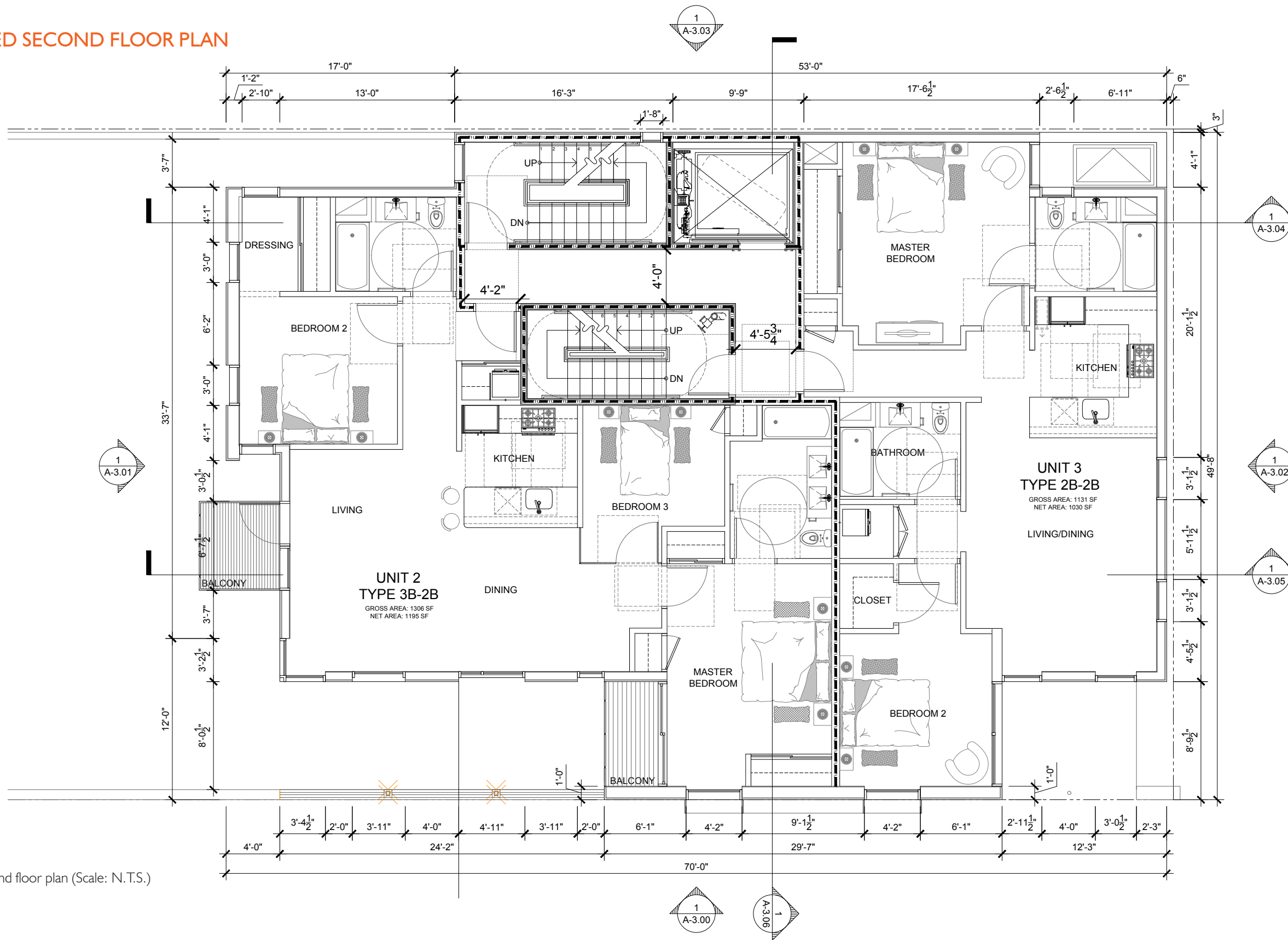


Proposed first floor plan (Scale: N.T.S.)

PROPOSED  
DRAWINGS



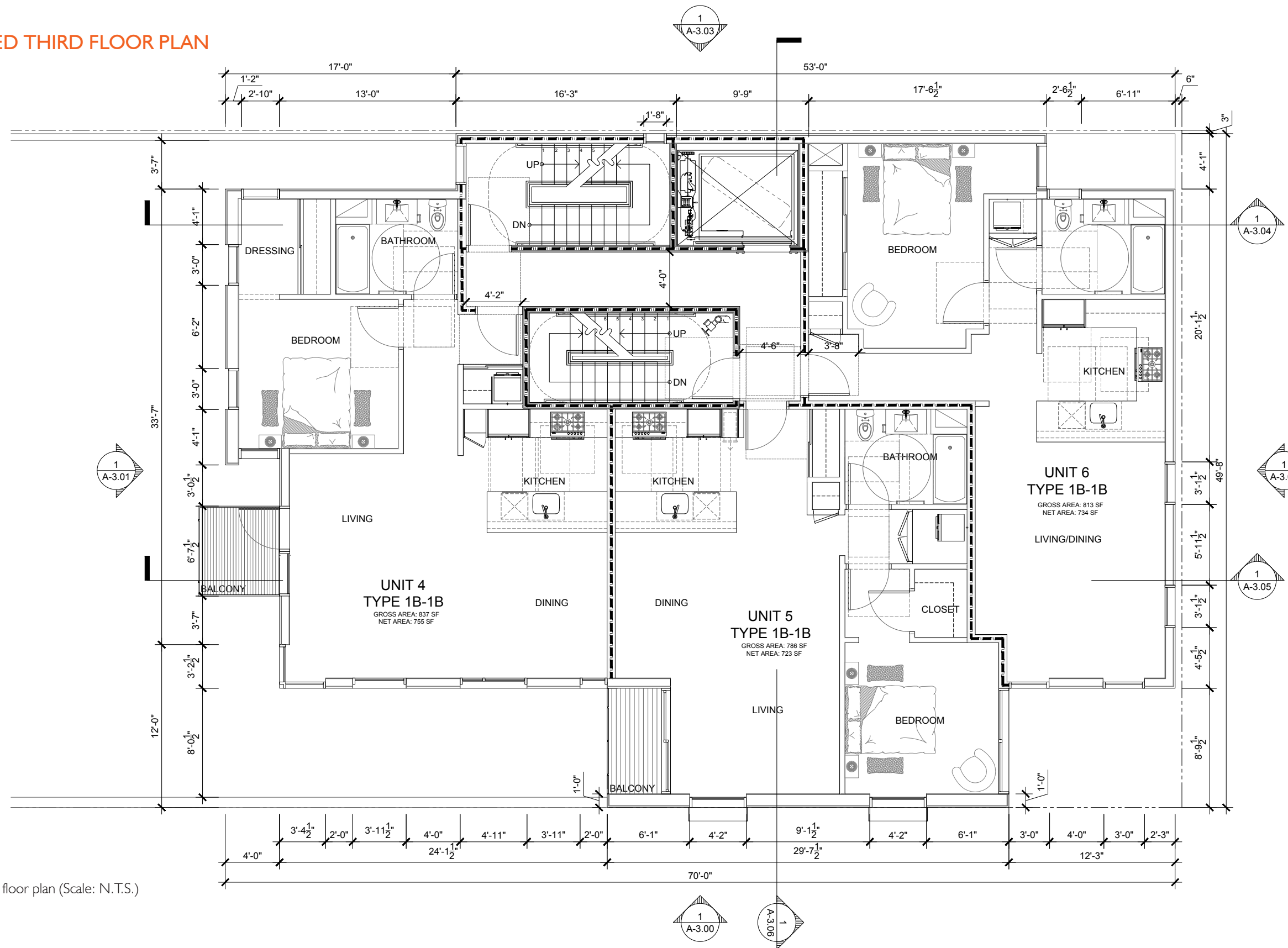
PROPOSED SECOND FLOOR PLAN



Proposed second floor plan (Scale: N.T.S.)

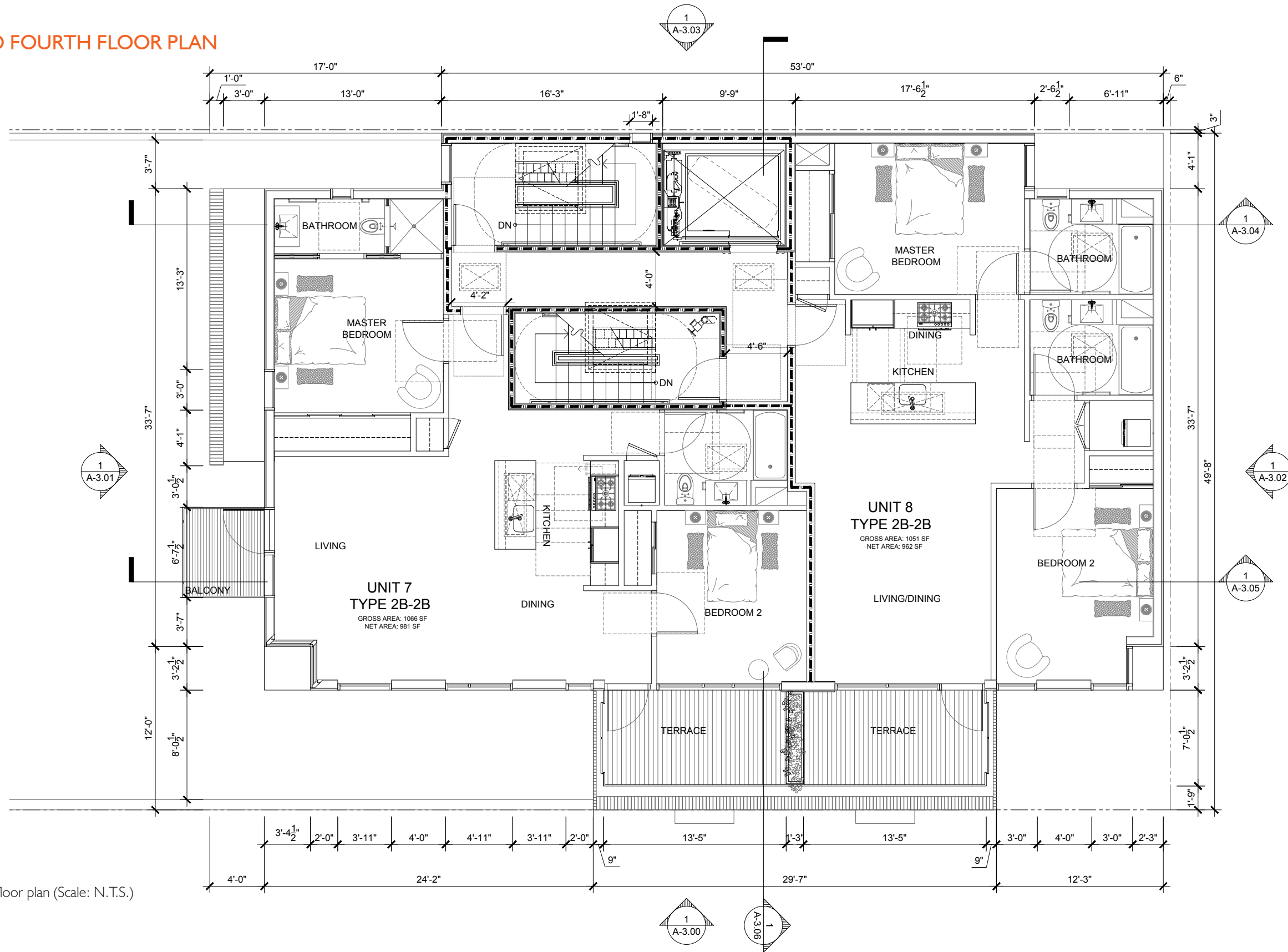


### PROPOSED THIRD FLOOR PLAN



Proposed third floor plan (Scale: N.T.S.)

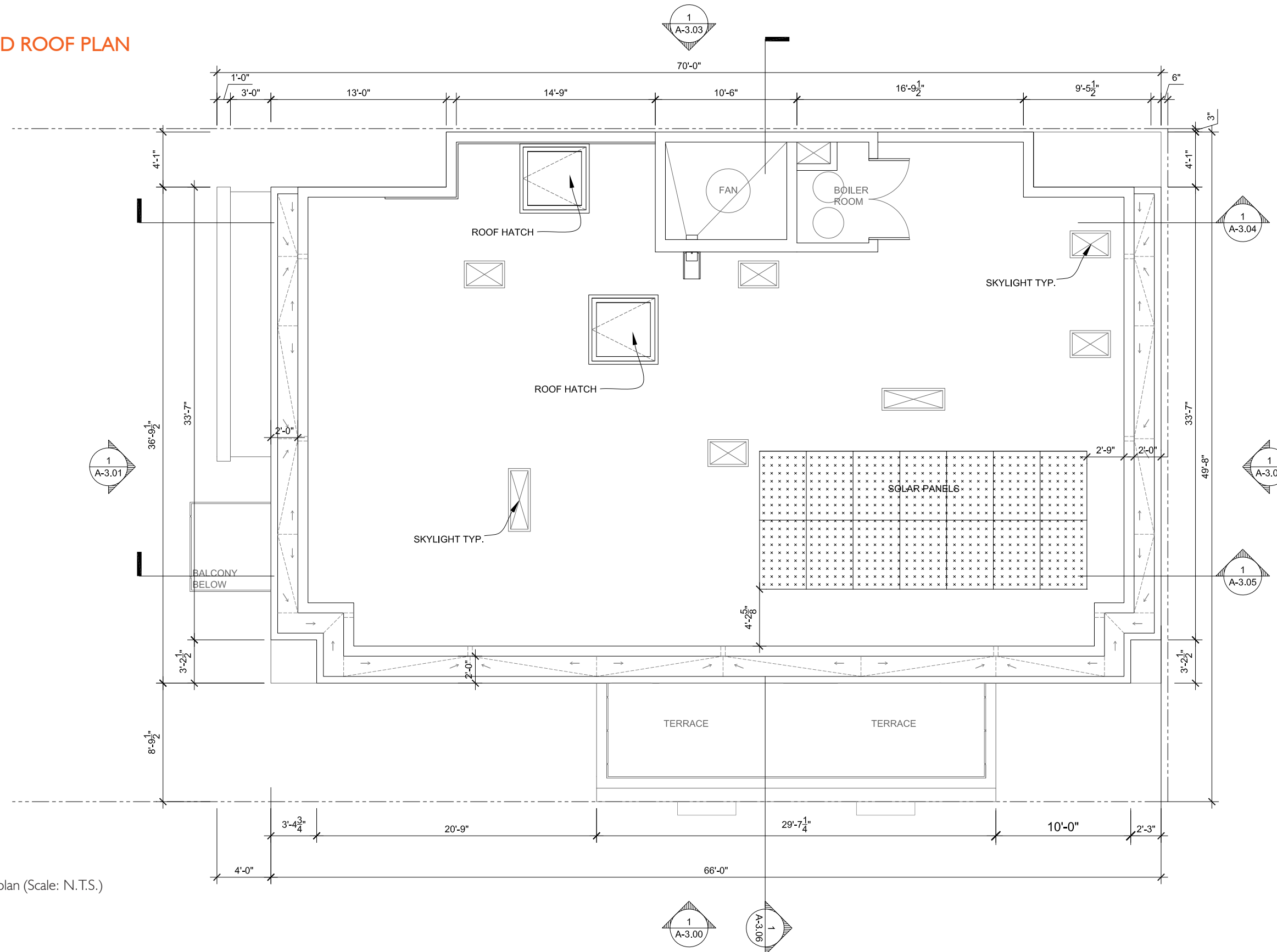
**PROPOSED FOURTH FLOOR PLAN**



Proposed fourth floor plan (Scale: N.T.S.)



PROPOSED ROOF PLAN



Proposed roof plan (Scale: N.T.S.)

PROPOSED  
 DRAWINGS



**PROPOSED ELEVATIONS**

- 1 THIN BRICK VENEER - STACK BOND (NORMAN SIZE)
- 2 THIN BRICK VENEER - SAILOR COURSE (NORMAN SIZE)
- 3 EQUITONE PANEL (LINEA LT20)
- 4 ALUMINUM WALL PANELS
- 5 CONTROL JOINTS
- 6 GLASS GUARDRAIL
- 7 ALUMINUM PICKET GUARDRAIL
- 8 ALUMINUM WINDOWS - OPERABLE W/ CLEAR GLAZING
- 9 ALUMINUM WINDOWS - NON OPERABLE W/ CLEAR GLAZING
- 10 ALUMINUM WINDOWS - NON OPERABLE W/ FRITTED GLASS
- 11 ALUMINUM SHADOW BOX FRAME
- 12 CUSTOM GARAGE DOOR - WITH EQUITONE PANEL
- 13 ELEVATOR PENTHOUSE - STUCCO
- 14 ADJACENT BUILDING
- 15 BUILDING BEYOND
- 16 EXISTING BRICK WALL
- 17 WROUGHT IRON FENCE
- 18 CONCRETE CURB



West elevation (Scale: N.T.S.)

**PROPOSED ELEVATIONS**

- 1 THIN BRICK VENEER - STACK BOND (NORMAN SIZE)
- 2 THIN BRICK VENEER - SAILOR COURSE (NORMAN SIZE)
- 3 EQUITONE PANEL (LINEA LT20)
- 4 ALUMINUM WALL PANELS
- 5 CONTROL JOINTS
- 6 GLASS GUARDRAIL
- 7 ALUMINUM PICKET GUARDRAIL
- 8 ALUMINUM WINDOWS - OPERABLE W/ CLEAR GLAZING
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- 14 ADJACENT BUILDING
- 15 BUILDING BEYOND
- 16 EXISTING BRICK WALL
- 17 WROUGHT IRON FENCE
- 18 CONCRETE CURB

NOTE: PER PLANNING CODE SECTION 139, BIRD-SAFE GLAZING TREATMENT IS REQUIRED SUCH THAT THE BIRD COLLISION ZONE (SECTION 139(c)(A)(i) AND (iii)), FACING THE URBAN BIRD REFUGE CONSISTS OF NO MORE THAN 10% UNTREATED GLAZING. ADDITIONALLY, MINIMAL LIGHTING SHALL BE USED. LIGHTING SHALL BE SHIELDED, AND NO UPLIGHTING SHALL BE USES.



North elevation (Scale: N.T.S.)

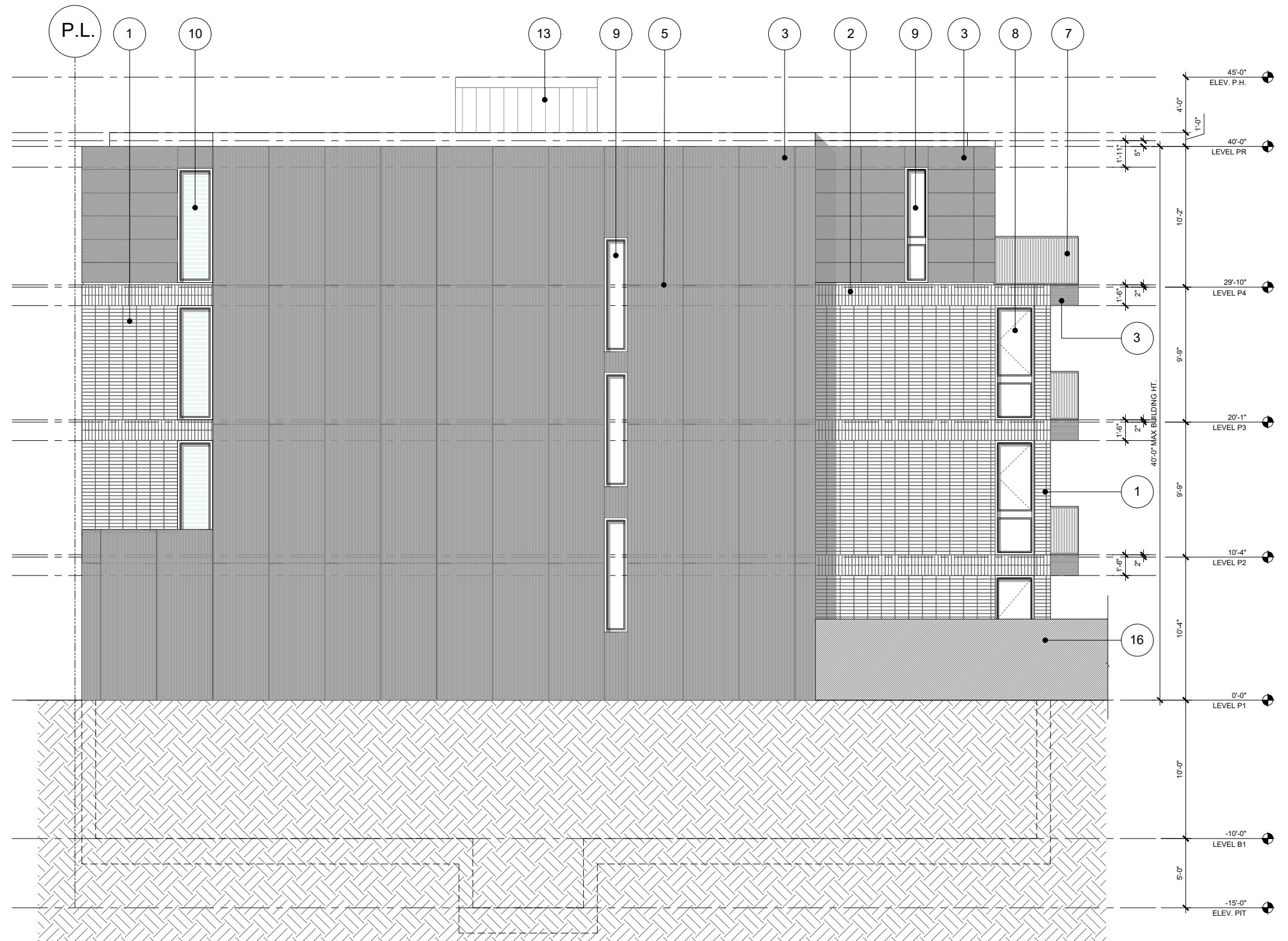
PROPOSED DRAWINGS



**PROPOSED ELEVATIONS**

- 1 THIN BRICK VENEER - STACK BOND (NORMAN SIZE)
- 2 THIN BRICK VENEER - SAILOR COURSE (NORMAN SIZE)
- 3 EQUITONE PANEL (LINEA LT20)
- 4 ALUMINUM WALL PANELS
- 5 CONTROL JOINTS
- 6 GLASS GUARDRAIL
- 7 ALUMINUM PICKET GUARDRAIL
- 8 ALUMINUM WINDOWS - OPERABLE W/ CLEAR GLAZING
- 9 ALUMINUM WINDOWS - NON OPERABLE W/ CLEAR GLAZING
- 10 ALUMINUM WINDOWS - NON OPERABLE W/ FRITTED GLASS
- 11 ALUMINUM SHADOW BOX FRAME
- 12 CUSTOM GARAGE DOOR - WITH EQUITONE PANEL
- 13 ELEVATOR PENTHOUSE - STUCCO
- 14 ADJACENT BUILDING
- 15 BUILDING BEYOND
- 16 EXISTING BRICK WALL
- 17 WROUGHT IRON FENCE
- 18 CONCRETE CURB

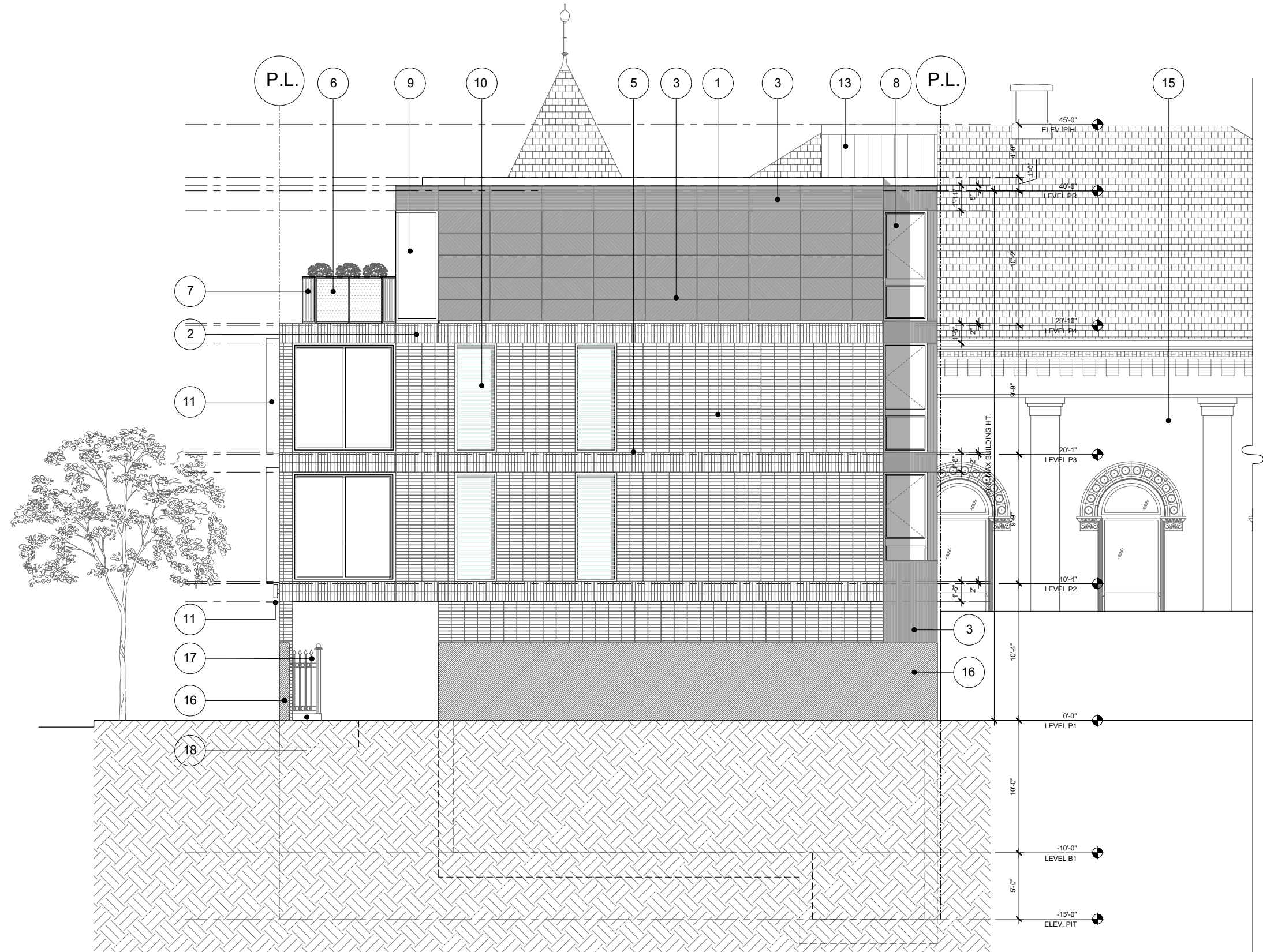
NOTE: PER PLANNING CODE SECTION 139, BIRD-SAFE GLAZING TREATMENT IS REQUIRED SUCH THAT THE BIRD COLLISION ZONE (SECTION 139(c)(A)(i) AND (ii)), FACING THE URBAN BIRD REFUGE CONSISTS OF NO MORE THAN 10% UNTREATED GLAZING. ADDITIONALLY, MINIMAL LIGHTING SHALL BE USED. LIGHTING SHALL BE SHIELDED, AND NO UPLIGHTING SHALL BE USES.



East Elevation - Buchanan Street (Scale: N.T.S.)

**PROPOSED ELEVATIONS**

- 1 THIN BRICK VENEER - STACK BOND (NORMAN SIZE)
- 2 THIN BRICK VENEER - SAILOR COURSE (NORMAN SIZE)
- 3 EQUITONE PANEL (LINEA LT20)
- 4 ALUMINUM WALL PANELS
- 5 CONTROL JOINTS
- 6 GLASS GUARDRAIL
- 7 ALUMINUM PICKET GUARDRAIL
- 8 ALUMINUM WINDOWS - OPERABLE W/ CLEAR GLAZING
- 9 ALUMINUM WINDOWS - NON OPERABLE W/ CLEAR GLAZING
- 10 ALUMINUM WINDOWS - NON OPERABLE W/ FRITTED GLASS
- 11 ALUMINUM SHADOW BOX FRAME
- 12 CUSTOM GARAGE DOOR - WITH EQUITONE PANEL
- 13 ELEVATOR PENTHOUSE - STUCCO
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- 15 BUILDING BEYOND
- 16 EXISTING BRICK WALL
- 17 WROUGHT IRON FENCE
- 18 CONCRETE CURB

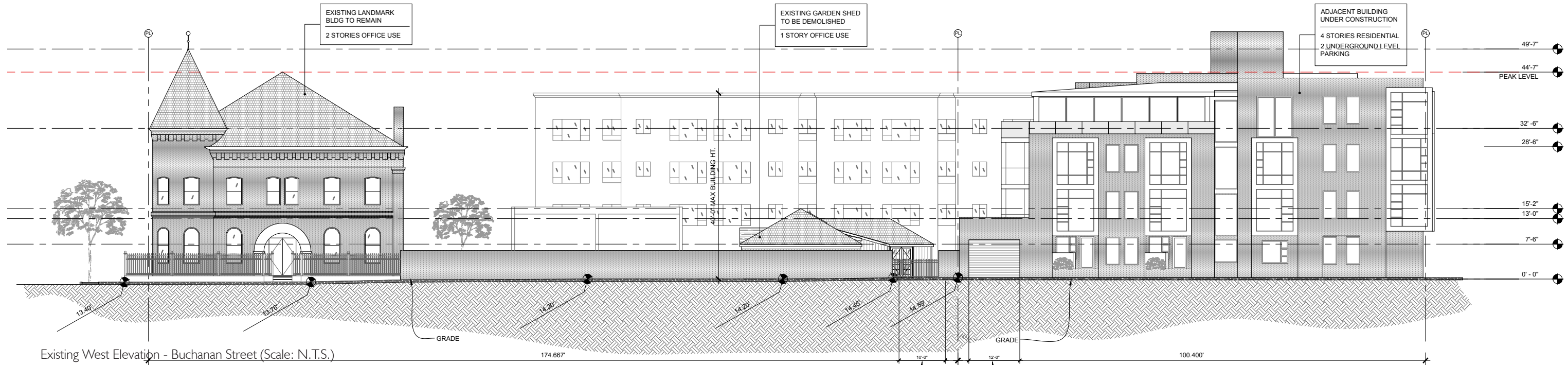


NOTE: PER PLANNING CODE SECTION 139, BIRD-SAFE GLAZING TREATMENT IS REQUIRED SUCH THAT THE BIRD COLLISION ZONE (SECTION 139(a)(A)(i) AND (iii)). FACING THE URBAN BIRD REFUGE CONSISTS OF NO MORE THAN 10% UNTREATED GLAZING. ADDITIONALLY, MINIMAL LIGHTING SHALL BE USED. LIGHTING SHALL BE SHIELDED, AND NO UPLIGHTING SHALL BE USES.

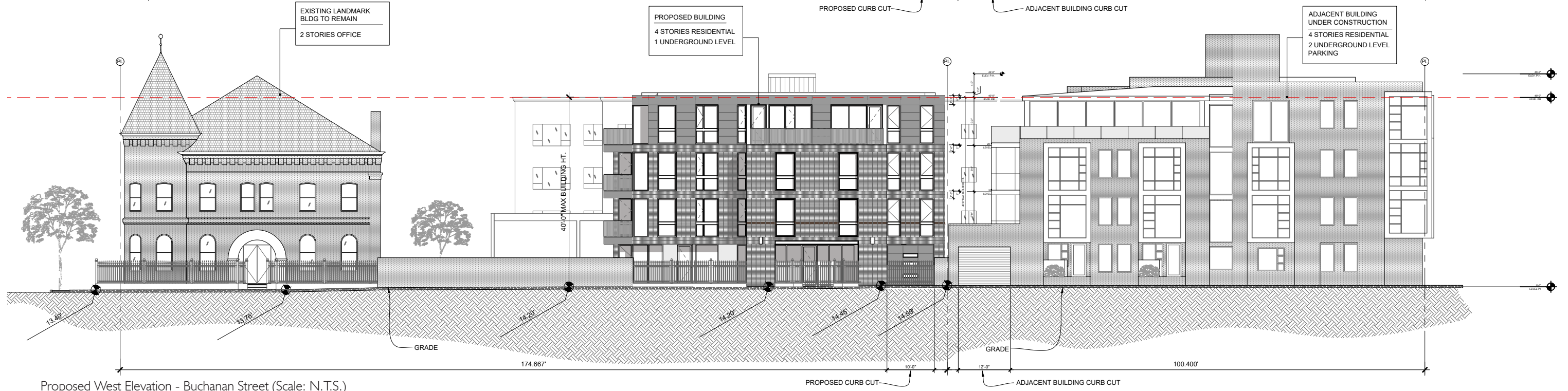
South elevation (Scale: N.T.S.)

PROPOSED DRAWINGS

EXISTING AND PROPOSED ELEVATIONS

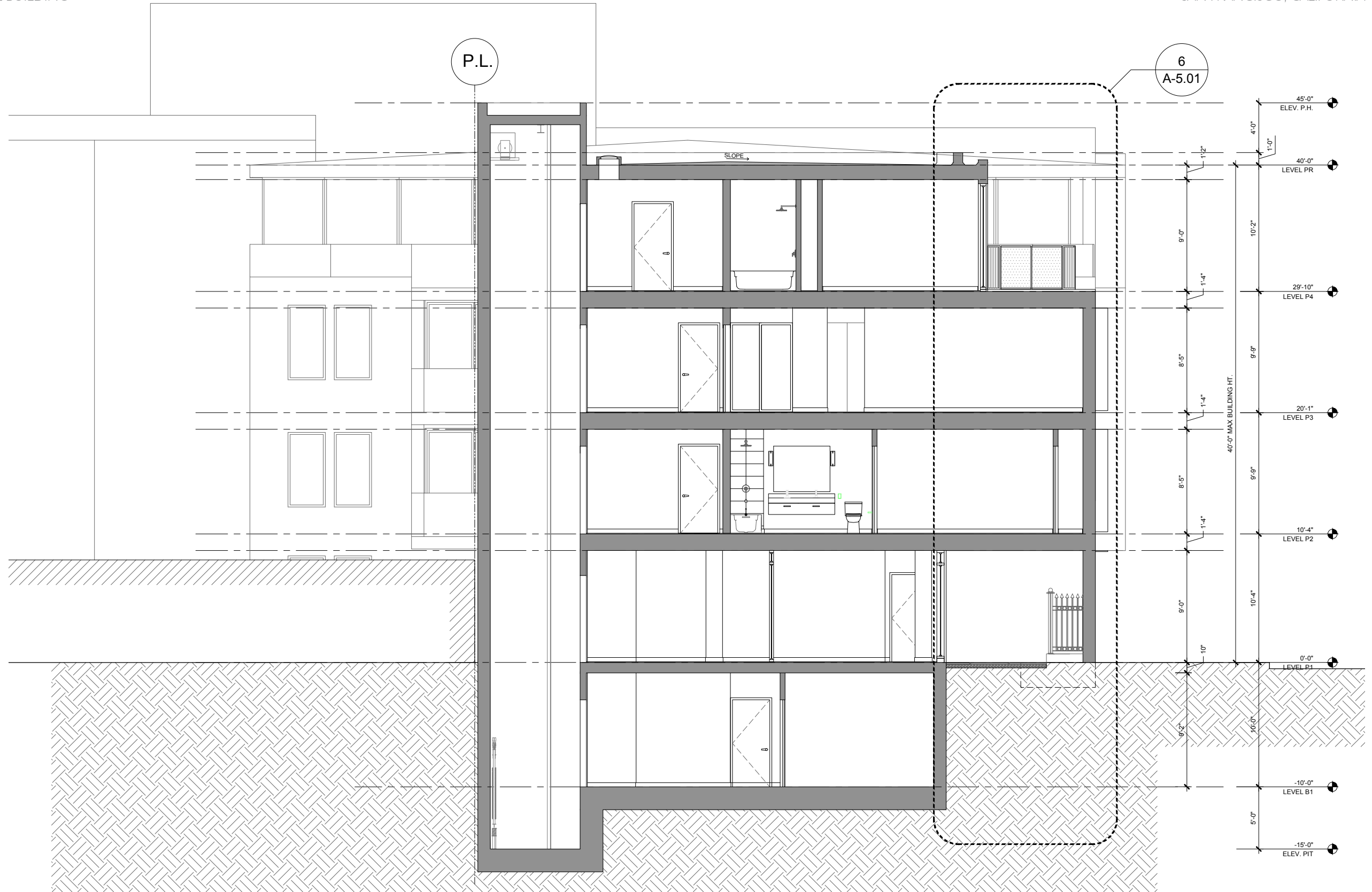


Existing West Elevation - Buchanan Street (Scale: N.T.S.)



Proposed West Elevation - Buchanan Street (Scale: N.T.S.)

PROPOSED SECTIONS



Building section, looking south (Scale: N.T.S.)

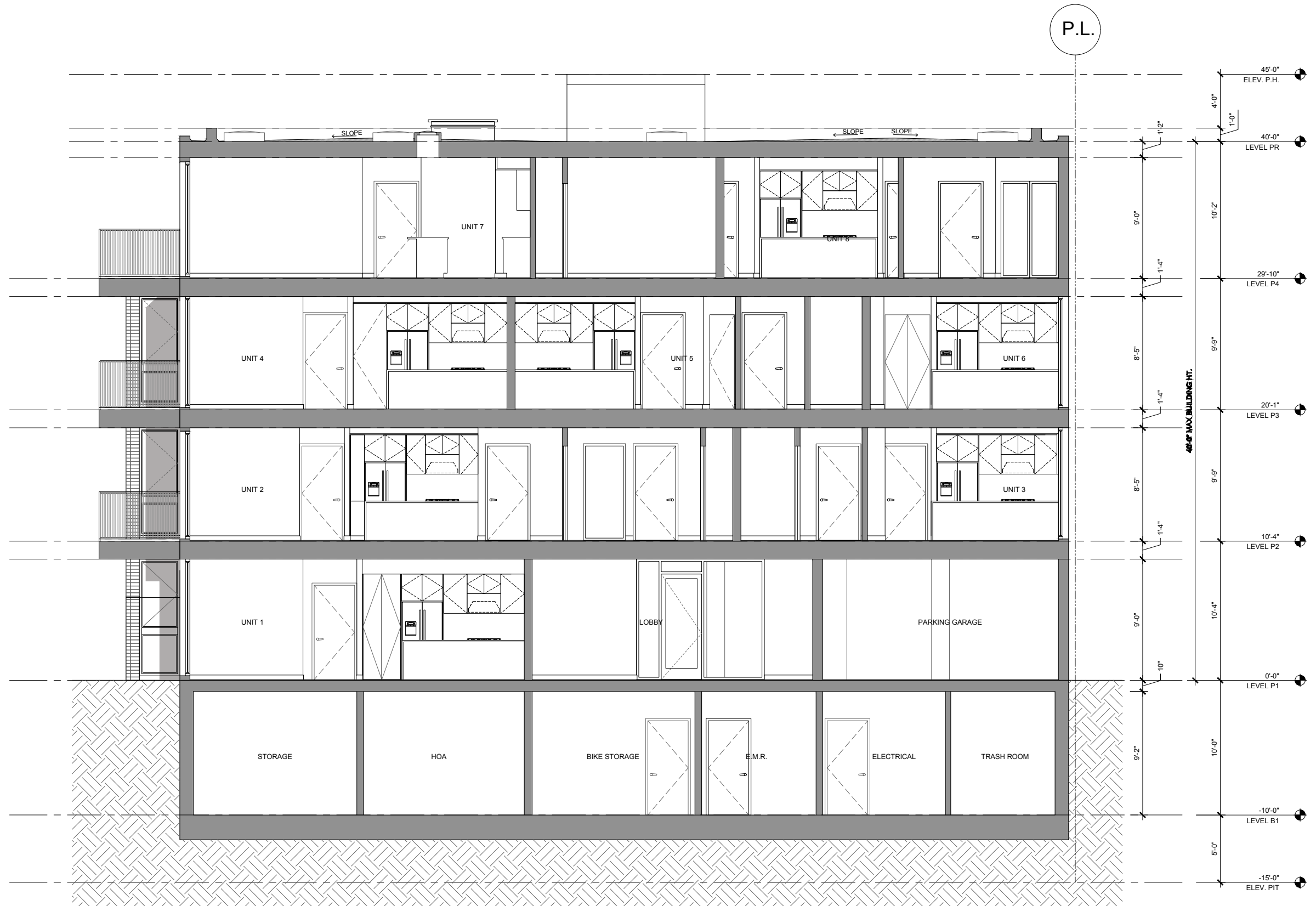
PROPOSED  
DRAWINGS

PROPOSED SECTIONS



Building section, looking east (Scale: N.T.S.)

PROPOSED SECTIONS



Building section, looking east (Scale: N.T.S.)

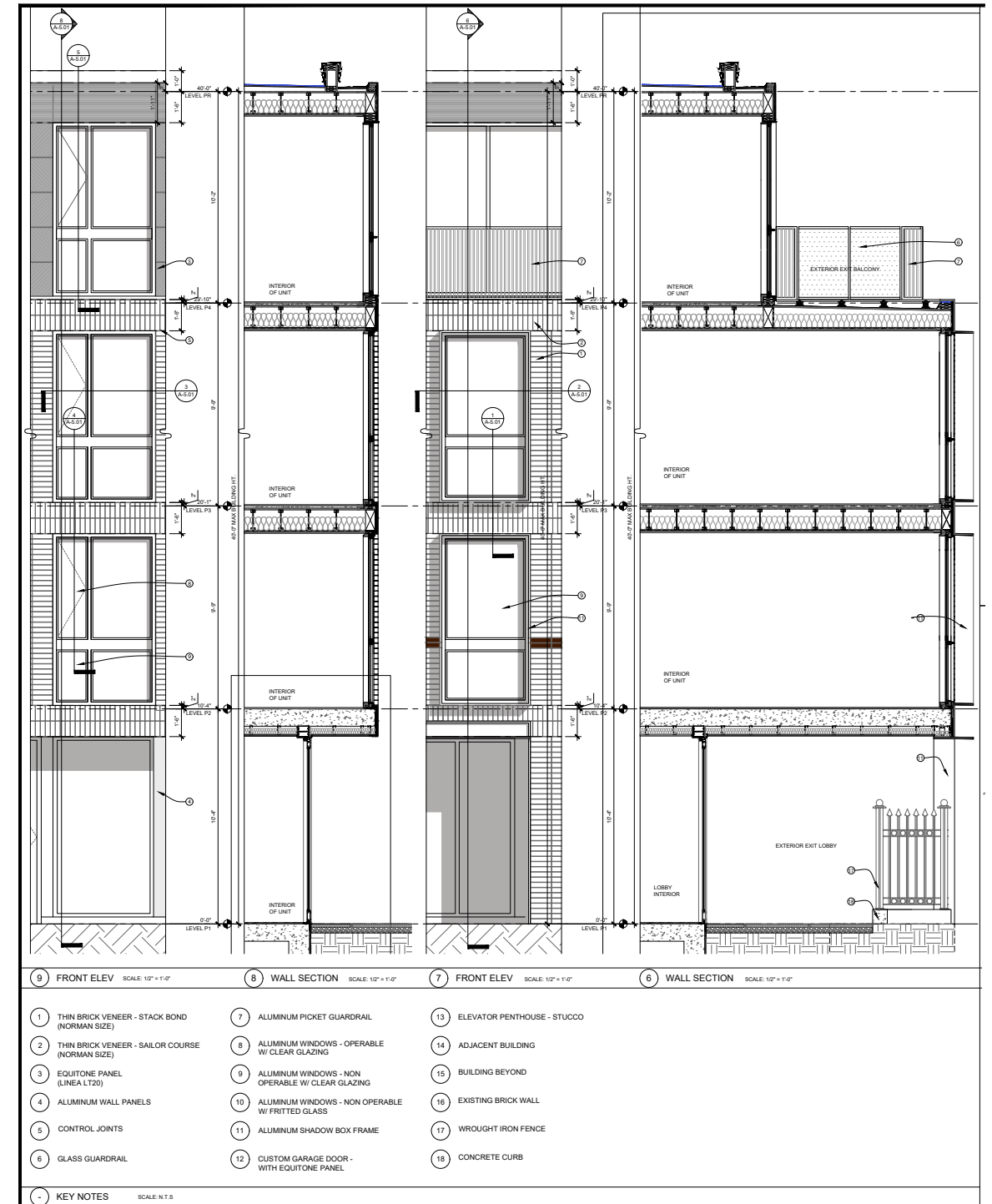
PROPOSED  
 DRAWINGS

**MATERIALS & SPECIFICATIONS: OVERVIEW**



Materials key diagram

- (A) NEW ENTRY GATES AND MODIFICATIONS AT PERIMETER BRICK WALLS, BUCHANAN STREET
- (B) NEW PAVING
- (C) H.C. MUDDOX THIN BRICK CLADDING ON FIRST 3 STORIES
- (D) EQUITONE PANEL CLADDING ON 4TH STORY
- (E) BALCONY RAILINGS
- (F) WINDOWS SYSTEM
- (G) PUNCHED PICTURE FRAME WINDOWS AT ENTRY FACADE
- (H) STOREFRONT SYSTEM



Wall sections (Scale: N.T.S.)



## MATERIALS & SPECIFICATIONS: SITE

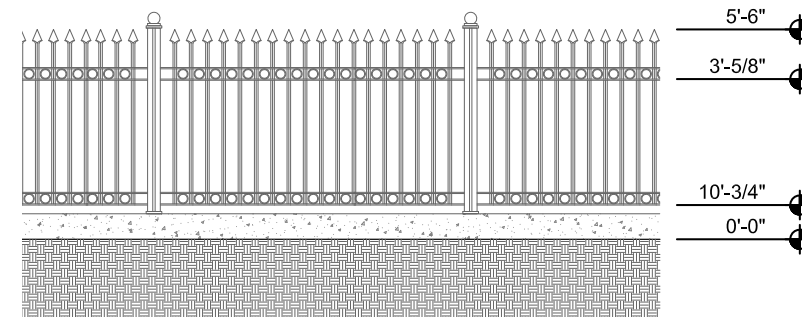
### A. NEW ENTRY GATES AND MODIFICATIONS AT PERIMETER BRICK WALLS, BUCHANAN STREET

The existing entry gate will be replaced by a new entry gate for vehicular access, and an added entry gate for pedestrian access. The existing, non-historic brick perimeter wall will be modified to accommodate these new openings. This brick wall was constructed in 1958 and is not a historic or character-defining feature of Landmark No. 58.

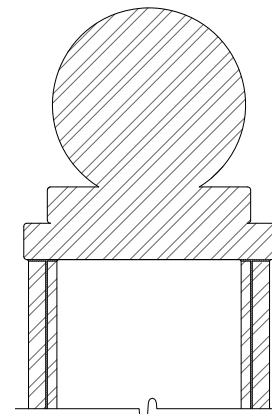
The new entry gates will be constructed of wrought iron and will be double swing gates centered in the opening to provide a more formalized entrance with a symmetrical design. Additionally, wrought iron fencing will replace portions of the existing, non-historic brick wall to provide street visibility to the ground floor residential unit. The gates and fencing will be painted dark green to match the existing fencing at the property. The design will be the same as that of the existing gate and fencing for Landmark No. 58.



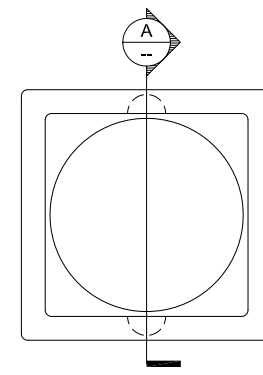
Renderings of the proposed new gates and fencing at the subject property



PROPOSED FENCE ELEVATION



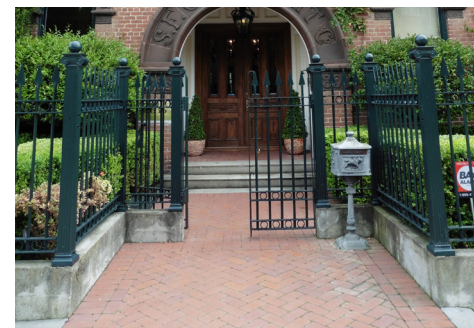
SECTION A



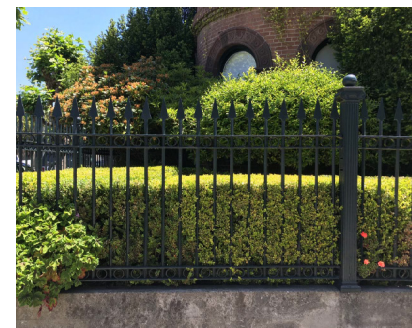
PLAN C

PROPOSED STEEL POST PROFILE

Details of proposed new gates and fencing design



Entry gate and fencing for Landmark No. 58

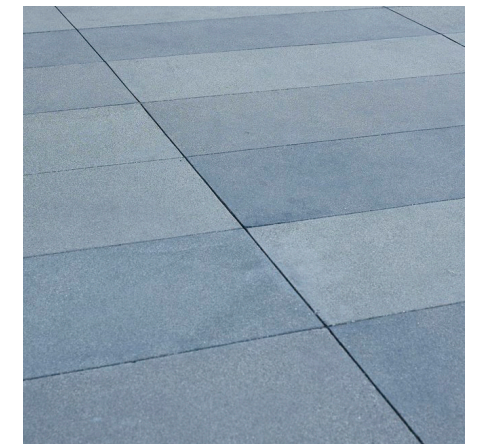


### B. NEW PAVING

At the front setback at Buchanan Street, the proposed paving is 12" x 36" man-made dark grey "slate-like" pavers set in sand-colored pea gravel with a 1" gap between pavers. The garage driveway/apron will be poured-in-place concrete with integral color to match the slate pavers and scored to 12" centers.



Example of slate-like pavers set in pea gravel



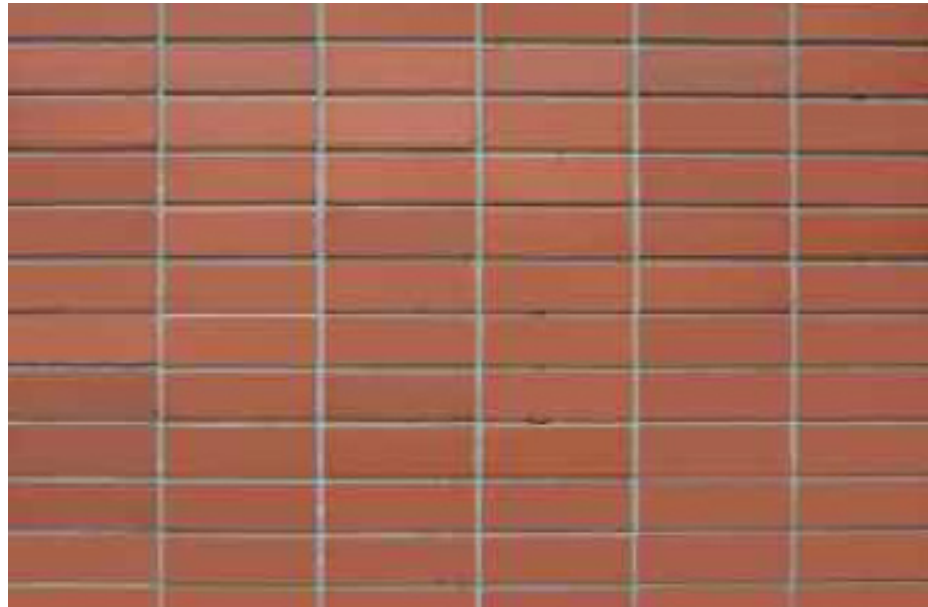
Example of concrete driveway with integral color and scored treatment



## MATERIALS & SPECIFICATIONS: CLADDING

### C. H.C. MUDDOX THIN BRICK CLADDING ON FIRST 3 STORIES

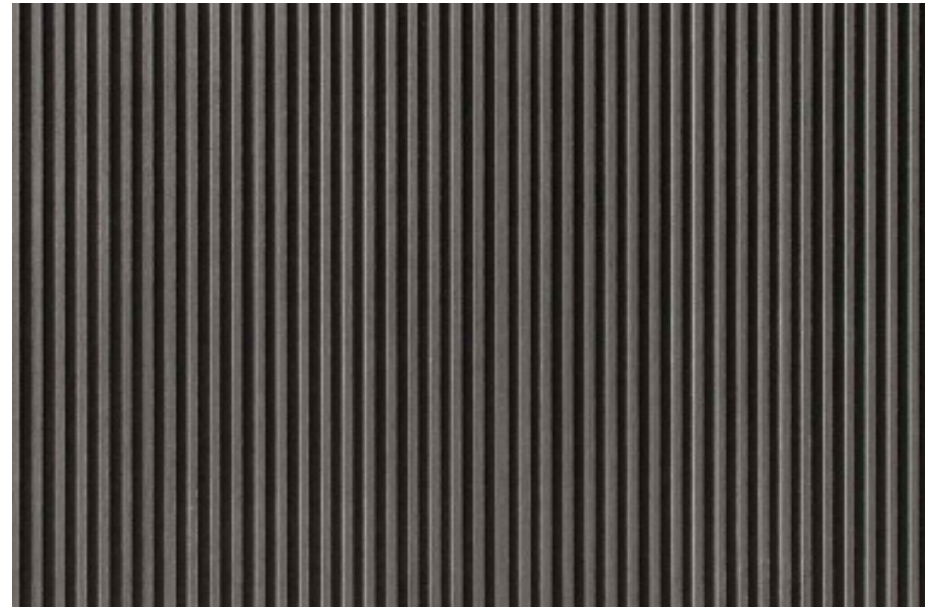
H.C. Muddox thin brick veneer cladding will be stack bond typical with sailor coursing at each floor plate. It will be in Old Town Red color with smooth clean cut finish and edges, beige mortar, and of 'Norman' proportions (1 1/2" x 2 1/2").



H.C. Muddox thin brick cladding, stack bond, Old Town Red

### D. EQUITONE PANEL CLADDING ON 4TH STORY

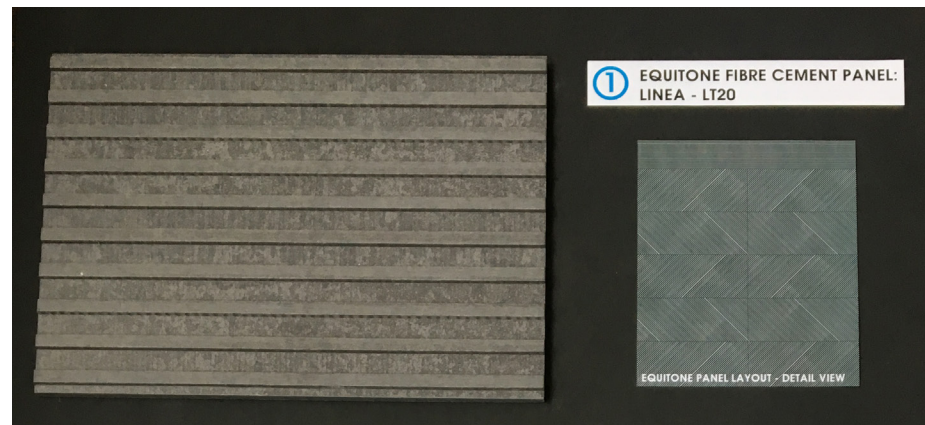
Equitone Fiber Cement Panels (Linea LT20) will be installed on the fourth story with varying orientations to provide different textures to the façade.



Equitone Fiber Cement Panels, Linea LT20, detail view (design pattern shown below)



Proposed materials samples



Proposed materials samples

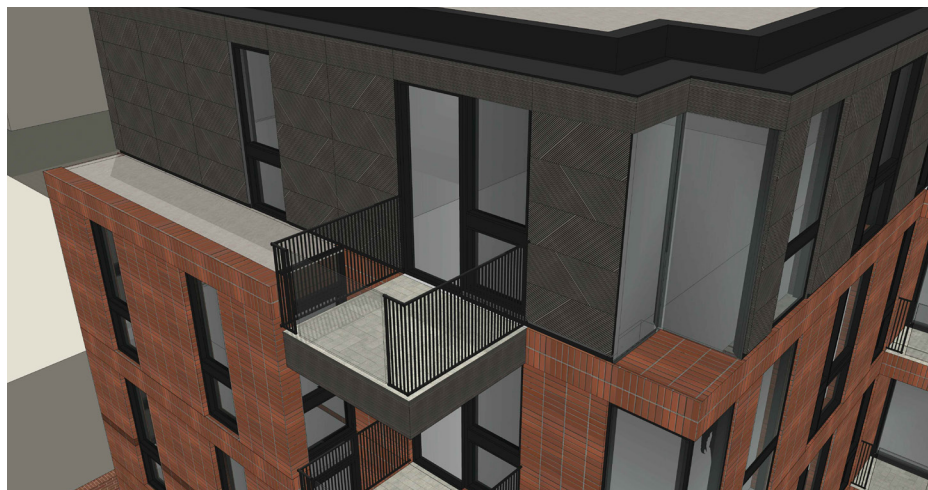
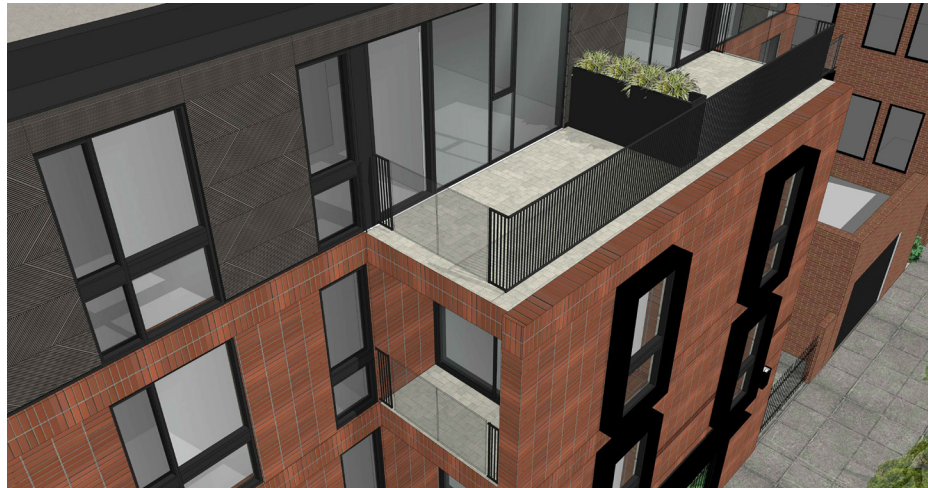
## MATERIALS & SPECIFICATIONS: BALCONIES

### E. BALCONY RAILINGS

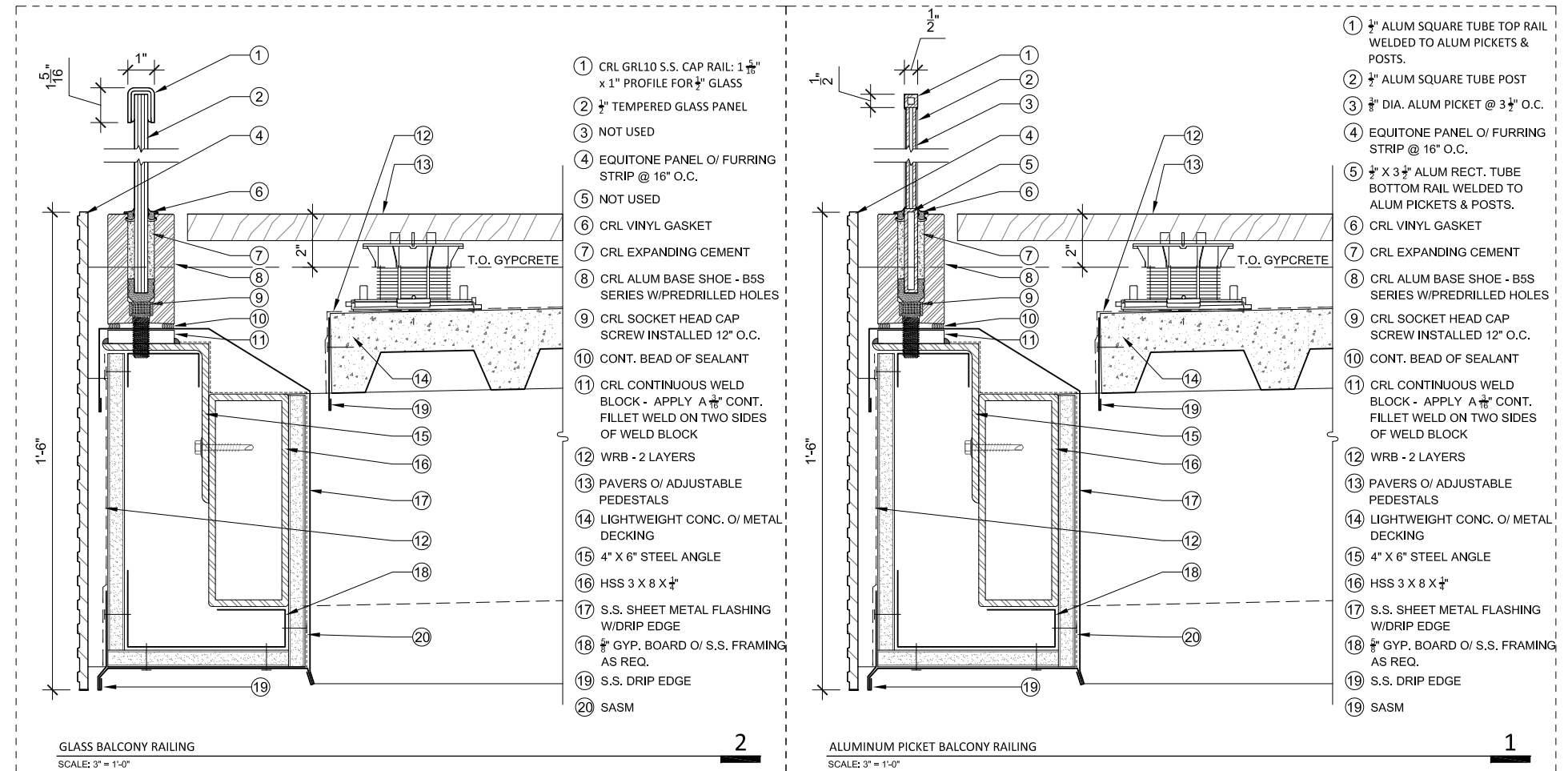
Balconies will have aluminum picket railing to provide better compatibility to the railing around Landmark No. 58 and adjacent buildings. Glass guardrail panels will be installed on the north sides of each balcony to provide unobstructed views of the landmark building and Golden Gate Bridge.

Metal: McNichols aluminum press-locked rectangular bar grating

Glass: Low-iron glass with C.R. Laurence fittings in polished stainless steel.



Renderings of the proposed balconies and railings

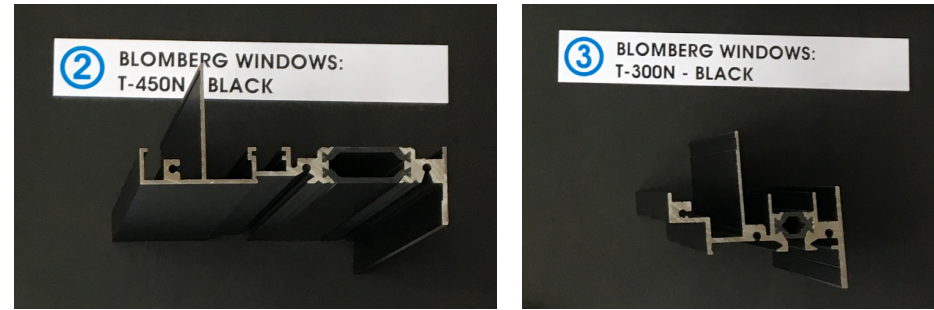


Balcony picket railing details (Scale: N.T.S.)

**MATERIALS & SPECIFICATIONS: WINDOWS**

**F. WINDOWS SYSTEM**

Blomberg aluminum window system, 450N with 4-5/8" nail-fin system and 1/2" perimeter reveal, in black finish to match other windows. All glazing will be recessed from the wall face.



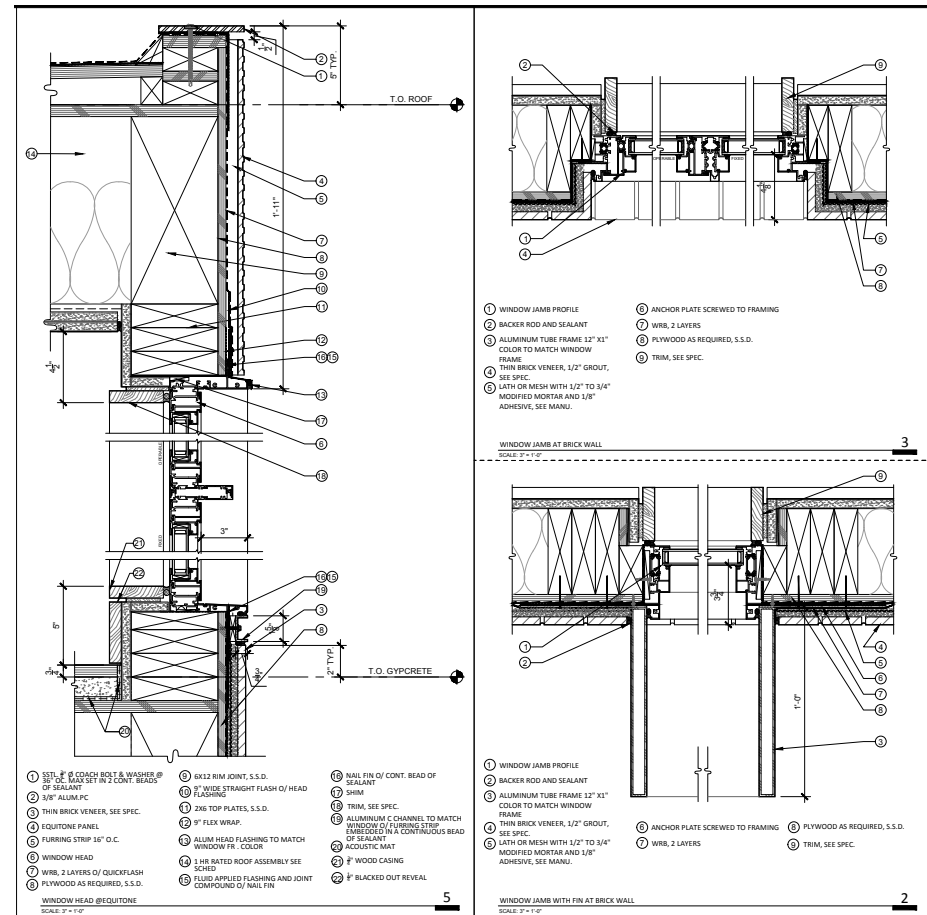
Proposed materials samples



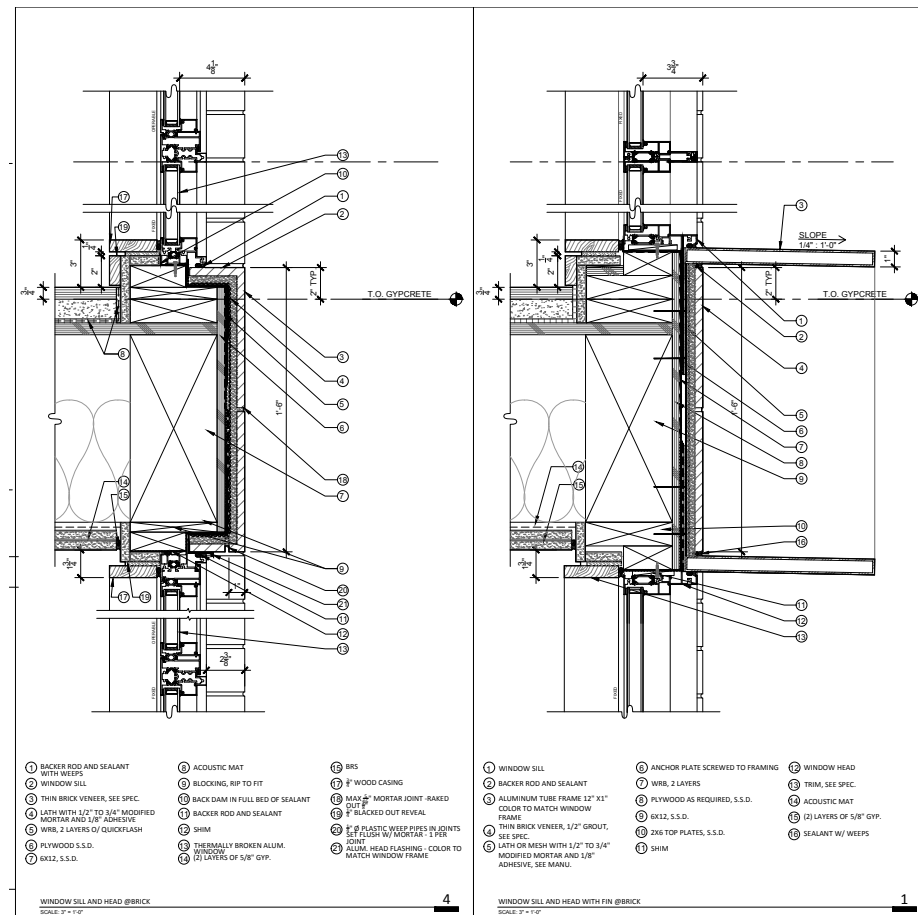
Blomberg 450N aluminum window system

**G. PUNCHED PICTURE FRAME WINDOWS AT ENTRY FACADE**

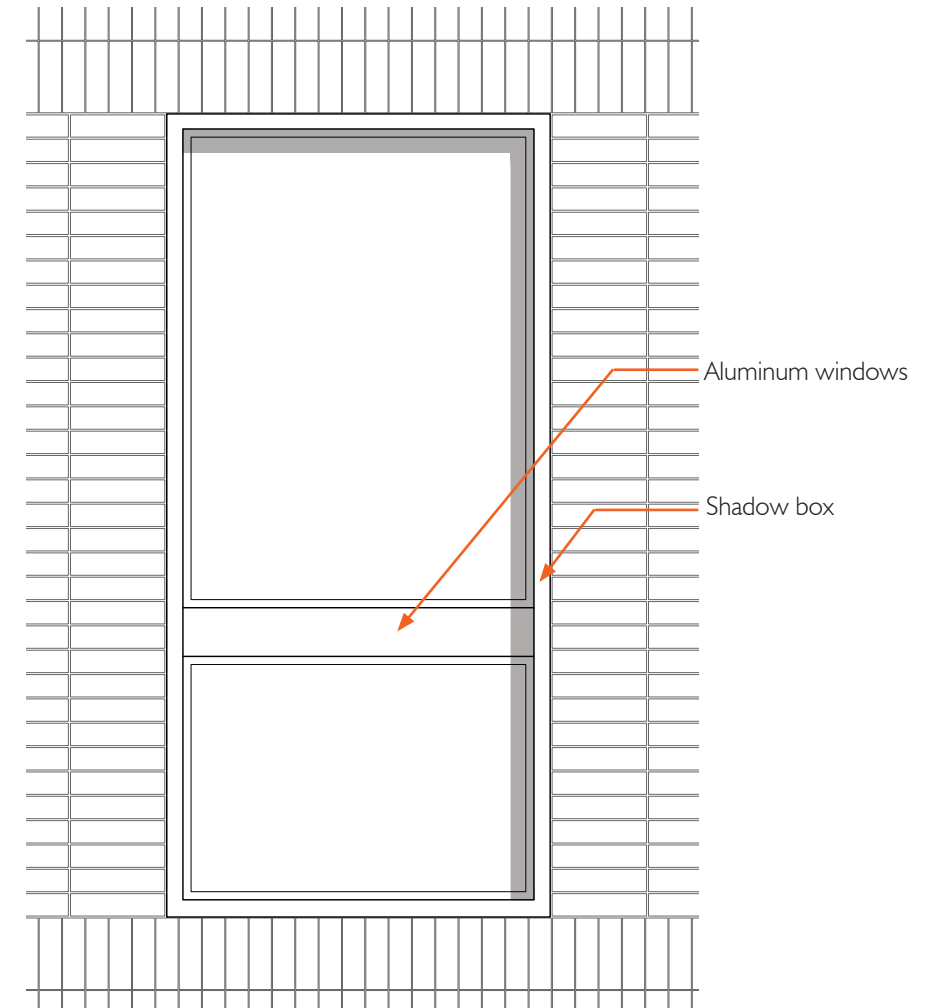
Nominal 2"x12" anodised aluminum rectangular tubes, black finish to match other windows.



Window details (Scale: N.T.S.)



Window details (Scale: N.T.S.)



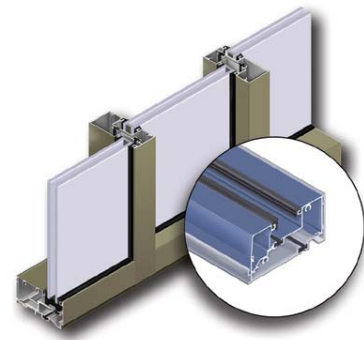
Window details (Scale: N.T.S.)

## MATERIALS & SPECIFICATIONS: ENTRY STOREFRONT

### H. STOREFRONT SYSTEM

Series 3000 Thermal MultiPlane—  
the versatility of standard storefront systems  
with improved thermal performance

The Series 3000 Thermal MultiPlane extends the versatility of standard storefront systems by offering **improved thermal performance** and multiple glass plane options. The Series 3000 provides more options for head and sill anchorage, **structural silicone glazing** and a front set installation option utilizing continuous head and sill members. Designed for 1" infill, Series 3000 Thermal MultiPlane has available glazing adapters and gasket options for infills ranging from 1/4" to 1-1/8".

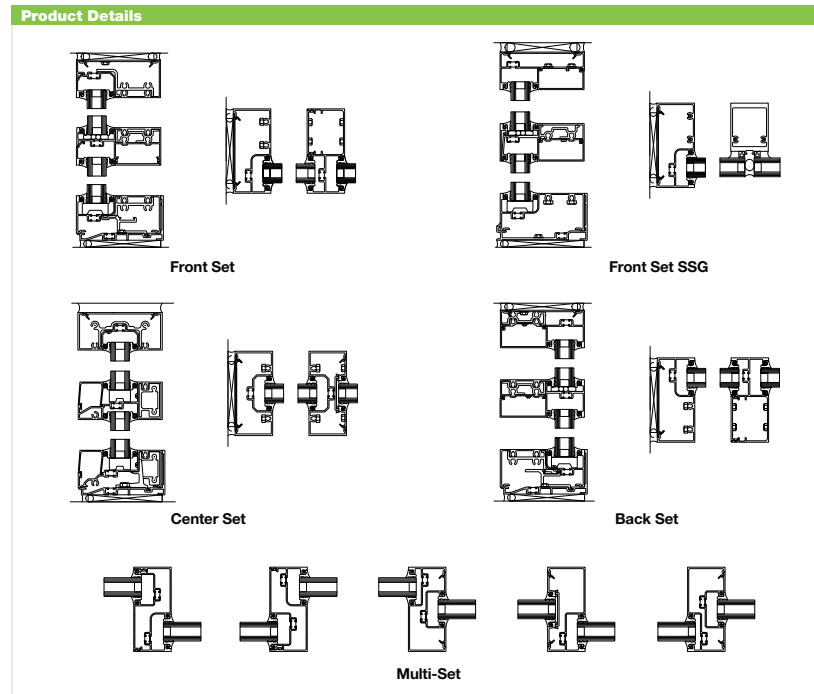


First Community Credit Union, St. Louis, MO  
Architect: TRJ Architects

#### Features

- Overall system dimensions: 2" x 4-1/2"
- Front Set, Center Set, Back Set or Multi-set glazing configurations
- Optional sill receptor requires no additional anchoring of sill member
- Optional thermally broken head anchor clip
- SSG glazing with patented funnel bridge
- Continuous head and sill assembly option for front set
- Screw spline and shear block assembly
- Outside and inside glazing options
- Complete 90° and 135° corners
- High sidelite base
- Thermally broken members with polyurethane thermal breaks
- Accommodates ZS-2750 vents
- Factory painted Kynar 500®/Hylar 5000® finishes, meeting all provisions of AAMA 2605
- Factory anodized finishing

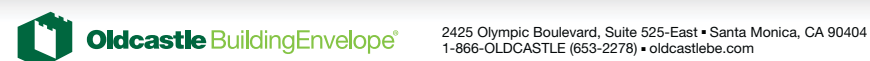
series 3000 thermal multiplane



#### Performance

<b>Air Infiltration</b>	<.06 CFM/SQ FT (6.24 PSF) per ASTM E283
<b>Static Water</b>	10 PSF per ATSM E331
<b>Deflection Load</b>	40 PSF per ASTM E330
<b>Structural Load</b>	60 PSF per ASTM E330
<b>STC</b>	
32 (1/4" - 1/2" - 1/4" glazing) -	Center and Front Set
37 (1/4" laminated - 1/2" - 1/4" laminated glazing) -	Center Set
38 (1/4" laminated - 1/2" - 1/4" laminated glazing) -	Front Set
<b>High-performance per AAMA 1503 for Clear 1" Insulating Glass:</b>	
U-Factor = 0.54, CRF frame = 69	Front Set
U-Factor = 0.56, CRF frame = 58	Center Set
U-Factor = 0.51, CRF frame = 57	Back Set
<b>NFRC Tested and Certified</b>	

Kynar 500® is a registered trademark of Atofina  
Hylar 5000® is a registered trademark of Ausimont USA, Inc.



RENDERINGS



View from across Buchanan Street, looking east

RENDERINGS



Aerial view, looking southeast

RENDERINGS



View from across Buchanan Street, looking northeast

RENDERINGS



View from corner of Buchanan and North Point streets, looking southeast



RENDERINGS



View from Landmark No. 58

RENDERINGS



View of main pedestrian entry gate and lobby



View of Landmark No. 58 from proposed project

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2401 C Street, Suite B  
Sacramento, California 95816  
916.930.9903 / 916.930.9904 fax

417 Montgomery Street, 8th Floor  
San Francisco, California 94104  
415.362.5154 / 415.362.5560 fax

Landmark No. 58 Ordinance and  
Designation Report



file copy

FILE NO. 90-73-8

ORDINANCE NO. 12-74

1 DESIGNATING MERRYVALE ANTIQUES AS A LANDMARK PURSUANT TO ARTICLE 10 OF THE CITY  
2 PLANNING CODE.

3 Be it ordained by the people of the City and County of San Francisco:

4 Section 1. The Board of Supervisors hereby finds that Merryvale Antiques at  
5 3640 Buchanan Street, being Lot 3 in Assessor's Block 459, has a special character  
6 and special historical, architectural and aesthetic interest and value, and that its  
7 designation as a Landmark will be in furtherance of and in conformance with the  
8 purposes of Article 10 of the City Planning Code and the standards set forth therein.

9 (a) Designation. Pursuant to Section 1004 of the City Planning Code,  
10 Chapter II, Part II of the San Francisco Municipal Code, Merryvale Antiques is  
11 hereby designated as a Landmark, this designation having been duly approved by  
12 Resolution No. 1076 of the City Planning Commission, which Resolution is on file  
13 with the Clerk of the Board of Supervisors under File No.

14 (b) Required Data. The location and boundaries of the landmark site, the  
15 characteristics of the landmark which justify its designation, and the particular  
16 features that should be preserved, described and included in the said Resolution,  
17 are hereby incorporated herein and made a part hereof as though fully set forth.

Passed for Second Reading  
Board of Supervisors, San Francisco  
DEC 26 1973

Ayes: Supervisors Barbagelata, Chinn, Feinstein,  
~~Francis~~, Gonzales, Kopp, Mendelsohn, Molinari,  
Pelosi, Tamaras, von Beroldingen.

Noes: Supervisors

Absent: Supervisors FRANCOIS

*Philip P. Taylor* ACTING Clerk

90-73-8  
File No.

JAN 4 1974  
Approved

Read Second Time and Finally Passed  
Board of Supervisors, San Francisco  
JAN 2 1974

Ayes: Supervisors Barbagelata, Chinn, Feinstein,  
~~Francis~~, Gonzales, Kopp, Mendelsohn, Molinari,  
Pelosi, Tamaras, von Beroldingen.

Noes: Supervisors

Absent: Supervisors FRANCOIS KOPP

I hereby certify that the foregoing ordinance was  
finally passed by the Board of Supervisors of the  
City and County of San Francisco.

*Robert J. DeLo* Clerk  
*Joseph L. Alton* Mayor

SAN FRANCISCO

CITY PLANNING COMMISSION

RESOLUTION NO. 7076

WHEREAS, A proposal to designate Merryvale at 3640 Buchanan Street as a Landmark pursuant to the provisions of Article 10 of the City Planning Code was initiated by the Landmarks Preservation Advisory Board on August 22, 1973, and said Advisory Board, after due consideration, has recommended approval of this proposal; and

WHEREAS, The City Planning Commission, after due notice given, held a public hearing on September 20, 1973, to consider the proposed designation and the report of said Advisory Board; and

WHEREAS, The Commission believes that the proposed Landmark has a special character and special historical, architectural and aesthetic interest and value; and that the proposed designation would be in furtherance of and in conformance with the purposes and standards of the said Article 10;

NOW THEREFORE BE IT RESOLVED, First, that the proposal to designate Merryvale at 3640 Buchanan Street as a Landmark pursuant to Article 10 of the City Planning Code is hereby APPROVED, the location and boundaries of the landmark site being as follows:

Beginning at the point of intersection of the southerly line of North Point Street and the easterly line of Buchanan Street; thence easterly along the southerly line of North Point Street for a distance of 118 feet; thence at a right angle southerly for a distance of 69.917 feet; thence at a right angle westerly for a distance of 68.803 feet; thence at a right angle southerly for a distance of 104.75 feet; thence at a right angle westerly for a distance of 49.917 feet; thence at a right angle northerly along the easterly line of Buchanan Street for a distance of 174.667 feet to the point of beginning. Being Lot 3 in Assessor's Block 459, which property is known as 3640 Buchanan Street.

Second, That the special character and special historical, architectural and aesthetic interest and value of the said Landmark justifying its designation are set forth in the Landmarks Preservation Advisory Board Resolution No. 88 as adopted on August 22, 1973, which resolution is incorporated herein and made a part hereof as though fully set forth;

Third, That the said Landmark should be preserved generally in all of its particular exterior features as existing on the date hereof and as described and depicted in the photographs, case report and other material on file in the Department of City Planning Docket LM 73.3;

AND BE IT FURTHER RESOLVED, That the Commission hereby directs its Secretary to transmit the proposal for designation, with a copy of this Resolution, to the Board of Supervisors for appropriate action.

I hereby certify that the foregoing Resolution was ADOPTED by the City Planning Commission at its regular meeting of September 20, 1973.

Lynn E. Pio  
Secretary

AYES: Commissioners Farrell, Fleishhacker, Porter, Ritchie, Rueda

NOES: None

ABSENT: Commissioners Mellon, Newman

PASSED: September 20, 1973





HISTORY:  
(Continued)

The present owners' restoration by William Wurster of Wurster, Bernardi & Emmons, and re-use of the former headquarters building to display primarily eighteenth century antiques has been masterful. The most impressive interior feature is the main room which formerly housed the turbines. This two-story room is 28 feet high and approximately 50 feet square; large arched windows of hand-rolled glass contrast with walls of exposed brick, the whole being surmounted by a particularly handsome coffered ceiling, each large redwood square of which is set off by great beams. The former front offices are distinguished by paneled dados, high ceilings and tall, narrow doors with transoms above.

A year after Merryvale's formal opening in 1958, the owners added an equally impressive garden shop to the south which is directly accessible from the main building.

Also of interest is the iron fence which encloses the front lawn; it is similar to the original and was placed as part of the restoration.

## ARCHITECTURE:

Richardsonian-Romanesque in its styling, this red brick rectangular building is, except for a corner tower, of uniform height. It is capped by a hipped roof, without projecting eaves, resting on a corbelled cornice. On its narrower facade facing Buchanan Street, a centered arched main entrance is asymmetrically balanced by the Queen Anne tower to the left whose conical roof rises to its apex at an elevation slightly higher than that of the roof ridge behind. From the exterior, the fenestration reflects the interior division of the building into two elements: the front, or westerly, one-third possessing windows indicating two floors with a heavy string course of brickwork at the upper floor level; the remaining two-thirds of the building, equal in height to the front, contains tall windows divided into panes with fanlights above, whose sill line is uniform with those on the lower floor at the front, but whose tops extend upward about three-quarters of the total wall height. On its south elevation, two-story pilasters divide the building into six evenly spaced bays. However, on the north, along North Point Street, this same division is only partially carried out, the pilasters here defining only the four bays containing the taller windows. The rear of the building is divided, also by two-story pilasters, into three bays slightly wider than those on the north and south sides. The center bay houses a double doorway extending its full width and equal in height to the windows in the adjacent bays. The doorway is topped by a flattened arch similar in its arc to that above the second story windows on the front portion of the building; all other windows and the main entry have semi-circular arched tops. All wall openings are surmounted and protected by slightly projecting cast stone moldings and, except for that over the main entrance, are divided into sections containing a patera. The main entrance arch, resting on short brick pilasters, frames a recessed doorway; here a deeper molding than that over the windows retains the name of the original occupant of the structure:

S.F. G A S L I G H T C O.

SURROUNDING LAND  
USE AND ZONING:

Zoning of the subject property is C-2 for a depth of 100 feet along Buchanan Street; the rear 18 feet of the parcel along North Point is zoned R-4. A PG&E substation is located to the east, a service station to the south. An apartment complex occupies most of the remainder of the block. Residential and commercial uses are located across Buchanan Street and a supermarket and parking lot across North Point Street faces into Gas House Cove. Fort Mason lies one block to the east.

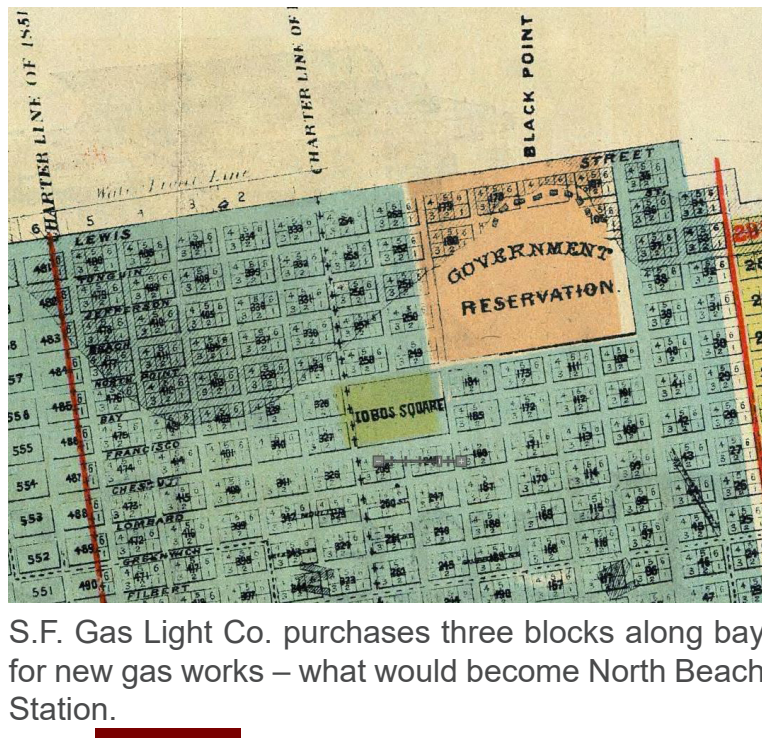


# Site Development Timeline

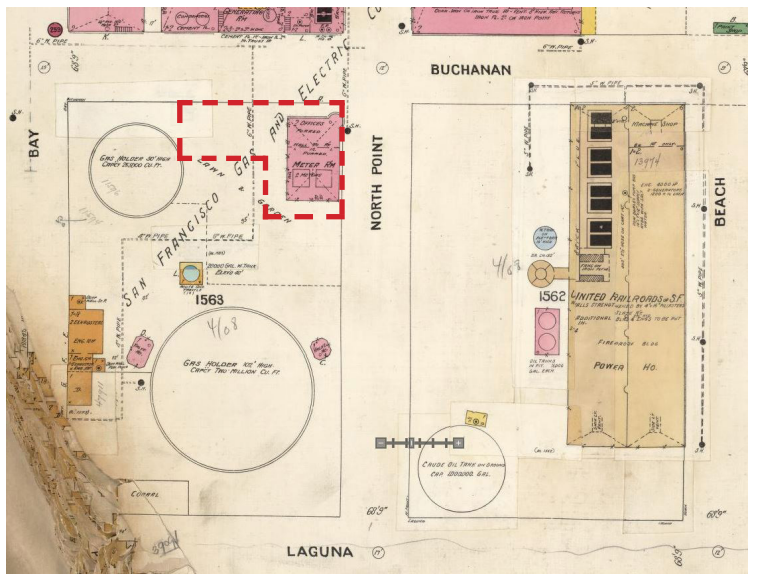


**Legend**

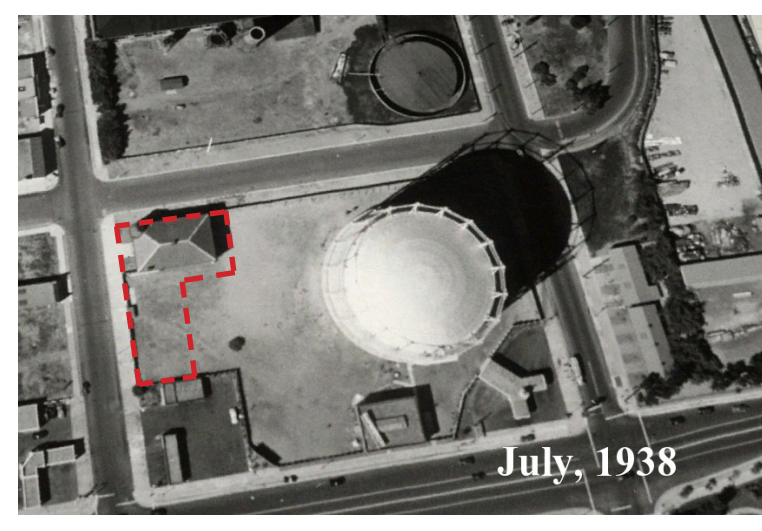
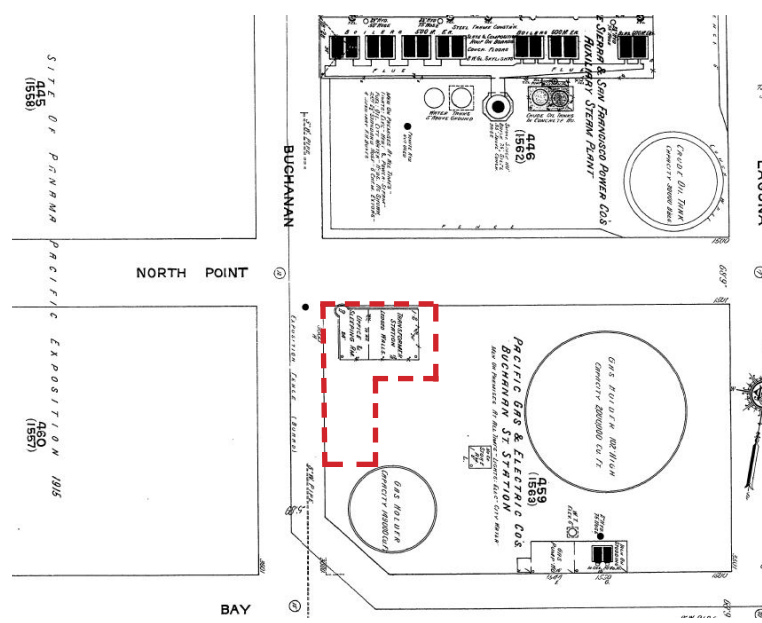
- Events related to Landmark No.58
- Events related to the garden / garden house
- Timeline during the period of significance (1893-1958)
- Timeline after the period of significance



1884  
S.F. Gas Light Co. purchases three blocks along bay for new gas works – what would become North Beach Station.



1906  
Administration building avoids serious earthquake damage. (Site shown dashed in red)



- Hose cart shed and horse shed demolished by 1913.
- Gas station replaces small gasholder tank south of administration building.



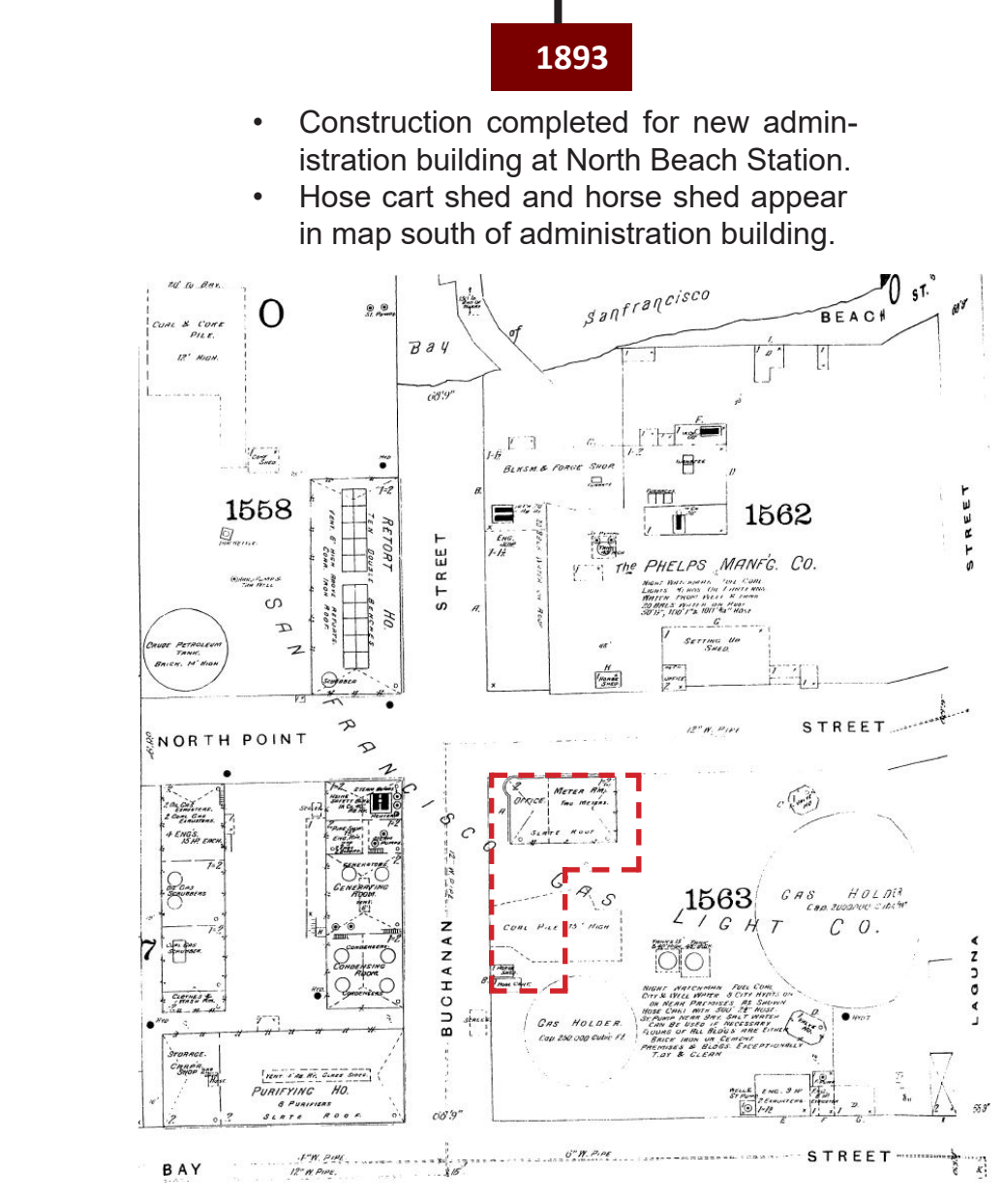
1969  
Large apartment complex replaces gasholder tank east of subject property.



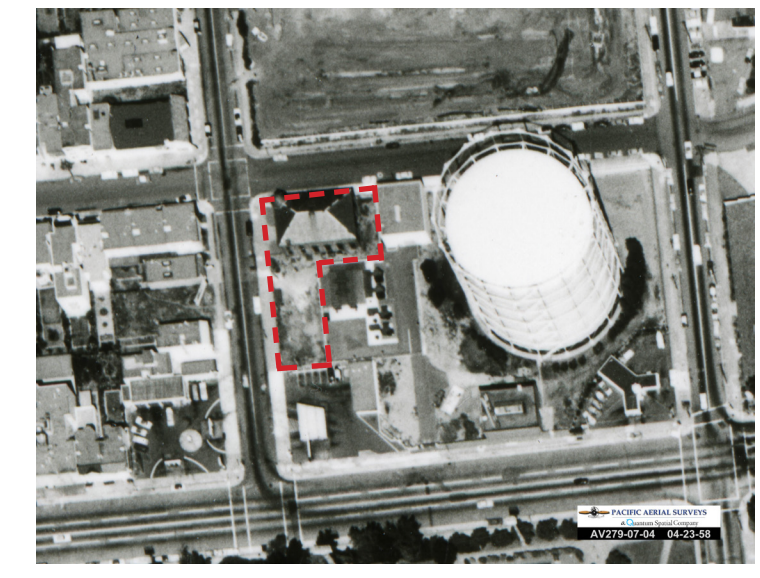
1980  
Pacific Union Realty Company purchases subject property, reconfiguring administration building's interior to offices.



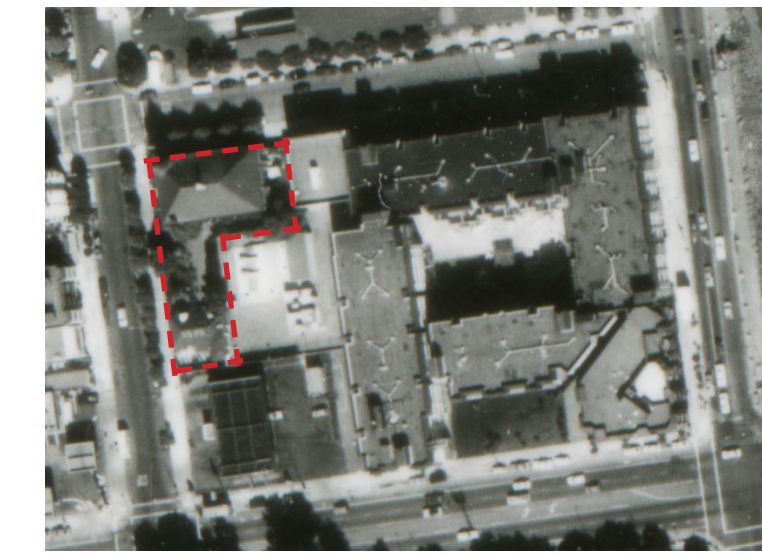
Today  
Current photos show that neither the garden house/workshop or garden are highly visible from the public right of way. Note that a large apartment complex replaced the gas station south of the subject property.



1893  
• Construction completed for new administration building at North Beach Station.  
• Hose cart shed and horse shed appear in map south of administration building.



1958  
• Macdonoughs purchase subject property, opening Merryvale Antiques.  
• Clifford Conly designs garden house/workshop to display plants and garden decorations (constructed after the aerial photograph below was taken).  
• Jean Wolff designs garden between administration building and garden house/workshop (constructed after the aerial photograph below was taken).



1982  
Garden house/workshop expanded with restroom addition.



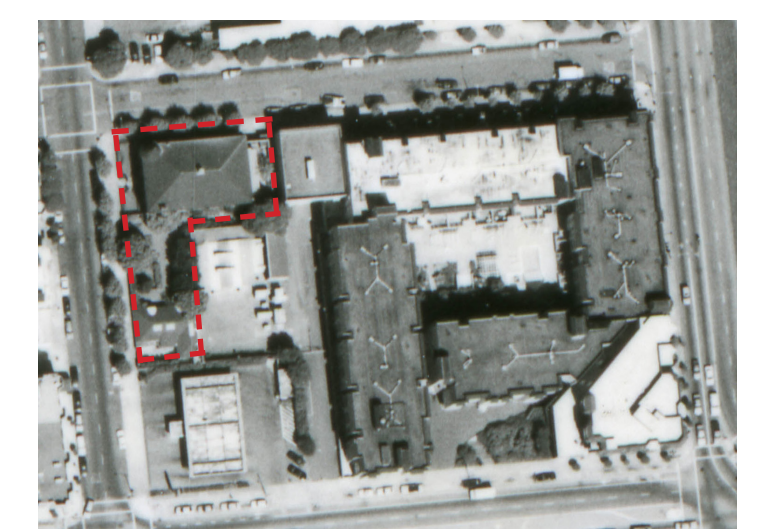
1998  
Gas Light LLC acquires the property.



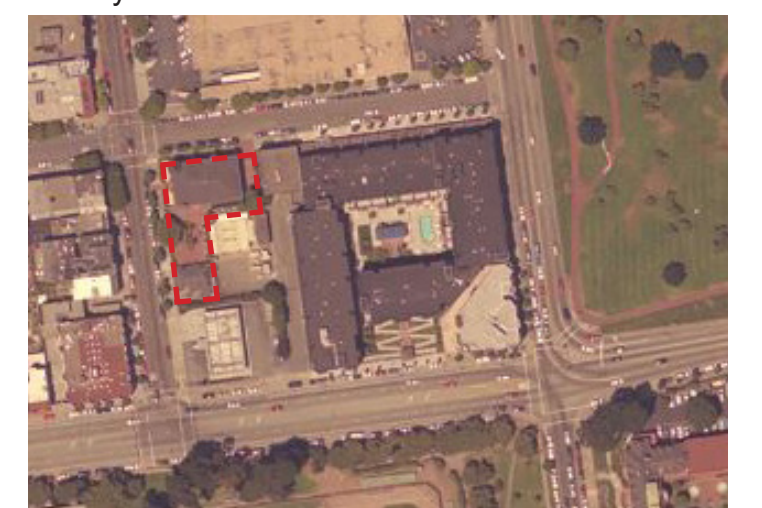
1998  
Photo of garden ca. 1998 looking toward the landmarked building.



1998  
Photo of garden ca. 1998 looking toward the landmarked building.



2000  
Photo of garden ca. 2000 under construction.



2000  
Photo of garden ca. 2000 under construction.



2000  
Photo of completed garden ca. 2000 with current design.

# 3620-3640 Buchanan Street: Site Development Timeline

# Historic Resource Evaluation





3620 BUCHANAN STREET  
HISTORIC RESOURCE EVALUATION, PART I  
SAN FRANCISCO, CALIFORNIA  
[16060]

PREPARED FOR:  
ROGER WALTHER



PAGE & TURNBULL

imagining change in historic environments through design, research, and technology

JULY 2018

FINAL



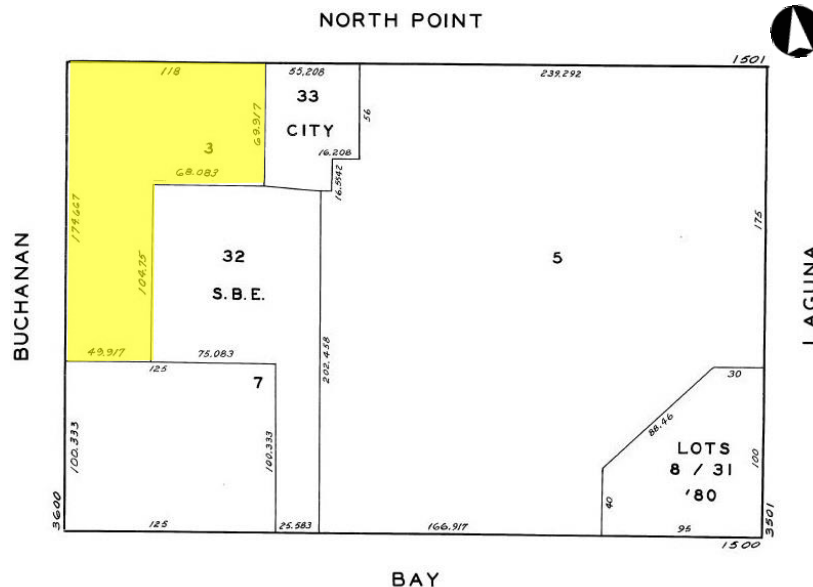
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## I. INTRODUCTION

This Historic Resource Evaluation (HRE) Part 1 has been prepared at the request of Sutro Architects, on behalf of Roger Walther of The Walther Foundation, for the building at 3620 Buchanan Street (APN 0459/003) in San Francisco’s Marina neighborhood. The building is on the same parcel as San Francisco Landmark No. 58, known as Merryvale Antiques and originally the administration building of San Francisco Gas Light Company’s North Beach Station located at 3636 Buchanan Street (also addressed as 3640 Buchanan Street). The L-shaped parcel is on the east side of Buchanan Street, between North Point Street and Bay Street (**Figure 1**).

The parcel has an area of 13,480 square feet and is located in a NC-2 (Small-Scale Neighborhood Commercial) zoning district. The landmarked building occupies the northern end of the lot along North Point Street while the subject building at 3620 Buchanan Street is at the lot’s southern end; a designed patio garden separates the two buildings on the lot. Formerly the garden house and workshop, the subject building was constructed in 1958 and designed by architect Clifford Conly, Jr. It, along with the adjacent patio garden, was built for Dent and Margaret Macdonough, owners of Merryvale Antiques, which occupied the lot from 1958 to 1980. The subject building is used currently as an office.



**Figure 1: Assessor’s map of the subject block. The subject parcel is highlighted in yellow. The subject building at 3620 Buchanan Street is located at the south end of the lot.  
Source: San Francisco Assessor’s Office. Edited by Page & Turnbull.**

Due to the Landmark status, the parcel is assigned Category A, “Historic Resource Present,” by the City of San Francisco. The property was surveyed by the Junior League of San Francisco, Inc. as part of the *Here Today: San Francisco’s Architectural Heritage* survey. *Here Today* is also a published book, and the San Francisco Gas Light Company building is discussed on page 15 of the 1968 edition. The property was surveyed again in the 1976 Department of City Planning Architectural Quality Survey and was given a survey rating of “3.” However, the subject building located at 3620 Buchanan Street was constructed well after the San Francisco Gas Light Company building for which the parcel is designated a landmark and was not evaluated in the previous surveys. The purpose of this HRE Part 1 is to determine if the subject building is eligible for the California Register of Historical Resources (California Register) individually or in association with the existing Landmark No. 58 and its setting.

## **METHODOLOGY**

This report follows the outline provided by the San Francisco Planning Department for Historic Resource Evaluation Reports, and provides a summary of the current historic status, a building description, and historic context for 3620 Buchanan Street. The report also includes an evaluation of the property's eligibility for listing in the California Register, including any association with Landmark No. 58 and its setting.

Page & Turnbull prepared this report using research collected at various local repositories, including the San Francisco Department of Building Inspection, the San Francisco Assessor's Office, the San Francisco Planning Department, and the San Francisco Public Library History Center, as well as various online sources including Ancestry.com and the California Digital Newspaper Collection. Key primary sources consulted and cited in this report include Sanborn Fire Insurance Company maps, City of San Francisco Building Permit Applications, San Francisco City Directories, Assessor's Office records, and historical newspapers. All photographs in this report were taken during a site visit conducted by Page & Turnbull in April 2016 unless otherwise noted.

## II. EXISTING HISTORIC STATUS

The following section examines the national, state, and local historical ratings currently assigned to the building at 3620 Buchanan Street. Additionally, this section mentions the existing historic status for the building at 3636 Buchanan Street (also referred to and addressed as 3640 Buchanan Street) because it is situated on the same parcel as 3620 Buchanan Street.

### NATIONAL REGISTER OF HISTORIC PLACES

The National Register of Historic Places (National Register) is the nation's most comprehensive inventory of historic resources. The National Register is administered by the National Park Service and includes buildings, structures, sites, objects, and districts that possess historic, architectural, engineering, archaeological, or cultural significance at the national, state, or local level.

Neither 3620 or 3636 Buchanan Street is currently listed in the National Register of Historic Places.

### CALIFORNIA REGISTER OF HISTORICAL RESOURCES

The California Register of Historical Resources (California Register) is an inventory of significant architectural, archaeological, and historical resources in the State of California. Resources can be listed in the California Register through a number of methods. State Historical Landmarks and National Register-listed properties are automatically listed in the California Register. Properties can also be nominated to the California Register by local governments, private organizations, or citizens. The evaluative criteria used by the California Register for determining eligibility are closely based on those developed by the National Park Service for the National Register of Historic Places.

Neither 3620 or 3636 Buchanan Street is currently listed in the California Register of Historical Resources.

### SAN FRANCISCO CITY LANDMARKS

San Francisco City Landmarks are buildings, properties, structures, sites, districts, and objects of "special character or special historical, architectural or aesthetic interest or value and are an important part of the City's historical and architectural heritage."<sup>1</sup> Adopted in 1967 as Article 10 of the City Planning Code, the San Francisco City Landmark program protects listed buildings from inappropriate alterations and demolitions through review by the San Francisco Landmarks Preservation Advisory Board. These properties are important to the city's history and help to provide significant and unique examples of the past that are irreplaceable. In addition, these landmarks help to protect the surrounding neighborhood development and enhance the educational and cultural dimension of the city.

The subject building at 3620 Buchanan Street is not currently designated as a San Francisco City Landmark or Structure of Merit. However, 3636 Buchanan Street is designated as San Francisco Landmark No. 58 (Merryvale Antiques; originally the San Francisco Gas Light Company). 3620 and 3636 Buchanan Street do not fall within the boundaries of any existing locally designated historic districts or conservation districts.

### CALIFORNIA HISTORICAL RESOURCE STATUS CODE

Properties listed or under review by the State of California Office of Historic Preservation are assigned a California Historical Resource Status Code (Status Code) of "1" to "7" to establish their

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<sup>1</sup> San Francisco Planning Department, *Preservation Bulletin No. 9 – Landmarks* (San Francisco: January 2003).

historical significance in relation to the National Register of Historic Places (National Register or NR) or California Register of Historical Resources (California Register or CR). Properties with a Status Code of “1” or “2” are either eligible for listing in the California Register or the National Register, or are already listed in one or both of the registers. Properties assigned Status Codes of “3” or “4” appear to be eligible for listing in either register, but normally require more research to support this rating. Properties assigned a Status Code of “5” have typically been determined to be locally significant or to have contextual importance. Properties with a Status Code of “6” are not eligible for listing in either register. Finally, a Status Code of “7” means that the resource has not been evaluated for the National Register or the California Register, or needs reevaluation.

3620 Buchanan Street is not listed in the California Historic Resources Information System (CHRIS) database with a status code. The most recent update to the California Historic Resources Information System (CHRIS) database for San Francisco County that lists the status codes was in April 2012. However, 3636 Buchanan Street is listed as the “Meter and Office House” of the San Francisco Gas Light Company (Landmark No. 58) with a Status Code of 7J, “Received by OHP for evaluation or action but not yet evaluated” (status date: 08/09/2000).

### 1976 DEPARTMENT OF CITY PLANNING ARCHITECTURAL QUALITY SURVEY

The 1976 Department of City Planning Architectural Quality Survey (1976 DCP Survey) is what is referred to in preservation parlance as a “reconnaissance” or “windshield” survey. The survey looked at the entire City and County of San Francisco to identify and rate architecturally significant buildings and structures on a scale of “-2” (detrimental) to “+5” (extraordinary). No research was performed and the potential historical significance of a resource was not considered when a rating was assigned. Buildings rated “3” or higher in the survey represent approximately the top two percent of San Francisco’s building stock in terms of architectural significance. However, it should be noted here that the 1976 DCP Survey has come under increasing scrutiny over the past decade due to the fact that it has not been updated in over twenty-five years. As a result, the 1976 DCP Survey has not been officially recognized by the San Francisco Planning Department as a valid local register of historic resources for the purposes of the California Environmental Quality Act (CEQA).

3620 Buchanan Street is not listed in the 1976 DCP Survey; however, 3636 Buchanan Street was listed and was given a survey rating of “3.”

### HERE TODAY

*Here Today: San Francisco’s Architectural Heritage (Here Today)* is one of San Francisco’s first architectural surveys, undertaken by the Junior League of San Francisco, Inc. and published in book form in 1968. Although the *Here Today* survey did not assign ratings, it did provide brief historical and biographical information about what the authors believed to be significant buildings.

3620 Buchanan Street is not mentioned in *Here Today*; however, 3636 Buchanan Street was surveyed and is discussed on page 15 of the book.

### III. BUILDING AND PROPERTY DESCRIPTION

#### EXTERIOR

The building at 3620 Buchanan Street is located on the east side of Buchanan Street, between North Point Street and Bay Street (**Figure 2**). Situated on a level parcel, the building is south of the main building on the parcel, 3636 Buchanan Street (Landmark No. 58) and a patio garden. The building is set back approximately 20 feet from the street, behind a brick wall and metal entrance gate that leads to the front concrete patio. The building's primary façade is oriented to the south and the rear façade looks onto the patio garden.

The wood frame building is one story in height, and approximately three bays wide, and two bays deep. It has a vernacular garden house with French decorative elements. The building has a hipped asphalt shingle roof in the shape of an "L," though the eastern section (bottom portion of the "L") is dropped and thus has a lower ridge. The western, upper portion of the roof has two three-lite skylights with wire glass. The volume that extends from the elbow of the "L" has a shed roof. The building's vertical wood board walls have wood trim and sit atop a concrete foundation. All doors are ten-lite wood French doors with wood surrounds and appear to be original.



**Figure 2: 3620 Buchanan Street, San Francisco, facing south. Yellow shading roughly delineates the subject parcel; black dashed outline roughly delineates the subject building.**

**Source: Microsoft Bing Maps, 2016. Edited by Page & Turnbull.**

#### Primary (South) Façade

The primary façade does not face the street, but rather, faces south towards the building's front patio (**Figure 3**). The first, western-most bay is part of the upper portion of the "L" and contains the main entrance, which has the standard door type and a fabric awning (**Figure 4**). The second, middle bay contains the volume that extends from the elbow of the "L" (**Figure 5**). It has a one-over-one double-hung wood sash window with a wood surround and frosted glazing. The third, eastern-most bay further protrudes, as it is the bottom portion of the "L" (**Figure 6**). Its south façade contains



two six-over-six double-hung wood sash windows with horns and wood surrounds, and its west façade facing the front patio garden features the standard door (Figure 7).



Figure 3: Primary (south) and west façades behind the perimeter brick wall, facing northeast.



Figure 4: Western-most bay, facing north.



Figure 5: Middle bay, facing northeast.



Figure 6: West façade of eastern-most bay, facing east.



Figure 7: South façade of eastern-most bay, facing northeast.

### West Façade

The entire west façade directly abuts the six-foot-tall perimeter brick wall and is not visible (**Figure 8**).



**Figure 8:** Perimeter brick wall (left) and building's south façade (right) showing the lack of accessibility to the west façade, facing north.

### Rear (North) Façade

The rear façade looks onto the patio garden and the south side façade of Landmark No. 58 (**Figure 9**). At the center of the rear façade is a 12-lite wood sash window, which is flanked by two standard doors (**Figure 10**). Above both doors, behind the climbing plants, is a half-circle sunburst motif that extends upward through the cornice line, creating an arched cross gable (**Figure 11**). The rest of the rear façade has wood lattice attached to the vertical wood board siding.



**Figure 9:** Rear (north) façade and patio garden, facing south.



Figure 10: Rear façade, facing southwest.



Figure 11: Sunburst motif seen above both doors, facing south.

### East Façade

Similar to the west façade, the entire east façade directly abuts a tall brick wall and is not visible (Figure 12).



Figure 12: Brick wall (left) and building's north façade (right) showing the lack of accessibility to the east façade, facing southeast.

### SITE FEATURES

As an 1893 brick two-story building, Landmark No. 58 dominates the parcel on which the subject building is situated (Figure 13). Formerly one of the San Francisco Gas Light Company complex's buildings, Landmark No. 58 is located on the corner of the property, at the southeast corner of Buchanan and North Point streets. Originally an industrial site, the property now features a patio garden (renovated in 2000) between Landmark No. 58 and the subject building and a driveway that has been converted into a brick-paved side patio along the east side of Landmark No. 58. Small street trees line the sidewalks.



Figure 13: Landmark No. 58 (left) and subject building (right), facing southeast.

An iron fence sits atop a low concrete wall and extends along the street-facing façades of Landmark No. 58. The iron entrance gate aligns with the main entrance of Landmark No. 58, which is on the building's west façade facing Buchanan Street (**Figure 14**). There is groomed landscaping and a gravel path between the building and the fence. The gravel path, which is only along the west side, connects to the patio garden south of the building, accessed by an iron gate (**Figure 15**).



Figure 14: Iron gate and main entrance to Landmark No. 58, facing east.



Figure 15: Gravel path and iron gate to patio garden, facing south.

The patio garden is bounded by six-foot-tall (or taller) brick walls to the west (along Buchanan Street) and east (neighboring property); both walls extend to surround the subject building at 3620 Buchanan Street. The northern end of the patio is bounded by Landmark No. 58, which has an entrance on its south façade leading to the patio garden (**Figure 16**). The southern end of the patio garden is the subject building's north façade and its two French doors accessing the garden. The patio paving is brick and outlined by a low brick wall, creating planters between the two brick walls. The formal, symmetrical landscaping includes groomed hedges, bushes, flowers, and small trees.

A brick path leads from the patio garden along the eastern half of Landmark No. 58's south façade to the east façade (**Figure 17**). The path is lined with groomed hedges, flowers, bushes, and small trees that form a canopy above it. South of the path is a tall wood lattice fence, and the east end of the path has a similar lattice fence and a wood lattice door (**Figure 18 and Figure 19**). The path connects to a small side brick patio east of the building, which has yet another entrance on its east façade (**Figure 20**). The side patio is bounded to the south and east by tall brick walls covered in lattice-patterned climbing plants. Groomed hedges and small trees with iron grills line the edges. At the north end, the side patio has a large, vehicle-sized iron gate supported by brick columns, and a small iron entrance gate to the west side (**Figure 21**). The brick paving extends on the other side of the iron gates to the sidewalk, which has a curb cut at the street.



Figure 16: Patio garden with Landmark No. 58 in the background, facing north.



Figure 17: Landmark No. 58 (left) and brick path (center), facing east.

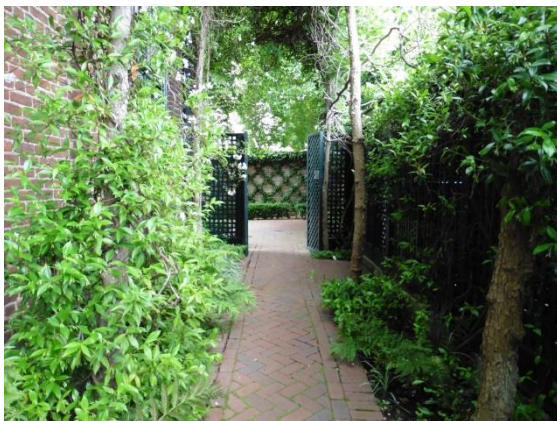


Figure 18: Brick path and lattice door, facing east.



Figure 19: Lattice door and south brick wall of side patio, facing southwest.



Figure 20: East side patio and Landmark No. 58 (left), facing north.



Figure 21: Large iron gate and Landmark No. 58 (right) with driveway in foreground and side patio in background, facing south.

The subject building at 3620 Buchanan Street is either accessed by its rear entrance via the patio garden, or by the subject building's front (south) concrete patio (**Figure 22**). The brick walls that bound the patio garden and building at the west and east ends bound the concrete patio as well, with a brick wall also at the south end (**Figure 23**). There is a break in the west brick wall for the iron entrance gate, which leads from the sidewalk along Buchanan Street to the concrete patio and subject building. The patio is lined with groomed hedges and small evergreen trees.



Figure 22: Concrete patio and metal gate, facing southwest.



Figure 23: South brick wall of concrete patio with roofs of Landmark No. 58 and subject building in background, facing north.

## SURROUNDING NEIGHBORHOOD

The subject parcel is bounded by North Point Street to the north, the property of 1570 Bay Street to the east, the property of 1598 Bay Street to the south, and Buchanan Street to the west. The neighborhood immediately surrounding 3620 Buchanan Street is a mixture of residential, commercial, and industrial buildings between one and five stories tall. Construction dates range from pre-1900 to 2006 (according to the San Francisco Assessor's Office) and architectural styles seen throughout the area have a similarly great range. Along North Point Street, immediately east of the subject property is the Pacific Gas and Electric's Marina Substation in a Modern style followed by a Third Bay Tradition apartment complex with a commercial ground floor (**Figure 24**). At the intersection of Buchanan and Bay streets, immediately south of the subject property, is an abandoned

gas station with no distinct architectural style (**Figure 25**). One block to the north is a Safeway grocery store and its parking lot, to the east is Fort Mason, to the south is the Moscone Recreation Center, and to the west (across Buchanan Street from the subject building) are residential buildings, some with a commercial ground floor (**Figure 26 to Figure 30**).



Figure 24: Marina Substation and the apartment complex, facing southwest.



Figure 25: Abandoned gas station, facing northeast.



Figure 26: Moscone Recreation Center, facing southwest.



Figure 27: View of Fort Mason from subject block, facing southeast.



Figure 28: Front of Safeway, facing south.



Figure 29: Rear of Safeway, which faces subject property, facing northeast.



**Figure 30: Apartment building with commercial ground floor, west of subject block, facing west.**



## IV. HISTORIC CONTEXT

### EARLY SAN FRANCISCO HISTORY

European settlement of what is now San Francisco took place in 1776 with the simultaneous establishment of the Presidio of San Francisco by representatives of the Spanish Viceroy, and the founding of Mission San Francisco de Asis (Mission Dolores) by the Franciscan missionaries. The Spanish colonial era persisted until 1821, when Mexico earned its independence from Spain, taking with it the former Spanish colony of Alta California. During the Mexican period, the region's economy was based primarily on cattle ranching, and a small trading village known as Yerba Buena grew up around a plaza (today known as Portsmouth Square) located above a cove in San Francisco Bay. In 1839, a few streets were laid out around the plaza, and settlement expanded up the slopes of Nob Hill.

During the Mexican-American war in 1846, San Francisco was occupied by U.S. military forces, and the following year the village was renamed San Francisco, taking advantage of that name's association with the Bay. Around the same time, a surveyor named Jasper O'Farrell extended the original street grid, while also laying out Market Street from what is now the Ferry Building to Twin Peaks. Blocks north of this then imaginary line were laid out in small 50-*vara* square blocks whereas blocks south of Market were laid out in larger 100-*vara* blocks.<sup>2</sup>

The discovery of gold at Sutter's Mill in 1848 brought explosive growth to San Francisco, with thousands of would-be gold-seekers making their way to the isolated outpost on the edge of the North American continent. Between 1846 and 1852, the population of San Francisco mushroomed from less than one thousand people to almost 35,000. The lack of level land for development around Portsmouth Square soon pushed development south to Market Street, eastward onto filled tidal lands, and westward toward Nob Hill. At this time, most buildings in San Francisco were concentrated downtown, and the outlying portions of the peninsula remained unsettled throughout much of the late nineteenth century.

With the decline of gold production during the mid-1850s, San Francisco's economy diversified over the following decades to include agriculture, manufacturing, shipping, construction, and banking.<sup>3</sup> Prospering from these industries, a new elite class of merchants, bankers, and industrialists arose to shape the development of the city as the foremost financial, industrial, and shipping center of the West.

### MARINA NEIGHBORHOOD HISTORY

3620 Buchanan Street is located within San Francisco's Marina neighborhood. The boundaries of the Marina are roughly defined by the San Francisco Bay to the north, Van Ness Avenue and Fort Mason to the east, Lombard Street to the south, and the Presidio of San Francisco to the west.

As shown on the 1869 U.S. Coast Survey map, most of what is today the Marina District was submerged beneath San Francisco Bay (**Figure 31**). The eastern part of the Marina District consisted of an enormous sand dune bounded approximately by Black Point (today's Fort Mason) on the north, Leavenworth Street on the east, Fillmore Street on the west, and Lombard Street on the south. Several lagunas, or lakes, are also shown south of Lombard Street. The largest of these was known as "Washerwoman's Lagoon" as it was the site of numerous laundry facilities, as well as other industries requiring large amounts of fresh water (**Figure 32**).

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<sup>2</sup> *Vara* is derived from an antiquated Spanish unit of measurement.

<sup>3</sup> Rand Richards, *Historic San Francisco: A Concise History and Guide* (2001) 77.

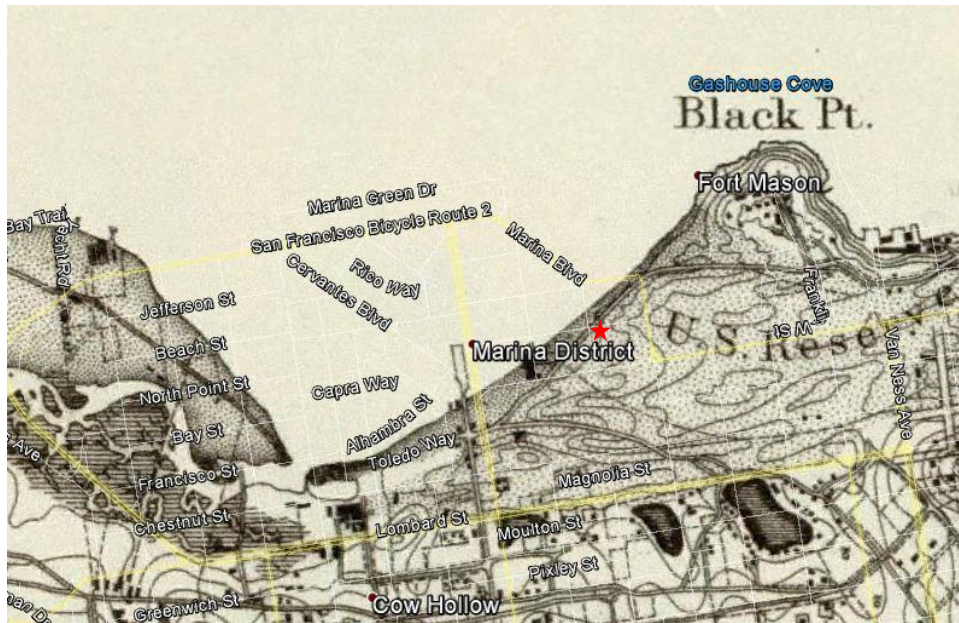


Figure 31: Overlay of 1869 Coast Survey map under current street grid. Washerwoman's Lagoon is at lower right. Red star indicates approximate location of the subject property. Source: David Rumsey Collection and Google Earth 2015. Edited by Page & Turnbull.



Figure 32: Circa 1860 view looking west toward Washerwoman's Lagoon and future Marina District. The future site of the subject property is northwest of the lagoon (upper right corner). Source: Carleton E. Watkins, Bancroft Library 1964.072.01 via Calisphere.

What is today the heart of the Marina District was still a shallow tideland with a “rural landscape of mud flats, shanties, pastures, and small farms.”<sup>4</sup> Only a handful of buildings existed, including a small cluster around the Fillmore Street Wharf, which allowed some of the farmers and dairy producers in

<sup>4</sup> Christopher VerPlanck, “From Mud Flats to Marina: Building a San Francisco Neighborhood,” *Heritage News* XXXV:3 (Summer 2007) 5.

the area to ship products around the bay.<sup>5</sup> The primary routes through the area were the Presidio Road, developed during the 1840s, and the Bay Shore & Fort Point Road, a toll road developed in 1864, which ran from North Beach to the Presidio.<sup>6</sup>

To the east was Fort Mason, a military reservation created in 1850 at Black Point, a prominent outcropping of rock. Fort Mason was not fortified, however, until 1863 during the Civil War. Immediately southwest of Fort Mason was Lobos Square (currently the Moscone Recreation Center), bounded by Chestnut, Laguna, Webster, and Bay streets. The Square was reserved in 1855 by the San Francisco Board of Supervisors, but remained vacant throughout the nineteenth century. As discussed in Randolph Delehanty's study of San Francisco parks: "It was the only true bayside reservation and fronted on the tidal marshes near what became Gashouse Cove and the Fulton Iron Works. Nothing was done to improve the site until the filling in of the marshes for the gigantic Panama-Pacific International Exposition of 1915."<sup>7</sup>

The "Gashouse Cove" (Gas House Cove) mentioned by Delehanty referenced the gas works constructed by the San Francisco Gas Light Company between 1891 and 1893. In particular, a massive gas storage tank was constructed at the northwest corner of Bay and Laguna streets. Built as the administration building, San Francisco Landmark No. 58 at 3636 Buchanan Street is the only remaining building of this complex. In addition to the gas works, other industrial plants located in the area included the California Pressed Brick Company, the Pacific Ammonia Chemical Company, and a soap and tallow works. Recreational facilities were also established, including Harbor View Park (1860s) which offered a beer garden, shooting range, restaurant, and hotel. The park proved so popular that its name was applied to the entire area.<sup>8</sup>

By the early 1890s, San Francisco businessman James Fair had purchased nearly forty-nine blocks in the Harbor View area, much of which consisted of submerged lands. In 1892, Fair convinced the city to build a seawall in order to fill in the area, which could then be used for further industrial development. The project was halted in 1894, however, with only 60 acres having been filled.<sup>9</sup>

After the 1906 Earthquake and Fire, earthquake refugee camps were established at Harbor View (Camp No. 8) and at Lobos Square (Camp No. 9). Some of the gas works buildings (not including Landmark No. 58) suffered from the disaster and were repaired or rebuilt nearby. By 1910, with San Francisco well on the way to recovery, San Francisco merchants raised over four million dollars to acquire the Harbor View area for the site of a World's Fair. They also formed the Exposition Company, which began leasing lands for the site of the fair—including large tracts owned by Virginia Vanderbilt and Theresa Oelrichs, the daughters of James Fair.<sup>10</sup> Suction dredges were then used to pump sand and mud from San Francisco Bay to fill the remaining area behind James Fair's seawall (**Figure 33**). Existing buildings adjacent to the newly filled land were demolished to make way for the Exposition. However, most of the Gas Light Company remained – though by 1905 it was absorbed by and renamed the Pacific Gas and Electric Company.<sup>11</sup>

The Panama-Pacific International Exposition (PPIE) opened in February 1915—celebrating both the completion of the Panama Canal and San Francisco's recovery from the Earthquake and Fire. Over

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<sup>5</sup> Ibid.

<sup>6</sup> Robert Bardell, "The Presidio Road," *The Argonaut*, Vol. 23, No. 2 (Winter 2012) 4-11.

<sup>7</sup> Randolph Stephen Delehanty, *San Francisco parks and playground, 1839 to 1990: The history of public good in one North American city (Volumes I and II)* (Harvard University Thesis, 1992) 82-83.

<sup>8</sup> VerPlanck, "From Mud Flats to Marina: Building a San Francisco Neighborhood," 6.

<sup>9</sup> Ibid, 6-7.

<sup>10</sup> Ibid, 7.

<sup>11</sup> Landmarks Preservation Advisory Board, "Merryvale Antiques (Formerly San Francisco Gas Light Company)," San Francisco Landmark No. 58 designation (1973).

18 million visitors came to the fair over the course of the year, marveling at an astonishing array of “temples” and “palaces” constructed at the site. The subject property was located between the Machinery Palace and The Zone (Amusement Concessions) (Figure 34).

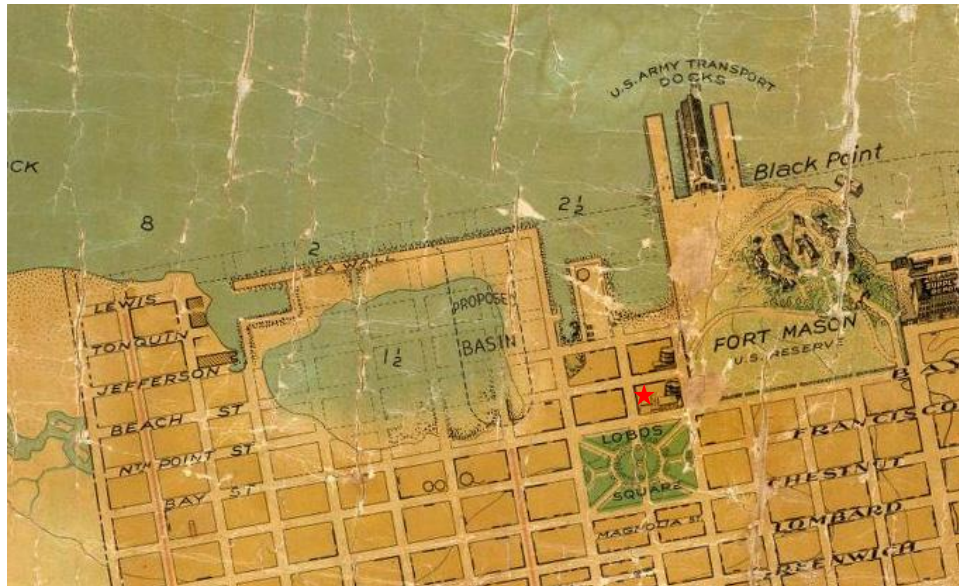


Figure 33: Detail of the 1911 “Chevalier” map showing the Marina District and sea wall. Red star indicates approximate location of the subject property. Source: David Rumsey Collection. Edited by Page & Turnbull.



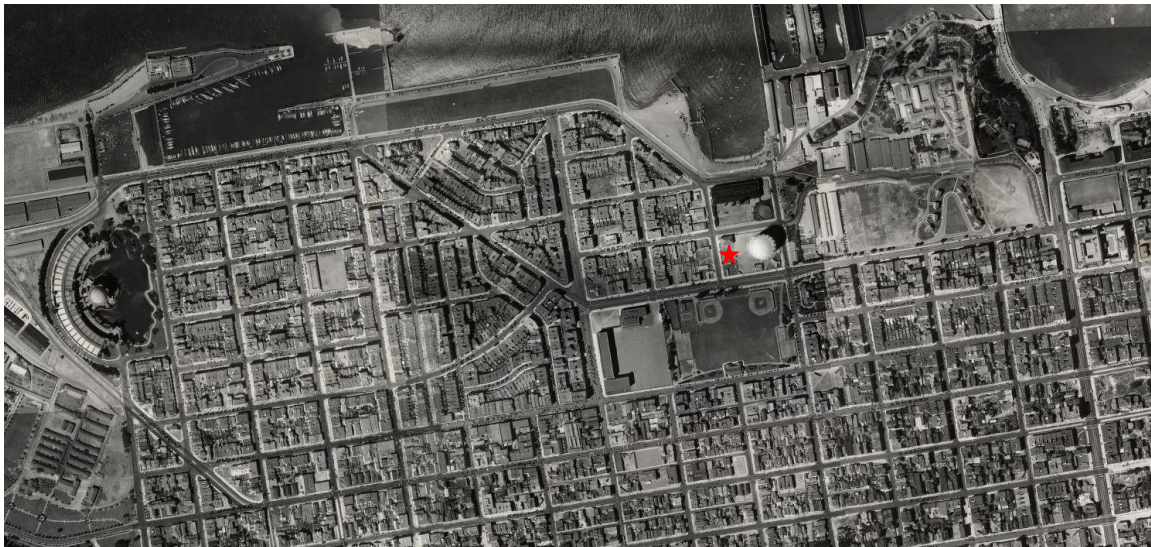
Figure 34: Detail of the 1914 Southern Pacific Company’s map of “San Francisco and Vicinity” showing the layout of the Panama-Pacific International Exposition. Yellow star indicates approximate location of the subject property. Source: David Rumsey Collection. Edited by Page & Turnbull.

The vast majority of the PPIE buildings were designed to be temporary, and by 1916, the only remaining buildings and features were the Yacht Harbor, the North Gardens (now Marina Green), the Palace of Fine Arts, and the Column of Progress (no longer extant). The streetcar lines established by the San Francisco Municipal Railway to provide access to the fair also remained in use, making the former PPIE lands extremely attractive for residential development. In 1922, the Marina Corporation was formed to develop 55 acres bounded by Fillmore, Scott, Chestnut, and Marina Boulevard. Here, diagonal and curvilinear streets were installed to provide bay views and promote the idea of a residential park. Elsewhere, the land owned by Virginia Vanderbilt and her sister Theresa

Oelrichs was sold off and developed with the standard street grid. Residential and commercial uses were generally segregated as the result of the passage of San Francisco's first zoning law in 1917.<sup>12</sup>

In the 1920s and 1930s, the new Marina District—as the former Harbor View area came to be known—experienced a sustained residential building boom. New houses, flats, and apartments were constructed in a variety of architectural styles, with Mediterranean Revival influenced designs by far the most popular. Other common influences included Spanish Eclectic designs, Classical, Renaissance, Tudor, and French Provincial Revival designs, as well as scattered examples of Art Deco buildings.

Civic development accompanied the growth of the Marina District. This included construction of the Funston Playground (now called Moscone Recreation Center) at Lobos Square, as well as the Marina Junior High School (1937) directly to the east. Chestnut Street evolved as the primary commercial corridor, largely because it marked the route of the D Geary-Van Ness streetcar line, later replaced by buses. By the late 1930s, the Marina District was almost completely built out (**Figure 35**). Promotional literature from the 1930s touted the Marina District's schools, parks, tennis courts, and thousands of beautiful homes as the “garden spot” of San Francisco.<sup>13</sup>



**Figure 35: Detail of 1938 aerial photograph by Harrison Ryker, showing the Marina District with the Palace of Fine Arts at left, Lobos Square/Funston Playground towards the center, Fort Mason at upper right, and varying block patterns. Red star indicates approximate location of the subject property. Source: David Rumsey Collection. Edited by Page & Turnbull.**

World War II brought a rush of military activity at Fort Mason and the Presidio. Fort Mason supervised transportation activities at other installations in the Bay Area and was used as a port of embarkation for military personnel. During the mid-twentieth century, Lombard Street—with its direct access to the Golden Gate Bridge—was developed with a large number of motels catering to auto tourists. The Marina District suffered severe damage during the 1989 Loma Prieta Earthquake, as liquefaction of the land filled for the PPIE caused buildings to collapse and gas mains to burst. The damaged properties have since been renovated or rebuilt.

<sup>12</sup> Christopher VerPlanck, “Marina District Development Takes Off,” *Heritage News*, Vol. XXXV, No. 4, Fall 2007, 5.

<sup>13</sup> Sanborn Fire Insurance Company maps (1924-1949); San Francisco Public Library Vertical Files: “SF Districts: Marina;” VerPlanck, “From Mud Flats to Marina: Building a San Francisco Neighborhood,” 5-8.

## SAN FRANCISCO GAS LIGHT COMPANY & NORTH BEACH STATION

There are several historical accounts of the San Francisco Gas Light Company and its North Beach Station (also known as the Buchanan Street Station) located at Gas House Cove in the Marina. Their sources include the San Francisco Landmark No. 58 designation from 1973, the Abbreviated Historic Structure Report (HSR) prepared by Patrick McGrew, Architect, AIA from 1998, and the historical context booklet, *A Place of Light and Power*, from 2000 commissioned by the Walthers and written by Gray Brechin. The latter provides the most comprehensive and accurate narrative, and thus is excerpted below for this historic context. Figures inserted throughout, however, were added by Page & Turnbull and do not appear in the book.

All cities require assured inputs of energy and water to accommodate growing numbers of inhabitants and to raise the value of urban land, a reality that an Irish immigrant named Peter Donahue understood and saw as an opportunity in the first years of the Gold Rush. On a spring morning in 1850, Donahue walked through the sand dunes south of Market Street as the burgeoning city covered the hills around Yerba Buena Cove. Turning to a companion, he prophesied, "This is going to be a great city at no distant day. There will have to be gas works and water works here, and whoever has faith enough to embark in either of these enterprises will make money from them."

And make money he did. Donahue and his two brothers established San Francisco's first foundry, a primitive enterprise in a tent near Portsmouth Square. Their business proved so successful that they soon moved to a larger site on the waterfront just south of Market Street. Their plant became the famous Union Iron Works, the nucleus of what was to become the greatest concentration of machine shops and iron works on Pacific shores. Until sold to the Bethlehem Steel Company in 1902, UIW produced and exported advanced mining machinery throughout the West and around the world.

Obtaining a franchise from San Francisco in 1852 to produce gas from coal, the Donahues started construction of a plant at First and Howard Streets, less than a block from their foundry. The iron works enabled them to make the retorts needed to heat coal to drive off flammable gas needed to light the city. Peter Donahue ordered twenty tons of anthracite from Australia to manufacture his company's first illuminating gas.

On February 11, 1854, the Donahues hosted a banquet at the Oriental Hotel to celebrate the inauguration of gas street lighting in downtown San Francisco. Donahue's prophecy was amply realized, for his San Francisco Gas Company quickly had so many subscribers that for decades it was able to maintain its lead in the city's energy market. In 1873, it merged with two competitors to create the San Francisco Gas Light Company.

With the backing of some of the city's leading capitalists, the SFGLC steadily expanded its operations so that by the time of Peter Donahue's death in 1885, he had become one of California's wealthiest citizens. His company continued to lay miles of underground pipes through which coal gas furnished the energy that served everincreasing numbers of residences and industries.

Unfortunately for the Donahues and everyone else interested in manufacturing or steam transportation, California is poor in coal. Lignite mined to the east of San Francisco on the flanks of Mount Diablo proved too poor in heat value to stoke the state's growing industrial base. The city's merchants and manufacturers compensated by exporting thousands of tons of California wheat around Cape Horn to the flour mills of Liverpool, England, while machinery was sent across the Pacific to Sydney. Anthracite coal returned to San Francisco from those ports to fuel the booming economy.

Essential as it was for the city's existence, few paid much attention to the unglamorous coal trade, for the gold and silver mines of Nevada's Comstock Lode provided the real excitement throughout the 1860s and 70s. The wildly oscillating fortunes of the mines beneath Virginia City created speculative frenzies around the San Francisco mining exchange, permanently fixing the intersection of California and Montgomery Streets as the financial epicenter of the western United States. Speculators invested their Comstock profits in real estate, industry, and lavishly ornamented office buildings and mansions. They also created power companies to compete with the San Francisco Gas Light Company.

Among the most successful of the Comstock speculators were two mining engineers, John Mackay and Jim Fair, who, together with the San Francisco stockbrokers William O'Brien and James Flood, controlled major mining operations at Virginia City. In 1873, Fair and Mackay's crews bored deep into the very heart of the Lode, discovering what became known as the Big Bonanza. That astonishing strike made the four men so wealthy that they were soon known as the Silver Kings. Like all mining men, they appreciated the need for cheap energy, while their sudden wealth enabled them to associate as social and business equals with other successful Irish immigrants such as the Donahues and the Tobins of the Hibernia Savings and Loan Society.

Founded by the Tobins in 1859, the Hibernia became San Francisco's largest savings bank on the strength of loans made largely to Irish clients who were building the houses, cottages, and tenements which followed the expanding network of gas and water mains and cable car lines out of the downtown. Those buildings became virtual machines for living in the 1880s as new inventions offered rising levels of comfort and cleanliness previously available only to the wealthy, if at all. Gas mantles replaced dangerous candles and kerosene lamps, and soon other uses for gas were offered to consumers. The San Francisco Gas Light Company opened a store on Post Street to display the latest in cooking stoves. The company advertised the safety and convenience of their modern appliances which freed their owners from the need to stoke the stoves with coal and to dispose of cinders. The company further promised that pipes passing in coils through the stoves would provide houses with hot running water. Advertisements debunked the rumor that gas used for cooking contaminated the food. Demand for gas increased gratifyingly.

In the 1873 merger which created the San Francisco Gas Light Company, the Donahue firm acquired, along with one of its rival's new gas plants east of Potrero Hill, an ambitious young engineer who had helped to build it. Joseph B. Crockett, Jr. rose rapidly through the company's hierarchy to become president in 1885 at the age of 35. Cable car inventor Andrew Hallidie could well have had the young engineer-president in mind when he wrote in an 1888 article praising the city's manufacturers:

"As nature in California is so robust and full of activity, it is not surprising that her citizens should share her energy, and with the vital force that such circumstances and conditions give, make her the home of industry and art." Through his presidency of the city's leading gas company, Crockett became wealthy and a noted collector and patron of the arts.

Like others in the gas industry, Crockett feared that the rapidly advancing technology of electrical generation and transmission threatened his company's dominance of the energy market. He also understood, however, that the state's rising production of petroleum offered his company the opportunity to produce a new and superior type of gas-sourced energy. He introduced into California a technique invented in Pennsylvania for the production of "water gas". The process involved forcing steam through incandescent anthracite coal to produce "blue gas" which was then mixed in a superheater with volatilized petroleum. The resultant water gas burned cleaner and hotter than simple coal gas. Crockett converted the SFGLC's Potrero plant to the manufacture of water gas while continuing to make coal gas at the older plant on Howard Street.

Farsighted as he may have been, Crockett realized that his two plants would soon be insufficient to furnish gas for the residential districts expanding westward. He saw the need to build a thoroughly modern gasworks to fill both present and future demand. Under his direction, the company purchased the city blocks lying between Bay, Laguna, Webster, and San Francisco Bay. These blocks occupied the eastern shoreline of a cove extending as far south as Francisco Street in what is today the Marina District. The plant's waterfront location would allow freighters to offload coal and crude oil directly onto the site. It would then manufacture and supply water gas to the rapidly growing districts of Pacific Heights and Cow Hollow. In 1889, the *San Francisco Examiner* noted that land values in the area had doubled in the previous two years...

In May, 1891, Crockett directed the beginning of construction of two brick buildings west of Buchanan Street between North Point and Bay for the production of water gas. On January 1, 1892, the *San Francisco Chronicle* praised the completed structures as "strongly built and worthy of a great and growing city". The buildings marked the beginning of what would be called the gas company's North Beach Station **[Figure 36]**.

Across the street from the production facilities, Crockett indulged his aesthetic ambitions by constructing an elegant two-story administrative structure with a corner turret and gracefully arched windows trimmed with terra cotta [Landmark No. 58]. A large Romanesque arch bearing the name of the company in raised lettering announced the recessed front door. The door opened onto a comfortable first floor office which occupied the front of the building, while a spacious and well appointed apartment was provided for the plant manager on the second floor.

If the front exterior looked medieval, the rear two-thirds had a calmly classical demeanor with tall arched windows separated by brick pilasters. The windows provided plentiful light for an impressive two-story room occupying the rear two-thirds of the building. It housed an array of meters that recorded the flow of gas from the compressors through pipes linked to the company's thousands of customers. Crockett's chief assistant later recalled that the North Beach Plant "was



his pride and was recognized for many years as the finest gas works in the world". That pride is evident today in the fact that Crockett chose to roof the great meter room with a superb redwood coffered ceiling instead of the usual open trusses. In addition, he planned for a garden and lawn to separate this handsome brick edifice from two gas tanks on the same block, one of which contained two million cubic feet of gas and was reputed to be the largest west of Chicago **[Figure 37]**. An inspector for the Sanborn Fire Insurance Company described the North Beach Station as "exceptionally clean and tidy- buildings very substantial". The *Chronicle* reported that the machinery was kept so clean that it could be touched with kid gloves.

Architectural historians have admired the sophisticated proportions and detailing of the San Francisco Gas Light Company's administration building and have speculated as to its architect. That honor most likely belongs to Clinton Day, one of San Francisco's leading practitioners of the late Victorian Queen Anne style. Because Day had designed Crockett's Pacific Heights mansion and the SFGLC's downtown office building, that attribution seems justified, though Crockett always claimed credit for the exceptionally well-designed industrial structure. An 1893 Sanborn Insurance Company map shows that Crockett's company filled in a half block space extending two blocks north of its production facilities to create a broad jetty between Webster and Buchanan Streets **[Figure 36]**. The jetty had docking facilities for the delivery of fuel and accommodated a coal yard and oil tanks. A photograph published in the San Francisco News Letter in January of 1902 shows two scows laden with coal anchored in "Gas House Cove" east of the jetty. The brick buildings that housed the water gas machinery, along with an immense holding tank and the turreted administration building, stand near the sandy shore of the cove against the backdrop of the Pacific Heights ridge in the distance...

When Crockett completed the North Beach Station, he decommissioned the old coal gas plant on Howard Street. Despite his showcase gasworks, however, Crockett remained worried about the threat to the gas industry represented by electricity. In the summer of 1893, the year in which the administration building was completed, Crockett hosted the newly organized Pacific Coast Gas Association in San Francisco, which duly elected him its first president. The Association's chief objective was to develop a strategy to meet the incursions of electricity. The best policy, concluded the Association, was to merge gas and electrical companies and to promote niche marketing; gas would be advertised as ideal for cooking and heating and electricity for light and power.

The old gas company thus merged, on December 11, 1896, with its chief rival to create the San Francisco Gas and Electric Company (SFG&EC) **[Figure 37]**. The new firm boasted a capitalization of \$20 million and a board comprised of many of the city's leading capitalists, including Levi Strauss and Peter J. Donahue, nephew of the firm's chief founder. Crockett continued as president of the combined firms, but not for long.

In 1899, Crockett made the mistake of offending sugar king Claus Spreckels when he refused to discuss at the Pacific Union Club Spreckels's complaint that smoke from one of Crockett's plants was smudging a skyscraper he had recently built at Third and Market streets. The Spreckels Building was a landmark from the moment it was completed, and Claus felt for it the same pride that Crockett took in his

North Beach Station. Not one to be crossed, the Sugar King took his revenge by organizing a rival power company to give battle. The resultant rate war proved so disastrous that the SFG&EC stock plummeted, permitting Claus's estranged son Rudolph to buy large amounts of its securities at depressed prices and to gain a seat on its board. Charging mismanagement, Rudolph Spreckels forced Crockett's resignation from the presidency and his replacement by W. B. Bourn. Bourn succeeded in consolidating all the city's power companies on September 1, 1903; Crockett died less than four months later. Rudolph Spreckels sold his stock at a very large profit.

The San Francisco Gas and Electric Company lasted for less than two years after it absorbed the Spreckels Company, for in 1905 Bourn realized his dream of a larger consolidation by joining it with a regional company supplying hydroelectric power from the Sierra Nevada. That marriage created the Pacific Gas and Electric Company. From then on J. B. Crockett's pride, the North Beach Station, became a minor facility in the continually expanding and modernizing PG&E power grid. The earthquake of 1906 finished the plant's role as a production facility by extensively damaging the buildings west of Buchanan Street **[Figure 38]**. Because it was built on more solid ground, the administration building escaped serious damage.

Even more miraculously, it survived the Panama-Pacific International Exposition of 1915 **[Figure 39]**. The directors of the fair razed the old production facilities and filled what remained of the cove west of Buchanan Street **[Figure 40]**. PG&E replaced the gas meters in the rear of the administration building with electrical transformers to feed energy to the exposition. Incongruous as it appeared, the brick Victorian building remained standing between the imperial Roman splendor of the central fair and the Coney Island-like diversions of the Joy Zone to the east and south.

After the PPIE's closing, the former tidelands were cleared of exposition buildings. The old administration building stood on the edge of a vast vacant lot extending to the Presidio, which, in the 1920s, was covered with the stucco houses and apartment buildings of the present Marina District... PG&E used it [Landmark No. 58] for record storage, supplying the large tank to its rear with gas pumped from its Potrero plant.<sup>14</sup>

Throughout the rest of the twentieth century, residential and commercial development continued to fill in the blocks once occupied by the North Beach Station. The small gasholder tank south of the administration building was replaced by a gas station by 1938 **[Figure 41 and Figure 42]**. The auxiliary steam plant at North Beach Station, constructed ca. 1910 and also known as the North Beach Powerhouse, was demolished by 1959 to make way for the Safeway Grocery store built that year. The large gasholder tank southeast of the administration building was replaced by a ca. 1969 apartment complex. The administration building, Landmark No. 58, is the only surviving building of the North Beach Station and reportedly the "oldest intact survivor of the origins of the private utility company known as PG&E."<sup>15</sup>

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<sup>14</sup> Gray Brechin, *A Place of Light and Power: The Restored S.F. Gas Light Co. Building, San Francisco Landmark No. 58* (San Francisco: Tapestries Publishing, 2000) 7-20.

<sup>15</sup> Patrick McGrew, "The San Francisco Gas Light Company: Abbreviated Historic Structure Report," December 22, 1998.

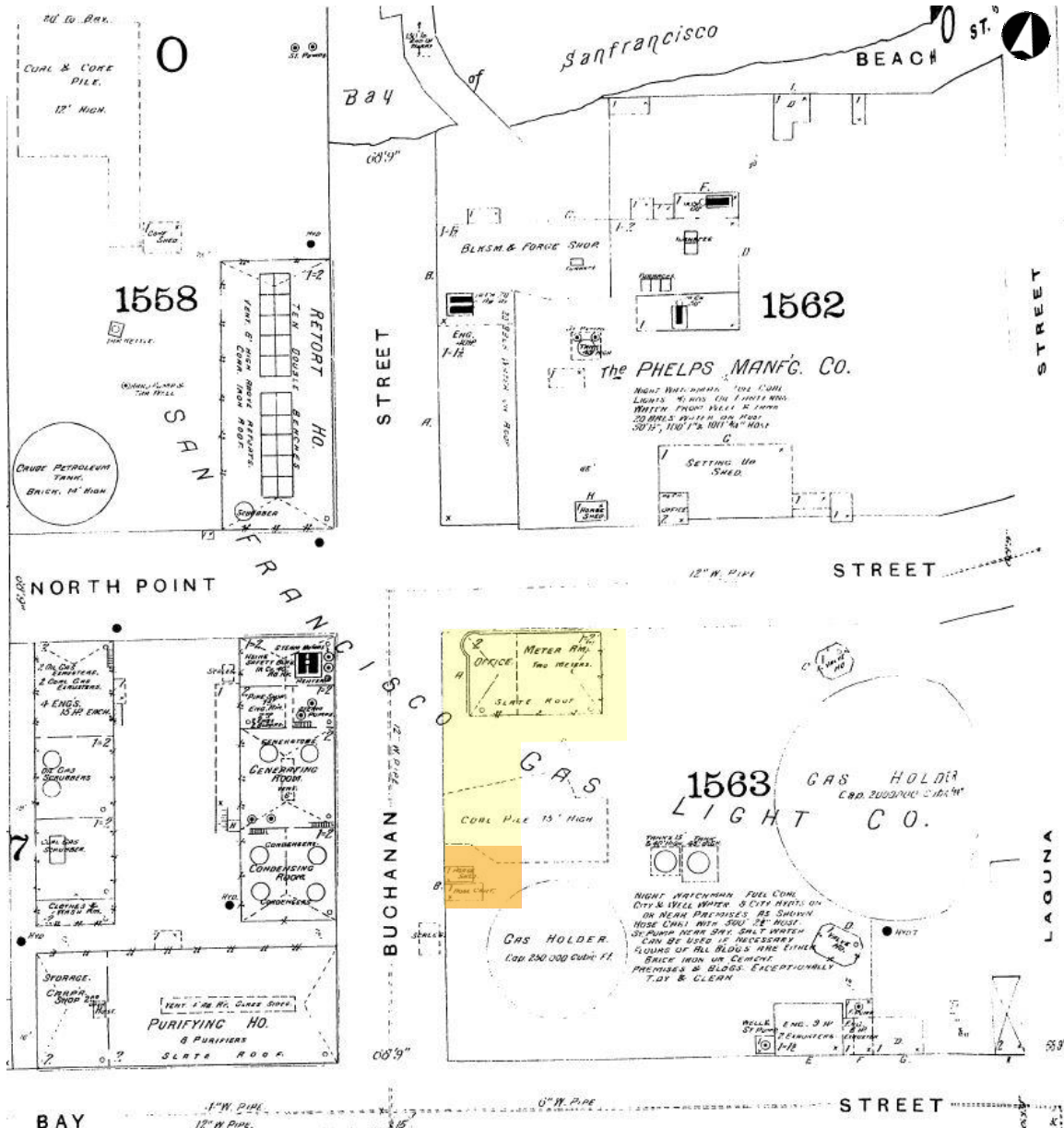


Figure 36: 1893 insurance map by the Sanborn-Perris Map Co. Yellow shading roughly delineates subject parcel and orange shading delineates future location of 3620 Buchanan Street.  
Source: San Francisco Public Library. Edited by Page & Turnbull.

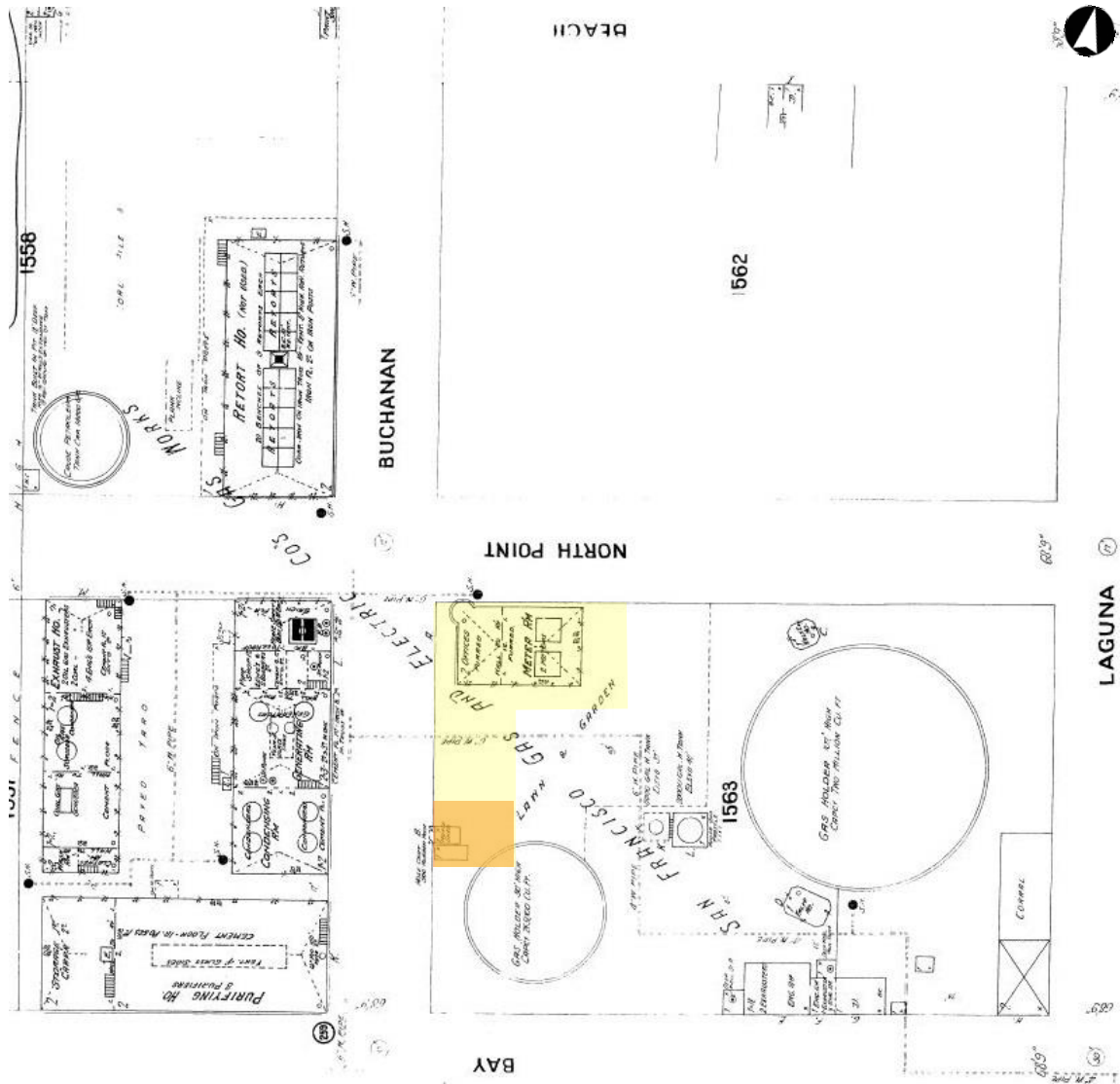


Figure 37: 1899 insurance map by the Sanborn-Perris Map Co. Yellow shading roughly delineates subject parcel and orange shading delineates future location of 3620 Buchanan Street.  
Source: San Francisco Public Library. Edited by Page & Turnbull.



Figure 38: 1906 photograph of Lobos Square Refugee Camp, showing the damaged North Beach Station in the background.  
Source: San Francisco Public Library Historical Photograph Collection (AAC-3104).



Figure 39: 1914 photograph of the North Beach Powerhouse (left) and the Machinery Palace of the PPIE (right). Source: SFMTA Photography Department & Archive (U04635).

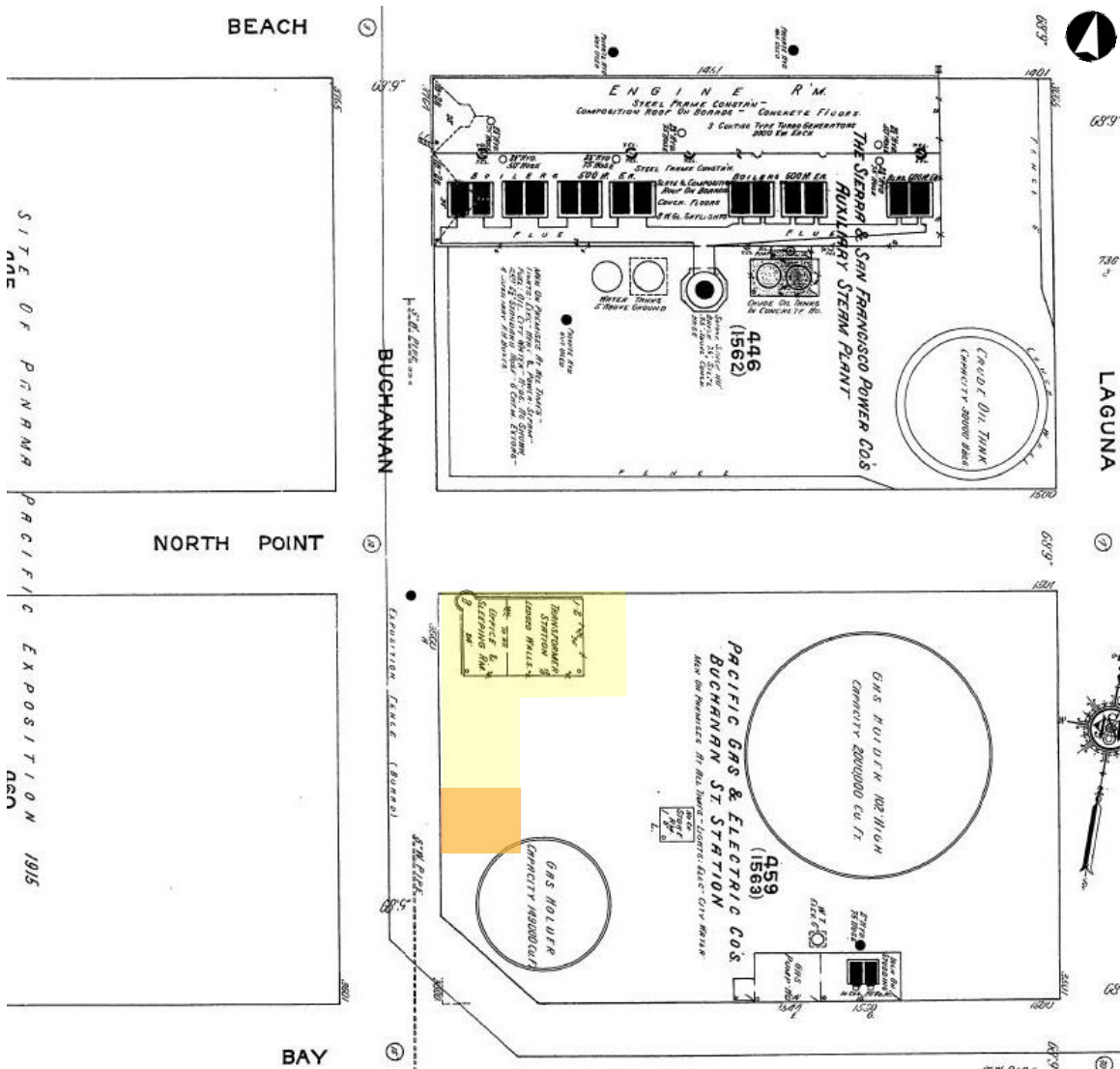


Figure 40: 1913 insurance map by the Sanborn Map Co. Yellow shading roughly delineates subject parcel and orange shading delineates future location of 3620 Buchanan Street.  
Source: San Francisco Public Library. Edited by Page & Turnbull.



Figure 41: 1938 aerial photograph by Harrison Ryker. Yellow shading roughly delineates subject parcel and orange shading delineates future location of 3620 Buchanan Street.  
Source: David Rumsey Map Collection. Edited by Page & Turnbull.

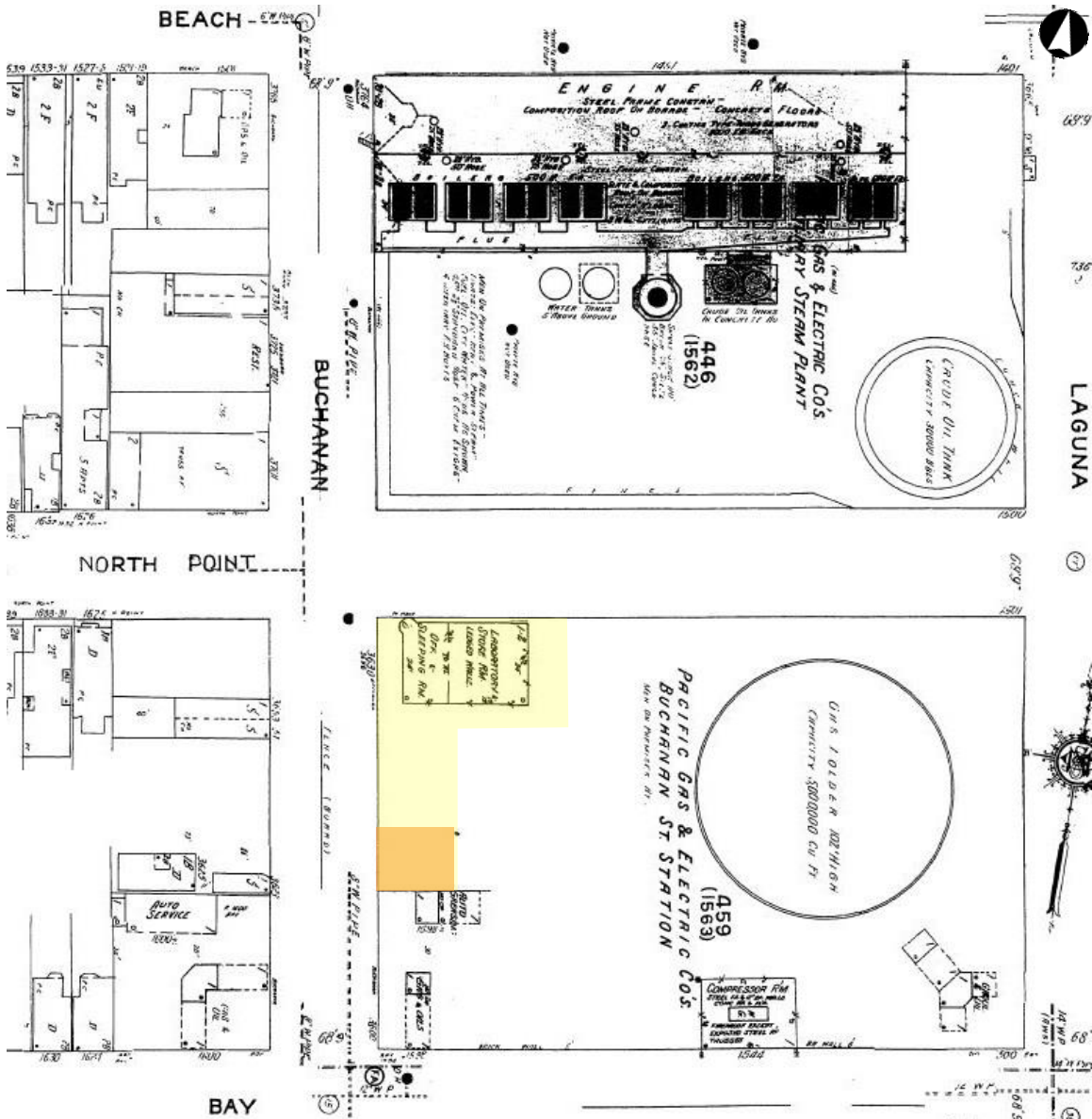


Figure 42: 1950 insurance map by the Sanborn Map Co. Yellow shading roughly delineates subject parcel and orange shading delineates future location of 3620 Buchanan Street.  
Source: San Francisco Public Library. Edited by Page & Turnbull.



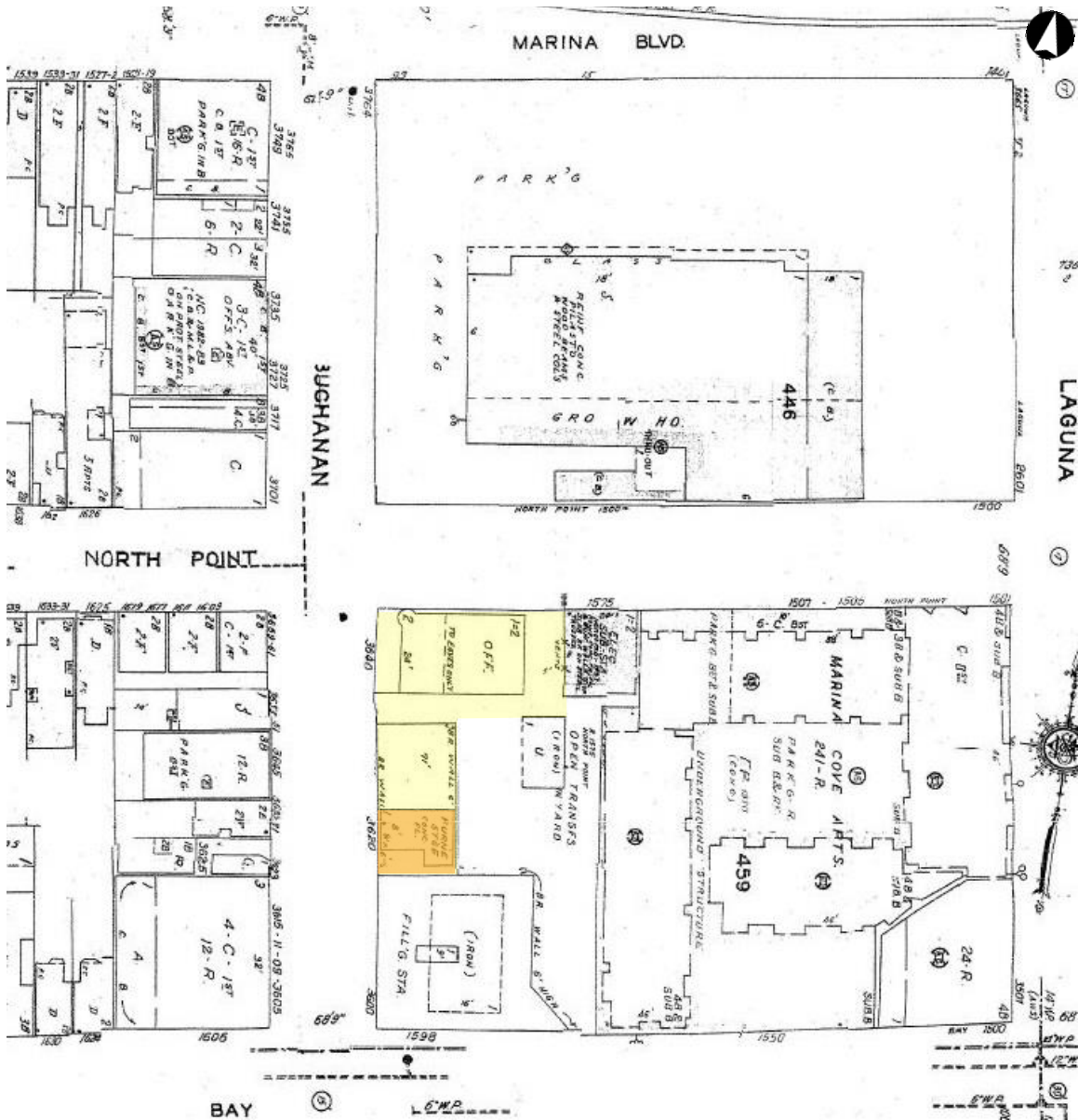


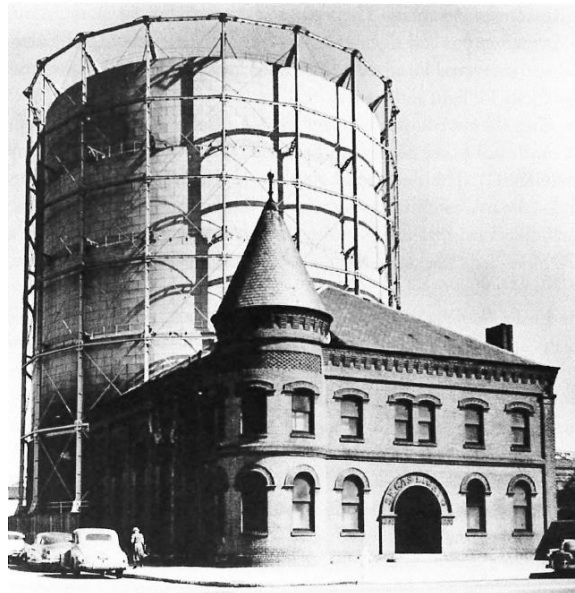
Figure 43: 1990 insurance map by the Sanborn Map Co. Yellow shading roughly delineates subject parcel and orange shading delineates 3620 Buchanan Street.  
Source: San Francisco Public Library. Edited by Page & Turnbull.

## V. PROJECT SITE HISTORY

### SITE DEVELOPMENT

#### Industrial Use (1893-1958)

As shown on the 1869 U.S. Coast Survey map, the vicinity of the future building at 3620 Buchanan Street consisted of marshes and sand dunes on the U.S. Reserve (Fort Mason), with Black Point a short distance northeast. Rare for property in the Marina, the subject parcel was not one of the many filled in by suction dredges, and thus to its benefit later on did not significantly suffer from the 1906 Earthquake and Fire. By 1893, the subject parcel became the site of San Francisco Gas Light Company's North Beach Station as discussed in the previous historic context. Located on the parcel was the complex's brick administration building, Landmark No. 58, originally used as an office with a large room for two meters and an apartment for the plant manager on the second floor. Landmark No. 58 remained as such until 1906, whereupon PG&E used it as record storage for the remainder of their ownership (**Figure 44**).



**Figure 44: 1951 photograph of Landmark No. 58, then known as the PG&E administration building. Source: *A Place of Light and Power* (page 18); PG&E.**

In regards to the future garden house (also called garden cottage; garden shop; Greenhouse) at 3620 Buchanan Street, the 1893 and 1899 Sanborn maps show a one-story hose cart shed and a one-story horse shed at the site of the subject building. These sheds were removed by 1913 and the area remained vacant for 45 years. In regards to the future garden, it appears as though landscaping was an early component to the property, prior to Merryvale Antiques. The 1899 Sanborn map labels the grounds surrounding Landmark No. 58 as "Lawn & Garden." The Abbreviated HSR, however, disputes the landmark designation's claim: "The handsomely-landscaped and spacious areas between the buildings in the original complex were ideal for refugees following the 1906 Earthquake and Fire as photographs of the period show."<sup>16</sup> The Abbreviated HSR states, "A search of the local photographic archives has failed to turn up any evidence of this report. In fact, the opposite appears to be true based upon photos that show considerable devastation surrounding the building."<sup>17</sup>

<sup>16</sup> Landmarks Preservation Advisory Board, "Merryvale Antiques (Formerly San Francisco Gas Light Company)."

<sup>17</sup> McGrew, "The San Francisco Gas Light Company: Abbreviated Historic Structure Report," 4.

### Commercial Use (1958-present)

*A Place of Light and Power* continues beyond the history of the San Francisco Gas Light Company and North Beach Station with additional narrative of the site's development, and is thus excerpted throughout this section.

Changing taste posed perhaps the greatest threat to the building's [Landmark No. 58] survival in the first half of the twentieth century. During that time, Victorian-era structures such as the administration building fell so far out of fashion that many regarded their demolition as acts of civic beautification. Herb Caen described the building as "that gorgeously hideous old reel brick gas house on Buchanan Street" when he informed his readers on June 2, 1958 that Dent and Margaret Macdonough had purchased it from PG&E for \$100,000. The couple intended to convert it into a high-end antique store and "brickabrakery", Caen said.

The Macdonoughs figured large in the Bay Area's *ancien regime*, for Dent Macdonough was the great nephew of Silver King William O'Brien, one of James Fair's partners in the Big Bonanza. As one of the city's leading coal merchants, his grandfather Joseph may well have supplied the North Beach Station with the anthracite it used to make gas.

The sensitive restoration and adaptation of the building, as well as the design of the garden house, is often attributed to the prestigious architectural firm of Wurster, Bernardi, and Emmons and the garden itself to Thomas Church. WB&E had done other work for the Macdonoughs and designed the showcase Marina Safeway at about the same time, but office records show that the collaboration was stillborn when a freshly poured concrete floor cracked and pulled away from the walls. Angered by what they considered shoddy workmanship, the Macdonoughs terminated the work and hired architect Clifford Conly to complete the project, including the design of a wooden garden house [subject building at 3620 Buchanan Street] for which they had earlier received an estimate from WB & E. Jean Wolff executed the garden.

The Macdonoughs called their new business Merryvale, a name by which the building is still known to many San Franciscans. It became famous for the many charitable and social events hosted by the Macdonoughs until Dent's death in 1974. In that year, the city officially designated the structure Landmark Number 58.<sup>18</sup>

Not mentioned in *A Place of Light and Power*, are the iron gates and fence surrounding Landmark No. 58 that had been salvaged from the San Francisco Public Library and installed as a part of the 1958 renovation (**Figure 45**).<sup>19</sup> The six-foot tall brick walls around the garden were also installed in 1958, and are visible in the 1990 Sanborn map. Also during the 1958 renovation, Landmark No. 58's structure was stabilized by GFDS Engineers.<sup>20</sup>

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<sup>18</sup> Brechin, *A Place of Light and Power*, 20-21.

<sup>19</sup> McGrew, "The San Francisco Gas Light Company: Abbreviated Historic Structure Report," 5.

<sup>20</sup> *Ibid.*, 2.



**Figure 45: 1969 photograph of Landmark No. 58, then known as Merryvale Antiques. Source: San Francisco Public Library Historical Photograph Collection (AAC-4810).**

Clifford Conly designed the garden house in 1958 for Merryvale Antiques to display and sell garden decorations and plants as the main building, Landmark No. 58, was already filled with art and antiques.<sup>21</sup> The 1973 landmark designation explains, “the owners added an equally impressive garden shop to the south which is directly accessible from the main building.”<sup>22</sup> The garden executed by Jean Wolff in 1958 improved the bland landscape seen in the 1938 aerial photograph. In an interview, Wolff explains the assistance Conly, not Thomas Church, gave with the garden design:

But the nice break that I had was that the architect Clifford Conally [Conly] was asked at that time to build the garden house. As I'd been doing some work for Clifford previously, he was very helpful in laying out the garden and giving me ideas and stiffening my spine, at a time when I felt very insecure. He built the charming little garden house, where I was, and he planned all the beds, and all the irregularities in the garden which made lovely little display areas. It was most conducive to the arranging of plants and accessories.<sup>23</sup>

Wolff proceeded to work at Merryvale Antiques for the next 13 years where she managed the garden and nursery. The Macdonoughs gave Wolff full rein and by the end of her time there, she had a fulltime gardener, a fulltime delivery boy for the shop and the nursery, and four women who helped her. Wolff taught herself the topiary style, and thus the garden offered a “great feature of topiary.”<sup>24</sup>

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<sup>21</sup> “The Greenhouse,” Tusker Corporation, accessed May 6, 2016, <http://www.tuskercorp.com/thegreenhouse>.

<sup>22</sup> Landmarks Preservation Advisory Board, “Merryvale Antiques (Formerly San Francisco Gas Light Company).”

<sup>23</sup> Jean Wolff interview conducted by Suzanne B. Riess, “Merryvale,” *Thomas D. Church, Landscape Architect, Volume I*, Regional Oral History Office, The Bancroft Library (Berkeley: University of California, 1975-1978) 260.

<sup>24</sup> Jean Wolff interview, “Merryvale,” *Thomas D. Church, Landscape Architect, Volume I*, 259-260.

By the early 1960s, Merryvale Antiques had become an institution in the Bay Area, known for its location in Landmark No. 58, its “elegant display” of antiques, and its role in high society events, including house tours, fundraisers, interior decorating exhibitions, garden parties, receptions, and an assortment of social functions.<sup>25</sup> The garden was also used as the host setting for a reception honoring the French Ambassador to the U.S., who visited San Francisco in 1966.<sup>26</sup>

Merryvale Antiques continued to operate at the property until 1980, when it was sold to the Pacific Union Land Company. *A Place of Light and Power* resumes:

Margaret Macdonough sold [though not directly because she died in December 1979] the building to the three founders of the Pacific Union Realty Company in 1983 [1980] for over two million dollars. As an aggressive new entry into the San Francisco real estate community, Pacific Union sought a strong identity in the city and found it in the picturesque old building. Bill Harlan, Peter Stocker, and John Montgomery took a great liking to Merryvale, converting the large room in the rear from an open display area to office space for real estate brokers, while reserving the front of the building for offices for the company's senior executives. They made the building an integral part of all their marketing efforts, using its distinctive profile as their corporate logo and decorating it with ribbons and lights during the Christmas season.<sup>27</sup>

The garden house was renovated for offices in the 1980s under the ownership of Pacific Union.<sup>28</sup> Possibly because of these alterations, the 1998 Abbreviated HSR disagrees with the 1973 landmark designation’s positive judgement of the garden house and found, “this small structure has undergone several alterations, and does not recall earlier historic structures.”<sup>29</sup>

*A Place of Light and Power* resumes:

It [Landmark No. 58] remained an essential part of the Pacific Union corporate image and life into the early 1990s when a series of events changed the company's commitment to the structure. Peter Stocker was tragically killed in a helicopter crash, and Bill Harlan found himself spending more time at his Napa Valley winery and the company-owned Meadowood Resort. In addition, as the South of Market neighborhood became hot property in the 1990s, the Marina District seemed out of the way for an aggressive real estate company. As the gas company had once moved west to serve a growing district, Pacific Union decided to move east a century later for much the same reason. The two partners and Peter Stocker's widow reluctantly put their signature building on the market in the late 1990s.

From his office across Buchanan Street, Roger Walther, a real estate developer himself, had long admired the Gas Light building. A long-time friend of the Pacific Union principals, Walther was one of the first to learn when the building came on the market. After a brief period of negotiation, he purchased it in March, 1998. When John Montgomery handed the building over to his friend, he said, "Our stewardship has lasted fifteen years and we pass this treasured historic symbol of old San Francisco on to you for your stewardship."

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<sup>25</sup> “Behind the Shop Counter,” *San Francisco Chronicle* (July 31, 1960) 4S.

<sup>26</sup> “The Chatter Box: Diplomatic Visit from the French,” *San Francisco Chronicle* (August 29, 1966).

<sup>27</sup> Brechin, *A Place of Light and Power*, 21-24.

<sup>28</sup> “The Greenhouse,” Tusker Corporation, accessed May 6, 2016, <http://www.tuskercorp.com/thegreenhouse>.

<sup>29</sup> McGrew, “The San Francisco Gas Light Company: Abbreviated Historic Structure Report,” 5.

Mr. Walther took his responsibility seriously, committing his Tusker Corporation to bringing the building up to seismic and disability codes, while fully restoring it to the prominence and quality with which it was built. The seismic bracing of the building's interior required the addition of a second floor in the rear room which once housed the meters. In addition, the building's roof was carefully strapped to the brick walls with steel, and each floor was further secured by driving eighteen-inch bolts directly into the walls and securing them with epoxy. Every window was removed and the original glass saved while wood frames were strengthened with epoxy resins. The garden [patio garden] was renovated to complement the building's architecture by using brick paving and mature planting. A full-service kitchen and catering facilities will permit the kind of community events for which the Macdonoughs once made Merryvale famous.

Unlike J.B. Crockett, Roger Walther is quite happy to give credit to all those who assisted him in this exemplary restoration. Architects Sady Hayashida and Patrick McGrew collaborated on the project. Author of a book on San Francisco's landmarks and former president of the Landmark Advisory Board, McGrew worked closely with Mr. Walther on the historic details of the building. Walther chose as his general contractor Stephen Plath, a board member of the Foundation for San Francisco's Architectural Heritage who specializes in historic restoration and adaptive reuse. Magrane Associates had the responsibility for landscape design and used Frank & Grossman to do the brickwork, planting, and full execution of their garden plans.

By the time the landmark restoration was completed in October, 2000, the office building of the San Francisco Gas Light Company had stood on the same site for 107 years. Once the headquarters for what J. B. Crockett boasted was the world's most modern gas plant, the brick structure is now fully equipped with twenty-first century electronic technology, while at the same time preserving the craftsmanship of the nineteenth century. It is Roger Walther's hope that as it once served San Franciscans of the past, helping to grow the city around it, the building will serve those of the present and be a place of gathering, discussion, and community service.<sup>30</sup>

As mentioned in *A Place of Light and Power*, in 2000, Landmark No. 58 underwent extensive rehabilitation and renovation, as did the garden, though the garden house does not appear to have been as significantly modified during this time. Written before the work, the 1998 Abbreviated HSR describes the landscaping as “elaborate formal gardens,” which may have changed further from Wolff's garden.<sup>31</sup> However, Peter Scott of Tusker Corporation recalled that when they purchased the site in 1998, the “previous garden had very little hard-scape or infrastructure” including “a few scraggly little trees and some bushes. It was more like a vacant lot.”<sup>32</sup> The thorough renovation of the garden spaces throughout the property in 2000 involved expanding the brick walls to connect the garden to Landmark No. 58 and installing the brick paving, new plantings, and new circulation patterns (**Figure 46**). This surely changed what remained of Wolff's garden.

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<sup>30</sup> Brechin, *A Place of Light and Power*, 21-25.

<sup>31</sup> McGrew, “The San Francisco Gas Light Company: Abbreviated Historic Structure Report,” 5.

<sup>32</sup> Peter Scott, email to Maggie Smith, May 17, 2016.

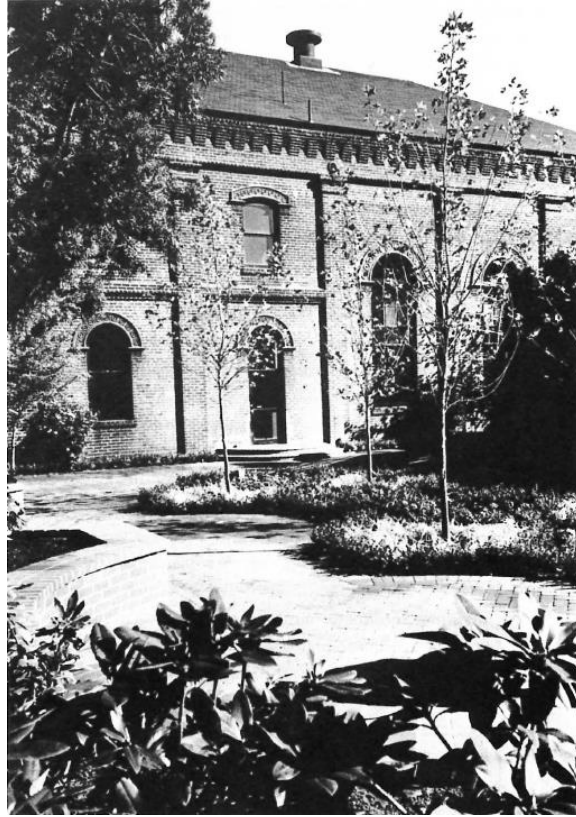


Figure 46: ca. 2000 photograph of patio garden after the 2000 renovation.  
Source: *A Place of Light and Power* (page 26); Anne Lawrence.

Currently, Tusker Corporation occupies the west portion of Landmark No. 58. PG&E has returned to the building, leasing the east portion along with Paragon Real Estate Group. Their entrance is at 1593 (1595) North Point Street.<sup>33</sup> 3620 Buchanan Street is occupied by a small interior and furniture design firm. The patio garden is a shared space, used for charitable and social events.<sup>34</sup>

### 3620 BUCHANAN STREET ARCHITECT / LANDSCAPE ARCHITECT

#### Clifford Conly, Jr., Architect

Clifford Conly, Jr. was born in 1913 “of a well-to-do San Francisco family.”<sup>35</sup> He went to the University of California, Berkeley, and apprenticed in the office of Farr and Ward. Conly designed the interior of the Town and Country Club, which led to a successful career in residential and landscape design. His residential projects include 1059 Vallejo Street for Barbara McAndrews (1954) and 1715 Taylor Street for Phyllis and Bruce Dohrman (1957).<sup>36</sup> Conly converted a reportedly nondescript building from the Victorian period into an “unusual modern dwelling” for Mrs. Vernon Smith – Wild on Telegraph Hill.<sup>37</sup> He also restored and furnished the interior of the Lyford House, “the oldest Victorian in Marin County.”<sup>38</sup> Conly appears to be best known for his association with

<sup>33</sup> “The Gas Light Building,” Tusker Corporation, accessed May 6, 2016, <http://www.tuskercorp.com/thegaslightbuilding>.

<sup>34</sup> Brechin, *A Place of Light and Power*, 26.

<sup>35</sup> McGrew, “The San Francisco Gas Light Company: Abbreviated Historic Structure Report,” 6.

<sup>36</sup> Ibid.

<sup>37</sup> Elise Mannel, “How Tour Will Cover Nearly 100 Years of San Francisco Architecture,” *San Francisco Chronicle*, April 3, 1949, page 3L.

<sup>38</sup> Margot Patterson Doss, “The Richardson Bay Sanctuary,” *S.F. Sunday Examiner & Chronicle, Sunday Punch*, April 2, 1978, page 6.

Cypress Grove, having bought the dilapidated property in 1952 and restored the cottages, as well as added a greenhouse and gardens. In 1970, he promised the property to Audubon Canyon Ranch, which made Cypress Grove a wildlife preserve and research center.<sup>39</sup> In 2002, Conly passed away at his home in Sonoma.<sup>40</sup>

### Jean Wolff

Jean Wolff (Mrs. George Wolff) was born in 1898 as Jean Ward. She was married to George Wolff, Sr. and had two sons by 1930. She was a “much-admired gardening teacher, whose own Telegraph Hill garden was designed by Thomas Church in 1951, whom she credits with ‘reawakening her interest in urban gardens.’”<sup>41</sup> She and Church were friends early in his career and she occasionally helped him with his work, though she was never professionally trained as a landscape architect. Wolff was in charge of the nursery and garden house shop at Merryvale Antiques for 13 years.<sup>42</sup> In Wolff’s later years, she worked as a garden consultant and traveled.<sup>43</sup>

## CONSTRUCTION CHRONOLOGY

The following provides a timeline of construction activity at the subject building at 3620 Buchanan Street as well as the landscaping. This timeline is based on building permit applications on file with the San Francisco Department of Building Inspection (see Appendix). Permits with a status of “Expired” were not included.

Date Filed	Permit App. #	Owner	Architect/ Builder	Scope of Alterations
10/23/1958	194622	Dent W. Macdonough	Clifford Conly, Jr.	(Addressed as 3640 Buchanan Street) Footing to extend 12" above natural ground. Siding not to extend below top of footing. Vertical siding to be over 1" solid sheathing or horizontal blocking at 16" ctr

There are additional modifications to 3620 Buchanan Street not mentioned in the building permit applications. As mentioned in Site Development, interior office renovations were completed to the subject building in the 1980s, and not included in the permit history. Alterations likely included the bathroom addition to the middle bay of the primary (south) façade.

Permit applications did not appear to mention the conversion of the site from industrial to commercial during the 1958 renovations. As mentioned in Site Development, the patio garden was completed in 1958 and renovated again in 2000, though permits are not listed for this work and there were likely modifications in between that period. The 2000 garden makeover involved extending the brick wall and installing the brick paving, new plantings, and new circulation patterns.

<sup>39</sup> Jim Doyle, “FOR THE BIRDS - Researcher John Kelly keeps an eye on herons, egrets on Tomales Bay preserve,” *The San Francisco Chronicle* (January 17, 2003) 1.

<sup>40</sup> “Conly, Clifford, Jr.,” *San Francisco Chronicle* (February 2, 2002) accessed April 30, 2016, <http://www.sfgate.com/news/article/CONLY-Clifford-Jr-2878960.php>.

<sup>41</sup> McGrew, “The San Francisco Gas Light Company: Abbreviated Historic Structure Report.”

<sup>42</sup> Jean Wolff interview, *Thomas D. Church, Landscape Architect, Volume I*, page 251.

<sup>43</sup> Virginia Westover, “Social Scene,” *San Francisco Chronicle* (March 15, 1972) 21.



## OWNERSHIP AND OCCUPANT HISTORY

The following table provides a summary of the ownership history of 3620 Buchanan Street, compiled from historic contexts, sales records held at the San Francisco Assessor-Recorder’s Office, and building permits.

Dates	Owner(s) / Occupant(s)
1884-1905 <sup>44</sup>	San Francisco Gas Light Company; San Francisco Gas and Electric Company
1905-1958 <sup>45</sup>	Pacific Gas & Electric Company (PG&E)
1958-1980 <sup>46</sup>	Margaret & Dent Macdonough (Merryvale Antiques)
1980-1998 <sup>47</sup>	Pacific Union Land Company
1998-Present <sup>48</sup>	Roger Walther / Tusker Corporation (PG&E and Paragon Real Estate Group also currently occupy Landmark No. 58)

### Select Owner and Occupant Biographies

The following biographies have been researched for longer-term owners and occupants.

*Mr. & Mrs. Dent W. Macdonough*<sup>49</sup> | Owner: 1958-1980

Dent W. Macdonough was born on February 23, 1896 in New York. His father, Joseph Macdonough came to California during the Gold Rush and established an extensive fortune and presence in the Bay Area. The family transferred their business operations to New York, but continued to own property on both coasts and often spent different times of the year on alternating sides of the country. Dent married his first wife, Sarah Worthy and moved to the Macdonough family ranch, Ormondale, near Woodside, California where they had two daughters.<sup>50</sup> The marriage ultimately ended in divorce and Dent remarried in 1941 to Margaret Allen Bailie, who was born in San Bernardino in June 1902.

Utilizing one of the houses on the Ormondale Ranch, Margaret began operating an antique store and craft shop, which she named “Merryvale” and was able to stock with quality items the couple was able to access through the family’s East Coast connections.<sup>51</sup> In 1958, the Macdonoughs bought the former Gas Light Company property on Buchanan Street with the intention of restoring and reusing the property as a new and more accessible location for Merryvale. The Macdonoughs opened the Merryvale Antique store in the 1893 brick building that same year. During that time, they hired Jean Wolff to remodel the gardens on the property, as well as work in the garden department.<sup>52</sup> The Macdonoughs continued to own and operate Merryvale until their deaths, Dent in June 1974 and Margaret in December 1979.<sup>53</sup>

<sup>44</sup> Landmarks Preservation Advisory Board, “Merryvale Antiques (Formerly San Francisco Gas Light Company).”

<sup>45</sup> Ibid.; building permit.

<sup>46</sup> Sales records; building permits.

<sup>47</sup> Sales records; building permits; “History,” Pacific Union Land Company, accessed May 5, 2016, <http://pulc.com/who-we-are/history.php>.

<sup>48</sup> Sales records; building permits; historic contexts.

<sup>49</sup> Ancestry.com, accessed May 10, 2016, <http://person.ancestry.com/tree/25686948/person/26214014495/facts>.

<sup>50</sup> California Voter Registrations, 1934-1936.

<sup>51</sup> Jean Fay Webster, “Peninsula Diary – Ormondale Ranch and The Macdonough Clan,” *San Francisco Chronicle* (October 18, 1953) 4P.

<sup>52</sup> “Behind the Shop Counter,” *San Francisco Chronicle*.

<sup>53</sup> California, Death Index, 1940-1997.

*Merryvale Antiques | Occupant: 1958-1980*

Merryvale Antiques occupied Landmark No. 58 and 3620 Buchanan Street between 1958 until 1980. It was founded in 1950 by Mrs. Margaret Macdonough, who quickly established the store as a premier retailer that specialized in 17<sup>th</sup> and 18<sup>th</sup> century English and French antiques and decorative arts. The first location occupied by Merryvale Antiques was in a remodeled house on the Macdonough family's Ormondale Ranch property in Woodside, located near Stanford University at 3249 Alpine Road.<sup>54</sup> Merryvale Antiques was known for its "choice plants" from its "distinctive nursery" and also known for its "lovely garden setting" where many afternoon teas and social functions were held. However, this semi-rural setting proved too isolated for business.<sup>55</sup> In 1958, the Macdonoughs purchased 3620 Buchanan Street in the Marina District of San Francisco to serve as their new store and, through the assistance of their garden specialist, Jean Wolff, began transforming the former PG&E property into a garden space.<sup>56</sup> Merryvale Antiques continued to operate at the property until 1980, when it was sold to the Pacific Union Land Company.

*Pacific Union Land Company | Owner & Occupant: 1980-1998*

The Pacific Union Land Company is a real estate sales and marketing company that was founded in 1975. Focusing initially on condominium properties, the company grew substantially over the following years with major projects throughout the Bay Area.<sup>57</sup> It has a family of companies, including real estate investors, developers, builders, and operators.<sup>58</sup> The company sought to establish a stronger presence in San Francisco and purchased Landmark No. 58 from the Macdonoughs as their new corporate headquarters. They continued to occupy and utilize the building as a corporate icon through the 1990s; however, the real estate landscape was shifting away from the Marina District towards South of Market. Following the development trends, Pacific Union put their signature property on the Market, which was sold in 1998 to Tusker Corporation.<sup>59</sup>

*Roger Walther / Tusker Corporation | Owner & Occupant: 1998-Present*

Tusker Corporation is a prominent property management company that was founded in Greenwich, Connecticut in 1968. In the 1990s, the company sold off its properties on the East Coast and relocated to San Francisco to focus on the Bay Area.<sup>60</sup> Roger Walther, the CEO of the company, was acquainted with the principals of the Pacific Union Land Company and, upon learning of them selling Landmark No. 58, purchased the property.<sup>61</sup> Tusker Corporation began an extensive rehabilitation of the property that involved seismic and accessibility upgrades, as well as the restoration of the façade. The garden and greenhouse courtyard were also re-landscaped in 2000, which coincided with the completion of the rehabilitation of Landmark No. 58. Tusker Corporation continues to own and occupy the building, while serving as stewards of this landmark property.

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<sup>54</sup> Jean Fay Webster, "Peninsula Diary – Ormondale Ranch and The Macdonough Clan."

<sup>55</sup> "Merryvale Antiques" advertisement, *San Francisco Chronicle* (July 17, 1955) 8S.

<sup>56</sup> Ibid.

<sup>57</sup> "History," Pacific Union Land Company, accessed May 12, 2016, <http://pulc.com/who-we-are/history.php>.

<sup>58</sup> "Home," Pacific Union Land Company, accessed May 12, 2016, <http://pulc.com/>.

<sup>59</sup> Ibid.

<sup>60</sup> "Home," Tusker Corporation, accessed May 5, 2016, <http://www.tuskercorp.com/>.

<sup>61</sup> Brechin, *A Place of Light and Power*, 24-25

## VI. EVALUATION

### CALIFORNIA REGISTER OF HISTORICAL RESOURCES

The California Register of Historical Resources (California Register) is an inventory of significant architectural, archaeological, and historical resources in the State of California. Resources can be listed in the California Register through a number of methods. State Historical Landmarks and National Register-listed properties are automatically listed in the California Register. Properties can also be nominated to the California Register by local governments, private organizations, or citizens. The evaluative criteria used by the California Register for determining eligibility are closely based on those developed by the National Park Service for the National Register of Historic Places.

In order for a property to be eligible for listing in the California Register, it must be found significant under one or more of the following criteria.

- *Criterion 1 (Events)*: Resources that are associated with events that have made a significant contribution to the broad patterns of local or regional history, or the cultural heritage of California or the United States.
- *Criterion 2 (Persons)*: Resources that are associated with the lives of persons important to local, California, or national history.
- *Criterion 3 (Architecture)*: Resources that embody the distinctive characteristics of a type, period, region, or method of construction, or represent the work of a master, or possess high artistic values.
- *Criterion 4 (Information Potential)*: Resources or sites that have yielded or have the potential to yield information important to the prehistory or history of the local area, California, or the nation.

The following section examines the eligibility of 3620 Buchanan Street for listing in the California Register, including any association with Landmark No. 58 and its setting:

#### Criterion 1 (Events)

3620 Buchanan Street is not significant under Criterion 1 (Events) as a property that is individually associated with events that have made a significant contribution to the broad patterns of local or regional history, or the cultural heritage of California or the United States. The subject building was constructed in 1958 as a garden house and workshop to supplement Merryvale Antiques, a well-known art and antique store that had relocated from Menlo Park. The adjacent patio garden was also designed in 1958, though it was later renovated in 2000. Unlike Landmark No. 58, the subject building and its adjacent garden are not associated with the development of the San Francisco Gas Light Company or its North Beach Station. Merryvale Antiques, while a popular store and venue during its time occupying the property, did not majorly influence the Bay Area. The subject building also does not appear noteworthy or significant within the Marina neighborhood context. Therefore, 3620 Buchanan Street does not appear to be individually eligible for listing under Criterion 1, nor is it strongly associated with Landmark No. 58.

#### Criterion 2 (Persons)

3620 Buchanan Street is not individually significant under Criterion 2 (Persons) for an association with the lives of persons important to local, state, or national history. The subject building was initially used as a garden house and workshop, and then converted into offices. None of the various owners or occupants of the subject building had a large impact on San Francisco, California, or

United States history to the extent that the subject building, and/or garden, would be considered individually eligible for listing in the California Register under Criterion 2.

### Criterion 3 (Architecture)

3620 Buchanan Street does not appear to be individually eligible for listing in the California Register under Criterion 3 (Architecture). The subject building is an altered, vernacular mixture of the Ranch and Neo-French architectural styles. Though the hipped roof alludes to and the low height is respectful of Landmark No. 58, the subject building is not a particularly noteworthy or remarkable design. Similarly, the original 1958 design of the garden does not appear to have been published or recognized as a significant landscape, and it has since been altered by the 2000 renovation.

To reaffirm, the subject building and garden were not designed by Wurster, Bernardi & Emmons and Thomas Church respectively. The subject building's architect, Clifford Conly, completed various residential and commercial buildings and renovations throughout the Bay Area, but does not appear to be a master architect. He is better known for his association with Cypress Grove and Audubon Canyon Ranch. The garden was initially executed by Jean Wolff, a gardener and teacher known for occasionally assisting Thomas Church. However, she did not have professional training, and is not a master landscape architect. Further, the garden was renovated in 2000 by Magrane Associates and Frank & Grossman. Not enough time has passed to determine the master landscape architect status of those employed on the project and the design has not been recognized as possessing high artistic value.

While the subject building and the garden as renovated in 2000 are compatible with Landmark No. 58, they replaced the earlier lawn and garden landscaping associated with Landmark No. 58's original construction. They have not gain significance in their own right and are not integral to Landmark No. 58's design. Conclusively, 3620 Buchanan Street and the adjacent garden do not appear to be individually eligible for listing under Criterion 3, nor are their designs strongly associated with Landmark No. 58.

### Criterion 4 (Information Potential)

Evaluation of 3620 Buchanan Street under Criterion 4 (Information Potential) is beyond the scope of this report. This criterion is generally applied to sites that may provide archeological information.

## INTEGRITY

In order to qualify for listing in any local, state, or national historic register, a property or landscape must possess significance under at least one evaluative criterion as described above and retain integrity. Integrity is defined by the California Office of Historic Preservation as “the authenticity of an historical resource’s physical identity by the survival of certain characteristics that existing during the resource’s period of significance,” or more simply defined as “the ability of a property to convey its significance.”<sup>62</sup>

In order to evaluate whether 3620 Buchanan Street retains sufficient integrity to convey its historic significance, Page & Turnbull used established integrity standards outlined by the National Register Bulletin: “How to Apply the National Register Criteria for Evaluation.” Seven variables, or aspects, that define integrity are used to evaluate a resource’s integrity—location, design, setting, materials, workmanship, feeling and association. A property must stand up under most or all of these aspects in order to retain overall integrity. If a property does not retain integrity, it can no longer convey its significance and is therefore not eligible for listing in local, state, or national registers.

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<sup>62</sup> California Office of Historic Preservation, “Technical Assistance Series No. 7: How to Nominate a Resource to the California Register of Historical Resources” (Sacramento: California Office of State Publishing, 4 September 2001) 11.

The seven aspects that define integrity are defined as follows:

Location is the place where the historic property was constructed.

Design is the combination of elements that create the form, plans, space, structure and style of the property.

Setting addresses the physical environment of the historic property inclusive of the landscape and spatial relationships of the building(s).

Materials refer to the physical elements that were combined or deposited during a particular period of time and in a particular pattern of configuration to form the historic property.

Workmanship is the physical evidence of the crafts of a particular culture or people during any given period in history.

Feeling is the property's expression of the aesthetic or historic sense of a particular period of time.

Association is the direct link between an important historic event or person and a historic property.

#### Location

3620 Buchanan Street retains integrity of location because the building and the adjacent garden do not appear to have been moved and are still situated on the original lot along the west side of Buchanan Street.

#### Design

3620 Buchanan Street retains integrity of design despite the renovations to the subject building converting it from a garden house to an office. The bathroom addition to the middle bay of the primary façade is the only visual detraction from what appears to be the original design and is not significant enough to affect negatively the building. The lattice on the north façade may have also been added, but is not a permanent fixture and is consistent with the garden aesthetic.

The patio garden does not appear to retain integrity due to its 2000 renovation, which installed the dominate brick paving.

#### Setting

3620 Buchanan Street retains integrity of setting. While area no longer looks like the remnants of an old industrial complex with a gasholder tank, gas stations on block corners, and open swaths of land from 1958, the building, garden, and surrounding Marina neighborhood have remained on flat terrain and have maintained the spatial relationships between the buildings and streets from the period of construction. Further, the building and garden are still tucked away amongst a mixed-use neighborhood.

#### Materials

3620 Buchanan Street retains integrity of materials. Though there were renovations to the subject building converting it from a garden house to an office, the what seem to be original cladding, windows, and doors remain.

The garden does not retain integrity of materials because of its 2000 renovation.

#### Workmanship

3620 Buchanan Street retains integrity of workmanship. The physical evidence of the craft and technology used in constructing the subject building are still evident because there have been few exterior alterations.

The garden does not retain integrity of workmanship because of its 2000 renovation.

#### Feeling

3620 Buchanan Street retains integrity of feeling. Despite further development of the surrounding area after the subject building and garden were constructed in 1958 and although the building was converted for re-use as an office, the building still feels like a garden house associated with a garden. The garden still feels very much like a garden.

#### Association

3620 Buchanan Street retains integrity of association. Though the subject building is no longer used as a garden house or workshop, and the building and garden are no longer associated with Merryvale Antiques, they are still associated with the commercial use of Landmark No. 58. The subject building is still visually connected to the adjacent garden. Further, the garden is still used as such, including as a gathering space for events.

Overall, although 3620 Buchanan Street does not meet any criteria for California Register listing, it does retain integrity. The garden, which also does not meet criteria for historic listing, was renovated in 2000 and does not retain integrity of its original design, materials, or workmanship.

### LANDMARK NO. 58 CHARACTER-DEFINING FEATURES

The character-defining features of Landmark No. 58 located at 3636 Buchanan Street include:<sup>63</sup>

- Red brick construction
- Rectangular form of two stories and an attic
- Queen Anne corner tower with conical roof (taller than the main roof)
- Hipped main roof, without projecting eaves, resting on a corbelled cornice
  - Brick chimney
- Fenestration
  - Reflects the interior division of the building into two elements
    1. The front, or westerly, one-third possessing windows indicating two floors with a heavy string course of brickwork at the upper floor level
    2. The back, or easterly, remaining two-thirds of the building, containing tall windows divided into panes with fanlights above, whose sill line is uniform with those on the lower floor at the front, but whose tops extend upward about three-quarters of the total wall height
  - Decorative, arched terra-cotta lintels divided into sections containing a paterna
- Centered, arched main entrance resting on short brick pilasters framing a recessed doorway
  - Arch contains raised letters of the name of the original occupant of the building: S.F. GAS LIGHT Co”

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<sup>63</sup> Based on the architectural description provided by the Landmarks Preservation Advisory Board in the “Merryvale Antiques (Formerly San Francisco Gas Light Company)” Landmark No. 58 designation.

- Two story opening at the rear (east) façade with flat decorative terra-cotta lintel similar to those above the windows
- Two-story brick pilasters
- Open space surrounding the building, allowing the building to maintain dominance of the corner without being overshadowed by neighbors on either side

## **VII. CONCLUSION**

Although compatible in scale with Landmark No. 58, 3620 Buchanan Street is not integral to the significance of the landmarked building, nor does it appear to qualify for listing in the California Register of Historical Resources as an individual resource. The building was designed in 1958 by Clifford Conly as a garden house and workshop for Merryvale Antiques, a business that occupied Landmark No. 58 after PG&E. Jean Wolff executed the adjacent garden also during that time, though the garden was fully renovated in 2000 and does not retain integrity from its original 1958 design. The designation of Landmark No. 58 emphasized the history and architecture of what once was the administration building for San Francisco Gas Light Company's North Beach Station.<sup>64</sup> Landmark No. 58 was not designated for its association with Merryvale Antiques, despite it being referenced as such. 3620 Buchanan Street may be relevant to Merryvale Antiques, but it is not historically or architecturally significant for an association with Landmark No. 58 and its setting.

The subject building and garden at 3620 Buchanan Street does not appear to be individually significant for association with events that have made a significant contribution to the broad patterns of local or regional history, or the cultural heritage of California or the United States. It does not appear to be individually significant for an association with the lives of persons important to local, state, or national history. The building is a vernacular garden house with French decorative elements. It is unremarkable and the garden is not the original design. Clifford Conly is not a master architect and Jean Wolff is not a master landscape architect. The subject building and garden are therefore not individually significant for architecture. Therefore, 3620 Buchanan Street does not meet the criteria for individual listing in the California Register.

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<sup>64</sup> Landmarks Preservation Advisory Board, "Merryvale Antiques (Formerly San Francisco Gas Light Company)."



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- Ryker, Harrison. "San Francisco Aerial Views." David Rumsey Historical Map Collection. 1938.

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San Francisco City Directories.  
San Francisco Property Information Map.  
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San Francisco Public Library: San Francisco History Center.  
San Francisco Public Library Vertical Files: "SF Districts: Marina."  
United States Federal Census. [www.Ancestry.com](http://www.Ancestry.com).

## **NEWSPAPERS AND PERIODICALS**

*Building and Engineering News.*  
*San Francisco Chronicle.*  
*S.F. Sunday Examiner & Chronicle.*

## **INTERNET SOURCES**

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"Mr. & Mrs. Dent W. Macdonough." Ancestry.com. Accessed May 10, 2016. <http://person.ancestry.com/tree/25686948/person/26214014495/facts>.  
"The Gas Light Building." Tusker Corporation. Accessed May 6, 2016. <http://www.tuskercorp.com/thegaslightbuilding>.  
"The Greenhouse." Tusker Corporation. Accessed May 6, 2016. <http://www.tuskercorp.com/thegreenhouse>.

## **IX. APPENDIX**

### **BUILDING PERMIT APPLICATIONS**

Front and back pages of building permit applications currently on file with the San Francisco Department of Building Inspection:

BLDG. FORM No. 2-16-50

APPLICATION OF *Robert W. Macdonough* FOR PERMIT TO ERECT

Story Type 5 STRUCTURE Location *36th St. Buchanan*

Total Cost \$ *14,600.* Filed *October 23* 1958

Approved:

APPROVED

NOV 23 1958

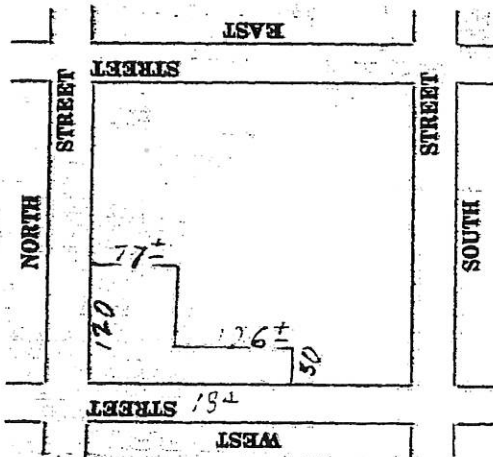
*John P. Board*

Superintendent, Bureau of Building Inspection

Permit No. *194622* Issued *11/6/58*

Certificate of Final Completion

Issued



Lot No.

Assessor's Block No.

GRADE LINES AS SHOWN ON DRAWINGS ACCOMPANYING THIS APPLICATION ARE TO BE CORRECT. IF ACTUAL GRADE LINES ARE NOT THE SAME AS SHOWN REVISED DRAWINGS SHOWING CORRECT GRADE LINES, CUTS AND FILLS TOGETHER WITH COMPLETE DETAILS OF RETAINING WALLS AND WALL FOOTINGS REQUIRED MUST BE SUBMITTED TO THIS BUREAU FOR APPROVAL.

APPROVED BY THE ENGINEER OR SURVEYOR OF THE VARIOUS BUREAUS OR DEPARTMENTS NOTED ON THIS APPLICATION. INDIVIDUALITY SIGNATURE OF THE ENGINEER OR SURVEYOR OF THE BUREAU OF BUILDING INSPECTION.

OWNER'S AUTHORIZED AGENT

*[Signature]*

Approved:

Zone *Avr 100*

CFO Setback

*Edward W. Michael* 27 Oct 58  
Department of City Planning

Approved:

*R. H. Bequette* 11/2/58  
Structural Engineer, Bureau of Building Inspection

Approved:

Director of Public Health

Approved:

*Ho. J. J. ...* 11-4-58  
Bureau of Fire Prevention & Public Safety

Approved: Footing to extend 12" above natural ground. Siding not to extend below top of footing. Vertical siding to be over 1" solid sheathing or horizontal blocking at 16" ctrs. 5907(e) & Oldg Code

APPROVED: ALL INSULATING MATERIALS HAVE A CLEARANCE OF NOT LESS THAN TWO INCHES FROM ALL ELECTRICAL WIRES OR EQUIPMENT.

*[Signature]*  
Electrical Inspector

Approved:

*1/30/58* *Daniel J. Ryan*  
Plan Checker, Bureau of Building Inspection

*[Signature]*  
Art Commission

Write in Ink—File Two Copies

1958 OCT 27 PM 3:01

CITY AND COUNTY OF SAN FRANCISCO BUILDING INSPECTION

DEPARTMENT OF PUBLIC WORKS  
BLDG. FORM

CENTRAL PERMIT BUREAU

2

APPLICATION FOR BUILDING PERMIT  
TYPE 5 BUILDING

BUILDING NOT TO BE OCCUPIED UNTIL CERTIFICATE OF  
FINAL COMPLETION IS POSTED ON THE BUILDING  
FOR NON-HAZARDOUS USE ONLY

October 23 1958

Application is hereby made to the Department of Public Works of the City and County of San Francisco for permission to build in accordance with the plans and specifications submitted herewith and according to the description and for the purpose hereinafter set forth:

(1) Location of Lot Side of 3640 Buchanan Street  
Ft. of Street

(2) Number of stories one (without) basement.

(3) Total cost 14,600.00 Height of building 16' No. of families none

(4) Use of building Garden house, workshop (5) Occupancy? 17-28-19-3  
Building Code Classification

(6) Note: Sect. 105, S.F. Bldg. Code. Change in use. No change in use shall be made in the character of occupancy, or use of any building which would put the building to a different use, unless such building is made to comply with the requirements of this code for that use, and unless the Bureau of Building Inspection and the Bureau of Fire Prevention and Public Safety have been notified before such a change has been made.

(7) Note: Sec. 15155, State Housing Act. Any building or structure not erected for use as an apartment house, hotel, or dwelling, which is converted to or altered for such use, shall conform to all the provisions of this part affecting an apartment house, hotel, or dwelling, as the case may be.

(8) No portion of building or structure or scaffolding used during construction, to be closer than 60" to any wire containing more than 750 volts. See Sec. 385, California Penal Code.

(9) Size of lot, front 184 ft., rear 75 ft., depth of lot 50' (at new bldg) ft.

(10) Ground floor area of building 1500 square ft.

(11) Any other building on lot Yes (Must be shown on Plot Plan if answer is Yes)

(12) Is building designed for any more stories No How many

(13) PLOT PLANS, FLOOR PLANS, DETAILS AND SPECIFICATIONS MUST BE SUBMITTED WITH APPLICATIONS IN DUPLICATE

(14) Supervision of construction by Contractor Address

(15) General contractor H.D. Groe California License No. 76600  
Address 2929 Harrison, San Francisco 10

(16) Architect Clifford Conly Jr. California Certificate No.  
Address 10 Nottingham Place, San Francisco

(17) Engineer California Certificate No.  
Address

(18) I hereby certify and agree that if a permit is issued for the construction described in this application, all the provisions of the permit, and all the laws and ordinances applicable thereto will be complied with. I further agree to save San Francisco and its officials and employees harmless from all costs and damages which may accrue from use or occupancy of the sidewalk, street or sub-sidewalk space or from anything else in connection with the work included in the permit. The foregoing covenant shall be binding upon the owner of said property, the applicant, their heirs, successors and assignees.

(19) Owner Dest W Macdonough

Address 3640 Buchanan Phone No. VA 6-1813  
(For contact by Bureau)

By H.D. Groe Address 2929 Harrison SF 10  
Owner's Authorized Agent to be Owner's Authorized Architect, Engineer or General Contractor.



ARCHITECTURE  
PLANNING & RESEARCH  
PRESERVATION TECHNOLOGY

[www.page-turnbull.com](http://www.page-turnbull.com)

417 S. Hill Street, Suite 211  
Los Angeles, California 90013  
213.221.1200 / 213.221.1209 fax

2401 C Street, Suite B  
Sacramento, California 95816  
916.930.9903 / 916.930.9904 fax

417 Montgomery Street, 8<sup>th</sup> Floor  
San Francisco, CA 94104  
415.362.5154 / 415.362.5560 fax







# Preservation Team Review Form





# SAN FRANCISCO PLANNING DEPARTMENT

## PRESERVATION TEAM REVIEW FORM

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**

<b>Preservation Team Meeting Date:</b>		<b>Date of Form Completion</b>	8/1/2018
--	--	--------------------------------	----------

PROJECT INFORMATION:		
Planner:	Address:	
Stephanie Cisneros	3620 Buchanan Street	
Block/Lot:	Cross Streets:	
0459/003	Bay Street and North Point	
CEQA Category:	Art. 10/11:	BPA/Case No.:
A	Article 10	2016-010079ENV

PURPOSE OF REVIEW:		PROJECT DESCRIPTION:		
<input checked="" type="radio"/> CEQA	<input type="radio"/> Article 10/11	<input type="radio"/> Preliminary/PIC	<input type="radio"/> Alteration	<input checked="" type="radio"/> Demo/New Construction

<b>DATE OF PLANS UNDER REVIEW:</b>	8/5/16; revised 7/31/2018
------------------------------------	---------------------------

PROJECT ISSUES:	
<input checked="" type="checkbox"/>	Is the subject Property an eligible historic resource?
<input type="checkbox"/>	If so, are the proposed changes a significant impact?
Additional Notes:	
<p>The purpose of this review is to establish the historical significance of the 1-story garden house (3620 Buchanan Street) that is located on the landmark site with the Historic Gas Light Building, Landmark No. 58 (3636-40 Buchanan Street). The two buildings share a single L-shaped lot. A Historic Resource Evaluation Part 1 completed by Page &amp; Turnbull (May 20, 2016; revised final July 2018) has been submitted.</p>	

PRESERVATION TEAM REVIEW:			
Category:	<input checked="" type="radio"/> A	<input type="radio"/> B	<input type="radio"/> C
Individual		Historic District/Context	
Property is individually eligible for inclusion in a California Register under one or more of the following Criteria:		Property is in an eligible California Register Historic District/Context under one or more of the following Criteria:	
Criterion 1 - Event:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 1 - Event:	<input checked="" type="radio"/> Yes <input type="radio"/> No
Criterion 2 -Persons:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 2 -Persons:	<input type="radio"/> Yes <input checked="" type="radio"/> No
Criterion 3 - Architecture:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 3 - Architecture:	<input checked="" type="radio"/> Yes <input type="radio"/> No
Criterion 4 - Info. Potential:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 4 - Info. Potential:	<input type="radio"/> Yes <input checked="" type="radio"/> No
Period of Significance:	<input type="text"/>	Period of Significance:	1893-1958
		<input type="radio"/> Contributor <input checked="" type="radio"/> Non-Contributor	

Complies with the Secretary's Standards/Art 10/Art 11:	<input type="radio"/> Yes	<input type="radio"/> No	<input type="radio"/> N/A
CEQA Material Impairment to the individual historic resource:	<input type="radio"/> Yes	<input type="radio"/> No	
CEQA Material Impairment to the historic district:	<input type="radio"/> Yes	<input type="radio"/> No	
Requires Design Revisions:	<input type="radio"/> Yes	<input type="radio"/> No	
Defer to Residential Design Team:	<input type="radio"/> Yes	<input type="radio"/> No	

**PRESERVATION TEAM COMMENTS:**

According to the information presented in the Historic Resource Evaluation (HRE) prepared by Page & Turnbull (July 2018) and information found in the Planning Department files, the subject building at 3620 Buchanan Street is a one-story vernacular garden house with Neo-French and Ranch elements. The garden house is located on the south end of the L-shaped lot occupied by City Landmark No. 58 (Merryvale Antiques/S.F. Gas Light Co. building). The lot also contains a garden between the landmark building and the garden house. The S.F. Gas Light Co. building was constructed ca. 1891 - 1893 and was owned and occupied by the S.F. Gas Light Company (later to become Pacific Gas & Electric) and was one component of the larger industrial complex surrounding the site named the Gas Cove Complex. The subject site became the main component of the S.F. Gas Light Co.'s North Beach Station.

The property was sold to Dent Macdonough and his wife Margaret in 1958. The Macdonoughs undertook an extensive rehabilitation of the property immediately upon ownership, which included restoration and reuse of the 1890s landmark building as a high end antique shop; construction of the garden house designed by Clifford Conly; construction of a garden designed by Jean Wolff (who often assisted with the execution of Thomas Church designs); and installation of the extant six-foot tall brick wall around the garden. The property was again sold in 1980 to the Pacific Union Land Company and again in 1998 to Roger Walther, a real estate developer, who also undertook extensive renovations to the entire site in 2000 as detailed in the HRE.

Staff is in agreement with the findings presented in the HRE regarding 3620 Buchanan Street. The building and garden do not appear to be significant under Criteria 1, 2 or 3 such that they would qualify individually for listing in the California Register. They are not associated with events or people that have made significant contributions to the broad patterns of local or regional history. Merryvale Antiques, who occupied the site from 1958 until 1980, does not appear to have made significant contributions to local, state or regional history. The building and garden are not architecturally distinct such that they would qualify individually for listing in the California Register.

Staff is also in agreement with the findings of the HRE that 3620 Buchanan Street and the adjacent garden are not contributing features of the landmark site. The site is significant for its association with the construction and operation of the S.F. Gas Light Co., the period of which can be defined as 1891-1958. The subject building and garden were constructed after this period.

Signature of a Senior Preservation Planner / Preservation Coordinator:	Date:
	8/21/2018

August 18, 2018 Architectural  
Review Committee Packet and  
Notes





# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

**DATE:** August 15, 2018

**TO:** **Architectural Review Committee (ARC) of the Historic Preservation Commission**

**FROM:** Stephanie Cisneros, Preservation Planner, (415) 575-9186

**REVIEWED BY:** Tim Frye, Historic Preservation Officer, (415) 575-6822

**RE:** Review and Comment for the proposed new construction at 3620 Buchanan Street (City Landmark No. 58)  
Case No. 2016-010079COA

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**

---

## BACKGROUND

The Planning Department (Department) is requesting review and comment before the Architectural Review Committee (ARC) regarding the proposal to demolish an existing one-story garden house currently used as office space and construct a new four-story, eight unit residential building. The existing garden shed structure and new construction will be located on the same parcel as the Merryvale Antiques/San Francisco Gas Light Company (S.F. Gas Light Co.) building designated as City Landmark No. 58 under Article 10, Section 1004 of the Planning Code.

## PROPERTY DESCRIPTION

The Landmark No. 58 property (parcel 0459/003) contains two buildings: the two-story S.F. Gas Light Co. building at the north end of the parcel (3636 Buchanan Street) and a one-story garden house at the southern end of the parcel (3620 Buchanan Street). The two-story brick S.F. Gas Light Co. building was designed in the Richardsonian-Romanesque architectural style by architect Joseph B. Crockett. Constructed 1891-1893, the building was used as the company's administration building. City Landmark No. 58 was designated in 1973 for its association with the development of the S.F. Gas Light Co. and its North Beach Station and as an outstanding example of Richardsonian-Romanesque architecture. The period of significance for Landmark No. 58 is 1893-1958, which is the period of time that the S.F. Gas Light Co. (and later PG&E) owned, occupied and operated out of the property.

### *Historic Context of City Landmark No. 58*

Historically, the S.F. Gas Light Co. was one component of a larger complex known as the Gas House Cove designed by Crockett and comprised of other predominantly brick buildings, an oiler dock, a gasometer, and two storage tanks that collectively came to be known as the gas company's North Beach Station. The surrounding area was also built up around this time to house other industrial plants such as the California Pressed Brick Company, the Pacific Ammonia Chemical Company, and a soap and tallow works. PG&E merged with the S.F. Gas Light Co. in 1905 and retained ownership of the subject property until 1958.

1958

By 1958, the landmarked building that was once the main building of the historically larger complex was the only remaining remnant of the previous industrial use of the area; all other buildings and associated structures had been destroyed during the 1906 Earthquake and fire or demolished to make way for the 1915 Panama Pacific International Exposition. In the mid-1950s, the property was purchased by Mr. and Mrs. Dent W. Macdonough, who began extensive renovations to convert the property into a high-end antique shop. Renovations included a complete restoration and reuse of the extant building as a showroom and offices for the Merryvale Antiques shop, construction of a one-story garden house (completed in 1958) and addition of a garden between the garden house and the S.F. Gas Light Co. building (completed in 1958). The one-story garden house was designed by architect Clifford Conly, Jr. and is a wood-frame structure approximately three bays wide and two bays deep. It is vernacular in nature with minimally applied French ornamentation and underwent alterations in the 1980s. The garden that separates the landmarked building to the north and the garden house to the south was constructed in 1958 and was originally designed by Jean Wolff, a local gardener who often assisted with the construction of Thomas Church commissions. Since construction, the garden has undergone extensive alterations in and possibly before 2000.

#### *1973 Landmark Ordinance*

The 1973 Landmark Ordinance outlines the history and significance of the property associated with the development of the S.F. Gas Light Co. and its North Beach Station. The garden house and adjacent garden were constructed in 1958, as part of a restoration of the S.F. Gas Light Co. building and its conversion to a high-end antiques shop. The garden house and adjacent garden are not considered to be contributing features of the site associated with the landmark's significance. The 1973 Landmark Ordinance does not explicitly identify character-defining features of the site or building but does describe the landmark building in great detail. The character-defining features of Landmark No. 58 (3636 Buchanan Street) are identified as follows:

- Red brick construction
- Rectangular form of 3636 Buchanan Street featuring two stories and an attic
- Corner tower with conical roof (exceeds the height of the main roof)
- Hipped main roof, without projecting eaves, resting on a corbelled cornice
- Brick chimney
- Fenestration at the front (west) one-third that includes windows indicating two floors with a heavy string course of brickwork at the upper floor level
- Fenestration at the rear (east) two-thirds containing tall windows divided into panes with fanlights above, the sill line of which is uniformed with those on the lower floor at the front, and the tops of which extend upward approximately three-quarters of the total wall height
- Decorative terra-cotta lintels divided into sections containing a patera
- Centered arched main entrance resting on short black pilasters framing a recessed doorway
- Two-story opening at the rear (east) façade with flat decorative terra-cotta lintel similar to those above the windows
- Two-story brick pilasters
- Open space surrounding the building, allowing the building to maintain dominance of the corner without being overshadowed by neighbors on either side



## PROJECT DESCRIPTION

The Sponsor proposes to demolish the one-story garden house and a portion of the existing garden and construct a new four-story, 13,279 square foot residential building on the landmark site. The new construction will include eight units, eight bicycle parking spaces, and one accessible vehicle parking space. The portion of the existing garden to remain will be utilized as open space. No interior or exterior changes to the landmark building at 3636 Buchanan Street are proposed.

## OTHER ACTIONS REQUIRED

The proposed project is being brought to the ARC for review and comment prior to review by the HPC of a request for Certificates of Appropriateness pursuant to Article 10 of the Planning Code.

## ENVIRONMENTAL REVIEW

The proposed project is currently undergoing environment review under Case No. 2016-010079ENV.

## PUBLIC/NEIGHBORHOOD INPUT

To date, the Department has received multiple phone calls, emails and written letters in opposition to the proposed project. The main concerns regarding the proposed project were related to loss of views, the possibility of soil contamination, and concern that the garden house and garden adjacent to the landmark building are of individual and/or contributory significance.

## STAFF ANALYSIS

The Department seeks the initial feedback of the ARC regarding the design, materiality and relationship to the setting of the proposed new construction. Additionally, the Department seeks advice of the ARC with regard to compatibility of the project with Article 10 of the Planning Code, the designating Ordinance, and the *Secretary of the Interior's Standards for Rehabilitation* (Secretary's Standards). The project involves proposed changes to a local landmark (Landmark No. 58). For efficiency, the Department is reviewing the proposal under Secretary's Standards unless the designating Ordinance or Appendix to Article 10 includes specific standards. The Department would like the ARC to consider the following information:

### *Secretary of the Interior's Standards for Rehabilitation*

#### *Standard #2*

The historic character of a property will be retained and preserved. The removal of distinctive materials or alterations of features, spaces, and spatial relationships that characterize the property will be avoided.

#### *Standard #9*

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

***Standard #10***

New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

**RECOMMENDATIONS:**

**Secretary of the Interior's Standards:** The proposed project would not destroy or damage any contributing elements of Landmark No. 58. Department staff will undertake a complete analysis of the proposed project per the applicable Standards as part of the environmental review and the subsequent Certificate of Appropriateness. In addition, Department staff will undertake additional analysis of the proposed project per the standards outlined in Article 10 of the Planning Code, specifically to assess the project's conformance to the guidelines for new construction and compatibility with landmark sites.

**Overall Form and Continuity:** The existing landmark site contains a two-story building at the north end presently used as offices and the surrounding context includes two- to four-story, residential and mixed use buildings. The proposed new construction will be a generally rectangular, four-story residential building that is in keeping with the surrounding context. The footprint of the new construction will be smaller than the footprint of the adjacent landmark building and of the new construction occurring immediately to the south. Although a portion of the existing garden will be demolished in order to allow for the new construction, the remaining portion will provide sufficient space to allow the landmark building and its significance to be maintained and read. With regard to visibility of the landmark building, the west elevation of the new construction will be set back from the property line except for a portion that will project out to the property line. This will allow for a stronger visual connection to the landmark building at the pedestrian level. Overall, the Department believes that the form and footprint of the proposed project is compatible with the adjacent landmark site and the surrounding context.

**Recommendation:** None.

**Scale and Proportion:** The new construction will be located at the southern end of the landmark site. The building's overall height will sit below that of the landmark building and below the height of the new construction occurring immediately to the south. The rectangular proportion of the new construction will appear subordinate to the landmark building and is in keeping with the surrounding context.

**Recommendation:** None.

**Fenestration:** The fenestration of the existing landmark building includes punched recessed wood-frame windows with decorative stone arched tops. The proposed fenestration of the new construction will consist of punched openings with recessed, vertically oriented, aluminum frame windows. The windows aligning the portion of the west elevation that projects out to the property line will also include shadow boxes. Generally, the Department believes that the project's overall fenestration is differentiated yet compatible with the adjacent landmark with regard to design, materials, and orientation.

**Recommendation:** None

**Materials:** The landmark building is clad in brick with a heavy stringcourse between the first and second floors. The proposed materials of the new construction will be brick at floors one through three. The horizontal bands between each floor will be composed of sailor course brick veneer oriented vertically, while each of the three floors will be composed of stack bond brick veneer oriented horizontally. The proposed material at the fourth floor will be fiber cement panels.

**Recommendation:** Generally, the Department finds that the proposed materials of the new construction will be compatible with that of the landmark. However, in order to further distinguish the horizontal bands between each floor, the Department recommends that the brick be treated either with a differing texture or projection that draws upon the stringcourse of the landmark building.

**Architectural Details:** The proposed new construction will have no applied architectural details other than at the primary entrance and decorative railings at each proposed balcony. The primary entrance will be located along Buchanan Street and will include a rectangular recessed entryway with a gate along the street frontage that is designed to match the existing gate at the northwest corner of the site. The railings at each proposed balcony will be comprised of a combination of central glass guardrails and aluminum picket guardrails, with the aluminum guardrails being the dominant material.

**Recommendation:** Generally, the Department finds that the proposed guardrail and gate designs are compatible with the design of those found around the landmark building. In order to ensure stronger compatibility with the landmark, the Department recommends that the design of the primary entrance on the new construction be studied further to establish a stronger relationship to entryways on the landmark site.

## REQUESTED ACTION

Specifically, the Department seeks comments on:

- The project recommendations proposed by staff.
- The compatibility of the project with the Secretary of the Interior's Standards.

## ATTACHMENTS

1. Project Sponsor plan submittal entitled, "3620 Buchanan Street Presentation to the San Francisco Historic Preservation Architectural Review Committee," dated July 31, 2018.
2. Merryvale Antiques/S.F. Gas Light Co., Landmark No. 58, Designating Ordinance
3. Letters and emails in opposition to the proposed project



## 3620 BUCHANAN STREET

### PRESENTATION TO THE SAN FRANCISCO HISTORIC PRESERVATION COMMISSION ARCHITECTURAL REVIEW COMMITTEE

Date of Package: July 31, 2018

Project Sponsor:  
Tusker Corporation  
3636 Buchanan St.  
San Francisco, CA 94123

251 south van ness ave, suite 300 - san francisco, ca 94103 - **ian birchall and associates** - p: 415.512.9660 - f:415.512.9663 - [www.ibadesign.com](http://www.ibadesign.com)

#### SHEET INDEX

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1	COVER - SHEET INDEX	12	PROPOSED SOUTH ELEVATION	23	AERIAL VIEW OF PROPOSED DESIGN
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3	PROJECT SITE / EXISTING CONDITION: ELEVATIONS + SITE PLAN	14	PROPOSED BUILDING PLANS: BASEMENT + FIRST FLOOR	25	VIEW OF PROPOSED DESIGN FROM THE LANDMARK BUILDING
4	PROJECT SITE / EXISTING CONDITION: GARDEN SHED ELEVATIONS	15	PROPOSED BUILDING PLANS: SECOND + THIRD FLOORS	26	VIEW OF PROPOSED DESIGN FOR 3620 BUCHANAN
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10	PROPOSED WEST ELEVATION	21	PROPOSED WALL + WINDOW DETAILS		
11	PROPOSED NORTH ELEVATION	22	PROPOSED WALL + WINDOW DETAILS		



**BUCHANAN ST. + NORTH POINT ST. - ADJACENT EXISTING BUILDING ON SHARED PARCEL**



**BUCHANAN ST. - EXISTING PROPERTY**



**BUCHANAN ST. + BAY ST. - ADJACENT PROPERTY**



**BUCHANAN ST. - ADJACENT PROPERTIES (ACROSS FROM 3620 BUCHANAN)**

Tusker Corporation  
3636 Buchanan St.  
San Francisco, CA 94123

Date of Package:  
July 31, 2018

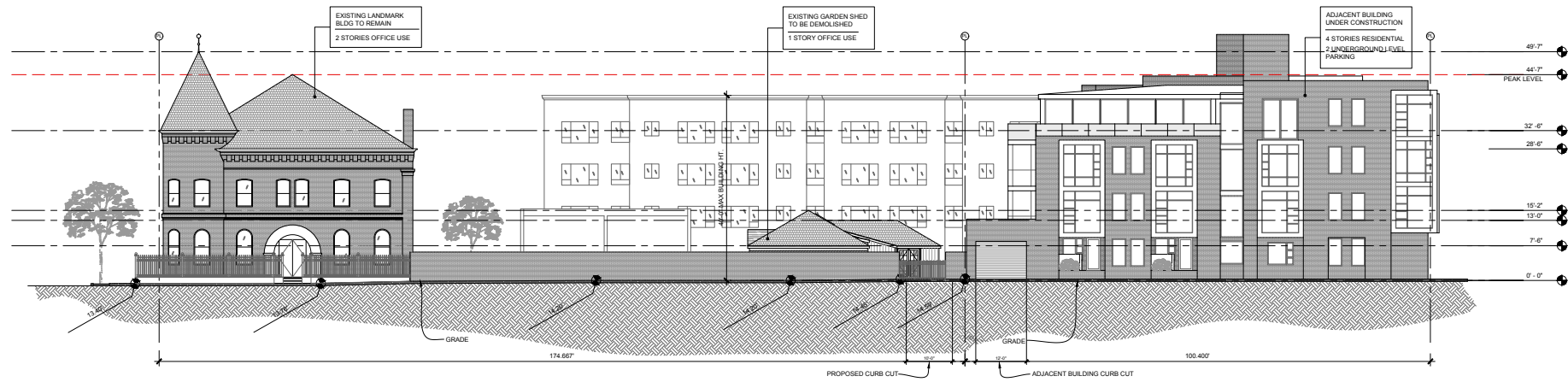
**EXISTING SITE IMAGERY**

3620 BUCHANAN

SHEET #: 2

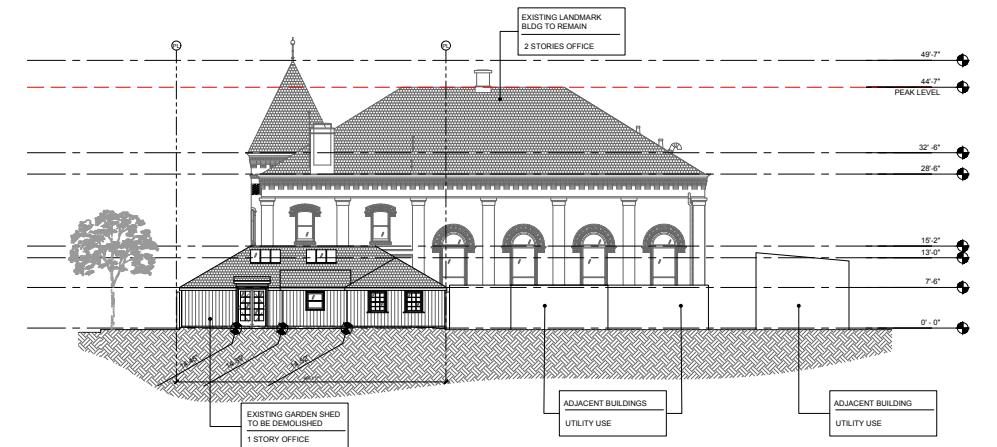


Ian Birchall and Associates  
251 South Van Ness Ave, Suite 300  
San Francisco, CA 94103  
p: 415.512.9660  
f: 415.512.9663  
www.ibadesign.com



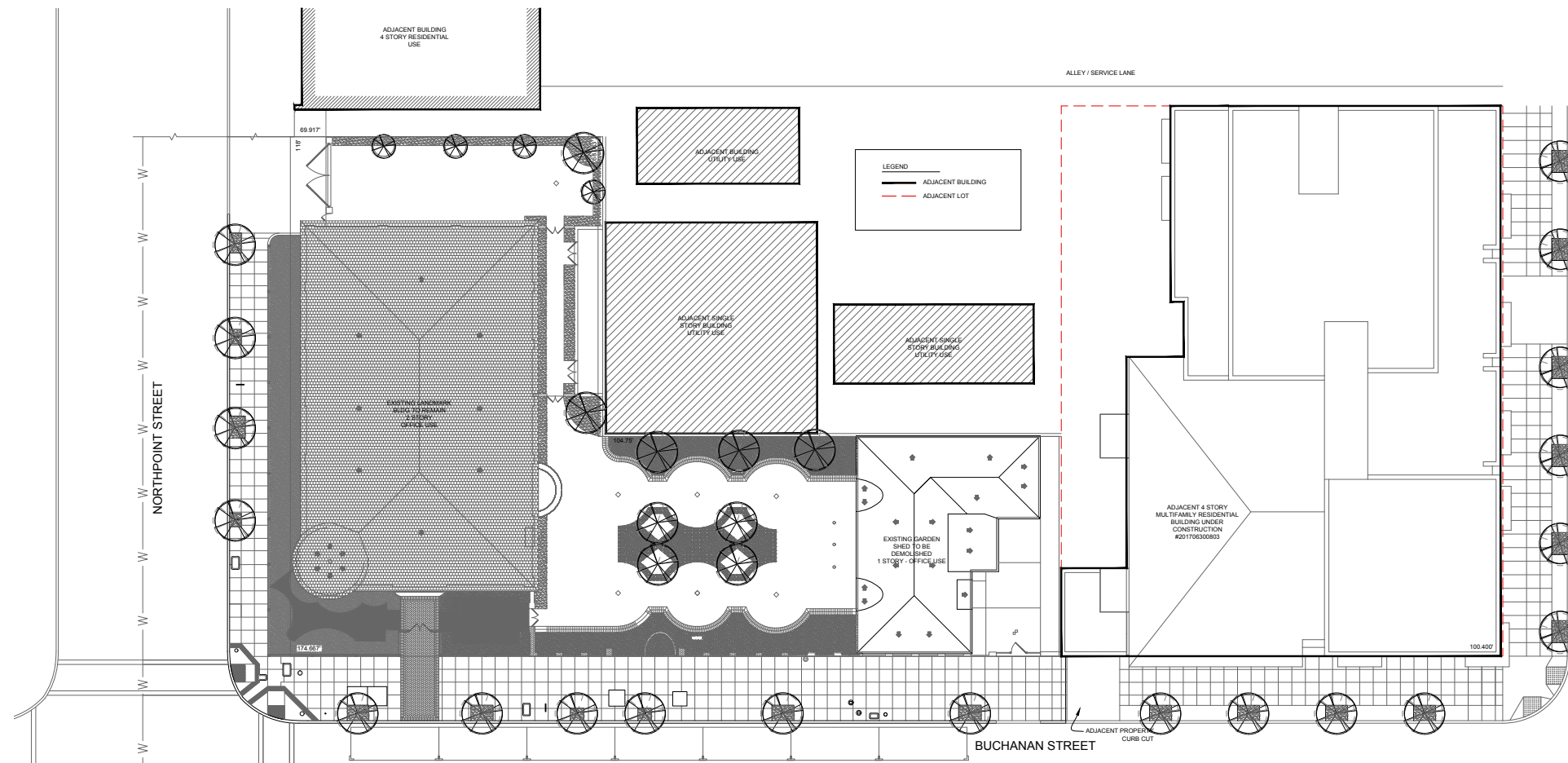
EXISTING STREET ELEVATION

N.T.S



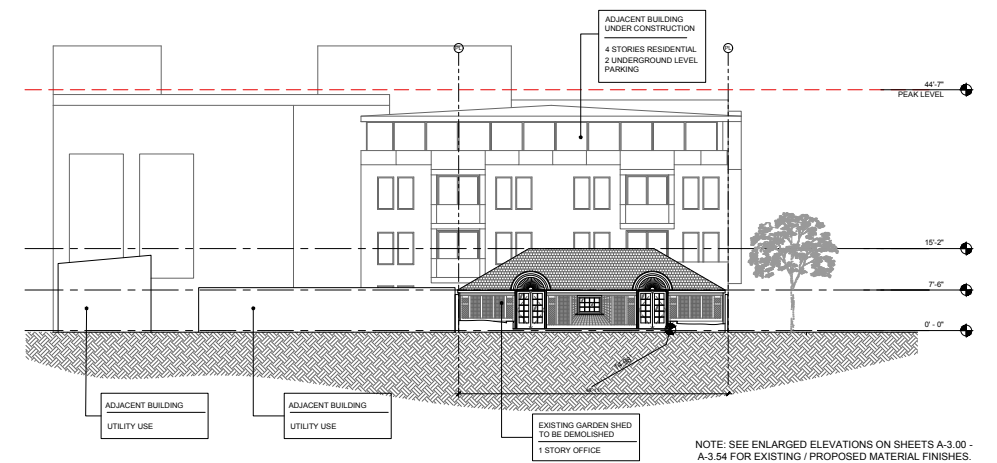
EXISTING SIDE ELEVATION

N.T.S



EXISTING SITE PLAN

N.T.S



EXISTING REAR ELEVATION

N.T.S

Tusker Corporation  
3636 Buchanan St.  
San Francisco, CA 94123

Date of Package:  
July 31, 2018

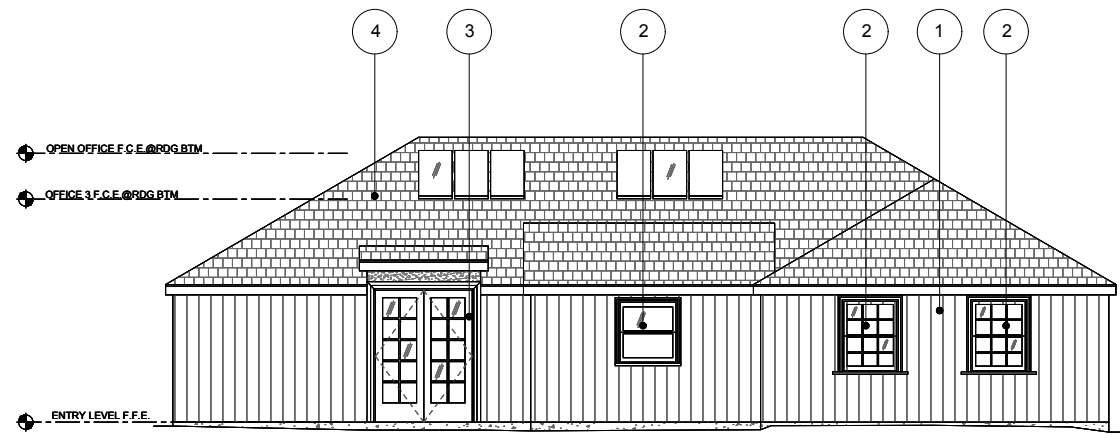
**PROJECT SITE / EXISTING CONDITION  
ELEVATIONS + SITE PLAN**

3620 BUCHANAN

SHEET #: 3

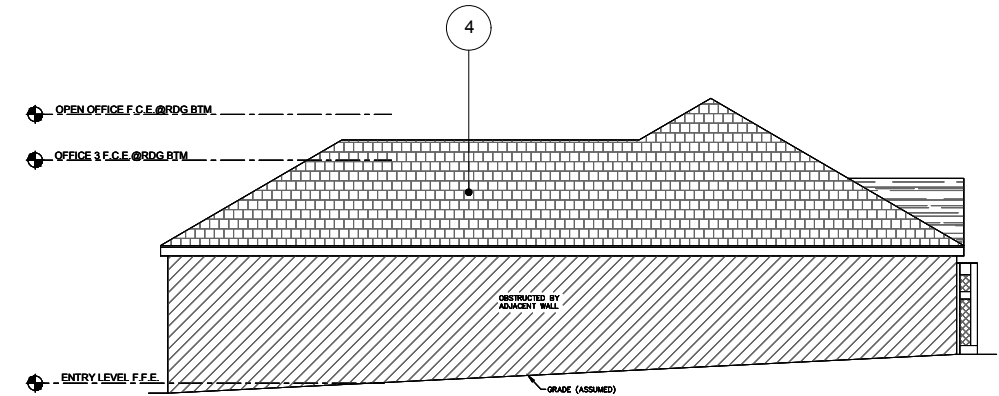


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San Francisco, CA 94103  
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f: 415.512.9663  
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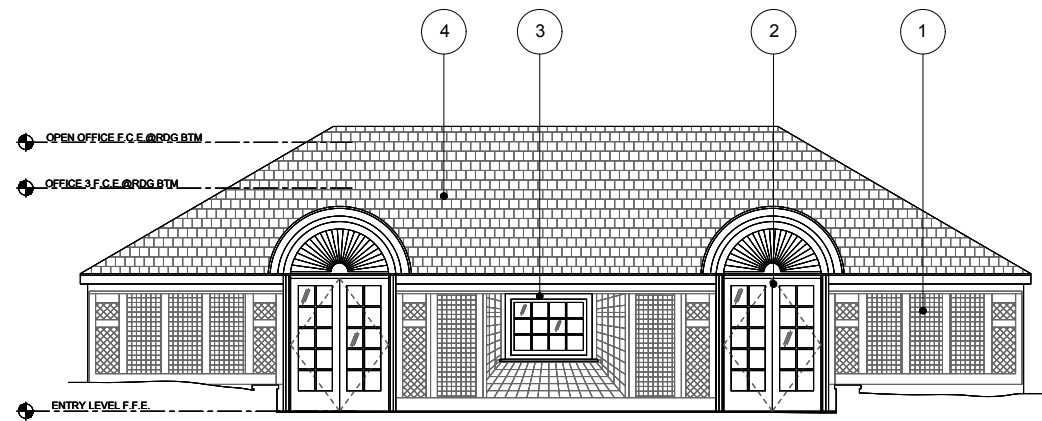
EXISTING GARDEN SHED - SOUTH ELEVATION

N.T.S



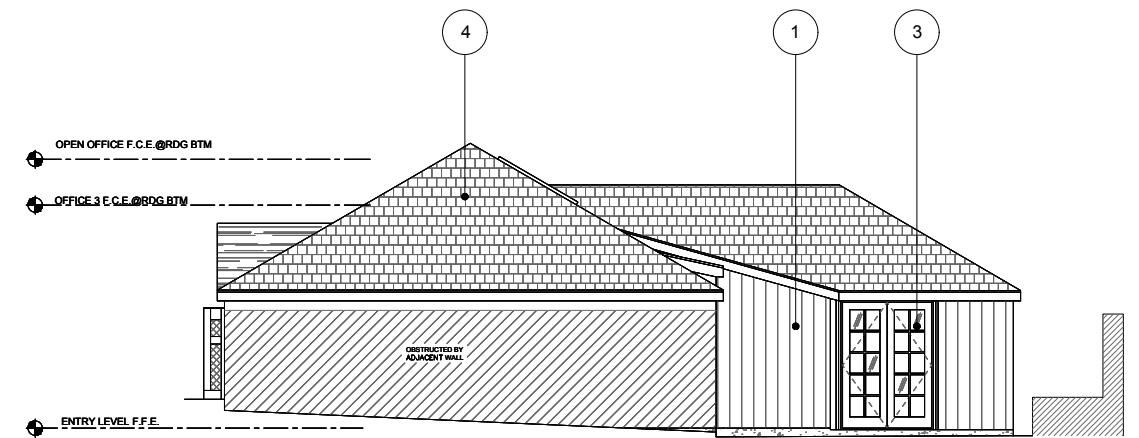
EXISTING GARDEN SHED - EAST ELEVATION

N.T.S



EXISTING GARDEN SHED - NORTH ELEVATION

N.T.S



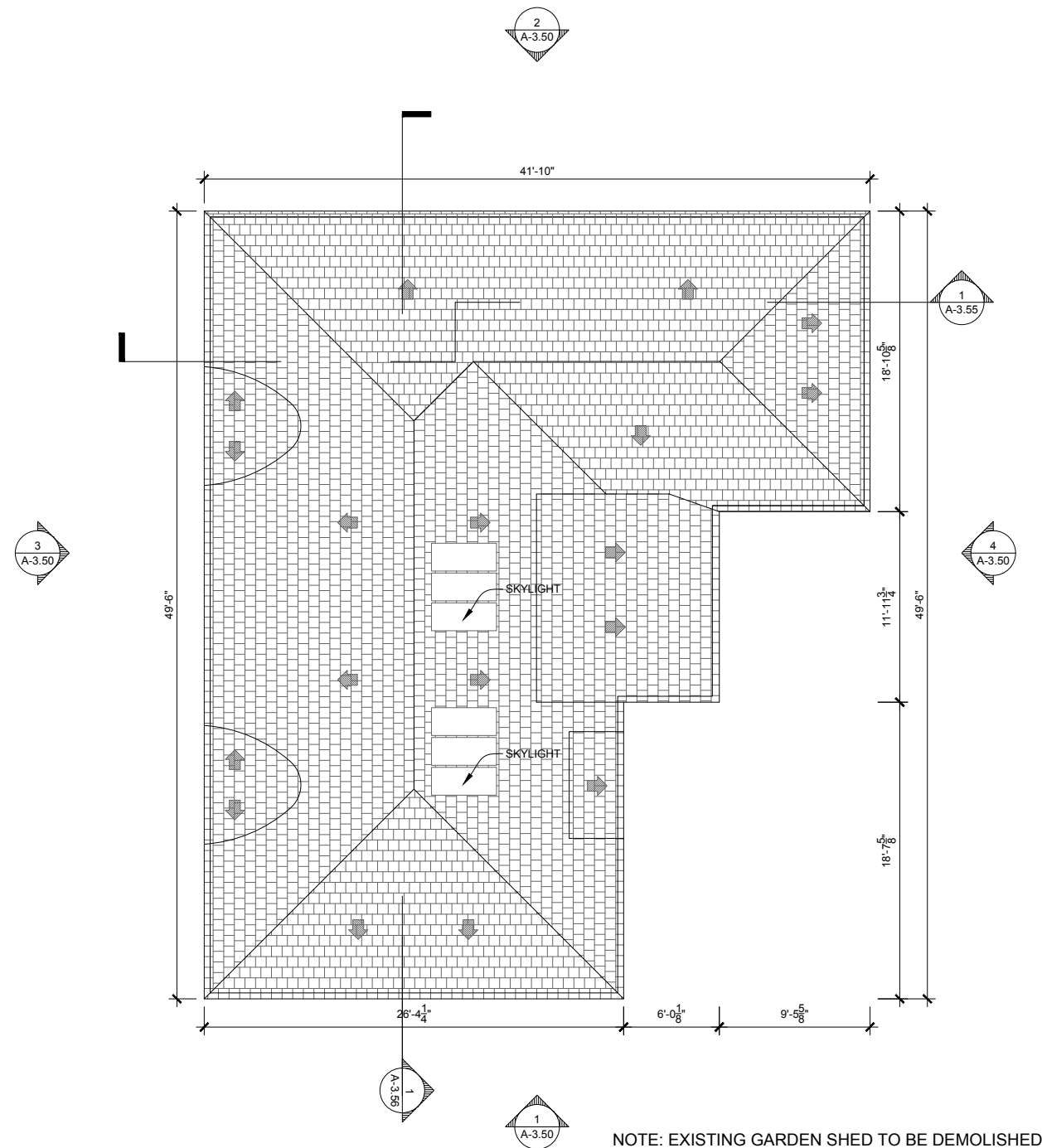
EXISTING GARDEN SHED - WEST ELEVATION

N.T.S

- ① WOOD SIDING PAINTED
- ② WOOD FRAME WINDOW PAINTED
- ③ WOOD FRAME DOOR PAINTED
- ④ ASPHALT COMPOSITE SHINGLE

**KEYNOTES**

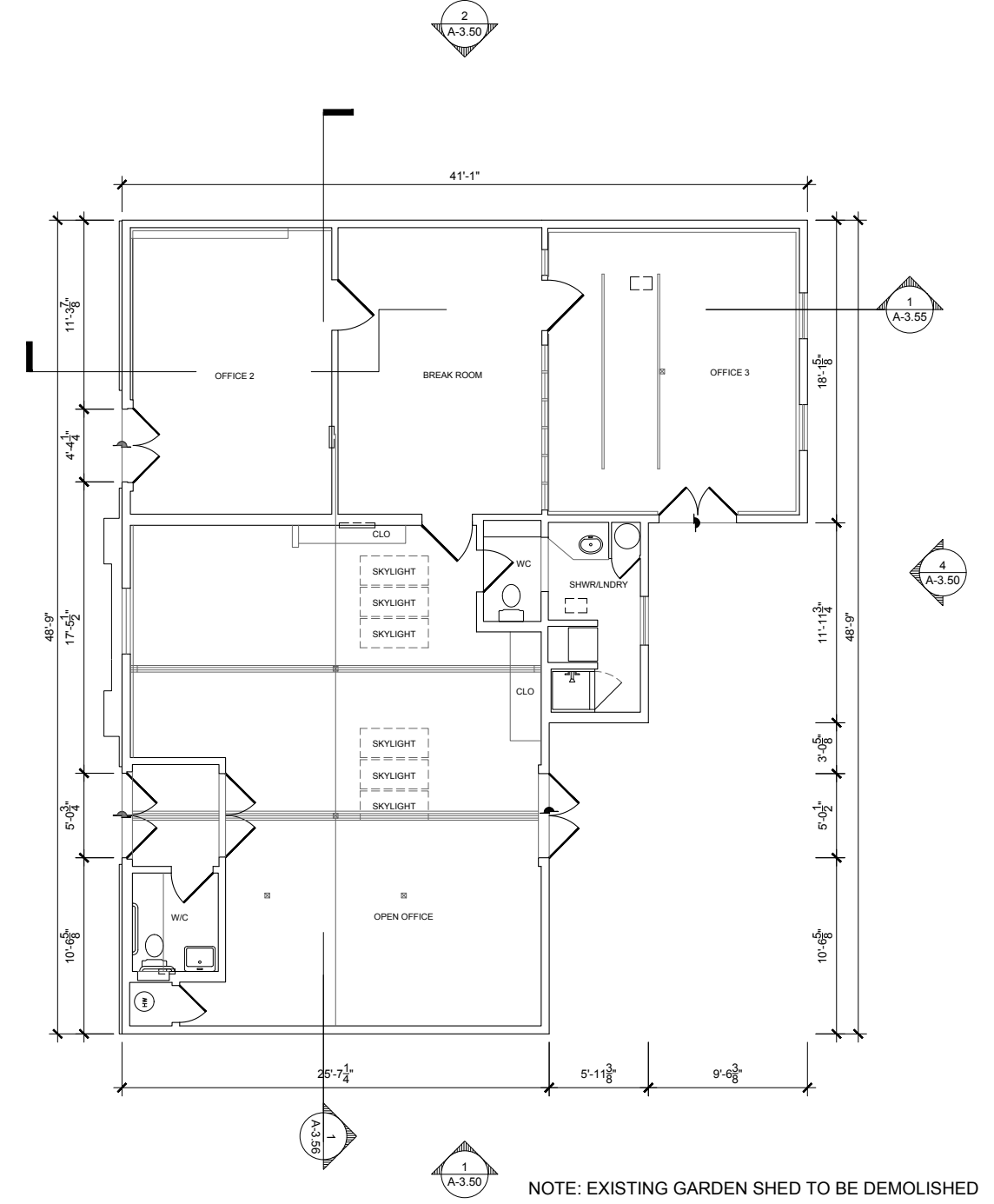
Tusker Corporation 3636 Buchanan St. San Francisco, CA 94123	Date of Package: July 31, 2018	<b>PROJECT SITE / EXISTING CONDITION</b> <b>GARDEN SHED ELEVATIONS</b> (NOTE: GARDEN SHED TO BE DEMOLISHED)	3620 BUCHANAN <hr/> SHEET #: 4	Ian Birchall and Associates 251 South Van Ness Ave, Suite 300 San Francisco, CA 94103 p: 415.512.9660 f: 415.512.9663 www.ibadesign.com
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- LEGEND**
- 1 HOUR FIRE RATED WALL
  - 2 HOUR FIRE RATED WALL
  - 3 HOUR FIRE RATED WALL

**EXISTING GARDEN SHED - ROOF PLAN**

**N.T.S**



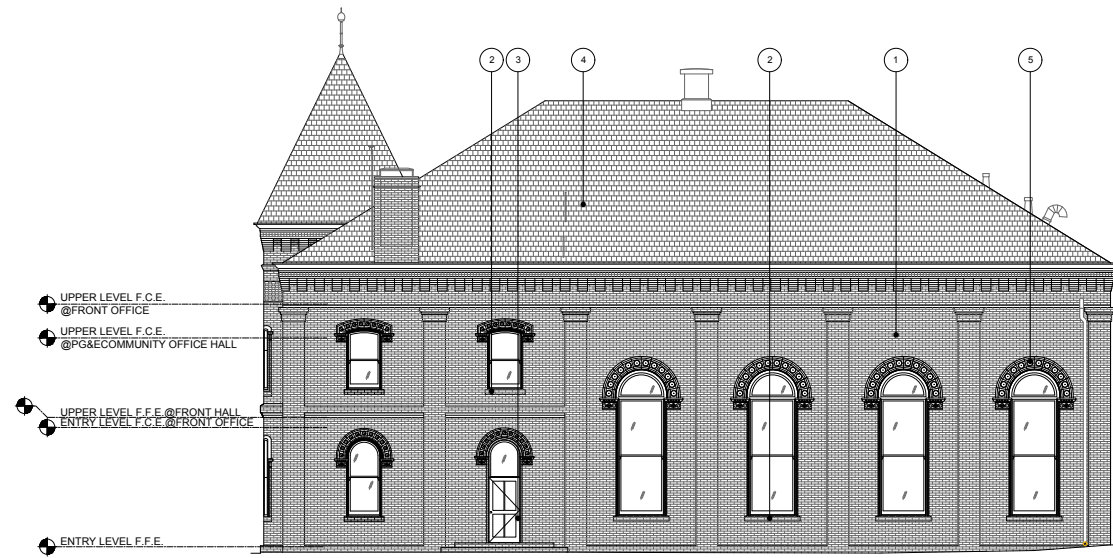
- LEGEND**
- 1 HOUR FIRE RATED WALL
  - 2 HOUR FIRE RATED WALL
  - 3 HOUR FIRE RATED WALL

**EXISTING GARDEN SHED - P1 PLAN**

**N.T.S**

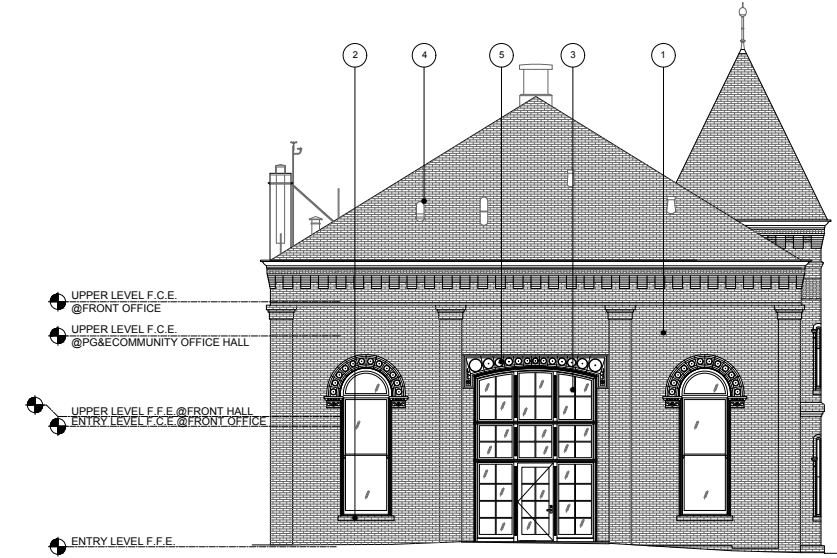
Tusker Corporation 3636 Buchanan St. San Francisco, CA 94123	Date of Package: July 31, 2018	<b>PROJECT SITE / EXISTING CONDITION</b> <b>GARDEN SHED PLANS</b> (NOTE: GARDEN SHED TO BE DEMOLISHED)	3620 BUCHANAN  SHEET #: 5	 Ian Birchall and Associates 251 South Van Ness Ave, Suite 300 San Francisco, CA 94103 p: 415.512.9660 f: 415.512.9663 www.ibadesign.com
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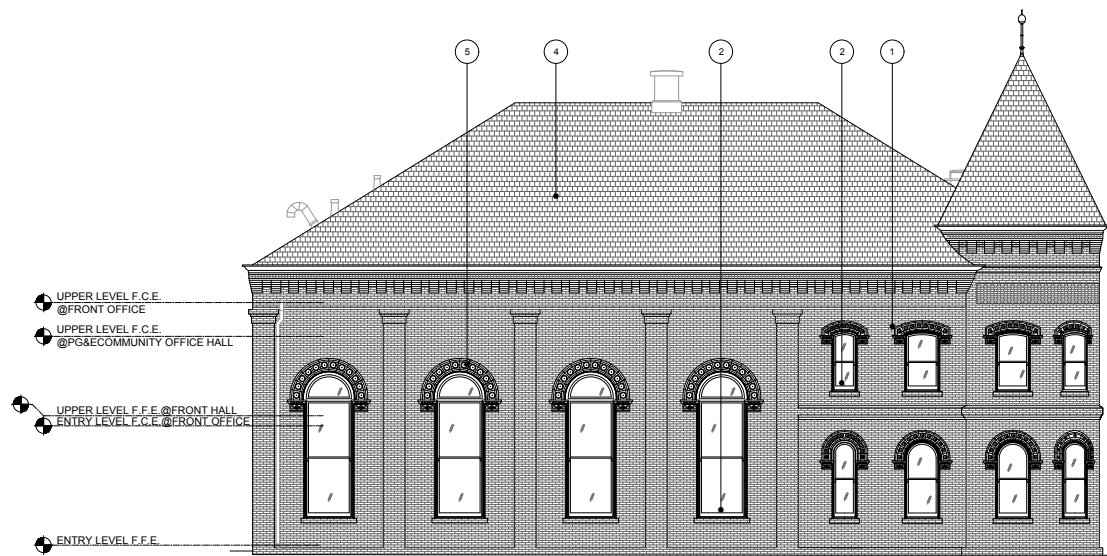
EXISTING LANDMARK BUILDING - SOUTH ELEVATION

N.T.S



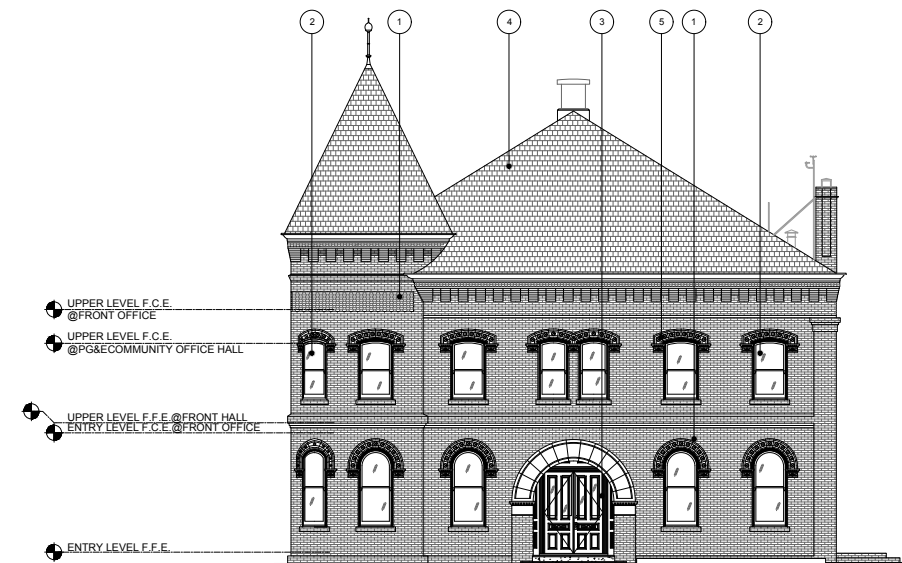
EXISTING LANDMARK BUILDING - EAST ELEVATION

N.T.S



EXISTING LANDMARK BUILDING - NORTH ELEVATION

N.T.S



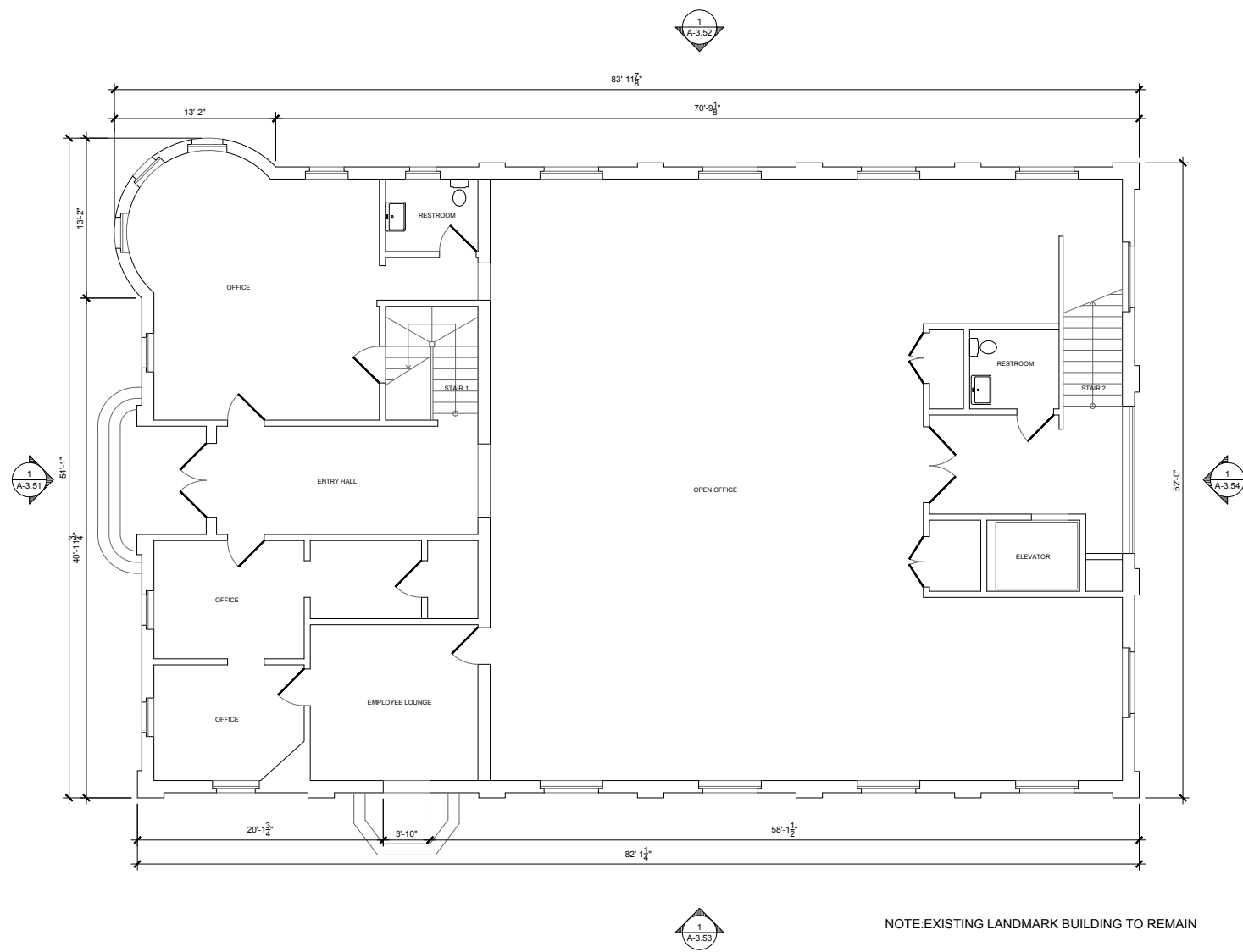
EXISTING LANDMARK BUILDING - WEST ELEVATION

N.T.S

- ① BRICK WALL
- ② WOOD FRAME WINDOW PAINTED
- ③ WOOD DOOR NATURAL FINISH
- ④ ASPHALT COMP. SHINGLE
- ⑤ STONE

**KEYNOTES**

Tusker Corporation 3636 Buchanan St. San Francisco, CA 94123	Date of Package: July 31, 2018	<b>EXISTING CONDITION</b> <b>LANDMARK BUILDING ELEVATIONS</b> (NOTE: LANDMARK BUILDING TO REMAIN)	3620 BUCHANAN <hr/> SHEET #: 6	<div style="font-size: small; margin-top: 5px;">         Ian Birchall and Associates          251 South Van Ness Ave, Suite 300          San Francisco, CA 94103          p: 415.512.9660          f: 415.512.9663          www.ibadesign.com       </div>
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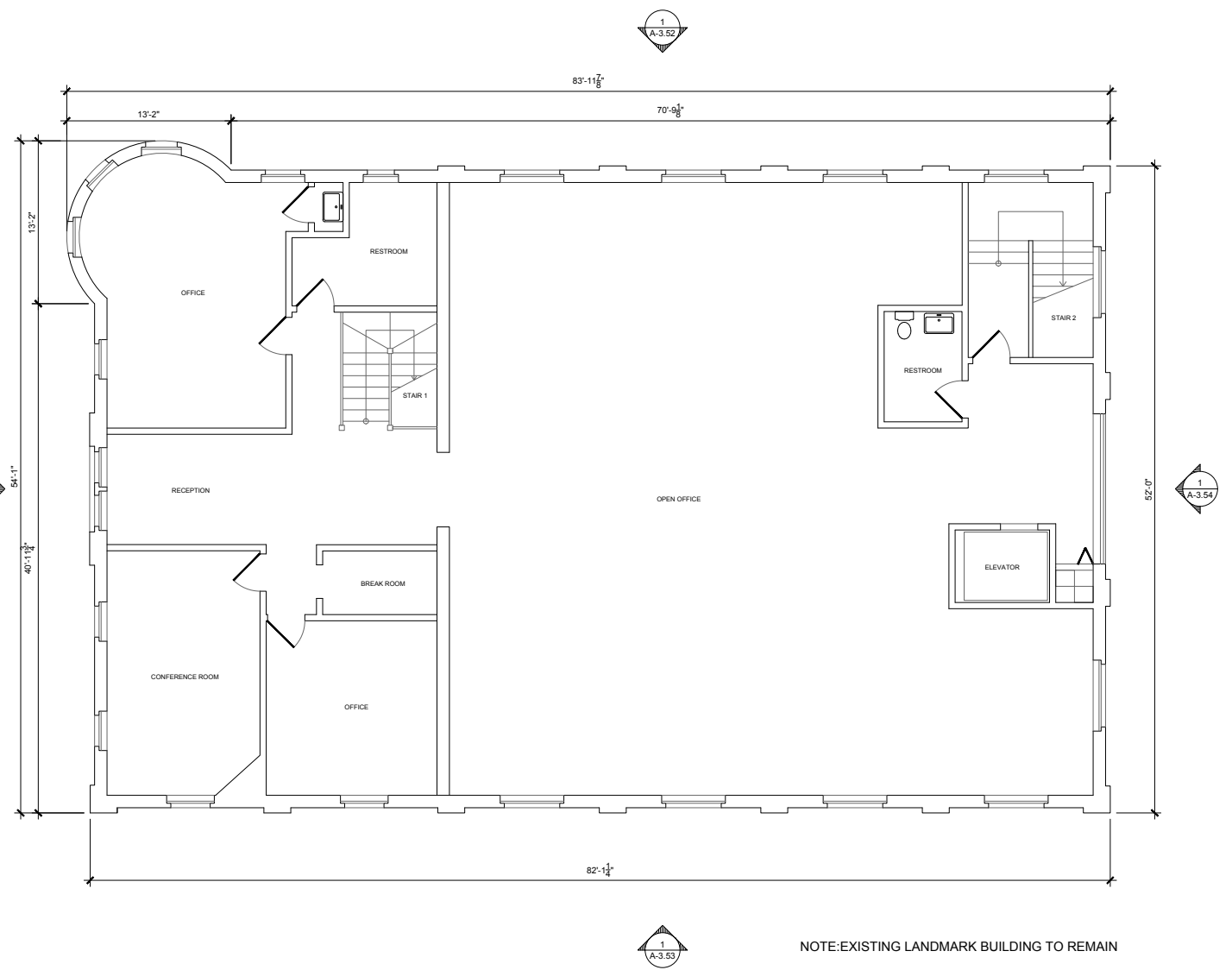


NOTE: EXISTING LANDMARK BUILDING TO REMAIN

- LEGEND
- 1 HOUR FIRE RATED WALL
  - 2 HOUR FIRE RATED WALL
  - 3 HOUR FIRE RATED WALL

EXISTING LANDMARK BUILDING - P1 PLAN

N.T.S



NOTE: EXISTING LANDMARK BUILDING TO REMAIN

- LEGEND
- 1 HOUR FIRE RATED WALL
  - 2 HOUR FIRE RATED WALL
  - 3 HOUR FIRE RATED WALL

EXISTING LANDMARK BUILDING - P2 PLAN

N.T.S

<p>Tusker Corporation 3636 Buchanan St. San Francisco, CA 94123</p>	<p>Date of Package: July 31, 2018</p>	<p><b>EXISTING CONDITION</b> <b>LANDMARK BUILDING PLANS</b> (NOTE: LANDMARK BUILDING TO REMAIN)</p>	<p>3620 BUCHANAN</p> <hr/> <p>SHEET #: 7</p>	<p style="text-align: center;"><b>ib+a</b> architecture</p> <p>Ian Birchall and Associates 251 South Van Ness Ave, Suite 300 San Francisco, CA 94103 p: 415.512.9660 f: 415.512.9663 www.ibadesign.com</p>
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**AREA CALCULATIONS**

FLOOR	ROOM DESCRIPTION	GROSS AREA (SF)**	NET AREAS (SF)***	GROSS FLOOR AREA*
P4	UNIT 8 - TYPE 2B-C	1049	962	2,588
	UNIT 7 - TYPE 2B-B	1064	981	
	CIRCULATION - (ELEV, CORRIDOR + STAIRS)	475	407	
P3	UNIT 6 - TYPE 1B-D	813	734	2,915
	UNIT 5 - TYPE 1B-C	790	723	
	UNIT 4 - TYPE 1B-B	837	755	
	CIRCULATION - (ELEV, CORRIDOR + STAIRS)	475	407	
P2	UNIT 3 - TYPE 2B-A	1131	1,030	2,915
	UNIT 2 - TYPE 3B-A	1309	1,195	
	CIRCULATION - (ELEV, CORRIDOR + STAIRS)	475	407	
P1	UNIT 1 - TYPE 1B-A	784	694	1,622
	CIRCULATION - (ELEV, CORRIDOR + STAIRS)	838	731	
	PARKING GARAGE	891	808	
B1	JANITOR	43	33	2,348
	TRASH ROOM	141	112	
	HOA STORAGE	140	117	
	ELECTRICAL ROOM	125	108	
	ELEVATOR MACHINE ROOM	78	61	
	STORAGE LOCKER (SL) - 1	71	56	
	STORAGE LOCKER (SL) - 2	183	143	
	STORAGE LOCKER (SL) - 3	66	59	
	STORAGE LOCKER (SL) - 4	175	144	
	STORAGE LOCKER (SL) - 5	89	71	
	STORAGE LOCKER (SL) - 6	118	102	
	STORAGE LOCKER (SL) - 7	75	67	
	STORAGE LOCKER (SL) - 8	157	127	
	SECURITY CLOSET	14	11	
	CIRCULATION - (ELEV, CORRIDORS + STAIRS)	873	755	
BIKE STORAGE	165	143	165	

****TOTAL BUILDING GROSS AREA	13,279
TOTAL R-2 GROSS AREA	10,040
TOTAL S-1 GROSS AREA	3,404
TOTAL BUILDING NET AREA	11,943

\*Gross floor areas include all circulation areas, interior & exterior walls to outside face of building  
 \*\* Gross unit areas include all interior & exterior walls within a unit + 50% of shared walls with adjacent units & common areas  
 \*\*\*Net unit areas include floor area from inside face of interior and exterior walls within a unit  
 \*\*\*\* Total building gross floor area calculation exclude the square footages of the bike storage (as defined per planning code sec. 102)

**PARKING REQUIREMENTS**

RESIDENTIAL USE	REQUIREMENT	REQ. QTY	PROVIDED
CLASS 1 BIKE PARKING	1 / DWELLING UNIT	8	8
CLASS 2 BIKE PARKING	1 / 20 DWELLING UNIT	1	4
STANDARD CAR PARKING	1 / DWELLING UNIT	8	0
ACCESSIBLE CAR PARKING	2% OF DWELLING UNITS	1	1
VAN ACCESSIBLE PARKING	1 / 8 ACC. SPACES	1	1

UNIT TYPES	BEDROOM TYPE COUNT	%	% REQUIRED
1B-A	4	50.00%	N/A
1B-B			
1B-C			
1B-D			
2B-A	3	37.50%	N/A
2B-B			
2B-C			
3B-A	1	12.50%	N/A
<b>TOTAL NUMBER OF UNITS</b>	<b>8</b>		

**PRIVATE USABLE / COMMON USABLE OPEN SPACE CALCULATIONS**

**REQUIRED**  
 100 SQ FT OF PRIVATE USABLE OPEN SPACE (P.U.O.S) FOR EACH DWELLING UNIT OR  
 133 SQ FT OF COMMON USABLE OPEN SPACE (C.U.O.S) FOR EACH DWELLING UNIT  
 8 UNITS X 100 = **800 sf P.U.O.S.** OR  
 8 UNITS X 133 = **1064 sf C.U.O.S.**

P.U.O.S.				
FLOOR	LOCATION	PROVIDED	DEFICIENT	CUOS AREAxRATIO
P4	UNIT 8 - TERRACE	101	0	0
	UNIT 7 - TERRACE	136	0	0
P3	UNIT 6 - BALCONY	0	133	133
	UNIT 5 - BALCONY	32	68	91
	UNIT 4 - BALCONY	38	62	83
P2	UNIT 3 - BALCONY	0	133	133
	UNIT 2 - BALCONIES	70	30	40
P1	UNIT 1 - PATIO	100	0	0

<b>C.U.O.S PROVIDED</b>	<b>480</b>
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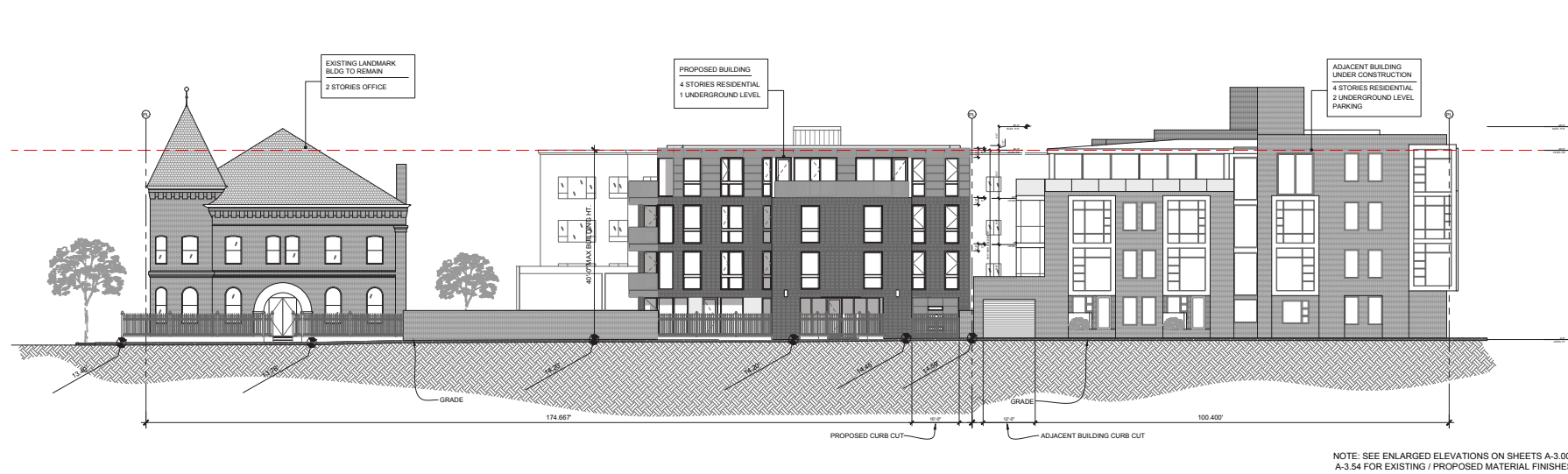
C.U.O.S. REQUIRED			
FLOOR	LOCATION	AREA (SF)	SUBTOTAL (SF)
P1	COURTYARD	480	

<b>TOTAL COMMON USABLE OPEN SPACE PROVIDED</b>	<b>480</b>
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\*Area calculation for the Common Usable Open Space shown in the sheet A-1.03

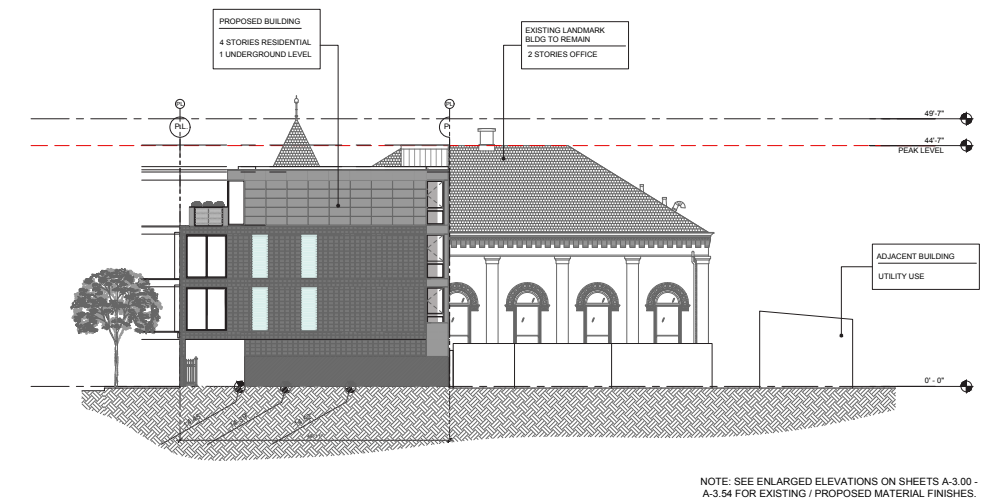
EXCAVATION and SOIL DISTURBANCE			
RESIDENTIAL USE	AREA (SQ. FT.)	MAX. DEPTH (FT)	VOLUME (CY)
B1	2351.00	11.83	1030.09
ELEVATOR PIT	127.46	6.83	32.24
<b>TOTAL EXCAVATION (CY)</b>			<b>1062.33</b>

GROSS SQUARE FOOTAGES CALC.		
	GROSS FLOOR AREA (SQ. FT.)	USE
EXISTING BUILDING TO BE DEMOLISHED	1600.00	OFFICE
EXISTING BUILDING TO REMAIN (GAS LIGHT BUILDING)	8407.00	OFFICE
PROPOSED BUILDING	13240.00	RESIDENTIAL



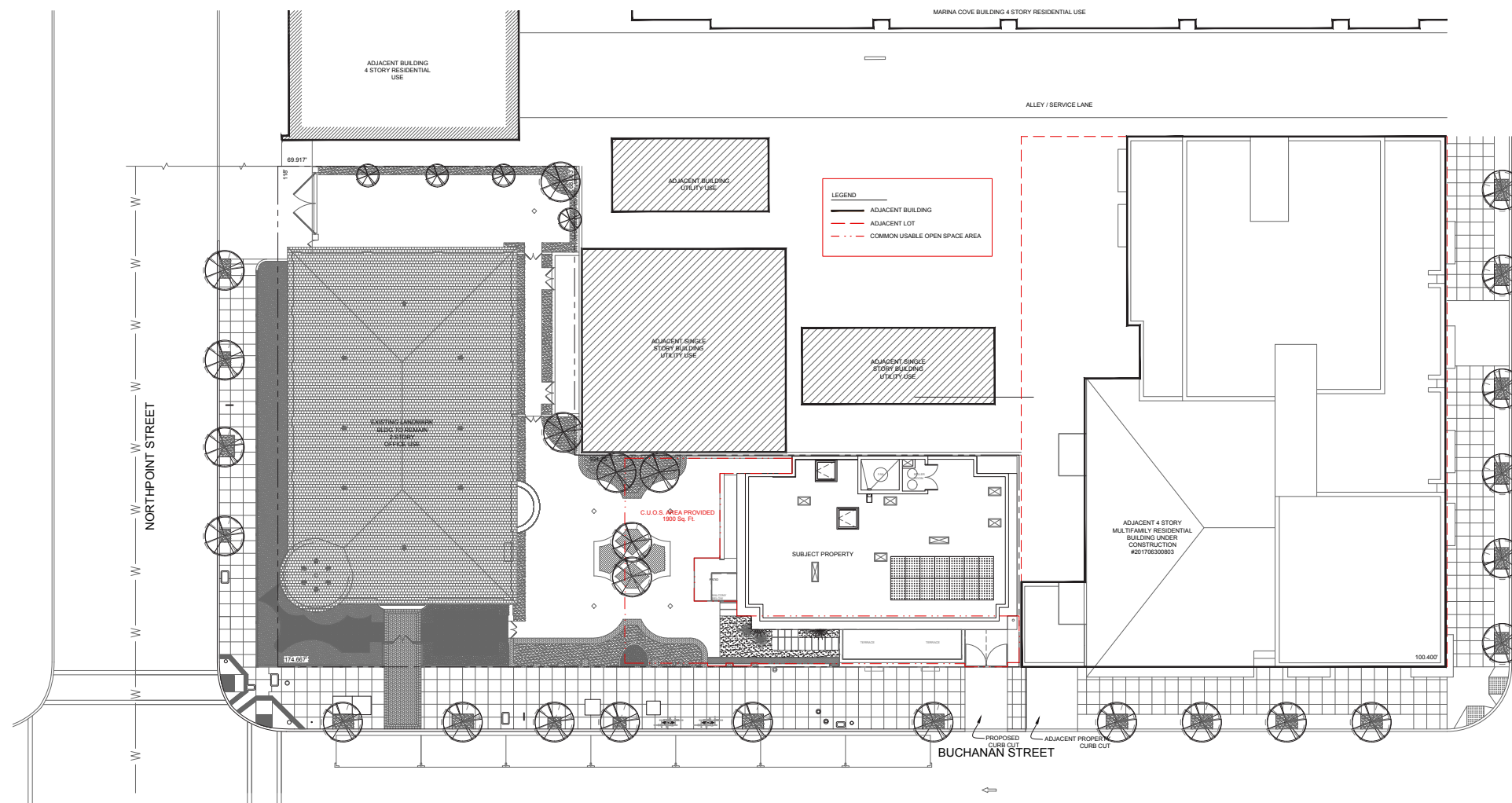
**PROPOSED STREET ELEVATION**

N.T.S



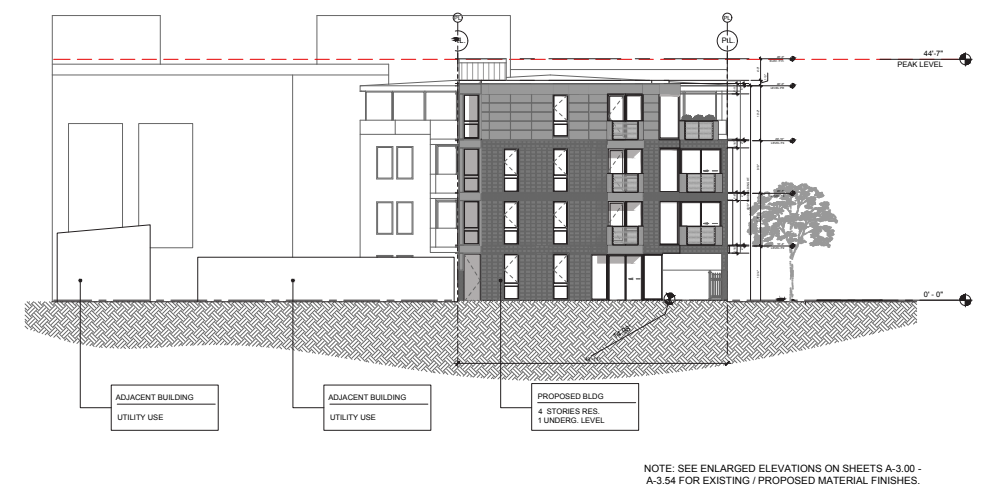
**PROPOSED SIDE ELEVATION**

N.T.S



**PROPOSED SITE PLAN**

N.T.S



**PROPOSED REAR ELEVATION**

N.T.S

Tusker Corporation  
3636 Buchanan St.  
San Francisco, CA 94123

Date of Package:  
July 31, 2018

**PROJECT SITE / PROPOSED CONDITION  
ELEVATIONS + SITE PLAN**

3620 BUCHANAN

SHEET #: 9



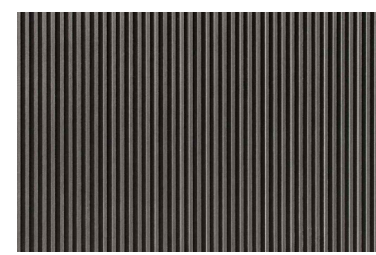
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f: 415.512.9663  
www.ibadesign.com



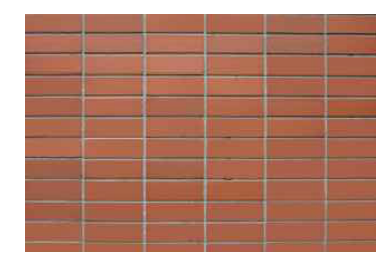
**PROPOSED WEST ELEVATION**

**N.T.S**

- |   |   |                                |
|---|---|--------------------------------|
| 1 THIN BRICK VENEER - STACK BOND (NORMAN SIZE)    | 7 ALUMINUM PICKET GUARDRAIL                         | 13 ELEVATOR PENTHOUSE - STUCCO |
| 2 THIN BRICK VENEER - SAILOR COURSE (NORMAN SIZE) | 8 ALUMINUM WINDOWS - OPERABLE W/ CLEAR GLAZING      | 14 ADJACENT BUILDING           |
| 3 EQUITONE PANEL (LINEA LT20)                     | 9 ALUMINUM WINDOWS - NON OPERABLE W/ CLEAR GLAZING  | 15 BUILDING BEYOND             |
| 4 ALUMINUM WALL PANELS                            | 10 ALUMINUM WINDOWS - NON OPERABLE W/ FRITTED GLASS | 16 EXISTING BRICK WALL         |
| 5 CONTROL JOINTS                                  | 11 ALUMINUM SHADOW BOX FRAME                        | 17 WROUGHT IRON FENCE          |
| 6 GLASS GUARDRAIL                                 | 12 CUSTOM GARAGE DOOR - WITH EQUITONE PANEL         | 18 CONCRETE CURB               |



EQUITONE PANEL



THIN BRICK

NOTE: PER PLANNING CODE SECTION 139, BIRD-SAFE GLAZING TREATMENT IS REQUIRED SUCH THAT THE BIRD COLLISION ZONE (SECTION 139(c)(A)(i) AND (iii), FACING THE URBAN BIRD REFUGE CONSISTS OF NO MORE THAN 10% UNTREATED GLAZING. ADDITIONALLY, MINIMAL LIGHTING SHALL BE USED. LIGHTING SHALL BE SHIELDED, AND NO UPLIGHTING SHALL BE USED.

**KEYNOTES**

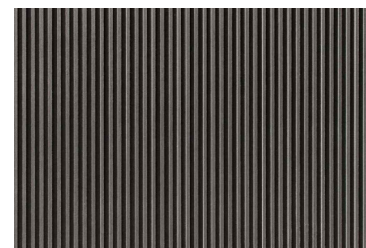
Tusker Corporation 3636 Buchanan St. San Francisco, CA 94123	Date of Package: July 31, 2018	<b>PROPOSED WEST ELEVATION</b>	3620 BUCHANAN  SHEET #: 10	 Ian Birchall and Associates 251 South Van Ness Ave, Suite 300 San Francisco, CA 94103 p: 415.512.9660 f: 415.512.9663 www.ibadesign.com
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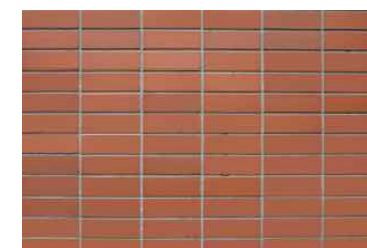
**PROPOSED NORTH ELEVATION**

**N.T.S**

- |   |   |                                |
|---|---|--------------------------------|
| 1 THIN BRICK VENEER - STACK BOND (NORMAN SIZE)    | 7 ALUMINUM PICKET GUARDRAIL                         | 13 ELEVATOR PENTHOUSE - STUCCO |
| 2 THIN BRICK VENEER - SAILOR COURSE (NORMAN SIZE) | 8 ALUMINUM WINDOWS - OPERABLE W/ CLEAR GLAZING      | 14 ADJACENT BUILDING           |
| 3 EQUITONE PANEL (LINEA LT20)                     | 9 ALUMINUM WINDOWS - NON OPERABLE W/ CLEAR GLAZING  | 15 BUILDING BEYOND             |
| 4 ALUMINUM WALL PANELS                            | 10 ALUMINUM WINDOWS - NON OPERABLE W/ FRITTED GLASS | 16 EXISTING BRICK WALL         |
| 5 CONTROL JOINTS                                  | 11 ALUMINUM SHADOW BOX FRAME                        | 17 WROUGHT IRON FENCE          |
| 6 GLASS GUARDRAIL                                 | 12 CUSTOM GARAGE DOOR - WITH EQUITONE PANEL         | 18 CONCRETE CURB               |



EQUITONE PANEL

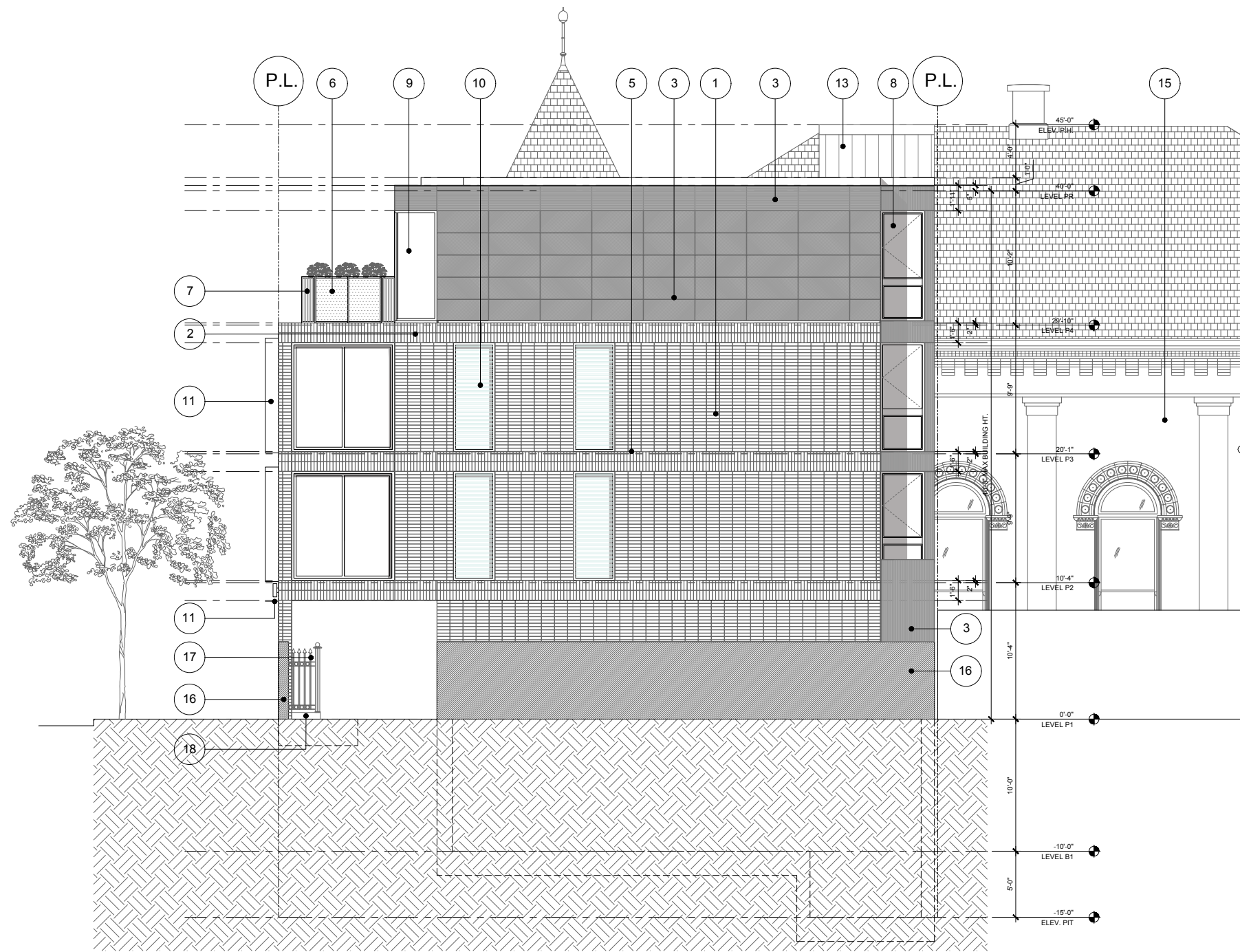


THIN BRICK

NOTE: PER PLANNING CODE SECTION 139, BIRD-SAFE GLAZING TREATMENT IS REQUIRED SUCH THAT THE BIRD COLLISION ZONE (SECTION 139(c)(A)(i) AND (iii), FACING THE URBAN BIRD REFUGE CONSISTS OF NO MORE THAN 10% UNTREATED GLAZING. ADDITIONALLY, MINIMAL LIGHTING SHALL BE USED. LIGHTING SHALL BE SHIELDED, AND NO UPLIGHTING SHALL BE USED.

**KEYNOTES**

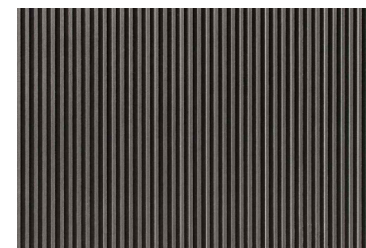
Tusker Corporation 3636 Buchanan St. San Francisco, CA 94123	Date of Package: July 31, 2018	<b>PROPOSED NORTH ELEVATION</b>	3620 BUCHANAN	 Ian Birchall and Associates 251 South Van Ness Ave, Suite 300 San Francisco, CA 94103 p: 415.512.9660 f: 415.512.9663 www.ibadesign.com
			SHEET #: 11	



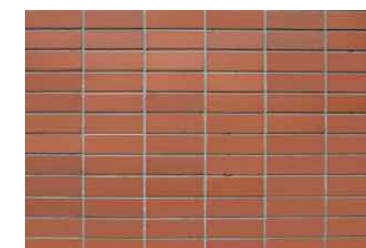
**PROPOSED SOUTH ELEVATION**

**N.T.S**

- |   |  |                               |
|---|--|-------------------------------|
| ① THIN BRICK VENEER - STACK BOND (NORMAN SIZE)    | ⑦ ALUMINUM PICKET GUARDRAIL                        | ⑬ ELEVATOR PENTHOUSE - STUCCO |
| ② THIN BRICK VENEER - SAILOR COURSE (NORMAN SIZE) | ⑧ ALUMINUM WINDOWS - OPERABLE W/ CLEAR GLAZING     | ⑭ ADJACENT BUILDING           |
| ③ EQUITONE PANEL (LINEA LT20)                     | ⑨ ALUMINUM WINDOWS - NON OPERABLE W/ CLEAR GLAZING | ⑮ BUILDING BEYOND             |
| ④ ALUMINUM WALL PANELS                            | ⑩ ALUMINUM WINDOWS - NON OPERABLE W/ FRITTED GLASS | ⑯ EXISTING BRICK WALL         |
| ⑤ CONTROL JOINTS                                  | ⑪ ALUMINUM SHADOW BOX FRAME                        | ⑰ WROUGHT IRON FENCE          |
| ⑥ GLASS GUARDRAIL                                 | ⑫ CUSTOM GARAGE DOOR - WITH EQUITONE PANEL         | ⑱ CONCRETE CURB               |



EQUITONE PANEL

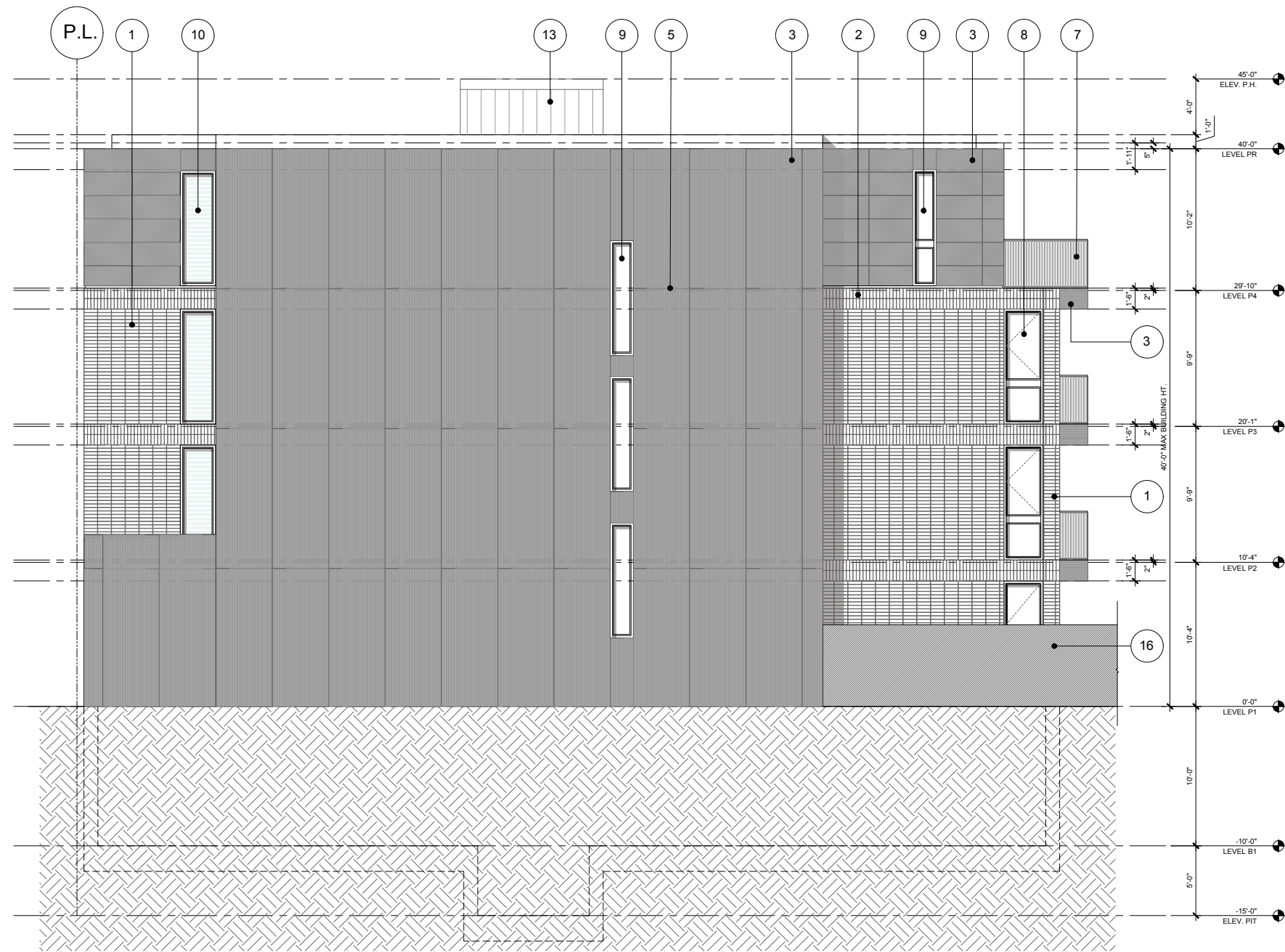


THIN BRICK

NOTE: PER PLANNING CODE SECTION 139, BIRD-SAFE GLAZING TREATMENT IS REQUIRED SUCH THAT THE BIRD COLLISION ZONE (SECTION 139(c)(A)(i) AND (iii), FACING THE URBAN BIRD REFUGE CONSISTS OF NO MORE THAN 10% UNTREATED GLAZING. ADDITIONALLY, MINIMAL LIGHTING SHALL BE USED. LIGHTING SHALL BE SHIELDED, AND NO UPLIGHTING SHALL BE USED.

**KEYNOTES**

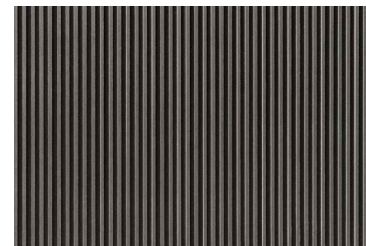
Tusker Corporation 3636 Buchanan St. San Francisco, CA 94123	Date of Package: July 31, 2018	<b>PROPOSED SOUTH ELEVATION</b>	3620 BUCHANAN	 Ian Birchall and Associates 251 South Van Ness Ave, Suite 300 San Francisco, CA 94103 p: 415.512.9660 f: 415.512.9663 www.ibadesign.com
			SHEET #: 12	



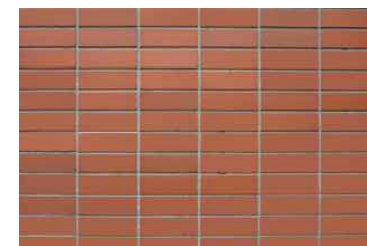
**PROPOSED EAST ELEVATION**

**N.T.S**

- |   |   |                                |
|---|---|--------------------------------|
| 1 THIN BRICK VENEER - STACK BOND (NORMAN SIZE)    | 7 ALUMINUM PICKET GUARDRAIL                         | 13 ELEVATOR PENTHOUSE - STUCCO |
| 2 THIN BRICK VENEER - SAILOR COURSE (NORMAN SIZE) | 8 ALUMINUM WINDOWS - OPERABLE W/ CLEAR GLAZING      | 14 ADJACENT BUILDING           |
| 3 EQUITONE PANEL (LINEA LT20)                     | 9 ALUMINUM WINDOWS - NON OPERABLE W/ CLEAR GLAZING  | 15 BUILDING BEYOND             |
| 4 ALUMINUM WALL PANELS                            | 10 ALUMINUM WINDOWS - NON OPERABLE W/ FRITTED GLASS | 16 EXISTING BRICK WALL         |
| 5 CONTROL JOINTS                                  | 11 ALUMINUM SHADOW BOX FRAME                        | 17 WROUGHT IRON FENCE          |
| 6 GLASS GUARDRAIL                                 | 12 CUSTOM GARAGE DOOR - WITH EQUITONE PANEL         | 18 CONCRETE CURB               |



EQUITONE PANEL



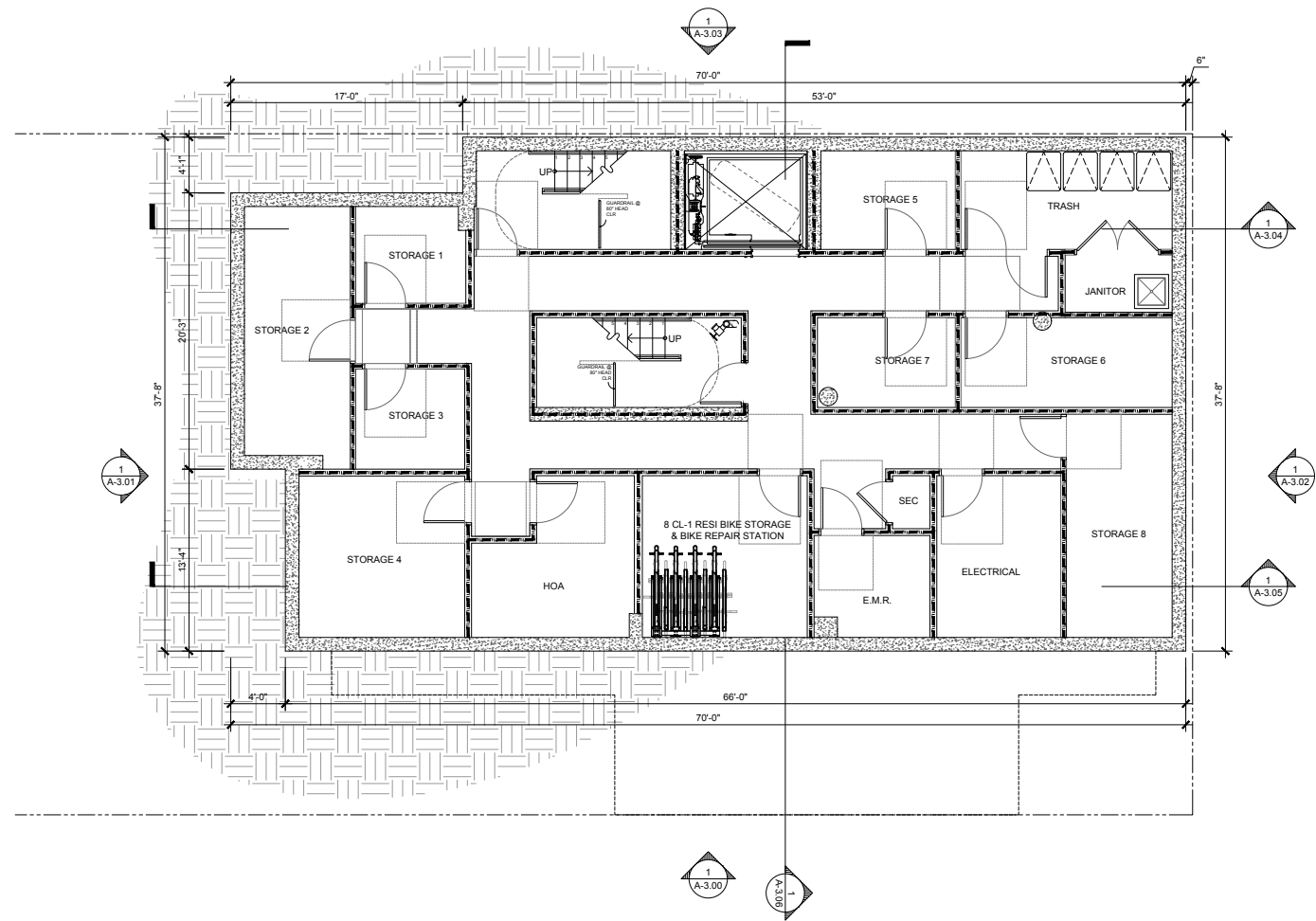
THIN BRICK

NOTE: PER PLANNING CODE SECTION 139, BIRD-SAFE GLAZING TREATMENT IS REQUIRED SUCH THAT THE BIRD COLLISION ZONE (SECTION 139(c)(A)(i) AND (iii), FACING THE URBAN BIRD REFUGE CONSISTS OF NO MORE THAN 10% UNTREATED GLAZING. ADDITIONALLY, MINIMAL LIGHTING SHALL BE USED. LIGHTING SHALL BE SHIELDED, AND NO UPLIGHTING SHALL BE USED.

**KEYNOTES**

Tusker Corporation 3636 Buchanan St. San Francisco, CA 94123	Date of Package: July 31, 2018	<b>PROPOSED EAST ELEVATION</b>	3620 BUCHANAN SHEET #: 13	 Ian Birchall and Associates 251 South Van Ness Ave, Suite 300 San Francisco, CA 94103 p: 415.512.9660 f: 415.512.9663 www.ibadesign.com
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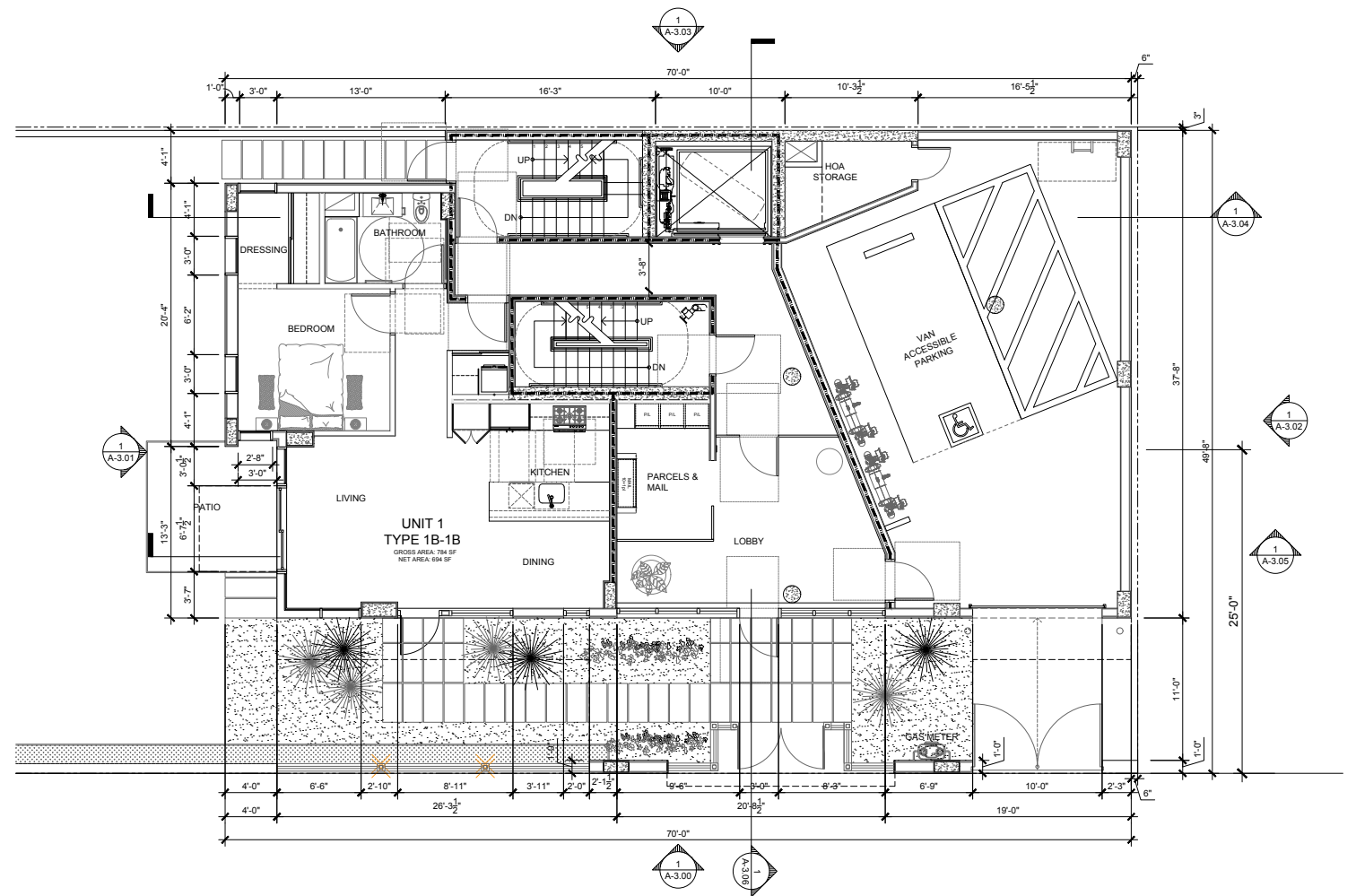


**LEGEND**

- 1 HOUR FIRE RATED WALL
- 2 HOUR FIRE RATED WALL
- 3 HOUR FIRE RATED WALL



N.T.S



**LEGEND**

- 1 HOUR FIRE RATED WALL
- 2 HOUR FIRE RATED WALL
- 3 HOUR FIRE RATED WALL



N.T.S

**PROPOSED B1 PLAN**

**PROPOSED P1 PLAN**

Tusker Corporation  
3636 Buchanan St.  
San Francisco, CA 94123

Date of Package:  
July 31, 2018

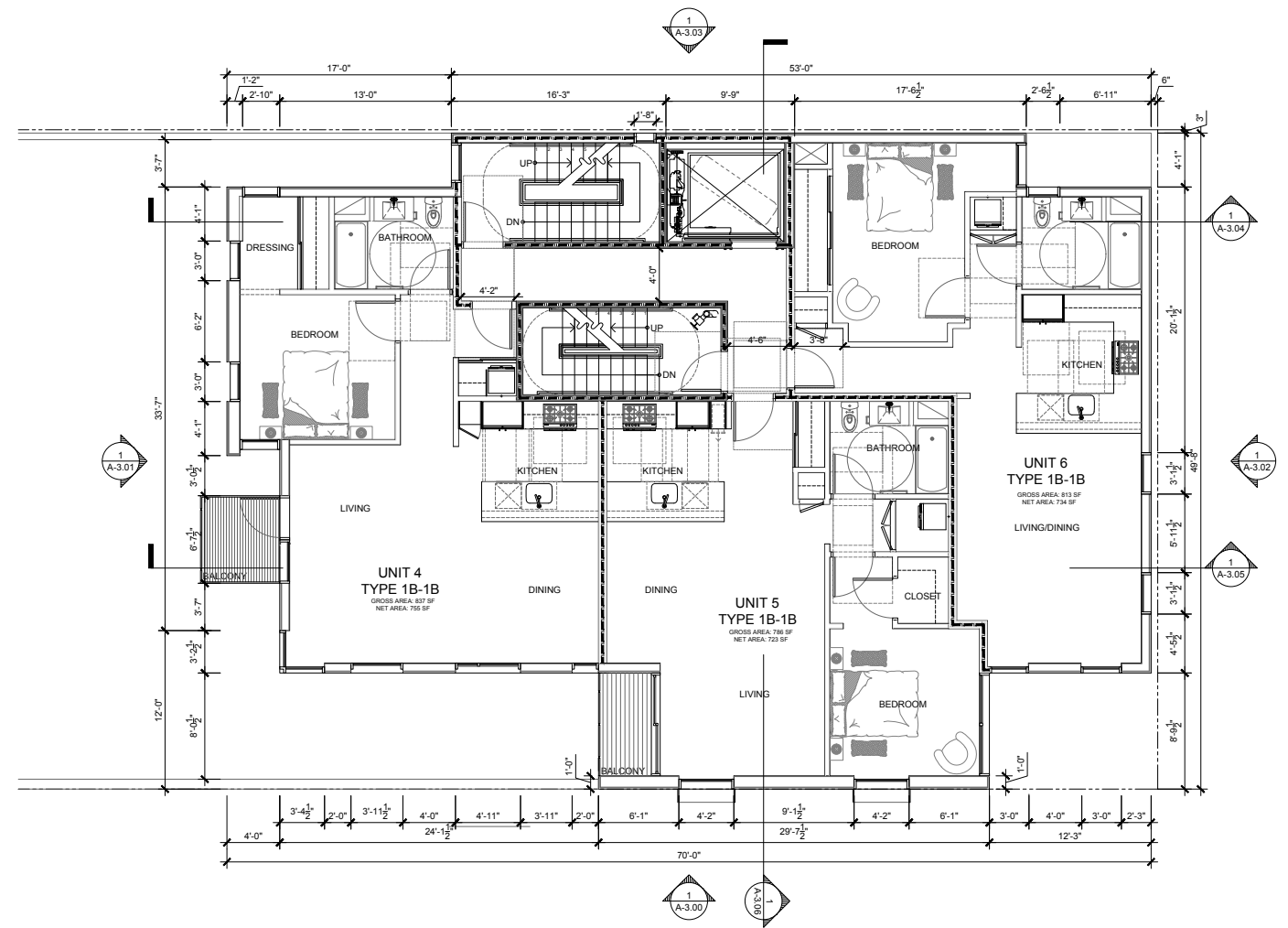
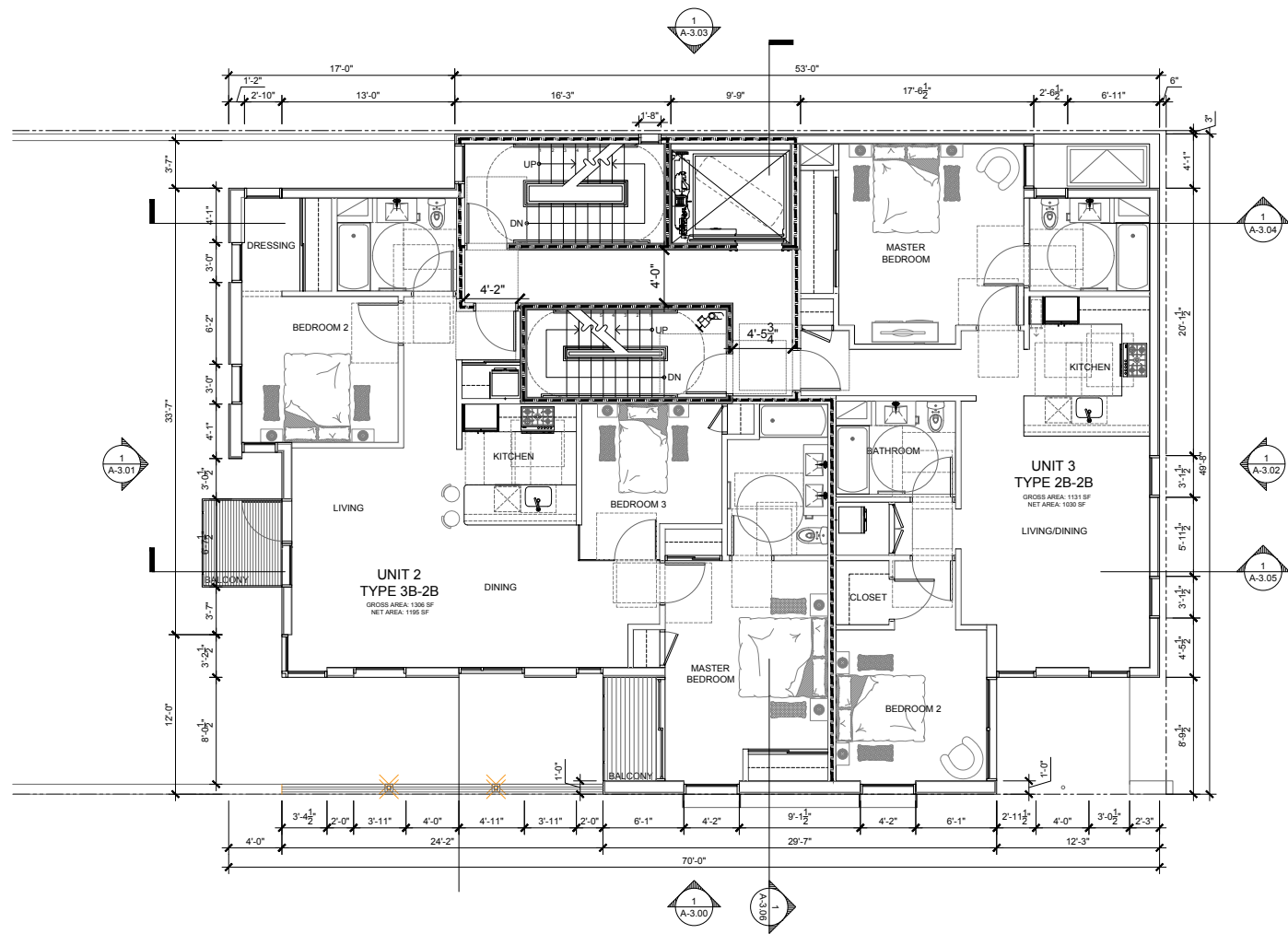
**PROPOSED BUILDING PLANS:  
BASEMENT + FIRST FLOOR**

3620 BUCHANAN

SHEET #: 14



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f: 415.512.9663  
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**LEGEND**

- 1 HOUR FIRE RATED WALL
- 2 HOUR FIRE RATED WALL
- 3 HOUR FIRE RATED WALL



N.T.S

**LEGEND**

- 1 HOUR FIRE RATED WALL
- 2 HOUR FIRE RATED WALL
- 3 HOUR FIRE RATED WALL



N.T.S

**PROPOSED P2 PLAN**

**PROPOSED P3 PLAN**

Tusker Corporation  
3636 Buchanan St.  
San Francisco, CA 94123

Date of Package:  
July 31, 2018

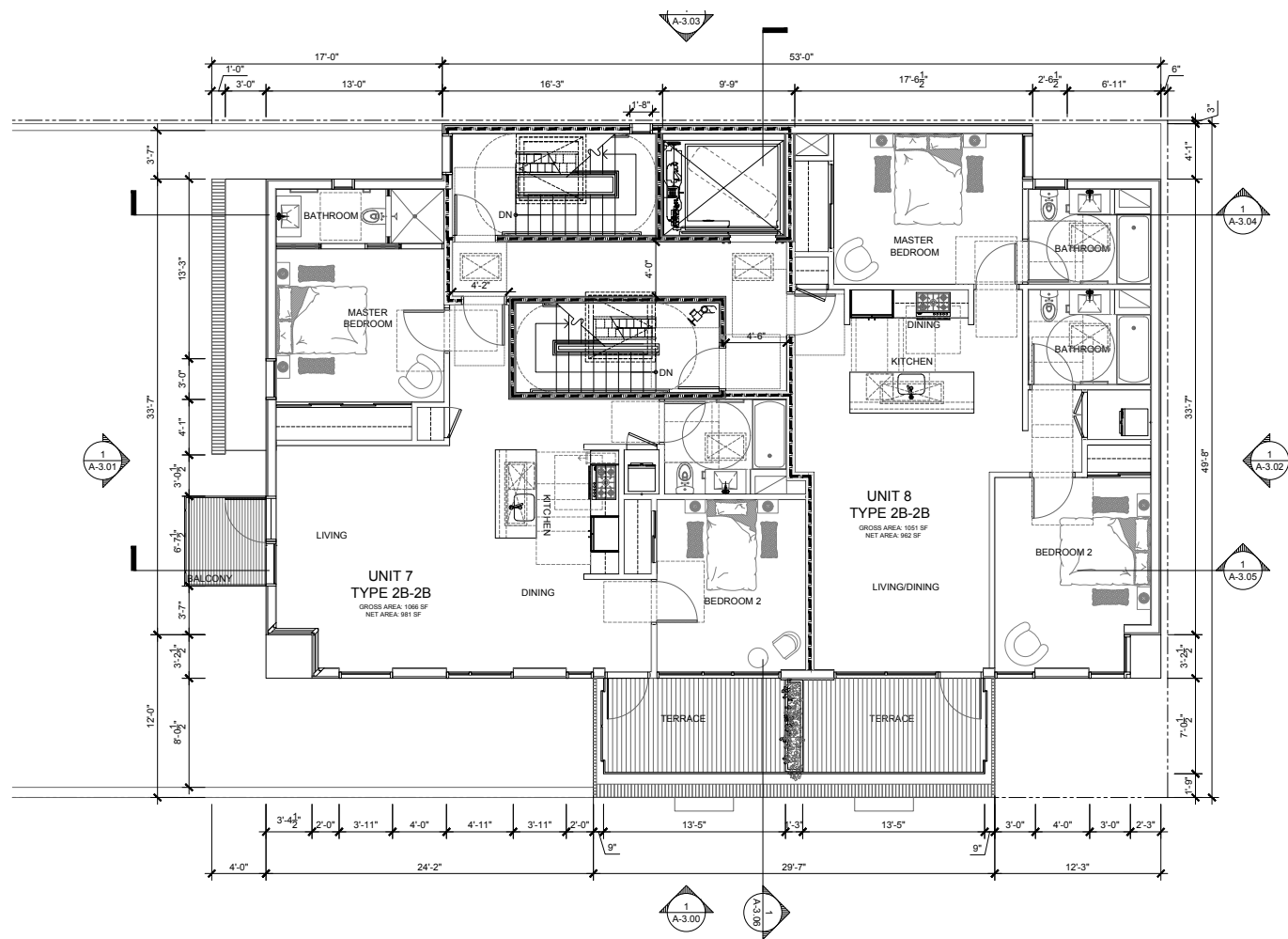
**PROPOSED BUILDING PLANS:  
SECOND + THIRD FLOOR**

3620 BUCHANAN

SHEET #: 15



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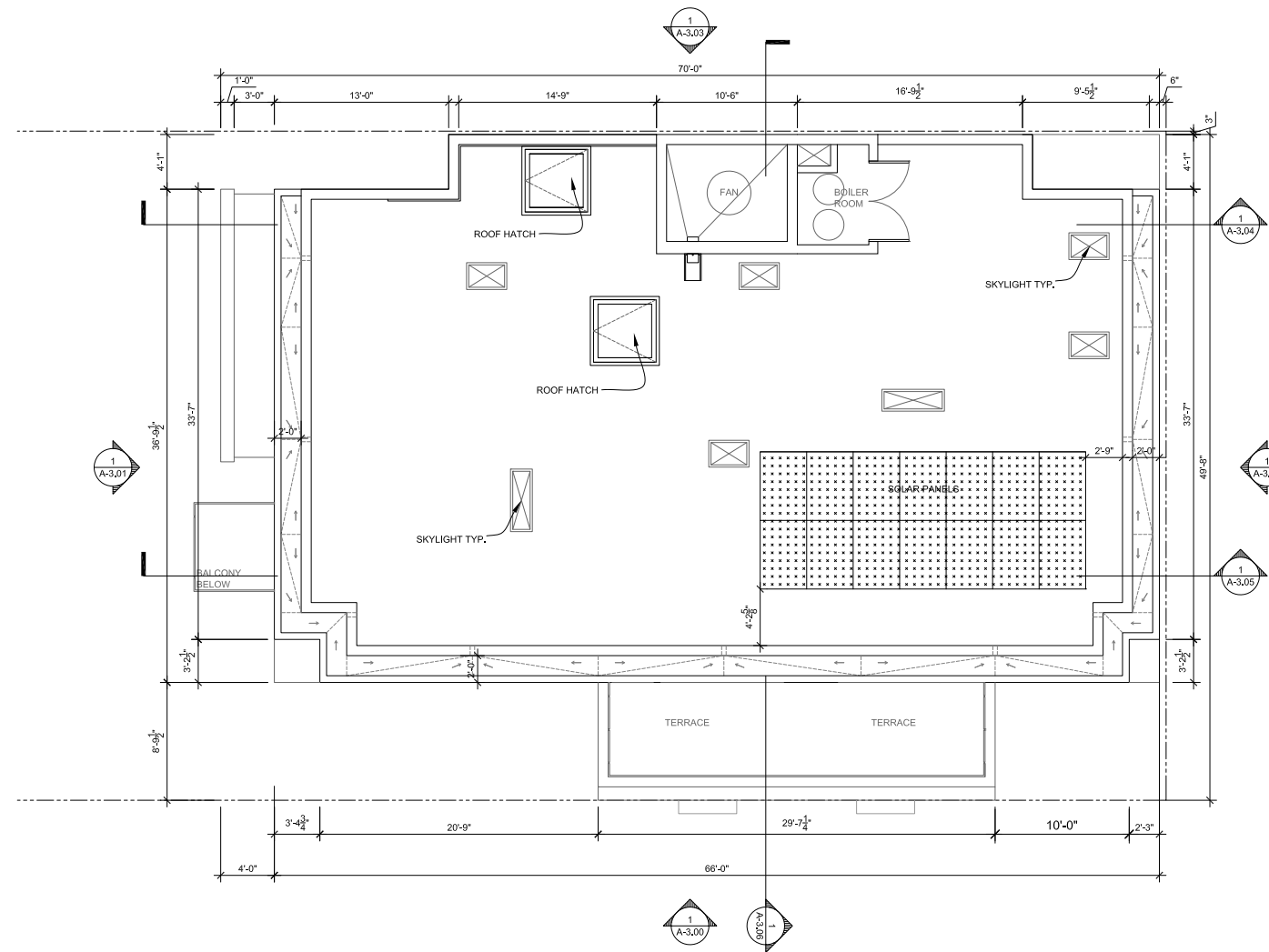


LEGEND

- 1 HOUR FIRE RATED WALL
- 2 HOUR FIRE RATED WALL
- 3 HOUR FIRE RATED WALL



N.T.S



LEGEND

- 1 HOUR FIRE RATED WALL
- 2 HOUR FIRE RATED WALL
- 3 HOUR FIRE RATED WALL



N.T.S

PROPOSED P4 PLAN

PROPOSED ROOF PLAN

Tusker Corporation  
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San Francisco, CA 94123

Date of Package:  
July 31, 2018

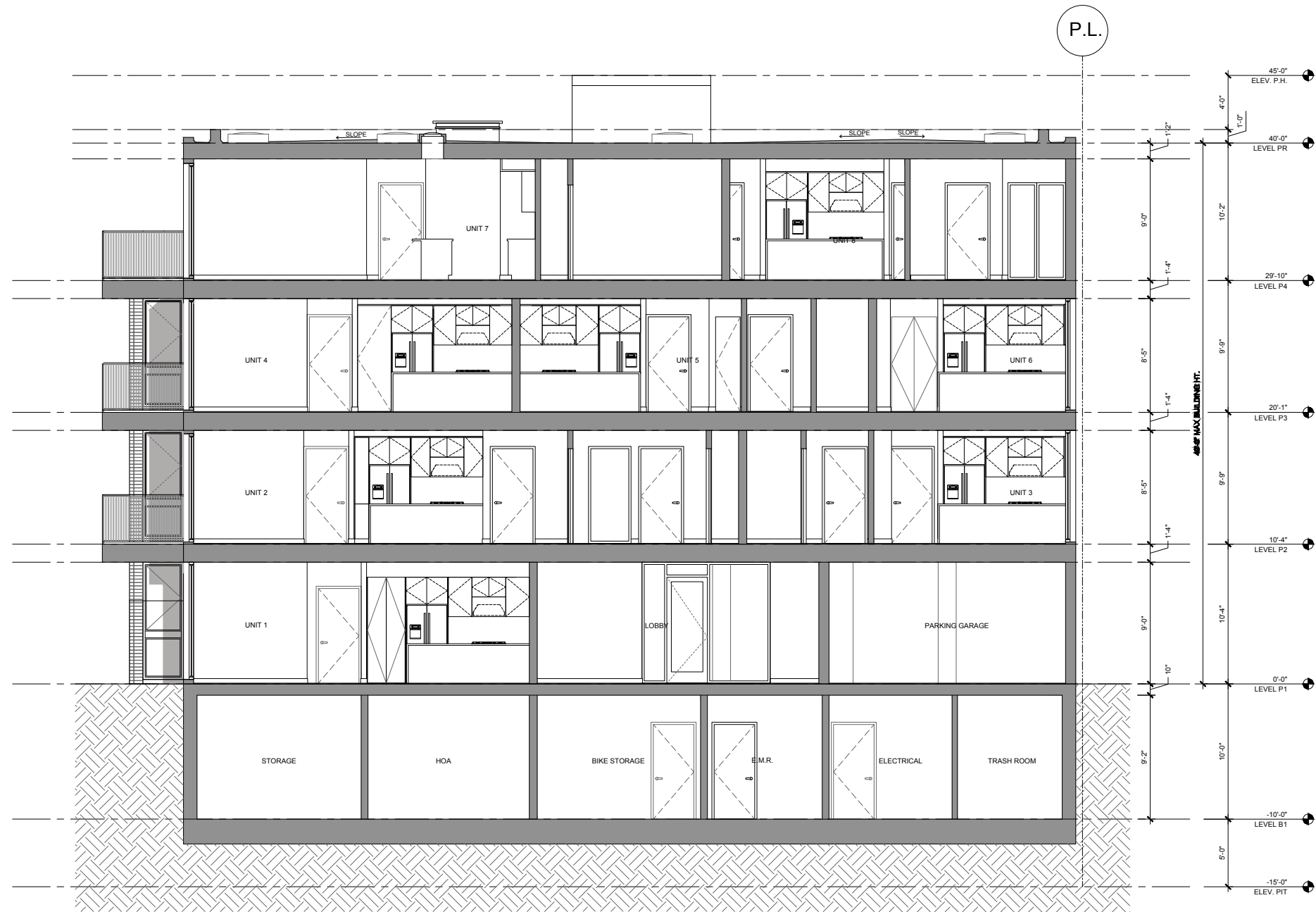
PROPOSED BUILDING PLANS  
FOURTH FLOOR + ROOF

3620 BUCHANAN

SHEET #: 16



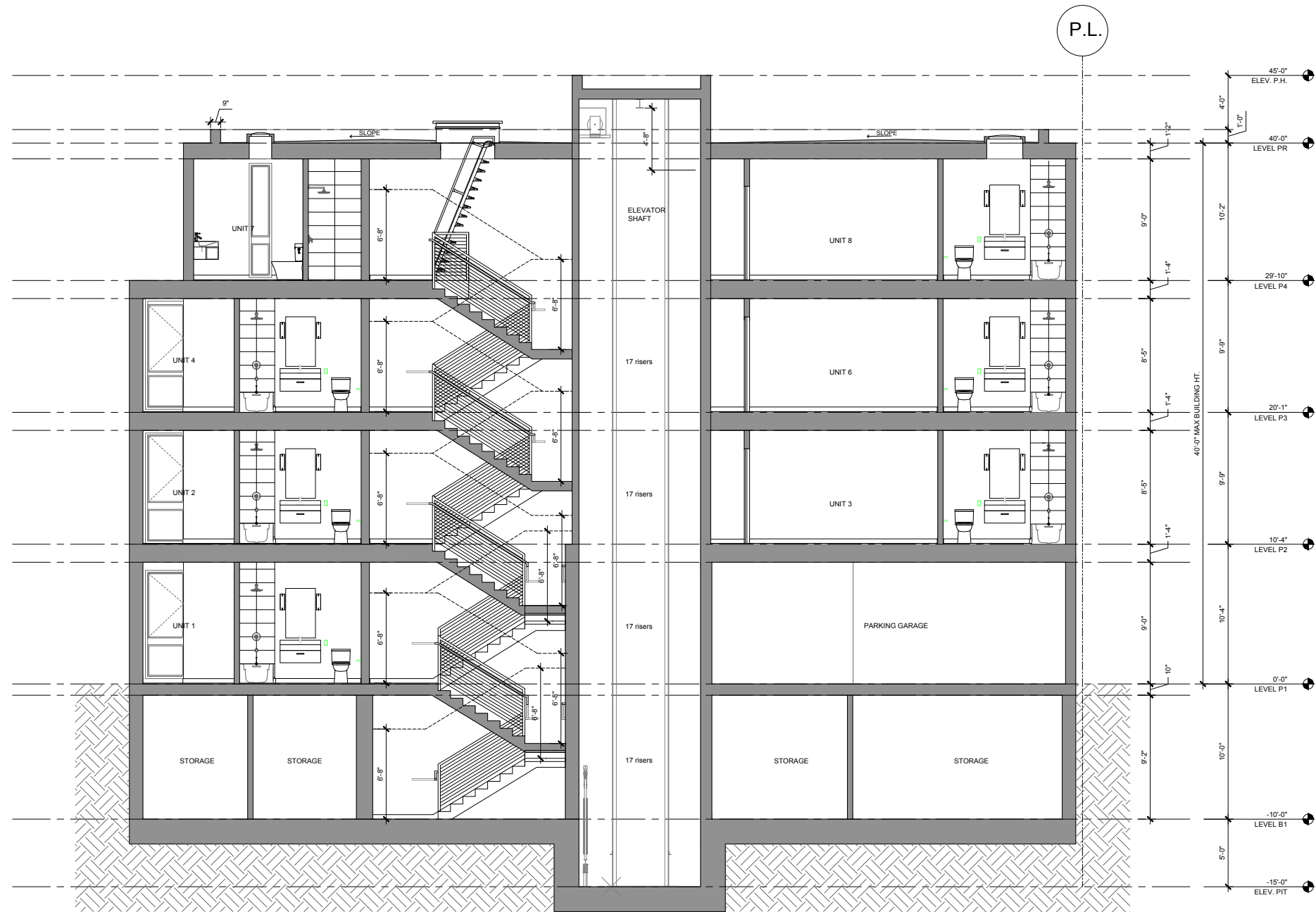
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**BUILDING SECTION 1**

**N.T.S**

<p>Tusker Corporation 3636 Buchanan St. San Francisco, CA 94123</p>	<p>Date of Package: July 31, 2018</p>	<p><b>PROPOSED BUILDING SECTION</b></p>	<p>3620 BUCHANAN</p> <hr/> <p>SHEET #: 17</p>	<p style="text-align: center;">  </p> <p>             Ian Birchall and Associates              251 South Van Ness Ave, Suite 300              San Francisco, CA 94103              p: 415.512.9660              f: 415.512.9663              www.ibadesign.com         </p>
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**BUILDING SECTION 2**

**N.T.S**

Tusker Corporation  
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 San Francisco, CA 94123

Date of Package:  
 July 31, 2018

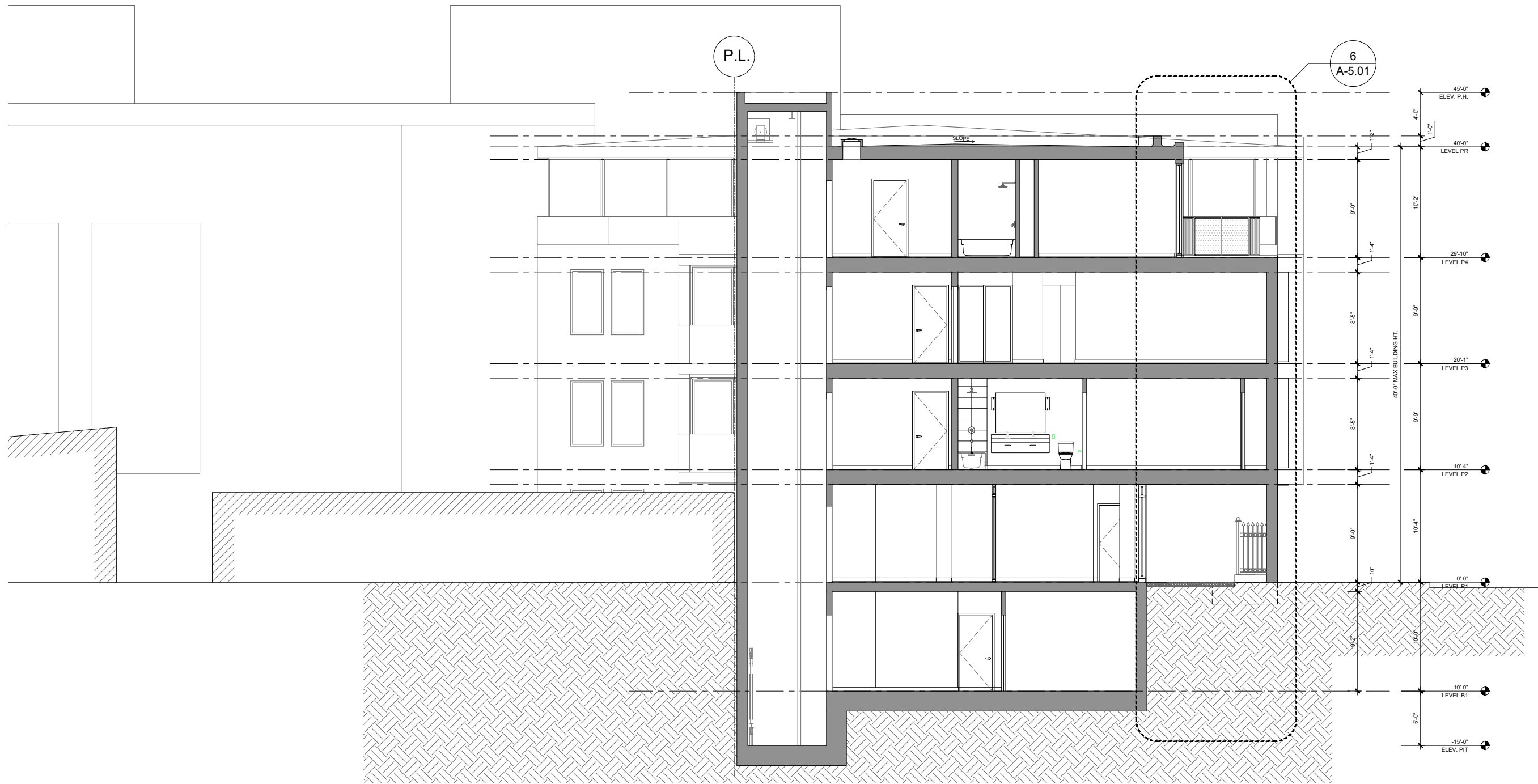
**PROPOSED BUILDING SECTION**

3620 BUCHANAN

SHEET #: 18



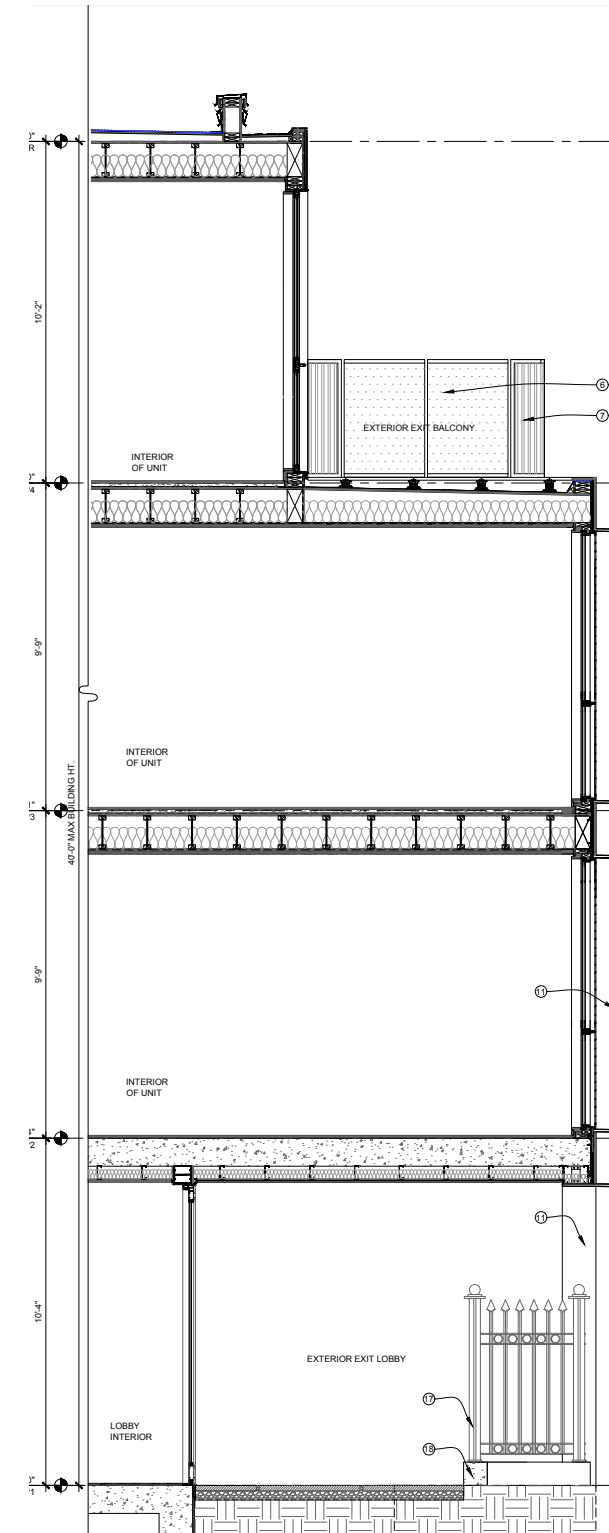
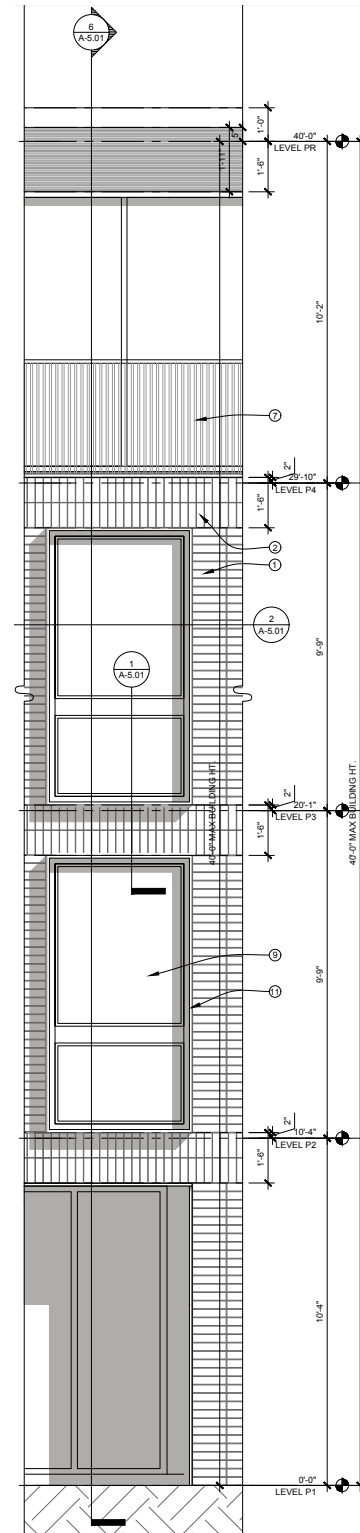
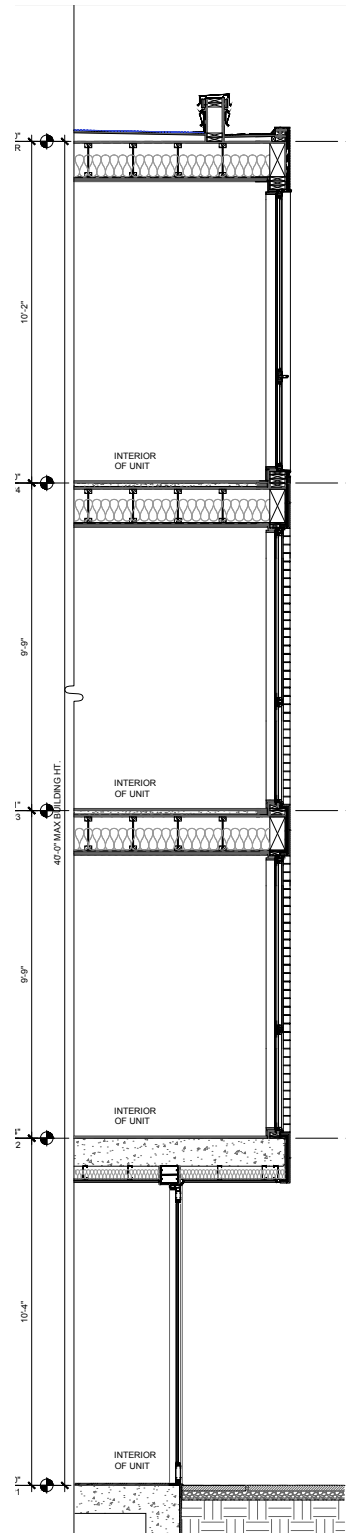
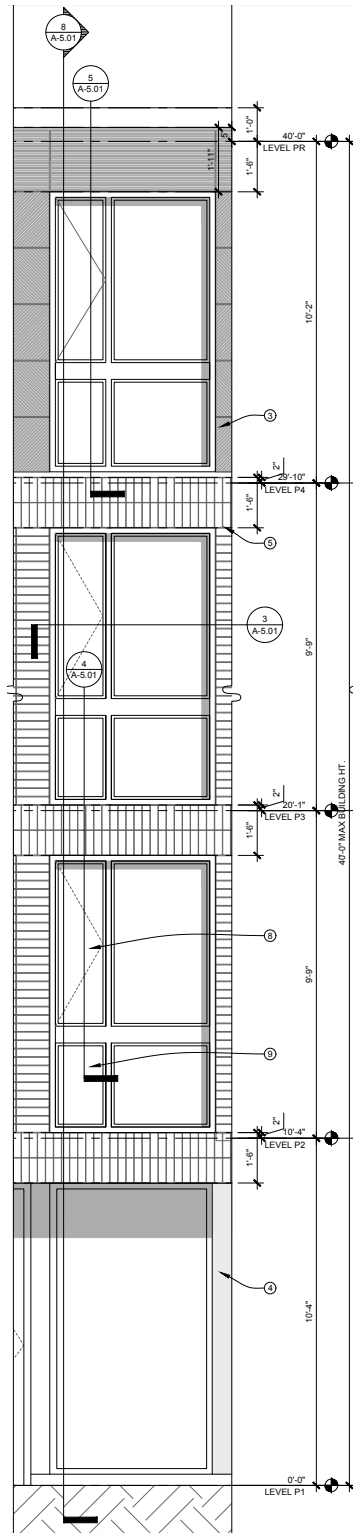
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**BUILDING SECTION 3**

**N.T.S**

<p>Tusker Corporation 3636 Buchanan St. San Francisco, CA 94123</p>	<p>Date of Package: July 31, 2018</p>	<p><b>PROPOSED BUILDING SECTION</b></p>	<p>3620 BUCHANAN</p>	<p>ib+a architecture Ian Birchall and Associates 251 South Van Ness Ave, Suite 300 San Francisco, CA 94103 p: 415.512.9660 f: 415.512.9663 www.ibadesign.com</p>
			<p>SHEET #: 19</p>	



- 1 THIN BRICK VENEER - STACK BOND (NORMAN SIZE)
- 2 THIN BRICK VENEER - SAILOR COURSE (NORMAN SIZE)
- 3 EQUITONE PANEL (LINEA LT20)
- 4 ALUMINUM WALL PANELS
- 5 CONTROL JOINTS
- 6 GLASS GUARDRAIL
- 7 ALUMINUM PICKET GUARDRAIL
- 8 ALUMINUM WINDOWS - OPERABLE W/ CLEAR GLAZING
- 9 ALUMINUM WINDOWS - NON OPERABLE W/ CLEAR GLAZING
- 10 ALUMINUM WINDOWS - NON OPERABLE W/ FRITTED GLASS
- 11 ALUMINUM SHADOW BOX FRAME
- 12 CUSTOM GARAGE DOOR - WITH EQUITONE PANEL
- 13 ELEVATOR PENTHOUSE - STUCCO
- 14 ADJACENT BUILDING
- 15 BUILDING BEYOND
- 16 EXISTING BRICK WALL
- 17 WROUGHT IRON FENCE
- 18 CONCRETE CURB

FRONT ELEVATION N.T.S

WALL SECTION N.T.S

FRONT ELEVATION N.T.S

WALL SECTION N.T.S

KEYNOTES

Tusker Corporation  
3636 Buchanan St.  
San Francisco, CA 94123

Date of Package:  
July 31, 2018

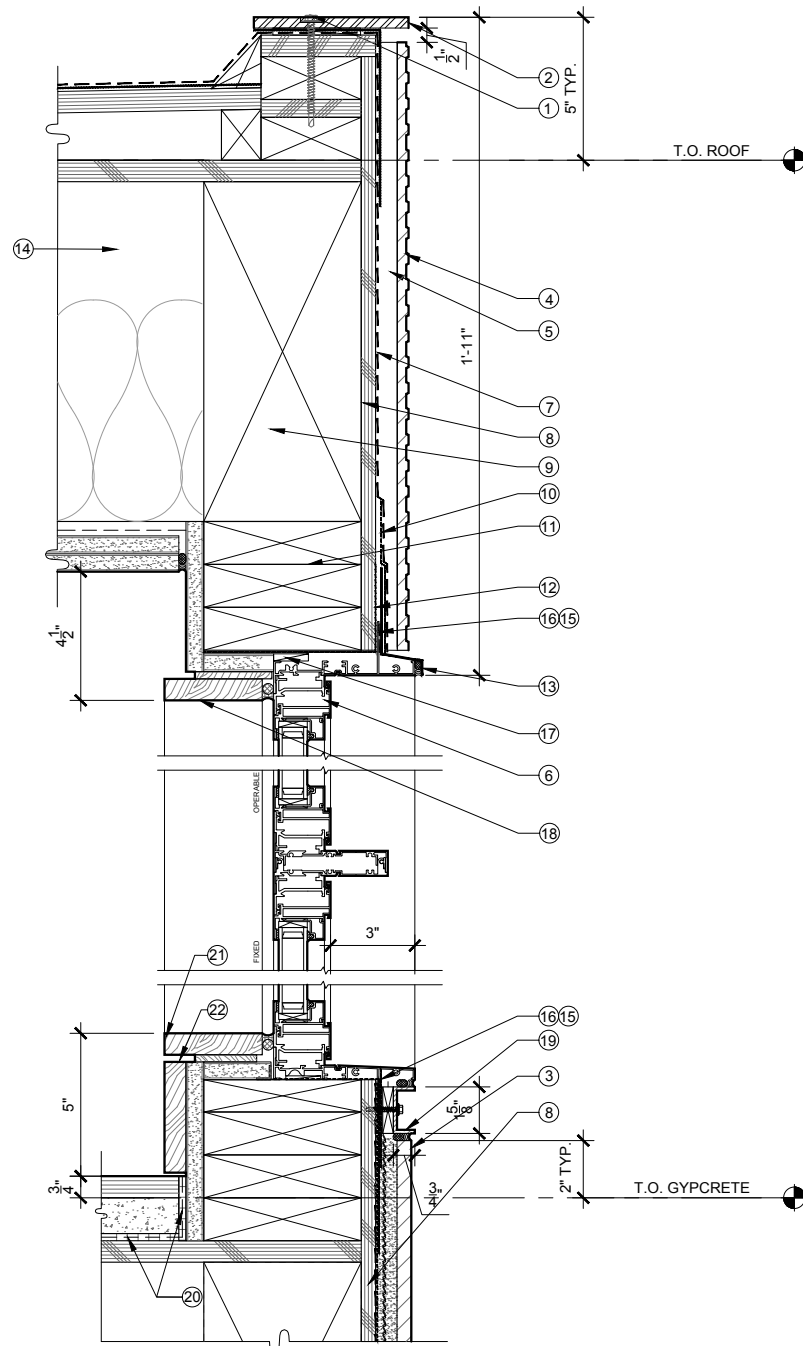
PROPOSED WALL SECTIONS

3620 BUCHANAN

SHEET #: 20



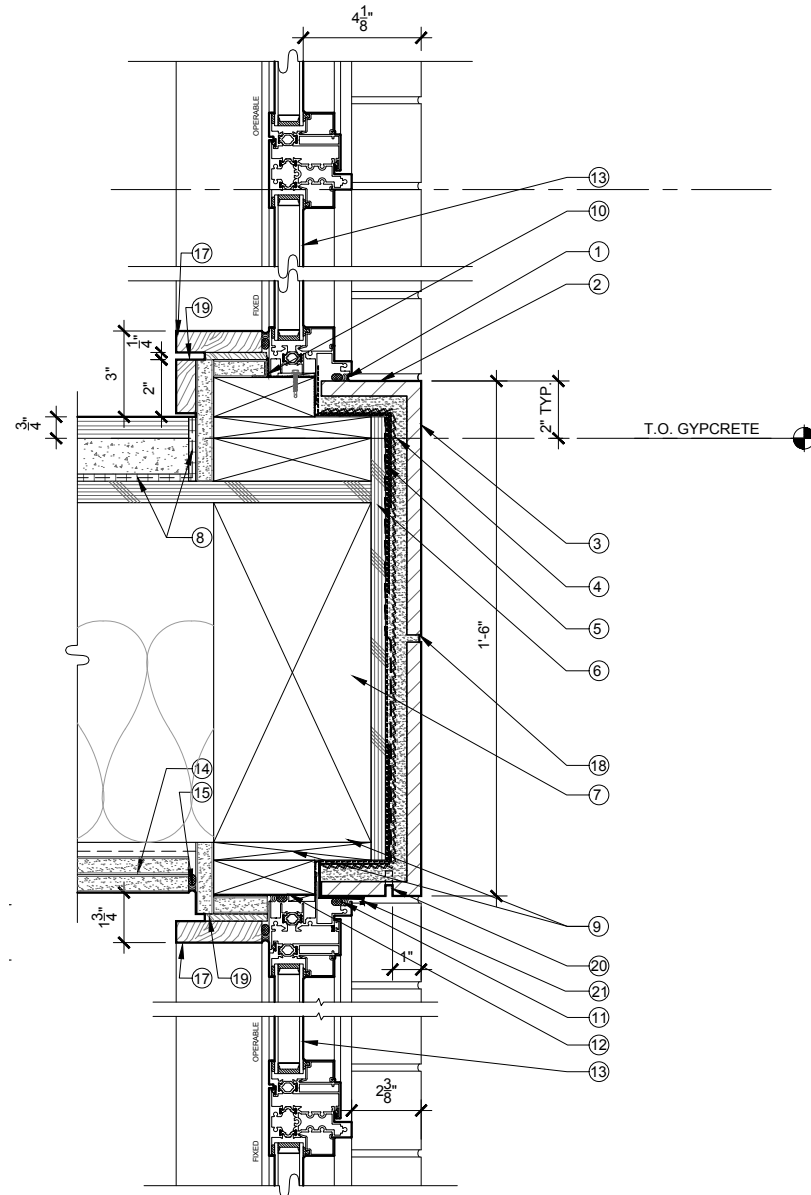
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- ① SSTL 3/8" Ø COACH BOLT & WASHER @ 36" O.C. MAX SET IN 2 CONT. BEADS OF SEALANT
- ② 3/8" ALUM. PC
- ③ THIN BRICK VENEER, SEE SPEC.
- ④ EQUITONE PANEL
- ⑤ FURRING STRIP 16" O.C.
- ⑥ WINDOW HEAD
- ⑦ WRB, 2 LAYERS O/ QUICKFLASH
- ⑧ PLYWOOD AS REQUIRED, S.S.D.
- ⑨ 6X12 RIM JOINT, S.S.D.
- ⑩ 9" WIDE STRAIGHT FLASH O/ HEAD FLASHING
- ⑪ 2X6 TOP PLATES, S.S.D.
- ⑫ 9" FLEX WRAP.
- ⑬ ALUM HEAD FLASHING TO MATCH WINDOW FR. COLOR
- ⑭ 1 HR RATED ROOF ASSEMBLY SEE SCHED
- ⑮ FLUID APPLIED FLASHING AND JOINT COMPOUND O/ NAIL FIN
- ⑯ NAIL FIN O/ CONT. BEAD OF SEALANT
- ⑰ SHIM
- ⑱ TRIM, SEE SPEC.
- ⑲ ALUMINUM C CHANNEL TO MATCH WINDOW O/ FURRING STRIP EMBEDDED IN A CONTINUOUS BEAD OF SEALANT
- ⑳ ACOUSTIC MAT
- ㉑ 3/4" WOOD CASING
- ㉒ 1/2" BLACKED OUT REVEAL

**WINDOW HEAD @ EQUITONE**

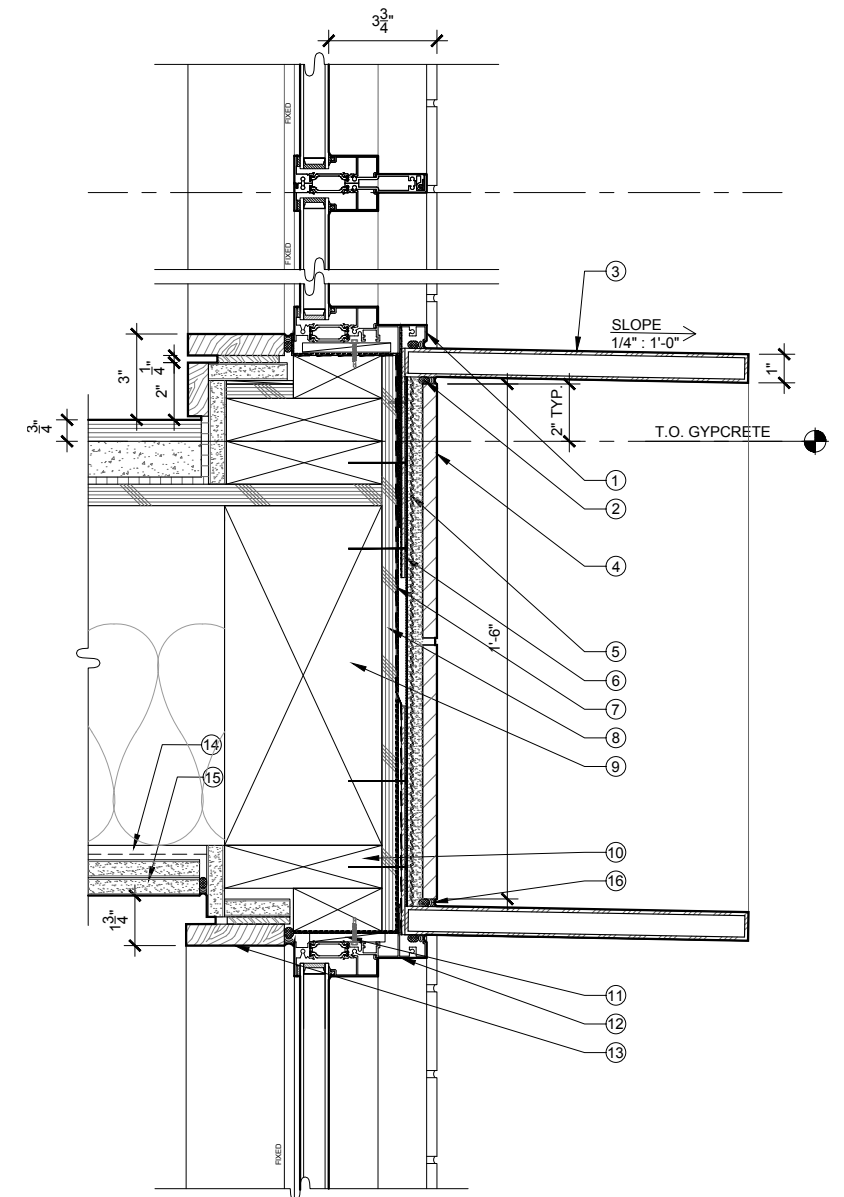
N.T.S



- ① BACKER ROD AND SEALANT WITH WEEPS
- ② WINDOW SILL
- ③ THIN BRICK VENEER, SEE SPEC.
- ④ LATH WITH 1/2" TO 3/4" MODIFIED MORTAR AND 1/8" ADHESIVE
- ⑤ WRB, 2 LAYERS O/ QUICKFLASH
- ⑥ PLYWOOD S.S.D.
- ⑦ 6X12, S.S.D.
- ⑧ ACOUSTIC MAT
- ⑨ BLOCKING, RIP TO FIT
- ⑩ BACK DAM IN FULL BED OF SEALANT
- ⑪ BACKER ROD AND SEALANT
- ⑫ SHIM
- ⑬ THERMALLY BROKEN ALUM. WINDOW
- ⑭ (2) LAYERS OF 5/8" GYP.
- ⑮ BRS
- ⑯ 3/4" WOOD CASING
- ⑰ MAX 1/8" MORTAR JOINT - RAKED OUT
- ⑱ 1/2" BLACKED OUT REVEAL
- ⑲ 1/2" Ø PLASTIC WEEP PIPES IN JOINTS SET FLUSH W/ MORTAR - 1 PER JOINT
- ㉑ ALUM. HEAD FLASHING - COLOR TO MATCH WINDOW FRAME

**WINDOW SILL AND HEAD @ BRICK**

N.T.S



- ① WINDOW SILL
- ② BACKER ROD AND SEALANT
- ③ ALUMINUM TUBE FRAME 12" X1" COLOR TO MATCH WINDOW FRAME
- ④ THIN BRICK VENEER, 1/2" GROUT, SEE SPEC.
- ⑤ LATH OR MESH WITH 1/2" TO 3/4" MODIFIED MORTAR AND 1/8" ADHESIVE, SEE MANU.
- ⑥ ANCHOR PLATE SCREWED TO FRAMING
- ⑦ WRB, 2 LAYERS
- ⑧ PLYWOOD AS REQUIRED, S.S.D.
- ⑨ 6X12, S.S.D.
- ⑩ 2X6 TOP PLATES, S.S.D.
- ⑪ SHIM
- ⑫ WINDOW HEAD
- ⑬ TRIM, SEE SPEC.
- ⑭ ACOUSTIC MAT
- ⑮ (2) LAYERS OF 5/8" GYP.
- ⑯ SEALANT W/ WEEPS

**WINDOW SILL AND HEAD WITH FIN @ BRICK**

N.T.S

Tusker Corporation  
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San Francisco, CA 94123

Date of Package:  
July 31, 2018

**PROPOSED WALL + WINDOW DETAILS**

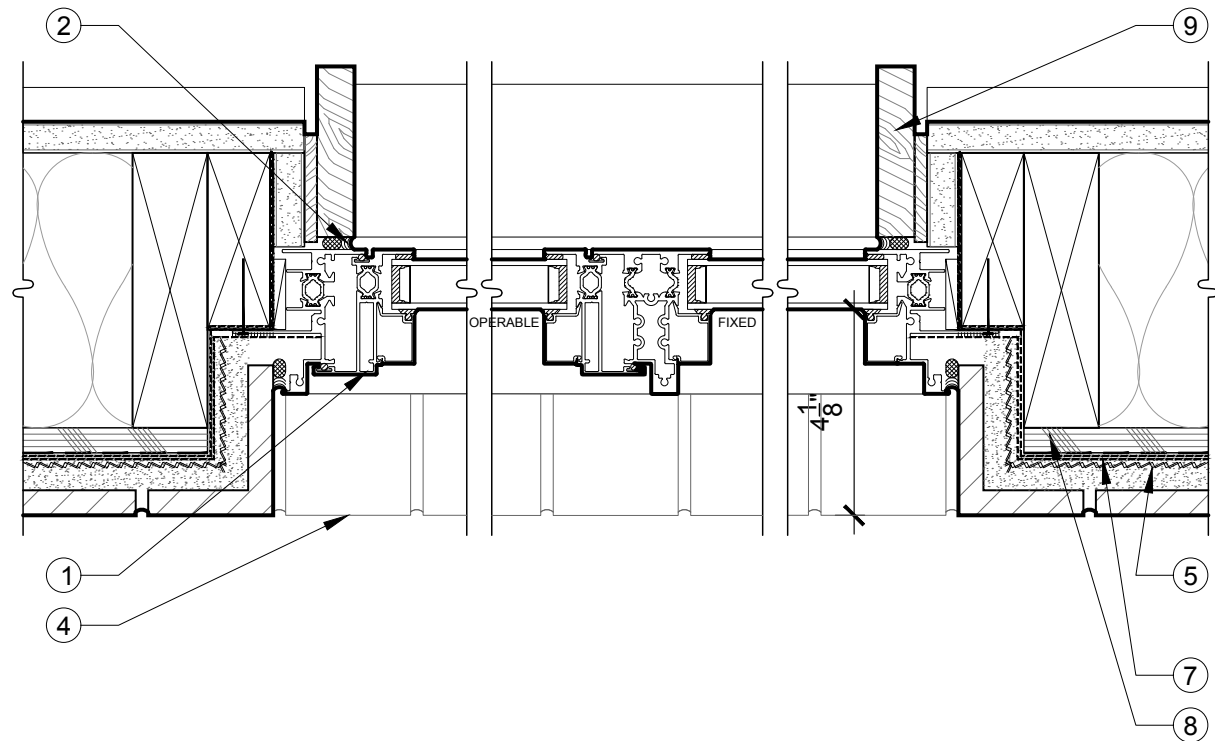
3620 BUCHANAN

SHEET #: 21



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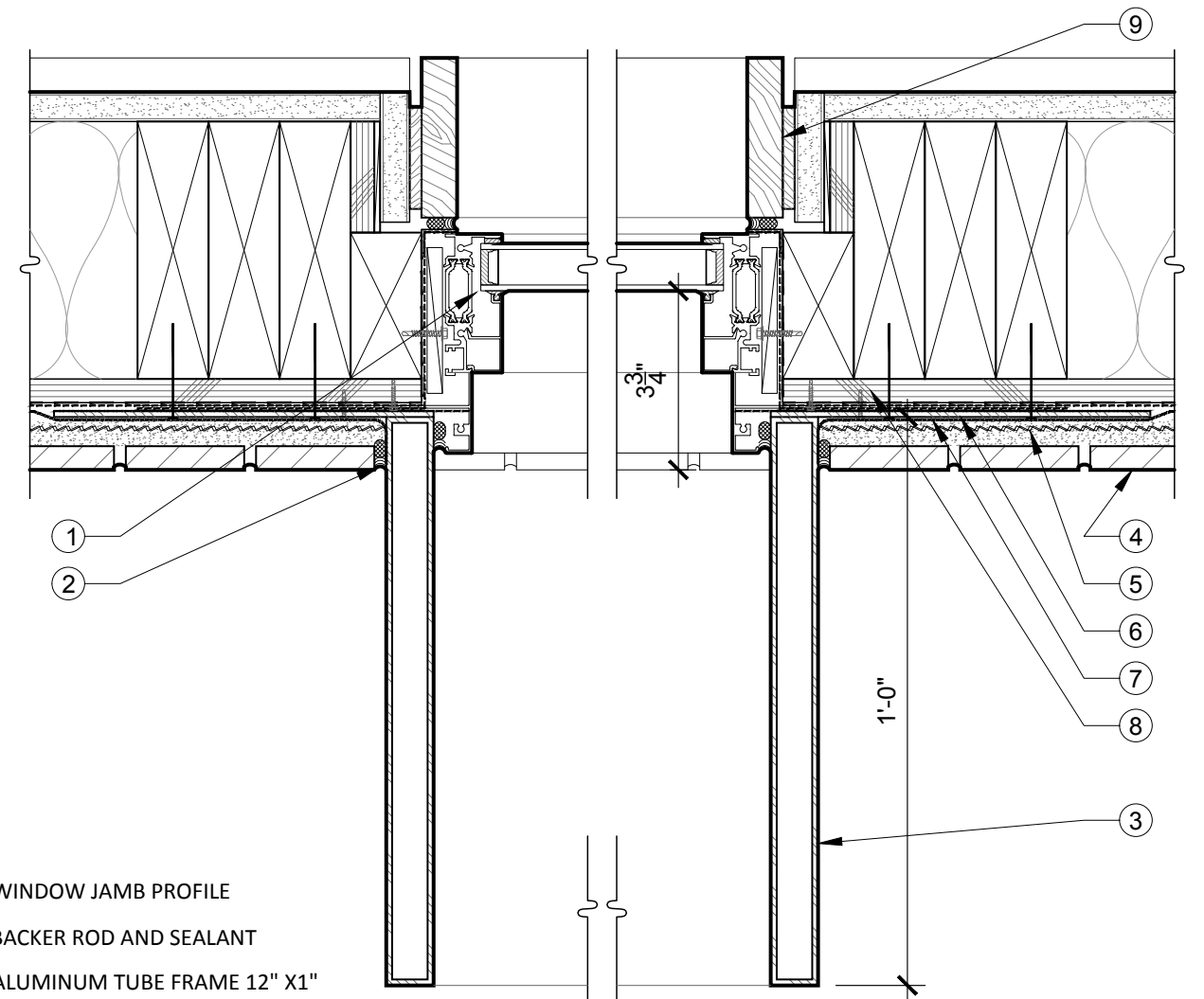




- ① WINDOW JAMB PROFILE
- ② BACKER ROD AND SEALANT
- ③ ALUMINUM TUBE FRAME 12" X1" COLOR TO MATCH WINDOW FRAME
- ④ THIN BRICK VENEER, 1/2" GROUT, SEE SPEC.
- ⑤ LATH OR MESH WITH 1/2" TO 3/4" MODIFIED MORTAR AND 1/8" ADHESIVE, SEE MANU.
- ⑥ ANCHOR PLATE SCREWED TO FRAMING
- ⑦ WRB, 2 LAYERS
- ⑧ PLYWOOD AS REQUIRED, S.S.D.
- ⑨ TRIM, SEE SPEC.

**WINDOW JAMB @ BRICK WALL**

N.T.S



- ① WINDOW JAMB PROFILE
- ② BACKER ROD AND SEALANT
- ③ ALUMINUM TUBE FRAME 12" X1" COLOR TO MATCH WINDOW FRAME
- ④ THIN BRICK VENEER, 1/2" GROUT, SEE SPEC.
- ⑤ LATH OR MESH WITH 1/2" TO 3/4" MODIFIED MORTAR AND 1/8" ADHESIVE, SEE MANU.
- ⑥ ANCHOR PLATE SCREWED TO FRAMING
- ⑦ WRB, 2 LAYERS
- ⑧ PLYWOOD AS REQUIRED, S.S.D.
- ⑨ TRIM, SEE SPEC.

**WINDOW JAMB WITH FIN @ BRICK WALL**

N.T.S

Tusker Corporation  
3636 Buchanan St.  
San Francisco, CA 94123

Date of Package:  
July 31, 2018

**PROPOSED WALL + WINDOW DETAILS**

3620 BUCHANAN

SHEET #: 22



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San Francisco, CA 94123

Date of Package:  
July 31, 2018

**AERIAL VIEW OF PROPOSED DESIGN FOR 3620 BUCHANAN**

3620 BUCHANAN

SHEET #: 23



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San Francisco, CA 94123

Date of Package:  
July 31, 2018

**VIEW OF PROPOSED DESIGN FOR 3620 BUCHANAN  
FROM THE INTERSECTION OF BUCHANAN AND NORTH POINT**

3620 BUCHANAN

SHEET #: 24

**ib+a**  
architecture

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Date of Package:  
July 31, 2018

**VIEW OF PROPOSED DESIGN FROM  
THE LANDMARK BUILDING TOWARDS 3620 BUCHANAN**

3620 BUCHANAN

SHEET #: 25



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July 31, 2018

**VIEW OF PROPOSED DESIGN FOR 3620 BUCHANAN**

3620 BUCHANAN

SHEET #: 26



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Date of Package:  
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**VIEW OF PROPOSED DESIGN FOR 3620 BUCHANAN**

3620 BUCHANAN

SHEET #: 27

**ib+a**  
architecture

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 July 31, 2018

**VIEW FROM 3620 BUCHANAN  
 TOWARDS THE LANDMARK BUILDING**

3620 BUCHANAN

SHEET #: 28



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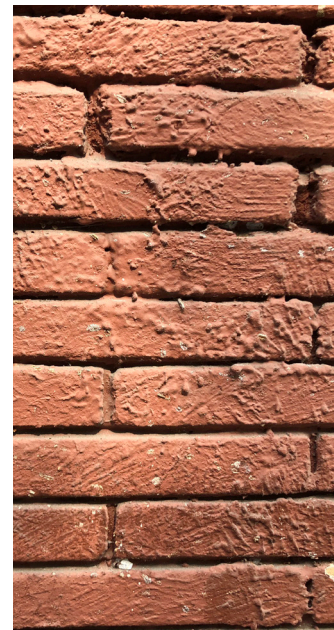
**BUCHANAN STREET ELEVATION**



1. LANDMARK BUILDING - TYPICAL WINDOW



2. LANDMARK BUILDING BRICK



3. EXISTING GARDEN WALL BRICK



4. 3620 BUCHANAN - PROPOSED TYPICAL WINDOW



5. PROPOSED BRICK FOR SUBJECT PROPERTY



6. 1598 BAY - TYPICAL WINDOW



7. 1598 BAY ST. BRICK

**WINDOW DETAIL IMAGES**

Tusker Corporation  
3636 Buchanan St.  
San Francisco, CA 94123

Date of Package:  
July 31, 2018

**VISUAL COMPATABILITY ANALYSIS:  
EXISTING / PROPOSED WINDOW + BRICK DESIGN**

3620 BUCHANAN

SHEET #: 29



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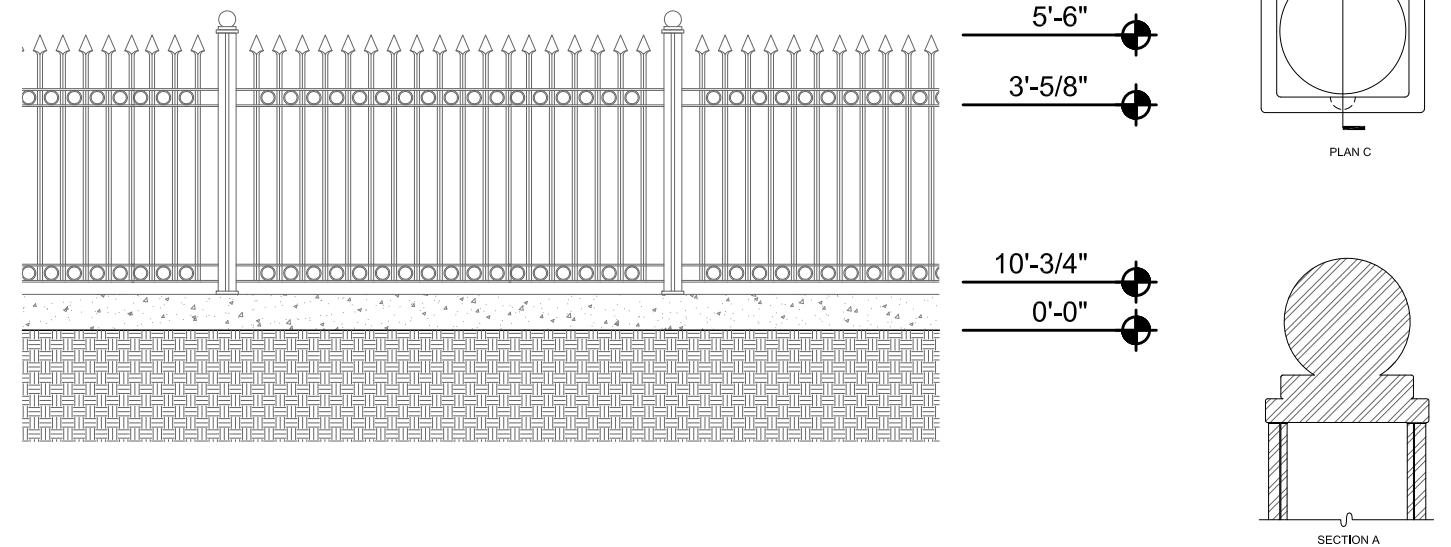
EXISTING FENCE + GATES AT LANDMARK BUILDING



PROPOSED FENCE AT 3620 BUCHANAN



PROPOSED FENCE + GATES AT BUILDING ENTRY



PROPOSED FENCE ELEVATION

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San Francisco, CA 94123

Date of Package:  
July 31, 2018

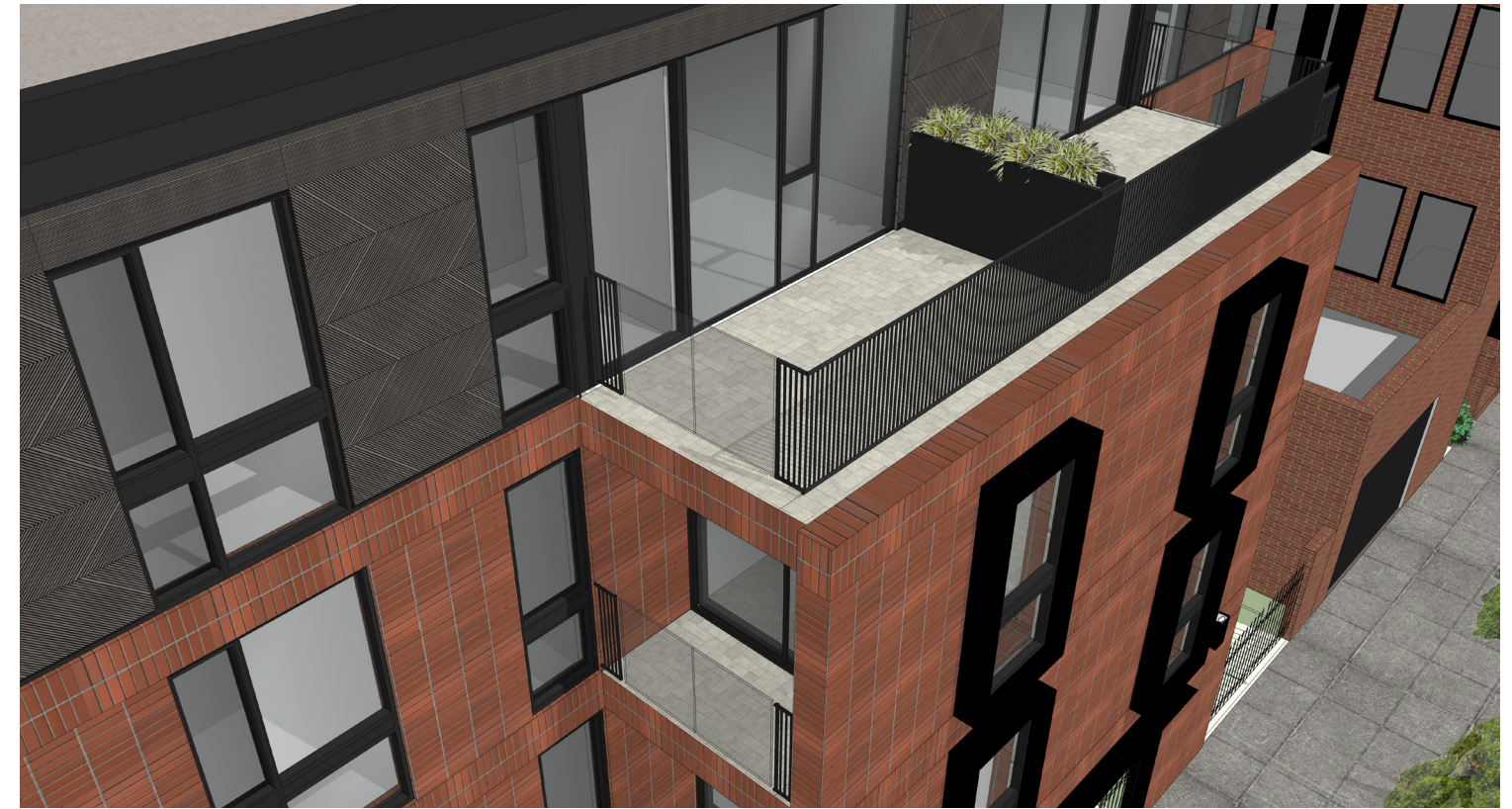
**VISUAL COMPATABILITY ANALYSIS:**  
**EXISTING / PROPOSED FENCE DESIGN**

3620 BUCHANAN

SHEET #: 30

**ib+a**  
architecture

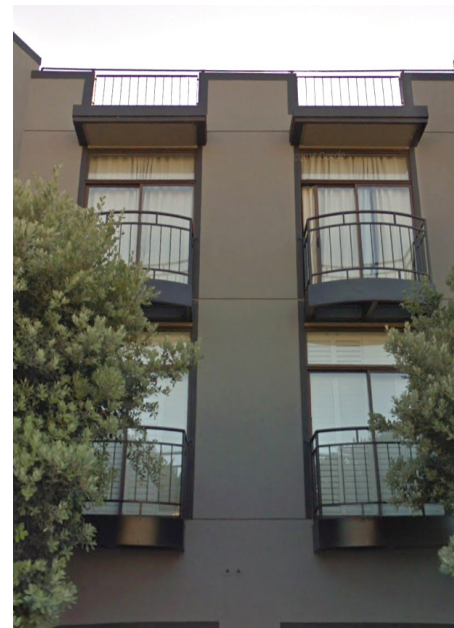
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PROPOSED RAILING DESIGN AT 3620 BUCHANAN



1598 BAY



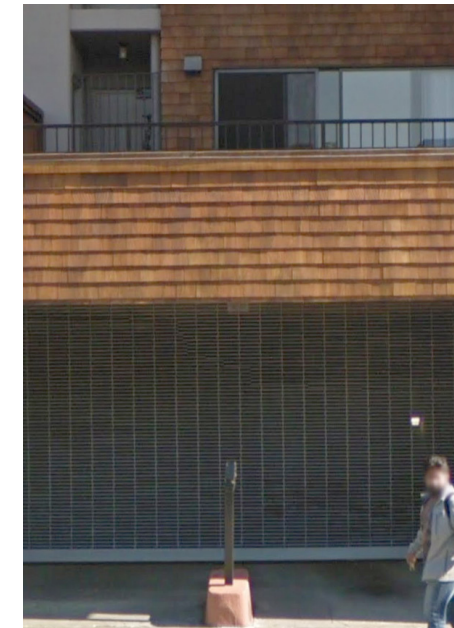
3611 BUCHANAN



1550 BAY



1550 BAY



1515 NORTH POINT



3501 LAGUNA

EXISTING RAILING DESIGNS OF NEIGHBORING PROPERTIES

Tusker Corporation  
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San Francisco, CA 94123

Date of Package:  
July 31, 2018

**VISUAL COMPATABILITY ANALYSIS:  
EXISTING / PROPOSED RAILING DESIGN**

3620 BUCHANAN

SHEET #: 31



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file copy

FILE NO. 90-73-8

ORDINANCE NO. 12-74

1 DESIGNATING MERRYVALE ANTIQUES AS A LANDMARK PURSUANT TO ARTICLE 10 OF THE CITY  
 2 PLANNING CODE.  
 3 Be it ordained by the people of the City and County of San Francisco:  
 4 Section 1. The Board of Supervisors hereby finds that Merryvale Antiques at  
 5 3640 Buchanan Street, being Lot 3 in Assessor's Block 459, has a special character  
 6 and special historical, architectural and aesthetic interest and value, and that its  
 7 designation as a Landmark will be in furtherance of and in conformance with the  
 8 purposes of Article 10 of the City Planning Code and the standards set forth therein.  
 9 (a) Designation. Pursuant to Section 1004 of the City Planning Code,  
 10 Chapter II, Part II of the San Francisco Municipal Code, Merryvale Antiques is  
 11 hereby designated as a Landmark, this designation having been duly approved by  
 12 Resolution No. 7076 of the City Planning Commission, which Resolution is on file  
 13 with the Clerk of the Board of Supervisors under File No.  
 14 (b) Required Data. The location and boundaries of the landmark site, the  
 15 characteristics of the landmark which justify its designation, and the particular  
 16 features that should be preserved, described and included in the said Resolution,  
 17 are hereby incorporated herein and made a part hereof as though fully set forth.

Passed for Second Reading  
 Board of Supervisors, San Francisco  
 DEC 26 1973

Ayes: Supervisors Barbagelata, Chinn, Feinstein,  
~~Evans~~, Gonzales, Kopp, Mendelsohn, Molinari,  
 Pelosi, Tamaras, von Beroldingen.

Noes: Supervisors

Absent: Supervisors, ... FRANCOIS

*Philip Doyle* ACTING Clerk

90-73-8  
 File No.

JAN 4 1974  
 Approved

Read Second Time and Finally Passed  
 Board of Supervisors, San Francisco  
 JAN 2 1974

Ayes: Supervisors Barbagelata, Chinn, Feinstein,  
~~Evans~~, Gonzales, ~~Kopp~~, Mendelsohn, Molinari,  
 Pelosi, Tamaras, von Beroldingen.

Noes: Supervisors

Absent: Supervisors ... FRANCOIS ... KOPP

I hereby certify that the foregoing ordinance was  
 finally passed by the Board of Supervisors of the  
 City and County of San Francisco

*Robert J. Dolan* Clerk  
*Joseph L. Alioto* Mayor

SAN FRANCISCO

CITY PLANNING COMMISSION

RESOLUTION NO. 7076

WHEREAS, A proposal to designate Merryvale at 3640 Buchanan Street as a Landmark pursuant to the provisions of Article 10 of the City Planning Code was initiated by the Landmarks Preservation Advisory Board on August 22, 1973, and said Advisory Board, after due consideration, has recommended approval of this proposal; and

WHEREAS, The City Planning Commission, after due notice given, held a public hearing on September 20, 1973, to consider the proposed designation and the report of said Advisory Board; and

WHEREAS, The Commission believes that the proposed Landmark has a special character and special historical, architectural and aesthetic interest and value; and that the proposed designation would be in furtherance of and in conformance with the purposes and standards of the said Article 10;

NOW THEREFORE BE IT RESOLVED, First, that the proposal to designate Merryvale at 3640 Buchanan Street as a Landmark pursuant to Article 10 of the City Planning Code is hereby APPROVED, the location and boundaries of the landmark site being as follows:

Beginning at the point of intersection of the southerly line of North Point Street and the easterly line of Buchanan Street; thence easterly along the southerly line of North Point Street for a distance of 118 feet; thence at a right angle southerly for a distance of 69.917 feet; thence at a right angle westerly for a distance of 68.803 feet; thence at a right angle southerly for a distance of 104.75 feet; thence at a right angle westerly for a distance of 49.917 feet; thence at a right angle northerly along the easterly line of Buchanan Street for a distance of 174.667 feet to the point of beginning. Being Lot 3 in Assessor's Block 459, which property is known as 3640 Buchanan Street.

Second, That the special character and special historical, architectural and aesthetic interest and value of the said Landmark justifying its designation are set forth in the Landmarks Preservation Advisory Board Resolution No. 88 as adopted on August 22, 1973, which resolution is incorporated herein and made a part hereof as though fully set forth;

Third, That the said Landmark should be preserved generally in all of its particular exterior features as existing on the date hereof and as described and depicted in the photographs, case report and other material on file in the Department of City Planning Docket LM 73.3;

AND BE IT FURTHER RESOLVED, That the Commission hereby directs its Secretary to transmit the proposal for designation, with a copy of this Resolution, to the Board of Supervisors for appropriate action.

CITY PLANNING COMMISSION

RESOLUTION NO. 7076  
Page Two

I hereby certify that the foregoing Resolution was ADOPTED by the City Planning Commission at its regular meeting of September 20, 1973.

Lynn E. Pio  
Secretary

AYES: Commissioners Farrell, Fleishhacker, Porter, Ritchie, Rueda

NOES: None

ABSENT: Commissioners Mellon, Newman

PASSED: September 20, 1973

OWNER: Merryvale, Incorporated. (Mr. & Mrs. Dent W. Macdonough)

LOCATION: 3640 Buchanan, the southeast corner of Buchanan and North Point Streets, being Lot 3 in Assessor's Block 459.

HISTORY: Established in 1873, the San Francisco Gas Light Company was the result of a series of mergers of various companies, the earliest of which was the San Francisco Gas Company, founded in 1852 by Forty-niners Peter Donahue and his brother James. The brothers, with other family members, had previously established the first iron works in California in 1849. Peter Donahue, to whose memory the Mechanics Monument at Market, Bush and Sansome Streets is erected, also headed the successful completion of the second railroad in California which ran between San Francisco and San Jose.

Within the merged gas companies, Peter Donahue held various offices, the last being that of President of San Francisco Gas Light Company from which he resigned in 1883, one year before his death. Upon his resignation, the Presidency of the San Francisco Gas Light Company was passed on to Eugene P. Murphy who was succeeded in 1885 by Joseph B. Crockett. Although still extremely young, Mr. Crockett had been with the company since its founding twelve years earlier during which time he conceived the idea of a new gas works which would not only be modern but would also be more than adequate for the growing City's immediate needs. In 1884, under his direction, the company purchased three blocks between Webster, Laguna and Bay Streets with the northerly boundary being the Bay itself. In 1891 construction began on the predominately brick buildings which would comprise the new gas works. Also included was an oiler dock - oil was to replace more expensive coal in operating the boilers - a gasometer, and two storage tanks, one with a capacity of two million cubic feet making it the largest of its kind west of Chicago.

Upon its completion in 1893, the complex was hailed as the most modern and best designed in the United States, a tribute to Joseph B. Crockett to whom its design and architecture are attributed. The headquarters building, now occupied by Merryvale, Inc., antiques, and which is the only building of the original complex still standing, housed the company's business offices in the front, upstairs living quarters for the plant manager, and in the main room to the rear, two large gas compression cylinders whose operation was dependent on water pumped from the Bay. The warmed water, returned to the Bay through large pipes, made swimming in what has ever since been known as Gas House Cove, popular indeed.

On December 11, 1896, the firm merged with Edison Light and Power, the whole becoming the San Francisco Gas & Electric Company which was absorbed by Pacific Gas & Electric Company in 1905. By 1906, and after, this building was being used solely for storing company records, a use it continued to serve until it was sold to the present owners in the mid-1950's.

The handsomely-landscaped and spacious areas between the buildings in the original complex were ideal for refugees following the 1906 Earthquake and Fire as photographs of the period show. Also shown is the damage to a gas storage tank and an arched brick building.

HISTORY:  
(Continued)

The present owners' restoration by William Wurster of Wurster, Bernardi & Emmons, and re-use of the former headquarters building to display primarily eighteenth century antiques has been masterful. The most impressive interior feature is the main room which formerly housed the turbines. This two-story room is 28 feet high and approximately 50 feet square; large arched windows of hand-rolled glass contrast with walls of exposed brick, the whole being surmounted by a particularly handsome coffered ceiling, each large redwood square of which is set off by great beams. The former front offices are distinguished by paneled dados, high ceilings and tall, narrow doors with transoms above.

A year after Merryvale's formal opening in 1958, the owners added an equally impressive garden shop to the south which is directly accessible from the main building.

Also of interest is the iron fence which encloses the front lawn; it is similar to the original and was placed as part of the restoration.

## ARCHITECTURE:

Richardsonian-Romanesque in its styling, this red brick rectangular building is, except for a corner tower, of uniform height. It is capped by a hipped roof, without projecting eaves, resting on a corbelled cornice. On its narrower facade facing Buchanan Street, a centered arched main entrance is asymmetrically balanced by the Queen Anne tower to the left whose conical roof rises to its apex at an elevation slightly higher than that of the roof ridge behind. From the exterior, the fenestration reflects the interior division of the building into two elements: the front, or westerly, one-third possessing windows indicating two floors with a heavy string course of brickwork at the upper floor level; the remaining two-thirds of the building, equal in height to the front, contains tall windows divided into panes with fanlights above, whose sill line is uniform with those on the lower floor at the front, but whose tops extend upward about three-quarters of the total wall height. On its south elevation, two-story pilasters divide the building into six evenly spaced bays. However, on the north, along North Point Street, this same division is only partially carried out, the pilasters here defining only the four bays containing the taller windows. The rear of the building is divided, also by two-story pilasters, into three bays slightly wider than those on the north and south sides. The center bay houses a double doorway extending its full width and equal in height to the windows in the adjacent bays. The doorway is topped by a flattened arch similar in its arc to that above the second story windows on the front portion of the building; all other windows and the main entry have semi-circular arched tops. All wall openings are surmounted and protected by slightly projecting cast stone moldings and, except for that over the main entrance, are divided into sections containing a patera. The main entrance arch, resting on short brick pilasters, frames a recessed doorway; here a deeper molding than that over the windows retains the name of the original occupant of the structure:

S. F. G A S L I G H T C O.

SURROUNDING LAND  
USE AND ZONING:

Zoning of the subject property is C-2 for a depth of 100 feet along Buchanan Street; the rear 18 feet of the parcel along North Point is zoned R-4. A PG&E substation is located to the east, a service station to the south. An apartment complex occupies most of the remainder of the block. Residential and commercial uses are located across Buchanan Street and a supermarket and parking lot across North Point Street faces into Gas House Cove. Fort Mason lies one block to the east.

October 25, 2017

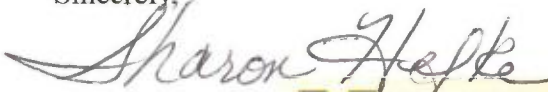
Stephanie Cisneros  
San Francisco Planning Department  
1650 Mission (400)  
San Francisco, CA. 94103

Dear Ms Cisneros:

Please do not approve yet **another** toxic cleanup and construction project (3620 Buchanan Street, 2016-010079PRJ) outside our windows! We are being enshrouded by development. We are losing light. We are losing breezes, critical in times of rising temperatures. We've lost views of the sky and Moscone Park. We've lost the relative quiet of our block. We've lost 18 mature 35' trees, their benefits, and their native birds. All of these losses are negative impacts on our lives and environment and they are significant.

The potential dangers and traffic problems at a developing 3620 Buchanan site can be envisioned by having seen the excavators, drilling rigs, trucks, cranes, caterpillars, dewatering tanks, cement trucks, supply storage areas, generators, etc. required for the 1598 Bay / Buchanan Street project. Parking lanes, sidewalks, bike lanes and traffic lanes have been blocked on Bay / Buchanan Streets since June, 2017 to accommodate this equipment. On Buchanan Street add all of the above to the MUNI 43 bus, Safeway trucks, postal vehicles, and you have gridlock and danger.

Sincerely,



Sharon Hefke



415-931-2101

Cc: Rich Hillis, Commission President San Francisco Planning Department  
Margaux Kelly, Supervisor Mark Farrell's Office  
Matier and Ross, San Francisco Chronicle



October 25, 2017

Stephanie Cisneros  
San Francisco Planning Department  
1650 Mission (400)  
San Francisco, CA. 94103

11/14/17 Here is a correction to this  
10/25 letter. Paragraph 2,  
line 5, should be

June, 2016.

174

Dear Ms Cisneros:

Please do not approve yet **another** toxic cleanup and construction project (3620 Buchanan Street, 2016-010079PRJ) outside our windows! We are being enshrouded by development. We are losing light. We are losing breezes, critical in times of rising temperatures. We've lost views of the sky and Moscone Park. We've lost the relative quiet of our block. We've lost 18 mature 35' trees, their benefits, and their native birds. All of these losses are negative impacts on our lives and environment and they are significant.

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Sincerely,

Sharon Hefke



415-931-2101

Cc: Rich Hillis, Commission President San Francisco Planning Department  
Margaux Kelly, Supervisor Mark Farrell's Office  
Matier and Ross, San Francisco Chronicle

## Cisneros, Stephanie (CPC)

---

**From:** Arnold Cohn <sfamc2@gmail.com>  
**Sent:** Wednesday, November 01, 2017 4:47 PM  
**To:** Secretary, Commissions (CPC); Frye, Tim (CPC); Cisneros, Stephanie (CPC)  
**Subject:** Historical Preservation Commission Meeting Today  
**Attachments:** AssessorBlock0459.pdf; Resolution 88 scanned.pdf; Recording Resolution 88.pdf

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Hello:

I gave the following presentation to the San Francisco Historical Commission today, during the general public comment.

My name is Arnold Cohn. I want to talk about 3620 Buchanan your reference 2016-010079COA.

The Board of Supervisors in 1973 passed Resolution 88 that designated 3620 Buchanan, Block 459 Lot 3, the entire area - a designated historical landmark 58.

The boundaries and perimeters of the historical landmark defined in both the Resolution 88 and the recording of the Resolution in the City's official records - the entire area of Block 459 Lot 3.

These documents are in your files at 1650 Mission Street fourth floor.

Do not allow new proposed construction at 3620 Buchanan, because it violates Resolution 88 and may violate CEQA.

-----  
CEQA California Environmental Quality Act

LM 73.3

NOTICE OF DESIGNATION OF LANDMARK

Notice is hereby given to all persons, pursuant to Section 1004.6 of the City Planning Code, Chapter II, Part II of the San Francisco Municipal Code, that the property described below, of which the current owner is Mr. & Mrs. Dent Macdonough

has been designated as a Landmark by Ordinance No. 12-74 of the Board of Supervisors of the City and County of San Francisco, effective February 4, 1974. A copy of this Ordinance is on file with the Clerk of the said Board of Supervisors. The effect of this designation is to impose certain controls and standards on the said property and on the improvements thereon, as set forth in Article 10 of the City Planning Code and in the designating Ordinance.

The subject property is legally described and known as follows:

Beginning at the point of intersection of the southerly line of North Point Street and the easterly line of Buchanan Street; thence easterly along the southerly line of North Point Street for a distance of 118 feet; thence at a right angle southerly for a distance of 69.917 feet; thence at a right angle westerly for a distance of 68.803 feet; thence at a right angle southerly for a distance of 104.75 feet; thence at a right angle westerly for a distance of 49.917 feet; thence at a right angle northerly along the easterly line of Buchanan Street for a distance of 174.667 feet to the point of beginning; being Lot 3 in Assessor's Block 459.

W45862

BOOK B847 PAGE 109

RECORDED AT REQUEST OF

CITY & COUNTY OF SAN FRANCISCO

1974 JAN 22 PM 2:30

SAN FRANCISCO, CALIF.  
LAWRENCE J. LEBUE  
RECORDER



Department of City Planning

Dated: JAN 28 1974

By: R. Spencer Steele  
Zoning Administrator

State of California )  
City and County of San Francisco ) ss

On JAN 28 1974, before the undersigned, personally appeared R. Spencer Steele, known to me to be the Zoning Administrator of the City and County of San Francisco, and acknowledged to me that he executed the same on behalf of the City and County of San Francisco.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the official seal of my office, the day and year last above written.

By: John C. Kelly  
Deputy County Recorder

45862

LANDMARKS PRESERVATION ADVISORY BOARD

of the

CITY PLANNING COMMISSION

RESOLUTION NO. 88

WHEREAS, A proposal to designate Merryvale at 3640 Buchanan Street as a Landmark pursuant to the provisions of Article 10 of the City Planning Code has been heard and considered by the Landmarks Preservation Advisory Board; and

WHEREAS, The Advisory Board believes that the proposed Landmark has a special character and special historical, architectural and aesthetic interest and value; and that the proposed designation would be in furtherance of and in conformance with the purposes and standards of said Article 10;

NOW THEREFORE BE IT RESOLVED, First, that this Advisory Board intends to and does hereby formally initiate proceedings for the designation as a Landmark pursuant to the provisions of Article 10 of the City Planning Code of Merryvale at 3640 Buchanan Street; and that this Board recommends to the City Planning Commission that this designation proposal be APPROVED; the location and boundaries of the landmark site being as follows:

Beginning at the point of intersection of the southerly line of North Point Street and the easterly line of Buchanan Street; thence easterly along the southerly line of North Point Street for a distance of 118 feet; thence at a right angle southerly for a distance of 69.917 feet; thence at a right angle westerly for a distance of 68.803 feet; thence at a right angle southerly for a distance of 104.75 feet; thence at a right angle westerly for a distance of 49.917 feet; thence at a right angle northerly along the easterly line of Buchanan Street for a distance of 174.667 feet to the point of beginning.

Being Lot 3 in Assessor's Block 459, which property is known as 3640 Buchanan Street.

Second, that the special character and special historical, architectural and aesthetic interest and value of the said Landmark justifying its designation are as follows:

Established in 1873, the San Francisco Gas Light Company was the result of a series of mergers of various companies, the earliest of which was the San Francisco Gas Company, founded in 1852 by Forty-niners Peter Donahue and his brother James. The brothers, with other family members, had previously established the first iron works in California in 1849. Peter Donahue, to whose memory the Mechanics Monument at Market, Bush and Sansome Streets is erected, also headed the successful completion of the second railroad in California which ran between San Francisco and San Jose.

Within the merged gas companies, Peter Donahue held various offices, the last being that of President of San Francisco Gas Light Company from which he resigned in 1883, one year before his death. Upon his resignation, the Presidency of the San Francisco Gas Light

Company was passed on to Eugene P. Murphy who was succeeded in 1885 by Joseph B. Crockett. Although still extremely young, Mr. Crockett had been with the company since its founding twelve years earlier during which time he conceived the idea of a new gas works which would not only be modern but would also be more than adequate for the growing City's immediate needs. In 1884, under his direction, the company purchased three blocks between Webster, Laguna and Bay Streets with the northerly boundary being the Bay itself. In 1891 construction began on the predominately brick buildings which would comprise the new gas works. Also included was an oiler dock - oil was to replace more expensive coal in operating the boilers - a gasometer, and two storage tanks, one with a capacity of two million cubic feet making it the largest of its kind west of Chicago.

Upon its completion in 1893, the complex was hailed as the most modern and best designed in the United States, a tribute to Joseph B. Crockett to whom its design and architecture are attributed. The headquarters building, now occupied by Merryvale, Inc., antiques, and which is the only building of the original complex still standing, housed the company's business offices in the front, upstairs living quarters for the plant manager, and in the main room to the rear, two large gas compression cylinders whose operation was dependent on water pumped from the Bay. The warmed water, returned to the Bay through large pipes, made swimming in what has ever since been known as Gas House Cove, popular indeed.

On December 11, 1896, the firm merged with Edison Light and Power, the whole becoming the San Francisco Gas & Electric Company which was absorbed by Pacific Gas & Electric Company in 1905. By 1906, and after, this building was being used solely for storing company records, a use it continued to serve until it was sold to the present owners in the mid-1950's.

The handsomely-landscaped and spacious areas between the buildings in the original complex were used by refugees following the 1906 Earthquake and Fire as photographs of the period show. Also shown is the damage to a gas storage tank and an arched brick building.

The extremely sensitive restoration (by Mr. and Mrs. Dent W. MacDonough who engaged William Wurster of Wurster, Bernardi & Ermons for this work) and the re-use of the former headquarters building to display primarily Eighteenth Century antiques has been masterful. The most impressive interior feature is the main room which formerly housed the turbines. This two-story room is 28 feet high and approximately 50 feet square; large arched windows of hand-rolled glass contrast with walls of exposed brick, the whole being surmounted by a particularly handsome coffered ceiling, each large redwood square of which is set off by great beams. The former front offices are distinguished by paneled dados, high ceilings and tall, narrow doors with transoms above.

A year after Merryvale's formal opening in 1958, the owners added an equally impressive garden shop to the south which is directly accessible from the main building.

Also of interest is the iron fence which encloses the front lawn; it is similar to the original and was paced as part of the restoration.

Third, that the said Landmark should be preserved generally in all of its particular exterior features as existing on the date hereof and as described and depicted in the photographs, case report and other material on file in the Department of City Planning in Docket No. LM 73.3, the summary description being as follows:

Richardsonian-Romanesque in its styling, this red brick rectangular building is, except for a corner tower, of uniform height. It is capped by a hipped roof, without projecting eaves, resting on a corbelled cornice. On its narrower facade facing Buchanan Street, a centered arched main entrance is asymmetrically balanced by the Queen Anne tower to the left whose conical roof rises to its apex at an elevation slightly higher than that of the roof ridge behind. From the exterior, the fenestration reflects the interior division of the building into two elements: the front, or westerly, one-third possessing windows indicating two floors with a heavy string course of brickwork at the upper floor level; the remaining two-thirds of the building, equal in height to the front, contains tall windows, divided into panes with fanlights above, whose sill line is uniform with those on the lower floor at the front, but whose tops extend upward about three-quarters of the total wall height. On its south elevation, two-story pilasters divide the building into six evenly spaced bays. However, on the north, along North Point Street, this same division is only partially carried out, the pilasters here defining only the four bays containing the taller windows. The rear of the building is divided, also by two-story pilasters, into three bays slightly wider than those on the north and south sides. The center bay houses a double doorway extending its full width and equal in height to the windows in the adjacent bays. The doorway is topped by a flattened arch similar in its arc to that above the second story windows on the front portion of the building; all other windows and the main entry have semi-circular arched tops. All wall openings are surmounted and protected by slightly projecting cast stone moldings and, except for that over the main entrance, are divided into sections containing a patera. The main entrance arch, resting on short brick pilasters, frames a recessed doorway; here a deeper molding than that over the windows retains the name of the original occupant of the structure:

S.F. GAS LIGHT CO.

AND BE IT FURTHER RESOLVED, That the Board hereby directs its Secretary to report this action and to submit a copy of this Resolution to the Planning Commission for further action in accordance with the said Article 10.

I HEREBY CERTIFY that the foregoing Resolution was adopted by the Landmarks Preservation Advisory Board at its regular meeting of August 22, 1973.

Edward N. Michael  
Secretary to the Board

AYES: de Losada, Jacobs, Platt, Shumate, Whisler

NOES: None

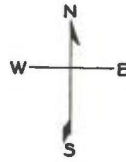
ABSENT: Mailliard, McCloin, Whitaker

DATED: August 22, 1973

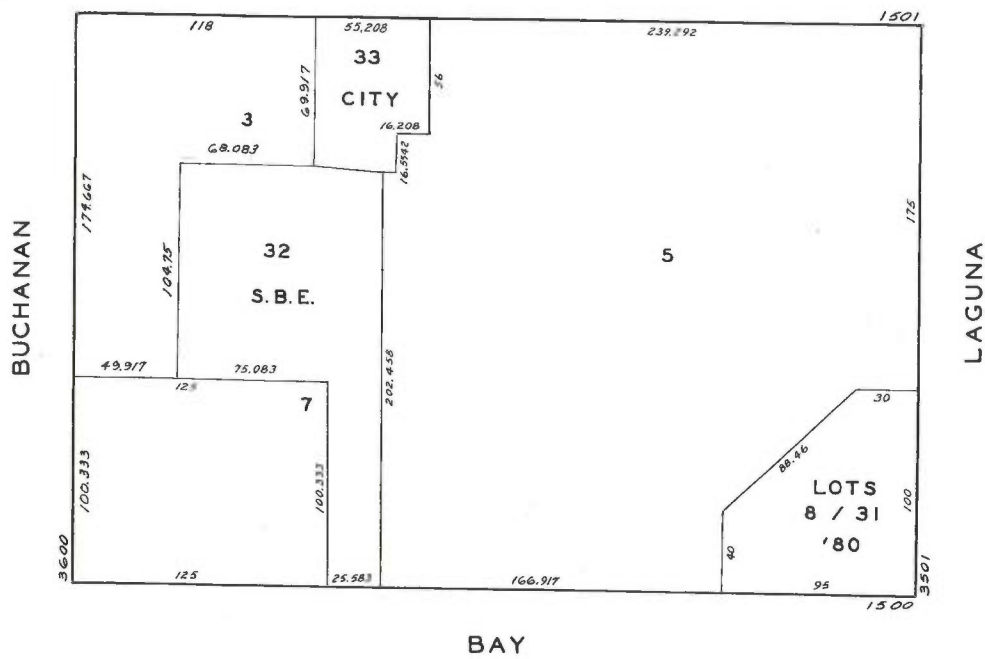
W A BLK. 249

REVISED '60  
" '68  
" '80  
" '83

LOT 1A/1B MERGED INTO LOT 1 - 1943



NORTH POINT

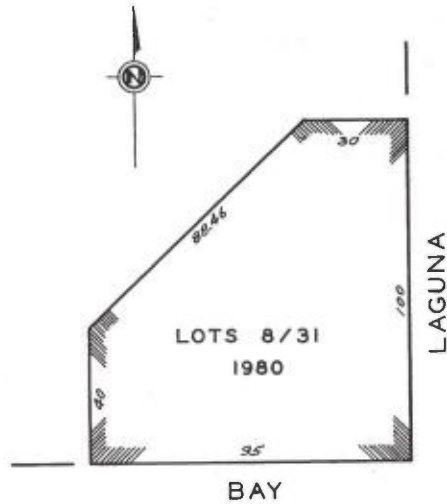




# BAY-LAGUNA

## A CONDOMINIUM

LOT NO.	UNIT NO.	%COMMON AREA
8	101	2.787
9	102	3.809
10	103	4.676
11	104	5.258
12	105	5.101
13	106	3.632
14	107	3.056
15	108	5.300
16	201	2.787
17	202	3.809
18	203	4.676
19	204	4.847
20	205	5.117
21	206	3.632
22	207	3.056
23	208	5.300
24	301	2.787
25	302	3.809
26	303	4.676
27	304	4.983
28	305	4.939
29	306	3.607
30	307	3.056
31	308	5.300



## Cisneros, Stephanie (CPC)

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**From:** Arnold Cohn <sfamc2@gmail.com>  
**Sent:** Friday, June 01, 2018 11:57 AM  
**To:** Cisneros, Stephanie (CPC); Bendix, Brittany (CPC)  
**Cc:** Frye, Tim (CPC)  
**Subject:** Fwd: 2016-010079COA Response to the Page and Turnbull Planning Depart Review Draft

Updates and corrections to the Response to the Page and Turnbull Planning Depart Review Draft.

----- Forwarded message -----

**From:** Arnold Cohn <sfamc2@gmail.com>  
**Date:** Fri, Jun 1, 2018 at 11:41 AM  
**Subject:** 2016-010079COA Response to the Page and Turnbull Planning Depart Review Draft  
**To:** Andrew Wolfram <andrew@tefarch.com>, Aaron Hyland <aaron.hyland.hpc@gmail.com>, ellen.hpc@ellenjohnckconsulting.com, rsejohns <RSEJohns@yahoo.com>, dianematsuda@hotmail.com, Jonathan Pearlman <jonathan.pearlman.hpc@gmail.com>  
**Cc:** [Commissions.Secretary@sfgov.org](mailto:Commissions.Secretary@sfgov.org)

Commissioners:

RE: 2016-010079COA

The following response to the **Page and Turnbull Planning Depart Review Draft (PTR)** of May, 2016 concerning the historical landmark status of 3620, 3636, 3640 Buchanan and 1595 Northpoint, Block 459 Lot 3 in the Assessor's tax records. The developer of Block 459, Lot 3 sent the PTR to Stephanie Cisneros and Brittany Bendix at the San Francisco Planning Department. I sent copies of the following letter to both ladies.

At your Wednesday meeting June 6 during the public comment, I will provide you a summary of the following document. Please contact me if you have additional questions.

Response to **Page and Turnbull Planning Depart Review Draft** of May, 2016 (PTR)

The Page and Turnbull document completely ignores the January, 1974 LANDMARKS PRESERVATION ADVISORY BOARD of the CITY PLANNING COMMISSION RESOLUTION NO. 88 which identifies the entire area of Lot 3 in Assessor's Block 459 as the location and boundaries of the landmark site (Landmark No. 58). From the San Francisco Property Information Map, Block 459 Lot 3 includes all of the following designations as the **same location**: 3620, 3636 and 3640 Buchanan, and 1595 Northpoint.

The County of San Francisco recorded Resolution 88 in its official records in Book 847 Page 109 January 22, 1974 at 2:34 p.m., by the Dept. of City Planning, R Spencer Steele Zoning Administrator and John Caail Deputy County Recorder. Notice of Designation of Landmark given to Mr. and Mrs. Dent Macdonough as owners of the property designated as Block 459 Lot 3, that entire area designated Landmark Ordinance No. 12-74 effective February 4, 1974.

The bottom of the PTR, page 1 includes the following sentence: "The purpose of this HRE Part

1 is to determine if the subject building is eligible for the California Register of Historical Resources (California Register) individually or in association with the existing Landmark No. 58 and its setting”.

The PTR goes on to identify government agencies responsible for the identification and recording of historical designated landmarks. The agencies include the National Register of Historic Places, the California Register of Historical Resources and the California Historic Resources Information System (CHRIS) database. These registers do not have an entry for Block 459 Lot 3. From the question in the PTR cited above, who can state why or why not Block 459 Lot 3 does not have an entry in these registries?

From the PTR page 2, “Page & Turnbull prepared this report using research collected at various local repositories, including the San Francisco Department of Building Inspection, the San Francisco Assessor’s Office, the San Francisco Planning Department, and the San Francisco Public Library History Center, as well as various online sources including Ancestry.com and the California Digital Newspaper Collection. Key primary sources consulted and cited in this report include Sanborn Fire Insurance Company maps, City of San Francisco Building Permit Applications, San Francisco City Directories, Assessor’s Office records, and historical newspapers”. The PTR failed to identify Resolution 88 and its recording in city records, as described above. As cited above, Block 459 Lot 3 includes all of the following addresses 3620, 3636, 3640 Buchanan and 1595 Northpoint.

From the PTR page 3, “The subject building at 3620 Buchanan Street is not currently designated as a San Francisco City Landmark or Structure of Merit. However, 3636 Buchanan Street is designated as San Francisco Landmark No. 58 (Merryvale Antiques; originally the San Francisco Gas Light Company). 3620 and 3636 Buchanan Street do not fall within the boundaries of any existing locally designated historic districts or conservation districts”. This reference completely ignores the Landmark Resolution 88 and its official recording as described above. In addition, this sentence also highlights the inadequate research performed in creating the PTR.

From the PTR page 4, “The 1976 Department of City Planning Architectural Quality Survey (1976 DCP Survey) is what is referred to in preservation parlance as a “reconnaissance” or “windshield” survey. 3620 Buchanan Street is not listed in the 1976 DCP Survey; however, 3636 Buchanan Street was listed and was given a survey rating of “3.”” As cited above, 3620 and 3636 Buchanan include the same area identified as Block 459 Lot 3.

In summary, the PTR completely ignores the San Francisco County Resolution 88 and its official recording in Book 847 Page 109, that fully describes the entire designated historic landmark as all of the area making up Block 459 Lot 3. The official Resolution 88 (Landmark No. 58) and its recording make no reference to any specific Buchanan or Northpoint Street addresses.

The PTR should be excluded from the Planning Department's final determination about proposed 3620 construction, due to the inadequate research and references cited above.

Arnold Cohn



LUBIN OLSON & NIEWIADOMSKI LLP

THE TRANSAMERICA PYRAMID

600 MONTGOMERY STREET, 14TH FLOOR SAN FRANCISCO, CALIFORNIA 94111

TEL 415 981 0550 FAX 415 981 4343 WEB [lubinolson.com](http://lubinolson.com)

June 1, 2018

CHARLES R. OLSON

Direct Dial: (415) 955-5020

E-mail: [colson@lubinolson.com](mailto:colson@lubinolson.com)

E-MAIL

Brittany Bendix, Planner ([brittany.bendix@sfgov.org](mailto:brittany.bendix@sfgov.org))

Stephanie Cisneros, Historic Preservation Planner ([stephanie.cisneros@sfgov.org](mailto:stephanie.cisneros@sfgov.org))

2016-010079PRJ Certificate of Appropriateness, Conditional Use  
Authorization, Variance and Environmental Evaluation of 3620  
Buchanan Street

Dear Ms. Bendix and Ms. Cisneros:

Our firm represents 1598 Bay Condominium Association ("1598 Bay"), the homeowner's association for the property located at 1598 Bay Street, which is immediately adjacent to 3620 Buchanan Street (the "Project"). 1598 Bay is strongly opposed to the Project because it compromises an important historic landmark designated by the Board of Supervisors in Ordinance No. 12-74 on January 4, 1974, known as Merryvale Antiques ("Landmark No. 58"), violates the Planning Code in numerous ways, and the design ignores various Residential Design Guidelines and good neighbor policies. In addition, as the Project would have a substantial adverse effect on a historic resource, it must be reviewed under the California Environmental Quality Act ("CEQA") before any City approvals can occur. These objections to the Project are more specifically outlined below.

*Historic Preservation and CEQA Concerns:* After reviewing the Project's Historic Resource Evaluation dated May 20, 2016 ("HRE"), it appears that the HRE attempts to obfuscate the fact that the entire lot, which includes the Merryvale Antiques building, the courtyard, and the garden house, is designated as part of Landmark No. 58. The various addresses assigned to the buildings located on the lot do not change the fact that the designation of Landmark No. 58 applies to the entirety of the location and boundaries of the Project site. Furthermore, in Ordinance No. 12-74, "the equally impressive garden shop to the south which is directly accessible from the main building," is referred to as part of the special character and special historical, architectural and aesthetic interest justifying the designation of Landmark No. 58. The garden shop is precisely the building which will be demolished as a result of the Project. The existing landscaped courtyard, which is also referred to as part of the "handsomely-landscaped and spacious areas between the buildings" in Ordinance No. 12-74, will also be significantly diminished by approximately 25% to 33%, which will impact the spatial relationships between the Merryvale Antiques historic building and the proposed Project. A substantial adverse change in the significance of the historic resource includes any "physical

demolition, destruction, relocation, or alteration of the resource or its immediate surroundings such that the significance of an historical resource would be materially impaired.” See CEQA Guidelines 15064.5(b)(1). Considering the historic resources present, any partial or full demolition of any element of the Landmark No. 58, which includes the landscaped courtyard and the garden house, will be a significant impact under CEQA. The Planning Department should require the Project to undergo further environmental review, including the preparation of an initial study and a focused environmental impact report to address this issue.

*NC-2 Small-Scale Neighborhood Commercial District:* As noted in Planning Code Section 711, the small-scale district controls for the NC-2 district provide for mixed-use buildings which approximate or slightly exceed the standard development pattern. Rear yard requirements above the ground story and at residential levels are required to preserve open space corridors of interior blocks. The Project will not meet the design intent of the NC-2 district as it will diminish access to light, air, and views from adjacent properties, including 1598 Bay Street.

*Subdivision:* The Project attempts to squeeze an eight unit residential building into the rear yard for the historic Merryvale Antiques building. The failure to process a subdivision of the Project site into two lots (one lot containing the historic Merryvale Antiques building and the remainder of the landscaped courtyard, the other lot containing the Project) obscures any interpretation of the Planning Code relating to required development standards such as setbacks, rear yard, and open space. It is unclear whether the development of the Project site is permissible as-is without the filing of a subdivision map.

*Rear Yard:* Because the applicant of the Project has not subdivided the Project site, it appears that the proposed Project will encroach into the required rear yard for the historic Merryvale Antiques building. Planning Code Section 134 generally requires that the Project provide a minimum rear yard depth equal to 25% of the total depth of the lot on which the building is situated, but in no case less than 15 feet. Although the rear yard requirements differ for corner lots, given the L-shaped lot configuration, we are assuming that the Project is assuming that the front of the Project is facing Buchanan Street. According to the most recent Project plans, the Project will only be providing a 3” rear yard, which would only be 2% of the required rear yard depth.

While the rear yard requirement may be modified pursuant to the procedures which are applicable to variances, the following three criteria must also be met pursuant to Planning Code Section 134(e)(1): “(A) Residential uses are included in the new or expanding development and a comparable amount of usable open space is provided elsewhere on the lot or within the development where it is more accessible to the residents of the development; (B) The proposed new or expanding structure will not significantly impede the access of light and air to and views from adjacent properties; and (C) The proposed new or expanding structure will not adversely affect the interior block open space formed by the rear yards of adjacent properties.” The Project cannot meet two of the three criteria because the Project will significantly impact 1598 Bay’s access to air, light and views, and will cast dark shadows onto the units in 1598 Bay that face onto the rear yard.

*Open Space:* Planning Code Section 135 requires 133 square feet per unit if common open space. The Project plans appear to utilize some of the existing open space for the landscaped courtyard, which is used by the Merryvale Antiques building, and double counting that open space area to meet the requirements for the proposed residential building.

*Street Frontage:* Planning Code Section 145.1 requires a 25' setback on the ground floor for any off-street parking at street grade. The Project plans do not appear to meet this requirement.

*Off-Street Parking Requirements:* Planning Code Section 151(b) requires a minimum of one off-street parking space per dwelling unit. As the Project proposes eight dwelling units, a minimum of eight parking spaces are required. The current Project plans only show one parking space. While Planning Code Section 161(f) allows the Zoning Administrator to reduce off-street parking requirements in NC districts, Planning Code Section 307(h)(2)(i) requirements must be applied to demonstrate the following: (1) the reduction in the parking requirement is justified by the reasonably anticipated automobile usage by residents of and visitors to the project; (2) the reduction in the parking requirement will not be detrimental to the health, safety, convenience, or general welfare of persons residing in or working in the vicinity; (3) there will be a minimization of conflict of vehicular and pedestrian movements; (4) there are other transportation modes available other than the automobile; (5) the pattern of land use and character of development in the vicinity; and (6) any such other appropriate criteria given the circumstances. This drastic reduction in parking is not warranted given the limited public transportation options in the Project area, the fact that residents of the Project are also likely to be car owners and will need a place in which to park their car, and the proximity of other residential projects in the neighborhood that already crowd very limited on-street parking.

*Development of Large Lots:* Pursuant to Planning Code Section 121.1, the Planning Commission will also have to consider the extent to which the mass and façade of the Project are compatible with the existing scale of the district, and whether the façade of the Project is compatible with design features of adjacent façades that contribute to the positive visual quality of the district. The Project is unable to meet these criteria because it will introduce a large amount of stucco which the adjacent properties do not have, it is a relatively flat façade on Buchanan Street, and will provide a 40' high blank wall built right along the shared property line facing 1598 Bay Street. The Project will not improve pedestrian interest or activate the residential setting as a brick wall will be built along the sidewalk of Buchanan Street.

*General Plan Consistency:* The Project is unable to meet all of the Priority Policies of Planning Code Section 101.1(b). The Project will dwarf an important landmark and historic building by significantly diminishing the landscaped courtyard and removing the spatial relationships that have helped define the aesthetic character of the Merryvale Antiques building. As noted previously, Ordinance No. 12-74 designated the entirety of the Project lot as Landmark No. 58.

*Variance Findings:* If the Project asks for a variance for a modification to the rear yard, street frontage, open space, or other requirements, the Zoning Administrator must specify

in his findings for the variance facts sufficient to establish the following: (1) that there are exceptional or extraordinary circumstances applying to the property involved or to the intended use of the property that do not apply generally to other property or uses in the same class of district; (2) that owing to such exceptional or extraordinary circumstances the literal enforcement of specified provisions of this Code would result in practical difficulty or unnecessary hardship not created by or attributable to the applicant or the owner of the property; (3) that such variance is necessary for the preservation and enjoyment of a substantial property right of the subject property, possessed by other property in the same class of district; (4) that the granting of such variance will not be materially detrimental to the public welfare or materially injurious to the property or improvements in the vicinity; and (5) that the granting of such variance will be in harmony with the general purpose and intent of this Code and will not adversely affect the General Plan. *See* Planning Code Section 305. The requirements for a variance cannot be met, because there are no exceptional or extraordinary circumstances applying to the subject property or the proposed residential use that do not apply generally to other property or uses in the same class of district. Furthermore, the granting of any variance will be materially injurious to 1598 Bay's homeowners and their ability to substantially enjoy their own property. Finally, many of the design choices for the Project are created by the applicant for the Project; it is basic law that any "hardship" supporting a variance cannot be self-imposed.

*Noncompliance with Ground Floor Residential Design Guidelines:* The ground floor residential units do not appear to be consistent with the Ground Floor Residential Design Guidelines as they do not feature walk-up dwelling units with direct access to a public sidewalk.

*Concerns with Project Design and Good Neighbor Policies:* The existing building on the Project lot, which will be demolished, has a setback to the shared property line with 1598 Bay Street of between 5.5' and 23'. The proposed Project will have a setback of 6", which will effectively lead to the construction of a 40' high wall along the shared property line between the Project and 1598 Bay's residential development, which itself provides a 15' setback to that shared property line. If the proposed Project moves forward as constructed, a dark tunnel will result that provides minimal access to light and air to the abutting residential units in 1598 Bay's residential development.

The Project's materials and design are also of concern. First, the Project has included windows that will face directly into the adjacent residential units of 1598 Bay, which causes significant privacy issues for those residents. Second, the Project's rear building façade will be an eyesore for decades to come if it is built as it is currently designed: a windowless, unattractive stucco wall, directly visible from both 1598 Bay and the building to the east (Marina Cove Apartments).

\* \* \* \* \*

Brittany Bendix, Planner  
June 1, 2018  
Page 5

These initial comments are based upon our very preliminary review of Project file materials that are currently available, and we intend to provide further comments as we receive more information about the Project's applications.

Sincerely,

*Cathy Lee on behalf of Charles Olson*

Charles R. Olson

CRO/CJL

cc: Andrew Junius, Esq. ([ajunius@reubenlaw.com](mailto:ajunius@reubenlaw.com))  
1598 Bay Condominium Association



**Cisneros, Stephanie (CPC)**

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**From:** Arnold Cohn <sfamc2@gmail.com>  
**Sent:** Sunday, June 24, 2018 1:53 PM  
**Subject:** 3620 Buchanan Recently Discovered Document  
**Attachments:** LM58 landmark 58 3640 buchanan.pdf

All:

I apologize for not sending you the attached document. I recently discovered this document in my electronic file.

The official recording of the Landmark status of the entire area of Block 459 Lot 3 resulted from a vote of the San Francisco Board of Supervisors as described on the copy of the recording, Book B847 Page 109.

The attached document Landmark 58, Ordinance 12-74, Resolution 7076, Board of Supervisors File No. 90-73-8 describes the actions of the Board of Supervisors in regard to Block 459, Lot 3. This explains why the recording document refers to Ordinance No. 12-74. The recording document states: "The effect of this designation is to impose certain controls and standards on the said property and on the improvement thereon, as set forth in Article 10 of the City Planning Code and in the designating Ordinance."

Arnold Cohn

PL 697

FILE NO. 90-73-8

ORDINANCE NO. 12-74

1 DESIGNATING MERRYVALE ANTIQUES AS A LANDMARK PURSUANT TO ARTICLE 10 OF THE CITY  
2 PLANNING CODE.

3 Be it ordained by the people of the City and County of San Francisco:

4 Section 1. The Board of Supervisors hereby finds that Merryvale Antiques at  
5 3640 Buchanan Street, being Lot 3 in Assessor's Block 459, has a special character  
6 and special historical, architectural and aesthetic interest and value, and that its  
7 designation as a Landmark will be in furtherance of and in conformance with the  
8 purposes of Article 10 of the City Planning Code and the standards set forth therein.

9 (a) Designation. Pursuant to Section 1004 of the City Planning Code,  
10 Chapter II, Part II of the San Francisco Municipal Code, Merryvale Antiques is  
11 hereby designated as a Landmark, this designation having been duly approved by  
12 Resolution No. 1076 of the City Planning Commission, which Resolution is on file  
13 with the Clerk of the Board of Supervisors under File No.

14 (b) Required Data. The location and boundaries of the landmark site, the  
15 characteristics of the landmark which justify its designation, and the particular  
16 features that should be preserved, described and included in the said Resolution,  
17 are hereby incorporated herein and made a part hereof as though fully set forth.

Passed for Second Reading  
Board of Supervisors, San Francisco  
DEC 26 1973

Ayes: Supervisors Barbagelata, Chinn, Feinstein,  
Gonzales, Kopp, Mendelsohn, Molinari,  
Pelosi, Tamaras, von Beroldingen.

Noes: Supervisors

Absent: Supervisors, FRANCOIS

*Philip Pelosi* ACTING Clerk

90-73-8 JAN 4 1974  
File No. Approved

Read Second Time and Finally Passed  
Board of Supervisors, San Francisco  
JAN 2 1974

Ayes: Supervisors Barbagelata, Chinn, Feinstein,  
Gonzales, Kopp, Mendelsohn, Molinari,  
Pelosi, Tamaras, von Beroldingen.

Noes: Supervisors

Absent: Supervisors FRANCOIS KOPP

I hereby certify that the foregoing ordinance was  
finally passed by the Board of Supervisors of the  
City and County of San Francisco

*Philip L. Ulloto* Clerk  
*Joseph L. Ulloto* Mayor

SAN FRANCISCO

CITY PLANNING COMMISSION

RESOLUTION NO. 7076

WHEREAS, A proposal to designate Merryvale at 3640 Buchanan Street as a Landmark pursuant to the provisions of Article 10 of the City Planning Code was initiated by the Landmarks Preservation Advisory Board on August 22, 1973, and said Advisory Board, after due consideration, has recommended approval of this proposal; and

WHEREAS, The City Planning Commission, after due notice given, held a public hearing on September 20, 1973, to consider the proposed designation and the report of said Advisory Board; and

WHEREAS, The Commission believes that the proposed Landmark has a special character and special historical, architectural and aesthetic interest and value; and that the proposed designation would be in furtherance of and in conformance with the purposes and standards of the said Article 10;

NOW THEREFORE BE IT RESOLVED, First, that the proposal to designate Merryvale at 3640 Buchanan Street as a Landmark pursuant to Article 10 of the City Planning Code is hereby APPROVED, the location and boundaries of the landmark site being as follows:

Beginning at the point of intersection of the southerly line of North Point Street and the easterly line of Buchanan Street; thence easterly along the southerly line of North Point Street for a distance of 118 feet; thence at a right angle southerly for a distance of 69.917 feet; thence at a right angle westerly for a distance of 68.803 feet; thence at a right angle southerly for a distance of 104.75 feet; thence at a right angle westerly for a distance of 49.917 feet; thence at a right angle northerly along the easterly line of Buchanan Street for a distance of 174.667 feet to the point of beginning. Being Lot 3 in Assessor's Block 459, which property is known as 3640 Buchanan Street.

Second, That the special character and special historical, architectural and aesthetic interest and value of the said Landmark justifying its designation are set forth in the Landmarks Preservation Advisory Board Resolution No. 88 as adopted on August 22, 1973, which resolution is incorporated herein and made a part hereof as though fully set forth;

Third, That the said Landmark should be preserved generally in all of its particular exterior features as existing on the date hereof and as described and depicted in the photographs, case report and other material on file in the Department of City Planning Docket LM 73.3;

AND BE IT FURTHER RESOLVED, That the Commission hereby directs its Secretary to transmit the proposal for designation, with a copy of this Resolution, to the Board of Supervisors for appropriate action.

CITY PLANNING COMMISSION

RESOLUTION NO. 7076  
Page Two

I hereby certify that the foregoing Resolution was ADOPTED by the City Planning Commission at its regular meeting of September 20, 1973.

Lynn E. Pio  
Secretary

AYES: Commissioners Farrell, Fleishhacker, Porter, Ritchie, Rueda  
NOES: None  
ABSENT: Commissioners Mellon, Newman  
PASSED: September 20, 1973

LANDMARKS PRESERVATION ADVISORY BOARD  
Gas Light Co. Antiques Building

MERRYVALE ANTIQUES  
(Formerly San Francisco  
Gas Light Company)

**OWNER:** Merryvale, Incorporated. (Mr. & Mrs. Dent W. Macdonough)

**LOCATION:** 3640 Buchanan, the southeast corner of Buchanan and North Point Streets, being Lot 3 in Assessor's Block 459.

**HISTORY:** Established in 1873, the San Francisco Gas Light Company was the result of a series of mergers of various companies, the earliest of which was the San Francisco Gas Company, founded in 1852 by Forty-niners Peter Donahue and his brother James. The brothers, with other family members, had previously established the first iron works in California in 1849. Peter Donahue, to whose memory the Mechanics Monument at Market, Bush and Sansome Streets is erected, also headed the successful completion of the second railroad in California which ran between San Francisco and San Jose.

Within the merged gas companies, Peter Donahue held various offices, the last being that of President of San Francisco Gas Light Company from which he resigned in 1883, one year before his death. Upon his resignation, the Presidency of the San Francisco Gas Light Company was passed on to Eugene P. Murphy who was succeeded in 1885 by Joseph B. Crockett. Although still extremely young, Mr. Crockett had been with the company since its founding twelve years earlier during which time he conceived the idea of a new gas works which would not only be modern but would also be more than adequate for the growing City's immediate needs. In 1884, under his direction, the company purchased three blocks between Webster, Laguna and Bay Streets with the northerly boundary being the Bay itself. In 1891 construction began on the predominately brick buildings which would comprise the new gas works. Also included was an oiler dock - oil was to replace more expensive coal in operating the boilers - a gasometer, and two storage tanks, one with a capacity of two million cubic feet making it the largest of its kind west of Chicago.

Upon its completion in 1893, the complex was hailed as the most modern and best designed in the United States, a tribute to Joseph B. Crockett to whom its design and architecture are attributed. The headquarters building, now occupied by Merryvale, Inc., antiques, and which is the only building of the original complex still standing, housed the company's business offices in the front, upstairs living quarters for the plant manager, and in the main room to the rear, two large gas compression cylinders whose operation was dependent on water pumped from the Bay. The warmed water, returned to the Bay through large pipes, made swimming in what has ever since been known as Gas House Cove, popular indeed.

On December 11, 1896, the firm merged with Edison Light and Power, the whole becoming the San Francisco Gas & Electric Company which was absorbed by Pacific Gas & Electric Company in 1905. By 1906, and after, this building was being used solely for storing company records, a use it continued to serve until it was sold to the present owners in the mid-1950's.

The handsomely-landscaped and spacious areas between the buildings in the original complex were ideal for refugees following the 1906 Earthquake and Fire as photographs of the period show. Also shown is the damage to a gas storage tank and an arched brick building.

HISTORY:  
(Continued)

The present owners' restoration by William Wurster of Wurster, Bernardi & Emmons, and re-use of the former headquarters building to display primarily eighteenth century antiques has been masterful. The most impressive interior feature is the main room which formerly housed the turbines. This two-story room is 28 feet high and approximately 50 feet square; large arched windows of hand-rolled glass contrast with walls of exposed brick, the whole being surmounted by a particularly handsome coffered ceiling, each large redwood square of which is set off by great beams. The former front offices are distinguished by paneled dados, high ceilings and tall, narrow doors with transoms above.

A year after Merryvale's formal opening in 1958, the owners added an equally impressive garden shop to the south which is directly accessible from the main building.

Also of interest is the iron fence which encloses the front lawn; it is similar to the original and was placed as part of the restoration.

## ARCHITECTURE:

Richardsonian-Romanesque in its styling, this red brick rectangular building is, except for a corner tower, of uniform height. It is capped by a hipped roof, without projecting eaves, resting on a corbelled cornice. On its narrower facade facing Buchanan Street, a centered arched main entrance is asymmetrically balanced by the Queen Anne tower to the left whose conical roof rises to its apex at an elevation slightly higher than that of the roof ridge behind. From the exterior, the fenestration reflects the interior division of the building into two elements: the front, or westerly, one-third possessing windows indicating two floors with a heavy string course of brickwork at the upper floor level; the remaining two-thirds of the building, equal in height to the front, contains tall windows divided into panes with fanlights above, whose sill line is uniform with those on the lower floor at the front, but whose tops extend upward about three-quarters of the total wall height. On its south elevation, two-story pilasters divide the building into six evenly spaced bays. However, on the north, along North Point Street, this same division is only partially carried out, the pilasters here defining only the four bays containing the taller windows. The rear of the building is divided, also by two-story pilasters, into three bays slightly wider than those on the north and south sides. The center bay houses a double doorway extending its full width and equal in height to the windows in the adjacent bays. The doorway is topped by a flattened arch similar in its arc to that above the second story windows on the front portion of the building; all other windows and the main entry have semi-circular arched tops. All wall openings are surmounted and protected by slightly projecting cast stone moldings and, except for that over the main entrance, are divided into sections containing a patera. The main entrance arch, resting on short brick pilasters, frames a recessed doorway; here a deeper molding than that over the windows retains the name of the original occupant of the structure:

S. F. G A S L I G H T C O.

SURROUNDING LAND  
USE AND ZONING:

Zoning of the subject property is C-2 for a depth of 100 feet along Buchanan Street; the rear 18 feet of the parcel along North Point is zoned R-4. A PG&E substation is located to the east, a service station to the south. An apartment complex occupies most of the remainder of the block. Residential and commercial uses are located across Buchanan Street and a supermarket and parking lot across North Point Street faces into Gas House Cove. Fort Mason lies one block to the east.



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

**DATE:** August 30, 2018

**TO:** Jody Knight, Reuben, Junius & Rose LLC

**CC:** Historic Preservation Commission

**FROM:** Stephanie Cisneros, Preservation Planner  
(415) 575-9186

**REVIEWED BY:** Architectural Review Committee of the  
Historic Preservation Commission

**RE:** **Meeting Notes from Review and Comment at the  
August 15, 2018 ARC-HPC Hearing for the  
Project at 3620 Buchanan Street  
2016-010079COA**

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**

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At the request of the Planning Department, the design for the proposal to demolish an existing one-story garden house and a portion of an existing garden and construct a new, four-story, eight-unit residential building at 3620 Buchanan Street was brought to the Architectural Review Committee (ARC) on August 15, 2018. 3620 Buchanan Street is located on the parcel designated as City Landmark No. 58, Merryvale Antiques/San Francisco Gas Light Company (S.F. Gas Light Co.). At the ARC meeting, the Planning Department requested review and comment regarding conformance of the proposed design of the new construction with Article 10 and with the *Secretary of the Interior's Standards*. Specifically, the Planning Department sought comments on the differentiation of materials on the horizontal components of the design and on the design of the primary entryway. Planning Department Preservation Staff has prepared a summary of the ARC comments from the meeting.

## ARC COMMENTS

- 1. General.** The Commissioners expressed concern that there was not sufficient information provided in the hearing packet for them to understand the history of the property and overall context of the proposed project in order to formally and accurately comment on the design of the proposed project. The information that they expressed was missing from the packet included the following:
  - The overall history of the site and development of the garden house and garden as separate entities and in relation to the development of the S.F. Gas Light Company building. Specifically, the Page & Turnbull Historic Resource Evaluation report.

- Explanation of the context of the 1973 Landmark Designation Ordinance and how the designation ordinance can and should be legally interpreted.
- Commissioner Hyland commented that the landmark ordinance for the subject property was not sufficiently detailed, as landmark cases typically weren't at the time, and was not as detailed as it would be if done today. Therefore, analysis for both buildings should be completed. If analysis has been done, the ARC should determine if they agree with that finding.
- Information regarding the level of environmental review in progress and/or completed for the garden house and adjacent garden and the level of environmental review required for the proposed project in relation to the site as a landmark.
- Commissioner Hyland questioned whether CEQA analysis was conducted for the Garden House that analyzed and conclusively determined it was not an Historic Resource. If the Historic Resource Evaluation was focused on the main house being the Landmark, as opposed to the entire site, and didn't evaluate a potential second period of significance, he was concerned that the analysis may be wrong or lacking. He questioned whether there might be a second period of significance associated with the Merryvale Antiques shop.
- Commissioner Johnck stated that there should be a cultural landscape analysis of the site, with particular attention to the garden and relationship to the structures.

## **2. Scale and Proportion.**

- Commissioner Hyland expressed concern that the height of the new construction was too tall in relation to the existing Merryvale Antiques/San Francisco Gas Light Company (S.F. Gas Light Co.) building and was also concerned that the new construction was an inappropriate addition to the site. He questioned the possibility of altering the existing one-story garden house to accommodate the program of the new construction.
- Commissioner Pearlman stated that the height of the proposed new construction was relatable to the surrounding context but did agree that the appropriateness of the new construction on the site was questionable.

## **3. Fenestration**

- Commissioner Pearlman felt that overall, the fenestration of the proposed new construction was appropriate and liked the punched openings.

## **4. Materials.**

- Commissioner Pearlman agreed with Staff's recommendation that the proposed brick at the horizontals should be articulated to better relate to the stringcourse of the Merryvale Antiques/San Francisco Gas Light Company (S.F. Gas Light Co.) building.

## **5. Architectural Details.**



- Commissioner Hyland expressed concern about the amount of the existing brick garden wall that would be demolished as part of the proposed project. He stated that the wall was a community asset and there was insufficient information provided to understand how the wall would be altered.
- Commissioner Pearlman also expressed concern about the amount of the existing brick garden wall to be demolished and asked that this be re-examined to result in a reduction of the amount of the existing wall that would be removed. He stated that it might be a good idea to connect the garden to the street.
- Commissioner Pearlman agreed with Staff's recommendation regarding the primary entryway; that the entryway should be studied further to establish a stronger relationship to the formal entryways of the Merryvale Antiques/San Francisco Gas Light Company (S.F. Gas Light Co.) building. He suggested that a frame or border around the entryway of the new construction be studied as a means of accomplishing this recommendation.



# Letters in Opposition



## Cisneros, Stephanie (CPC)

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**From:** Brent Leonard <brentleonard59@gmail.com>  
**Sent:** Sunday, October 21, 2018 11:11 AM  
**To:** Cisneros, Stephanie (CPC)  
**Subject:** 3620 Buchanan

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

I have to object to the excessive building in our area, primarily based on "no parking", as well as other population excesses.

If you need to accomplish something you should concentrate on opening the Fort Mason Tunnel to the muni - bringing about many benefits: pollution, traffic, parking, access to Ft. Mason, Crissy, et alia activities, not to mention temp and permanent labor.

It would also provide access to the Wharf, downtown business/commuting, baseball and Warrior games, Exploratorium and much more.

Brent L. Leonard



# Sponsor Letter

# REUBEN, JUNIUS & ROSE, LLP

**Jody Knight**  
jknight@reubenlaw.com

October 31, 2018

**Delivered Via Email (stephanie.cisneros@sfgov.org)**

Andrew Wolfram, President  
Historic Preservation Commission  
1650 Mission Street, 4th Floor  
San Francisco, California 94103

**Re: 3620 Buchanan Street  
Planning Department Case No. 2016-010079  
Hearing Date: November 7, 2018  
Our File No.: 10529.01**

Dear President Wolfram and Commissioners:

This office represents Tusker Corporation, the owner of 3620 Buchanan Street (the “**Property**”), in connection with its proposal to demolish the existing single-story building and construct a new four-story residential building with eight dwelling units (the “**Project**”). A Historic Resource Evaluation (HRE) prepared by Page & Turnbull, determined that the building proposed to be demolished is not individually significant and does not contribute to the overall significance of the landmark site, a conclusion that the San Francisco Planning Department has concurred with. Because the Project site is situated on the same parcel as Landmark #58, the San Francisco Gas Light Company’s historic North Beach Station (the “**Gas Light Building**”), the Project Sponsor seeks approval of a Certificate of Appropriateness.

## **A. BACKGROUND**

The Project site is currently developed with the historic Gas Light Building, as well as a non-historic one-story building that originally served as a garden house/workshop, and has since been used as an office. These two buildings are connected by a non-historic garden. As detailed in the HRE, the Gas Light Building was developed between 1891 and 1893, while the garden house/workshop was constructed in 1958, and subsequently renovated into an office use in the 1980s. Tusker purchased the Gas Light Building in 1998, and carried out a careful and comprehensive restoration, including a seismic retrofit and all new electrical and mechanical systems to protect and preserve the historic Building. Tusker also completely landscaped the garden. These careful renovations are indicative of the commitment of Tusker and its CEO Roger Walther to the Marina neighborhood and its historic resources and green spaces.

San Francisco Office  
One Bush Street, Suite 600, San Francisco, CA 94104  
tel: 415-567-9000 | fax: 415-399-9480

Oakland Office  
456 8th Street, 2<sup>nd</sup> Floor, Oakland, CA 94607  
tel: 510-257-5589

www.reubenlaw.com



As explained in the HRE, the building to be demolished is: (i) not designated as a San Francisco City Landmark or Structure of Merit; (ii) not within the boundaries of any existing locally designated historic districts or conservation districts; and (iii) is not listed in the California Historic Resources Information System. The HRE found that the garden house/workshop “is not integral to the significance of the landmarked Building, nor does it appear to qualify for individual listing in the California Register of Historical Resources.” Therefore, demolition of the building does not remove a resource.

## **B. PROJECT DESCRIPTION**

The Project proposes to demolish the existing, non-historic single-story building and construct a new four-story residential building with eight dwelling units. The Project proposes one accessible parking space, eight Class 1 bicycle parking spaces, and four Class 2 bicycle parking spaces. The Project would maintain most of the existing non-historic garden as open space between the new building and the Gas Light Building, preserving the garden for future use by both buildings and as green space for the neighborhood. Six of the eight units will have private balconies or patios, totaling 477 square-feet of private useable open space. In addition, the Project will provide 480 square-feet of courtyard common open space.

The proposed new building is highly appropriate for the context of the Site, and allows the addition of much needed dwelling units, while leaving the historic Gas Light Building untouched. The Project has gone through multiple rounds of design review, each time becoming more contextual for the site. Changes include pulling the west elevation back to be subordinate to the Gas Light Building, creating compatibility and texture in materials, adding window surrounds and brickwork, and defining the entryway.

Most recently, in response to comments by Planning Department Staff and the Architectural Review Committee, the Project Sponsor changed the brickwork to better relate to the Gas Light Building and added additional definition to the entrance of the building to establish a stronger relationship to the Gas Light Building. Moreover, the Project enhances the pedestrian experience of the Gas Light Building by partially opening up the existing garden wall to provide a view of the Gas Light Building from the sidewalk and street, while allowing the garden wall to remain as a prominent site feature, emphasizing the collegial character of the total composition. The view is further benefitted by the stepped massing of the proposed building and the compatible materials, which lend a distinct but unified sense to the Gas Light Building and new residential building.

## **C. CONCLUSION**

The project team looks forward to presenting the proposed design to the HPC on November 7, including the opportunity to elaborate on the most recent design refinements. We respectfully

Andrew Wolfram, President  
Historic Preservation Commission  
October 31, 2018  
Page 3

request the HPC to approve the Certificate of Appropriateness.

Very truly yours,

**REUBEN, JUNIUS & ROSE, LLP**



---

Jody Knight

cc: Aaron Jon Hyland, Commission Vice-President  
Kate Black, Commissioner  
Ellen Johnck, Commissioner  
Richard S.E. Johns, Commissioner  
Diane Matsuda, Commissioner  
Jonathan Pearlman, Commissioner  
Stephanie Cisneros, Project Planner  
Laura Ajello, Project Planner