



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

DATE: July 13, 2016

TO: Architectural Review Committee of the Historic Preservation Commission

FROM: Eiliesh Tuffy, Historic Preservation Technical Specialist, (415) 575-9191

REVIEWED BY: Tim Frye, Preservation Coordinator, (415) 575-6822

RE: **Review and Comment: 200 Larkin Street (Asian Art Museum)**
Case No. 2016-007523COA

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

BACKGROUND

The Planning Department (Department) has requested review and comment before the Architectural Review Committee (ARC) regarding the proposal to conduct interior upgrades to the Asian Art Museum's historic building lobby and accessory interior spaces, and to construct a new addition at the eastern, Hyde Street end of the subject lot to house a new special exhibit gallery with a programmed roof terrace. The subject property is a city-owned lot and the building on the site is occupied through long-term lease by the Asian Art Museum. The project proposes alterations and additions to a contributory building within the Civic Center Landmark District, which is listed in Appendix J of Article 10 of the San Francisco Planning Code (1994). The Civic Center is designated as both a National Historic Landmark District (1987) and a Historic District on the National Register of Historic Places (1978).

PROPERTY DESCRIPTION

200 Larkin Street is a parcel encompassing a full city block (measuring approximately 90,256 square feet) that is bounded by McAllister Street to the north, Fulton Street to the south, Larkin Street to the west, and Hyde Street to the east. Currently, the project site contains a four-story-with-basement institutional building, which was constructed as the city's Main Library in 1916. The former library was designed in a neoclassical Beaux Arts style by architect George A. Kelham, with later alterations in 1996 by architect Gae Aulenti as part of the library building's conversion to museum space. The main building was constructed during the district's period of significance (1906-1936) and is a contributing resource within the Civic Center Landmark District. The area of work is on the east portion of the lot, where a 1998 addition, a freight loading dock and driveway are located. The project site is located within a P (Public) Zoning District with an 80-X Height and Bulk Limit.

PROJECT DESCRIPTION

Exterior Scope

The exterior scope of the project is for new construction at the eastern edge of the property, fronting onto Hyde Street. The proposal is to construct a 1-story vertical addition with a roof

terrace and canopy structure on top of an existing 1-story conservation studio. The 1-story building was constructed in 1998 on an isolated base in anticipation of future vertical expansion. The existing Hyde Street elevation of the conservation studio is a solid concrete shear wall, with a loading driveway to the north. The proposed vertical addition above the shear wall would create a large, clear span exhibit hall. The roof terrace on the new addition would be primarily accessed from Samsung Hall by installing a new doorway within an existing large window opening on the east wall. Secondary access points have been designed through the addition of a new ramped bridge and doorway in the north court and at an existing escalator landing in the south court.

The floor of the new museum exhibit hall would be placed above the existing shear wall, 10 feet above curb level. The new upper story would extend 19'-6" to a flat roof measuring 29'-6" above the curb. Exhaust fans for the ground floor conservation studios and new mechanicals would be located on the roof of the new exhibit hall. The new mechanicals would add approximately 13' of height at the north edge of the roof, adjacent to a freight loading area, and are proposed to be shrouded in part by an ornamental metal screen which will wrap the exterior of the new addition. The roof is proposed to be programmed for outdoor sculpture exhibits and a flexible open-air dining or assembly area. A bar service area is proposed, but there is no plan for a full kitchen. Raised landscape beds line the north and south roof edges. The metal façade screen rises on the north elevation to form a perforated canopy structure which terminates at the base of a Gae Aulenti-era glass walkway. The proposed canopy, at its highest ridgeline, would rise approximately 20 feet above the roof surface.

Freight Handling Upgrades

Freight handling upgrades are also planned for the Hyde Street elevation, which would include a wider curb cut to correct the angled approach to the loading dock, and a new concrete freight elevator tower adjacent to the McAllister Street entrance to facilitate the transfer of artwork between the loading bay, the lower three levels of the main building, the new exhibit hall addition and the upper roof terrace sculpture garden.

Interior Scope

Vestibule (Rm. 109)

At the Larkin Street entrance, a security checkpoint at the central entrance doors will be redesigned, which includes new partitioning of the vestibule area.

Main Entrance Hall (Rm. 101)

The Larkin Street lobby currently has one large, non-historic reception desk that obstructs the Grand Staircase approach. The project proposes to create a direct path to the Grand Staircase by replacing the existing desk with two smaller ones that flank the central opening to the stairs beyond. New fixtures are to be installed to project graphics onto the lobby floor. New electrical and data ports are proposed.

Main Program Spaces (Rms. 201, 210)

Existing gallery exhibit casework is proposed to be altered on Levels 2 and 3, which include some of the designated main program spaces.

Samsung Hall (Rm. 200)

The hall's interior will remain unchanged, with the exception of the east wall. A fenestration change is proposed to create a doorway where a large, single pane window and stone sill currently exist.

Other Main Building Alterations

- Ground Floor: Classrooms along the Fulton Street elevation are proposed to be reconfigured, adding new partition walls that do not obstruct exterior window openings.
- Hyde Street Elevation: Existing windows and wall materials (brick and glass) are proposed for removal at areas of the building envelope where circulation connections are to be made into the new addition.

In addition to the Historic Preservation Commission (HPC), the proposed project requires approval of a General Plan Referral. The HPC shall review the proposed project as part of a Certificate of Appropriateness (Planning Code Section 1006), as the project includes new construction within the Civic Center Landmark District. The Planning Department, through administrative approval or a Commission hearing, shall review the proposed project as part of the General Plan Referral for consistency with the City's General Plan Objectives and Policies.

ENVIRONMENTAL REVIEW

The proposed project is currently undergoing environmental review.

APPENDIX J OF ARTICLE 10

The Civic Center Landmark District is locally designated in Article 10 of the San Francisco Planning Code (Appendix J). The Civic Center Landmark District is significant under events and design/construction for serving as the city's center of civic government since 1897, and for possessing a unique place and significance in the areas of architecture, history, and environment worthy of protection as an historic district. The Civic Center Landmark District is comprised of the monumental buildings, public open spaces, and statuary that occupy the area which is generally bounded by Franklin Street to the west, Hayes Street to the south, Market Street to the southeast, Seventh Street to the east and McAllister Street to the north. The district encompasses 16 city blocks. There are nine major buildings, which include the subject property. The identified period of significance for the district is 1906 to 1936.

Per Section 5 of Appendix J, buildings within the Civic Center Landmark District are significant based on how they relate to one another while also deferring to City Hall, which serves as the visual and historical centerpiece of the district. The cohesiveness of the district is:

achieved through a harmony of color, material, scale, size, texture, rhythm and style. Within these constrictions the buildings achieve individual interest through the imaginative manipulation of the elements. The historic Civic Center buildings are unified in the Beaux Arts classical design. They are organized into horizontal bands of vertically proportioned elements, with the grand order of the

facade displayed on two or three floors above a usually rusticated base of one or two ground and partially sub-ground floors. The Civic Center Historic District contains standard features such as overall form, massing, scale, proportion, orientation, depth of face, fenestration and ornamentation, materials, color, texture, architectural detailing, facade line continuity, decorative and sculptural features, street furniture, granite curbing and grille work.

The Case Report adopted as part of the Civic Center Landmark District designation identifies standard character-defining features of the district, such as:

1. *Overall Form.*
2. *Massing.*
3. *Façade Line Continuity.*
4. *Scale and Proportion.*
5. *Fenestration.*
6. *Materials.*
7. *Color.*
8. *Texture.*
9. *Architectural Detailing.*
10. *Decorative and Sculptural Features.*
11. *Street Furniture.*
12. *Granite Curbing.*
13. *Grille Work.*

In addition to the aforementioned features, Section 9 of Appendix J also includes the following standards for new construction and alterations within the Civic Center Landmark District:

(a) The standards for review of all applications for Certificates of Appropriateness are as set forth in Section 1006.7 of Article 10 and are as follows:

(b) For applications pertaining to sites, buildings, structures and objects in the Civic Center Historic District, any alteration, construction, relocation or demolition,...shall (1) be compatible with respect to height, massing, fenestration, materials, color, texture, detail, style, scale and proportion, signage, landscaping and street furniture which may define the character of the historic district as described in Section 5 of this designating ordinance and in the Civic Center Urban Design Guidelines adopted by the City Planning Commission; and (2) preserve, enhance or restore, and not damage or destroy, the exterior architectural appearance of the subject site, building, structure and object which is compatible with the character of the Historic District.

(1) Notwithstanding the foregoing, any exterior change to a site, building, structure and object which is not already compatible with the character of the Historic District shall bring the site, building, structure and object closer to compatibility. Where the required compatibility exists, the application for a Certificate of Appropriateness shall be approved.

(c) Alterations to Contributory and Contributory/Altered buildings shall be compatible with the architectural and historic character of this Historic District. New construction shall be compatible with the character of the Historic District as described in the Landmarks Preservation Advisory Board San Francisco Civic Center Historic District Case Report and its Appendix A and with the Civic Center Urban Design Guidelines. Said Case Report was adopted by the Landmarks Preservation Advisory Board at its Regular Meeting of October 6, 1993 by Resolution No. 454 and was adopted and amended by the City Planning Commission at its Regular Meeting of July 7, 1994 by Resolution No. 13719 and is contained in Board of Supervisors File No. 115-94-10.

Appendix J also includes a provision for review of proposed alterations to Exceptionally Significant Interior Public Spaces in Section 10, which reads:

Pursuant to Section 1004(c)(1) of the City Planning Code, proposed alterations to exceptionally significant interiors of the following publicly owned buildings shall require a Certificate of Appropriateness:

(b) The Main Library, 200 Larkin Street, a Contributor Building to the Historic District. The following exceptionally significant interior public spaces shall be designated: the Monumental Grand Staircase (Room S101), the Main Entrance Hall and Vestibule, (Rooms 101 and 191); the Monumental Public Corridors and Balcony Spaces including the Gottardo Piazzoni Murals in Public Corridor 290 (Rooms 190, 192, 193, 290 and 291A); and the Main Program Spaces (Rooms 200, 201, 202, 203, 210 and 218).

CIVIC CENTER ARCHITECTURAL DESIGN GUIDELINES

The project proposal shall be evaluated for conformance with the Civic Center Architectural Design Guidelines. The purpose of the guidelines is to direct development of new buildings or alterations of existing buildings to complement the Beaux Arts Civic Center.

- Pages 39-40 of the guidelines outline the common design elements of buildings within the district, which include:

1. Overall Height and Massing
2. Classical Façade Organization: horizontal bands with vertical elements
3. Symmetrical Facades with Harmonious Fenestration
4. Fine Quality Decorative Elements
5. Similar Color and Texture of Materials

- Page 45 of the guidelines provides a referential diagram in the Façade and Openings section to illustrate the typical treatment of Civic Center building facades.

- Page 39 of the guidelines cites a supporting document which offered site-specific recommendations for the subject property. The document referenced is a 1987 report by the AIA's Urban Design Committee entitled, "The San Francisco Civic Center: A Study in Urban Form".

THE SAN FRANCISCO CIVIC CENTER: A STUDY IN URBAN FORM

Completed in 1987, the goal of the study and report by the AIA's Urban Design Committee was to enhance the Civic Center as a community resource through a series of Planning, Urban Design and Architectural Design Recommendations. The purpose of the study focused on defining the physical form of the Civic Center and enhancing its overall vitality. Of particular note are the following sections:

- Façade Overlay Study (Pages 6-7): Principles of design were observed through the use of an architectural façade overlay. The analysis shows little range of deviation in façade design elements, and provides data on average horizontal datum heights as well as percentages of rough openings and average measurements of dimensional cladding units.
- Streetscape Recommendations (Page 12): For the streets surrounding the subject property, landscaping such as allees of trees were suggested.
- Primary Building Design Guidelines (Pages 16-17): The subject property – referred to as “Library” in the 1987 study – was recognized as a site with potential for future expansion. Page 17 includes diagrammatic and written recommendations for future expansion of the subject property towards Hyde Street.

STAFF ANALYSIS & RECOMMENDATIONS

The Department seeks the advice of the ARC regarding the compatibility of the new construction with the surrounding landmark district as defined by Secretary of the Interior's Standards for Rehabilitation (Secretary's Standards) and Article 10 of the San Francisco Planning Code. The Department would like the ARC to consider the following information:

Secretary of the Interior's Standards for Rehabilitation & Appendix J of Article 10

The proposed project would not destroy or damage any contributing elements to the Civic Center Landmark District. Department staff will undertake a complete analysis of the proposed project per the applicable Standards as part of the environmental review and the subsequent preservation entitlements (Certificate of Appropriateness). In addition, Department staff will undertake additional analysis of the proposed project per the standards outlined in Appendix J of Article 10, specifically to assess the project's conformance to the guidelines for new construction and compatibility within the surrounding landmark district.

New Construction-Overall Form & Continuity, Scale & Proportion

Within the Civic Center Landmark District the existing buildings are monumental in scale around a large central open space, with additional buildings extending along the principal axis at either end. The civic-use buildings generally have a tall, one- to two-story base with two or three stories above which are unified in their classical Beaux Arts design. These civic buildings typically occupy a full city block and, where set back from the property line, incorporate wide staircases with both paved and landscaped approaches from the curb.

The proposed project is to add a new, double-height vertical addition to an existing 1-story structure along the east lot line. The project plan is square-shaped and would extend the existing

building footprint vertically. The overall project is organized so that the existing 1-story volume serves as a base for the new double-height story above, which will be treated in a continuous architectural metal cladding on the upper story in keeping with the grand order of civic building facades in the district. Cladding of the upper floor is proposed to be an aluminum screen installed 15"-18" off of a backing wall finished in fiber cement panels. The enclosed building volume would be capped with a flat roof that has mechanical structures against the north parapet wall, adjacent to the freight loading driveway. A tall canopy structure in a curvilinear organic form creates the highest datum point on the new Hyde Street construction, rising to approximately the mid-point of the existing building height.

Additional new massing will be added further back from the Hyde Street curb, in the form of a new freight elevator adjacent to the rear wall of the historic building. Plans indicate the portion of the new addition encompassing the freight elevator and supporting north lobby areas is to be clad in concrete.

Recommendation: Overall, the Department believes that the form, organization and massing of the proposed project is compatible with the surrounding landmark district. However, the Department does recommend studying a reduction of massing at the mechanical penthouses and new elevator tower to reinforce the strong, unbroken horizontal massing that is characteristic of buildings in the district. In keeping with the traditional base-shaft-capital organization of façades in the district, the proportions of the new gallery's design should tie in to the strong horizontal lines that exist on the subject property. This could also help knit the Hyde Street block face into the typical form and continuity of other streetscapes within the district.

New Construction-Fenestration

Within the Civic Center Landmark District, properties are characterized by the highly symmetrical and regular pattern of fenestration on all public-facing elevations. The buildings designed for public use in the surrounding district feature smaller punched openings at their architectural base, with larger-scale window and door openings on the upper floors. Due to the neoclassical design of the historic buildings, the district's fenestration pattern has a strict order and consistency. The Civic Center Design Guidelines call attention to a new structure's "Façade and Openings" as elements to be considered in the visual analysis of the design.¹

The project, which proposes a vertical addition above an existing shear wall, includes a large span of ground floor glazing on the Hyde Street elevation to introduce a window-like condition where currently a solid concrete shear wall exists. The addition, which will be used as an art gallery, does not propose to have any daylighting into the building. An exterior lighting plan is proposed for the areas of the building that would be clad in the ornamental metal screen. The Project Sponsor has provided alternative designs for the ground floor shear wall, which propose a series of smaller glazed vitrines along the concrete wall versus continuous glazing along Hyde Street. In

¹ Civic Center Architectural Design Guidelines, "Design Guidelines for Primary Facades". Pg. 40.

the alternate studies, the ground floor portion of the screen is also shown flipped to illustrate how it might appear hitting the ground at the northeast corner of the new building.

Recommendation: Overall, the Department finds that the fenestration pattern at the ground floor could bear a stronger relationship to the district by incorporating smaller glazed “openings” at regular intervals. The design could successfully draw from the main building’s existing ground floor fenestration and the ground floors of other buildings in the district.

For the upper, double-height story, the Department recommends treating the cladding in a manner that provides additional perceived depth and changes in the façade plane that reinforce the regularized treatment of building fenestration on civic buildings within the landmark district.

New Construction-Materials

Within the Civic Center Landmark District, the older buildings commonly feature Raymond granite cladding that is light gray in tone. In the 1930s, terra cotta cladding finished to replicate the gray Raymond granite was introduced. New construction shall have materials of comparable quality, color and finish. Large-scale windows are typically wood or steel, with multi-lite glazing. In the case of the subject property, the double-height arched windows have a metal screen that spans the entire rough opening. Building details include carved granite or terra cotta ornament, bronze or copper doors and light fixtures, masonry or metal balcony railings, and the selective use of gold leaf.

The project proposes a material palette consisting of an existing concrete shear wall, fiber cement wall panels, an ornamental metal screen and roof canopy structure in a light champagne color, glass rooftop safety railings and concrete (freight elevator and connector). The Project Sponsor provided an alternate study of the roof terrace guardrails showing both traditional, simple metal rail styles as well as Beaux Arts-influenced and abstract contemporary patterned metal styles.

Recommendation:

Generally, the Department believes that the use of a metal screen could be found appropriate, since the subject property does include many large-scale metal screens within the fenestration of the main building’s upper stories. However, Department staff recommends continued refinement of all exterior cladding materials.

The Project Sponsor needs to provide additional options for the backup wall material for consideration, and needs to provide a physical sample for review and approval. The Department shall require additional information regarding the detailing of the exterior cladding materials to ensure color compatibility, high quality surface finishes, and that appropriate maintenance is incorporated into the project.

Staff recommends that the final tonal range of the proposed “champagne” finish better relate to the range of tones found on the subject building and within the district.

As rendered, the apertures within the proposed metal screen will vary to give the cladding a dynamic quality. Staff recommends that the overall scale of the patterned metal screen bear a strong relationship to the overall scale of features associated with the building and the district. Detailed information to demonstrate this relationship shall be provided prior to review by the HPC.

Staff is concerned over the incomplete appearance of the final material and finish of the proposed freight elevator tower and north lobby connector, in relation to the subject building, the district, and the proposed new gallery structure. Given the scale and massing of this component of the project, more information shall be provided regarding compatibility with the subject building and the district, as well as how the design may be revised to be wholly integrated into the proposed project.

The Project Sponsor shall provide a physical sample of the proposed material palette prior to review by the HPC.

New Construction-Detail

Within the Civic Center Landmark District, properties are primarily characterized by neoclassical design elements including pediments, pilasters, colonnades, bracketed window balconies, double-height glazed openings, intermediate cornices, rusticated stone and ornamental details designed in Classical Revival and Beaux Arts architectural styles.

Currently, the project features a metal screen inspired by the main building's Roman lattice window grilles as a continuous treatment for the building's double-height upper story. These grilles have been used as reference for other contemporary designs within the district, such as the perimeter fencing surrounding the proposed Civic Center Plaza playground areas. The façade screen would be installed 15"-18" in front of the new building wall. Perforations in the façade screen would allow visibility through to the wall behind, which is proposed to be clad in modular, 5'x10' fiber cement panels.

Recommendation:

The Department recommends refinement of the exterior cladding on the vertical addition to create more depth of plane, perhaps taking cues from fenestration patterns on the main building, the Federal Building across Hyde Street, and other contributing buildings in the district. The Project Sponsor might explore modulation of the façade through the incorporation of elements such as deep recesses or punched openings in the screen, or the creation of a secondary layer in the patterning of the screen through changes in the cladding's material and/or finish. For reference, the Project Sponsor should review the 1987 report, "The San Francisco Civic Center: A Study in Urban Form." This report contains many measurements and calculations of elements of the façade such as the height ranges of horizontal zones, the depth of voids in the façade and the percentage of openings of the whole planar surface. In designing a building, reference should be made

to adjacent Beaux Arts buildings with the goal of establishing compatibility with the existing architectural character.²

The exterior wall surface, which is proposed to be fiber cement panels, will be visible through apertures in the façade screen and from curb-level through the 15"-18" gap between it and the façade screen. The quality and durability of the addition's exterior wall cladding should be reexamined to bring it into greater conformance with existing buildings in the district in its material, cladding unit proportions, method of installation, color and finish.

Publicly visible glass railings at roof parapets are not compatible and/or characteristic of the surrounding district and add a reflective material on the exterior. The Department recommends extending the exterior cladding material up to a height above the roof that matches a safety railing height, or exploring a greater setback of the safety railing to a point on the roof where it is no longer publicly visible.

Interior Alterations

Alterations are specified for areas of the subject property identified in Section 10(b) of the designating ordinance as Exceptionally Significant Interior Public Spaces.

Recommendation:

Further information about new furniture and lighting installation, as well as points of attachment to ceilings, walls and floor surfaces should be provided prior to review by the Historic Preservation Commission to better understand the interior scope of work.

REQUESTED ACTION

The Department seeks comments on:

- Compatibility of the New Construction with the Civic Center Landmark District, as it relates to:
 - Appendix J of Article 10
 - The Civic Center Architectural Design Guidelines, and
 - The San Francisco Civic Center: A Study in Urban Form (Oct., 1987)
- Recommendations for Overall Form & Continuity, Scale & Proportion;
- Recommendations on Fenestration;
- Recommendations for Materials; and,
- Recommendations for Details.

² Civic Center Architectural Design Guidelines, "Design Guidelines for Primary Facades", pg. 39

ATTACHMENTS

Appendix J of Article 10

Civic Center Architectural Design Guidelines

The San Francisco Civic Center: A Study in Urban Form (Oct., 1987)

Renderings & Architectural Drawings by wHY Architects (July 1, 2016)

APPENDIX J TO ARTICLE 10 - CIVIC CENTER HISTORIC DISTRICT

SEC. 1. FINDINGS AND PURPOSES.

The Board of Supervisors hereby finds that the area known and described in this ordinance as the Civic Center Historic District contains a number of structures having a special character and special historical, architectural and aesthetic interest and value, and constitutes a distinct section of the City. The Board of Supervisors further finds that designation of said area as an Historic District will be in furtherance of and in conformance with the purposes of Article 10 of the City Planning Code and the standards set forth therein, and that preservation on an area basis rather than on the basis of individual structures alone is in order.

This ordinance is intended to further the general purpose of historic preservation legislation as set forth in Section 1001 of the City Planning Code, to promote the health, safety and general welfare of the public.

(Added by Ord. 413-94, App. 12/23/94)

SEC. 2. DESIGNATION.

Pursuant to Section 1004 of the City Planning Code, Chapter II, Part II of the San Francisco Municipal Code, the San Francisco Civic Center Historic District is hereby designated as an Historic District, this designation having been duly approved by Resolution No. 13719 of the City Planning Commission and Resolution No. 454 of the Landmarks Preservation Advisory Board.

(Added by Ord. 413-94, App. 12/23/94)

SEC. 3. LOCATION AND BOUNDARIES.

The location and boundaries of the San Francisco Civic Center Historic District generally bounded by Golden Gate Avenue to the north, Franklin Street to the west, Jones Street to the east and Market Street to the south shall be as designated on the San Francisco Civic Center Historic District Map, the original of which is on file with the Clerk of the Board of Supervisors under File No. 115-94-10, which Map is hereby incorporated herein as though fully set forth.

(Added by Ord. 413-94, App. 12/23/94)

SEC. 4. RELATION TO CITY PLANNING CODE AND THE PROVISIONS OF THE CHARTER OF THE CITY AND COUNTY OF SAN FRANCISCO.

(a) Article 10 of the City Planning Code is the basic law governing historic preservation in the City and County of San Francisco. This ordinance, being a specific application of Article 10, is both subject to and in addition to the provisions thereof.

(b) Except as may be specifically provided to the contrary in this ordinance, nothing in this ordinance shall supersede, impair or modify any City Planning Code provisions applicable to property in the San Francisco Civic Center Historic District, including but not limited to existing and future regulations controlling uses, height, bulk, lot coverage, floor area ratio, required open space, off-street parking and signs.

(Added by Ord. 413-94, App. 12/23/94)

SEC. 5. STATEMENT OF SIGNIFICANCE.

The San Francisco Civic Center possesses a unique place and significance in the areas of architecture, history, and environment worthy of protection as an historic district.

The land on which the Civic Center stands was declared a City Hall Reservation as early as 1870. Portions of that reservation land were sold to raise funds for City Hall construction, and Old City Hall - located on the site that had first been used as the Yerba Buena Cemetery, approximately where the present library stands - was erected between 1871 and 1897, in a lengthy project marked by the now well known City government corruption of that time.

In 1899, B.J.S. Cahill, with the encouragement of Mayor Phelan, proposed a grander vision for the area, with the dual goal of clearing up land titles clouded by the dubious practices of the promoters of the Old City Hall and, at the same time, of creating an imposing setting for the entire area. This plan envisioned clearing out smaller structures and visually uniting the remaining monumental structures - Old City Hall, the Main Post Office, the Hibernia Bank building, and other larger structures - and setting them off against new open spaces (such as a planned extension of the Golden Gate Park panhandle to Market Street). Conflicting new developments were blocked for a time, but the plan eventually failed, in large part because of general distrust - bred of experience, perhaps - of large government projects.

Undaunted, former Mayor Phelan soon led the formation of an Association for the Improvement and Adornment of San Francisco. In 1904, the Association invited Daniel Burnham to design a grand plan for the City, with B.J.S. Cahill providing a design for the Civic Center. This produced two visions of the Civic Center: Cahill, with the practicality borne of personal and local experience, proposed using existing structures and City-owned land to create a central plaza, surrounded by major buildings, and, again, connected to a Golden Gate Park panhandle extension; Burnham proposed a grander Civic Center, with buildings connected by a generally circular series of boulevards and grand open vistas. The Burnham Plan, though politically impractical, fired the public imagination and was submitted to and adopted by the Board of Supervisors on September 27, 1905.

Following the 1906 earthquake, the public desire to rebuild and reclaim what had just been lost confirmed in practice what Cahill had perceived before: that political expediency set limits to the definition of the Civic Center. Competition continued between the different views of Burnham and Cahill of what the Civic Center might become, but by 1912 the Board of Supervisors had endorsed the Cahill Plan as modified in 1909. The momentum of growing civic pride and the Civic Center development effort - spearheaded by then-Mayor Rolph and the coming of the 1915 Panama-Pacific Exposition - was focused into the general outlines sketched by Cahill.

Mayor Rolph, a reform candidate, saw the Civic Center as a central civic improvement, the symbol of a new unity of the people under a new and honest political era and a permanent expression of the grandeur and vitality which the 1915 Exposition would exemplify on a temporary scale.

The World Columbian Exposition in Chicago, in 1893, was the source of inspiration for the "City Beautiful" movement which emphasizes formal plan and composition of monumental scale, neoclassical style buildings fronting plazas, boulevards and grand public gathering spaces. The order, harmony, cleanliness, and grandeur of the exhibition, called "The White City," was in sharp contrast to the rapid, chaotic growth that most U.S. cities had experienced in the preceding era of rapid immigration and industrialization.

Several world's fairs were held throughout the country in the later 1800's, spreading the ideals of classical architecture, Beaux Arts forms, and the concepts of planning and cooperation for ensemble effect in design. These planning and design schemes were an important influence for forty years, with their primary manifestation coming in designs for cities, parks, and civic centers. Numerous City plans were commissioned in the early years, but only Cleveland and San Francisco implemented a portion of their plans, with San Francisco more nearly reaching completion.

The historic significance of the "City Beautiful" movement lies in the manner in which it reformed and refocused architectural vision, contributing to something of a national style of architecture; and, on a practical level, in the formation of City Planning Departments and schools or courses devoted to City Planning.

The design of the San Francisco Civic Center is an example of the development of those significant contributions. More particularly, the San Francisco Civic Center is an expression of a nation ready to display its new international importance in an architectural statement. At the time it took form, geography and historical events had made San Francisco the center of western America. Monumental classical architecture for the City's central public space expressed this consciousness, as well as the accompanying belief that such inspiring surroundings should be democratically available to all, not just a privileged few.

The Exposition Auditorium, the Central Plaza, and the Powerhouse were completed before the 1915 Panama-Pacific Exposition, and the new City Hall was completed in late 1915. The library was completed in 1916; the State Building in 1921; and the Public Health Building in 1932 and the Old Federal Building in 1936. The present Opera House and Veterans Building expanded the Civic Center to the west in 1932 and 1933, respectively, much in the manner the original proponents envisioned. The original plaza was excavated in 1956 to add the underground parking garage. At this time the ground level details were changed into the present reflecting pool and semi-park. United Nations Plaza, which opens the vista to the east of City Hall in a manner consistent with the original vision of the Civic Center, was created in the mid-1970's.

It is an exemplary City Beautiful complex in the best of the American Academic Beaux Arts tradition. Designed and built in the revival of classical style, stemming from the Chicago World's Fair of 1893 that has been called the "American Renaissance," it succeeds in making a strong impression of Civic dignity and pride. The San Francisco Civic Center Historic District consists of a principal aggregation of monumental buildings around a central open space, with additional buildings extending the principal axis at either end. It includes all or part of the fifteen City blocks. There are eight major buildings, a group of secondary buildings, three unrealized building sites, and a large plaza within the Historic District.

Each building in the Civic Center was faced with the problem of providing modern, functional facilities in a classical idiom. The classical Beaux Arts style was deemed suitable as the traditional style of American governmental buildings, and was amenable to City Beautiful ideals of harmony among many buildings on a grand scale. The formal composition of "City Beautiful" architecture, plantings, street embellishments and plazas was meant to be an expression of civic authority and pride - intending to impress and overawe. The classical style aptly expressed the mood of a nation eager to redefine its newly achieved international importance in architectural terms. It reflected a mood and an existing state of affairs as much as an inspiration to dominance. In San Francisco, it represented the city's emergence as a regional center of national importance, and within the City, it symbolized the united efforts of a population recently divided along many lines.

In terms of "democratic" architecture, or architecture for an ever larger segment of the population, monumental classical architecture uncompromisingly demonstrated the enhanced concern for the general public. Only a few years earlier, such splendor was exclusively reserved for the rich and the privileged few. To this day, no greater public interiors have been built in the United States than those influenced by and representative of the City Beautiful Movement, including among the very finest, the San Francisco City Hall.

Within the scope of turn of the century classical architecture in the United States, the San Francisco Civic Center contains several fine examples of the mode and one superlative example in its City Hall. The other buildings in the group, although less interesting individually cannot properly be evaluated in the same way. In particular, the State Building, the Federal Building, the Health Building and the War Memorial group would probably appear rather dull compared to City Hall, as if they were missing an essential ingredient. But seen in the context of the Civic Center as a whole, and in relation to City Hall, all the buildings together achieve distinction.

The criteria on which the buildings are judged, then, must be the degree to which each enhances the group without distracting from City Hall. These qualities are achieved through a harmony of color, material, scale, size, texture, rhythm and style. Within these constrictions the buildings achieve individual interest through the imaginative manipulation of the elements.

The historic Civic Center buildings are unified in the Beaux Arts classical design. They are organized into horizontal bands of vertically proportioned elements, with the grand order of the facade displayed on two or three floors above a usually rusticated base of one or two ground and partially sub-ground floors. Civic Center Historic District contains standard features such as overall form, massing, scale, proportion, orientation, depth of face, fenestration and ornamentation, materials, color, texture, architectural detailing, facade line continuity, decorative and sculptural features, street furniture, granite curbing and grille work.

The Civic Center is designated as both a National Historic Landmark District and a Historic District on the National Register of Historic Places, the former designation occurred on February 27, 1987, the latter, October 10, 1978. These designations offer recognition that certain properties within the Historic District are worthy of preservation and alterations undertaken both in the local and federal districts shall comply with the Secretary of the Interior's Standards for the Treatment of Historic Properties. Said Standards were adopted by the Landmarks Preservation Advisory Board at its Regular Meeting of October 2, 1985, the amended Standards were readopted by the Landmarks Board at its Regular Meetings of February 6, 1991 and August 3, 1994.

SEC. 6. FEATURES.

The architectural features of said Historic District that should be preserved are set forth in this ordinance and described and depicted in the Landmarks Preservation Advisory Board's Case Report "San Francisco Civic Center Historic District" including Appendix A: Survey of Parcels. Said Case Report was adopted by the Landmarks Preservation Advisory Board at its Regular Meeting of October 6, 1993 by Resolution No. 454 and was adopted and amended by the City Planning Commission at its Regular Meeting of July 7, 1994 by Resolution No. 13719. The architectural features, formal plan composition and streetscape elements of said Historic District that should be preserved and strengthened are also identified in the Civic Center Plan, an Element of the City's Master Plan, and in the Civic Center Urban Design Guidelines adopted by the Planning Commission pursuant to that plan.

(Added by Ord. 413-94, App. 12/23/94)

SEC. 7. ADDITIONAL PROVISIONS FOR CERTIFICATES OF APPROPRIATENESS.

The procedures, requirements, controls and standards in Sections 1005 through 1006.8 of Article 10 of the City Planning Code shall apply to all applications for Certificates of Appropriateness in the San Francisco Civic Center Historic District.

In addition, the following provisions shall apply to all such applications. In the event of any conflict or inconsistency between the following provisions and Article 10, the procedures, requirements, controls and standards affording stricter protection to the Historic District shall prevail, except for the provisions of Section 8 of this designation ordinance.

A Certificate of Appropriateness shall be required for all major alterations, as set forth below, to Contributory or Contributory/Altered buildings sites, structures or objects within the Historic District. Within 10 days after the Central Permit Bureau refers any permit application to the Department, the Zoning Administrator and the Secretary to the Landmarks Preservation Advisory Board shall determine in writing whether the proposed alteration is a major alteration or a minor alteration. The decision of the Zoning Administrator shall be final.

(a) An alteration is considered major if any of the following apply:

(1) The alteration will remove or cover an exterior architectural feature or a portion of an exceptionally significant interior as set forth in Section 10, or replace it with substitutes that are inappropriate in material, scale, color or architectural style. This provision shall apply to exceptionally significant interior public spaces designated in Section 10 of said ordinance; or

(2) The alteration would affect all or any substantial part of a structure's interior or exterior column or load-bearing wall, exterior walls or exterior ornamentation; or

(3) The alteration results in a substantial addition of height above the height of the structure; or

(4) The cumulative impacts of serial permits may be determined to be a major alteration. An alteration, in combination with other alterations authorized within the preceding five years, shall be deemed a major alteration if the cumulative impact of said alterations may be considered a major alteration as described above.

(b) An alteration is considered minor if the criteria set forth in Subsection (a) do not apply or the work consists of ordinary repair and maintenance.

(c) The Department of City Planning in consultation with the Landmarks Preservation Advisory Board, may promulgate Rules and Regulations to distinguish major alterations from minor alterations for this Historic District consistent with this Section 7.

(d) Permit applications determined to be for minor alterations shall be returned, with that determination noted, to the Central Permit Bureau for further processing; provided, however, that the Zoning Administrator may take any other otherwise authorized action with respect to the application.

(Added by Ord. 413-94, App. 12/23/94)

SEC. 8. APPEALS FROM THE LANDMARKS PRESERVATION ADVISORY BOARD AND CITY PLANNING COMMISSION DECISIONS ON CERTIFICATES OF APPROPRIATENESS.

(a) Certificate of Appropriateness decisions of the Landmarks Preservation Advisory Board may be appealed to the City Planning Commission pursuant to the provisions of Planning Code Section 1006.8. Nothing in this ordinance shall supersede, impair or modify provisions of the City Charter or laws governing the State of California and the United States of America. All governmental bodies shall work cooperatively with the Landmarks Preservation Advisory Board on proposed exterior and interior changes to ensure that the alteration of buildings within this Historic District comply with the Secretary of the Interior's Standards for Rehabilitation, Revised 1990 (and subsequent revisions).

(b) This ordinance designating the Civic Center Historic District shall in no way diminish the powers, rights and duties vested in the Art Commission, the War Memorial Board of Trustees, the Library or the Asian Art Museum. It is the intent of the Board of Supervisors, however, to retain its authority, and the authority of the Landmarks Preservation Advisory Board and the Planning Commission, over historic preservation decisions in the Civic Center Historic District in order to ensure the appropriate treatment of the historical elements of this historic district.

(c) The entities referenced in Subsection 8(b) above shall consult with the Landmarks Preservation Advisory Board on any proposed interior alterations to the publicly accessible spaces of their buildings, regardless of whether a Certificate of Appropriateness is required by this ordinance or by Article 10.

(Added by Ord. 413-94, App. 12/23/94)

SEC. 9. STANDARDS FOR REVIEW OF APPLICATIONS.

(a) The standards for review of all applications for Certificates of Appropriateness are as set forth in Section 1006.7 of Article 10 and are as follows:

(b) For applications pertaining to sites, buildings, structures and objects in the Civic Center Historic District, any alteration, construction, relocation or demolition, shall comply with the standards contained in Section 1017(c), and shall (1) be compatible with respect to height, massing, fenestration, materials, color, texture, detail, style, scale and proportion, signage, landscaping and street furniture which may define the character of the historic district as

described in Section 5 of this designating ordinance and in the Civic Center Urban Design Guidelines adopted by the City Planning Commission; and (2) preserve, enhance or restore, and not damage or destroy, the exterior architectural appearance of the subject site, building, structure and object which is compatible with the character of the Historic District.

(1) Notwithstanding the foregoing, any exterior change to a site, building, structure and object which is not already compatible with the character of the Historic District shall bring the site, building, structure and object closer to compatibility. Where the required compatibility exists, the application for a Certificate of Appropriateness shall be approved.

(2) Except as provided in Planning Code Subsection 1017(d), no application for a demolition permit in a Historic District may be approved until a Certificate of Appropriateness for the replacement structure has been approved by the Landmarks Board.

(c) Alterations to Contributory and Contributory/Altered buildings shall be compatible with the architectural and historic character of this Historic District. New construction shall be compatible with the character of the Historic District as described in the Landmarks Preservation Advisory Board San Francisco Civic Center Historic District Case Report and its Appendix A and with the Civic Center Urban Design Guidelines adopted by the City Planning Commission. Said Case Report was adopted by the Landmarks Preservation Advisory Board at its Regular Meeting of October 6, 1993 by Resolution No. 454 and was adopted and amended by the City Planning Commission at its Regular Meeting of July 7, 1994 by Resolution No. 13719 and is contained in Board of Supervisors File No. 115-94-10.

(d) Treatment of Stone Surfaces. Numerous structures in the Historic District exhibit stone, terra cotta, or brick exterior surfacing. Proposed treatment of said masonry surfaces with any acid wash, sandblasting, high pressure wash or other abrasive methods is discouraged as such abrasive treatments can severely damage historic masonry surfaces.

(Added by Ord. 413-94, App. 12/23/94)

SEC. 10. CERTIFICATE OF APPROPRIATENESS APPLICABILITY FOR ALTERATIONS TO EXCEPTIONALLY SIGNIFICANT INTERIOR PUBLIC SPACES.

Pursuant to Section 1004(c)(1) of the City Planning Code, proposed alterations to exceptionally significant interiors of the following publicly owned buildings shall require a Certificate of Appropriateness:

(a) San Francisco City Hall, 400 Van Ness Avenue (City Landmark No. 21 and a Contributory Building to the Historic District) shall comply with Sections 1006 and 1006.8(e) for any construction or alteration which requires a building permit for the following exceptionally significant interior public spaces which shall be designated and shall include: the Board of Supervisor's Chambers (Room C200); the Rotunda; and the Mayor's Office (Rooms D200, D205 and D209) including the Reception Room, inner corridors and offices and the Chief Administrator's Officers (C.A.O.'s) Offices (Room 289) which were previously designated under Ordinance No. 16-70, effective date, March 13, 1970.

(b) The Main Library, 200 Larkin Street, a Contributory Building to the Historic District. The following exceptionally significant interior public spaces shall be designated: the Monumental Grand Staircase (Room S101), the Main Entrance Hall and Vestibule, (Rooms 101 and 191); the

Monumental Public Corridors and Balcony Spaces including the Gottardo Piazzoni Murals in Public Corridor 290 (Rooms 190, 192, 193, 290 and 291A); and the Main Program Spaces (Rooms 200, 201, 202, 203, 210 and 218).

(c) The Public Health Department, 101 Grove Street, a Contributory Building to the Historic District. The following exceptionally significant interior public spaces shall be designated: the Main Entry and Elevator Lobby; the Marble Lined Corridors (All Floors) and the Third Floor Board Meeting Room/Auditorium.

(d) No other sites, buildings, structures and objects have exceptionally significant interior public spaces and would be subject to this Section.

(Added by Ord. 413-94, App. 12/23/94)

SEC. 11. SIGNIFICANCE OF INDIVIDUAL BUILDINGS TO THE HISTORIC DISTRICT.

The history of each parcel within the Historic District is documented in Appendix A: Survey of Parcels, and is included in the San Francisco Civic Center Historic District Case Report as readopted by the Landmarks Board on October 6, 1993 by Resolution No. 454 and as amended and readopted by the City Planning Commission on July 7, 1994 by Resolution No. 13719 and is located in Board of Supervisors File No. 115-94-10.

Each building is assigned a finding from the three following categories:

1. Contributory. This category identifies buildings which date from the Historic District's period of significance (1906 to 1936) which reflect a Beaux Arts style and which retain their historic and architectural integrity. These structures are of the highest importance in maintaining the character of the Historic District. Recognizing the unique character of this Historic District which is derived from its expression of an historic plan, some structures within the Historic District may date from the Historic District's period of significance but do not contribute to the intended original plan in their architecture, detailing, height or scale. Such buildings are designated noncontributory and may be considered for replacement with structures designed in a monumental style and manner which would complete the San Francisco Civic Center Plan as originally conceived.

The following buildings are deemed Contributory to the Historic District: Newton Tharp Commercial High School, 170 Fell Street, Lot 1 within Assessor's Block 815; (a portion of Landmark No. 140), Federal Building, 50 Fulton Street, (50 United Nations Plaza) Lot 35 within Assessor's Block 351; Exposition Auditorium, 99 Grove Street, Assessor's Block 812; Department of Public Health, 101 Grove Street/50 Ivy/Lech Walesa Street, Lot 1 in Assessor's Block 811; San Francisco Public Library, 200 Larkin Street, Lot 1 in Assessor's Block 353; Orpheum Theater Building, 1182 - 92 Market Street, Lot 22 in Assessor's Block 351; 1212 Market Street, Lot 3 in Assessor's Block 355; 1240 - 1242 Market Street, Lot 6 in Assessor's Block 355; Hotel Avalon, 1272 - 1276 Market Street, Lot 9 in Assessor's Block 355; 1278 - 1298 Market Street, Lot 10 in Assessor's Block 355; Methodist Book Concern, 83 McAllister Street, Lot 32 in Assessor's Block 351; Old State Office Building, 50 McAllister Street, Lot 2 in Assessor's Block 765; Barbara Apartments, 580 McAllister Street, Lot 8 in Assessor's Block 767; 1 United Nations Plaza (35 - 57 Fulton Street); Lot 37 in Assessor's Block 351; the High School of Commerce, 135 Van Ness Avenue, (a portion of Landmark No. 140), Lot 1 in Assessor's Block 815; War Memorial Opera House, 301 Van Ness Avenue (a portion of Landmark No. 84),

Lot 1 in Assessor's Block 786; San Francisco City Hall, 400 Van Ness Avenue (Landmark No. 21), Lot 1 in Assessor's Block 787; War Memorial Veteran's Building, 401 Van Ness Avenue (a portion of Landmark No. 84), Lot 1 in Assessor's Block 786; and, the Corinthian Court Apartments, 500 - 524 Van Ness Avenue, Lot 6 in Assessor's Block 766.

2. **Contributory/Altered.** This category identifies buildings which date from the Historic District's period of significance and have had alterations as detailed on page 22 of the San Francisco Civic Center Historic District Case Report located in Board of Supervisors File No. 115-94-10. Appropriate restoration of such buildings is encouraged, though in certain situations (see No. 1 above) their demolition and replacement may be more appropriate in order to achieve completion of the original San Francisco Civic Center plan. Such replacement should adhere to any Civic Center Urban Design Guidelines adopted by the City Planning Commission.

The following buildings shall be deemed Contributory/Altered within the Historic District: Marye Building, 1200-1208 Market Street, Lot 15 in Assessor's Block 355; 1220-1232 Market Street (29 Grove Street), Lot 4 in Assessor's Block 355; 1236 Market Street (37 - 39 Grove Street), Lot 5 in Assessor's Block 355; the Wells Fargo Building, 1256 - 1264 Market Street, Lot 8 in Assessor's Block 355. The following site shall also be deemed Contributory/Altered within the Historic District: Civic Center Plaza, being all of Block 788.

3. **Noncontributory.** This category identifies buildings which post-date the Historic District's period of significance or have had their integrity compromised by inappropriate alterations as detailed on page 21 of the San Francisco Civic Center Historic District Case Report. Demolition permit applications for these buildings will be processed without reference to the suspension provisions of Article 10. Alterations to Noncontributory buildings will require Certificate of Appropriateness if determined to be a major alteration in order to minimize conflicts with the historic character of the Historic District. Replacement buildings should adhere to Civic Center Urban Design Guidelines adopted by the City Planning Commission.

The remaining buildings shall also be deemed to be Noncontributory within the Historic District: California State Courts Building, 455 Golden Gate Avenue, Lot 3 within Assessor's Block 765; vacant lot, 41 - 47 Grove Street, Lot 12 in Assessor's Block 355; vacant lot, southeast corner of Grove Street at Larkin Street, Lot 11 in Assessor's Block 355; vacant lot, 165 Grove Street, Lot 21 in Assessor's Block 811; Library Annex, 45 Hyde Street, Lot 1 in Assessor's Block 353; the New Main Library, 100 Larkin Street, Lot 1 in Assessor's Block 354; 1170 Market Street, Lot 51 in Assessor's Block 351; 1220 - 1232 Market Street (29 Grove Street), Lot 4 in Assessor's Block 355; 1236 Market Street (37 - 39 Grove Street), Lot 5 in Assessor's Block 355; 1244-1254 Market Street, Lot 7 in Assessor's Block 355; 77 - 79 McAllister Street, Lot 33 in Assessor's Block 351; 456 McAllister Street., Lot 4 in Assessor's Block 766; 460 McAllister Street, Lot 5 in Assessor's Block 766; vacant lot, 401 Polk Street, Lot 2 in Assessor's Block 766; 10 United Nations Plaza, Lot 50 in Assessor's Block 351; Louise M. Davies Symphony Hall, 201 Van Ness Avenue, Lot 1 in Assessor's Block 810; 234 Van Ness Avenue, Lot 18 in Assessor's Block 811; 240 Van Ness Avenue, Lot 19 in Assessor's Block 811 and the Edmund G. Brown State Office Building, 501 Van Ness Avenue, Assessor's Block 767.

The Board of Supervisors, through the adoption of this ordinance, shall deem 450 McAllister Street, Lot 3 in Assessor's Block 766, the Civic Center Powerhouse, 320 Larkin Street (298 McAllister Street) Lot 8 in Assessor's Block 347, the San Francisco Art Commission Gallery, 155 Grove Street, Lot 16 in Assessor's Block 811 and the Church of Christ Building, 171-195 Grove Street, Lot 20 in Assessor's Block 811 as Noncontributory buildings. Any replacement

building should adhere to Civic Center Urban Design Guidelines adopted by the City Planning Commission.

(Added by Ord. 413-94, App. 12/23/94)

SEC. 12. CERTIFICATES OF APPROPRIATENESS FOR CITY HALL ALTERATIONS.

Section 1006.8(e) of the City Planning Code describes the process for review of Certificate of Appropriateness applications proposing alterations to City Hall, Landmark No. 21. Nothing in this legislation shall be construed to amend said Section 1006.8(e). Said process shall serve to meet the Certificate of Appropriateness requirement for City Hall by its inclusion in this Historic District.

(Added by Ord. 413-94, App. 12/23/94)

SEC. 13. PAINT COLOR.

Nothing in this legislation shall be construed to regulate paint colors within the Historic District. Painting of previously unpainted masonry and stone surfaces is discouraged.

(Added by Ord. 413-94, App. 12/23/94)

CIVIC CENTER HISTORIC DISTRICT



CIVIC CENTER ARCHITECTURAL DESIGN GUIDELINES



PURPOSE

The San Francisco Civic Center is an exemplary Beaux Arts complex deserving to be preserved and enhanced in its unique architectural and urban design character. In the future, several vacant sites may be developed and buildings not consistent with the Beaux Arts style may be redeveloped which offers an opportunity to complete the Civic Center as originally intended.

The purpose of these architectural design guidelines is to direct development of new buildings or alterations of existing buildings to complement the Beaux Arts Civic Center, this distinguished district in San Francisco. They are intended to further design excellence, creative architectural solutions, compatibility with the existing Beaux Arts buildings, and to avoid mere imitation or mimicry of historic buildings.

The architectural design guidelines focus on architecture and urban design issues, the physical form and character of buildings, and their interrelation, and not on uses of buildings. Land use is addressed in Objective 1 of the Civic Center Plan. Urban design guidelines which address the streetscape and open space in the Civic Center will be published separately.

The guidelines are to be used by government agencies and private property owners in designing buildings, and by local, state and federal government agencies in reviewing permit applications for new buildings and alterations. As the City and County of San Francisco does not have jurisdiction over State and Federal property in the city, agreement on these guidelines by State and Federal agencies as well as by municipal agencies (such as the Art Commission, City Planning Commission, Bureau of Architecture, Bureau of Building Inspection, and others) is essential for their effectiveness.

These guidelines complement, and do not supersede, Master Plan policies, especially those of the Civic Center Plan and the Urban Design Element. Requirements of any other Federal, State or local legislation (for example the Americans with Disabilities Act, Secretary of the Interior's Standards for the Treatment of Historic Properties, Title 24 of the California Building Code, and the San Francisco Building Code) need to be implemented in conjunction with the design guidelines.

CIVIC CENTER ARCHITECTURAL DESIGN GUIDELINES

SCOPE

The area to which the guidelines are proposed to apply is shown in Figure 2.8. Also shown are street frontages with primary facades and secondary facades. Primary facades are those of City Hall, those facing City Hall, Civic Center Plaza, Fulton Mall and Memorial Court, and their respective returns (i.e. the continuation of the facade around the building corner for the length of one bay or to the center of the "side" facade as shown on the photo below.) Of special importance in the Beaux Arts plan of the Civic Center are the corner lots on the diagonals of the plaza with chamfered corner designs; these are also primary facades. (See Figure 2.7.)



Civic Auditorium, Return Facade

A secondary facade designation is given to the rear walls of buildings with primary facades and their respective returns. It is also assigned to those facades which exceed the height of the primary buildings and can be seen from Civic Center Plaza or Fulton Mall/Street/Memorial Courtyard. Areas of concern are properties to the north, northwest, and southwest of City Hall with 130 feet height limits, and to the south with height limits ranging from 120 feet to 160 and 200 feet. Figure 1.5 shows the height districts in the Civic Center and its surroundings.

CIVIC CENTER ARCHITECTURAL DESIGN GUIDELINES

DESIGN GUIDELINES FOR PRIMARY FACADES

The core of the Civic Center complex is comprised of monumental public buildings designed in distinct variations of the Beaux Arts style and arranged around a grand plaza with City Hall as the prominent centerpiece. The significance of this complex is based on the relationship of these buildings to City Hall, to each other and to the Plaza.

The buildings have several design elements in common, including: overall height and massing; classical facade organization of horizontal bands with vertical elements; symmetrical, balanced facades with harmonious fenestration; fine quality decorative elements; and similar color and texture of materials. However, there are also differences in the architectural design of these buildings as the Beaux Arts approach is not a uniform style and it allowed individual interpretation and expression of classical architecture. In addition, the Beaux Arts buildings in the Civic Center were designed by different architects over a span of two decades. Examples of the differences in architecture are the heights of the horizontal bands -- plinth, base, shaft or piano nobile, capital or attic, and mansard roof. On most buildings, the shaft or piano nobile is crowned by a heavy cornice, but on the Main Library, the cornice is placed above the attic.

In 1987, the Urban Design Committee of the American Institute of Architects San Francisco Chapter, in conjunction with the San Francisco Department of City Planning and the Civic Design Committee of the San Francisco Arts Commission, undertook an analysis of building elements which was published in a report titled "The San Francisco Civic Center: A Study in Urban Form." This report contains many measurements and calculations of elements of the facade such as the height ranges of horizontal zones, the depth of voids in the facade and the percentage of openings of the whole planar surface. These figures are useful for general reference. In designing a building, reference should be made to adjacent Beaux Arts buildings with the goal of establishing compatibility with the existing architectural character.

CIVIC CENTER ARCHITECTURAL DESIGN GUIDELINES

For the design of new buildings or additions to buildings, it is necessary to visually analyze Beaux Arts buildings next to or in the same view plane as the subject building and to creatively transpose their patterns into a contemporary, high quality design which enhances the Civic Center complex and does not distract from the predominance of City Hall.

An analysis of the "opposite" building along the Fulton axis will also be useful. Photographs of adjacent facades will be helpful but do not replace on-site observation and measurement, especially of the depth of recesses and projections in the facades, rhythm and building massing. The City's Bureau of Architecture has plans and elevations of many buildings in the Civic Center. Additional information can be found in the Historic Structures Reports/Building Evaluation Reports for several of the core buildings prepared by Carey and Company, and in reports for designations as San Francisco Landmarks, National Historic District, Historic District on the National Register of Historic Places, and San Francisco Historic District.

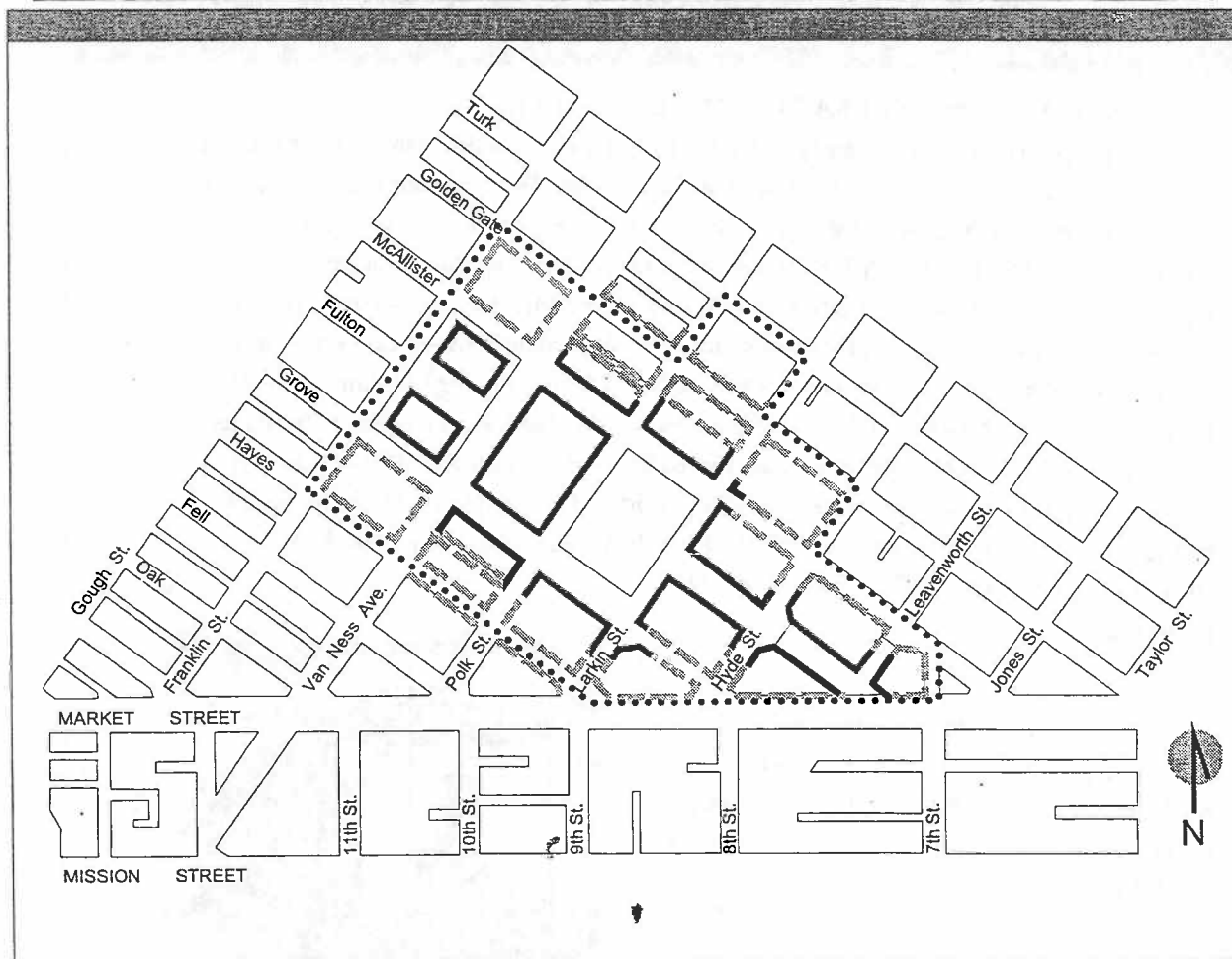
In designing additions to buildings with primary facades, the Secretary of the Interior's Standards for the Treatment of Historic Properties should be followed. Standard #9 for Rehabilitation is of particular importance:

"...The new work shall be differentiated from the old and shall be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment."

A proposed addition to a Beaux Arts building should integrate its major design elements in a contemporary approach and avoid imitation of historic features. The project should be differentiated from, but respectful of and complementary to the historic buildings and harmonious with the overall architectural character of the Civic Center.

More specifically, the design elements to consider in the visual analysis and design of a building are: Siting and Setbacks; Height and Bulk; Facade and Openings; Materials and Color; and Signage.

CIVIC CENTER ARCHITECTURAL DESIGN GUIDELINES



Civic Center Plan

Figure 2.8

Primary and Secondary Facades in the Civic Center Area

- Primary Facade**
- - - Secondary Facade**
- Core Area Boundary**

CIVIC CENTER ARCHITECTURAL DESIGN GUIDELINES

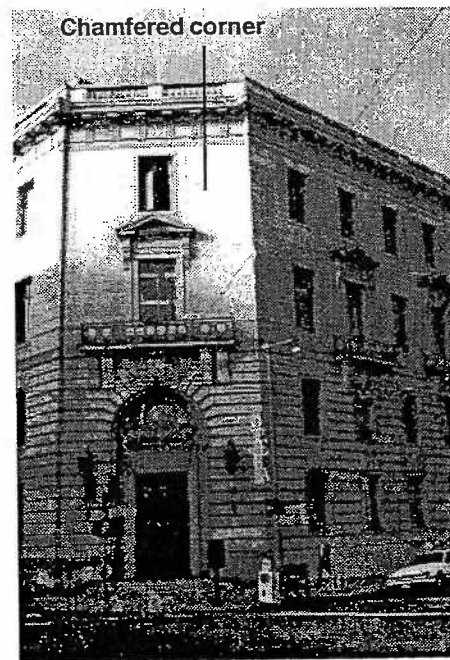
1. SITING AND SETBACKS OF BUILDINGS

In the Civic Center, the siting of buildings and their setbacks from the front property line are essential elements of the original Civic Center plan. The predominance of City Hall in the Civic Center is emphasized through generous landscaped setbacks on all four sides. (Figure 2.9). In addition to City Hall, the grand plaza is framed by three monumental buildings (State Building, Old Main Library and Civic Auditorium) which are set back from the property line thus making the plaza appear larger. Fulton Mall, between Leavenworth and Larkin Streets, is strongly defined by the deep setbacks of the abutting buildings. The War Memorial Veterans Building and Opera House feature deep setbacks on all street frontages and along the Fulton axis to provide space for the Memorial Court. The 1976 elimination of the rear setback of the Opera House should be considered an exception. Most other nearby buildings, especially those north and south of City Hall, do not have any setbacks and are built to the property line. This pattern should be maintained.

Existing setbacks, or lack thereof, should be respected by new buildings and additions to existing buildings. Encroachments of buildings into the setback area should not be permitted.

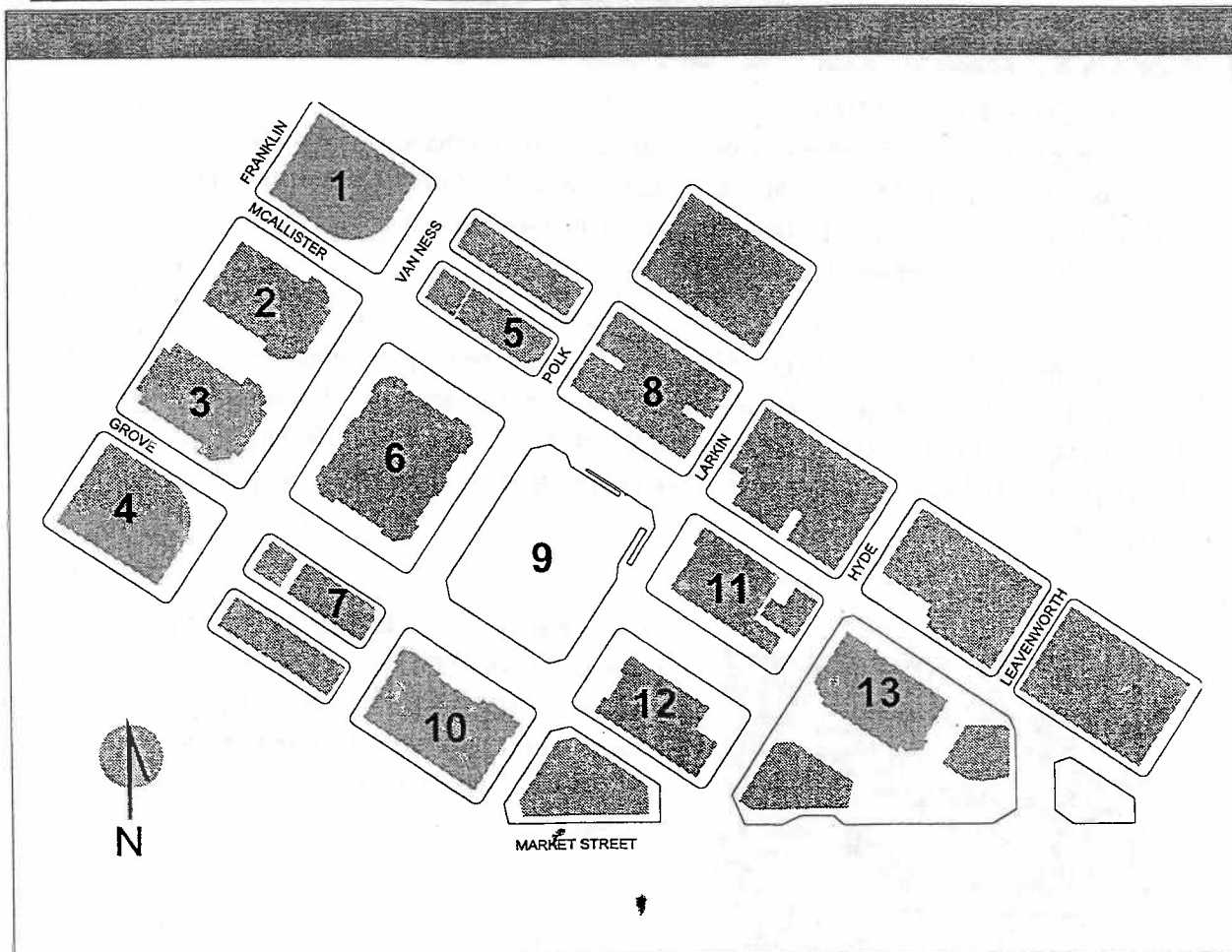
Special attention is required for the four corner buildings on the diagonals of Civic Center Plaza. The 1912 Civic Center Plan provides for these buildings to have chamfered corners and entrances at the corner instead of in the center of the facade.

The chamfered building corners should not be substituted with convex corners or any other corner treatment as this would defeat the intended effect of providing a strong definition of the Plaza.



101 Grove Street

CIVIC CENTER ARCHITECTURAL DESIGN GUIDELINES



Civic Center Plan

Figure 2.9

Setbacks in the Civic Center Area

- | | |
|------------------------------------|------------------------------------|
| 1. State PUC Office Building | 8. California State Building |
| 2. War Memorial Veteran's Building | 9. Civic Center Plaza |
| 3. Opera House | 10. Civic Auditorium |
| 4. Davies Symphony Hall | 11. Old Main Library |
| 5. New Courts Building Site | 12. New Main Library |
| 6. City Hall | 13. 50 U.N. Plaza Federal Building |
| 7. Department of Public Health | |

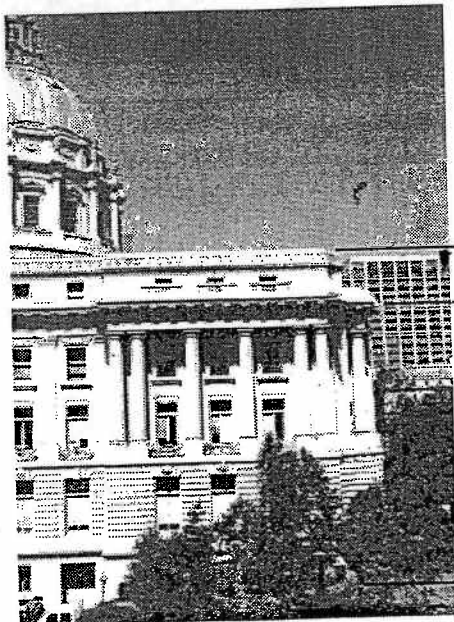
CIVIC CENTER ARCHITECTURAL DESIGN GUIDELINES

2. HEIGHT AND BULK

In promoting compatibility with the existing architectural character of the Civic Center, building height and bulk are significant design elements. However, they are also most likely subject to development pressures as they determine the size of a building and the amount of floor space to be accommodated therein.

To honor the integrity of the original plan and preserve the predominance of City Hall in the Civic Center complex, the height of the base or office wing of City Hall (about 80 feet) needs to be maintained as the standard for other building heights. The height of the cornice line of City Hall (about 65 feet) is another important visual reference point to be respected.

In some cases, it may be necessary to accommodate an additional story or to hide mechanical equipment, stair or elevator pent-houses on a roof. Mansard roofs are an appropriate solution provided they are setback from the facades.



City Hall

Height of Cornice Line

80' - Height of City Hall Base

CIVIC CENTER ARCHITECTURAL DESIGN GUIDELINES

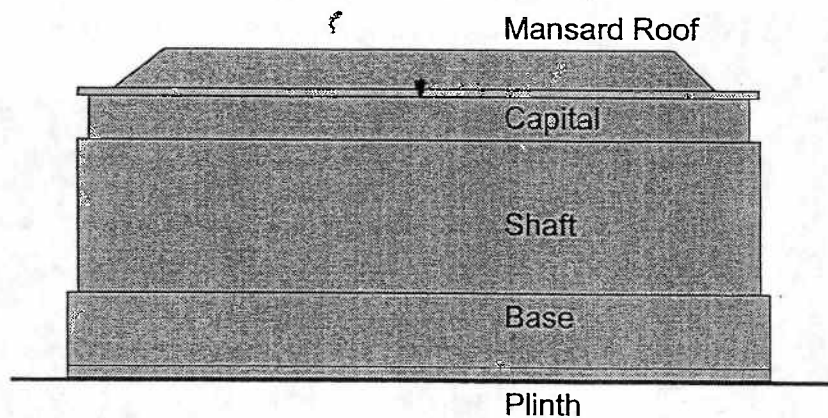
3. FACADE AND OPENINGS

The historic Beaux Arts buildings in the Civic Center share similar treatment of the facades with a vertical and horizontal tripartition, symmetry, arched entry and window forms, and decorative elements. These elements work in concert lending the Civic Center its distinguished character.

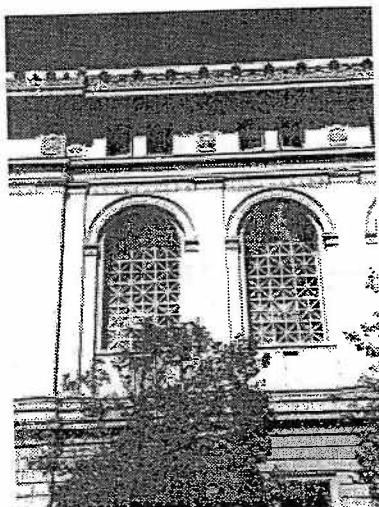
The three major horizontal elements of the facades are arranged over a plinth which accommodates the slope of the lot. They are:

- a rusticated base containing two or three stories which are indicated by rows of punched windows and often arched entry ways;
- a shaft or piano nobile, two to three stories in height, in the grand order of vertically-proportioned elements, and crowned by a heavy cornice;
- a capital or attic, one story high, with punched windows.

Several buildings also have skylights or a mansard roof which are set back from the facade.



CIVIC CENTER ARCHITECTURAL DESIGN GUIDELINES



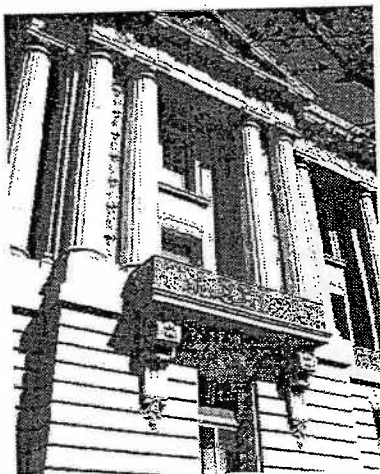
Old Main Library

Symmetry of massing, in the classical style, is provided by corner pavilions and axial entrances. Often above an elegant flight of stairs, the entrances are often elaborately designed with three or more decorated doorways and beautiful bronze doors.

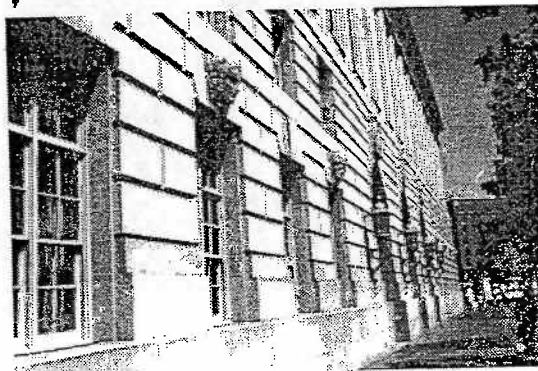
Among the most often used decorative elements which enrich, define, and modulate the horizontal and vertical scale, are single or paired columns, pilasters, cornices, belt lines, pediments, and balustrades. Other visual enrichments are decorative metal screens over large windows, stone or metal railings, light fixtures, and cast-stone statuary.

The sculptural depth of the facades and the richness of decorative elements varies from building to building and is generally strongest in ceremonial and cultural public buildings than in government office buildings.

The pedestrian experience is of great importance and requires special attention and imagination in order to make the area pleasing, attractive and safe. Where no



City Hall



Federal Office 50 U.N. Plaza

CIVIC CENTER ARCHITECTURAL DESIGN GUIDELINES

landscaped setbacks are required and facades border directly on the sidewalk, visual interest should be created at the pedestrian level and blank walls avoided. This may be achieved through articulation of the walls which is consistent with the overall facade organization, including rustication and other detailing, recesses in the depth of the facade, windows at the pedestrian level which allow views of the interior, lighting, stairs, retaining walls offering seating, and perhaps limited retail or similar uses.

When a landscaped setback is required, planting should be designed with attention to pedestrian safety and in a formal and dignified manner enhancing the Beaux Arts architecture and public space.

4. MATERIALS AND COLOR

The visual unity of the Civic Center is strongly supported by the uniform appearance and color of its materials. The older buildings are generally built in gray Raymond granite. In the buildings of the 1930's, terracotta simulating Raymond granite was used in some cases, such as the War Memorial Veterans Building and Opera House. In more recent buildings, light gray, high quality precast concrete is used successfully.

For new construction, these materials are appropriate if they maintain the light gray color, high quality surface finish, and appearance of substantial mass.

Materials to be considered for ornamentation or detailing are wood or bronze doors, wood or metal sashes, metal screens over windows, clear glazing, copper or other metals for visible roof elements. Materials such as granite, copper, bronze are costly yet they should be used so that new buildings contribute to the overall quality of the Civic Center complex.

CIVIC CENTER ARCHITECTURAL DESIGN GUIDELINES

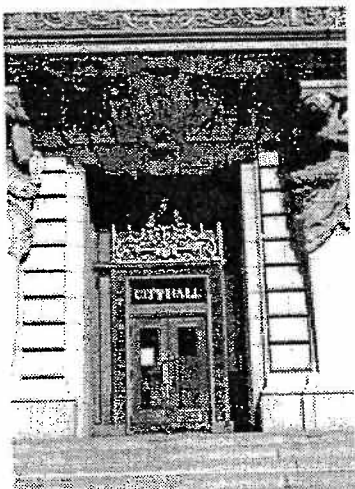
5. SIGNAGE

Signage on the historic Civic Center buildings is subdued and elegant. It includes bronze plaques or letters, signage directly incised in granite or concrete, gold lettering on glass entry ways, and relief emblems.

New signage should be restrained in size, color and style. It should be designed with the goal of complementing and not distracting from the architectural character.

Marquees with signage, as on the Civic Auditorium and Davies Symphony Hall, should only be permitted for these special and similar uses and should be designed to integrate in the building design.

Attaching banners to buildings to advertise exhibitions or public events has become accepted. Recently, banners were hung in large numbers from utility poles in the public right of way as well as from public buildings. Although most of the banners were well designed, more is not always better, and a program coordinating banners in the Civic Center area can help to increase their effectiveness.



City Hall



War Memorial Building

CIVIC CENTER ARCHITECTURAL DESIGN GUIDELINES

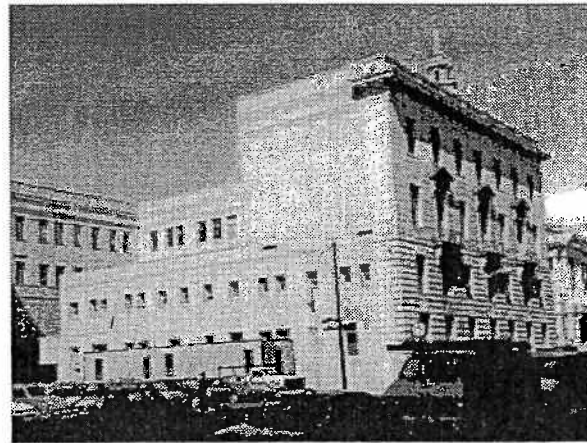
GUIDELINES FOR SECONDARY FACADES

Secondary facades, as shown on Figure 2.8, are the rear facades and their respective returns of buildings with primary facades, and those facades which exceed the height of the primary buildings and can be seen from Civic Center Plaza or Fulton Mall/Fulton Street/Memorial Court.

Several historic buildings (Old Main Library, Civic Auditorium, Department of Public Health) have rear and side facades in a simpler, less elaborate and more functional design and are built in either granite or grey or yellow industrial brick. Other buildings, such as City Hall, War Memorial Veterans Building, Opera House and the Federal Building (50 Fulton Street), are designed with formal facades all around. Either approach is permissible for new buildings in the Civic Center. However, since the secondary facades are likely to be the interface between the Civic Center district and surrounding neighborhoods, they should be inviting and less formal than the primary facades. Yet they should also be of high architectural quality, respectful and deferential to surrounding historical buildings and neighborhood character, and should not compete with City Hall.

Secondary facades which exceed the height of primary buildings and can be viewed from Civic Center Plaza or Fulton Mall, should serve as a background to the rich and monumental Beaux Arts architecture of the Civic Center complex. Any eye-catching features which would compete with City Hall or distract from the architectural character of the Civic Center should be avoided.

The mass of the building as permitted by the height limits and lot size should be visually and/or physically reduced so as not to overpower the historic buildings. The height should be contained within a 20° view angle measured from the centerline of the Fulton axis. (See Figure 2.6). The design should support the symmetry of the historic buildings, and feature materials of similar colors and textures.



Department of Public Health, Secondary Facade



THE SAN FRANCISCO CIVIC CENTER:
A STUDY IN URBAN FORM

OCTOBER 1987

URBAN DESIGN RECOMMENDATIONS FOR SAN FRANCISCO'S CIVIC CENTER
UNDERTAKEN BY
THE URBAN DESIGN COMMITTEE
AMERICAN INSTITUTE OF ARCHITECTS • SAN FRANCISCO CHAPTER

DEVELOPED IN CONJUNCTION WITH
THE SAN FRANCISCO DEPARTMENT OF CITY PLANNING
&
THE CIVIC DESIGN COMMITTEE • SAN FRANCISCO ARTS COMMISSION

SPONSORED BY
THE ARCHITECTURAL FOUNDATION OF NORTHERN CALIFORNIA

• PREFACE/ACKNOWLEDGEMENTS •

The report presented herein is the culmination of a design charrette undertaken to reawaken public interest/civic spirit in the Civic Center Area. The goal of this study is to facilitate the completion of a world-class civic center begun in the early 20th century. The vision of this special urban place and the current physical form is the combined efforts and talents of many individuals. With sensitive reinforcement, we believe the vision of civic leaders, nearly 80 years ago, can be fully realized. It is our hope that this study can act as a catalyst in evolving this vision and that the continued completion of this great civic composition is accomplished.

The charrette study took place on the 13, 14, 22 and 23 of July 1987. We wish to acknowledge the valued participation of the following individuals:

Clark Manus, Chairperson
Alex Bonutti, Steering Committee
F. Lee Moulton, Steering Committee
Bruce Race, Group Leader
Philip Enquist, Group Leader
Michael Stanton, Group Leader

Erin Bell, Camilo Carrillo, Marien Coss, Norman Davis, Mary Dooley, Lester Gerstman, Rob Gibson, Maria Gray, Ricka Hale, Lisa Kramer, Jerry Lee, Alex Lui, Maureen Hart, Sandy Miller, Caesar Quitevis, Andrej Scarica, Makato Takashima, Tom Trimbue

In addition, we would like extend our thanks for the support, encouragement and contribution of the following individuals:

George Rockrise, James Chappell : Architectural Foundation of Northern California
Dean Macris, George Williams, Richard Hedman, Calvin Malone : Department of City Planning, City of San Francisco
Chris Nelson, Edward Michael : Foundation for the Preservation of San Francisco's Architectural Heritage
Peter Henschel : Office of the Mayor, City of San Francisco
Deborah Learner : Recreation & Parks Department, City of San Francisco
James Haas, Diane Filippi, Marilyn Smulyan : Friends of the Library
Claire Isaacs, George Rockrise : San Francisco Arts Commission
John Kriken
Adam Krivatsy
Rai Okamoto
Marie Farrell, Liz O'Hara, Mark Mattocks : A.I.A. / SF Staff

• TABLE OF CONTENTS •

• EXECUTIVE SUMMARY	1
• CONTEXT	
• Background	2
• Urban Design Analysis	4
• Architectural Analysis	6
• RECOMMENDATIONS	
• Urban Design Concepts	8
• Architectural Concepts	16
• Actions	21



• EXECUTIVE SUMMARY •

OVERALL GOAL

- Enhance the Civic Center as a setting for cultural and government activities providing opportunities for every citizen to utilize the district as a community resource.

PLANNING RECOMMENDATIONS

- Provide for a continued focus and diversity of government office, retail and cultural activities to maintain the Civic Center as a safe and active area both during the day and evening.
- Review the balance of cultural activities citywide identifying the role of the Civic Center as a cultural district.
- Locate additional cultural and evening activities on the east side of the plaza to facilitate wider use of the Civic Center as a cultural district.
- Expand government and cultural facilities within the Civic Center district in priority sites as identified in this report.

URBAN DESIGN RECOMMENDATIONS

- Complete and restore the original 1912 Civic Center master plan in concept providing a formal Civic Center composition and character for the district.
- Enhance the definition of the Civic Center as a distinct district utilizing a stronger streetscape, open space framework and architectural guidelines that build on the characteristics of the classical core buildings.
- Improve the arrival experience at the Civic Center MUNI/BART stations by posturing future development on the south side of Market street toward United Nations Plaza.

URBAN DESIGN RECOMMENDATIONS

- Reintroduce traffic along the Fulton Street Mall to improve access, activate the mall and improve the arrival experience to the Civic Center.

ARCHITECTURAL DESIGN RECOMMENDATIONS

- Maintain the existing perceived height and scale of the classical core area.
- Select materials for the infill civic center buildings that are similar in nobility, color and relief as the classical core buildings.
- Compose the infill buildings' elevations in the context of the adjacent classical tri-partite facades.
- Consider Proposition K requirements for the public open space in the important context of completing the Civic Centers' established formal Beaux Arts design.

RECOMMENDED ACTIONS

- Fund and execute a comprehensive design and facilities plan for the Civic Center district to realize the center's opportunities to unite the diverse and civic elements of the city.
- Budget and implement a formal open space and streetscape master plan for the Civic Center district to provide the necessary setting for community and cultural events and enhance the traditional role of the area as a place for government and culture.

SCOPE OF STUDY

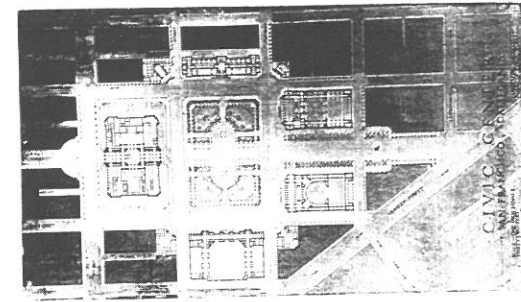
The focus of this study is the analysis of and suggestions for the physical form of the study area, an area that includes not only the core area that is traditionally considered the Civic Center, but also the areas adjacent to it.

PURPOSE

The intent of this study is not to suggest specific uses for the various components of the Civic Center; but, rather, to focus on the more general issues which define the physical form of the Civic Center Area, and suggest ways of enhancing the vitality of the Civic Center.

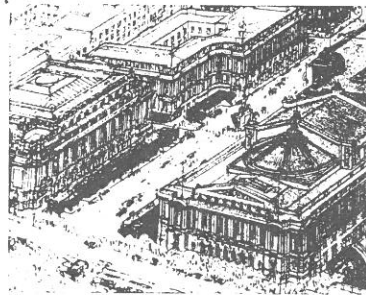
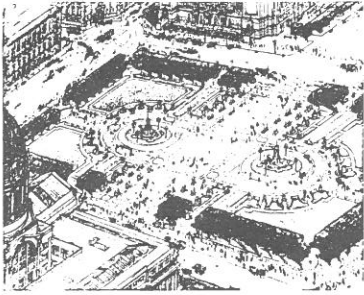
The study addresses not only the historic core but also adjacent areas because it is the belief of the participants that the experience and use of the Civic Center must be viewed within the larger context of the surrounding city.

It is hoped that this study will serve as the basis for consideration of the Civic Center study area described herein as a zoning district, and lead to the preparation of District Guidelines that serve as a mechanism to assist the realization of the vision of a Civic Center that is based on a respect for the past, present consideration of the disparate needs of the city's inhabitants, and an understanding of this area's role in molding the future.



HISTORY

The rich history of the San Francisco's Civic Center grew from the "City Beautiful" movement spawned by the 1893 Chicago World Fair to create an organized center of civic buildings. The 1906 earthquake leveled the newly completed City Hall and created the opportunity to explore a grand plan such as the 1905 Burnham plan. The reform government of James Rolph in 1912 put the development of a civic center at the forefront of city policy, including the Panama-Pacific Exposition. Initial plans by John Galen Howard, Fred Meyer and John Reed Jr. called for the dome of City Hall to be on axis with both Fulton and Eighth Streets placing City Hall on the east side of the plaza. Part way through the competition, the City Hall was interchanged with the Opera House and Library creating a grand entrance to the Civic Center. The original designers recognized that to properly define such a large plaza, great strength and unity of design were required. All fronting buildings were given bold colonnades as were the identical four corner buildings. Constructed in 1915, in time for the Exposition, the plaza became a central ceremonial way following the visual axis along Fulton Street, flanked by the two fountains on the cross axis of the State and the Exposition (Civic Auditorium) Buildings. The Bakewell & Brown designed City Hall opened later that year. The George Kelham designed Library was built in 1917 amid some hint of impropri-



ety due to its resemblance to other public libraries. The State Office Building, by Bliss and Faville, was completed in 1926 after two years of delays resulting from City-State land swaps, World War I, and criticism of the design which departed from the horizontal divisions and characteristics that united the other buildings. The expanse of blank walls along the Fulton and Hyde Street sides of the 1926 Orpheum Theatre directed the city to buy a ten inch setback to construct a proper facade. But, with the 1929 Stock Market Crash and mismanagement of funds set aside for the project, the walls have since remained blank.

Efforts to build an opera house and museum were reactivated, in effect protecting City Hall from inappropriate neighbors to the west. The American Legion was brought in as a partner in the creation of the War Memorial in addition to assisiting with the fund raising. The site provided the needed space for an expanded program and extended the formal frame of the Civic Center. The Health Building, at the corner of Polk and Grove Streets, remains the only corner building built, though it is not as strong as suggested in the master plan. The old Federal Building on Fulton Street, completed in 1935, was the last project within the Civic Center managed by Mayor Rolph. To secure appropriate development, the site was not turned over to the Federal Government until the Mayor was given satisfactory proof that the building would conform to the other Civic Center buildings. The depression, the retirement of Mayor Rolph, and

the demands of WWII brought active work on the Civic Center to a close for a period of almost twenty years.

With the Civic Center Plan of 1953, the formal arrangement along the Fulton axis was partially abandoned in favor of a more open and irregular pattern. Development brought the central freeway across the Fulton axis on the west, blocking views from and towards City Hall and limiting the extension of public services in that direction. Between the 1953 plan proposal and the officially adopted plan of 1958, Brooks Hall and a parking garage were placed under James Rolph Plaza. The Plaza by Douglas Bayliss retained many of the qualities of the original design while adding more trees, hedges and flowers to create more wind protected seating. But eventually, a reflecting pool was added, interrupting the ceremonial pathway.

The 1958 plan, a joint venture by Wurster, Bernardi & Emmons and Skidmore Owings & Merrill, called for the expansion of exposition facilities, the construction of four, nearly block sized, parking garages, and the extension of the complex to the north. Elaborate new open spaces around the 1962 Federal Building, designed by John Carl Warnecke & Associates, became unusable due to the severe wind problems in the area. In the 1960s, the 1953 idea of introducing greater informality in the arrangement of buildings was abandoned. With the construction of BART and the use of Federal funds, the city implemented the proposal to create a one block mall and plaza where Fulton meets Market Street.

Recent additions to the Civic Center include Davies Hall, to the south of the Opera House, and the equally monumental State Office Building, north of the War Memorial Complex. Both buildings, by Skidmore Owings & Merrill, face the reentrant corner of City Hall. The heart of the Civic Center remains incomplete while major public structures have been added to the periphery. The chance of realizing the visual unity of the central composition is still possible today.

EXISTING COMPOSITION

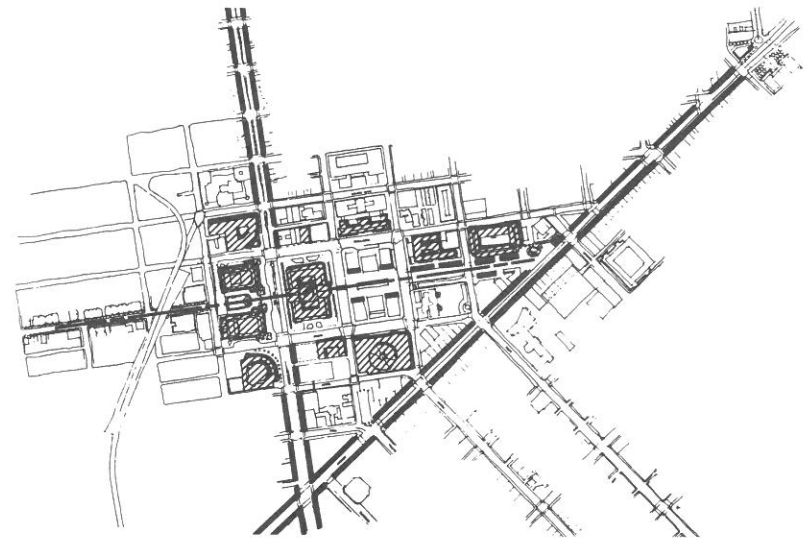
The classical, pre-1930s buildings that surround the Civic Center plaza are the core of the original Beaux Arts plan. It is the collection of buildings that make the Civic Center distinct in San Francisco, the formal bridge between Market Street and Van Ness Avenue. The following points summarize key observations about the existing urban design composition:

- The 1960's plaza and government buildings lack the subtle secondary compositional plan elements of the 1912 plan.
- The international style plaza design does not respond to the existing north-south or diagonal circulation patterns.
- The City Hall axis resolution at Market street is weak. It is too open and without a deliberate street wall. Fulton Street and U.N. Plaza are ill-defined.
- Van Ness Avenue provides a strong formal interface between the district and points north and south.

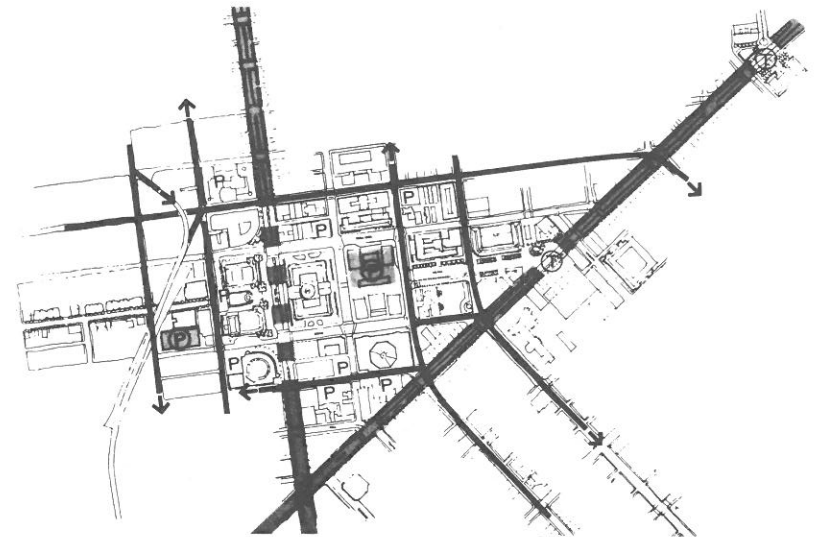
VEHICULAR CIRCULATION

A review of vehicular circulation yielded the following observations:

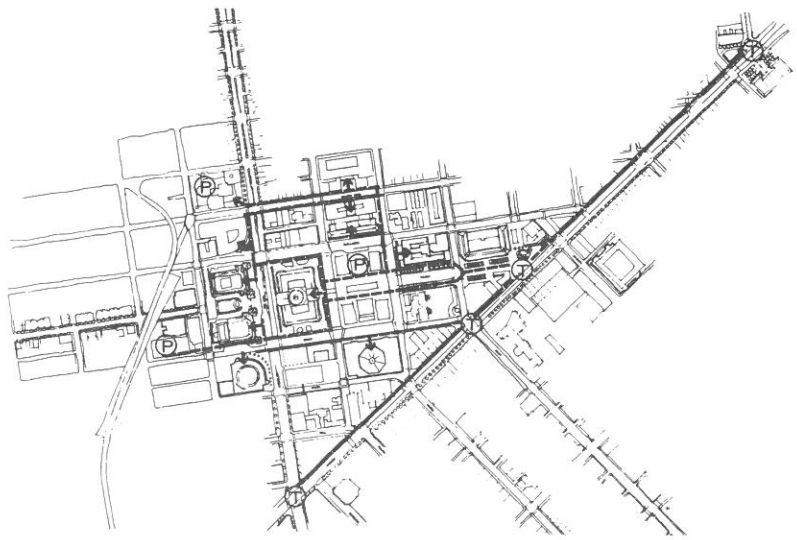
- Most vehicular circulation paths near the Civic Center are oriented to divert traffic around the Center's Core.
- Paths that do penetrate the core are configured to facilitate movement primarily in a north/south direction.
- McAllister provides the only direct east/west path through the core.
- The Fulton Street right-of-way, the central east/west axis through the Civic Center, is closed to through traffic east of Civic Center Plaza.
- Most of the traffic on streets adjacent to the area is routed as a series of one way couples.
- Several of these couples accommodate the transition between the wider South of Market and the tighter North of Market street grids.
- The Eighth/Ninth Street couple fails to enhance the experience of entering the Civic Center Core. North bound traffic enters at the rear of the Civic Auditorium complex, adjacent to the loading dock. South bound traffic exiting is diverted around Pioneer Monument, diminishing its importance as a historic landmark in the area.



COMPOSITION



VEHICULAR CIRCULATION

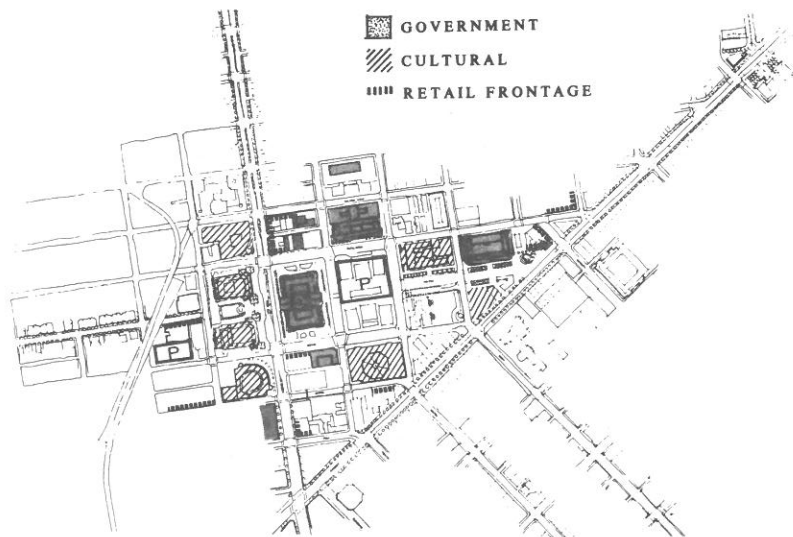


PEDESTRIAN CIRCULATION

PEDESTRIAN CIRCULATION

An analysis of pedestrian movement within the Civic Center has led to the following conclusions:

- Primary flow occurs in the east/west direction.
- During the day, the heaviest flow is between the Market Street BART/MUNI stations, available parking areas and government facilities surrounding the Civic Center Plaza.
- North/South flow is limited, for the most part, to destinations between facilities within the Civic Center.
- At night, the heaviest flow continues in an east/west direction, though most of it occurs west of Larkin, between Brooks Hall and its parking facilities, the Performing Arts Complex and the Cultural Facilities on the west side of Van Ness.
- Partly due to the lack of activity along the Fulton Street right-of-way between UN Plaza and the Civic Center Plaza, this portion of the pedestrian path is not heavily used at night.
- The configuration of the open space components in the Civic Center, such as crosswalks and the design of the plaza, does not facilitate east/west pedestrian movement



EXISTING ACTIVITIES

EXISTING ACTIVITIES

The Civic Center is the focal point of government and some cultural activities for the city. This district also provides the backdrop for citywide gatherings, whether political, cultural or civic. Related and support services are located at the district's edges. The Civic Center's areas include:

- The diverse activity core of Van Ness between City Hall, Davies Hall, the War Memorial Complex, and the State Building.
- Government offices are represented in the Civic Center, though not centralized. Workers are not served by retail outlets, typical of other districts in the city.
- The Plaza and other open space provide for city-wide functions, including parades, rallies, and a temporary market. Individual users encounter a social and physical environment that can be controlled by territoriality.
- The eastern portion of the Civic Center, lacks diverse day and evening activities. Other than special events and the market, this area is not utilized by local workers. At night, it is avoided altogether.

EXISTING BUILDING FORM ANALYSIS

As an urban area, the Civic Center Core buildings are different from the rest of the city. The common expression of the buildings strengthens the comprehension of the Civic Center as a **place** rather than a collection of buildings. At the most general level, the heights, widths, massing and distribution of the built volumes in the area are related to one other. These volumes are of three general types, (1) those that stretch the full length of city blocks on the east/west axis, (2) those that define the 'corners' of the principal open space and (3) those buildings that straddle the city's street grid (City Hall). All of these types have comparable heights of between 72-86 feet, including the base portion of City Hall.

More specifically, all the buildings have a uniform architectural style: the 'heroic' or 'civic' Beaux-Arts style, and a uniform palette of building materials. Buildings outside the core area, whether visible from it or not, are dissimilar in either style, material selection or both.

The diagrams on the adjacent page summarize some of the principles that define the treatment of the facades of the existing buildings in this area. They are derived from an overlay of all the primary buildings within the core area. These principles include:

Principles:

- Axial entry at the center of the east/west facades.
- A plinth that accommodates the natural slope of the land.
- A deep, horizontally rusticated base ranging from 19'6" to 31'6" in which openings are recessed a maximum of 1'8", and occupy a maximum of 20% of the surface.
- A shaft between 33'6" and 45'6" in height, with vertically oriented solids and voids at least 2'6" deep, with a maximum of 50% surface in openings.

- A cornice line at about 65'0" in height.
- A 'capital' of about 15'0" in height, with a non-directional pattern and a maximum of 60% in voids, the voids being a maximum of 8" deep.
- A mansard roof, where appropriate, whose slope aligns with the angle from the floor at the midpoint of the entry to the top of the 'capital' band.

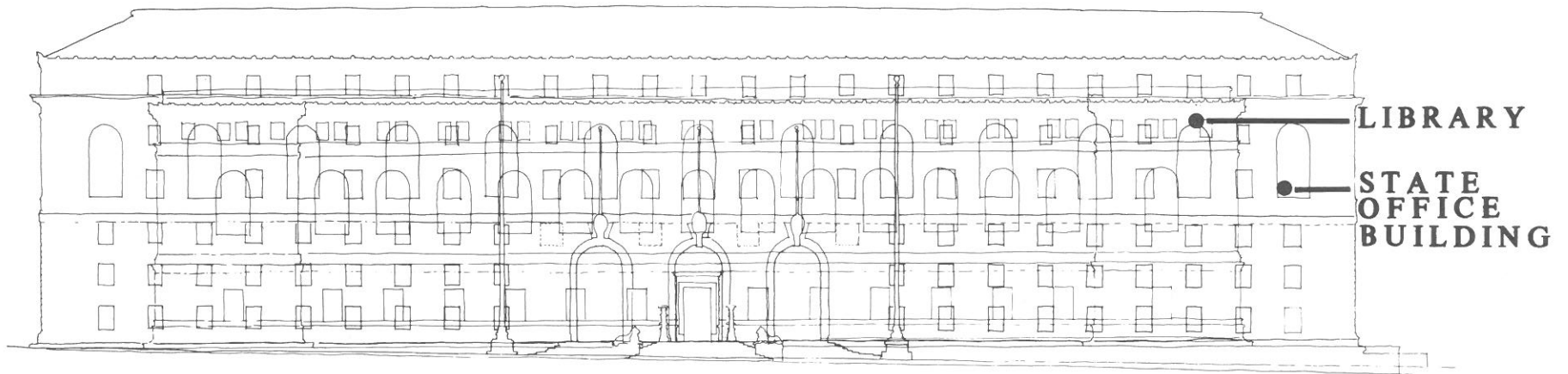
Materials:

- Plinths of predominantly gray granite with gray limestone above.
- Terne coated or colored metal work with clear or grey tinted glazing.

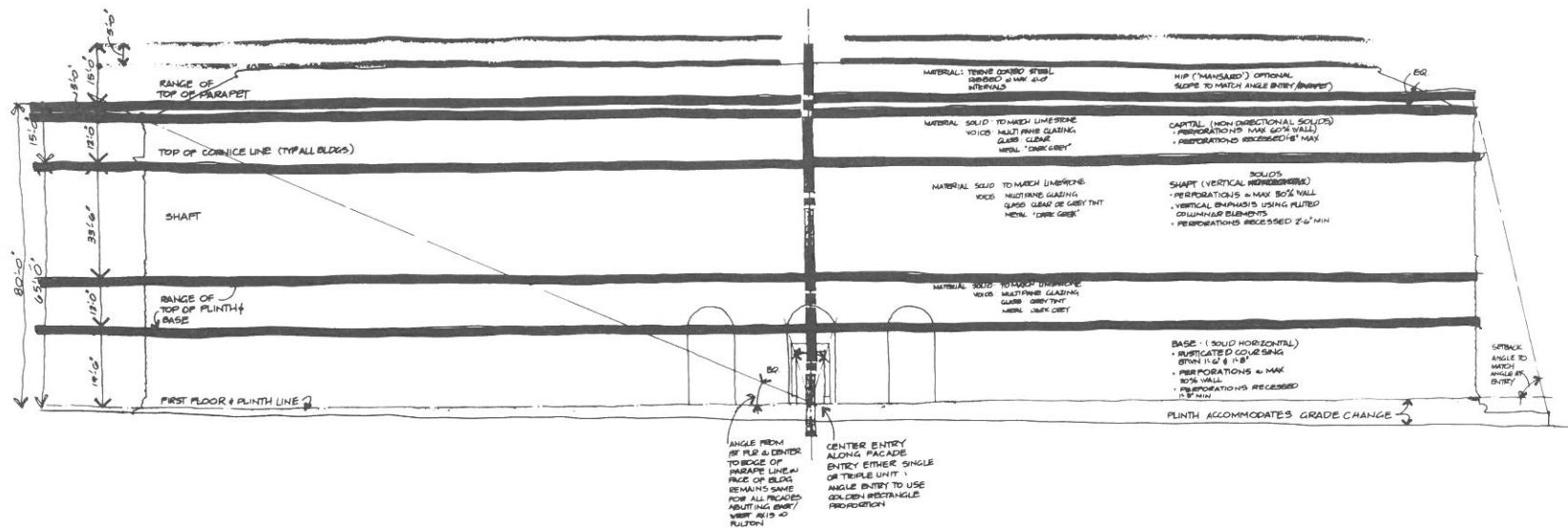


STATE OFFICE BUILDING

• CONTEXT •
Architectural Analysis



FACADE ANALYSIS
Range of Deviation



EXISTING BUILDING ANALYSIS
East-West Facades

OVERALL URBAN DESIGN FRAMEWORK

The overall design framework for the Civic Center has to complete the formal plan to enhance its identity as the center for government and the arts. This must be achieved within the context of an evolving setting with a diversity of bordering and support activities.

As the focus for government and cultural activities, it has considerable influence on contiguous areas. Supporting restaurants, retail and galleries have located within this area to take advantage of cultural patrons and lunchtime meals. The Van Ness corridor has new buildings that express "Classical" tendencies to take advantage of the positive market influence of the Civic Center cultural hub. The Civic Center continues to evolve as an area charged with integrating cultural and civic elements.

The Civic Center complex represents one of the strongest Beaux Arts plans and finest collection of neo-classical buildings for a municipality in the United States. The City Hall, State and Federal Office buildings, and cultural facilities constructed prior to 1930 compose the core of this as yet incomplete formal composition. The recommended plan places a high priority on completion of this composition with the first phase building being located on the Marshal Square site. Second priority buildings would be located on the diagonal corner sites.

This formal building group, the ordering axis of the City Hall, and the dome float in between two key civic streets. Van Ness

Avenue and Market Street are bridged by the Civic Center linking 'Commercial' Market Street and 'Cultural/Mixed Use' Van Ness. Not perceived to be a part of the Civic Center, the transit stop at the U. N. Plaza is more of an entry to the district rather than a part of it. The architectural response along Market is one of indifference to the incidental intersection of the City Hall axis. This is contrasted with the aesthetically enhanced and economically invigorated Van Ness Avenue. The recommended concept plan builds on these relationships in physical design terms. It includes increasing the intensities and diversity of activities on the eastern section.

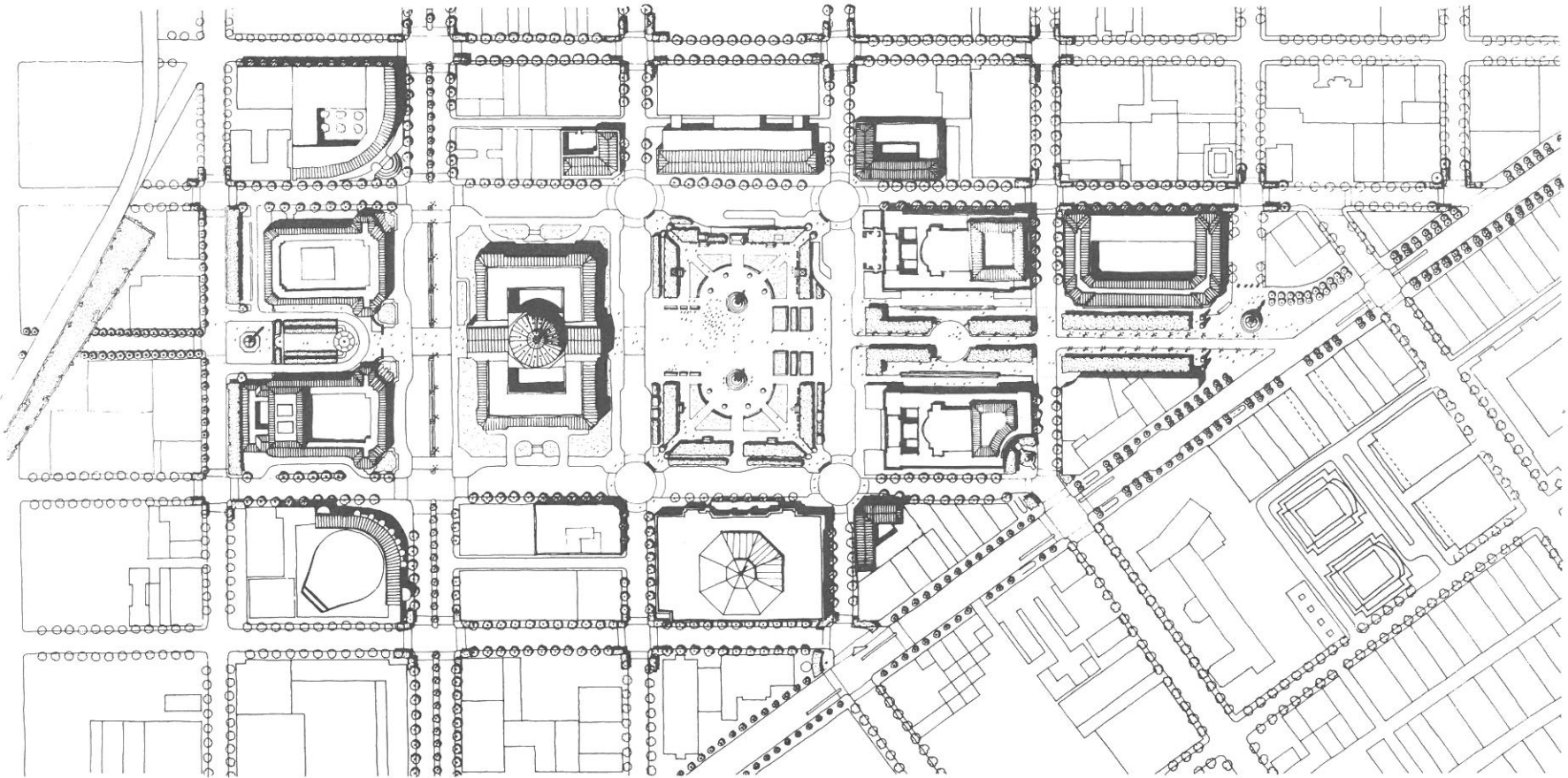
The overall goal guiding the development of the recommended concept envisions the Civic Center as an enhanced setting for cultural and government activities. There must be opportunities for all citizens to utilize this community resource, day or night.

More detailed design framework recommendations fall into five subject areas. They include:

- Defining the limits of the Civic Center
- Composition of the urban design plan
- Circulation
- Activities
- Streetscape

The following pages summarize these overall design framework issues and focus on recommended design criteria for distinct subareas within the Civic Center.

• RECOMMENDATIONS •
Urban Design Concepts



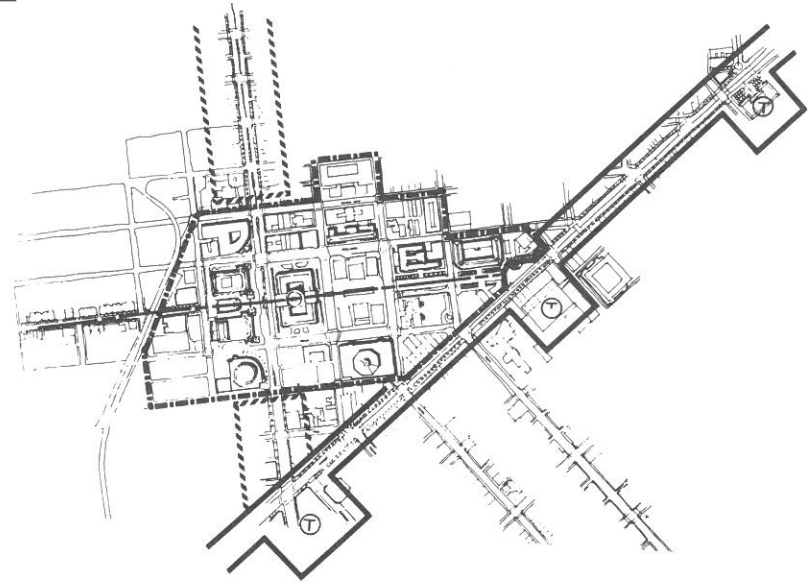
RECOMMENDED PLAN

• RECOMMENDATIONS •
Urban Design Concepts

DEFINING THE LIMITS

Defining the boundaries, entries and edges of the Civic Center area is essential. The limits of the area enhance the perception of special activities and the civic importance. The following recommended policies address this issue:

- Create a strong and distinctive streetscape framework for the district utilizing thematic elements for open space treatment.
- Building massing should establish a base streetwall height within the district. Full block and half-block development patterns and consistent heights enhance perception of the formal importance of the district.
- Building materials should be light in color, have high relief and similar elevation characteristics (i.e. tripartite composition) inside the district while contrasting these characteristics at established edges.

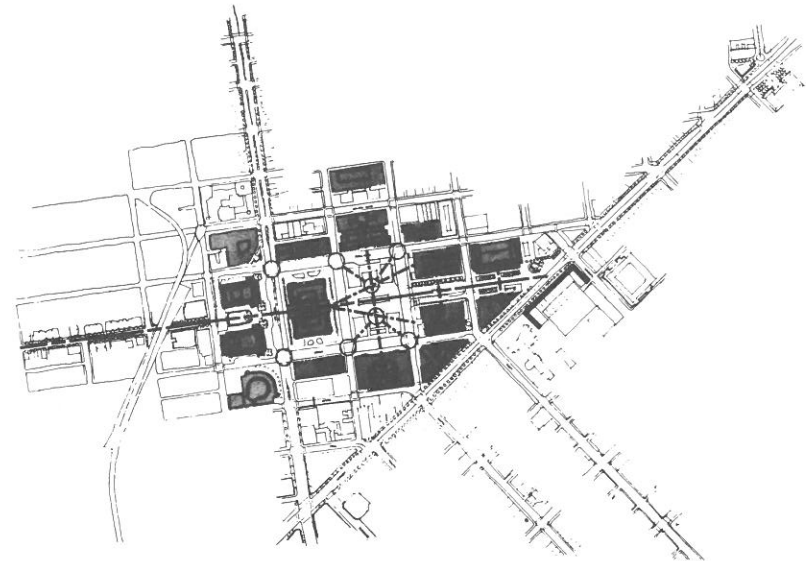


DEFINING THE LIMITS

COMPOSITION OF THE URBAN DESIGN PLAN

The primary recommendation of the urban design composition is the development of the Civic Center area along the lines of the 1912 master plan. The following summarizes specific recommendations regarding future plan composition of development in the Civic Center:

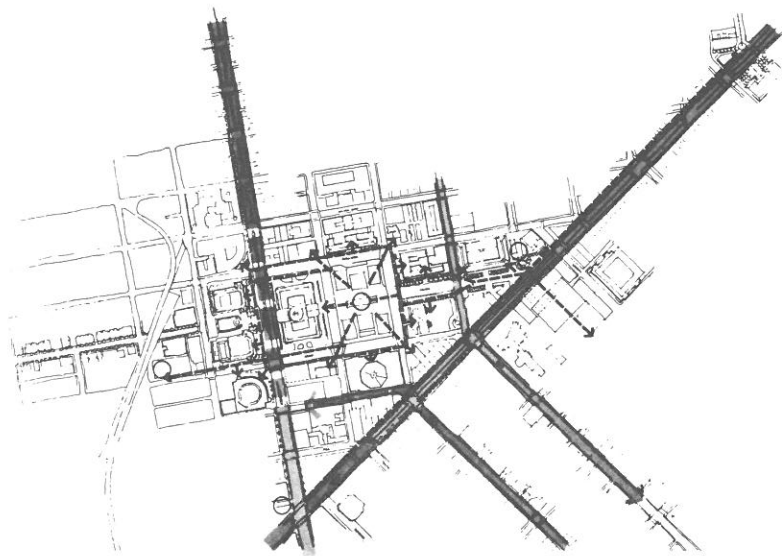
- Development of all future Civic Center projects should be developed as an integral part of the formal plan.
- The Marshall Square site and corner sites facing the plaza are to orient themselves formally toward the Civic Center Plaza.
- Development around UN plaza should fill out the streetwall in order to define the plaza as integral to Market Street, while enhancing it as the entry to the Fulton Street Mall.
- The blocks directly north and south of City Hall should be considered as part of the Civic Center facing Van Ness Avenue and linking McAllister and Grove Streets to the plaza.
- Building entries, lobbies, courtyards and architectural elements should be located and expressed as formal components of the overall composition.



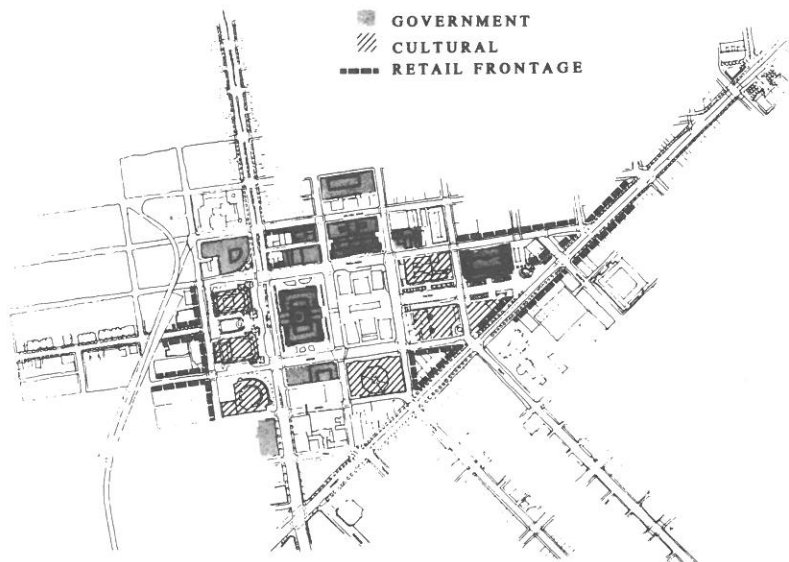
COMPOSITION

• RECOMMENDATIONS •

Urban Design Concepts



CIRCULATION



ACTIVITIES

CIRCULATION

Both vehicular and pedestrian circulation to and through the Civic Center could be greatly improved by the following :

- Strong consideration should be given to reversing the Eighth/Ninth Street couple. This provides more direct access to the area from the Lick Freeway, and permits entry to the area on axis with the Pioneer Monument, enhancing its landmark status.
- Some limited vehicular access in a western direction on Fulton Street Plaza would enhance the accessibility to the proposed Fulton Street Mall activity areas.
- Gracious stoplight controlled crosswalks at Fulton/Larkin Streets, on axis with City Hall entries at Van Ness and Polk Streets would address the differing directions of primary pedestrian and vehicular circulation.
- A redesigned Civic Center Plaza could provide a clearer axial east/west path for pedestrians from UN Plaza to City Hall.
- A redesigned Fulton Street Mall with activities along both sides could enhance use of mass transit elements along Market Street.
- A controlled crosswalk at Market Street and UN Plaza could enhance access to additional evening/night activities on the south side of Market Street.

ACTIVITIES

The activities of the Civic Center should maintain and foster a mixture of government, cultural and related retail activities solidifying the district's image. New facilities should reinforce the governmental center, balanced by day and evening activities through cultural and retail facilities. The civic center should continue to act as a city-wide forum for programmed users and spontaneous assemblies. These activities could include:

- The Marshall Square site should house a cultural activity. The site should be culturally activated, providing day and evening activities.
- UN Plaza should provide for programmed uses such as the open air market. This use should continue westerly on Fulton Street Mall.
- The Civic Center Plaza should be used for special city-wide events with daily use by local workers and visitors, with space for food vendors within 'plaza architecture'.
- Support retail should continue to be encouraged at the fringes, providing balanced services for local workers and visitors.
- New corner buildings, the Library and the Marshall Square site facing the Fulton Mall, should house food outlets and culturally related retail.

• RECOMMENDATIONS •

Urban Design Concepts

STREETSCAPE

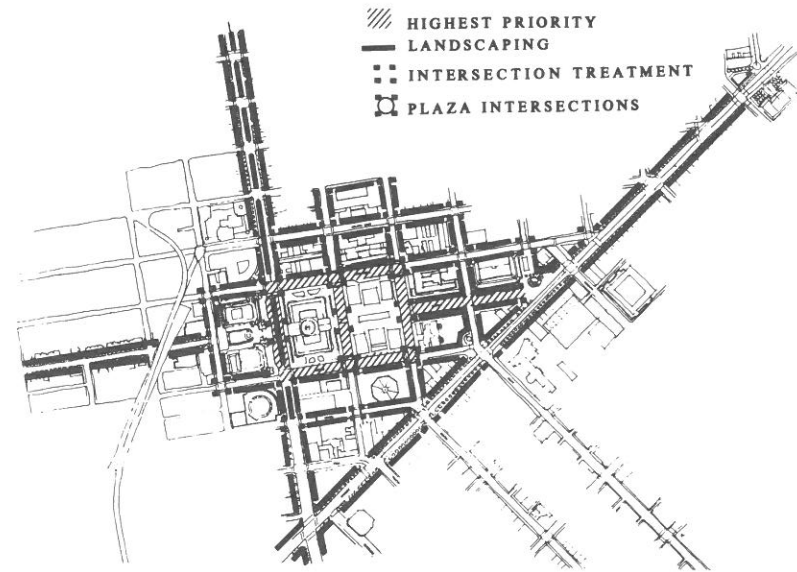
The following are suggestions for streetscape treatment within the study area:

Design:

- The Fulton Mall: The treatment of the Fulton Street Mall should include consideration of framework devices (colonnades, trellises, etc.) that would accommodate a multiplicity of uses between the central circulation path and the adjacent building walls.
- Van Ness Avenue at City Hall: The creation of a pedestrian crosswalk, defined by texture and color, and a median strip enhanced with the introduction of formal vertical elements, would reinforce the special role of this portion of Van Ness and provide for east/west pedestrian circulation throughout the Civic Center.
- Streets bordering Civic Center Plaza: A recollection of Beaux Arts planning principles at these streets could be accomplished through:
 - Treatment of the four corners of the plaza to recall their originally proposed circular design.
 - Treatment of hardscape elements in a style appropriate to the Beaux Arts style of the buildings
 - Provision of allees of street trees that complement, by their form, the architectural style of the surrounding buildings.
- Main View Corridors in the Surrounding Area: The existing character of the adjacent major street corridors, namely Van Ness, Market and Fulton Streets, should be enhanced and not compromised.

Phasing:

- Highest priority should be placed on improving the form of the streets and sidewalks in the following order: (1) The Fulton Mall, (2) the Van Ness corridor between the War Memorial/Cultural complex (3) City Hall and the area surrounding Civic Center Plaza.



STREETSCAPE



• RECOMMENDATIONS •
Urban Design Concepts

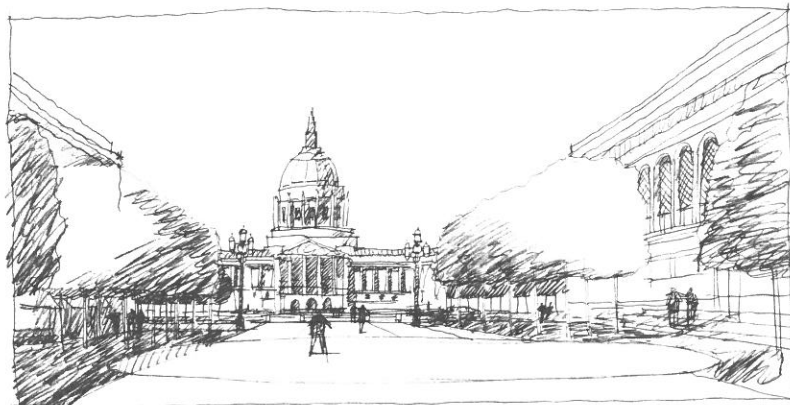
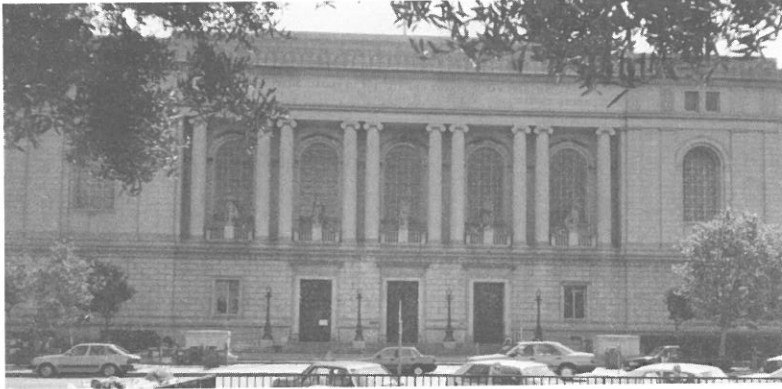
SUB AREA 1: THE CLASSICAL CORE

Definition:

This area is characterized by buildings that radiate from the Civic Center Plaza. The primary buildings (City Hall, the State building, the Library and the Auditorium) are all circa 1920. The Plaza serves as the forecourt to City Hall acting as town hall which is the visual terminus of the east-west axis.

Recommendations:

- Construction of a building on the Marshall Square site with civic/cultural function.
- Redesign of the Civic Center Plaza to serve as a public gathering place with programmed activities that facilitate major congregations.
- Inclusion of garden structures to provide support services for large gatherings.
- Construction of a building at the intersection of McAllister/Polk for governmental functions.
- Definition of the four major intersections around the Civic Center Plaza.



FULTON MALL

SUB AREA 2: THE FULTON MALL

Definition:

This area is the linear promenade bordered by the facades of the Library, Federal building and Market Street commercial development. This space is marked by the ceremonial process which leads to the City Hall forecourt.

Recommendations:

- Increased expansion of transitory market useage.
- Introduction of traffic on a limited basis (this may take the form of automobile or the historic street car line.)
- Acknowledgement of the Pioneer Monument via consideration of redirecting traffic north on 9th street to create a Civic Center gateway from the south. (An alternativewould be: the relocation of the monument to an appropriate location, such as United Nations Plaza which would maintain its role as a Market Street element.)

• RECOMMENDATIONS •

Urban Design Concepts

- Definition of Hyde Street as a ceremonial vehicular crossing of the mall.
- Creation of retail along the plinthes of the Library and Marshall Square site.

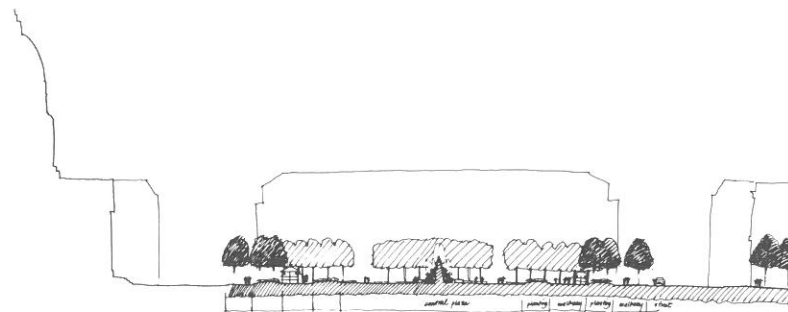
SUB AREA 3: MARKET STREET

Definition:

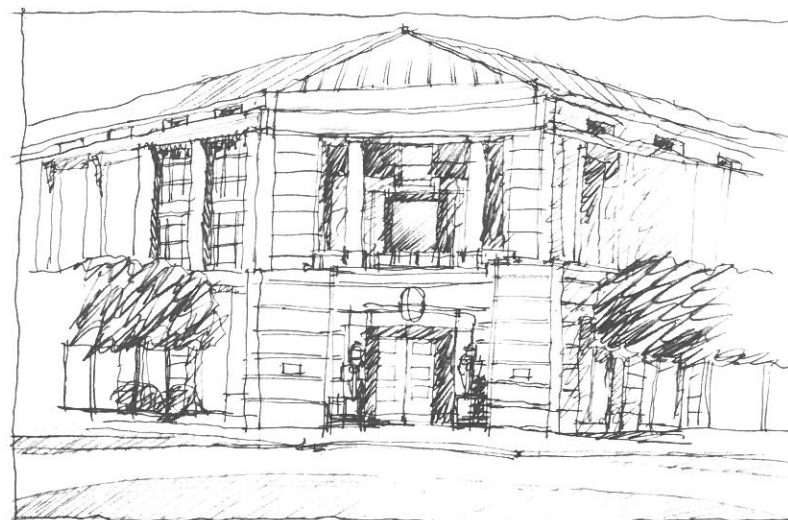
This area is the key intersecting node for the Civic Center. United Nations Plaza and Ninth Street are the significant entry points to the Civic Center.

Recommendations:

- Create a built gateway to Fulton Mall as the start of the Civic Center procession.
- Redefinition of United Nations Plaza Fountain composition, sculpture.
- Response of private development on south side of Market Street to Civic Center axis; although this site is an integral element of Market Street, the visual attitude is part of the visual terminus of the east/west civicaxis.
- Reorientation of Pioneer Monument.
- Ghosted profile building or physical build out of the gore site to define gateway.



PLAZA SECTION



CORNER BUILDING ENTRIES

SUB AREA 4: WEST OF OPERA HOUSE AREA

Definition:

The area west of Franklin Street is characterized by small scale retail and cultural uses. Upscale restaurants, art galleries, the ballet shop, etc. have grown up as "support" around the larger institutional uses. The recent construction of the new San Francisco Ballet building and Performance Arts parking garage are evidence of the vitality of this area.

Recommendations:

- Continue the retail and cultural support activities currently in the area.
- Maintain the small-scale pedestrian character in any future development.
- Consider a storefront retail requirement for this area.
- The small scale facade elements and variety of materials and colors express the non-institutional uses; this character should be encouraged.

• RECOMMENDATIONS •
Urban Design Concepts



SUB AREA 5: VAN NESS AVENUE

Definition:

This area, once the edge of the civic center, now functions as a formal space between the Cultural buildings to the west and City Hall. This north/south boulevard is significant as a vehicular experienced corridor.

Recommendations:

- Create formal and generous east/west pedestrian crossings.
- Eliminate high vegetation between Grove and McAllister Streets.
- Create architectural elements and lighting of scale and design consistent with the expression of the War Memorial Complex and City Hall.
- Add a vertical element in the War Memorial Garden at Franklin Street.
- Add a hanging garden from the aerial freeway above Fulton Street.



SUB AREA 6: NORTH CIVIC CENTER

Definition:

This area is defined primarily by the presence of the Federal high-rise office building, Hastings Law school, and small-scale supporting retail. Small restaurants, law bookstores, and copy shops are typical uses.

Recommendations:

- Strengthen the streetscape and crosswalk elements which would clearly include this area as part of the Civic Center.
- Strengthen the framework of landscaping to be consistent with the rest of the Civic Center.
- Maintain the small scale pedestrian and supporting retail uses.

• RECOMMENDATIONS •
Architectural Concepts

ARCHITECTURAL RECOMMENDATIONS

The architectural recommendations are directed at unifying the architectural elements which will complete the Beaux Arts plan while accommodating more intense activities - cultural and "related retail" uses in some of the new buildings.

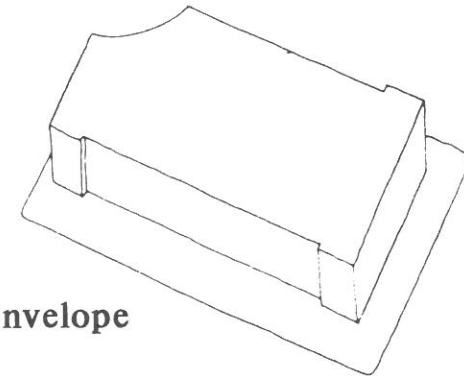
The major recommendations focus on:

- Design guidelines for the primary and secondary buildings which complete the Beaux Arts composition around the Plaza and Fulton Street.
- A new entrance element to the Civic Center promenade at U.N.Plaza
- Additional underground parking
- The garden pavilion character of small service buildings in the plaza.

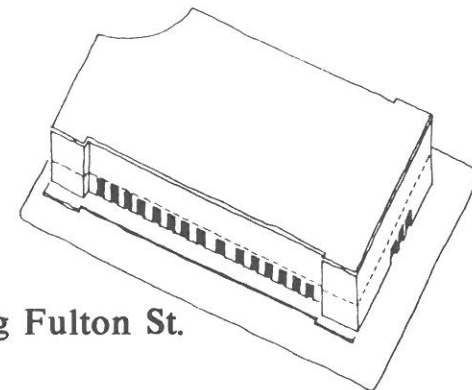
PRIMARY BUILDING DESIGN GUIDELINES:

The Marshall Square site and the Library site are the only unbuilt or incomplete primary building sites. In order to respond to the other Beaux Arts buildings, the Marshall Square Building should have the following characteristics:

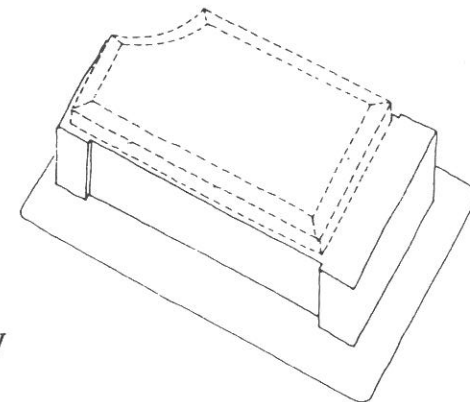
- (1) The building envelope should extend to the property lines on Hyde and Grove streets. Setbacks along Fulton and Larkin streets should be similar to the Library.
- (2) The cornice height should be identical with the Library.
- (3) The major horizontal divisions in the four facades should correspond to those of the library.
- (4) A rusticated base (usually two stories)
- (5) Grand orders or architectural elements similar in scale, proportion, and tripartition (both horizontally and vertically) should be used above the rusticated base.



Building Envelope



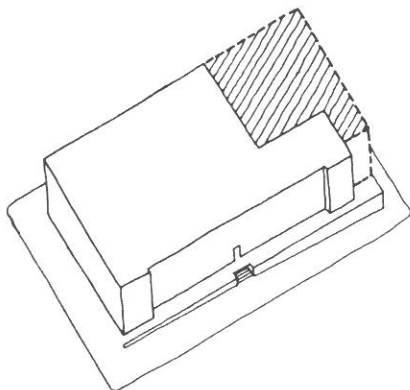
Retail along Fulton St.



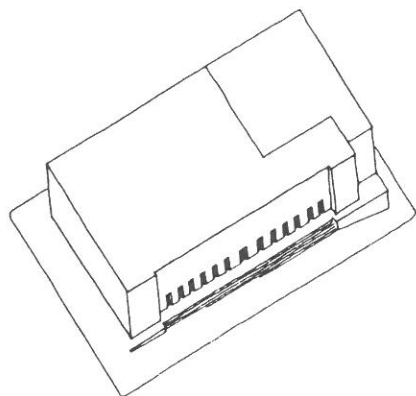
Attic Story

MARSHALL SQUARE

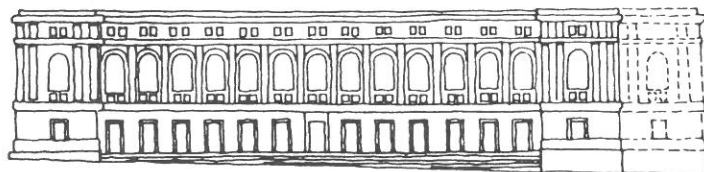
• RECOMMENDATIONS •
Architectural Concepts



Extension to Hyde St.



Special Retail along Fulton St.



Suggested Fulton St. Facade

LIBRARY

(6) A similar scale to that of other primary buildings should be employed in the double height entrances, and double height windows in the facade facing the plaza.

(7) Architectural elements, such as doors, windows, and colonnades should be recessed to similar depth as existing Beaux Arts buildings.

(8) Percentage of solid to void should be similar to the existing Library, with the rusticated base maintaining a lower percentage of openings than in the upper "Grand Order" level.

(9) The profile, angle of roof, and the angle determining the height and setback of one possible additional attic story should be similar to those used in the existing Beaux Arts buildings.

(10) A central major entrance should be off Larkin Street. An additional secondary entrances off Fulton Street are encouraged.

(11) Light colors should be used in the materials.

(12) Noble materials should be used.

(13) "Tern" color should be used on any sloping roofs.

LIBRARY

(1) The library building should be extended east toward Hyde street replacing the office building at 45 Hyde Street. This addition should match the existing Library in height, facade expression and materials.

(2) The ground level, fronting Fulton Street, can be modified to accomodate more active uses, such as specialty retail and cafes.

(3) The main entry to the Library building should remain on Larkin street fronting Civic Center Plaza.

SECONDARY BUILDING DESIGN GUIDELINES

CORNER BUILDINGS

- (1) The building corners facing the plaza should be reentrant corners similar to the Health Building.
- (2) The entrance should be on the corner and should be double height.
- (3) The building envelope should extend to the property lines. Setbacks are not recommended.
- (4) Proportions of facade elements should respond to adjacent buildings.
- (5) Percentage of solid to void should respond to adjacent buildings. Punched windows should be employed, as contrasted with grand orders, ribbon windows, etc.
- (6) Additional embellishment and detailing of the fenestration above the rusticated base level should be encouraged at the corner entry facade.
- (7) All other primary building design guidelines apply, (i.e. light color, noble material, tern color for roof material).

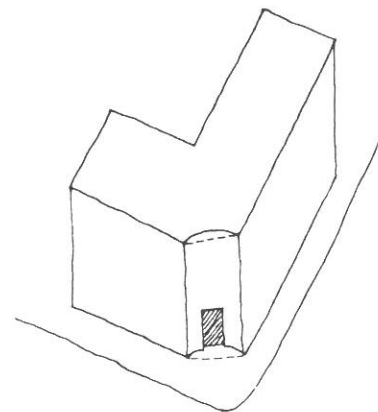
ORPHEUM THEATER

Temporary solutions to the blank walls of the Orpheum Theater should be investigated as a way to integrate this building into the Civic Center district.

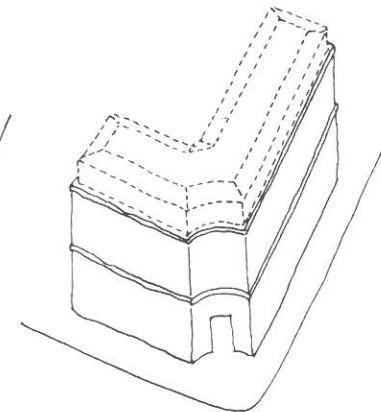
Potential solutions might take the following forms:

- (1) a painted facade (tromp l'oeil) which would reflect the expression of the Federal Building
- (2) a trellis which would recall the Beaux Arts order and window expression common to the Civic Center buildings.

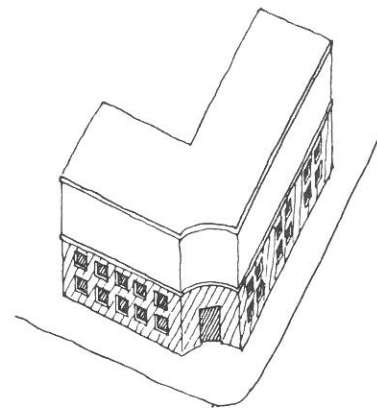
A long term solution to the blank wall is a stone facade following the architectural guidelines for primary buildings.



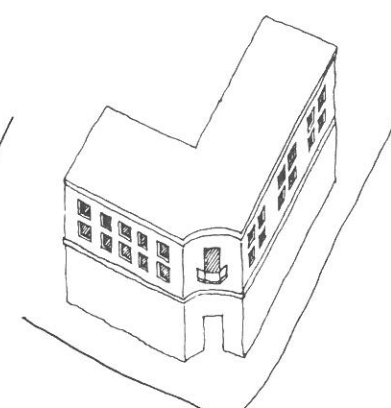
Corner Entry



Attic Story

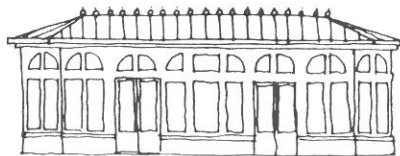
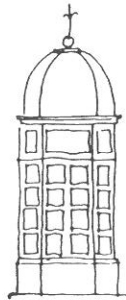


Rusticated Base



Upper Floor Fenestration

CORNER BUILDINGS



PLAZA BUILDINGS

PLAZA ARCHITECTURE

Any food service structures, flower stands or miscellaneous service / maintenance buildings which may locate in the plaza should have the following “garden architecture” characteristics:

- (1) The structures should be of painted metal and glass.
- (2) The building footprint should be round, octagonal or square.
- (3) The building facades should be designed symmetrically with the intention of being approached from all directions.
- (4) The square footage of each building should be as small as possible, housing only the essential functional elements.

CIVIC CENTER GATEWAY AT MARKET STREET

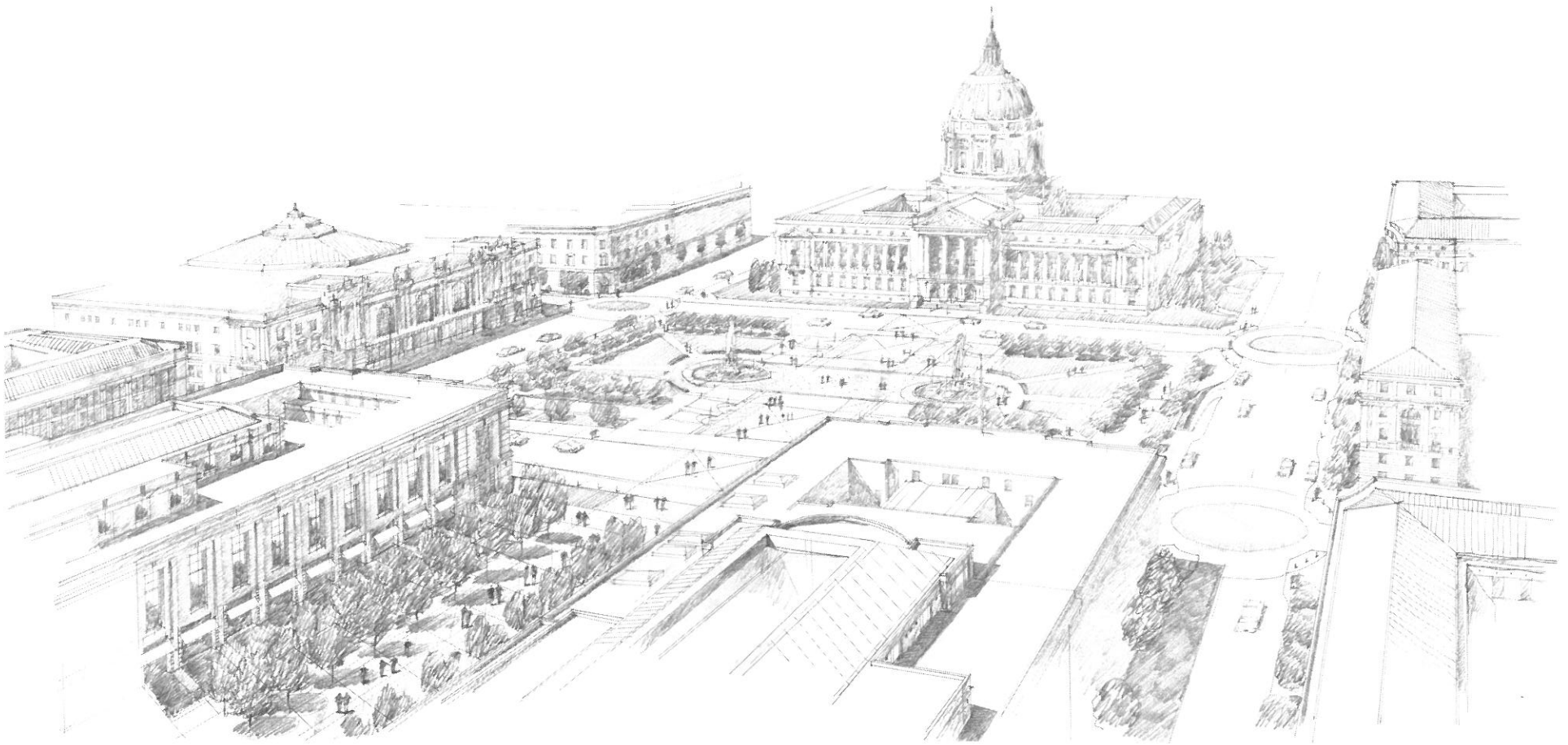
An entrance “gateway” to the Civic Center is desirable at the Market Street- United Nations Plaza entrance. The gateway can be defined as a landscape, architectural or sculptural element.

ADDITIONAL UNDERGROUND PARKING

Building on the Marshall Square site and the unbuilt portions of the existing library site creates the opportunity to add additional parking under these sites and Fulton Street. These could be additional public or staff parking for the city.

Construction on these sites creates the opportunity to consolidate the service elements for both buildings. This would allow the service ramp for Brooks Hall to be moved off Fulton Street. This is an important step in completing the Beaux Arts plan. Entrances and exits should not be located on Larkin or Fulton. Hyde is a preferable location.

• RECOMMENDATIONS •
Architectural Concepts



RECOMMENDED PLAN
AERIAL VIEW OF CIVIC CENTER PLAZA

• RECOMMENDATIONS •
Actions

ACTIONS

What is required to complete the Civic Center? A comprehensive Master Plan that would be codified in the form of Special Zoning District Legislation would further this goal. This would include the following components:

- A government facilities plan.
- A cultural facilities plan.
- A streetscape master plan.
- A public and city government parking plan.
- A coordination of public and institutional master plans.
- Architectural guidelines.

PHASING PRIORITIES - BUILDING

- Marshall Square is the most significant site remaining in the Civic Center and should be addressed first. Construction on this historic site will complete the formal frame of the Plaza and provide the city an opportunity to introduce civic/cultural activities to an underutilized area.
- The corner sites on the Plaza are secondary to the Marshall Square site. And of the three remaining, the corner at McAllister and Polk Streets should be developed first.
- The remaining two corners and other available sites within the Civic Center can be developed by the city as needs arise. The City's offices and civic functions need to be concentrated to create an identifiable government center.
- To complement the Civic Center, surrounding developments should be planned in conjunction with the Master Plan. While these developments are not part of the Civic Center District, the opportunity for future developments (such as the Greyhound site and Hastings) to enhance and benefit from proximity to the Civic Center should not be lost.

PHASING PRIORITIES - OPEN SPACE

- Once the Marshall Square development site is completed, the mall on Fulton Street should be created. Formalizing the main view axis, this open space will provide for increasing use as exists in the portion of the mall to the east.
- The Civic Center Plaza should be re-built following the design guidelines presented herein. The plaza could thereby become the town square for civic events, and also be usable by local workers and residents on a daily basis.
- A new plan for United Nations Plaza and the proposed entrance is necessary to formalize the entrance to the Civic Center and interface with adjacent Market Street development.
- As an ongoing process, the city should prepare a Master Plan for the streetscape, so that in time, the entire Civic Center will be further unified.

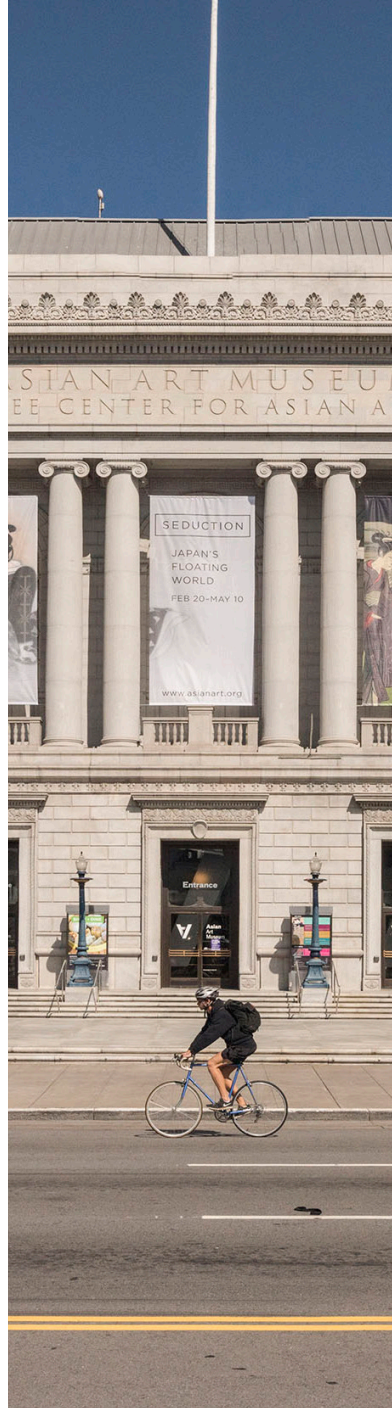
CREDITS

Walker Repro Graphics
Pac Tel Info Systems, Pine Street
Blue Print Service Company
Department of City Planning, Graphics

ASIAN ART MUSEUM
SAN FRANCISCO, CALIFORNIA

CERTIFICATE OF APPROPRIATENESS, APPENDIX
INTERIOR ALTERATIONS AND REAR ADDITION

PREPARED FOR THE ARCHITECTURAL REVIEW COMMITTEE



PAGE & TURNBULL

imagining change in historic environments through design, research, and technology

JUNE 8, 2016
(UPDATED JULY 1, 2016)

Page intentionally left blank

TABLE OF CONTENTS

I. ASIAN ART MUSEUM OVERVIEW AND PROJECT SUMMARY I

 A. SITE HISTORY I

 B. HISTORIC STATUS I

 C. PROJECT SUMMARY I

II. IMAGES 2

 A. HISTORIC 2

 B. CURRENT 4

 C. DISTRICT MAP 7

III. INTERIOR ALTERATIONS..... 8

 A. BUILDING HISTORY 8

 B. PROPOSED WORK 8

IV. REAR ADDITION 9

 A. BUILDING HISTORY 9

 B. PROPOSED WORK 9

V. VIEWS AND DESIGN NARRATIVE..... 11

VI. DESIGN OBJECTIVES 13

VII. ARTICLE 10, APPENDIX J - INTERIOR DESIGNATED SPACES 14

VIII. PROJECT DRAWINGS 21

IX. DESIGN STUDIES 46

 A. HISTORIC DATUM LINE 46

 B. PAVILION FACADE 48

 C. PUBLIC REALM IMPROVEMENTS 50

 D. GUARDRAILS 51

 E. LOBBY 52

X. RENDERINGS 54

XI. COMPATIBILITY ANALYSIS 58

XII. SECRETARY OF THE INTERIOR STANDARDS 9 AND 10 & PRESERVATION BRIEF 14.. 63



Page intentionally left blank

ASIAN ART MUSEUM OVERVIEW AND PROJECT SUMMARY

SITE HISTORY

Previously the old Main Library, the Asian Art Museum has both cultural and architectural importance for the city of San Francisco. The building was designed by architect George A. Kelham as part of the ambitious Beaux Arts Civic Center Plan, and has had various renovations and additions up to the present. The neoclassical style of this building, like other contributors to the Civic Center district, is a fine example of the City Beautiful movement, expressing a “democratization” of monumental architecture at the turn of the twentieth century.

The periods of significance for this district are 1900-1924, 1925-1949 and 1950-1974. This property served as the San Francisco Public Library from 1917 to 1995, and was the site of various civic events of historic import. In particular, the Library served as the center for the Library of Congress’s cooperative work for the United Nations in 1948, and a public meeting held by the LGBT community in March 1985, in the Commission Room of the Library, resulted in the founding of the San Francisco Bay Area Gay and Lesbian Historical Society.

In 1987, the City approved a plan for the revitalization of Civic Center and offered the former Main Library to the Asian Art Museum. In 1994, San Francisco voters overwhelmingly supported a bond measure to renovate the structure as the new home of the Museum. Following an extensive restoration and adaptive re-use project on the property, the Asian Art Museum opened on March 20, 2003.

Sources: SF City & County LGBTQ Historic Context Statement, Civic Center Cultural Landscape Inventory, SF Planning + Historic Preservation Committee



HISTORIC STATUS

The building has been determined to be a contributor to the Civic Center Historic District, an Article 10 designated Landmark District representing the City Beautiful concepts of design, building size and interrelationships between individual structures and open spaces.

Character-Defining Features of the main historic building and the surrounding block #353 include:

- The Beaux Arts treatment of principal facades on Larkin and Fulton streets;
- Significant interior features such as the entry lobby, grand stair, loggia, former main catalog room, and the ceilings in the former main reading rooms;
- Historic landscaping and streetscape including a grassy plinth (Fulton, Hyde and McAllister streets), retaining wall and border (all four sides), steps and platform (Fulton Street) and granite pedestals and benches (Larkin Street);

Aside from the building itself, the block today has some landscape elements that date to the period of significance. These features include London Plane trees planted in turf beds at the building’s south side, fire utilities and granite curb remnants.

Sources: 1998 Historic Structure Report, Civic Center Cultural Landscape Inventory



PROJECT SUMMARY

The project consists of a proposed rear addition, as well as minor improvements to the main historic building to improve the exhibition capacities of the Asian Art Museum.

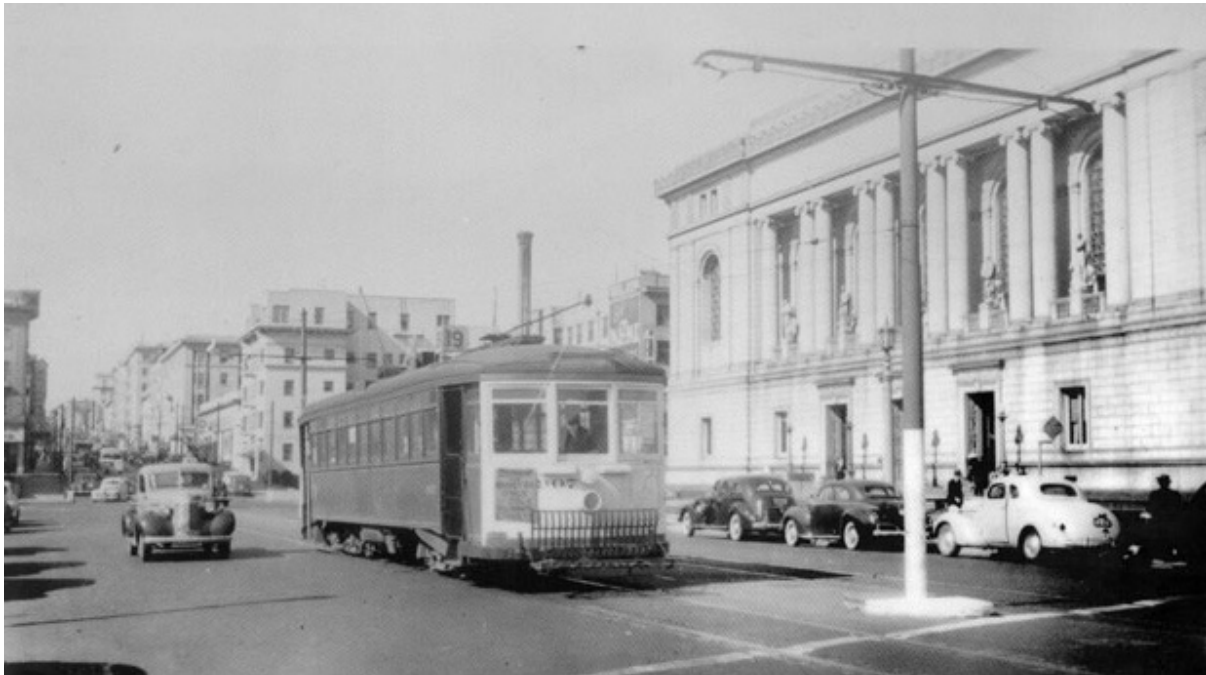
A single story, 13,000 SF addition is proposed on top of the non-historic 2003 addition on the Hyde Street side (east side) of the site that had been designed and planned to accommodate an addition of 3 floors.

Other proposed work onsite includes:

- Minor interior improvements (principally new electrical and data outlets) on floors 2 & 3 of the main building to facilitate exhibition design changes;
- Widening of the loading dock driveway on Hyde Street;
- Renovation of the nonhistoric education classrooms on the main level, which were part of the 2003 alterations;
- A roof terrace on the new pavilion.



HISTORIC IMAGES



View from Larkin Street, looking northeast. (SFPL, 1945)



View from Fulton Street, looking north. (SFPL, 1970)

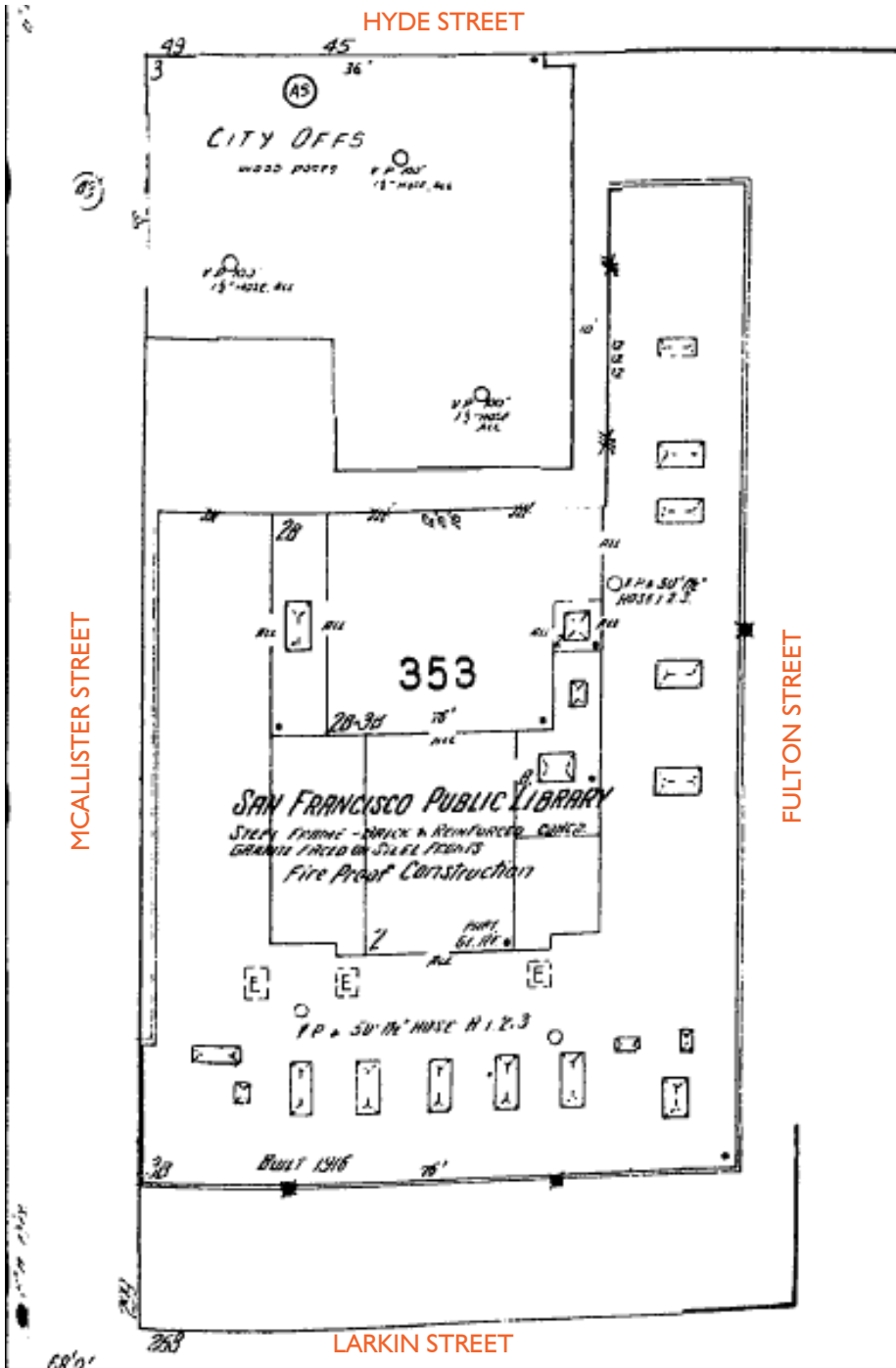


West and south facades. (SFPL, 1982)



View of Hyde Street Facade (SFPL, 1931)

HISTORIC IMAGES



Sanborn Map (1913-1948) - Note City Office building along at Hyde and McAllister Streets



Interior view of grand stair and loggia, looking west. (SFPL, 1970)



Interior view of grand stair and loggia from second floor. (SFPL, 1964)



Interior view of grand stair and loggia, looking east (SFPL, 1960)

CURRENT IMAGES



1 View of west facade



2 View from Larkin and McAllister Streets, looking southeast



3 View of eastern most side of north facade



4 View of north facade looking west



5 View from McAllister and Hyde Streets, looking southwest



6 View of east facade

CURRENT IMAGES



7 View from Hyde and Fulton Streets, looking northwest



8 View of south facade



9 View from Fulton and Larkin Streets, looking north



10 Rooftop of non-historic addition, view looking northwest



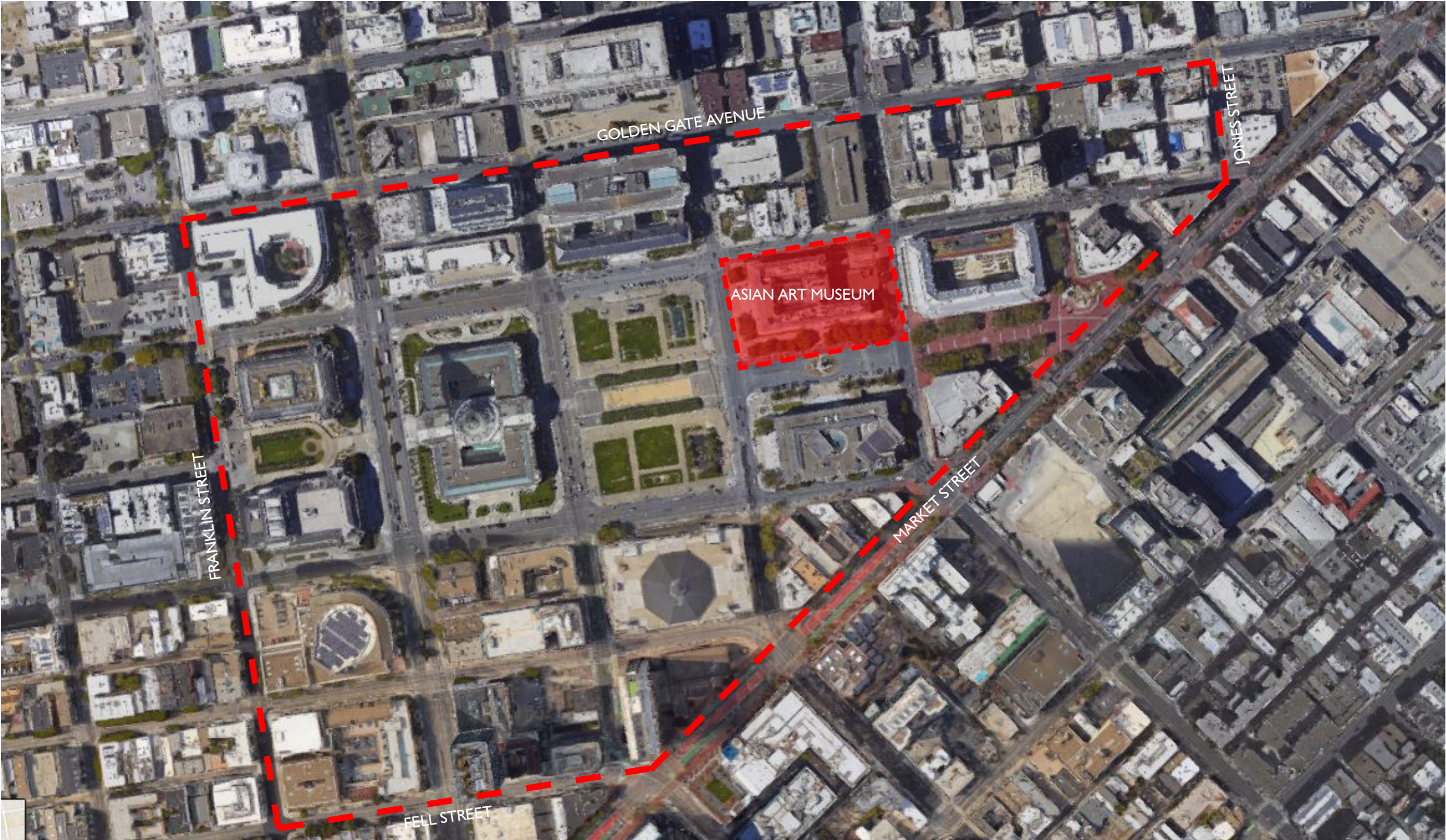
11 Rooftop of non-historic addition, view looking northeast



Key Map

Page intentionally left blank

DISTRICT PLAN



Map of Civic Center Historic District
JUNE 8, 2016 (UPDATED JULY 1, 2016)

INTERIOR ALTERATIONS

BUILDING HISTORY

The Asian Art Museum, formerly the Old Main Library, is a three story building with a steel frame structure and granite exterior. It occupies most of the block bounded by Larkin, Hyde, Fulton and McAllister streets in the Civic Center Historic District of San Francisco. The building stands upon a portion of the site of the old City Hall that was once the Yerba Buena Cemetery.

1910s: In 1914, Beaux Arts-trained architect George Kelham was selected to design the city’s first publicly owned, free standing Main Library. Significant exterior features include Ionic columns, arched windows and decorative friezes on its facades. Interior features include Travertine marble flooring and the loggia. The sculptor Leo Lentelli created five sculptures that were set atop granite pedestals above the library’s main (west) entrance in 1918.

1930s & 40s: From 1932-1945, artist Gottardo Piazzoni executed 14 murals illustrating California landscapes for the second floor stair hall. 10 of these murals were installed. Architect Harry A. Thomsen, Jr. designed wood display cases and paneling for the third floor elevator lobby in 1933, and alterations to the main entry in 1945. The Library served as the center for the Library of Congress’s cooperative work for the United Nations during 1945.

1950s: A library annex was constructed on the rear portion of the site to house administrative functions. Various minor improvements were conducted, including the installation of resilient flooring, roof repairs, exterior repainting and repair of bronze handrails at the Main Stair.

1970s & 1980s: The four remaining Piazzoni murals were installed in 1975. In 1980, Elevator 1 was replaced and symmetrical handicap access ramps added at the front entry on Larkin Street. In 1985, public and staff restrooms were remodeled and a new check-out counter installed in the entry hall. The Statue of Ashurbanipal was installed at the Fulton Street entry in 1987.

1990s: After the building suffered damages in the 1989 Loma Prieta earthquake, an earthquake damage repair project was undertaken during 1992-1994. As City Librarian Ken Dowlin began to plan the library’s move to a new building, usage studies suggested the structure was better suited for a museum. The high-profile rehabilitation and adaptive re-use project to convert the Library to the Asian Art Museum began in 1996, led by renowned Italian architect Gae Aulenti as design architect. Work included base isolation, structural renovations, restoration of the exterior granite skin facade and interior spaces. Aulenti’s alterations included bisecting the main reading room with the construction of a mezzanine, and the addition of a 50 ft tall skylight. The project also included the removal of Piazzoni’s historic murals in the loggia and Lentelli’s sculptures.

Sources: 1998 Historic Structure Report

JUNE 8, 2016 (UPDATED JULY 1, 2016)

PROPOSED INTERIOR WORK

The project will include non-architectural improvements to the main entrance lobby, renovation of the non-historic education classrooms on the main level, and minor improvements on the building’s second and third floors to accommodate new exhibits.

Proposed interior work, by floor, includes:

On lower level,

- Conversion of non-historic lower level storage space into mechanical rooms for the new pavilion;

On ground level,

- Replacement of lobby admissions desk;
- Opening of pathway to loggia stairs;
- Existing flooring will be patched if needed;
- New graphics to replace existing (potentially flat screens) in lobby;
- Upgrading of infrastructure, equipment, movable partitions, and finishes in non-historic education classrooms;

On levels 2, 3 & above,

- Gallery renovations limited to exhibit casework changes, minor changes to exhibition partitions (non-structural, non-historic partitions used to support artwork), paint finishes, selected new electrical and new data;
- The new special exhibitions pavilion, including a 9500sf special exhibitions gallery, bathrooms, lobby space and a new freight elevator;
- A roof terrace above the pavilion, providing additional programming and event space.

No historic fabric will be altered at the interior of the building.



Existing admissions desk at lobby, to be replaced



Non-historical door to be replaced

REAR ADDITION

BUILDING HISTORY

The 2003 renovation of the Old Main Library for use as the Asian Art Museum included a plinth that is 10 feet in height. It is situated at the rear of the property in an area that also contains a loading/unloading dock.

According to Article 10, the walls, windows, doors and iron balcony on both historical facades in this area are considered significant.

1915:

Initially, the library was not planned to fill out the entire city block as it was not necessary for the library’s needs in 1916. A notch in the rectangular plan of the library, at the corner of McAllister and Hyde streets, was therefore left unfilled. The walls of this notch were finished with iron-spotted buff coloured brick. As originally constructed, the rear of the building was asymmetrical with a long wing along the Fulton Street (south) side of the building. A shorter wing extends out from the building on the north side, McAllister Street. The lawn on the east side of the parcel was sparsely landscaped. See historic photo of the Hyde Street facade on page 2.

1940s:

In the 1940s, a stucco clad annex was constructed to house the library’s administrative offices. The wood-framed annex was three stories in height and obscured the rear portion of the library. The annex building was demolished in the 1990s, revealing the walls of the Old Main Library that face Hyde Street.

1998:

In order to accomodate the new Asian Art Museum, the building’s redesign by Gae Aulenti included a one-story addition to the rear of the building. The addition currently houses museum support functions.

Sources: 1998 Historic Structure Report

PROPOSED EXTERIOR WORK

The project proposes the addition of a single story, 13,000 square feet special exhibitions pavilion with a roof terrace on top of the existing 10’ plinth, raising the building height to 36’-1”. This proposed addition will sit on top of existing ground floor level offices and storage that were already identified as areas for a future expansion during the 2003 renovation of the Old Main Library into the Asian Art Museum.

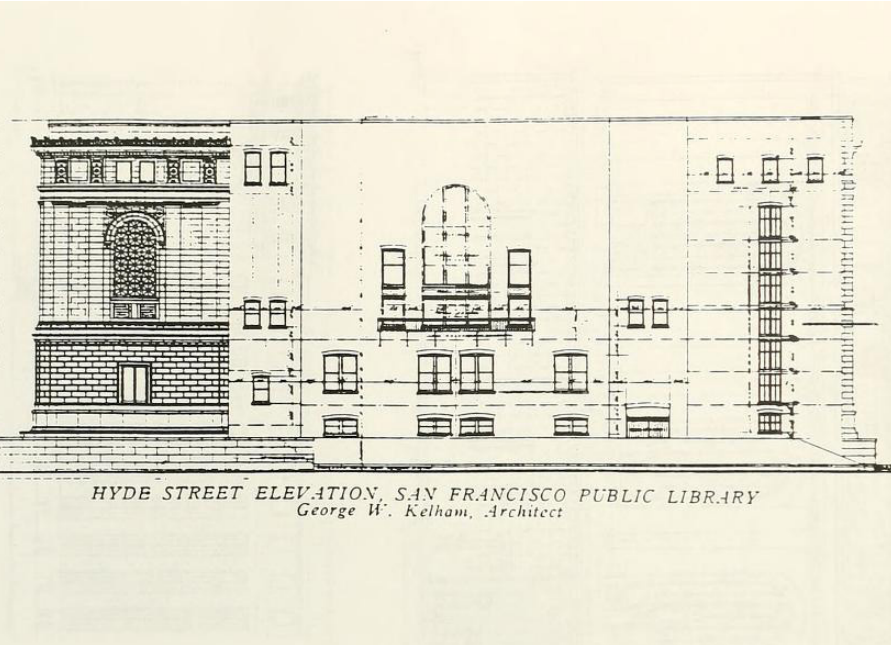
The proposed pavilion will be differentiated from the main historic building by its simple massing and contemporary detailing. The project proposes to replace existing ground level cladding and the new pavilion with a consistent finish that is compatible with the surrounding Civic Center urban environment. The new pavilion will also include a special cladding treatment that references historic building details but is expressed in a clearly contemporary way. The roof of the new addition will include details that align with the historic primary facade’s transition from the coursed ashlar masonry of the first level to the smooth ashlar masonry of the upper stories.

The extension will partially obstruct views of the rear facades at McAllister and Hyde Streets; however these are secondary facades that are currently obscured by an annex building. Therefore this will result in only a minor impact on a less distinctive portion of the property.

The proposed project also includes a new freight elevator for art movement adjacent to the loading dock. The loading dock ramp and driveway on Hyde Street will be made wider to allow safer and better access for art delivery vans and alleviate impact on traffic.



View from McAllister and Hyde Streets during construction
(SF Gate, 2000)



Hyde Street Elevation (Historic Survey Report, 1998)



View of rear extension from McAllister and Hyde Streets

VIEW OF EXISTING



View of existing from Hyde Street

JUNE 8, 2016 (UPDATED JULY 1, 2016)

VIEW OF PROPOSED REAR ADDITION



View of proposed Special Exhibitions Pavilion from Hyde Street

DESIGN NARRATIVE

One of the design principles of the Asian Art Museum addition is to develop a building expression and form appropriate to the function within; the special exhibits gallery is featured with a façade screen developed with abstract references to existing historical building geometries and patterns as well as references to the museum art collection patterns. This expressive design announces the function contained, the special exhibits art gallery, as a special element.

At the same time the building expression for functions such as circulation, both vertical and horizontal, are intentionally subdued to limit the architectural expression of these support functions. These elements would include the elevator ‘tower’ and the bridge connection to the roof terrace. The design of these components were intended to complement the existing structure, both in form, color and finish, rather than compete with the façade expression of the special exhibits pavilion. Our intention for the cladding of these elements was for a neutral palette panelized system, modules relating to the existing building proportions and datum’s. The materials under consideration would be metal panel, glass fiber reinforced concrete panels or a panelized cement plaster system.

FAÇADE SCREEN

The Special Exhibitions Pavilion air and water barrier enclosure to be a modular, 5’ x 10’ Fiber Cement Panel, while the ornamental façade screen would be extruded aluminum components erected as a large scale modular panelized system. The ornament screen would ‘stand off’ the building by 15” – 18”. The proposed screen finish would be matte, possibly a champagne color to complement the existing limestone façade palette.

DESCRIPTION FOR FACADE LIGHTING

The facade screen is rear illuminated by recessed linear grazer fixtures located at the base and top of the facade. The graphic is still in silhouette, the even grazing of the wall behind the screen creates an image of uniformity the entire facade could be programmed to shift as a whole (through brightness or color temperature).

Page intentionally left blank

DESIGN OBJECTIVES

The Asian Art Museum’s mission statement is “to lead a diverse global audience in discovering the unique material, aesthetic, and intellectual achievements of Asian art and culture”.

IDENTITY AND BRAND

The identity of the Asian Art Museum is hidden in the Beaux-Art shell of the old public library. The new pavilion provides an opportunity to reveal the identity of the museum on the exterior as well as the Vision/Mission and Brand of the museum without impacting or distracting from the historic building.

CIVIC CENTER CONTEXT

The location of the Museum at Civic Center across from City Hall is also critical to consider not just for its beautiful grand architecture but also the area’s challenges. Undesirable street activity on Hyde Street is encouraged by the back of house feel of the museum’s Hyde Street elevation. This is not just an opportunity to build a new addition, but to activate the street and help revitalize the area.

UNIFYING THE BUILDING AND THE ART

The geometric patterns of the famous vaulted ceiling above the Grand Stair as well as the exterior window frames recall similar patterns to the collection’s woven baskets. By taking these patterns as motifs, WHY developed a building envelope screen that relates to the historical fabric of the grand stairs and windows while also referencing the artwork.

The variation with the pattern allows for a sense of movement to create a more dynamic screen. The screen would give the Asian Art Museum a stronger presence in Civic Center with a distinct new look that is both new and familiar while activating the space around it. At night, the screen would even be illuminated, making the building a beacon and improving the pedestrian experience along Hyde Street.

The design of the addition references key details of the historic building - the geometric patterns found in the exterior windows and the vaulted ceiling of the loggia. The design is also a thematic representation of Asian art.



Historic metal lattice screens



Typical basket from Asian Art Museum collection



Historic ceiling details

ASIAN ART MUSEUM: SIGNIFICANCE DIAGRAMS

LEGEND - EXPANDED DEFINITIONS

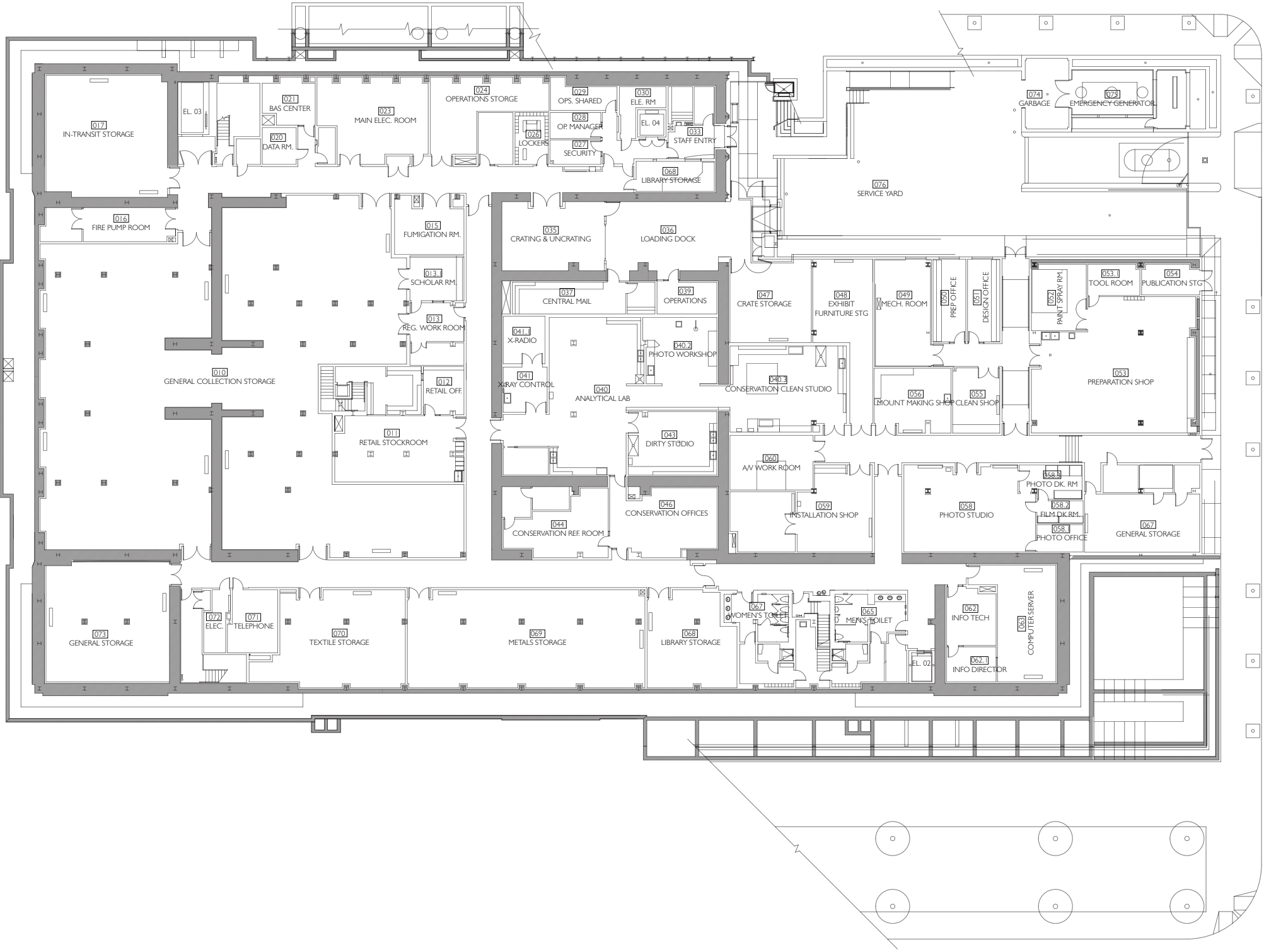
ARTICLE 10

Spaces and rooms that are included in the description of the San Francisco Public Library (200 Larkin Street, Asian Art Museum) contributing resource to the Civic Center Historic District in Article 10, Appendix J of the Planning Code.

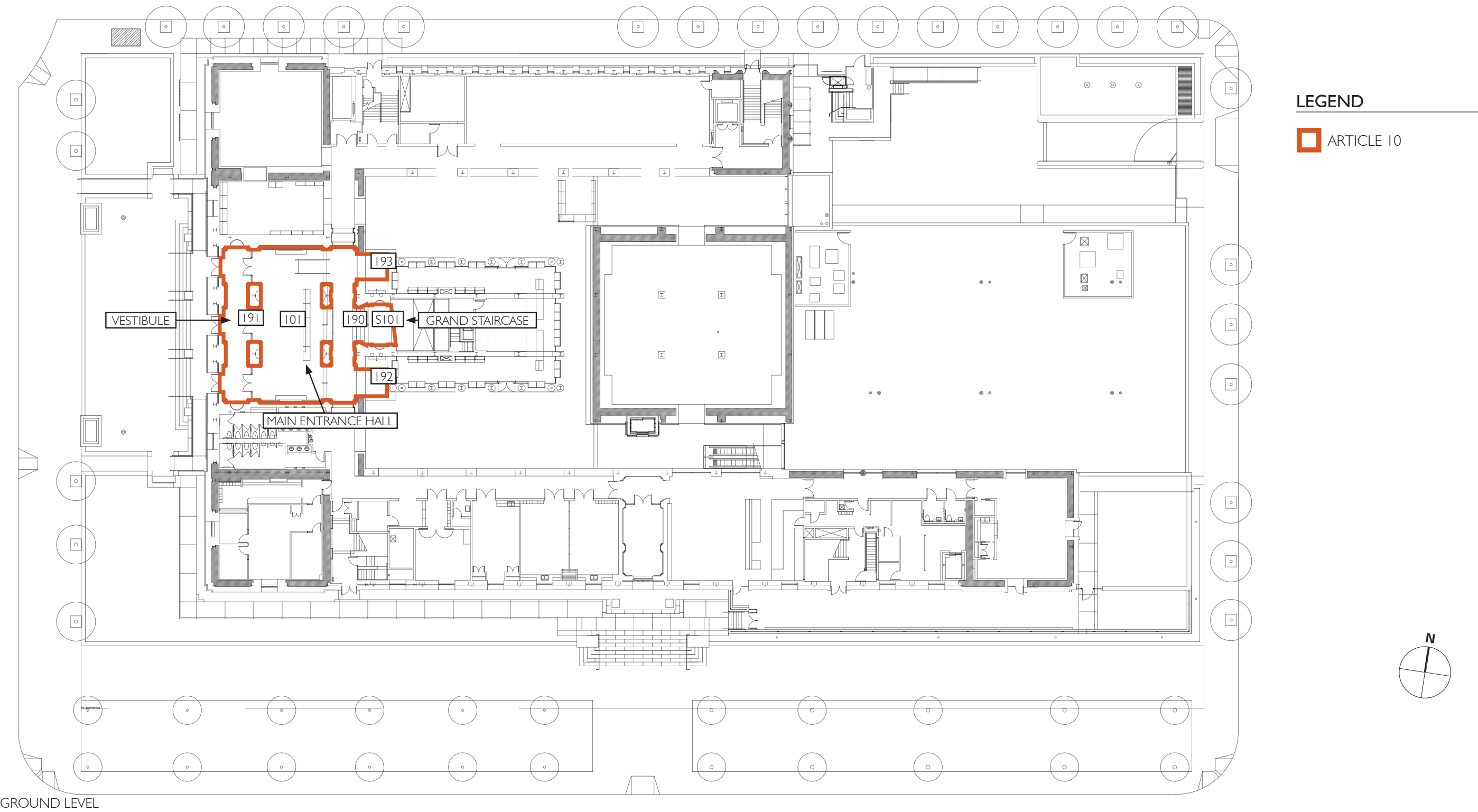
The following spaces at 200 Larkin are identified in Article 10 of the San Francisco Planning Code, Appendix J, Section 10 (b) as being “exceptionally significant interior public spaces”:

- The Monumental Grand Staircase (Room S101);
- The Main Entrance Hall and Vestibule (Rooms 101 and 191);
- The Monumental Public Corridors and Balcony Spaces including the Gottardo Piazzoni Murals [removed] in Public Corridor 290 (Rooms 190, 192, 193, 210 and 291A);
- The Main Program Spaces (Rooms 200, 201, 202, 203, 210 and 218) [The historic Main Catalog Room has been largely retained. However in the 2003 renovation, the historic Reading Rooms were significantly altered to add a new floor. Now that the ceiling height has been reduced and the monumental arched windows have been covered, the historic significance of the space is greatly diminished].

ARTICLE 10, APPENDIX J - INTERIOR DESIGNATED SPACES



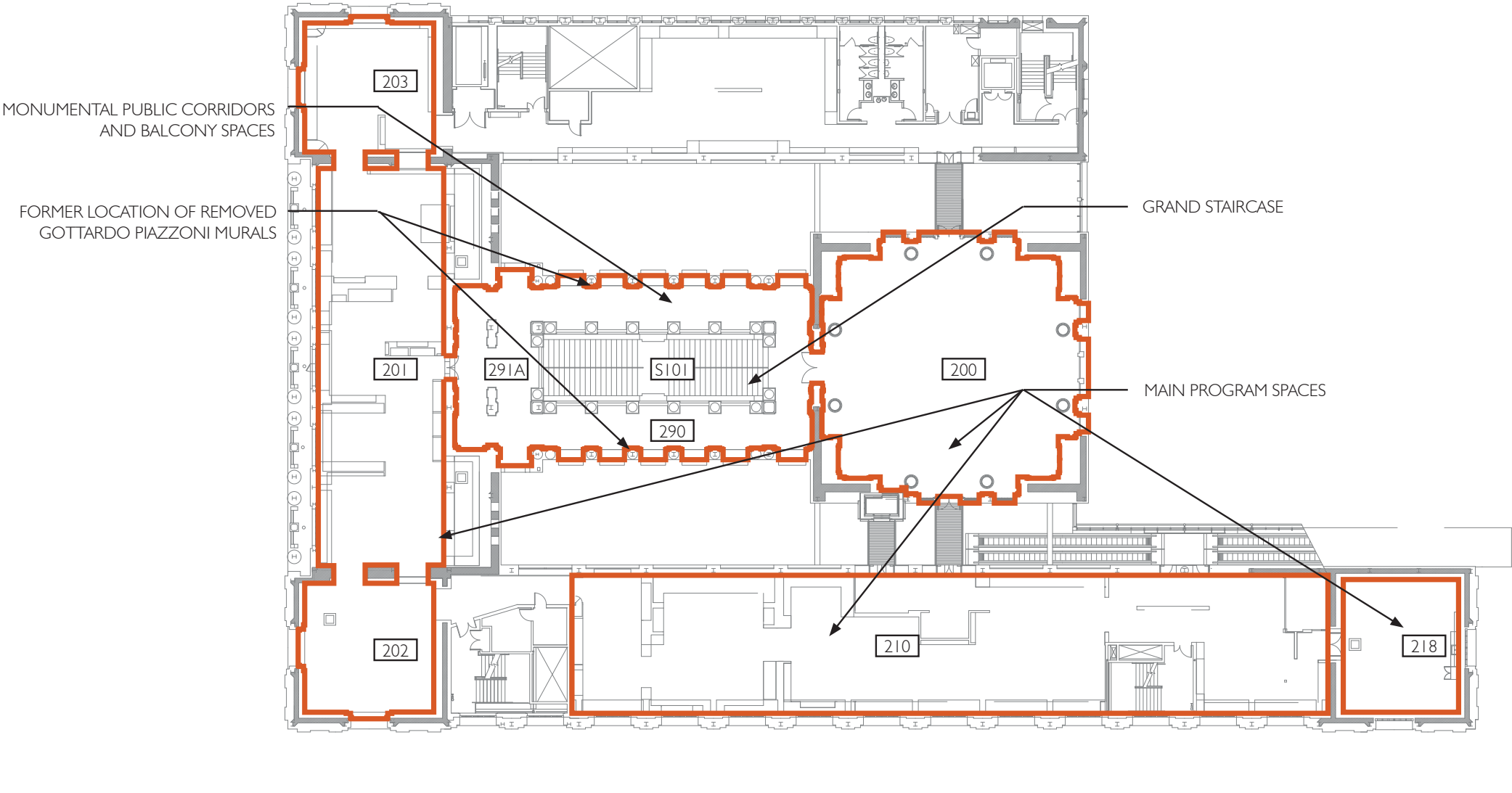
ARTICLE 10, APPENDIX J - INTERIOR DESIGNATED SPACES



ARTICLE 10, APPENDIX J - INTERIOR DESIGNATED SPACES

LEGEND

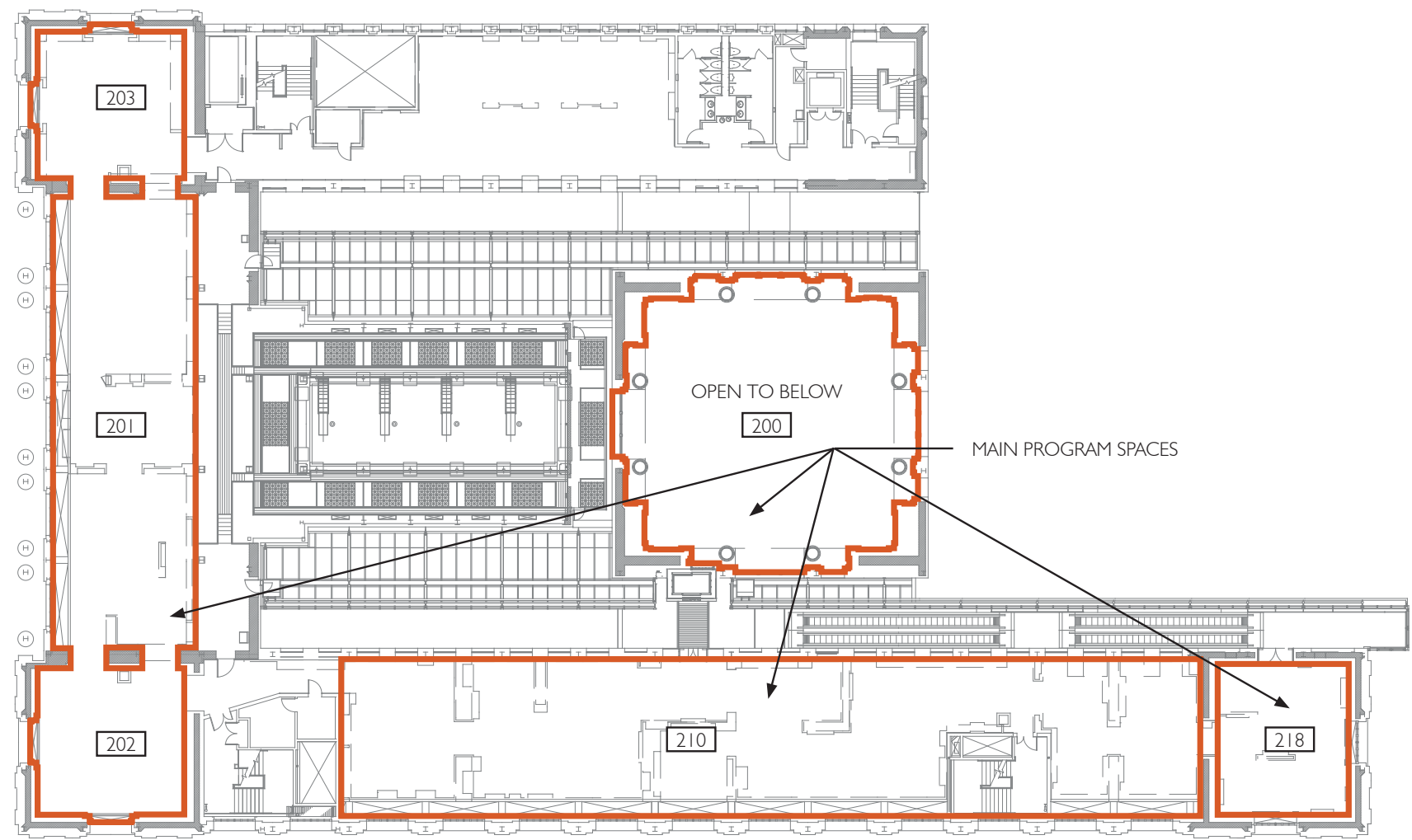
ARTICLE 10



SECOND LEVEL

JUNE 8, 2016 (UPDATED JULY 1, 2016)

ARTICLE 10, APPENDIX J - INTERIOR DESIGNATED SPACES



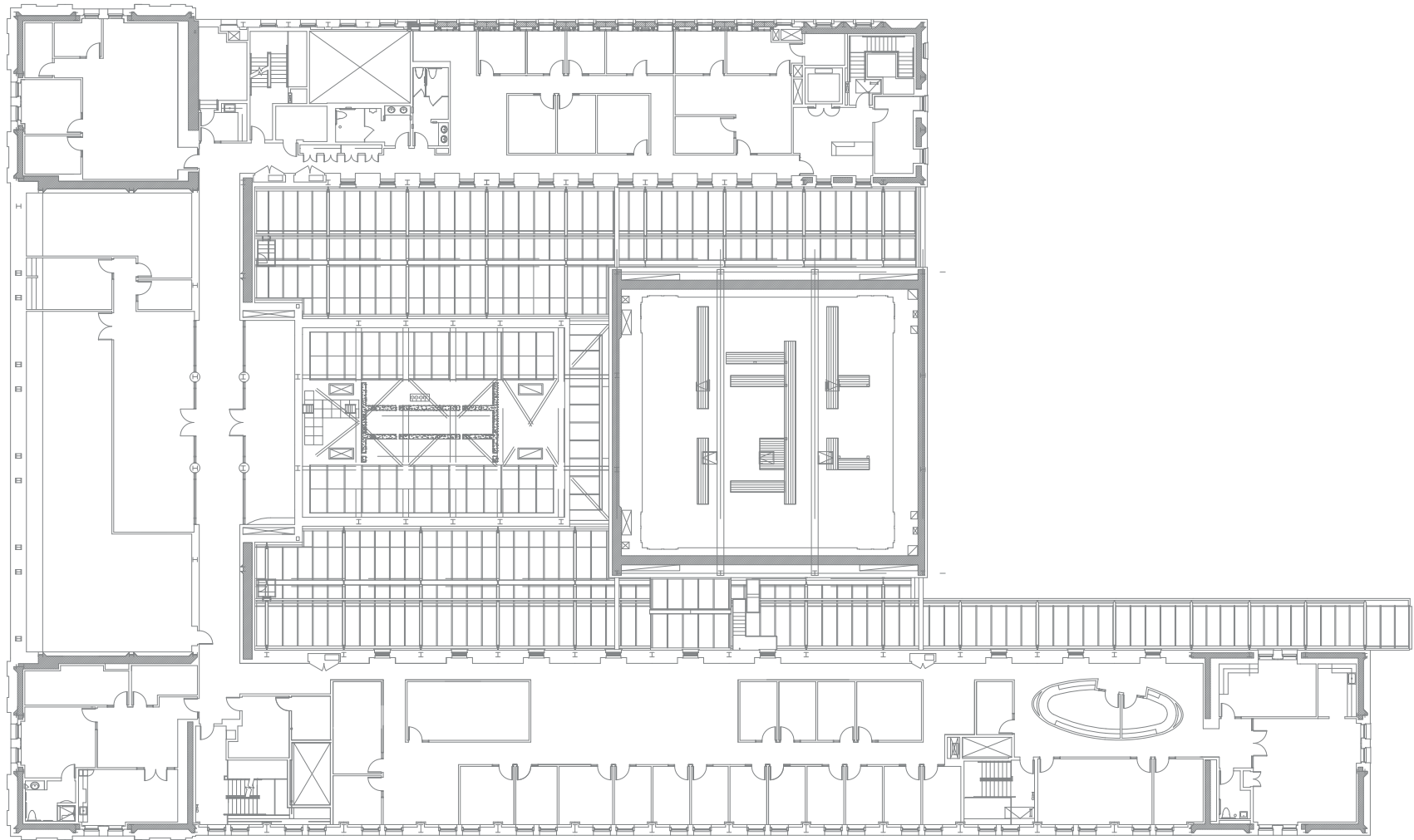
LEGEND

ARTICLE 10

THIRD LEVEL

JUNE 8, 2016 (UPDATED JULY 1, 2016)

ARTICLE 10, APPENDIX J - INTERIOR DESIGNATED SPACES



LEGEND

ARTICLE 10

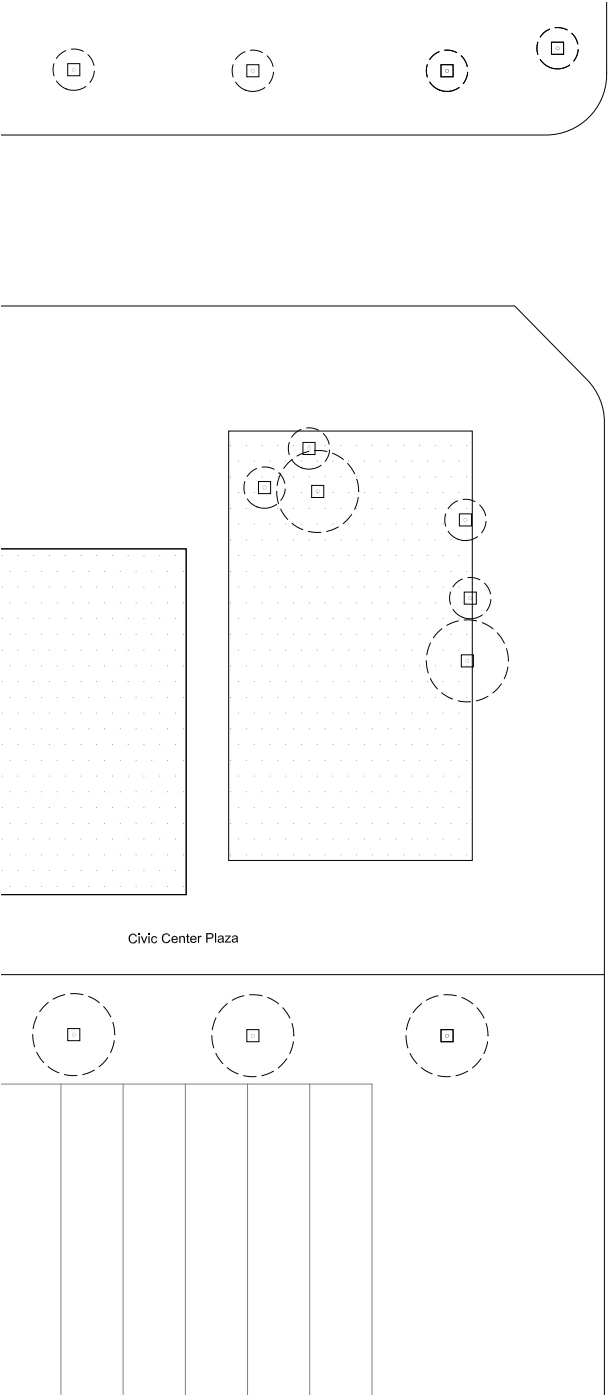


FOURTH LEVEL

JUNE 8, 2016 (UPDATED JULY 1, 2016)

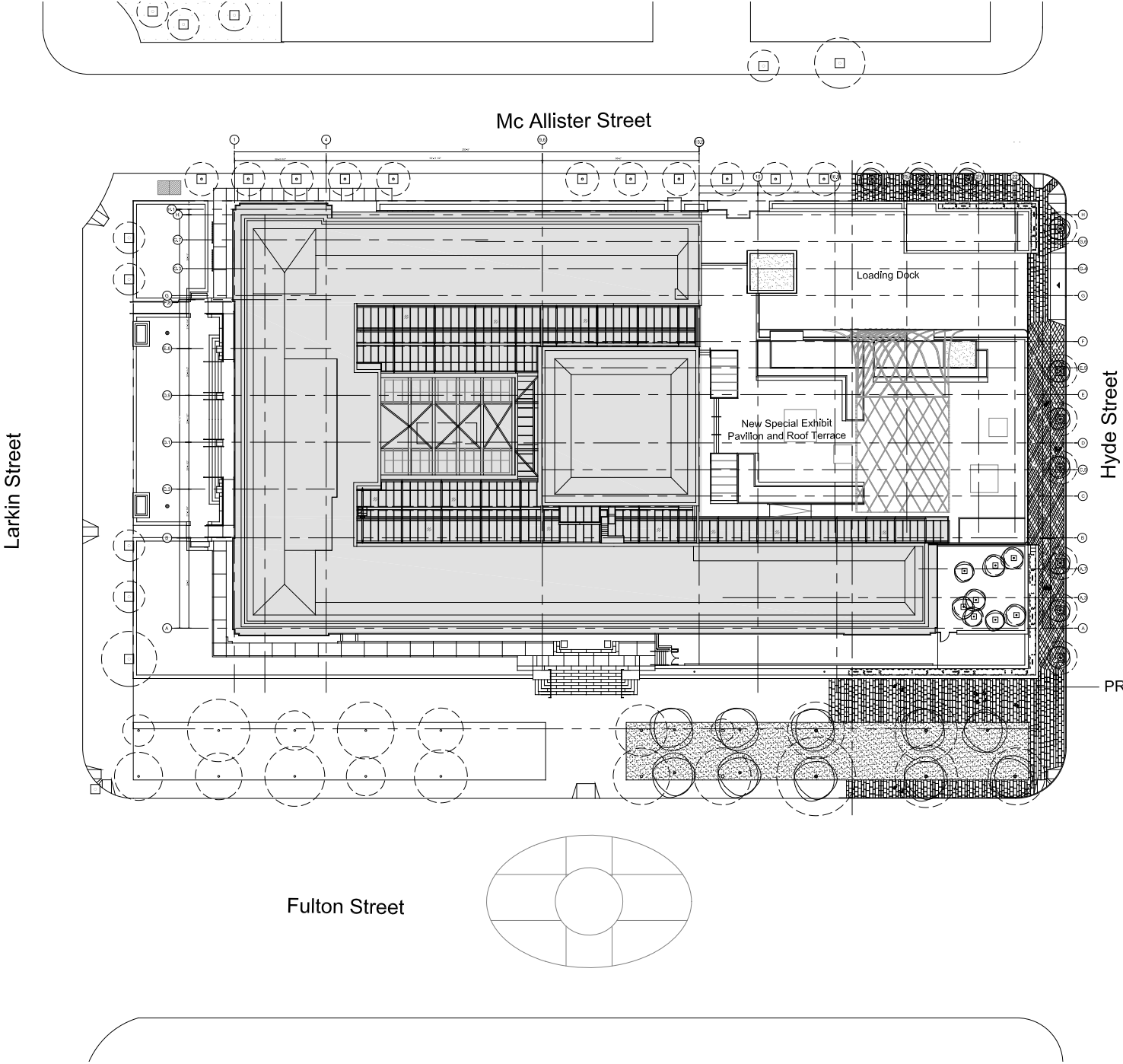
Page intentionally left blank

PROJECT DRAWINGS

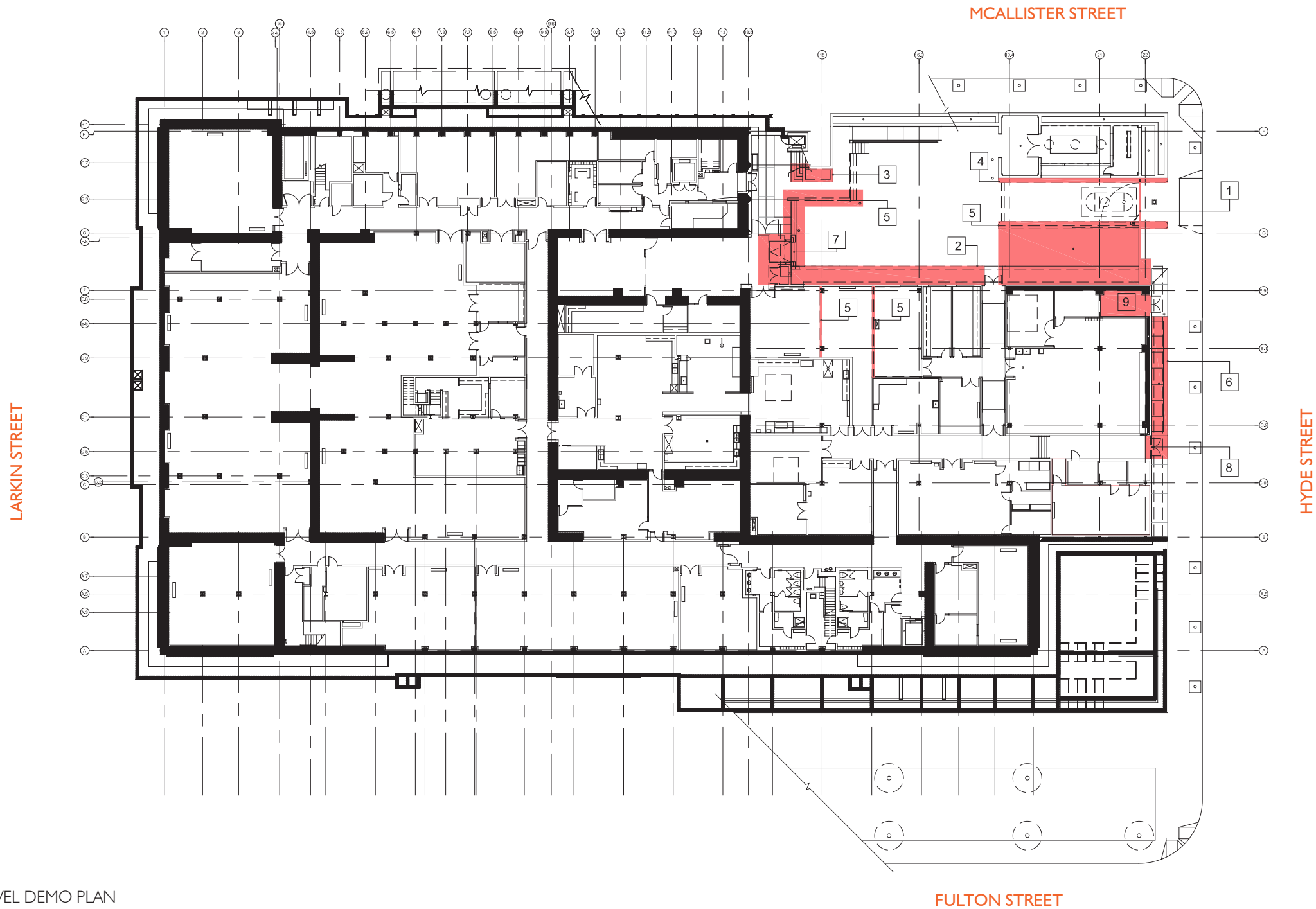


SITE PLAN

JUNE 8, 2016 (UPDATED JUNE 25, 2016)



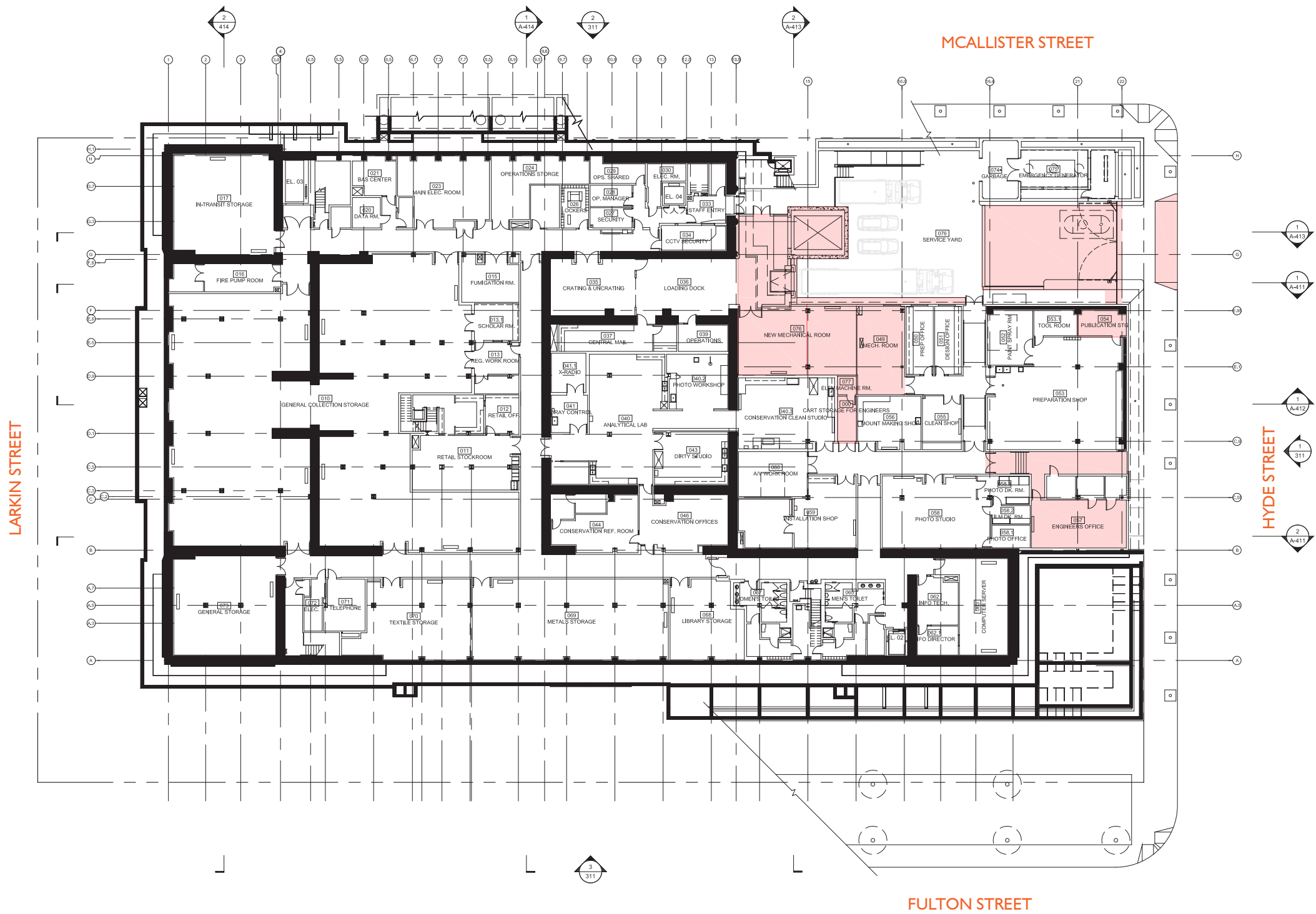
PROJECT DRAWINGS



LOWER LEVEL DEMO PLAN

JUNE 8, 2016 (UPDATED JULY 1, 2016)

PROJECT DRAWINGS



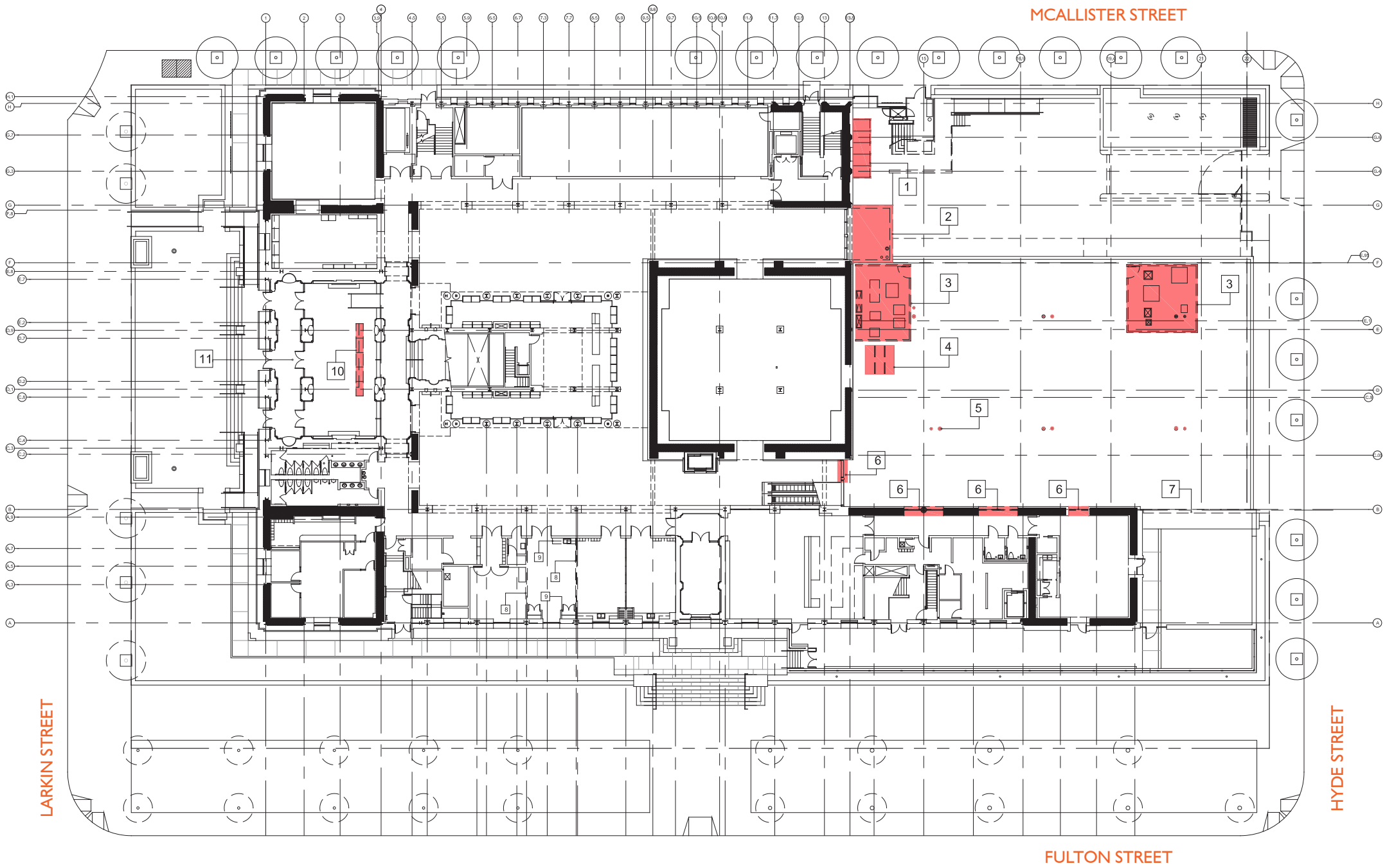
PROPOSED WORK

SEE ENLARGED PLAN, PAGE 19

LOWER LEVEL FLOOR PLAN

JUNE 8, 2016 (UPDATED JULY 1, 2016)

PROJECT DRAWINGS



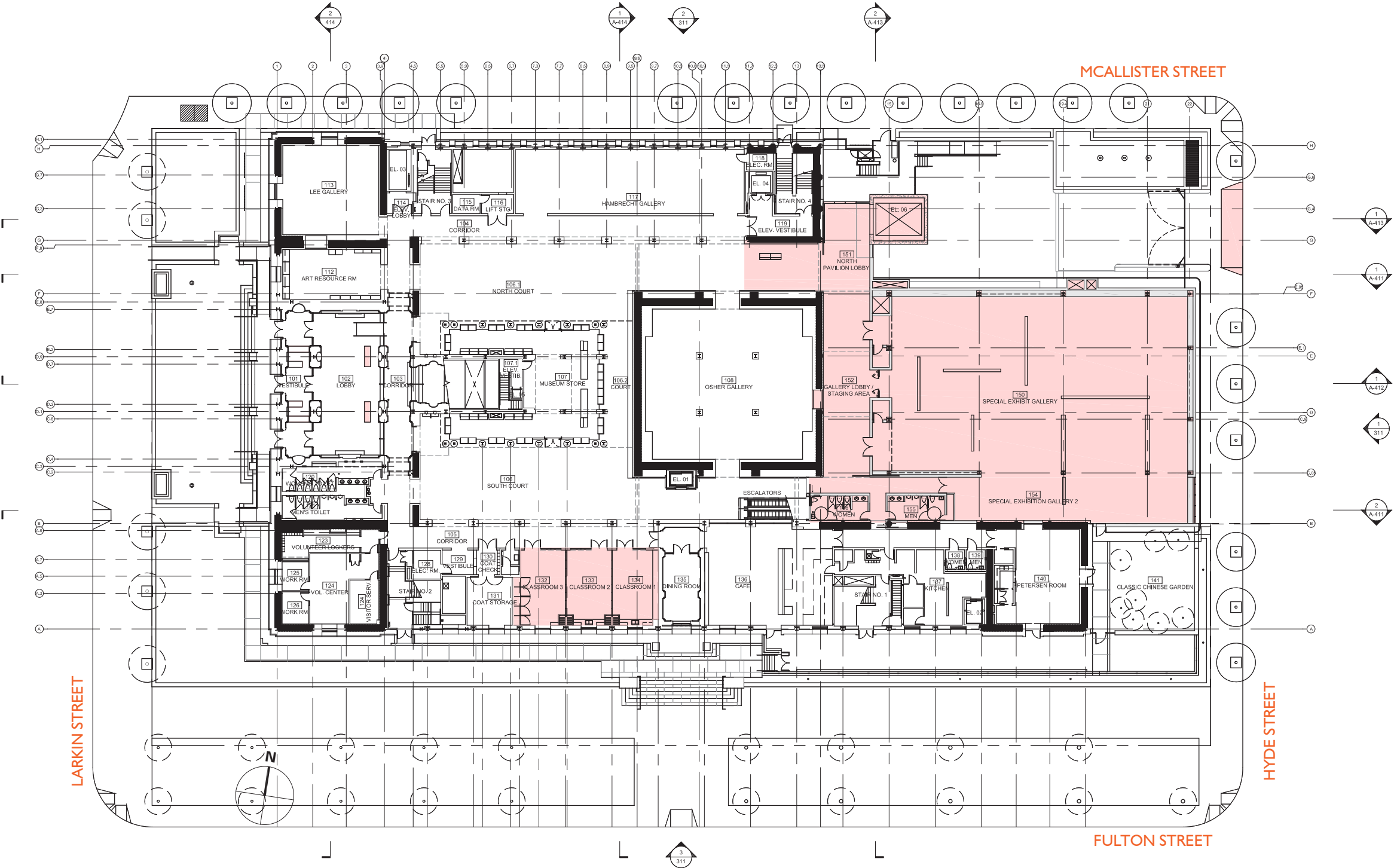
PROPOSED WORK

1. REMOVE EXISTING CANOPY
2. REMOVE (E) PARAPET
3. REMOVE (E) WALL
4. REMOVE (E) SKYLIGHT
5. REMOVE (E) ROOFING SYSTEM AND DRAINS
6. REMOVE (E) WINDOWS
7. REMOVE (E) EXTERIOR WALL
8. REMOVE (E) INTERIOR WALL
9. REMOVE (E) CABINETS
10. REMOVE (E) RECEPTION DESK, NO WORK TO HISTORIC FABRIC
11. REMOVE (E) SECURITY BAG CHECK MILLWORK, NO WORK TO HISTORIC FABRIC

GROUND LEVEL DEMO PLAN

JUNE 8, 2016 (UPDATED JULY 1, 2016)

PROJECT DRAWINGS



PROPOSED WORK

SEE ENLARGED PLAN, PAGE 20-21

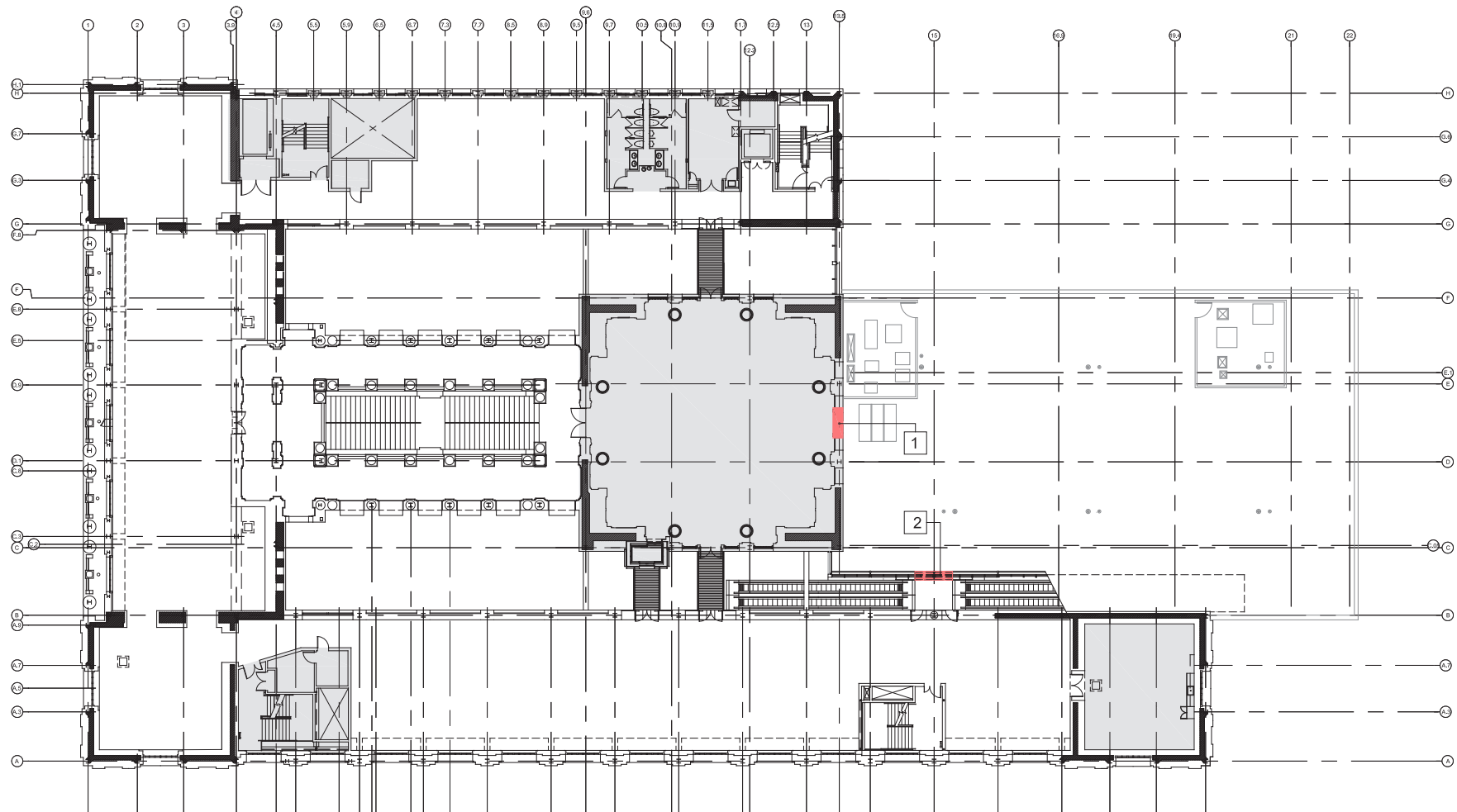
PROPOSED GROUND LEVEL PLAN

JUNE 8, 2016 (UPDATED JULY 1, 2016)

PROJECT DRAWINGS

PROPOSED WORK

- 1. REMOVE (E) WALL FOR DOOR
- 2. REMOVE (E) GLAZING FOR DOOR



AREA OF WORK

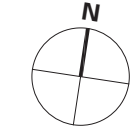
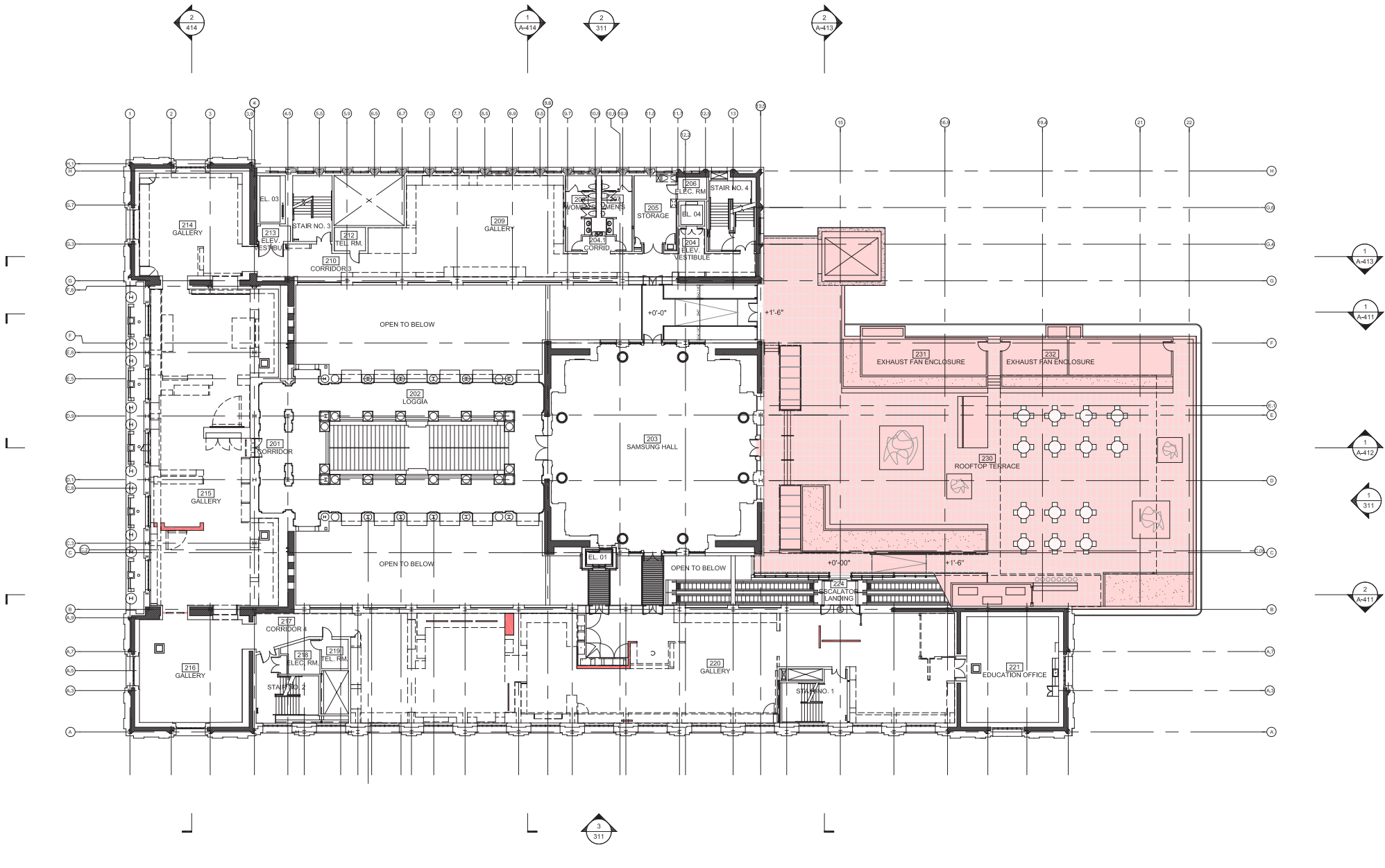
LEVEL 2 DEMO PLAN

JUNE 8, 2016 (UPDATED JULY 1, 2016)

PROJECT DRAWINGS

PROPOSED WORK

SEE ENLARGED PLAN, PAGE 22-23



- AREA OF WORK
- NEW WALLS & PARTITIONS

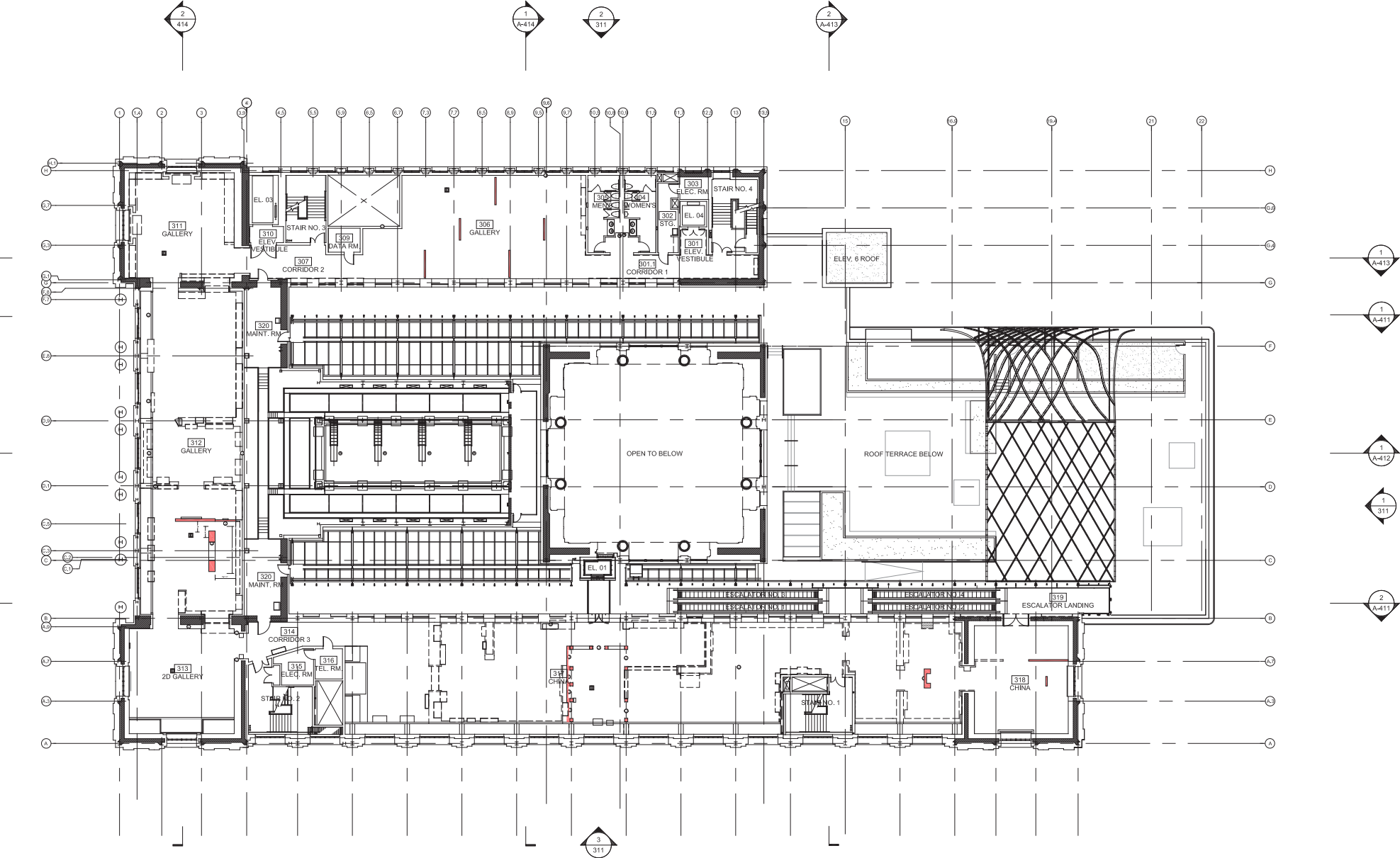
PROPOSED LEVEL 2 PLAN

JUNE 8, 2016 (UPDATED JULY 1, 2016)

PROJECT DRAWINGS

PROPOSED WORK

SEE ENLARGED PLAN, PAGE 24-25

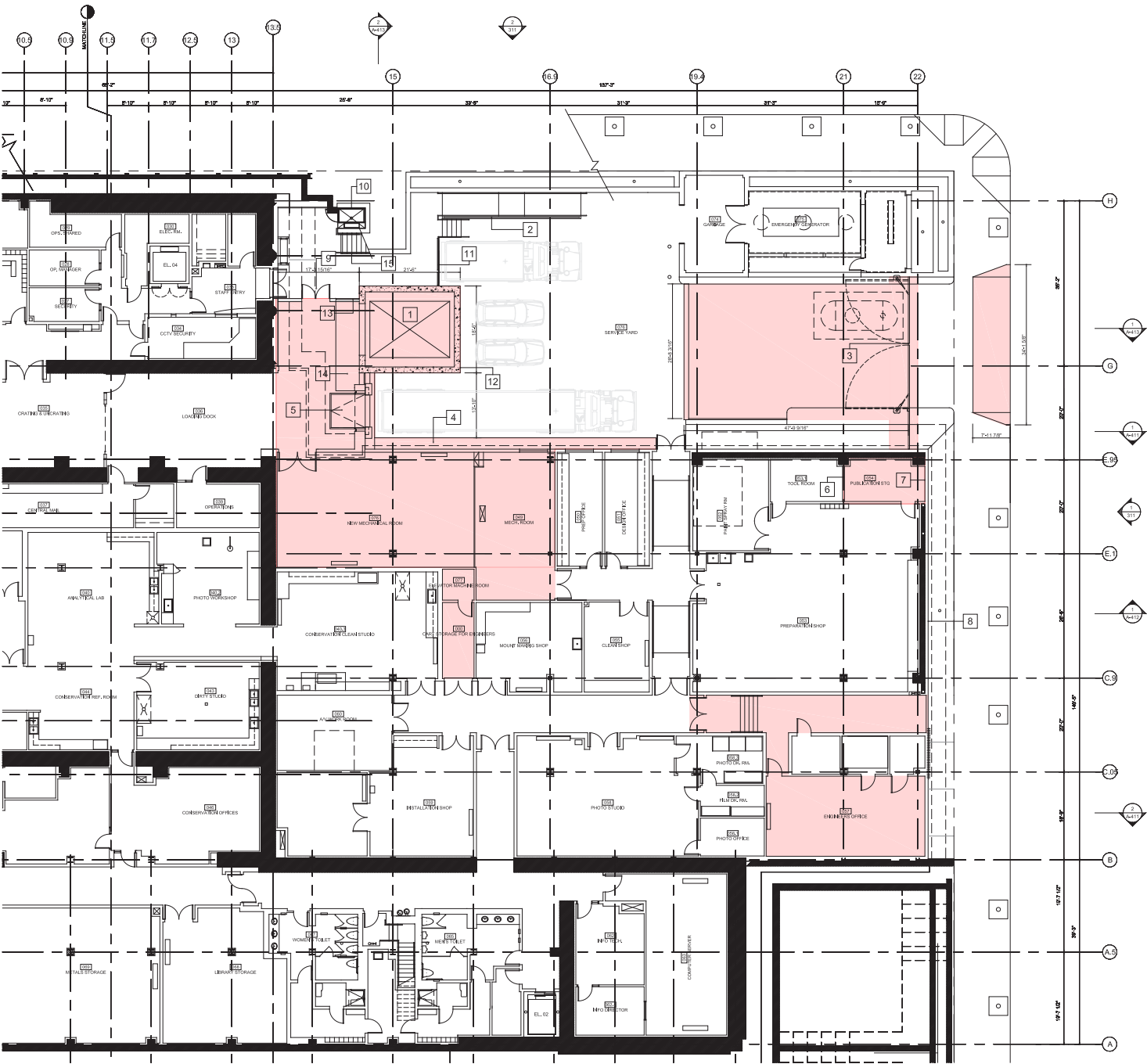


AREA OF WORK
NEW WALLS & PARTITIONS

PROPOSED LEVEL 3 PLAN

JUNE 8, 2016 (UPDATED JULY 1, 2016)

PROJECT DRAWINGS: ENLARGED PLANS



PROPOSED WORK

1. (N) FREIGHT ELEVATOR
2. EXTERIOR RAMP TO REMAIN
3. (N) MOTORIZED GATE
4. MOAT COVER TO BE CUT BACK
5. RELOCATE LOADING DOCK LEVELER
6. DEMOLISH RAISED SLAB
7. REMOVE DOOR AND ADD WALL
8. NEW RAIN SCREEN CURTAIN WALL
9. NEW DOOR
10. DISABLED ACCESS LIFT TO REMAIN
11. (N) REMOVABLE METAL GUARD RAILS
12. (N) ELEVATOR ENCLOSURE
13. (N) SEISMIC WALL JOINT
14. (N) SEISMIC FLOOR JOINT
15. EXTERIOR STAIR TO BE MODIFIED

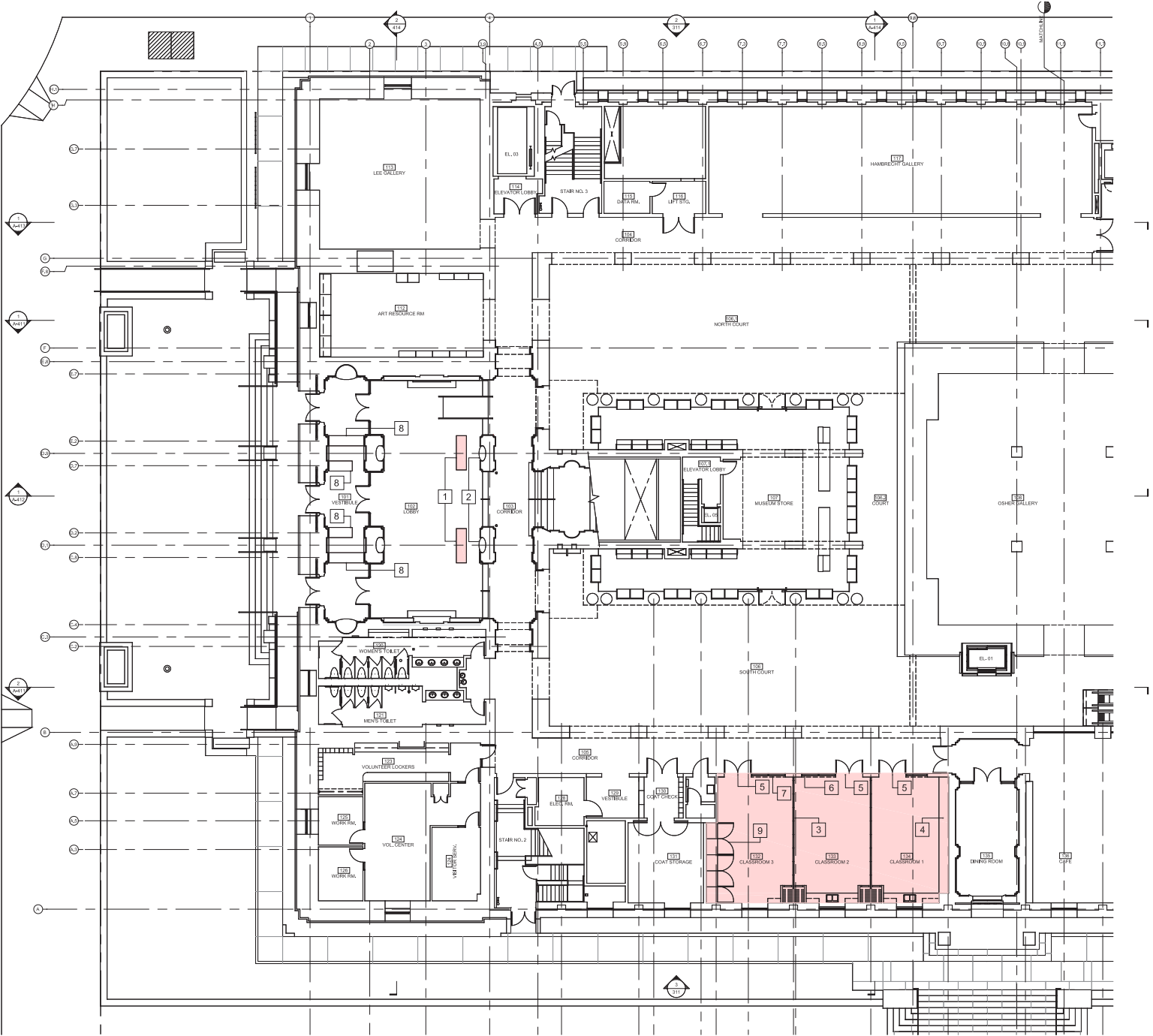


- AREA OF WORK
- NEW WALLS & PARTITIONS

PROPOSED ENLARGED LOWER LEVEL PLAN, EAST HALF

JUNE 8, 2016 (UPDATED JULY 1, 2016)

PROJECT DRAWINGS: ENLARGED PLANS



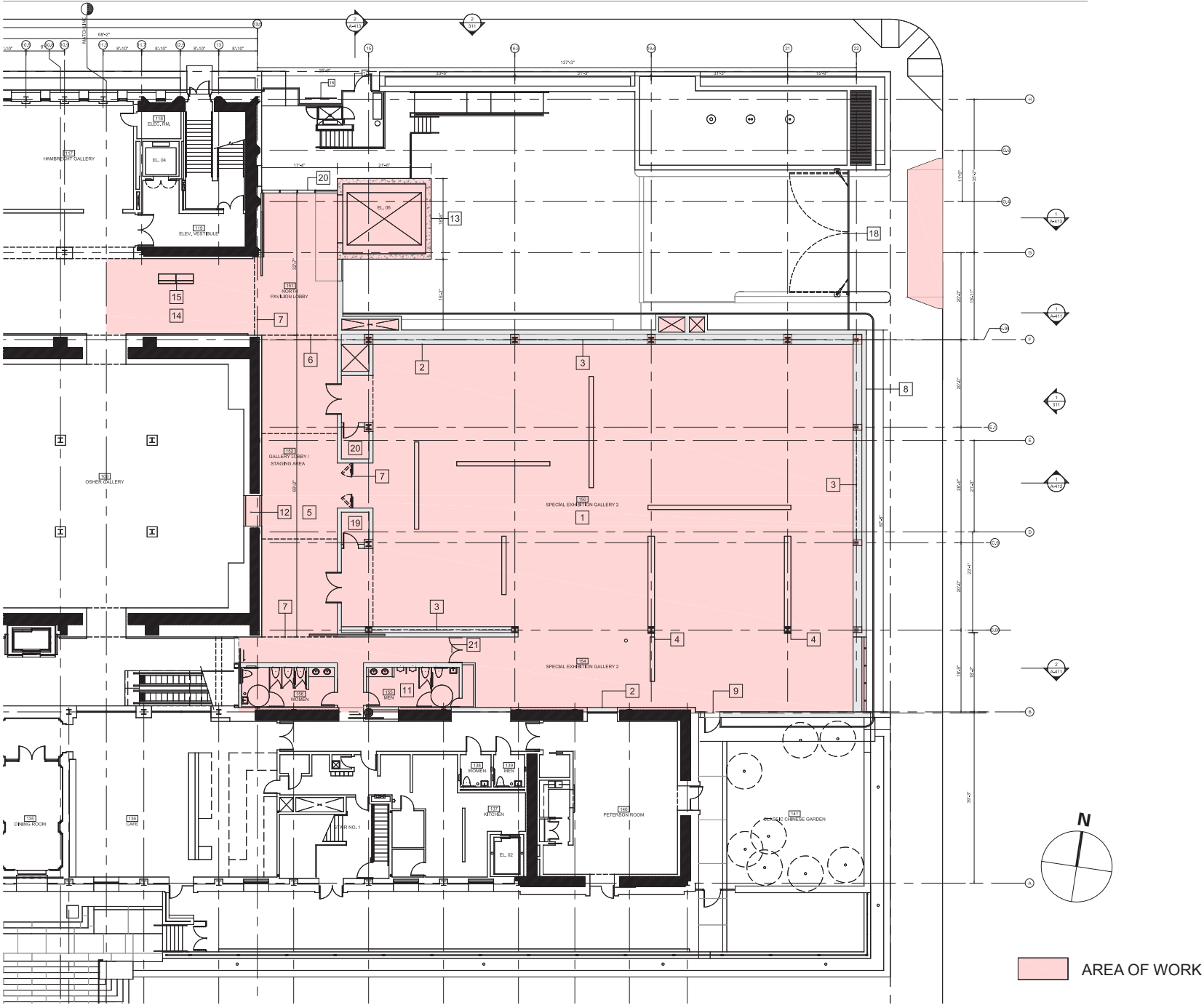
PROPOSED WORK

- 1. (N) MILLWORK RECEPTION DESK
- 2. (N) DIGITAL SCREEN
- 3. REMOVE PARTITION BETWEEN CLASSROOM #1 & #2 AND REPLACE WITH FOLDING PARTITION SIMILAR TO ADJACENT
- 4. (N) STORAGE CABINETS
- 5. (N) GLASS DOORS WITH ROLLER SHADES
- 6. (N) INTERIOR GLAZED STOREFRONT SYSTEM
- 7. (N) POWERED BLACKOUT ROLLER SHADES
- 8. RELOCATE COAT STORAGE WALL AND PROVIDE TABLE STORAGE

PROPOSED ENLARGED LEVEL I PLAN, WEST HALF

JUNE 8, 2016 (UPDATED JULY 1, 2016)

PROJECT DRAWINGS: ENLARGED PLANS



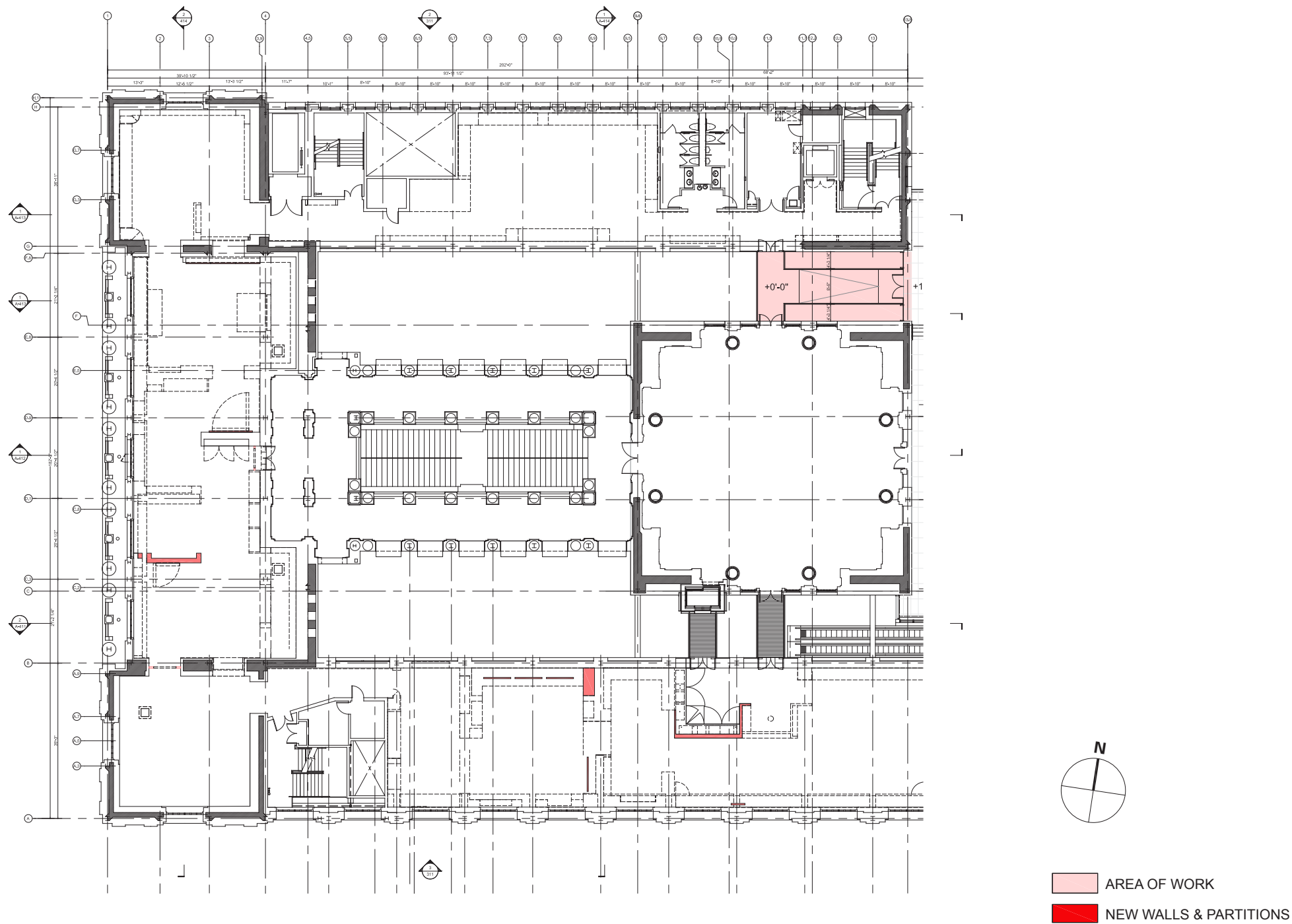
PROPOSED WORK

1. HARDWOOD FLOOR FINISH
2. PAINTED GYPSUM WALL BOARD
3. STRUCTURAL BRACE - REFER TO STRUCTURAL DRAWINGS
4. (N) DRYWALL COVER OVER NEW COLUMN
5. STONE FLOOR FINISH (ST1)
6. (N) BI-FOLD DOOR
7. (N) AUTOMATIC SLIDING DOOR
8. (N) RAIN SCREEN CURTAIN WALL
9. (N) EGRESS DOOR TO EXTERIOR
10. REMOVABLE PARTITION WALL
11. STONE FLOOR FINISH (ST2)
12. REMOVE KNOCK OUT PANEL FOR NEW WALL (NEW SWING DOOR)
13. ELEVATOR ENCLOSURE
14. (E) STONE FLOOR FINISH (ST3)
15. MOVABLE ADMISSIONS COUNTER
16. (N) BIKE PARKING RACK
17. (E) EXTERIOR GATE
18. (N) MOTORIZED GATE
19. STORAGE
20. SEISMIC WALL JOINT
21. TRANSITION BETWEEN STONE AND WOOD FLOOR FINISH

PROPOSED ENLARGED LEVEL I PLAN, EAST HALF

JUNE 8, 2016 (UPDATED JULY 1, 2016)

PROJECT DRAWINGS: ENLARGED PLANS



PROPOSED ENLARGED LEVEL 2 PLAN, WEST HALF


JUNE 8, 2016 (UPDATED JULY 1, 2016)


PROPOSED WORK



1. MECHANICAL EXHAUST, ENCLOSURE OPEN TO THE SKY
2. INSULATED GLAZED SKYLIGHT
3. SEATING AREA FOR 260 PEOPLE
4. RAISED PLANTERS
5. COUNTER WITH INTEGRATED STORAGE
6. CAFE
7. STORAGE
8. (N) STAINLESS STEEL HANDRAIL
9. CONCRETE PEDESTAL PAVERS
10. SCULPTURE
11. (N) GLASS DOOR (DEMO EXTERIOR KNOCKOUT WALL PANEL)
12. (N) GLASS FLOOR RAMP BRIDGE
13. WOODEN SEATING PLATFORM
14. (N) EXTERIOR DOOR



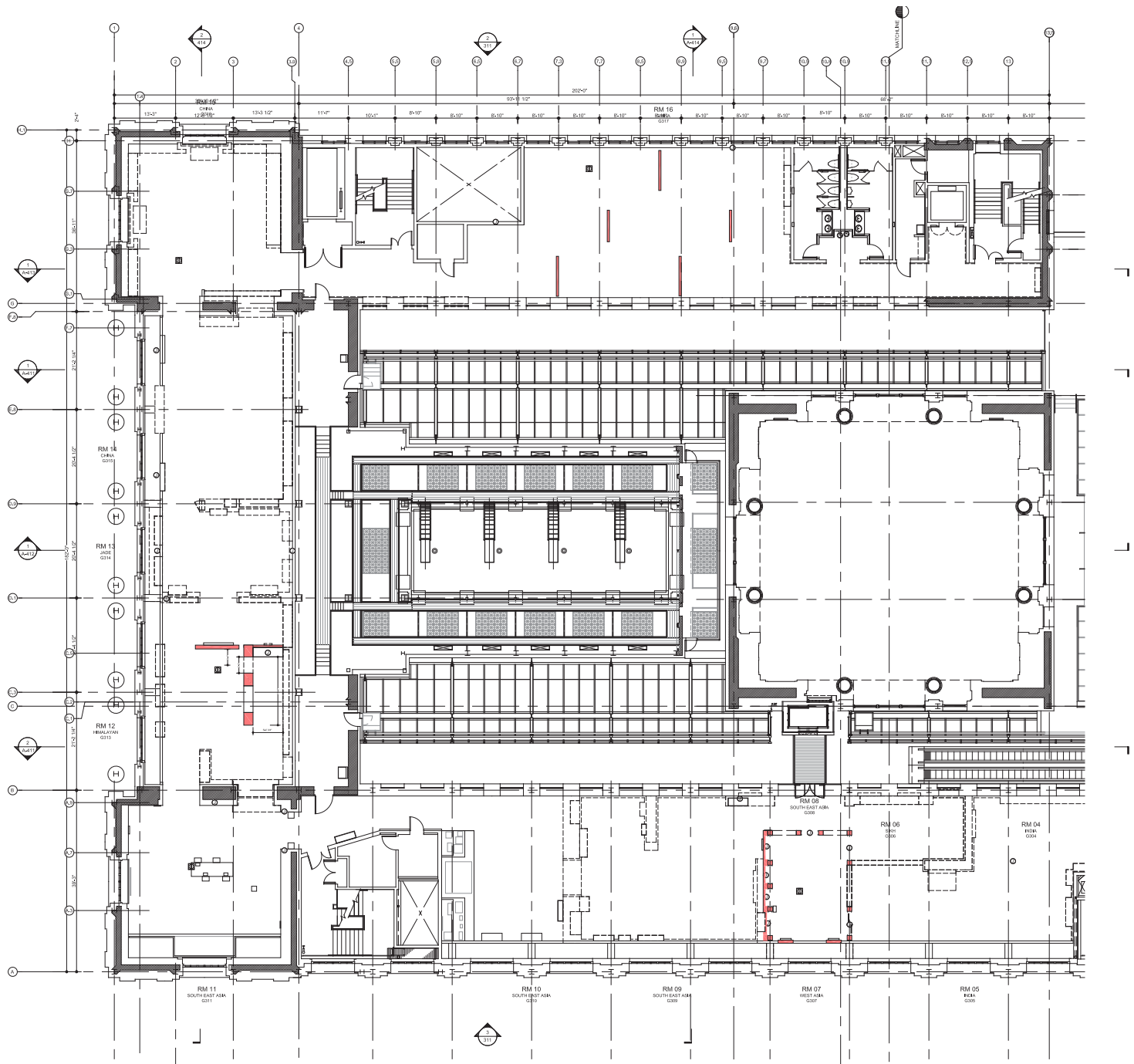
 AREA OF WORK

 NEW WALLS & PARTITIONS

PROPOSED ENLARGED LEVEL 2 PLAN, EAST HALF

JUNE 8, 2016 (UPDATED JULY 1, 2016)

PROJECT DRAWINGS: ENLARGED PLANS



PROPOSED WORK

1. HARDWOOD FLOOR FINISH
2. PAINTED GYPSUM WALL BOARD
3. STRUCTURAL BRACE - REFER TO STRUCTURAL DRAWINGS
4. REMOVABLE PARTITION WALL
5. STONE FLOOR FINISH (ST1)
6. (N) BI-FOLD DOOR
7. (N) SLIDING DOOR
8. PAINTED GYPSUM WALL BOARD
9. (N) DOOR
10. REMOVABLE PARTITION WALL
11. STONE FLOOR FINISH (ST2)
12. REMOVE KNOCK OUT PANEL FOR NEW WALL OPENING (NEW SWING DOOR)
13. STONE FLOOR FINISH (ST1)
14. (N) SWING DOOR
15. (E) STONE FLOOR FINISH (ST3)
16. MOVABLE ADMISSIONS COUNTER
17. RELOCATE LIFT
18. (N) RELOCATED RAMP
19. (N) GATE

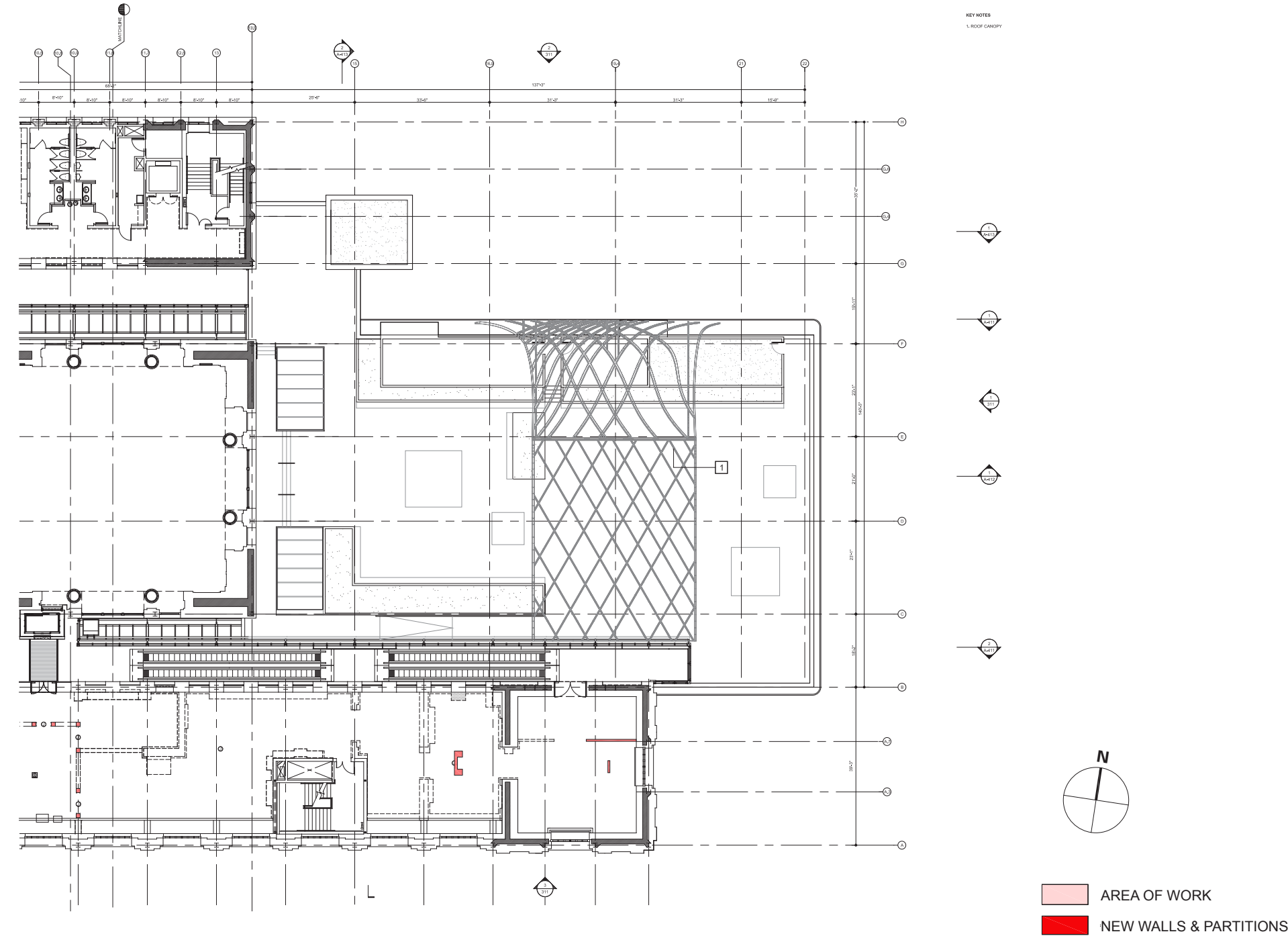
PROPOSED ENLARGED LEVEL 3 PLAN, WEST HALF

JUNE 8, 2016 (UPDATED JULY 1, 2016)

PROJECT DRAWINGS: ENLARGED PLANS

PROPOSED WORK

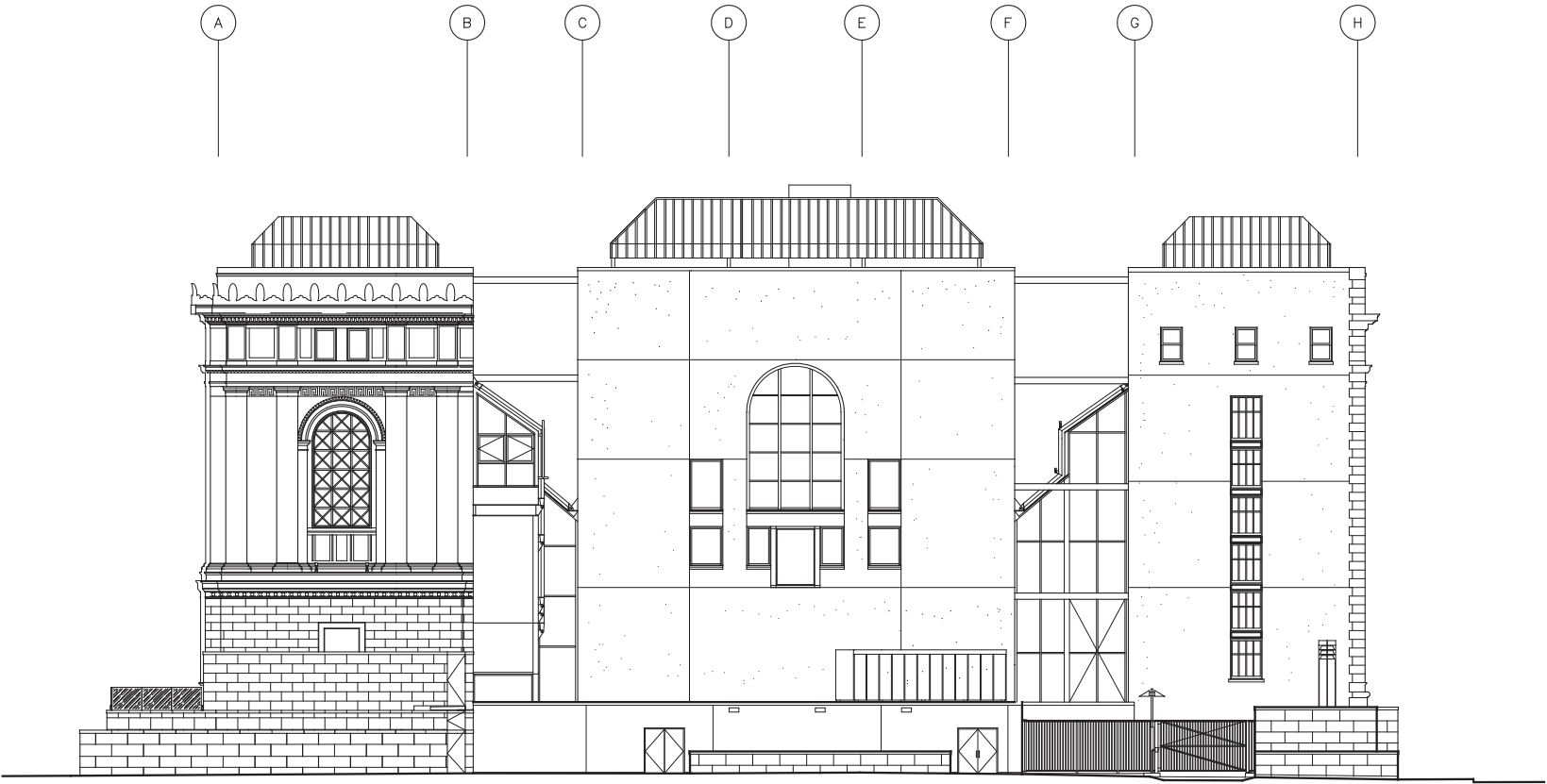
1. HARDWOOD FLOOR FINISH
2. PAINTED GYPSUM WALL BOARD
3. STRUCTURAL BRACE - REFER TO STRUCTURAL DRAWINGS
4. REMOVABLE PARTITION WALL
5. STONE FLOOR FINISH (ST1)
6. (N) BI-FOLD DOOR
7. (N) SLIDING DOOR
8. PAINTED GYPSUM WALL BOARD
9. (N) DOOR
10. REMOVABLE PARTITION WALL
11. STONE FLOOR FINISH (ST2)
12. REMOVE KNOCK OUT PANEL FOR NEW WALL OPENING (NEW SWING DOOR)
13. STONE FLOOR FINISH (ST1)
14. (N) SWING DOOR
15. (E) STONE FLOOR FINISH (ST3)
16. MOVABLE ADMISSIONS COUNTER
17. RELOCATE LIFT
18. (N) RELOCATED RAMP
19. (N) GATE



PROPOSED ENLARGED LEVEL 3 PLAN, EAST HALF

JUNE 8, 2016 (UPDATED JULY 1, 2016)

PROJECT DRAWINGS: ELEVATIONS



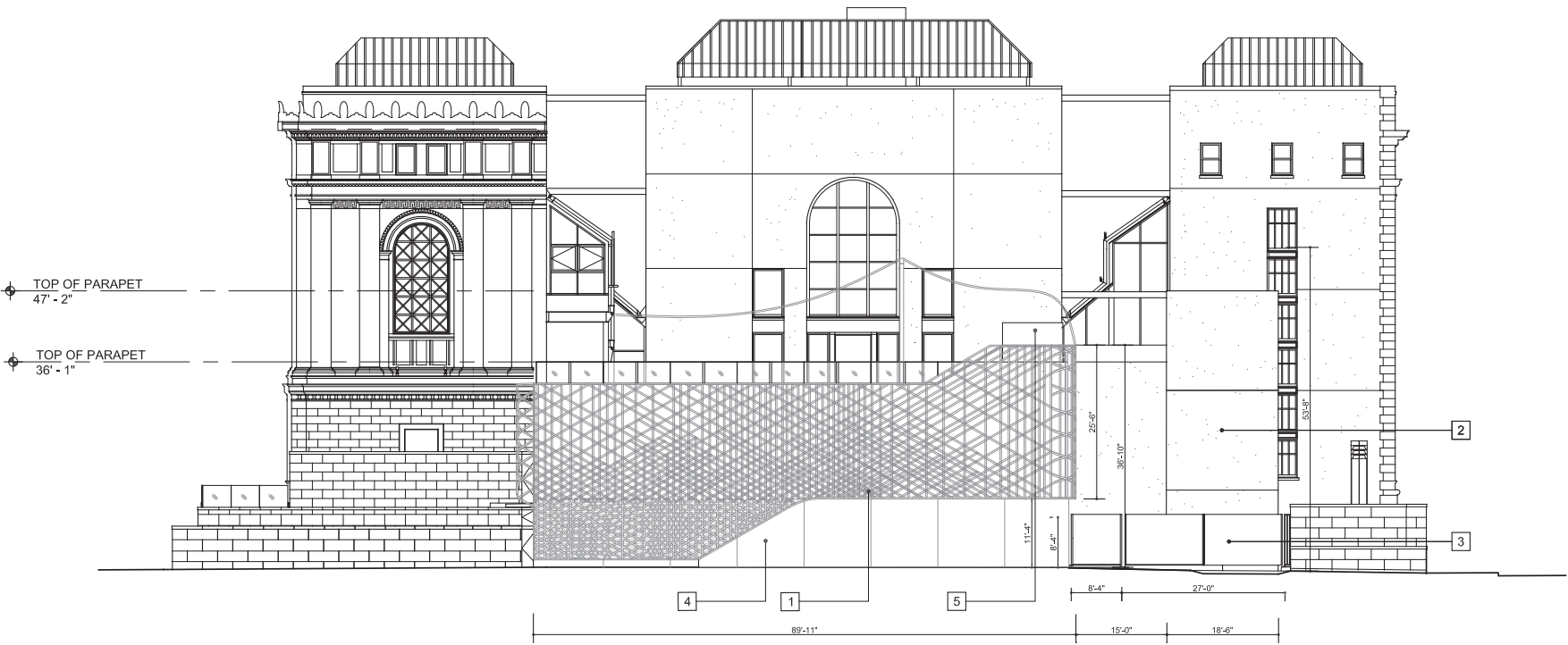
Hyde Street Elevation, Existing

JUNE 8, 2016 (UPDATED JULY 1, 2016)

PROJECT DRAWINGS: ELEVATIONS

PROPOSED WORK

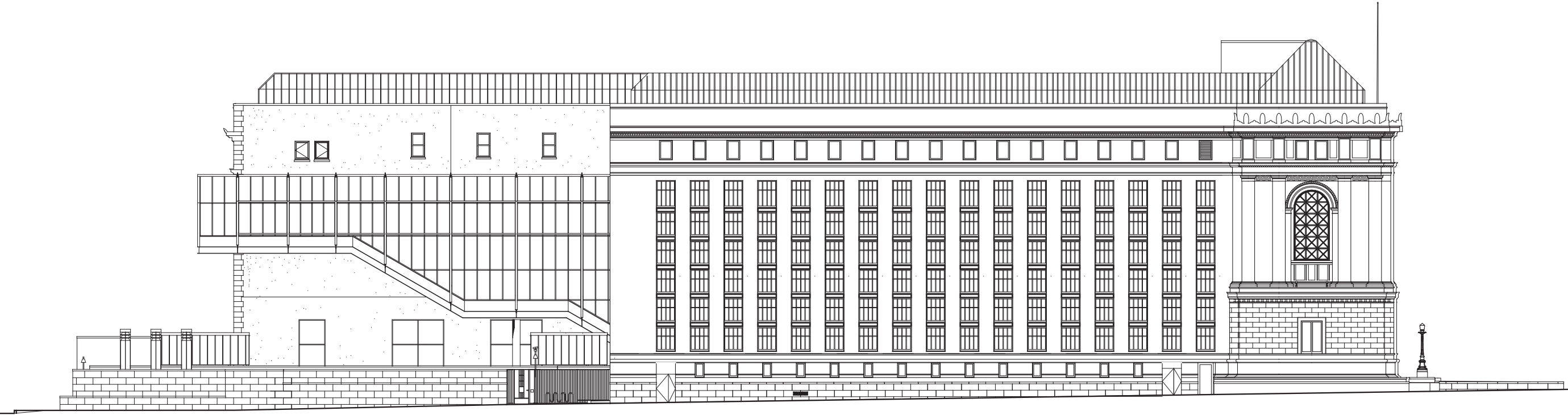
- 1. SPECIAL EXHIBITIONS GALLERY PAVILION
RAIN SCREEN CURTAIN WALL, THERMAL
INSULATION, AIR AND WATER BARRIER WITH
MODULAR MATERIAL RAIN SCREEN
- 2. (N) FREIGHT ELEVATOR ENCLOSURE
- 3. (N) MOTORIZED GATE
- 4. MASONRY
- 5. MECHANICAL EXHAUST ENCLOSURE



Hyde Street Elevation, Proposed

JUNE 8, 2016 (UPDATED JULY 1, 2016)

PROJECT DRAWINGS: ELEVATIONS



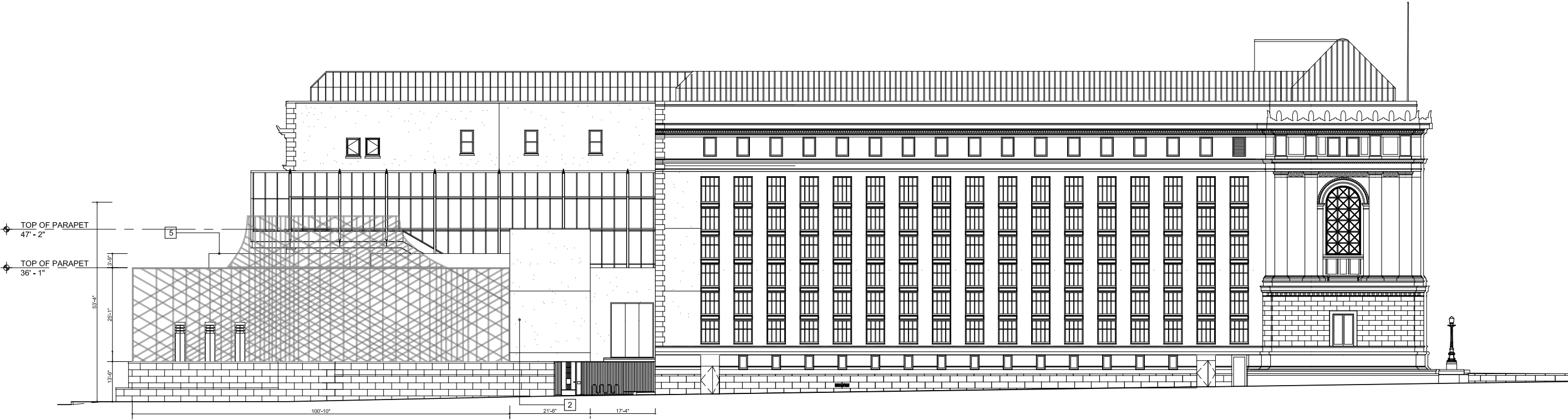
McAllister Street Elevation, Existing

JUNE 8, 2016 (UPDATED JULY 1, 2016)

PROJECT DRAWINGS: ELEVATIONS

PROPOSED WORK

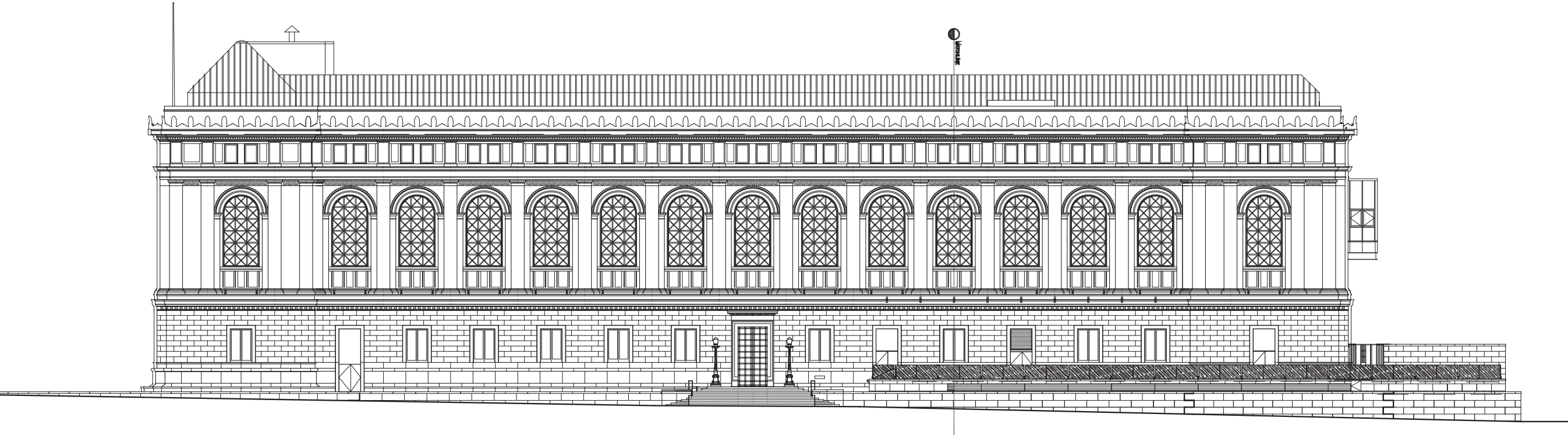
- 1. SPECIAL EXHIBITIONS GALLERY
PAVILION RAIN SCREEN CURTAIN WALL,
THERMAL INSULATION, AIR AND WATER
BARRIER WITH MODULAR MATERIAL
RAIN SCREEN
- 2. (N) FREIGHT ELEVATOR ENCLOSURE
- 3. (N) UPGRADED MOTORIZED GATE
- 4. MASONRY
- 5. MECHANICAL EXHAUST ENCLOSURE



McAllister Street Elevation, Proposed

JUNE 8, 2016 (UPDATED JULY 1, 2016)

PROJECT DRAWINGS: ELEVATIONS



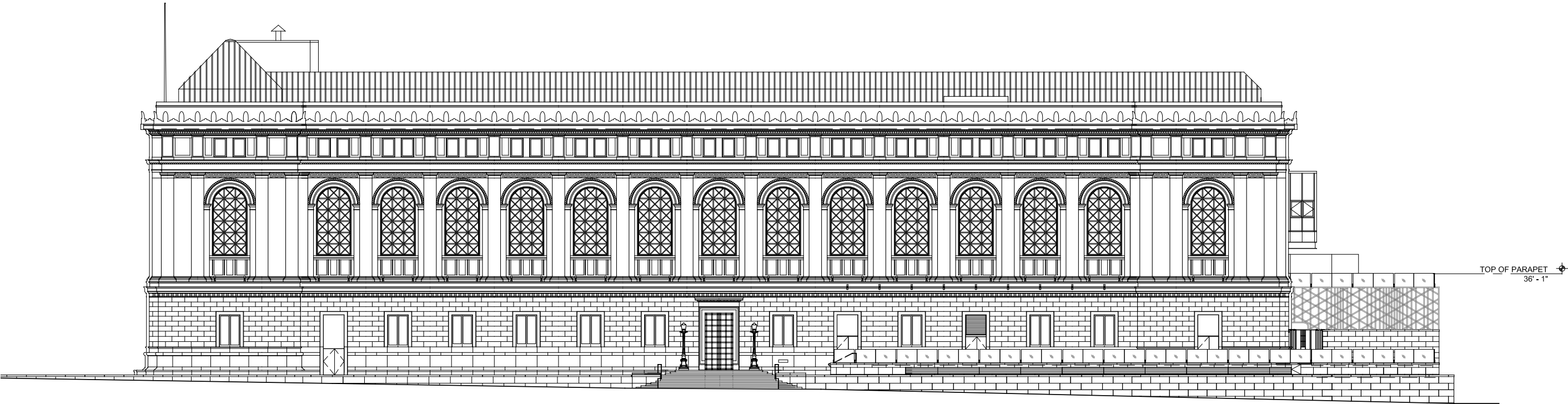
Fulton Street Elevation, Existing

JUNE 8, 2016 (UPDATED JULY 1, 2016)

PROJECT DRAWINGS: ELEVATIONS

PROPOSED WORK

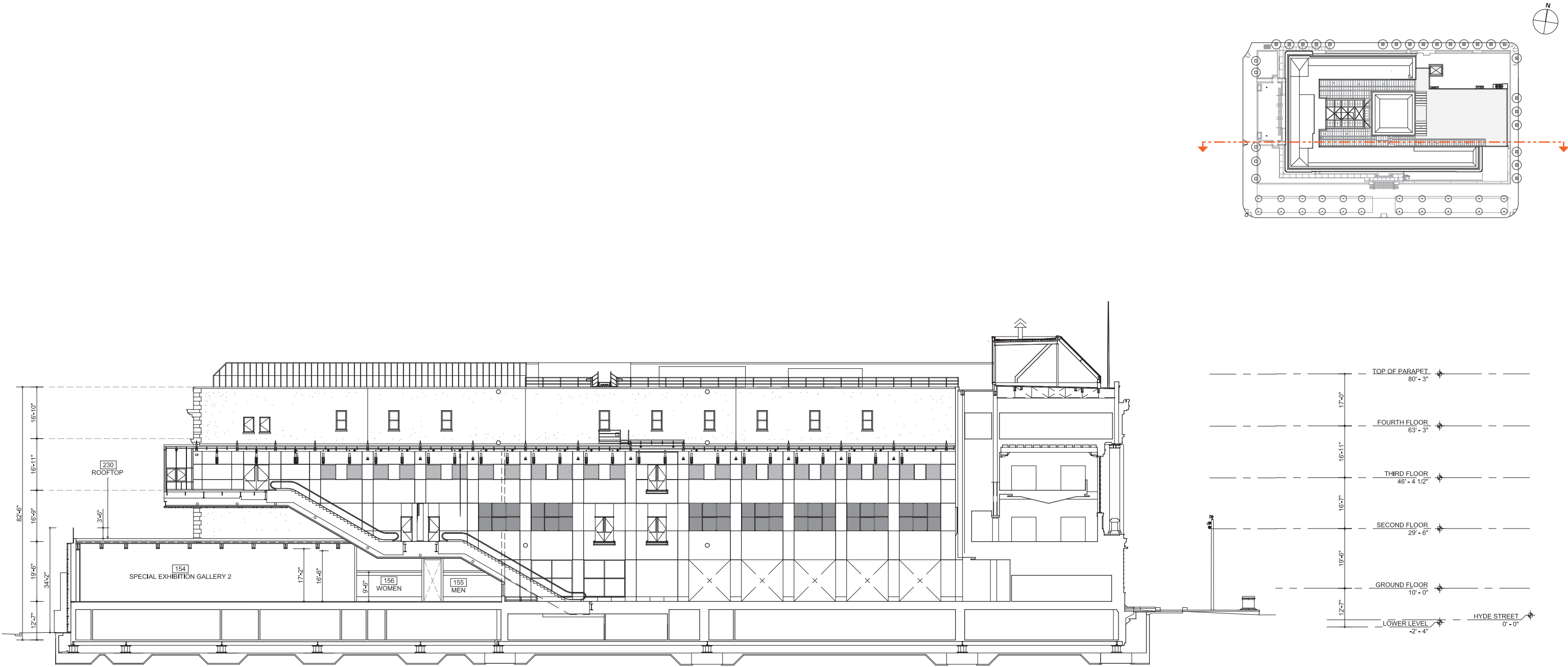
- 1. SPECIAL EXHIBITIONS GALLERY PAVILION RAIN SCREEN CURTAIN WALL, THERMAL INSULATION, AIR AND WATER BARRIER WITH MODULAR MATERIAL RAIN SCREEN
- 2. (N) FREIGHT ELEVATOR ENCLOSURE
- 3. (N) MOTORIZED GATE
- 4. MASONRY
- 5. MECHANICAL EXHAUST ENCLOSURE



Fulton Street Elevation, Proposed

JUNE 8, 2016 (UPDATED JULY 1, 2016)

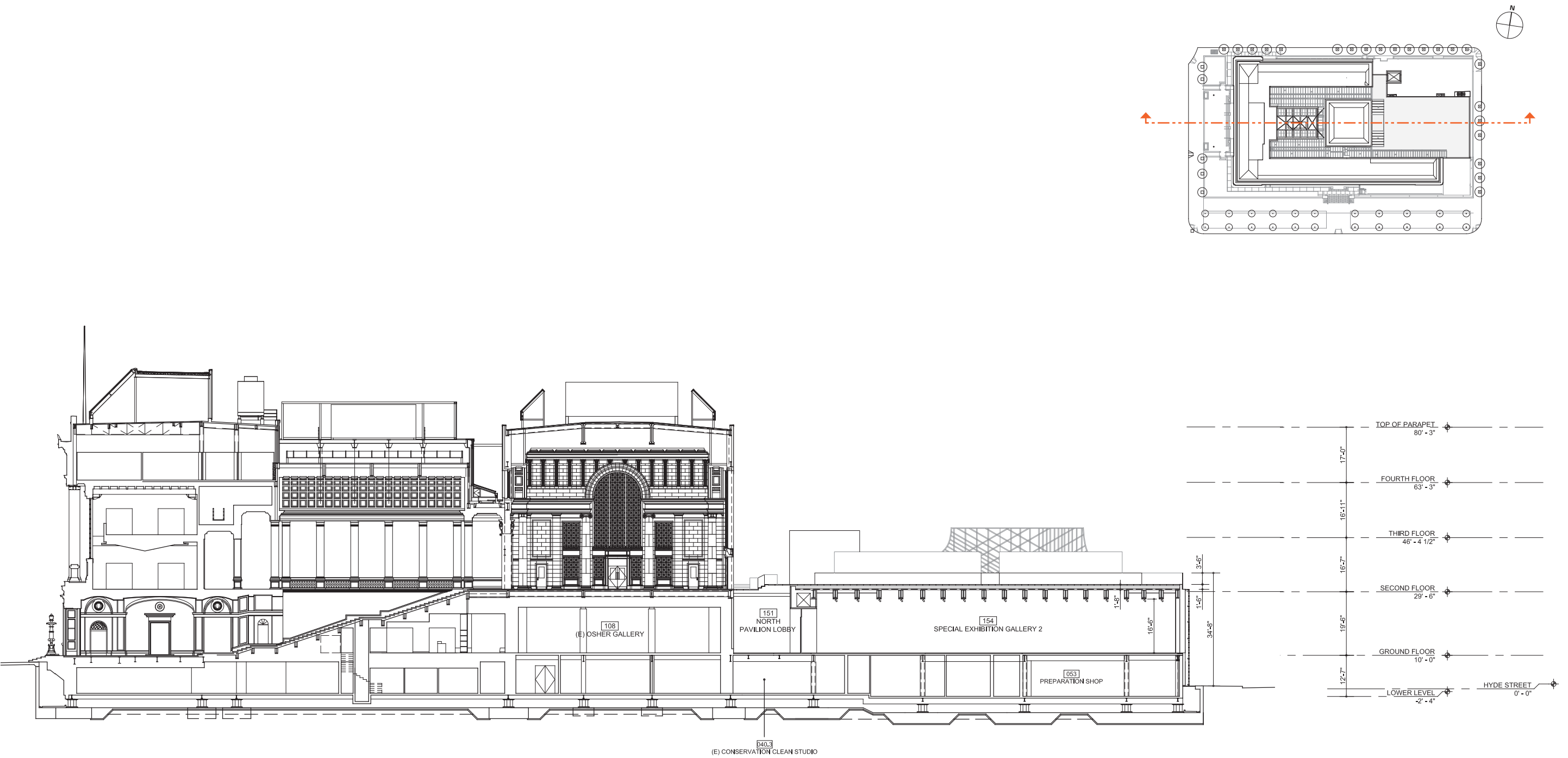
PROJECT DRAWINGS: SECTIONS



Building Section

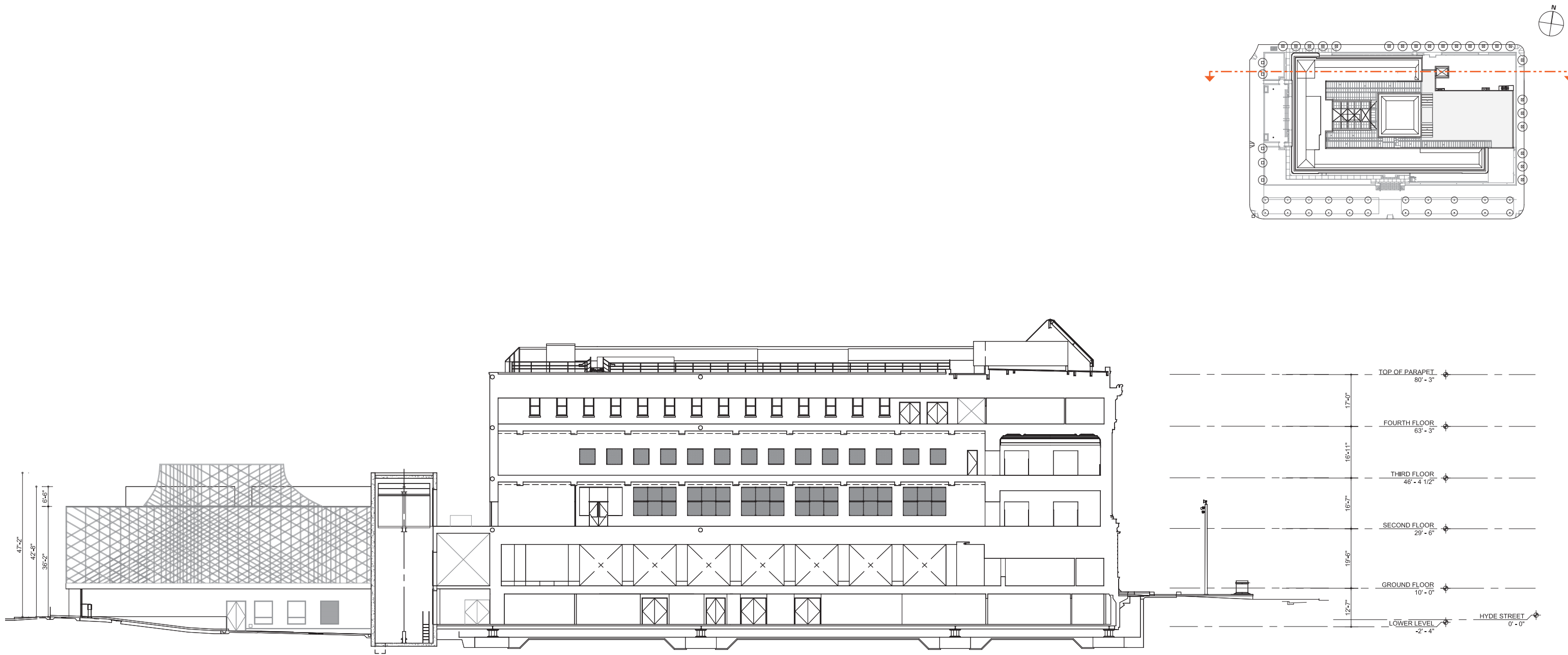
JUNE 8, 2016 (UPDATED JULY 1, 2016)

PROJECT DRAWINGS: SECTIONS



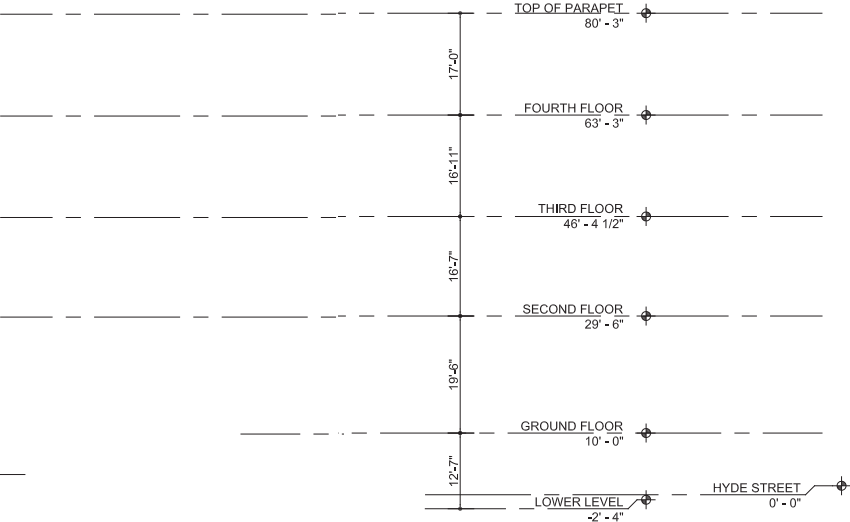
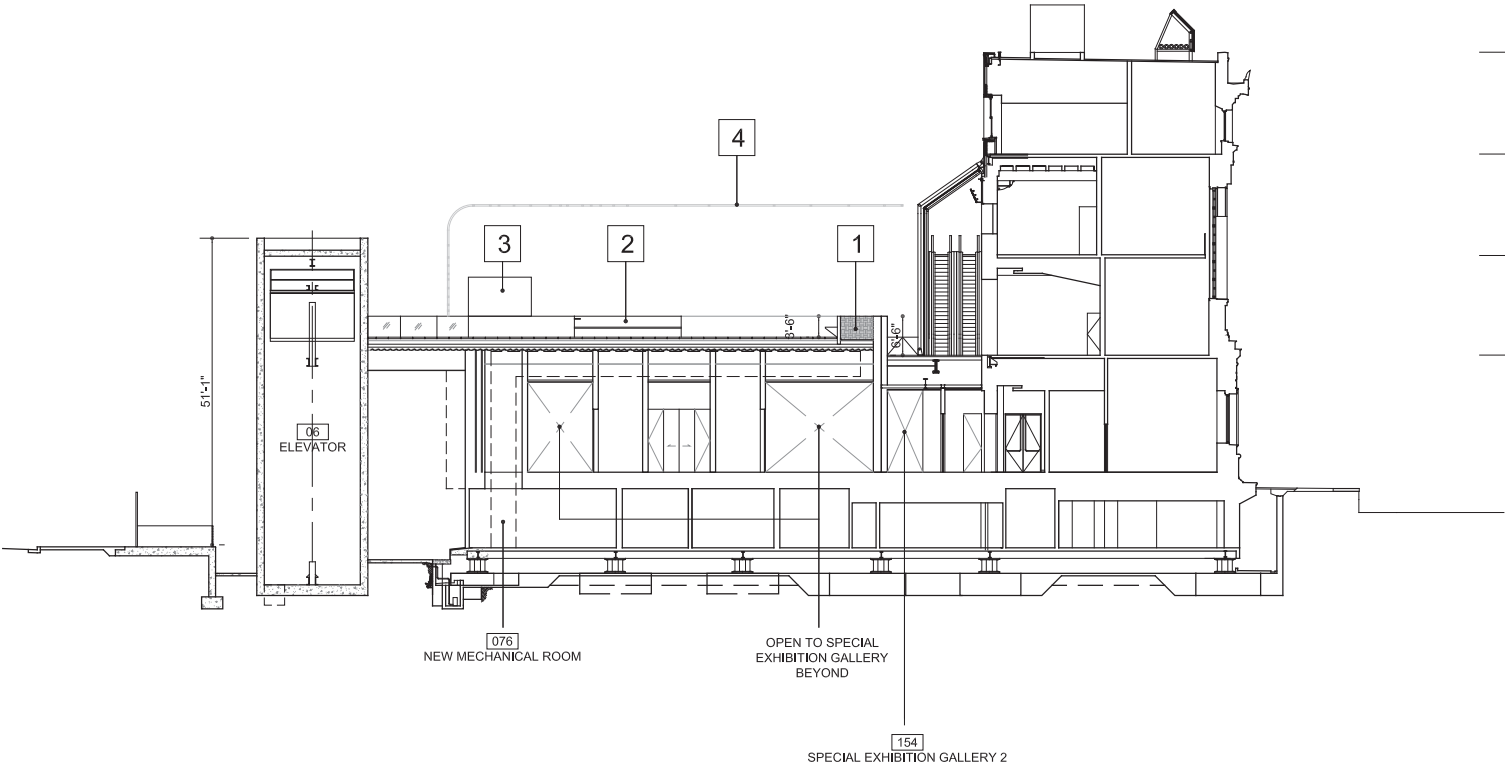
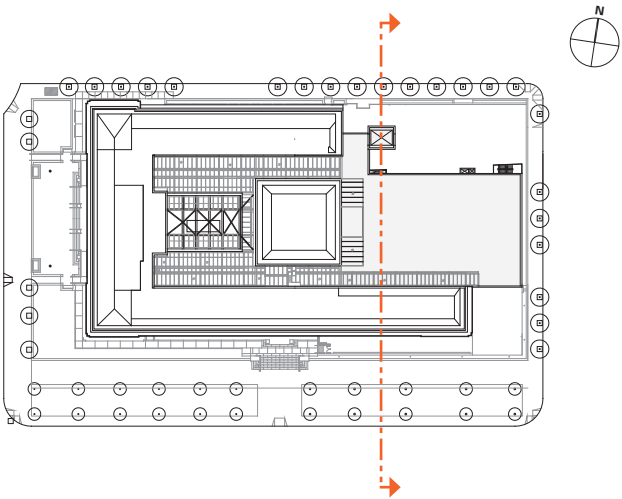
Building Section

JUNE 8, 2016 (UPDATED JULY 1, 2016)

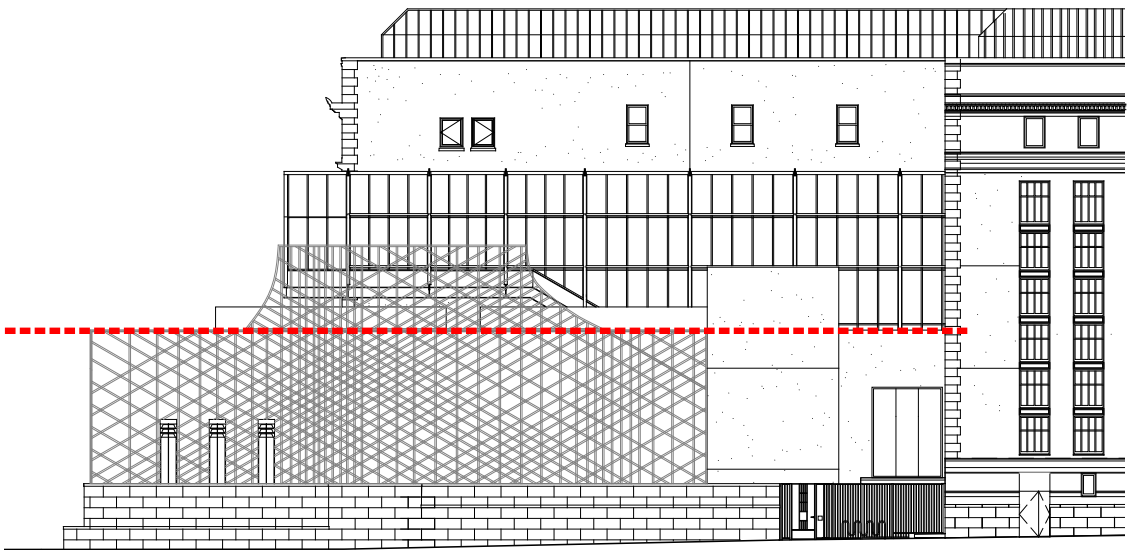


PROPOSED WORK

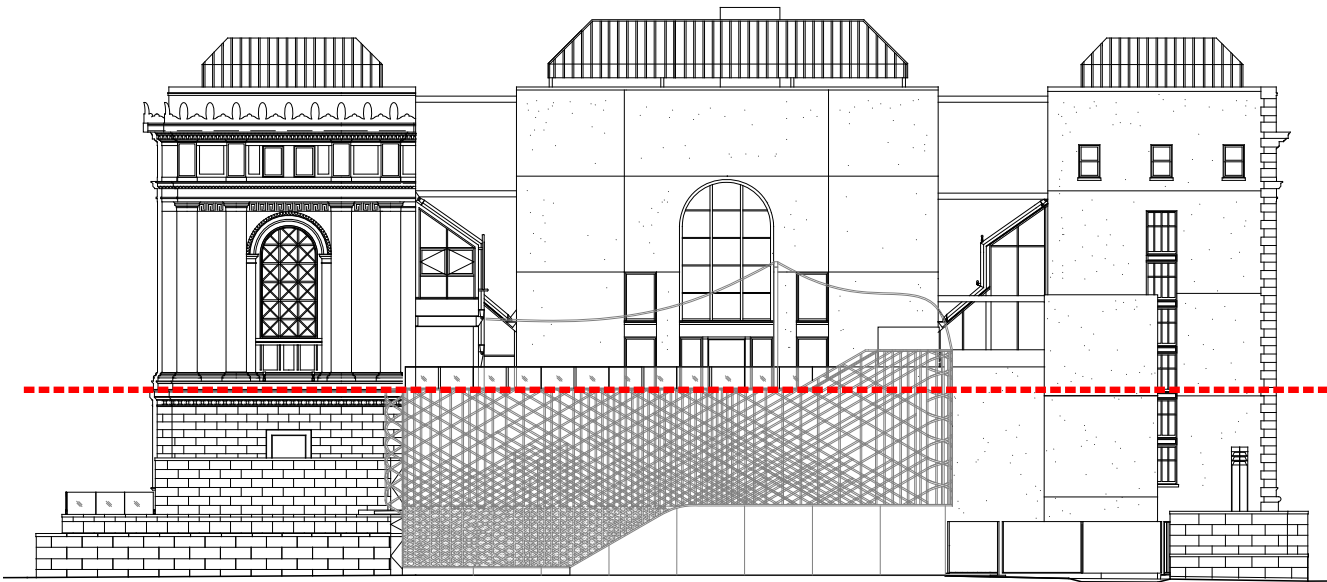
- 1. NEW PLANTER
- 2. NEW PARAPET WITH BENCH
- 3. NEW MECHANICAL ROOM
- 4. CANOPY



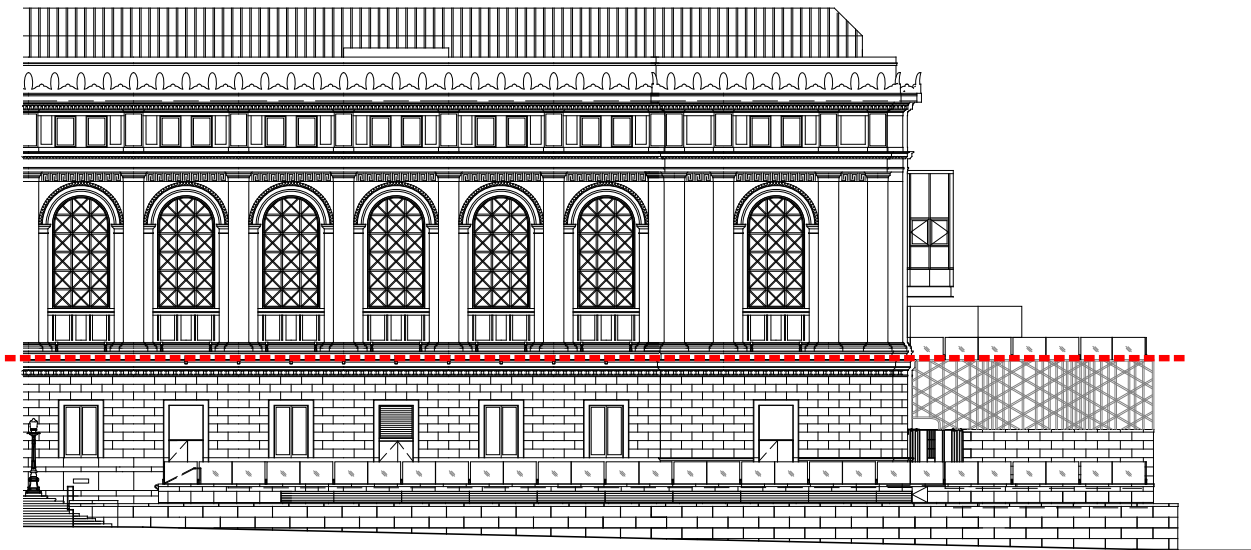
DESIGN STUDIES: HISTORIC DATUM LINE



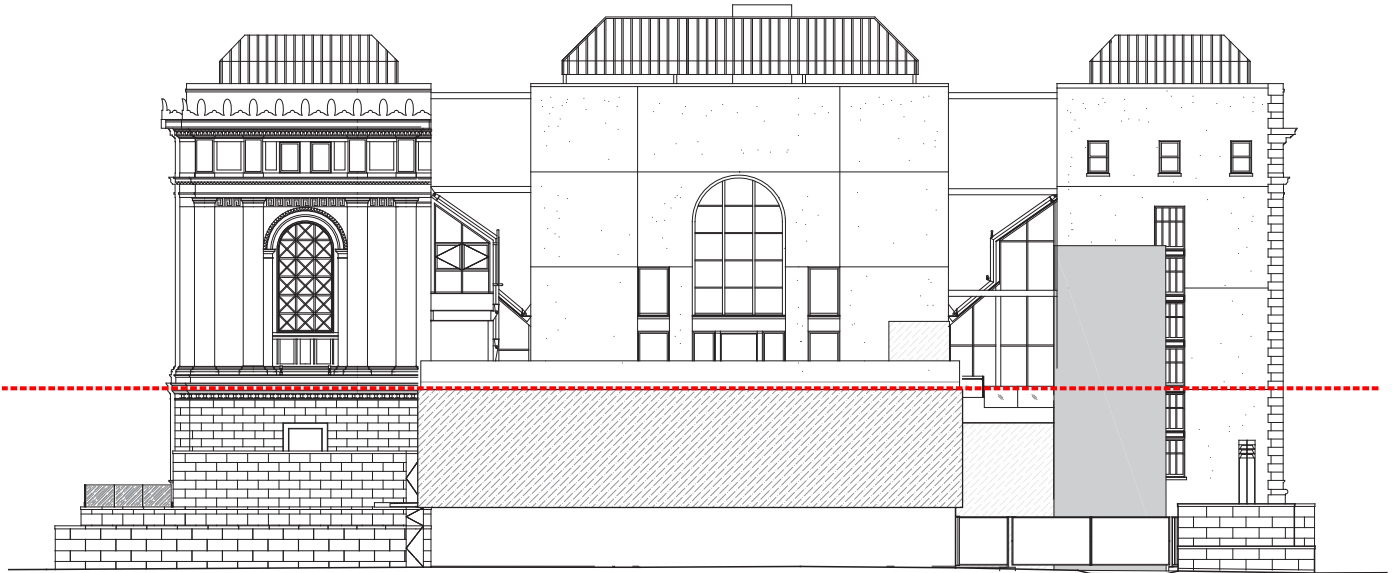
McAllister Street Elevation (with facade)



Hyde Street Elevation (with facade)

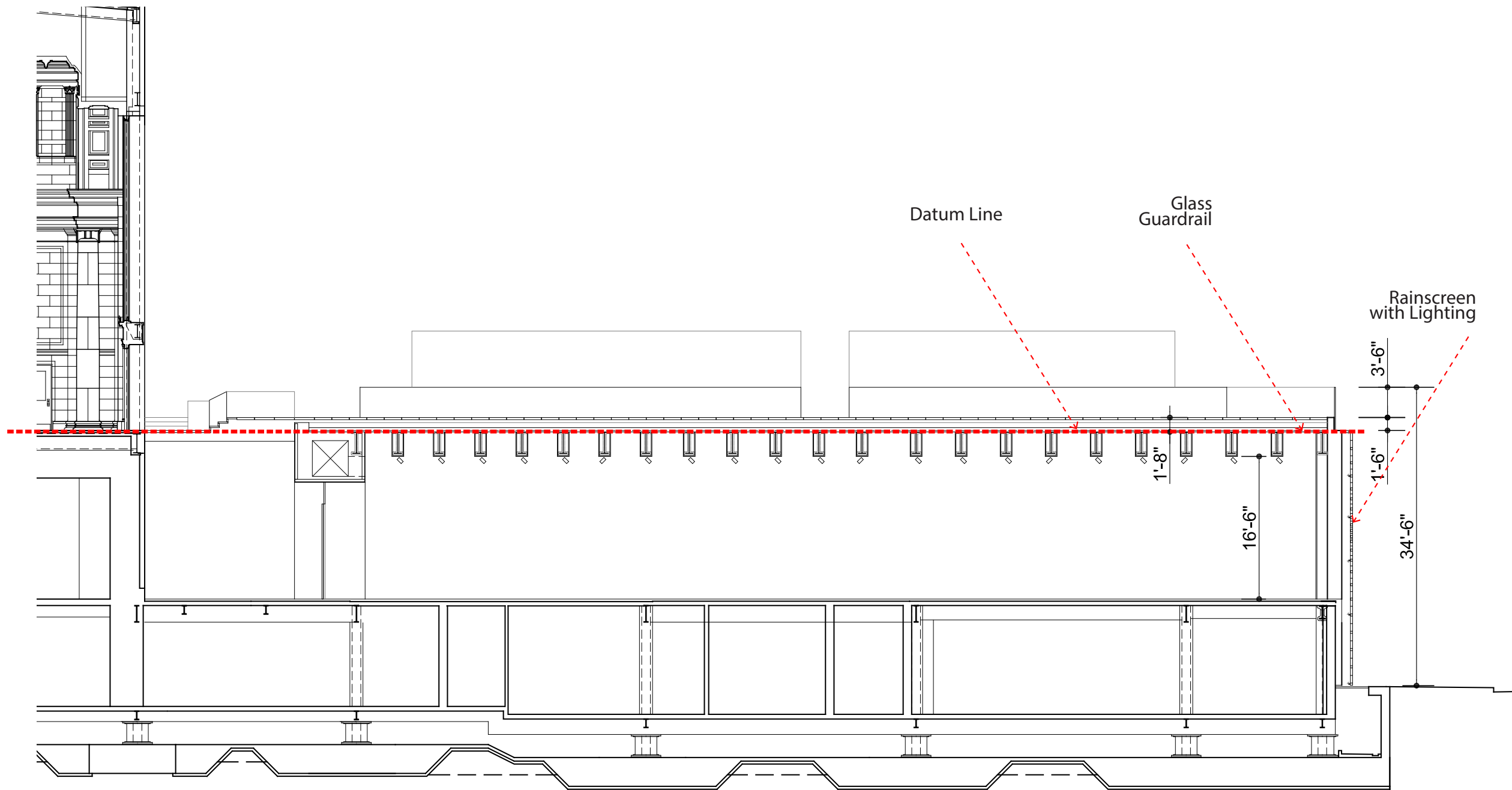


Fulton Street Elevation (Massing only)



Hyde Street Elevation (Massing only)

DESIGN STUDIES: HISTORIC DATUM LINE

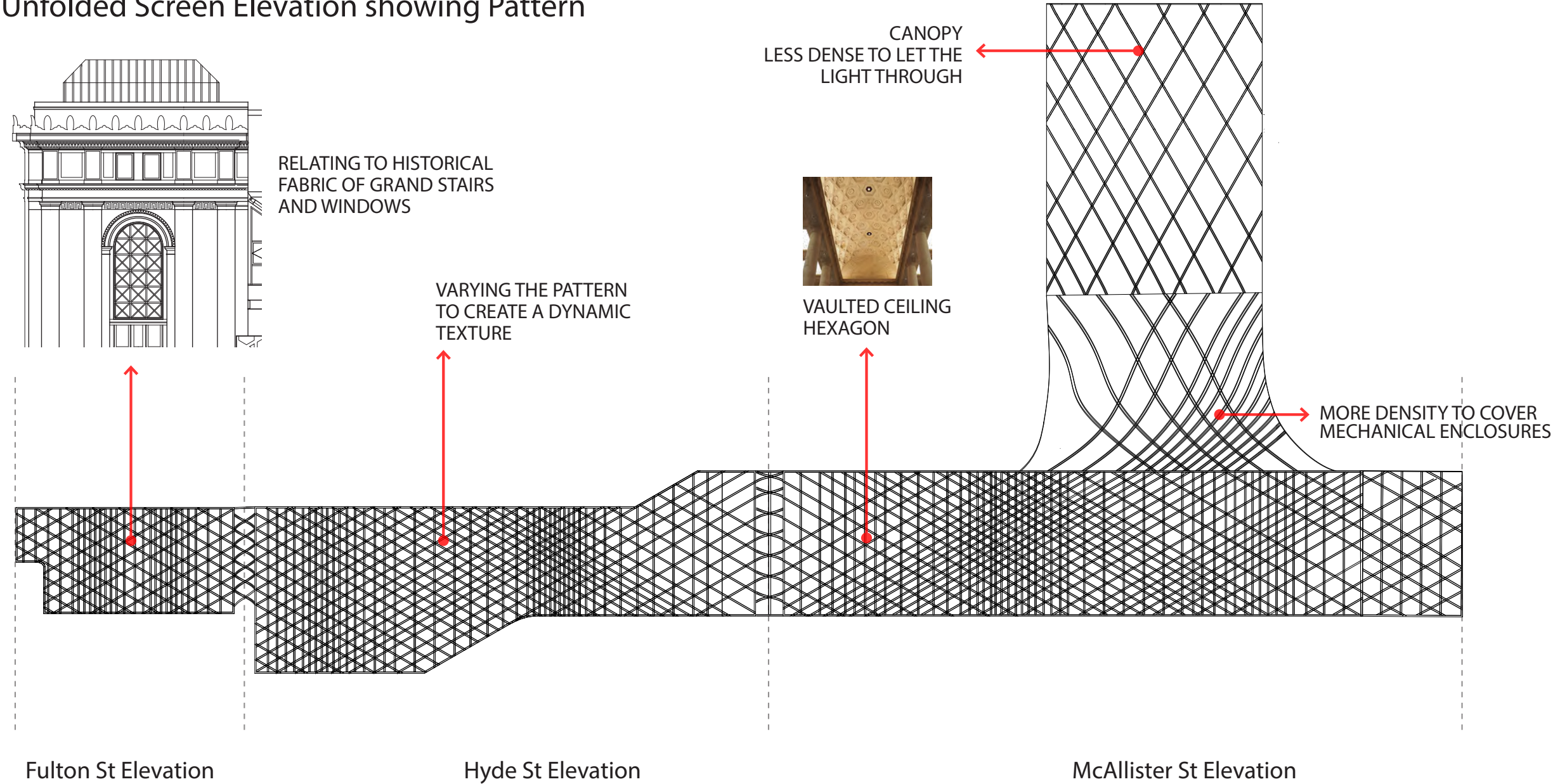


Building Section

JUNE 8, 2016 (UPDATED JULY 1, 2016)

DESIGN STUDIES: PAVILION FACADE

Unfolded Screen Elevation showing Pattern



DESIGN STUDIES: PAVILION FACADE



ALTERNATE FACADE SCREEN STUDY

At Planning's request wHY flipped the façade at the ground level in order to address pedestrians from UN Plaza and Fulton Street. In this elevation, the display cases are located on the southernmost part of the façade.

Concerns:

- Revised façade geometry places emphasis on the transition to the loading dock entry
- Revised façade geometry is an abrupt transition to the existing podium and partially obscures views



STREET LEVEL DISPLAY STUDY

This rendering shows another option for the display cases at the lower level. In this option, instead of being continuous, the display cases are presented as modular rectangles.

Concerns:

- Modular window display interrupts continuous street rhythm
- Modular window display is less flexible to various sized rotating artwork, announcements etc
- Modular window display lighting will be highlighted rather than an even wash of light along the sidewalk

Positives:

- The experience along Hyde Street will engage the pedestrian

DESIGN STUDIES: PUBLIC REALM IMPROVEMENTS

The design team reviewed the cultural landscape reports as well as the draft Civic Center streetscape guidelines and propose AAM establish its identity while respecting the historic character of the Civic Center environs.

The proposal maintains the granite curbing and London Plane trees identified as culturally valuable elements of the Civic Center streetscapes. Additionally, we propose the following improvements along Hyde Street to improve the pedestrian experience while creating identity for the Asian Art Museum:

- Removal of the planter box to clean up this area;
- Façade – add a new and consistent façade over the existing structure The special façade treatment will draw pedestrians toward the building. It is designed to draw the visitor’s eye upward toward the roof terrace and historic building;
- New lighting – Glowing from the cladding as well as from the windows;
- Storefront Windows – To include flexibility to provide changing installations – including graphics, digital images, store products, and more. These will attract pedestrians to the windows, provide information, and engage visitors in what is happening at AAM;
- New loading dock gate – Make the gate more enclosed and more consistent with the new pavilion.
- Roof Terrace – The glass rail will allow pedestrians to look up and see activity above and vice-versa, visitors on the terrace will be looking out over the street.



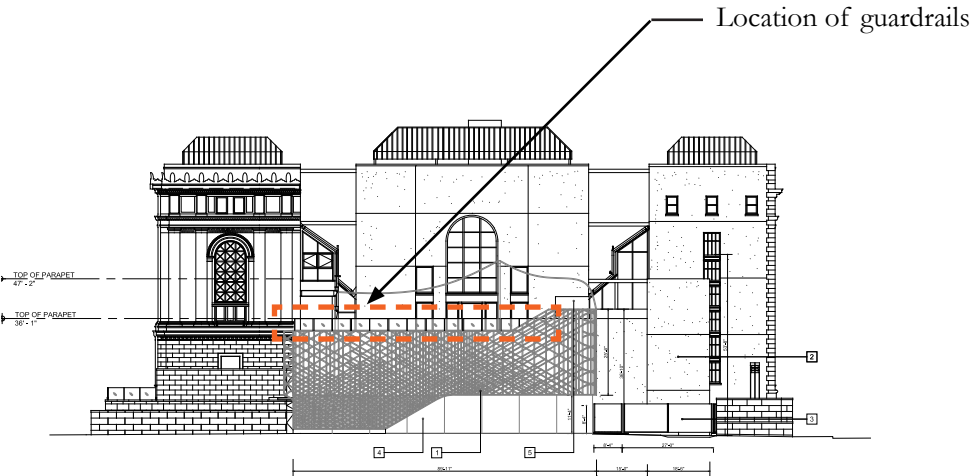
Graphic site plan showing public realm design

DESIGN STUDIES: GUARDRAILS

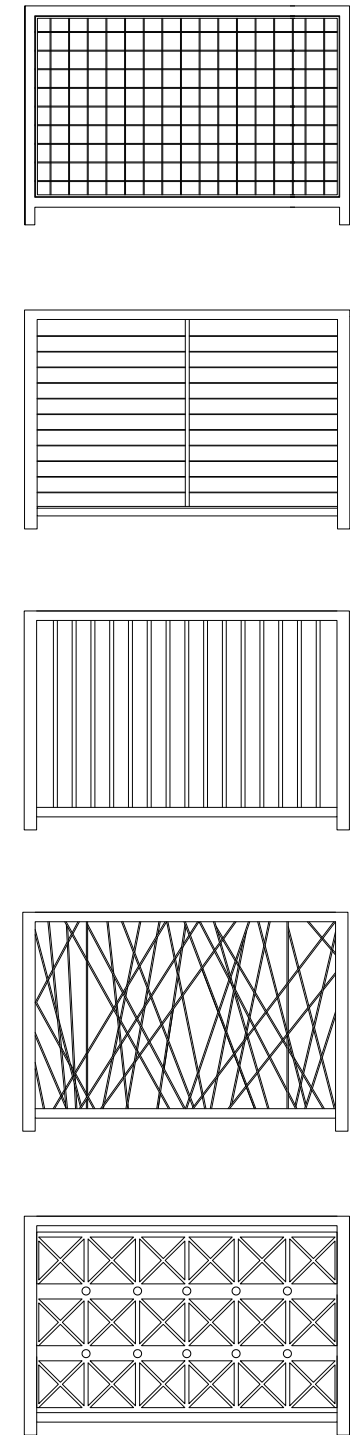
The roof terrace will require a guardrail. Rather than introduce a new guardrail design, a glass guardrail similar to the one on the Fulton Street side is proposed. A glass guardrail will be consistent with existing vocabulary of the museum and will not compete with the design of the pavilion.

Several design options for the guardrail have been studied, but none of these provides the clarity and simplicity of design as the glass guardrail.

Just as it does on Fulton Street, the glass guardrail would provide additional visibility to and from the proposed rooftop terrace and a greater connection to the surrounding environment. Extending the proposed screen to act as a guardrail would result in a more monolithic form and less connection to the street.



Hyde Street elevation



Guardrail design studies

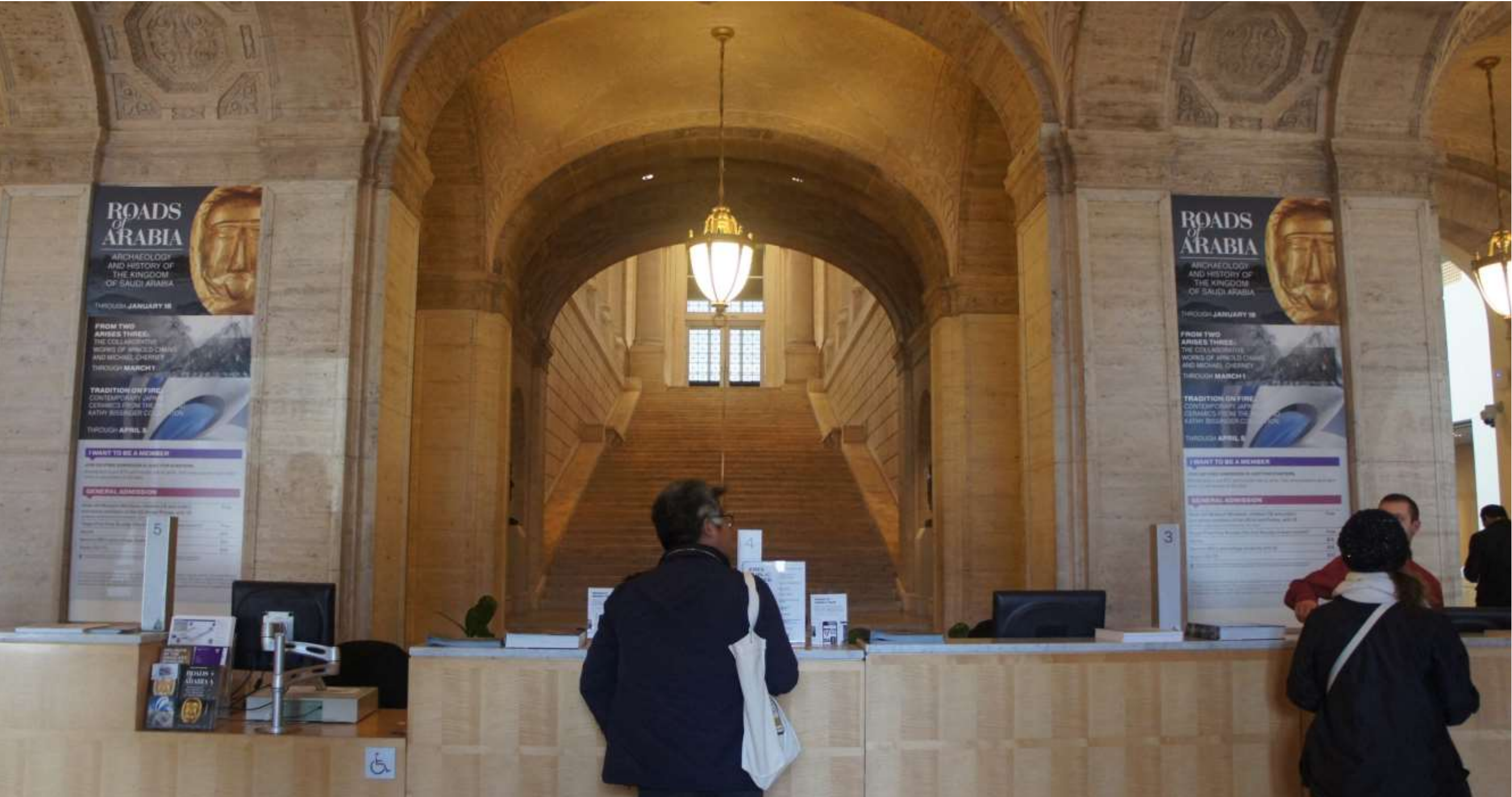


View of existing outdoor cafe along Fulton Street, with glass guardrails



Close up view of existing glass guardians along Fulton Street

VIEW OF EXISTING LOBBY



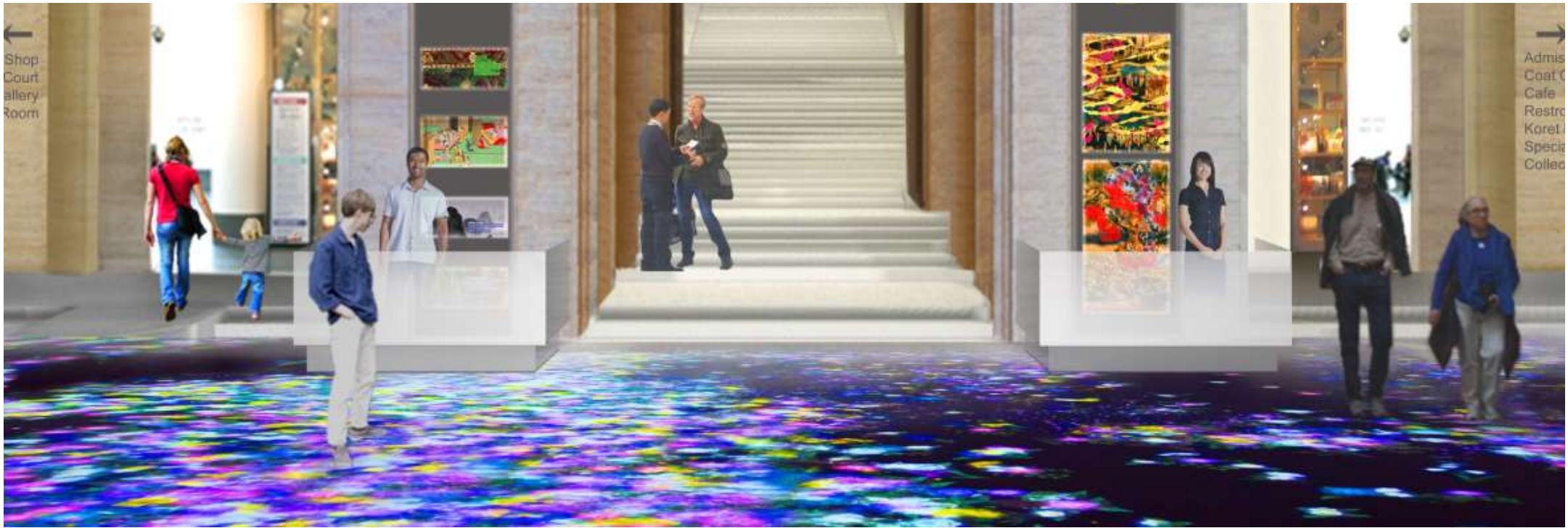
View of existing admissions desk in front of the loggia

JUNE 8, 2016 (UPDATED JULY 1, 2016)

VIEW OF PROPOSED LOBBY



View of proposed desk layout that shows a visual connection from the lobby to loggia



View of new admissions desk and floor projection graphics

RENDERINGS



View from Fulton and Hyde

JUNE 8, 2016 (UPDATED JULY 1, 2016)

RENDERINGS



Roof Terrace - Aerial View

JUNE 8, 2016 (UPDATED JULY 1, 2016)

RENDERINGS



Roof Terrace - Daytime view

JUNE 8, 2016 (UPDATED JULY 1, 2016)

RENDERINGS



Roof Terrace - Nighttime view

JUNE 8, 2016 (UPDATED JULY 1, 2016)

COMPATIBILITY ANALYSIS

CIVIC CENTER HISTORIC DISTRICT

The Civic Center Historic District was designated a historic district in 1994 because of its historical, architectural, and aesthetic value. The Historic District is bounded by Golden Gate Avenue to the north, Franklin Street to the west, Jones Street to the east, and Market Street to the south. As the landmark designation states, “It is an exemplary City Beautiful complex in the best of the American Academic Beaux Arts tradition.” Contributing buildings have a Classical Beaux Art style and organization and they are expressed as monumental. Their common features include their:

- Form
- Massing
- Scale
- Proportion
- Orientation
- Materials
- Ornamentation
- Architectural detailing
- Color
- Texture
- Façade line continuity
- Decorative and Sculptural features



The War Memorial Opera House



The Department of Public Health



The Bill Graham Civic Auditorium



San Francisco City Hall

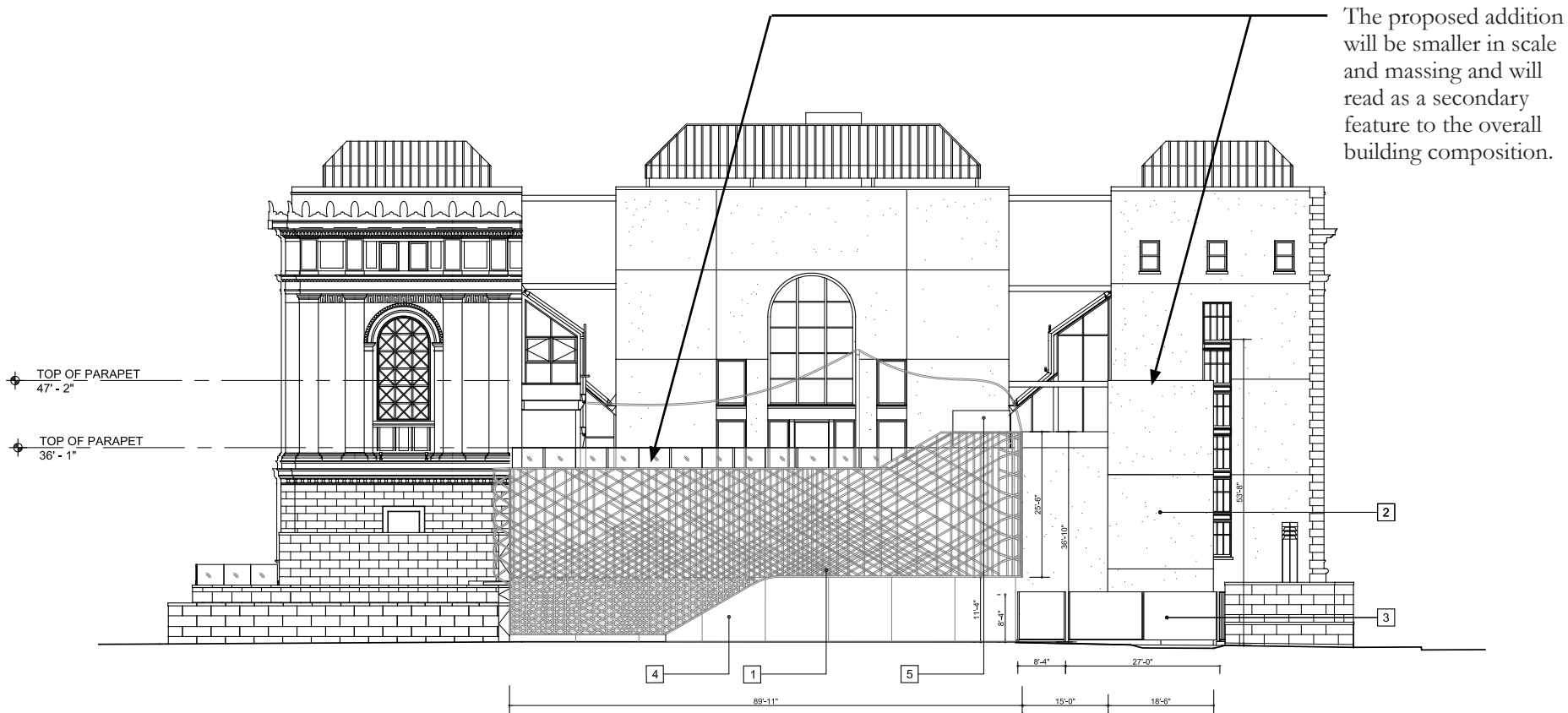
COMPATIBILITY ANALYSIS

FORM, MASSING, SCALE, PROPORTION, AND HEIGHT

Contributing buildings in the Civic Center Historic District are generally rectangular in form and are expressed as solid. They have a monumental scale and classical proportions.

They are generally rectangular and symmetrical in plan, with the exception of the Asian Art Museum (the old Main Library), which was originally designed and built with an asymmetrical, “P-shaped” floor plan. The proposed addition will be expressed as rectangular in form; however, its scale will not convey monumentality in order to avoid overwhelming the Asian Art Museum and contributing buildings in the Civic Center Historic District that are in the immediate vicinity. Its scale and height will fit within the context of the rear of the Asian Art Museum site and will allow for the upper parts of the rear façade to remain visible.

In order to differentiate the proposed addition from the historic building, the proposed addition will not be expressed as solid nor will it have classical proportions. The façade cladding will consist of a transparent screen that is compatible in how it references details and regulating lines of the Asian Art Museum building.

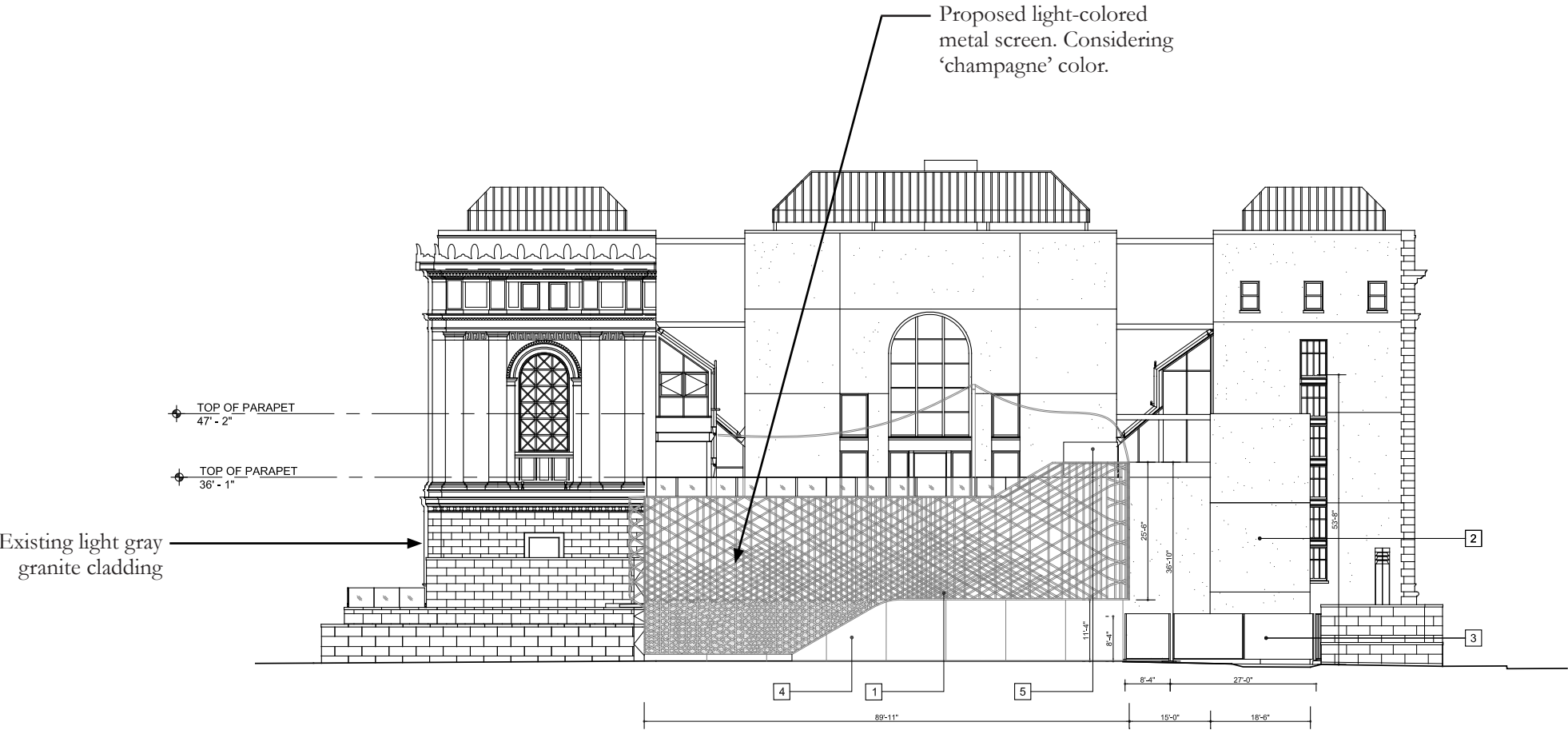


COMPATIBILITY ANALYSIS

MATERIALS, ORNAMENTATION AND ARCHITECTURAL DETAILING,
FENESTRATION AND COLOR

Contributing buildings in the Civic Center Historic District share stone and masonry as common materials that are light in color and tone. Their ornamentation is classical and includes features such as symmetrical facades, regular fenestration patterns, decorative friezes, and monumental columns.

The proposed addition will be light in tone and color. However, it will be clearly expressed as of its time with a metal screen as the primary façade material and a contemporary design. The metal screen design will reference the design of the exterior windows and the interior vaulted ceiling in the loggia.



COMPATIBILITY ANALYSIS

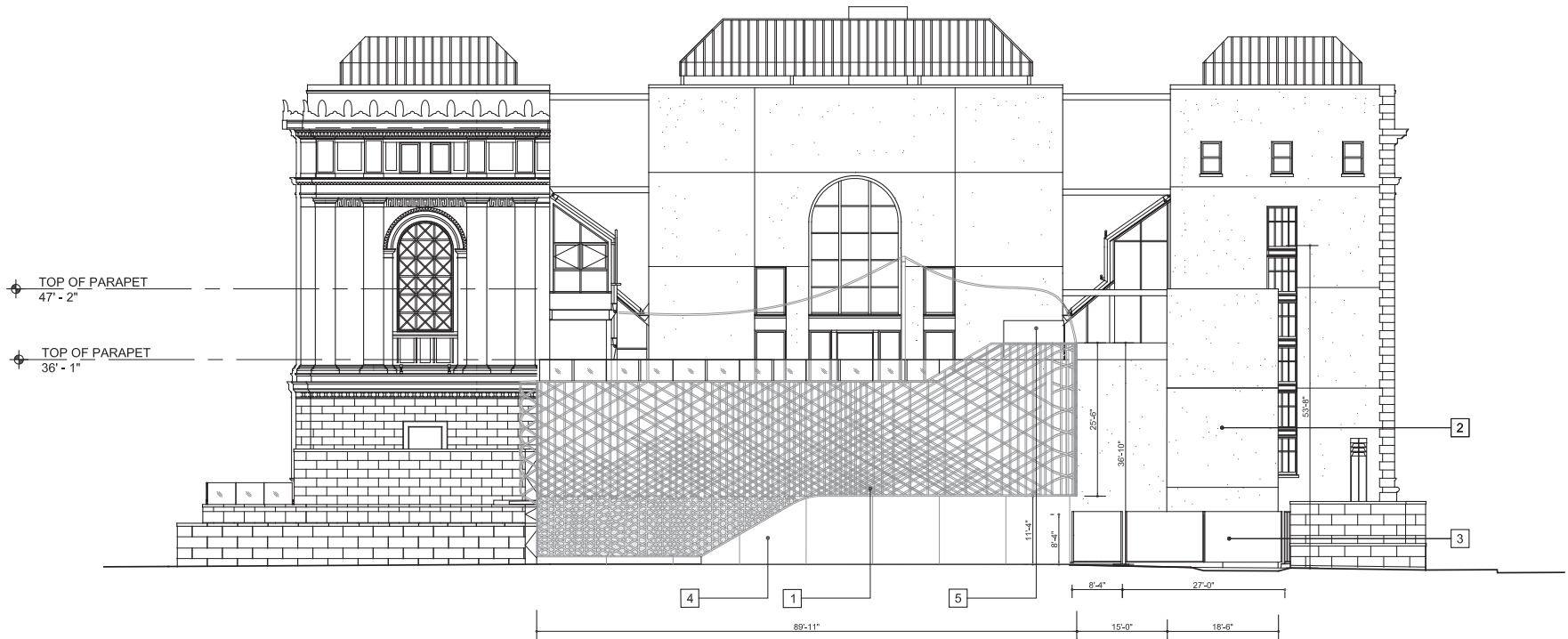
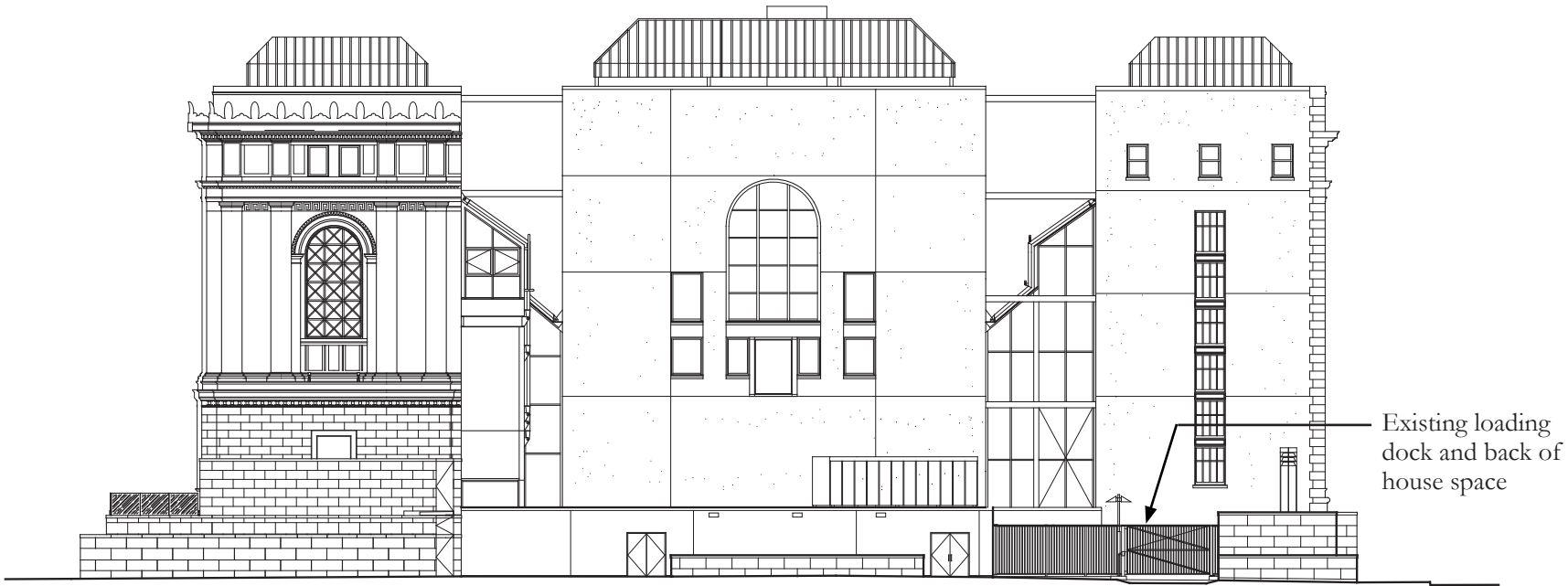
ORIENTATION AND FACADE CONTINUITY

Buildings that contribute to the Civic Center Historic District are oriented squarely to the street. Several are “in the round buildings” with public facades on all sides. Facades are continuous.

The Asian Art Museum is one contributor that deviates from other contributing building in that it does not have a continuous façade along McAllister and Hyde streets. These constitute the back of the building and are where the addition is proposed. This area is currently conveyed as back of house – clearly a departure from a building in the round. The proposed addition will face Hyde Street and enhance the pedestrian experience. Though the façade will not read as continuous, the proposed addition will transform the experience along Hyde Street from back of house to one that engages the pedestrian.



View of Hyde Street Facade showing original asymmetrical plan. (SFPL, 1931)



Page intentionally left blank

SECRETARY OF THE INTERIOR STANDARDS 9 & 10 AND PRESERVATION BRIEF 14

THE SECRETARY OF THE INTERIOR STANDARDS

The Secretary of the Interior Standards for the Rehabilitation provide guidance for rehabilitations and additions. Standards 9 and 10 in particular address additions.

Standard 9

New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

Response: The construction of the new addition will not destroy or obstruct character-defining features of the historic building. The addition will be distinguished from the historic building and will be compatible in massing and height so that the historic integrity of the property is retained. Its design will relate to and reference the geometric pattern of the historic building’s arched windows that are a theme used throughout the building but will be of its time. It should also be noted that there was a 2-story annex building in this location during the period of significance that was removed in the 1990s . The proposed project will comply with Standard 9.

Standard 10

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Response: The proposed addition will not remove historic fabric and its construction will be undertaken in a way that if removed in the future, the essential form and integrity of the property would be retained. The project will comply with Standard 10.

PRESERVATION BRIEF 14

NPS Preservation Brief 14 [New Exterior Additions to Historic Buildings: Preservation Concerns] states that the rehabilitation of a historic building “is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values.”

Brief 14 was used as reference in the development of the scale and character of the proposed addition so that the overall character of the historic building and the integrity of the Civic Center Historic District would not be impacted by the proposed work. In accordance with Preservation Brief 14, project goals are to:

- A. Preserve significant historic materials;
- B. Be compatible with the existing historic building;
- C. Be differentiated from the historic building.

Preservation Brief 14 states that:

“A new exterior addition to a historic building should be considered in a rehabilitation project only after determining that requirements for the new or adaptive use cannot be successfully met by altering non-significant interior spaces.”

“Generally speaking, preservation of historic buildings inherently implies minimal change to primary or “public” elevations and, of course, interior features as well. Exterior features that distinguish one historic building or a row of buildings and which can be seen from a public right of way, such as a street or sidewalk, are most likely to be the most significant.”

JUSTIFICATION FOR REAR ADDITION

The Asian Art Museum requires addition exhibition space that cannot be created within the exhibiting building without disrupting historic areas. Therefore, the team determined that an addition was the more sensitive option to increase the overall area for the museum.

In keeping with Preservation Brief 14, the construction of the addition allows the Asian Art Museum additional exhibition space as well as a roof terrace without altering the interior of the building. It will be constructed at the back of the building in an area previously designated for future expansion. It will change the dynamic of the elevation of the building along Hyde and McAllister streets from “back of house” to one that both addresses pedestrians and attracts their interest.

