



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

DATE: January 5, 2018

TO: Architectural Review Committee (ARC) of the Historic Preservation Commission (HPC)

FROM: Natalia Kwiatkowska, Preservation Planner, (415) 575-9185

REVIEWED BY: Tim Frye, Historic Preservation Officer, (415) 575-6822

RE: **Review and Comment: 1170 Harrison Street**
Case No. 2015-016239ENV

1650 Mission St.
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San Francisco,
CA 94103-2479

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BACKGROUND

The Planning Department (Department) has requested review and comment before the Architectural Review Committee (ARC) regarding the proposed project at 1170 Harrison Street. The subject property, known as San Francisco Galvanizing Works, is on the Historic Preservation Commission's Landmark Designation Work Program.

The proposed project will also seek approval under Planning Code Section 803.9 to allow office uses in historic buildings to convert the existing, one-story, industrial building into a three-story, office building.

PROPERTY DESCRIPTION

1170 Harrison Street is located on a rectangular lot (measuring approximately 10,000 square feet) with 110 feet of frontage on Harrison Street and 100 feet of frontage on Berwick Place. Currently, the project site contains a one-story, industrial building, which was constructed in two phases:

1. The west section of the building was completed in 1913
2. In 1929 an east addition unified the structures and represents the property as it's seen today, in particular the dynamic and highly-stylized Harrison Street elevation.

The subject property is a contributing resource to the National Register-eligible Western SOMA Light Industrial and Residential Historic District, identified as part of the South of Market Historic Resource Survey, and adopted by the Historic Preservation Commission in February of 2011. This district was found to be significant under Criterion A (Events) and Criterion C (Design/Construction) with a period of significance from 1906 through 1936. 1170 Harrison Street was also identified eligible for Article 10 and the Historic Preservation Commission included the property on its Landmark Designation Work Program on August 17, 2016 with an identified period of significance from 1913 to 1929.

The project site is located within WMUG (WSOMA Mixed Use-General) Zoning District and 55-X Height and Bulk Limit.

CHARACTER-DEFINING FEATURES

The character-defining features of 1170 Harrison Street, as described in National Park Service Part 1 evaluation (included as an attachment), prepared by Page & Turnbull and dated May 11, 2016, include:

- Double-height, one-story, scale and massing
- Emphasis on horizontality, including the flat roofline created by the concrete parapet
- Reinforced concrete construction
- Hip and gable roofs with twin monitor roofs
- Central nine-bay bank of windows at Harrison Street façade
- Multi-lite steel industrial windows, including the riveted steel mullions and pivot windows
- Stepped concrete detailing and horizontal banding at Harrison Street façade
- Incised lettering and raised medallions at the upper portion of the Harrison Street façade

The Department concurs with the character-defining features identified above by Page & Turnbull and would like to include the following features on the interior:

- Connected two open volumes
- Spatial relationship and visibility of the roof monitors on the interior of the space
- Steel frame truss systems supporting the roofs

PROJECT DESCRIPTION

The overall project includes a one-story vertical addition, addition of a roof deck, insertion of a mezzanine floor, alterations to the Harrison and Berwick Place elevations, and other interior alterations. The project also includes restoration of the deteriorated character-defining features associated with the historic resource.

The proposal includes a conversion of the existing industrial building into office use per Planning Code Section 803.9. Planning Code Section 803.9 allows for the Zoning Administrator, with the advice of the HPC, to determine whether allowing the office use will enhance the feasibility of preserving the building, where office uses are not generally permitted by the code.

OTHER ACTIONS REQUIRED

Pursuant to Planning Code Section 803.9, the HPC shall review the proposed project for compliance with the *Secretary of Interior's Standards* and any applicable provisions of the Planning Code at a future date.

ENVIRONMENTAL REVIEW

The proposed project is currently undergoing environment review under Case No. 2015-016239ENV.

PUBLIC/NEIGHBORHOOD INPUT

The date, the Department has not received any public comment about the proposed project.

STAFF ANALYSIS

The Department seeks the advice of the ARC regarding the compatibility of the project, specifically the vertical addition, with Article 10 of the Planning Code and the *Secretary of the Interior's Standards for Rehabilitation* (Secretary's Standards). Department staff will undertake a complete analysis of the proposed project per the applicable Standards as part of the environmental review and review of the building permit application per Planning Code Section 803.9, which will require a future HPC hearing. For the purposes of this ARC hearing, Department is seeking advice of the ARC only in regards to the proposed vertical addition. The Department would like the ARC to consider the following information:

SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION

Standard #9

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Standard #10

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STANDARDS FOR REVIEW OF APPLICATION PER ARTICLE 10

Per Section 1006.6 of the Planning Code, review of applications shall be guided by the following standards:

- a) *The proposed work shall be appropriate for and consistent with the effectuation of the purposes of this Article 10.*
- b) *The proposed work shall comply with the Secretary of the Interior's Standards for the Treatment of Historic Properties for individual landmarks and contributors within historic districts, as well as any applicable guidelines, local interpretations, bulletins, or other policies. Development of local interpretations and guidelines based on the Secretary of the Interior's Standards shall be led by the Planning Department through a public participation process; such local interpretations and guidelines shall be found in conformance with the General Plan and Planning Code by the Planning Commission and shall be adopted by both the HPC and the Planning Commission. If either body fails to act on any such local interpretation or guideline within 180 days of either body's initial*

hearing where the matter was considered for approval, such failure to act shall constitute approval by that body. In the case of any apparent inconsistency among the requirements of this Section, compliance with the requirements of the designating ordinance shall prevail.

- c) For applications pertaining to landmark sites, the proposed work shall preserve, enhance or restore, and shall not damage or destroy, the exterior architectural features of the landmark and, where specified in the designating ordinance pursuant to Section 1004(c), its major interior architectural features. The proposed work shall not adversely affect the special character or special historical, architectural or aesthetic interest or value of the landmark and its site, as viewed both in themselves and in their setting, nor of the historic district in applicable cases.*

RECOMMENDATIONS

Secretary of the Interior's Standards for Rehabilitation & Article 10. Staff is requesting review and comment from the ARC in regards to conformity with the Secretary's Standards and Article 10 of the Planning Code for the proposed vertical addition and its effect on the character-defining features of the building.

Vertical Addition. The proposed project would partially remove and alter contributing features on the building, including roof monitors and parts of the hip and gable roofs. The project proposes to remove a portion of the west roof monitor and portions of the hip and gable roofs with their associated steel truss systems on the interior, to construct a one-story vertical addition, with a roof deck, atop the existing double-height, one-story building. The existing roofs and monitors are not visible from the public right-of-way and are utilitarian in nature; however, they are associated to the overall historic utilitarian function of the subject building and are identified as character-defining by the consultant-prepared National Park Service Part 1 evaluation and with concurrence from Planning Department Preservation staff. This document was prepared as part of the application for the Federal Rehabilitation Tax Credit, which the Project Sponsor elected to no longer pursue.

Recommendation #1: The Department recommends two options for the proposed vertical addition in order to retain the existing character-defining features and to meet the Standards and the Guidelines in Article 10 of the Planning Code. The two options to bring the project further into compliance are as follows:

- a. In the first and preferred option, Staff recommends nesting the vertical addition in the middle of the roof to allow for the retention of both roof monitors in their entirety, as well as for the retention of a large percentage of the existing hip and gable roofs. Staff recommends a minimum 25 foot setback from the front façade to minimize visibility. This option has been rendered in the "Project Sponsor Submittal" and labeled as "Option B – Preservation Proposed Massing".
- b. In the second option, Staff recommends for the retention of 50 percent of the west monitor. With this option, staff recommends a minimum 40 foot setback from the front façade to retain the roof monitor and minimize visibility from the public

right-of-way. This option has been rendered in the “Project Sponsor Submittal” and labeled as “Option C – Preservation Proposed Massing”.

Other Scopes of Work. The proposal also includes the insertion of a mezzanine level on the interior of the building, and interior remodel, and changes to the Harrison Street and Berwick Place elevations, detailed below.

Recommendation #2: Overall, the Department is supportive of the proposed project and will undertake a complete analysis per the applicable Standards. Staff welcomes review and comment from the ARC in regards to the proposed project and recommendations on how to bring it further into conformance with the Standards and Article 10 of the Planning Code.

Harrison Street Elevation. The proposed project includes the restoration of features on the Harrison Street façade including: repair of the existing multi-lite industrial metal-sash window system, riveted steel mullions and pivot windows, and cast-in-place concrete Streamline Modern style façade. The project also includes alterations to the façade including: replacement of the existing roll-up garage doors with new multi-lite metal sectional overhead doors. The western opening will remain the same, while the eastern opening will be restored to its original size, matching the western opening.

Recommendation #3: Overall, the Department is supportive of the proposed restoration and alterations to the Harrison Street elevation and will undertake a complete analysis per the applicable Standards. Staff welcomes review and comment from the ARC in regards to the proposed project and recommendations on how to bring it further into conformance with the Standards and Article 10 of the Planning Code.

Berwick Place Elevation. The proposal includes the restoration of features on the Berwick Place façade and alterations including: repair of the existing multi-lite industrial metal-sash window system, removal of the existing exit door at center of façade and creation of alcove for gas meters, and the addition of a new exit door at rear of the façade that will remove a portion of the existing window.

Recommendation #3: Overall, the Department is supportive of the proposed restoration and alterations to the Berwick Place elevation and will undertake a complete analysis per the applicable Standards. Staff welcomes review and comment from the ARC in regards to the proposed project and recommendations on how to bring it further into conformance with the Standards and Article 10 of the Planning Code.

REQUESTED ACTION

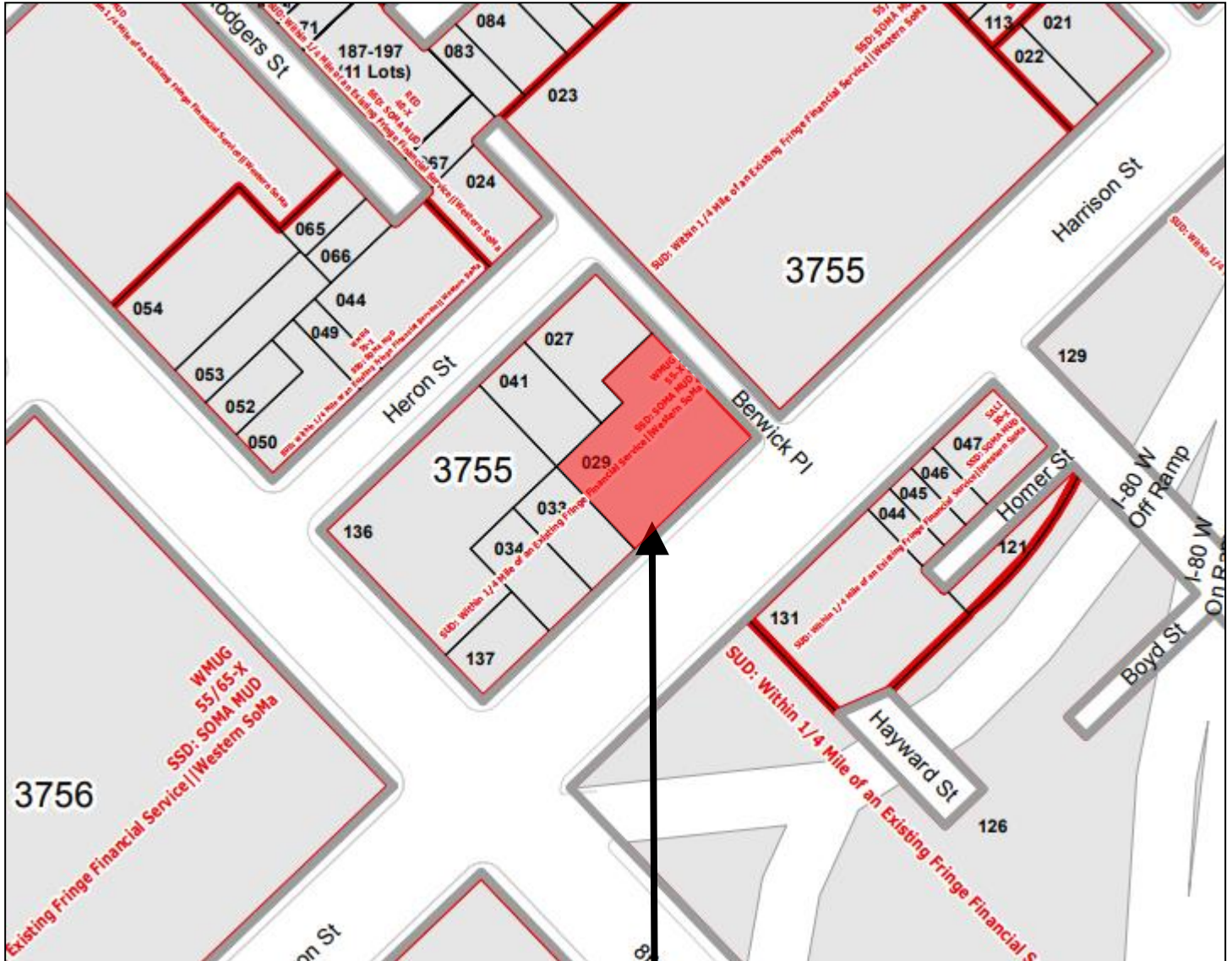
Specifically, the Department seeks comments on:

- The project recommendations proposed by staff.
- The compatibility of the project, specifically the one-story vertical addition, with the *Secretary of the Interior’s Standards*.

ATTACHMENTS

- Exhibits including:
 - Parcel Map
 - Sanborn Map
 - Zoning Map
 - Aerial Photo
 - Site Photo
- Department of Parks and Recreation B Form, dated September 2009
- National Park Service Historic Preservation Certification Application – Part 1, dated May 11th, 2016
- Memorandum prepared by Architectural Resources Group, dated June 22, 2017
- Project sponsor submittal including:
 - Renderings & massing studies prepared by Workshop1, dated December 20, 2017
 - Architectural drawings prepared by Workshop1, dated December 20, 2017

Parcel Map

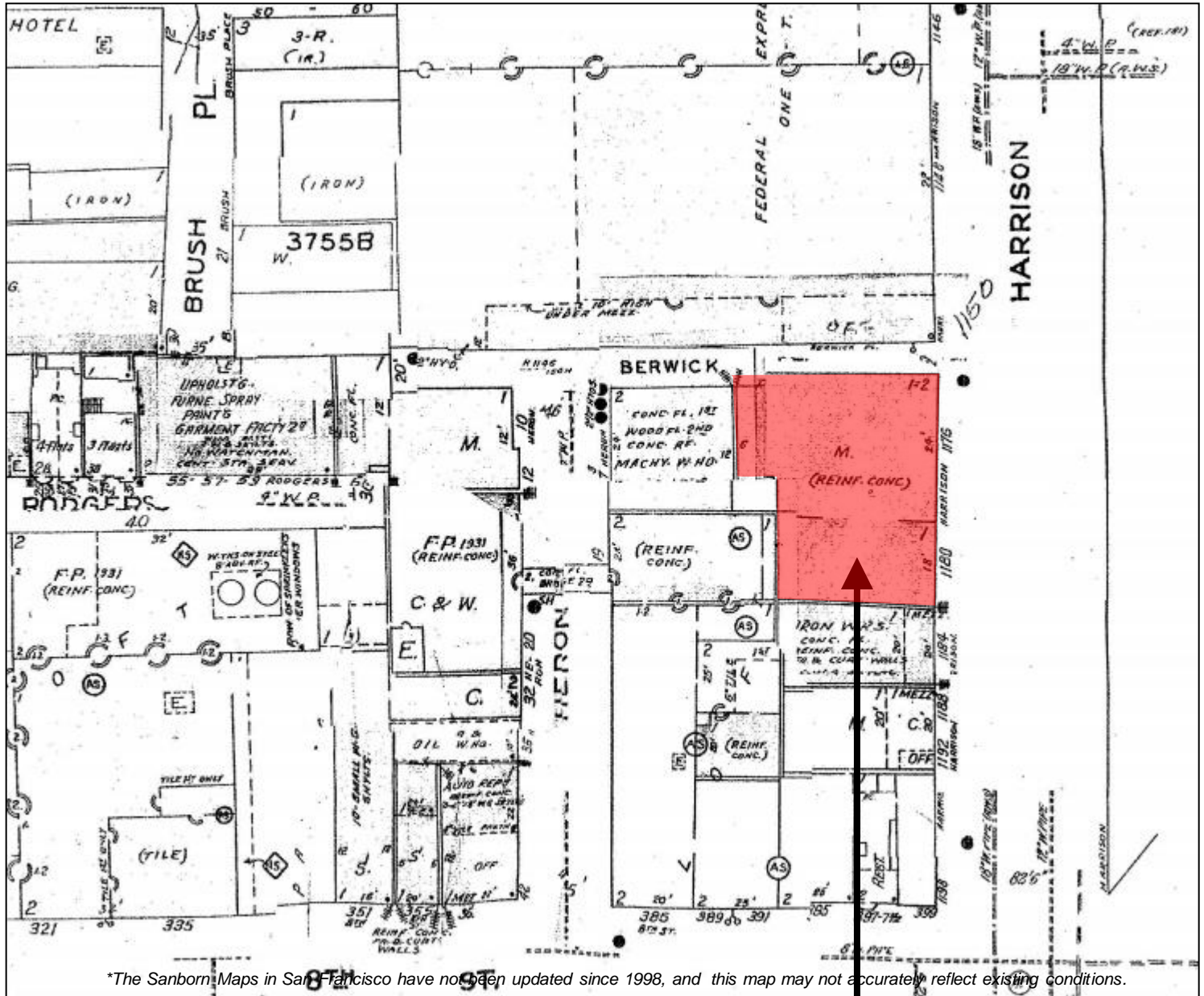


SUBJECT PROPERTY



Architectural Review Committee
Case Number 2015-016239ENV
1170 Harrison Street
Block 3755 Lot 029

Sanborn Map*

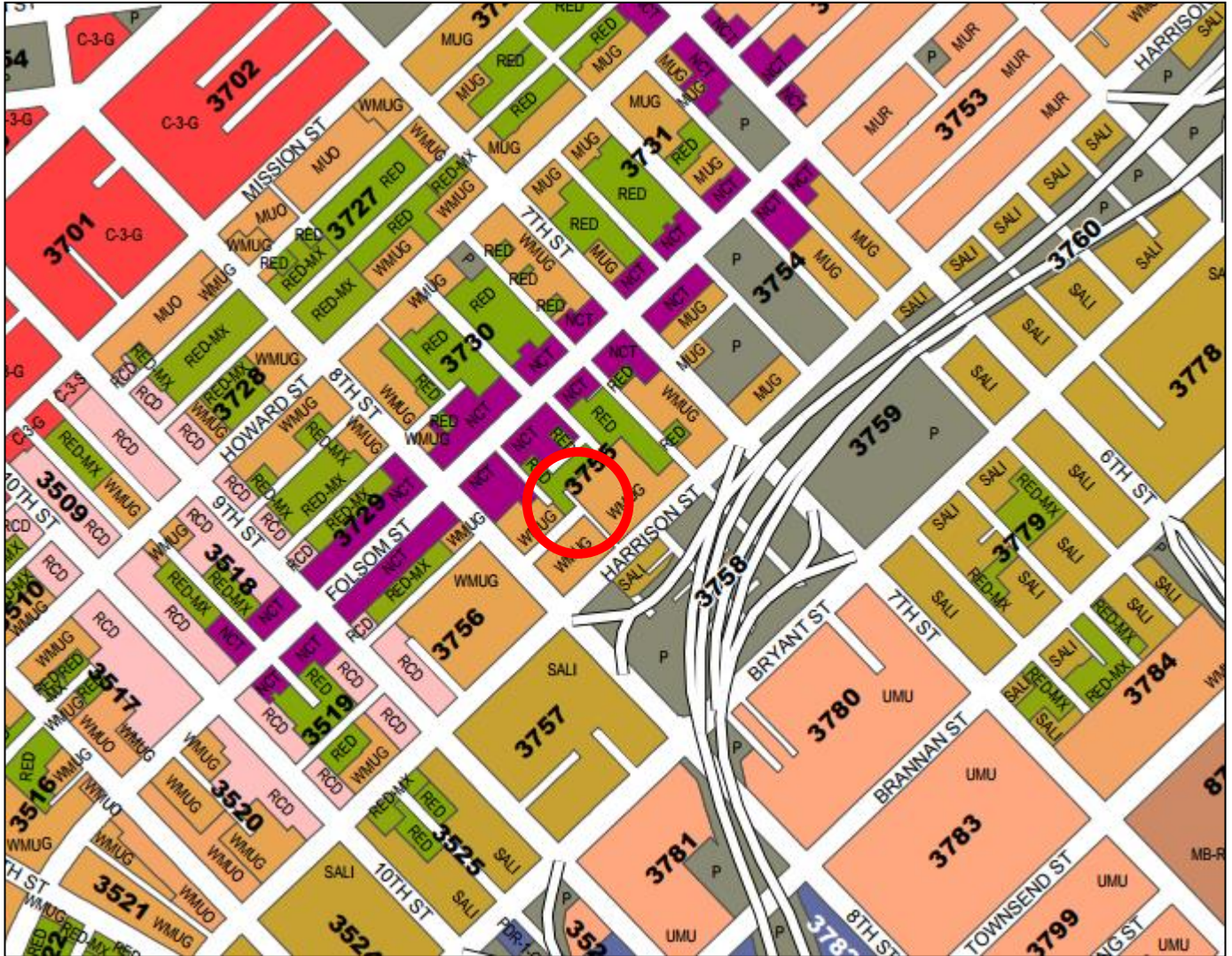


SUBJECT PROPERTY



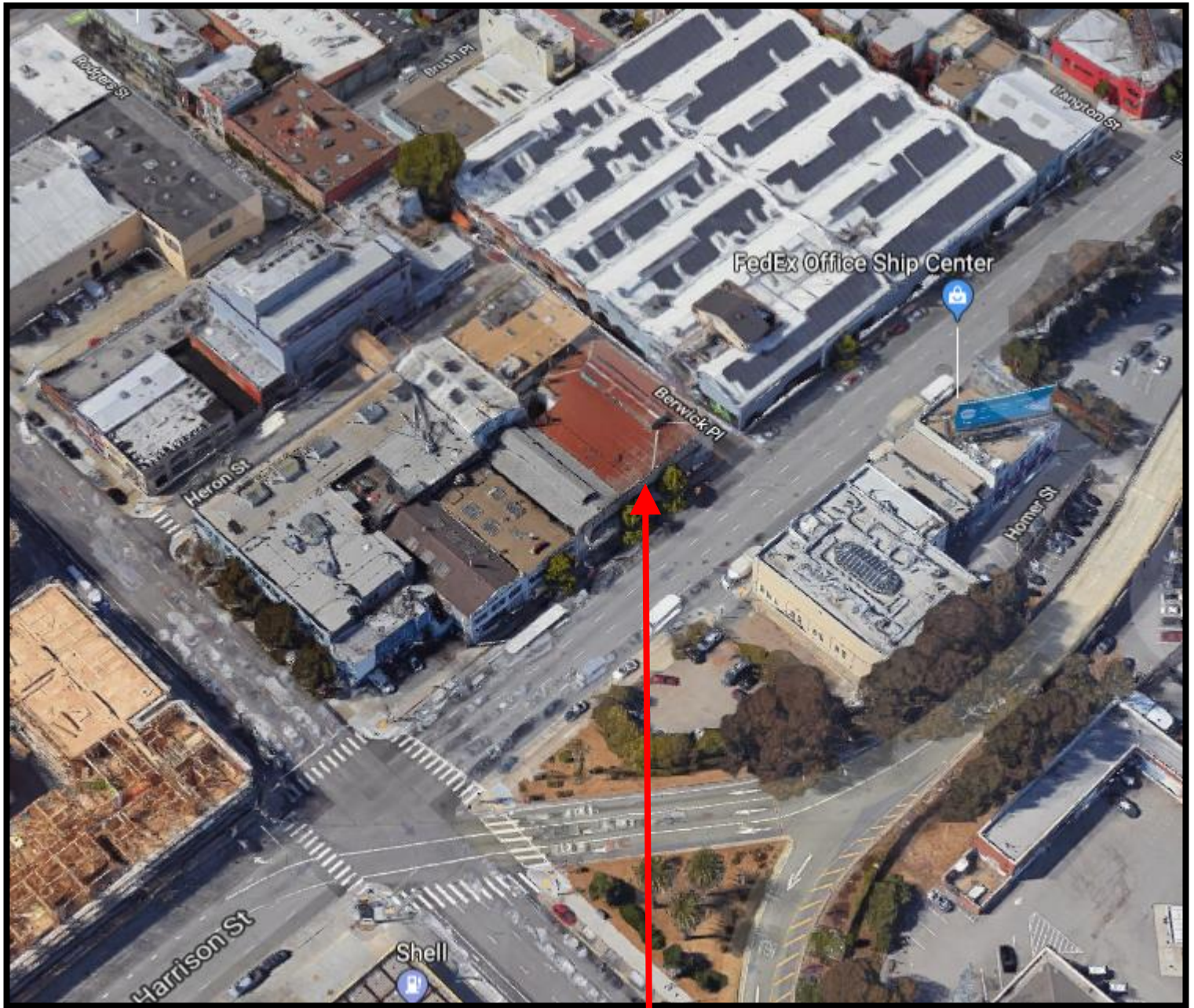
Architectural Review Committee
Case Number 2015-016239ENV
1170 Harrison Street
Block 3755 Lot 029

Zoning Map



Architectural Review Committee
Case Number 2015-016239ENV
1170 Harrison Street
Block 3755 Lot 029

Aerial Photo



SUBJECT PROPERTY



Architectural Review Committee
Case Number 2015-016239ENV
1170 Harrison Street
Block 3755 Lot 029

Site Photo

SUBJECT PROPERTY



Architectural Review Committee
Case Number 2015-016239ENV
1170 Harrison Street
Block 3755 Lot 029

PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
CHR Status Code: _____

Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 1 of 6

Resource Name or #: (Assigned by recorder) 1170 HARRISON ST

P1. Other Identifier: 1170 - 1176 Harrison Street; San Francisco Galvanizing Works

*P2. Location: ☐ Not for Publication ☒ Unrestricted

*a. County: San Francisco

*b. USGS Quad: San Francisco North, CA Date: 1995

c. Address: 1170 HARRISON ST City: San Francisco ZIP 94103

d. UTM Zone: Easting: Northing:

e. Other Locational Data: Assessor's Parcel Number 3755 029

*P3a. Description: (Describe resource and major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

1170 - 1176 Harrison Street is located on a 9,796 square-foot irregular-shaped lot on the northwest corner of Harrison Street and Berwick Place. 1170 - 1176 Harrison Street consists of 2 separate buildings; the east section was constructed in 1912 and the west section was constructed in 1929. The buildings were unified by the present façade in 1929, as well. 1170 - 1176 Harrison Street is a 1-story, steel and reinforced concrete industrial building designed in the Art Moderne style. The rectangular-plan building, clad in smooth concrete, is capped by a hip roof with a monitor above the east section and a gable roof with a monitor above the west section. The foundation is concrete. The primary façade faces south. Entrances include 2 partially-glazed metal doors and 2 roll-up metal garage doors. The secondary façade contains paired partially-glazed metal doors. Typical fenestration consists of fixed multi-light industrial steel-sash windows. Architectural details include an incised sign that reads "San Francisco Galvanizing Works," concrete beltcourses, a stepped recessed bay, galvanized metal rivets, and a parapet.

The building appears to be in good condition.

*P3b. Resource Attributes: (List attributes and codes) HP8. Industrial Building

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other

P5a. Photo



P5b. Description of Photo:

View of primary façade on Harrison Street. 3/9/2008

*P6. Date Constructed/Age:

☒ Historic ☐ Prehistoric ☐ Both

1912; 1929 Original Building Permit

*P7. Owner and Address

HOECK SUSAN 1993 TRUST THE
JEFFREY HOECK CO-TRUSTEE

SAN FRANCISCO CA 94103

*P8. Recorded By:

Page & Turnbull, Inc. (CD/RS)
724 Pine Street
San Francisco, CA 94108

*P9. Date Recorded: 6/18/2009

*P10. Survey Type:

Reconnaissance

*P11. Report Citation: (Cite survey report and other sources, or enter "None")

Eastern Neighborhoods SOMA Survey

*Attachments: ☐ NONE ☐ Location Map ☐ Sketch Map ☒ Continuation Sheet ☒ Building, Structure, and Object Record

☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record

☐ Artifact Record ☐ Photograph Record ☐ Other (list):

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # _____
HRI # _____
Trinomial _____

Page 2 of 6

Resource Name or #: (Assigned by recorder) 1170 HARRISON ST

*Recorded By: Page & Turnbull, Inc. (CD/RS)

*Date Recorded: June 2009

☒ Continuation ☐ Update



Detail view of ornament on primary façade.
Source: Page and Turnbull



Detail view of entrance.
Source: Page and Turnbull

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # _____
HRI # _____
Trinomial _____

Page 3 of 6

Resource Name or #: (Assigned by recorder) 1170 HARRISON ST

*Recorded By: Page & Turnbull, Inc. (CD/RS)

*Date Recorded: June 2009

☒ Continuation ☐ Update



View of secondary façade on Berwick Place.
Source: Page and Turnbull



Detail view of entrance on secondary façade.
Source: Page and Turnbull

BUILDING, STRUCTURE, AND OBJECT RECORD

Page 4 of 6

*NRHP Status Code 3S

*Resource Name or # (assigned by recorder) 1170 – 1176 Harrison Street

B1. Historic name: San Francisco Galvanizing Works

B2. Common name: None

B3. Original Use: Industrial

B4. Present use: Industrial

*B5. Architectural Style: Art Moderne

*B6. Construction History: (Construction date, alterations, and date of alterations)

Constructed in 1912. A 70' x 100' steel frame addition was made to the original building and a new front façade was designed in 1929.

*B7. Moved? ☒ No ☐ Yes ☐ Unknown Date: _____ Original Location: _____

*B8. Related Features: None.

B9a. Architect: Charles E.J. Rogers (1912); Dodge A. Riedy (1929) b. Builder: None

Commercial, Industrial, and

*B10. Significance: Theme Residential Development Area: South of Market, San Francisco, California

Period of Significance 1906 - 1929 Property Type Industrial Applicable Criteria 3

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity)

1170 – 1176 Harrison Street was constructed in 1912 for Earl K. Cooley of San Francisco Galvanizing Works. The original portion of the building was designed by architect Charles E.J. Rogers, while Dodge A. Riedy redesigned the building with an addition in 1929. 1170 – 1176 Harrison Street possesses significance as an example of an Art Moderne industrial building in the South of Market Area, a mixed-use district of industrial, commercial, and residential buildings erected after the 1906 Earthquake and Fire. Prior to 1906, the site of 1170 Harrison Street was occupied by three single family dwellings, four small stores, and a flats building in a largely residential neighborhood. The area was rebuilt with a new industrial focus, and building booms occurred between 1906-13, 1918-20, and 1925-30.

(continued)

B11. Additional Resource Attributes: (List attributes and codes) _____

*B12. References:

- The Foundation for San Francisco's Architectural Heritage: Field Survey Form- Buildings (1985)

- San Francisco Downtown Inventory Evaluation Sheet (1985)

(continued)

B13. Remarks:

*B14. Evaluator: Christina Dikas, Page & Turnbull Inc.

*Date of Evaluation: September 2009

(This space reserved for official comments.)



State of California & The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary# _____

HRI # _____

Trinomial _____

Page 5 of 6

*Resource Name or # (Assigned by recorder) 1170 – 1176 Harrison Street

*Recorded by: Page & Turnbull

*Date September 2009

☒ Continuation

☐ Update

B10. Significance (continued)

1170 – 1176 Harrison Street first appears on the 1950 Sanborn Map as San Francisco Galvanizing Works, which was here from 1912 to 1971. Prior to this location, the company operated at 1160 Bryant Street. The original building was constructed in 1912 with a steel frame and corrugated iron. According to the 1913 Sanborn Map, the property was occupied by a building at 1180 Harrison Street and an iron foundry at the corner of Harrison Street and Berwick Place. A steel and reinforced concrete addition replaced the iron foundry in 1929. A continuous Moderne façade across the two buildings disguises the original section to the west, though the buildings feature separate roofs. Earl K. Cooley owned the property from at least 1912 to ca. 1946. Earle W. Freitas and Sallie M. Heckscher were owners from ca. 1949 to at 1971. At this time, San Francisco Galvanizing Works vacated the building. Salvatore and Dorothy DeBella and family owned the property from 1971 to 1999, and operated the DeBella Wooden Barrel Factory. Jeffrey S. Hoeck and family have been owners from 1999 to 2008.

Little information was found on the original architect, Charles E.J. Rogers, at the San Francisco Public Library, the City of San Francisco, or SF Architectural Heritage. He designed at least three other buildings in San Francisco, worked at different locations in downtown San Francisco, and lived in Alameda.

Dodge A. Riedy, the designer of the 1929 addition, practiced in San Francisco from 1908 to 1953, and was City Architect of San Francisco from 1938 to 1953. Born and raised in San Francisco, Riedy began his career as a draftsman for William Curlett & Son from 1908 to 1912, worked for the Board of Public Works from 1913 to 1920, and ran a private practice from 1921 to 1937. He was director of the City Bureau of Architecture in 1944. He was known for designing schools and public buildings, and designed the Lawton, San Miguel, and West Portal schools. Though 1170 – 1176 Harrison Street was largely designed by Riedy, it is unclear whether it is a representative example of his work.

1170 – 1176 Harrison Street features a significant alteration, though it is now historic itself. A 70' x 100' steel frame addition was made to the original building and a new front façade was designed by Riedy in 1929. The project cost \$16,000. The building has been little altered since then, and is still used for industrial purposes. Therefore, it retains integrity of location, design, setting, materials, workmanship, feeling, and association. Overall, the property retains historic integrity.

1170 – 1176 Harrison Street does not appear to be associated with events that have made a significant contribution to the broad patterns of our history such that it would be eligible under National Register Criterion A (California Register Criterion 1).

1170 – 1176 Harrison Street does not appear to be associated with any persons significant to the history of the State of California or the City of San Francisco such that it would be eligible under National Register Criterion B (California Register Criterion 2).

1170 – 1176 Harrison Street does appear eligible for local designation under National Register Criterion C (California Register Criterion 3) because it is an example of an industrial building that was constructed in the first building boom following the 1906 Earthquake and Fire, and redesigned in the Art Moderne style during the third building boom in the 1920s. The building features high artistic value in the riveted façade, stepped concrete and speedlines, and incised Art Moderne lettering. The design is very unique in the South of Market area. As discussed in the South of Market Area Context Statement:

Small, one- and two-story concrete and masonry light industrial buildings are very common in the South of Market Area, so much that they define major street fronts along Howard, Folsom, Harrison and Bryant Streets. While their width depends on the size of the lot, the façades of this building type is quite consistent, consisting for the most part of a symmetrical arrangement of multi-lite steel sash windows and vehicular openings, often with an overhead rolling door occupying either the central bay or the end bays... Structurally, most buildings of this type are concrete with a grid of regularly spaced interior columns and either a gable or a bowstring truss roof supported by wood or steel trusses. Ornamentation is usually quite restrained, consisting for the most part of concrete or sheet metal string course moldings, shaped parapets, corbelling (if brick) and occasionally a simple classically detailed sheet metal cornice. Occasionally one will encounter more exotic revival styles such as Gothic, Byzantine, or Art Deco. (Page & Turnbull: 64).

The CHRSC of "3S" designates this property as "Appears eligible for NR as an individual property though survey evaluation."

This property was not fully assessed for its potential to yield information important in prehistory or history, per National Register Criterion D (California Register Criterion 4).

CONTINUATION SHEET

Primary # _____

HRI # _____

Trinomial _____

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*Resource Name or # (Assigned by recorder) 1170 – 1176 Harrison Street

*Recorded by: Page & Turnbull

*Date September 2009

☒ Continuation

☐ Update

B12. References (continued)

- Sanborn Fire Insurance Maps: 1899, 1913, 1950.
- San Francisco Assessor's Office, sales ledgers.
- San Francisco Block Books: 1906, 1909.
- San Francisco City Directories.
- San Francisco Dept. of Building Inspection, permit records and plans.
- Page & Turnbull, *Historic Context Statement: South of Market Area, San Francisco, California* (2 March 2007).



UNITED STATES DEPARTMENT OF THE INTERIOR
NATIONAL PARK SERVICE

OMB Approved
No. 1024-0009
Form 10-168
Rev. 2014

HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 1 – EVALUATION OF SIGNIFICANCE

Instructions: This page must bear the applicant's original signature and must be dated. The National Park Service certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form takes precedence. A copy of this form will be provided to the Internal Revenue Service.

1. Property Name 1170 Harrison Street (San Francisco Galvanizing Works)

Street 1170 Harrison Street

City San Francisco County SF State CA Zip 94103

Name of Historic District Western SOMA Light Industrial and Residential Historic District

☐ National Register district ☐ certified state or local district ☐ potential district

2. Nature of request (check only one box)

- ☐ certification that the building contributes to the significance of the above-named historic district or National Register property for rehabilitation purposes.
☐ certification that the building contributes to the significance of the above-named historic district for a charitable contribution for conservation purposes.
☐ certification that the building does not contribute to the significance of the above-named district.
☒ preliminary determination for individual listing in the National Register.
☐ preliminary determination that a building located within a potential historic district contributes to the significance of the district.
☐ preliminary determination that a building contributes to the significance of the district.

3. Project Contact (if different from applicant)

Name Carolyn Kiernat Company Page & Turnbull

Street 417 Montgomery Street, 8th Floor City San Francisco State CA

Zip 94104 Telephone (415) 593-4234 Email Address kiernat@page-turnbull.com

4. Applicant

I hereby attest that the information I have provided is, to the best of my knowledge, correct. I further attest that [check one or both boxes, as applicable] (1) ☒ I am the owner of the above-described property within the meaning of "owner" set forth in 36 CFR § 67.2 (2011), and/or (2) ☐ if I am not the fee simple owner of the above-described property, the fee simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which (i) either is attached to this application form and incorporated herein, or has been previously submitted, and (ii) meets the requirements of 36 CFR § 67.3(a)(1) (2011). For purposes of this attestation, the singular shall include the plural wherever appropriate. I understand that knowing and willful falsification of factual representations in this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain circumstances, provides for imprisonment of up to 8 years.

Name Ronaldo Cinciarulo Signature _____ Date _____

Applicant Entity Buddah Properties LLC SSN _____ or TIN 8-0447948

Street 827 De Haro Street City San Francisco State CA

Zip 94107 Telephone 415-793-3200 Email Address Ronaldo@rjcgroup.cpm

NPS Official Use Only

The National Park Service has reviewed the Historic Preservation Certification Application – Part 1 for the above-named property and has determined that the property:

- ☐ contributes to the significance of the above-named district or National Register property and is a "certified historic structure" for rehabilitation purposes.
☐ contributes to the significance of the above-named district and is a "certified historic structure" for a charitable contribution for conservation purposes.
☐ does not contribute to the significance of the above-named district.

Preliminary Determinations:

- ☐ appears to meet the National Register Criteria for Evaluation and will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer according to the procedures set forth in 36 CFR Part 60.
☐ does not appear to meet the National Register Criteria for Evaluation and will likely not be listed in the National Register.
☐ appears to contribute to the significance of a potential historic district, which will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer.
☐ appears to contribute to the significance of a registered historic district if the period or area of significance as documented in the National Register nomination or district documentation on file with the NPS is expanded by the State Historic Preservation Officer.
☐ does not appear to qualify as a certified historic structure.

Date _____

National Park Service Authorized Signature _____

☐ NPS comments attached

HISTORIC PRESERVATION CERTIFICATION APPLICATION

PART 1 – EVALUATION OF SIGNIFICANCE

Property name 1170 Harrison Street (San Francisco Galvanizing Works) NPS Project Number _____
Property address 1170 Harrison Street San Francisco CA 94104

5. Description of physical appearance

1170 Harrison Street (also addressed as 1176 and 11780 Harrison Street, APN 3755/029) is an double-height one-story, steel and reinforced concrete industrial building designed in the Late Moderne style. The building is located on a 9,796 square-foot irregular-shaped lot on the north side of Harrison Street. The building is offset from the cardinal directions; for the purposes of this report, the nearest cardinal direction will be used. The Harrison Street façade will be referred to as the south façade, and the Berwick Place alley façade will be referred to as the east façade.

The building was constructed in two phases: the west section of the building was completed in 1913, and the east section was added in 1929. As part of this building expansion in 1929, the two buildings were unified by creation of the present Harrison Street facade. The building is L-shape in plan and sits on a concrete foundation. The building is capped by a hip roof with a monitor above the east section and a gable roof with a monitor above the west section. The hipped roof and monitor are clad with corrugated metal, although the north portion of the monitor is asphalt shingle. The gable roof and monitor are clad in asphalt shingle (**Figure A, Photos 10, 11**).

Primary Façade

The primary (south) façade faces south towards Harrison Street (**Photo 1**). This façade is clad in smooth concrete that has remnants of paint. The western and eastern sides of the façade feature six concrete belt courses and stepped concrete detailing leading to a recessed bank of windows. The upper portion of the facade features an incised writing that reads “San Francisco Galvanizing Works” with painted lettering and two painted raised concrete circles reading “1176” (the former address). The façade terminates in a flat, slightly recessed parapet.

At center is a wide bank of fixed multi-lite industrial steel-sash windows divided into nine bays. A riveted metal bulkhead extends across the bank of windows. The window grid is defined by steel mullions with galvanized metal rivets. Glazing is primarily textured or ribbed wire glass, with some panes of clear wire glass. Six-lite pivot windows are located at the center of the ground level windows at the third, fourth, sixth, and seventh bays (counting west to east). Six-lite awning windows are located in the upper portions of the transom windows at the fourth and fifth bays (**Photos 3-5**).

Two large roll-up metal garage doors are located at each end of the bank of windows. The western door occupies the lower portion of the first and second bays (**Photo 2**). The taller eastern door occupies the eight bay and part of the ninth bay, and extends into the transom windows. The primary pedestrian entrance is located in the center bay and is composed of a partially-glazed metal door. A secondary entrance (no longer operable) is located in the remaining portion of the ninth bay and is composed of a tall, partially-glazed hinged metal door (**Photo 5**). Concrete collision bollards and metal supports are located at each side of the garage door openings and at the hinge side of the secondary entrance. A blade sign with faded numbering is located between the fourth and fifth bays.

East Façade

The east façade faces the alley of Berwick Place and is clad in board-formed concrete (**Photos 6, 7**). The belt courses from the primary façade wrap around the southern edge of the east façade. The façade features five bays of multi-lite industrial steel-sash windows. Four of the five windows are divided by projecting steel mullions into three parts, each with a 4-lite pivot window. The southernmost window only contains two sections and pivot windows (**Photo 8**). The lower portions of all the windows have been covered with metal panels. A set of paired partially glazed metal doors are located at center, partially intruding on the center window (**Photo 9**).

North and West Façades

The north and west facades abut the adjacent buildings and are not visible.

Interior

The interior of 1170 Harrison Street is almost entirely open with the exception of two office enclosures. The steel ceiling truss and framing system is exposed throughout the whole interior (**Photos 12-15**). Long I-beams span the interior space from the south to north walls. Two rows of square concrete-encased steel columns are located at the junction of the east and west sections of the building (**Photos 16, 17**). The walls at the west section are clad in corrugated metal. An opening with a roll-up metal garage door at the west wall leads into the adjacent building. The ceiling of the west section is clad with wood sheathing. The clerestory windows at the roof monitor have been removed and the space covered. The walls at the east section of the

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building are board-formed concrete. The ceiling is corrugated metal and features a monitor roof with steel-sash clerestory windows which have been covered from the exterior. The east ceiling is higher than the west ceiling.

A concrete, two-story office is located above the main pedestrian entrance at the center of the south façade (**Photos 18-20**). At the pedestrian entrance is a concrete stair to access the second-story office and a wood-frame vestibule that leads underneath the office into the main interior. The elevated office area consists of a landing, a main room accessed by a multi-lite glazed metal door and multi-lite sidelights, a closet, and a restroom. The south wall of this office is the industrial windows of the primary façade. The second floor contains three 4-lite casement steel-frame casement windows that overlook the interior work area. A second small wood-frame office with horizontal wood siding and one multi-lite steel-sash windows is located in the southeast corner of the interior (**Photo 21**).

Construction Chronology:

The following section provides a construction chronology of 1170 Harrison Street, compiled from available building permits and other resources:

Date	Permit Application Number	Description of Work
1912	46883	West section of the current building was originally constructed.
1929	None	Expansion of the building to its current footprint, including new construction of steel frame addition and new façade on Harrison Street.
1949	121404	Installation of a gas-fired high pressure boiler.
1963	8610825	Installation of a concrete vault for a sulfuric acid storage tank.
1990	9016272	Parapet reinforcing at Harrison Street and Berwick Place facades.
1995	9504841	Partial removal of existing roof and reroofing with a composition roofing.

1170 Harrison Street was constructed in two phases. The original building occupied the current west portion of the current building.¹ This building, addressed at 1176 Harrison Street, was completed in 1913 and consisted of one story steel and corrugated iron building measuring 40' by 80'. The building was capped with a steel truss roof and contained a wood-frame office in an unspecific location. The architect was Charles E. J. Rogers.²

According to the 1913-1915 Sanborn Fire Insurance map, an iron foundry was located on the lot at the corner of Harrison Street and Berwick Place prior to the expansion of the Galvanizing Works. The map depicts a building with a two-story center, office, and cupola and several one-story volumes (**Figure B**). The building was iron-on-studding construction.³ A 25' tall steel water softener tank was located in the vacant lot between the two buildings. No information was found regarding the appearance of either original building.

No building permit or architectural drawings were found for the 1929 building expansion. Notice of the project appeared in the *San Francisco Chronicle* and *Building and Engineering News*, describing the work as “a new front” and “a steel frame addition covering ground 70 by 100 feet on Harrison Street and Berwick Place.”⁴ The Galvanizing Works hired architect Dodge Reidy and contracting firm Sorensen & Haggmark to design the alterations and addition. The extent of the demolition of the iron foundry is presently unknown, but it appears to have been extensive.

The presence of the water softener tank on the lot dictated the L-shaped layout of the new building. An aerial photograph from 1938 shows the water tank and the unified galvanizing workshop (**Figure C**). The water tank is not shown on the 1950 Sanborn Fire Insurance map, indicating that it was demolished between 1938 and 1950. The footprint of the galvanizing works appears to have remained unchanged since the 1929 work (**Figure D**).

¹ The Department of Parks and Recreation “Primary Record” form that was completed for the subject building as part of the South of Market survey describes the east section as being constructed in 1912 and the west section following in 1929. However, close examination of the original building permit and available materials indicate that the west section was constructed first.

² Building Permit application #46883, San Francisco Department of Building Inspection.

³ San Francisco Property Information Map; Sanborn Fire Insurance Map, 1913-15, San Francisco Public Library Digital Sanborn Map Collection.

⁴ “Factories and Warehouses, Contract Awarded” *Building & Engineering News*, November 2, 1929; “Plant Seeks Permit,” *San Francisco Chronicle*, November 2, 1929, 7.

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Based on physical observation of the existing building, many alterations have occurred that are not reflected in the building permit history. Because of the lack of available information, architectural drawings related to the 1929 expansion, or historic photographs, the historic nature of some features and the dates of alteration for others are unknown. The two metal roll-up garage doors at the primary façade are not original features. Evidence of hinges was observed on the frame of the west opening, indicating that at least one (if not several) door assembly preceded the roll-up door (**Figure 22**). It is unknown if this opening was part of the 1929 façade; a large opening could have been necessary to move galvanized products in and out of the factory.

The east garage door opening is not original to the 1929 façade, but the date of alteration is unknown. Roughly cut mullions at the transom windows and a collision bollard at the edge of the window bay indicate that this opening was enlarged (**Figure 23**). The partially-glazed hinged door also does not appear to be original. It appears that an opening previously fit within the two facades bays and matched the west opening. However, it is unknown whether an opening in this location was installed in 1929.

New glazing units at the primary façade indicate that various replacements and repairs have occurred over time. The lower portions of the windows at the primary and east facades have been covered on the exterior. These panels prevent most of the pivot windows from being operable. At the monitor roofs, the clerestory windows have either been covered or removed completely.

The east façade is believed to be part of the 1929 alterations. The current façade retains no evidence of the series of volumes that made up the foundry building formerly on the site. The paired metal door located in the center window bay appears to be a later insertion into this façade. It is also presently believed that the blade sign at the primary façade is not an original feature. At the interior, the two office volumes do not appear to be original and no information is currently available to indicate when they were added.

Date(s) of building(s) 1913; 1929 Date(s) of alteration(s) See construction chronology above.
Has building been moved? ☒ no ☐ yes, specify date _____

1. Statement of significance

The building at 1170 Harrison Street was surveyed as part of the South of Market Area Historic Resource Survey and was determined to be eligible for the National Register both individually and as contributor to a National Register-eligible district.⁵ The building appears to be significant under National Register Criterion A (Events) for its association with light industrial and manufacturing development in the South of Market neighborhood and under Criterion C (Design/Construction) as an early example of the Art Moderne style.

Western SOMA Light Industrial and Residential Historic District

1170 Harrison Street is a contributing resource to the National Register-eligible Western SOMA Light Industrial and Residential Historic District. This district was identified as part of the South of Market (SOMA) Historic Resource Survey that was conducted from 2007-2010.⁶ The Western SOMA Light Industrial and Residential district was found to be significant under Criterion A (Events) and Criterion C (Design/Construction) with a period of significance from 1906 through 1936. The survey findings and the historic district were adopted by the San Francisco Planning Department's Historic Preservation Commission in February 2011.⁷

The Western SOMA Light Industrial and Residential Historic District is significant for the theme of industrial and residential reconstruction and development in the South of Market neighborhood of San Francisco. The significance was summarized in the district survey record forms as the following:

The Western SoMa Light Industrial and Residential Historic District developed primarily between the years 1906 and ca. 1936, and consists of a group of resources that are cohesive in regard to scale, building typology, materials, architectural style, and relationship to the street. Contributors to the Western SoMa Light Industrial and Residential Historic District are mostly light industrial and residential properties, with some commercial properties. The Historic

⁵ A California Historic Resource Status Code (CHRS) of "3B" was assigned to the property during the survey. California State Office of Historic Preservation Department of Parks and Recreation, *Technical Assistance Bulletin #8: User's Guide to the California Historical Resource Status Code & Historic Resources Inventory Directory*, November 2004.

⁶ "South of Market Area Historic Resource Survey: About the Survey," San Francisco Planning Department, accessed March 23, 2016. <http://sf-planning.org/south-market-area-historic-resource-survey>.

⁷ Historic Preservation Commission Resolution No. 103, San Francisco Planning Department, February 16, 2011.

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District is significant under Criterion A (Events) as a representation of a noteworthy trend in development patterns and the establishment of ethnic groups in San Francisco. It is also significant under National Register Criterion C (Design/Construction) as a representation of a group of properties that embody the distinctive characteristics of a type, period, or method of construction, and as a representation of a significant and distinguishable entity whose components may lack individual distinction.⁸

The district possesses a cohesive and unified building stock that includes a mix of industrial, commercial, and residential uses. The entire area was affected by the 1906 earthquake and fire, which destroyed or heavily damaged almost every building. The district's period of significance begins in 1906 to reflect this hugely formative event. Reconstruction efforts occurred over the next three decades. Construction within the district occurred in two distinct periods: initial reconstruction and recovery from 1906-1913, and a building boom following World War I from 1920-1929. By the mid-1930s the South of Market area was largely built out. Vacant parcels were scarce, economic difficulties caused by the Great Depression were impacting the construction industry, and large infrastructure projects such as the development of South Van Ness Avenue in 1933 and the San Francisco-Oakland Bay Bridge in 1936 changed the local traffic patterns and began diverting people away from the neighborhood. The end date for the period of significance (1936) reflects the slowing development in the South of Market area and corresponds to the end date of the period of significance for the nearby National Register-listed South End Historic District (1935).⁹

Criterion A (Events) Significance

1170 Harrison Street is significant as an industrial manufacturing building associated with the overall character and development pattern of the Western SOMA neighborhood. The two phases of the building's construction coincide with the two major construction periods of the district and the building has been continuously used for manufacturing since its initial construction. Industrial buildings are the most common building type in the South of Market neighborhood. Economic and bureaucratic factors slowed immediate reconstruction of the area after the 1906 earthquake and fire and drove the district to become predominantly industrial. The most widely-found type of industrial building are one- to two-story, multipurpose buildings usually constructed of brick or concrete.¹⁰ 1170 Harrison Street is an excellent example of this prevalent building type and the continuity of light industrial activity within the neighborhood.

The production of metal items and building materials was an extremely common industry as San Francisco tried to rebuild itself and expand in the early decades of the 20th century, and most of these industries were located in SOMA. The first iteration of the building was completed in 1913 during the first period of recovery. The steel and iron construction reflected the new fire-resistant materials that were preferred in this area, and most of the industrial buildings constructed around this time were building in a similar manner. As indicated in the 1913-1915 Sanborn Fire Insurance map, the original Galvanizing Works was surrounded by laundries, some residences, and vacant lots. The subject block was interlaced with several alleys, another characteristic of the South of Market circulation patterns. The iron foundry building that was later subsumed into the current building also contributed to the industrial character of the area.

This cohesive service district with an industrial focus is unique among San Francisco neighborhoods, and 1170 Harrison Street is one of the best representatives of that historical development pattern. The building's highly visible location along Harrison Street, a major thoroughway, and the dominant incised lettering clearly communicates to the public the building's individual history and the character of the neighborhood.

Criterion C (Design/Construction) Significance

1170 Harrison Street is significant under Criterion 3 (Design/Construction) as an early example of the Art Moderne style. When the building was expanded in 1929, the new reinforced concrete structure featured an Art Moderne façade which incorporated detailing that would come to characterize the style. Art Moderne was inspired by the Art Deco style, which rose to popularity during the 1920s. The Art Deco style was distinguished by geometric ornamentation including chevrons, zigzags, and sunbursts. This highly-stylized architecture led to the more restrained and streamlined forms of Art Moderne.¹¹ The Art Moderne style

⁸ Page & Turnbull, Western SOMA Light Industrial and Residential Historic District, District Record, 2009-2010, 1.

⁹ Page & Turnbull, Western SOMA Light Industrial and Residential Historic District, District Record, 2009-2010, 83.

¹⁰ Page & Turnbull, *South of Market Area Historic Context Statement*, June 30, 2009, 90.

¹¹ "Moderne Style 1930-1950," Pennsylvania Historical & Museum Commission, accessed March 28, 2016.
<http://www.phmc.state.pa.us/portal/communities/architecture/styles/moderne.html>

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contains many subtle permutations, including Streamline Moderne, PWA/WPA Moderne or Depression Moderne, and Late Moderne, and is often referenced by these names. The majority of Art Moderne buildings were constructed between 1930 and 1950.

The smooth surfaces, emphasis on horizontality including the horizontal banding, and restrained ornamentation at 1170 Harrison Street are typical of the Art Moderne style. The stepped detailing at the primary window bank and the incised sign typology are reminiscent of the Art Deco geometrical features, but exemplary characteristics of Art Moderne as well. Industrial Art Moderne buildings were often more restrained than commercial or residential buildings, and the bands of steel industrial windows are characteristic for the building's use. The open floor plan and the exposed steel trusses at the interior are typical features of the small-scale industrial buildings. The expansion of 1170 Harrison Street was completed just prior to the onset of the Great Depression, and prefigured a wider usage of Art Moderne and Streamline Moderne styles in San Francisco during the 1930s and onwards.¹²

The use of reinforced concrete in the 1920s and 30s was also characteristic of construction in the Western SOMA district and the Art Moderne style. The acceptance of reinforced concrete into San Francisco building codes spurred a proliferation of the material throughout remodeled and new buildings in the South of Market area. The following description is excerpted from the Western SOMA district survey forms:

Concrete slowly became popular following inclusion into the fire codes and reclassification of buildings. By the 1920s, concrete had become the predominant building material due to its strength and durability, resistance to earthquake damage, and ability to provide large and unobstructed workspaces within structures. Concrete was also better-adapted to the architectural styles popular during the 1920s, including the Spanish Colonial Revival and Art Deco styles. Other concrete industrial buildings were generally simple, with ribbons of upper-story steel-sash industrial windows, but featured Classical Revival details including pilasters, friezes, and cornices.¹³

For the San Francisco Galvanizing Works, the new concrete façade allowed for a simple amount of ornamentation and transformed the pieced-together interior spaces into a solid and unified building on one of SOMA's main thoroughfares. Although the specific nature and dates of some alterations to 1170 Harrison Street are unknown, the building still effectively communicates its history and exhibits many essential design features of the Art Moderne style. It retains integrity of location, setting, feeling, association, design, workmanship, and materials. 1170 Harrison Street exemplifies the scale, materials, methods of construction, and use typical within the Western SOMA historic district. The original San Francisco Galvanizing Works signage simultaneously communicates the industrial history of the building and underscores the Art Moderne styling of the building.

The two architects associated with the property, Charles E. J. Rogers and Dodge Reidy, were active architects within San Francisco but are not considered master architects. They are known to have worked together on at least one building. Rogers is known to have designed commercial properties along Bush Street in 1920-21. Dodge Reidy worked with master architect Mario Joseph Ciampi from 1932-38 on projects including the W.P.A. project Lawton Elementary School (1940), which was also in conjunction with Charles Rodgers.¹⁴ He also worked with Frederick H. Meyer and served as the San Francisco City Architect.¹⁵ Neither architect appears to have been prolific within the Western SOMA district.

Period of Significance and Character-Defining Features

The period of significance for 1170 Harrison Street has been determined to be 1913-1929. This time period reflects the building's original construction as a light industrial building in the South of Market neighborhood and the date of the building's expansion and remodeling into its characteristic Art Moderne style.

¹² Page & Turnbull, *South of Market Area Historic Context Statement*, June 2009, 66.

¹³ Page & Turnbull, *Western SOMA*, 97.

¹⁴ Mary Brown, *San Francisco Modern Architecture and Landscape Design 1935-1970 Historic Context Statement*, September 2010, 209.

¹⁵ SF Modernism Context, 238 and Appendix B: Additional Modern Architects, 5.

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The character-defining features of 1170 Harrison Street have been identified as follows:

- Double-height one story scale and massing
- Emphasis on horizontality, including the flat roofline created by the concrete parapet
- Reinforced concrete construction
- Hip and gable roofs with twin monitor roofs
- Central nine-bay bank of windows at Harrison Street façade
- Multi-lite steel industrial windows, including the riveted steel mullions and pivot windows.
- Stepped concrete detailing and horizontal banding at Harrison Street façade
- Incised lettering and raised medallions at the upper portion of the Harrison Street façade

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2. Photographs and maps. Send photographs and map with application.

See following continuation sheets for referenced maps and historic photographs, and photographic key maps corresponding to the current photographs included with this report.

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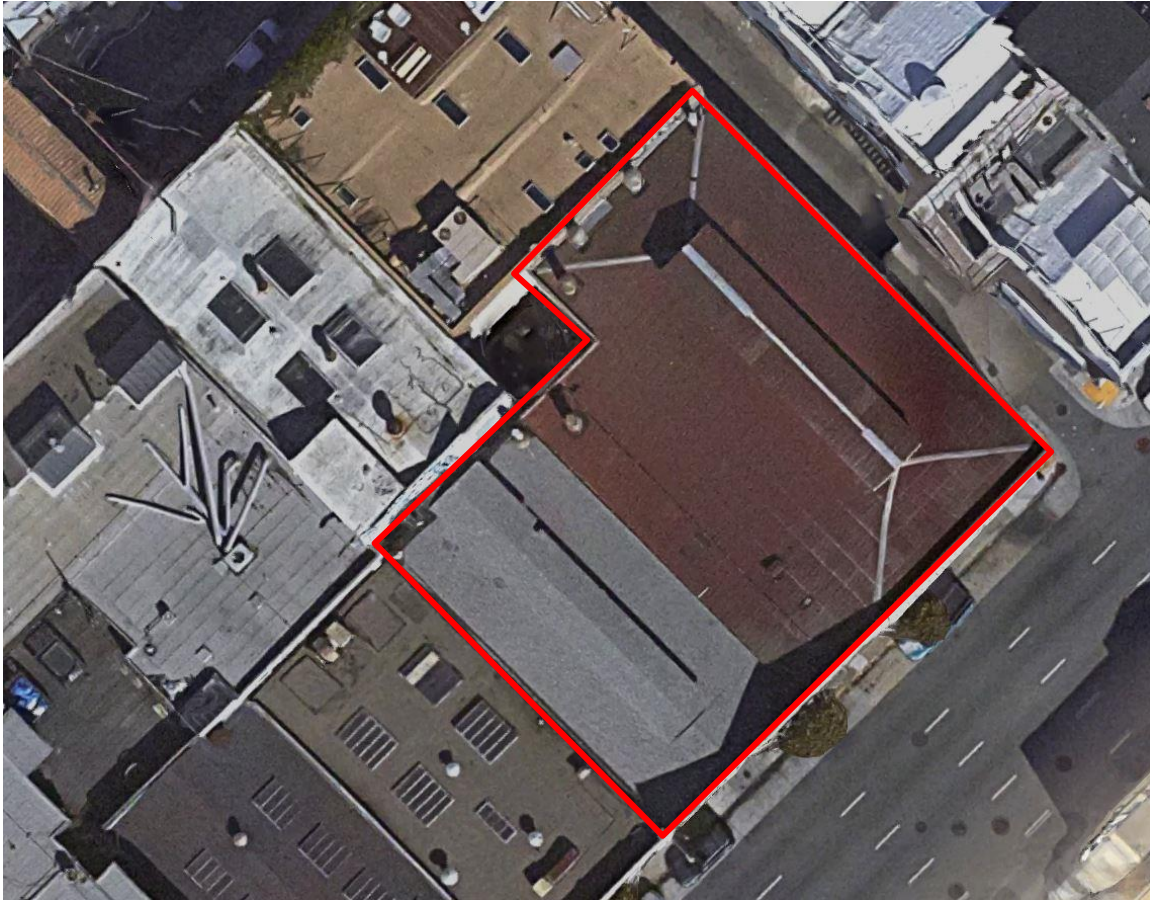


Figure A. Aerial view of 1170 Harrison Street (outlined in red). North is up. (Google Maps 2016, edited by author)

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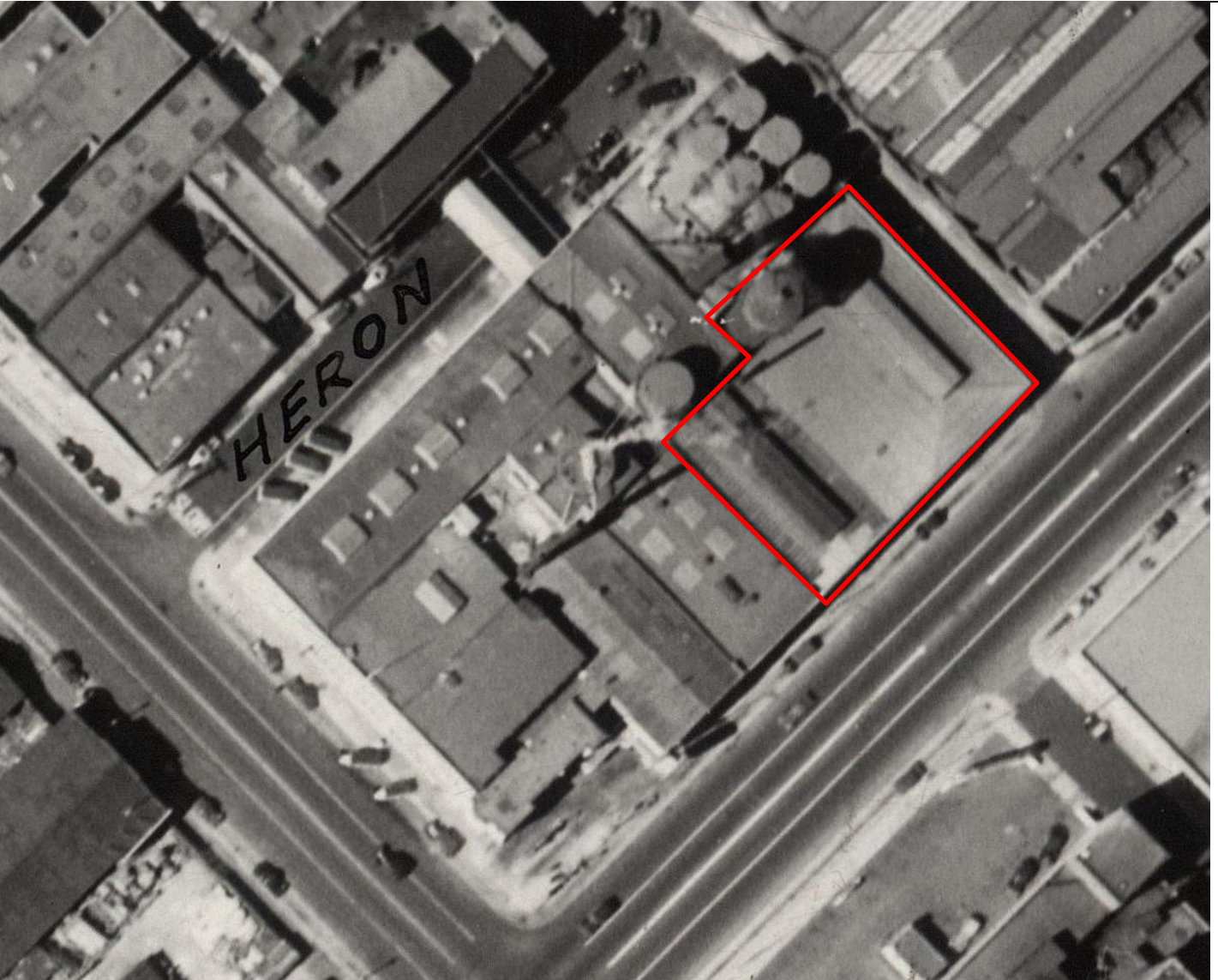


Figure C. 1938 aerial photograph of 1170 Harrison Street and water tank on lot (outlined in red). The double monitor roofs are visible. Source: David Rumsey Historical Map Collection.

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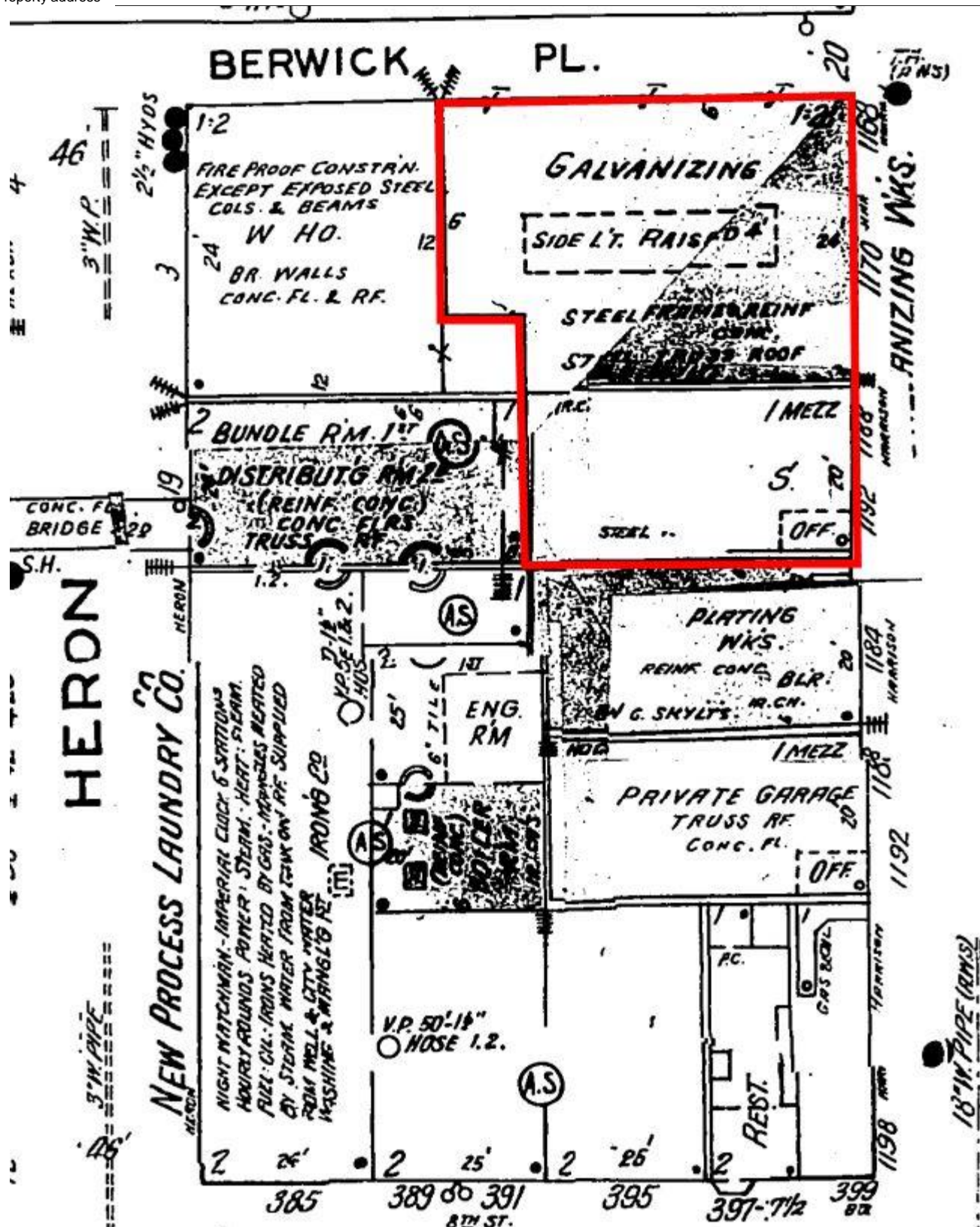


Figure D. 1950 Sanborn Fire Insurance Map. North is left and Harrison Street is at right. 1170 Harrison Street is outlined in red.
Source: San Francisco Public Library Digital Sanborn Collection.

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Key Map for Exterior Photographs:

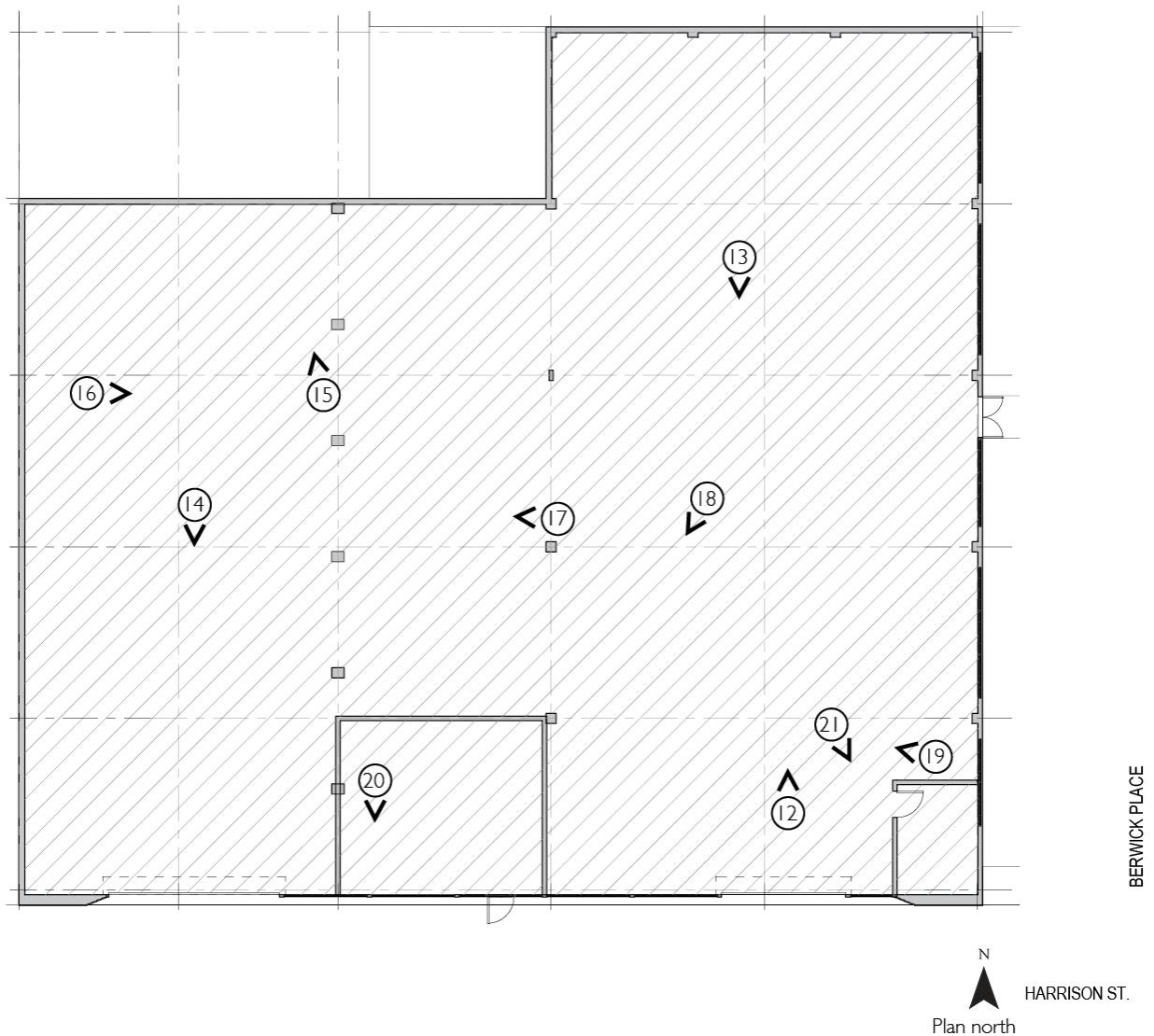


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Key Map for Interior Photographs:





Memorandum

To: Daniel Frattin, Attorney
Tara Sullivan, Attorney
Reuben Junius + Rose
One Bush Street, Suite 600
San Francisco, CA 94104

Project No.: 17080
Date: 22 June 2017
Via: Email
From: Charles Edwin Chase, AIA | Principal

Re: Standards Review
1170 Harrison Street
San Francisco, CA 94103

1. Introduction and Methodology

Buddha Properties, LLC (Client) has retained Architectural Resources Group (ARG) to complete a *Secretary of the Interior's Standards for Rehabilitation* review (Standards Review) for proposed alterations to 1170 Harrison Street¹. 1170 Harrison Street is a contributor to the National Register-eligible Western SOMA Light Industrial and Residential Historic District (Historic District).

This memorandum is an update of a previous Standards Review completed for 1170 Harrison Street on August 11, 2016. That Standards Review was an assessment of proposed plans completed by Workshop¹ architects and Page + Turnbull found the proposed project to be compliant with the Secretary of the Interior Standards (the Standards). To ensure continued compliance with the Secretary of the Interior's Standards (the Standards), the Client requested a review of the revised plans for compliance with the Secretary's Standards.

To complete this evaluation, ARG reviewed existing historical background information for 1170 Harrison Street, including the National Register-eligible Western SOMA Light Industrial and Residential Historic District survey form prepared by Page + Turnbull (18 June 2009). Workshop¹ provided plan drawings and other supporting graphics dated June 14, 2017 to explain the proposed work.

Note: Existing condition photographs and the proposed plan drawings are included in Appendices A and B of this memorandum.

¹ 1170 Harrison Street is also identified as 1170-1176 Harrison Street in the 2009 Western SOMA Light Industrial and Residential Historic District Survey Primary Record Form DPR 523 A (Page + Turnbull, 18 June 2009)

2. Physical Description and Historical Summary

Building Description

1170 Harrison Street consists of two separate buildings. The following physical description is quoted from the Western SOMA Light Industrial and Residential Historic District primary record form:

1170-1176 Harrison Street is located on a 9,796 square-foot irregular-shaped lot on the northwest corner of Harrison Street and Berwick Place. 1170-1176 Harrison Street consists of two separate buildings; the east section was constructed in 1912 and the west section was constructed in 1929. The building was unified by the present façade in 1929, as well. 1170-1176 Harrison Street is a 1-story, steel and reinforced concrete industrial building designed in the Art Moderne style. The rectangular-plan building, clad in smooth concrete, is capped by a hip roof above the east section and a gable roof with a monitor above the west section. The foundation is concrete. The primary façade faces south. Entrances include two partially glazed metal doors and two roll-up metal garage doors. The secondary façade contains paired partially glazed metal doors. Typical fenestration consists of fixed multi-light industrial steel-sash windows. Architectural details include an incised signed that reads “San Francisco Galvanizing Works,” concrete belt courses, a stepped recessed bay, galvanized metal rivets, and a parapet.²

Historical Significance

The Summary Statement of Significance below is quoted from Page + Turnbull’s Memorandum dated August 11, 2016.

Criterion A (Events) Significance

1170 Harrison Street is significant as an industrial manufacturing building associated with the overall character and development pattern of the Western SOMA neighborhood. The two phases of the building’s construction coincide with the two major construction periods of the district and the building has been continuously used for manufacturing since its initial construction. Industrial buildings are the most common building type in the South of Market neighborhood. Economic and bureaucratic factors slowed immediate reconstruction of the area after the 1906 earthquake and fire and drove the district to become predominantly industrial. The most widely found type of industrial building is one- to two-story, multipurpose buildings usually constructed of brick or concrete. 1170 Harrison Street is an excellent example of this prevalent building type and the continuity of light industrial activity within the neighborhood.

Criterion C (Design/Construction) Significance

1170 Harrison Street is significant under Criterion 3 (Design/Construction) as an early example of the Art Moderne style. When the building was expanded in 1929, the new reinforced concrete structure featured an Art Moderne façade, which incorporated detailing that would come to characterize the style.

² Page & Turnbull, Department of Parks and Recreation (DPR) 523 Forms for 1170 Harrison Street, San Francisco, California (June 18, 2009), on file at the San Francisco Planning Department.

The smooth surfaces, emphasis on horizontality including the horizontal banding, and restrained ornamentation at 1170 Harrison Street are typical of the Art Moderne style. The stepped detailing at the primary window bank and the incised sign typology are reminiscent of the Art Deco geometrical features, but exemplary characteristics of Art Moderne as well. Industrial Art Moderne buildings were often more restrained than commercial or residential buildings, and the bands of steel industrial windows are characteristic for the building's use. The open floor plan and the exposed steel trusses at the interior are typical features of the small-scale industrial buildings. The expansion of 1170 Harrison Street was completed just prior to the onset of the Great Depression, and prefigured a wider usage of Art Moderne and Streamline Moderne styles in San Francisco during the 1930s and onwards.

For the San Francisco Galvanizing Works, the new concrete façade allowed for a simple amount of ornamentation and transformed the pieced-together interior spaces into a solid and unified building on one of SOMA's main thoroughfares. Although the specific nature and dates of some alterations to 1170 Harrison Street are unknown, the building still effectively communicates its history and exhibits many essential design features of the Art Moderne style. It retains integrity of location, setting, feeling, association, design, workmanship, and materials. 1170 Harrison Street exemplifies the scale, materials, methods of construction, and use typical within the Western SOMA historic district. The original San Francisco Galvanizing Works signage simultaneously communicates the industrial history of the building and underscores the Art Moderne styling of the building.³

3. Period of Significance & Character-Defining Features

The previous assessment in 2006 by Page + Turnbull memorandum identified the period of significance and character-defining features for 1170 Harrison Street as follows:

The period of significance for 1170 Harrison Street has been determined to be 1912-1929. This period reflects the building's original construction as a light industrial building in the South of Market neighborhood and the date of the building's expansion and remodeling into its characteristic Art Moderne style.

The character-defining features of 1170 Harrison Street have been identified as follows:

- Double-height one story scale and massing
- Emphasis on horizontality, including the flat roofline created by the concrete parapet
- Reinforced concrete construction
- Hip and gable roofs with twin monitor roofs
- Central nine-bay bank of windows at Harrison Street façade
- Multi-lite steel industrial windows, including the riveted steel mullions and pivot windows.
- Stepped concrete detailing and horizontal banding at Harrison Street façade
- Incised lettering and raised medallions at the upper portion of the Harrison Street façade.

³ Page & Turnbull, *South of Market Area Historic Context Statement*, June 2009, 66.

4. Project Description

The following project description was provided by Workshop¹:

The Project Sponsor proposes rehabilitating and making alterations to the existing building at 1170 Harrison Street. The project involves transforming the existing one-story warehouse with a mezzanine into three-stories of office space. The first two-stories will be built within the building envelope, and a partial third level penthouse will be built at the northwest corner of the property. This volume has been stepped back from the existing façade to hide from visibility from Harrison and Berwick, appearing as it does historically.

The first level will have office space, a new lobby with a three story light filled atrium and elevator to emphasize the tall ceilings of the original building, an additional egress stair, and fire rated hallway to Berwick St, and new restrooms. The second level will have two office areas. The eastern area will feature the restored trusses and roof monitor. The third level office space will be recessed from both Harrison and Berwick to prevent being seen from the street. In addition, the front of the third level volume is stepped down to further hide the new structure. This stepped down façade opens to a roof deck to allow visibility of the newly restored eastern light monitor.

The proposed project involves extensive preservation and renovation of the exterior of the building, including the main roof monitor with clerestory windows. The renovations will be completed in compliance with the Secretary of the Interior's Standards. To further prevent the new additions from changing the historic nature of the original building, several strategies will be implemented to not obstruct the original windows with new additions. These include recessing all new interior floor plates from the façade, making required structural upgrades at the façade moment frames instead of diagonally obstructing brace frames, and restoring all the original opaque glass; a feature that prevented clear visibility into the original historic factory while still allowing interior daylight. All existing door and window openings will be retained. If any replacement will be necessary, the replacement will replicate the original look and material as closely as possible.⁴

5. The Secretary of the Interior's Standards for Rehabilitation

The Standards are a series of concepts developed by the United States Department of the Interior to assist in the continued preservation of a property's historical significance through the preservation of character-defining materials and features. They are intended to guide the appropriate maintenance, repair, and replacement of historic materials, and to direct the design of compatible new additions or alterations to historic buildings. The Standards are used by Federal, state, and local agencies to review both Federal and non-federal rehabilitation proposals.

⁴ Eric Vergne, Workshop¹ to ARG, email correspondence, 14 June 2017.

In California, properties listed in, or formally determined eligible for listing in, the California Register of Historical Resources or a local historic register qualify as “historical resources” per the California Environmental Quality Act (CEQA) and must be considered in the environmental review process. (Resources formally determined eligible for, or listed in, the National Register of Historic Places are automatically listed in the California Register of Historical Resources.) In general, a project involving a historical resource that has been determined to comply with the Secretary of the Interior’s Standards can be considered a project that will not cause a significant impact on the historic resource per CEQA.

The Standards offer four approaches to the treatment of historic properties—preservation, rehabilitation, restoration, and reconstruction. The Standards for Rehabilitation (codified in 36 CFR 67 for use in the Federal Historic Preservation Tax Incentives program) address the most prevalent treatment. “Rehabilitation” is defined as “the process of returning a property to a state of utility, through repair or alteration, which makes possible an efficient contemporary use while preserving those portions and features of the property which are significant to its historic, architectural, and cultural values.”

The ten Rehabilitation Standards are:

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

6. Project Assessment

ARG completed a site visit to the project site on April 25, 2017 and reviewed the proposed project drawings dated June 15, 2017 provided by Workshop¹. During the site visit, ARG confirmed that the interior was substantially the same as indicated in the photographs included in the August 2016 Page + Turnbull report.

Standards Compliance Review

The proposed project includes exterior and interior alterations to 1170 Harrison Street through repair of deteriorated building components and removal of inappropriate alterations and non-character defining features that do not contribute to the building's history. As identified in the previous Standards Review for 1170 Harrison Street by Page + Turnbull, the character-defining features for the property are as follows:

- Double-height one story scale and massing
- Emphasis on horizontality, including the flat roofline created by the concrete parapet
- Reinforced concrete construction
- Hip and gable roofs with twin monitor roofs
- Central nine-bay bank of windows at Harrison Street façade
- Multi-lite steel industrial windows, including the riveted steel mullions and pivot windows.
- Stepped concrete detailing and horizontal banding at Harrison Street façade
- Incised lettering and raised medallions at the upper portion of the Harrison Street façade⁵

The proposed project located at 1170 Harrison Street will convert the property from industrial to office use. The majority of the building's features dating from its 1929 construction will remain intact.

⁵ Chong, Lingxiu and Skaggs, Elisa, to Rich Sucre, San Francisco Planning Department, 11 August 2016, Memorandum Standards Analysis for 1170 Harrison Street.

The project proposes to repair existing exterior features including the multi-lite industrial metal sash window system, riveted steel mullions and pivot windows, and cast-in-place concrete Streamline Moderne style façade located on the Harrison Street and Berwick Place façades. Two (2) vehicle door openings located on Harrison Street will be retained. The east vehicle door will be reduced in size to match in height and width the existing west vehicle opening. Both will receive new multi-lite metal sectional overhead doors, which will be differentiated from the existing corrugated metal doors. The Berwick place elevation will include a new gas meter recess within an existing door opening and a new code-required exit door will be inserted at the north end of the elevation.

A one-story roof top addition is proposed for the northwest portion of the roof. The addition is placed away from the principle façade and is low in profile. To reduce the addition's visibility, a 9'0" high section will set back 15'0" from Harrison Street, and the bulk of the addition (13'0" in height) will be set back 29'9". The project's 3D simulations indicate the proposed addition will not be visible along Harrison Street nor along Berwick Place. The selected location and minimal size contribute to reduce the addition's visual impact.

The proposed roof top addition will require removal a portion of the roof. The existing roof structure is composed of two steel frame truss assemblies. Each supports a multi-lite glazed roof monitor. The eastern most truss system, spanning a narrower portion of the roof area is smaller in vertical height. It appears modifications have been made at some time in the past, and is a more deteriorated condition than the western roof section to be the retained. The remaining truss will remain intact and visible.

Within the existing building envelope, exposed steel columns will be retained and supplemental seismic bracing added. The proposed project drawings indicate existing and proposed new structural elements will be visible and expressed throughout.

In addition to new structural features, proposed interior changes will remove existing, non-character defining wood framed stair and office enclosures, and construct a new glass enclosed stair and elevator. A new floor level will be inserted within the existing building envelope. The new floor will be set back 19'6" from the exterior wall for three of the five (5) structural bays along Harrison Street and one (1) bay along Berwick Place. The second floor setback allows the volume of the eastern one-half of the existing interior to remain visible. Although not identified in the proposal documents, discussion with the architect indicated the second floor enclosure adjacent to the atrium would be transparent permitting views of the steel truss roof system and monitor above.

The majority of the character-defining features listed above will remain visible and present in the proposed design, and the essential form and integrity of the property will remain intact. The proposed roof top addition and replacement of the Harrison Street vehicle doors are compatible in design but do not replicate historic features nor create a false sense of historic development.

The building's exterior design and spare unadorned interior are the most distinctive features of the property. Although the features, finishes, and construction methods are not individually distinctive, its Streamline Moderne style distinguishes this industrial building. The exterior character will be preserved

through retention and repair of its steel framing and window system, sign, and incised exposed concrete wall.

The building interior is characterized by a rectangular grid of regularly spaced interior columns that support two frame metal truss roofs with light monitors. This exposed structural system contributes to the property's interior space, industrial character and is a principal feature of the building's interior. Constructed of standard mass produced building components, the interior does not contain distinctive features, finishes, or construction techniques considered examples of craftsmanship.

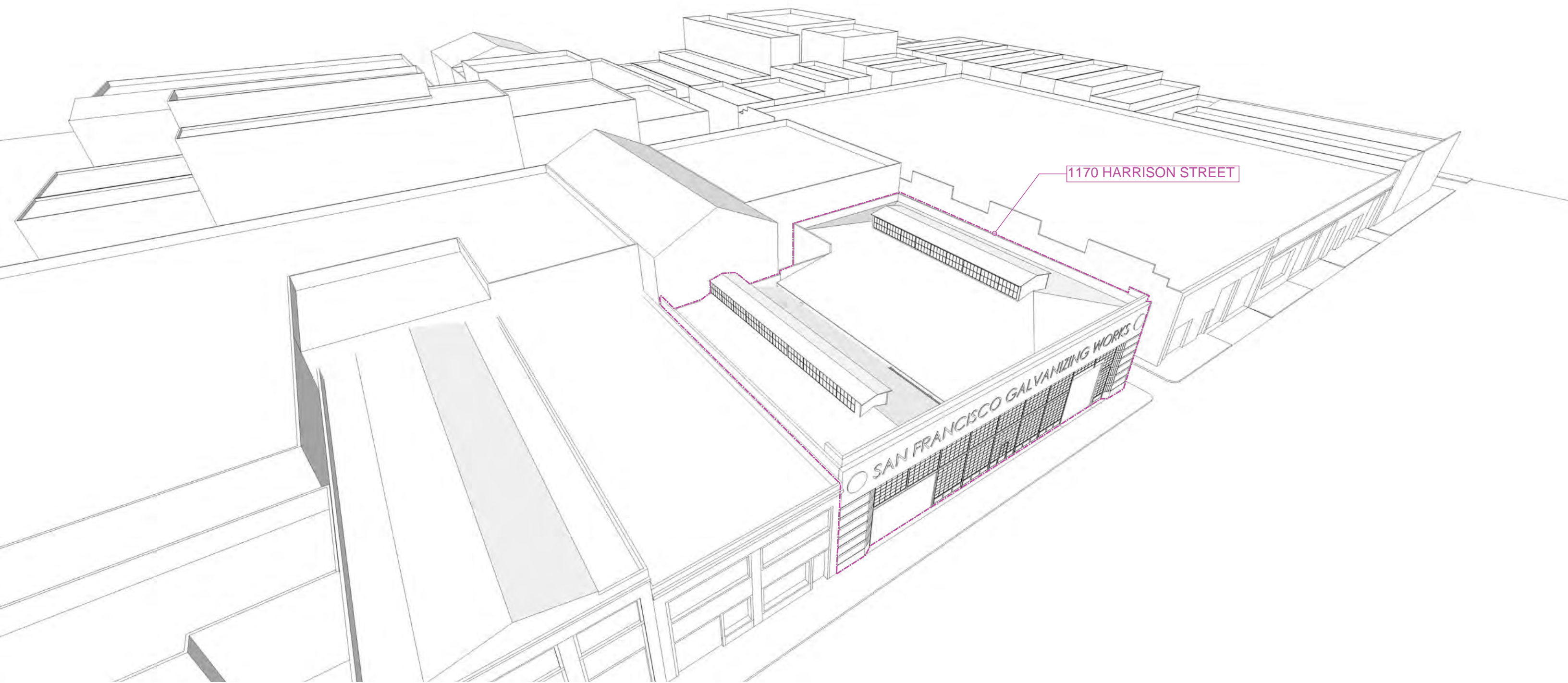
As noted above proposed project will differentiate new construction from existing historic features. The project components will be compatible in massing, scale, size, and architectural features. The placement, low profile, and minimal surface treatment of the rooftop addition minimize the visual impact.

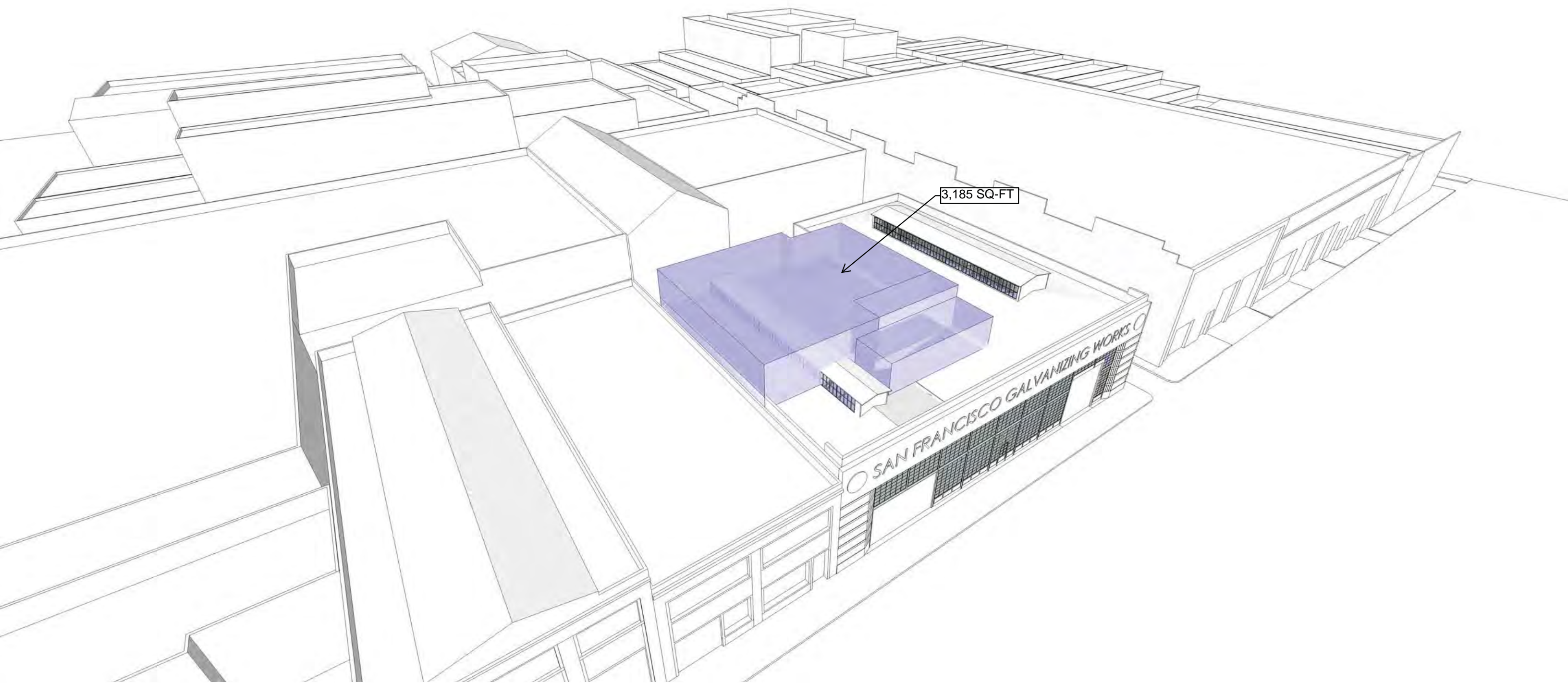
ARG has reviewed the project plans and finds that the overall historic character of 1170 Harrison Street will be preserved, new work will not significantly affect historic materials, or features that characterize the property, and proposed new construction could feasibly be removed in the future without significant impact to historic fabric. All of the character-defining features identified by Page + Turnbull will remain visible in the proposed design, and the essential form and integrity of the property will be unimpaired. Despite the removal of the eastern portion of the roof to accommodate the new addition, and the insertion of a new floor level set back from Harrison Street and Berwick Place, the original volume and concrete shell walls will remain visible when viewed from the entrance lobby and eastern half of the building. The industrial character of the building will remain intact through retention of historic materials and features.

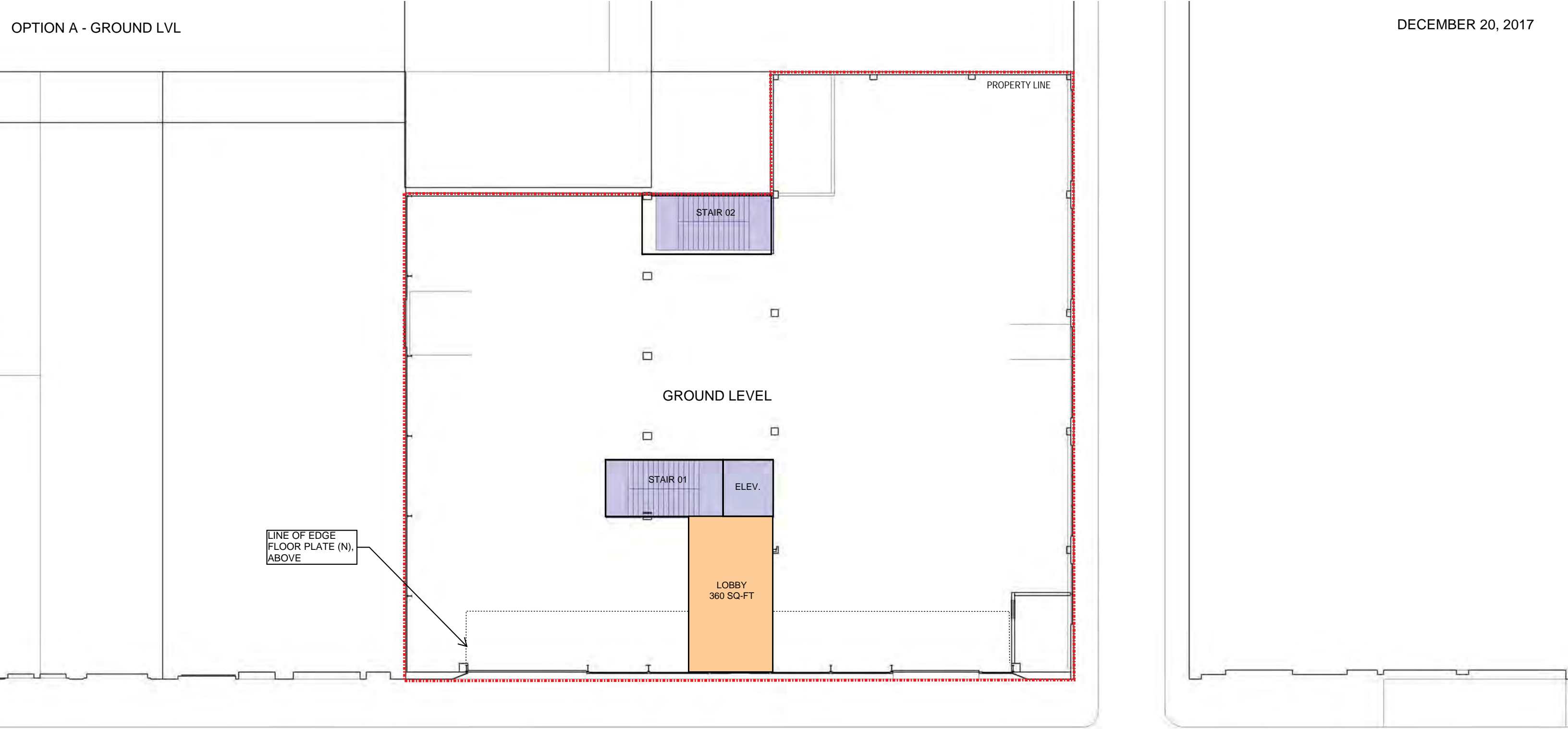
Summary

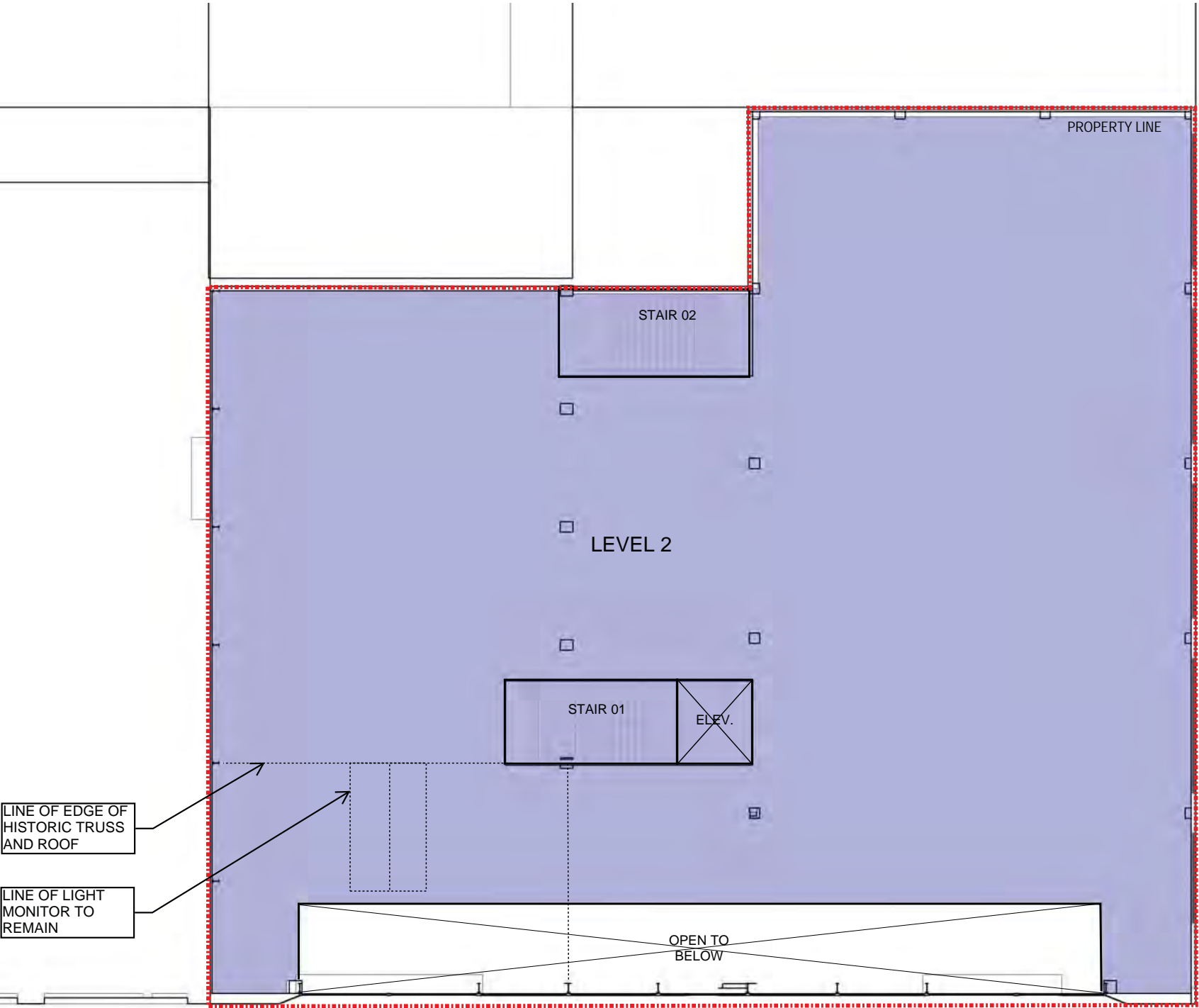
Although a portion of the existing roof will be demolished for the roof top addition, the proposed project retains the majority of the identified character-defining features of the former San Francisco Galvanizing Works. The proposed project appears compatible with the building's interior in material and scale, and features that characterize the interior (structural columns, open roof trusses, and light monitor) will remain visible. Further, the new construction could be feasibly be removed in the future without significant impacts to historic integrity. In summary, ARG finds the proposed project to be compliant with the Secretary of the Interior's Standards Treatment for Rehabilitation.

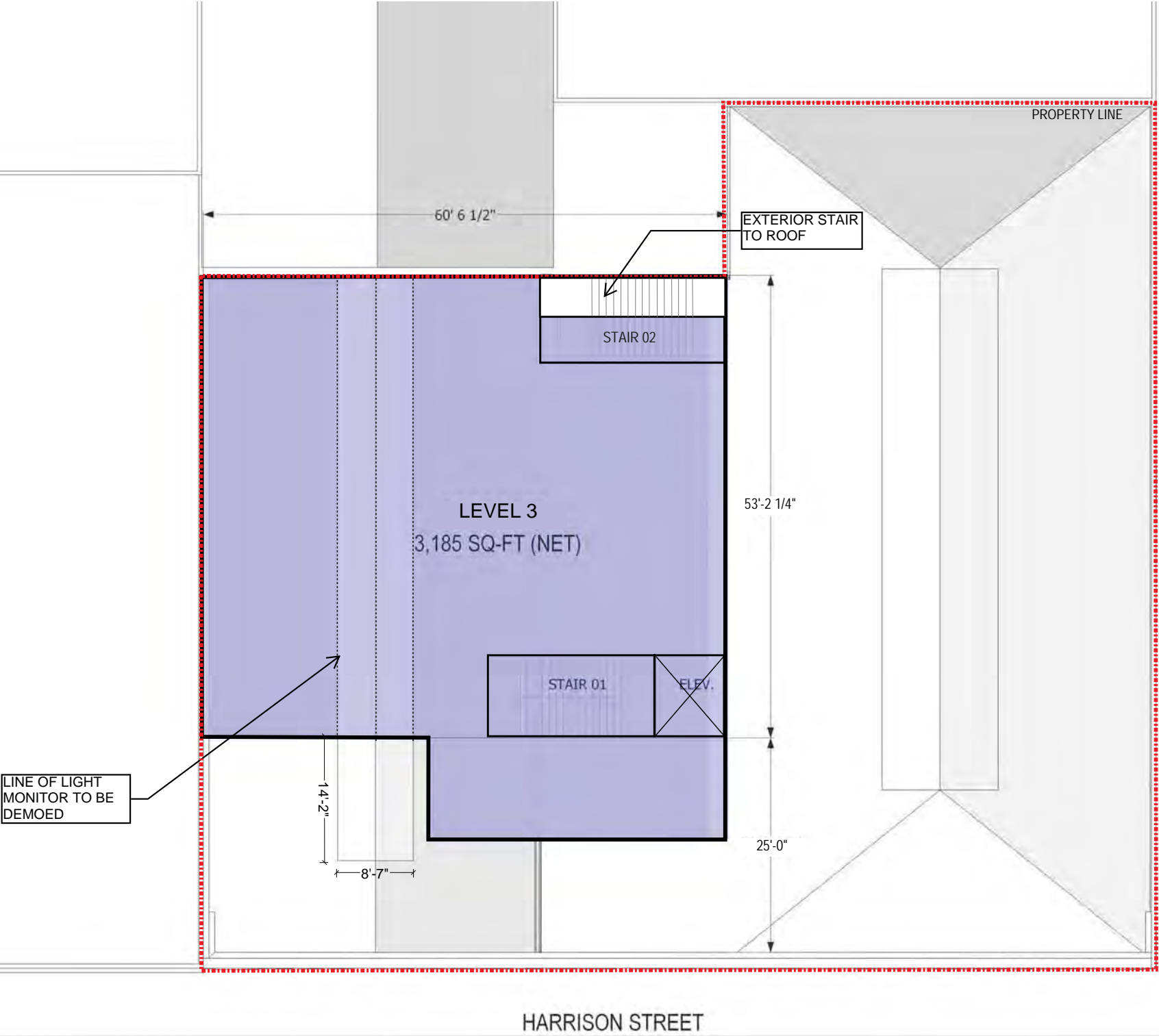
EXISTING - MASSING



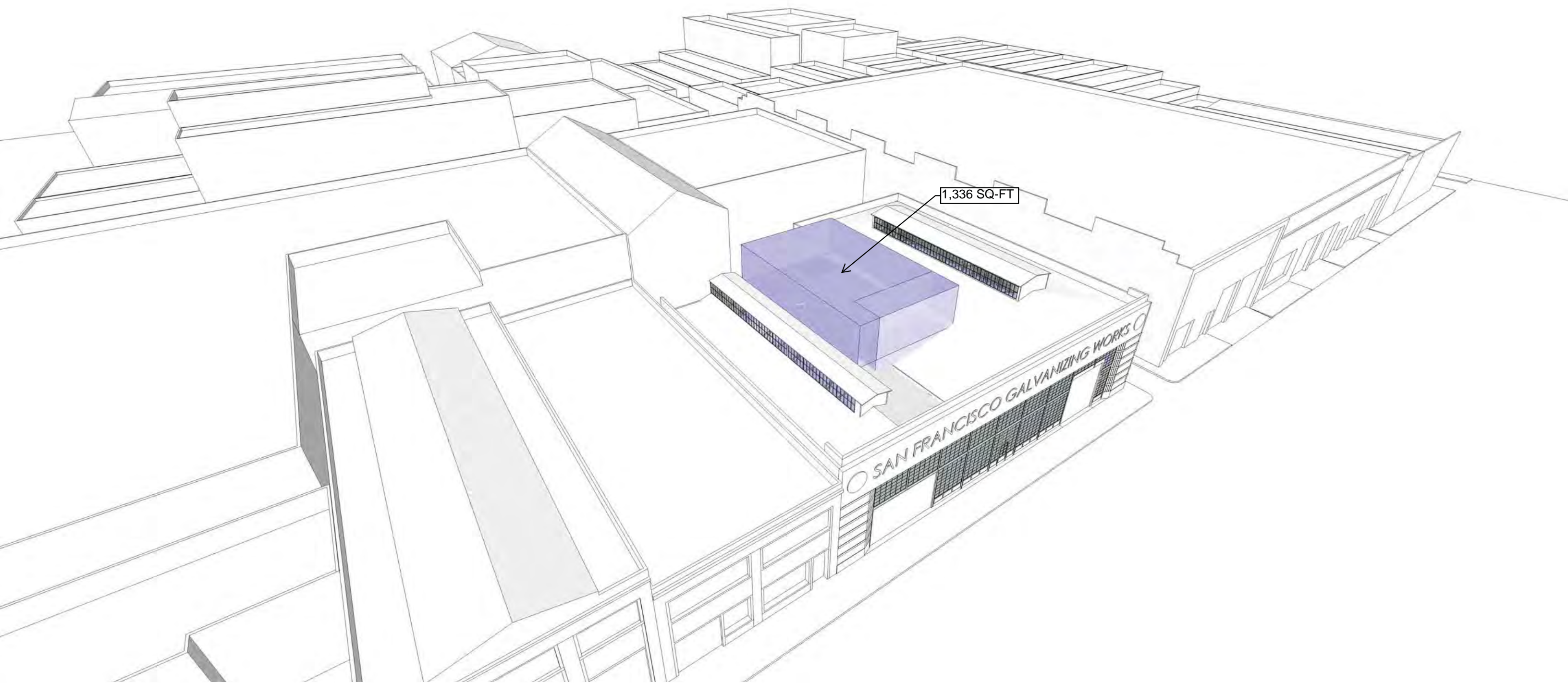




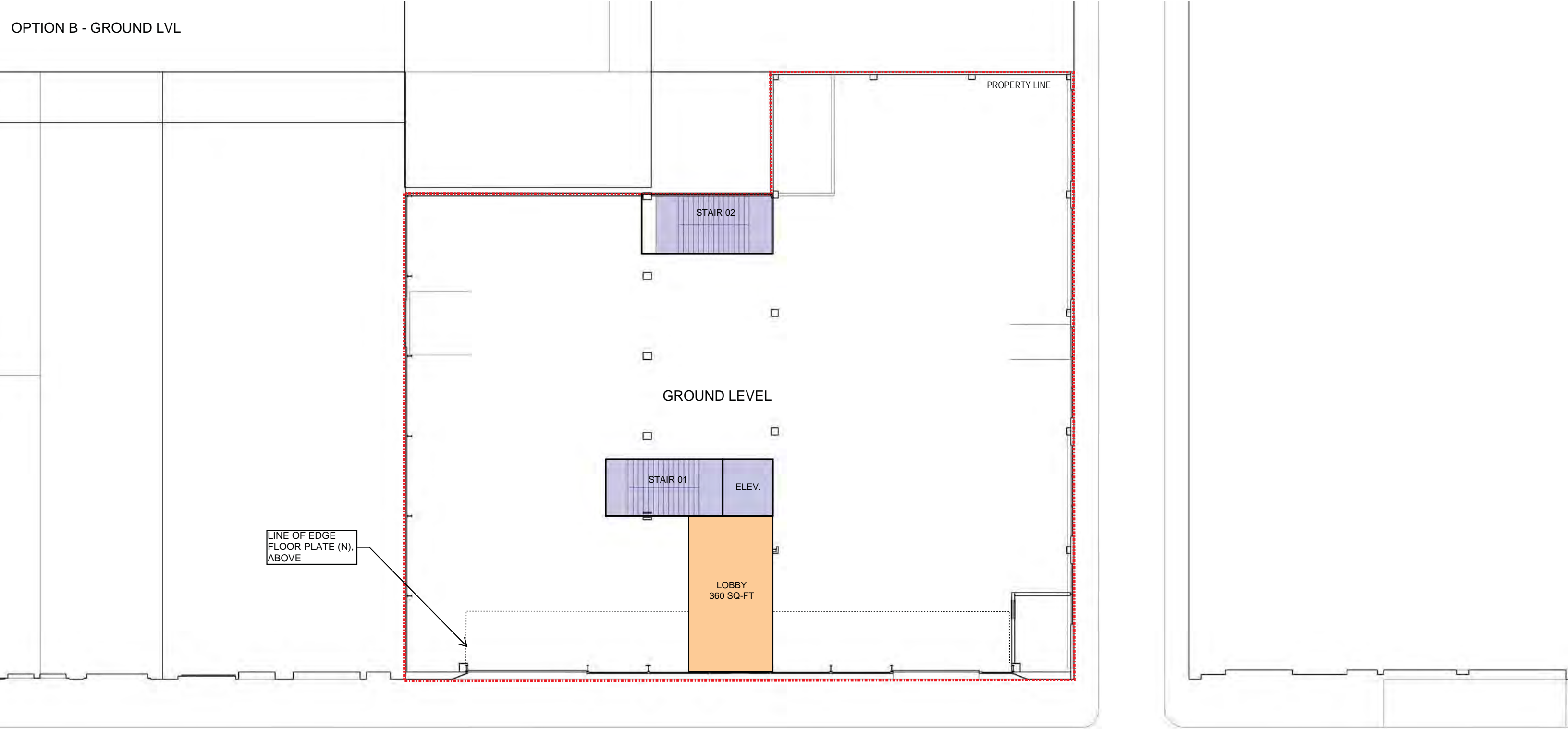




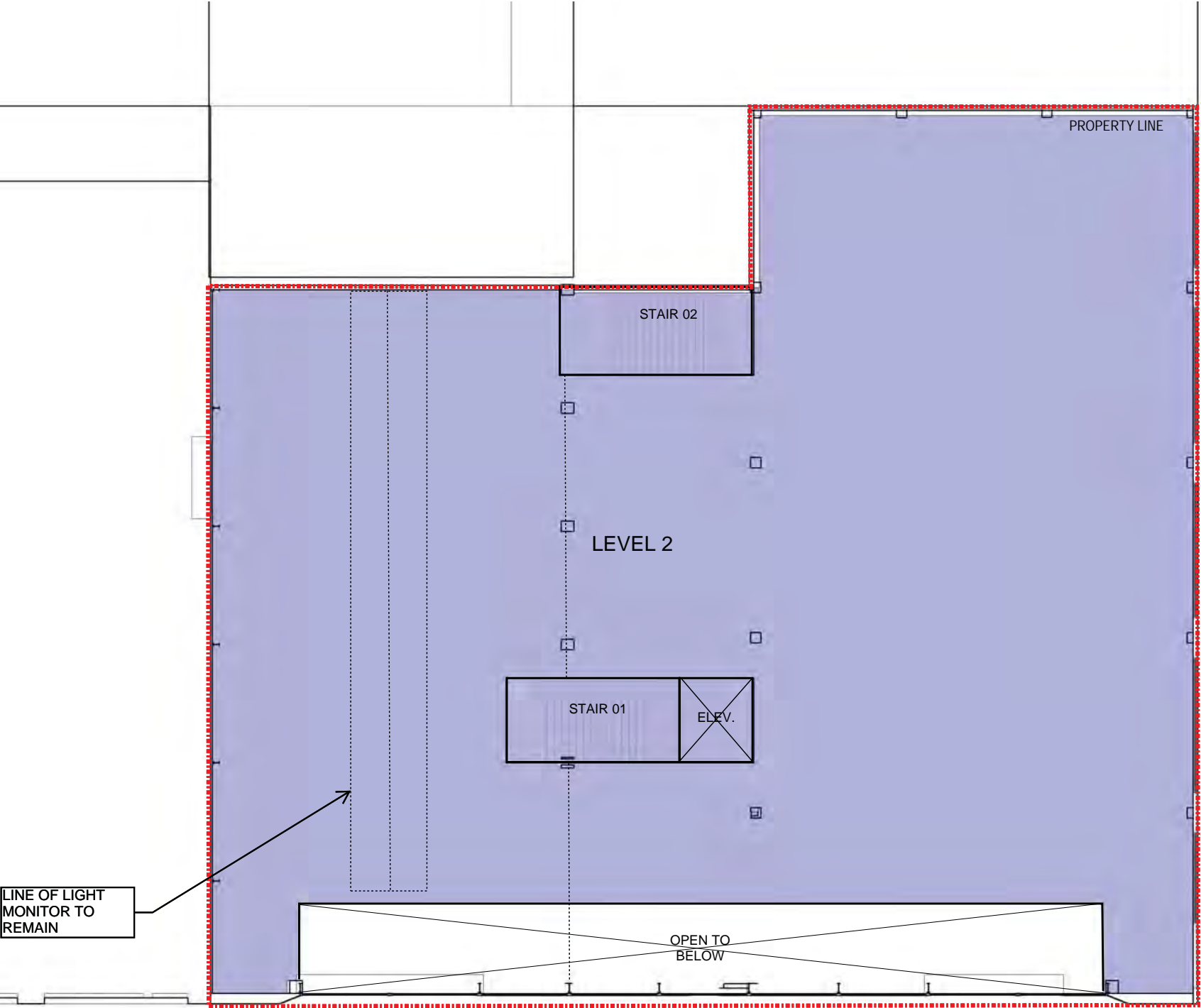
OPTION B - PRESRVATION PROPOSED MASSING



OPTION B - GROUND LVL



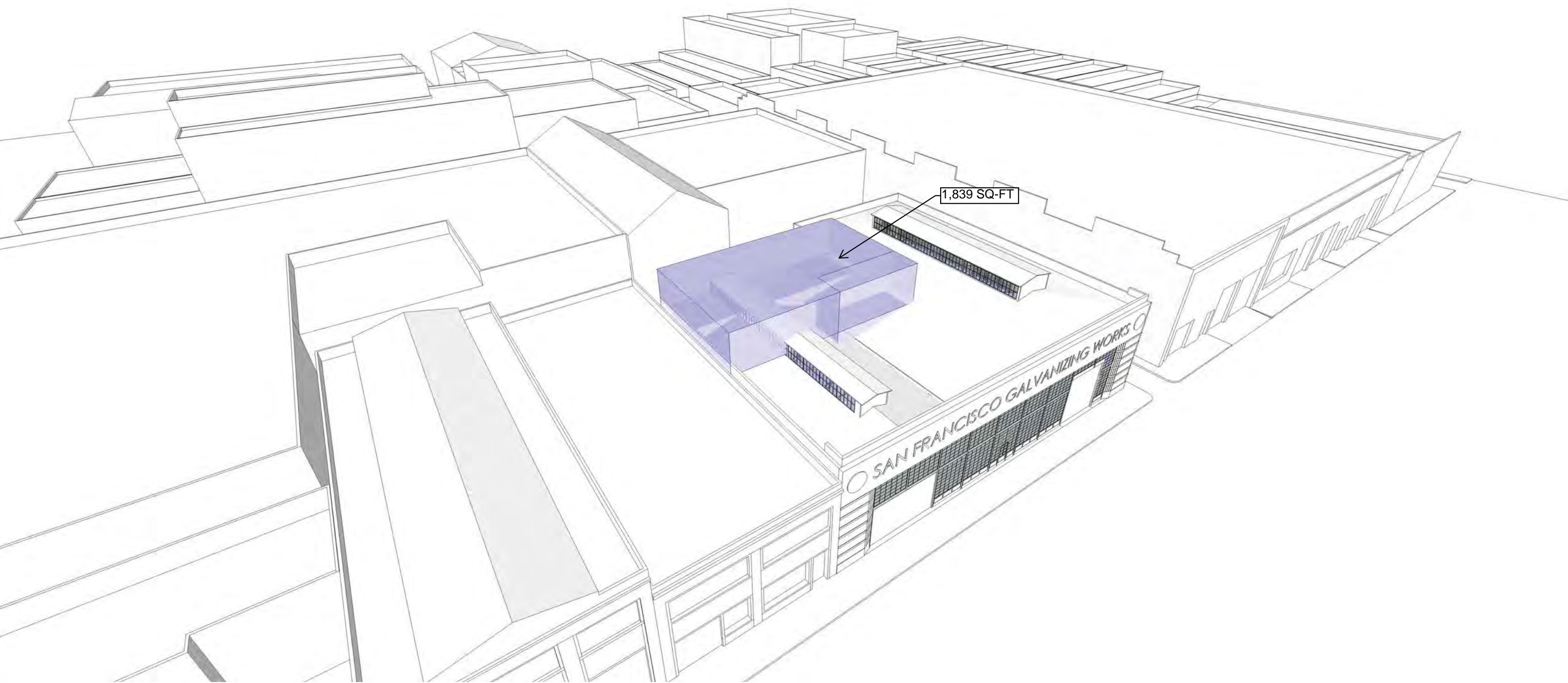
OPTION B - LVL 2



OPTION B - LVL 3



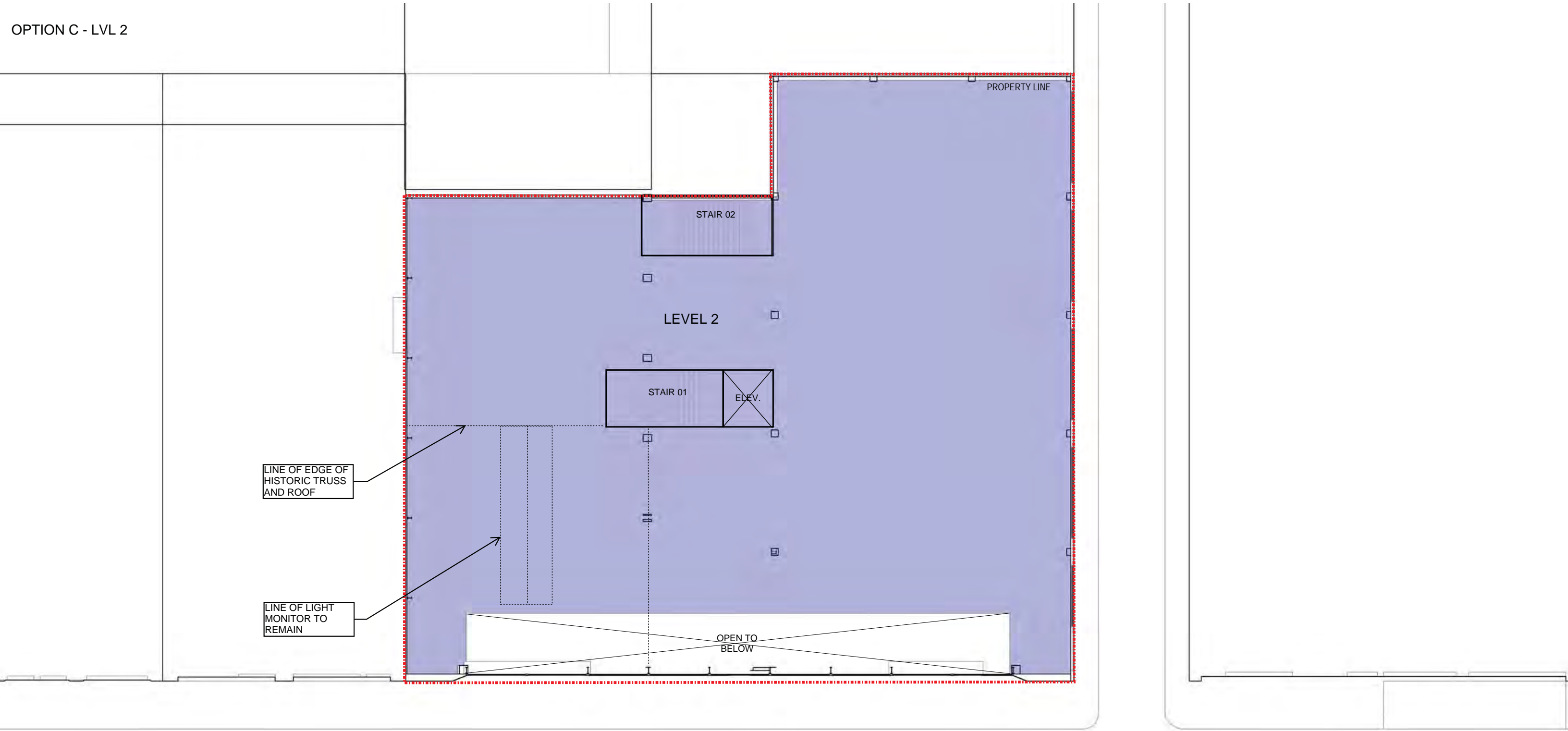
OPTION C - PRESRVATION PROPOSED MASSING



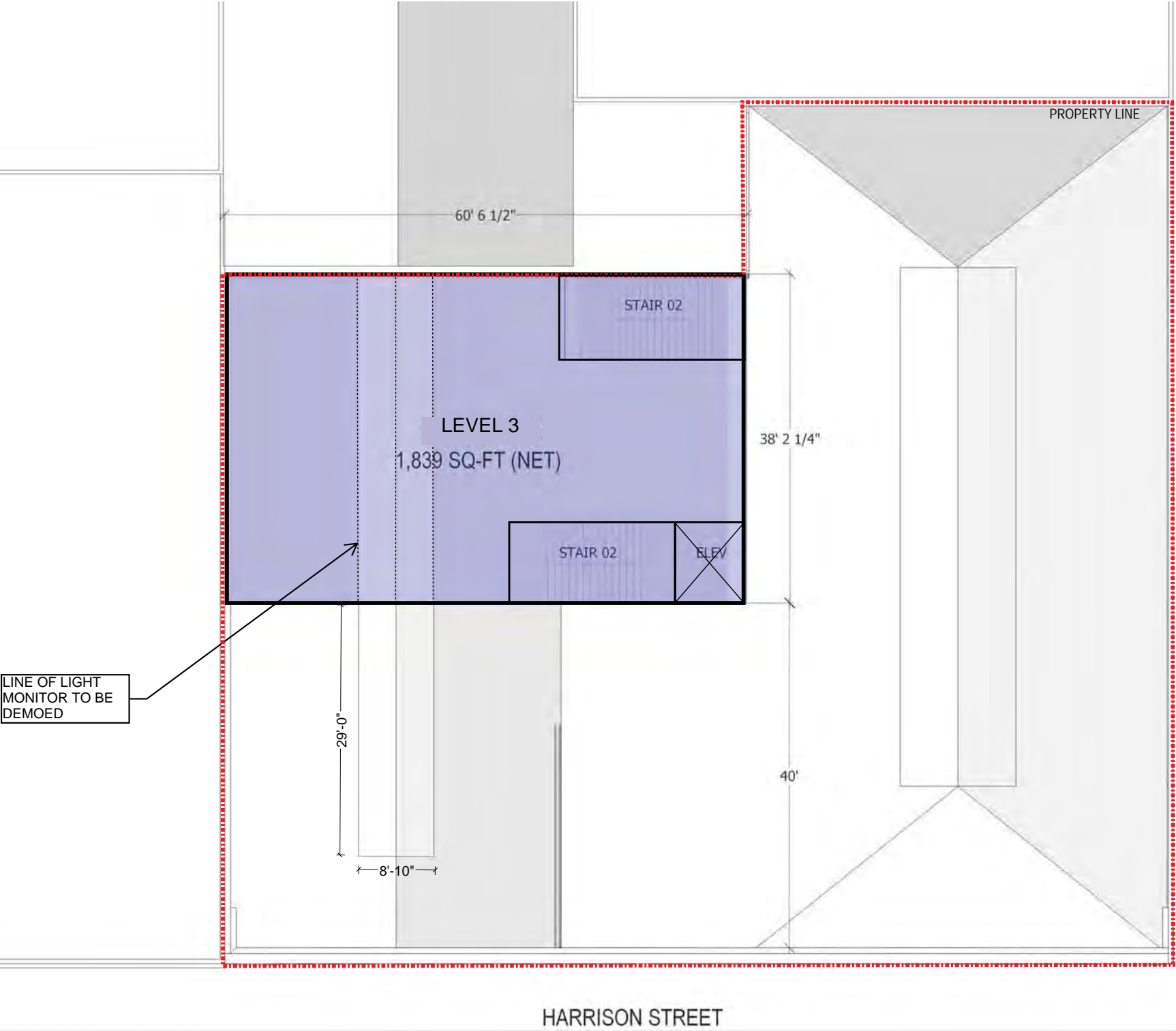
OPTION C - GROUND LVL



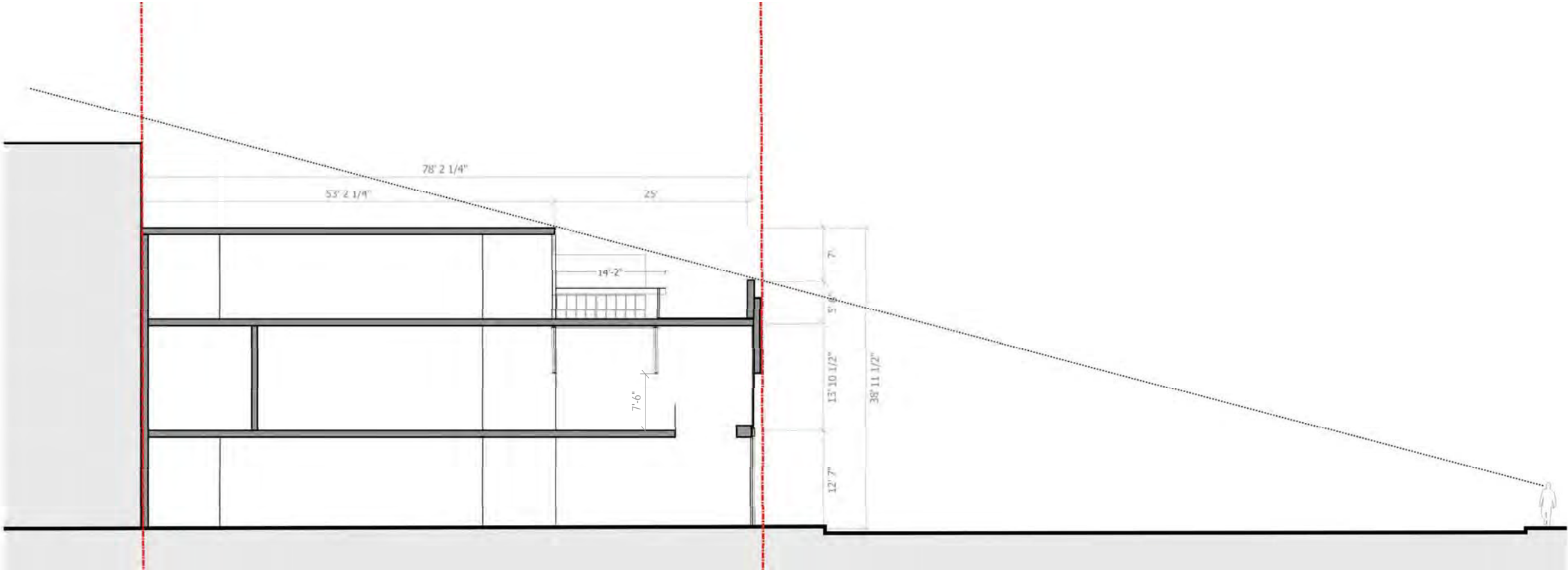
OPTION C - LVL 2



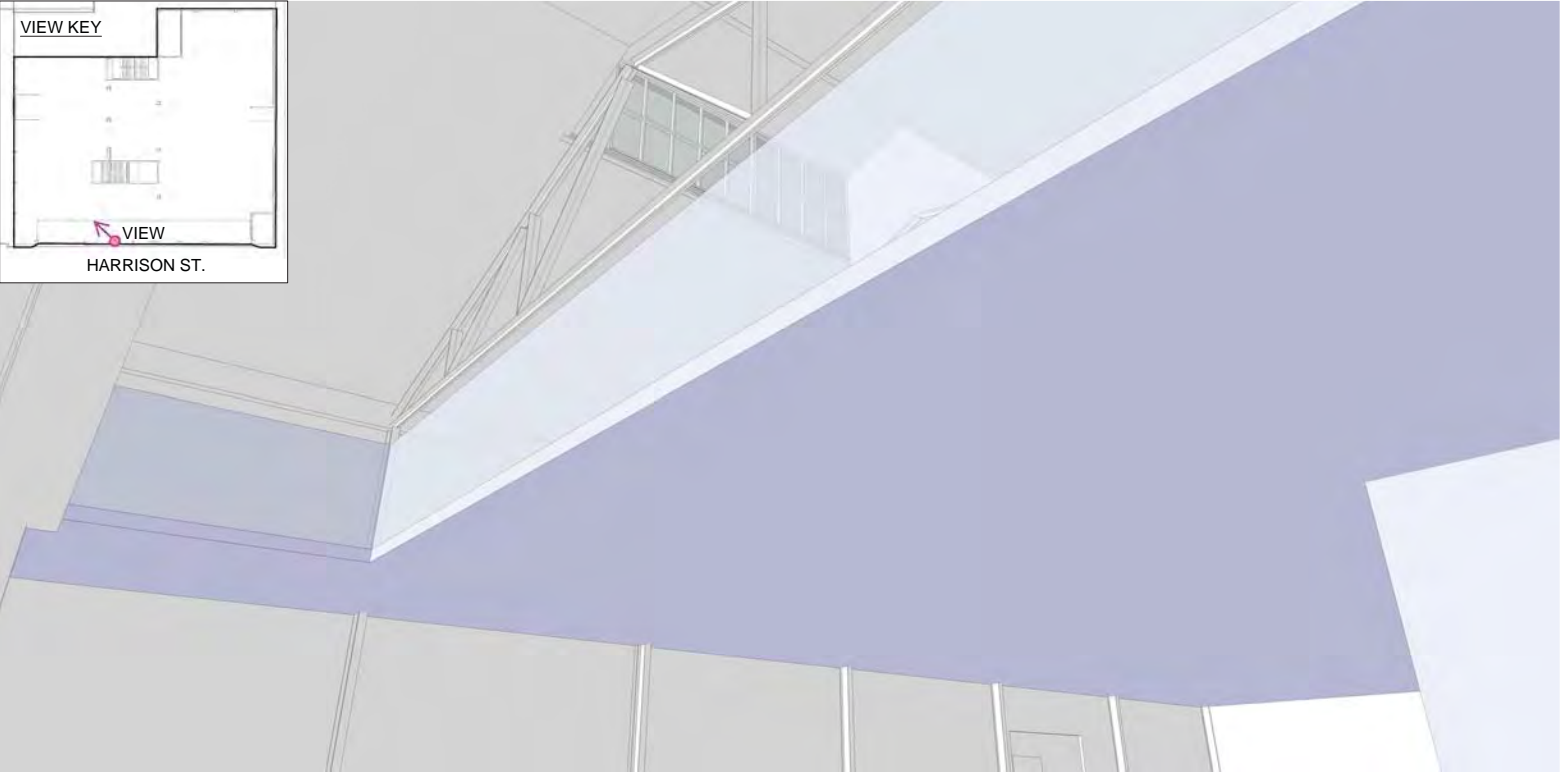
OPTION C - LVL 3



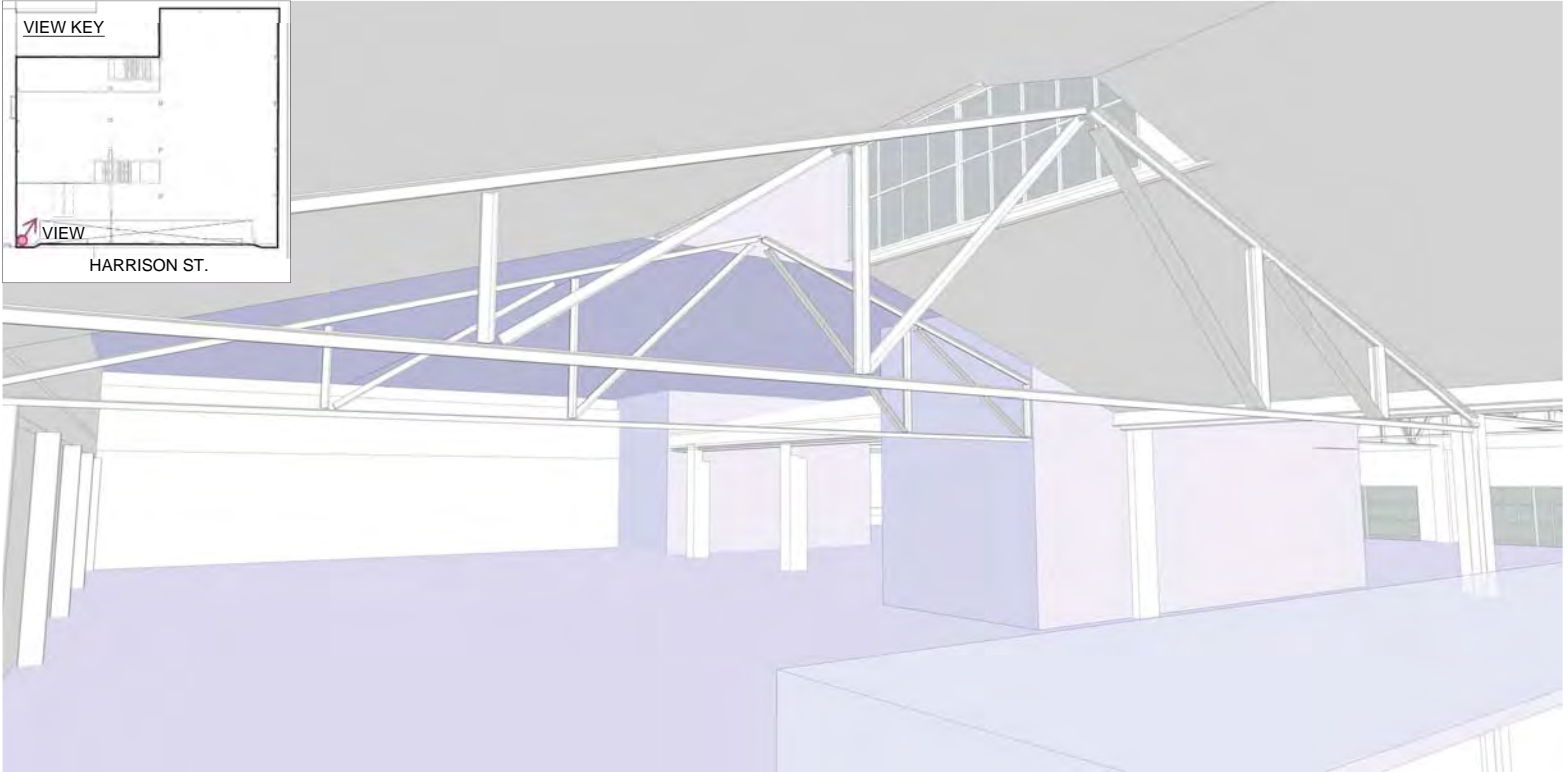
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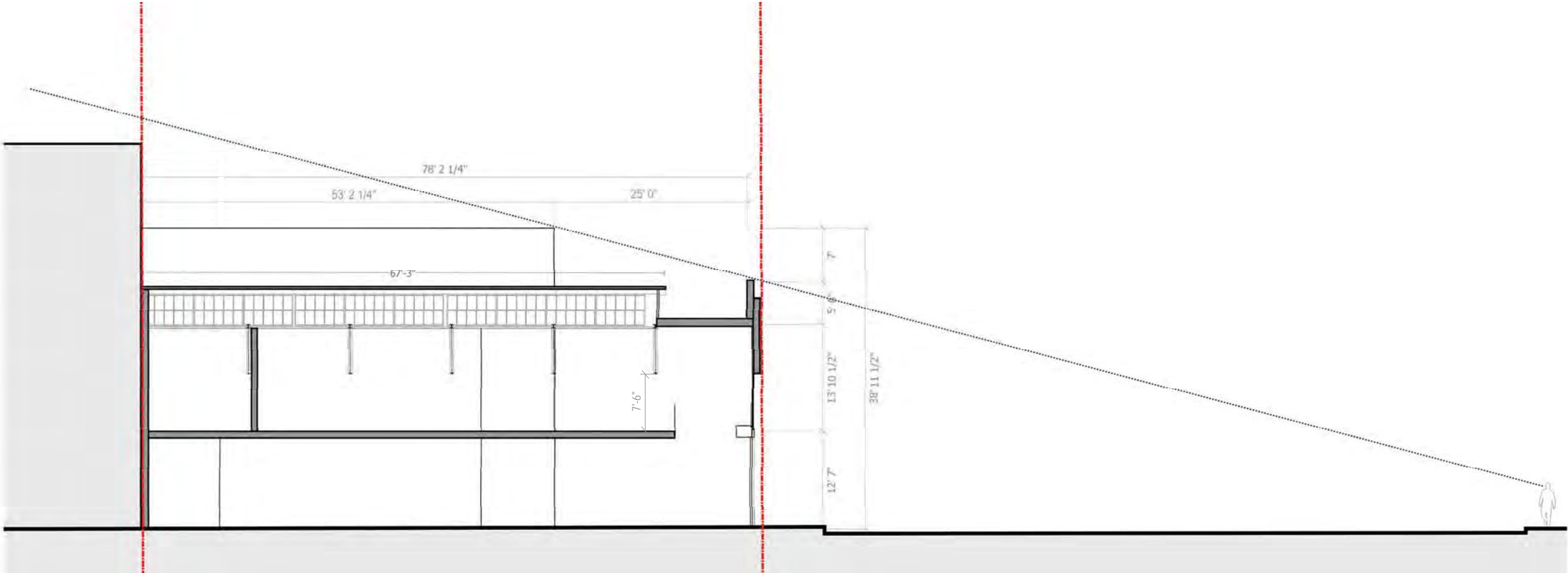
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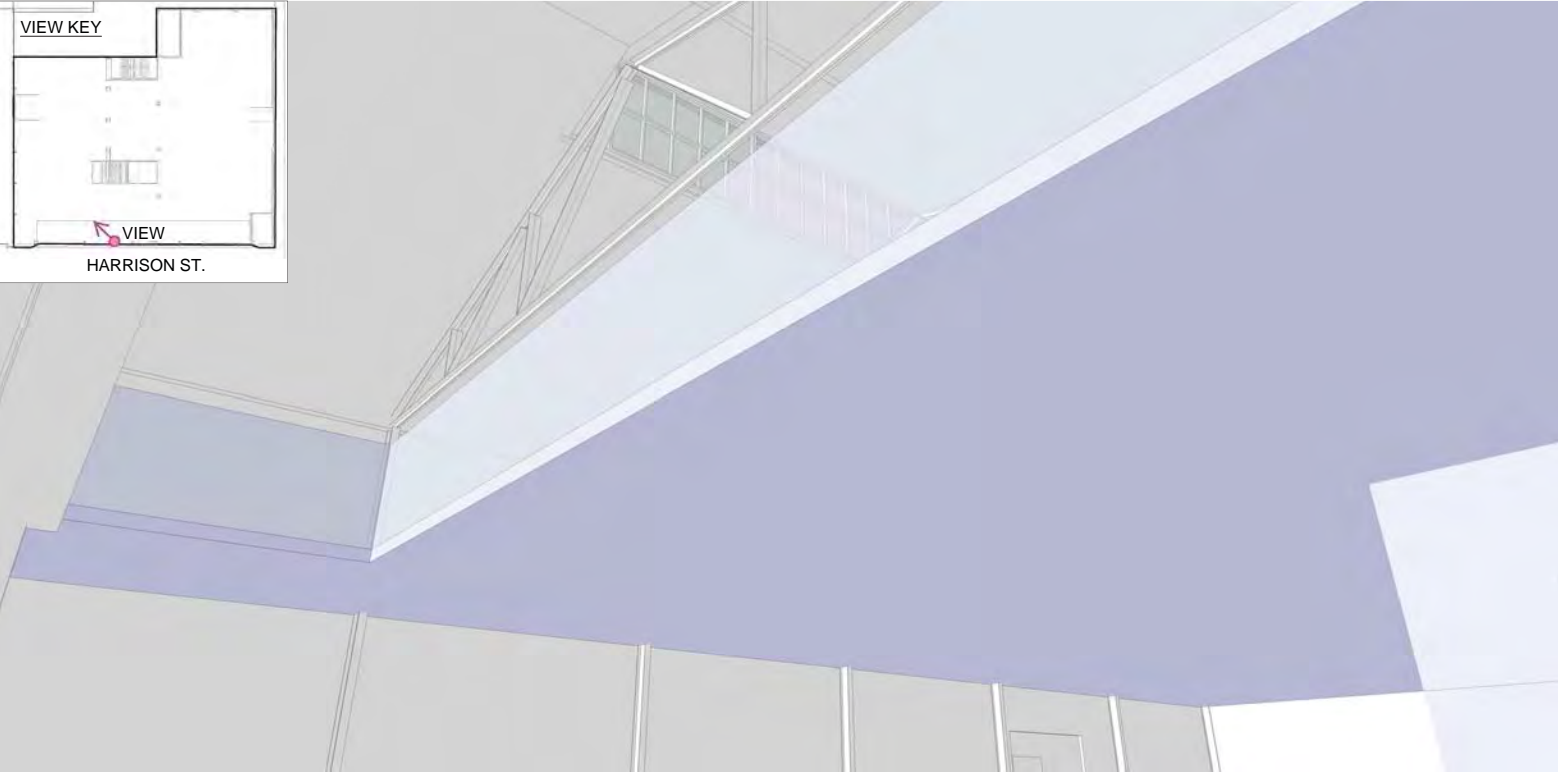
LEVEL 2 PERSPECTIVE



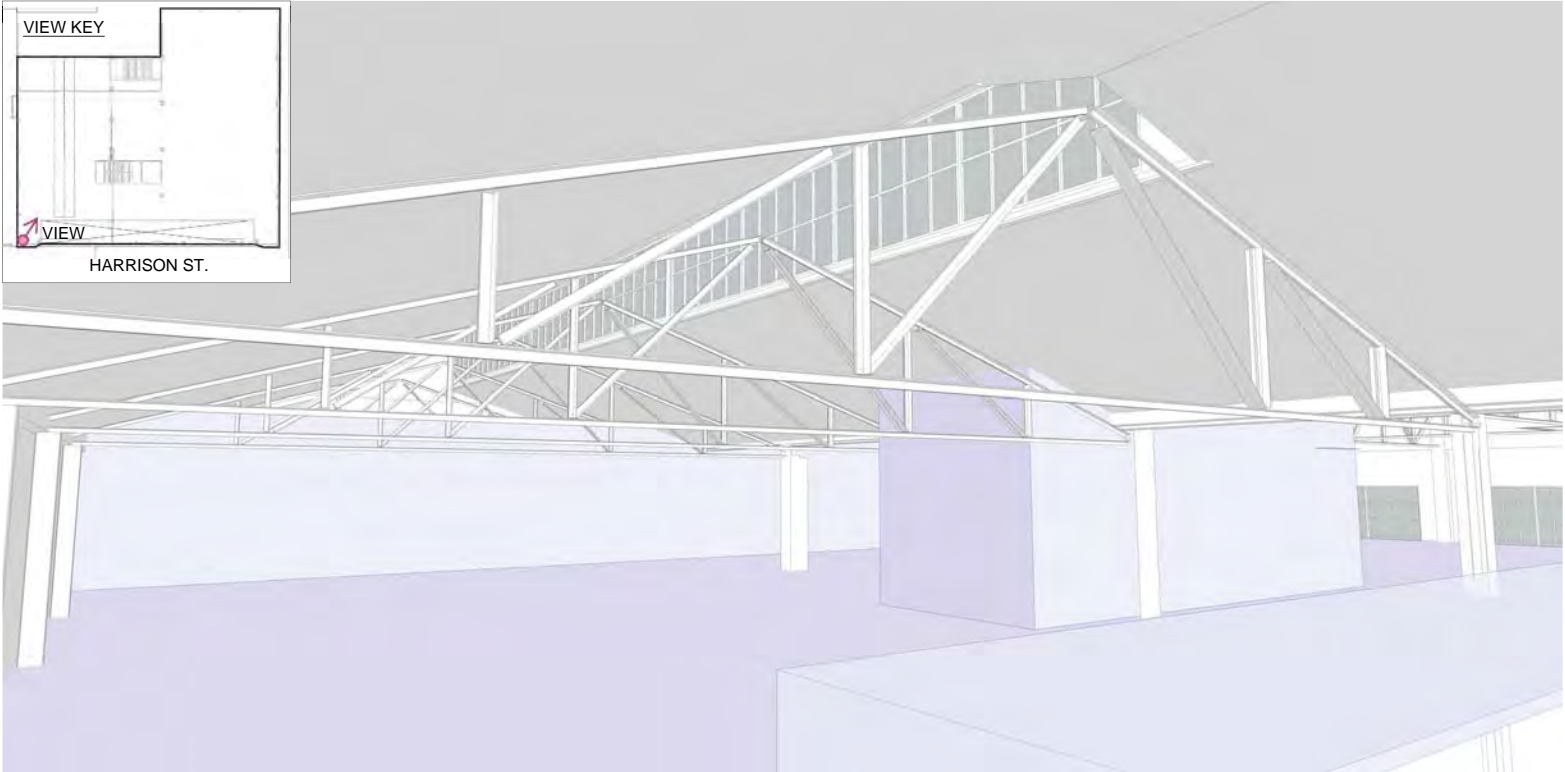
SITE SECTION



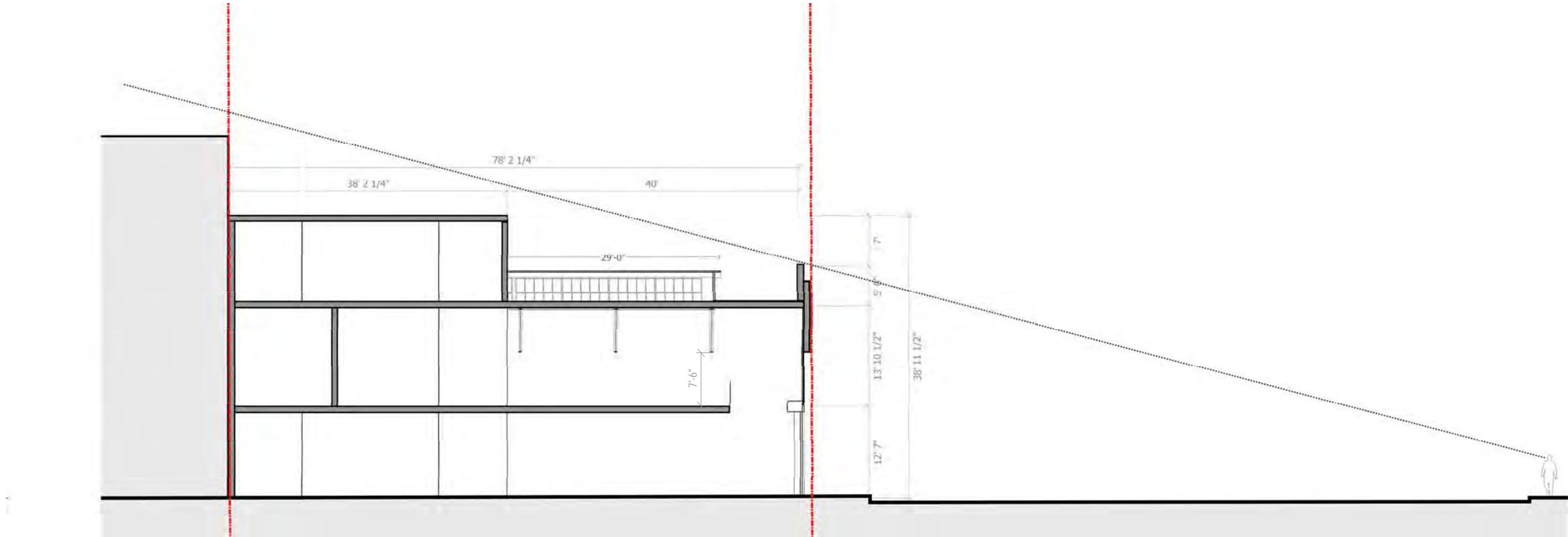
LEVEL 1 PERSPECTIVE



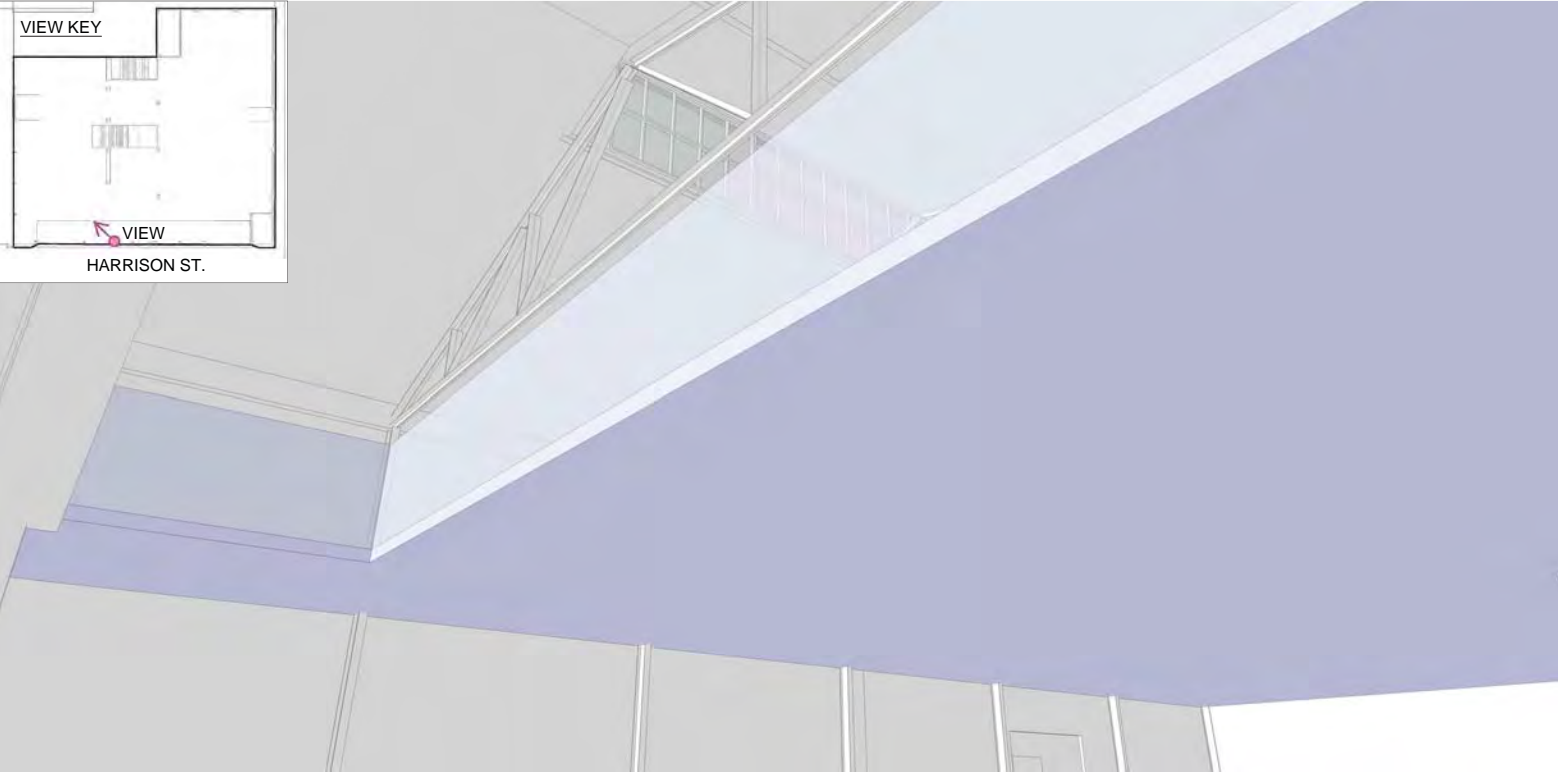
LEVEL 2 PERSPECTIVE



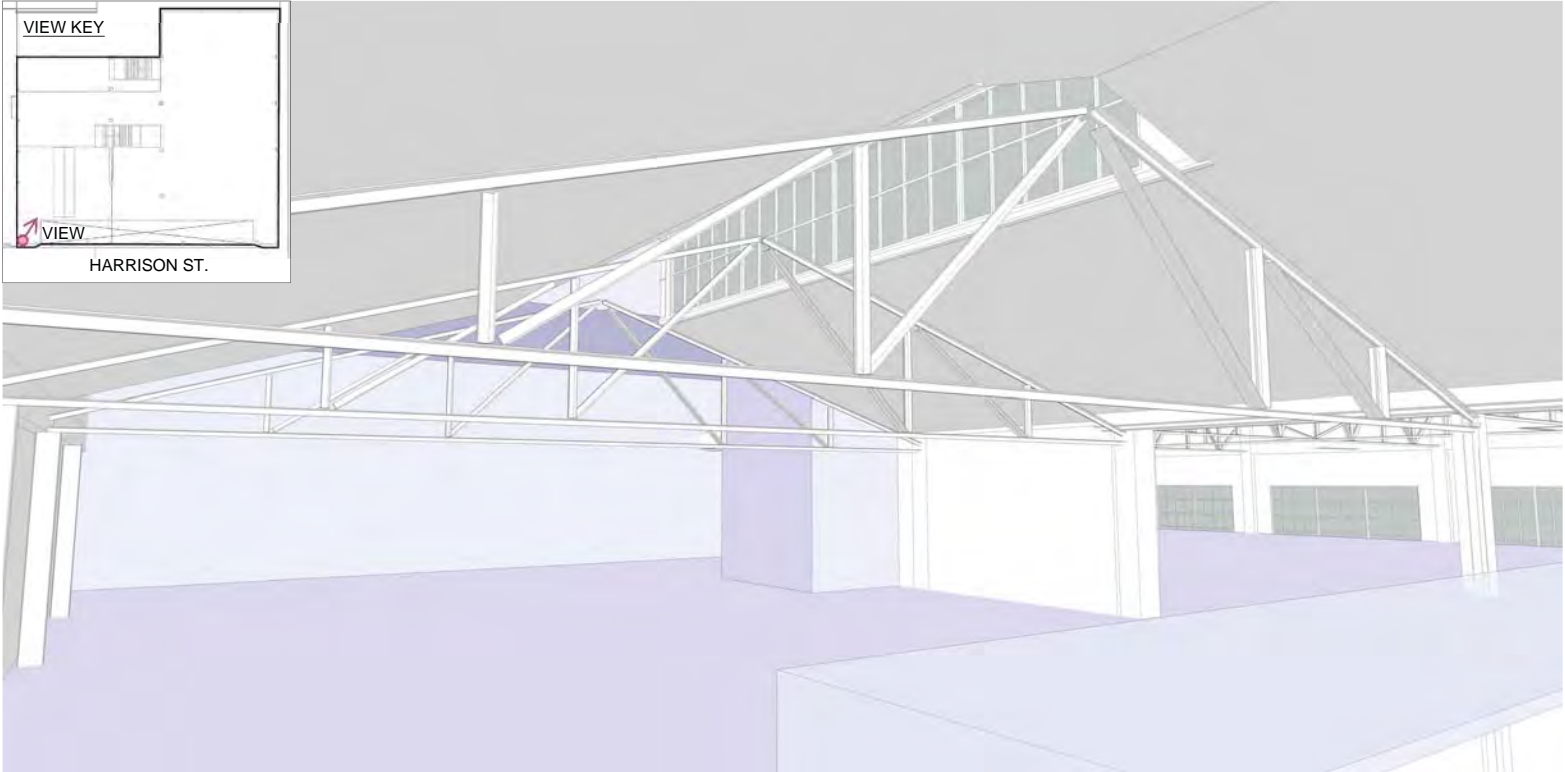
SITE SECTION



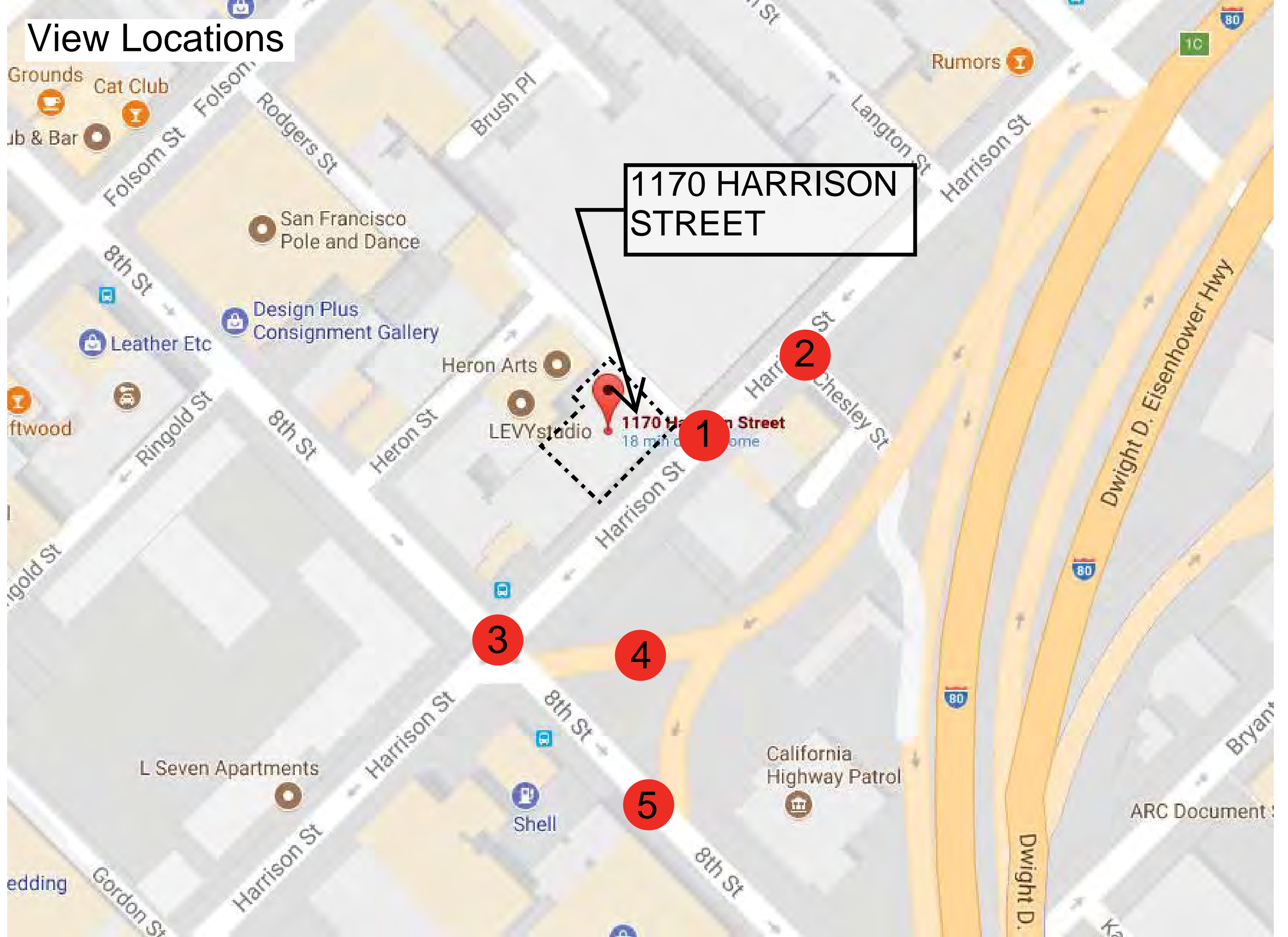
LEVEL 1 PERSPECTIVE



LEVEL 2 PERSPECTIVE



View Locations



View 1 - Existing



View 1 - Option A (Proposed)



View 1 - Option B (Preservation)



View 1 - Option C (Preservation)



View 2 - Existing



View 2 - Option A (Proposed)



View 2 - Option B (Preservation)



View 2 - Option C (Preservation)



View 3 - Existing



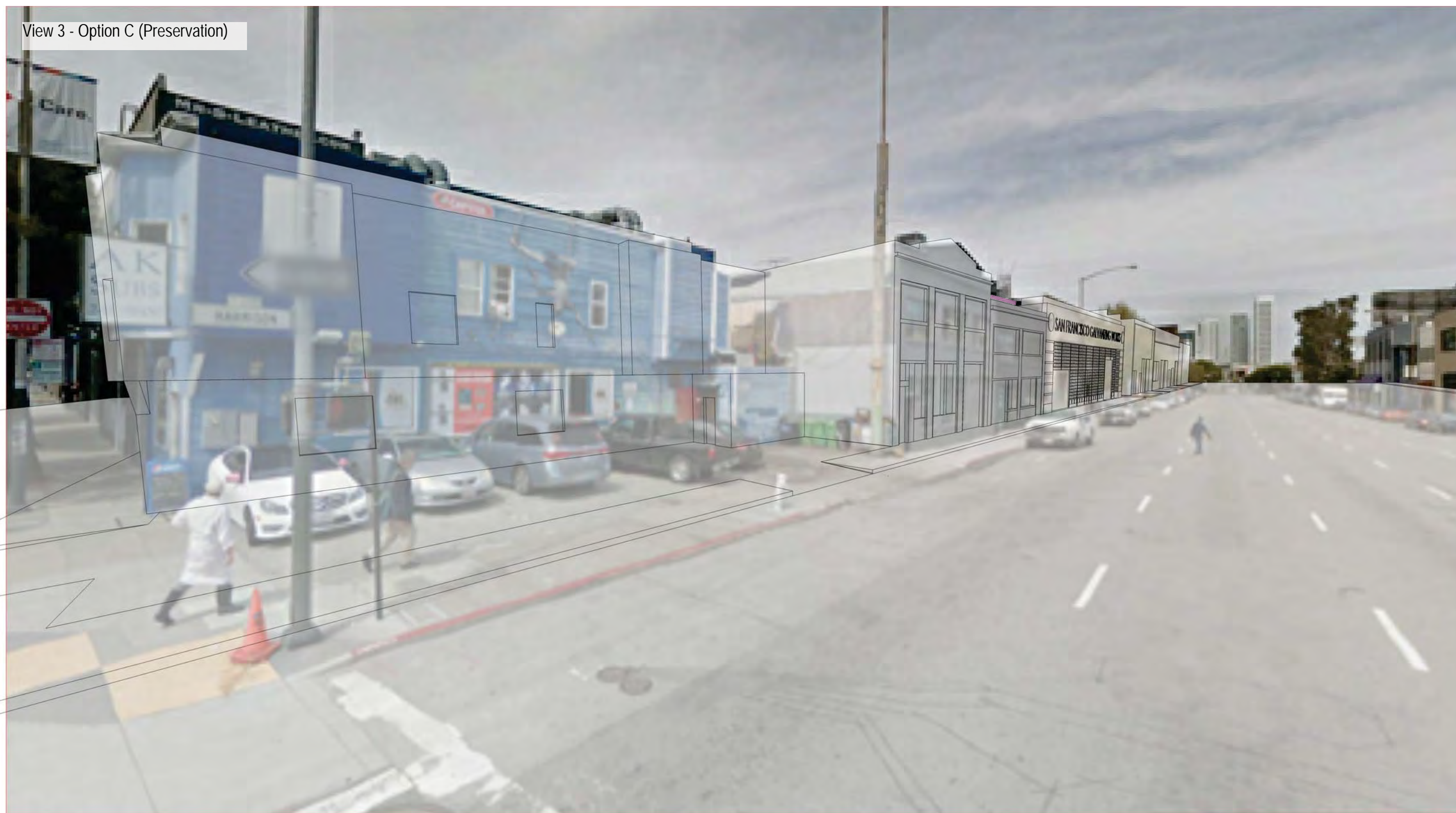
View 3 - Option A (Proposed)



View 3 - Option B (Preservation)



View 3 - Option C (Preservation)



View 4 - Existing



View 4 - Option A (Proposed)



View 4 - Option B (Preservation)



View 4 - Option C (Preservation)



View 5 - Existing



View 5 - Option A (Proposed)

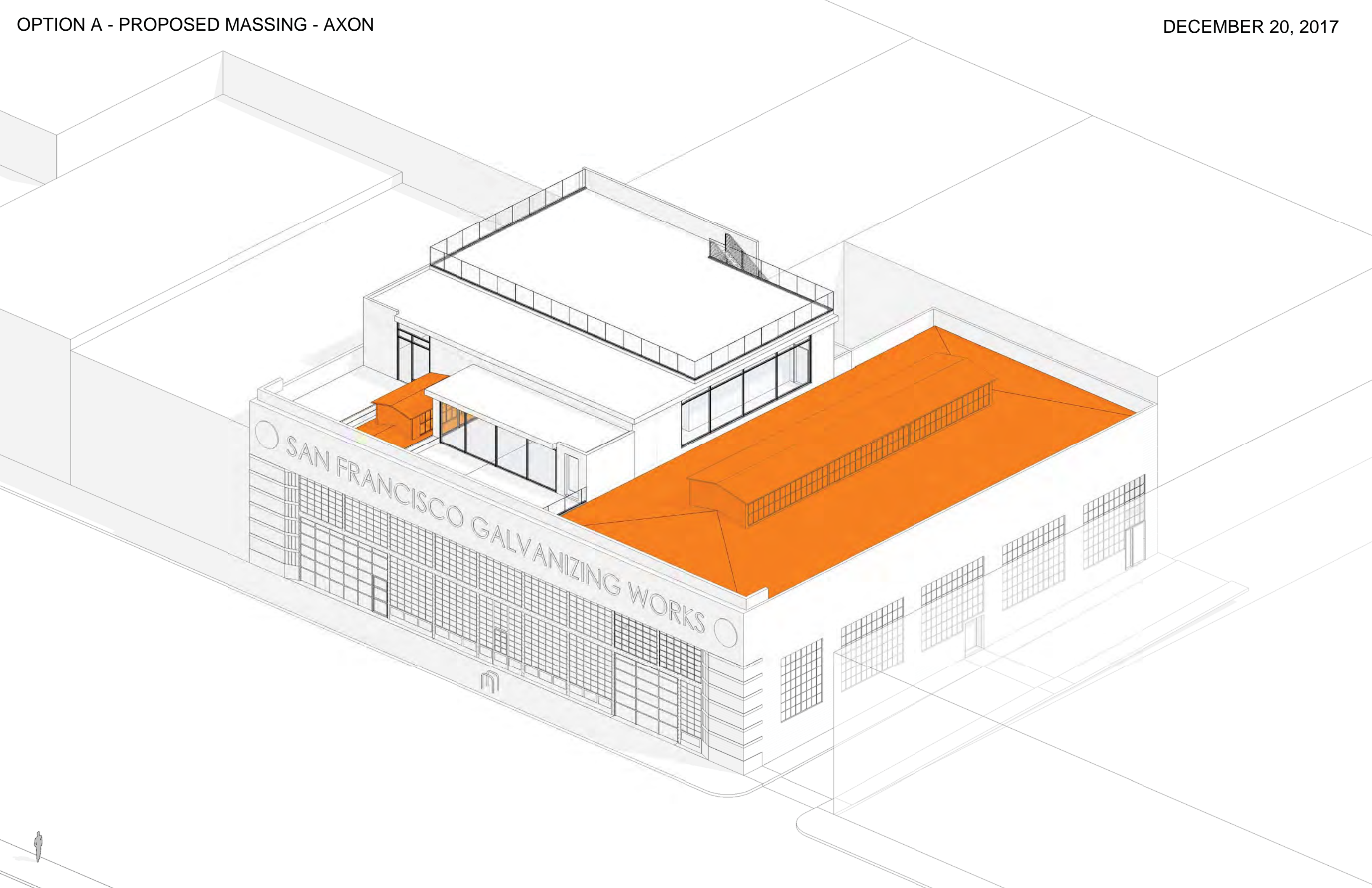


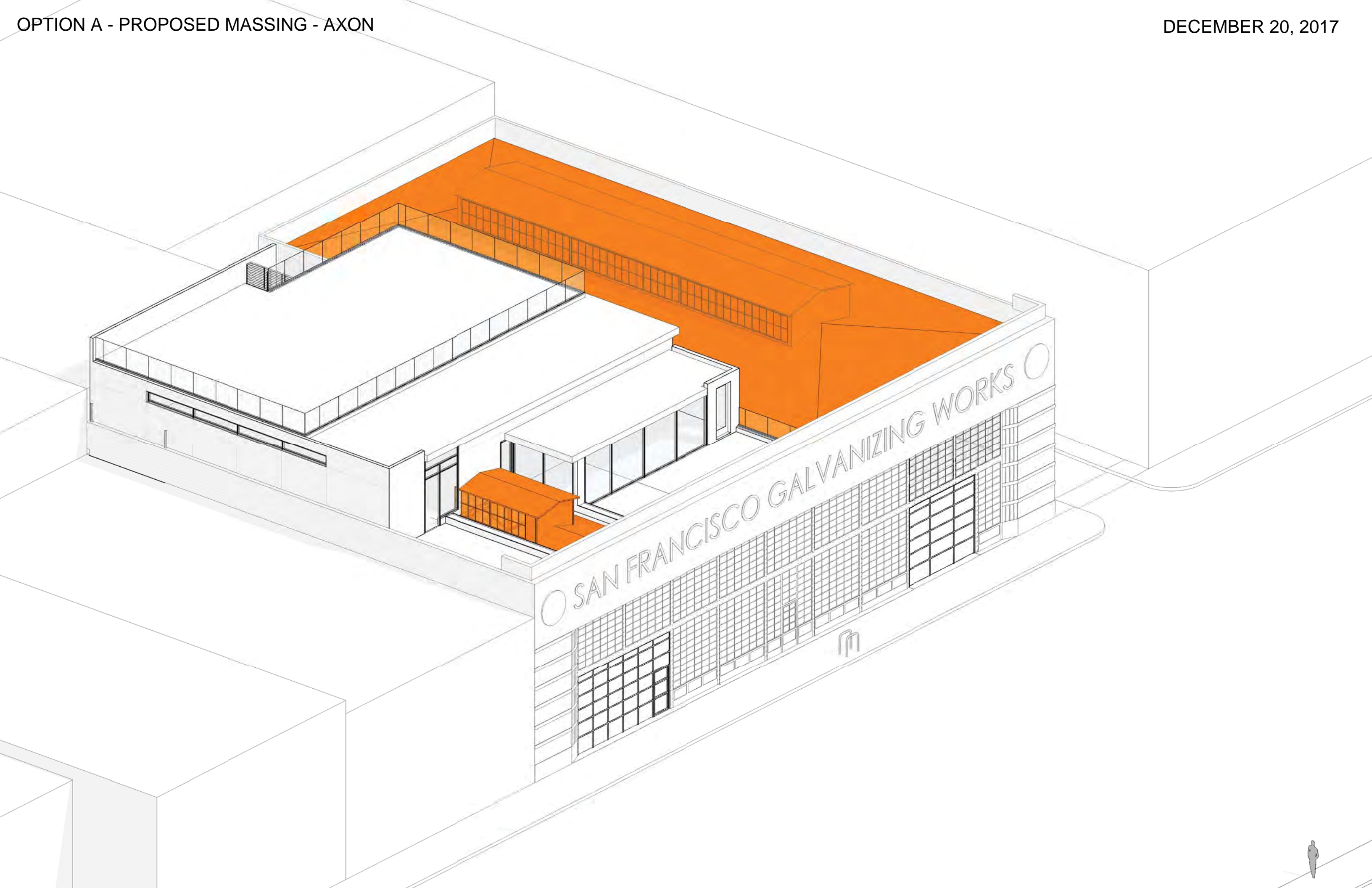
View 5 - Option B (Preservation)

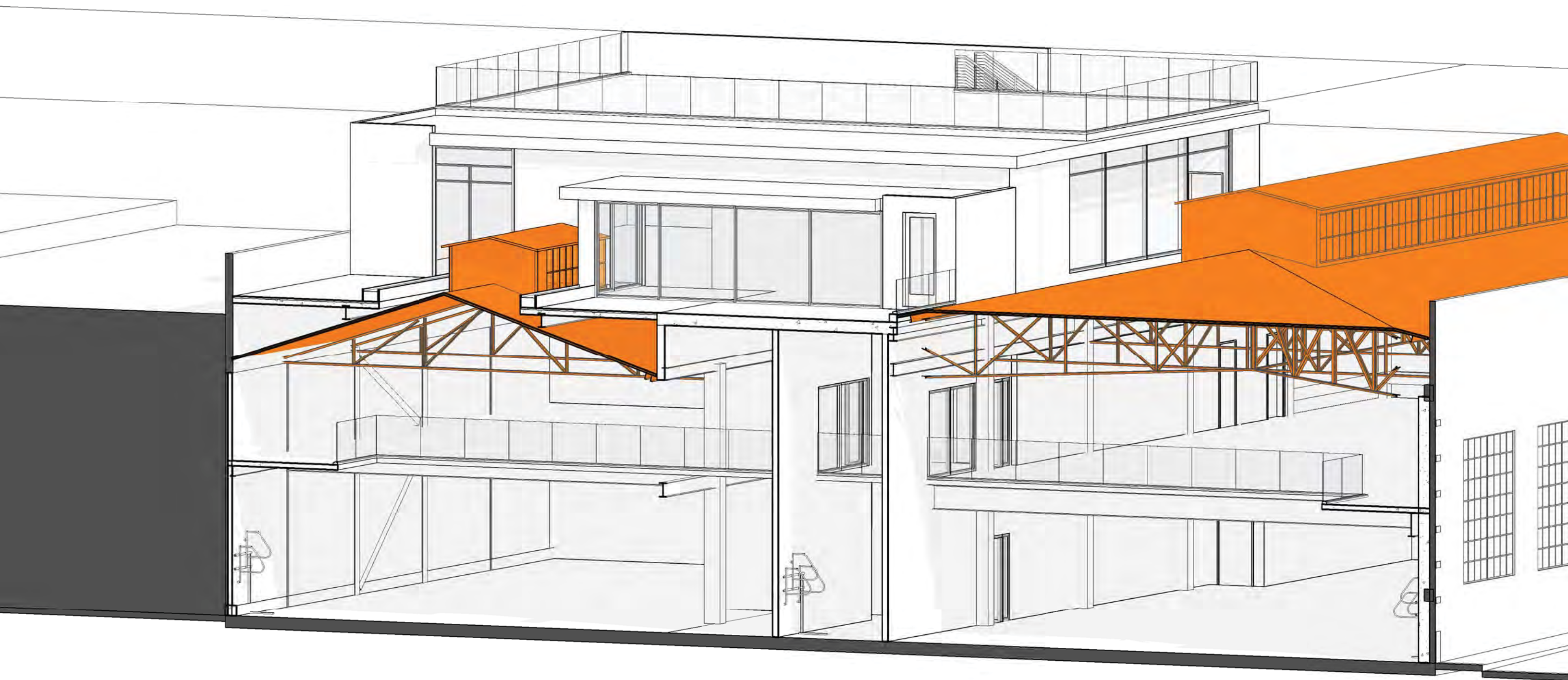


View 5 - Option C (Preservation)



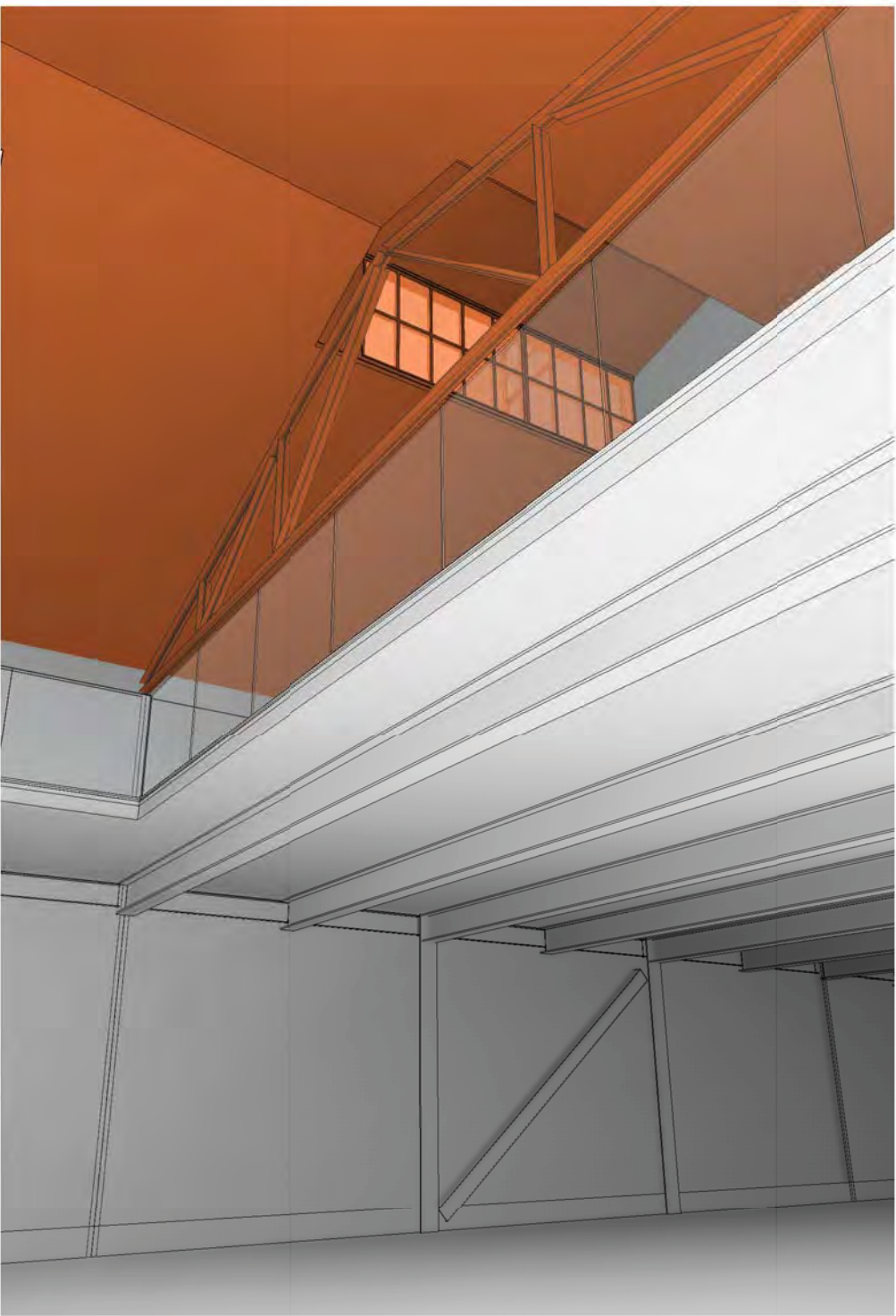




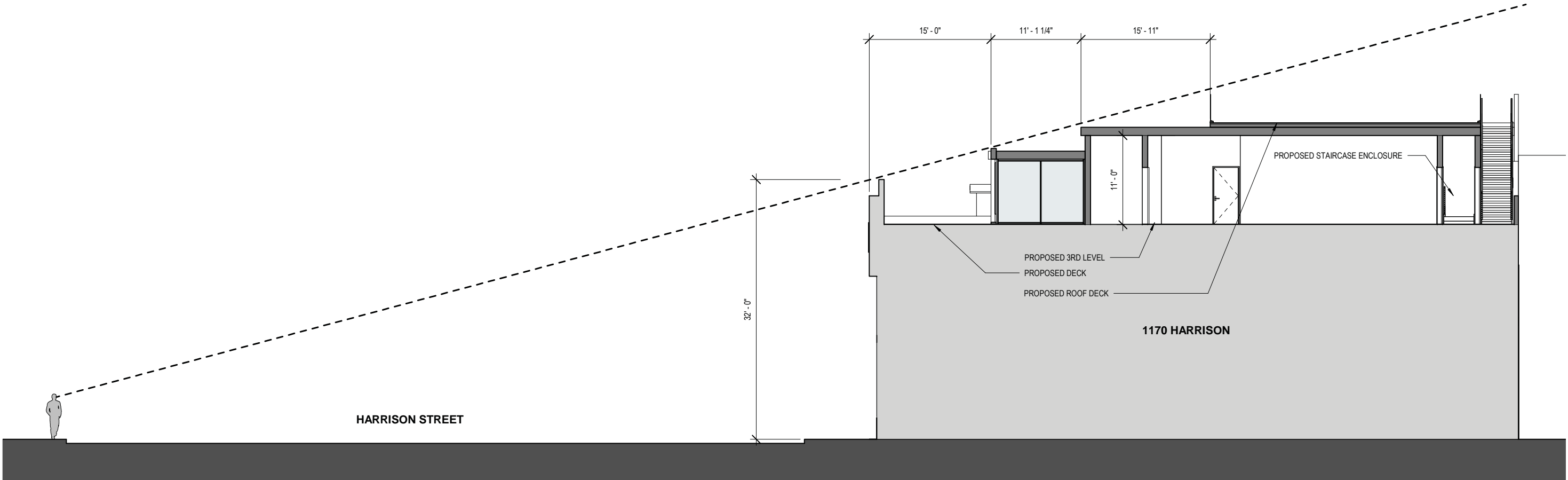


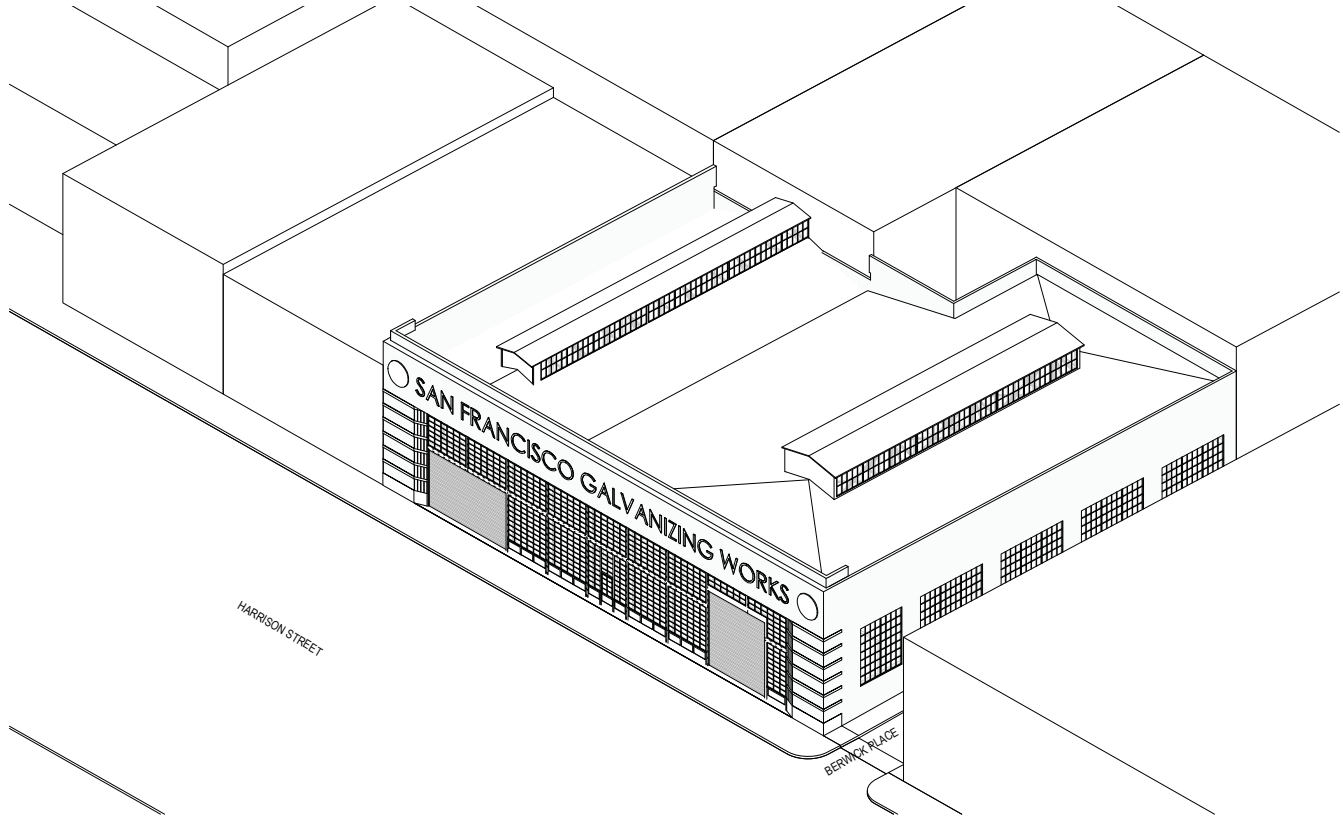


② Primary East Light Monitor
ALL BAYS TOTALING 97'-6" AND ALL ORIGINAL LIGHT TRUSSES

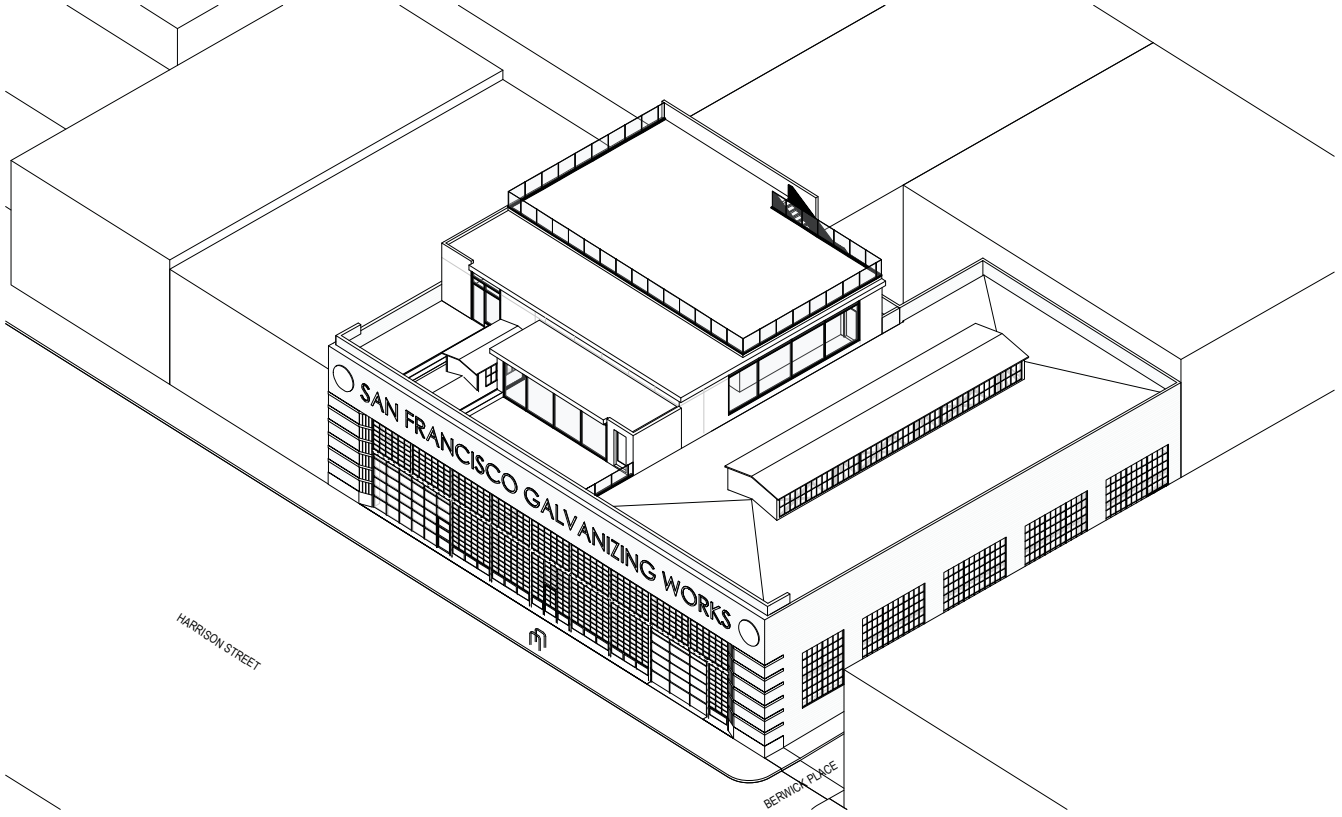


① Secondary West Light Monitor
2 BAYS TOTALING 24'-10" AND 2 ORIGINAL TRUSSES





④ Axonometric View- Existing



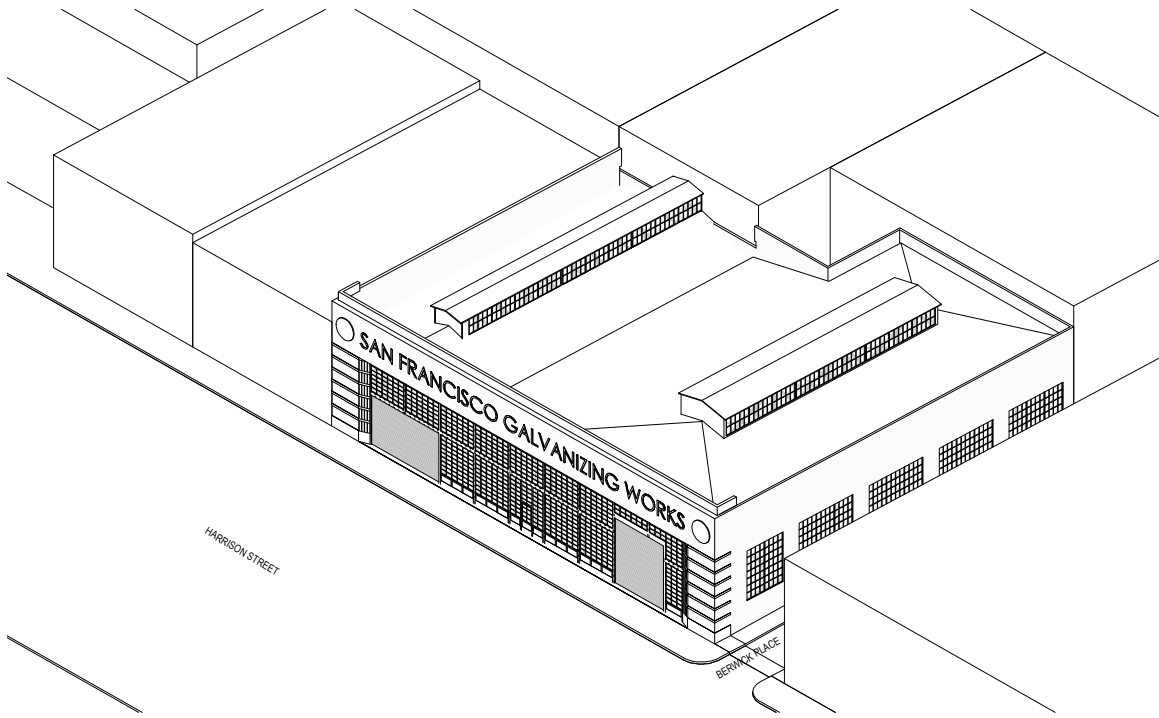
③ Axonometric View- Proposed



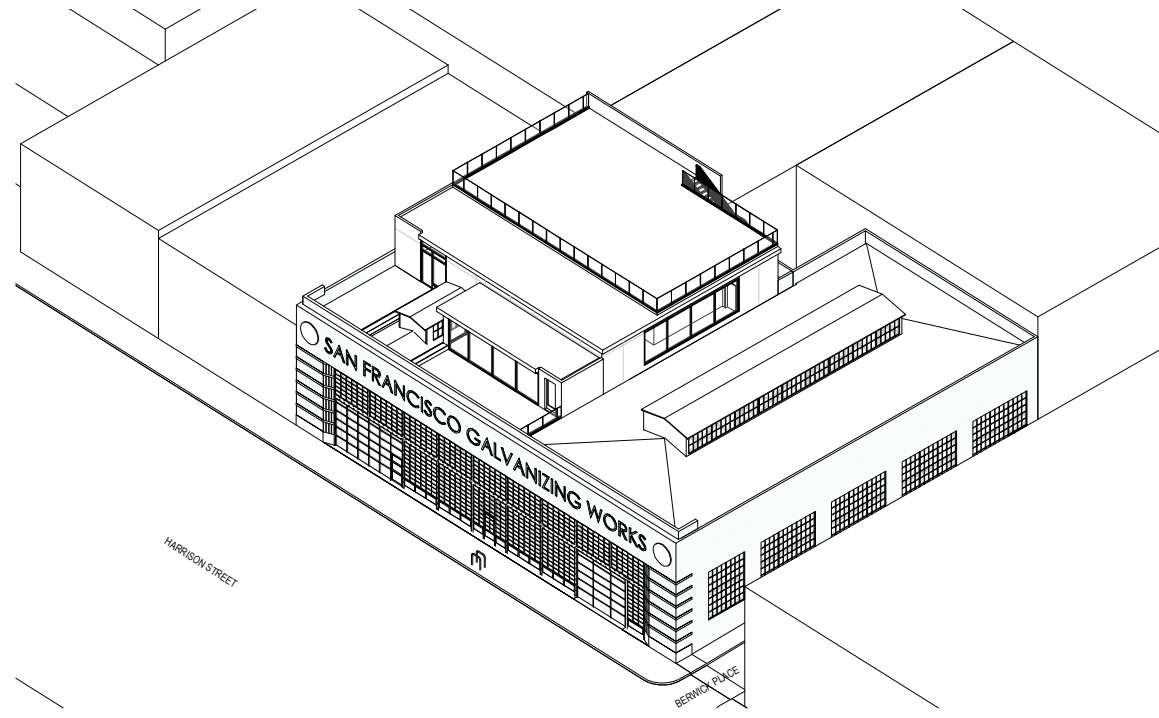
② Harrison Street View Looking North- Existing



① Harrison Street View Looking North- Proposed



④ Axonometric View- Existing



③ Axonometric View- Proposed



② Harrison Street View Looking North- Existing



① Harrison Street View Looking North- Proposed

workshop¹

development, architecture and brokerage in one practice.

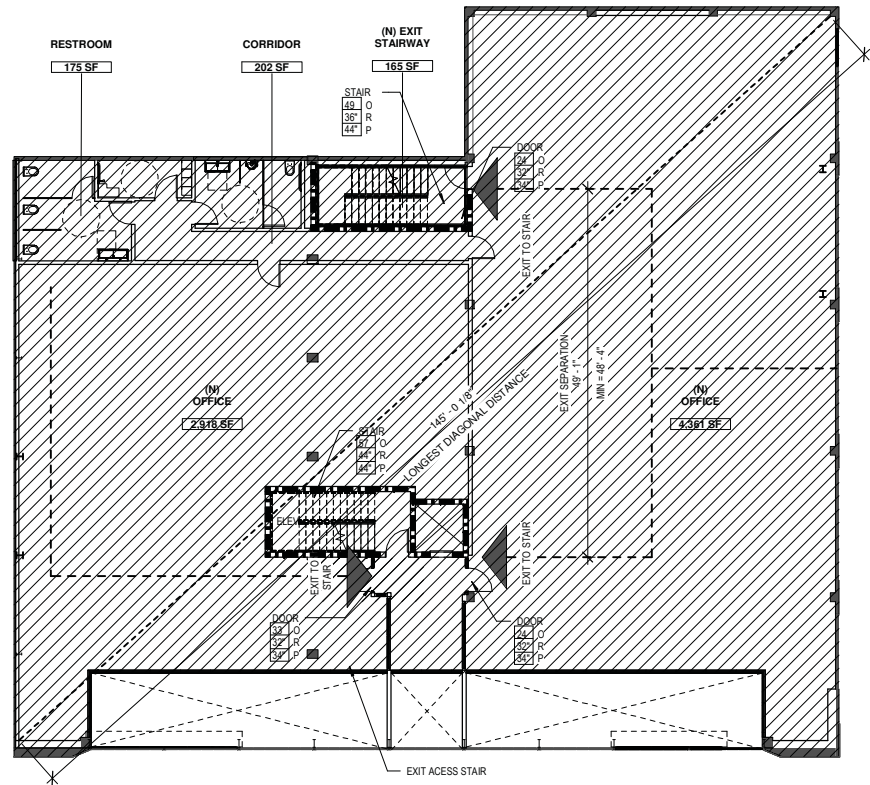
1170 Harrison Street

1170 Harrison St., San Francisco, CA 94107

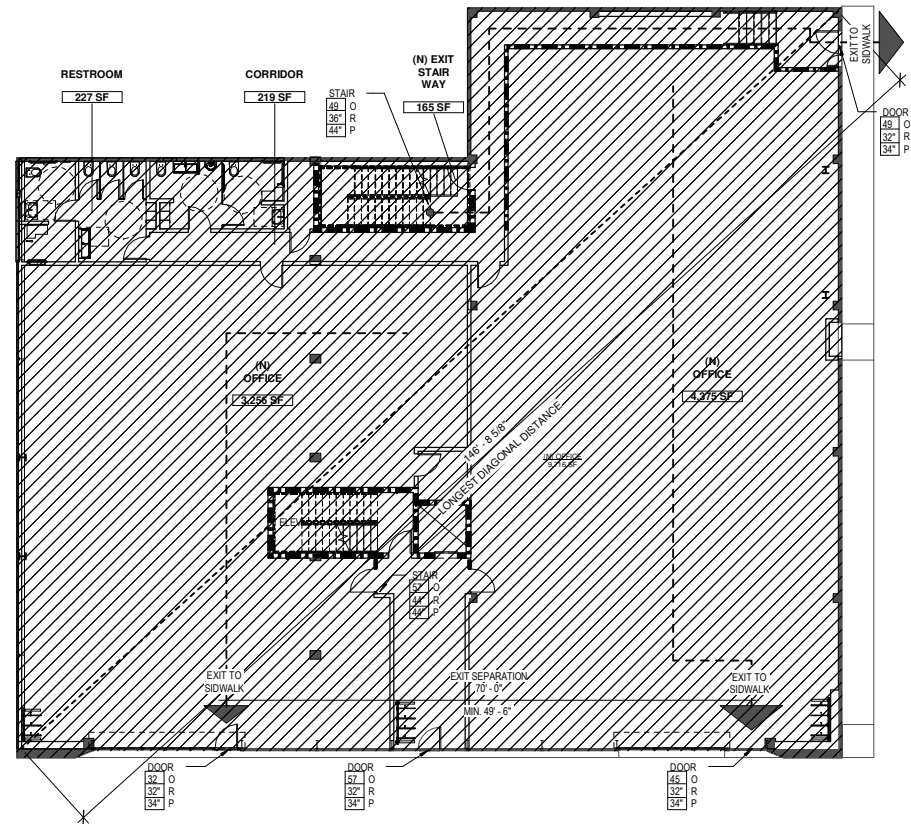
Issues/ Revisions		
Issue #	Description	Date
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Print Date: 12/20/2017 11:42:35 AM		
Drawn By: OC		
Checked By: TOL		
Scale:		
All drawings and written material appearing herein constitute original and unpublished work of the Architect and may not be duplicated, used or disclosed without written consent of the Architect.		

3D Views

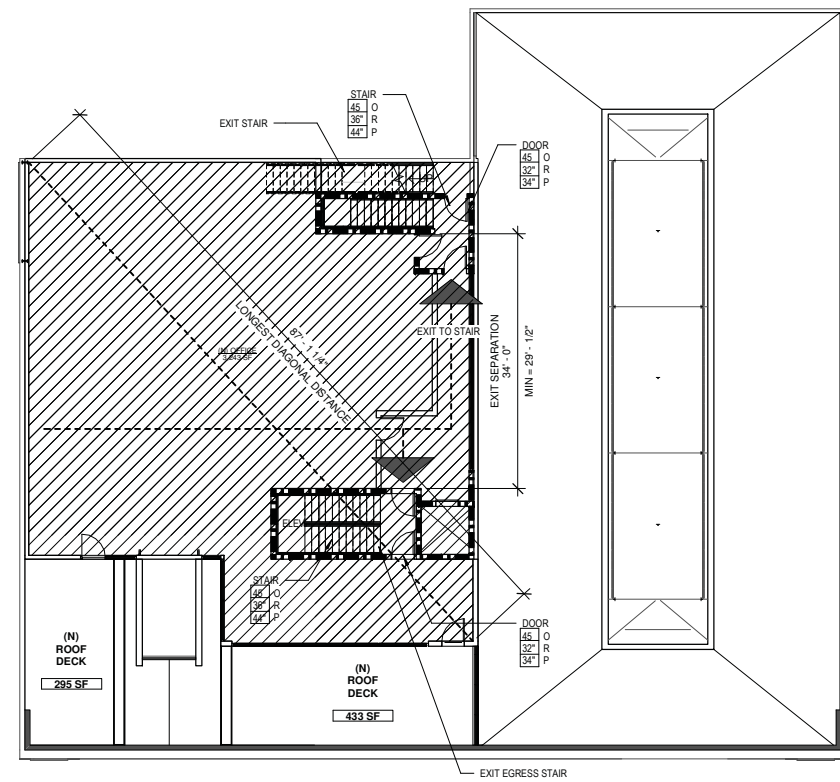
A0.05



② Level 2 - Occupancy
3/32" = 1'-0"



① (E) Slab Level - Occupancy
3/32" = 1'-0"



③ Level 3 - Occupancy
3/32" = 1'-0"

PLUMBING FIXTURE LOAD SCHEDULE

Name	Occp. Type	Occp. Function	Area	Plumbing Factor	Plumbing Load	Comments
(E) Slab Level						
Common						
Corridor	B		211 SF	0		Non-Simultaneous Occupancy
Elev.	B		55 SF	0		Shaft
Exit Corridor	B		364 SF	0		Non-Simultaneous Occupancy
Exit Stair	B		245 SF	0		
Lobby	B	Office	565 SF	0		Non-Simultaneous Occupancy
					0	
Office						
Elec. Rm.	B	Aux. Storage	61 SF	0		Gross Load Factor
OFFICE 1	B	Office	3,224 SF	200	16	Gross Load Factor
OFFICE 2	B	Office	4,513 SF	200	23	Gross Load Factor
Restroom	B	Restroom	173 SF	0		Non-Simultaneous Occupancy
Restroom	B	Restroom	251 SF	0		Non-Simultaneous Occupancy
Utility	B	Aux. Storage	39 SF	0		Gross Load Factor
					39	
Level 2						
Common						
Corridor	B		234 SF	0		Non-Simultaneous Occupancy
Exit Stair	B		201 SF	0		Non-Simultaneous Occupancy
					0	
Office						
OFFICE 3	B	Office	4,910 SF	200	25	Gross Load Factor
OFFICE 4	B	Office	3,323 SF	200	17	Gross Load Factor
Restroom	B	Restroom	138 SF	0		Non-Simultaneous Occupancy
Restroom	B	Restroom	181 SF	0		Non-Simultaneous Occupancy
Shower	B	Restroom	67 SF	0		Non-Simultaneous Occupancy
					42	
(N) Roof Deck						
Common						
Elev. Vestibule			48 SF	0		
Exit Access Stair			116 SF	0		
Roof Deck	B	Deck	1,351 SF	0		Non-Simultaneous Occupancy
					0	
Grand total					81	

PLUMBING FIXTURE COUNT^{a,b}

TOTAL PLUMBING OCCP. LOAD: 82 (41 M + 41 F)

MALE OCCUPANCY: 41

WATER CLOSETS REQ.	3	WATER CLOSETS PROP.	3 ^d
URINALS REQ.	0	URINALS PROP.	2
LAVATORIES REQ.	2	LAVATORIES PROP.	3
		SHOWERS PROP.	1
FEMALE OCCUPANCY:		41	
WATER CLOSETS REQ.	3	WATER CLOSETS PROP.	7 ^d
LAVATORIES REQ.	2	LAVATORIES PROP.	5 ^d
		SHOWERS PROP.	1
DRINKING FAUCETS REQ.	1	DRINKING FAUCETS PROP.	1
SERVICE SINKS REQ.	1	SERVICE SINKS PROP.	1
		ADDITIONAL SHOWER:	1
PLUMBING REFERENCE NOTES			

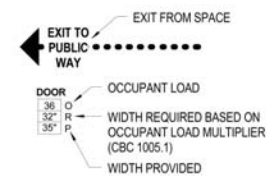
PLUMBING REFERENCE NOTES

- a. REFER TO SAN FRANCISCO PLUMBING CODE 422.1 - FIXTURE COUNT
b. MINIMUM FIXTURE COUNT DETERMINED BY CBC - TABLE 202.1 MINIMUM PLUMBING FACILITIES
c. PLUMBING OCCUPANCY LOAD DETERMINED BY CPC - TABLE A, OCCUPANT LOAD FACTORS

EGRESS OCCUPANCY LOAD SCHEDULE

Name	Occp. Type	Function	Area Rounded	Occp. Factor	Occp. Load	Comments
(E) Slab Level						
Common						
Corridor	B		212 SF	100	2	Non-Simultaneous Occupancy
Elev.	B		56 SF	0		Shaft
Exit Corridor	B		365 SF	0		Non-Simultaneous Occupancy
Exit Stair	B		245 SF	0		
Lobby	B	Office	565 SF	100	6	Non-Simultaneous Occupancy
					8	
Office						
Elec. Rm.	B	Aux. Storage	62 SF	300	0	Gross Load Factor
OFFICE 1	B	Office	3,225 SF	100	32	Gross Load Factor
OFFICE 2	B	Office	4,514 SF	100	45	Gross Load Factor
Restroom	B	Restroom	174 SF	100	2	Non-Simultaneous Occupancy
Restroom	B	Restroom	252 SF	100	3	Non-Simultaneous Occupancy
Utility	B	Aux. Storage	39 SF	300	0	Gross Load Factor
					82	
					90	
Level 2						
Common						
Corridor	B		234 SF	100	2	Non-Simultaneous Occupancy
Exit Stair	B		201 SF	0		Non-Simultaneous Occupancy
					2	
Office						
OFFICE 3	B	Office	4,910 SF	100	49	Gross Load Factor
OFFICE 4	B	Office	3,323 SF	100	33	Gross Load Factor
Restroom	B	Restroom	138 SF	100	1	Non-Simultaneous Occupancy
Restroom	B	Restroom	181 SF	100	2	Non-Simultaneous Occupancy
Shower	B	Restroom	68 SF	100	1	Non-Simultaneous Occupancy
					86	
					88	
(N) Roof Deck						
Common						
Elev. Vestibule			48 SF	0		
Exit Access Stair			116 SF	0		
Roof Deck	B	Deck	1,351 SF	15	90	Non-Simultaneous Occupancy
					90	
					90	
TOTAL EGRESS OCCUPANCY						
TOTAL AREA BASED OCCUPANCY:					(90+88)178	
TOTAL FIXED SEATING OCCUPANCY:					0	
TOTAL EGRESS OCCUPANCY:					178	

EGRESS & OCCUPANCY LEGEND



workshop

development, architecture and landscape in one practice

1170 Harrison Street

1170 Harrison St., San Francisco, CA 94107

Issues/ Revisions

Issue # Description Date

Print Date: 12/20/2017 11:42:37 AM

Drawn By: Author

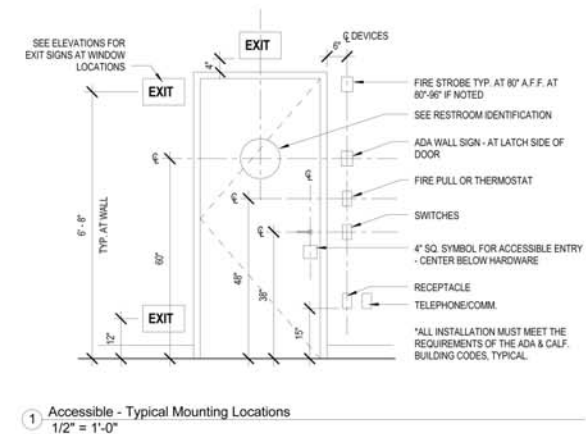
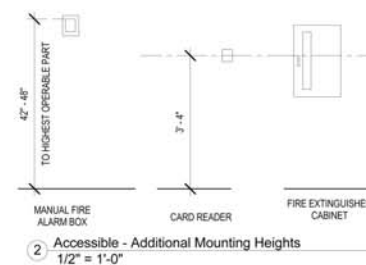
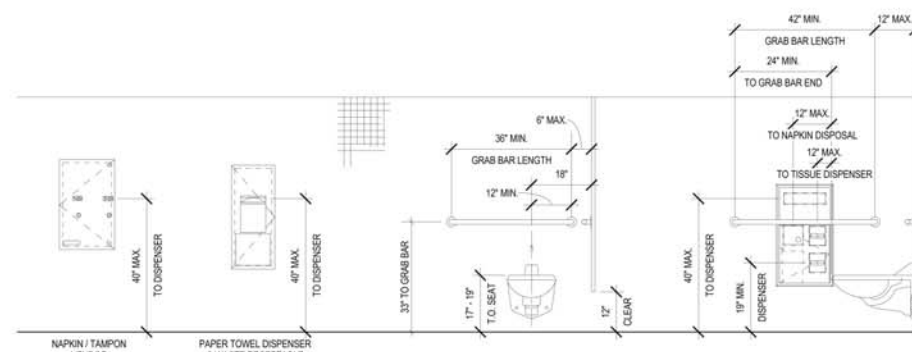
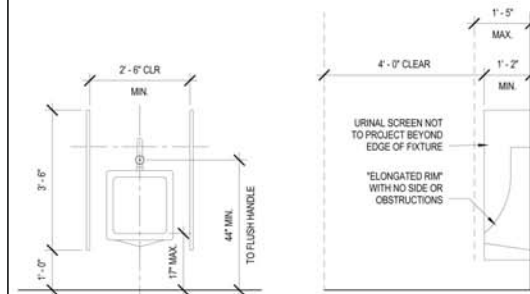
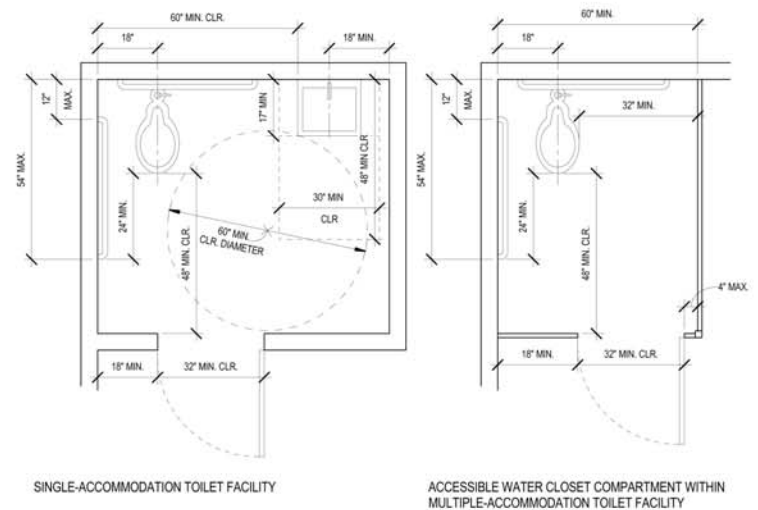
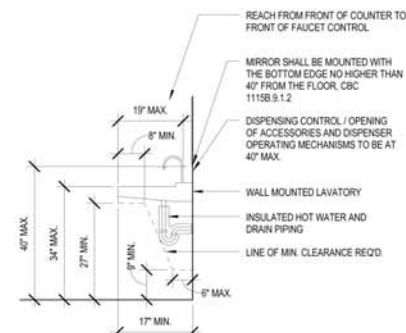
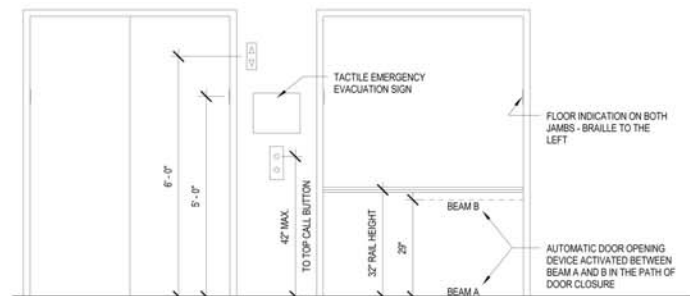
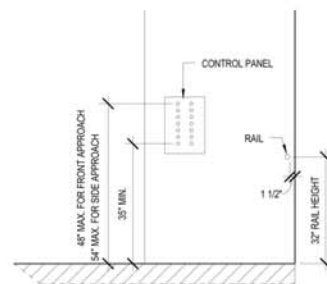
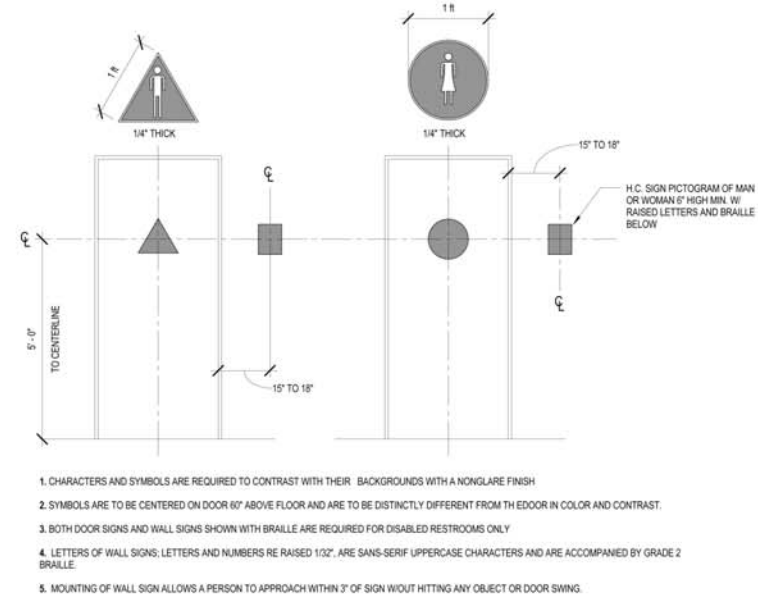
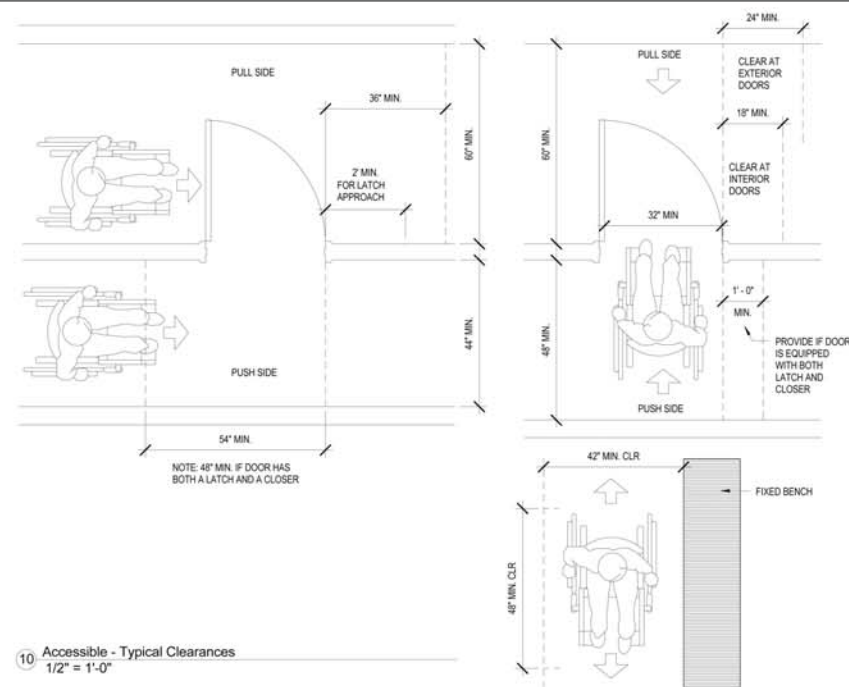
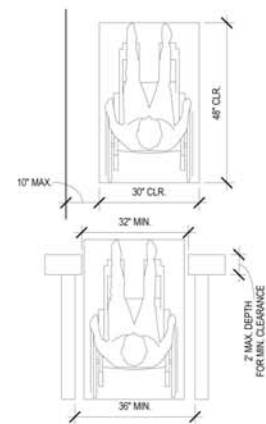
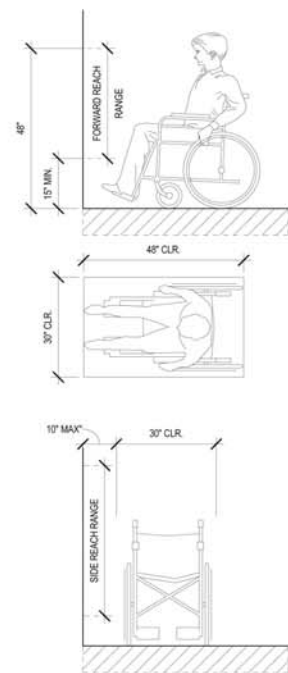
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Occupancy, Egress, and Fixture Count

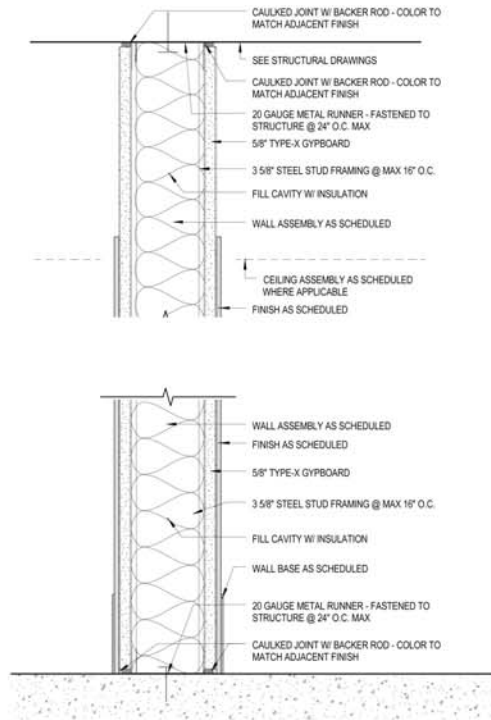
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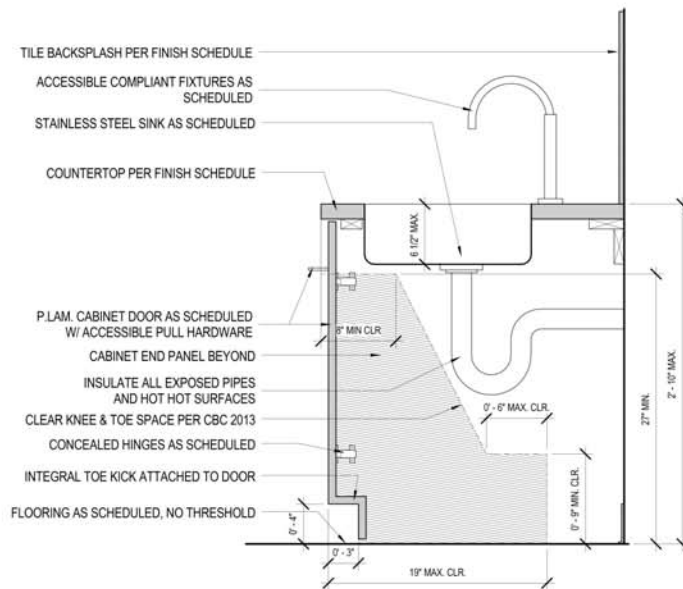
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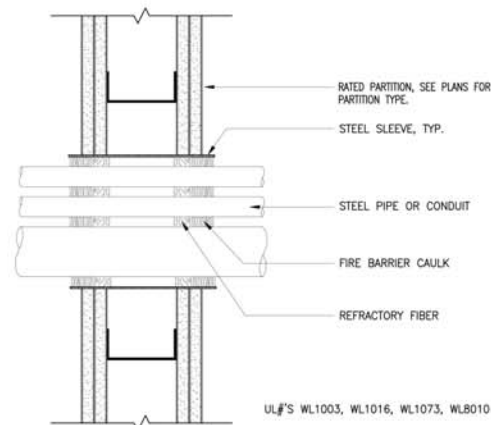
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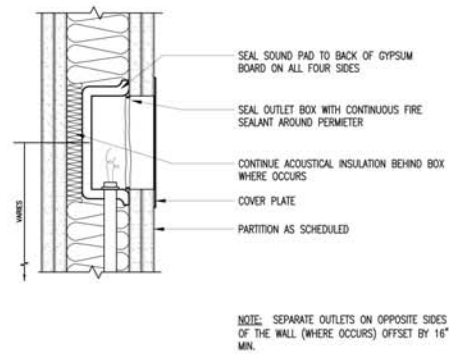
7 Full Height Partition, Typ.
3" = 1'-0"



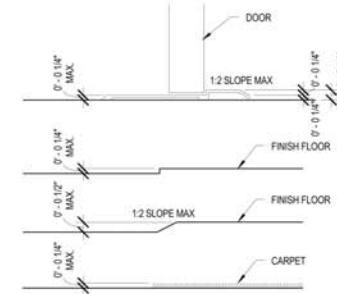
6 Typical - Base Cabinet with Sink
1 1/2" = 1'-0"



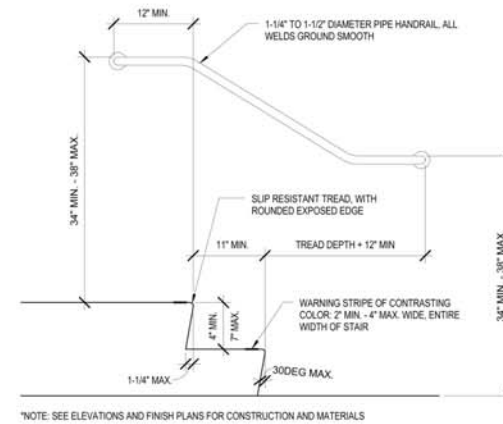
5 Pipe Conduit Through Rated Partition
3" = 1'-0"



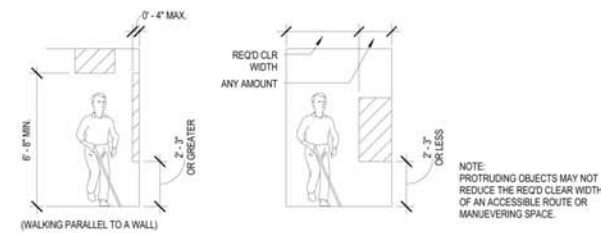
4 Outlet in Rated Partition
3" = 1'-0"



3 Typical - Change in Elevation
3" = 1'-0"



2 Typical - Stair and Handrail Details
1" = 1'-0"



1 Typical - Protruding Objects and Overhead Hazards
1/4" = 1'-0"

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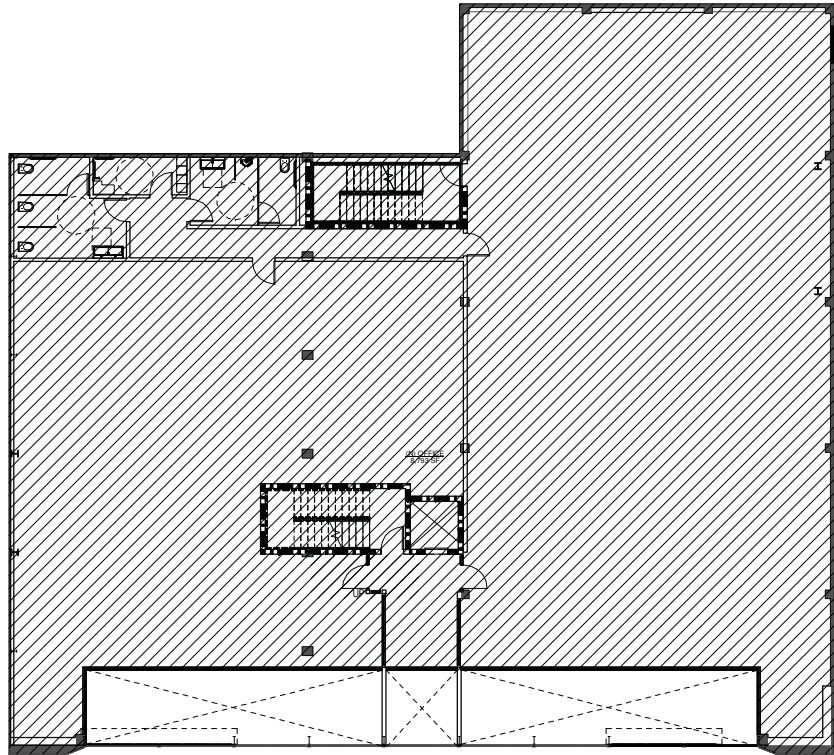
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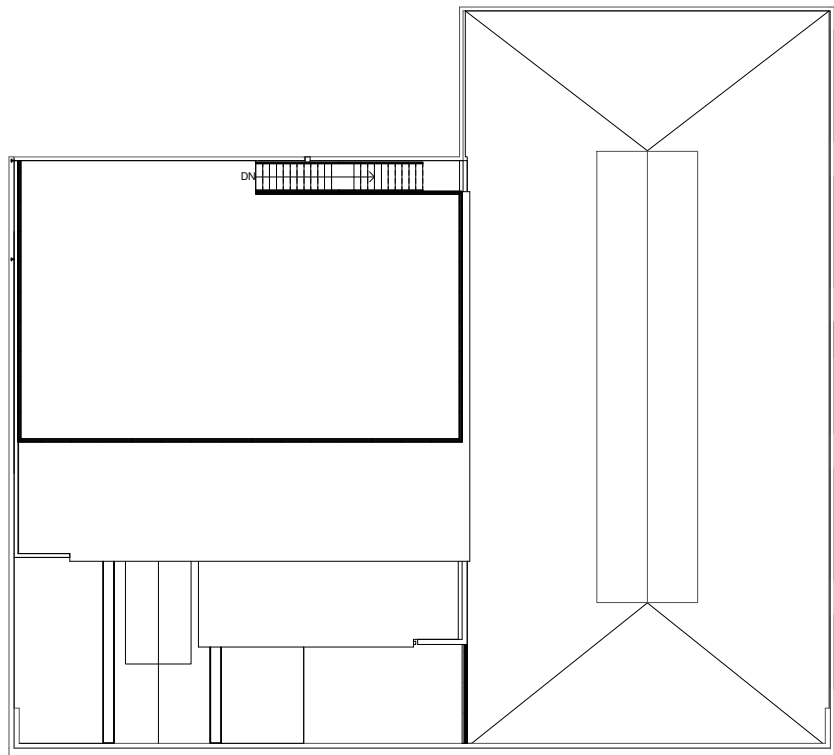
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Typical Code
Related
Details

A0.12

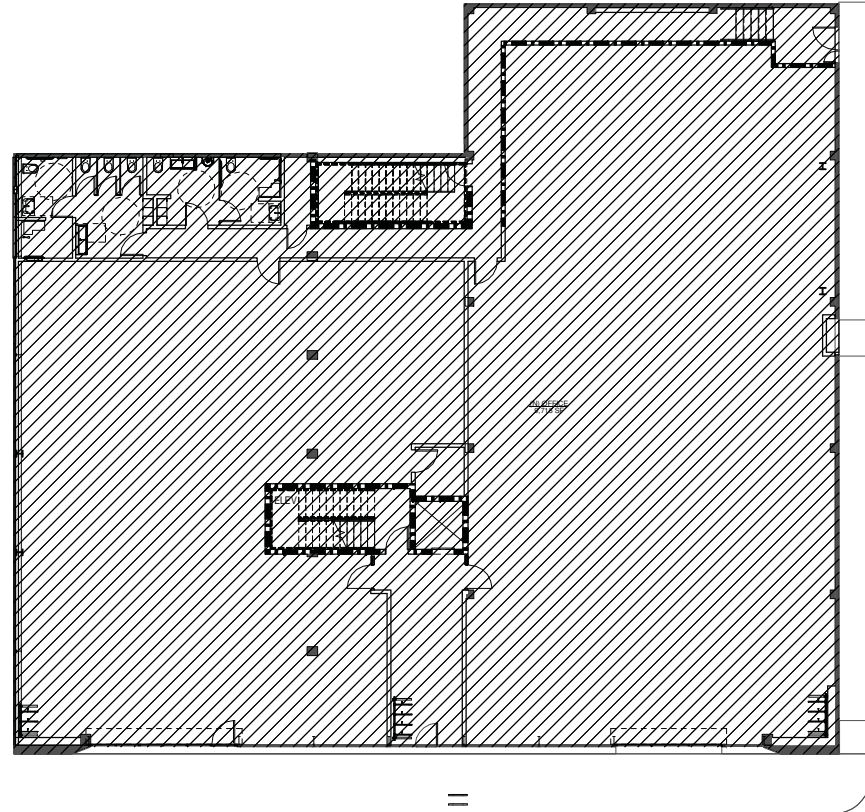


② Proposed Level 2 - Areas
3/32" = 1'-0"

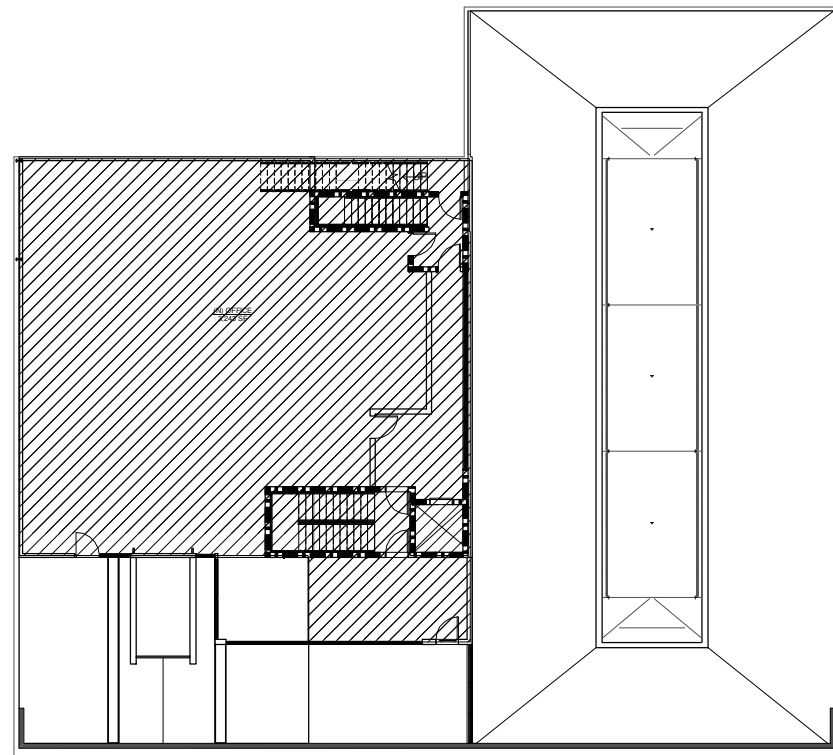


④ (N) Roof Deck
3/32" = 1'-0"

SHELL & CORE PROPOSED AREAS - GROSS	
LEVEL 1	= 9,716 SF
LEVEL 2	= 8,609 SF
LEVEL 3	= 3,243 SF
TOTAL GROSS FLOOR AREA: 21,568 SF	
ROOF DECK AREA: 1,879 SF	
SHELL & CORE PROPOSED AREAS - OCCUPIED	
LEVEL 1	= 9,282 SF
LEVEL 2	= 8,183 SF
LEVEL 3	= 3,243 SF
TOTAL GROSS FLOOR AREA: 20,708 SF	
*gross and occupied defined under sf planning code sec 102.10	



① (E) Slab Level - Areas
3/32" = 1'-0"



③ Level 3 - Areas
3/32" = 1'-0"



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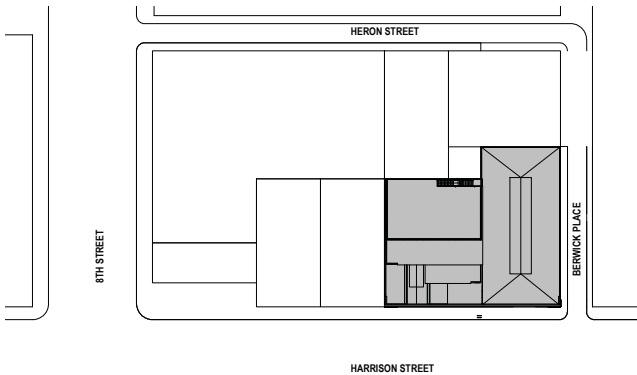
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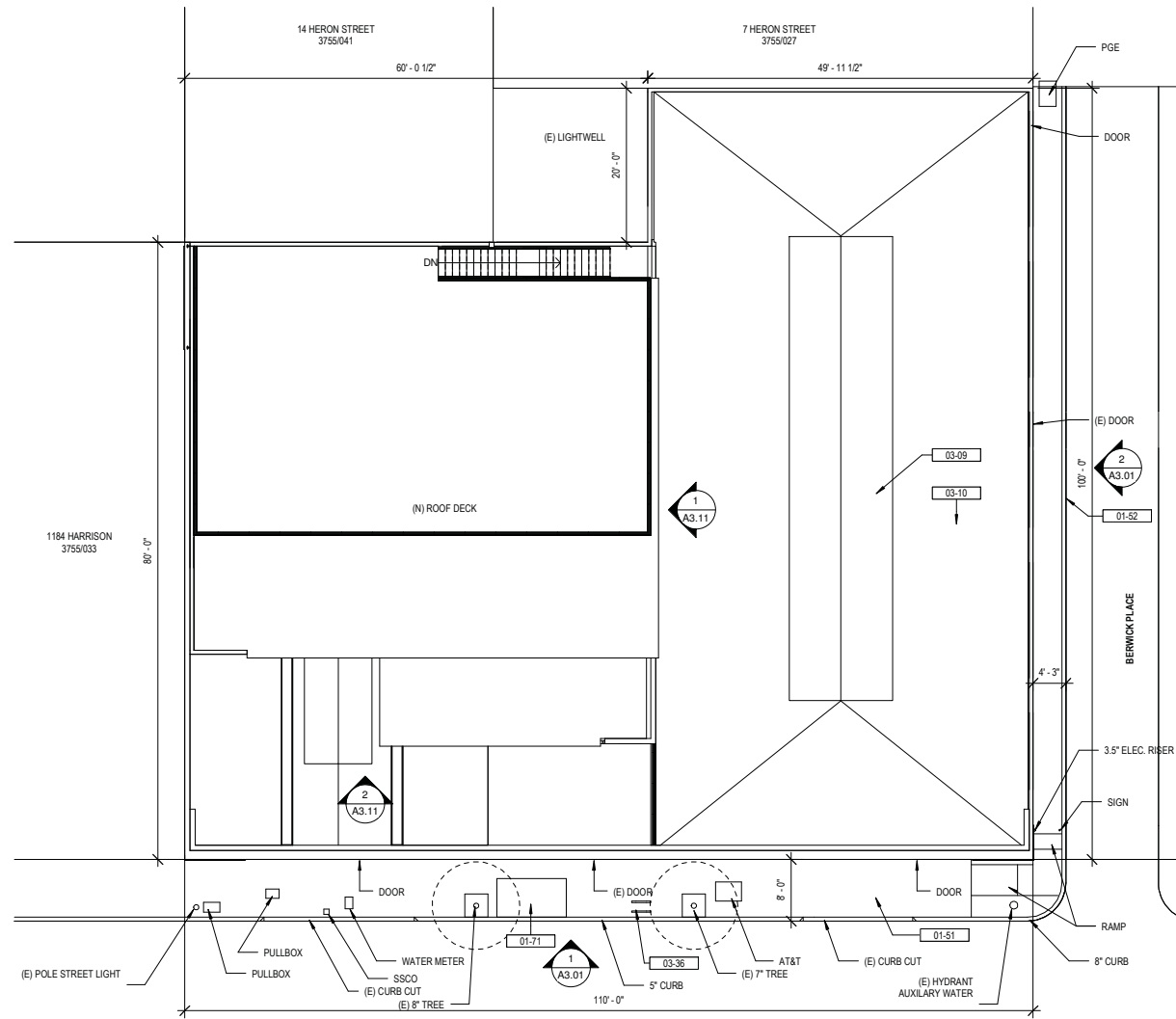
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Proposed Areas - Gross

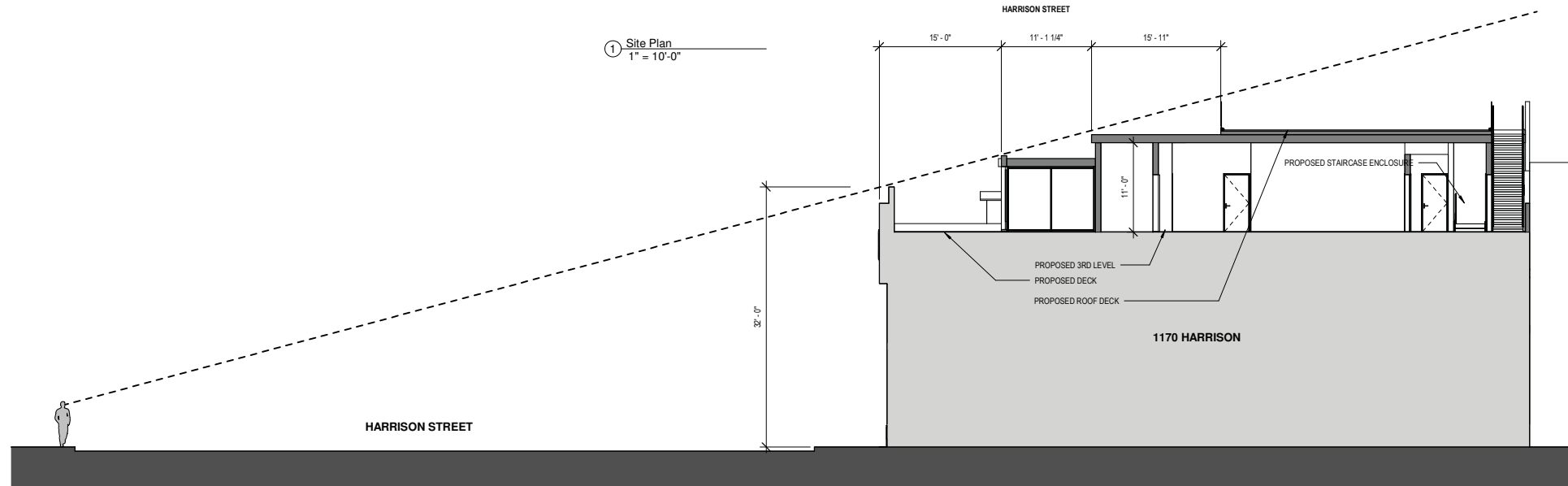
A0.21



② Vicinity Plan
1" = 50'-0"



① Site Plan
1" = 10'-0"



③ Section N-S Height Diagram
1/8" = 1'-0"

KEYNOTES - GENERAL

KEYNOTES - BUILDING SHELL & CORE

- 03-09 (E) CLEARSTORY WINDOW OPENINGS AND FRAMES TO REMAIN - RESTORE IF MISSING. TYP.
- REPLACE (E) GLAZING W/ INSULATED CLEAR PANES. SPOT FRAME & PAINT ALL METAL
FRAMES. PAINT PRIMARY FRAMES DARK GRAY AND GLAZING FRAMES BLACK COLOR.
03-10 REPLACE ROOF MEMBRANE INCLUDING ALL CLEARSTORIES, PARAPETS & CURBS- INCLUDE
INSULATION IN NEW ROOF ASSEMBLY. REPAIR AND REPLACE ROOFING AS NECESSARY.
03-36 (N) CLASS 2- BICYCLE PARKING- 2 SPACES

KEYNOTES - SITE

- 01-51 ALL SIDEWALK FEATURES, UTILITIES SHOWN ARE EXISTING. UON.
01-52 BUILDING DIMENSIONS ARE FOR REFERENCE ONLY. VERIFY ALL DIMENSIONS IN FIELD.
01-71 (N) PROPOSED PG&E UNDERGROUND VAULT LOCATION - SEE ELECTRICAL DRAWINGS

KEYNOTES - STAIRS

KEYNOTES - FURNITURE, FIXTURE, & EQUIPMENT

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Site Plan

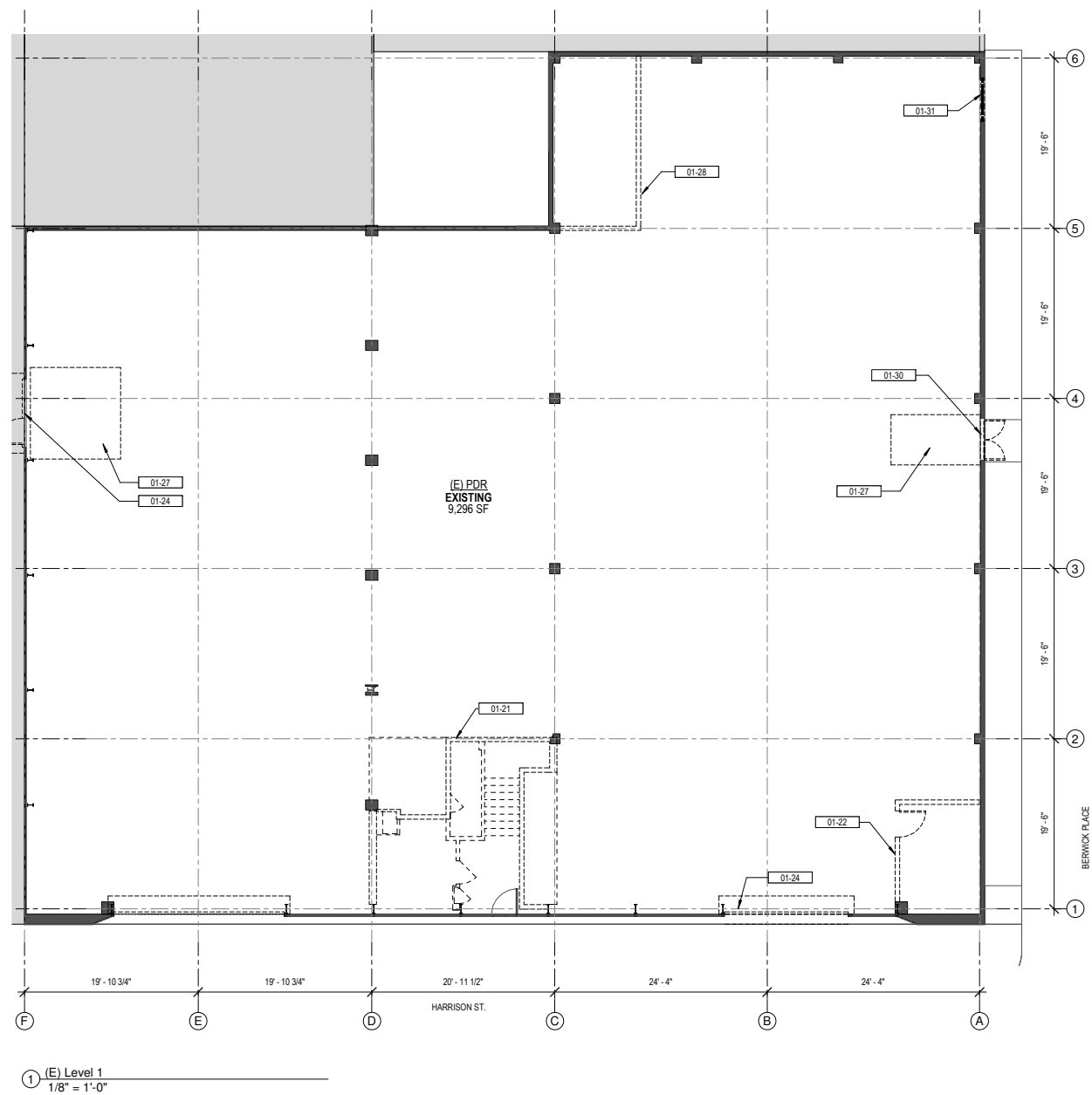
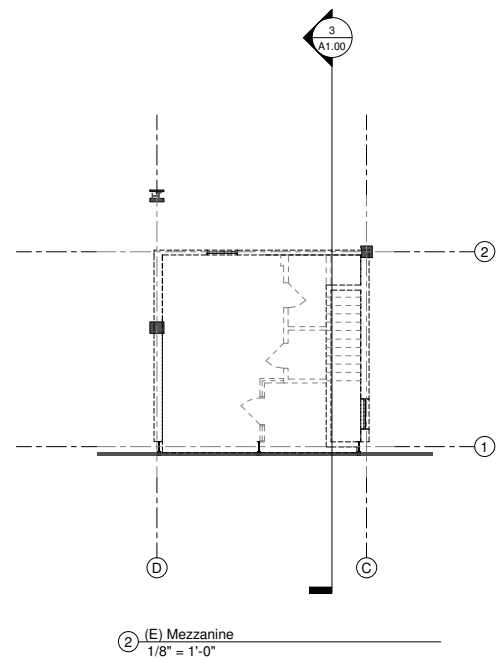
A1.00

11170 Harrison St., San Francisco, CA 94107

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A1.10





KEYNOTES - GENERAL

KEYNOTES - BUILDING SHELL & CORE

KEYNOTES - STAIRS

KEYNOTES - DOORS, WINDOWS, & LOUVERS

KEYNOTES - DEMOLITION

- | | |
|-------|--|
| 01-21 | DEMOLISH (E) TWO STORY INCLUDING (E) MEZZANINE LEVEL & (E) STAIR. KEEP (E) STEEL |
| 01-22 | BUILDING STRUCTURE |
| 01-24 | DEMOLISH (E) OFFICE ROOM |
| 01-26 | REMOVE (E) ROLL-UP DOOR |
| 01-27 | REMOVE (E) RAMP |
| 01-28 | REMOVE (E) CONCRETE LOW WALLS |
| 01-30 | REMOVE (E) DOORS |
| 01-31 | CUT OUT OPENING FOR (N) EXIT DOOR |
| 01-51 | ALL SIDEWALK FEATURES, UTILITIES SHOWN ARE EXISTING. UON. |
| 01-52 | BUILDING DIMENSIONS ARE FOR REFERENCE ONLY. VERIFY ALL DIMENSIONS IN FIELD. |
| 01-71 | (N) PROPOSED PG&E UNDERGROUND VAULT LOCATION - SEE ELECTRICAL DRAWINGS |

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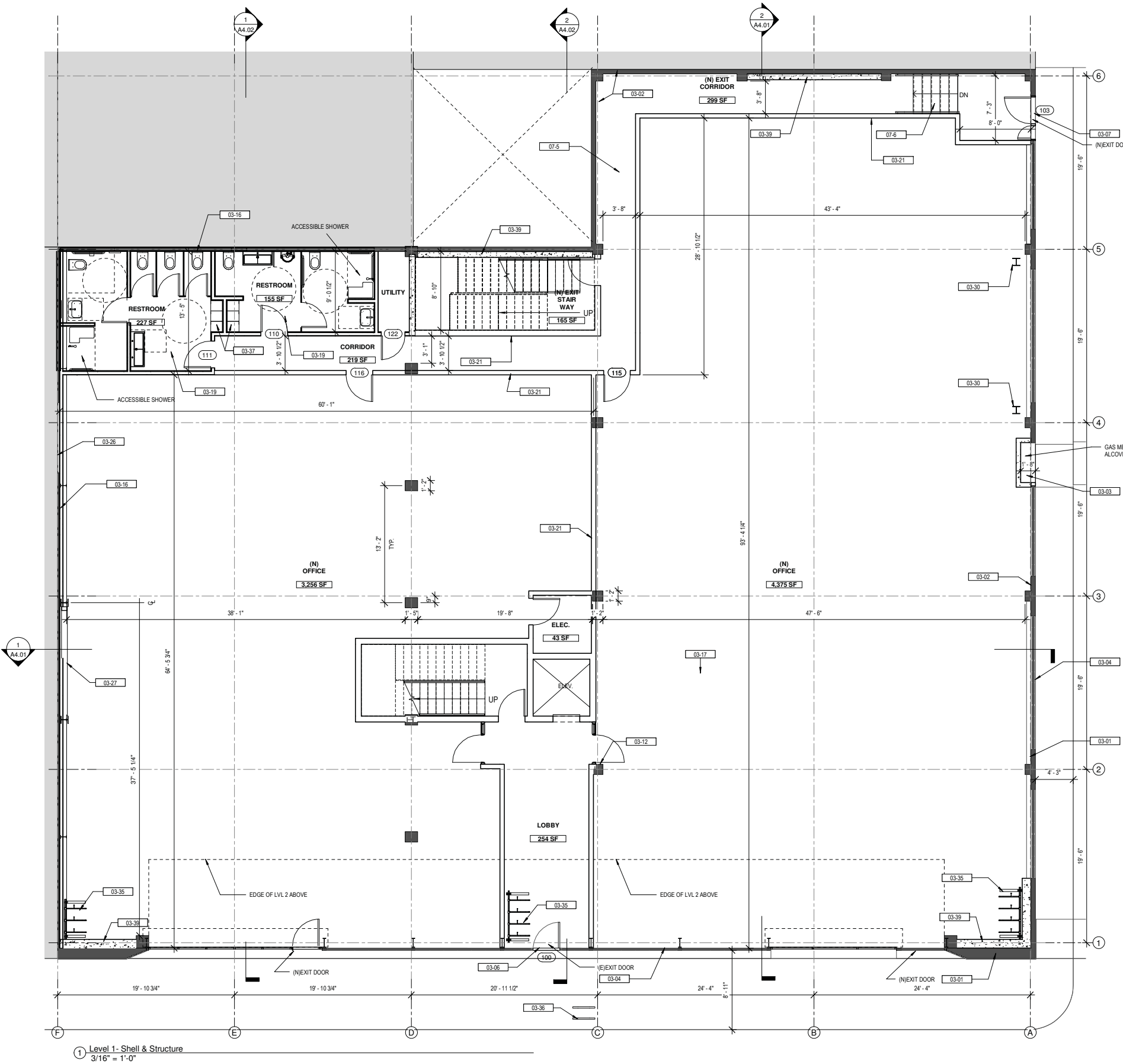
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**Demolition
Plan**

A1.20



1 Level 1- Shell & Structure
3/16" = 1'-0"

KEYNOTES - GENERAL

KEYNOTES - BUILDING SHELL & CORE

- 03-01 (E) CONCRETE WALL EXTERIOR FACE - CLEAN AND SCRAPE AWAY ALL LOOSE MATERIAL. GRIND OUT ALL HORIZONTAL COLD JOINTS. APPLY BOND BREAKER & SEAL. GRIND OUT ALL LOCATIONS WHERE STEEL DOOR & WINDOW FRAMES OR SUPPORTS MEET CAST WALL. APPLY BOND BREAKER & SEAL. APPLY ELASTOMERIC COATING TO EXTERIOR SURFACE TO MEET MIN 10 MM DRY THICKNESS. COLOR TO MATCH ADJACENT (E) EXPOSED CONCRETE. CLEAN INTERIOR (E) CONCRETE WALLS PER CONSULTANT'S RECOMMENDATION AND LEAVE EXPOSED - U.O.N.
- 03-02 REMOVE EXISTING DOORS AND BUILD A GAS METER ALCOVE FOR 4 METERS IN PLACE OF THE DOOR OPENING. ALCOVE ENCLOSURE TO BE CONCRETE INCLUDING CEILING AND OPEN TO OUTSIDE. MATCH CONCRETE COLOR TO EXISTING CONC. WALLS.
- 03-03 (E) HISTORIC WINDOW OPENINGS AND FRAMES TO REMAIN - TYP. REPLACE (E) GLAZING W/ INSULATED CLEAR PANES. SPOT PRIME & PAINT ALL METAL FRAMES. PAINT PRIMARY FRAMES DARK GRAY AND GLAZING FRAMES BLACK COLOR.
- 03-06 (E) EXTERIOR DOOR TO REMAIN AND BE ADA ACCESSIBLE. REPAIR DOOR FRAME AND HINGES. REPLACE GLAZING W/ CLEAR PANES. PAINT FRAME PRIMARY FRAME W/ DARK GRAY AND GLAZING FRAMES BLACK COLOR.
- 03-07 (N) EXIT DOOR MATCH WIDTH OF (4) (E) STASH WINDOW PANES. CUT (E) CONC. WALL AS REQUIRED FOR ROUGH OPENING.
- 03-12 KEEP (E) BUILDING STRUCTURE - REPAIR AND SEISMICALLY UPGRADE AS NECESSARY. (E) ROOF STRUCTURE & TRUSSES TO BE EXPOSED AND PAINTED BLACK.
- 03-16 KEEP (E) EXTERIOR CORRUGATED METAL WALL PANELS AND BUILD (N) FIRE RATED MTL. STUD & DRYWALL WALL ASSEMBLY FROM INSIDE.
- 03-17 KEEP (E) CONCRETE SLAB - REPAIR, LEVEL & SEAL.
- 03-19 (N) ACCESSIBLE RESTROOMS W/ ACCESSIBLE SHOWERS AT LEVEL 1 - FULLY FINISHED W/ FIXTURES, PORCELAIN TILE FLOORS, WALLS AND PAINTED GYPSUM CEILINGS - FINAL FINISHES & FIXTURES TBD.
- 03-21 (N) INTERIOR PARTITIONS WALLS & SOFFITS - TAPED AND READY FOR FINISH.
- 03-26 REMOVE (E) ROLL-UP DOOR AND CLOSE OPENING WITH 1-HR RATED DRY WALL ASSEMBLY. MATCH FINISH TO ADJACENT WALL FINISH.
- 03-27 (N) STRUCTURAL BRACING - FINAL DESIGN TO BE COORDINATED - SSD.
- 03-30 (N) STRUCTURAL MOMENT FRAME - FINAL DESIGN TO BE COORDINATED - SSD.
- 03-35 (N) CLASS 1 - BICYCLE PARKING - 4 SPACES.
- 03-36 (N) CLASS 2 - BICYCLE PARKING - 2 SPACES.
- 03-37 (N) CLOTHES LOCKERS - STACKED.
- 03-39 (N) STRUCTURAL SHOTCRETE WALL - FINAL DESIGN TO BE COORDINATED - SSD.

KEYNOTES - STAIRS

- 07-5 (N) RATED EXIT CORRIDOR.
- 07-6 (N) EXIT STEEL STAIR W/ STEEL RAILING & HANDRAILS.

KEYNOTES - DOORS, WINDOWS, & LOUVERS

KEYNOTES - FINISHES

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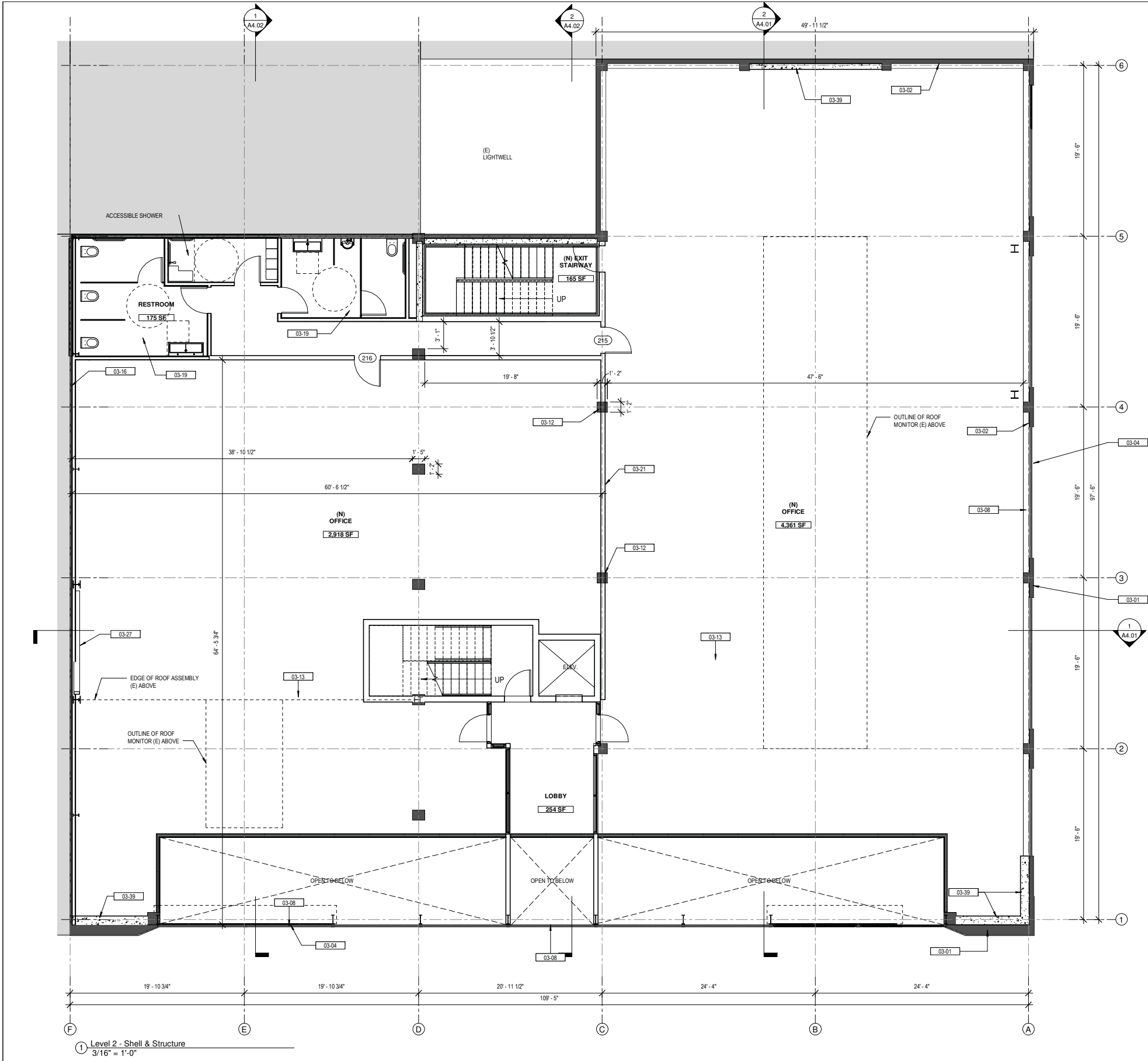
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Proposed
Plans- Shell
& Core

A2.01



1 Level 2 - Shell & Structure
3/16" = 1'-0"

KEYNOTES - GENERAL

KEYNOTES - BUILDING SHELL & CORE

- 03-01 (E) CONCRETE WALL EXTERIOR FACE - CLEAN AND SCRAPE AWAY ALL LOOSE MATERIAL. GRIND OUT ALL HORIZONTAL COLD JOINTS. APPLY BOND BREAKER & SEAL. GRIND OUT ALL LOCATIONS WHERE STEEL DOOR & WINDOW FRAMES OR SUPPORTS MEET CAST WALL. APPLY BOND BREAKER & SEAL. APPLY ELASTOMERIC COATING TO EXTERIOR SURFACE TO MEET MIN 10 MM DRY THICKNESS. COLOR TO MATCH ADJACENT (E) EXPOSED CONCRETE. CLEAN INTERIOR (E) CONCRETE WALLS PER CONSULTANT'S RECOMMENDATION AND LEAVE EXPOSED - U.O.N.
- 03-02 (E) HISTORIC WINDOW OPENINGS AND FRAMES TO REMAIN - TYP. REPLACE (E) GLAZING W/ INSULATED CLEAR PANES. SPOT PRIME & PAINT ALL METAL FRAMES. PAINT PRIMARY FRAMES DARK GRAY AND GLAZING FRAMES BLACK COLOR. EDGE OF FLOOR RECESSED FROM GLAZING, OPEN TO BELOW.
- 03-04 KEEP (E) BUILDING STRUCTURE - REPAIR AND SEISMICALLY UPGRADE AS NECESSARY. (E) ROOF STRUCTURE & TRUSSES TO BE EXPOSED AND PAINTED BLACK.
- 03-08 (N) LEVEL 2 STRUCTURE - SEE STRUCTURAL DRAWINGS - EXPOSED U.O.N.
- 03-12 KEEP (E) EXTERIOR CORRUGATED METAL WALL PANELS AND BUILD (N) FIRE RATED MTL. STUD & DRYWALL WALL ASSEMBLY FROM INSIDE.
- 03-13 (N) ACCESSIBLE RESTROOMS W/ ACCESSIBLE SHOWERS AT LEVEL 1 - FULLY FINISHED W/ FIXTURES, PORCELAIN TILE FLOORS, WALLS AND PAINTED GYPSUM CEILINGS - FINAL FINISHES & FIXTURES TBD.
- 03-16 (N) INTERIOR PARTITIONS WALLS & SOFFITS - TAPED AND READY FOR FINISH.
- 03-19 (N) STRUCTURAL BRACING - FINAL DESIGN TO BE COORDINATED - SSD.
- 03-21 (N) STRUCTURAL SHOTCRETE WALL - FINAL DESIGN TO BE COORDINATED - SSD.

KEYNOTES - STAIRS

KEYNOTES - DOORS, WINDOWS, & LOUVERS

KEYNOTES - FURNITURE, FIXTURE, & EQUIPMENT

KEYNOTES - FINISHES

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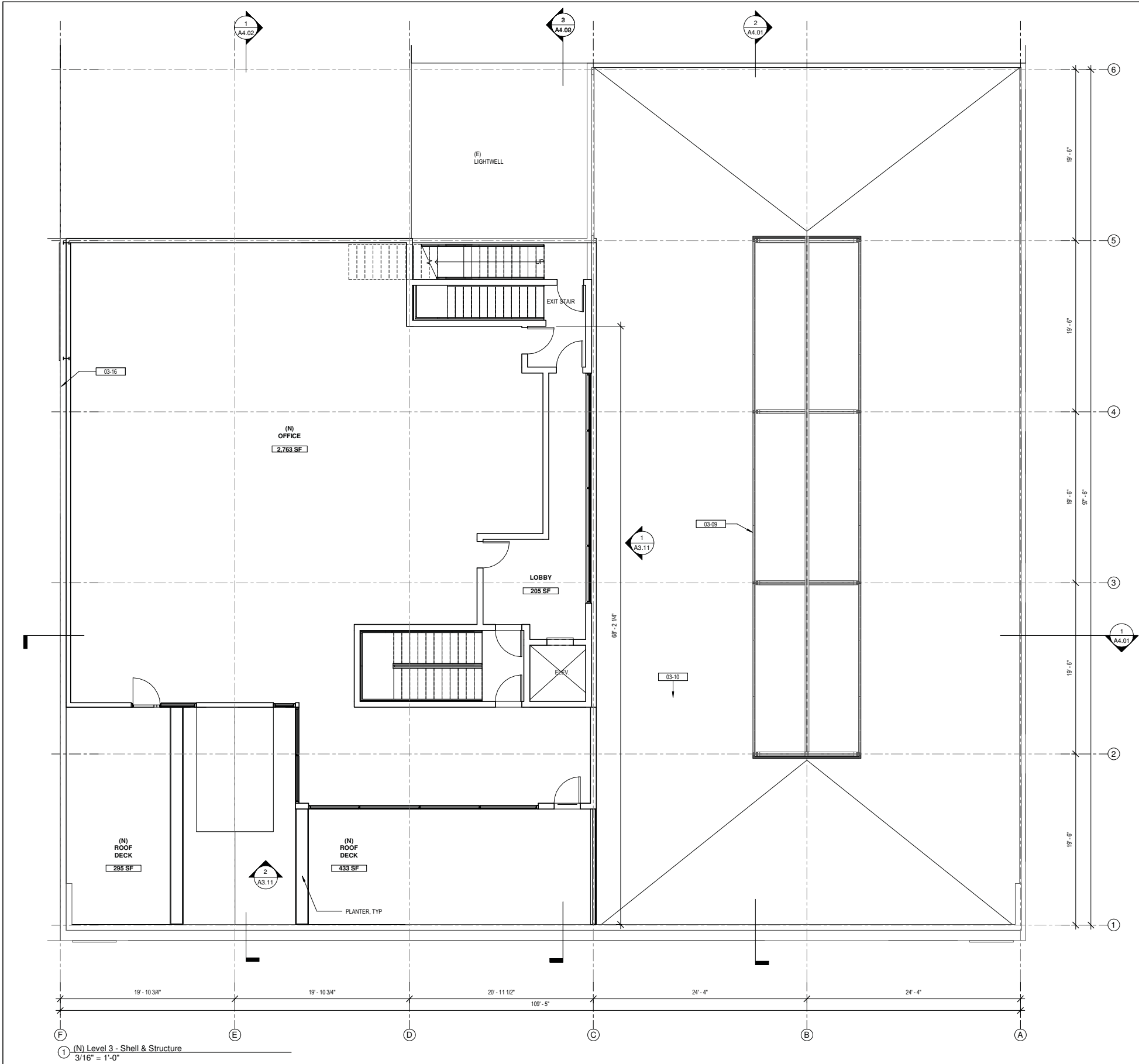
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Proposed
Plans- Shell
& Core

A2.02



1 (N) Level 3 - Shell & Structure
3/16" = 1'-0"

KEYNOTES - GENERAL

KEYNOTES - BUILDING SHELL & CORE

- 03-09 (E) CLEARSTORY WINDOW OPENINGS AND FRAMES TO REMAIN - RESTORE IF MISSING. TYP.
- REPLACE (E) GLAZING W/ INSULATED CLEAR PANES. SPOT FRAME & PAINT ALL METAL
FRAMES. PAINT PRIMARY FRAMES DARK GRAY AND GLAZING FRAMES BLACK COLOR.
03-10 REPLACE ROOF MEMBRANE INCLUDING ALL CLEARSTORIES, PARAPETS & CURBS- INCLUDE
INSULATION IN NEW ROOF ASSEMBLY. REPAIR AND REPLACE ROOFING AS NECESSARY.
03-16 KEEP (E) EXTERIOR CORRUGATED METAL WALL PANELS AND BUILD (N) FIRE RATED MTL.
STUD & DRYWALL WALL ASSEMBLY FROM INSIDE.

KEYNOTES - STAIRS

KEYNOTES - DOORS, WINDOWS, & LOUVERS

KEYNOTES - FINISHES

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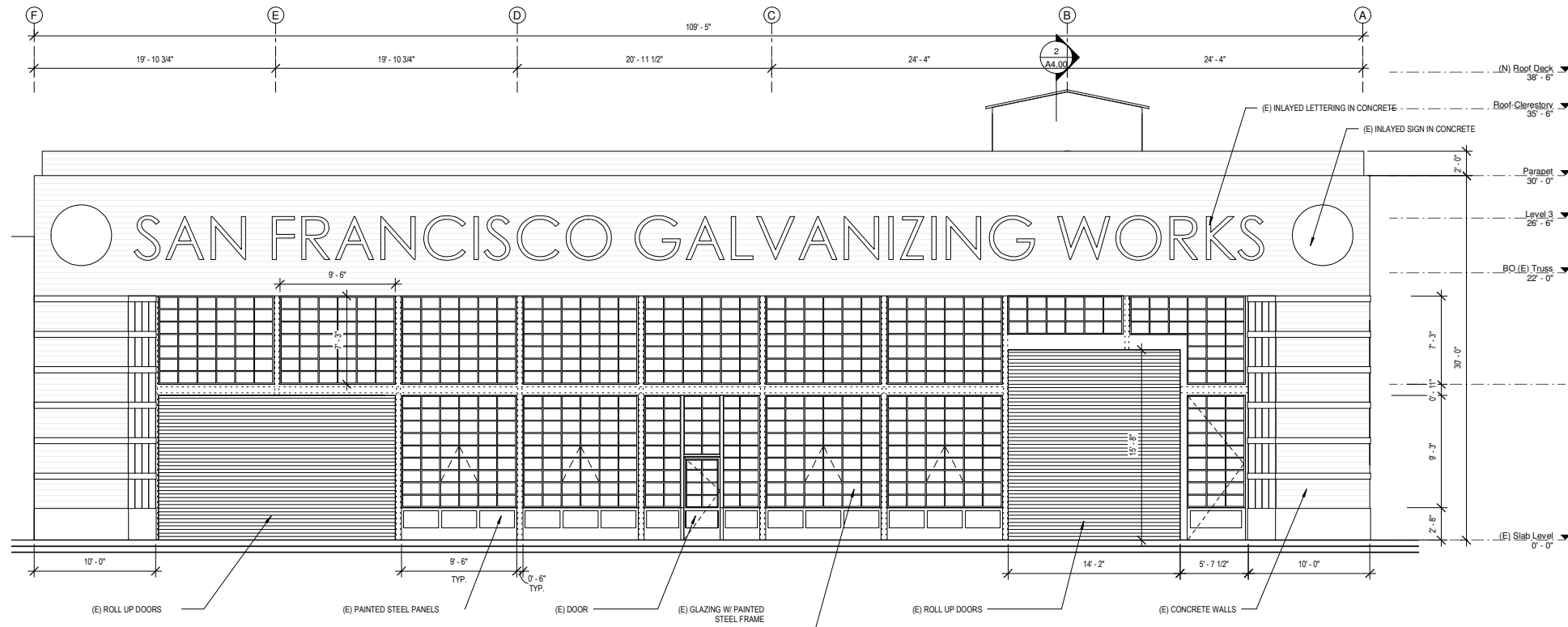
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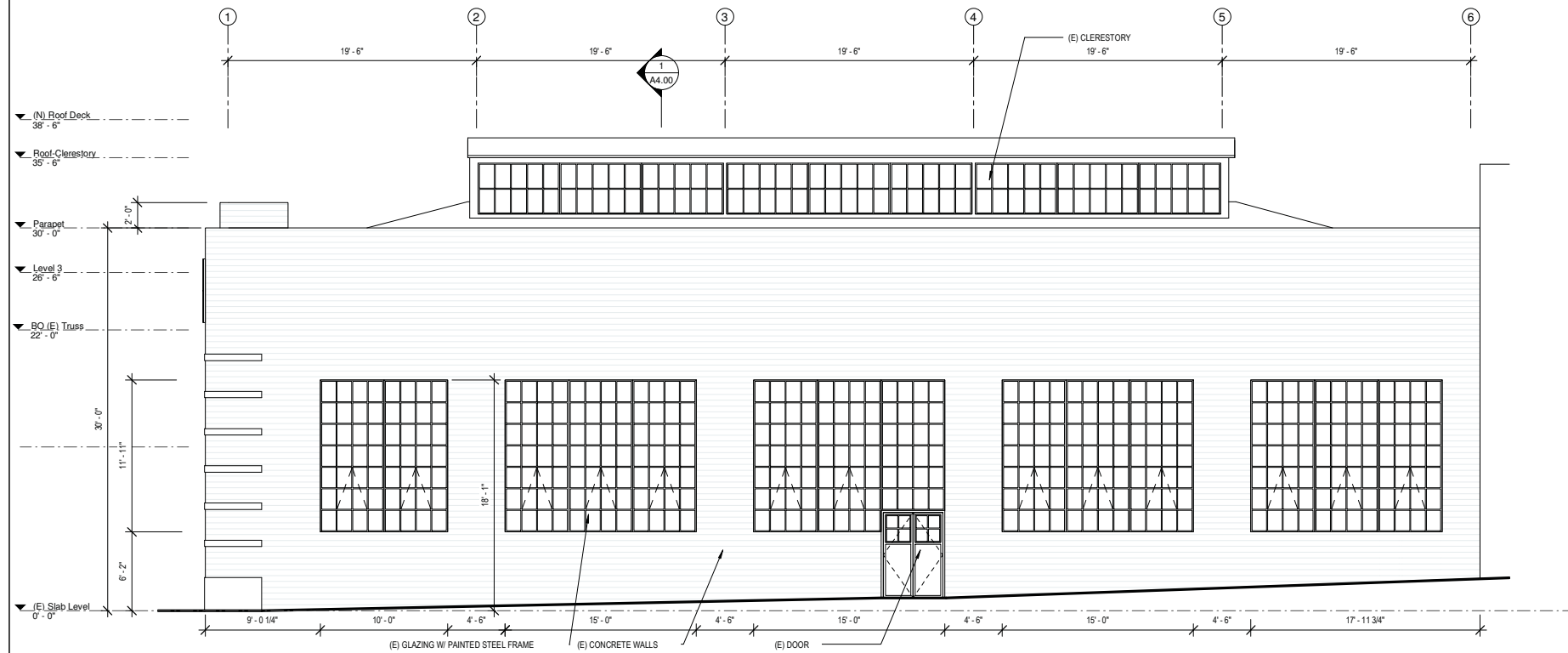
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**Proposed
Plan - Shell &
Core**

A2.03



2 Harrison Street Elevation
3/16" = 1'-0"



1 Berwick Place Elevation
3/16" = 1'-0"

KEYNOTES - GENERAL

KEYNOTES - BUILDING SHELL & CORE

KEYNOTES - FINISHES

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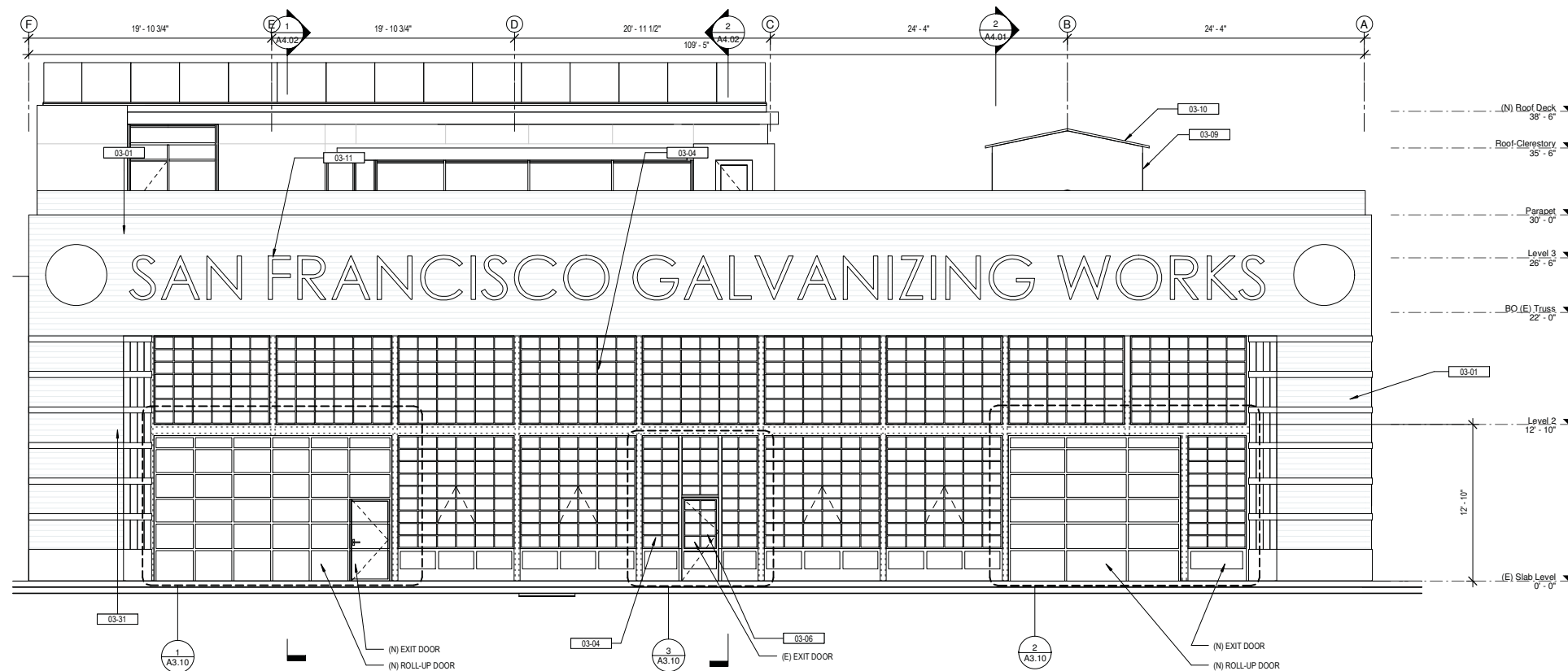
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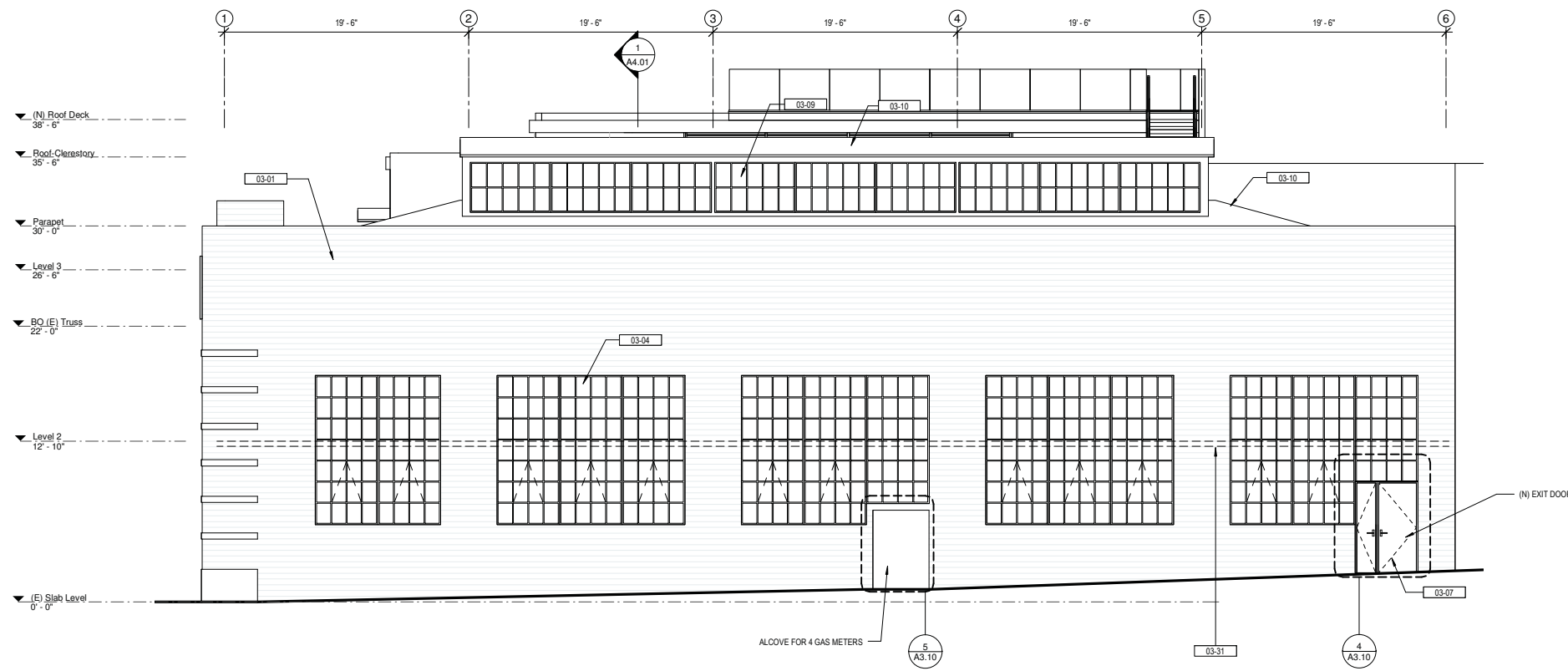
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Exterior
Elevations -
Existing

A3.00



① Building Elevation- Harrison St
3/16" = 1'-0"



② Building Elevation - East
3/16" = 1'-0"

KEYNOTES - GENERAL

KEYNOTES - BUILDING SHELL & CORE

- 03-01 (E) CONCRETE WALL EXTERIOR FACE - CLEAN AND SCRAPE AWAY ALL LOOSE MATERIAL. GRIND OUT ALL HORIZONTAL COLD JOINTS. APPLY BOND BREAKER & SEAL. GRIND OUT ALL LOCATIONS WHERE STEEL DOOR & WINDOW FRAMES OR SUPPORTS MEET CAST WALL. APPLY BOND BREAKER & SEAL. APPLY ELASTOMERIC COATING TO EXTERIOR SURFACE TO MEET MIN 10 MM DRY THICKNESS. COLOR TO MATCH ADJACENT (E) EXPOSED CONCRETE.
- 03-04 (E) HISTORIC WINDOW OPENINGS AND FRAMES TO REMAIN - TYP. REPLACE (E) GLAZING W/ INSULATED CLEAR PANES. SPOT PRIME & PAINT ALL METAL FRAMES. PAINT PRIMARY FRAMES DARK GRAY AND GLAZING FRAMES BLACK COLOR.
- 03-06 (E) EXTERIOR DOOR TO REMAIN AND BE ADA ACCESSIBLE. REPAIR DOOR FRAME AND HINGES. REPLACE GLAZING W/ CLEAR PANES. PAINT FRAME PRIMARY FRAME W/ DARK GRAY AND GLAZING FRAMES BLACK COLOR.
- 03-07 (N) EXIT DOOR MATCH WIDTH OF (4) (E) STASH WINDOW PANES. CUT (E) CONC. WALL AS REQUIRED FOR ROUGH OPENING.
- 03-09 (E) CLEARSTORY WINDOW OPENINGS AND FRAMES TO REMAIN - RESTORE IF MISSING. TYP. REPLACE (E) GLAZING W/ INSULATED CLEAR PANES. SPOT PRIME & PAINT ALL METAL FRAMES. PAINT PRIMARY FRAMES DARK GRAY AND GLAZING FRAMES BLACK COLOR.
- 03-10 REPLACE ROOF MEMBRANE INCLUDING ALL CLEARSTORIES, PARAPETS & CURBS- INCLUDE INSULATION IN NEW ROOF ASSEMBLY. REPAIR AND REPLACE ROOFING AS NECESSARY.
- 03-11 (E) INLAYED LETTERING IN (E) CONCRETE TO REMAIN. REPAIR AND PAINT DARK GRAY.
- 03-31 LINE OF (N) LEVEL 2 MEZZANINE

KEYNOTES - STAIRS

KEYNOTES - DOORS, WINDOWS, & LOUVERS

KEYNOTES - FURNITURE, FIXTURE, & EQUIPMENT

KEYNOTES - FINISHES

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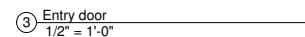
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Exterior Elevations - Shell & Core

A3.01

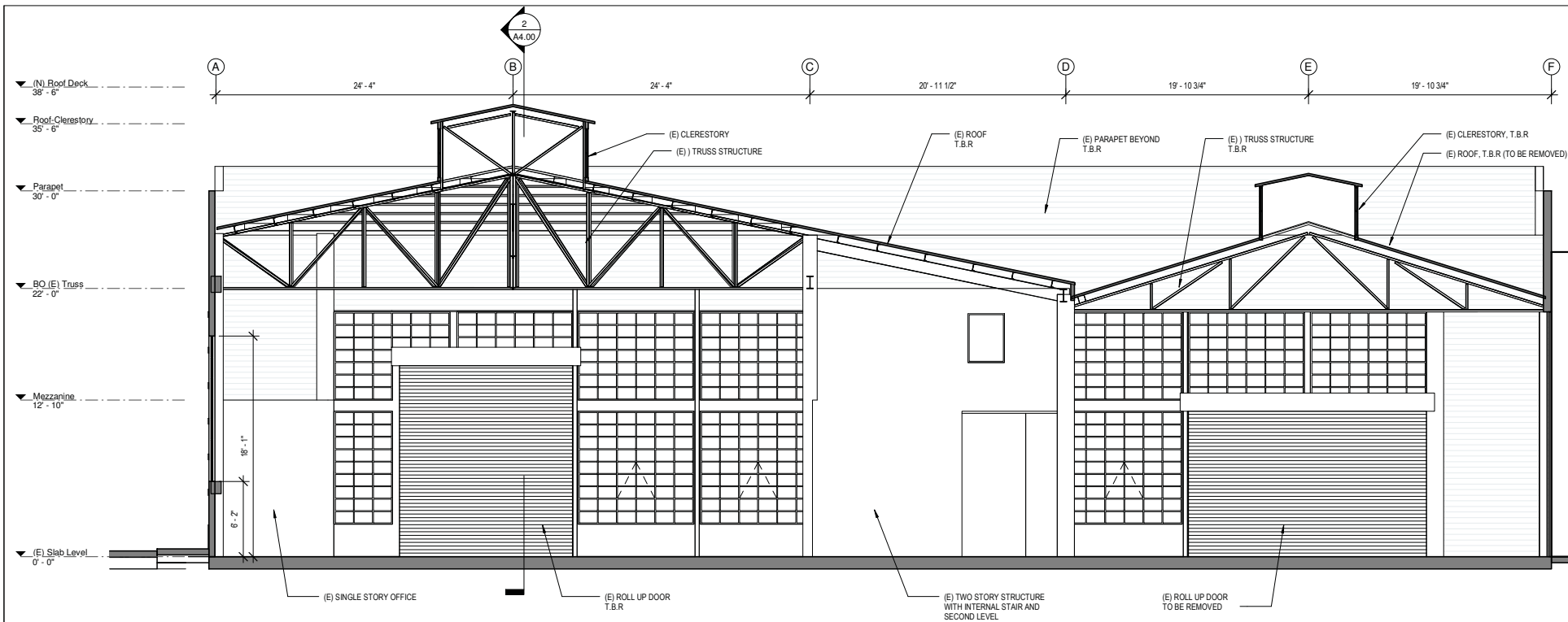
**Enlarged
Exterior
Elevations**

A3.10

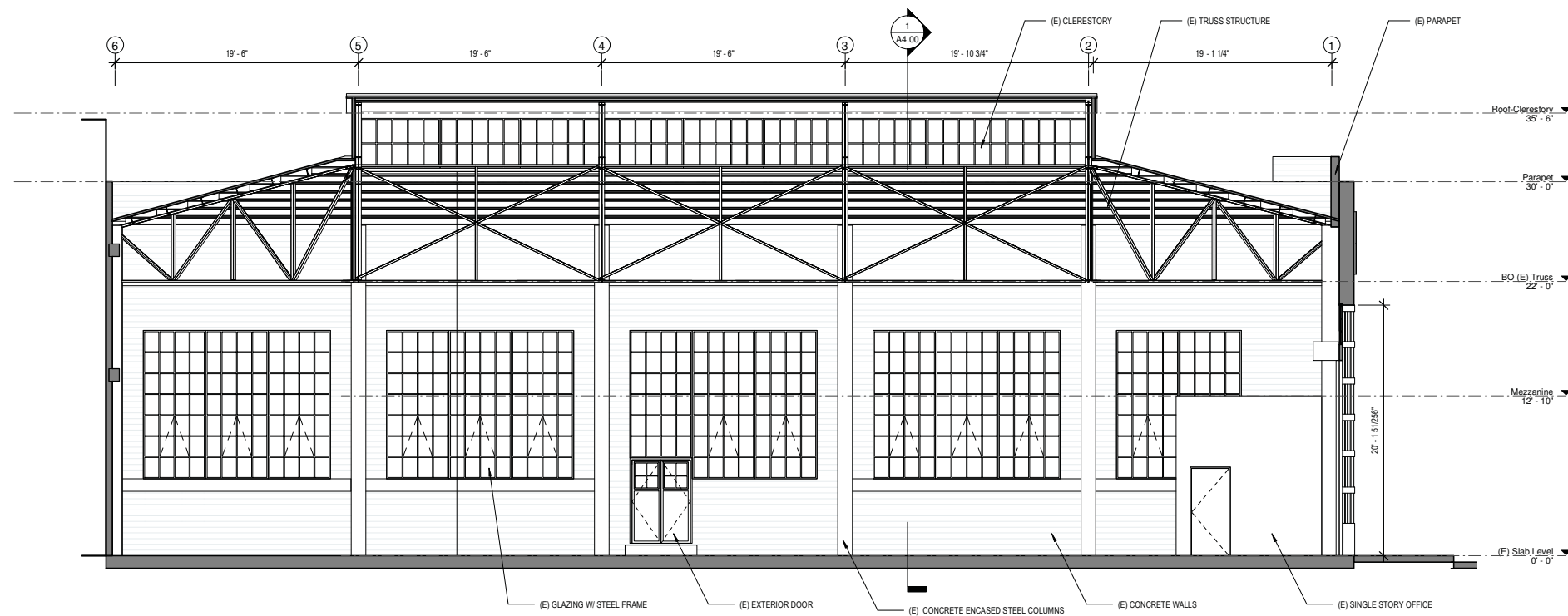


1170 Harrison Street

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① (E) Building Section E-W
3/16" = 1'-0"



② (E) Building Section N-S
3/16" = 1'-0"

Issues/ Revisions		
Issue #	Description	Date
	Issue for Permit	06/26/2017

Print Date: 12/20/2017 11:42:59 AM

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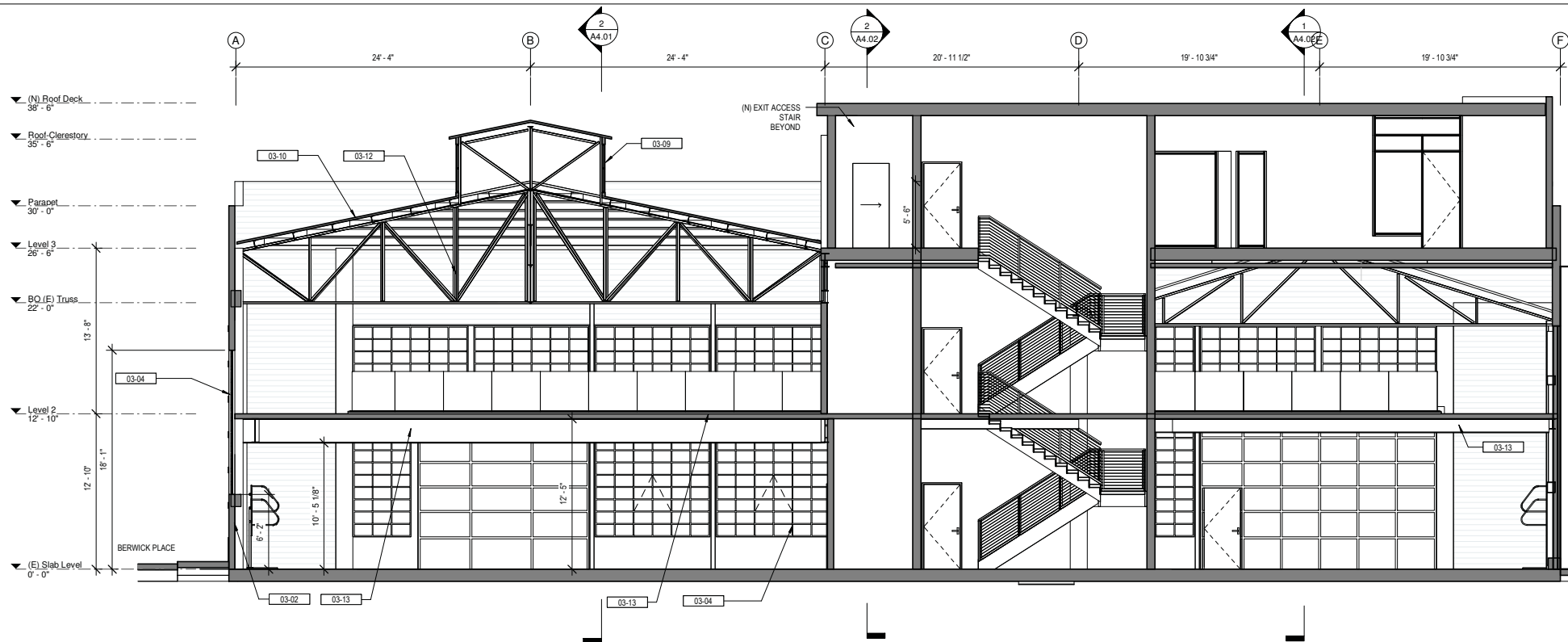
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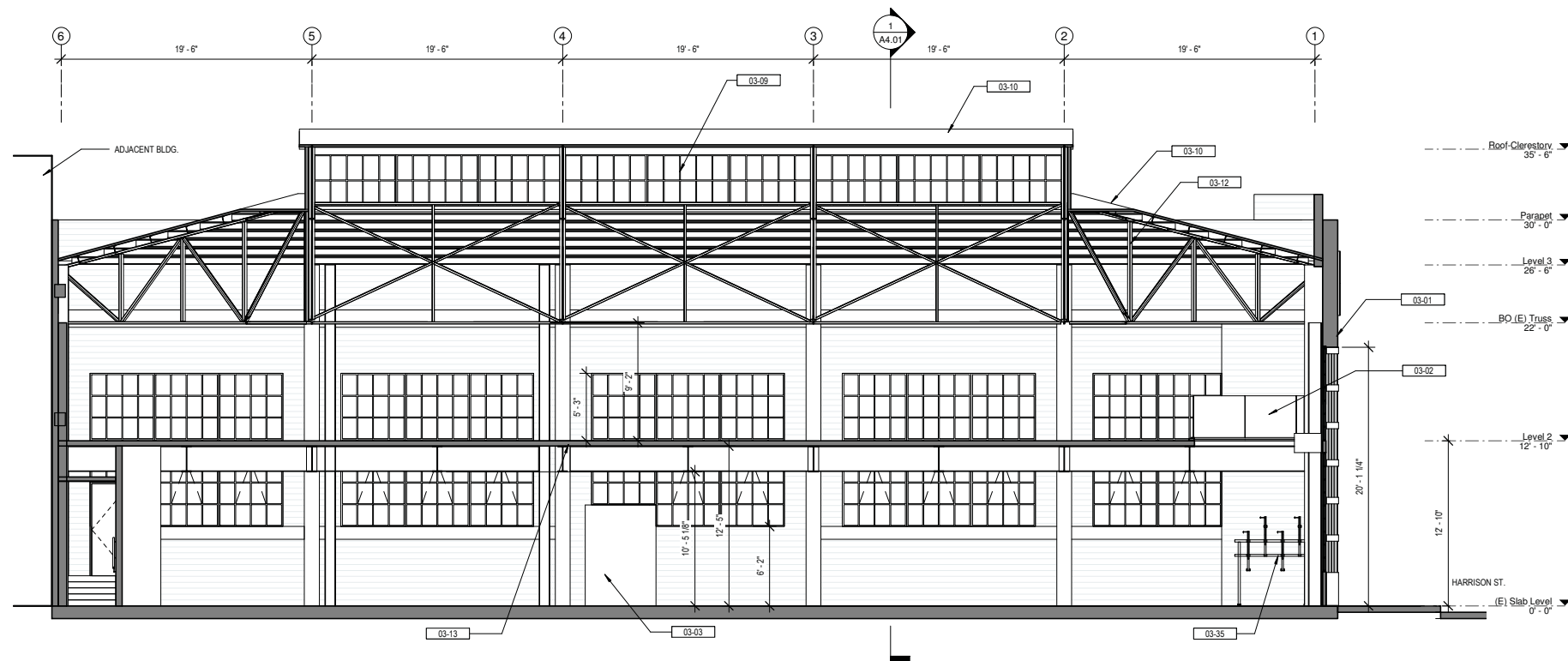
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Building
Sections-
Existing

A4.00



① Building Section E-W - Shell & Core
3/16" = 1'-0"



② Building Section N-S - 1- Shell & Core
3/16" = 1'-0"

KEYNOTES - GENERAL

KEYNOTES - BUILDING SHELL & CORE

- 03-01 (E) CONCRETE WALL EXTERIOR FACE - CLEAN AND SCRAPE AWAY ALL LOOSE MATERIAL. GRIND OUT ALL HORIZONTAL COLD JOINTS. APPLY BOND BREAKER & SEAL. GRIND OUT ALL LOCATIONS WHERE STEEL DOOR & WINDOW FRAMES OR SUPPORTS MEET CAST WALL. APPLY BOND BREAKER & SEAL. APPLY ELASTOMERIC COATING TO EXTERIOR SURFACE TO MEET MIN 10 MM DRY THICKNESS. COLOR TO MATCH ADJACENT (E) EXPOSED CONCRETE.
- 03-02 CLEAN INTERIOR (E) CONCRETE WALLS PER CONSULTANT'S RECOMMENDATION AND LEAVE EXPOSED - U.O.N.
- 03-03 REMOVE EXISTING DOORS AND BUILD A GAS METER ALCOVE FOR 4 METERS IN PLACE OF THE DOOR OPENING. ALCOVE ENCLOSURE TO BE CONCRETE INCLUDING CEILING AND OPEN TO OUTSIDE. MATCH CONCRETE COLOR TO EXISTING CONC. WALLS.
- 03-04 (E) HISTORIC WINDOW OPENINGS AND FRAMES TO REMAIN - TYP. REPLACE (E) GLAZING W/ INSULATED CLEAR PANES. SPOT PRIME & PAINT ALL METAL FRAMES. PAINT PRIMARY FRAMES DARK GRAY AND GLAZING FRAMES BLACK COLOR.
- 03-09 (E) CLEARSTORY WINDOW OPENINGS AND FRAMES TO REMAIN - RESTORE IF MISSING. TYP. REPLACE (E) GLAZING W/ INSULATED CLEAR PANES. SPOT PRIME & PAINT ALL METAL FRAMES. PAINT PRIMARY FRAMES DARK GRAY AND GLAZING FRAMES BLACK COLOR.
- 03-10 REPLACE ROOF MEMBRANE INCLUDING ALL CLEARSTORIES, PARAPETS & CURBS - INCLUDE INSULATION IN NEW ROOF ASSEMBLY. REPAIR AND REPLACE ROOFING AS NECESSARY.
- 03-12 KEEP (E) BUILDING STRUCTURE - REPAIR AND SEISMICALLY UPGRADE AS NECESSARY. (E) ROOF STRUCTURE & TRUSSES TO BE EXPOSED AND PAINTED BLACK.
- 03-13 (N) LEVEL 2 STRUCTURE - SEE STRUCTURAL DRAWINGS - EXPOSED U.O.N.
- 03-35 (N) CLASS 1 BICYCLE PARKING - 4 SPACES

KEYNOTES - STAIRS

KEYNOTES - DOORS, WINDOWS, & LOUVERS

KEYNOTES - FURNITURE, FIXTURE, & EQUIPMENT

KEYNOTES - FINISHES

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Issues/ Revisions

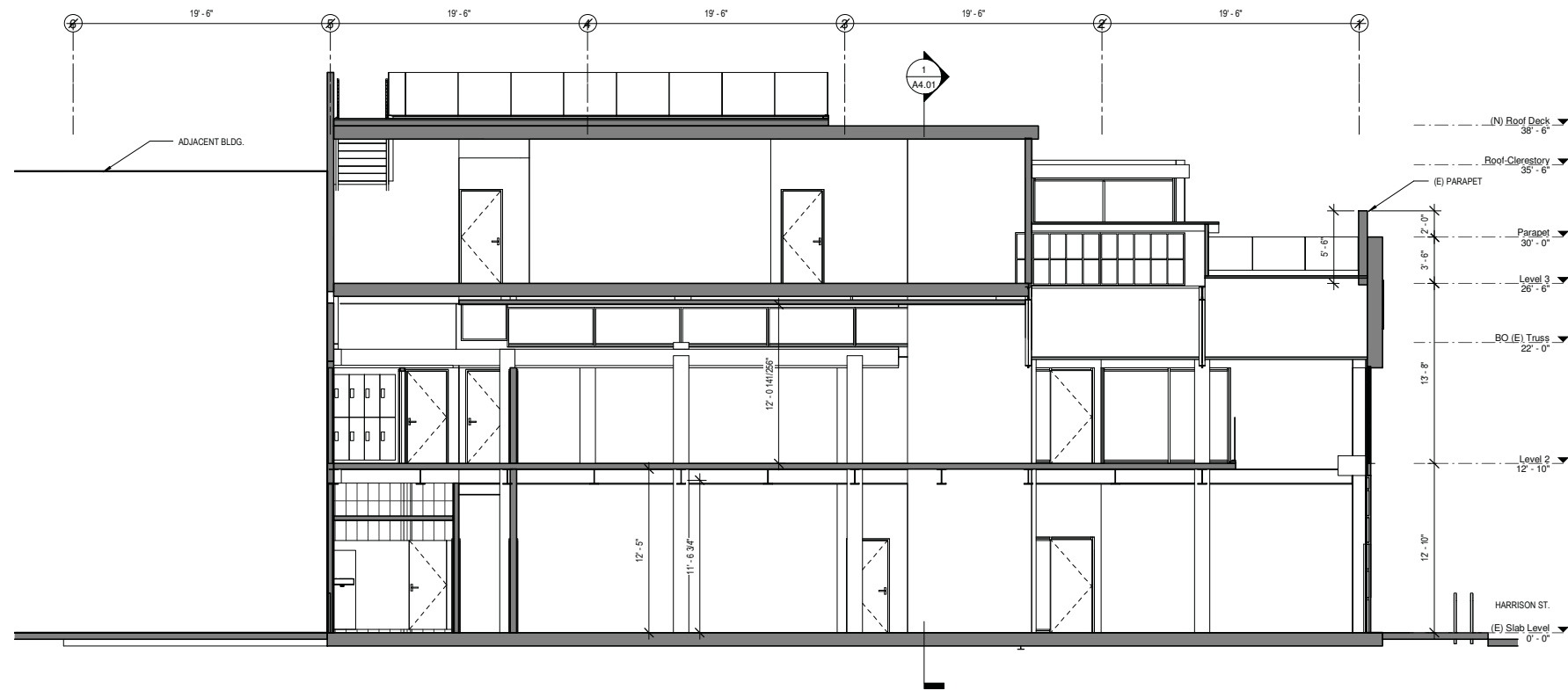
Issue #	Description	Date
Issue for Permit		06/26/2017

Print Date: 12/20/2017 11:43:00 AM
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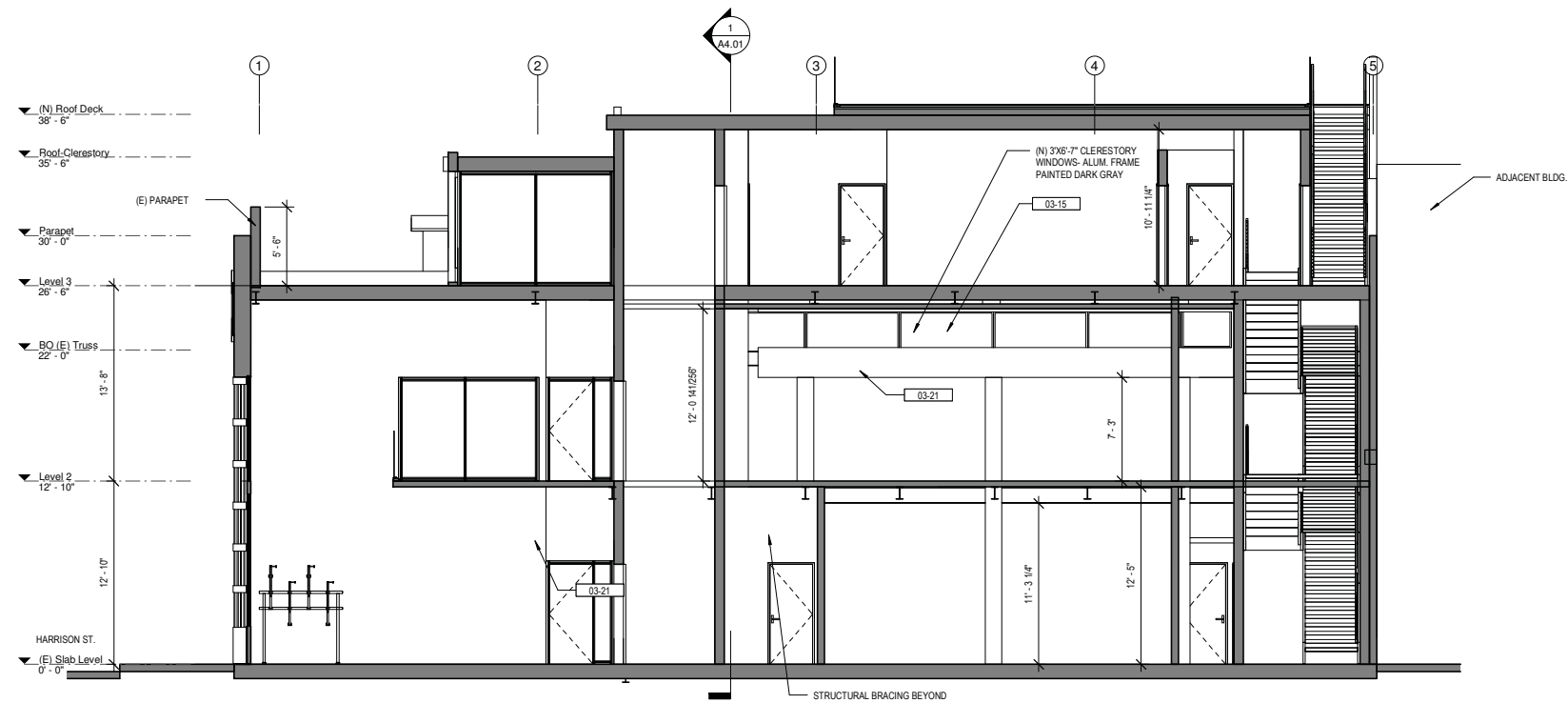
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Building
Sections-
Shell & Core

A4.01



① Section N-S - S&C - 2
3/16" = 1'-0"



② Section N-S 2
3/16" = 1'-0"

KEYNOTES - GENERAL

KEYNOTES - BUILDING SHELL & CORE

03-15 (N) CLEARSTORY AS PART OF (N) ROOF
03-21 (N) INTERIOR PARTITIONS WALLS & SOFFITS - TAPED AND READY FOR FINISH

KEYNOTES - STAIRS

KEYNOTES - DOORS, WINDOWS, & LOUVERS

KEYNOTES - FURNITURE, FIXTURE, & EQUIPMENT

KEYNOTES - FINISHES

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**Building
Sections-
Shell & Core**

A4.02