



SAN FRANCISCO PLANNING DEPARTMENT

Certificate of Appropriateness Case Report

HEARING DATE: MAY 18, 2016

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Filing Date: December 2, 2015
Case No.: **2015-015828COA**
Project Address: **1135 O'FARRELL STREET**
Historic Landmark: No. 41 – St. Mark's Lutheran Church
Zoning: RM-4 (Residential, Mixed, High-Density) District
240-E Height and Bulk District
Block/Lot: 0720 / 028
Applicant: Gary Schilling
St. Mark's Lutheran Church
1135 O'Farrell Street
San Francisco, CA 94109
Staff Contact: Pilar LaValley - (415) 575-9084
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Reviewed By: Tim Frye – (415) 575-6822
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PROPERTY DESCRIPTION

St. Mark's Lutheran Church is a red brick Romanesque Revival-style building with a number of Gothic elements. Designed by architect Henry Guilfuss, the cornerstone for the building was laid on June 24, 1894 and the church was dedicated March 10, 1895. The church survived the 1906 Earthquake and Fire with little damage and was used as a refuge for many injured, bereaved, and homeless from that disaster.

The primary façade faces north with a raised central entrance that consists of three arched doorways, with double wooden doors, separated by white stone columns. A large rose window dominates the upper portion of the façade. The façade is recessed from and flanked by two towers that are very unequal in size and form. The west tower is low, round, and topped by a conical roof. The east tower is tall, square, and surmounted by four turrets and a pyramidal roof. Both towers enclose stairways visible from the exterior. Windows are tracery, arched, and rectangular with white stone lintels and sills. The primary façade has ornamental stone elements, including carved blocks, lintels, dentillations, stringcourses, cornices, and pediments.

The nave, extending to the rear of the lot, has a steeply pitched roof. The bays of the side elevations are defined by brick buttresses. Six stained glass windows with rose windows occur on each side elevation. The rear elevation is flat, without apse, and is pierced by seven windows. The lower level, which is accessible along the side and rear of the parcel due to topography, is clad with simulated stone parge coat and fenestrated by flat arched openings.

Due to the redevelopment that has occurred around it, all façades of the church are now visible from the public rights-of-way. Originally, the church was flanked by residential buildings that were built to the property lines, obscuring views of the church's side elevations.

St. Mark's Lutheran Church is designated San Francisco Landmark No. 41 and is included on the *Here Today* survey (page 119), and the 1976 Architectural Survey.

PROJECT DESCRIPTION

The proposed scope of work is to construct an elevator addition at the north end of the west elevation to provide universal access to the building. Specifically, the proposal includes:

- Removing and salvaging an existing door with transom and framing at lower level and removing sections of the brick masonry wall at the main and balcony levels at west elevation to provide access to elevator addition. Removing furring at interior walls for new openings to elevator addition.
- Construction of a three-story elevator addition, approximately 6' 6" wide by 12' 6" long by 36' tall, at the north end of the west elevation. The addition will be setback approximately 17 feet from the front façade and will be tucked between the rear corner of the west tower and one of the brick buttresses. The addition, which will house a special access elevator (Symmetry LU/LA Elevator) and vestibule, will be physically separated from the church structure by a 2 inch seismic joint. The exterior will be clad with veneer brick and a simulated stone parge coat to match the existing red brick and simulated stone of the church as closely as possible. The north side of the addition will be fenestrated with a narrow arched wood window at each floor level.
- Remove an existing storage room at lower level adjacent to new opening to addition and construct a new elevator machine room.
- Removing and salvaging four existing wood panel doors at balcony level. The door swing and hinge locations will be reconfigured and the doors will be reinstalled to meet egress requirements.

Please see photographs and plans prepared by Architectural Resources Group, dated December 2, 2015, for details.

OTHER ACTIONS REQUIRED

Proposed work will require Building Permit(s).

COMPLIANCE WITH THE PLANNING CODE PROVISIONS

The proposed project is in compliance with all other provisions of the Planning Code.

APPLICABLE PRESERVATION STANDARDS

ARTICLE 10

A Certificate of Appropriateness is required for any construction, alteration, removal, or demolition of a designated Landmark for which a City permit is required. In appraising a proposal for a Certificate of Appropriateness, the Historic Preservation Commission should consider the factors of architectural style, design, arrangement, texture, materials, color, and other pertinent factors. Section 1006.7 of the Planning Code provides in relevant part as follows:

The proposed work shall be appropriate for and consistent with the effectuation of the purposes of Article 10.

The proposed work shall be compatible with the historic structure in terms of design, materials, form, scale, and location. The proposed project will not detract from the site's architectural character as described in the designating ordinance. For all of the exterior and interior work proposed, reasonable efforts have been made to preserve, enhance or restore, and not to damage or destroy, the exterior architectural features of the subject property which contribute to its significance.

THE SECRETARY OF THE INTERIOR'S STANDARDS

Rehabilitation is the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features that convey its historical, cultural, or architectural values. The Rehabilitation Standards provide, in relevant part(s):

Standard 1: A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.

The project includes alterations to the church that will facilitate its continued, and historic, use as a church. The elevator addition will provide accessibility while avoiding alteration of distinctive exterior or interior materials, features, or spaces of the Landmark. The addition, while visible, has been located to avoid character-defining features at the exterior or interior of the church.

Standard 2: The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

Although original brick will be removed at new openings in the west elevation, the area of removal is relatively small in relation to the size of the building. With the exception of the openings, the exterior wall, including the cast stone arch at lower level, will be retained behind the addition. Where new openings are proposed at the interior, existing walls are unadorned. The elevator addition will open into existing vestibules and will not require alteration of spaces that characterize the church. The addition has been designed and located to avoid removal or alteration of character-defining features of the church and to be as visibly unobtrusive as possible. Historically, the church was bound by residential properties and the west elevation of the building was not visible.

Standard 3: Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

The project does not propose to add conjectural features or changes that create a false sense of historical development. The addition will be clad with brick and simulated stone to match the existing building with simplified, modern cornice and window detailing that will distinguish the addition as contemporary.

Standard 4: Changes to a property that have acquired significance in their own right will be retained and preserved.

The proposed project respects character-defining features of the property.

Standard 5: Distinctive features, finishes, and construction techniques or examples of fine craftsmanship that characterize a property will be preserved.

The project will have minimal effect on the existing materials of the Landmark as the addition is located at a flat brick wall that does not contain distinctive features or details. It is anticipated that the addition will end just below the corbelled cornice in order to allow this feature to continue uninterrupted along the elevation. The proposed project will preserve distinctive features, materials, and craftsmanship that characterize the Landmark property.

Standard 6: Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

Not applicable.

Standard 9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

The elevator addition has been located to avoid historic materials, features, and spatial relationships that characterize the Landmark. The addition will be clad with veneer brick and simulated stone to match existing finishes but has a simple utilitarian design, and will be physically separated from the existing building by a seismic joint to clearly differentiate it as a contemporary feature. While visible, the addition has been located and designed to avoid character-defining features, including the corbelled cornice. The elevator addition will be differentiated from the old yet compatible with the scale, massing, materials and finishes of the Landmark.

Standard 10: New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The proposed elevator addition will be installed in a manner that is reversible, and if removed in the future, the form and integrity of this building would be unimpaired.

PUBLIC/NEIGHBORHOOD INPUT

The Department has received no public input on the project at the date of this report.

ISSUES & OTHER CONSIDERATIONS

None.

STAFF ANALYSIS

Staff has determined that the proposed work will be in conformance with the requirements of Article 10 and the *Secretary of Interior's Standards for Rehabilitation (Secretary's Standards)*. Proposed work is compatible with the Landmark property and the Landmark will be retained and preserved. Staff finds that the project will add an addition at the west elevation that is compatible with the Landmark property.

The proposal consists of the addition of a three-story addition, approximately 6' 6" wide by 12' 6" long by 36' tall, at the north end of the west elevation to house an elevator. The addition will require removal of an existing door and transom and areas of red brick and interior wall furring to accommodate new openings accessing the elevator. The addition will be setback approximately 17 feet from the front façade and will be physically separated from the church structure by a 2 inch seismic joint. The proposed location of the addition, between the rear corner of the west tower and one of the brick buttresses, avoids character-defining features on the interior and exterior of the building, and allows the corner return of the west tower to remain. The height of the addition has been kept a low as possible in order to try to avoid the existing corbelled cornice. The proposed addition will be clad in veneer brick and simulated stone parge coat to match appearance of existing cladding materials as closely as possible. The north side of the addition will be fenestrated with a narrow arched wood window at each floor level.

The size of the addition has been kept to the minimum required for operation of the proposed elevator. At the interior, the location of the proposed addition avoids character-defining finishes or significant spaces. With the exception of minor changes in operation of several existing wood panel doors at the balcony level, no spatial changes are required at the interior to accommodate or provide access to the proposed elevator addition. Where new openings are proposed, existing walls are simple flat surfaces, or a non-historic door and transom.

The proposed addition will occur on the west (side) elevation, which is a secondary elevation that was historically invisible or minimally visible from the public right-of-way. Originally the church was flanked by residential buildings that were built to the property lines, obscuring views of the church's side elevations. Although a secondary elevation, the west elevation has distinctive or character-defining features and finishes, including red brick buttresses and stained glass windows. The proposed addition has been located in a manner that avoids these character-defining features. The addition has been setback from the façade and the west tower to avoid physically or visually altering these significant features of the primary façade. In conformance with the *Secretary's Standards*, the proposed elevator will be clearly differentiated but compatible with the scale and character of the building as it will be differentiated from the original building wall by a seismic joint. The height of the addition will also differentiate it from the original building wall as it is intended to sit below the existing corbelled cornice. To make the addition as visually unobtrusive as possible the addition is proposed to be clad with veneer brick and simulated stone parge coat to match existing. In conformance with the *Secretary's Standards*, proposed elevator addition will be constructed at a secondary elevation in a manner that will not impact the overall form or massing of the building. Further, the addition will not impact distinctive architectural materials, features, finishes, or spatial relationships that characterize the property.

Staff recommends several conditions of approval regarding the details for the proposed cladding materials and for the design of the addition's cornice in order to ensure compatibility and differentiation of the addition. Specifically, staff recommends the following conditions:

Conditions of Approval:

1. Detailed drawings, including shop drawings or manufacturer specifications, for the proposed wood windows shall be provided for review and approval by Preservation staff in the Building Permit Application and/or Architectural Addendum.
2. That additional information, including attachment details, material and finish specifications, for all proposed cladding materials shall be provided in dimensioned plans submitted to Preservation staff for review and approval as part of the Building Permit Application and/or

Architectural Addendum.

3. Provision of samples and material specifications for proposed veneer brick and simulated stone parge coat for review and approval by Preservation staff prior to Department approval of the Building Permit Application and/or architectural addendum.
4. That mock-ups of the veneer brick and simulated stone parge coat are provided for Preservation staff review and approval. The mock-up should be off sufficient size to demonstrate that the proposed materials match the color, application, texture, and variation of the original exterior cladding.
5. That the applicant will work with Preservation staff to simplify the design of the addition's cornice in order to more clearly differentiate the addition from original construction and to minimize the profile of the addition. This design revision will be submitted for review and approval by Preservation staff in the Building Permit Application and/or Architectural Addendum.

ENVIRONMENTAL REVIEW STATUS

The Planning Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15301 (Class One-Minor Alteration of Existing facility) because the project is a minor alteration of an existing structure and meets the *Secretary of the Interior's Standards*.

PLANNING DEPARTMENT RECOMMENDATION

Planning Department staff recommends APPROVAL WITH CONDITIONS of the proposed project as it appears to meet *The Secretary of the Interior's Standards for Rehabilitation*.

ATTACHMENTS

Draft Motion
Parcel Map
Sanborn Map
Aerial Photos
Sponsor Packet, including photographs and plans

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SAN FRANCISCO PLANNING DEPARTMENT

Historic Preservation Commission Draft Motion

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ADOPTING FINDINGS FOR A CERTIFICATE OF APPROPRIATENESS FOR PROPOSED WORK DETERMINED TO BE APPROPRIATE FOR AND CONSISTENT WITH THE PURPOSES OF ARTICLE 10, TO MEET THE STANDARDS OF ARTICLE 10 AND TO MEET THE SECRETARY OF INTERIOR'S STANDARDS FOR REHABILITATION, FOR THE PROPERTY LOCATED ON LOT 028 IN ASSESSOR'S BLOCK 0720, WITHIN A RM-4 (RESIDENTIAL, MIXED, HIGH-DENSITY) ZONING DISTRICT AND 240-E HEIGHT AND BULK DISTRICT.

PREAMBLE

WHEREAS, on December 2, 2015, Gary Schilling ("Project Sponsor") filed an application with the San Francisco Planning Department ("Department") for a Certificate of Appropriateness for construction of a three-story elevator addition, on the subject property located on Lot 028 in Assessor's Block 0720.

WHEREAS, the Project was determined by the Department to be categorically exempt from environmental review. The Historic Preservation Commission (hereinafter "Commission") has reviewed and concurs with said determination.

WHEREAS, on May 18, 2016, the Commission conducted a duly noticed public hearing on the current project, Case No. 2015-015828COA ("Project") for its appropriateness.

WHEREAS, in reviewing the Application, the Commission has had available for its review and consideration case reports, plans, and other materials pertaining to the Project contained in the

Department's case files, has reviewed and heard testimony and received materials from interested parties during the public hearing on the Project.

MOVED, that the Commission hereby **APPROVES WITH CONDITIONS** the Certificate of Appropriateness, in conformance with the conceptual architectural plans dated December 2, 2015 (revised April 14, 2016) and labeled Exhibit A on file in the docket for Case No. 2015-015828COA based on the conditions and findings listed below.

CONDITIONS OF APPROVAL

Upon completion of construction drawings, the following shall be submitted to Planning Department Preservation Staff for review and approval:

1. Detailed drawings, including shop drawings or manufacturer specifications, for the proposed wood windows shall be provided for review and approval by Preservation staff in the Building Permit Application and/or Architectural Addendum.
2. That additional information, including attachment details, material and finish specifications, for all proposed cladding materials shall be provided in dimensioned plans submitted to Preservation staff for review and approval as part of the Building Permit Application and/or Architectural Addendum.
3. Provision of samples and material specifications for proposed veneer brick and simulated stone parge coat for review and approval by Preservation staff prior to Department approval of the Building Permit Application and/or architectural addendum.
4. That mock-ups of the veneer brick and simulated stone parge coat are provided for Preservation staff review and approval. The mock-up should be off sufficient size to demonstrate that the proposed materials match the color, application, texture, and variation of the original exterior cladding.
5. That the applicant will work with Preservation staff to simplify the design of the addition's cornice in order to more clearly differentiate the addition from original construction and to minimize the profile of the addition. This design revision will be submitted for review and approval by Preservation staff in the Building Permit Application and/or Architectural Addendum.

FINDINGS

Having reviewed all the materials identified in the recitals above and having heard oral testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and also constitute findings of the Commission.
2. Findings pursuant to Article 10:

The Historical Preservation Commission has determined that the proposed work is compatible with the character of the landmark as described in the designation report.

- The proposal is compatible with, and respects, the character-defining features of the landmark property.
- The proposed work will not damage or destroy distinguishing original qualities or character of the landmark property. The addition has been located to avoid obscuring or removing distinctive features at the interior or exterior of the landmark.
- The proposed project will not remove distinctive materials nor irreversibly alter features, spaces, or spatial relationships that characterize the landmark property.
- The elevator addition will have contemporary design that is compatible with the character of the landmark property while still being differentiated.
- If the proposed addition was removed in the future, the essential form and integrity of the landmark property will remain intact.
- The proposed project meets the following *Secretary of the Interior's Standards for Rehabilitation*:

Standard 1.

A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

Standard 2.

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

Standard 3.

Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

Standard 4.

Changes to a property that have acquired significance in their own right will be retained and preserved.

Standard 5.

Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.

Standard 6.

Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

Standard 9.

New additions, exterior alterations, or related new construction will not destroy historic materials,

features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Standard 10.

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

3. **General Plan Compliance.** The proposed Certificate of Appropriateness is, on balance, consistent with the following Objectives and Policies of the General Plan:

I. URBAN DESIGN ELEMENT

THE URBAN DESIGN ELEMENT CONCERNS THE PHYSICAL CHARACTER AND ORDER OF THE CITY, AND THE RELATIONSHIP BETWEEN PEOPLE AND THEIR ENVIRONMENT.

GOALS

The Urban Design Element is concerned both with development and with preservation. It is a concerted effort to recognize the positive attributes of the city, to enhance and conserve those attributes, and to improve the living environment where it is less than satisfactory. The Plan is a definition of quality, a definition based upon human needs.

OBJECTIVE 1

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

POLICY 1.3

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

OBJECTIVE 2

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

POLICY 2.4

Preserve notable landmarks and areas of historic, architectural or aesthetic value, and promote the preservation of other buildings and features that provide continuity with past development.

POLICY 2.5

Use care in remodeling of older buildings, in order to enhance rather than weaken the original character of such buildings.

POLICY 2.7

Recognize and protect outstanding and unique areas that contribute in an extraordinary degree to San Francisco's visual form and character.

The goal of a Certificate of Appropriateness is to provide additional oversight for buildings and districts that are architecturally or culturally significant to the City in order to protect the qualities that are associated with that significance.

The proposed project qualifies for a Certificate of Appropriateness and therefore furthers these policies and objectives by maintaining and preserving the character-defining features of St. Mark's Lutheran Church for the future enjoyment and education of San Francisco residents and visitors.

4. The proposed project is generally consistent with the eight General Plan priority policies set forth in Section 101.1 in that:

- A) The existing neighborhood-serving retail uses will be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses will be enhanced:

The proposed project will not result in any changes to neighborhood-serving retail uses.

- B) The existing housing and neighborhood character will be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods:

The proposed project will have no effect on housing and will strengthen neighborhood character by respecting the character-defining features of the landmark in conformance with the Secretary of the Interior's Standards.

- C) The City's supply of affordable housing will be preserved and enhanced:

The project will not impact the affordable housing supply.

- D) The commuter traffic will not impede MUNI transit service or overburden our streets or neighborhood parking:

The proposed project will not result in commuter traffic impeding MUNI transit service or overburdening the streets or neighborhood parking.

- E) A diverse economic base will be maintained by protecting our industrial and service sectors from displacement due to commercial office development. And future opportunities for resident employment and ownership in these sectors will be enhanced:

The proposed will not have any impact on industrial and service sector jobs. No office development is proposed as part of the project.

- F) The City will achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

Preparedness against injury and loss of life in an earthquake is improved by the proposed work. All construction will be executed in compliance with all applicable construction and safety measures.

- G) That landmark and historic buildings will be preserved:

The proposed project is in conformance with Article 10 of the Planning Code and the Secretary of the Interior's Standards for Rehabilitation.

- H) Parks and open space and their access to sunlight and vistas will be protected from development:

The proposed project will not impact the access to sunlight or vistas for the parks and open space.

5. For these reasons, the proposal overall, is appropriate for and consistent with the purposes of Article 10, meets the standards of Article 10, and the *Secretary of Interior's Standards for Rehabilitation*, General Plan and Prop M findings of the Planning Code.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **GRANTS WITH CONDITIONS a Certificate of Appropriateness** for the property located at Lot 028 in Assessor's Block 0720 for proposed work in conformance with the conceptual architectural plans dated December 2, 2015 (revised April 14, 2016) and labeled Exhibit A on file in the docket for Case No. 2015-015828COA.

APPEAL AND EFFECTIVE DATE OF MOTION: The Commission's decision on a Certificate of Appropriateness shall be final unless appealed within thirty (30) days. Any appeal shall be made to the Board of Appeals, unless the proposed project requires Board of Supervisors approval or is appealed to the Board of Supervisors as a conditional use, in which case any appeal shall be made to the Board of Supervisors (see Charter Section 4.135).

Duration of this Certificate of Appropriateness: This Certificate of Appropriateness is issued pursuant to Article 10 of the Planning Code and is valid for a period of three (3) years from the effective date of approval by the Historic Preservation Commission. The authorization and right vested by virtue of this action shall be deemed void and canceled if, within 3 years of the date of this Motion, a site permit or building permit for the Project has not been secured by Project Sponsor.

THIS IS NOT A PERMIT TO COMMENCE ANY WORK OR CHANGE OF OCCUPANCY UNLESS NO BUILDING PERMIT IS REQUIRED. PERMITS FROM THE DEPARTMENT OF BUILDING INSPECTION (and any other appropriate agencies) MUST BE SECURED BEFORE WORK IS STARTED OR OCCUPANCY IS CHANGED.

I hereby certify that the Historical Preservation Commission ADOPTED the foregoing Motion on May 18, 2016.

Jonas P. Ionin
Commission Secretary

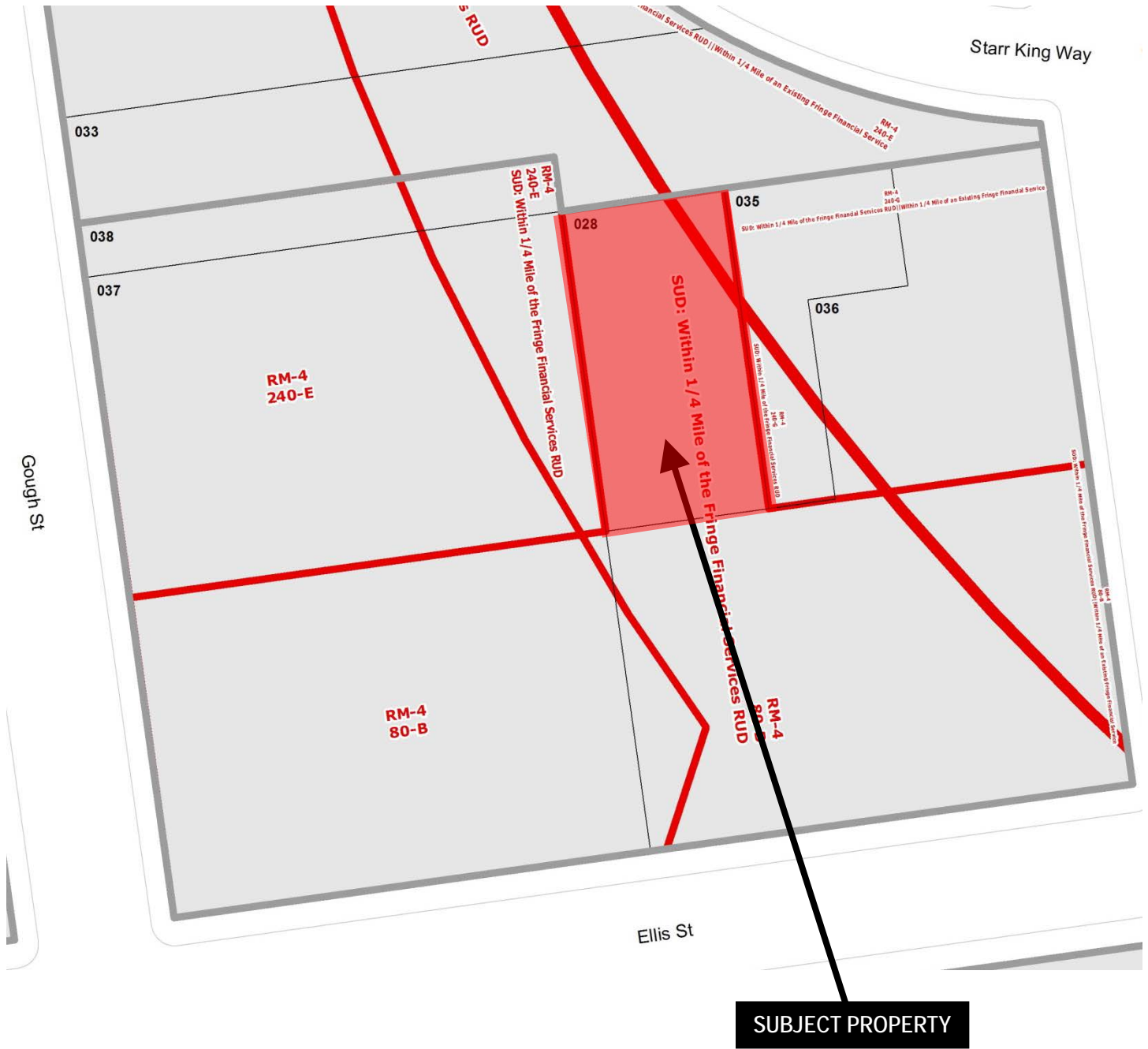
AYES: X

NAYS: X

ABSENT: X

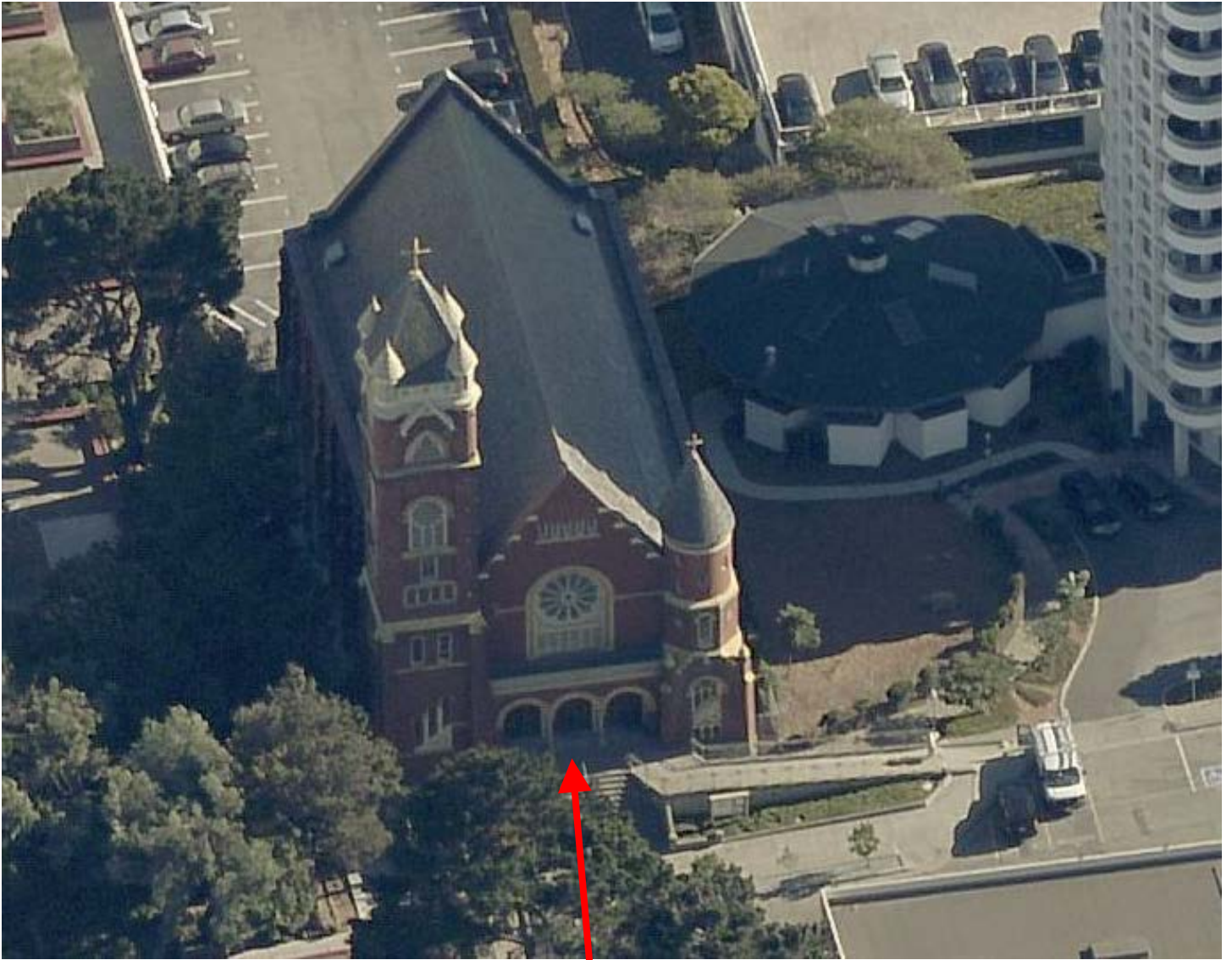
ADOPTED: May 18, 2016

Parcel Map



Major Permit to Alter
Case Number 2015-015828PTA
1135 O'Farrell Street

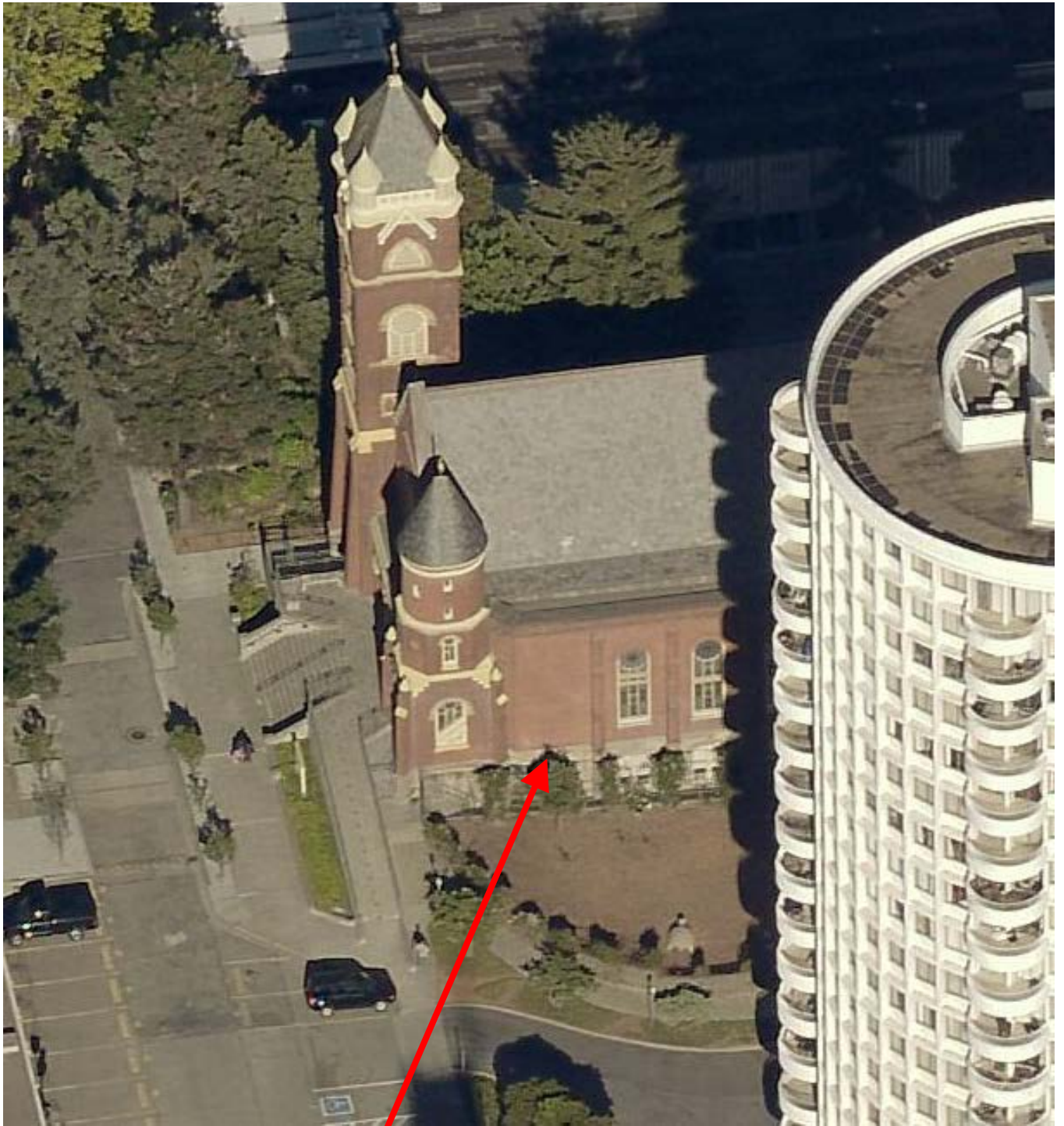
Aerial Photo



Subject property



Aerial Photo

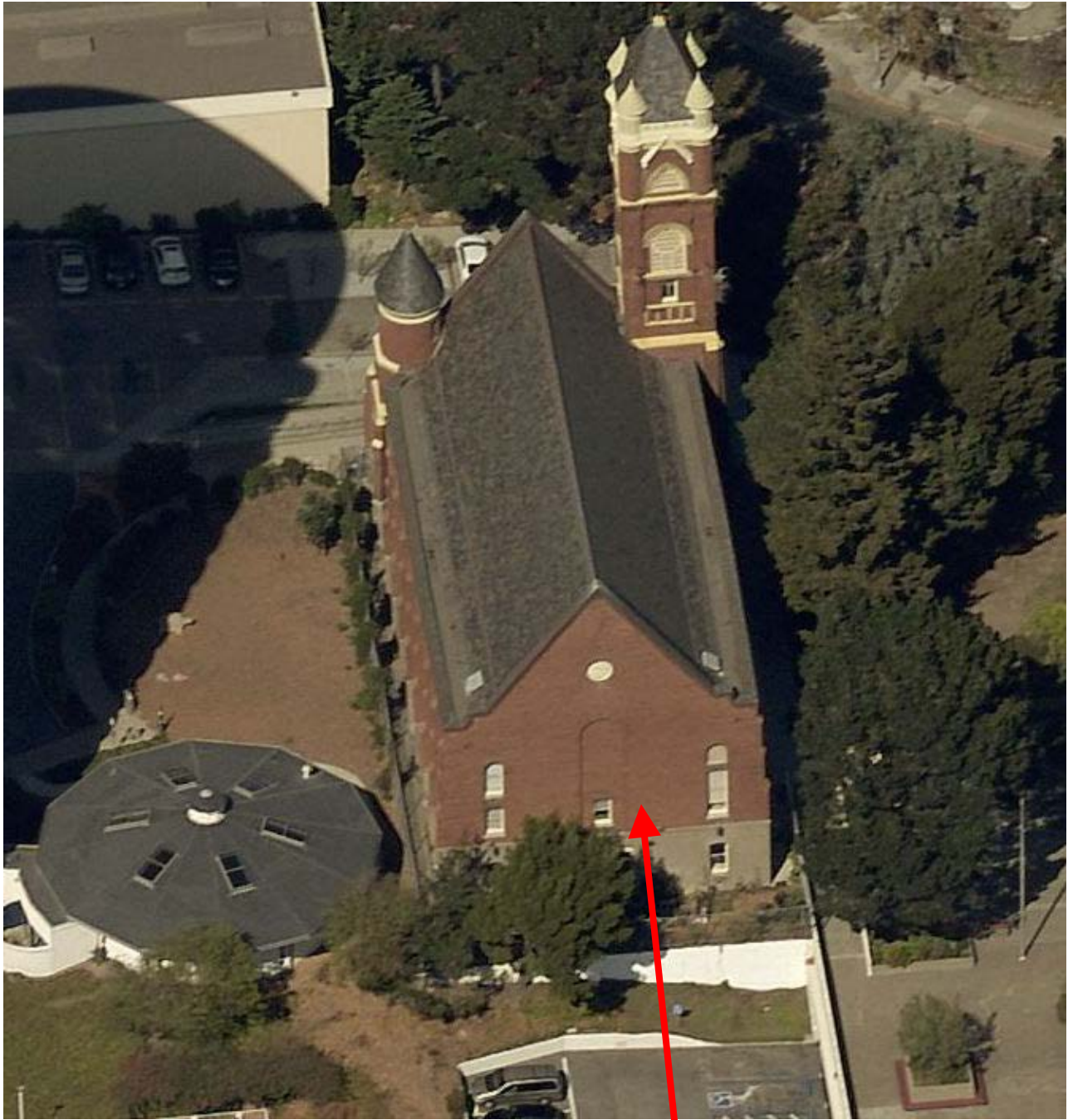


Location of proposed addition



Major Permit to Alter
Case Number 2015-015828PTA
1135 O'Farrell Street

Aerial Photo



Rear elevation of subject property



Major Permit to Alter
Case Number 2015-015828PTA
1135 O'Farrell Street

PROJECT TEAM

OWNER
 ST. MARK'S LUTHERAN CHURCH
 1031 O'FARRELL STREET
 SAN FRANCISCO, CA 94109

LANDSCAPE ARCHITECT
 STEPHEN WHEELER LANDSCAPE ARCHITECTS
 99 MISSISSIPPI STREET, SECOND FLOOR
 SAN FRANCISCO, CA 94107

ARCHITECT
 ARCHITECTURAL RESOURCES GROUP
 PIER 9, THE EMBARCADERO
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STRUCTURAL ENGINEER
 TUAN AND ROBINSON, STRUCTURAL ENGINEERS
 444 SPEAR STREET, SUITE 101
 SAN FRANCISCO, CA 94105

ELECTRICAL ENGINEER
 SILVERMAN & LIGHT
 1201 PARK AVENUE, SUITE 100
 EMERYVILLE, CA 94608

ST. MARK'S LUTHERAN CHURCH ELEVATOR ADDITION

1031 O'FARRELL STREET
 SAN FRANCISCO, CALIFORNIA

CERTIFICATE OF APPROPRIATENESS

SAN FRANCISCO LANDMARK #41



Pier 9, The Embarcadero - San Francisco, California
 415-441-2580 fax 415-441-0242

NO.	2	NOPDR 2	APRIL 14, 2016
	1	NOPDR 1	MARCH 18, 2016
REVISIONS			

ST. MARK'S LUTHERAN CHURCH

ELEVATOR ADDITION

1031 O'FARRELL ST.
 SAN FRANCISCO, CA 94109

SHEET TITLE

TITLE SHEET

ISSUANCE
 CERTIFICATE OF APPROPRIATENESS

DATE
 DECEMBER 2, 2015

PROJ. NO.

14229

DRAWN

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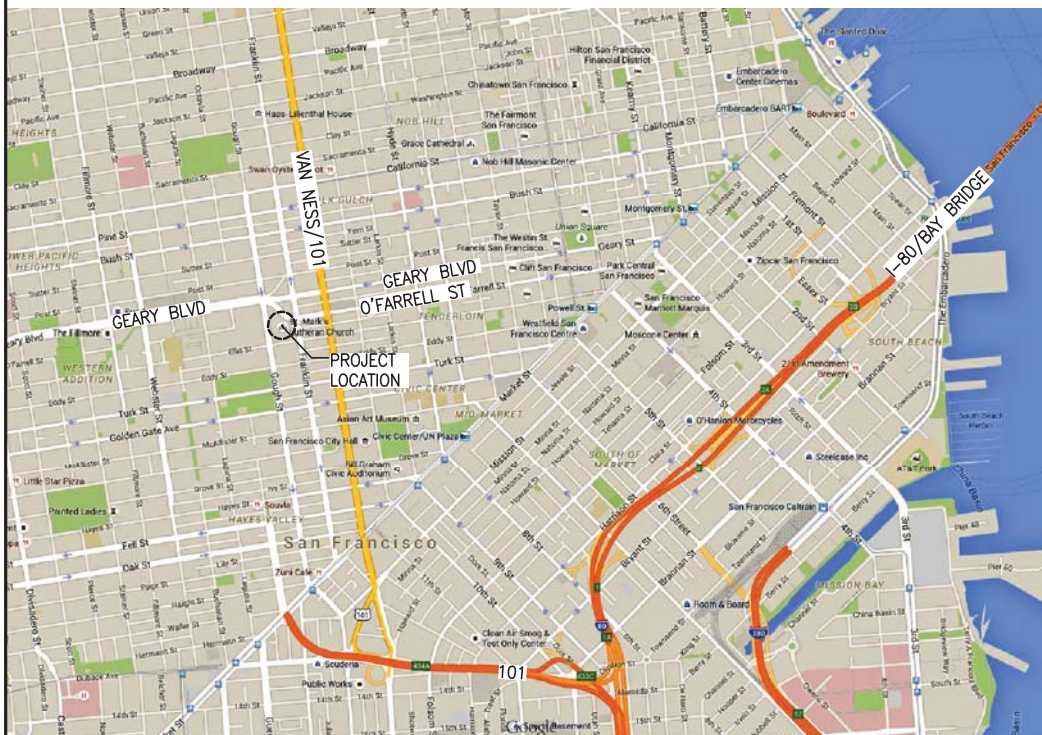
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DRAWING NO.

T1.0

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PROJECT LOCATION



PROJECT DESCRIPTION

ST. MARK'S LUTHERAN CHURCH, DESIGNED BY ARCHITECT HENRY GEILFUSS, WAS DEDICATED IN 1895. SITUATED NEAR THE CORNER OF FRANKLIN AND O' FARRELL STREETS, THE BUILDING HAS SURVIVED THE 1906 EARTHQUAKE, REDEVELOPMENT OF THE WESTERN ADDITION AND CHANGING NEIGHBORHOOD DEMOGRAPHICS. IN 2006, ST. MARK'S REDEDICATED ITS HISTORIC HOME FOLLOWING AN 18-MONTH CONSTRUCTION PERIOD WHEN THE BUILDING WAS SEISMICALLY REINFORCED AS REQUIRED BY THE SAN FRANCISCO BUILDING CODE.

INSTALLING AN ELEVATOR WAS STUDIED IN 2006, BUT WAS NOT PURSUED AT THAT TIME. IT HAS BEEN A TOP PRIORITY FOR THE CHURCH EVER SINCE. THE CURRENT PROJECT LOOKS TO PROVIDE ACCESS TO ALL THREE FLOORS OF CHURCH THROUGH A LIMITED USE/LIMITED APPLICATION ELEVATOR LOCATED ON THE WEST SIDE OF THE BUILDING.



ABBREVIATIONS

&	AND	DSP	DRY STANDPIPE	LAM	LAMINATE	LEADER
∠	ANGLE	DTL	DETAIL	LAV	LAVATORY	
@	AT	DWG	DRAWING	LB	POUND	S
⊕	CENTERLINE	DWR	DRAWER	LKR	LOCKER	SC
∅	DIAMETER/ ROUND			LN	LINOLEUM	SCD
#	POUND OR NUMBER	E	EAST	LT	LIGHT	SCHED
⊥	PERPENDICULAR	(E)	EXISTING	MAX	MAXIMUM	SD
		EA	EACH	MB	MACHINE BOLT	SH
		EJ	EXPANSION JOINT	MC	MEDICINE CABINET	SHC
		EL	ELEVATION	MDF	MEDIUM DENSITY FIBERBOARD	SHT
ACOUS	ACOUSTICAL	ELEC	ELECTRICAL	MDO	MEDIUM DENSITY OVERLAY	SHTHG
ACT	ACOUSTIC CEILING TILE	ELEV	ELEVATOR			SIM
AD	AREA DRAIN	EMER	EMERGENCY ENCLOSURE	MECH	MECHANICAL	SLD
ADJ	ADJUSTABLE/ ADJACENT	ENCL	ELECTRICAL PANEL	MEMB	MEMBRANE	SLD
AFF	ABOVE FINISHED FLOOR	EQ	EQUAL EQUIPMENT	MFR	MANUFACTURER	SLR
		EWC	ELECTRICAL WATER COOLER	MH	MANHOLE	SMD
AL	ALUMINUM	EXIST	EXISTING	MIN	MINIMUM	SND
APPROX	APPROXIMATE	EXP	EXPANSION	MISC	MISCELLANEOUS	
ARCH	ARCHITECTURAL	EXPO	EXPOSED	MO	MASONRY OPENING	SNR
ASB	ASBESTOS	EXT	EXTERIOR	MTD	MOUNTED	
ASPH	ASPHALT			MUL	MULLION	SPEC
ATT	ATTACH	FA	FIRE ALARM	N	NORTH	SSD
		FB	FUSE BOX	(N)	NEW	
BD	BOARD	FBR BD	FIBER BOARD	NIC	NOT IN CONTRACT	
BITUM	BITUMINOUS	FBRGL	FIBERGLASS	NOM	NOMINAL	SSK
BLDG	BUILDING	FD	FLOOR DRAIN	NTS	NOT TO SCALE	SST
BLK	BLOCK	FDN	FOUNDATION			STA
BM	BEAM	FDN	FIRE EXTINGUISHER			STD
BOT	BOTTOM	FE	FE CABINET	OA	OVERALL	STL
BUR	BUILT-UP ROOFING	FEC	FIRE HOSE CABINET	OBS	OBSCURE	STOR
		FHC	FIRE HOSE CABINET	OC	ON CENTER	STRUC
				OCC	OCCUPANCY OR OCCUPANT(S)	SUSP
		FIN	FINISH	OD	OUTSIDE DIAMETER	SV
CAB	CABINET	FLR	FLOOR	OFI	OWNER	SYM
CB	CATCH BASIN	FLASH	FLASHING			
CEM	CEMENT	FLUOR	FLUORESCENT			
CER	CERAMIC	FND	FOUNDATION			
CG	CORNER GUARD	FO	FACE OF CONCRETE	OFI	OWNER FURNISHED, OWNER INSTALLED	T
CI	CAST IRON	FOC	FACE OF CONCRETE			TB
CJ	CONTROL JOINT	FOF	FACE OF FINISH			TCA
CLG	CEILING	FOM	FACE OF MASONRY	OFF	OFFICE	TEL
CLKG	CAULKING	FOS	FACE OF STUD	OPNG	OPENING	TER
CLO	CLOSET	FOW	FACE OF WALL	OPP	OPPOSITE	T&G
CLR	CLEAR	FP	FABRIC PANEL	OSB	ORIENTED STRAND BOARD	THK
CMU	CONCRETE MASONRY UNIT	FPRF	FIREPROOF FIBERGLASS REINFORCED PANEL	PARA	PARALLEL	TO
		FRP	FIBERGLASS REINFORCED PANEL	PERP	PERPENDICULAR	TOC
CNTR	COUNTER	FS	FULL SIZE	PLAM	PLASTIC LAMINATE	TOP
CO	CLEANOUT OR CONTRACTING OFFICER	FT	FOOT OR FEET	PLAS	PLASTER	TOP OF PAVING
		FTG	FOOTING	PLYWD	PLYWOOD	TOP OF WALL
COL	COLUMN	FURR	FURRING	PR	PAIR	TOILET PAPER DISPENSER
COMP	COMPOSITION	FUT	FUTURE	PRCST	PRECAST	TRASH RECEPTACLE
CONC	CONCRETE			PT	PAINT	TRD
COND	CONDITION	GA	GAUGE	PTD	PAPER TOWEL DISPENSER	TV
CONN	CONNECTION	GALV	GALVANIZED			TYP
CONSTR	CONSTRUCTION	GB	GRAB BAR	PTD/R	PAPER TOWEL DISPENSER	UNF
CONT	CONTINUOUS	GL	GLASS			UNON
CONTR	CONTRACTOR	GLB	GLUE LAM BEAM			UR
COR	CONTRACTING OFFICER'S REPRESENTATIVE	GND	GROUND	PTN	PARTITION	VCT
		GR	GRADE	PTR	PAPER TOWEL RECEPTACLE	VINYL COMPOSITION TILE
		GSM	GALVANIZED SHEET METAL			VERT
		GYP	GYPSUM	QT	QUARRY TILE	VEST
CORR	CORRIDOR					VIF
CPT	CARPET	HB	HOSE BIB			VIN
CT	CERAMIC TILE	HC	HOLLOW CORE	R	RISER	VTR
CTR	CENTER	HDR	HEADER	(R)	REMOVE	VP
CTSK	COUNTERSINK	HDWD	HARDWOOD	RAD	RADIUS	VENT THROUGH ROOF
		HDWE	HARDWARE	RB	RUBBER BASE	VW
		HGT	HEIGHT	RD	ROOF DRAIN	VINYL WALLCOVERING
		HM	HOLLOW METAL	REC	RECESSED	W
DBL	DOUBLE	HORIZ	HORIZONTAL	REF	REFERENCE	WEST
DEMO	DEMOLITION	HR	HOUR	REFG	REFRIGERATOR	WITH
DEPT	DEPARTMENT	HGT	HEIGHT	REHAB	REHABILITATE	WC
DET	DETAIL			REINF	REINFORCED	WALLCOVERING
DETER	DETERIORATED			REP	REPAIR	WD
DF	DRINKING	ID	INSIDE DIAMETER	REQ	REQUIRED	WOOD
		INSUL	INSULATION	RESIL	RESILIENT	WO
		INT	INTERIOR	RES	RESTORE	WHERE OCCURS
				RF	REFINISH	WITHOUT
DIA	DIAMETER	JAN	JANITOR	RGTR	REGISTER	WP
DIM	DIMENSION	JC	JANITOR CLOSET	FL	FLOOR LEADER	WATERPROOF
DISP	DISPENSER	JT	JOINT	RM	ROOM	WAINSCOT
DN	DOWN			RO	ROUGH OPENING	WT
DO	DOOR OPENING	KIT	KITCHEN	RWD	REDWOOD	WEIGHT
DR	DOOR	LAB	LABORATORY	RWL	RAIN WATER	
DS	DOWNSPOUT					

DETAIL NUMBERING

THE NUMBERING SYSTEM USED FOR DETAILS ON THE DRAWINGS IS AS SHOWN IN THE FOLLOWING DIAGRAM.

12	9	6	3
11	8	5	2
10	7	4	1

WHEN MORE THAN ONE BLOCK IS USED FOR A SINGLE DETAIL, THE NUMBER OF THE LOWEST NUMBERED BLOCK IS USED, THUS NUMBERS ARE ALWAYS IN THE SAME LOCATION ON THE SHEET.

GENERAL NOTES

- CONTRACTOR SHALL VERIFY THAT (E) CONDITIONS ARE AS INDICATED ON THE DRAWINGS. NOTIFY THE ARCHITECT IMMEDIATELY OF VARIATIONS OR DISCREPANCIES. DO NOT PROCEED WITH AFFECTED WORK UNTIL THE VARIATIONS OR DISCREPANCIES ARE RESOLVED BY THE ARCHITECT.
- ALL CONSTRUCTION AND INSTALLATION WORK SHOWN ON DRAWINGS SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES. USE METHODS AS REQUIRED TO COMPLETE WORK WITHIN LIMITATIONS OF ALL PREVAILING LAWS AND CODES.
- DO NOT SCALE DRAWINGS: USE DIMENSIONS SHOWN. ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD. DIMENSIONS SHOWN AT (E) CONDITIONS ARE TO FACE OF (E) FINISH. U.O.N. DIMENSIONS AT NEW WORK ARE TO FACE OF FINISH, U.O.N. DIMENSIONS OF (E) CONDITIONS ARE FOR REFERENCE ONLY AND SHALL BE VERIFIED BY THE CONTRACTOR IN THE FIELD. WHERE NO DIMENSION IS PROVIDED CONSULT WITH THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH AFFECTED WORK.
- SAFETY MEASURES: AT ALL TIMES THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE CONDITIONS AT THE JOB SITE, INCLUDING SAFETY OF PEOPLE AND PROPERTY. ARCHITECT SITE VISITS ARE NOT INTENDED TO REVIEW THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES.
- INSTALL MANUFACTURED MATERIALS AND EQUIPMENT PER MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS, UNLESS OTHERWISE INSTRUCTED.
- ALL WASTE AND REFUSE CAUSED IN CONNECTION WITH THE WORK SHALL BE REMOVED FROM THE PREMISES AND DISPOSED OF BY THE CONTRACTOR. THE PREMISES SHALL BE LEFT CLEAR AND CLEAN TO THE SATISFACTION OF THE ARCHITECT.
- APPLICATION OF FINISH: SURFACES PREVIOUSLY PREPARED OR INSTALLED BY ANOTHER TRADE SHALL BE INSPECTED CAREFULLY BY THE CONTRACTOR BEFORE APPLYING SUBSEQUENT MATERIALS OR FINISHES. IF SURFACES ARE NOT ACCEPTABLE, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY IN ORDER THAT CORRECTIONS MAY BE MADE. APPLICATIONS OF FINISHES WILL BE CONSTRUED AS ACCEPTANCE OF RESPONSIBILITY BY THE SUBCONTRACTOR FOR THE BASE UPON WHICH IT IS APPLIED.
- INSTALL ALL WORK PLUMB, LEVEL AND STRAIGHT, OR AS REQUIRED TO ALIGN WITH (E) ADJACENT SURFACES.
- CONTRACTOR SHALL DESIGN AND INSTALL SHORING AS REQUIRED TO PERFORM WORK. RESPONSIBILITY FOR ENGINEERING, CONSTRUCTION, AND SAFETY OF THE SHORING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION. THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO BE COMPLEMENTARY. CONFLICTS BETWEEN VARIOUS ELEMENTS OF THE DRAWINGS, SPECIFICATIONS, NOTES AND DETAILS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND RESOLVED BEFORE PROCEEDING WITH WORK.
- DETAILS SHOWN SHALL BE INCORPORATED INTO THE PROJECT AT ALL APPROPRIATE LOCATIONS WHETHER SPECIFICALLY CALLED OUT OR NOT.
- THE CONTRACTOR MUST SUBMIT IN WRITING ANY REQUESTS FOR MODIFICATIONS TO THE PLANS AND SPECIFICATIONS. SHOP DRAWINGS SUBMITTED TO THE ARCHITECT FOR REVIEW DO NOT CONSTITUTE "IN WRITING" UNLESS IT IS CLEARLY NOTED ON THE SUBMITTAL THAT SPECIFIC CHANGES ARE BEING REQUESTED WITH THE PHRASE "REQUESTED CHANGE".
- FINAL AS-BUILT RECORD DOCUMENTS SHOWING ALL REVISIONS INCORPORATED DURING CONSTRUCTION SHALL BE SUBMITTED TO THE ARCHITECT PRIOR TO PROJECT CLOSE-OUT.
- THROUGHOUT THE CONSTRUCTION DOCUMENTS, ITEMS THAT ARE EXISTING ARE INDICATED AS "EXISTING" OR "(E)", ITEMS WITHOUT THIS INDICATION ARE NEW CONSTRUCTION. WHERE REQUIRED FOR PURPOSES OF CLARITY, SOME ITEMS MAY BE INDICATED AS "NEW" OR "(N)".
- ARCHITECTURAL RESOURCES GROUP ASSUMES NO RESPONSIBILITY FOR THE MANAGEMENT OF HAZARDOUS MATERIALS THAT MAY BE ON THIS SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSURING THAT PERSONNEL WITHIN THE WORK AREA ARE PROTECTED FROM EXPOSURE TO ANY HAZARDOUS MATERIALS ENCOUNTERED. IF MATERIALS ARE DISCOVERED THAT MAY BE HAZARDOUS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND CEASE WORK UNTIL CONDITIONS CAN BE MAINTAINED IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS.

PROJECT INFORMATION

DESIGNATED SAN FRANCISCO LANDMARK #41, JULY 10, 1971. CONSTRUCTED 1894. NO KNOWN BUILDING CODE AT TIME OF CONSTRUCTION. NO RECORD OF ORIGINAL BUILDING PERMIT.

BUILDING QUALIFIES FOR ALTERNATIVE REGULATIONS IN CALIFORNIA HISTORICAL BUILDING. TO THE BEST OF CLIENT'S KNOWLEDGE THE BUILDING HAS BEEN IN CONTINUOUS USE AS A CHURCH SINCE ORIGINAL CONSTRUCTION.

BUILDING AREA: (NO CHANGE IN BUILDING AREA WITH THIS PERMIT APPLICATION OR FROM ORIGINAL 1894 CONSTRUCTION)

MECHANICAL BASEMENT	308 SF
LOWER LEVEL	6,297 SF
MAIN LEVEL	6,332 SF
BALCONY (WITHIN OPEN SANCTUARY)	2,136 SF
MECHANICAL MEZZANINE (SOUTH END)	1,030 SF
TOTAL	16,103 SF

BUILDING HEIGHT: 2 STORIES WITH BASEMENT AND TWO MEZZANINES

OCCUPANCY GROUP: OCCUPANCY GROUP A-3

TYPE OF CONSTRUCTION: GENERALLY CONFORMS TO CURRENT CONSTRUCTION TYPE IIIA "EXTERIOR WALLS SHALL BE CONSTRUCTED OF NONCOMBUSTIBLE MATERIALS AND SHALL COMPLY WITH FIRE RESISTIVE REQUIREMENTS SET FORTH IN SECTION 503 AND TABLES 5A AND 6A (SECTION 604.3.1.)

ALLOWABLE AREA/ # OF STORIES TYPE IIIA A-3 = 14,000 SF/ 3 STORIES

CALIFORNIA HISTORIC BUILDING CODE SECTION 8-302.4, MAXIMUM FLOOR AREA (EXCEPTION) - "HISTORIC BUILDINGS PROVIDED WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM MAY BE UNLIMITED IN FLOOR AREA WITHOUT FIRE-RESISTIVE SEPARATION WALLS. ST. MARKS CHURCH WAS PROVIDED WITH A FULL SPRINKLER SYSTEM IN 2006.

INDEX OF DRAWINGS

T1.0	TITLE SHEET
T1.1	DRAWING INDEX, NOTES, AND ABBREVIATIONS
T1.2	HISTORICAL INFORMATION
T1.3	EXISTING CONTEXT PHOTOS
T1.4	SITE PLAN

P0	LOWER LEVEL PHOTOS
P1	MAIN LEVEL PHOTOS
P2	BALCONY LEVEL PHOTOS

LANDSCAPE ARCHITECTURE

L1.0	LANDSCAPE PLAN
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ARCHITECTURAL

A1.0	LOWER LEVEL DEMOLITION PLAN
A1.1	MAIN LEVEL DEMOLITION PLAN
A1.2	BALCONY LEVEL DEMOLITION PLAN
A2.0	LOWER LEVEL FLOOR PLAN
A2.1	MAIN LEVEL FLOOR PLAN
A2.2	BALCONY LEVEL FLOOR PLAN
A3.0	EXTERIOR ELEVATIONS
A3.1	BUILDING SECTIONS
A3.2	ELEVATOR MASSING STUDY
A5.0	BALCONY DOOR ELEVATIONS

APPLICABLE CODES

- 2013 CALIFORNIA BUILDING CODE
- 2013 CALIFORNIA ELECTRICAL CODE
- 2013 CALIFORNIA MECHANICAL CODE
- 2013 CALIFORNIA PLUMBING CODE
- 2013 GREEN BUILDING CODE
- 2013 CALIFORNIA ENERGY CODE
- 2013 CALIFORNIA HISTORIC BUILDING CODE

ACCESSIBILITY REQUIREMENTS ARE GOVERNED BY:
2013 CALIFORNIA BUILDING CODE
2010 ADA STANDARDS FOR ACCESSIBLE DESIGN

SYMBOL LEGEND

DOOR SYMBOL	DETAIL SYMBOL
DOOR NUMBER	DETAIL NUMBER
WINDOW NUMBER	SHEET WHERE DETAIL OCCURS
WINDOW SYMBOL	SECTION SYMBOL
WINDOW NUMBER	SECTION NUMBER
ALIGN SURFACES	SHEET WHERE SECTION OCCURS
ALIGN SURFACES	PARTITION LEGEND
ROOM TITLE SYMBOL	NEW CONSTRUCTION
ENTRY	EXISTING CONSTRUCTION TO BE REMOVED
ROOM NUMBER	EXISTING CONSTRUCTION TO REMAIN
WALL TYPE SYMBOL	NEW CONSTRUCTION FIRE RATED
WALL TYPE	NEW CONSTRUCTION SOUND RATED
SHEET NOTE SYMBOL	
SHEET NOTE NUMBER	
INTERIOR ELEVATION OR PHOTO DETAIL SYMBOL	
ELEVATION OR PHOTO DETAIL NUMBER	
SHEET WHERE ELEVATION OR PHOTO DETAIL OCCURS	



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NO. DESCRIPTION DATE

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ST. MARK'S LUTHERAN CHURCH
ELEVATOR ADDITION

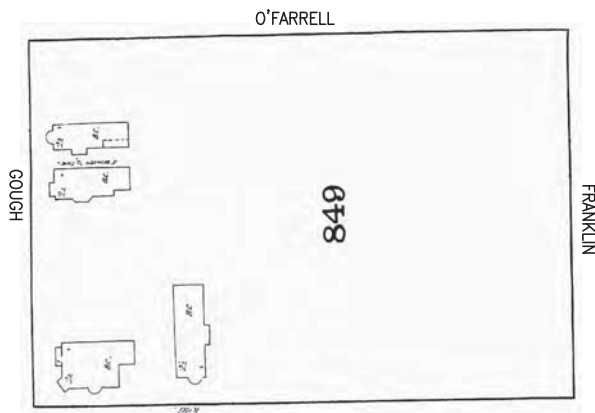
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SHEET TITLE
DRAWING INDEX, NOTES, AND ABBREVIATIONS

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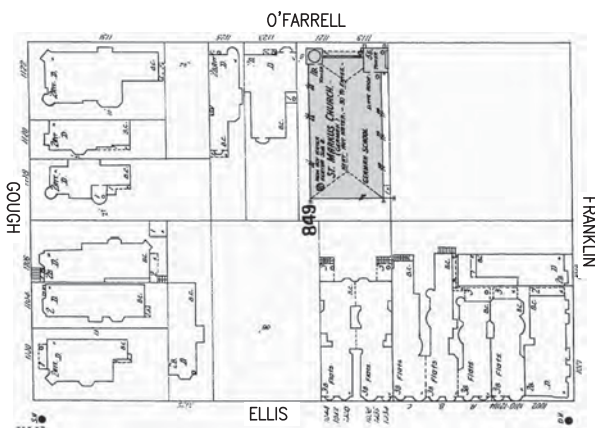
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JULY 1953, SAN FRANCISCO PUBLIC LIBRARY



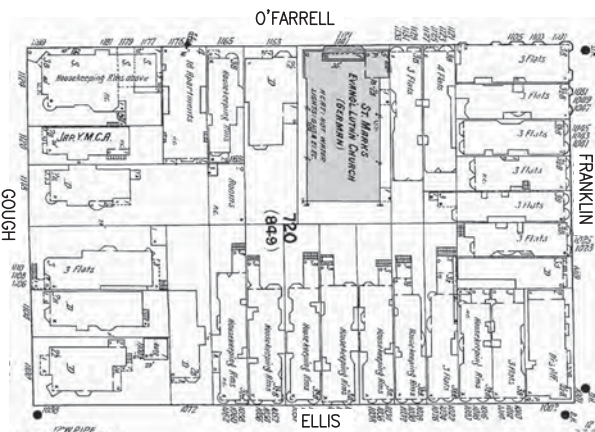
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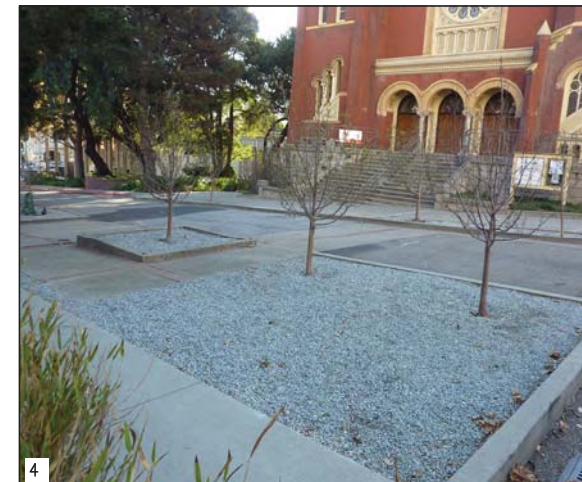
1
LOOKING SOUTH-WEST FROM FRANKLIN AND STARR KING



2
LOOKING SOUTH FROM NORTH EAST CORNER OF CHURCH



3
LOOKING WEST FROM STAIRS AT FRONT OF CHURCH



4
LOOKING SOUTH-EAST FROM IN FRONT OF CHURCH



5
LOOKING SOUTH AT NORTH-WEST CORNER OF CHURCH, TOWARDS ELEVATOR SITE



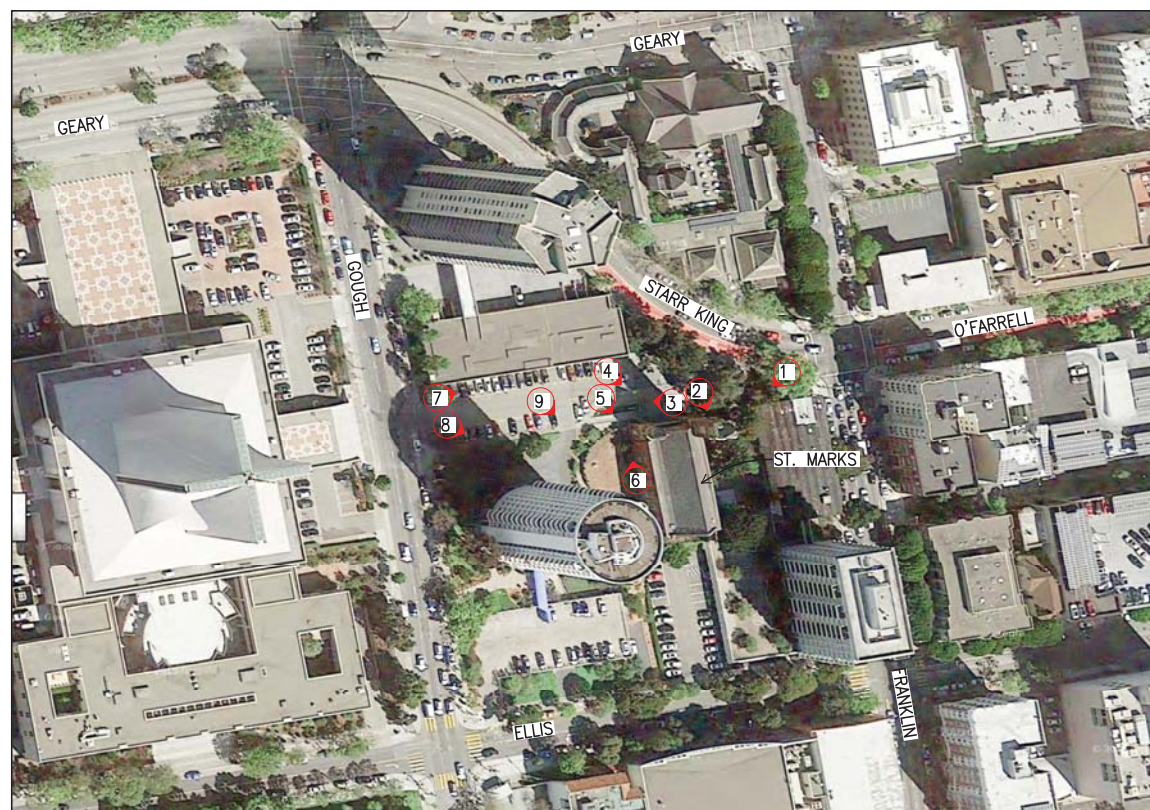
6
LOOKING NORTH AT ELEVATOR SITE



7
LOOKING EAST FROM GOUGH



8
LOOKING SOUTH-EAST FROM GOUGH



AERIAL PHOTOGRAPH



100 0 100
1" = 100'



LOOKING SOUTH-EAST FROM PARKING LOT

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ST. MARK'S LUTHERAN CHURCH

ELEVATOR ADDITION

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EXISTING CONTEXT PHOTOS

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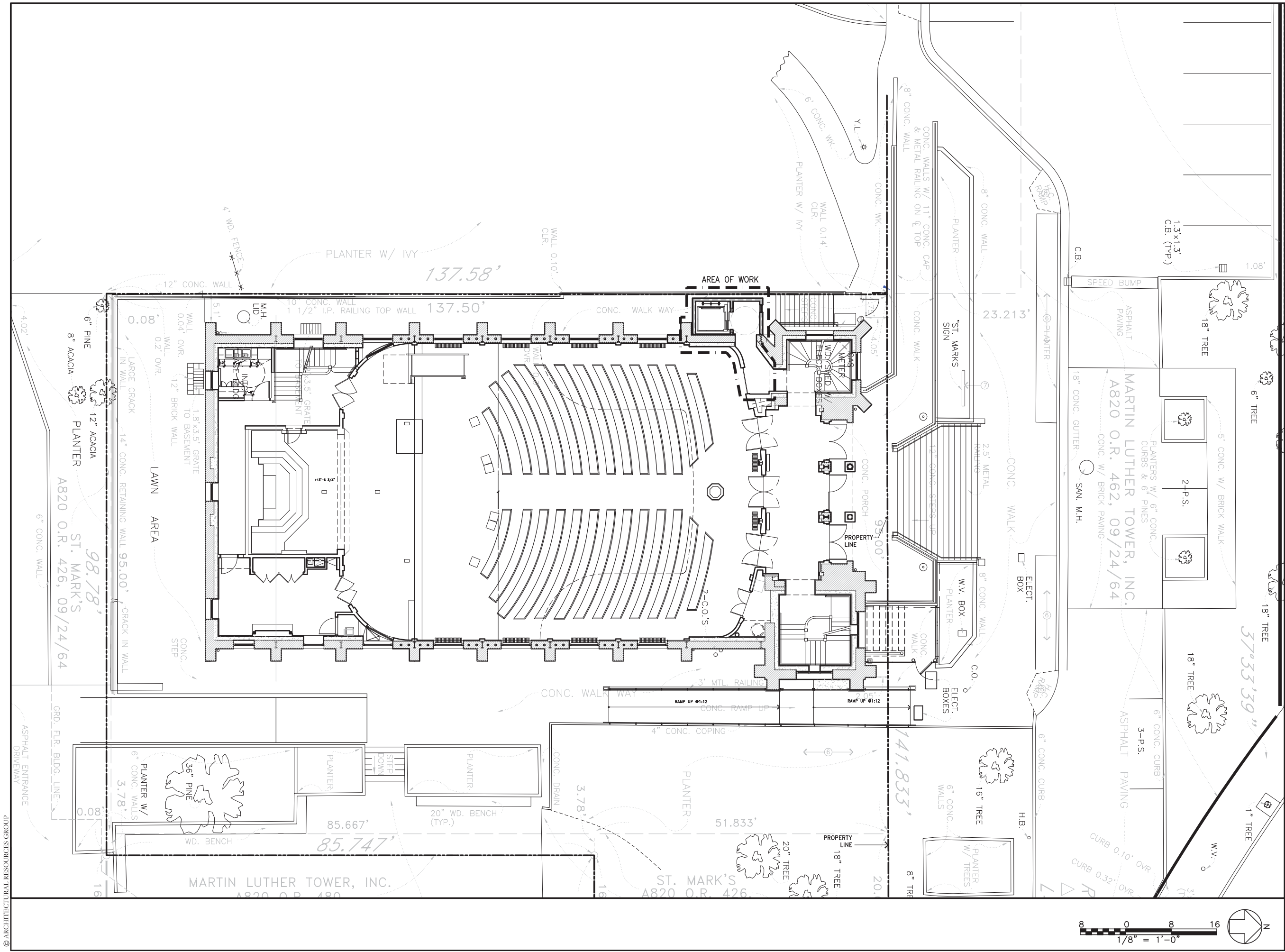
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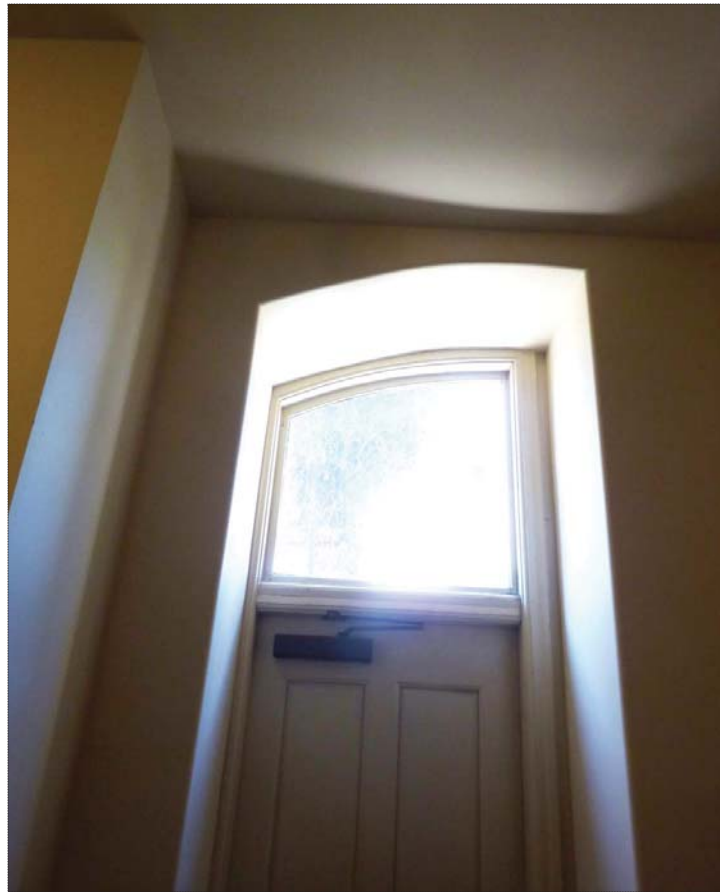
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24"x36" OR 22"x34" SHEET SIZE. IF SHEET SIZE IS SMALLER, THEN DRAWING HAS BEEN REDUCED.



LOOKING NORTH AT EXTERIOR LOCATION OF PROPOSED ELEVATOR



LOOKING WEST AT LOCATION OF OPENING TO ELEVATOR LOBBY



LOOKING NORTH TOWARDS STAIRS



LOOKING SOUTH TOWARDS HERITAGE HALL



LOOKING WEST AT LOCATION OF OPENING TO ELEVATOR LOBBY



LOOKING SOUTH TOWARDS PROPOSED ELEVATOR MACHINE ROOM



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SHEET TITLE
LOWER LEVEL
PHOTOS

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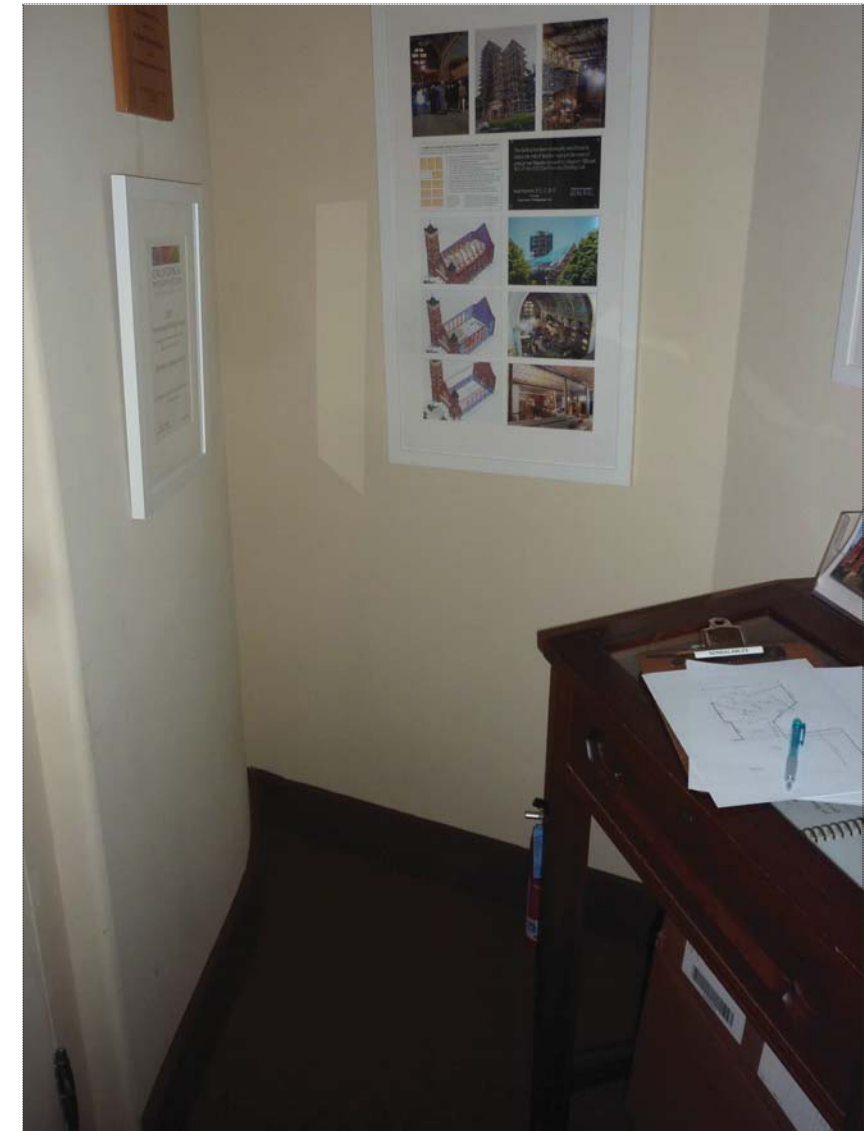
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LOOKING SOUTH-EAST TOWARDS ENTRANCE TO PROPOSED ELEVATOR ACCESS VESTIBULE



LOOKING SOUTH THROUGH PROPOSED ELEVATOR ACCESS VESTIBULE TOWARD SANCTUARY



LOOKING WEST TOWARD PROPOSED ENTRANCE TO ELEVATOR LOBBY

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**ST. MARK'S
LUTHERAN
CHURCH**
ELEVATOR ADDITION
1031 O'FARRELL ST.
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SHEET TITLE
**MAIN LEVEL
PHOTOS**

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ELEVATOR ADDITION

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SHEET TITLE
BALCONY LEVEL
PHOTOS

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DC	

DRAWING NO.

P2

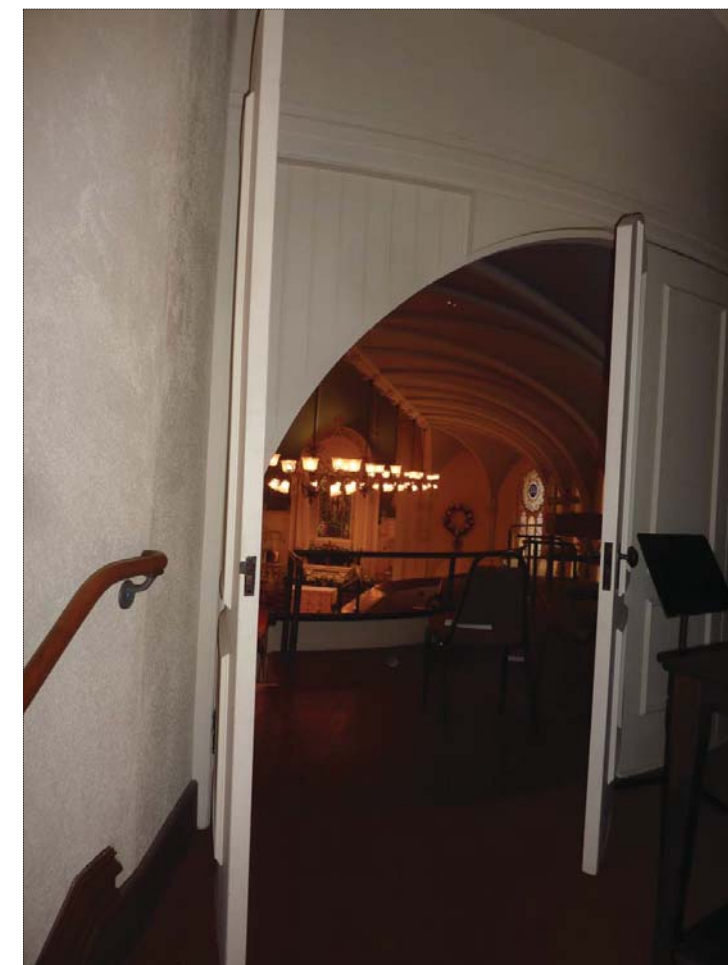
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LOOKING SOUTH TOWARDS ENTRANCE TO BALCONY



LOOKING WEST TOWARDS PROPOSED ENTRANCE TO ELEVATOR LOBBY



LOOKING SOUTH THROUGH BALCONY DOORS



LOOKING NORTH FROM BALCONY TO ELEVATOR ACCESS VESTIBULE



LOOKING NORTH-WEST FROM SANCTUARY TOWARDS DOORS LEADING TO ELEVATOR ACCESS VESTIBULES AT MAIN AND BALCONY LEVEL.



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**ST. MARK'S
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 NEW ELEVATOR
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 SAN FRANCISCO, CA 94109

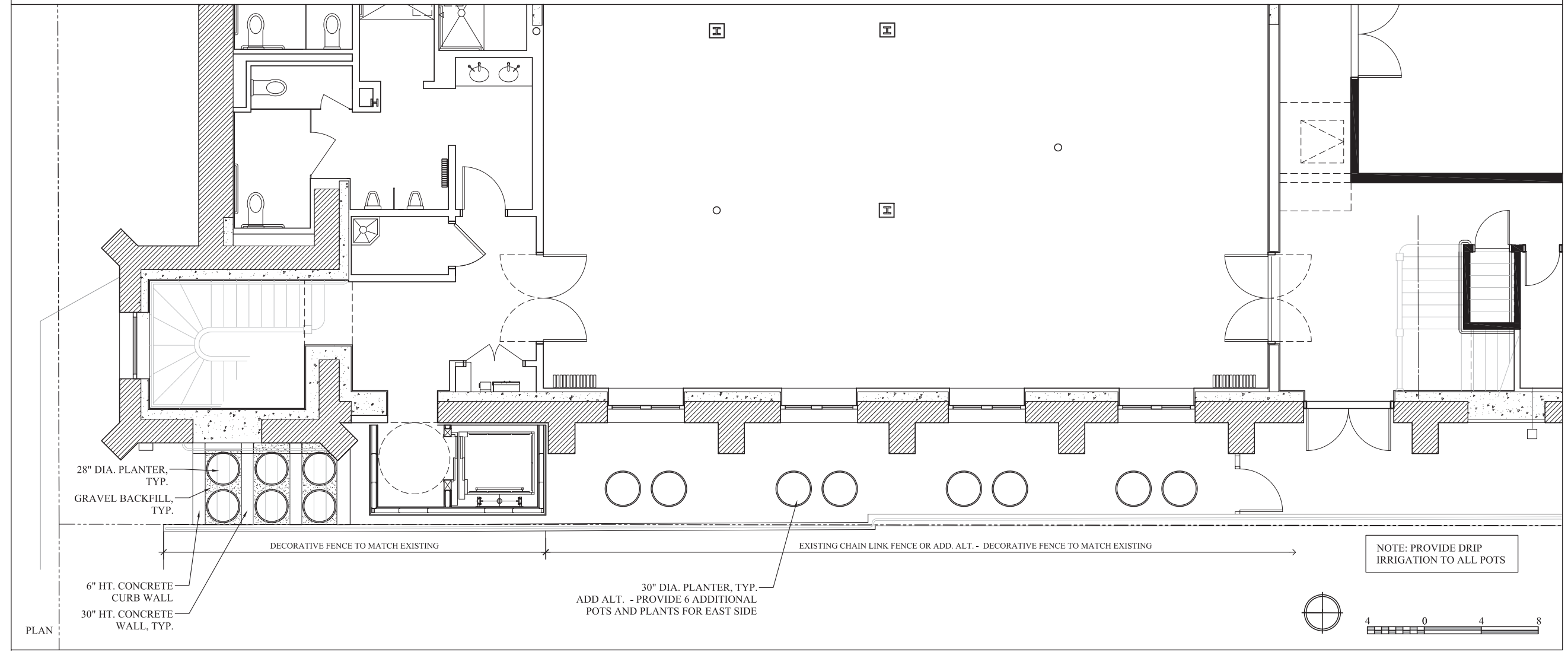
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LANDSCAPE PLAN

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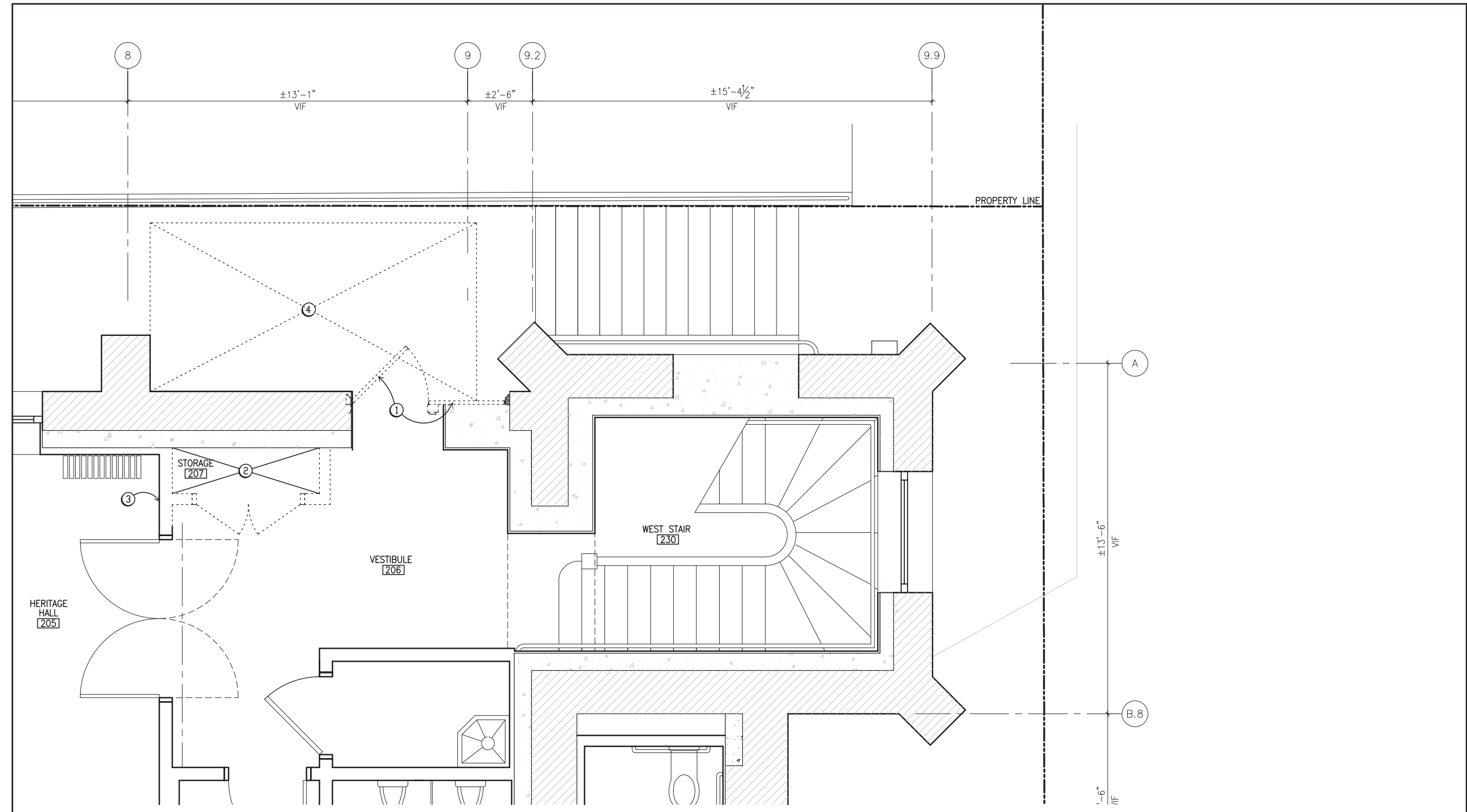
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CHURCH**
ELEVATOR ADDITION
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SHEET TITLE
**LOWER LEVEL
DEMOLITION PLAN**

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1 LOWER DEMOLITION PLAN
SCALE: 1/2" = 1'-0"
00_LOWER LEVEL

GENERAL DEMOLITION NOTES

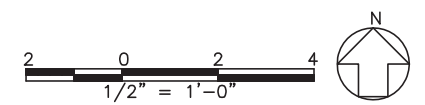
- REMOVAL OF STRUCTURE, FINISHES AND TRIMS SHALL BE DONE IN A MANNER TO MINIMIZE DAMAGE TO THE MATERIALS AND SURROUNDING AREAS. PROTECT (E) HISTORIC MATERIALS U.O.N. ON DEMOLITION PLAN.

DEMOLITION KEY NOTES (NOTE: NOT ALL NOTES SHOWN PERTAIN TO WORK ON THIS SHEET)

- REMOVE (E) DOOR AND FRAME. SALVAGE FOR OWNER.
- REMOVE (E) STORAGE ROOM COMPLETE.
- PROTECT FINISHES ON HERITAGE HALL SIDE OF WALL.
- REMOVE (E) CONC. PAVING AS REQUIRED FOR ELEVATOR INSTALLATION.
- REMOVE (E) MASONRY WALL. SALVAGE ALL USABLE BRICKS FOR OWNER.
- REMOVE FURRING.
- REMOVE AND SALVAGE (4) DOORS FOR MODIFICATION AND REINSTALLATION.

LEGEND

—— (E) WALL TO REMAIN
- - - - (E) WALL TO BE REMOVED



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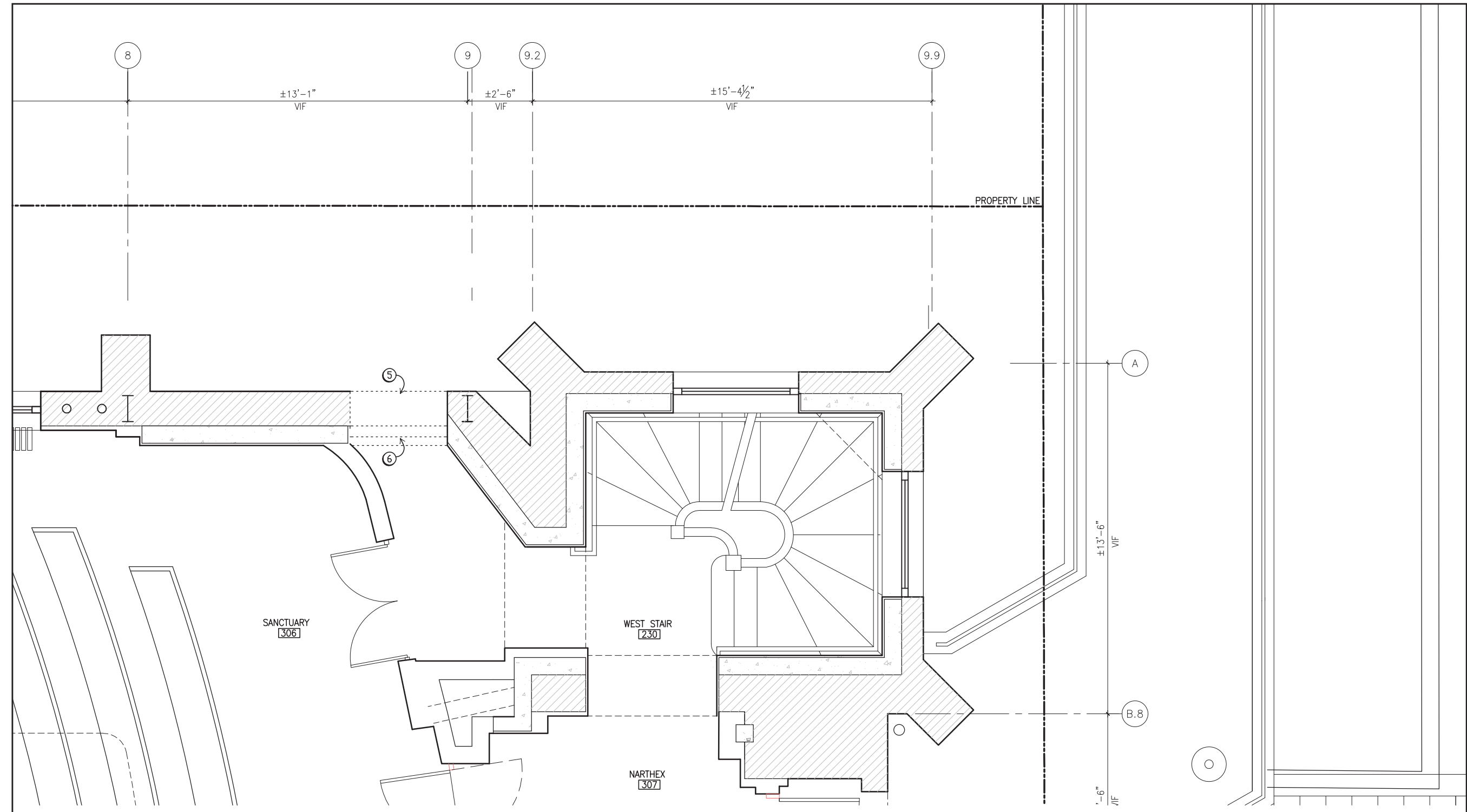
**ST. MARK'S
LUTHERAN
CHURCH**
ELEVATOR ADDITION
1031 O'FARRELL ST.
SAN FRANCISCO, CA 94109

SHEET TITLE
**MAIN LEVEL
DEMOLITION PLAN**

ISSUANCE
CERTIFICATE OF APPROPRIATENESS
DATE
DECEMBER 2, 2015

PROJ. NO. 14229	
DRAWN ML	
CHECKED DC	

DRAWING NO.
A1.1
00



1 MAIN LEVEL DEMOLITION PLAN
SCALE: 1/2" = 1'-0"
01_MAIN LEVEL

GENERAL DEMOLITION NOTES

1. REMOVAL OF STRUCTURE, FINISHES AND TRIMS SHALL BE DONE IN A MANNER TO MINIMIZE DAMAGE TO THE MATERIALS AND SURROUNDING AREAS. PROTECT (E) HISTORIC MATERIALS U.O.N. ON DEMOLITION PLAN.

DEMOLITION KEY NOTES (NOTE: NOT ALL NOTES SHOWN PERTAIN TO WORK ON THIS SHEET)

- ① REMOVE (E) DOOR AND FRAME. SALVAGE FOR OWNER.
- ② REMOVE (E) STORAGE ROOM COMPLETE.
- ③ PROTECT FINISHES ON HERITAGE HALL SIDE OF WALL.
- ④ REMOVE (E) CONC. PAVING AS REQUIRED FOR ELEVATOR INSTALLATION.
- ⑤ REMOVE (E) MASONRY WALL. SALVAGE ALL USABLE BRICKS FOR OWNER.
- ⑥ REMOVE FURRING.
- ⑦ REMOVE AND SALVAGE (4) DOORS FOR MODIFICATION AND REINSTALLATION.

LEGEND

- (E) WALL TO REMAIN
- (E) WALL TO BE REMOVED

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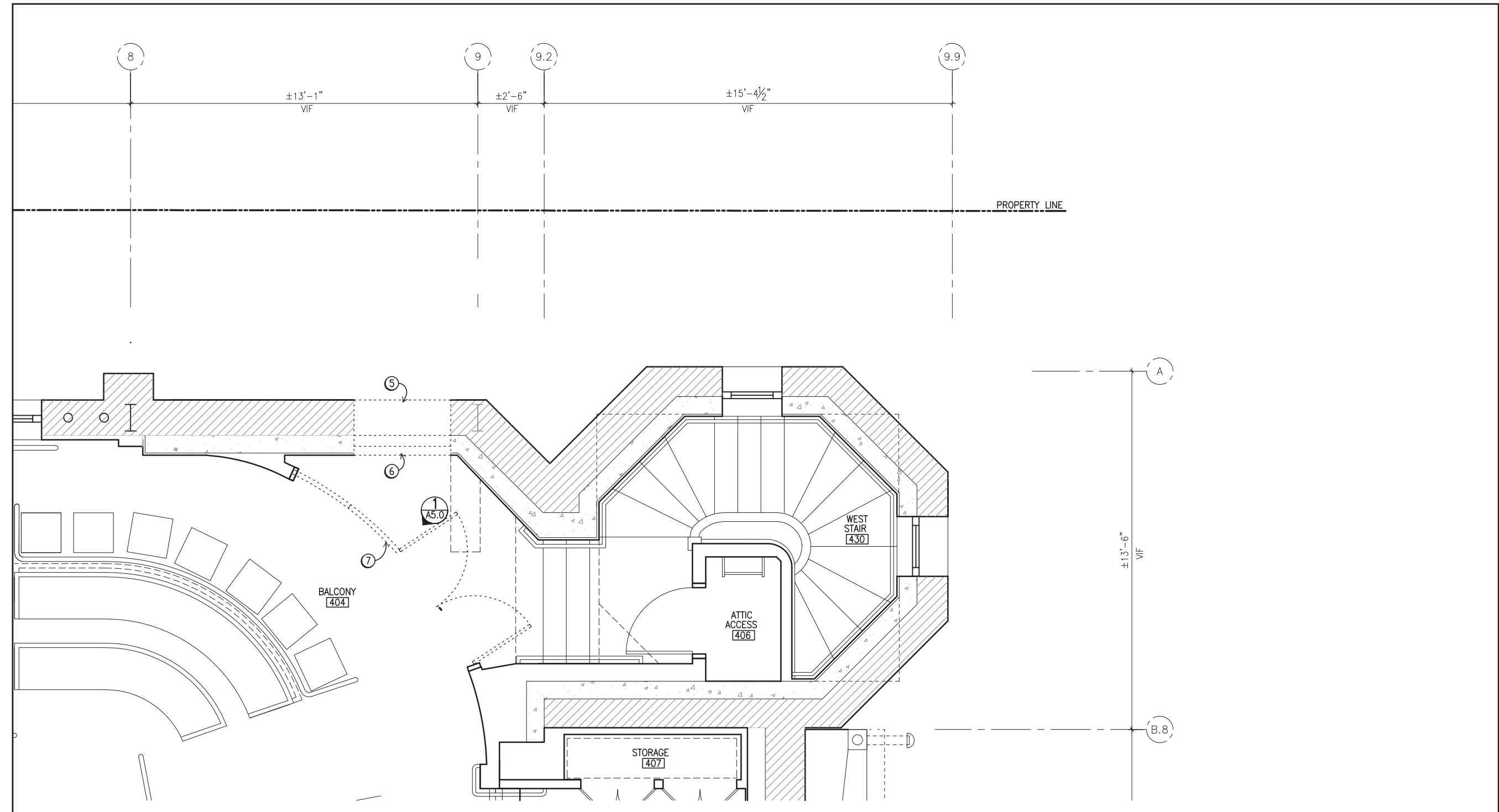
ST. MARK'S LUTHERAN CHURCH
ELEVATOR ADDITION
1031 O'FARRELL ST.
SAN FRANCISCO, CA 94109

SHEET TITLE
BALCONY LEVEL DEMOLITION PLAN

ISSUANCE
CERTIFICATE OF APPROPRIATENESS
DATE
DECEMBER 2, 2015

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DRAWN ML	
CHECKED DC	

DRAWING NO.
A1.2
00



1 BALCONY LEVEL DEMOLITION PLAN
SCALE: 1/2" = 1'-0"
01_BALCONY LEVEL

GENERAL DEMOLITION NOTES

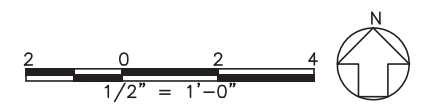
- REMOVAL OF STRUCTURE, FINISHES AND TRIMS SHALL BE DONE IN A MANNER TO MINIMIZE DAMAGE TO THE MATERIALS AND SURROUNDING AREAS. PROTECT (E) HISTORIC MATERIALS U.O.N. ON DEMOLITION PLAN.

DEMOLITION KEY NOTES (NOTE: NOT ALL NOTES SHOWN PERTAIN TO WORK ON THIS SHEET)

- REMOVE (E) DOOR AND FRAME. SALVAGE FOR OWNER.
- REMOVE (E) STORAGE ROOM COMPLETE.
- PROTECT FINISHES ON HERITAGE HALL SIDE OF WALL.
- REMOVE (E) CONC. PAVING AS REQUIRED FOR ELEVATOR INSTALLATION.
- REMOVE (E) MASONRY WALL. SALVAGE ALL USABLE BRICKS FOR OWNER.
- REMOVE FURRING.
- REMOVE AND SALVAGE (4) DOORS FOR MODIFICATION AND REINSTALLATION.

LEGEND

—— (E) WALL TO REMAIN
- - - - (E) WALL TO BE REMOVED



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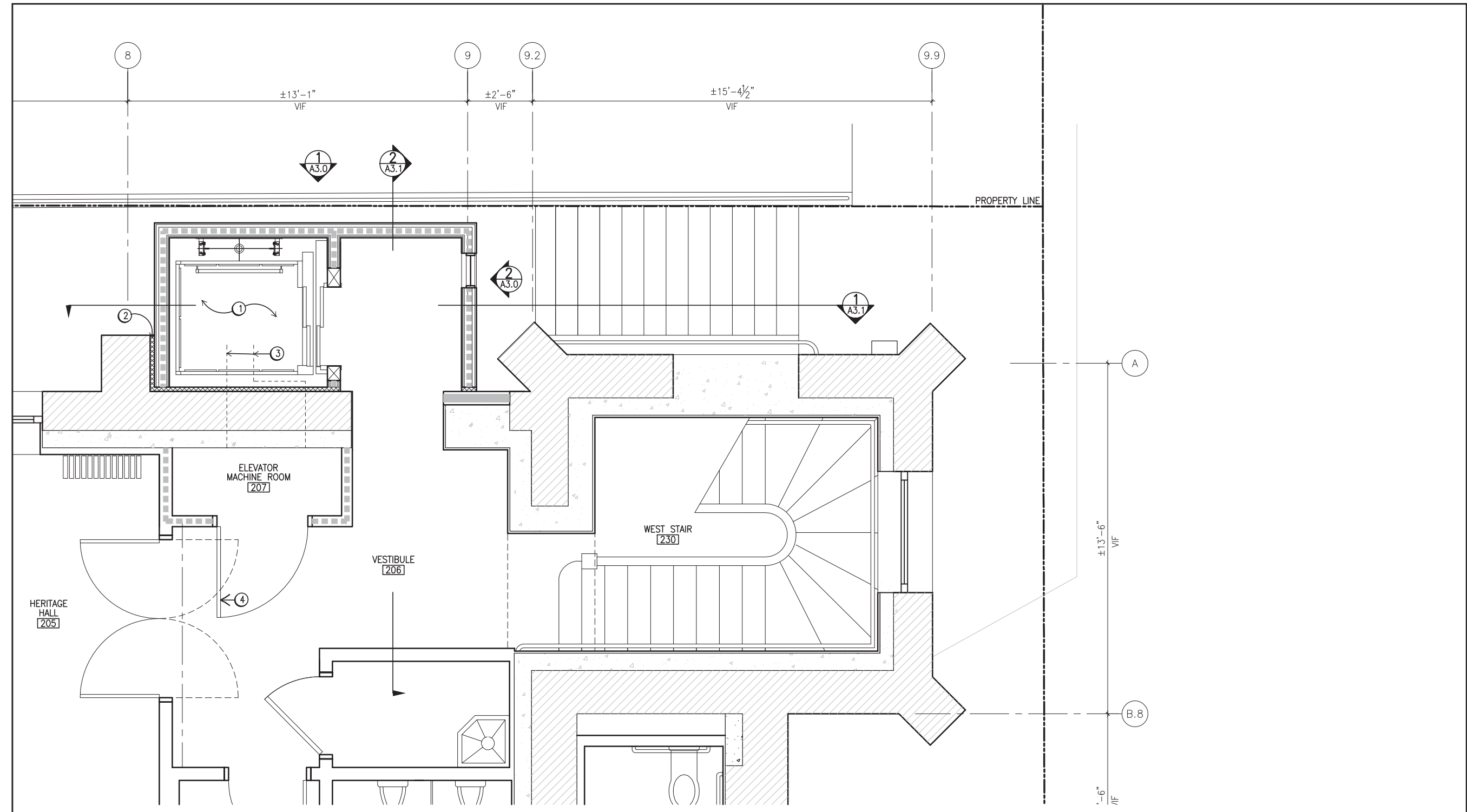
**ST. MARK'S
LUTHERAN
CHURCH**
ELEVATOR ADDITION
1031 O'FARRELL ST.
SAN FRANCISCO, CA 94109

SHEET TITLE
**LOWER LEVEL
FLOOR PLAN**

ISSUANCE
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DATE
DECEMBER 2, 2015

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CHECKED DC	

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A2.0
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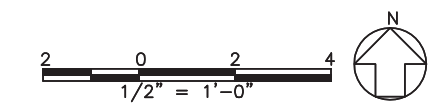
1 LOWER LEVEL PLAN
SCALE: 1/2" = 1'-0"
00_LOWER LEVEL

FLOOR PLAN KEY NOTES (NOTE: NOT ALL NOTES SHOWN PERTAIN TO WORK ON THIS SHEET)

- ① (N) 54" X 48" SPECIAL ACCESS ELEVATOR.
- ② 2" SEISMIC JOINT
- ③ PROVIDE SEISMIC CONNECTIONS FOR ALL THRU-WALL CONNECTIONS.
- ④ (N) 3'-6" X 7'-0" DOOR AT ELEVATOR MACHINE ROOM. PROVIDE ACOUSTIC DOOR SEALS.
- ⑤ FIX (E) DOORS SHUT. PROVIDE ACOUSTIC SEALS.
- ⑦ RECONFIGURE (E) DOORS TO MEET ACCESS AND EGRESS REQUIREMENTS. SEE 1,2,3/A5.0.

LEGEND

- (N) CONSTRUCTION
- (N) FIRE RATED CONSTRUCTION



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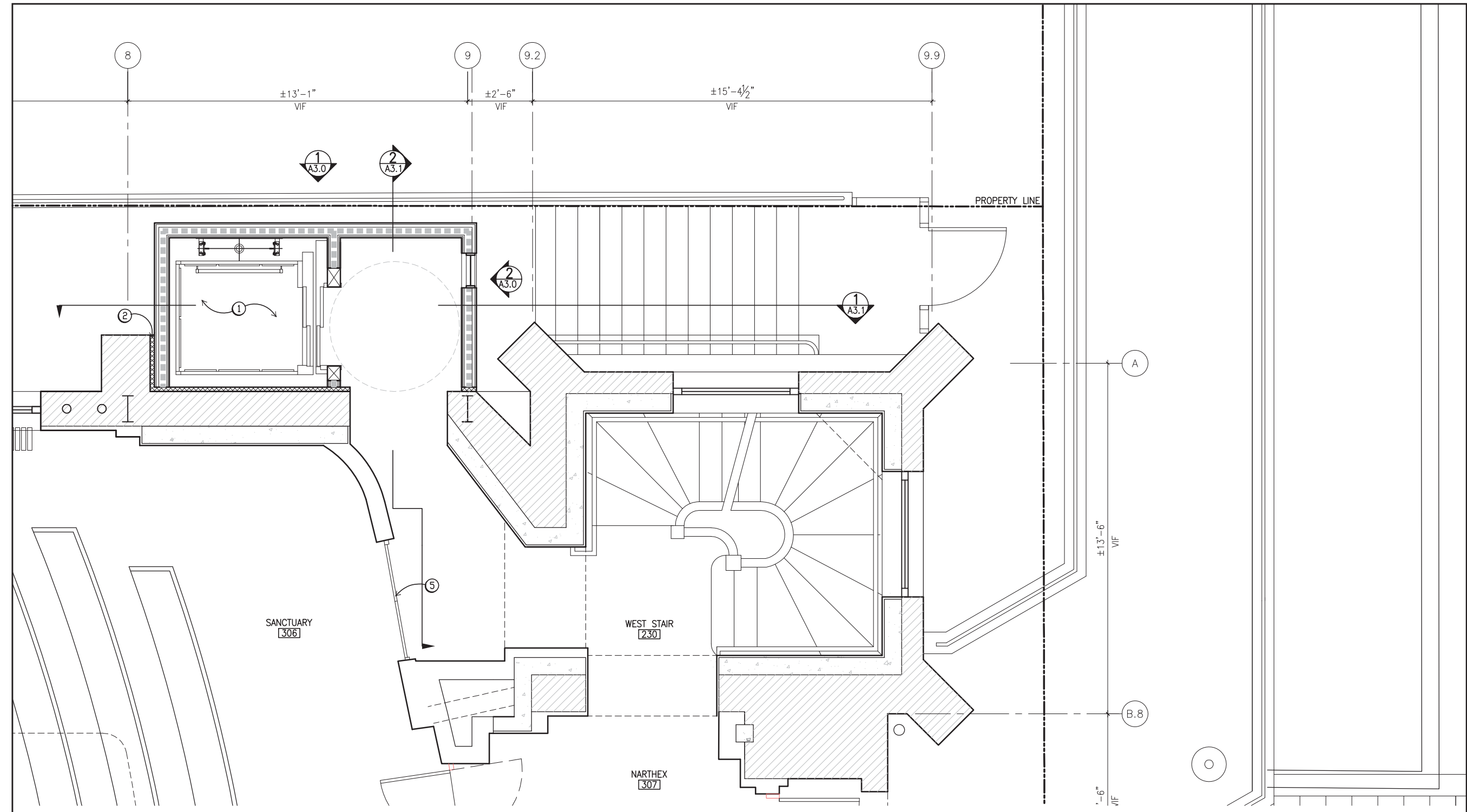
**ST. MARK'S
LUTHERAN
CHURCH**
ELEVATOR ADDITION
1031 O'FARRELL ST.
SAN FRANCISCO, CA 94109

SHEET TITLE
**MAIN LEVEL
FLOOR PLAN**

ISSUANCE
CERTIFICATE OF APPROPRIATENESS
DATE
DECEMBER 2, 2015

PROJ. NO. 14229	
DRAWN ML	
CHECKED DC	

DRAWING NO.
A2.1
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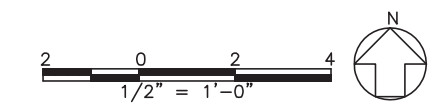
1 MAIN LEVEL FLOOR PLAN
SCALE: 1/2" = 1'-0"
01_MAIN LEVEL

FLOOR PLAN KEY NOTES (NOTE: NOT ALL NOTES SHOWN PERTAIN TO WORK ON THIS SHEET)

- ① (N) 54" X 48" SPECIAL ACCESS ELEVATOR.
- ② 2" SEISMIC JOINT
- ③ PROVIDE SEISMIC CONNECTIONS FOR ALL THRU-WALL CONNECTIONS.
- ④ (N) 3'-6" X 7'-0" DOOR AT ELEVATOR MACHINE ROOM. PROVIDE ACOUSTIC DOOR SEALS.
- ⑤ FIX (E) DOORS SHUT. PROVIDE ACOUSTIC SEALS.
- ⑦ RECONFIGURE (E) DOORS TO MEET ACCESS AND EGRESS REQUIREMENTS. SEE 1,2,3/A5.0.

LEGEND

- (N) CONSTRUCTION
- (N) FIRE RATED CONSTRUCTION



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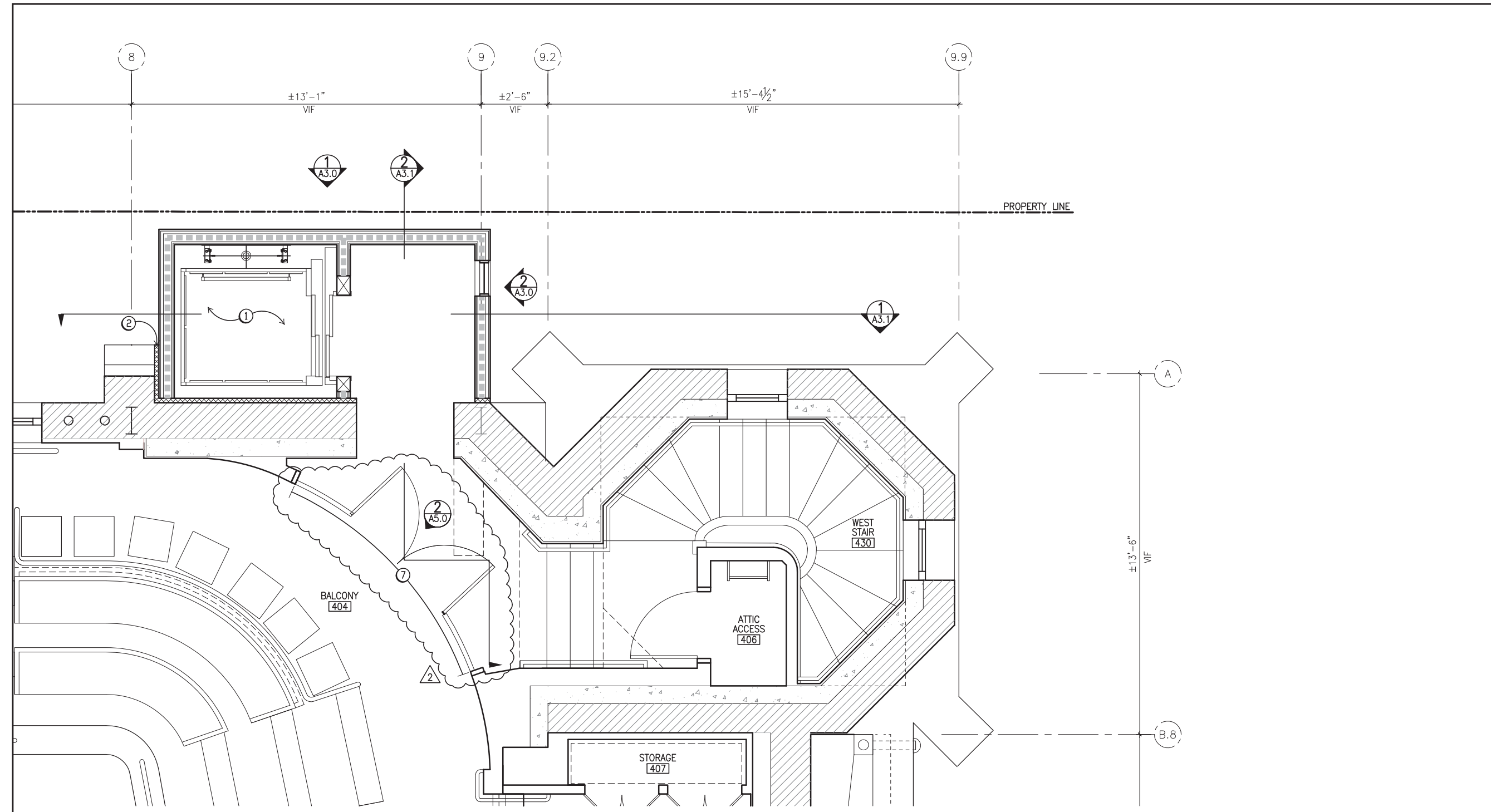
ST. MARK'S LUTHERAN CHURCH
ELEVATOR ADDITION
1031 O'FARRELL ST.
SAN FRANCISCO, CA 94109

SHEET TITLE
BALCONY LEVEL FLOOR PLAN

ISSUANCE
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DATE
DECEMBER 2, 2015

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A2.2
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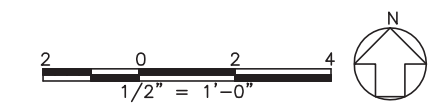
1 BALCONY LEVEL FLOOR PLAN
SCALE: 1/2" = 1'-0"
02_BALCONY LEVEL

FLOOR PLAN KEY NOTES (NOTE: NOT ALL NOTES SHOWN PERTAIN TO WORK ON THIS SHEET)

- 1 (N) 54" X 48" SPECIAL ACCESS ELEVATOR.
- 2 2" SEISMIC JOINT
- 3 PROVIDE SEISMIC CONNECTIONS FOR ALL THRU-WALL CONNECTIONS.
- 4 (N) 3'-6" X 7'-0" DOOR AT ELEVATOR MACHINE ROOM. PROVIDE ACOUSTIC DOOR SEALS.
- 5 FIX (E) DOORS SHUT. PROVIDE ACOUSTIC SEALS.
- 6 RECONFIGURE (E) DOORS TO MEET ACCESS AND EGRESS REQUIREMENTS. SEE 1,2,3/A5.0.
- 7 RECONFIGURE (E) DOORS TO MEET ACCESS AND EGRESS REQUIREMENTS. SEE 1,2,3/A5.0.

LEGEND

- (N) CONSTRUCTION
- (N) FIRE RATED CONSTRUCTION



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REVISIONS

ST. MARK'S LUTHERAN CHURCH

ELEVATOR ADDITION

1031 O'FARRELL ST.
SAN FRANCISCO, CA 94109

SHEET TITLE
EXTERIOR ELEVATIONS
ELEVATIONS

ISSUANCE
CERTIFICATE OF APPROPRIATENESS

DATE
DECEMBER 2, 2015

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DC

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A3.0

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ELEVATION KEY NOTES

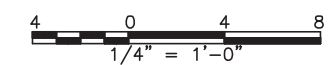
- ① THIN BRICK CLADDING TO MATCH (E).
- ② MATCH CORBELS AND (E) BRICK WORK AT CORNICE.
- ③ PROVIDE WINDOWS.
- ④ MATCH (E) SIMULATED STONE PARGE COAT.



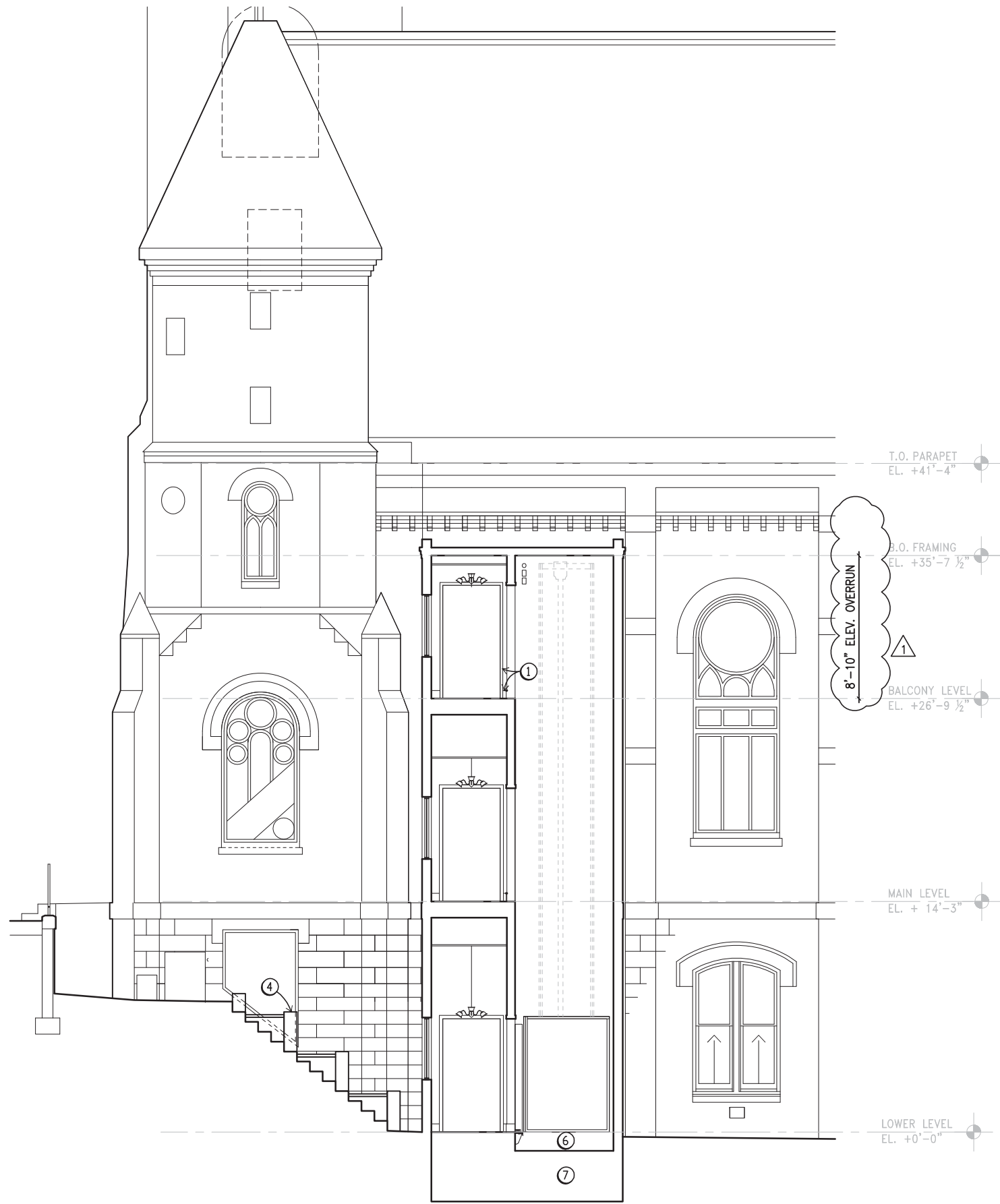
1 WEST ELEVATION
SCALE: 1/4" = 1'-0"
ELEV.DWG



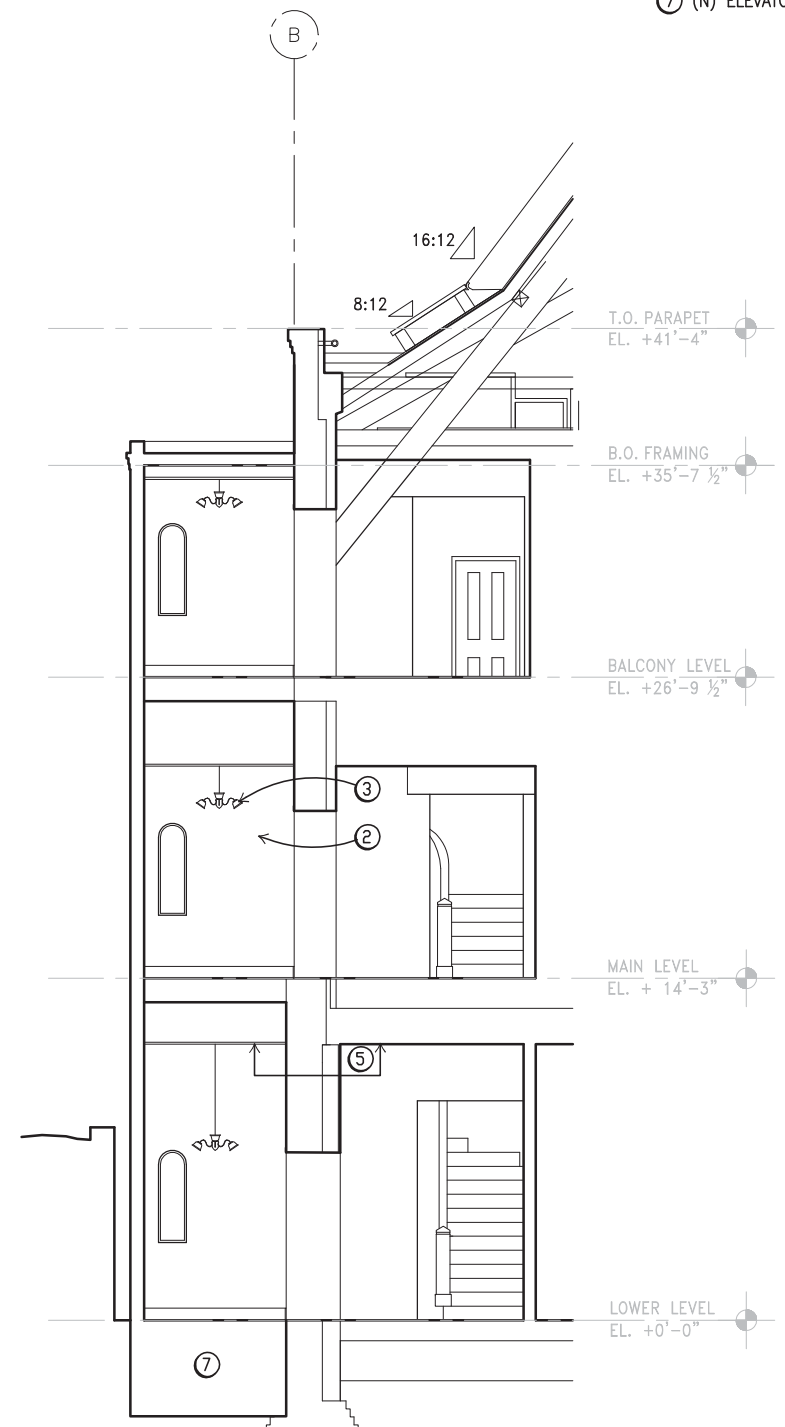
2 NORTH ELEVATION
SCALE: 1/4" = 1'-0"
ELEV.DWG



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1 NORTH-SOUTH SECTION
SCALE: 1/4" = 1'-0"
ELEV.DWG



2 WEST-EAST SECTION
SCALE: 1/4" = 1'-0"
ELEV.DWG

SECTION KEY NOTES

- ① PROVIDE WOOD CASINGS AND BASEBOARDS TO MATCH (E), TYP.
- ② PLASTER WALLS AND FINISH, TYP.
- ③ PENDANT LIGHT FIXTURE, TYP. SIM. TO FIXTURES IN NARTHEX.
- ④ PLANTING TERRACE AT (E) STAIRS, SLD.
- ⑤ ALIGN (N) CEILINGS WITH ADJACENT (E) CEILINGS, TYP.
- ⑥ (N) ELEVATOR PIT
- ⑦ (N) ELEVATOR MAT FOUNDATION, SSD.



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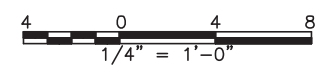
ST. MARK'S LUTHERAN CHURCH
ELEVATOR ADDITION
1031 O'FARRELL ST.
SAN FRANCISCO, CA 94109

SHEET TITLE
BUILDING SECTIONS

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REVISIONS		

**ST. MARK'S
 LUTHERAN
 CHURCH**
 ELEVATOR ADDITION
 1031 O'FARRELL ST.
 SAN FRANCISCO, CA 94109

SHEET TITLE
**ELEVATOR MASSING
 STUDY**

ISSUANCE
 CERTIFICATE OF APPROPRIATENESS
 DATE
 DECEMBER 2, 2015

PROJ. NO.	
14229	
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ML	CHECKED
DC	

DRAWING NO.
A3.2
 00



1 VIEW LOOKING SOUTH
 NTS



2 VIEW LOOKING SOUTH-EAST
 NTS



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2 NOPDR 2 APRIL 14, 2016

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ST. MARK'S LUTHERAN CHURCH

ELEVATOR ADDITION
1031 O'FARRELL ST.
SAN FRANCISCO, CA 94109

SHEET TITLE
BALCONY DOOR
ELEVATIONS

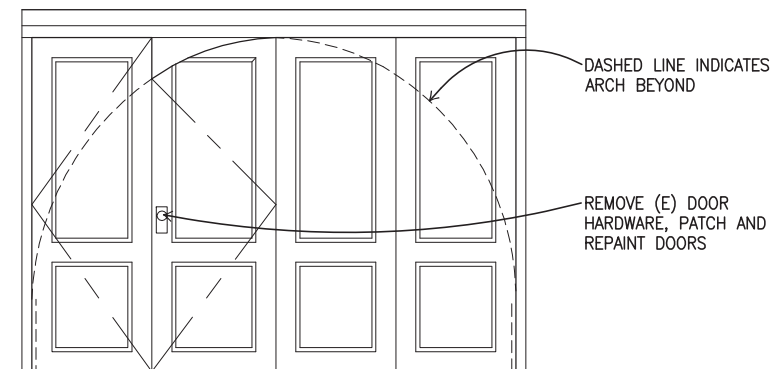
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CERTIFICATE OF APPROPRIATENESS
DATE
DECEMBER 2, 2015

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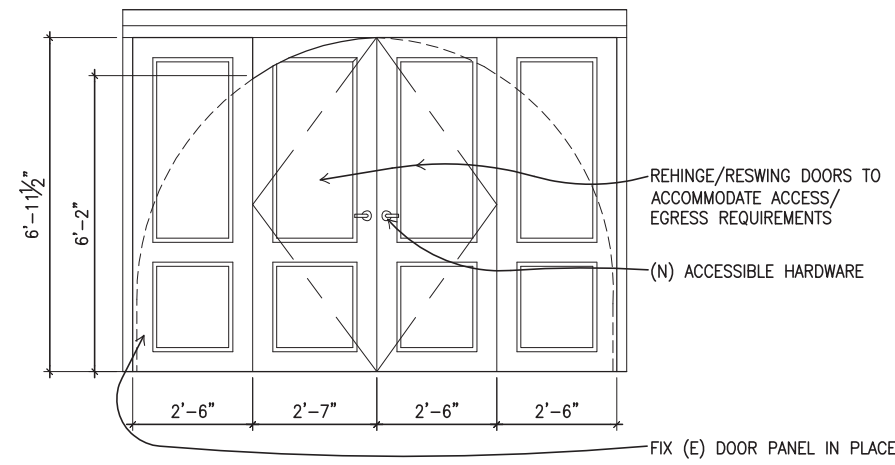
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A5.0
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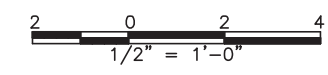
3 (E) DOOR CONDITIONS
SCALE: 1/2" = 1'-0"



1 EXISTING DOOR ELEVATION (VIEW FROM STAIR LANDING)
SCALE: 1/2" = 1'-0"
INTERIOR ELEV.DWG



2 (N) DOOR ELEVATION (VIEW FROM STAIR LANDING)
SCALE: 1/2" = 1'-0"
INTERIOR ELEV.DWG



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