



# SAN FRANCISCO PLANNING DEPARTMENT

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## Certificate of Appropriateness Case Report

HEARING DATE: SEPTEMBER 21, 2016

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*Filing Date:* December 3, 2015  
*Case No.:* **2015-012830COA**  
*Project Address:* **1133 TENNESSEE STREET**  
*Historic Landmark:* Dogpatch Landmark District  
*Zoning:* NCT-2 (Small-Scale Neighborhood Commercial Transit) Zoning District  
40-X Height and Bulk District  
*Block/Lot:* 4172/028  
*Applicant:* Robert Noelke  
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San Francisco, CA 94107  
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### PROPERTY DESCRIPTION

**1133 TENNESSEE STREET** is a three-story, two-family residence located on a rectangular lot (measuring approximately 25 ft x 100 ft) on the east side of Tennessee Street, south of 22<sup>nd</sup> Street. The subject property is designed in a Stick/Eastlake architectural style. Constructed in 1899, the existing building features wood-frame construction, horizontal lap wood siding, double-hung wood-sash windows, and a gable roof with a tall parapet and pent roof. Currently, the subject property has one off-street parking.

### PROJECT DESCRIPTION

The proposed project would establish a new dwelling unit for a total of three dwelling units, and undertake exterior alterations, including:

- **Restoration of Primary Façade/Façade Alterations:** The project would restore the primary façade facing Tennessee Street, based upon any available historic photographs and physical evidence, such as scarring evident on the exterior façade. The project would restore and paint the horizontal lap siding (replace if necessary), replace the existing garage door with a new glazed wood garage door, add a new wood entry door to the new lower unit on the ground floor, and replace the non-historic entry stair with a new wood entry stair and balustrade.
- **Window Replacement.** The project would repair and/or replace all of the exterior wood-sash windows. Any replacement windows would match the configuration and style of the historic window. On the front façade, the windows would be repaired. On the side and rear façades, the windows would be replaced with new aluminum-clad, wood-sash windows.

- **Construction of Three-Story Rear Horizontal Addition:** At the rear, the project would remove an existing non-historic raised two-story lean-to rear addition and stair, and would construct a new three-story rear horizontal addition that would extend approximately 19-ft 6-in. The new rear addition would feature vertical trim between the new and old, and would be clad in painted wood siding to match the existing historic residence. The new addition would feature a gable roof and projecting rear balconies on the second and third floors.

Overall, the project would increase the number of garage spaces from one to two, and would increase the overall square footage of the residence from 3,397 to 4,299 square feet (sq ft).

## OTHER ACTIONS REQUIRED

The proposed project requires neighborhood notification per Planning Code Section 312, and a Building Permit from the Department of Building Inspection (DBI).

## COMPLIANCE WITH THE PLANNING CODE PROVISIONS

The proposed project is in compliance with all other provisions of the Planning Code.

## PUBLIC/NEIGHBORHOOD INPUT

As of September 13, 2016, the Department has correspondence from the Dogpatch Neighborhood Association (DNA), which requested additional information about the proposed project. Copies of this public correspondence have been included in the staff report.

## ISSUES & CONSIDERATION

- Past Project: In 2007, the Landmarks Preservation Advisory Board (LPAB) granted a Certificate of Appropriateness to add an additional dwelling unit to the existing two-unit residence, construct a rear horizontal addition, remove the asbestos shingles from the exterior, rehabilitate underlying historic siding, repair historic wood windows, construct a historically-compatible stair railing, and reconstruct any missing details based on physical evidence (See Case No. 2006.0788A). Portions of this work were completed, including removal of the asbestos shingles; however, the Project Sponsor did not finish and/or vest much of this work. In addition, Department staff neglected to conduct required neighborhood notification, defined in Planning Code Section 312. Therefore, the Project Sponsor has reapplied for a Certificate of Appropriateness from the Historic Preservation Commission (See Case No. 2015-012830COA) and a building permit, in order to complete much of this earlier work and undertake appropriate neighborhood notification.
- Condition of Approval-Landscaping: Based upon correspondence with the surrounding community, the Department has included a Condition of Approval to review any proposed site work, landscaping and/or perimeter fencing to ensure compatibility with the surrounding landmark district.

## APPLICABLE PRESERVATION STANDARDS

### ARTICLE 10

Pursuant to Section 1006.2 of the Planning Code, unless exempt from the Certificate of Appropriateness requirements or delegated to Planning Department Preservation staff through the Administrative Certificate Appropriateness process, the Historic Preservation Commission is required to review any applications for the construction, alteration, removal, or demolition of any designated Landmark for which a City permit is required. Section 1006.6 states that in evaluating a request for a Certificate of Appropriateness for an individual landmark or a contributing building within a landmark district, the Historic Preservation Commission must find that the proposed work is in compliance with the *Secretary of the Interior's Standards for the Treatment of Historic Properties*, as well as the designating Ordinance and any applicable guidelines, local interpretations, bulletins, related appendices, or other policies.

### THE SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION

Rehabilitation is the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features that convey its historical, cultural, or architectural values. The Rehabilitation Standards provide, in relevant part(s):

**Standard 1:** A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

*The proposed project would maintain the subject property's current and historic use as a residence and restore the primary facade. The proposed project would increase the number of dwelling units from two to three by converting a portion of the basement into habitable space. Therefore, the proposed project complies with Rehabilitation Standard 1.*

**Standard 2:** The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

*The proposed project preserves the historic character of the subject property and surrounding landmark district by restoring the exterior to its original Victorian-era appearance, as based upon physical evidence. The project has already uncovered the original wood siding, and will repair the double-hung wood-sash windows. Much of the Victorian-era Classical Revival molding and trim, which are all character-defining features of the surrounding landmark district, have been maintained on the existing building despite the addition of asbestos tile on the exterior. In addition, the project would reconstruct a historically-appropriate front entry stair and handrail. The new stair and handrails would reinforce the subject property's historic character by introducing a handrail material (wood) and design that is compatible with the surrounding district. Wood handrails are a character-defining feature of the surrounding district.*

*The proposed project would remove a non-historic lean-to addition and construct a new horizontal rear addition, which would be located at the rear of the subject property and would not be visible from the public right-of-way. The new rear addition would maintain a sense of the existing building's form and massing, since it would be located behind the existing gable roof and would not impact any significant historic characteristics of the subject property. The new addition would not impact any historic materials or features of the subject property or district. Therefore, the proposed project complies with Rehabilitation Standard 2.*

**Standard 3:** Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

*The proposed project does not include the addition of conjectural elements or architectural features from other buildings. The front façade restoration is restorative in nature, and is based upon physical evidence. This front façade restoration does not create a false sense of historical development, since it is based upon physical and documentary evidence. Therefore, the proposed project complies with Rehabilitation Standard 3.*

**Standard 4:** Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

*The proposed project does not involve alterations to the subject building that have acquired significance in their own right. The existing lean-to rear addition and the existing front entry stair are not historic features, and do not contribute to the surrounding landmark district. The removal of these features does not impact any feature that has acquired historic significance in its own right. Therefore, the proposed project complies with Rehabilitation Standard 4.*

**Standard 5:** Distinctive features, finishes, and construction techniques or examples of fine craftsmanship that characterize a property will be preserved.

*The proposed project maintains and preserves the subject property's distinctive finishes and character-defining features, including the overall form and massing. The project would not impact any distinctive features of the subject property. Facade work is restorative in nature and is based upon physical evidence. Therefore, the proposed project complies with Rehabilitation Standard 5.*

**Standard 6:** Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacements of a distinctive feature, the new feature will match the old in design, color, texture and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

*The proposed project does not call for the replacement or repair of deteriorated historic features. The Project Sponsor will repair and paint the existing historic wood siding and the double-hung wood-sash windows on the front façade facing Tennessee Street. On the side and rear facades, the*

*project would replace the deteriorated wood windows with new clad wood windows. These new windows will be installed within the existing openings, and will match the character, dimension and quality of the original wood windows. Therefore, the proposed project complies with Rehabilitation Standard 6.*

**Standard 7:** Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

*The proposed project does not involve chemical or physical treatments. Therefore, the proposed project complies with Rehabilitation Standard 7.*

**Standard 8:** Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures will be undertaken.

*The proposed project includes limited excavation. If any archaeological resources are uncovered, appropriate mitigation measures will be undertaken by the Project Sponsor. Therefore, the proposed project complies with Rehabilitation Standard 8.*

**Standard 9:** New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

*The proposed project includes exterior alterations to the subject property, including restoration of the Tennessee Street façade and construction of a three-story rear horizontal addition.*

*The restoration of the Tennessee Street façade is based upon physical evidence, which the original Stick-Eastlake architectural character of the exterior. As part of the façade restoration, the exterior wood siding would be repaired and painted, as would the windows on the front façade. In addition, the project would reconstruct the exterior stair and handrails to wood, which is similar to the other historic handrails and stairs found within the surrounding district. These façade alterations do not significantly impact any historic materials, since the exterior façade was previously covered in an asbestos tile, which has since been removed. Overall, the facade work is restorative in nature and based upon documentary and physical evidence thus the new exterior alterations assist in reinforcing the district's historic character and significance.*

*At the rear, the new horizontal rear addition is clearly differentiated from the historic mass of the original residence, as noted by the roofline, overall massing and vertical trim. The new addition would replace an existing non-historic addition currently located at the rear of the existing residence. The new addition and rear façade alterations are compatible with the subject property's overall historic character, since the new work is occurring on a rear and non-visible façade, the*

*new wood siding would match the property's historic wood siding, and the mass of the new addition does not overwhelm and dominate the historic mass of the original residence.*

*Overall, the proposed project maintains the historic integrity of the subject property and provides new additions, which are compatible, yet differentiated with the historic residence. Therefore, the proposed project complies with Rehabilitation Standard 9.*

**Standard 10:** New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

*The proposed project includes construction of a horizontal rear addition, which would be located behind the existing gable roof. This new addition would not affect the essential form and integrity of the landmark district, and does not impact any character-defining features of the subject property. Therefore, the proposed project complies with Rehabilitation Standard 10.*

**Summary:** The Department finds that the overall project is consistent with the *Secretary of the Interior Standards for Rehabilitation*.

## STAFF ANALYSIS

Included as an exhibit are architectural drawings of the existing building and the proposed project. Based on the requirements of Article 10 and the *Secretary of Interior's Standards*, Department staff has determined the following:

**Restoration of Primary Façade:** The proposed project includes restoration of the Tennessee Street façade. The restoration is guided by information obtained from the removal of asbestos tile and study of other similar properties within the Dogpatch Landmark District. The restoration calls for the repair and painting of the existing wood siding, repair of the front façade double-hung wood-sash windows, and the addition of new wood front entry stair with wood handrails.

The reconstructed front entry stair maintains the alignment and location of the existing non-historic stair, which appears to be in the same alignment and orientation as the historic stair, as noted by entry configuration and other nearby properties that also have similar types of staircases. The replacement of the stair and handrails would remove a non-historic feature and introduce a more compatible element on the exterior façade. To ensure that the work is performed in conformance with Article 10 of the San Francisco Planning Code and Secretary of the Interior' Standards for Rehabilitation, Department staff has included a condition of approval for material samples of the stair tread and risers and handrails, as well as the other exterior materials, and construction details for the new stair and handrail.

Overall, the restoration work assists in reinforcing the district's historic character by restoring a contributing property to its original architectural style. These alterations would comply with the Secretary of the Interior's Standards for Rehabilitation and the requirements of Article 10 of the San

Francisco Planning Code, since the new work is based upon physical evidence and is restorative in nature.

**Rear Horizontal Addition:** The proposed project includes construction of a new, three-story horizontal rear addition and rear façade alterations. This new work would occur on the rear portions of the subject property and would not be visible from any public right-of-way. The mass, scale and location of the new addition is consistent and compatible with the rear additions found on contributing properties within the surrounding district. The new horizontal rear addition is clearly differentiated from the historic mass of the original residence, as noted by the roofline and overall massing. The new addition is distinguished by a vertical trim board, which separates the new from the old. The new addition would be replace an existing non-historic rear lean-to addition. This work would not impact any character-defining features of the subject property or surrounding historic district. The new materials on the rear facade (aluminum-clad wood windows and wood siding) would be in alignment with the district's character-defining features, which include wood siding and double-hung wood-sash windows. Therefore, this alteration would comply with the Secretary of the Interior's Standards for Rehabilitation and the requirements of Article 10 of the San Francisco Planning Code, since the new work would be compatible with the historic features.

**Summary:** Department staff finds that, with the proposed conditions, proposed work will be in conformance with the Secretary's Standards and requirements of Article 10, as the proposed work shall not adversely affect the special character or special historical, architectural, or aesthetic interest or value of the landmark and its site.

## ENVIRONMENTAL REVIEW STATUS

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 and Class 31 Categorical Exemption (CEQA Guideline Section 15301 and 15331) because the project involves exterior and interior alterations to an existing building and meets the *Secretary of the Interior's Standards for Rehabilitation*.

## PLANNING DEPARTMENT RECOMMENDATION

Planning Department staff recommends APPROVAL WITH CONDITIONS of the proposed project as it appears to meet the *Secretary of the Interior Standards for Rehabilitation* and requirements of Article 10.

## CONDITIONS OF APPROVAL

To ensure that the proposed work is undertaken in conformance with this Certificate of Appropriateness, staff recommends the following conditions:

1. Prior to approval of the Site Permit, the Project Sponsor shall submit a landscape plan to Planning Department Preservation staff that documents the proposed landscaping and paving, and/or any perimeter fencing. Any new materials should be consistent with the building's overall

historic character and the surrounding landmark district. Planning Department Preservation staff shall have final approval for all new site work.

2. Prior to approval of the Site Permit, the Project Sponsor shall submit a materials board to Planning Department Preservation staff to verify the final material choice and finish of all of the proposed exterior materials. The materials board shall demonstrate the range of finishes of the proposed exterior materials, as well as paint color.
3. Prior to approval of the Site Permit, the Project Sponsor shall submit additional information on the design and dimension of the new entry stair and handrail. The new stair and handrail shall be consistent with the other historic entry stairs evident with the landmark district.

## ATTACHMENTS

Draft Motion

Exhibits, including Parcel Map, Sanborn Map, Zoning Map, Aerial Photos, and Site Photos

Public Correspondence

Architectural Drawings

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# SAN FRANCISCO PLANNING DEPARTMENT

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## Historic Preservation Commission Motion No. XXXX

HEARING DATE: SEPTEMBER 21, 2016

*Case No.:* 2015-012830COA  
*Project Address:* 1133 TENNESSEE STREET  
*Historic Landmark:* Dogpatch Landmark District  
*Zoning:* NCT-2 (Small-Scale Neighborhood Commercial Transit) Zoning District  
40-X Height and Bulk District  
*Block/Lot:* 4172/028  
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**ADOPTING FINDINGS FOR A CERTIFICATE OF APPROPRIATENESS FOR PROPOSED WORK DETERMINED TO BE APPROPRIATE FOR AND CONSISTENT WITH THE PURPOSES OF ARTICLE 10, TO MEET THE STANDARDS OF ARTICLE 10 AND TO MEET THE SECRETARY OF INTERIOR'S STANDARDS FOR REHABILITATION, FOR THE PROPERTY LOCATED ON LOT 028 IN ASSESSOR'S BLOCK 4172, WITHIN THE DOGPATCH LANDMARK DISTRICT, NCT-2 (SMALL-SCALE NEIGHBORHOOD COMMERCIAL TRANSIT) ZONING DISTRICT AND 40-X HEIGHT AND BULK DISTRICT.**

### PREAMBLE

WHEREAS, on December 3, 2015, Robert Noelke (Property Owner), filed an application with the San Francisco Planning Department (Department) for a Certificate of Appropriateness to restore the exterior street façade and construct a three-story rear horizontal addition to the subject property located at 1133 Tennessee Street on Lot 028 in Assessor's Block 4172.

WHEREAS, the Project received an exemption from the California Environmental Quality Act ("CEQA") as a Class 1 and Class 31 Categorical Exemption (CEQA Guideline Sections 15301 and 15331) on September 14, 2016.

WHEREAS, on September 21, 2016 the Commission conducted a duly noticed public hearing on the current project, Case No. 2015-012830COA (Project) for its appropriateness.

WHEREAS, in reviewing the Application, the Commission has had available for its review and consideration case reports, plans, and other materials pertaining to the Project contained in the

Department's case files, has reviewed and heard testimony and received materials from interested parties during the public hearing on the Project.

**MOVED**, that the Commission hereby grants with conditions a Certificate of Appropriateness, in conformance with the project information dated April 25, 2016 and labeled Exhibit A on file in the docket for Case No. 2015-012830COA based on the following findings:

## **CONDITIONS OF APPROVAL**

To ensure that the proposed work is undertaken in conformance with this Certificate of Appropriateness, staff recommends the following conditions:

1. Prior to approval of the Site Permit, the Project Sponsor shall submit a landscape plan to Planning Department Preservation staff that documents the proposed landscaping and paving, and/or any perimeter fencing. Any new materials should be consistent with the building's overall historic character and the surrounding landmark district. Planning Department Preservation staff shall have final approval for all new site work.
2. Prior to approval of the Site Permit, the Project Sponsor shall submit a materials board to Planning Department Preservation staff to verify the final material choice and finish of all of the proposed exterior materials. The materials board shall demonstrate the range of finishes of the proposed exterior materials, as well as paint color.
3. Prior to approval of the Site Permit, the Project Sponsor shall submit additional information on the design and dimension of the new entry stair and handrail. The new stair and handrail shall be consistent with the other historic entry stairs evident with the landmark district.

## **FINDINGS**

Having reviewed all the materials identified in the recitals above and having heard oral testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and also constitute findings of the Commission.
2. Findings pursuant to Article 10:

The Historic Preservation Commission has determined that the proposed work is compatible with the character of the Dogpatch Landmark District as described in Appendix L of Article 10 of the Planning Code.

- That the proposed project is compatible with the Dogpatch Landmark District, since the new work is restorative in nature, and does not affect the historic mass and form of the existing building, does not destroy historic materials, and provides for new construction, which is compatible, yet differentiated.
- That the proposed project maintains the historic character of the subject property, as defined by its character-defining features, including, but not limited to, its overall mass and form, as

- well as, other elements identified in the designating ordinance for Dogpatch Landmark District.
- That the essential form and integrity of the landmark and its environment would be unimpaired if the alterations were removed at a future date.
  - That the proposal respects the character-defining features of Dogpatch Landmark District.
  - The proposed project meets the requirements of Article 10.
  - The proposed project meets the *Secretary of the Interior's Standards for Rehabilitation*.
3. **General Plan Compliance.** The proposed Certificate of Appropriateness is, on balance, consistent with the following Objectives and Policies of the General Plan:

I. URBAN DESIGN ELEMENT

THE URBAN DESIGN ELEMENT CONCERNS THE PHYSICAL CHARACTER AND ORDER OF THE CITY, AND THE RELATIONSHIP BETWEEN PEOPLE AND THEIR ENVIRONMENT.

GOALS

*The Urban Design Element is concerned both with development and with preservation. It is a concerted effort to recognize the positive attributes of the city, to enhance and conserve those attributes, and to improve the living environment where it is less than satisfactory. The Plan is a definition of quality, a definition based upon human needs.*

OBJECTIVE 1

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

POLICY 1.3

*Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.*

OBJECTIVE 2

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

POLICY 2.4

*Preserve notable landmarks and areas of historic, architectural or aesthetic value, and promote the preservation of other buildings and features that provide continuity with past development.*

POLICY 2.5

*Use care in remodeling of older buildings, in order to enhance rather than weaken the original character of such buildings.*

*POLICY 2.7*

*Recognize and protect outstanding and unique areas that contribute in an extraordinary degree to San Francisco's visual form and character.*

*The goal of a Certificate of Appropriateness is to provide additional oversight for buildings and districts that are architecturally or culturally significant to the City in order to protect the qualities that are associated with that significance.*

*The proposed project qualifies for a Certificate of Appropriateness and therefore furthers these policies and objectives by maintaining and preserving the character-defining features of the Dogpatch Landmark District for the future enjoyment and education of San Francisco residents and visitors.*

4. The proposed project is generally consistent with the eight General Plan priority policies set forth in Section 101.1 in that:
  - A) The existing neighborhood-serving retail uses will be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses will be enhanced:

*The proposed project will not have any effect on any existing neighborhood serving retail uses, since there are no retail uses located on the project site.*

- B) The existing housing and neighborhood character will be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods:

*The proposed project would maintain the existing residence, and will strengthen neighborhood character by respecting the character-defining features of Dogpatch Landmark District in conformance with the Secretary of the Interior's Standards for Rehabilitation.*

- C) The City's supply of affordable housing will be preserved and enhanced:

*The project will have no effect upon affordable housing, since there are no identified affordable housing units on the project site.*

- D) The commuter traffic will not impede MUNI transit service or overburden our streets or neighborhood parking:

*The proposed project will not result in commuter traffic impeding MUNI transit service or overburdening the streets or neighborhood parking. The proposed project is located within a transit-rich neighborhood with walkable access to bus, light rail and train lines.*

- E) A diverse economic base will be maintained by protecting our industrial and service sectors from displacement due to commercial office development. And future opportunities for resident employment and ownership in these sectors will be enhanced:

*The proposed project will not have any effect on industrial and service sector jobs on the project site.*

- F) The City will achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

*Preparedness against injury and loss of life in an earthquake is unaffected by the proposed work. Any construction or alteration associated with the project will be executed in compliance with all applicable construction and safety measures.*

- G) That landmark and historic buildings will be preserved:

*The proposed project in conformance with Article 10 of the Planning Code and the Secretary of the Interior's Standards for Rehabilitation.*

- H) Parks and open space and their access to sunlight and vistas will be protected from development:

*The proposed project will not affect the access to sunlight or vistas for parks and open space.*

5. For these reasons, the proposal overall, is appropriate for and consistent with the purposes of Article 10, meets the standards of Article 10, and the *Secretary of Interior's Standards for Rehabilitation*, General Plan and Prop M findings of the Planning Code.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **GRANTS WITH CONDITIONS a Certificate of Appropriateness** for the property located at Lot 028 in Assessor's Block 4172 for proposed work in conformance with the project information dated April 25, 2016, labeled Exhibit A on file in the docket for Case No. 2015-012830COA.

**APPEAL AND EFFECTIVE DATE OF MOTION:** The Commission's decision on a Certificate of Appropriateness shall be final unless appealed within thirty (30) days. Any appeal shall be made to the Board of Appeals, unless the proposed project requires Board of Supervisors approval or is appealed to the Board of Supervisors, such as a conditional use, in which case any appeal shall be made to the Board of Supervisors (see Charter Section 4.135).

**Duration of this Certificate of Appropriateness:** This Certificate of Appropriateness is issued pursuant to Article 10 of the Planning Code and is valid for a period of three (3) years from the effective date of approval by the Historic Preservation Commission. The authorization and right vested by virtue of this action shall be deemed void and canceled if, within 3 years of the date of this Motion, a site permit or building permit for the Project has not been secured by Project Sponsor.

**THIS IS NOT A PERMIT TO COMMENCE ANY WORK OR CHANGE OF OCCUPANCY UNLESS NO BUILDING PERMIT IS REQUIRED. PERMITS FROM THE DEPARTMENT OF BUILDING INSPECTION (and any other appropriate agencies) MUST BE SECURED BEFORE WORK IS STARTED OR OCCUPANCY IS CHANGED.**

I hereby certify that the Historic Preservation Commission ADOPTED the foregoing Motion on September 21, 2016.

Jonas P. Ionin  
Commission Secretary

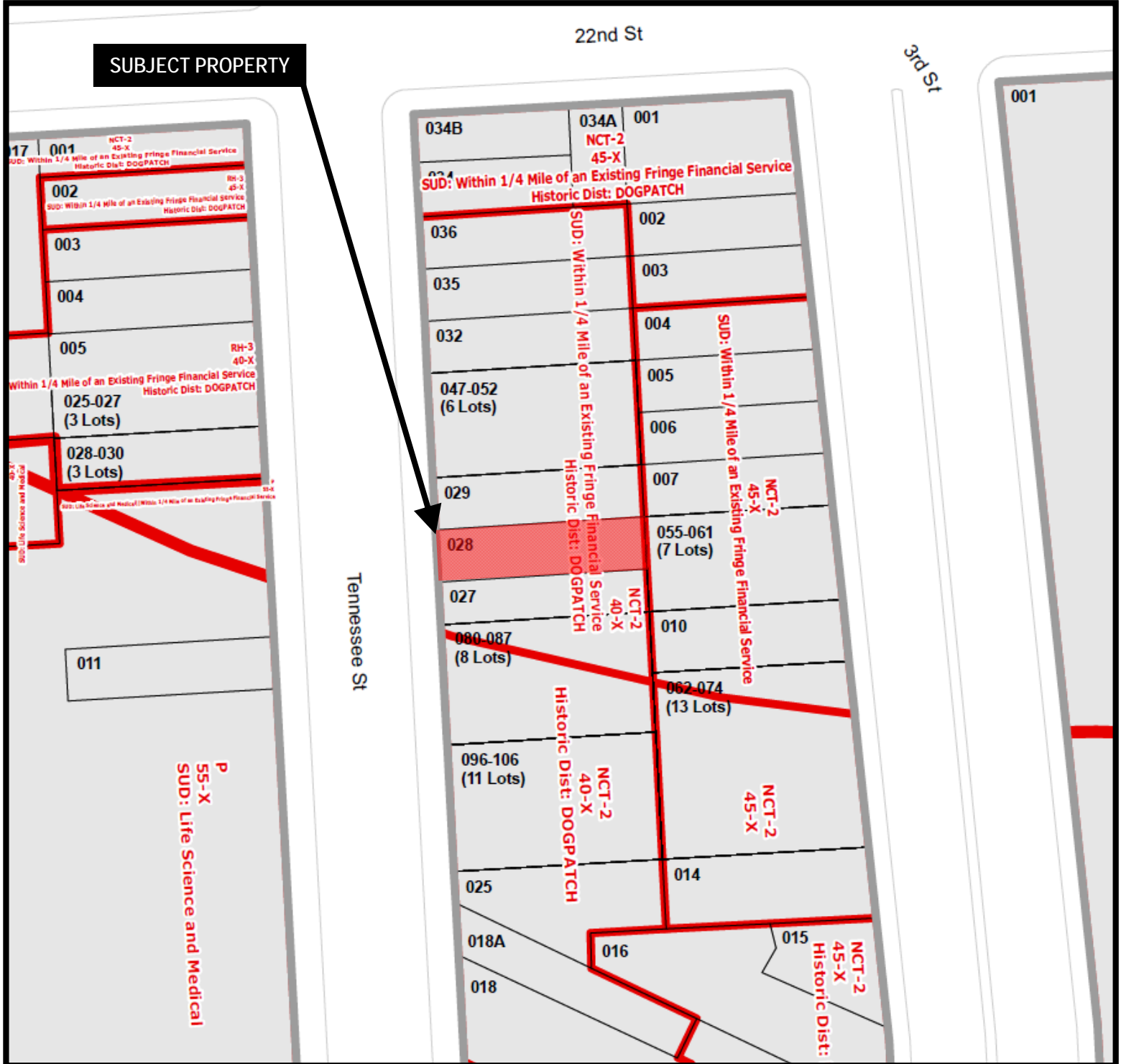
AYES:

NAYS:

ABSENT:

ADOPTED: September 21, 2016

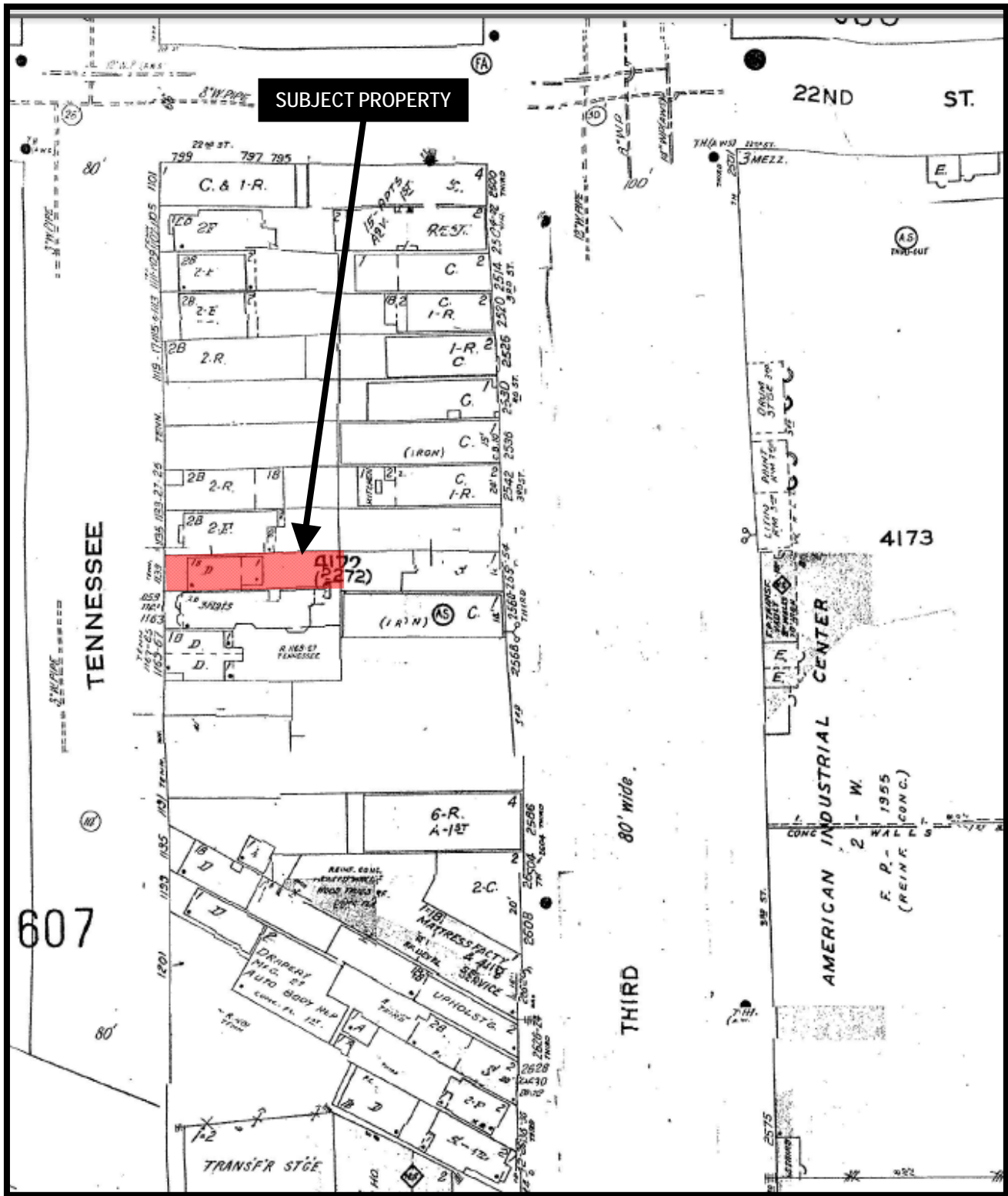
# Parcel Map



Certificate of Appropriateness Hearing  
 Case No. 2015-012830COA  
 1133 Tennessee Street



# Sanborn Map\*



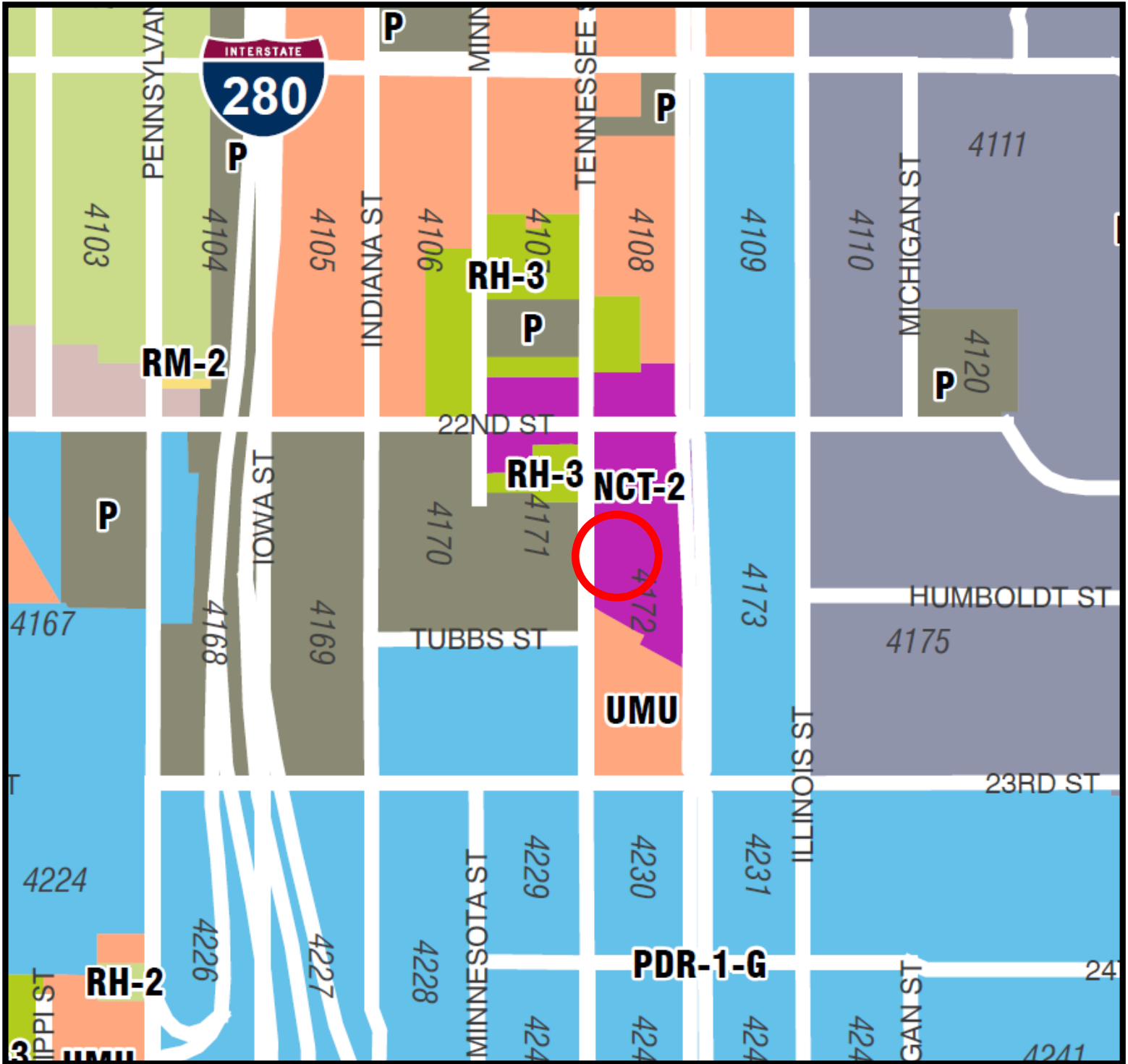
\*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Certificate of Appropriateness Hearing  
Case No. 2015-012830COA  
1133 Tennessee Street

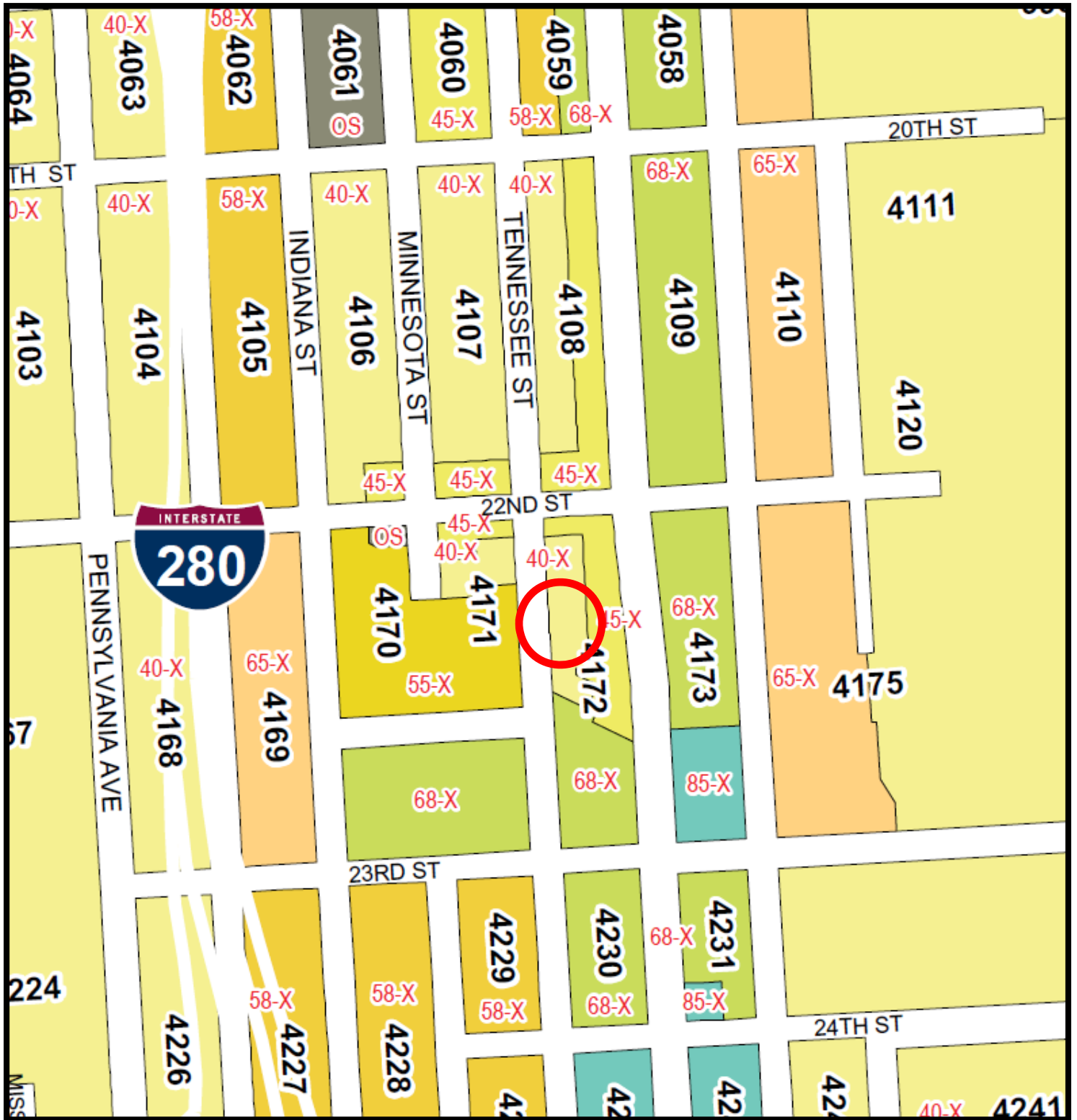


# Zoning Map



Certificate of Appropriateness Hearing  
Case No. 2015-012830COA  
1133 Tennessee Street

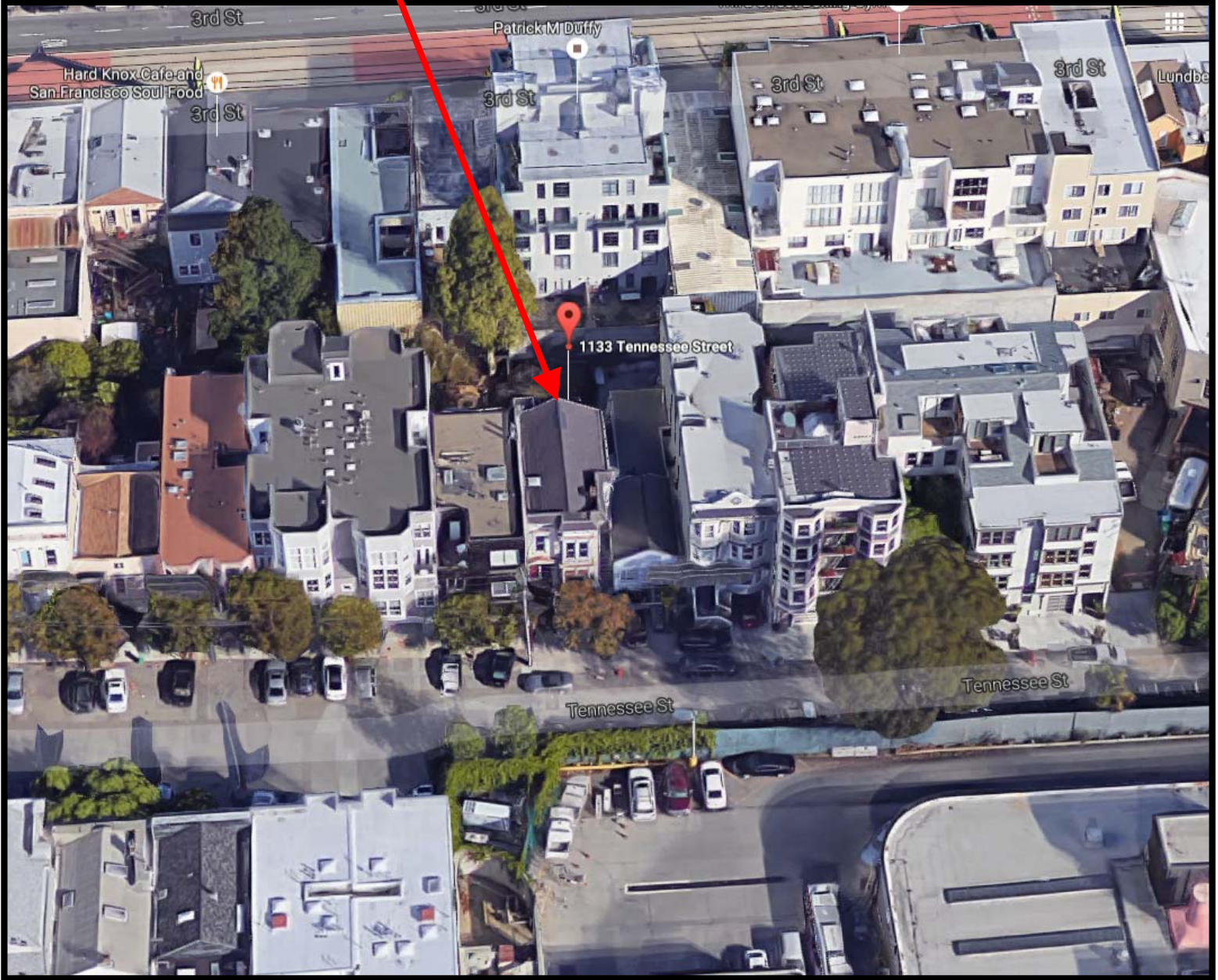
# Height Map



Certificate of Appropriateness Hearing  
Case No. 2015-012830COA  
113 Tennessee Street

# Aerial Photo

SUBJECT PROPERTY



Certificate of Appropriateness Hearing  
Case No. 2015-012830COA  
1133 Tennessee Street



# Site Photo

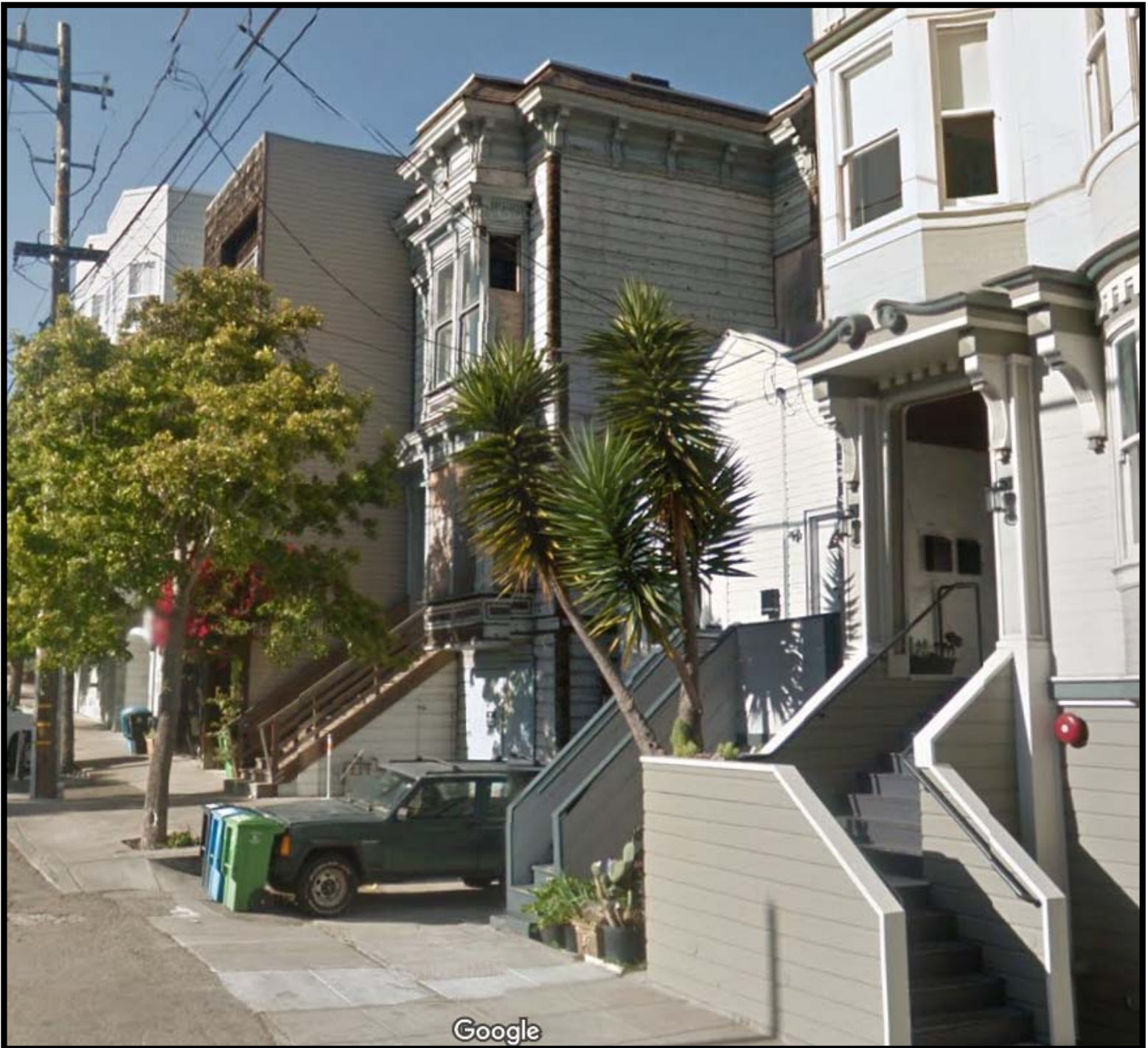


1133 Tennessee Street (Source: Google Maps, June 2016)

Certificate of Appropriateness Hearing  
Case No. 2015-012830COA  
1133 Tennessee Street



# Site Photo



1133 Tennessee Street (Source: Google Maps, June 2016)

Certificate of Appropriateness Hearing  
Case No. 2015-012830COA  
1133 Tennessee Street

# APARTMENT RENOVATIONS

1133 TENNESSEE STREET  
SAN FRANCISCO, CALIFORNIA 94107

DRAWING SET FOR SITE PERMIT &  
CERTIFICATE OF APPROPRIATENESS  
DECEMBER 3, 2015

REVISIONS	BY
REV 1 - APRIL 25, 2016	

BRIAN KAUFMAN DESIGN  
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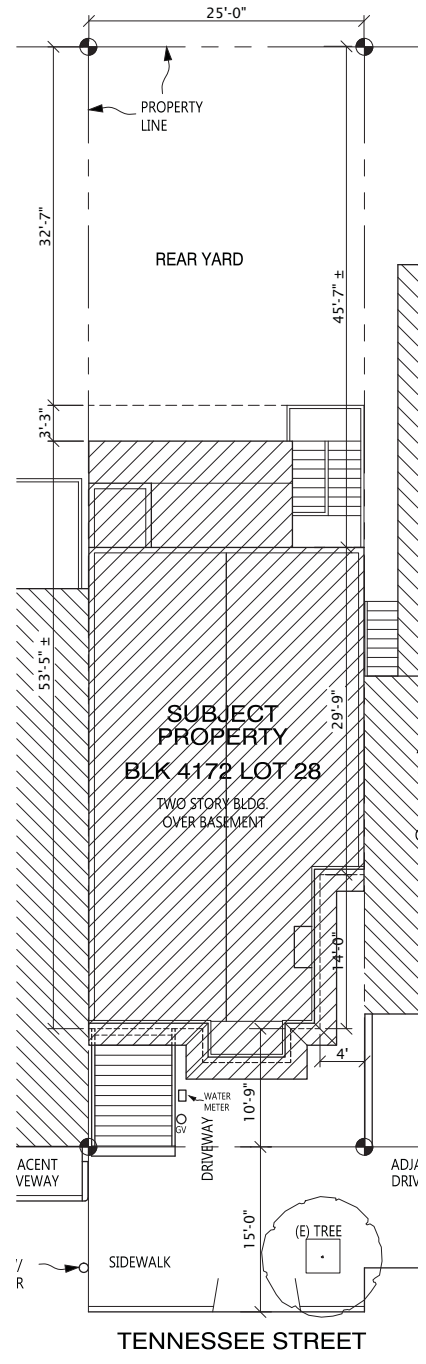


COVER SHEET,  
PROJECT DATA,  
EXISTING & PROPOSED  
SITE PLAN

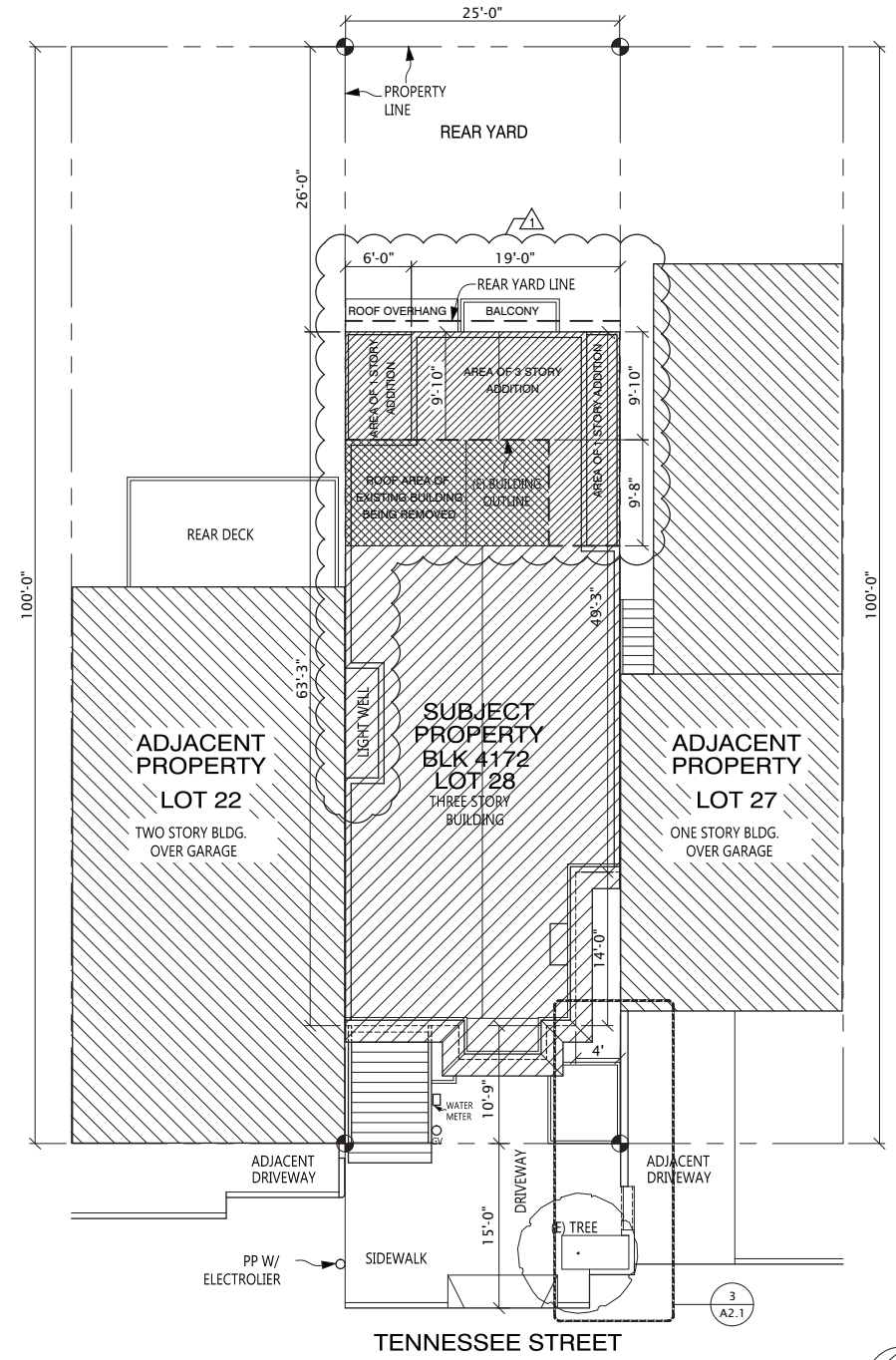
1133 TENNESSEE STREET

**LEGEND**

	(E) BUILDING
	PROPOSED ADDITION
	(E) BUILDING ROOF REMOVAL



1 SITE PLAN - EXISTING  
1/8" = 1'-0"



2 SITE PLAN - PROPOSED  
1/8" = 1'-0"

**PROJECT DESCRIPTION**

THIS PERMIT APPLICATION IS FOR A NEW HORIZONTAL REAR ADDITION AT ALL THREE LEVELS, NEW BALCONIES AT THE SECOND AND THIRD FLOOR, THE INTERIOR RENOVATION OF TWO EXISTING APARTMENTS, AND THE CREATION OF A NEW DWELLING. WORK SCOPE AT GROUND FLOOR CONSISTS OF THE CONVERSION OF AN UNFINISHED STORAGE AREA OF THE EXISTING GARAGE FLOOR INTO A NEW ONE BEDROOM, ONE BATHROOM APARTMENT. WORK SCOPE FOR UNIT #2 AND UNIT #3 CONSISTS OF A REMODEL FOR A 3 BEDROOM, 2 BATHROOM, NEW KITCHEN AND DINING AREA FOR EACH UNIT. WORK SCOPE INCLUDES THE RESTORATION OF THE FRONT FACADE INCLUDING ALL ORNAMENTAL TRIM AS SUBMITTED TO THE PLANNING DEPARTMENT. REPLACEMENT OF ALL EXISTING WINDOWS & INTERIOR DOORS. ALL NEW PLUMBING AND ELECTRICAL WORK SHALL BE PROVIDED THROUGHOUT. ALL NEW HVAC UNIT & DUCTS SHALL BE PROVIDED IN ALL THREE UNITS. AN AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE INSTALLED AT THE GARAGE LEVEL. TO BE FILLED UNDER SEPARATE PERMIT APPLICATION.

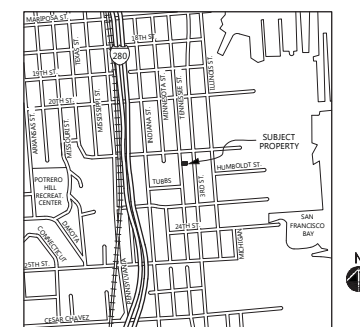
**PROJECT DATA**

EXISTING BUILDING: 3 STORIES OVER BASEMENT  
PROPOSED BUILDING: 3 STORIES OVER BASEMENT  
APN: BLOCK 4172 / LOT 028  
ZONING: NC-2  
EXISTING BUILDING TYPE: TYPE VB  
PROPOSED BUILDING TYPE: TYPE VB  
LOT AREA: 2,500 SQ. FT.  
EXISTING OCCUPANCY: DWELLING, R-3  
PROPOSED OCCUPANCY: DWELLING, R-2  
EXISTING NUMBER OF UNITS IN BUILDING: 2  
PROPOSED NUMBER OF UNITS IN BUILDING: 3

<b>EXISTING GROSS AREA OF BUILDING:</b>	3,397 SQ. FT.
EXISTING AREA OF 1ST FLOOR:	917 SQ. FT.
EXISTING AREA OF 2ND FLOOR:	1,240 SQ. FT.
EXISTING AREA OF 3RD FLOOR:	1,240 SQ. FT.
<b>PROPOSED GROSS AREA OF BUILDING:</b>	4,299 SQ. FT.
PROPOSED AREA OF 1ST FLOOR:	1,523 SQ. FT.
GARAGE AREA:	657 SQ. FT.
PASSAGE CORRIDOR:	196 SQ. FT.
CONDITIONED AREA:	670 SQ. FT.
PROPOSED AREA OF 2ND FLOOR:	1,316 SQ. FT.
PROPOSED AREA OF 3RD FLOOR:	1,460 SQ. FT.

EXISTING PARKING SPACES: 1  
PROPOSED PARKING SPACES: 2

**LOCATION MAP**



**PROJECT NOTES**

ALL WORK SHALL CONFORM TO THE BUILDING CODES AS REQUIRED BY THE CITY AND COUNTY OF SAN FRANCISCO, INCLUDING BUT NOT LIMITED TO:  
THE 2013 CALIFORNIA BUILDING CODE  
THE SAN FRANCISCO BUILDING CODE, AMENDMENTS TO THE CALIFORNIA BUILDING CODE  
THE 2013 CALIFORNIA ELECTRICAL CODE  
THE 2013 CALIFORNIA PLUMBING CODE  
THE 2013 CALIFORNIA MECHANICAL CODE  
THE 2013 CALIFORNIA ENERGY CODE  
THE 2013 CALIFORNIA FIRE CODE

**PROJECT SYMBOLS**

- WALL TAG
- SHEETNOTE
- WINDOW TAG
- DOOR TAG
- SECTION MARK, SECTION DETAIL
- EXTERIOR ELEVATION, ELEVATION DETAIL

**DEFERRED SUBMITTALS FOR FIRE SPRINKLER SYSTEM**

- DETAILED DRAWINGS OF ALL FIRE SPRINKLER SYSTEM MODIFICATIONS, INCLUDING SPRINKLER PLANS, CUT SHEETS, LISTING SHEETS, AND CALCULATIONS, SHALL BE SUBMITTED TO THE FIRE DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. ALL SPRINKLER SYSTEM COMPONENTS SHALL REMAIN IN COMPLIANCE WITH THE APPLICABLE N.F.P.A. 13R STANDARD, THE CALIFORNIA FIRE CODE, AND THE CALIFORNIA BUILDING CODE.
- IF IT IS NECESSARY TO INSTALL A FIRE ALARM MONITORING SYSTEM OR MODIFY AN EXISTING SYSTEM IN ORDER TO OBTAIN A CERTIFICATED OR PLACARDED ACCOUNT, PLANS AND SPECIFICATIONS SHALL BE SUBMITTED TO THE FIRE DEPARTMENT FOR REVIEW AND APPROVAL OF THE INSTALLATIONS OR MODIFICATIONS.

**SIDEWALK PERMIT**

A SEPARATE SIDEWALK IMPROVEMENT PERMIT SHALL BE OBTAINED FROM THE SAN FRANCISCO DEPT OF PUBLIC WORKS BUREAU OF STREET USE AND MAPPING FOR THE PROPOSED DRIVEWAY AND DRIVEWAY CURB CUTS. AN ENCROACHMENT PERMIT WILL BE APPLIED FOR THE WARPING FOR THE DRIVEWAY RAMP AND GUARDRAILS.

**GENERAL NOTES**

- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND EXISTING CONDITIONS IN THE FIELD. CONTRACTOR SHALL REPORT ANY DISCREPANCIES SHOWN IN THESE CONSTRUCTION DOCUMENTS TO THE ARCHITECT.
- ALL DIMENSIONS SHOWN ON THE DRAWINGS TAKE PRECEDENCE TO SCALE. DO NOT SCALE DRAWINGS. ALL DIMENSIONS ARE TO THE FACE OF FINISH UNLESS OTHERWISE NOTED.
- ALL MECHANICAL DUCTING/VENTILATION SHALL CONFORM TO THE REQUIREMENTS OF THE 2013 CALIFORNIA MECHANICAL CODE, INCLUDING BUT NOT LIMITED TO PROVISIONS LISTED IN THESE PLANS.
- ALL ELECTRICAL WORK SHALL BE PERFORMED UNDER A SEPARATE ELECTRICAL PERMIT. ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE 2013 CALIFORNIA ELECTRICAL CODE. ALL LIGHTING FOR THE PROJECT SHALL COMPLY WITH REQUIREMENTS OF THE 2013 CALIFORNIA ENERGY CODE, AS SPECIFIED IN THESE PLANS. WATERPROOF ALL RECEPTACLES FOR EXTERIOR LIGHTS AND OUTLETS, AND COMMUNICATION DEVICES. PROVIDE GFCI OUTLETS IN KITCHENS, BATHROOMS, AND OTHER AREAS REQUIRED BY THE CALIFORNIA ELECTRICAL CODE.
- ALL STAIRS SHOWN ON THE PROJECT PLANS ARE EXISTING AND THEREFORE MAY NOT COMPLY WITH CURRENT CODE REQUIREMENTS FOR TREAD AND RISER DIMENSIONS. ANY NEW STAIRS SHALL HAVE A 7" MAXIMUM RISER HEIGHT AND 11" MINIMUM TREAD DEPTH, EXCEPT FOR STAIRS WITHIN INDIVIDUAL DWELLING UNITS, WHICH SHALL HAVE A MAXIMUM RISER OF 7 3/4" AND MINIMUM TREAD DEPTH OF 10".
- GUARDRAILS, PICKETS, AND BALUSTERS SHALL BE DESIGNED AND CONSTRUCTED SUCH THAT A BALL WITH A 4" DIAMETER CAN NOT PASS THROUGH ANY PORTION. A MAXIMUM 6" DIAMETER IS ALLOWED AT THE TRIANGLE FORMED BY THE TREAD, RISER, AND BALUSTER/BALUSTRADE. HANDRAILS ARE REQUIRED ON STAIRS WITH 4 OR MORE RISERS. HANDRAILS SHALL BE INSTALLED BETWEEN 34" AND 38" ABOVE THE LEADING EDGE OF THE STAIR TREAD NOSING, WITH 12" EXTENSIONS AT THE TOP AND BOTTOM OF THE STAIR RUN.
- ALL HABITABLE ROOMS SHALL BE PROVIDED WITH NATURAL LIGHT AND VENTILATION. THE MINIMUM REQUIREMENTS FOR NATURAL LIGHT ARE WINDOWS THAT ARE A MINIMUM OF 8% OF THE FLOOR AREA OF THE ROOM (8 SQ. FT. MINIMUM), AND ROOMS SHALL ALSO BE NATURALLY VENTILATED, WITH A MINIMUM AREA OF 4% OF THE FLOOR AREA OF THE ROOM (4 SQ. FT. MINIMUM).

**CONTACTS**

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415-279-6795

**ABBREVIATIONS**

AB ANCHOR BOLT	C/C CENTER TO CENTER	DEPT DEPARTMENT	ENGR ENGINEER	FR FIRE RATED	HORIZ HORIZONTAL	MATL MATERIAL	OC ON CENTER	PSF POUNDS PER SQUARE FOOT	RFC ROOFING	SPD SEE PLUMBING DRAWINGS	TD TOP OF
ADJ ADJACENT, ADJUSTABLE	CAB CABINET	DIA DIAMETER	EQ EQUIP	FRMG FRAMING	HW HOT WATER HEATER	MAX MAXIMUM	OD OUTSIDE DIAMETER	P/4 POUNDS PER SQUARE INCH	RLG RAILING	SPEC SPECIFICATIONS	TD TO
AFF ABOVE FINISH FLOOR	CL CENTER LINE	DIFF DIFFUSER	EXP EXPANSION	FT FOOT OR FEET	ID INSIDE DIAMETER	MECH MECHANICAL	OD OVERHEAD	PT POINT	RO ROUGH OPENING	SPR SPRINKLER	TS TUBE STEEL
ALUM ALUMINUM	CLG CEILING	DIM DIMENSION	EXT EXISTING	FTG FOOTING	IN INCH	MTL METAL	OH OPENING	PTD PAINTED	RVL REVEAL	SQ SQUARE	TYP TYPICAL
AP ACCESS PANEL	DN DOWN	DN DOOR OPENING	EXT EXTERIOR	FUR FURRING	INT INTERNATIONAL	MFR MANUFACTURE	OPP OPPOSITE	QTY QUANTITY	RWL RAIN WATER LEADER	SDO SEE STRUCTURAL DRAWINGS	UN UNLESS OTHERWISE NOTED
APPROX APPROXIMATE	DR DOOR	DR DOOR	FD FLOOR DRAIN	CA GALV GALVANIZED	INCL INCLUDE	MIR MIRROR	PERF PERFORATED	R RISER	SA SUPPLY AIR	STD STANDARD	UTL UTILITY
ARCH ARCHITECTURAL	DWG DRAWING	DWG DRAWING	FE FACE TO FACE	CWB GYPSUM WALLBOARD	INSUL INSULATION	MISC MISCELLANEOUS	PLAM PLASTER	RA RETURN AIR	SC SOLID CORE	STL STEEL	VERT VERTICAL
BD BOARD	CLR CLEAR	CLD CASED OPENING	F/F FINISHED FLOOR ELEV.	CYP GYPSUM	JT JOINT	MUL MUL	PLAS PLASTER	RD RADIUS	SCHED SCHEDULE	STOR STORAGE	VF VERIFY IN FIELD
BETW BETWEEN	COL COLUMN	CONC CONCRETE	FIN FINISH	GYS GYPSUM	LAM LAMINATE	NA NOT APPLICABLE	PLYWD PLYWOOD	ROF ROOF DRAIN	SD SMOKE DETECTOR	STRUC STRUCTURAL	W/ WITH
BLDC BLOCK	CONSTR CONSTRUCTION	CONTR CONTINUOUS	FLG FLOORING	HWND HARDWOOD	LB POUND	NIC NOT IN CONTRACT	PANL PANEL	REF REFERENCE	SEC SECTION	SUSP SUSPENDED	WC WATER CLOSET
BLKG BLOCKING	CNT CABINET	CNT CONTINUOUS	FLR FLOOR	HOWE HARDWARE	LH LEFT HAND	NO NOT TO SCALE	PR PAIR	REFR REFRIGERATOR	SEI SEE ELECTRICAL DRAWINGS	SUSP SUSPENDED	W/ WITHOUT
BLT BUILT	CTR CENTER	CTR CENTER	FLU FLOORING	HGT HEIGHT	LOUV LOUVER	NTM NOMINAL	PRCST PRECAST	REIN REINFORCE	SEIS SEISMIC	SYN SYMMETRICAL	WO WOOD
BSMT BASEMENT	CTS CENTER	CTS CENTER	FLU FLOORING	HTG HEATING	LT LIGHT	NTS NOT TO SCALE	PREAB PREABRATED	REQD REQUIRED	SF SQUARE FOOT / FEET	T TREAD	WD WOOD
B/B BACK TO BACK	CTSK COUNTERSUNK	CTSK COUNTERSUNK	FO... FACE OF (ADD C FOR CONC., F FOR FINISH, S FOR STUD)	HM HOLLOW METAL	LWC LIGHT WEIGHT CONCRETE		PRELIM PRELIMINARY	REV REVERSE	SM SIMILAR	T&B TOP AND BOTTOM	WT WINDOW WEIGHT

Date: 01/20/2016

Scale:

Drawn By: ##

Job No: ##

Sheet **A0.0**  
Of ## Sheets



REVISIONS	BY
REV 1 - APRIL 25, 2016	

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BLOCK AND SUBJECT  
 PHOTOGRAPHS

1133 TENNESSEE STREET

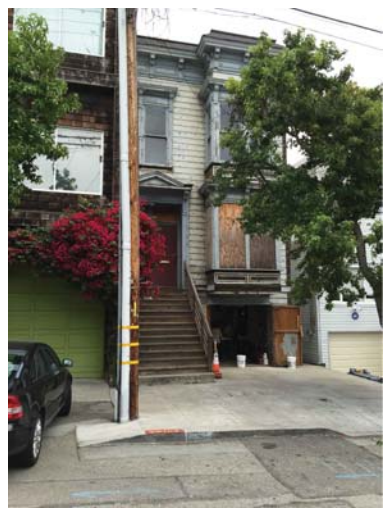
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1 TENNESSEE STREET - EAST



2 TENNESSEE STREET - WEST



3 1133 TENNESSEE - FRONT PERSPECTIVE PHOTOS



4 1133 TENNESSEE AND ADJACENT REAR VIEWS



REVISIONS	BY
REV 1 - APRIL 25, 2016	

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EXISTING & PROPOSED  
 FIRST FLOOR PLANS

1133 TENNESSEE STREET

Date:	01/20/2016
Scale:	
Drawn By:	##
Job No:	##
Sheet	<b>A1.1</b>
Of ##	Sheets

WALL TYPES

NOTE: 1. SEE STRUCTURAL DRAWING FOR OCCURRENCE OF SHEAR WALLS.  
 2. G.W.B. TO BE WATER RESISTANT IN ALL WET AREAS.

- A** NON-RATED WOOD FRAME INTERIOR WALL  
 1 LAYER MIN. 1/2" GYP. BD BOTH SIDES OF FRAME.  
 IN SHOWER AREAS: CERAMIC TILE OVER THIN SET OVER 1/2" DURAROCK OVER FRAME
- B** 1-HOUR WOOD FRAME INTERIOR WALL  
 1 LAYER 5/8" TYPE X GYP. BD. BOTH SIDES OF FRAME.  
 IN SHOWER AREAS: CERAMIC TILE OVER THIN SET OVER 1 LAYER 5/8" TYPE X DENSGLASS FIREGUARD TILE BACKER OVER FRAME. FIRE TEST REFERENCE: GA WP 3520  
 SEE STRUCTURAL DRAWINGS FOR OCCURRENCE OF SHEAR WALLS. FILL CAVITY WITH R-13 BATT. INSULATION OR ROXUL SAFE-N-SOUND SOUNDPROOFING BATT. INSULATION
- C** EXISTING 1-HOUR RATED WOOD FRAME EXTERIOR WALL  
 INTERIOR: 1 LAYER 5/8" TYPE X GYP. BD. OR CERAMIC TILE OVER THIN SET OVER 1 LAYER 5/8" TYPE X DENSGLASS FIREGUARD TILE BACKER OVER FRAME. FIRE TEST REFERENCE: GA WP 3605, GA WP 3520  
 EXTERIOR: EXISTING 3/4" WOOD SIDING OVER BUILDING PAPER OVER FRAME. PATCH REPAIR OR REPLACE SIDING AS NEEDED.  
 LINE INSIDE FACE OF (E) SIDING AND FRAMING WITH 1 LAYER 5/8" TYPE X GYP. BD. FILL CAVITY WITH R-13 BATT. INSULATION.
- D** NEW 1-HOUR RATED WOOD FRAME EXTERIOR WALL  
 INTERIOR: 1 LAYER 5/8" TYPE X GYP. BD. OR IN SHOWER AREAS: CERAMIC TILE OVER THIN SET OVER 1 LAYER 5/8" TYPE X DENSGLASS FIREGUARD TILE BACKER OVER ONE SIDE OF FRAME. FIRE TEST REFERENCE: GA WP 3605, GA WP 3520  
 EXTERIOR: NEW 3/4" WOOD OR COMPOSITE SIDING OVER BUILDING PAPER OVER 1 LAYER 5/8" TYPE-X INSULATIVE PLYWOOD SHEATHING (R-5) OVER FRAME.  
 FILL CAVITY WITH R-13 BATT. INSULATION. PROVIDE ADDITIONAL SOUNDPROOFING ON NORTH PROPERTY WALL.

GENERAL NOTES

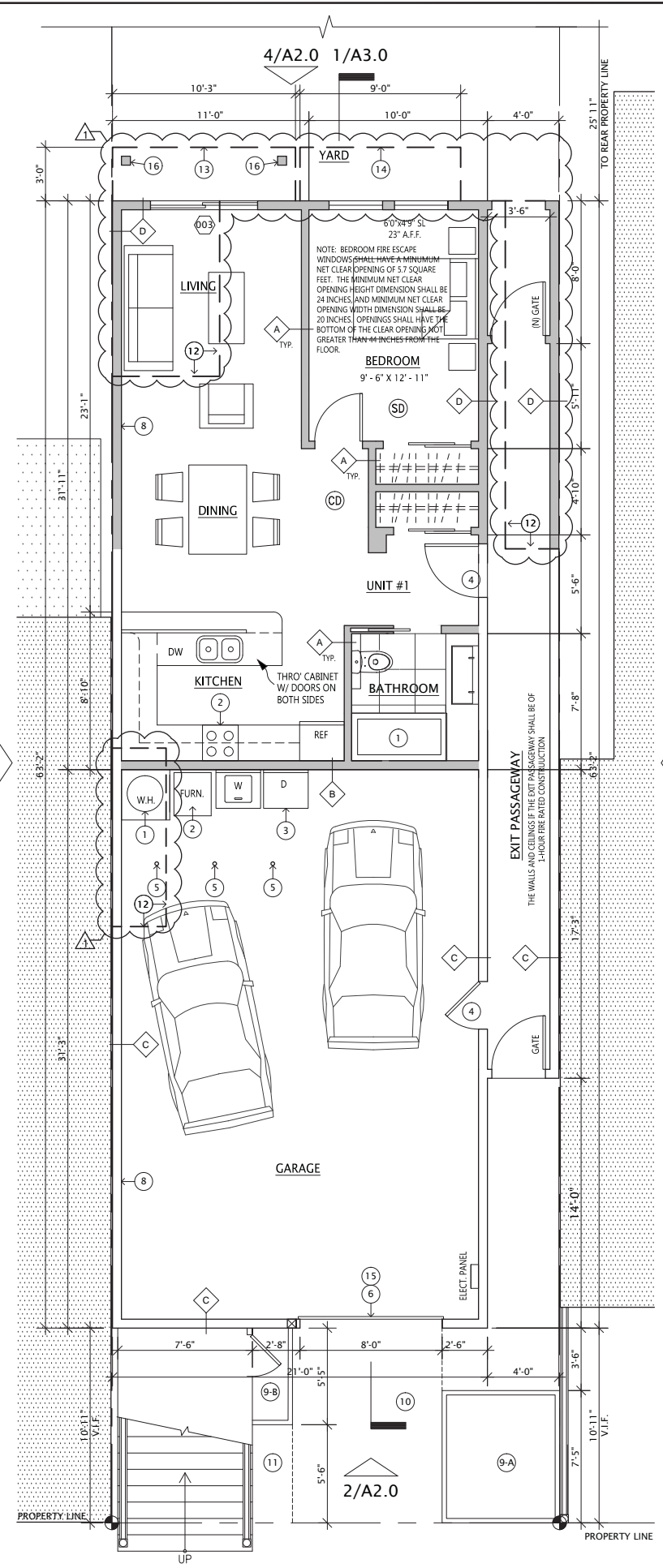
1. ANY WINDOW OR OTHER GLAZING WITHIN 18" OF THE FINISHED FLOOR SHALL BE EITHER TEMPERED OR LAMINATED SAFETY GLASS.
2. ANY WINDOWS WITHIN SHOWER OR BATHTUB ENCLOSURES SHALL HAVE GLAZING THAT IS EITHER TEMPERED OR LAMINATED SAFETY GLASS.

FIRE RATED CONSTRUCTION REQUIREMENTS

1. FIRE STAIRS SHALL BE 1-HOUR FIRE RATED ENCLOSURES. ALL DOORS OPENING ONTO THE FIRE STAIRS AND EXIT CORRIDOR TO BE 45 MINUTE RATED DOORS, EXCEPT FOR THE EXTERIOR ENTRY DOORS, WHICH ARE NOT REQUIRED TO BE RATED.
2. 1-HOUR FIRE RATING SHALL BE PROVIDED FOR THE FLOOR ASSEMBLY BETWEEN UNITS. A 2-HOUR FIRE RATING FOR THE FLOOR ASSEMBLY SHALL BE PROVIDED BETWEEN THE GARAGE AND SECOND FLOOR. SEE THE BUILDING SECTIONS ON SHEET A3.0 FOR MORE INFORMATION.
3. FIRE RATING SHALL BE MAINTAINED AT FLOOR/CEILING CONSTRUCTION AT NEW RECESSED LIGHTS OR FANS BY CREATING A DRYWALL BOX AROUND THE FIXTURE, OR BY PLACING AN APPROVED FIRE RATED "HAT" ABOVE THE FIXTURE IN THE CEILING CAVITY.
4. ALL MECHANICAL DUCTS WHICH PASS THROUGH THE WALLS OF OTHER UNITS IN THE BUILDING NEED TO BE IN 1-HOUR RATED SHAFTS, OR IF THE DUCTS ARE LOCATED IN THE WALLS BELONGING TO OTHER UNITS, THE WALL CAVITY IN THE FRAMING BAY SHALL BE LINED WITH A MINIMUM OF ONE LAYER OF 5/8" TYPE X GYPSUM WALL BOARD ON ALL SIDES.
5. ALL DRYWALL OR PLASTER REMOVED FROM THE INTERIOR SIDE OF EXTERIOR WALLS SHALL BE REPLACED W/ 1 LAYER OF 5/8" TYPE X GYPSUM WALL BOARD. ALL EXISTING FIRE RATED CONSTRUCTION SHALL BE MAINTAINED AS APART OF ANY WORK SCOPE FOR THE PROJECT.

LIGHTING/ ELECTRICAL NOTES

1. THE TOTAL WATTAGE OF LOW EFFICACY LIGHTING IN THE KITCHENS SHALL BE NO MORE THAN THE TOTAL AMOUNT OF HIGH EFFICACY LIGHTING PROVIDED.
2. AT LEAST ONE LUMINAIRE IN EACH BATHROOM SHALL BE HIGH EFFICACY. ALL OTHER LUMINAIRES IN A BATHROOM MUST EITHER BE HIGH EFFICACY, OR MUST BE CONTROL BY VACANCY SENSORS.
3. TOTAL INTERIOR COMMON AREA LIGHTING FOR THE BUILDING SHALL BE EITHER HIGH EFFICACY OR CONTROLLED BY AN OCCUPANCY SENSOR.
4. LUMINAIRES THAT ARE RECESSED INTO CEILINGS SHALL HAVE AIRTIGHT HOUSINGS TO PREVENT CONDITIONED AIR ESCAPING INTO THE CAVITY OR ATTIC. LUMINAIRES RECESSED INTO INSULATED CEILINGS SHALL BE IC-RATED.
5. ANY LOW EFFICACY LIGHTING INSTALLED WITHIN THE DWELLING UNITS, OUTSIDE OF KITCHENS AND BATHROOMS, SHALL BE CONTROLLED BY A SWITCH WITH DIMMING CAPABILITIES.
6. ALL EXTERIOR LIGHTING SHALL COMPLY WITH REQUIREMENTS OF THE 2013 CALIFORNIA ENERGY CODE. ALL FIXTURES PROVIDED FOR THIS PROJECT SHALL BE HIGH EFFICACY FIXTURES, OR IF LOW EFFICACY FIXTURES ARE REQUIRED, THEY SHALL MEET THE FOLLOWING REQUIREMENTS:
  1. CONTROLLED BY A MANUAL ON/OFF SWITCH, AND
  2. A MOTION SENSOR THAT IS NOT EQUIPPED WITH AN OVERRIDE OR BYPASS SWITCH THAT DISABLES THE MOTION SENSOR, AND WHICH AUTOMATICALLY TURNS OFF THE LIGHTS WHEN NO MOTION IS DETECTED; AND
  3. ONE OF THE FOLLOWING THREE METHODS TO AUTOMATICALLY TURN THE LIGHTS OFF DURING THE DAYTIME:
    - a. PHOTO CONTROL NOT HAVING AN OVERRIDE OR BYPASS SWITCH THAT DISABLES THE PHOTO CONTROL; OR
    - b. ASTRONOMICAL TIME CLOCK NOT HAVING AN OVERRIDE OR BYPASS SWITCH THAT DISABLES THE ASTRONOMICAL TIME CLOCK; OR
    - c. ENERGY MANAGEMENT CONTROL SYSTEM (EMCS) NOT HAVING AN OVERRIDE OR BYPASS SWITCH THAT ALLOWS THE LUMINAIRE TO BE ALWAYS ON.



2 FIRST FLOOR PLAN - PROPOSED  
 1/4" = 1'-0"

WALL LEGEND

- EXISTING WALL TO REMAIN
- WALL/ETC TO BE REMOVED
- NEW WALL

SYMBOLS

- COMBO SMOKE/CARBON MONOXIDE DETECTOR
- SMOKE DETECTOR

SHEET NOTES

- 1 THE TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS SHALL NOT BE LESS THAN 3'-0" FROM OPENINGS INTO THE BUILDING, & SHALL BE A MINIMUM OF 3'-0" FROM THE PROPERTY LINE.
- 2 THE TERMINATION OF THE EXHAUST FLUE SHALL NOT BE LESS THAN MANUFACTURER'S REQUIREMENTS, & SHALL BE A MINIMUM OF 3'-0" FROM THE PROPERTY LINE & WALL OPENINGS.
- 3 NOTE: DOMESTIC DRYER EXHAUST DUCTS SHALL NOT EXCEED A TOTAL COMBINED HORIZONTAL & VERTICAL LENGTH OF 14'-0", INCLUDING (2) 90° ELBOW. A LENGTH OF 2'-0" SHALL BE DEDUCTED FOR EACH 90° ELBOW IN EXCESS OF 2. IF DUCT RUN IS IN EXCESS OF THIS LIMIT, A BOOSTER FAN SHALL BE INSTALLED AS PART OF THE DUCT RUN.
- 4 45 MIN. RATED SELF-CLOSING DOOR W/ SMOKE GASKETS
- 5 2"Ø x 36" A.F.F. PAINTED STEEL BOLLARDS, TYP.
- 6 PROVIDE 200 SQ. IN. MIN. VENT OPENING FOR GARAGE VENTILATION (SBC SECT 312)
- 7 (N) BUILT IN CASEWORK
- 8 ENTIRE NORTH EXTERIOR WALL TO BE SOUNDPROOFED
- 9 LANDSCAPING AREA
- 10 PERMEABLE PAVING
- 11 REQUIRED LEVEL AREA FOR PC&E
- 12 OUTLINE OF EXTERIOR OF PROPOSED ADDITION ABOVE
- 13 ROOF OVERHANG ABOVE DOORWAY w/ DECORATIVE POSTS
- 14 OUTLINE OF BALCONIES AT 2nd & 3rd FLOORS ABOVE
- 15 (N) CUSTOM WOOD GARAGE ROLL UP DOOR
- 16 (N) DECORATIVE POST

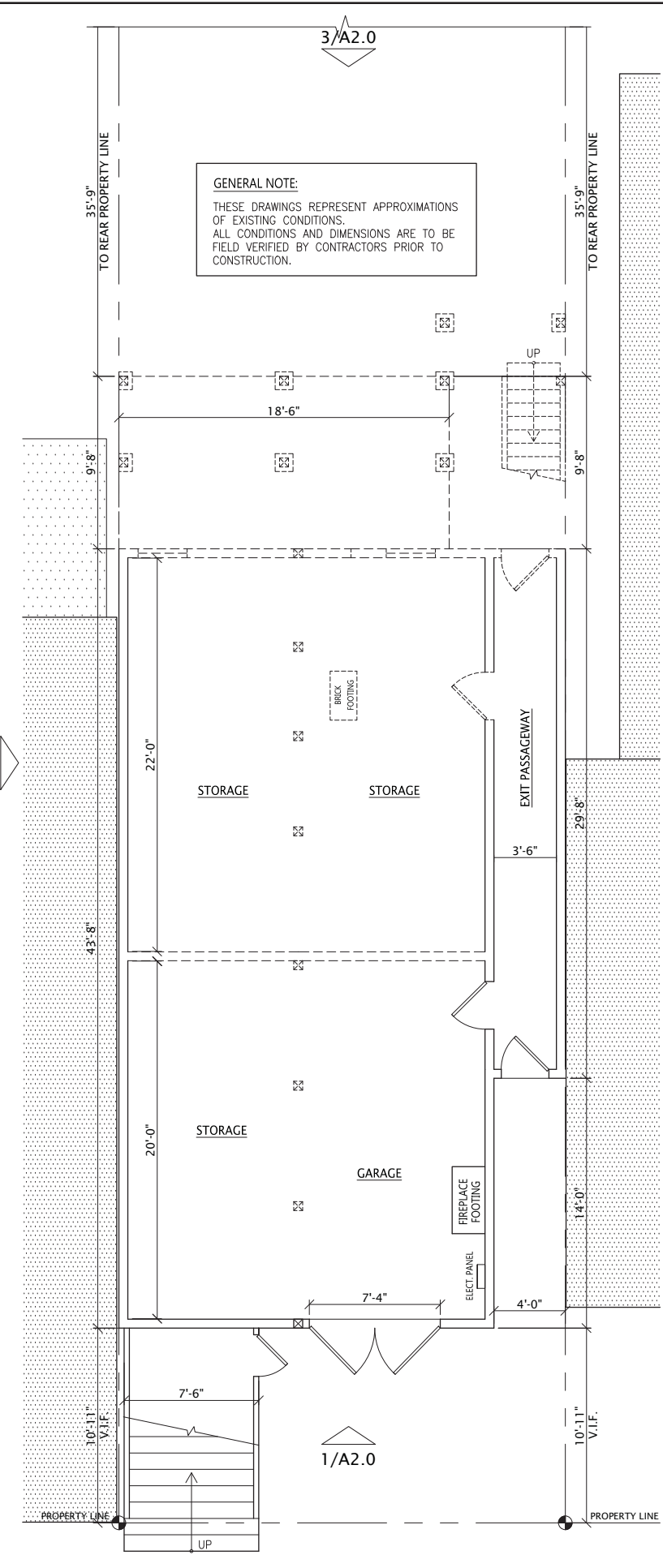
REQUIRED SURFACE PERMEABILITY:

TOTAL AREA OF FRONT SET BACK:	244.5 SQ. FT.
50% PERMEABILITY REQUIRED:	122.25 SQ. FT.
PERMEABLE LANDSCAPE:	42 SQ. FT.
PERMEABLE LANDSCAPE:	10.3 SQ. FT.
PERMEABLE PAVING:	91.4 SQ. FT.
TOTAL PERMEABLE AREA:	143.7 SQ. FT.

REQUIRED LANDSCAPE AREA:

TOTAL AREA OF FRONT SET BACK:	244.5 SQ. FT.
20% LANDSCAPING REQUIRED:	48.9 SQ. FT.
PERMEABLE LANDSCAPE:	42 SQ. FT.
PERMEABLE LANDSCAPE:	10.3 SQ. FT.
TOTAL LANDSCAPE AREA:	52.3 SQ. FT.

GENERAL NOTE:  
 THESE DRAWINGS REPRESENT APPROXIMATIONS OF EXISTING CONDITIONS. ALL CONDITIONS AND DIMENSIONS ARE TO BE FIELD VERIFIED BY CONTRACTORS PRIOR TO CONSTRUCTION.



1 FIRST FLOOR PLAN - EXISTING  
 1/4" = 1'-0"



REVISIONS	BY
REV 1 - APRIL 25, 2016	

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**EXISTING & PROPOSED  
 SECOND FLOOR PLANS**

**1133 TENNESSEE STREET**

Date:	01/20/2016
Scale:	
Drawn By:	##
Job No:	##
Sheet	<b>A1.2</b>
Of ##	Sheets

**WALL TYPES**

NOTE: 1. SEE STRUCTURAL DRAWING FOR OCCURRENCE OF SHEAR WALLS.  
 2. G.W.B. TO BE WATER RESISTANT IN ALL WET AREAS.

- A** NON-RATED WOOD FRAME INTERIOR WALL  
 1 LAYER MIN. 1/2" GYP. BD BOTH SIDES OF FRAME.  
 IN SHOWER AREAS: CERAMIC TILE OVER THIN SET OVER 1/2" DURAROCK OVER FRAME
- B** 1-HOUR WOOD FRAME INTERIOR WALL  
 1 LAYER 5/8" TYPE X GYP. BD. BOTH SIDES OF FRAME.  
 IN SHOWER AREAS: CERAMIC TILE OVER THIN SET OVER 1 LAYER 5/8" TYPE X DENSGLASS FIREGUARD TILE BACKER OVER FRAME. FIRE TEST REFERENCE: GA WP 3520  
 SEE STRUCTURAL DRAWINGS FOR OCCURRENCE OF SHEAR WALLS. FILL CAVITY WITH R-13 BATT. INSULATION OR ROXUL SAFE-N-SOUND SOUNDPROOFING BATT. INSULATION
- C** EXISTING 1-HOUR RATED WOOD FRAME EXTERIOR WALL  
 INTERIOR: 1 LAYER 5/8" TYPE X GYP. BD. OR CERAMIC TILE OVER THIN SET OVER 1 LAYER 5/8" TYPE X DENSGLASS FIREGUARD TILE BACKER OVER FRAME. FIRE TEST REFERENCE: GA WP 3605, GA WP 3520  
 EXTERIOR: EXISTING 3/4" WOOD SIDING OVER BUILDING PAPER OVER FRAME. PATCH REPAIR OR REPLACE SIDING AS NEEDED.  
 LINE INSIDE FACE OF (E) SIDING AND FRAMING WITH 1 LAYER 5/8" TYPE X GYP. BD. FILL CAVITY WITH R-13 BATT. INSULATION.
- D** NEW 1-HOUR RATED WOOD FRAME EXTERIOR WALL  
 INTERIOR: 1 LAYER 5/8" TYPE X GYP. BD. OR IN SHOWER AREAS: CERAMIC TILE OVER THIN SET OVER 1 LAYER 5/8" TYPE X DENSGLASS FIREGUARD TILE BACKER OVER ONE SIDE OF FRAME. FIRE TEST REFERENCE: GA WP 3605, GA WP 3520  
 EXTERIOR: NEW 3/4" WOOD OR COMPOSITE SIDING OVER BUILDING PAPER OVER 1 LAYER 5/8" TYPE X INSULATIVE PLYWOOD SHEATHING (R-5) OVER FRAME.  
 FILL CAVITY WITH R-13 BATT. INSULATION. PROVIDE ADDITIONAL SOUNDPROOFING ON NORTH PROPERTY WALL.

**GENERAL NOTES**

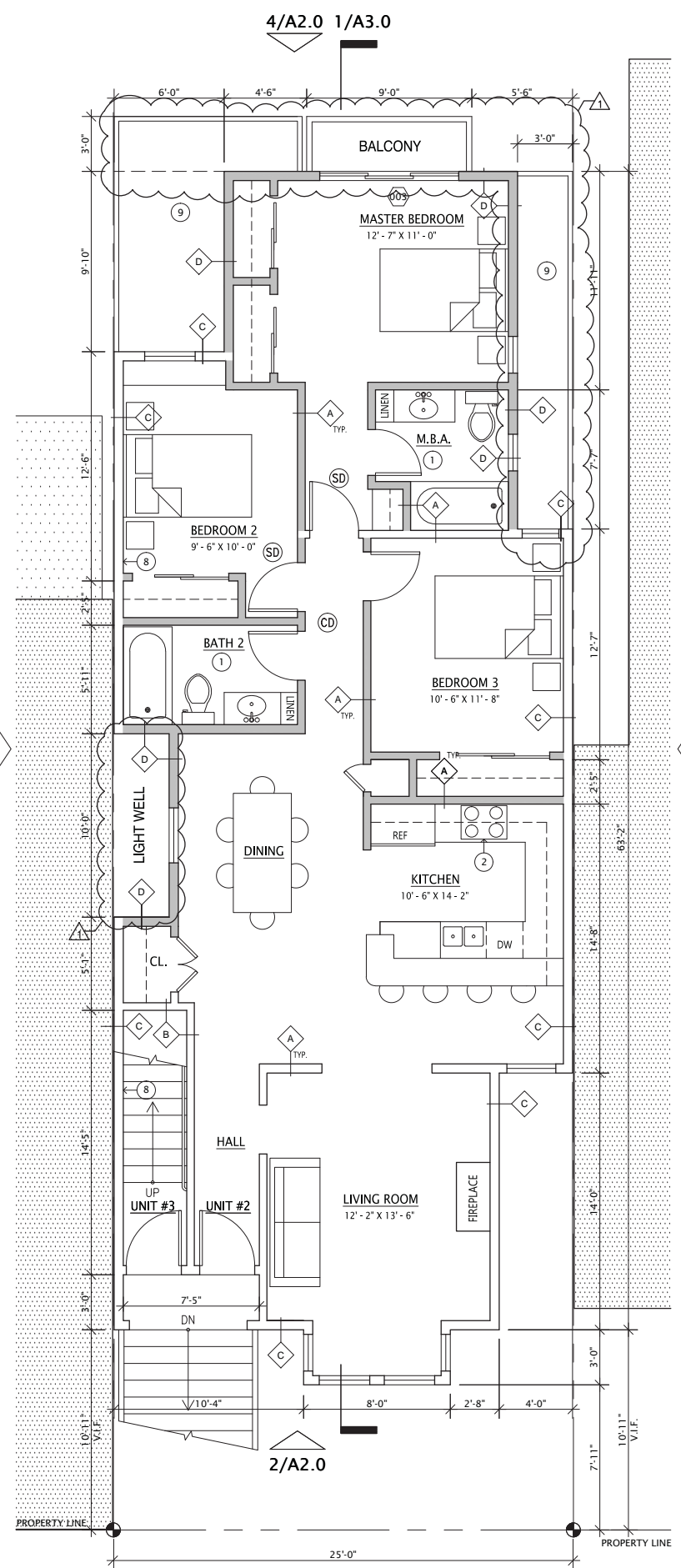
1. ANY WINDOW OR OTHER GLAZING WITHIN 18" OF THE FINISHED FLOOR SHALL BE EITHER TEMPERED OR LAMINATED SAFETY GLASS.
2. ANY WINDOWS WITHIN SHOWER OR BATHTUB ENCLOSURES SHALL HAVE GLAZING THAT IS EITHER TEMPERED OR LAMINATED SAFETY GLASS.

**FIRE RATED CONSTRUCTION REQUIREMENTS**

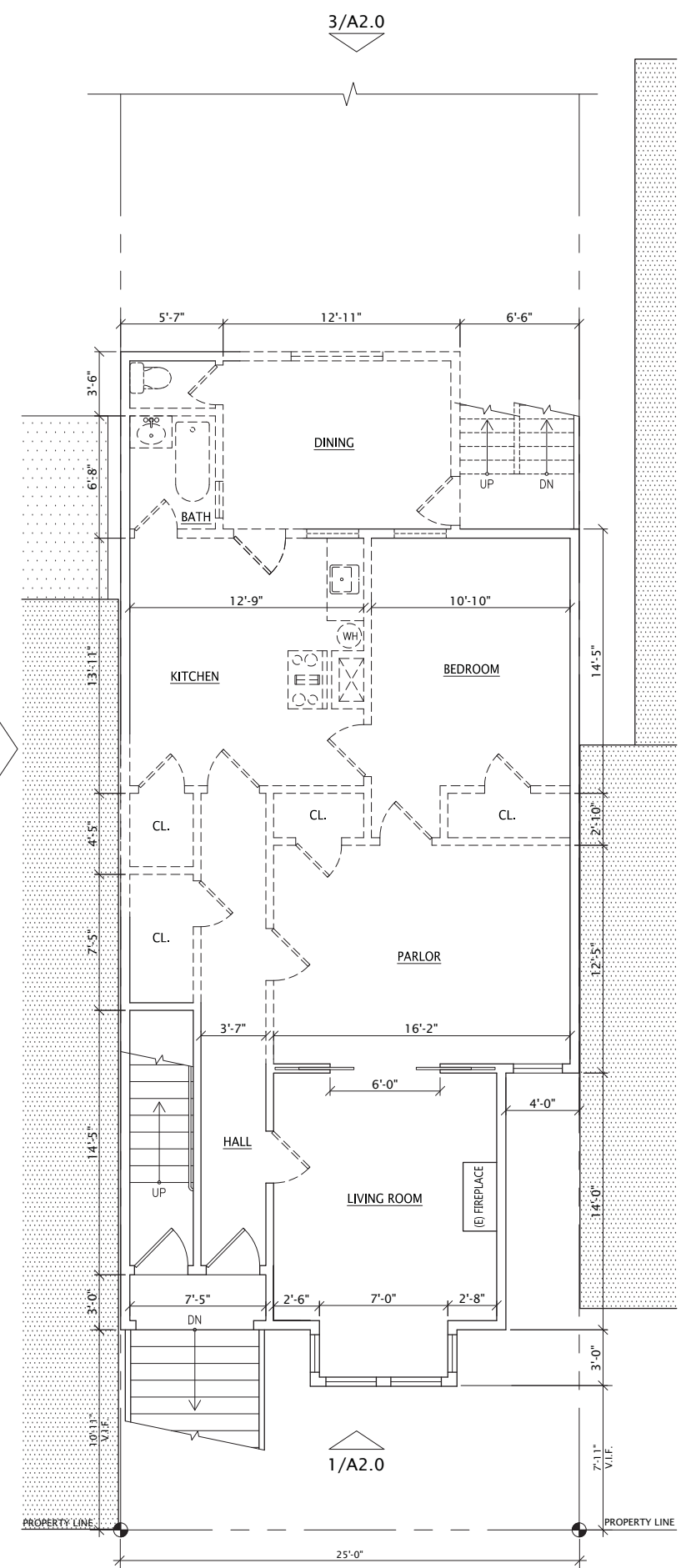
1. FIRE STAIRS SHALL BE 1-HOUR FIRE RATED ENCLOSURES. ALL DOORS OPENING ONTO THE FIRE STAIRS AND EXIT CORRIDOR TO BE 45 MINUTE RATED DOORS, EXCEPT FOR THE EXTERIOR ENTRY DOORS, WHICH ARE NOT REQUIRED TO BE RATED.
2. 1-HOUR FIRE RATING SHALL BE PROVIDED FOR THE FLOOR ASSEMBLY BETWEEN UNITS. A 2-HOUR FIRE RATING FOR THE FLOOR ASSEMBLY SHALL BE PROVIDED BETWEEN THE GARAGE AND SECOND FLOOR. SEE THE BUILDING SECTIONS ON SHEET A3.0 FOR MORE INFORMATION.
3. FIRE RATING SHALL BE MAINTAINED AT FLOOR/CEILING CONSTRUCTION AT NEW RECESSED LIGHTS OR FANS BY CREATING A DRYWALL BOX AROUND THE FIXTURE, OR BY PLACING AN APPROVED FIRE RATED "HAT" ABOVE THE FIXTURE IN THE CEILING CAVITY.
4. ALL MECHANICAL DUCTS WHICH PASS THROUGH THE WALLS OF OTHER UNITS IN THE BUILDING NEED TO BE IN 1-HOUR RATED SHAFTS, OR IF THE DUCTS ARE LOCATED IN THE WALLS BELONGING TO OTHER UNITS, THE WALL CAVITY IN THE FRAMING BAY SHALL BE LINED WITH A MINIMUM OF ONE LAYER OF 5/8" TYPE X GYPSUM WALL BOARD ON ALL SIDES.
5. ALL DRYWALL OR PLASTER REMOVED FROM THE INTERIOR SIDE OF EXTERIOR WALLS SHALL BE REPLACED W/ 1 LAYER OF 5/8" TYPE X GYPSUM WALL BOARD. ALL EXISTING FIRE RATED CONSTRUCTION SHALL BE MAINTAINED AS PART OF ANY WORK SCOPE FOR THE PROJECT.

**LIGHTING/ ELECTRICAL NOTES**

1. THE TOTAL WATTAGE OF LOW EFFICACY LIGHTING IN THE KITCHENS SHALL BE NO MORE THAN THE TOTAL AMOUNT OF HIGH EFFICACY LIGHTING PROVIDED.
2. AT LEAST ONE LUMINAIRE IN EACH BATHROOM SHALL BE HIGH EFFICACY. ALL OTHER LUMINAIRES IN A BATHROOM MUST EITHER BE HIGH EFFICACY, OR MUST BE CONTROL BY VACANCY SENSORS.
3. TOTAL INTERIOR COMMON AREA LIGHTING FOR THE BUILDING SHALL BE EITHER HIGH EFFICACY OR CONTROLLED BY AN OCCUPANCY SENSOR.
4. LUMINAIRES THAT ARE RECESSED INTO CEILINGS SHALL HAVE AIRTIGHT HOUSINGS TO PREVENT CONDITIONED AIR ESCAPING INTO THE CAVITY OR ATTIC. LUMINAIRES RECESSED INTO INSULATED CEILINGS SHALL BE IC-RATED.
5. ANY LOW EFFICACY LIGHTING INSTALLED WITHIN THE DWELLING UNITS, OUTSIDE OF KITCHENS AND BATHROOMS, SHALL BE CONTROLLED BY A SWITCH WITH DIMMING CAPABILITIES.
6. ALL EXTERIOR LIGHTING SHALL COMPLY WITH REQUIREMENTS OF THE 2013 CALIFORNIA ENERGY CODE. ALL FIXTURES PROVIDED FOR THIS PROJECT SHALL BE HIGH EFFICACY FIXTURES, OR IF LOW EFFICACY FIXTURES ARE REQUIRED, THEY SHALL MEET THE FOLLOWING REQUIREMENTS:
  1. CONTROLLED BY A MANUAL ON/OFF SWITCH, AND
  2. A MOTION SENSOR THAT IS NOT EQUIPPED WITH AN OVERRIDE OR BYPASS SWITCH THAT DISABLES THE MOTION SENSOR, AND WHICH AUTOMATICALLY TURNS OFF THE LIGHTS WHEN NO MOTION IS DETECTED; AND
  3. ONE OF THE FOLLOWING THREE METHODS TO AUTOMATICALLY TURN THE LIGHTS OFF DURING THE DAYTIME:
    - a. PHOTO CONTROL NOT HAVING AN OVERRIDE OR BYPASS SWITCH THAT DISABLES THE PHOTO CONTROL, OR
    - b. ASTRONOMICAL TIME CLOCK NOT HAVING AN OVERRIDE OR BYPASS SWITCH THAT DISABLES THE ASTRONOMICAL TIME CLOCK, OR
    - c. ENERGY MANAGEMENT CONTROL SYSTEM (EMCS) NOT HAVING AN OVERRIDE OR BYPASS SWITCH THAT ALLOWS THE LUMINAIRE TO BE ALWAYS ON.



**2 SECOND FLOOR PLAN - PROPOSED**  
 1/4" = 1'-0"



**1 SECOND FLOOR PLAN - EXISTING**  
 1/4" = 1'-0"

**WALL LEGEND**

- EXISTING WALL TO REMAIN
- WALL/ETC TO BE REMOVED
- NEW WALL

**SYMBOLS**

- COMBO SMOKE/CARBON MONOXIDE DETECTOR
- SMOKE DETECTOR

**SHEET NOTES**

1. THE TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS SHALL NOT BE LESS THAN 3'-0" FROM OPENINGS INTO THE BUILDING, & SHALL BE A MINIMUM OF 3'-0" FROM THE PROPERTY LINE.
2. THE TERMINATION OF THE EXHAUST FLUE SHALL NOT BE LESS THAN MANUFACTURER'S REQUIREMENTS, & SHALL BE A MINIMUM OF 3'-0" FROM THE PROPERTY LINE & WALL OPENINGS.
3. NOTE: DOMESTIC DRYER EXHAUST DUCTS SHALL NOT EXCEED A TOTAL COMBINED HORIZONTAL & VERTICAL LENGTH OF 14'-0", INCLUDING (2) 90° ELBOW. A LENGTH OF 2'-0" SHALL BE DEDUCTED FOR EACH 90° ELBOW IN EXCESS OF 2. IF DUCT RUN IS IN EXCESS OF THIS LIMIT, A BOOSTER FAN SHALL BE INSTALLED AS PART OF THE DUCT RUN.
4. 45 MIN. RATED SELF-CLOSING DOOR W/ SMOKE GASKETS
5. 2"Ø x 36" A.F.F. PAINTED STEEL BOLLARDS, TYP.
6. PROVIDE 200 SQ. IN. MIN. VENT OPENING FOR GARAGE VENTILATION (SIBC SECT 312)
7. (N) BUILT IN CASEWORK
8. ENTIRE NORTH EXTERIOR WALL TO BE SOUNDPROOFED
9. ROOF BELOW

REVISIONS	BY
REV 1 - APRIL 25, 2016	

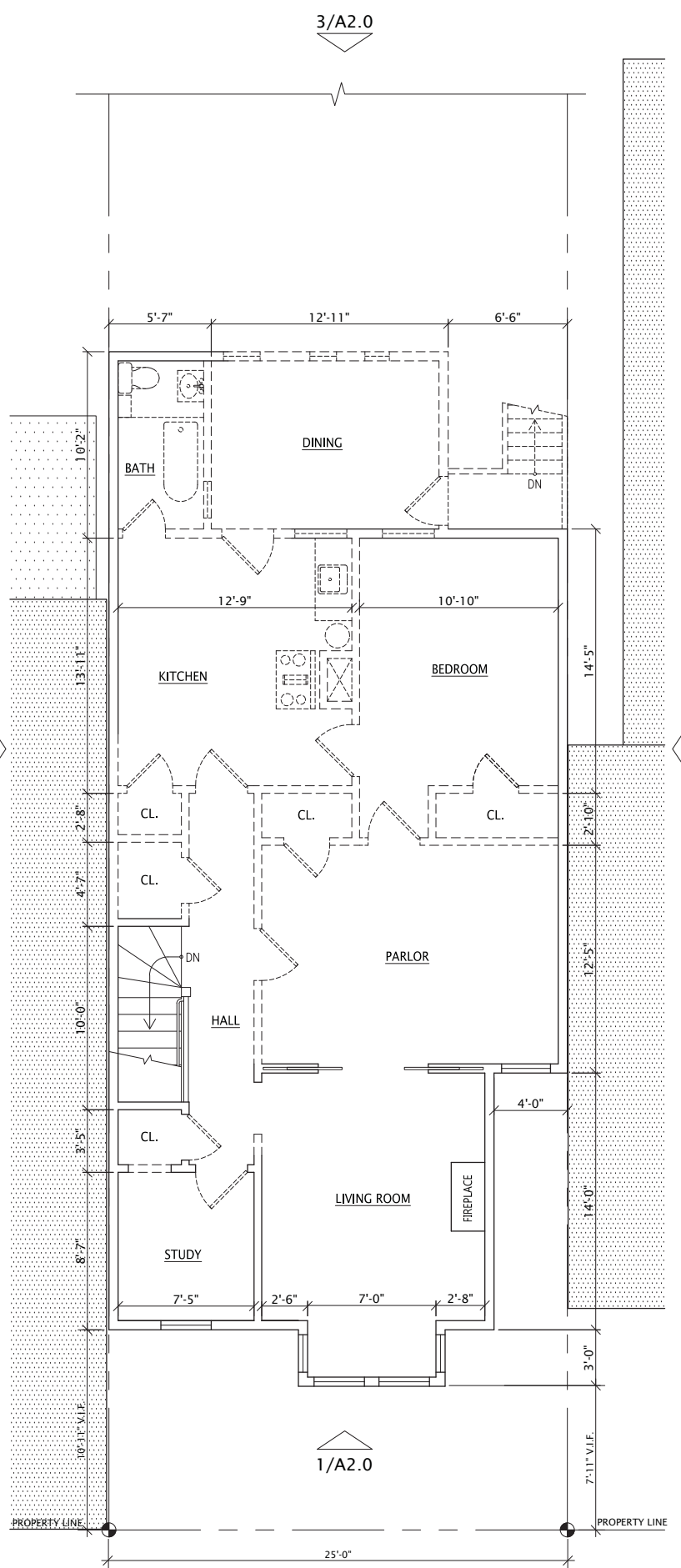
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 brian@briankaufmandesign.com



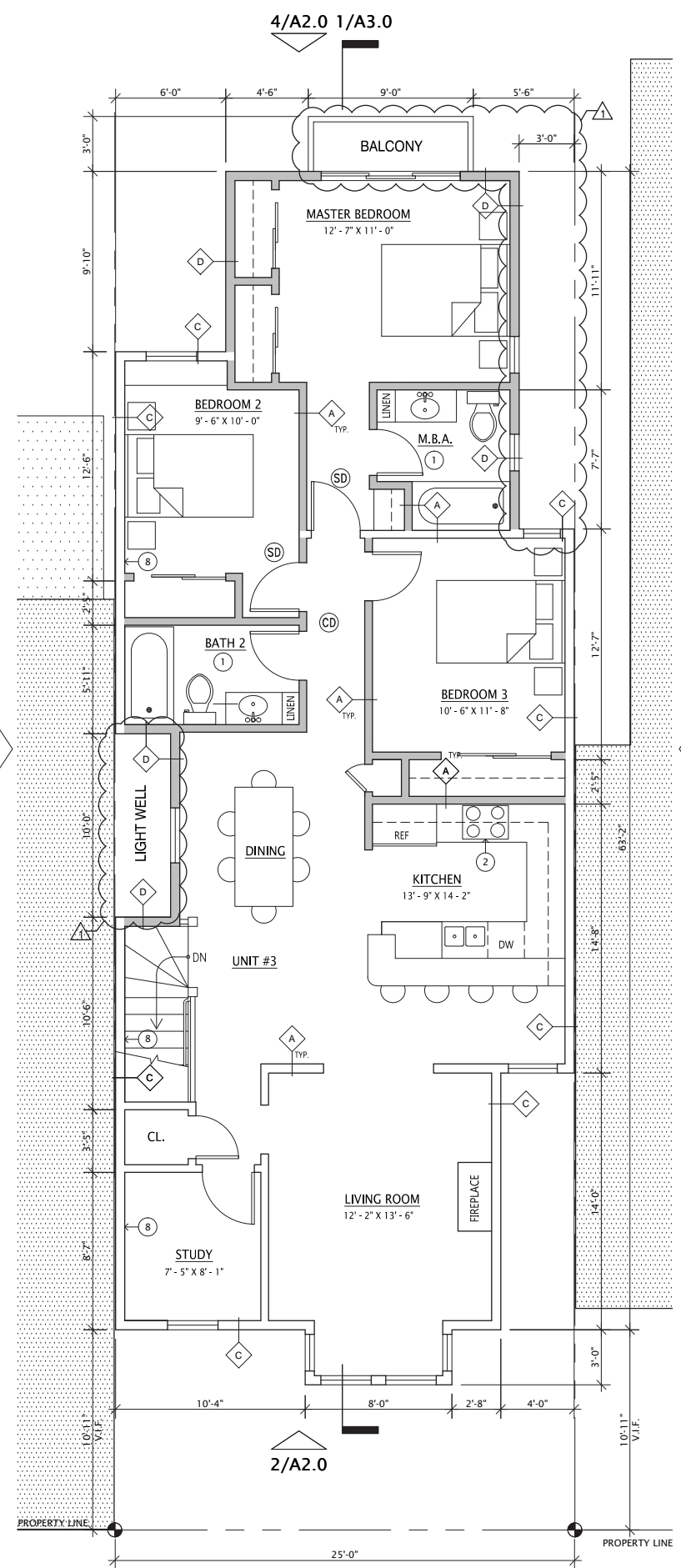
**EXISTING & PROPOSED  
 THIRD FLOOR PLANS**

**1133 TENNESSEE STREET**

Date:	01/20/2016
Scale:	
Drawn By:	##
Job No:	##
Sheet	<b>A1.3</b>
Of ##	Sheets



**1 THIRD FLOOR PLAN - EXISTING**  
 1/4" = 1'-0"



**2 THIRD FLOOR PLAN - PROPOSED**  
 1/4" = 1'-0"



**WALL TYPES**

NOTE: 1. SEE STRUCTURAL DRAWING FOR OCCURRENCE OF SHEAR WALLS.  
 2. G.W.B. TO BE WATER RESISTANT IN ALL WET AREAS.

- A** NON-RATED WOOD FRAME INTERIOR WALL  
 1 LAYER MIN. 1/2" GYP. BD BOTH SIDES OF FRAME.  
 IN SHOWER AREAS: CERAMIC TILE OVER THIN SET OVER 1/2" DURAROCK OVER FRAME
- B** 1-HOUR WOOD FRAME INTERIOR WALL  
 1 LAYER 5/8" TYPE X GYP. BD. BOTH SIDES OF FRAME.  
 IN SHOWER AREAS: CERAMIC TILE OVER THIN SET OVER 1 LAYER 5/8" TYPE X DENSGLOSS FIREGUARD TILE BACKER OVER FRAME. FIRE TEST REFERENCE: GA WP 3520  
 SEE STRUCTURAL DRAWINGS FOR OCCURRENCE OF SHEAR WALLS. FILL CAVITY WITH R-13 BATT. INSULATION OR ROXUL SAFE-N-SOUND SOUNDPROOFING BATT. INSULATION
- C** EXISTING 1-HOUR RATED WOOD FRAME EXTERIOR WALL  
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- D** NEW 1-HOUR RATED WOOD FRAME EXTERIOR WALL  
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REVISIONS	BY
REV 1 - APRIL 25, 2016	

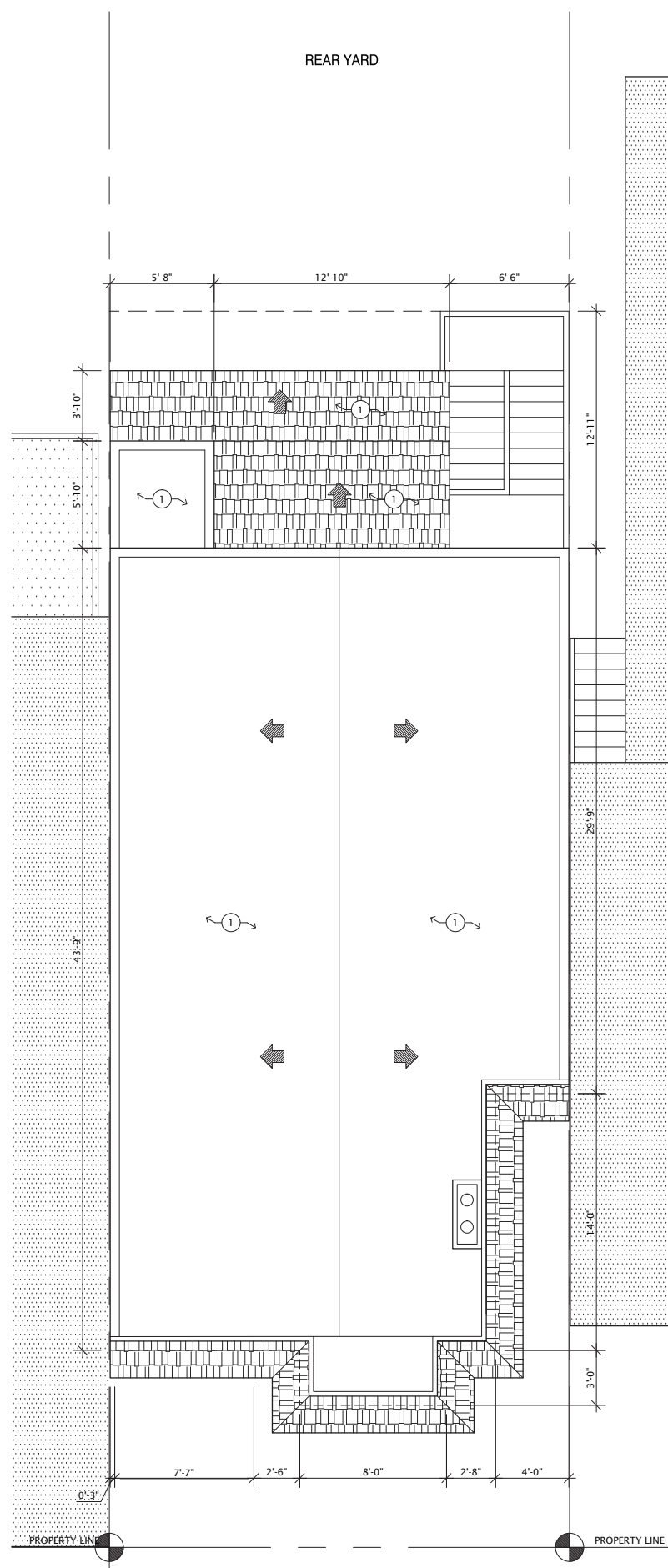
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EXISTING & PROPOSED  
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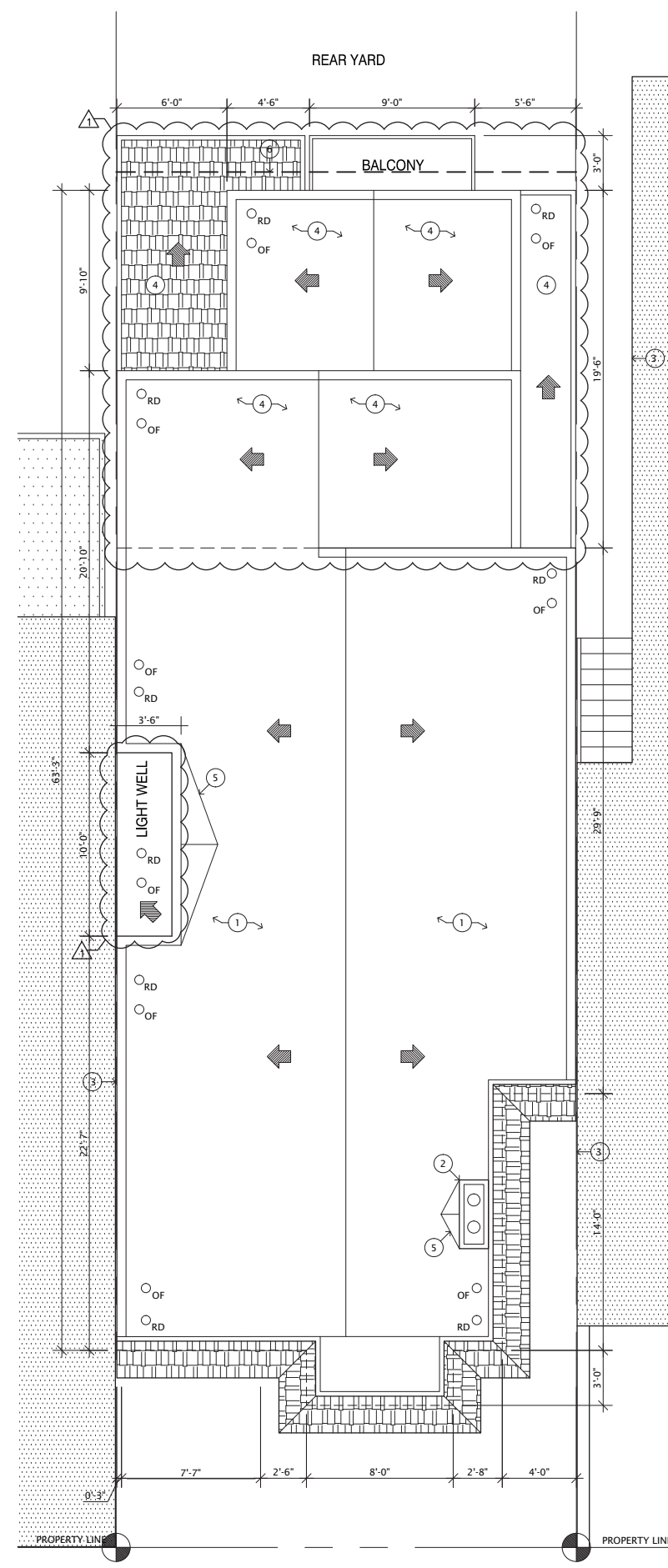
1133 TENNESSEE STREET

Date:	01/20/2016
Scale:	
Drawn By:	##
Job No:	##
Sheet	<b>A1.4</b>
Of ##	Sheets



**1 ROOF PLAN - EXISTING**  
 1/4" = 1'-0"

- SHEET NOTES**
- ① (E) ROOF
  - ② (E) CHIMNEY
  - ③ OUTLINE OF NEIGHBORS BUILDING
  - ④ (N) ROOF
  - ⑤ (N) CRICKET
  - ⑥ REAR YARD LINE



**2 ROOF PLAN - PROPOSED**  
 1/4" = 1'-0"

**WALL TYPES**

NOTE: 1. SEE STRUCTURAL DRAWING FOR OCCURRENCE OF SHEAR WALLS.  
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2/A2.1

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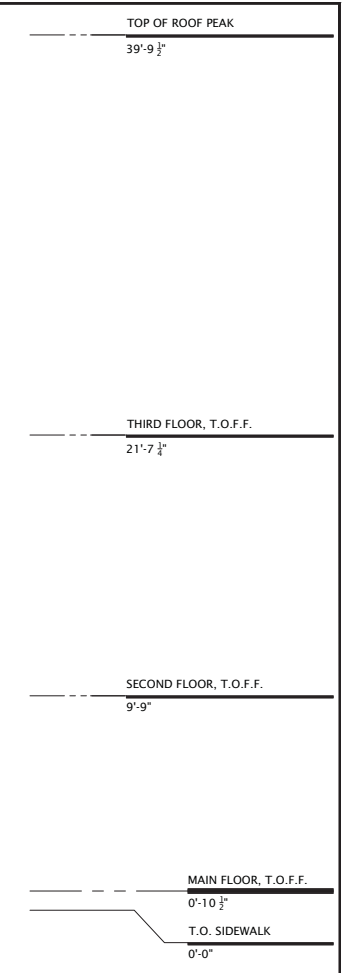


**1 FRONT/WEST ELEVATION - EXISTING**  
1/4" = 1'-0"



**2 FRONT/WEST ELEVATION - PROPOSED**  
1/4" = 1'-0"

**NOTE:**  
ALL FRONT WINDOWS WILL BE REPAIRED.  
ALL OTHER WINDOWS TO BE DUAL GLAZED WOOD CLAD.  
  
ANY REPLACEMENT ORNAMENTATION SHALL BE BASED ON SHADOWING AND ANY OTHER PHYSICAL EVIDENCE ON BUILDING FACADE. ALL SIDING TO BE RESTORED OR REPLACED IN KIND. PLANNING DEPARTMENT SHALL BE CONTACTED WHEN LARGE AREAS ARE TO BE REPLACED.  
  
ASBESTOS SIDING REMOVED FROM BUILDING FACADE. SEE SAN FRANCISCO PLANNING DEPARTMENT FOR CERTIFICATE OF APPROPRIATENESS #2006.0788A



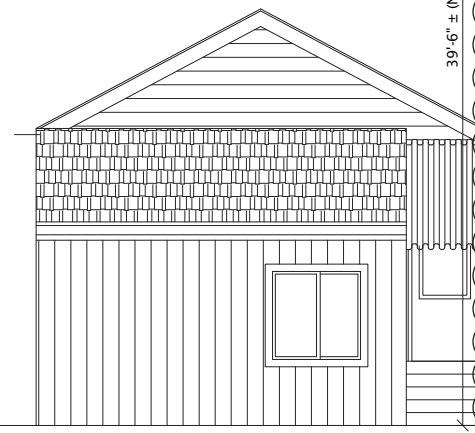
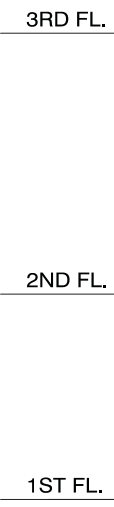
**3 REAR/EAST ELEVATION - EXISTING**  
1/4" = 1'-0"

**NOTE:**  
THERE SHALL BE 1-HOUR FIRE RATED CONSTRUCTION BETWEEN THE DWELLING UNITS TO COMPLY WITH THE BUILDING CODE FOR SEPARATION REQUIREMENT.

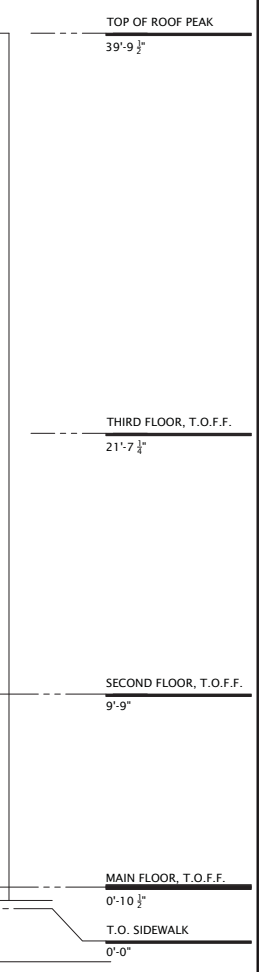
**GENERAL NOTE:**  
THESE DRAWINGS REPRESENT APPROXIMATIONS OF EXISTING CONDITIONS. ALL CONDITIONS AND DIMENSIONS ARE TO BE FIELD VERIFIED BY CONTRACTORS PRIOR TO CONSTRUCTION.

**SHEET NOTES**

- 1 PAINTED WOOD TRIM (TYP.)
- 2 PAINTED WOOD SIDING
- 3 WOOD FRAME BALCONY WITH STEEL REINFORCING AS NECESSARY
- 4 STAINED GLASS OR PATTERNED GLASS
- 5 NEW CUSTOM WOOD DOORS
- 6 (N) CUSTOM WOOD ROLL UP GARAGE DOOR
- 7 (N) ROOF OVERHANG, SUPPORTED BY DECORATIVE POSTS, FIRE PROTECTED AS PER CODE.
- 8 (E) VENT TO BE REMOVED, (N) VENTING TBD AS PART OF ARCH. ADDENDUM SET.
- 9 (N) PAINTED WOOD BALUSTRADE AND RAILING
- 10 (N) NEWEL POST
- 11 (N) DOUBLE HUNG WINDOWS
- 12 (N) DOORS

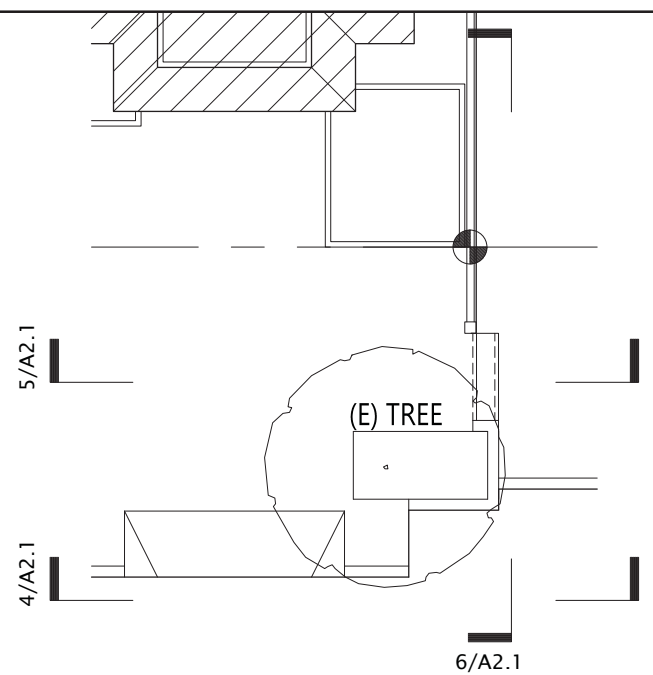


**4 REAR/EAST ELEVATION - PROPOSED**  
1/4" = 1'-0"

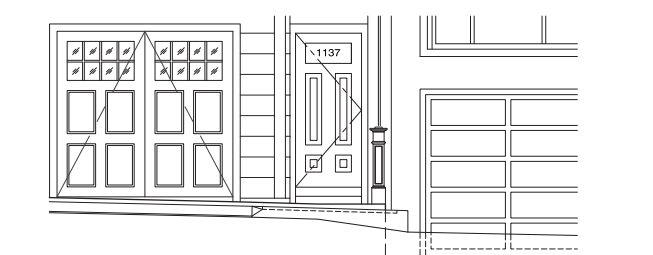


REVISIONS	BY
REV 1 - APRIL 25, 2016	
<p>BRIAN KAUFMAN DESIGN 77 VAN NESS AVE. #501 SAN FRANCISCO, CA 94102 415.276.6795 (voice) 415.400.3171 (fax) brian@briankaufmandesign.com</p>	
<p>LICENSED ARCHITECT BRIAN KAUFMAN C-31117 3/31/2017 RENEWAL DATE STATE OF CALIFORNIA</p>	
<p><b>EXISTING &amp; PROPOSED FRONT &amp; REAR ELEVATIONS</b></p>	
<p><b>1133 TENNESSEE STREET</b></p>	
Date:	01/20/2016
Scale:	
Drawn By:	##
Job No:	##
Sheet	<b>A2.0</b>
Of ##	Sheets

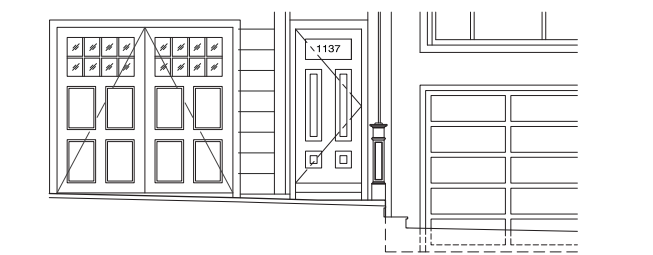




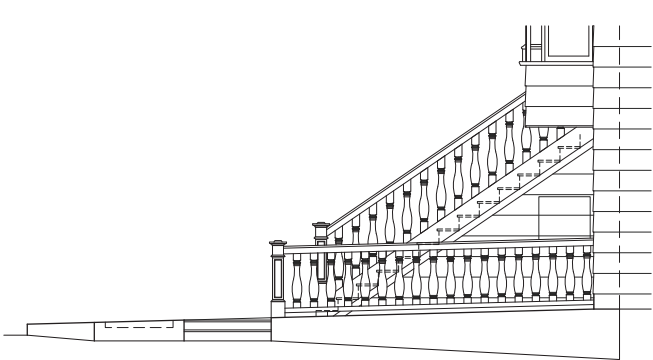
**3 SITE PLAN - PROPOSED SIDEWALK DETAIL**  
1/4" = 1'-0"



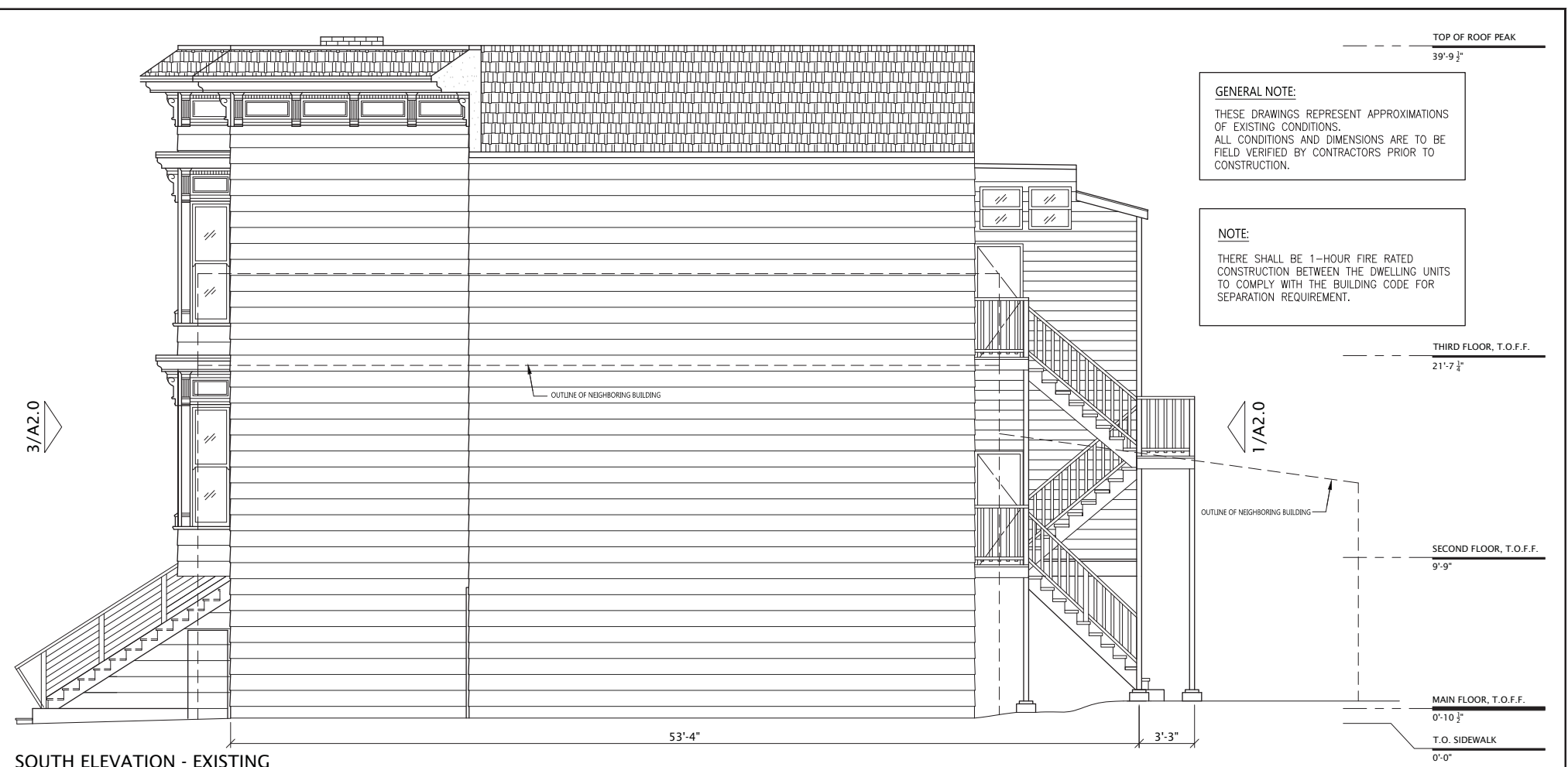
**4 STREET SECTION - PROPOSED SIDEWALK DETAIL**  
1/4" = 1'-0"



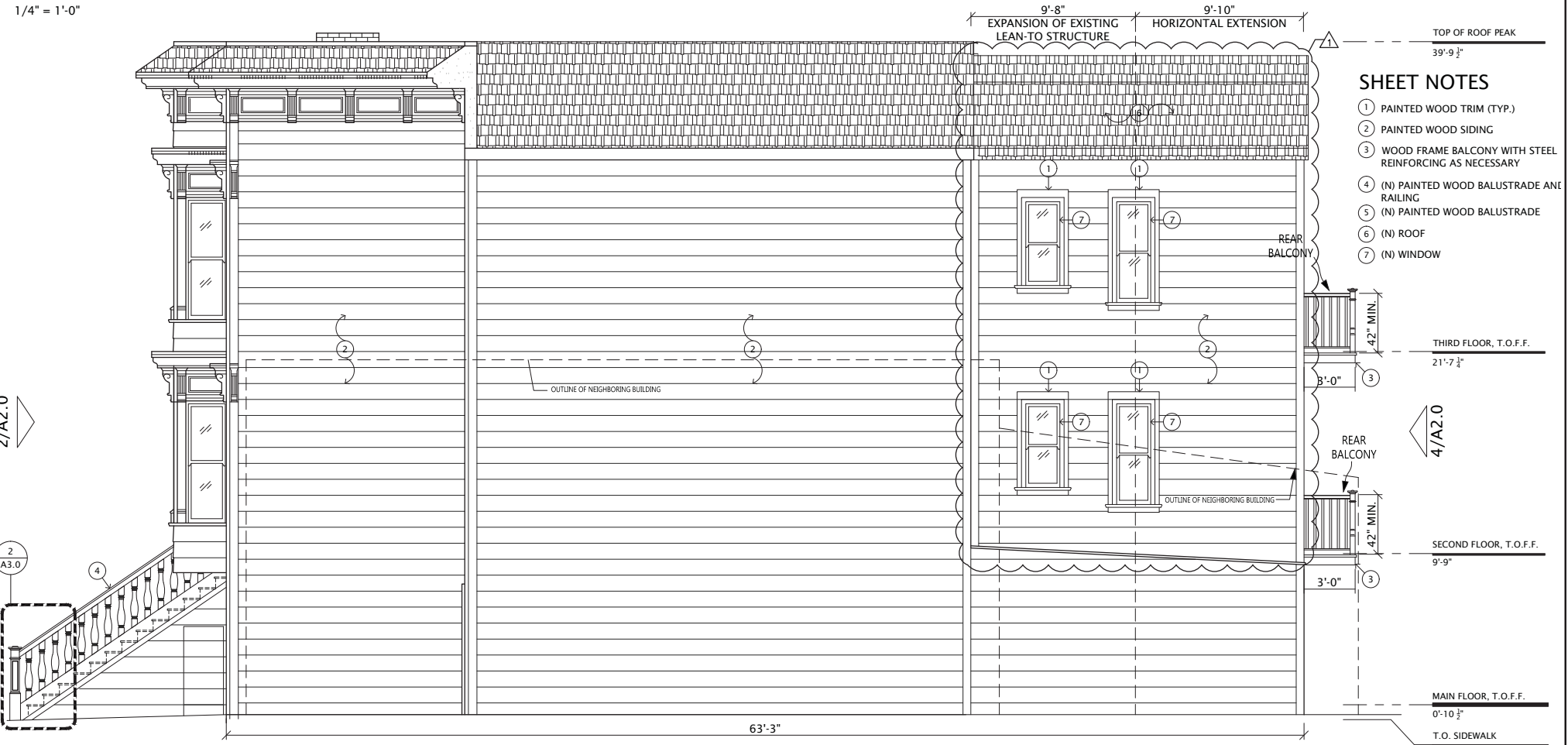
**5 SIDEWALK SECTION - PROPOSED SIDEWALK DETAIL**  
1/4" = 1'-0"



**6 WEST ELEVATION - PROPOSED SIDEWALK DETAIL**  
1/4" = 1'-0"



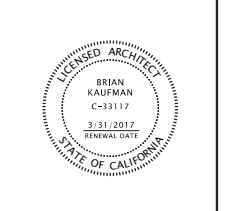
**1 SOUTH ELEVATION - EXISTING**  
1/4" = 1'-0"



**2 SOUTH ELEVATION - PROPOSED**  
1/4" = 1'-0"

REVISIONS	BY
REV 1 - APRIL 25, 2016	

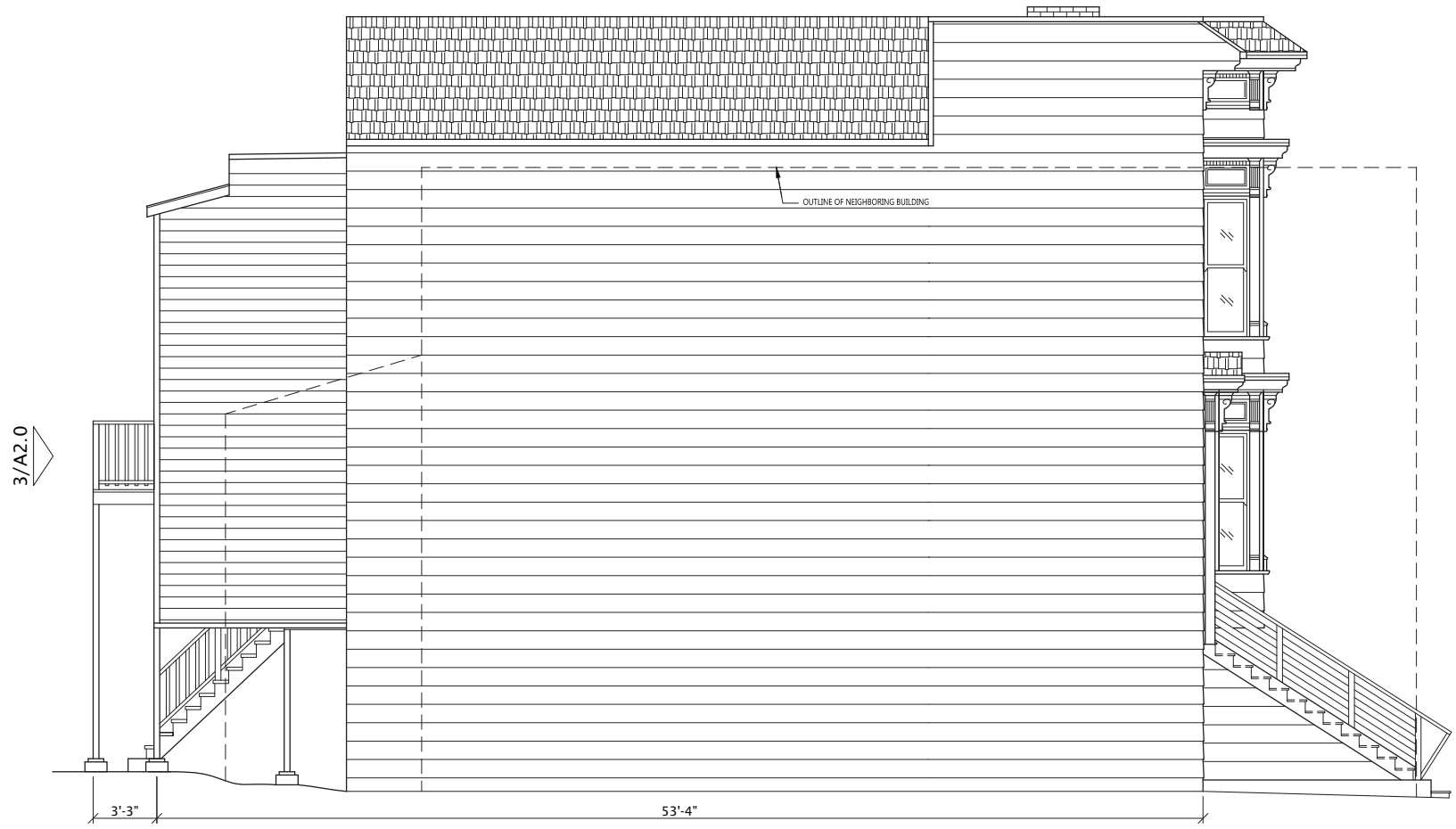
BRIAN KAUFMAN DESIGN  
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415.276.6795 (voice) 415.600.3171 (fax)  
brian@briankaufmandesign.com



**EXISTING & PROPOSED SOUTH ELEVATIONS**

**1133 TENNESSEE STREET**

Date:	01/20/2016
Scale:	
Drawn By:	##
Job No:	##
Sheet	<b>A2.1</b>
Of ## Sheets	



**1 NORTH ELEVATION - EXISTING**  
1/4" = 1'-0"



**NOTE:**  
THERE SHALL BE 1-HOUR FIRE RATED CONSTRUCTION BETWEEN THE DWELLING UNITS TO COMPLY WITH THE BUILDING CODE FOR SEPARATION REQUIREMENT.

**GENERAL NOTE:**  
THESE DRAWINGS REPRESENT APPROXIMATIONS OF EXISTING CONDITIONS. ALL CONDITIONS AND DIMENSIONS ARE TO BE FIELD VERIFIED BY CONTRACTORS PRIOR TO CONSTRUCTION.

- SHEET NOTES**
- ① PAINTED WOOD TRIM (TYP.)
  - ② PAINTED WOOD SIDING
  - ③ WOOD FRAME BALCONY WITH STEEL REINFORCING AS NECESSARY
  - ④ (N) PAINTED WOOD BALUSTRADE AND RAILING
  - ⑤ (N) ROOF
  - ⑥ (N) WINDOW

REVISIONS	BY
REV 1 - APRIL 25, 2016	

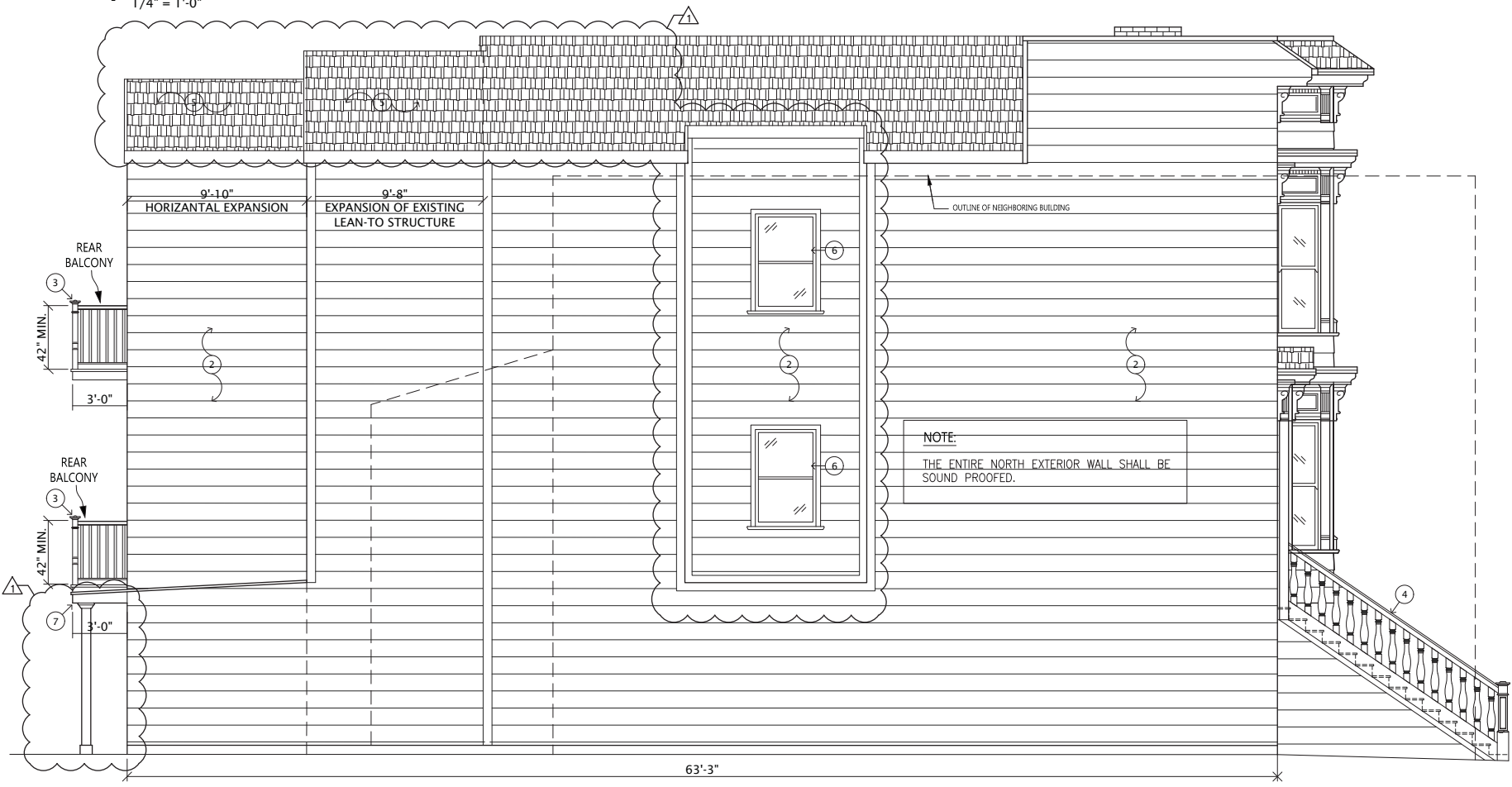
BRIAN KAUFMAN DESIGN  
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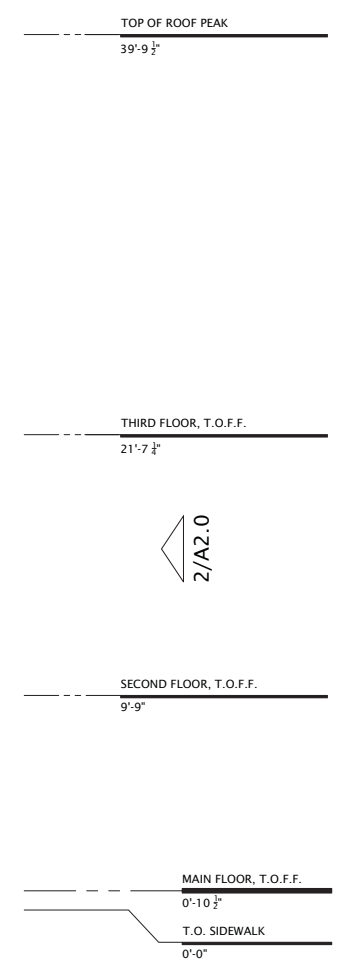
**EXISTING & PROPOSED  
NORTH ELEVATIONS**

**1133 TENNESSEE STREET**

Date:	01/20/2016
Scale:	
Drawn By:	##
Job No:	##
Sheet	<b>A2.2</b>
Of ## Sheets	



**2 NORTH ELEVATION - PROPOSED**  
1/4" = 1'-0"



**SECTION 311 DEMOLITION CALCULATIONS**  
SURFACE AREA PERCENTAGES

**REMOVAL OF INTERIOR WALL FRAMEWORK**

1. PROPOSED DEMOLITION OF EXISTING INTERIOR WALL FRAMEWORK		
FLOOR LEVEL	WALL FRAMEWORK	FRAME WORK TO BE DEMOLISHED
FIRST FLOOR	409.72 S.F.	168.75 S.F.
SECOND FLOOR	1760 S.F.	1208.16 S.F.
THIRD FLOOR	1661.45 S.F.	1119.25 S.F.
TOTALS	3831.17 S.F.	2496.16 S.F.
TOTAL INTERIOR WALL FRAMING TO BE REMOVED		2496.16/3831.17 S.F. 65.15% < 75% (MAX DEMOLITION)

**REMOVAL OF TOTAL INTERIOR FRAMEWORK**

2. PROPOSED DEMOLITION OF TOTAL INTERIOR FRAMEWORK		
LEVEL	TOTAL FRAMING AREA	FRAMING TO BE DEMOLISHED
FIRST FLOOR	409.72 S.F.	168.75 S.F.
SECOND FLOOR	2895.25 S.F.	1208.16 S.F.
THIRD FLOOR	2787.1 S.F.	1119.25 S.F.
TOTALS	6092.1 S.F.	2496.16 S.F.
TOTAL INTERIOR FRAMING TO BE REMOVED		2496.16/6092.1 S.F. 40.9% < 75% (MAX DEMOLITION)

**SECTION 1005 DEMOLITION CALCULATIONS**  
SURFACE AREA PERCENTAGES

**ALL EXTERNAL WALLS FACING A PUBLIC STREET**

1. NO DEMOLITION TO FRONT FACADE OR ANY WALLS VISIBLE FROM THE STREET	
---	--

**REMOVAL OF EXTERNAL WALLS WHICH FUNCTION AS EXTERNAL**

2. PROPOSED DEMOLITION OF EXTERNAL STRUCTURAL FRAMEWORK		
FLOOR LEVEL	EXTERNAL FRAMEWORK	FRAMEWORK TO BE DEMOLISHED
FIRST FLOOR	1300.1 S.F.	234 S.F.
SECOND FLOOR	1882.17 S.F.	375.38 S.F.
THIRD FLOOR	2444.81 S.F.	347.34 S.F.
TOTALS	3427.08 S.F.	956.73 S.F.
PERCENTAGE OF PROPOSED DEMOLITION OF EXTERNAL STRUCTURAL FRAMEWORK		956.73/3427.08 S.F. 27.9% < 50% (MAX DEMOLITION)

**REMOVAL OF EXTERNAL WALLS WHICH FUNCTION AS EXTERNAL OR INTERNAL**

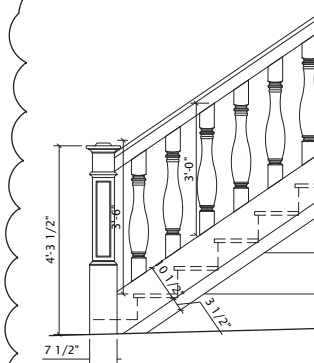
2. PROPOSED DEMOLITION OF EXTERNAL STRUCTURAL FRAMEWORK		
FLOOR LEVEL	EXTERNAL FRAMEWORK	FRAMEWORK TO BE DEMOLISHED
FIRST FLOOR	1300.1 S.F.	234 S.F.
SECOND FLOOR	1882.17 S.F.	375.38 S.F.
THIRD FLOOR	2444.81 S.F.	347.34 S.F.
TOTALS	3427.08 S.F.	956.73 S.F.
PERCENTAGE OF PROPOSED DEMOLITION OF EXTERNAL STRUCTURAL FRAMEWORK		956.73/3427.08 S.F. 27.9% < 50% (MAX DEMOLITION)

**REMOVAL OF INTERIOR STRUCTURAL FRAMEWORK**

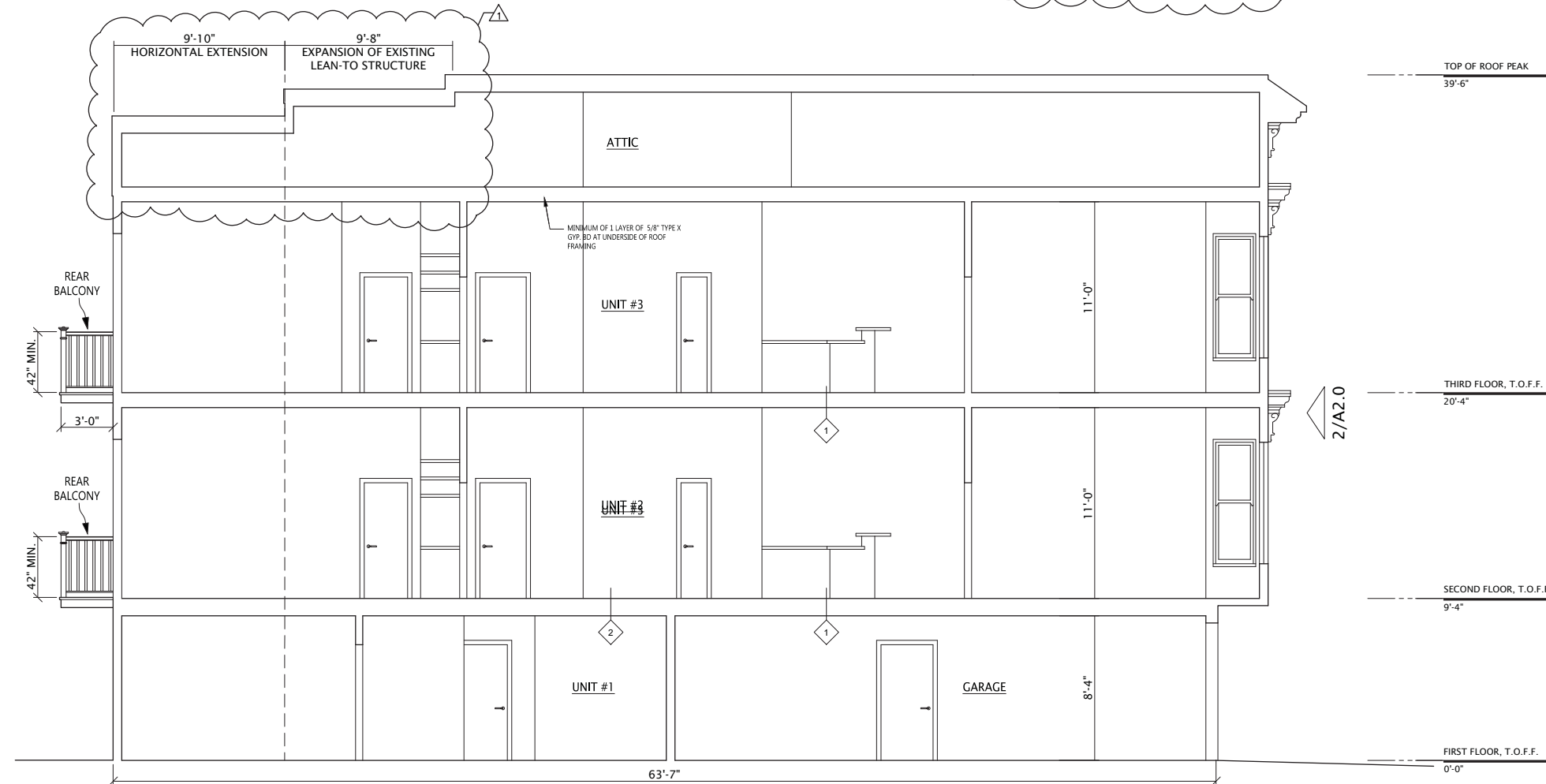
4. INTERNAL WALL STRUCTURAL FRAMEWORK		
FLOOR LEVEL	INTERIOR FRAMEWORK	FRAMEWORK TO BE DEMOLISHED
FIRST FLOOR	409.72 S.F.	168.75 S.F.
SECOND FLOOR	1760 S.F.	1208.16 S.F.
THIRD FLOOR	1661.45 S.F.	1119.25 S.F.
<b>FLOOR PLATES</b>		
FIRST FLOOR	0 S.F.	0 S.F.
SECOND FLOOR	1135.25 S.F.	0 S.F.
THIRD FLOOR	1125.61 S.F.	0 S.F.
TOTALS	6092.1 S.F.	2496.16 S.F.
PERCENTAGE OF PROPOSED DEMOLITION OF EXTERNAL STRUCTURAL FRAMEWORK		2496.16/6092.1 S.F. 40.9% < 75% (MAX DEMOLITION)

**WOOD STAIR & GUARDRAIL PARTS SCHEDULE**

LOCATION	DESCRIPTION	BRAND	MODEL NUMBER	SIZE	FIN	REMARKS
REAR BALCONIES	RAIL CAP	BERONIO	FR10A	1-1/16" x 3-5/8"	PAINTED	
REAR BALCONIES	HANDRAIL	BERONIO	FR10B	1-1/2" x 5"	PAINTED	
FRONT STAIR	BALUSTER	BERONIO	FB6	3" x 3" x 36"	PAINTED	
FRONT STAIR	NEWEL POST	OAK POINT	4092	7-1/2" x 7-1/2" x 53-3/16"	PAINTED	
REAR BALCONIES	RAIL CAP	BERONIO	FR10A	1-1/16" x 3-5/8"	PAINTED	
REAR BALCONIES	HANDRAIL	BERONIO	FR10B	1-1/2" x 5"	PAINTED	
DRIVEWAY GUARDRAIL	BALUSTER	BERONIO	FB6	3" x 3" x 36"	PAINTED	
DRIVEWAY GUARDRAIL	SHOE RAIL	BERONIO	FR4B	-	PAINTED	
DRIVEWAY GUARDRAIL	NEWEL POST	OAK POINT	4092	7-1/2" x 7-1/2" x 53-3/16"	PAINTED	
REAR BALCONIES	RAIL	BERONIO	MR14	2-5/8" x 21-5/16"	PAINTED	
REAR BALCONIES	SHOE RAIL	BERONIO	FS31	7/8" x 3-1/8"	PAINTED	
REAR BALCONIES	BALUSTER	CUSTOM	-	1-1/2" SQUARE	PAINTED	CEDAR
REAR BALCONIES	NEWEL POST	OAK POINT	4076	3-1/2" x 3-1/2"	PAINTED	



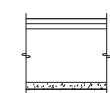
**2 STAIR DETAIL**  
1/2" = 1'-0"



**1 LONGITUDINAL SECTION - PROPOSED**  
1/4" = 1'-0"

- NOTES:  
1. SEE STRUCTURAL DRAWING FOR FRAMING.  
2. G.W.B. TO BE WATER RESISTANT IN ALL WET AREAS.  
3. SEE FLOOR PLAN SHEETS FOR WALL CONSTRUCTION TYPES.

**FLOOR TYPES**



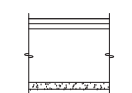
1 1-HOUR, WOOD FLOOR JOIST, OPTION 1, UL DES L512

NOMINAL 1" WOOD SUB-FLOOR AND WOOD FINISH FLOOR ON MIN. 2 X 10 WOOD JOIST WITH 1 LAYER 5/8" TYPE X GYP. BD. ON CEILING SIDE OF FRAMING. SUBSTITUTION OF 3/4" LEVELLOCK FLOOR UNDERLAYMENT ALLOWED AS ALTERNATE TO WOOD FINISHED FLOOR



1 1-HOUR, WOOD FLOOR JOIST, OPTION 2, GA-FC-5406 AND RC-2601

MINIMUM 3/4" PLYWOOD WITH EXTENDING GUEE SUB-FLOOR ON MIN. 2 X 10 WOOD JOIST WITH 2 LAYERS 5/8" TYPE X GYP. BD. ON CEILING SIDE OF FRAMING.



2 2-HOUR, WOOD FLOOR JOIST, UL DES L511

NOMINAL 1" WOOD SUB-FLOOR AND WOOD FINISH FLOOR ON MIN. 2 X 10 WOOD JOIST WITH 2 LAYERS 5/8" TYPE X GYP. BD. ON CEILING SIDE OF FRAMING AND RC CHANNEL SEPARATING THE 2 LAYERS OF GYP. BD. SUBSTITUTION OF 3/4" LEVELLOCK FLOOR UNDERLAYMENT ALLOWED AS ALTERNATE TO WOOD FINISHED FLOOR

REVISIONS	BY
REV 1 - APRIL 25, 2016	

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brian@briankaufmandesign.com



LONGITUDINAL SECTION

1133 TENNESSEE STREET

Date:	01/20/2016
Scale:	
Drawn By:	##
Job No:	##
Sheet:	<b>A3.0</b>
Of ## Sheets	

## Sucre, Richard (CPC)

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**From:** Janet Carpinelli <jc@jcarpinelli.com>  
**Sent:** Friday, September 09, 2016 10:57 AM  
**To:** Susan Eslick  
**Cc:** Doumani Jared; Bruce K Huie; Dunkelgod Heidi; Loomis John; Celia Lawren; Sucre, Richard (CPC)  
**Subject:** Re: 1133 Tennessee St - Bob Noelke - Historic Preservation hearing Wed. Sept. 21 12:30pm

Susan

Do ask Bob Nolke for a large set of current plans to see if he has changed anything since we saw them last. He should deliver a set to you. He should also have detail drawings of the fences/materials and set up a meeting with the engineer to discuss your concerns about the foundation and adjacent properties.

Janet Carpinelli

934 Minnesota Street  
San Francisco, CA 94107  
415 282 5516

On Sep 9, 2016, at 8:49 AM, Susan Eslick <[susan.thebookkeeper@gmail.com](mailto:susan.thebookkeeper@gmail.com)> wrote:

The last set of plans he presented to us was “acceptable”. There were some outstanding items he never got back to us on. I’m sending an email right now to the planner Rich Sucre. Here is the gist of what I am telling Rich:

---

Hi Rich,

Just for the record, this property owner has been most difficult and unresponsive over the past 12 years regarding this project. I’m sure you might remember the issues we had a few years ago with no 311 notifications, etc.

The last neighborhood meeting with had with Robert Noelke was back in October 2015. Prior to that we had a meeting on November 19, 2014. These questions and concerns listed below were asked at both meetings and we have never been sent any reply. Here are the outstanding concerns:

1. Fence design for the front south portion of the property line since there is a huge grade change and a trip and fall situation there currently.
2. Acoustic materials used. Neighbors wanted to make sure sound walls with acoustic “green goo” are used to minimize any sound traveling from the building.
3. We wanted to know the structural engineer for the project. Adjacent neighbors wanted to get a better sense of the foundation and underpinning or not. The property at 1169-1189 had sandy soil issues to deal with and we want to be reassured the soil is considered and planned for.
4. Landscaping and year yard fence has not been shown to us or adjacent property owners.
5. Neighbors do not approve of construction on Sunday. Project sponsor indicated they would work on Sundays.

We were told after that last meeting that Brian Kaufmann would get back to us with the answers to our questions. We have heard nothing.



While I am aware these issues might not be relevant to the Historic Preservation Commission, we want to make sure you, as the planner take note with the lack of trust we have with this owner to actually build to the specifications required by the Landmarks Board.

It is vital the work done on this contributing property in the Dogpatch Historic District is done with the highest level of craftsmanship and best use of materials. Please let me know if you think it would be of value to send a letter to each commissioner.

Thanks very much,

**the bookkeeper**

susan eslick

1129 tennessee st

san francisco, ca 94107

415.297.1116

On Sep 9, 2016, at 8:42 AM, Jared Doumani <[jared@doumani.net](mailto:jared@doumani.net)> wrote:

Susan,

Have you requested architectural plans so that we can see what they are proposing? Crap construction and compromised finishes are hard to fight so long as it complies with zoning and building. Do you have a plan for getting what you want?

Jared Doumani

Persnickety Painters

1006 Tennessee St

SF, CA 94107

415-203-2858

[www.persnicketypainters.com](http://www.persnicketypainters.com)

---

**From:** Susan Eslick [<mailto:susan.thebookkeeper@gmail.com>]

**Sent:** Friday, September 09, 2016 8:26 AM

**To:** Janet Carpinelli <[jc@jcarpinelli.com](mailto:jc@jcarpinelli.com)>; Bruce K Huie <[brucehuiesf@gmail.com](mailto:brucehuiesf@gmail.com)>; Heidi dunkelgod <[dunkelgod@gmail.com](mailto:dunkelgod@gmail.com)>; John Loomis <[loomis.ja@gmail.com](mailto:loomis.ja@gmail.com)>; Jared Doumani <[Jared@Doumani.net](mailto:Jared@Doumani.net)>; Celia Lawren <[celialawren@gmail.com](mailto:celialawren@gmail.com)>

**Subject:** 1133 Tennessee St - Bob Noelke - Historic Preservation hearing Wed. Sept. 21 12:30pm

As Janet and Bruce are well aware, the last neighborhood meeting we had with the owner was back in October 2015. He was suppose to get back to us about how he was going to design the new fencing on the front south portion of his property line since there is such a major grade change. Additionally, he never responded to us when we wanted to know how he was going to shore up the building since sandy soil issues are huge down here. As well as the sound proofing used between the buildings. Was there something else we were waiting for Janet?

I resent the project description list on this notice. This is a major alteration to a historic contribution to the neighborhood. Our major concern is crap construction and compromised finishes.

Just thought the DNA design board should be made aware of this project.

sE

**the bookkeeper**

**susan eslick**

1129 tennessee st

san francisco, ca 94107

415.297.1116



# SAN FRANCISCO PLANNING DEPARTMENT

## CEQA Categorical Exemption Determination

### PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address		Block/Lot(s)	
1133 Tennessee Street		4172/028	
Case No.	Permit No.	Plans Dated	
2015-000308COA	2015.09.18.7456	04/25/16	
<input checked="" type="checkbox"/> Addition/ Alteration	<input type="checkbox"/> Demolition (requires HRER if over 45 years old)	<input type="checkbox"/> New Construction	<input type="checkbox"/> Project Modification <b>(GO TO STEP 7)</b>
Project description for Planning Department approval. Restoration of primary facade/facade alterations, window replacement and construction of three-story rear horizontal addition.			

### STEP 1: EXEMPTION CLASS TO BE COMPLETED BY PROJECT PLANNER

<b>*Note: If neither class applies, an <i>Environmental Evaluation Application</i> is required.*</b>	
<input checked="" type="checkbox"/>	<b>Class 1 – Existing Facilities.</b> Interior and exterior alterations; additions under 10,000 sq. ft.
<input type="checkbox"/>	<b>Class 3 – New Construction/ Conversion of Small Structures.</b> Up to three (3) new single-family residences or six (6) dwelling units in one building; commercial/office structures; utility extensions.; ; change of use under 10,000 sq. ft. if principally permitted or with a CU. Change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input checked="" type="checkbox"/>	<b>Class <sup>31</sup></b> Historical Resource Restoration/Rehabilitation

### STEP 2: CEQA IMPACTS TO BE COMPLETED BY PROJECT PLANNER

<b>If any box is checked below, an <i>Environmental Evaluation Application</i> is required.</b>	
<input type="checkbox"/>	<b>Air Quality:</b> Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities) within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g., backup diesel generators, heavy industry, diesel trucks)? <i>Exceptions: do not check box if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Article 38 program and the project would not have the potential to emit substantial pollutant concentrations. (refer to EP_ArcMap &gt; CEQA Catex Determination Layers &gt; Air Pollutant Exposure Zone)</i>
<input type="checkbox"/>	<b>Hazardous Materials:</b> If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential? If yes, this box must be checked and the project applicant must submit an Environmental Application with a Phase I Environmental Site Assessment. <i>Exceptions: do not check box if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Maher program, a DPH waiver from the</i>

	<i>Maher program, or other documentation from Environmental Planning staff that hazardous material effects would be less than significant (refer to EP_ArcMap &gt; Maher layer).</i>
<input type="checkbox"/>	<b>Transportation:</b> Does the project create six (6) or more net new parking spaces or residential units? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?
<input type="checkbox"/>	<b>Archeological Resources:</b> Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non-archeological sensitive area? <i>(refer to EP_ArcMap &gt; CEQA Catex Determination Layers &gt; Archeological Sensitive Area)</i>
<input type="checkbox"/>	<b>Subdivision/Lot Line Adjustment:</b> Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? <i>(refer to EP_ArcMap &gt; CEQA Catex Determination Layers &gt; Topography)</i>
<input type="checkbox"/>	<b>Slope = or &gt; 20%:</b> Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? <i>(refer to EP_ArcMap &gt; CEQA Catex Determination Layers &gt; Topography)</i> <b>If box is checked, a geotechnical report is required.</b>
<input type="checkbox"/>	<b>Seismic: Landslide Zone:</b> Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? <i>(refer to EP_ArcMap &gt; CEQA Catex Determination Layers &gt; Seismic Hazard Zones)</i> <b>If box is checked, a geotechnical report is required.</b>
<input type="checkbox"/>	<b>Seismic: Liquefaction Zone:</b> Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? <i>(refer to EP_ArcMap &gt; CEQA Catex Determination Layers &gt; Seismic Hazard Zones)</i> <b>If box is checked, a geotechnical report will likely be required.</b>
<b><u>If no boxes are checked above, GO TO STEP 3. If one or more boxes are checked above, an Environmental Evaluation Application is required, unless reviewed by an Environmental Planner.</u></b>	
<input checked="" type="checkbox"/>	<b>Project can proceed with categorical exemption review. The project does not trigger any of the CEQA impacts listed above.</b>
<b>Comments and Planner Signature (optional):</b>	

**STEP 3: PROPERTY STATUS – HISTORIC RESOURCE  
TO BE COMPLETED BY PROJECT PLANNER**

<b>PROPERTY IS ONE OF THE FOLLOWING:</b> <i>(refer to Parcel Information Map)</i>	
<input checked="" type="checkbox"/>	<b>Category A:</b> Known Historical Resource. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	<b>Category B:</b> Potential Historical Resource (over 45 years of age). <b>GO TO STEP 4.</b>
<input type="checkbox"/>	<b>Category C:</b> Not a Historical Resource or Not Age Eligible (under 45 years of age). <b>GO TO STEP 6.</b>

**STEP 4: PROPOSED WORK CHECKLIST  
TO BE COMPLETED BY PROJECT PLANNER**


<b>Check all that apply to the project.</b>	
<input checked="" type="checkbox"/>	1. <b>Change of use and new construction.</b> Tenant improvements not included.
<input checked="" type="checkbox"/>	2. <b>Regular maintenance or repair</b> to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	3. <b>Window replacement</b> that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. <b>Garage work.</b> A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	5. <b>Deck, terrace construction, or fences</b> not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. <b>Mechanical equipment installation</b> that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. <b>Dormer installation</b> that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input checked="" type="checkbox"/>	8. <b>Addition(s)</b> that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
<b>Note: Project Planner must check box below before proceeding.</b>	
<input type="checkbox"/>	Project is not listed. <b>GO TO STEP 5.</b>
<input checked="" type="checkbox"/>	Project <b>does not conform</b> to the scopes of work. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	Project involves <b>four or more</b> work descriptions. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	Project involves <b>less than four</b> work descriptions. <b>GO TO STEP 6.</b>

**STEP 5: CEQA IMPACTS – ADVANCED HISTORICAL REVIEW  
TO BE COMPLETED BY PRESERVATION PLANNER**

<b>Check all that apply to the project.</b>	
<input type="checkbox"/>	1. Project involves a <b>known historical resource (CEQA Category A)</b> as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	2. <b>Interior alterations to publicly accessible spaces.</b>
<input checked="" type="checkbox"/>	3. <b>Window replacement</b> of original/historic windows that are not “in-kind” but are consistent with existing historic character.
<input checked="" type="checkbox"/>	4. <b>Façade/storefront alterations</b> that do not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	5. <b>Raising the building</b> in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	6. <b>Restoration</b> based upon documented evidence of a building’s historic condition, such as historic photographs, plans, physical evidence, or similar buildings.
<input type="checkbox"/>	7. <b>Addition(s)</b> , including mechanical equipment that are minimally visible from a public right-of-way and meet the <i>Secretary of the Interior’s Standards for Rehabilitation</i> .
<input type="checkbox"/>	8. <b>Other work consistent</b> with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (specify or add comments):

<input type="checkbox"/>	<p>9. <b>Other work</b> that would not materially impair a historic district (specify or add comments):</p> <p style="text-align: center;"><i>(Requires approval by Senior Preservation Planner/Preservation Coordinator)</i> _____</p>
<input type="checkbox"/>	<p>10. <b>Reclassification of property status.</b> <i>(Requires approval by Senior Preservation Planner/Preservation Coordinator)</i></p> <p style="padding-left: 40px;"><input type="checkbox"/> Reclassify to Category A      <input type="checkbox"/> Reclassify to Category C</p> <p>a. Per HRER dated: _____ <i>(attach HRER)</i></p> <p>b. Other <i>(specify)</i>:</p>
<p><b>Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST check one box below.</b></p>	
<input type="checkbox"/>	<p><b>Further environmental review required.</b> Based on the information provided, the project requires an <i>Environmental Evaluation Application</i> to be submitted. <b>GO TO STEP 6.</b></p>
<input checked="" type="checkbox"/>	<p><b>Project can proceed with categorical exemption review.</b> The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. <b>GO TO STEP 6.</b></p>
<p><b>Comments (optional):</b> See Case Report for 2015-000308COA (Scheduled for HPC on 09/21/16)</p>	
<p><b>Preservation Planner Signature: Richard Sucre</b></p> <div style="text-align: right; font-size: small;">       Digitally signed by Richard Sucre        DN: dc=org, dc=sfgov, dc=cityplanning, ou=CityPlanning, ou=Current Planning, ou=Richard Sucre, email=Richard.Sucre@sfgov.org        Date: 2016.09.14 08:38:59 -0700     </div>	

**STEP 6: CATEGORICAL EXEMPTION DETERMINATION  
TO BE COMPLETED BY PROJECT PLANNER**

<input type="checkbox"/>	<p><b>Further environmental review required.</b> Proposed project does not meet scopes of work in either <i>(check all that apply)</i>:</p> <p style="padding-left: 40px;"><input type="checkbox"/> Step 2 – CEQA Impacts</p> <p style="padding-left: 40px;"><input type="checkbox"/> Step 5 – Advanced Historical Review</p> <p><b>STOP! Must file an <i>Environmental Evaluation Application</i>.</b></p>	
<input checked="" type="checkbox"/>	<p><b>No further environmental review is required. The project is categorically exempt under CEQA.</b></p>	
	<p><b>Planner Name: Rich Sucre</b></p> <hr/> <p><b>Project Approval Action:</b></p> <p style="padding-left: 20px;">Historic Preservation Commission Hearing</p> <p style="font-size: small;">If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.</p>	<p><b>Signature:</b></p> <div style="text-align: center;">  <p style="font-size: 2em; font-weight: bold; margin: 0;">Richard Sucre</p> </div> <div style="font-size: small; margin-top: 10px;">       Digitally signed by Richard Sucre        DN: dc=org, dc=sfgov, dc=cityplanning, ou=CityPlanning, ou=Current Planning, cn=Richard Sucre, email=Richard.Sucre@sfgov.org        Date: 2016.09.14 08:38:55 -0700     </div>
<p>Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code.</p> <p>In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the first approval action.</p>		