



# SAN FRANCISCO PLANNING DEPARTMENT

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## Certificate of Appropriateness Case Report

HEARING DATE: JUNE 6, 2018

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
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Planning  
Information:  
**415.558.6377**

*Case No.:* 2015-007715COA-02  
*Project Address:* 2342-2344 3RD STREET  
*Historic Landmark:* Dogpatch Landmark District  
*Zoning:* UMU (Urban Mixed Use)  
45-X Height and Bulk District  
*Block/Lot:* 4108/003A  
*Applicant:* John Kevlin  
Reuben, Junius & Rose, LLP  
1 Bush Street, Suite 600  
San Francisco, CA 94104  
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*Reviewed By:* Tim Frye – (415) 575-6822  
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### PROPERTY DESCRIPTION

2342-2344 3RD STREET is a three-story, group housing building located on a rectangular midblock lot on the west side of 3<sup>rd</sup> Street between 20<sup>th</sup> and 22<sup>nd</sup> Streets. The subject property was originally constructed between 1905 and 1914 in a flat-front Italianate style. The front façade of the building was stripped and clad in stucco at an unknown date. The building is a contributor to the Article 10 Dogpatch Landmark District.

### PROJECT DESCRIPTION

The proposed project entails the rehabilitation of the existing building including restoration of the exterior, addition of a storefront, removal of a non-historic rear addition, and an interior remodel. The restoration is based on physical evidence upon the removal of the non-historic stucco and shingles and historic photographs in accordance with the *Secretary of the Interior's Standards for Rehabilitation*. Please reference the plans and photographs for details. The exterior work is described in more detail below:

- Remove existing non-historic stucco at front façade and non-historic roofing shingles at side and restore historic wood cladding including repair and replacement where existing conditions are deteriorated beyond repair.
- Replace existing non-historic aluminum windows with wood-sash, double-hung windows with ogee lugs, divisions, and wood trim based on historic evidence. The project includes minor changes to the fenestration at side and rear facades including installation of new windows and doors, relocation of windows, and elimination of windows.

- Replace existing non-historic garage and entries at ground level with a wood-sash storefront and a wood residential entry based on historic evidence.
- Restore existing wood cornice and parapet.
- Replacement of existing metal gate and fence at front.
- Remove existing non-historic shed-roofed addition at rear and replace existing wood stair with a steel stair, which is a required second means of egress per the Building Code. The existing rear wall will be partially demolished and the remaining portion will be fire-rated.

## COMPLIANCE WITH THE PLANNING CODE PROVISIONS

The proposed project is in compliance with all other provisions of the Planning Code.

## APPLICABLE PRESERVATION STANDARDS

### ARTICLE 10

Pursuant to Section 1006.2 of the Planning Code, unless exempt from the Certificate of Appropriateness requirements or delegated to Planning Department Preservation staff through the Administrative Certificate Appropriateness process, the Historic Preservation Commission is required to review any applications for the construction, alteration, removal, or demolition of any designated Landmark for which a City permit is required. Section 1006.6 states that in evaluating a request for a Certificate of Appropriateness for an individual landmark or a contributing building within a historic district, the Historic Preservation Commission must find that the proposed work is in compliance with the *Secretary of the Interior's Standards for the Treatment of Historic Properties*, as well as the designating Ordinance and any applicable guidelines, local interpretations, bulletins, related appendices, or other policies.

### ARTICLE 10 – Appendix L – Dogpatch Landmark District

In reviewing an application for a Certificate of Appropriateness, the Historic Preservation Commission must consider whether the proposed work would be compatible with the character of the Dogpatch Landmark District as described in Appendix L of Article 10 of the Planning Code and the character-defining features specifically outlined in the designating ordinance.

### THE SECRETARY OF THE INTERIOR'S STANDARDS

Rehabilitation is the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features that convey its historical, cultural, or architectural values. The Rehabilitation Standards provide, in relevant part(s):

**Standard 1:** A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

*The proposed project would maintain the subject property's current and historic residential use while restoring exterior features. Therefore, the proposed project complies with Rehabilitation Standard 1.*

**Standard 2:** The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

*The proposed project would not remove or alter any features or spaces, which characterize the building or surrounding landmark district. The decorative ornament and window trim was stripped and the front façade was clad in stucco at an unknown date. The project will reconstruct and restore the historic character of the subject property, as defined by its character-defining features including, but not limited to, its overall mass and form, storefront, double-hung wood-sash windows, wood cladding, wood cornice and decorative elements based on physical evidence upon removal of the existing non-historic cladding and on historic evidence. Therefore, the proposed project complies with Rehabilitation Standard 2.*

**Standard 3:** Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

*The proposed project does not include the addition of conjectural elements or architectural features from other buildings. The proposed façade elements will be designed in accordance with physical building evidence upon the removal of the non-historic cladding and on historic photographs. The project will install a storefront based on historic photographs. The new work will not create a false sense of historical development. The new work will be compatible with and will improve the integrity of the building and surrounding district. Therefore, the proposed project complies with Rehabilitation Standard 3.*

**Standard 5:** Distinctive features, finishes, and construction techniques or examples of fine craftsmanship that characterize a property will be preserved.

*The proposed project does not impact or destroy any distinctive features, finishes or construction techniques, which characterize the surrounding district. Nearly all character-defining elements at the primary façade have previously been removed. All restorative work will match the lost historic features in design, material, and finish. All other features in repairable condition will be preserved. Therefore, the proposed project complies with Rehabilitation Standard 5.*

**Standard 6:** Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacements of a distinctive feature, the new feature will

match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

*The subject property was substantially altered in the past and nearly all of the character-defining features have been removed including decorative ornament, windows and trim, cornice, and storefront; however, the property is still contributing in its current form. Some character-defining features such as historic wood cladding were exposed through the exploratory removal of non-historic stucco and shingles. The project proposes to restore the historic wood cladding including repair and replacement where the severity of deteriorated requires it. All replacement of missing features is based on physical evidence upon the removal of non-historic cladding and on historic photographs. All replacement features will match the old in design, color, texture, and materials. Therefore, the proposed project complies with Rehabilitation Standard 6.*

**Standard 9:** New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

*The proposed project would not destroy or damage any contributing elements to the Dogpatch Landmark District. The project will remove a non-historic, shed-roofed, addition at rear that was not constructed during the period of significance and does not possess character-defining features associated with the building or district. The wood stair at rear will be reconstructed of steel materials to meet current Building Code requirements. The replacement stair will be minimally visible from the public right-of-way. Therefore, the proposed project complies with Rehabilitation Standard #9.*

**Standard 10:** New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

*The proposed project is not additive in nature, but would restore the historic character of the building including a ground floor storefront. The proposed scope of work does not entail any additions or related new construction. Therefore, the proposed project complies with Rehabilitation Standard 10.*

**Summary:** The Department finds that the overall project is consistent with the *Secretary of the Interior Standards for Rehabilitation*.

## **PUBLIC/NEIGHBORHOOD INPUT**

To date, the Department has not received any public comment in regards to the project.

## STAFF ANALYSIS

Included as an exhibit are architectural drawings of the existing building and the proposed project. Based on the requirements of Article 10, Appendix L of Article 10 of the Planning Code, and the *Secretary of Interior's Standards*, Department staff has determined that the proposed work is compatible with the character-defining features of the subject building and with the Dogpatch Landmark District. Due to the extensive removal of historic materials at the primary façade, the proposed scope of reconstructive work would restore the historic character of the existing building, including distinctive materials, architectural elements, and spaces that characterize the property. The new features specified for the façade will be in alignment with the property's and district's character-defining features. The proposal includes new openings at the ground level on the side elevation which are compatible in terms of size, proportion, and materials and will not be visible from the public right-of-way.

Staff recommends four Conditions of Approval that will ensure that the proposed work is undertaken in conformance with this Certificate of Appropriateness.

Department staff finds that the proposed work will be in conformance with the *Standards* and requirements of Article 10, and that the work is compatible with the Dogpatch Landmark District. Staff recommends approval with conditions.

## ENVIRONMENTAL REVIEW STATUS

The Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15301 (Class One - Minor Alteration of Existing Facility, (e) Additions to existing structures provided that the addition will not result in an increase of more than 10,000 square feet).

## PLANNING DEPARTMENT RECOMMENDATION

Planning Department staff recommends APPROVAL WITH CONDITIONS of the proposed project as it appears to meet the *Secretary of the Interior Standards for Rehabilitation* and requirements of Article 10.

1. As part of the Building Permit, the Project Sponsor shall contact Planning Department preservation staff once full demolition of the existing non-historic cladding is complete to coordinate on site review prior to work commencing on the exterior restoration.
2. If necessary, based on new information the Project Sponsor shall revise the proposed façade restoration details in conformance with physical evidence and staff site visit recommendations subject to Department review and approval.
3. As part of the Building Permit, the Project Sponsor shall provide material samples to ensure compatibility with the surrounding landmark district. These material samples shall demonstrate the range of color and finishes for the identified materials.
4. As part of the Building Permit, the Project Sponsor shall include a notation on the plan set stating a mock-up for the new storefront, window systems, and cornice will be provided prior to commencement of work. The proposed storefront shall be based on physical and historic

evidence. The Project Sponsor shall continue working with staff on details to ensure compatibility with the landmark district. The required mock-up is subject to review and approval by Planning Department Preservation staff prior to work commencement.

## **ATTACHMENTS**

Draft Motion

Exhibits:

- Parcel Map
- Sanborn Map
- Zoning Map
- Aerial Photograph
- Site Photo

Environmental Analysis

Project Sponsor submittal, including:

- Reduced Plans



# SAN FRANCISCO PLANNING DEPARTMENT

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## Historic Preservation Commission Draft Motion

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[tim.frye@sfgov.org](mailto:tim.frye@sfgov.org)

**ADOPTING FINDINGS FOR A CERTIFICATE OF APPROPRIATENESS FOR PROPOSED WORK DETERMINED TO BE APPROPRIATE FOR AND CONSISTENT WITH THE PURPOSES OF ARTICLE 10, TO MEET THE STANDARDS OF ARTICLE 10 AND TO MEET THE SECRETARY OF INTERIOR'S STANDARDS FOR REHABILITATION, FOR THE PROPERTY LOCATED ON LOT 003A IN ASSESSOR'S BLOCK 4108, WITHIN UMU (URBAN MIXED USE) ZONING DISTRICT, A 45-X HEIGHT AND BULK DISTRICT, AND THE DOGPATCH LANDMARK DISTRICT.**

### PREAMBLE

WHEREAS, on June 21, 2017, Reuben, Junius & Rose ("Project Sponsor") filed an application with the San Francisco Planning Department (hereinafter "Department") for a Certificate of Appropriateness for exterior and interior alterations of the subject property including: restoration of the exterior, addition of a storefront, removal of a non-historic rear addition, and an interior remodel.

WHEREAS, the Project was determined by the Department to be categorically exempt from environmental review. The Historic Preservation Commission ("Commission") has reviewed and concurs with said determination.

WHEREAS, on June 6, 2018, the Commission conducted a duly noticed public hearing on the current project, Case No. 2015-007715COA-02 (Project) for its appropriateness.

WHEREAS, in reviewing the Application, the Commission has had available for its review and consideration case reports, plans, and other materials pertaining to the Project contained in the

Department's case files, has reviewed and heard testimony and received materials from interested parties during the public hearing on the Project.

**MOVED**, that the Commission hereby grants the Certificate of Appropriateness, in conformance with the architectural plans labeled Exhibit A on file in the docket for Case 2015-007715COA-02 based on the following findings:

### **CONDITIONS OF APPROVAL**

1. As part of the Building Permit, the Project Sponsor shall contact Planning Department preservation staff once full demolition of the existing non-historic cladding is complete to coordinate on site review prior to work commencing on the exterior restoration.
2. If necessary, based on new information the Project Sponsor shall revise the proposed façade restoration details in conformance with physical evidence and staff site visit recommendations subject to Department review and approval.
3. As part of the Building Permit, the Project Sponsor shall provide material samples to ensure compatibility with the surrounding landmark district. These material samples shall demonstrate the range of color and finishes for the identified materials.
4. As part of the Building Permit, the Project Sponsor shall include a notation on the plan set stating a mock-up for the new storefront, window systems, and cornice will be provided prior to commencement of work. The proposed storefront shall be based on physical and historic evidence. The Project Sponsor shall continue working with staff on details to ensure compatibility with the landmark district. The required mock-up is subject to review and approval by Planning Department Preservation staff prior to work commencement.

### **FINDINGS**

Having reviewed all the materials identified in the recitals above and having heard oral testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and also constitute findings of the Commission.
2. Findings pursuant to Article 10:

The Historic Preservation Commission has determined that the proposed work is compatible with the character of the landmark as described in the designation report.

- The project will retain the existing residential use and historic character of the building and landmark district.
- The proposed project will not add any conjectural historical features or features that add a false sense of historical development. The façade restoration will be based on documentary evidence including historic photographs and physical evidence upon removal of the non-historic cladding.

- The project will restore distinctive materials and finishes from the period of significance, including wood cladding, double-hung wood sash windows, wood cornice and decorative elements, and replacing the existing roll-up garage door and ground floor entries with a wood storefront and entry to gain further compatibility with the landmark district.
- The proposed project meets the requirements of Article 10, Appendix L of the Planning Code.
- The proposed project meets the following *Secretary of Interior's Standards for Rehabilitation*:

**Standard 1.**

*A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.*

**Standard 2.**

*The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*

**Standard 3.**

*Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.*

**Standard 5.**

*Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.*

**Standard 6.**

*Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.*

**Standard 9.**

*New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.*

**Standard 10.**

*New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

3. **General Plan Compliance.** The proposed Certificate of Appropriateness is, on balance, consistent with the following Objectives and Policies of the General Plan:

I. URBAN DESIGN ELEMENT

THE URBAN DESIGN ELEMENT CONCERNS THE PHYSICAL CHARACTER AND ORDER OF THE CITY, AND THE RELATIONSHIP BETWEEN PEOPLE AND THEIR ENVIRONMENT.

GOALS

*The Urban Design Element is concerned both with development and with preservation. It is a concerted effort to recognize the positive attributes of the city, to enhance and conserve those attributes, and to improve the living environment where it is less than satisfactory. The Plan is a definition of quality, a definition based upon human needs.*

OBJECTIVE 1

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

POLICY 1.3

*Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.*

OBJECTIVE 2

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

POLICY 2.4

*Preserve notable landmarks and areas of historic, architectural or aesthetic value, and promote the preservation of other buildings and features that provide continuity with past development.*

POLICY 2.5

*Use care in remodeling of older buildings, in order to enhance rather than weaken the original character of such buildings.*

POLICY 2.7

*Recognize and protect outstanding and unique areas that contribute in an extraordinary degree to San Francisco's visual form and character.*

*The goal of a Certificate of Appropriateness is to provide additional oversight for buildings and districts that are architecturally or culturally significant to the City in order to protect the qualities that are associated with that significance.*

*The proposed project qualifies for a Certificate of Appropriateness and therefore furthers these policies and objectives by maintaining and preserving the character-defining features of the contributory property and landmark district for the future enjoyment and education of San Francisco residents and visitors.*

4. The proposed project is generally consistent with the eight General Plan priority policies set forth in Section 101.1 in that:

- A) The existing neighborhood-serving retail uses will be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses will be enhanced:

*The proposed project includes the addition of a storefront for a future retail use.*

- B) The existing housing and neighborhood character will be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods:

*The proposed project will strengthen neighborhood character by respecting the character-defining features of the site and landmark district in conformance with the Secretary of the Interior's Standards.*

- C) The City's supply of affordable housing will be preserved and enhanced:

*The project will not reduce the affordable housing supply as the existing units will be retained.*

- D) The commuter traffic will not impede MUNI transit service or overburden our streets or neighborhood parking:

*The proposed project will not result in commuter traffic impeding MUNI transit service or overburdening the streets or neighborhood parking.*

- E) A diverse economic base will be maintained by protecting our industrial and service sectors from displacement due to commercial office development. And future opportunities for resident employment and ownership in these sectors will be enhanced:

*The proposed project will not have any impact on industrial and service sector jobs.*

- F) The City will achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

*Preparedness against injury and loss of life in an earthquake will be improved by the proposed work. The work will be executed in compliance with all applicable construction and safety measures.*

- G) That landmark and historic buildings will be preserved:

*The proposed project is in conformance with Article 10 of the Planning Code and the Secretary of the*

*Interior's Standards.*

H) Parks and open space and their access to sunlight and vistas will be protected from development:

*The proposed project will not impact the access to sunlight or vistas for the parks and open space.*

5. For these reasons, the proposal overall, is appropriate for and consistent with the purposes of Article 10, meets the standards of Article 10, and the Secretary of Interior's Standards for Rehabilitation, General Plan and Prop M findings of the Planning Code.

## DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **GRANTS a Certificate of Appropriateness** for the property located at Lot 003A in Assessor's Block 4108 for proposed work in conformance with the renderings labeled Exhibit A on file in the docket for Case No. 2015-007715COA-02.

**APPEAL AND EFFECTIVE DATE OF MOTION:** The Commission's decision on a Certificate of Appropriateness shall be final unless appealed within thirty (30) days. Any appeal shall be made to the Board of Appeals, unless the proposed project requires Board of Supervisors approval or is appealed to the Board of Supervisors as a conditional use, in which case any appeal shall be made to the Board of Supervisors (see Charter Section 4.135).

**Duration of this Certificate of Appropriateness:** This Certificate of Appropriateness is issued pursuant to Article 10 of the Planning Code and is valid for a period of three (3) years from the effective date of approval by the Historic Preservation Commission. The authorization and right vested by virtue of this action shall be deemed void and canceled if, within 3 years of the date of this Motion, a site permit or building permit for the Project has not been secured by Project Sponsor.

**THIS IS NOT A PERMIT TO COMMENCE ANY WORK OR CHANGE OF OCCUPANCY UNLESS NO BUILDING PERMIT IS REQUIRED. PERMITS FROM THE DEPARTMENT OF BUILDING INSPECTION (and any other appropriate agencies) MUST BE SECURED BEFORE WORK IS STARTED OR OCCUPANCY IS CHANGED.**

I hereby certify that the Historical Preservation Commission ADOPTED the foregoing Motion on June 6, 2018

Jonas P. Ionin  
Commission Secretary

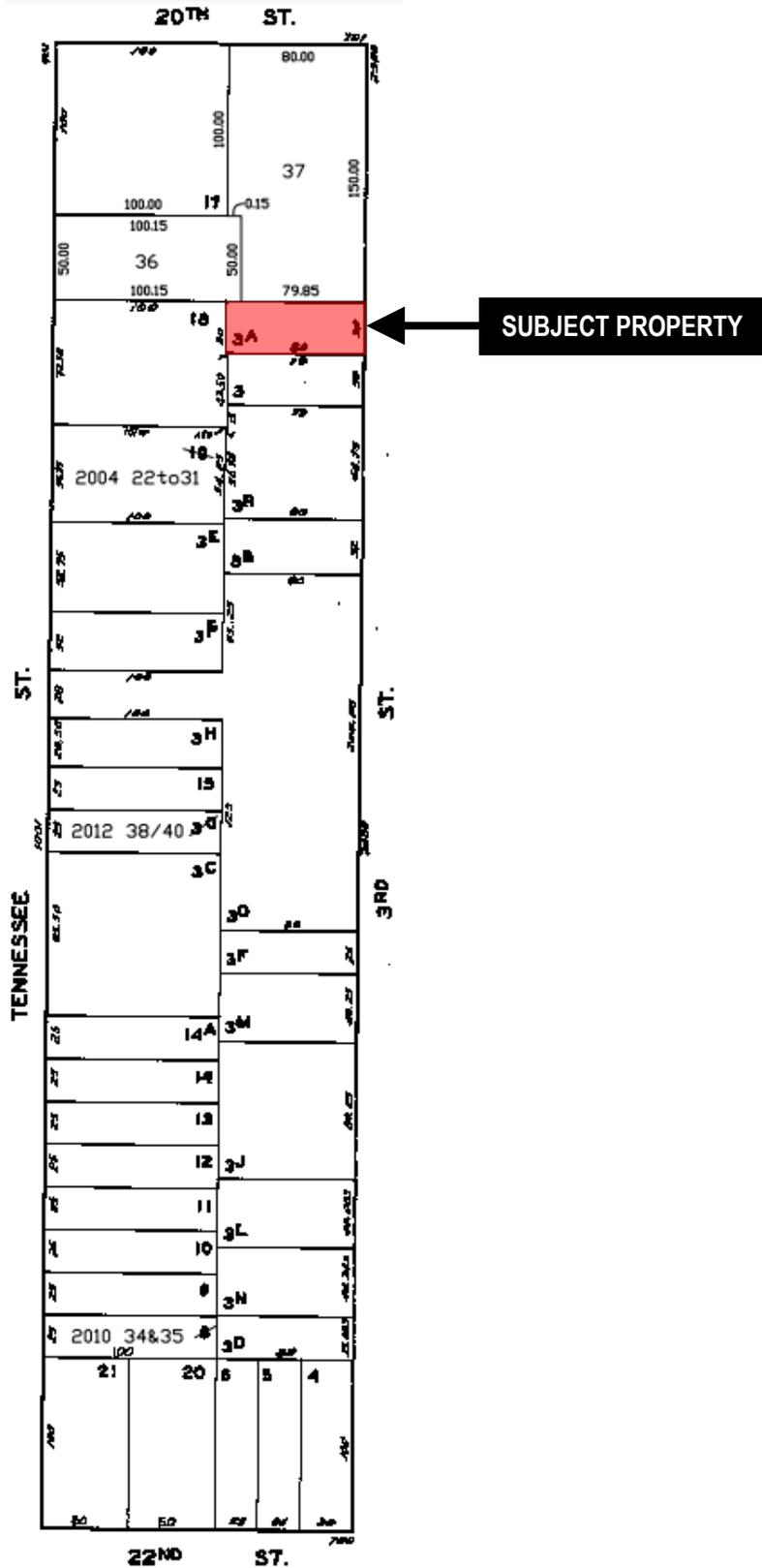
AYES:

NAYS:

ABSENT:

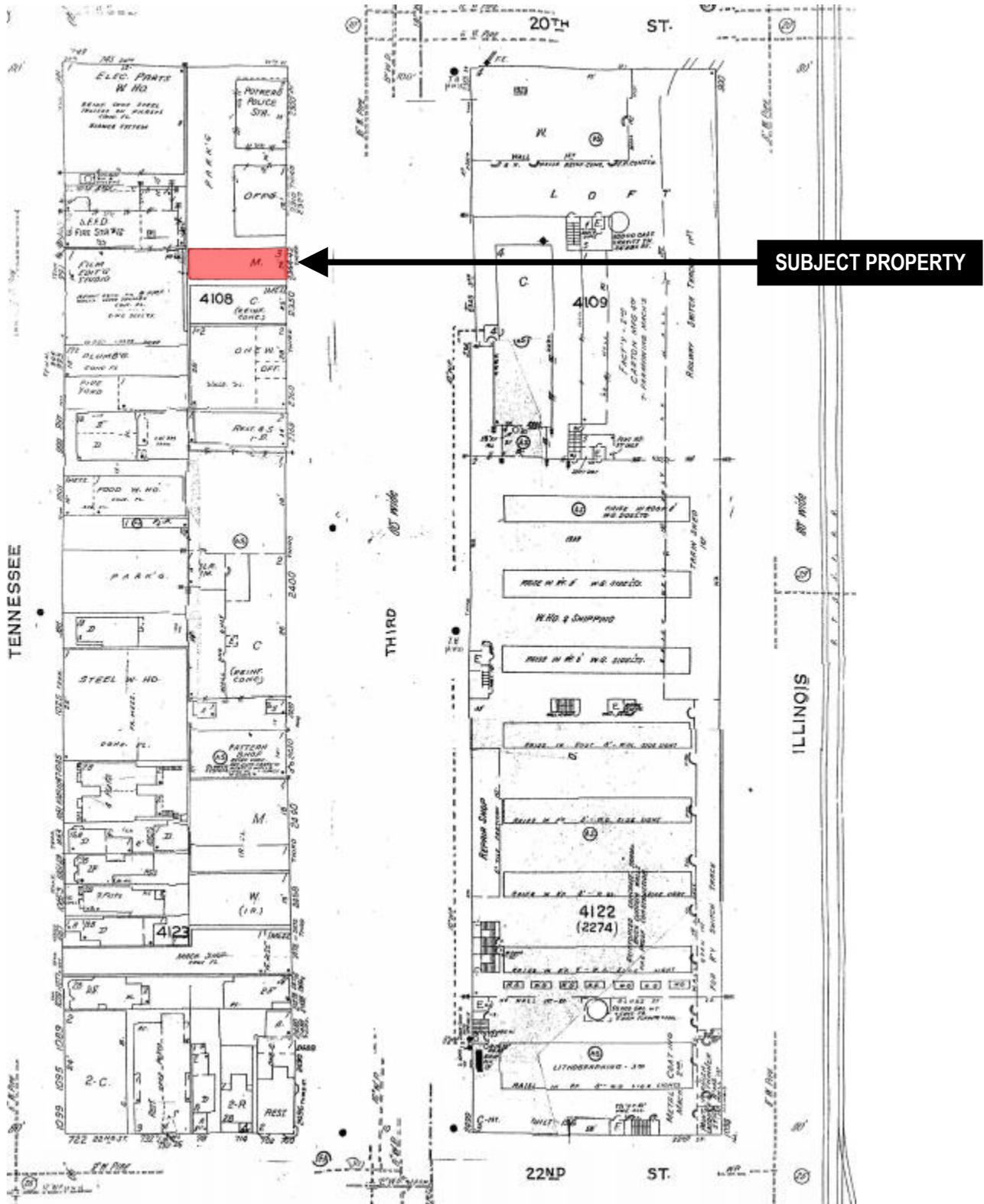
ADOPTED: June 6, 2018

# Parcel Map



Certificate of Appropriateness Hearing  
 Case Number 2015-007715COA-02  
 2342 3<sup>rd</sup> Street  
 Block 4108 Lot 003A

# Sanborn Map\*

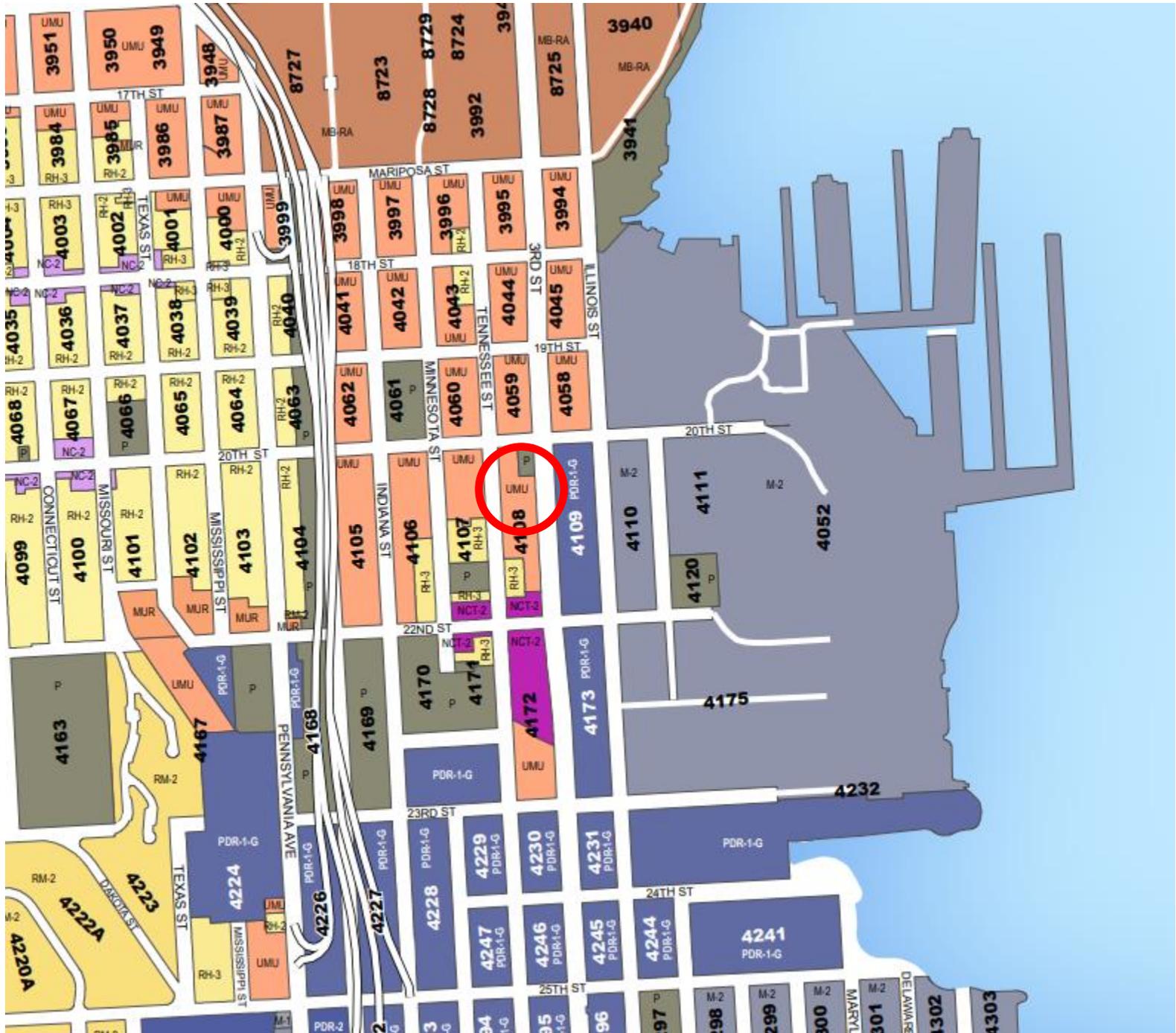


\*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Certificate of Appropriateness Hearing  
 Case Number 2015-007715COA-02  
 2342 3rd Street  
 Block 4108 Lot 003A

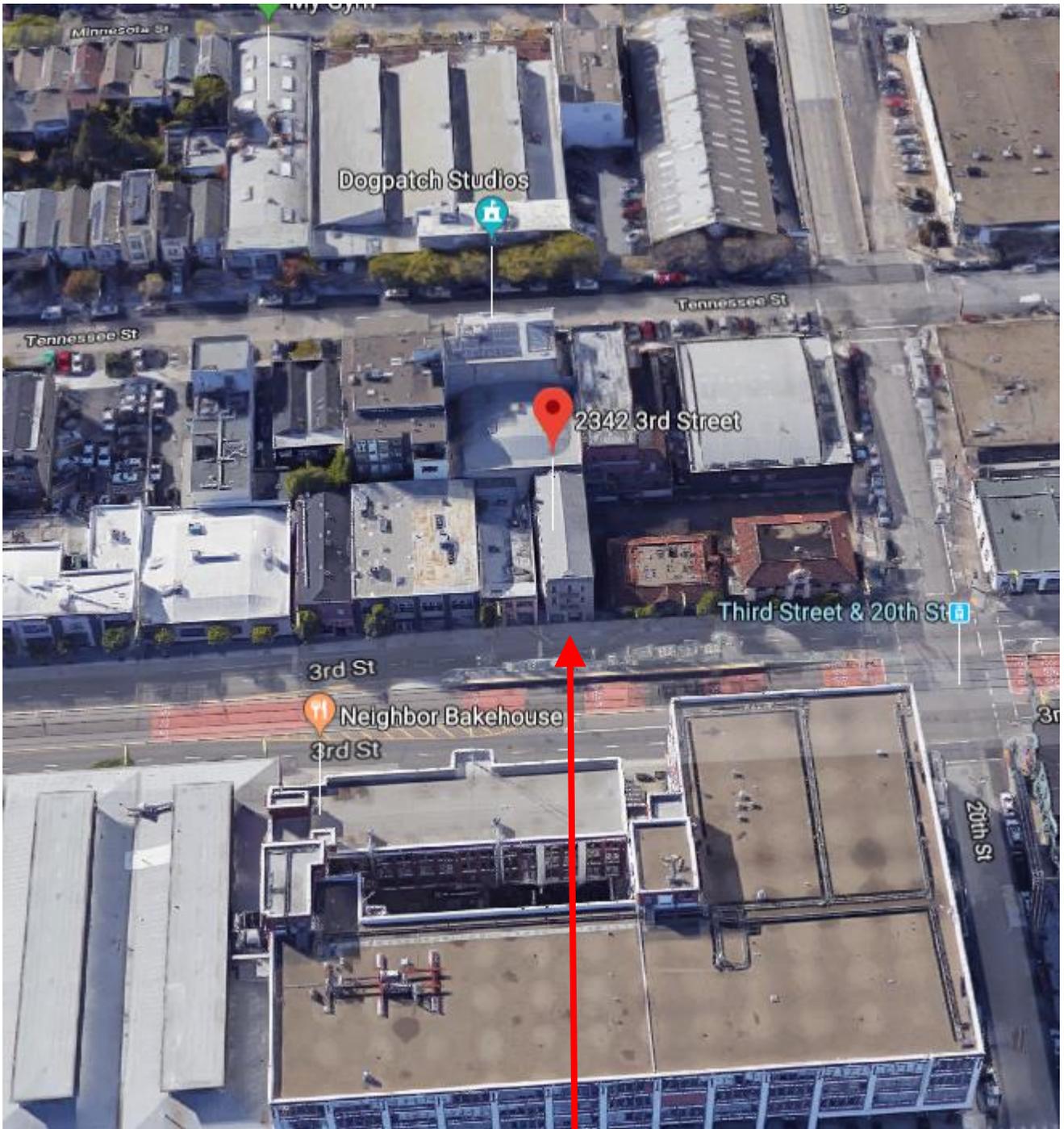
# Zoning Map



Certificate of Appropriateness Hearing  
Case Number 2015-007715COA-02  
2342 3<sup>rd</sup> Street  
Block 4108 Lot 003A



# Aerial Photo



**SUBJECT PROPERTY**



Certificate of Appropriateness Hearing  
Case Number 2015-007715COA-02  
2342 3<sup>rd</sup> Street  
Block 4108 Lot 003A

# Site Photo



**SUBJECT PROPERTY**

Certificate of Appropriateness Hearing  
Case Number 2015-007715COA-02  
2342 3<sup>rd</sup> Street  
Block 4108 Lot 003A



# SAN FRANCISCO PLANNING DEPARTMENT

## CEQA Categorical Exemption Determination

### PROPERTY INFORMATION/PROJECT DESCRIPTION

<b>Project Address</b>		<b>Block/Lot(s)</b>
2342 -2344 3rd St.		4108003A
<b>Case No.</b>		<b>Permit No.</b>
2015-007715PRJ		201503171039
<input checked="" type="checkbox"/> <b>Addition/ Alteration</b>	<input type="checkbox"/> <b>Demolition (requires HRE for Category B Building)</b>	<input type="checkbox"/> <b>New Construction</b>
<p><b>Project description for Planning Department approval.</b></p> <p>The proposed project entails rehabilitation of the existing three-story, residential building including restoration of the exterior, installation of a new storefront, removal of a non-historic rear addition, and an interior remodel. The subject property, constructed between 1905 and 1914, is a contributor to the Article 10 Dogpatch Landmark District.</p>		

### STEP 1: EXEMPTION CLASS

<b>*Note: If neither class applies, an <i>Environmental Evaluation Application</i> is required.*</b>	
<input checked="" type="checkbox"/>	<b>Class 1 - Existing Facilities.</b> Interior and exterior alterations; additions under 10,000 sq. ft.
<input type="checkbox"/>	<b>Class 3 - New Construction.</b> Up to three new single-family residences or six dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input type="checkbox"/>	<p><b>Class 32 - In-Fill Development.</b> New Construction of seven or more units or additions greater than 10,000 sq. ft. and meets the conditions described below:</p> <p>(a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.</p> <p>(b) The proposed development occurs within city limits on a project site of no more than 5 acres substantially surrounded by urban uses.</p> <p>(c) The project site has no value as habitat for endangered rare or threatened species.</p> <p>(d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.</p> <p>(e) The site can be adequately served by all required utilities and public services.</p> <p><b>FOR ENVIRONMENTAL PLANNING USE ONLY</b></p>
<input type="checkbox"/>	<b>Class _____</b>

**STEP 2: CEQA IMPACTS**  
**TO BE COMPLETED BY PROJECT PLANNER**

<p>If any box is checked below, an <i>Environmental Evaluation Application</i> is required.</p>	
<input type="checkbox"/>	<p><b>Air Quality:</b> Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g., backup diesel generators, heavy industry, diesel trucks, etc.)? (refer to EP_ArcMap &gt; CEQA Catex Determination Layers &gt; Air Pollution Exposure Zone)</p>
<input type="checkbox"/>	<p><b>Hazardous Materials:</b> If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential? If yes, this box must be checked and the project applicant must submit an Environmental Application with a Phase I Environmental Site Assessment. <i>Exceptions: do not check box if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Maher program, a DPH waiver from the Maher program, or other documentation from Environmental Planning staff that hazardous material effects would be less than significant (refer to EP_ArcMap &gt; Maher layer).</i></p>
<input type="checkbox"/>	<p><b>Transportation:</b> Does the project create six (6) or more net new parking spaces or residential units? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?</p>
<input type="checkbox"/>	<p><b>Archeological Resources:</b> Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non -archeological sensitive area? (refer to EP_ArcMap &gt; CEQA Catex Determination Layers &gt; Archeological Sensitive Area)</p>
<input type="checkbox"/>	<p><b>Subdivision/Lot Line Adjustment:</b> Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? (refer to EP_ArcMap &gt; CEQA Catex Determination Layers &gt; Topography)</p>
<input type="checkbox"/>	<p><b>Slope = or &gt; 20%:</b> Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap &gt; CEQA Catex Determination Layers &gt; Topography) <b>If box is checked, a geotechnical report is required.</b></p>
<input type="checkbox"/>	<p><b>Seismic: Landslide Zone:</b> Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap &gt; CEQA Catex Determination Layers &gt; Seismic Hazard Zones) <b>If box is checked, a geotechnical report is required.</b></p>
<input type="checkbox"/>	<p><b>Seismic: Liquefaction Zone:</b> Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap &gt; CEQA Catex Determination Layers &gt; Seismic Hazard Zones) <b>If box is checked, a geotechnical report will likely be required.</b></p>
<p><b>If no boxes are checked above, GO TO STEP 3. If one or more boxes are checked above, an <i>Environmental Evaluation Application</i> is required, unless reviewed by an Environmental Planner.</b></p>	
<p><b>Comments and Planner Signature (optional):</b> Natalia Kwiatkowska</p>	

**STEP 3: PROPERTY STATUS - HISTORIC RESOURCE  
TO BE COMPLETED BY PROJECT PLANNER**

<b>PROPERTY IS ONE OF THE FOLLOWING:</b> (refer to Parcel Information Map)	
<input checked="" type="checkbox"/>	<b>Category A:</b> Known Historical Resource. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	<b>Category B:</b> Potential Historical Resource (over 45 years of age). <b>GO TO STEP 4.</b>
<input type="checkbox"/>	<b>Category C:</b> Not a Historical Resource or Not Age Eligible (under 45 years of age). <b>GO TO STEP 6.</b>

**STEP 4: PROPOSED WORK CHECKLIST  
TO BE COMPLETED BY PROJECT PLANNER**

<b>Check all that apply to the project.</b>	
<input type="checkbox"/>	1. <b>Change of use and new construction.</b> Tenant improvements not included.
<input checked="" type="checkbox"/>	2. <b>Regular maintenance or repair</b> to correct or repair deterioration, decay, or damage to building.
<input checked="" type="checkbox"/>	3. <b>Window replacement</b> that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. <b>Garage work.</b> A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	5. <b>Deck, terrace construction, or fences</b> not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. <b>Mechanical equipment installation</b> that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. <b>Dormer installation</b> that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input checked="" type="checkbox"/>	8. <b>Addition(s)</b> that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
<b>Note: Project Planner must check box below before proceeding.</b>	
<input type="checkbox"/>	Project is not listed. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	Project <b>does not conform</b> to the scopes of work. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	Project involves <b>four or more</b> work descriptions. <b>GO TO STEP 5.</b>
<input checked="" type="checkbox"/>	Project involves <b>less than four</b> work descriptions. <b>GO TO STEP 6.</b>

**STEP 5: CEQA IMPACTS - ADVANCED HISTORICAL REVIEW  
TO BE COMPLETED BY PROJECT PLANNER**

<b>Check all that apply to the project.</b>	
<input type="checkbox"/>	1. Project involves a <b>known historical resource (CEQA Category A)</b> as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	2. <b>Interior alterations to publicly accessible spaces.</b>
<input type="checkbox"/>	3. <b>Window replacement</b> of original/historic windows that are not "in-kind" but are consistent with existing historic character.
<input checked="" type="checkbox"/>	4. <b>Façade/storefront alterations</b> that do not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	5. <b>Raising the building</b> in a manner that does not remove, alter, or obscure character-defining features.
<input checked="" type="checkbox"/>	6. <b>Restoration</b> based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.

<input type="checkbox"/>	7. <b>Addition(s)</b> , including mechanical equipment that are minimally visible from a public right-of-way and meet the <i>Secretary of the Interior's Standards for Rehabilitation</i> .
<input type="checkbox"/>	8. <b>Other work consistent</b> with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (specify or add comments):
<input type="checkbox"/>	9. <b>Other work</b> that would not materially impair a historic district (specify or add comments):  (Requires approval by Senior Preservation Planner/Preservation Coordinator)
<input type="checkbox"/>	10. <b>Reclassification of property status.</b> (Requires approval by Senior Preservation Planner/Preservation <input type="checkbox"/> Reclassify to Category A <input type="checkbox"/> Reclassify to Category C a. Per HRER dated                                              (attach HRER) b. Other (specify):
<b>Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST check one box below.</b>	
<input type="checkbox"/>	<b>Further environmental review required.</b> Based on the information provided, the project requires an <i>Environmental Evaluation Application</i> to be submitted. <b>GO TO STEP 6.</b>
<input checked="" type="checkbox"/>	<b>Project can proceed with categorical exemption review.</b> The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. <b>GO TO STEP 6.</b>
<b>Comments (optional):</b>	
<b>Preservation Planner Signature:</b> Natalia Kwiatkowska	

**STEP 6: CATEGORICAL EXEMPTION DETERMINATION  
TO BE COMPLETED BY PROJECT PLANNER**

<input type="checkbox"/>	<b>Further environmental review required.</b> Proposed project does not meet scopes of work in either (check all that apply): <input type="checkbox"/> Step 2 - CEQA Impacts <input type="checkbox"/> Step 5 - Advanced Historical Review <b>STOP! Must file an <i>Environmental Evaluation Application</i>.</b>	
<input checked="" type="checkbox"/>	<b>No further environmental review is required. The project is categorically exempt under CEQA. There are no unusual circumstances that would result in a reasonable possibility of a significant effect.</b>	
	<b>Project Approval Action:</b> Building Permit	<b>Signature:</b> Natalia Kwiatkowska
	If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.	05/18/2018
	Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code. In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the first approval action. Please note that other approval actions may be required for the project. Please contact the assigned planner for these approvals.	

## STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT

### TO BE COMPLETED BY PROJECT PLANNER

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be subject to additional environmental review pursuant to CEQA.

### PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address (If different than front page)		Block/Lot(s) (If different than front page)
2342 -2344 3rd St.		4108/003A
Case No.	Previous Building Permit No.	New Building Permit No.
2015-007715PRJ	201503171039	
Plans Dated	Previous Approval Action	New Approval Action
	Building Permit	
Modified Project Description:		

### DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project:	
<input type="checkbox"/>	Result in expansion of the building envelope, as defined in the Planning Code;
<input type="checkbox"/>	Result in the change of use that would require public notice under Planning Code Sections 311 or 312;
<input type="checkbox"/>	Result in demolition as defined under Planning Code Section 317 or 19005(f)?
<input type="checkbox"/>	Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption?
<b>If at least one of the above boxes is checked, further environmental review is required.</b>	

### DETERMINATION OF NO SUBSTANTIAL MODIFICATION

<input type="checkbox"/>	The proposed modification would not result in any of the above changes.
If this box is checked, the proposed modifications are categorically exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice.	
Planner Name:	Signature or Stamp:





Subject Building (Viewed from 3rd Street)  
East Elevation



Subject Building (Viewed from 3rd Street)  
North Wall



Subject Building  
South Wall

PROJECT NAME  
**2342-2344 3rd Street**  
SAN FRANCISCO, CA



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Photos



Subject Building  
South Elevation



Subject Building  
North Elevation

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REVISED DATE 05/01/2018

JOB NO. 15-1684

SHEET NO.

A-0.2

PROJECT NAME  
**2342-2344 3<sup>rd</sup> Street**  
 SAN FRANCISCO, CA



Subject Building (Historical Photo)



Subject Building (Historical Photo)



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**Historic Photos**

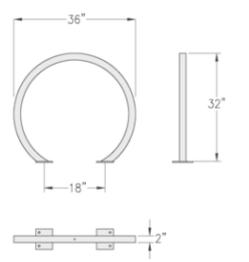
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**SHEET NO.**

**A-0.3**



**CLASS II BICYCLE RACK DETAIL**  
N.T.S.

PROJECT NAME  
**2342-2344 3<sup>rd</sup> Street**  
SAN FRANCISCO, CA



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**Site Plans**

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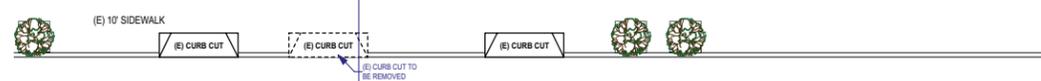
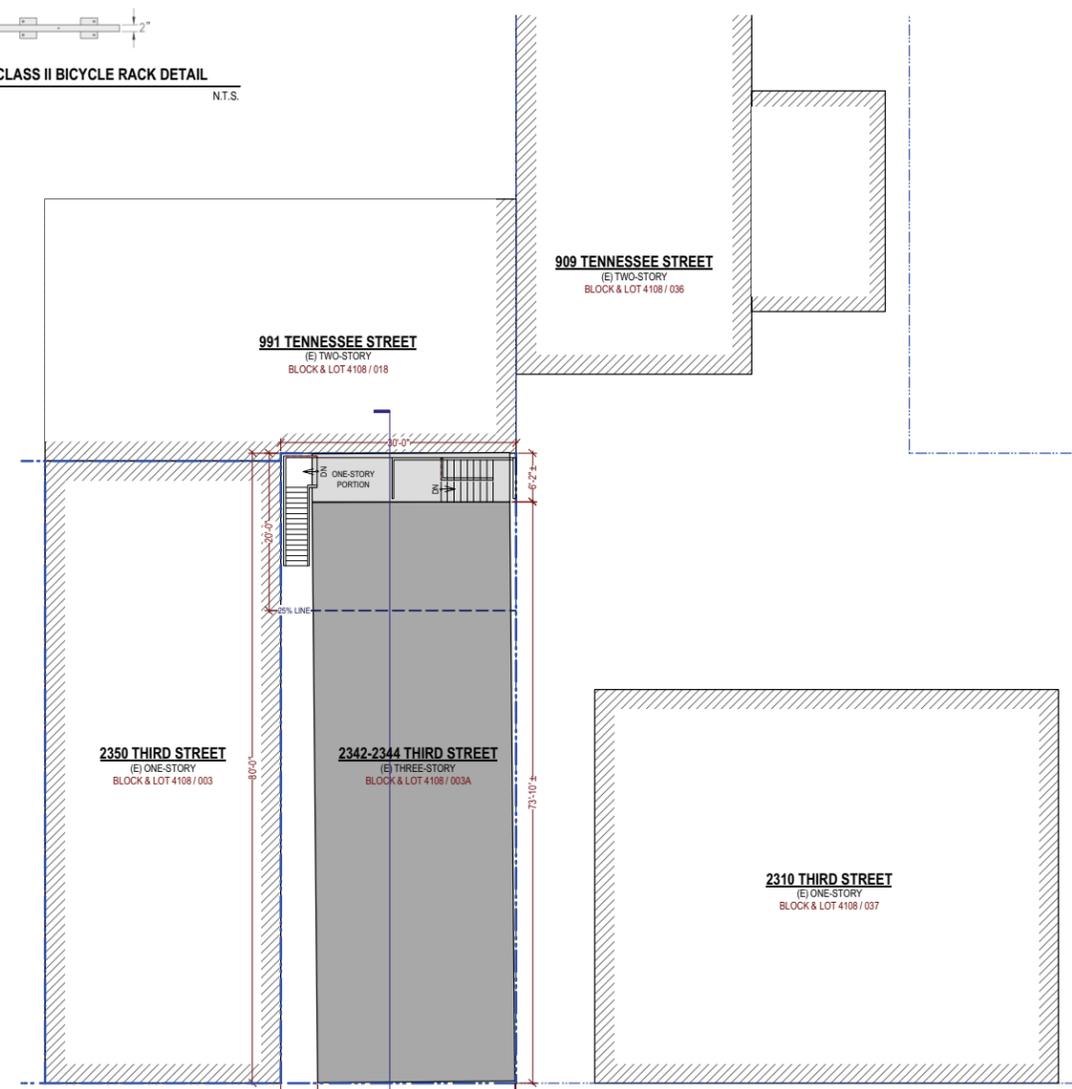
**DATE** 11/15/2015

**REVISED DATE** 05/01/2018

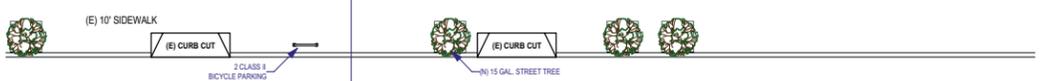
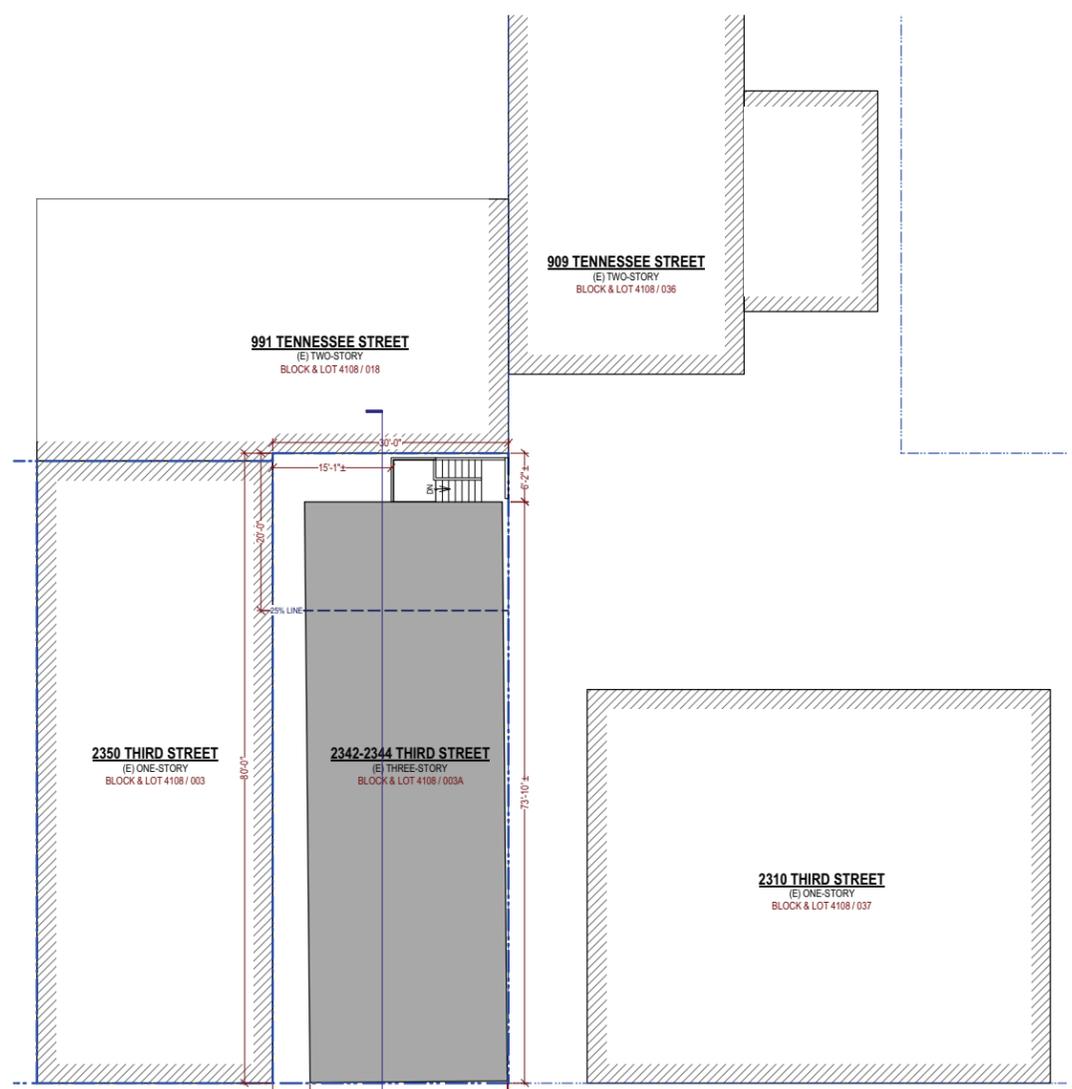
**JOB NO.** 15-1684

**SHEET NO.**

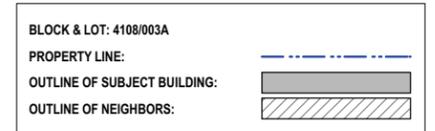
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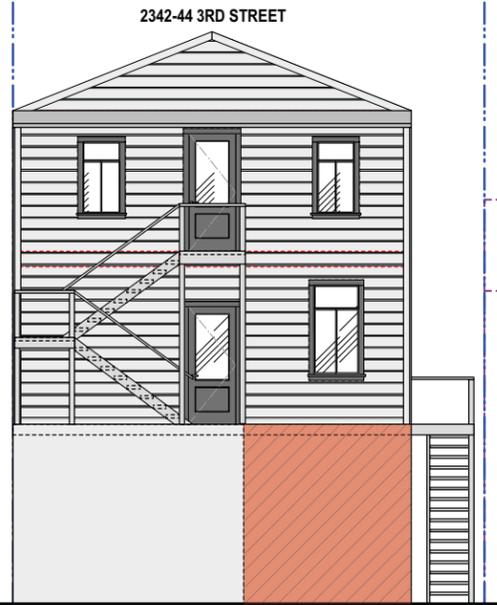


**Existing Site Plan**  
3/32" = 1'-0"



**Proposed Site Plan**  
3/32" = 1'-0"





**EXISTING**  
Rear (West) Facade  
3/16" = 1'-0"  
0 1' 3' 5' 10'



**PROPOSED**



**EXISTING**  
Front (East) Facade  
3/16" = 1'-0"  
0 1' 3' 5' 10'



**PROPOSED**

PROJECT NAME  
**2342-2344 3rd Street**  
SAN FRANCISCO, CA

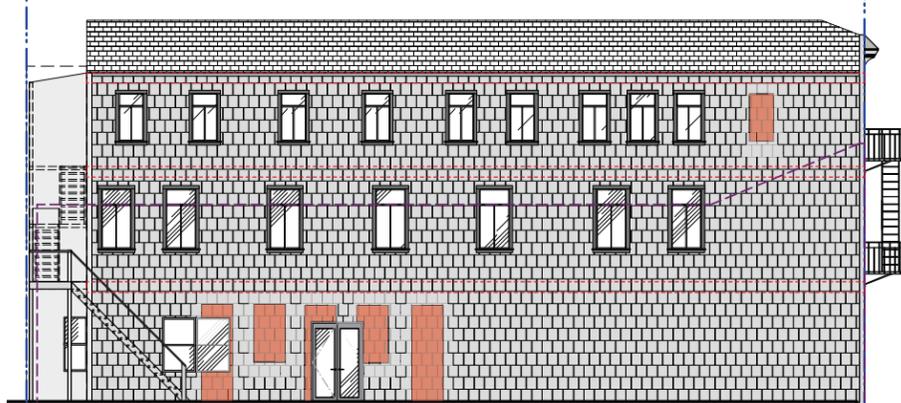


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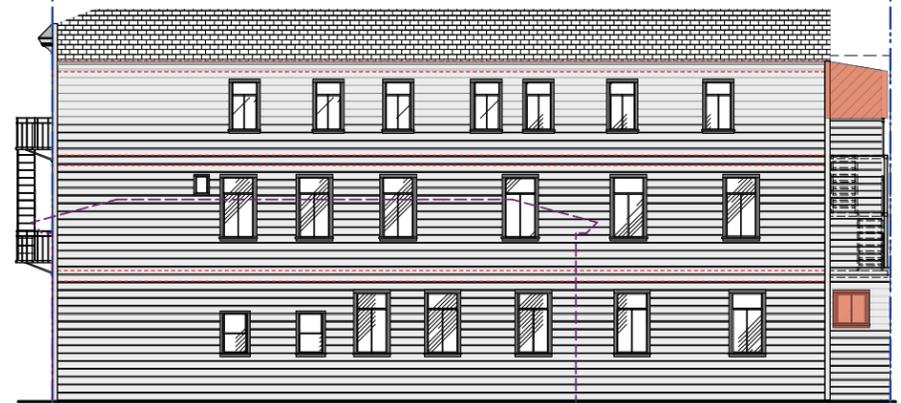
SHEET TITLE

**Demo Calculations**

DEMOLITION CALCULATIONS TABL				
Removal of Elements	Sec. 1005 Limits	Proposed Project	Proposed Project Total	Meets Planning Code
Vertical Envelope Elements (s.f. of surface area) [by elevation: front, sides, back exterior walls]	50% or more (function as external walls) OR	10 %	10 %	YES
External walls (used for external or internal wall functions)	25% or more OR	8.9 %	8.9 %	YES
Horizontal Elements <sup>5</sup> [roof area, floor plates except at/below grade]	75% or more (combined internal structural frame work or floor plates)	0.04 %	57.6 %	YES
Internal Structural Framework (interior partitions, etc.)		57.6 %		



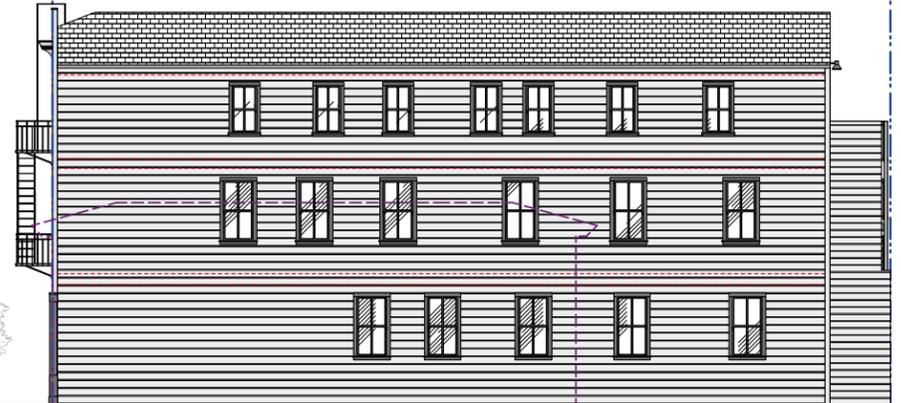
**Existing Left (South) Facade**  
1/8" = 1'-0"  
0 1' 3' 5' 10'



**Existing Right (North) Facade**  
1/8" = 1'-0"  
0 1' 3' 5' 10'



**Proposed Left (South) Facade**  
1/8" = 1'-0"  
0 1' 3' 5' 10'



**Proposed Right (North) Facade**  
1/8" = 1'-0"  
0 1' 3' 5' 10'

**NOTE:**  
If removal & replacement of additional building elements considered beyond repair is required during construction, contact the Planning Department immediately for review & approval. This includes floor framing, sidewalls & other structural members not visible from the public right-of-way. Removal of elements beyond percentages submitted above is considered a violation.  
If removal is beyond percentages outlined in Planning Code Sec. 1005, further environmental review by the Planning Department is required.

: EXISTING SURFACE AREA TO BE REMOVED

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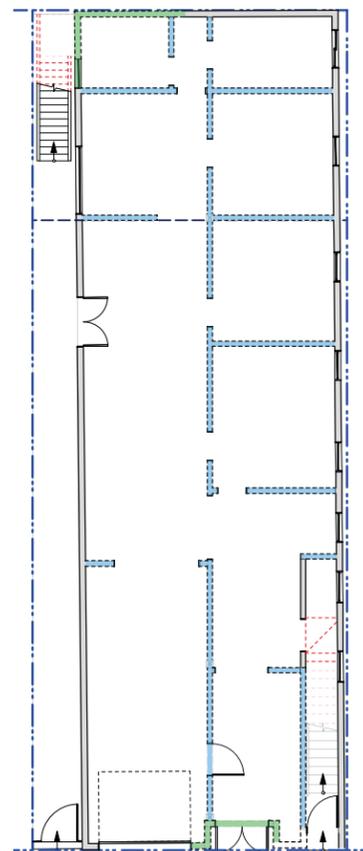
**SHEET NO.**

**A-1.2**

DEMOLITION CALCULATIONS TABL				
Removal of Elements	Sec. 1005 Limits	Proposed Project	Proposed Project Total	Meets Planning Code
Vertical Envelope Elements (s.f. of surface area) [by elevation: front, sides, back exterior walls]	50% or more (function as external walls) OR	12 %	12 %	YES
External walls (used for external or internal wall functions)	25% or more OR	9.1 %	9.1 %	YES
Horizontal Elements <sup>5</sup> [roof area, floor plates except at/below grade]	75% or more (combined internal structural frame work or floor plates)	0.04 %	57.6 %	YES
Internal Structural Framework [interior partitions, etc.]		57.6 %		

**NOTE:**  
If removal & replacement of additional building elements considered beyond repair is required during construction, contact the Planning Department immediately for review & approval. This includes floor framing, sidewalls & other structural members not visible from the public right-of-way. Removal of elements beyond percentages submitted above is considered a violation. If removal is beyond percentages outlined in Planning Code Sec. 1005, further environmental review by the Planning Department is required.

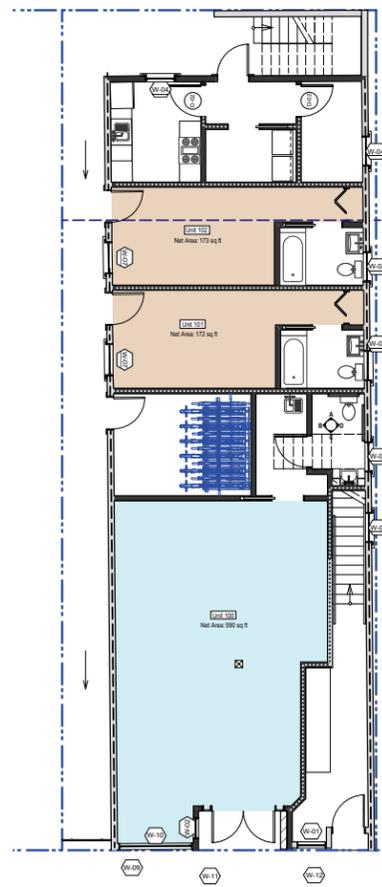
- : EXISTING SURFACE AREA TO BE REMOVED
- : EXISTING FLOOR AREA TO BE REPAIRED
- : EXISTING EXTERIOR WALL TO BE REMOVED
- : EXISTING INTERIOR WALL TO BE REMOVED



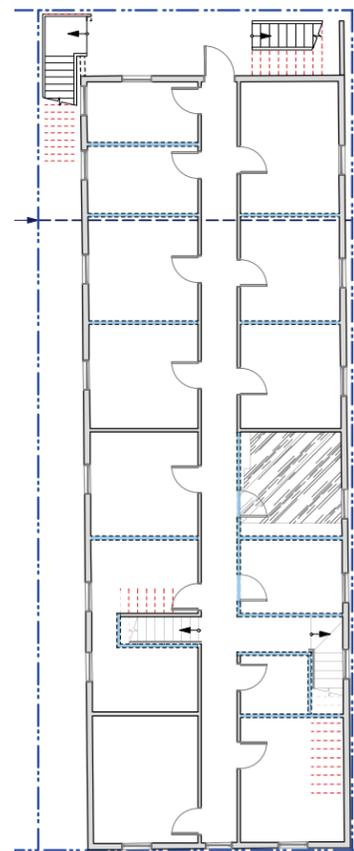
**EXISTING**

1st Floor Plan

1/8" = 1'-0"



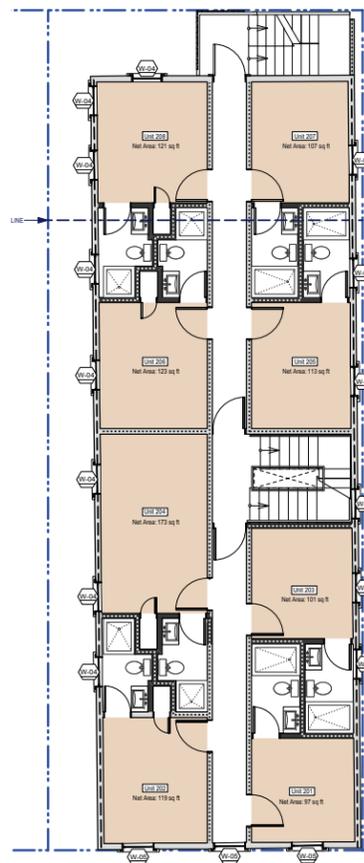
**PROPOSED**



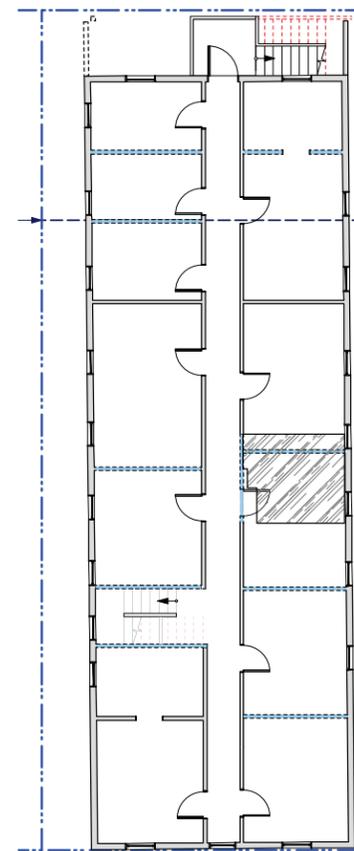
**EXISTING**

2nd Floor Plan

1/8" = 1'-0"



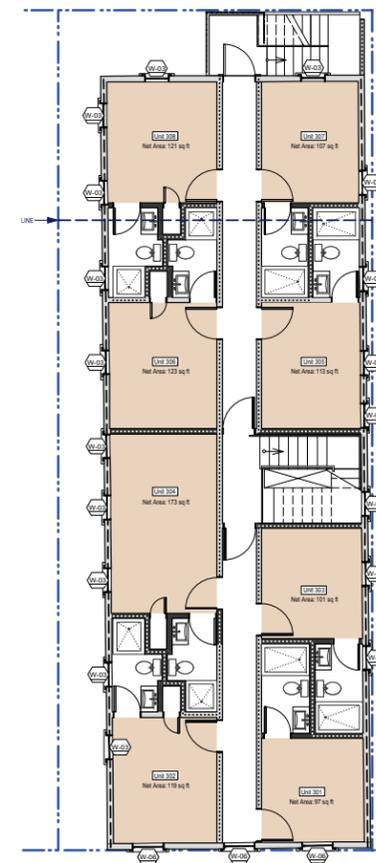
**PROPOSED**



**EXISTING**

3rd Floor Plan

1/8" = 1'-0"



**PROPOSED**

PROJECT NAME  
**2342-2344 3rd Street**  
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**Demo Calculations**

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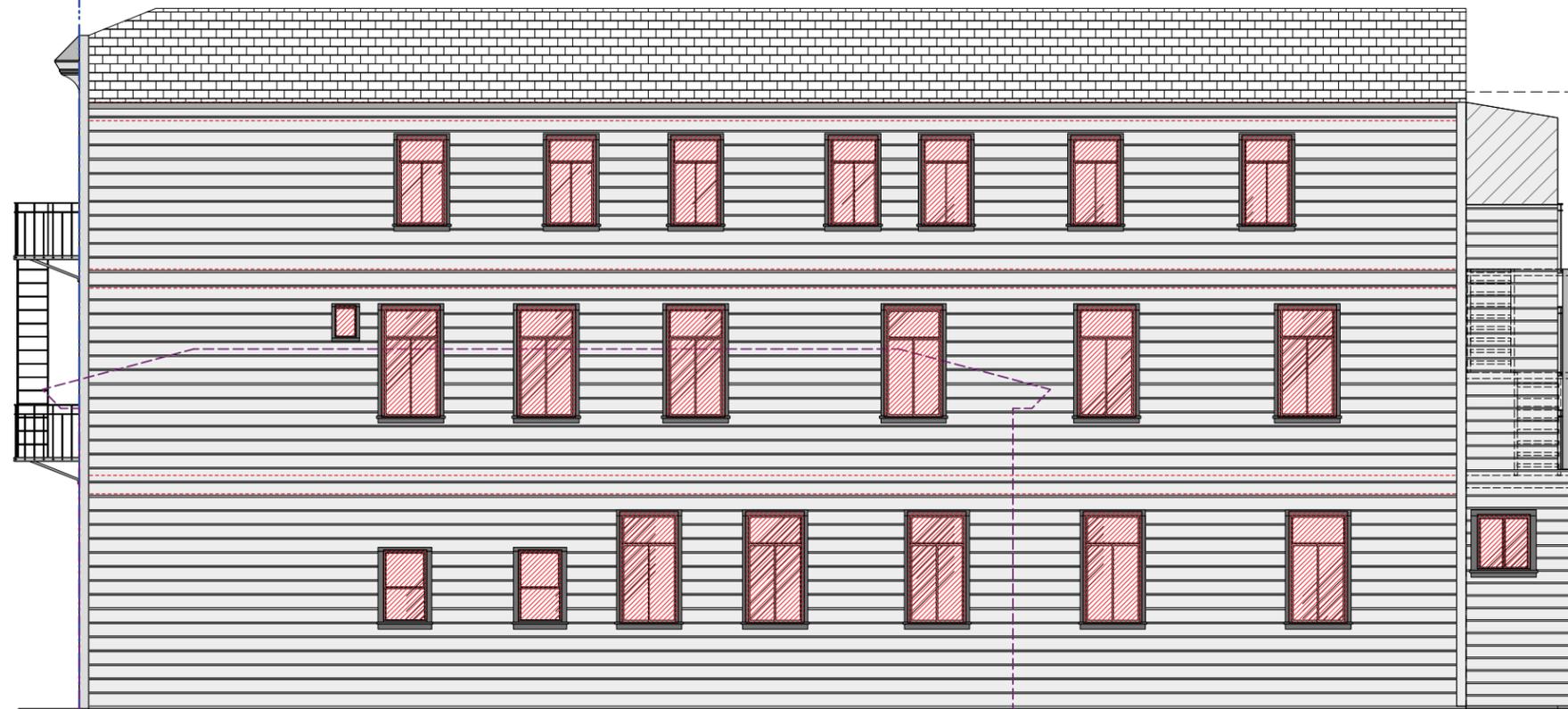
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**JOB NO.** 15-1684

**SHEET NO.**

**A-1.3**



Existing Right Elevation (North)  
1/4" = 1'-0"  
0 1' 3' 5' 10'

Total Rough Opening: 324 ±S.F.



Existing Front Facade (East)  
1/4" = 1'-0"  
0 1' 3' 5' 10'

Total Rough Opening: 279 ±S.F.



Proposed Right Elevation (North)  
1/4" = 1'-0"  
0 1' 3' 5' 10'

Total Rough Opening: 297 ±S.F.



Proposed Front Facade (East)  
1/4" = 1'-0"  
0 1' 3' 5' 10'

Total Rough Opening: 307 ±S.F.

PROJECT NAME  
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**Rough Opening Calculations**

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SHEET NO.	A-1.4

A-1.4





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First Floor Plans

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ISSUES / REVISIONS

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DATE 11/15/2015

REVISED DATE 05/01/2018

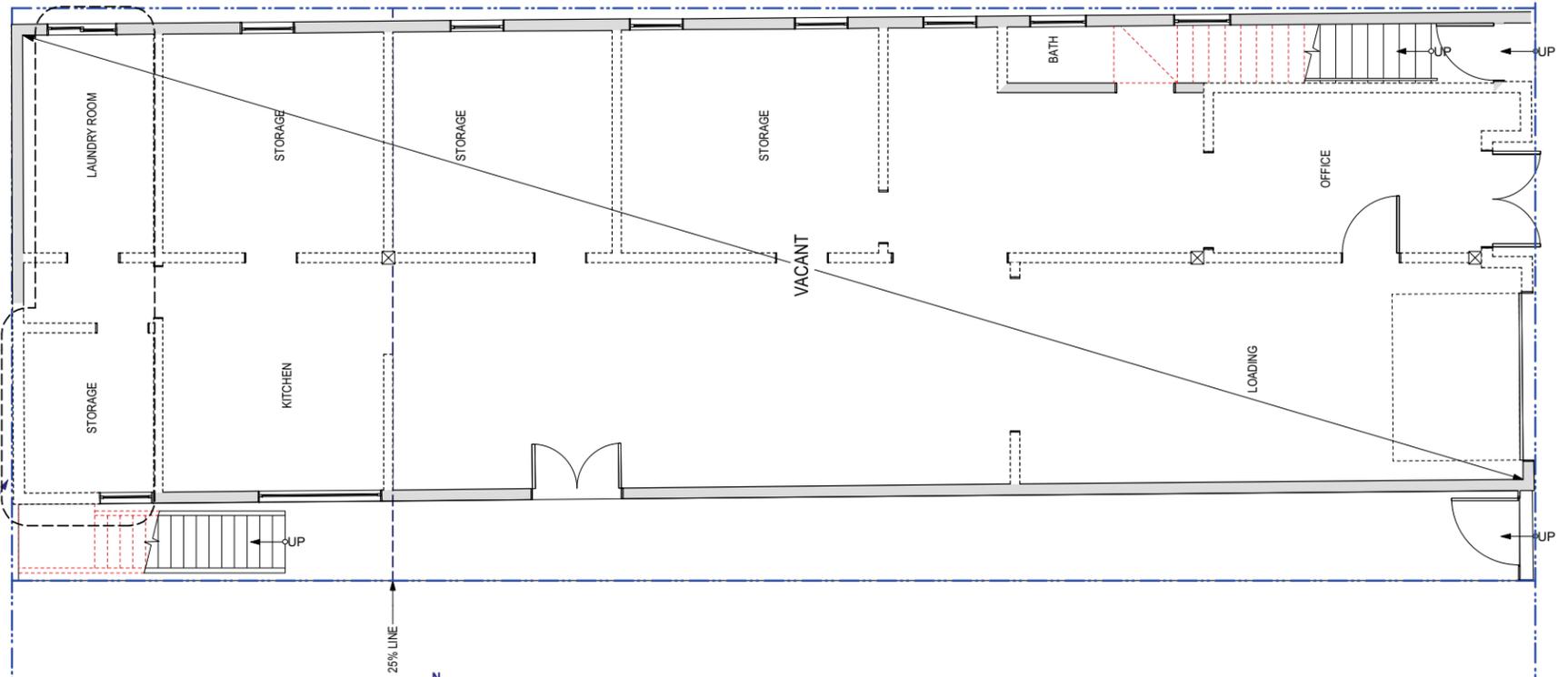
JOB NO. 15-1684

SHEET NO. **A-2.1**

	PROPERTY LINE
	(E) WALL TO BE REMOVED
	(E) WALL TO REMAIN
	(E) WALL TO BE RETROFITTED TO 1-HR. FIRE RATED
	(E) WALL TO BE RETROFITTED TO 2-HR. FIRE RATED
	(N) WALL TO BE CONSTRUCTED
	(N) WALL TO BE 1-HR. FIRE RATED

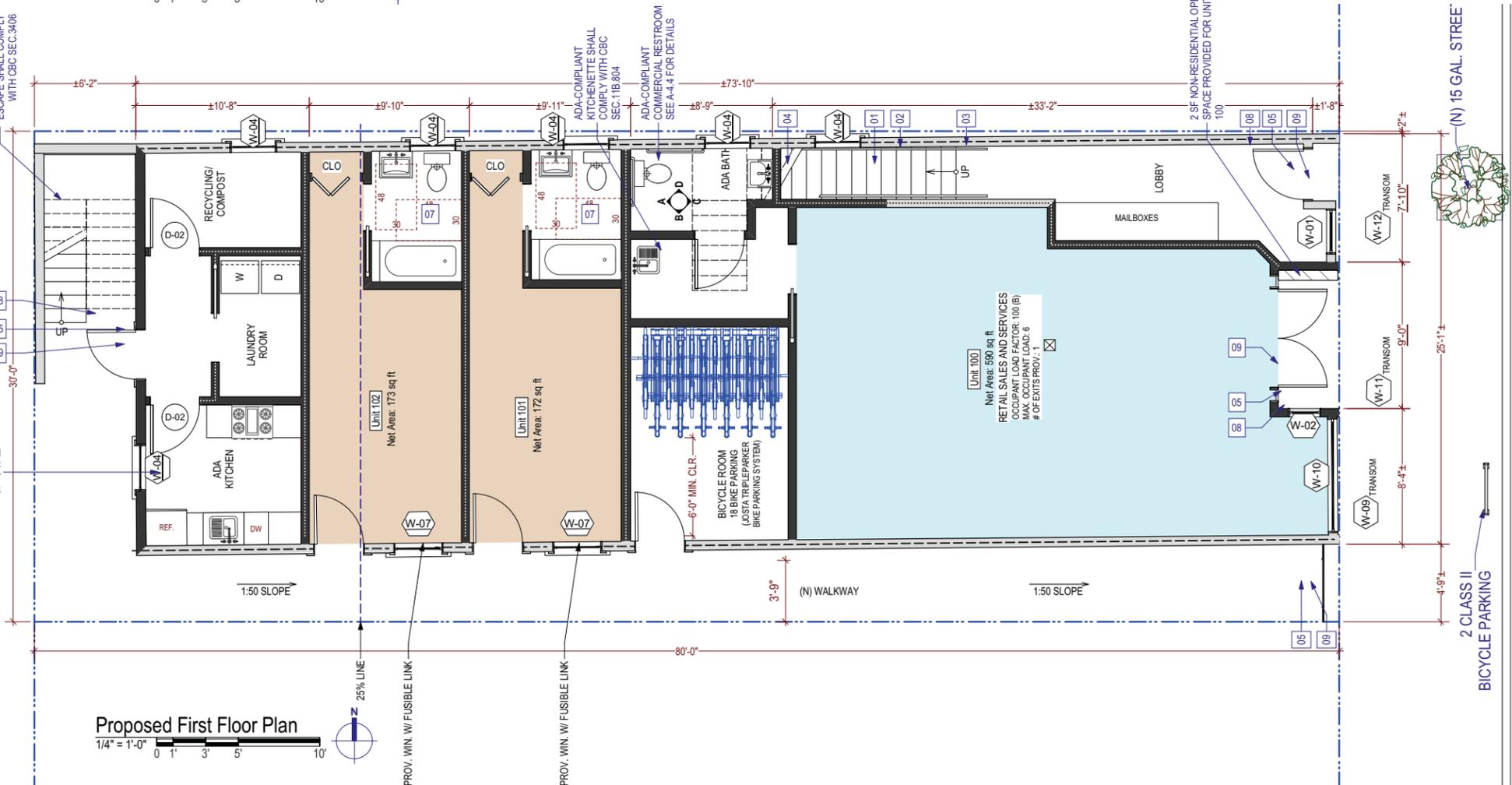
PLAN KEY NOTES:

- 01 11" MIN. RUN, 7" MAX. RISE FOR COMMON STAIRS
- 02 PROV. CONT. STAIR HANDRAIL BOTH SIDES @ 34"-36" ABV. STAIR NOSINGS, TYP.
- 03 PROV. STAIR IDENTIFICATION PER CBC. 1022.8
- 04 1-HR FIRE RATED FLR.-CEILING SEPARATION UNDER STAIR, TYP.
- 05 PROV. ILLUMINATED EXIT SIGN W/ BACKUP BATTERY POWER
- 06 PROV. OPEN METAL GUARDRAIL W/ OPENINGS LESS THAN 4", OR SAFETY GLASS GUARDRAIL, 42" HIGH, TYP.
- 07 ADA BATHROOMS IN UNITS SHALL COMPLY WITH SEC. 1134A. SEE SHEET A-4.3 FOR DETAILS
- 08 PROV. PANIC HARDWARE FOR DOOR PER CBC 1008.1.10
- 09 PROV. MIN. 5'X5' CLR LEVEL LANDING, MAX 2% SLOPE ON BOTH SIDES OF THE ENTRY, TYP.



Existing First Floor Plan  
 1/4" = 1'-0"

Window Schedule				
Mark	Width	Height	Sash Material	Operation
W-01	2'9"	5'6"	Wood	Fixed Glass
W-02	2'0"	5'2"	Wood	Fixed Glass
W-03	2'4"	4'6"	Wood	Single Hung
W-04	2'10"	5'8"	Wood	Single Hung
W-05	3'0"	6'6"	Wood	Single Hung
W-06	3'0"	5'6"	Wood	Single Hung
W-07	3'0"	6'0"	Wood	Single Hung
W-09	7'0"	2'6"	Wood	Fixed Glass
W-10	7'0"	5'6"	Wood	Fixed Glass
W-11	8'0"	2'6"	Wood	Fixed Glass
W-12	6'9"	2'6"	Wood	Fixed Glass



Proposed First Floor Plan  
 1/4" = 1'-0"

**NOTE:**  
 - PROPOSED WINDOWS ARE TRUE-DIVIDED LITE (TDL)  
 - ALL WINDOWS TO BE WOOD CLAD WITH 2" MIN OFFSET FROM EXTERIOR FACE OF WALL.  
 - MARVIN WINDOW MANUFACTURER OR COMPARABLE.

(E) NON-PERMITTED REAR PLYWOOD ADDITION TO BE REMOVED

(N) STEEL REAR FIRE ESCAPE SHALL COMPLY WITH CBC SEC.3406

ADA-COMPLIANT KITCHEN SHALL COMPLY WITH CBC SEC.1133A. SEE SHEET A-4.4 FOR DETAILS

ADA-COMPLIANT KITCHENETTE SHALL COMPLY WITH CBC SEC.1B.804

ADA-COMPLIANT COMMERCIAL RESTROOM SEE A-4.4 FOR DETAILS

Unit 100  
 Net Area: 690 sq ft  
 RETAIL SALES AND SERVICES  
 OCCUPANT LOAD FACTOR: 100 (B)  
 MAX. OCCUPANT LOAD: 6  
 # OF EXITS: PROV. 1

BICYCLE ROOM  
 18 BIKE PARKING  
 (LOSTA TRIPLE PARKER BIKE PARKING SYSTEM)

(N) 15 GAL. STREET BICYCLE PARKING

2 CLASS II BICYCLE PARKING

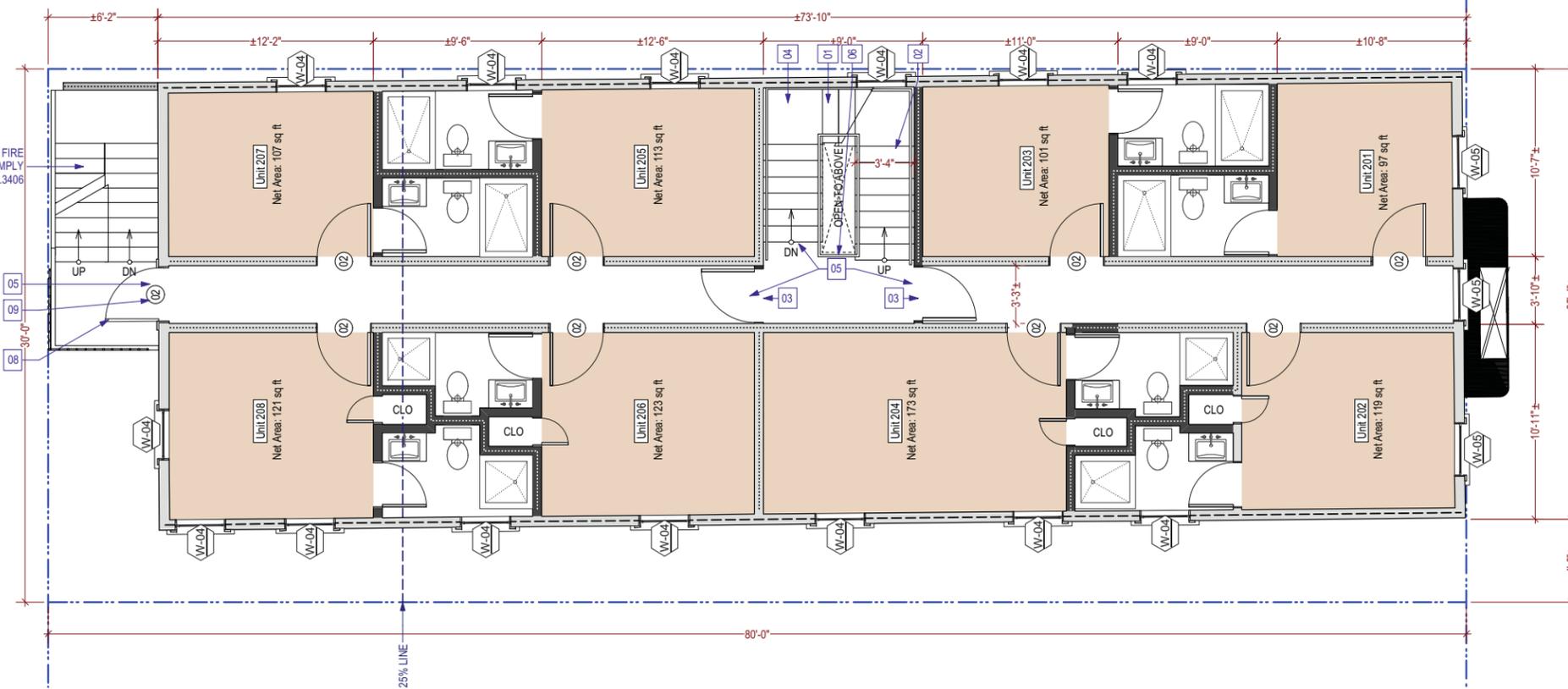
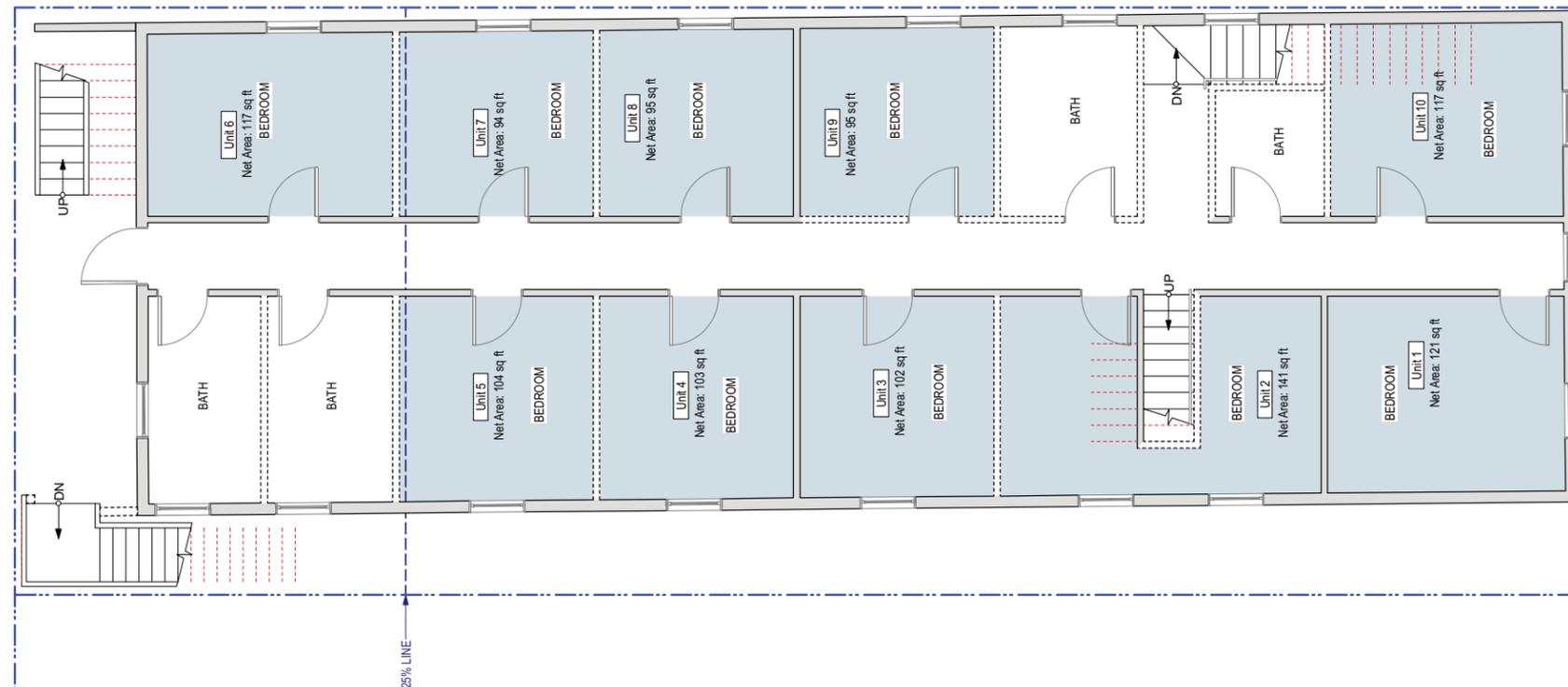
	PROPERTY LINE
	(E) WALL TO BE REMOVED
	(E) WALL TO REMAIN
	(E) WALL TO BE RETROFITTED TO 1-HR. FIRE RATED
	(E) WALL TO BE RETROFITTED TO 2-HR. FIRE RATED
	(N) WALL TO BE CONSTRUCTED
	(N) WALL TO BE 1-HR. FIRE RATED

**PLAN KEY NOTES:**

- 01 11" MIN. RUN, 7" MAX. RISE FOR COMMON STAIRS
- 02 PROV. CONT. STAIR HANDRAIL BOTH SIDES @ 34"-36" ABV. STAIR NOSINGS, TYP.
- 03 PROV. STAIR IDENTIFICATION PER CBC. 1022.8
- 04 1-HR FIRE RATED FLR.-CEILING SEPARATION UNDER STAIR, TYP.
- 05 PROV. ILLUMINATED EXIT SIGN W/ BACKUP BATTERY POWER
- 06 PROV. OPEN METAL GUARDRAIL W/ OPENINGS LESS THAN 4", OR SAFETY GLASS GUARDRAIL, 42" HIGH, TYP.

Window Schedule					
Mark	Width	Height	Sash Material	Operation	
W-01	2'9"	5'6"	Wood	Fixed Glass	
W-02	2'0"	5'2"	Wood	Fixed Glass	
W-03	2'4"	4'6"	Wood	Single Hung	
W-04	2'10"	5'8"	Wood	Single Hung	
W-05	3'0"	6'6"	Wood	Single Hung	
W-06	3'0"	5'6"	Wood	Single Hung	
W-07	3'0"	6'0"	Wood	Single Hung	
W-09	7'0"	2'6"	Wood	Fixed Glass	
W-10	7'0"	5'6"	Wood	Fixed Glass	
W-11	8'0"	2'6"	Wood	Fixed Glass	
W-12	6'9"	2'6"	Wood	Fixed Glass	

**NOTE:**  
 - PROPOSED WINDOWS ARE TRUE-DIVIDED LITE (TDL)  
 - ALL WINDOWS TO BE WOOD CLAD WITH 2" MIN OFFSET FROM EXTERIOR FACE OF WALL.  
 - MARVIN WINDOW MANUFACTURER OR COMPARABLE.



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 SAN FRANCISCO, CA



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SHEET TITLE

**Second Floor Plans**

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**DATE** 11/15/2015

**REVISED DATE** 05/01/2018

**JOB NO.** 15-1684

**SHEET NO.**

**A-2.2**





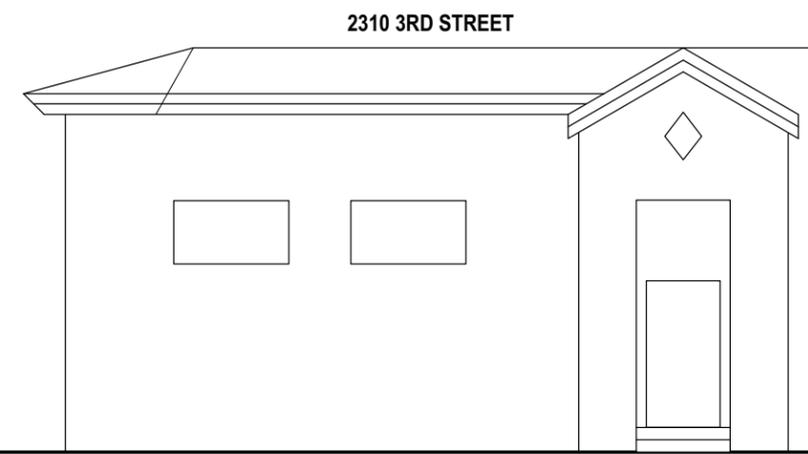
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**Exploratory  
 Surface Removal  
 Diagram**



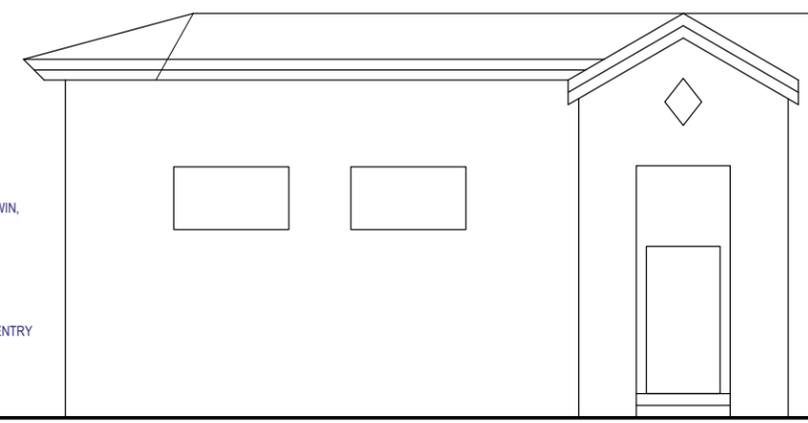
**Existing Front Elevation (East)**  
 1/4" = 1'-0"  
 0 1' 3' 5' 10'



**Proposed Front Elevation (East)**  
 1/4" = 1'-0"  
 0 1' 3' 5' 10'



**Subject Building (Historical Photo)**



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<b>REVISED DATE</b>	05/01/2018
<b>JOB NO.</b>	15-1684
<b>SHEET NO.</b>	A-3.1

PROPERTY LINE

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**Right Elevations  
 (North)**

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**REVISED DATE** 05/01/2018

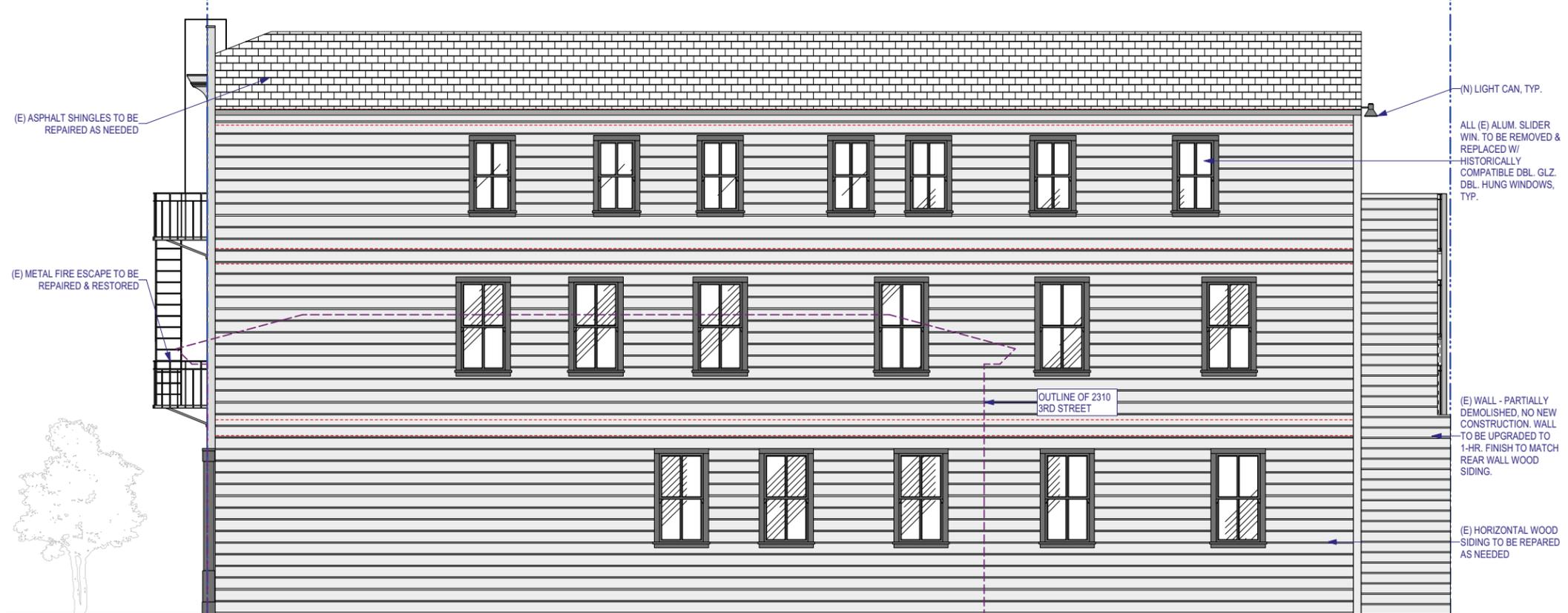
**JOB NO.** 15-1684

**SHEET NO.**

**A-3.2**



**Existing Right Elevation (North)**  
 1/4" = 1'-0"



**Proposed Right Elevation (North)**  
 1/4" = 1'-0"

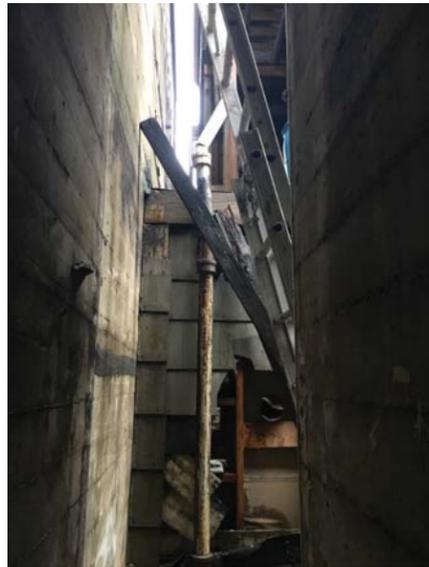


PROPERTY LINE

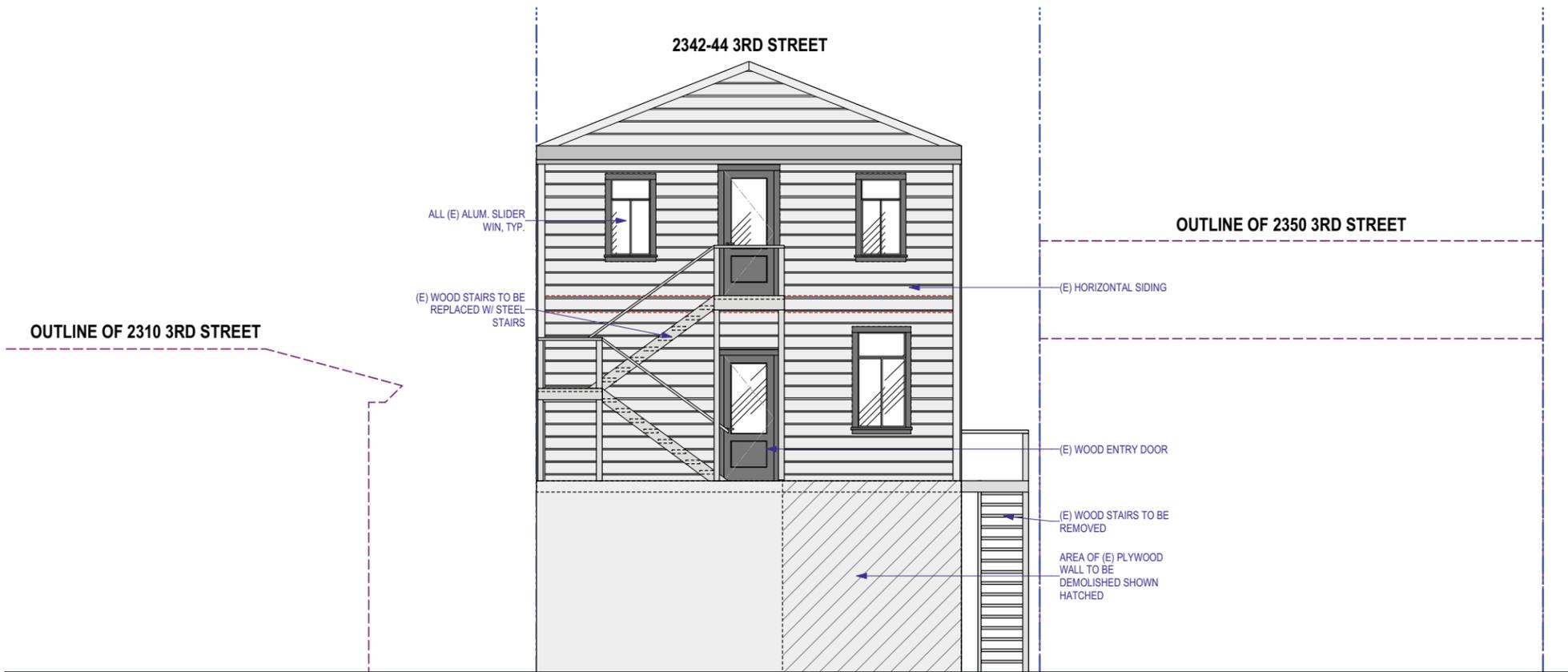
PROJECT NAME  
**2342-2344 3rd Street**  
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View towards the Rear Wall (Subject to removal)

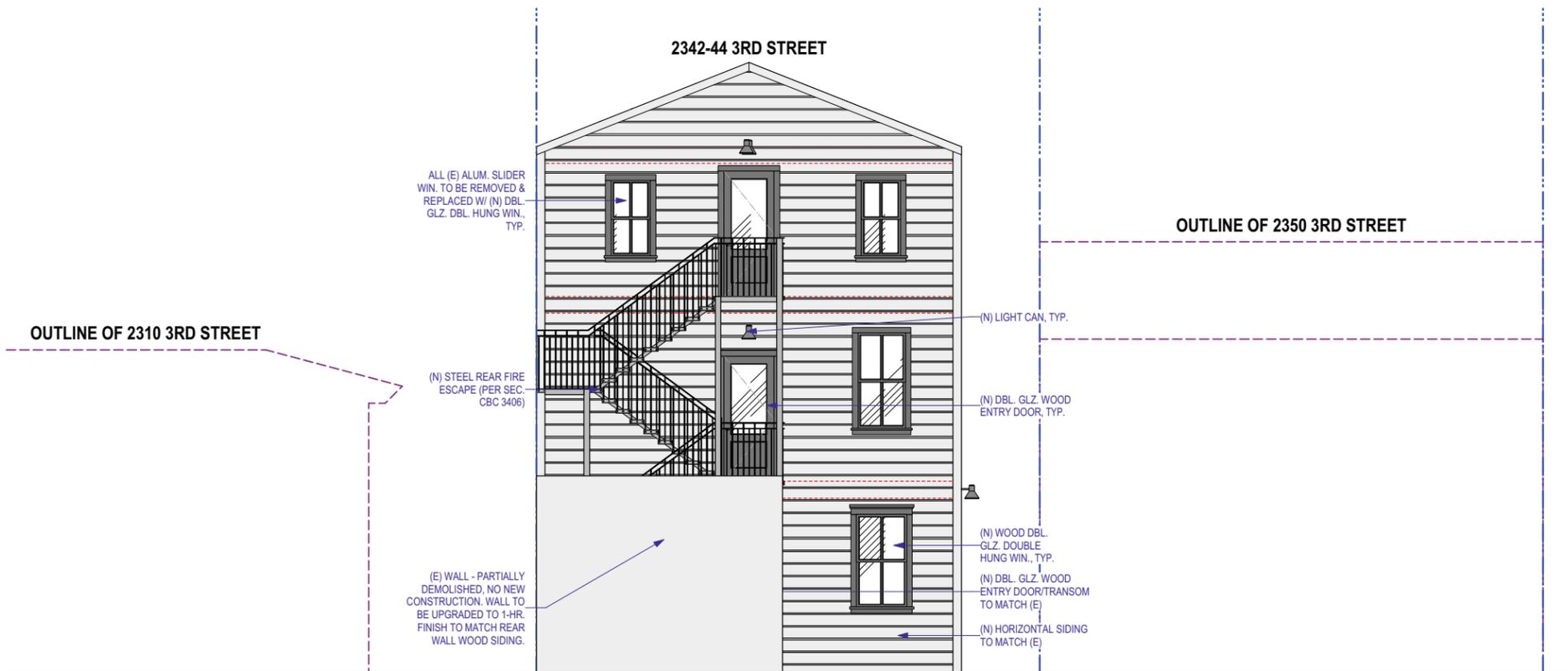


View towards the Rear Wall (Subject to removal)



Existing Rear Elevation (West)

1/4" = 1'-0" 0 1' 3' 5' 10'



Proposed Rear Elevation (West)

1/4" = 1'-0" 0 1' 3' 5' 10'



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**Rear Elevations  
 (West)**

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**A-3.3**

PROPERTY LINE

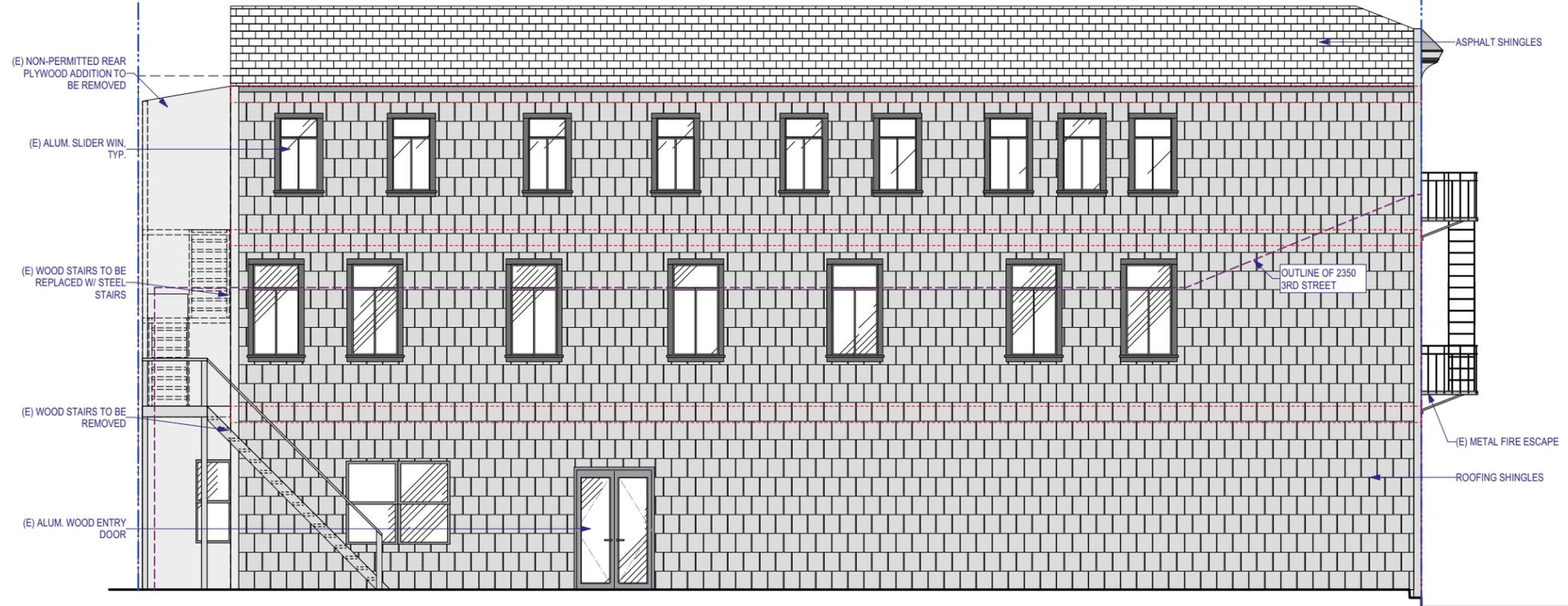
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**Left Elevations  
 (South)**



Existing Left Elevation (South)

1/4" = 1'-0" 0 1' 3' 5' 10'



Proposed Left Elevation (South)

1/4" = 1'-0" 0 1' 3' 5' 10'

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SHEET NO.

**A-3.4**

	PROPERTY LINE
	(E) WALL TO BE REMOVED
	(E) WALL TO REMAIN
	(N) WALL TO BE CONSTRUCTED

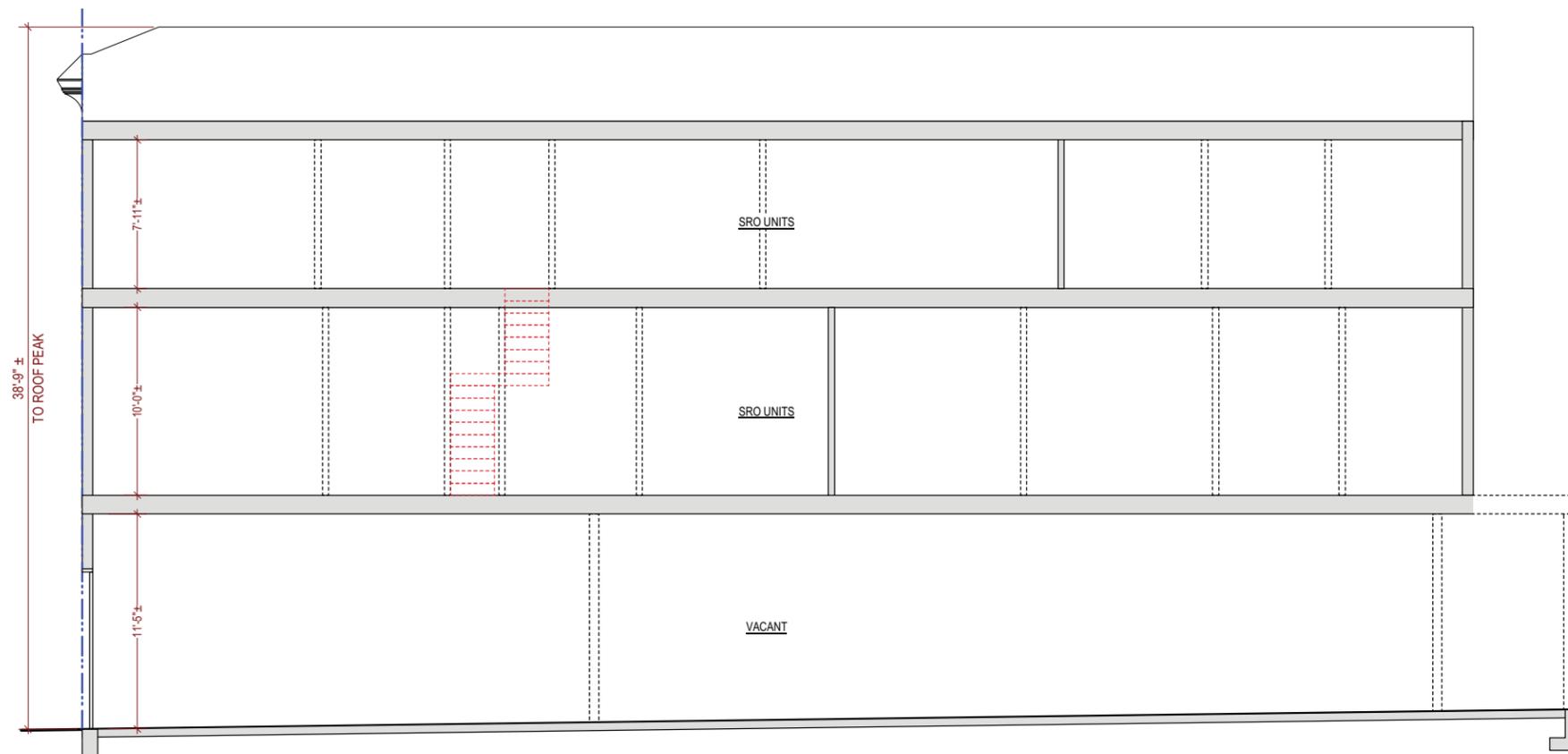
PROJECT NAME  
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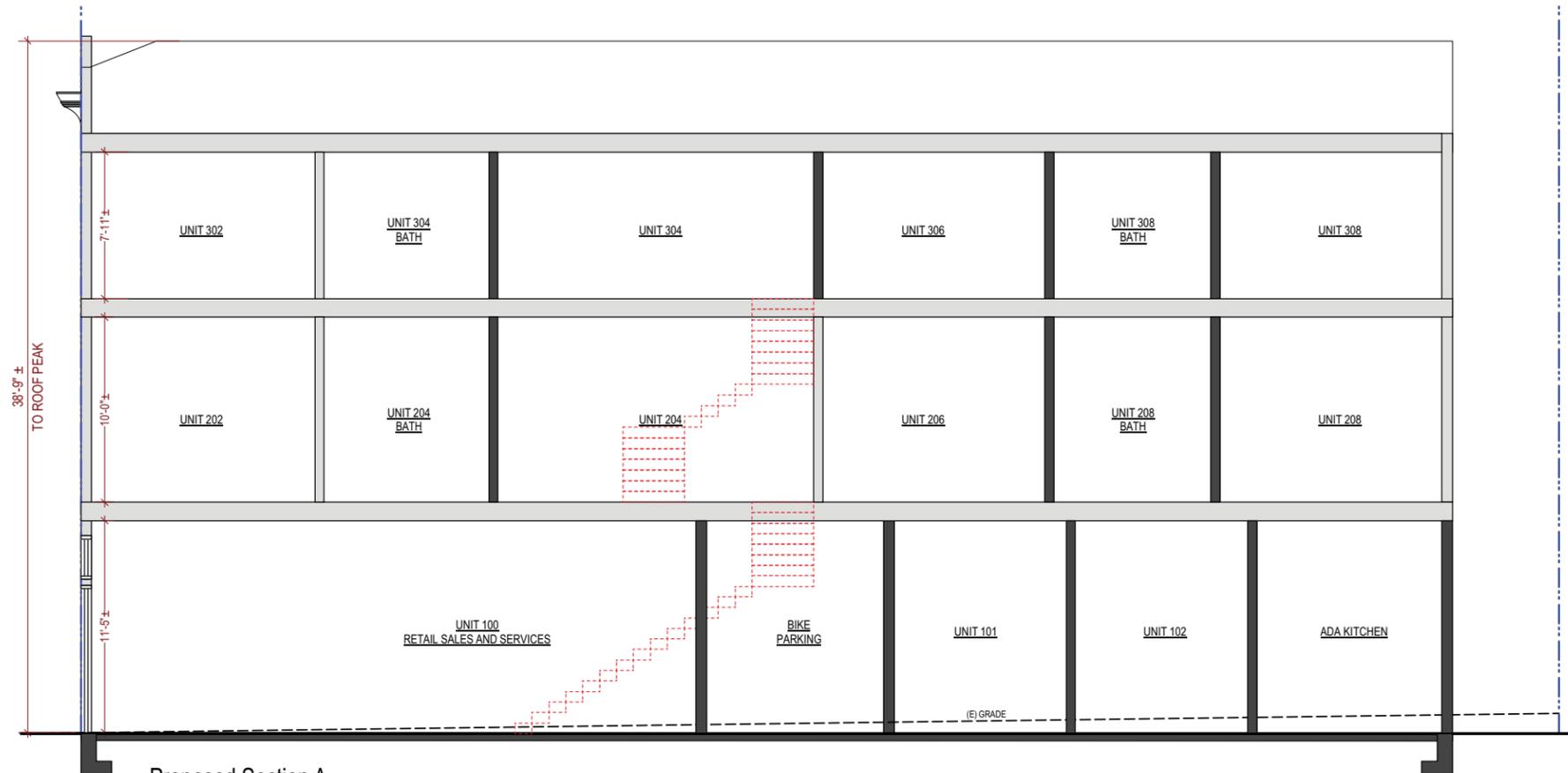
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Sections



Existing Section A  
 1/4" = 1'-0"



Proposed Section A  
 1/4" = 1'-0"

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# Exit Diagram

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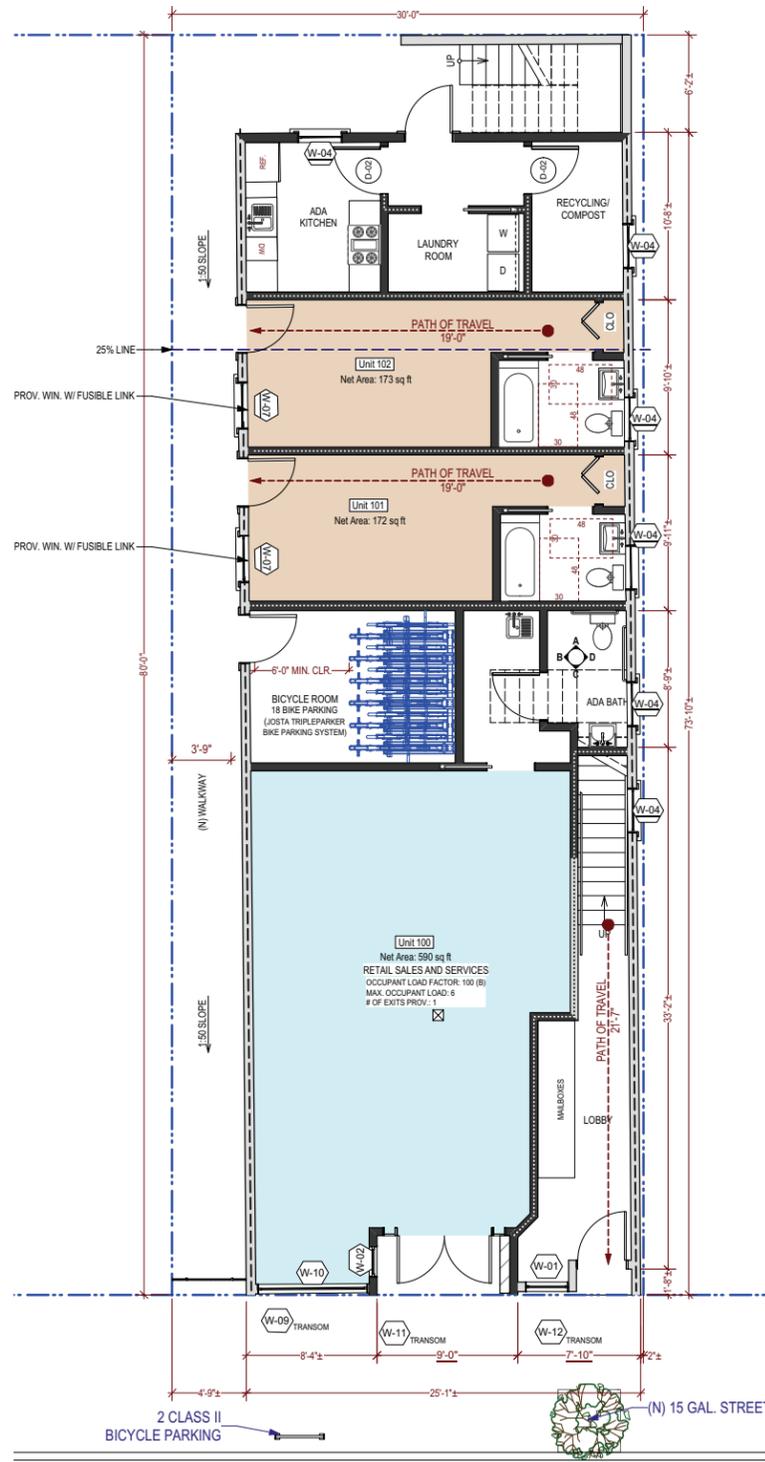
REVISED DATE 05/01/2018

JOB NO. 15-1684

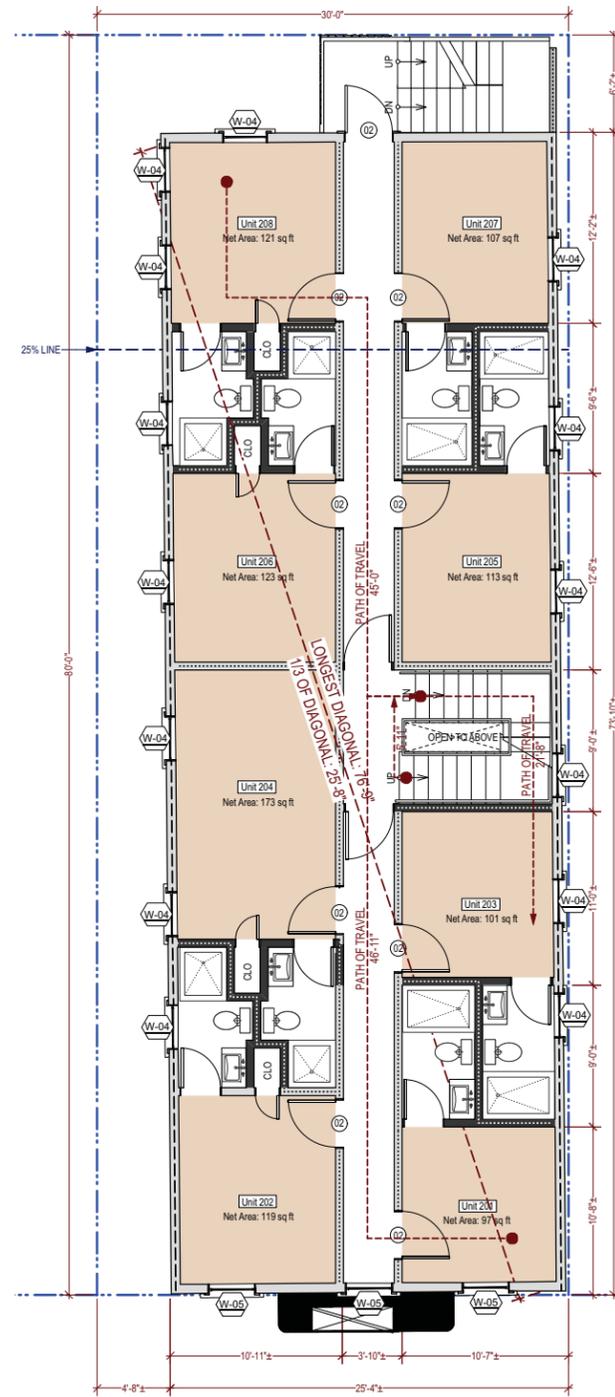
SHEET NO.

A-5.0

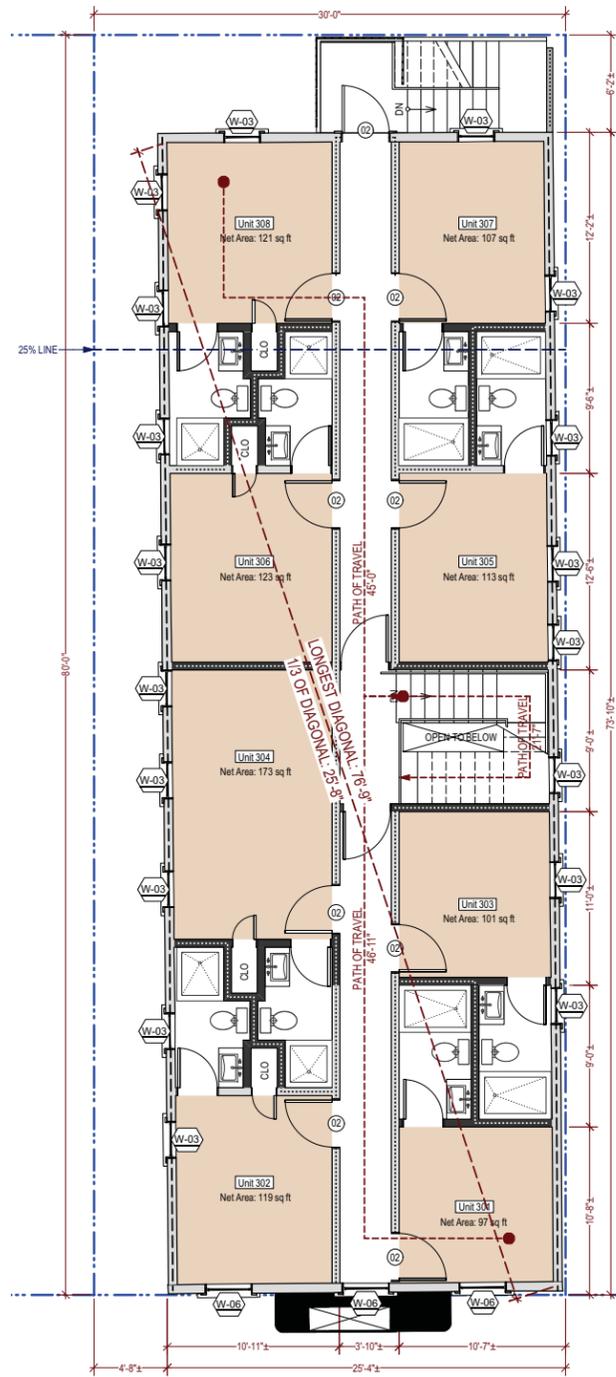
Most Remote Travel Distance Calc:	
<b>First Floor</b>	
<b>Unit #102</b>	
Total:	19'-0" < 125'
<b>Second Floor</b>	
<b>Unit #201</b>	
Travel Distance	46'-11"
Stairs to 1st Floor	21'-8" x 1.35 = 29'-3"
Hallway @ 1st Floor	21'-7"
Total:	97'-9"
<b>Third Floor</b>	
<b>Unit #301</b>	
Travel Distance	46'-11"
Stairs to 2nd Floor	21'-7" x 1.35 = 29'-3"
Hallway @ 2nd Floor	10'-4"
Stairs to 1st Floor	21'-8" x 1.35 = 29'-3"
Hallway @ 1st Floor	21'-7"
Total:	137'-4"



Proposed First Floor Plan  
 3/16" = 1'-0"

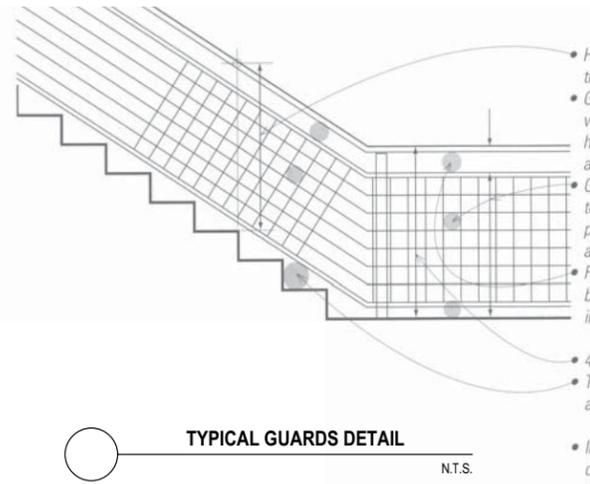
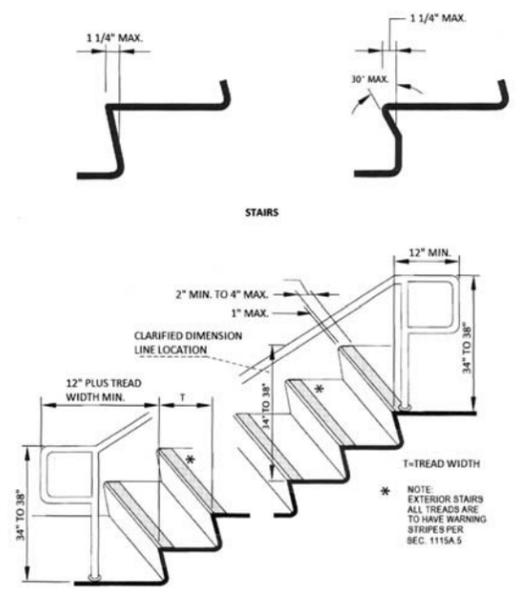


Proposed Second Floor Plan  
 3/16" = 1'-0"



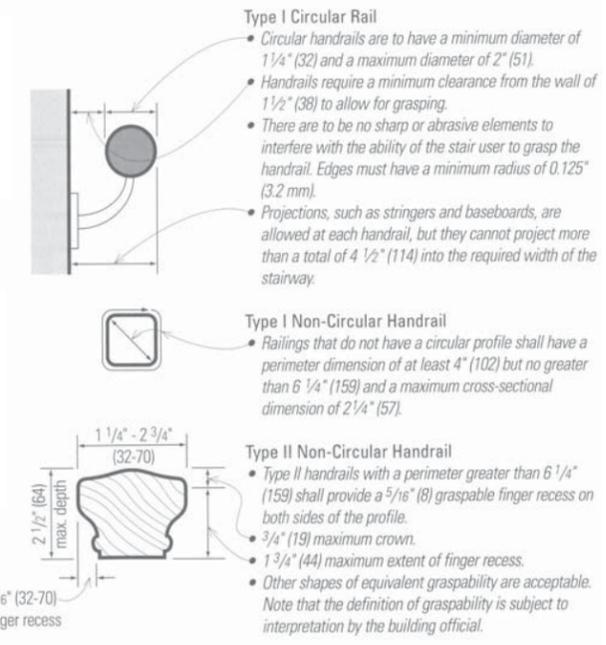
Proposed Third Floor Plan  
 3/16" = 1'-0"

OCCUPANT LOAD CALCULATION							
FLOOR LEVEL	TYPE OF USE	NET AREA (SQ. FT.)	OCCUPANCY GROUP	LOAD FACTOR	OCCUPANT LOAD	MAX. OCCUPANT LOAD FOR ONE MEANS OF EGRESS (TABLE 1015.1)	# OF EXITS PROVIDED
1ST FLOOR	COMMERCIAL	616	B	30	7	49	1
	RESIDENTIAL	332			2	10	1
2ND FLOOR	RESIDENTIAL	969	R-2	200	5	10	1
3RD FLOOR	RESIDENTIAL	969			5	10	1
TOTAL RESIDENTIAL NET FLOOR AREA (1ST, 2ND, & 3RD FLOORS)		2,270			12 (R-2 ONLY)		

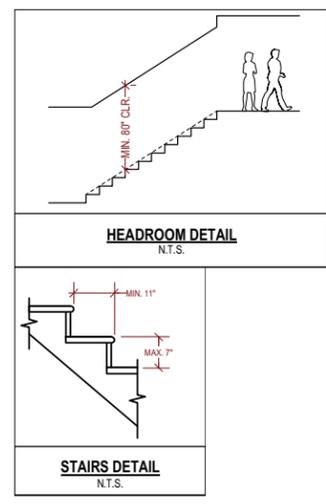


- Height of guards is measured from the leading edge of treads on a stairway.
- Guards are typically 42" (1067) high except in residences, where they may range from 34" to 38" (864 to 965) in height when located along the side(s) of an open stair and also serve as a handrail.
- Guards are to be designed with a pattern from the floor up to 34" (864) such that a sphere 4" (102) in diameter cannot pass through. [Openings in R-2 and R-3 sleeping units may allow passage of a 4.375" (111) sphere.]
- From a height of 34" to 42" (864 to 1067), the pattern may be more open, allowing a sphere up to 4 1/2" (114) in diameter to pass.
- 42" (1067) high minimum above walking surfaces
- The triangular space between the tread, riser and rail may allow a sphere no more than 6" (152) in diameter to pass.
- In industrial occupancies where public access does not occur, railings may have spacing up to 21" (533). Such guards must be provided at rooftop mechanical equipment or roof access openings located closer than 10' (3048) from the roof edge.

TYPICAL GUARDS DETAIL N.T.S.



- Type I Circular Rail**
- Circular handrails are to have a minimum diameter of 1 1/4" (32) and a maximum diameter of 2" (51).
  - Handrails require a minimum clearance from the wall of 1 1/2" (38) to allow for grasping.
  - There are to be no sharp or abrasive elements to interfere with the ability of the stair user to grasp the handrail. Edges must have a minimum radius of 0.125" (3.2 mm).
  - Projections, such as stringers and baseboards, are allowed at each handrail, but they cannot project more than a total of 4 1/2" (114) into the required width of the stairway.
- Type I Non-Circular Handrail**
- Railings that do not have a circular profile shall have a perimeter dimension of at least 4" (102) but no greater than 6 1/4" (159) and a maximum cross-sectional dimension of 2 1/4" (57).
- Type II Non-Circular Handrail**
- Type II handrails with a perimeter greater than 6 1/4" (159) shall provide a 5/16" (8) graspable finger recess on both sides of the profile.
  - 3/4" (19) maximum crown.
  - 1 3/4" (44) maximum extent of finger recess.
  - Other shapes of equivalent graspability are acceptable. Note that the definition of graspability is subject to interpretation by the building official.



HEADROOM DETAIL N.T.S.

STAIRS DETAIL N.T.S.

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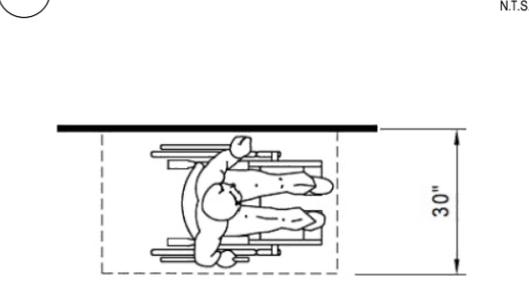


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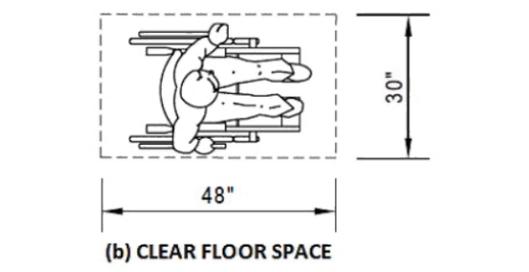
SHEET TITLE

# Typical Details

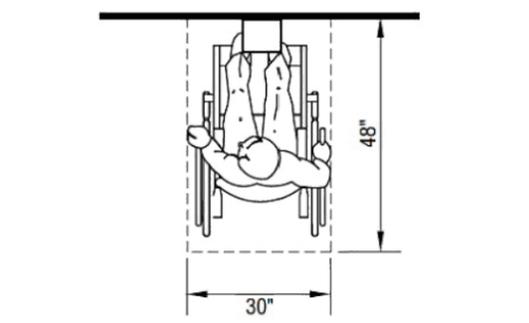
## WARNING STRIPING & HANDRAIL EXTENSIONS



(a) PARALLEL APPROACH

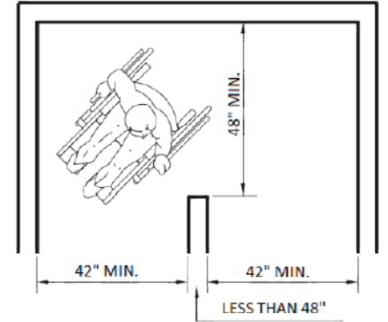


(b) CLEAR FLOOR SPACE

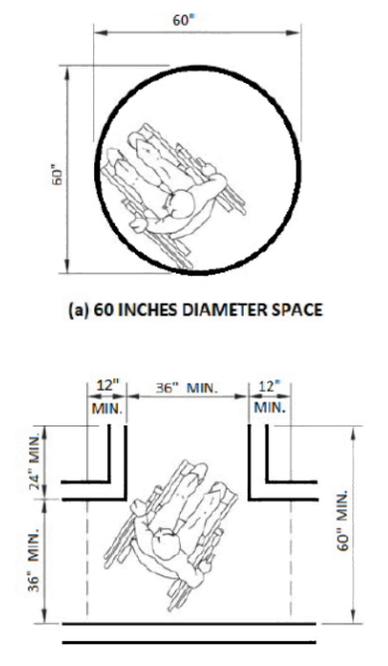


(c) FORWARD APPROACH

WHEELCHAIR MIN. CLEAR FLOOR SPACE N.T.S.

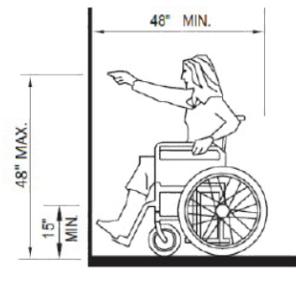


(a) 60 INCHES DIAMETER SPACE

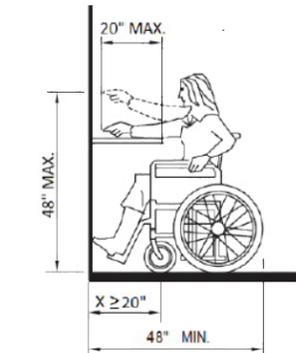


(b) T-SHAPED SPACE FOR 180 ° TURN

WHEELCHAIR TURNING SPACE N.T.S.



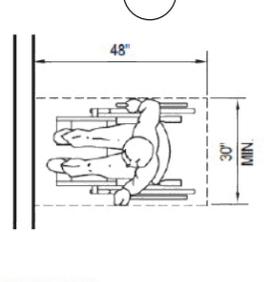
(a) UNOBSTRUCTED FORWARD REACH



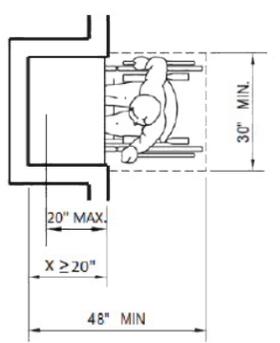
(b) FORWARD REACH OVER OBSTRUCTION

WHEELCHAIR FORWARD REACH N.T.S.

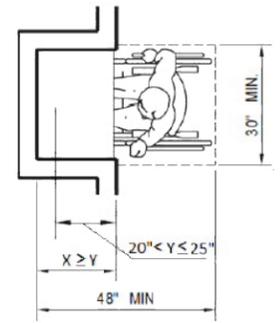
## TYPICAL HANDRAIL DETAILS



CLEAR FLOOR SPACE FOR PARALLEL APPROACH



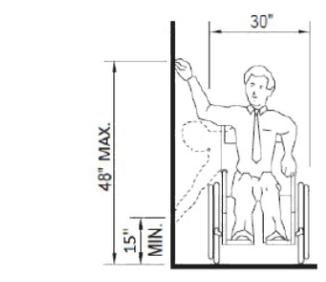
(b) SIDE REACH OVER OBSTRUCTION 10" MAXIMUM



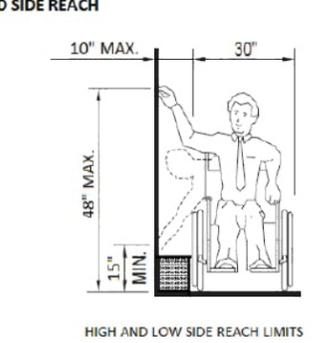
(c) SIDE REACH OVER OBSTRUCTION > 10" AND 24" MAXIMUM

CLEAR FLOOR SPACE FOR PARALLEL APPROACH

WHEELCHAIR SIDE REACH N.T.S.



HIGH AND LOW SIDE REACH LIMITS



MAXIMUM SIDE REACH OVER OBSTRUCTION

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### ISSUES / REVISIONS

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DATE	11/15/2015
REVISED DATE	05/01/2018
JOB NO.	15-1684

SHEET NO.

A-5.1





PROJECT NAME  
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 SAN FRANCISCO, CA



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SHEET TITLE

**Facade Renderings**

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**ISSUES / REVISIONS**

NO.	DATE	DESCRIPTION

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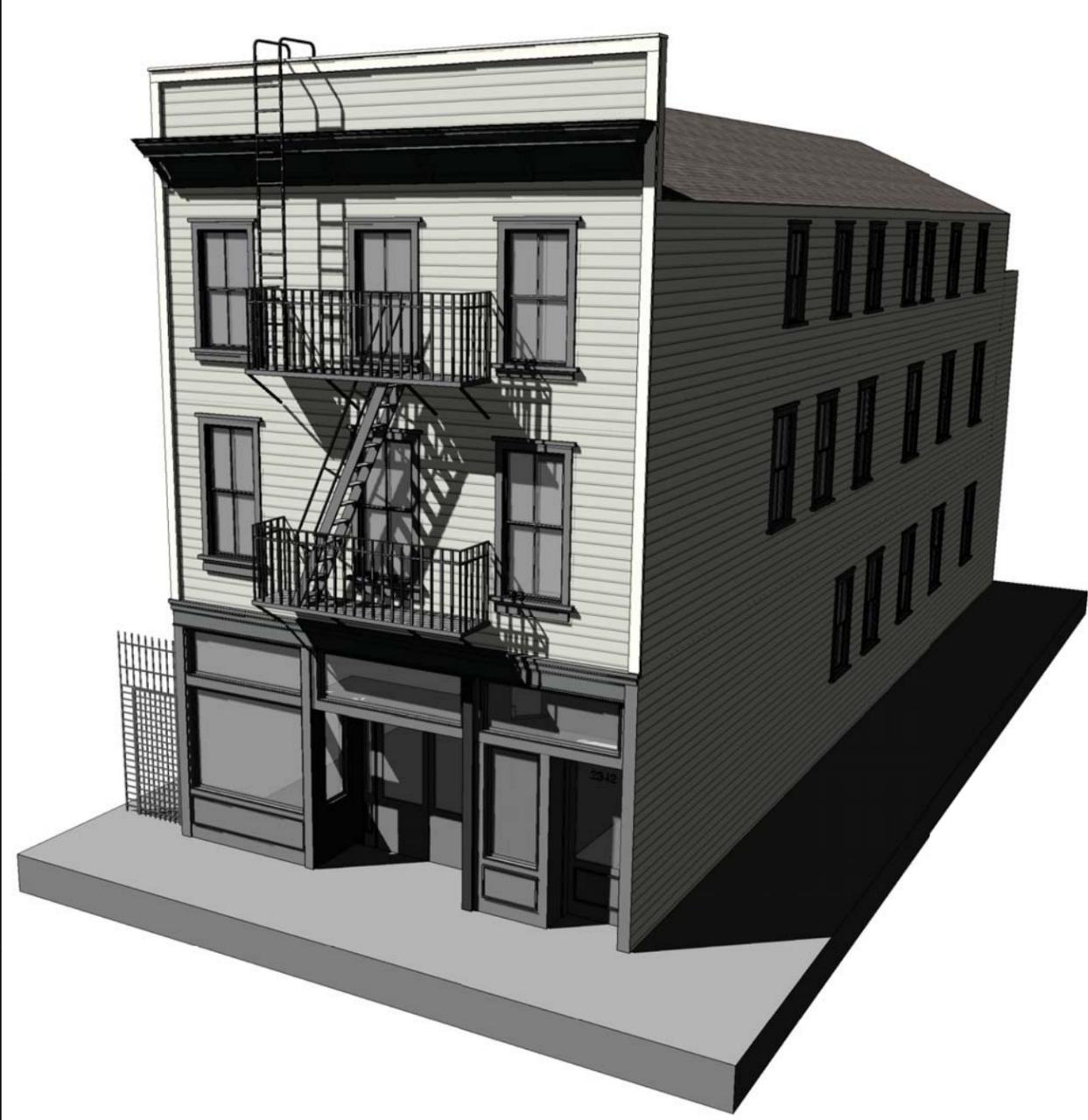
**DATE** 11/15/2015

**REVISED DATE** 05/01/2018

**JOB NO.** 15-1684

**SHEET NO.**

**A-5.4**



**Facade Perspective 2**  
 NTS



**Facade Perspective 1**  
 NTS





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# Facade Analysis

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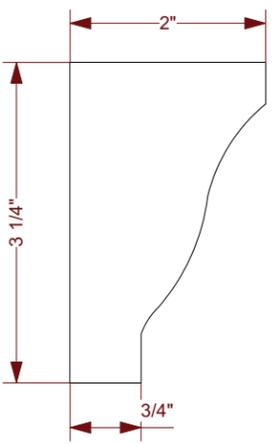
**DATE** 11/15/2015

**REVISED DATE** 05/01/2018

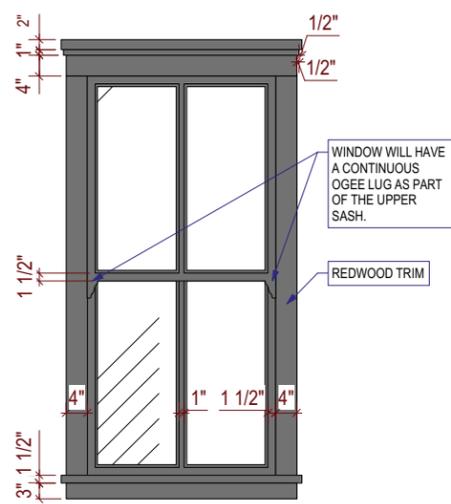
**JOB NO.** 15-1684

**SHEET NO.**

**A-5.5**

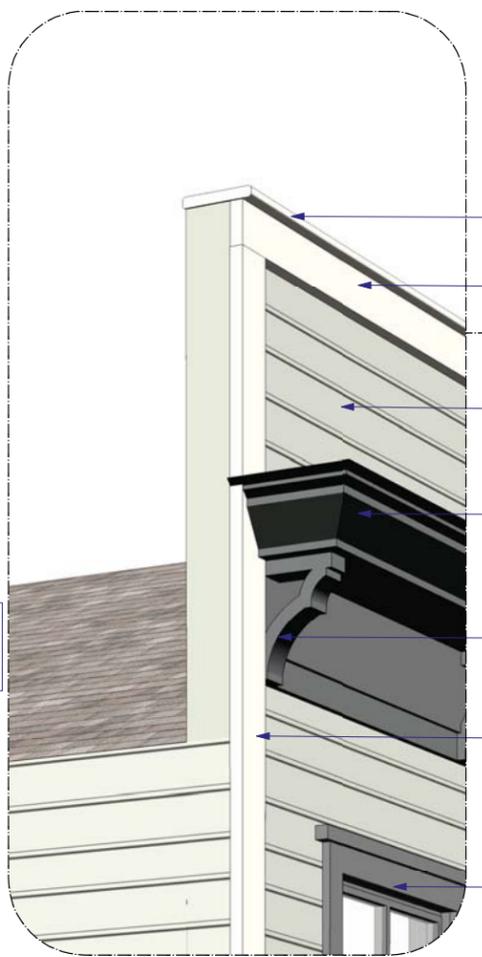


**Ogee Lug Detail**  
 N.T.S



**Typical Window Elevation Detail**  
 N.T.S

WINDOW WILL HAVE A CONTINUOUS OGEE LUG AS PART OF THE UPPER SASH.  
 REDWOOD TRIM



**Perspective Detailed View**  
 N.T.S

\*(E) ORIGINAL CORNICE TO BE REVIVED PER HISTORICAL EVIDENCE AND FIELD EXPLORATION. ANY REPLACEMENT BEYOND HISTORICAL EVIDENCE TO BE CONSULTED WITH THE PLANNING DEPARTMENT.

(N) REDWOOD CAP  
 (N) REDWOOD 1x6

(N) HORIZONTAL WOOD SIDING DIMENSIONS TO MATCH (E) HISTORIC CONDITIONS FOUND ON SITE

(E) ORIGINAL CORNICE TO BE REVIVED \*

(N) REDWOOD BRACKET

(N) REDWOOD 1x6

ALL (E) ALUM. SLIDER WIN. TO BE REMOVED & REPLACED W/ HISTORICALLY COMPATIBLE DBL. GLZ. DBL. HUNG WINDOWS, TYP.



**Facade Perspective**  
 N.T.S



**Detailed Storefront View**  
 3/8"=1'-0"



SIA CONSULTING CORPORATION  
 1256 HOWARD STREET  
 SAN FRANCISCO CA 94103  
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SHEET TITLE

**Storefront Section**

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ISSUES / REVISIONS

NO.	DATE	DESCRIPTION

DRAWN A.A.

CHECKED R.K.

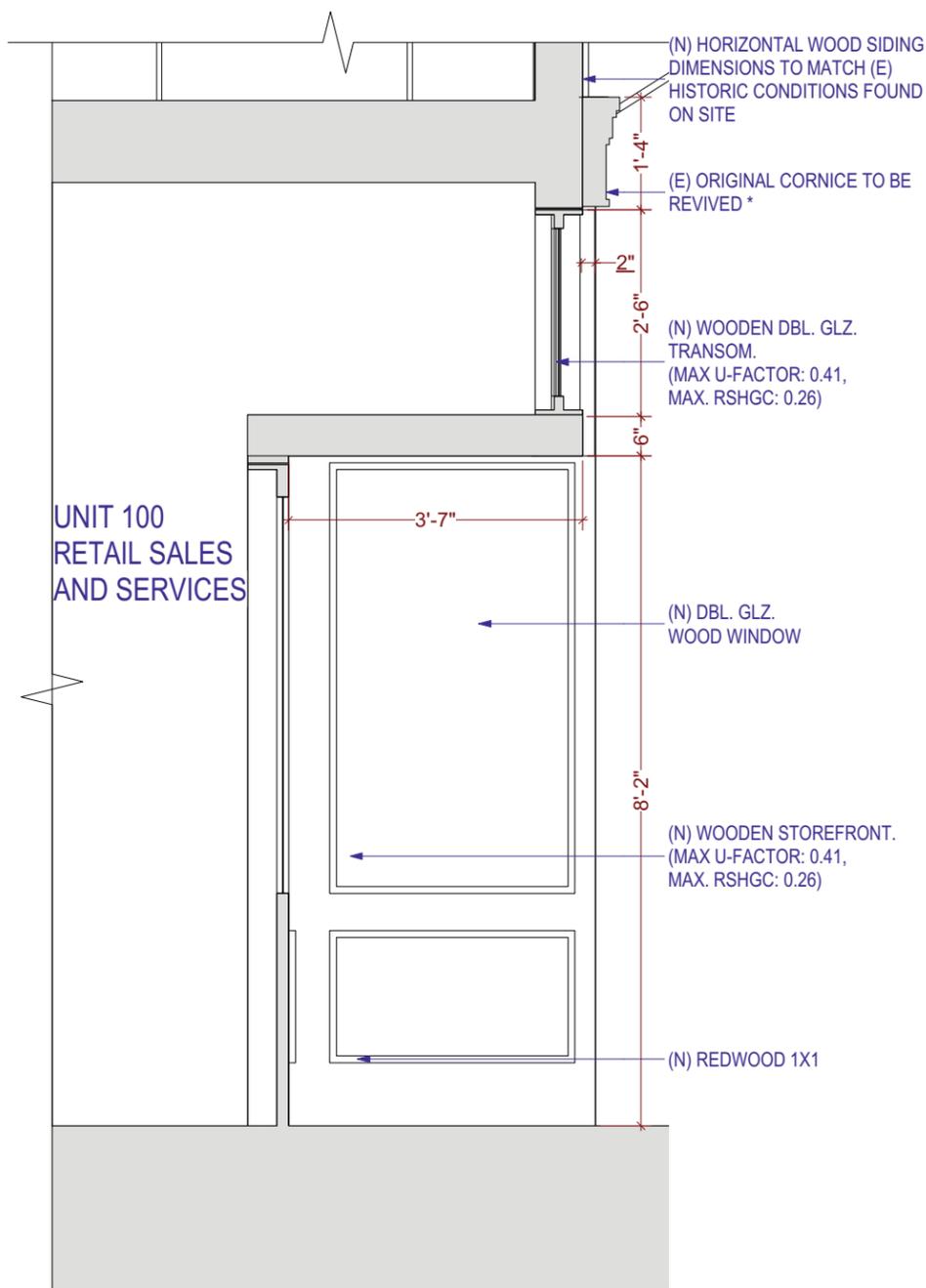
DATE 11/15/2015

REVISED DATE 05/01/2018

JOB NO. 15-1684

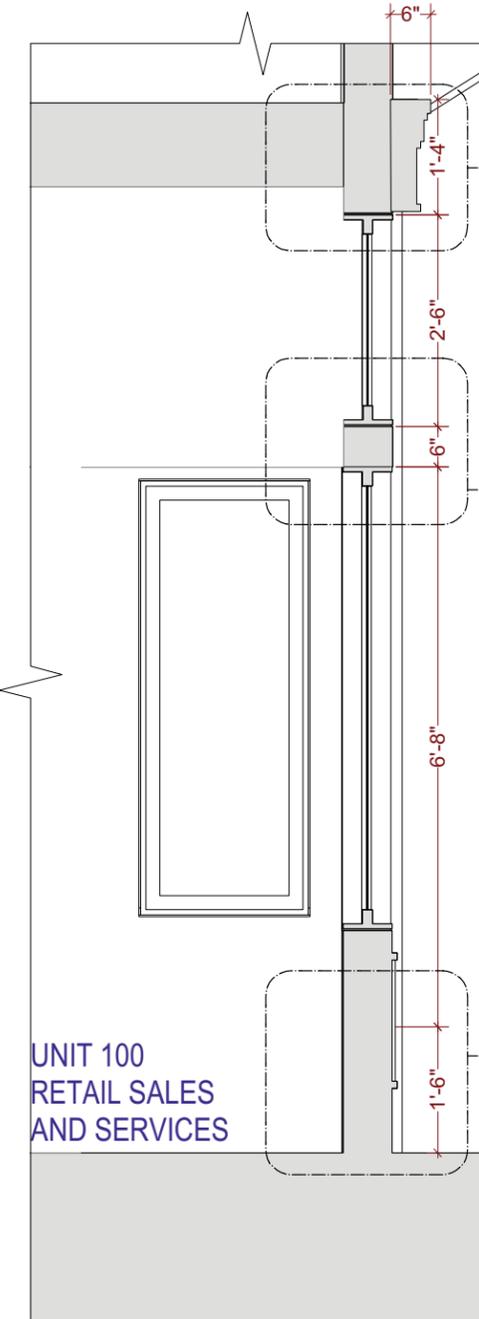
SHEET NO.

**A-5.6**



**Proposed Section through Recessed Storefront**

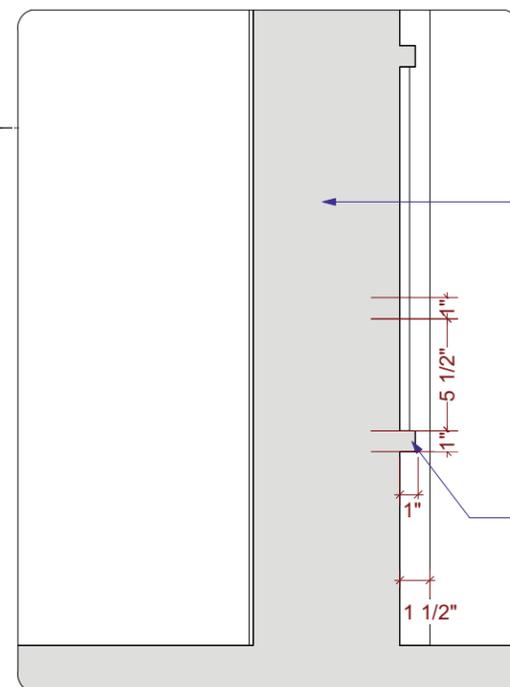
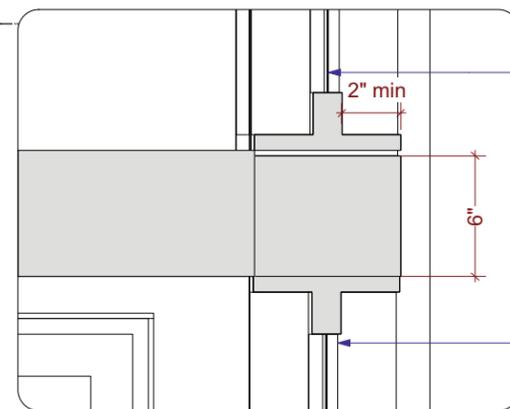
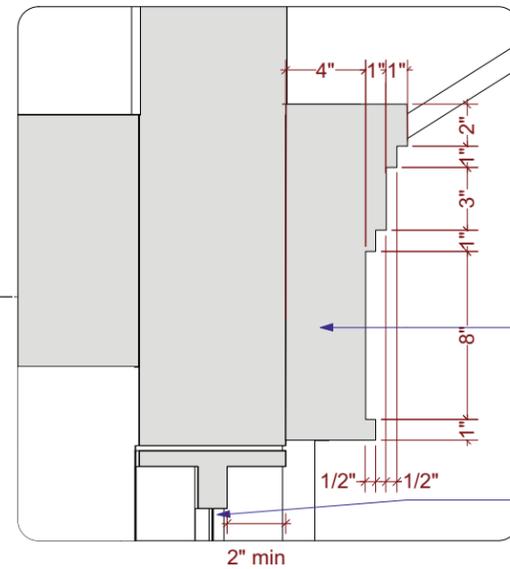
3/8" = 1'-0"



**Proposed Section through Typical Storefront**

3/8" = 1'-0"

\*(E) ORIGINAL CORNICE TO BE REVIVED PER HISTORICAL EVIDENCE AND FIELD EXPLORATION. ANY REPLACEMENT BEYOND HISTORICAL EVIDENCE TO BE CONSULTED WITH THE PLANNING DEPARTMENT.



**Detailed Section through Storefront**

3" = 1'-0"





PROJECT NAME  
**2342-2344 3<sup>rd</sup> Street**  
 SAN FRANCISCO, CA



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SHEET TITLE  
  
**Exploratory  
 Demo Photos (2)**



E



F



G



H



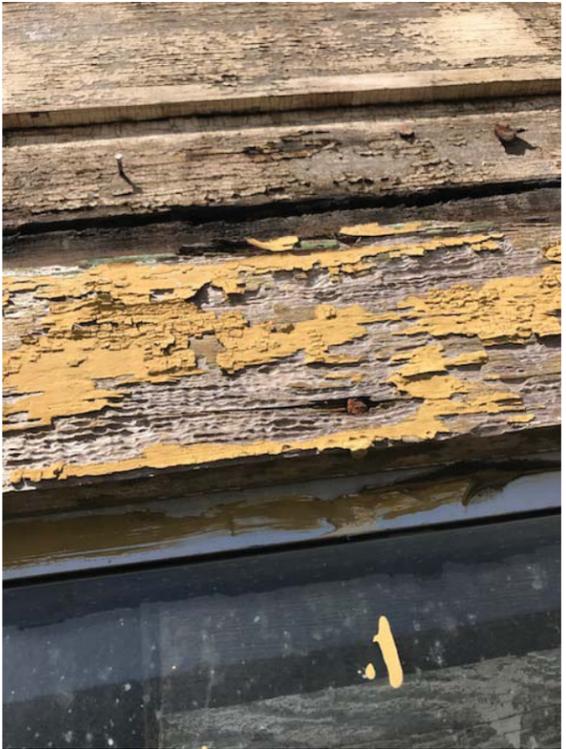
I



J



K



L

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**ISSUES / REVISIONS**

NO.	DATE	DESCRIPTION

**DRAWN** A.A.  
**CHECKED** R.K.  
**DATE** 11/15/2015  
**REVISED DATE** 05/01/2018  
**JOB NO.** 15-1684  
**SHEET NO.**

A-6.2

ALL EXPLORATORY WORK UNDER BPA #201708235651