



SAN FRANCISCO PLANNING DEPARTMENT

Permit to Alter Case Report

HEARING DATE: July 15, 2015

Filing Date: May 6, 2015
Case No.: **2015-005689PTA**
Project Address: **855 Stevenson Street**
1355 Market Street
875 Stevenson Street
Category: Category I (Significant) – Western Furniture Exchange
(1355 Market Street)
Zoning: C-3-G (Downtown General)
120-X, 150-S & 200-S Height and Bulk District
Block/Lot: 3508/055
3508/001
3508/039
Applicant: Paul Grafft
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PROPERTY DESCRIPTION

855 Stevenson Street

The subject property at 855 Stevenson Street consists of the portion of Stevenson Street that runs parallel and south of Market Street, between the buildings at 1355 Market Street and 875 Stevenson Street. This portion of Stevenson Street was vacated by the City in 2007 (Case No. 2007.0210R) and sold to the property owner of both adjacent properties. The subject parcel is located in Assessor's Block 3508, Lot 055 and within the C-3-G (Downtown General Commercial) Zoning District and a 120-X, 150-S & 200-S Height and Bulk District. The vacant parcel is currently landscaped and furnished with outdoor seating fixtures and amenities for use by tenants of both buildings as well as the general public.

1355 Market Street (aka 1301-1363 Market Street)

Historically known as the Western Furniture Exchange & Merchandise Mart, the subject building is Category I (Significant) Building located at 1355 Market Street (1301-1363 Market Street) in Assessor's Block 3508, Lot 001. The property is located on the south side of Market Street between 9th and 10th Streets within the C-3-G (Downtown General Commercial) Zoning District and a 120-X, 150-S & 200-S Height and Bulk District. Constructed in 1937, the subject building is designed in Art Deco-style with later additions in 1941, 1947, 1958, and 1963. The original building was 8-stories in height, and the rectangular footprint

stopped short of 9th Street with the 9th Street wing added in 1947 filling out the Market Street facade to 9th Street and giving the building its current “L” shape.

The rear elevation has a stucco finish except for a strip of the terra cotta cladding that turns the corner from the 10th Street façade treatment. The Rear elevation does not display the decorative elements found on the primary facades, including the glazed terra cotta cladding. The Rear façade is arranged into fifteen bays featuring a regular fenestration pattern, with paired rectangular windows and louvers, referencing the fenestration pattern displayed on the primary facades. The ground floor contains centrally located double height openings that lead to the main lobby of the building. The entrances are flanked by four storefronts in each bay.

875 Stevenson Street

Historically known as “Mart 2” (currently known as 1-Ten), the subject property at 875 Stevenson is a 10-story reinforced concrete building constructed in 1975. The property is located on the south side of Stevenson Street between 9th and 10th Streets within the C-3-G (Downtown General Commercial) Zoning District and a 120-X, 150-S & 200-S Height and Bulk District. The subject building was designed to be physically connected to the building at 1355 Market Street via a 9-story pedestrian bridge along Jessie Street. The 9-story pedestrian bridge was demolished as part of the major renovations of the two subject buildings.

PROJECT DESCRIPTION

The proposal is for the construction of a new sky-bridge connecting the two buildings at 1355 Market Street and 875 Stevenson Street. The upper floors of both buildings are currently occupied by the same tenant and the new sky-bridge would connect the common areas of this tenant space in each building. Specifically, the two-story high common area on the 9th floor of 1355 Market Street will be connected to the common areas on the 9th floor of the building at 875 Stevenson Street, with visual access to and from the 10th floor. The location of the subject sky-bridge is on a parcel that was recently converted to a public plaza as a result of the City vacating the portion of Stevenson Street located between the properties at 1355 Market Street and 875 Stevenson Street (Case No. 2007.0210R).

BACKGROUND

On June 17, 2015, the proposed Major Permit to Alter was presented to the Architectural Review Committee (ARC) of the Historic Preservation Commission seeking the ARC’s comments and recommendations regarding the compatibility of the proposed sky-bridge design, location, overall size, lighting plan, materials and finishes with the Category I (Significant) Building as well as its general consistency with the Secretary of the Interior’s Standards (Standards). A copy of the ARC letter (L-044) is attached as Exhibit G.

Both existing buildings at 1355 Market Street and 875 Stevenson Street recently went through major interior and exterior alterations. As a Category I (Significant) building, the alterations to the property at 1355 Market Street were reviewed and approved by the Historic Preservation Commission (HPC) and Preservation Staff through several phases.

- Minor Permit to Alter approved June 10, 2011 (Case No. 2011.0428EH); interior tenant improvements, installation of two cooling towers on roof, replacement of several bays of windows

on rear (Stevenson Street) elevation with ventilation louvers, and seismic strengthening.

- Major Permit to Alter approved November 16, 2011 (Case No. 2011.0926H): rehabilitation of the historic main entrance lobby, demolition of the 1941 non-historic (non-character-defining) 9th floor addition on the west side of the central tower, and installation of a roof deck.
- Major Permit to Alter approved August 15, 2012 (Case No. 2012.0502H): alterations to the primary facades including the replacement of existing storefronts with new metal-and-glass storefront systems; alteration of existing granite base at storefront; removal of historic cast iron spandrel panels and 2nd floor windows at one bay of Market Street façade for new double-height lobby entrance; increase the size of window openings at 10th and 11th floor windows by lowering the sill and removing top row of terra cotta tile along parapet at 9th Street façade; replace windows at the 10th and 11th floors on 9th, 10th, and Market Street façades; replace non-historic 2nd floor windows on 9th, 10th, and Market Street façades; install window washing equipment; replacement of transom windows above ground floor storefronts (at 9th and 10th Street façades); repair historic metal canopy at 10th Street facade and approving a sign program for the building. In addition, the recessed entrance (added in 1987) located centrally on the Rear elevation, were approved to be replaced with new double height openings, flanked by new storefront openings (4 on each side) and bordered by a new loggia screen.
- Minor Permit to Alter approved April 7, 2013 (Case No. 2013.0451H): removal of the existing “SF Mart” sign including clock at the bottom of the sign and refurbish and reconstruct a new sign with the same size and at the same location, displaying the name of the building’s upper level tenant (“Twitter”).
- Major Permit to Alter approved June 5, 2013 (Case No. 2012.0523H): creation of two new openings along the Rear elevation, within the last two bays closest to the 10th Street façade.
- Major Permit to Alter approved December 4, 2013 (Case No. 2013.1629H): creation of additional openings on the rear elevation of the 9th Street wing facing a private alley between Steven and Jessie Streets, by enlarging and expanding existing doors and windows as well as in-filling of an existing opening adjacent to the garage exhaust room.
- Minor Permit to Alter approved April 22, 2014 (Case No. 2014.0004H): replacement of the existing storefront located within the 5th bay from the corner of 9th Street and Jessie Street, along the 9th Street façade to match new openings on the building that were previously approved by the HPC and administratively by staff.
- Minor Permit to Alter approved June 23, 2014 (Case No. 2013.1392H): removal of the existing garage door along the 10th Street façade and replace with a new storefront system, matching those previously approved by the HPC and administratively by staff.
- Major Permit to Alter approved September 4, 2014 (Case No. 2014.1361H): installation of mechanical ducts along the Rear façade.
- Minor Permit to Alter approved October 7, 2014 (Case No. 2014.1402H): storefront alteration along the Market Street façade in association with a new tenant space.
- Minor Permit to Alter approved May 8, 2015 (Case No. 2015-005081PTA): modify existing openings on the rear elevation of the 9th Street wing, facing a private alley between the now

vacated portion of Stevenson Street and Jessie Street.

The property at 875 Stevenson Street also went through interior and exterior alterations including removal of the existing precast concrete panels and re-cladding of the exterior of the third through tenth floors with a new glass curtain wall system (Case No. 2012.0502EVX).

OTHER ACTIONS REQUIRED

The proposed project will require a Downtown Project Authorization pursuant to Section 309 of the Planning Code (Case No. 2015-005689DNX). In addition, the proposed project will require a Building Permit.

COMPLIANCE WITH THE PLANNING CODE PROVISIONS

The proposed project is in compliance with all other provisions of the Planning Code.

APPLICABLE PRESERVATION STANDARDS

ARTICLE 11

Pursuant to Section 1110 of the Planning Code, unless delegated to the Planning Department Preservation Staff through the Minor Permit to Alter process pursuant to Section 1111.1 of the Planning Code, the Historic Preservation Commission is required to review any applications for the construction, alteration, removal, or demolition for Significant buildings, Contributory buildings, or any building within a Conservation District. In evaluating a request for a Permit to Alter, the Historic Preservation Commission must find that the proposed work is in compliance with the *Secretary of the Interior's Standards for the Treatment of Historic Properties*, Section 1111.6 of the Planning Code, as well as the designating Ordinance and any applicable guidelines, local interpretations, bulletins, related appendices, or other policies. These standards, in relevant part(s), are listed below:

- (a) The proposed alteration shall be consistent with and appropriate for the effectuation of the purposes of this Article 11.

The proposed project is consistent with Article 11.

- (b) For Significant Buildings/Properties - Categories I and II, and for Contributory Buildings - Categories III and IV, proposed alterations of structural elements and exterior features shall be consistent with the architectural character of the building, and shall comply with the following specific requirements:

- (1) The distinguishing original qualities or character of the building may not be damaged or destroyed. Any distinctive architectural feature which affects the overall appearance of the building shall not be removed or altered unless it is the only feasible means to protect the public safety.

The proposal is to construct a sky-bridge along the rear elevation of the Category I (Significant) Building at 1355 Market Street connecting the 9th floor of this building with the 9th floor of the adjacent building to the south at 875 Stevenson Street. The Rear elevation of the 1355 Market Street building is a secondary façade and is utilitarian in nature. The rear façade is clad in stucco and fenestrated with non-historic paired aluminum sash windows and louvers on the upper levels. Although the Rear elevation does not display the

distinguishing qualities, such as the elaborate terra cotta cladding that are mostly concentrated on the primary (Market, 9th and 10th Streets) facades of the building and is considered a secondary façade, it has undergone enhancements and improvements that warrant sensitive design treatments. As such, the design of the new sky-bridge has been undertaken to read as a sculptural element that would add to the visual quality of the newly developed public plaza below. The sky-bridge is located on the rear façade of the 1355 Market Street building with approximately 146-foot setback from the nearest public right-of-way (10th Street) and at a height of approximately 101-foot from grade, minimizing its visibility from surrounding public right-of-ways. The removal of the two non-historic windows on the 9th floor will not substantially alter the fenestration pattern on this façade. Additionally, none of the character-defining features of the building will be damaged, removed or obscured as a result of the current proposal.

- (2) The integrity of distinctive stylistic features or examples of skilled craftsmanship that characterize a building shall be preserved.

The distinctive features of the building will be retained and preserved as all work is limited to the rear and secondary façade of the 1355 Market Street building. As such, the integrity of all distinctive stylistic features and examples of skilled craftsmanship that characterize the building and primarily found on the Market, 9th and 10th Streets facades will be preserved.

- (3) Distinctive architectural features which are to be retained pursuant to Paragraph (1) but which are deteriorated shall be repaired rather than replaced, whenever possible. In the event replacement is necessary, the new material shall match the material being replaced in composition, design, color, texture and other visual qualities. Repair or replacement of missing architectural features shall be based on accurate duplication of features, substantiated by historic, physical or photographic evidence, if available, rather than on conjectural designs or the availability of different architectural elements from other buildings or structures. Replacement of non-visible structural elements need not match or duplicate the material being replaced.

The proposal does not include the repair or replacement of any distinctive architectural features.

- (4) Contemporary design of alterations is permitted, provided that such alterations do not destroy significant exterior architectural material and that such design is compatible with the size, scale, color, material and character of the building and its surroundings.

The proposed sky-bridge is of a contemporary material in keeping with other contemporary storefront alterations previously approved for the building. The design of the sky-bridge is expressed as a three-dimensional object in that it tapers-in vertically while it tapers-out horizontally towards the building at 1355 Market Street. Additionally, the shingled glass design on both sides of the sky-bridge and shingled aluminum surface of the underside of the sky-bridge adds to its three-dimensional expression, providing visual interest. The sky-bridge's location on a secondary façade (Rear), coupled with its substantial setback (approximately 146-foot) from the nearest public right-of-way and its location approximately 101-foot above grade, ensures the sky-bridge reads as a subordinate addition that will not destroy significant exterior materials on the subject building.

THE SECRETARY OF THE INTERIOR'S STANDARDS (STANDARDS)

Rehabilitation is the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features that convey its historical, cultural, or architectural values. The Rehabilitation Standards provide, in relevant part(s):

Standard 1: A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

The proposed project will provide connection to the common areas of a tenant occupying the upper floors of the two adjacent buildings to the project site while retaining the historic commercial use of both building. The new sky-bridge will span the width of the recently vacated portion of Stevenson Street and will connect to the Category I (Significant) Building's rear facade but will not result in changes to the commercial use of the building and will not require changes to the building's distinctive qualities.

Standard 2: The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

The proposal will retain and preserve the historic character of the property. No historic materials or features that characterize the property will be altered on the existing Category I (Significant) Building. The alterations are limited to the removal of two non-historic aluminum windows and a portion of the stucco wall immediately above the windows. The proposed project will not detract from the historic character of the 1355 Market Street building in that the new sky-bridge will be comprised of contemporary yet compatible materials and finishes.

Standard 5: Distinctive features, finishes, and construction techniques or examples of fine craftsmanship that characterize a property will be preserved.

The proposed project will not affect any original distinctive materials, features, finishes, and construction techniques that characterize the Category I (Significant) Building and will not damage any distinctive features of the building. All work is proposed on Rear façade, which is a secondary façade.

Standard 9: New additions, exterior alterations, or related new construction will not destroy historic materials and features that characterize the building. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

The new sky-bridge is located on a secondary façade and will not alter any character-defining features of the Category I (Significant) Building. The removal of the two non-historic windows on the 9th floor will not substantially alter the fenestration pattern on the rear façade. The overall size of the connection points of the sky-bridge is designed to align with the sides of the paired existing windows and continue the rhythm of the window openings on the upper floors of the rear façade at 1355 Market Street. The design of the sky-bridge is expressed as a three-dimensional object in that

it tapers-in vertically while it tapers-out horizontally towards the building at 1355 Market Street. In addition, the shingled glass design on both sides of the sky-bridge and shingled aluminum surface of the underside of the sky-bridge adds to the sky-bridge's three-dimensional expression, providing visual interest to patrons of the new public plaza below. The proposed lighting on the underside of the bridge will relate the sky-bridge to the existing lighting pattern in the public plaza below. As such, the proposed sky-bridge will not destroy historic materials and will not detract from the historic character of the subject building. The sky-bridge's contemporary design features including shingled glass sides and shingled aluminum underside ensures that the sky-bridge is read as a contemporary addition that is sufficiently differentiated from the historic features of the existing building at 1355 Market Street.

Standard 10: New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Similar to the 9-story high bridge that was previously removed at the subject site, the essential form and integrity of the Category I (Significant) Building would be unimpaired if the proposed work was removed at a future date.

PUBLIC/NEIGHBORHOOD INPUT

The Department has received public inquiries and correspondence on the project as of the date of this report. One member of the public provided support for the project while one member of the public had general inquiry about the number of sky-bridges currently existing in the City and how many have been demolished in the past.

Staff also received email correspondences outlining concerns about the project's consistency with the General Plan and City Policies regarding sky-bridges over streets, with the understanding that the proposed sky-bridge will be constructed over a public right-of-way.

ISSUES & OTHER CONSIDERATIONS

None.

STAFF ANALYSIS

Based on the requirements of Article 11, Department has determined the following:

The rear elevation of the Category I (Significant) Building at 1355 Market Street is clad in stucco, and while visible along a public right-of-way (10th Street), it does not exhibit the ornate detailing and ornamentation displayed on the primary facades (front and sides) except for where a strip of the terra cotta cladding that turns the corner from 10th Street. The fenestration pattern on the upper floors of the rear facade is arranged in pairs of non-historic aluminum sash windows, depicting the fenestration pattern on the primary facades in a simplified manner. Although the rear elevation is designed to read and function as utilitarian in nature, improvements to the recently vacated alley and to the rear elevation, including installation of new double height openings flanked by new storefront openings at the ground floor have been recently completed.

The location of the proposed sky-bridge on the Category I (Significant) Building at 1355 Market Street, is along the south (rear) façade of the building, which as previously mentioned, does not display the distinguishing qualities that are mostly concentrated on the primary (Market, 9th and 10th Streets) facades. The rear elevation, although considered a secondary façade, has recently undergone enhancements and improvements (as outlined in the background portion above), adding to its visibility and use, warranting sensitive design treatments.

The new sky-bridge will require the removal of two non-historic windows as well as a portion of the stucco wall immediately above the windows. The connection to the 875 Stevenson Street building will result in the removal of the newly installed glass panels at the 9th and 10th floor levels. The floor plates of the two buildings are not aligned; as a result the floor of the sky-bridge will slope down to connect to the 9th floor of the 875 Stevenson Street building. At the same time, the roof of the sky-bridge will slope up from the 9th floor of the 1355 Market Street building to connect to the 10th floor ceiling level of the 875 Stevenson Street building. As such, the height of the portion of the sky-bridge connecting to the 1355 Market Street building will be one-story in height (approximately 15-feet high), while the portion that connects to the 875 Stevenson Street building will be two-stories in height (approximately 20-feet). The double height connection at the 875 Stevenson Street building will allow for a viewing deck from the 10th floor of this building towards the interior of the sky-bridge and the 1355 Market Street building.

The sky-bridge will span between the two buildings (approximately 38-feet), will be located approximately 101-feet above the newly created public plaza along the recently vacated portion of Stevenson Street, and will be setback approximately 146-feet from the nearest public right-of-way (10th Street). The design of the sky-bridge will consist of overlapping insulated glass shingles, hung from an aluminum curtain wall. The underside of the sky-bridge will be clad with painted aluminum panels that are stepped and shingled in a manner similar to the glass façade. The stepping of the aluminum panels will create a small overlap between each plate where a cove light will be installed.

The design of the current proposal reflects the Sponsor's work with Department staff to better relate the design of the sky-bridge with the Category I (Significant) Building while ensuring it will be sufficiently differentiated from the historic building.

In response to the ARC recommendation, the glass shingles will be comprised of single panels for the full height of the sky-bridge and each glass panel will be comprised of insular, single pane (low iron) glass units without frames. The ARC also recommended that maintenance of the proposed lighting on the exterior of the sky-bridge as well as maintenance of the glass panels be given more attention and be addressed at the design stages as it may pose cleaning and lighting maintenance challenges given the sky-bridge design does not allow for access to the exterior from inside the sky-bridge. The project sponsor has indicated that the maintenance plan is in the early design stages at this time. As such, staff recommends a condition of approval requiring review and approval of a maintenance and lighting plan by Preservation Staff prior to the approval of a site permit.

The new sky-bridge appears to be consistent with the Standards in that it is located on a secondary façade, ensuring it will not alter any character-defining features of the Category I (Significant) Building. The removal of the two non-historic windows on the 9th floor will not substantially alter the fenestration

pattern on this façade. The overall size of the connection points of the sky-bridge will ensure the rhythm of the window openings on the upper floors of the rear façade at 1355 Market Street is continued by aligning the outer edges of the sky-bridge with the sides of the paired existing windows. The design of the sky-bridge is expressed as a three-dimensional object in that it tapers-in vertically while it tapers-out horizontally towards the building at 1355 Market Street. Additionally, the shingled glass design on both sides of the sky-bridge and shingled aluminum surface of the underside of the sky-bridge adds to its three-dimensional expression, providing visual interest to patrons of the new public plaza below. Furthermore, the proposed lighting on the underside of the bridge will relate the sky-bridge to the existing lighting pattern in the public plaza below. As such, the proposed sky-bridge will not destroy historic materials and will not detract from the historic character of the subject building.

The sky-bridge is designed to read as a contemporary addition that is sufficiently differentiated from the historic features of the existing building at 1355 Market Street. Additionally, the location of the sky-bridge on the rear façade of the 1355 Market Street building and substantial setback from adjacent public right-of-ways ensures the sky-bridge reads as a secondary and subordinate addition to the historic resource.

ENVIRONMENTAL REVIEW STATUS

The Planning Department has determined that the proposed project is exempt from environmental review (Case No. 2014.1388E); pursuant to CEQA Guideline Section 15301 (Class 1 - Existing Facilities. Interior and exterior alterations, additions under 10,000 SF) because the project is a minor alteration of an existing structure with the addition of approximately 430 SF on a secondary façade and meets the *Secretary of the Interior's Standards*.

PLANNING DEPARTMENT RECOMMENDATION

Planning Department staff recommends APPROVAL WITH CONDITION of the proposed project as it appears to meet the provisions of Article 11 of the Planning Code regarding Major Alteration to a Category I (Significant) Building and the *Secretary of the Interior Standards for Rehabilitation* with the following condition:

1. A Maintenance and Lighting Plan of the proposed lighting on the exterior of the sky-bridge as well as the glass panels shall be submitted for review and approval by Preservation Staff prior to site permit approval.

ATTACHMENTS

- A. Draft Motion
- B. Parcel Map
- C. Sanborn Map
- D. Aerial Photo
- E. Zoning Map
- F. Site Photos
- G. Architectural Review Committee Letter (L-044)
- H. Major Permit to Alter Application Packet submitted by Project Sponsor

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**Historic Preservation Commission
Motion No. XXXX
Permit to Alter
MAJOR ALTERATION**

HEARING DATE: JULY 15, 2015

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ADOPTING FINDINGS FOR A PERMIT TO ALTER FOR MAJOR ALTERATIONS DETERMINED TO BE APPROPRIATE FOR AND CONSISTENT WITH THE PURPOSES OF ARTICLE 11, TO MEET THE SECRETARY OF THE INTERIOR’S STANDARDS FOR REHABILITATION, FOR THE CATEGORY I (SIGNIFICANT) PROPERTY LOCATED ON LOT 001 IN ASSESSOR’S BLOCK 3508 IN ASSOCIATION WITH A PROJECT ON ADJACENT PROPERTIES LOCATED ON LOTS 039 AND 055 IN ASSESSOR’S BLOCK 3508. THE SUBJECT PROPERTY IS WITHIN A C-3-G (DOWNTON GENERAL COMMERCIAL) ZONING DISTRICT AND A 120-X, 150-S & 200-S HEIGHT AND BULK DISTRICT.

PREAMBLE

WHEREAS, on May 6, 2015, Paul Grafft, SRI Nine Market Square LLC (“Applicant”) filed an

application with the San Francisco Planning Department (“Department”) for a Permit to Alter for an exterior alteration. The project site is located on Lot 055 in Assessor’s Block 3508 and involves two adjacent properties on Lots 001 and 039 in Assessor’s Block 3508. One of the two subject building located on Lot 001 in Assessor’s Block 3508, is a Category I (Significant) building historically known as the Western Furniture Exchange and locally designated under Article 11, Appendix A of the Planning Code. Specifically, the proposal is for construct a new sky-bridge that provides connection between the 9th floor common areas within the buildings at 1355 Market Street and 875 Stevenson Street. The new sky-bridge will be connected to the rear elevation of 1355 Market Street building, at the 9th floor level, requiring the removal of two non-original windows as well as a portion of the stucco wall immediately above the windows. The connection to the 875 Stevenson Street building will result in the removal of the newly installed glass panels at the 9th and 10th floor levels. The floor plates of the two buildings are not aligned; as a result the floor of the sky-bridge will slope down to connect to the 9th floor of the 875 Stevenson Street building. At the same time, the roof of the sky-bridge will slope up from the 9th floor of the 1355 Market Street building to connect to the 10th floor ceiling level of the 875 Stevenson Street building. The height of the portion of the sky-bridge connecting to the 1355 Market Street building will be one-story in height (approximately 15-feet high); the portion that connects to the 875 Stevenson Street building will be two-stories in height (approximately 20-feet). The double height connection at the 875 Stevenson Street building will allow for a viewing deck from the 10th floor of this building towards the interior of the sky-bridge and the 1355 Market Street building. The sky-bridge will span between the two buildings (approximately 38-feet), will be located approximately 101-feet above the newly created public plaza along Stevenson Street, and will be setback approximately 146-feet from the nearest public right-of-way (10th Street). The design of the sky-bridge will consist of overlapping insulated glass shingles, hung from an aluminum curtain wall. The underside of the sky-bridge will be clad with painted aluminum panels that are stepped and shingled in a manner similar to the glass façade. The stepping of the aluminum panels will create a small overlap between each plate where a cove light will be installed. The roof of the bridge will also slope down towards the building at 1355 Market Street.

WHEREAS, the Project was determined by the Department to be categorically exempt from environmental review. The Historic Preservation Commission (hereinafter “Commission”) has reviewed and concurs with said determination.

WHEREAS, on July 15, 2015, the Commission conducted a duly noticed public hearing on Permit to Alter application No. 2015-005689PTA (“Project”).

WHEREAS, in reviewing the application, the Commission has had available for its review and consideration case reports, plans, and other materials pertaining to the Project contained in the Department’s case files, and has reviewed and heard testimony and received materials from interested parties during the public hearing on the Project.

MOVED, that the Commission hereby **APPROVES** the Permit to Alter, in conformance with the architectural plans dated June 25, 2015 and labeled Exhibit A on file in the docket for Case No. 2015-005689PTA based on the following findings:

FINDINGS

Having reviewed all the materials identified in the recitals above and having heard oral testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and also constitute findings of the Commission.
2. Findings pursuant to Article 11:

The Commission has determined that the proposed work is compatible with the exterior character-defining features of the subject property and meets the requirements of Article 11 of the Planning Code:

- That the proposed work is limited to the installation of a sky-bridge along the rear (Stevenson Street) façade;
- That although the rear facade is considered a secondary elevation, utilitarian in nature and without any distinguishing qualities and character of the building, the new sky-bridge is well designed to better relate with the Stevenson Street façade, an elevation visible from the public right-of-way (10th Street);
- That the location of the sky-bridge on the rear façade of the 1355 Market Street building and substantial setback from adjacent public right-of-ways ensures the sky-bridge reads as a secondary and subordinate addition to the historic resource;
- That The design of the sky-bridge is expressed as a three-dimensional object in that it tapers-in vertically while it tapers-out horizontally towards the building at 1355 Market Street;
- That the shingled glass design on both sides of the sky-bridge and shingled aluminum surface of the underside of the sky-bridge adds to its three-dimensional expression, providing visual interest to patrons of the new public plaza below;
- That the proposed lighting on the underside of the bridge will relate the sky-bridge to the existing lighting pattern in the public plaza below;
- That the removal of the two non-original windows on the 9th floor of the rear façade will not substantially alter the fenestration pattern on the rear façade;
- That the overall size of the connection points of the sky-bridge will ensure the rhythm of the window openings on the upper floors of the rear façade at 1355 Market Street is continued by aligning the outer edges of the sky-bridge with the sides of the paired existing windows;
- That the sky-bridge is designed to read as a contemporary addition that is sufficiently differentiated from the historic features of the existing building at 1355 Market Street;
- That the overall design of the sky-bridge relates to previous alterations made to the 1355 Market Street building and approved by the HPC
- That the proposal respects the character-defining features of the Category I (Significant) Building;
- That the architectural character of the Category I (Significant) Building will be maintained;
- That the integrity of distinctive stylistic features and examples of skilled craftsmanship that characterize the building shall be preserved; and,
- That the proposed project meets the following *Secretary of the Interior's Standards for Rehabilitation*:

Standard 1: property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

Standard 2: The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

Standard 5: Distinctive features, finishes, and construction techniques or examples of fine craftsmanship that characterize a property will be preserved.

Standard 9: New additions, exterior alterations, or related new construction will not destroy historic materials and features that characterize the building. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Standard 10: New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

For these reasons, the proposal overall, is appropriate for and consistent with the purposes of Article 11, meets the standards of Article 1111.6 of the Planning Code and complies with the *Secretary of the Interior's Standards for Rehabilitation*.

3. **General Plan Compliance.** The proposed Permit to Alter is, on balance, consistent with the following Objectives and Policies of the General Plan:

I. URBAN DESIGN ELEMENT

THE URBAN DESIGN ELEMENT CONCERNS THE PHYSICAL CHARACTER AND ORDER OF THE CITY, AND THE RELATIONSHIP BETWEEN PEOPLE AND THEIR ENVIRONMENT.

GOALS

The Urban Design Element is concerned both with development and with preservation. It is a concerted effort to recognize the positive attributes of the city, to enhance and conserve those attributes, and to improve the living environment where it is less than satisfactory. The Plan is a definition of quality, a definition based upon human needs.

OBJECTIVE 1

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

POLICY 1.3

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

OBJECTIVE 2

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH

THE PAST, AND FREEDOM FROM OVERCROWDING.

POLICY 2.4

Preserve notable landmarks and areas of historic, architectural or aesthetic value, and promote the preservation of other buildings and features that provide continuity with past development.

POLICY 2.5

Use care in remodeling of older buildings, in order to enhance rather than weaken the original character of such buildings.

POLICY 2.7

Recognize and protect outstanding and unique areas that contribute in an extraordinary degree to San Francisco's visual form and character.

The goal of a Permit to Alter is to provide additional oversight for buildings and districts that are architecturally or culturally significant to the City in order to protect the qualities that are associated with that significance.

The proposed project qualifies for a Permit to Alter and therefore furthers these policies and objectives by maintaining and preserving the character-defining features of the subject property for the future enjoyment and education of San Francisco residents and visitors.

4. The proposed project is generally consistent with the eight General Plan priority policies set forth in Section 101.1 in that:

A) The existing neighborhood-serving retail uses will be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses will be enhanced:

The proposed project will not have an impact on neighborhood serving retail uses.

B) The existing housing and neighborhood character will be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods:

The proposed project will strengthen neighborhood character by respecting the character-defining features of the building in conformance with the Secretary of the Interior's Standards

C) The City's supply of affordable housing will be preserved and enhanced:

The project will not affect the City's affordable housing supply.

D) The commuter traffic will not impede MUNI transit service or overburden our streets or neighborhood parking:

The proposed project will not result in commuter traffic impeding MUNI transit service or overburdening the streets or neighborhood parking.

- E) A diverse economic base will be maintained by protecting our industrial and service sectors from displacement due to commercial office development. And future opportunities for resident employment and ownership in these sectors will be enhanced:

The proposed project is located on portion of Stevenson Street that was vacated by the City and will not have a direct impact on the displacement of industrial and service sectors.

- F) The City will achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

All construction will be executed in compliance with all applicable construction and safety measures.

- G) That landmark and historic buildings will be preserved:

The proposed project is in conformance with Article 11 of the Planning Code and the Secretary of the Interior's Standards.

- H) Parks and open space and their access to sunlight and vistas will be protected from development:

The proposed project will not impact the access to sunlight or vistas for parks and open space given it's location on private property. In addition, given the project's location approximately 101-feet above grade and 146-feet setback from the nearest public right-of-way (10th Street), access to sunlight and vistas in the open space below will not be impacted.

5. For these reasons, the proposal overall, appears to meet the *Secretary of the Interior's Standards* and the provisions of Article 11 of the Planning Code regarding Major Alterations to Category II (Significant) buildings.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **GRANTS a Permit to Alter** for the property located at Lots 001, 039 and 055 in Assessor's Block 3508 for proposed work in conformance with the architectural submittal dated June 26, 2015 and labeled Exhibit A on file in the docket for Case No. 2015-005689PTA.

APPEAL AND EFFECTIVE DATE OF MOTION: The Commission's decision on a Permit to Alter

Motion No. XXXX
Hearing Date: July 15, 2015

CASE NO 2014.1361H
855 Stevenson Street
1355 Market Street
875 Stevenson Street

shall be final unless appealed within thirty (30) days after the date of this Motion No. XXXX. Any appeal shall be made to the Board of Appeals, unless the proposed project requires Board of Supervisors approval or is appealed to the Board of Supervisors as a conditional use, in which case any appeal shall be made to the Board of Supervisors (see Charter Section 4.135). For further information, please contact the Board of Appeals in person at 1650 Mission Street, (Room 304) or call (415) 575-6880.

THIS IS NOT A PERMIT TO COMMENCE ANY WORK OR CHANGE OF OCCUPANCY UNLESS NO BUILDING PERMIT IS REQUIRED. PERMITS FROM THE DEPARTMENT OF BUILDING INSPECTION (and any other appropriate agencies) MUST BE SECURED BEFORE WORK IS STARTED OR OCCUPANCY IS CHANGED.

I hereby certify that the Historical Preservation Commission ADOPTED the foregoing Motion on July 15, 2015.

Jonas P. Ionin
Commission Secretary

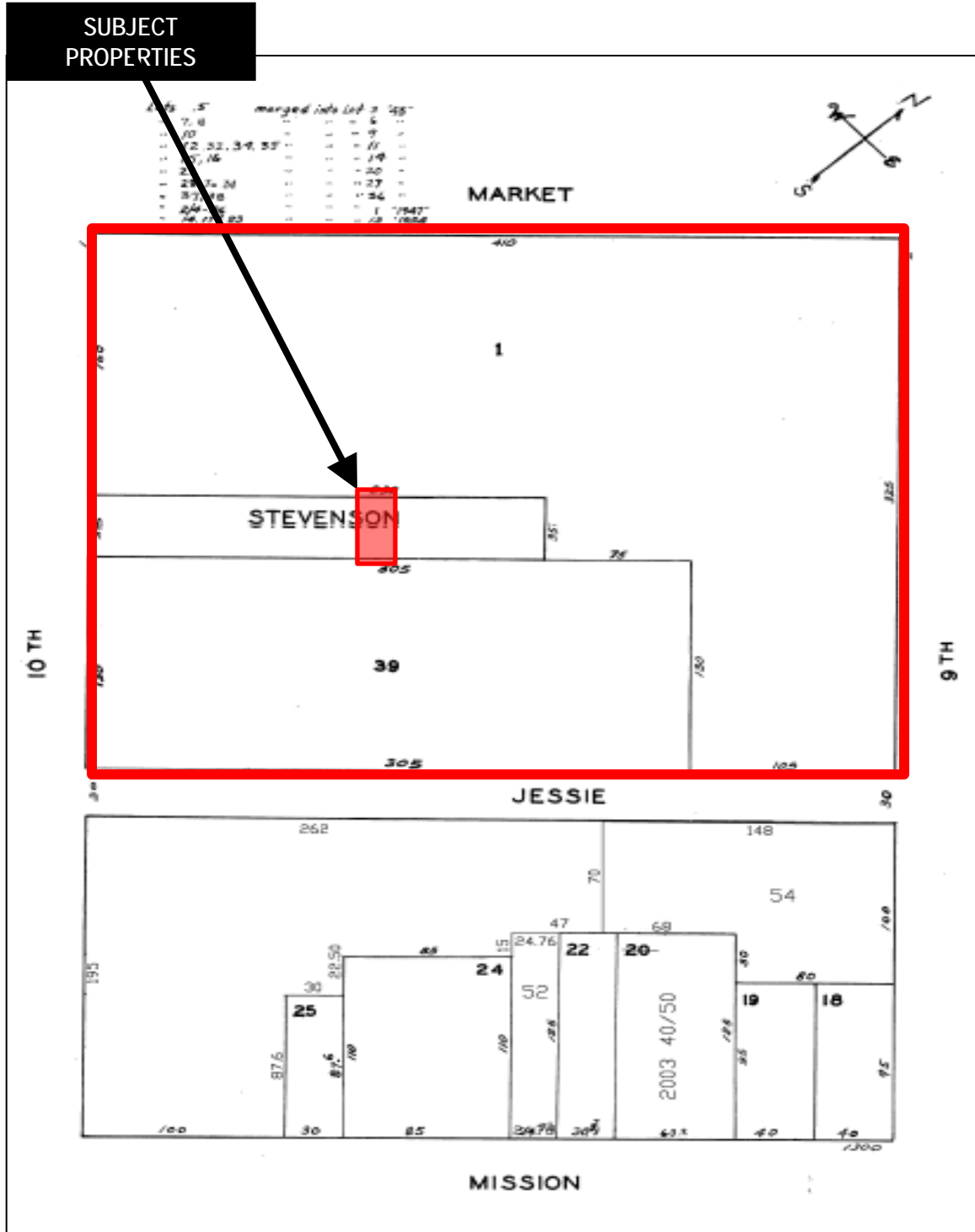
AYES:

NAYS:

ABSENT:

ADOPTED: July 15, 2015

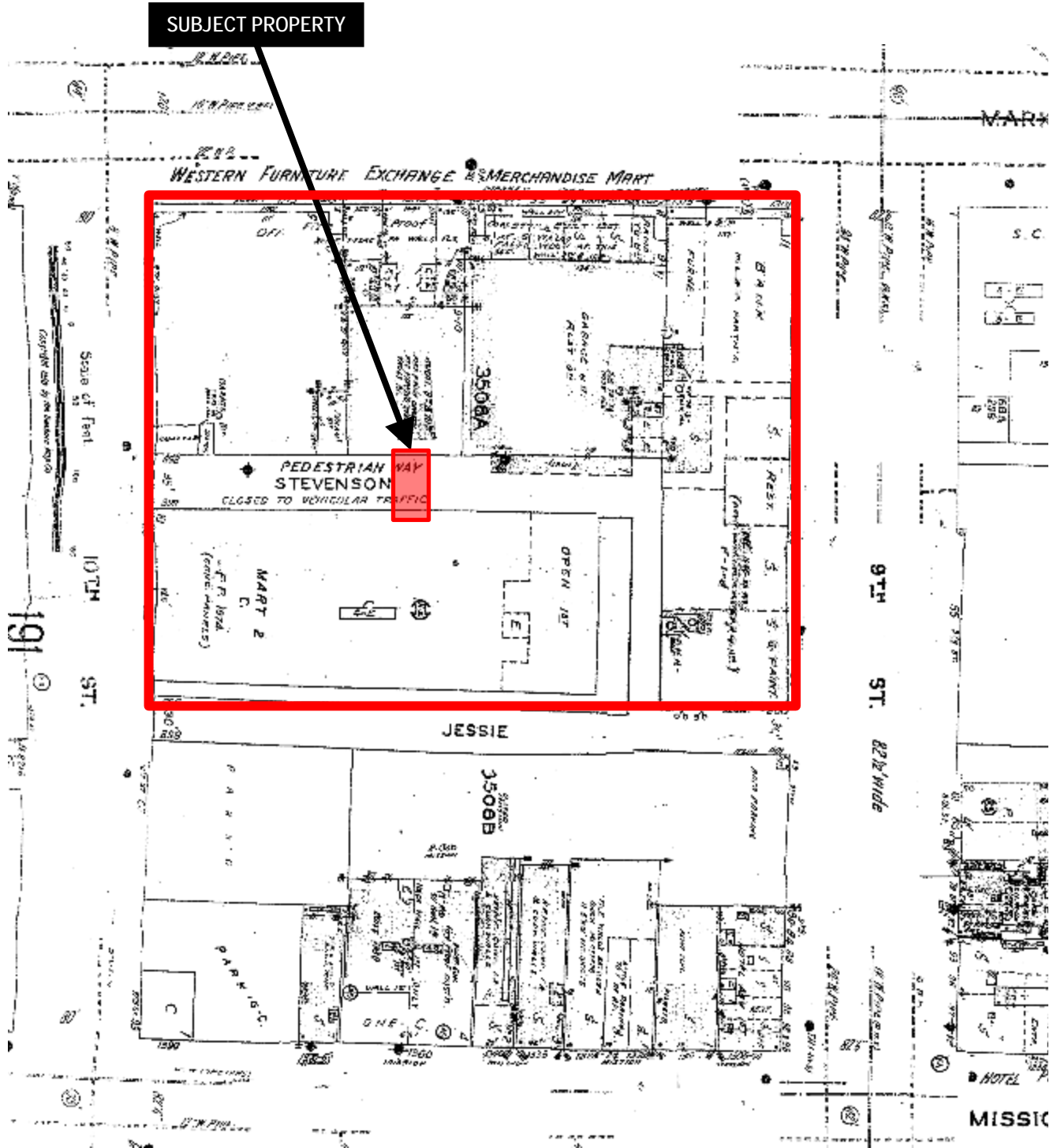
Parcel Map



Major Permit to Alter Hearing
Case Number 2015-005689PTA
855 Stevenson Street



Sanborn Map*



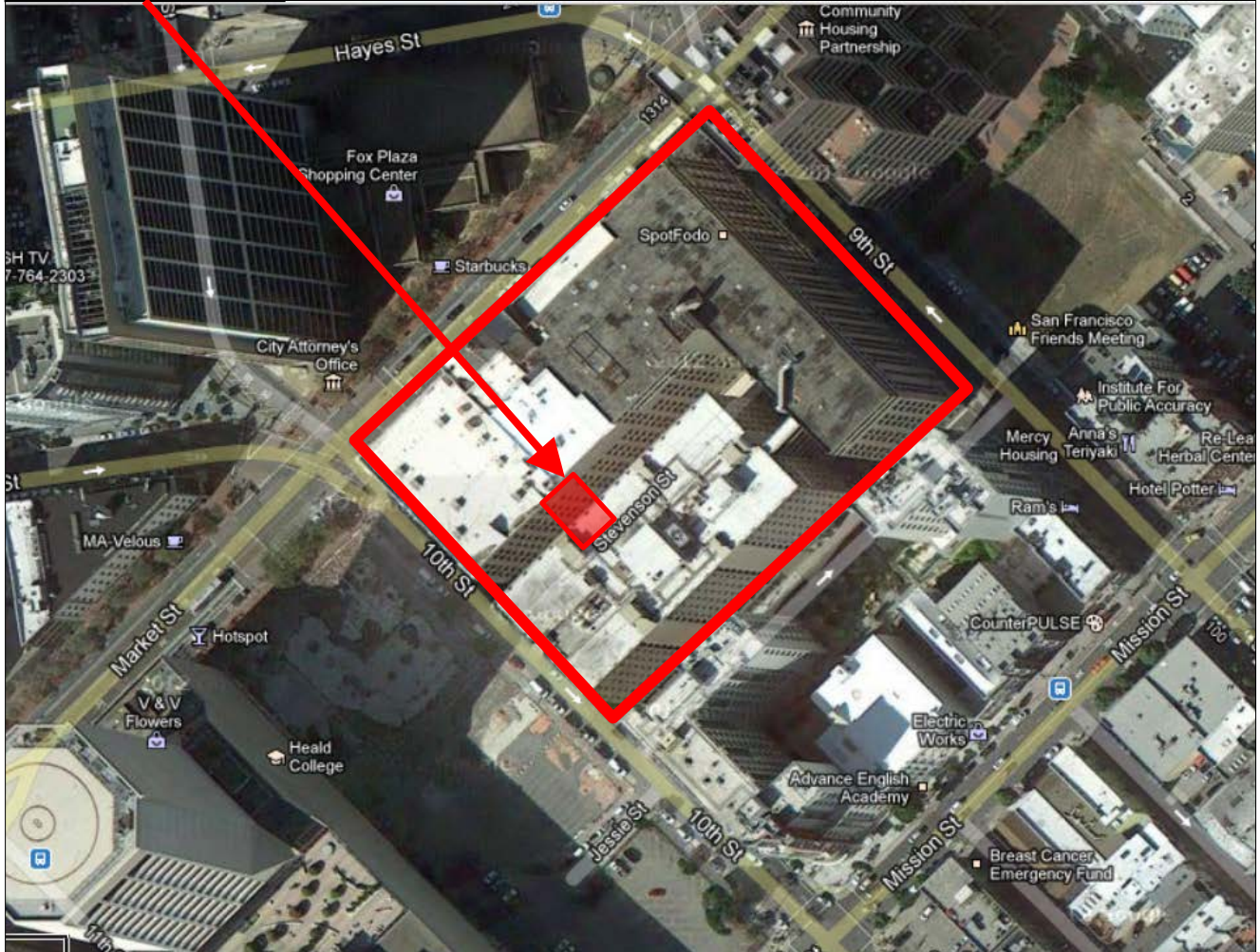
*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.

Major Permit to Alter Hearing
Case Number 2015-005689PTA
855 Stevenson Street



Aerial Photo

SUBJECT PROPERTY



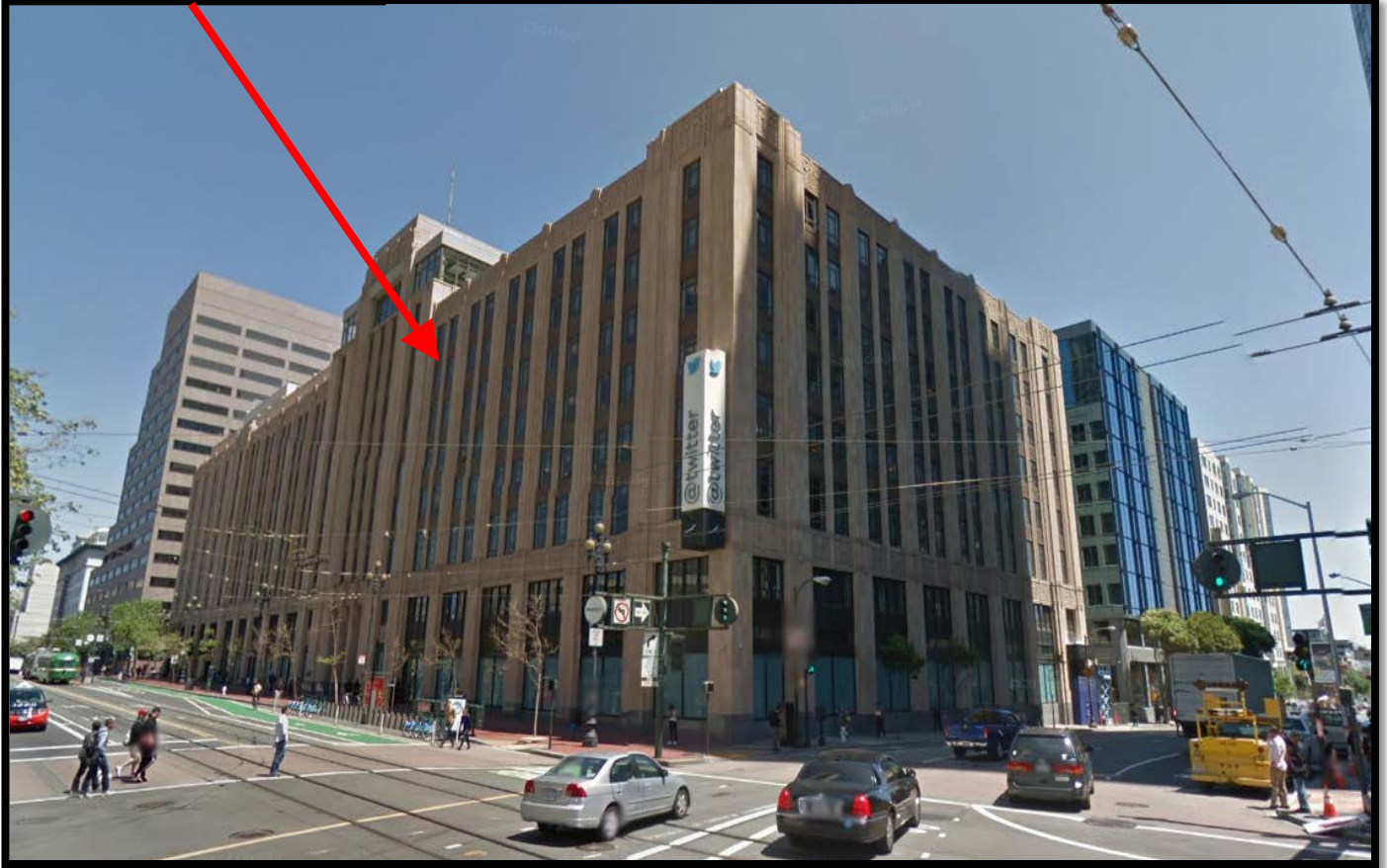
Zoning Map



Major Permit to Alter Hearing
Case Number 2015-005689PTA
855 Stevenson Street

Site Photos

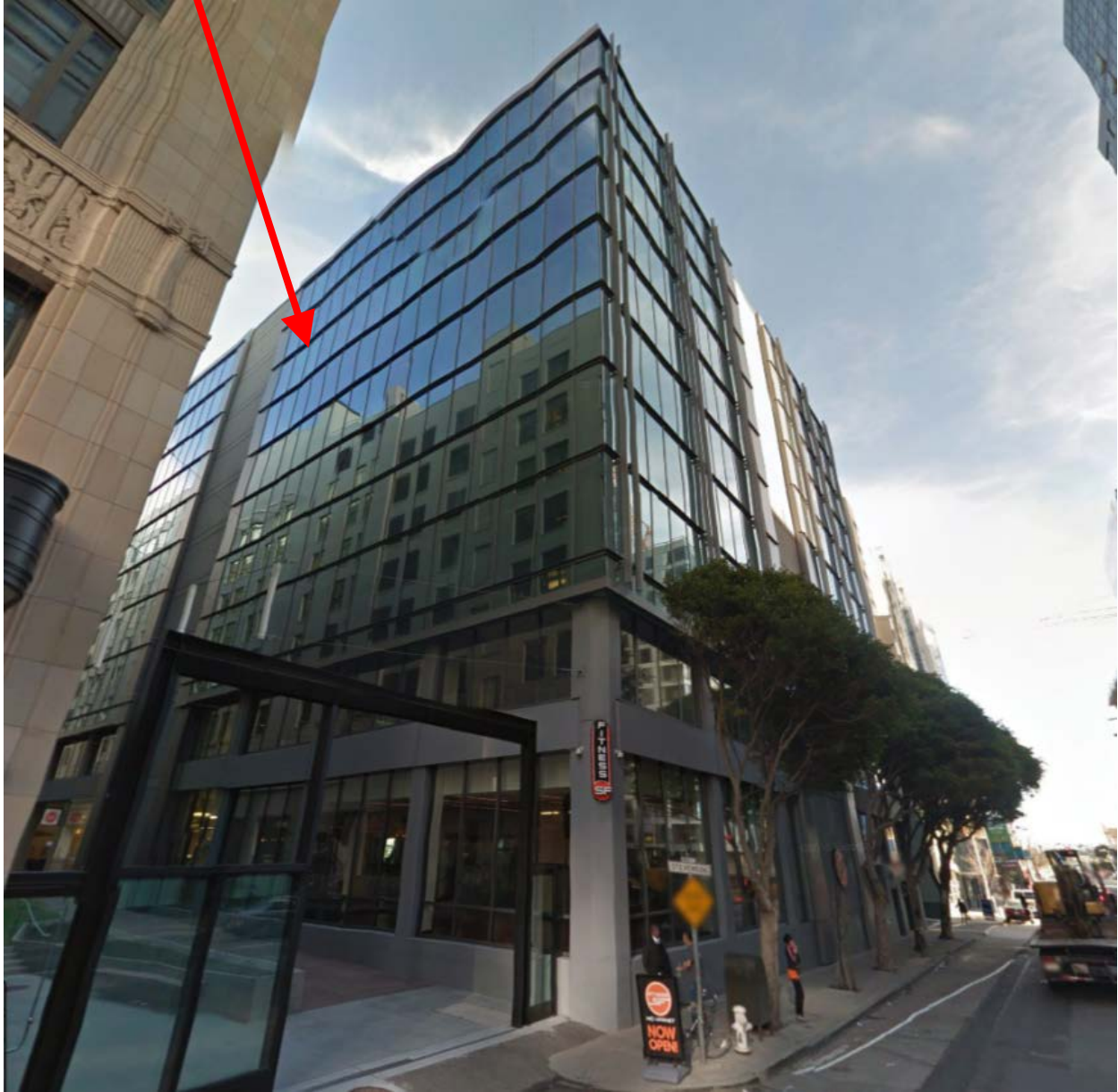
SUBJECT PROPERTY AT 1355
MARKET STREET



Major Permit to Alter Hearing
Case Number 2015-005689PTA
855 Stevenson Street

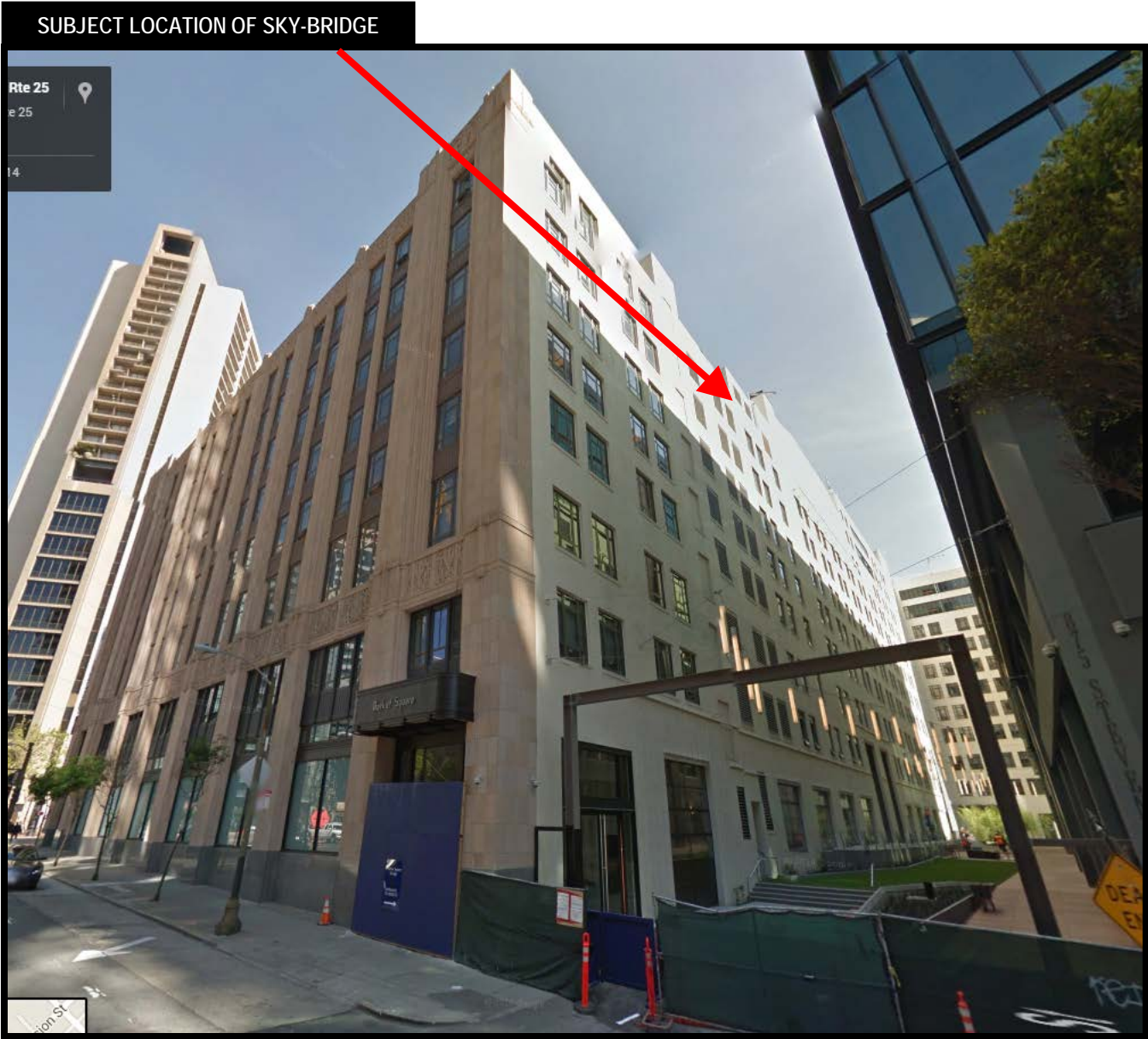
Site Photos

SUBJECT PROPERTY AT 875 STEVENSON STREET



Major Permit to Alter Hearing
Case Number 2015-005689PTA
855 Stevenson Street

Site Photos



Major Permit to Alter Hearing
Case Number 2015-005689PTA
855 Stevenson Street



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

DATE: June 17, 2015
TO: Paul Grafft, Project Sponsor
FROM: Lily Yegazu, Preservation Planner, (415) 575-9676
REVIEWED BY: Architectural Review Committee of the
Historic Preservation Commission
RE: **Meeting Notes from the Review and Comment at the
June 17, 2015 Hearing for 855 Stevenson Street**

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Planning Department Preservation Staff has drafted a summary of the key points from the July 17, 2015 Architectural Review Committee (ARC) meeting. At that hearing, the Department requested review and comments regarding the compatibility of the proposed project with the Secretary of the Interior Standards and compatibility of the proposed project with the Category I (Significant) Building at 1355 Market Street. Specifically, the department requested review and comments regarding the project's design, location, overall size, lighting plan, materials and finishes with the building at 1355 Market Street and the recommendations proposed by staff.

ARC RECOMMENDATIONS

- Design:** The ARC concurred with staff that proposed sky-bridge appears to be consistent with the Standards in that the sky-bridge's contemporary design theme, which is expressed as a three-dimensional, sculptural object is appropriate and is sufficiently differentiated from the historic features of the existing building at 1355 Market Street. Additionally, the ARC concurred with staff that the overall design of the sky-bridge relates to the improvements made to the public plaza below on Stevenson Street.
- Location and Overall Size:** The ARC concurred with staff that the proposed sky-bridge appears to be consistent with the Standards in that it is located on a secondary façade and will not alter any character-defining features of the Category I (Significant) Building. In addition, the ARC concurred that the alteration of two window openings on the 9th floor will not substantially alter the fenestration pattern on the rear façade and that overall size of the connection points of the sky-bridge will ensure the rhythm of the window openings on the upper floors of the rear façade at 1355 Market Street is continued, by aligning the outer edges of the sky-bridge with the sides of the paired existing windows. Additionally, the ARC concurred that the location of the sky-bridge on the rear façade of the 1355 Market Street building and substantial setback from 10th Street ensures the sky-bridge reads as a secondary and subordinate addition to the historic resource.

3. **Material and Finishes:** The ARC concurred with Staff's recommendation that the glass shingles be comprised of single panels for the full height of the sky-bridge and that each glass panel be comprised of insular, single pane (low iron) glass units without frames.

4. **Maintenance and Lighting Plan:** The ARC recommended that maintenance of the proposed lighting on the sides and the underside of the sky-bridge as well as maintenance of the glass panels be given more attention and be addressed at the design stages as it may pose cleaning and lighting maintenance challenges given the sky-bridge design does not allow for access to the exterior from inside the sky-bridge.



MARKET SQUARE
1355 Market Street
San Francisco, CA



MARKET SQUARE

MAJOR PERMIT TO ALTER :: APPENDIX

Prepared for the
Historic Preservation Commission



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BUILDING OVERVIEW AND PROJECT SUMMARY

BUILDING HISTORY

Market Square was constructed in 1937 as the Western Merchandise Mart & Furniture Exchange. Located at 1355 Market Street, the eleven-story, 500,000 square-foot, reinforced concrete building was designed in the Art Deco style by Capital Company architects and Cahill Brothers general contractors, and was clad in terracotta by Gladding McBean Co. The cost of construction was estimated at \$2,500,000. Market Square was built as a furniture showroom, and has received several major additions since its original construction: two additions were added to the ninth floor in 1941; a nine-story wing was added along Ninth Street in 1947 that matches the massing and detailing of the original building; the tenth floor was added and the central Market Street tower was altered in 1958; the eleventh floor was added in 1963; the ground floor storefronts were replaced in the 1980s; and the windows on floors three through nine were replaced in 2002 with new aluminum sash windows that are compatible with the original windows. In early 2012, the ninth floor addition west of the central tower was removed as part of a major renovation that converted the building from showroom space to office space. At that time, a new lobby was added to the western wing and the Stevenson Street alley was converted to a public park space.



Historic photo from 1937 (San Francisco Public Library)

HISTORIC STATUS

Market Square is listed as a Category I building in Article 11 of the San Francisco Planning Code, and has been determined through previous survey efforts to be a building that “appears eligible for listing in the National Register as an individual property.” Market Square is significant as an example of the Art Deco style in San Francisco, and as a large commercial building on this part of Market Street. Its size, scale, and design create an important street presence rivaled by few other San Francisco buildings and allow it to serve as a major commercial anchor for this area.

Character-defining features of the building include:

- Vertical piers along Market, Ninth and Tenth Streets
- Decorative terra cotta with Mayan-influenced detailing at the entrance and cornice
- Fenestration pattern
- Decorative cast iron spandrels
- Massive concrete column structure
- Decorative plaster ceiling in the historic lobby
- Marble wall panels and decorative metal in the historic lobby
- Mural in the historic lobby



Market Square, 2008 (Page & Turnbull)

PROJECT SUMMARY

Both the 1355 Market and 875 Stevenson Street buildings were recently renovated and construction was completed in 2014. Several of the upper floors in both buildings have been leased by a common tenant. The ninth floor of 1355 Market includes a commons area for employees, and 875 Stevenson has a similar amenity on the ninth floor.

In order to connect the two common areas, a skybridge that connects 1355 Market and 875 Stevenson is proposed. The proposed skybridge will be installed on the south facade of 1355 Market Street and connect to the north facade of 875 Stevenson Street. The south facade of 1355 Market is a secondary facade with no ornamentation where the skybridge is proposed. The dominant feature of this facade is the fenestration pattern of the windows. Only two windows must be removed to construct the skybridge; therefore, the fenestration pattern of this facade will continue to be dominant. The windows are non-originals in original openings. No other historic features will be removed as part of the proposed project.



Market Square, 2014 (Bruce Damont)

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HISTORIC IMAGES

EXTERIOR



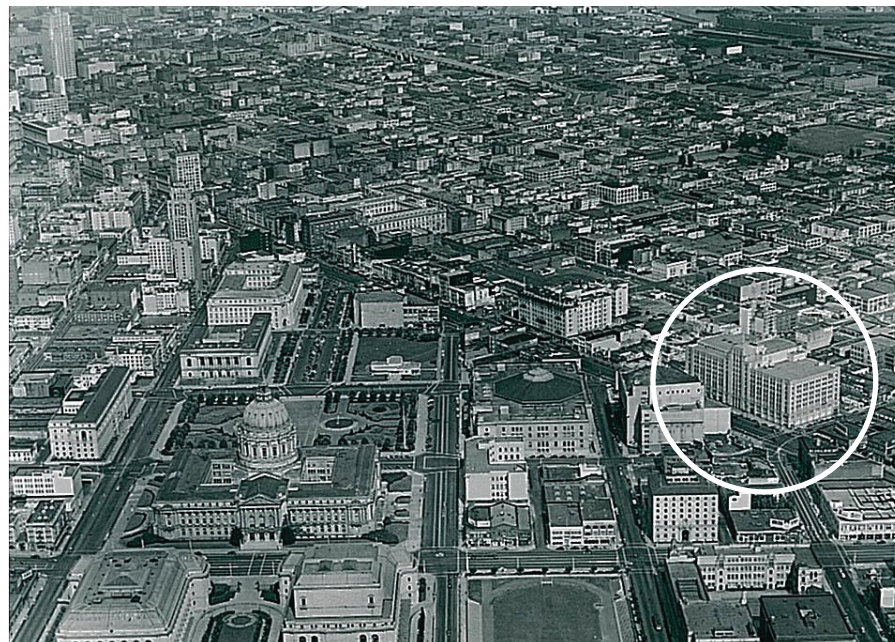
View southeast from corner of Tenth and Market Streets, 1937
(San Francisco Public Library Historical Photograph Collection (SFPL), #AAC-5020)



View southwest from corner of Ninth and Market Streets, 1955
[Note completed Ninth Street wing (1947), and wood-frame ninth floor additions (1941)] (SFPL, #AAC-5016)



View southwest from corner of Ninth and Market Streets, 1965
[Note eleventh floor addition (1963)] (SFPL, #AAC-5017)



Aerial photograph, circa 1937
[Note original configuration of ninth floor] (Market Square Archives)



View southwest from corner of Ninth and Market Streets, 1961
[Note tenth floor addition and tower alterations (1958)] (SFPL, #AAC-5012)



Demolition in preparation for Mart 2 construction with view of Stevenson Street facade, 1973 (Market Square Archives)

HISTORIC IMAGES

EXISTING CONDITIONS IMAGES

VICINITY



View west along Market Street from Larkin Street.



View east along Market Street from Van Ness.



Ninth Street, looking southeast from Market Street.



Tenth Street, looking north from Mission Street (Market Square in red dashed rectangle.)

Market Square is located on the south side of Market Street between Ninth and Tenth streets in the Mid-Market area near San Francisco’s Civic Center National Register Historic District and the Market Street Theatre and Loft Historic District. This area has historically been associated with a variety of commercial and light industrial uses, together with theatres, shops, factories, and offices.

Today, the neighborhood immediately surrounding Market Square is characterized by a mixture of commercial, residential, office, government, and entertainment uses. Buildings in the neighborhood date from a variety of eras, feature large footprints and massing, and range from four to thirty stories in height. Mid-Market has recently experienced a new surge in construction that includes new housing, restaurants, renovated offices and theaters. This new construction has contributed to revitalizing the area.

Market Square fits within the historic context of the area’s commercial development. The proposed project at Market Square does not include any additions or major exterior alterations that would affect the building’s relationship to the surrounding neighborhood, or the significance of the nearby historic districts.



EXISTING CONDITIONS IMAGES

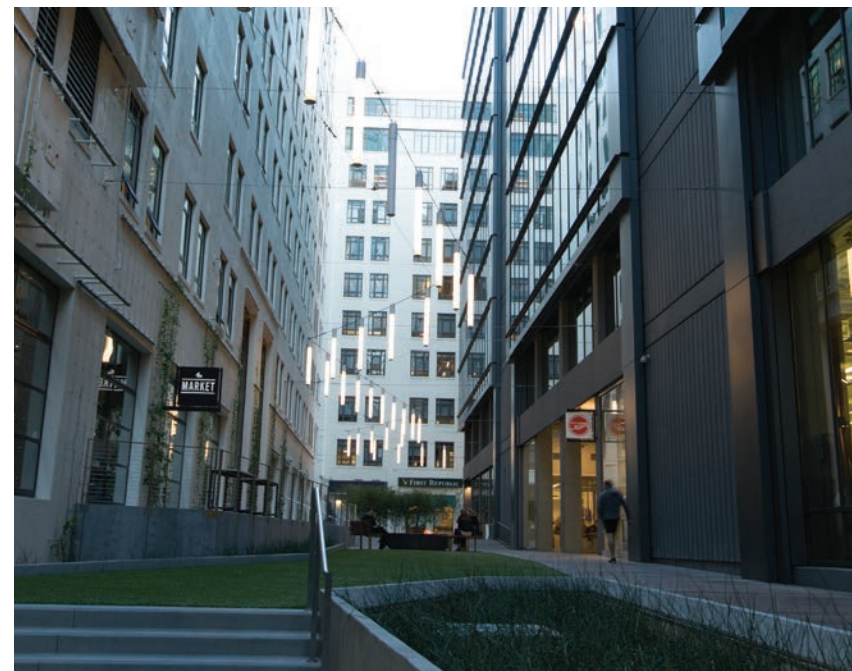
BUILDING EXTERIOR



View of building at Market Street and Tenth Street (Bruce Damont)



Main entry at Market Street (Bruce Damont)



Stevenson Street (Bohlin Cywinski Jackson)



Historic canopy at Tenth Street (Bruce Damont)

The exterior of 1355 Market Street is in good condition. Significant architectural features such as the decorative terra cotta and cast iron spandrels have been well maintained and are mostly unaltered. Additions to the building have not removed significant fabric from the building, except at the tower.

The 2012 rehabilitation addressed deferred maintenance issues. The rehabilitation included new windows at the tenth and eleventh floors where the old steel windows were severely deteriorated. The windows at the second floor were replaced and the cast iron spandrels at all levels were repaired and painted. The storefronts were also replaced as part of the rehabilitation work. The scope at the Stevenson Street facade consisted of new openings at the first floor to accommodate the new program. General repairs were made to the cement plaster.

EXISTING
CONDITIONS
IMAGES

STEVENSON STREET

Prior to the renovation completed in 2014, the Stevenson Street alley between 1355 Market and 875 Stevenson was used for back of house activities including loading and unloading. The alley had an industrial feel and exhibited some disrepair. The renovation transformed the alley into a public park that is now used by tenants of the two buildings as well as the general public. The character of the alley is now modern and sleek. It creates a space where both the Art Deco 1355 Market and glassy 875 Stevenson buildings can be viewed together. It provides a buffer space as well as a connection between the two buildings.



View of Stevenson Street from Tenth Street prior to the renovation



Stevenson Street, view looking east, after renovation (BCJ)



Stevenson Street, view looking east, after renovation (BCJ)

STEVENSON STREET



View looking north from Jessie Street of previous skybridge.



Current view looking north from Jessie Street showing reversible condition of the previous skybridge location. (BC)

PREVIOUS SKYBRIDGE

875 Stevenson Street was constructed in 1975 by the then owner of 1355 Market Street. The buildings were historically connected by owner and use, and were physically connected when a nine-story skybridge was built at Jessie Street. Visitors and tenants were able to go directly from one building to the other via the old skybridge, without having to go outside of either building. The skybridge was constructed of concrete with window walls that allowed for some transparency.

The previous skybridge was removed when both 1355 Market and 875 Stevenson were renovated. The void left at 1355 Market was patched and repaired and the facade was restored.



Previous skybridge connection to 1355 Market Street building.

STEVENSON STREET

PROJECT DESCRIPTION



The rehabilitation of 1355 Market Street and 875 Stevenson Street included the removal of the skybridge that connected the two buildings at Jesse Street. The void left at 1355 Market was patched and repaired and the facade was restored. The rehabilitation did not anticipate that a single tenant might occupy significant portion of both buildings when the former skybridge was removed.

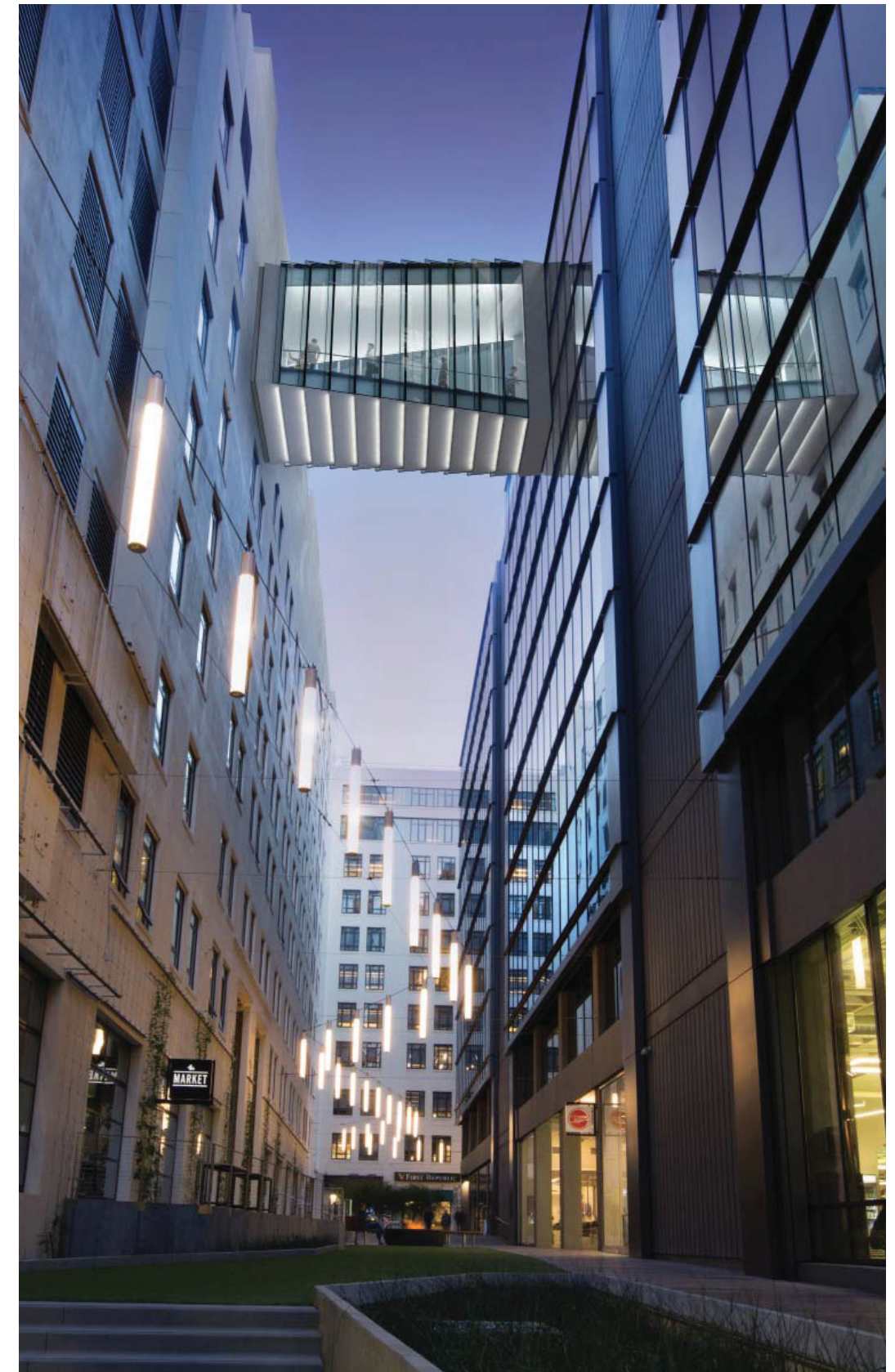
The proposed skybridge will once again connect 1355 Market Street and 875 Stevenson Street. The skybridge will allow employees to go from the commons area in 1355 Market to the commons area at 875 Stevenson Street. The bridge will be located at the south facade of 1355 Market Street, along the Stevenson Street park space. This facade has a cement plaster finish and is a secondary facade with no ornamentation. The main feature of this facade is the regular fenestration pattern created by the array of windows.

The skybridge will connect the 9th floors of 1355 Market and 875 Stevenson Street. At 1355 Market, the bridge will be about 15 ft. in overall height. At Stevenson Street, the bridge will be about 20 ft. in overall height. The span of the bridge will be about 38 ft. Structural steel support arms will be integrated into the design of the bridge. The arms will rest on the floor of each building and will be seismically independent. The bridge will be about 100 ft. above Stevenson Street.

The skybridge will consist of overlapping, glass shingles hung from an aluminum curtain wall. Each glass panel will be about 3 ft. wide and will span the height of the bridge. The underside of the skybridge will be clad with painted aluminum panels that are stepped and “shingled” in a manner similar to the glass facade. The stepping of the aluminum panels will create a small overlap between each plate where a cove light will be installed. The roof of the bridge will slope to drain toward 1355 Market and water will be diverted to an internal drain so that there are no exposed down spouts.

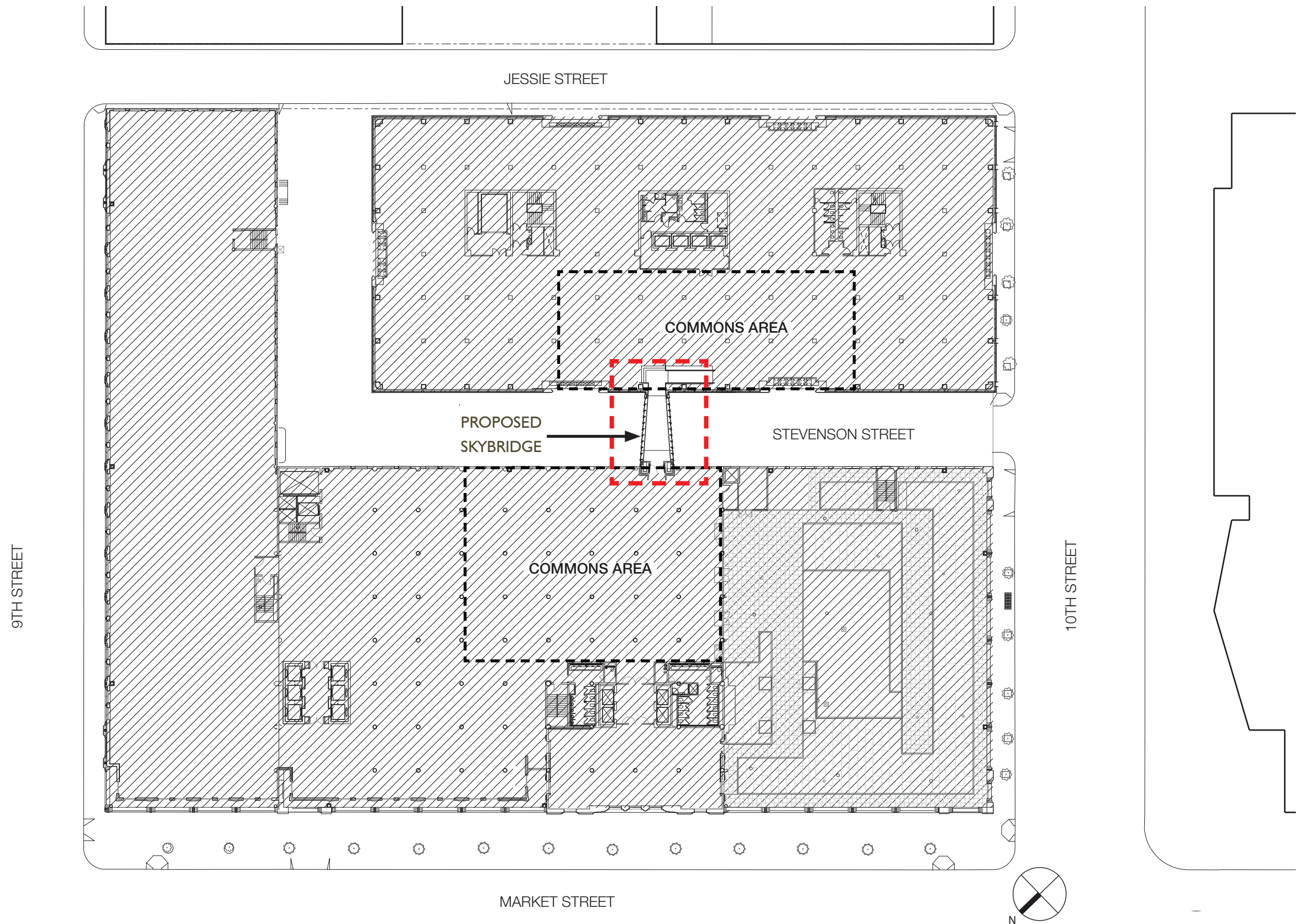
PROPOSED PROJECT

The construction of the bridge will result in the removal of two windows of 1355 Market; however, sufficient windows will remain in place so that the fenestration pattern of this facade can still be conveyed. Further, the skybridge will be reversible so that if it is removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired. The proposed skybridge will be differentiated in appearance and materials from 1355 Market but will be consistent with the aesthetic of the new park space in Stevenson Street. Its contemporary form and design will complement the park and the skybridge will read as an object of interest for the users of the park.

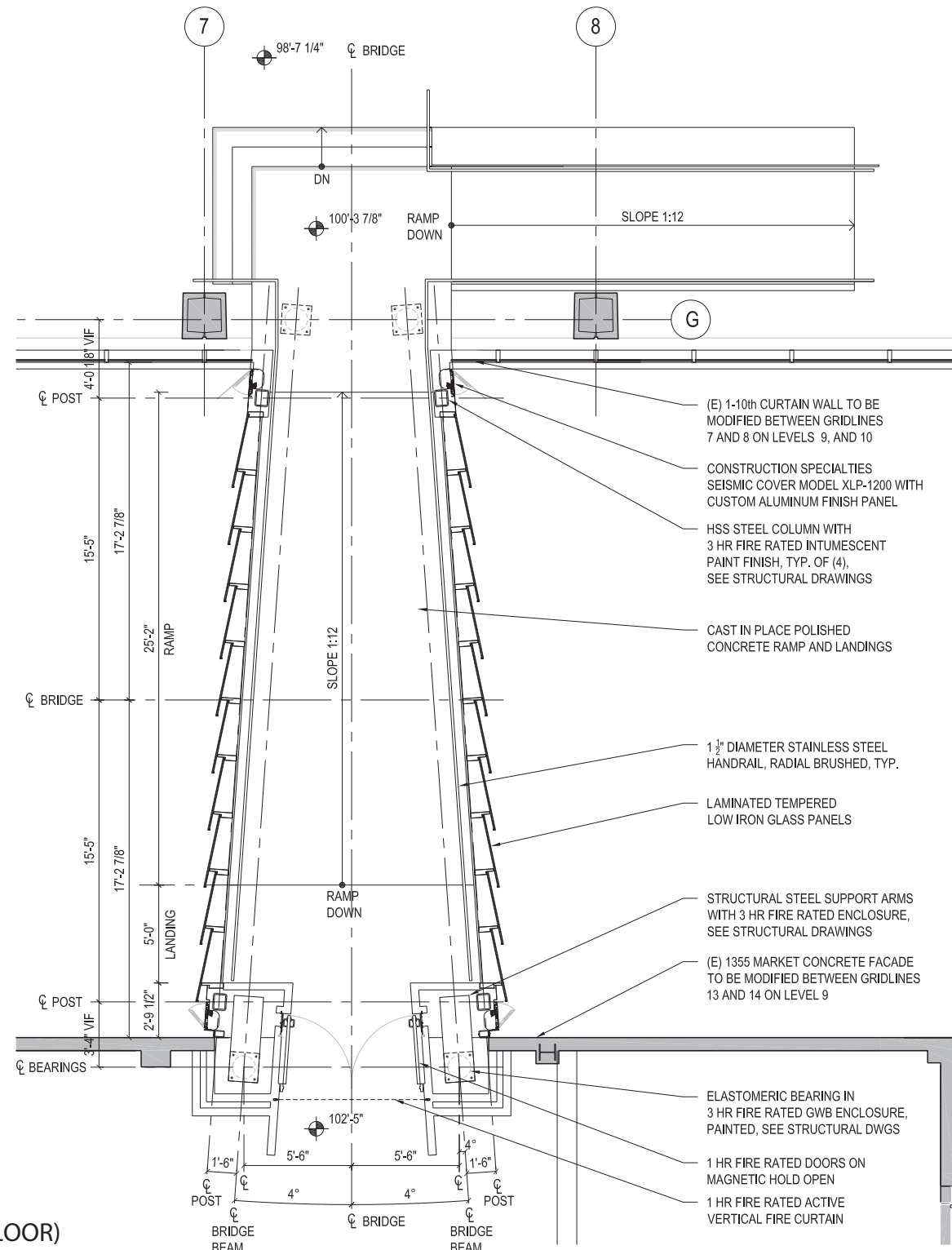




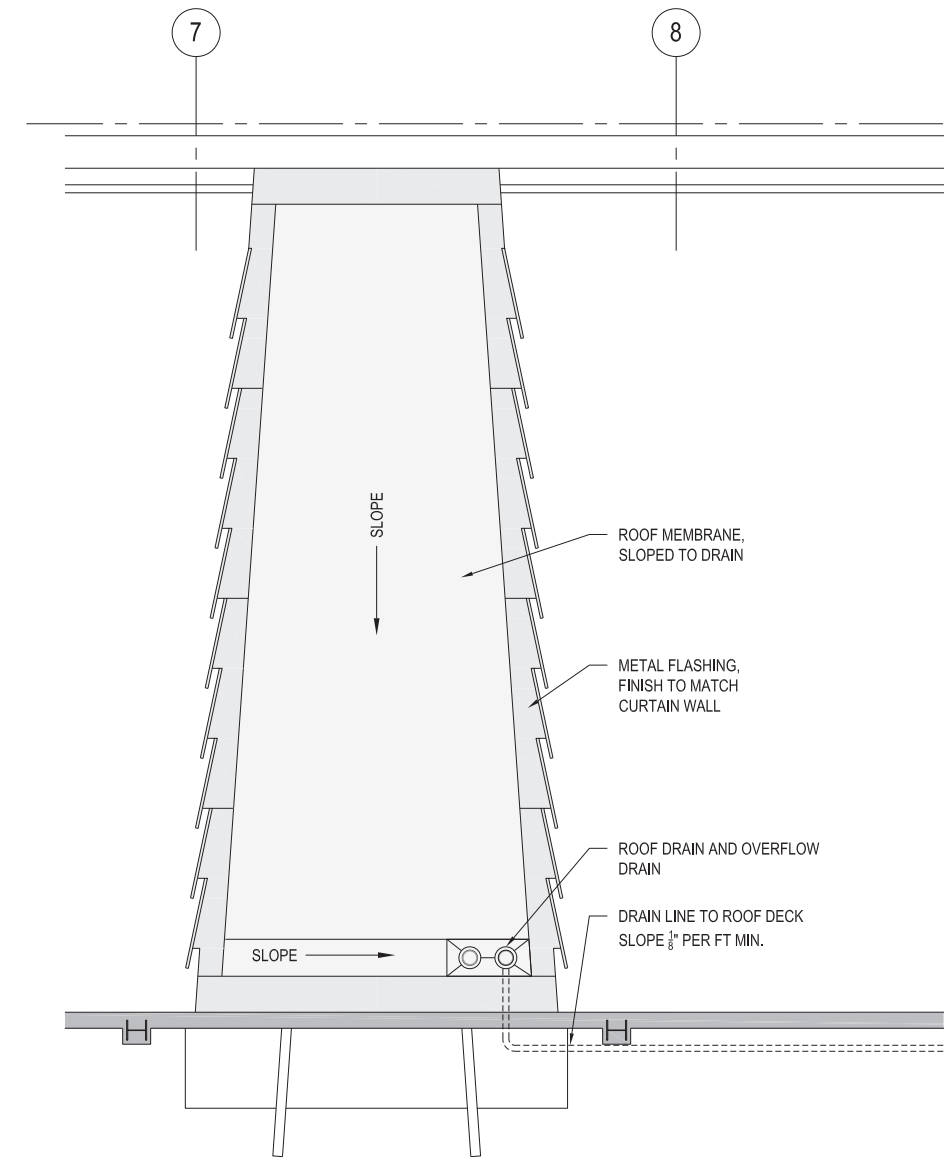
PROPOSED PLANS



PROPOSED PLANS



PLAN (NINTH FLOOR)
1/16"=1' 0"



ROOF PLAN
1/16"=1' 0"





ELEVATIONS

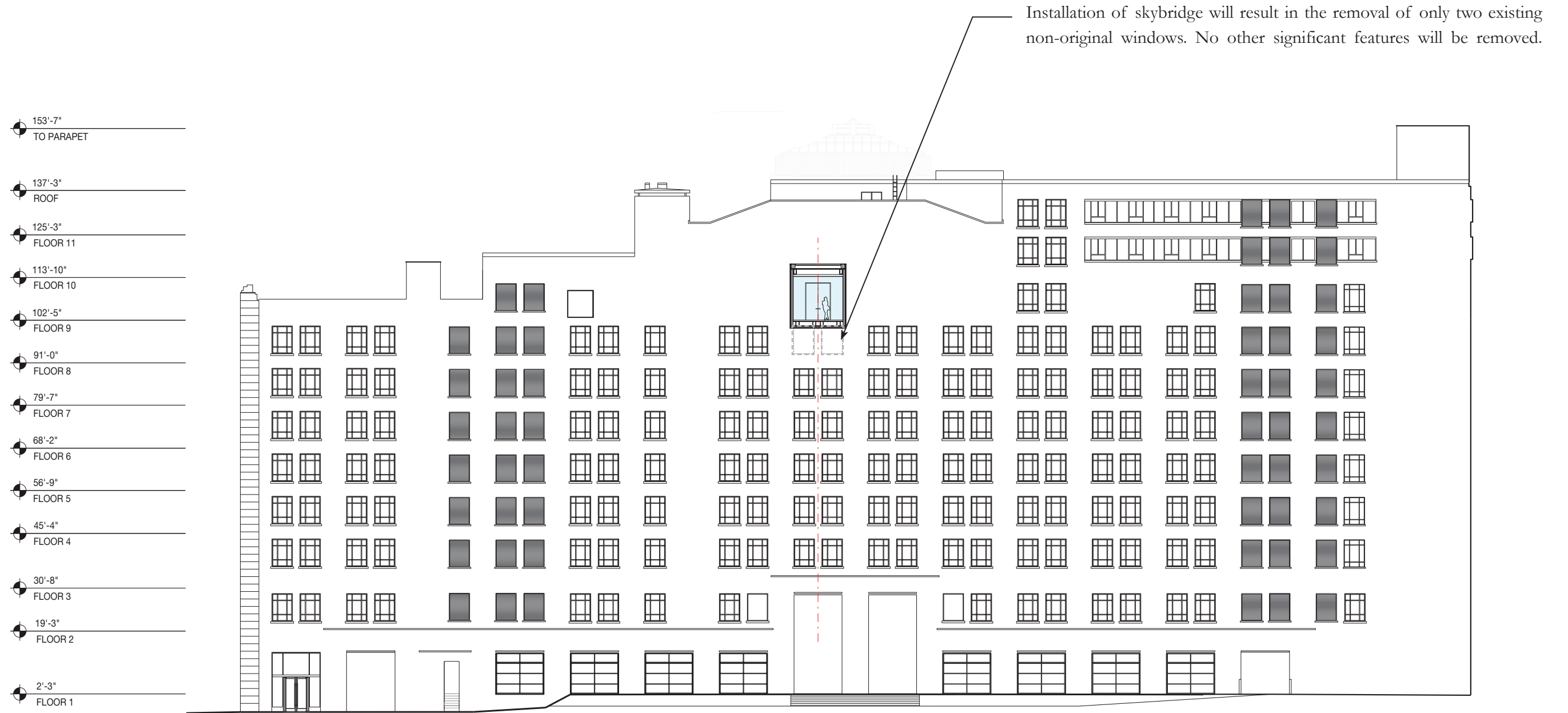
1355 MARKET, EXISTING SOUTH ELEVATION





ELEVATIONS

1255 MARKET, PROPOSED SOUTH ELEVATION

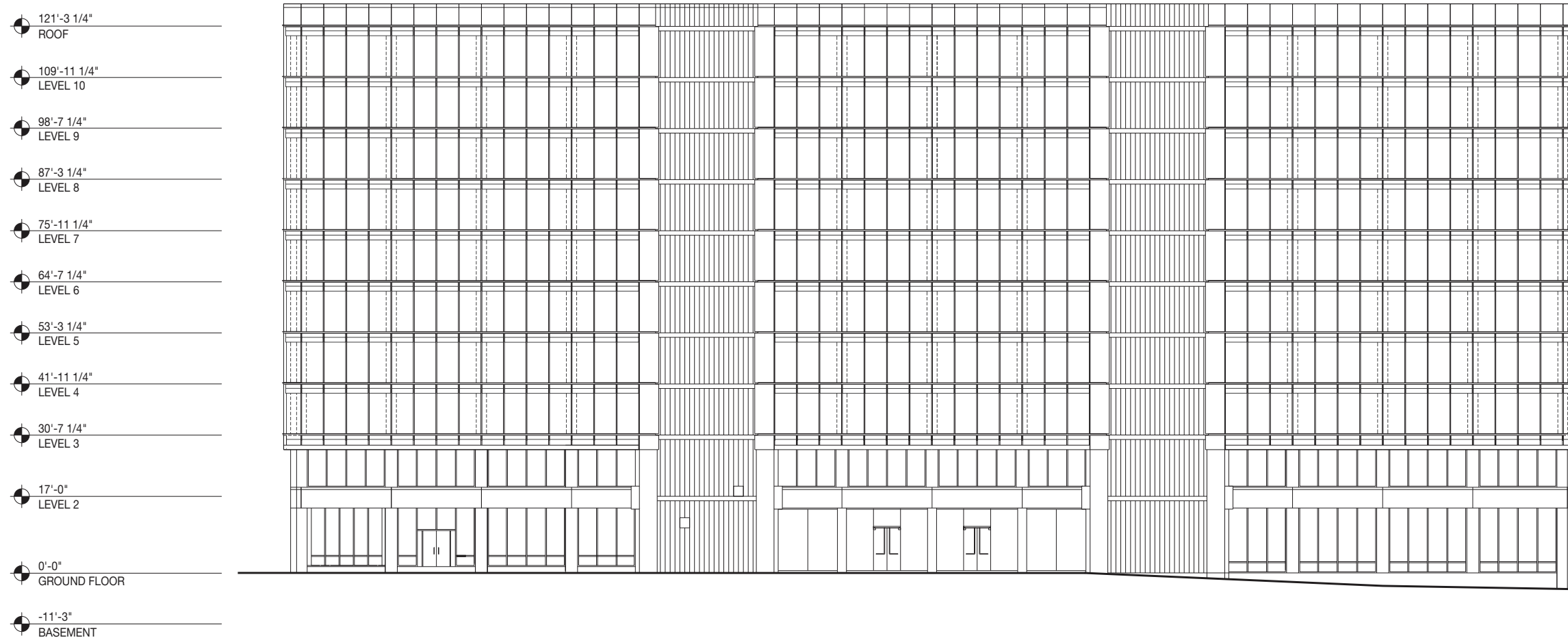


ELEVATIONS



ELEVATIONS

875 STEVENSON STREET, EXISTING NORTH ELEVATION

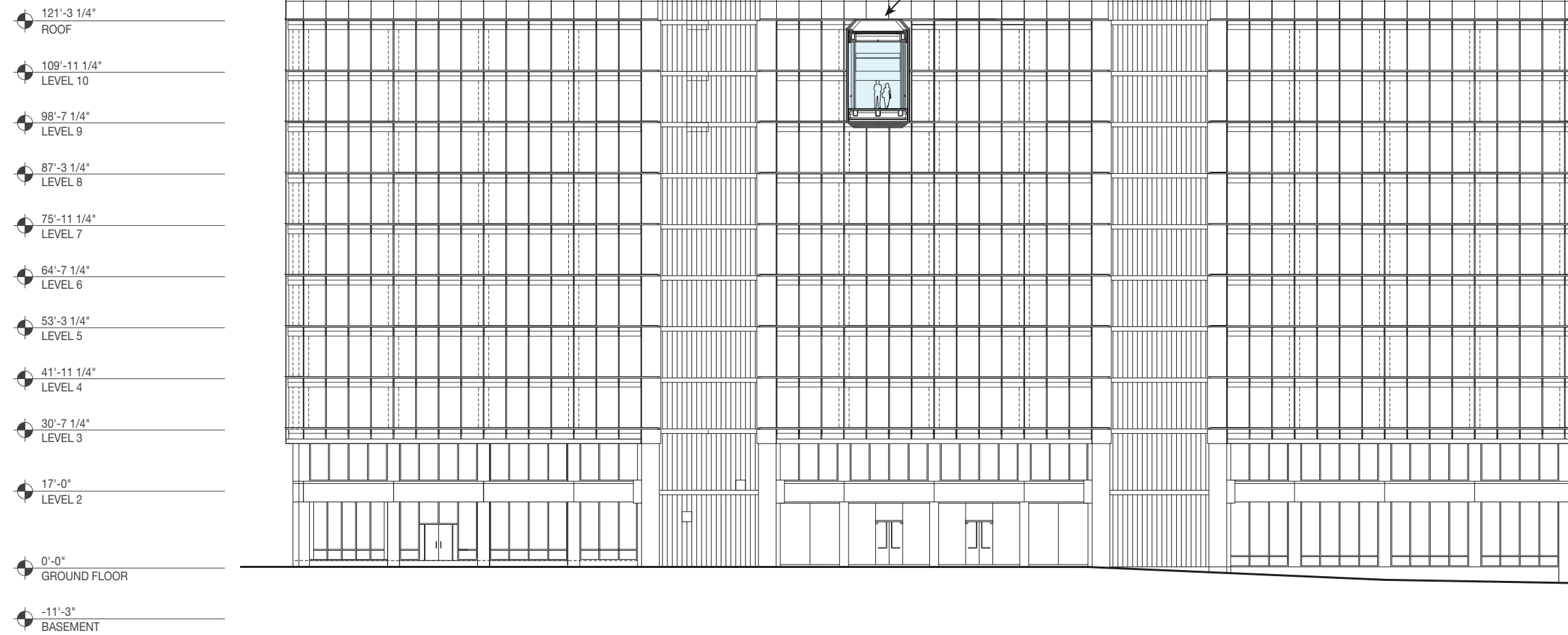




ELEVATIONS

875 STEVENSON STREET, PROPOSED NORTH ELEVATION

AT 875 STEVENSON, THE SKYBRIDGE WILL CONNECT TO THE 9TH FLOOR AND INCLUDE AN OVERLOOK AT THE 10TH FLOOR

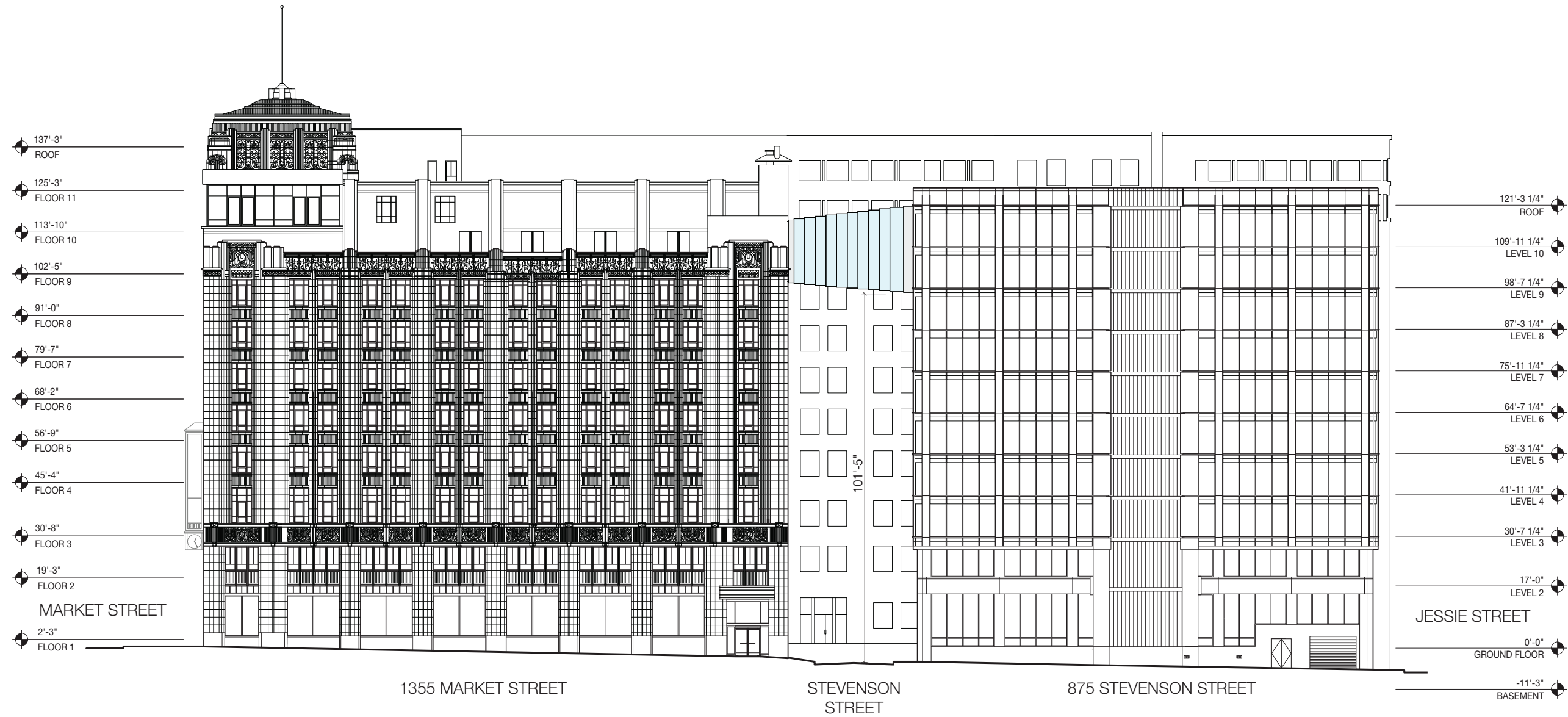


ELEVATIONS



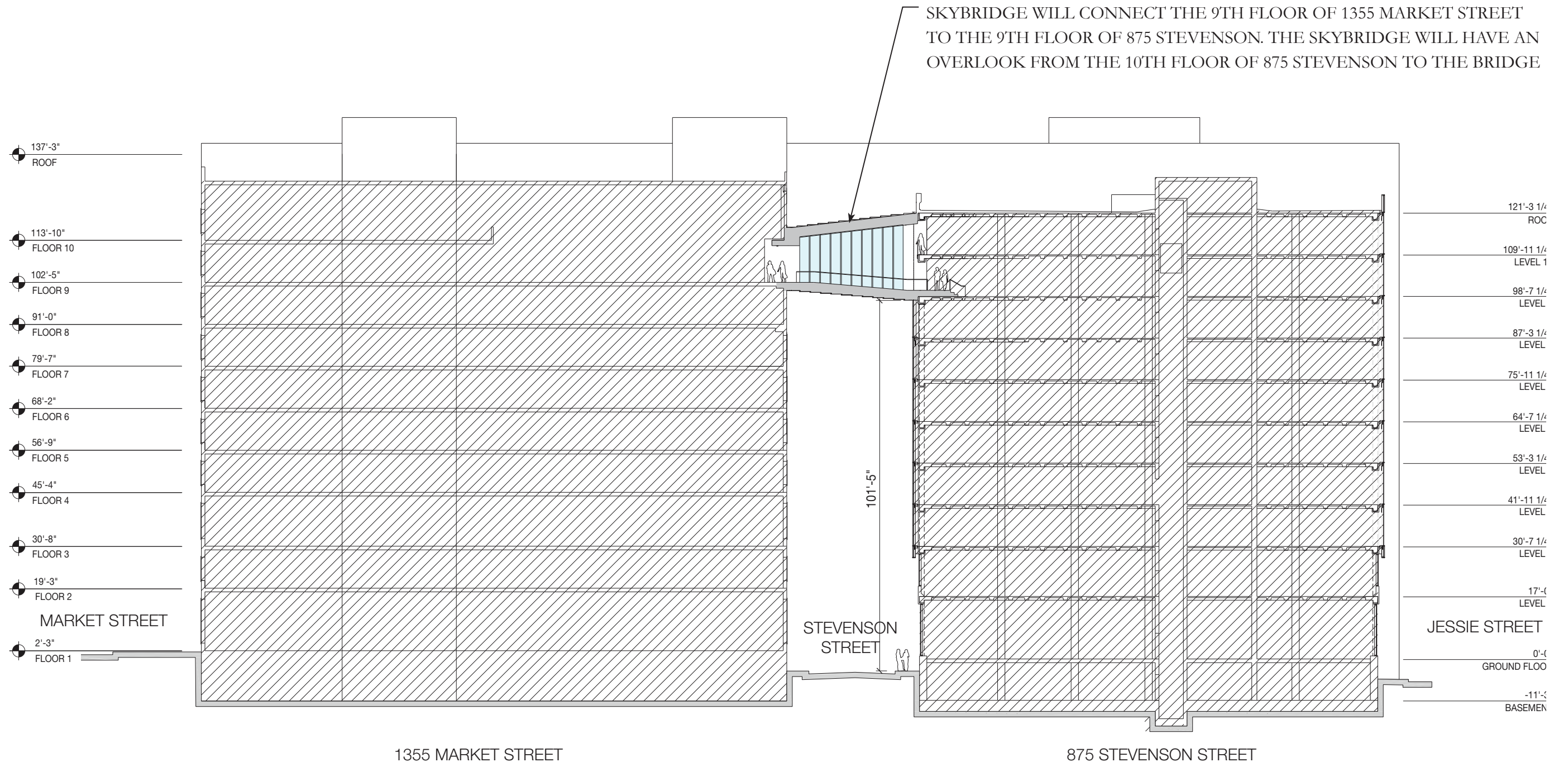
ELEVATIONS

PROPOSED TENTH STREET ELEVATION



ELEVATIONS

PROPOSED SECTION

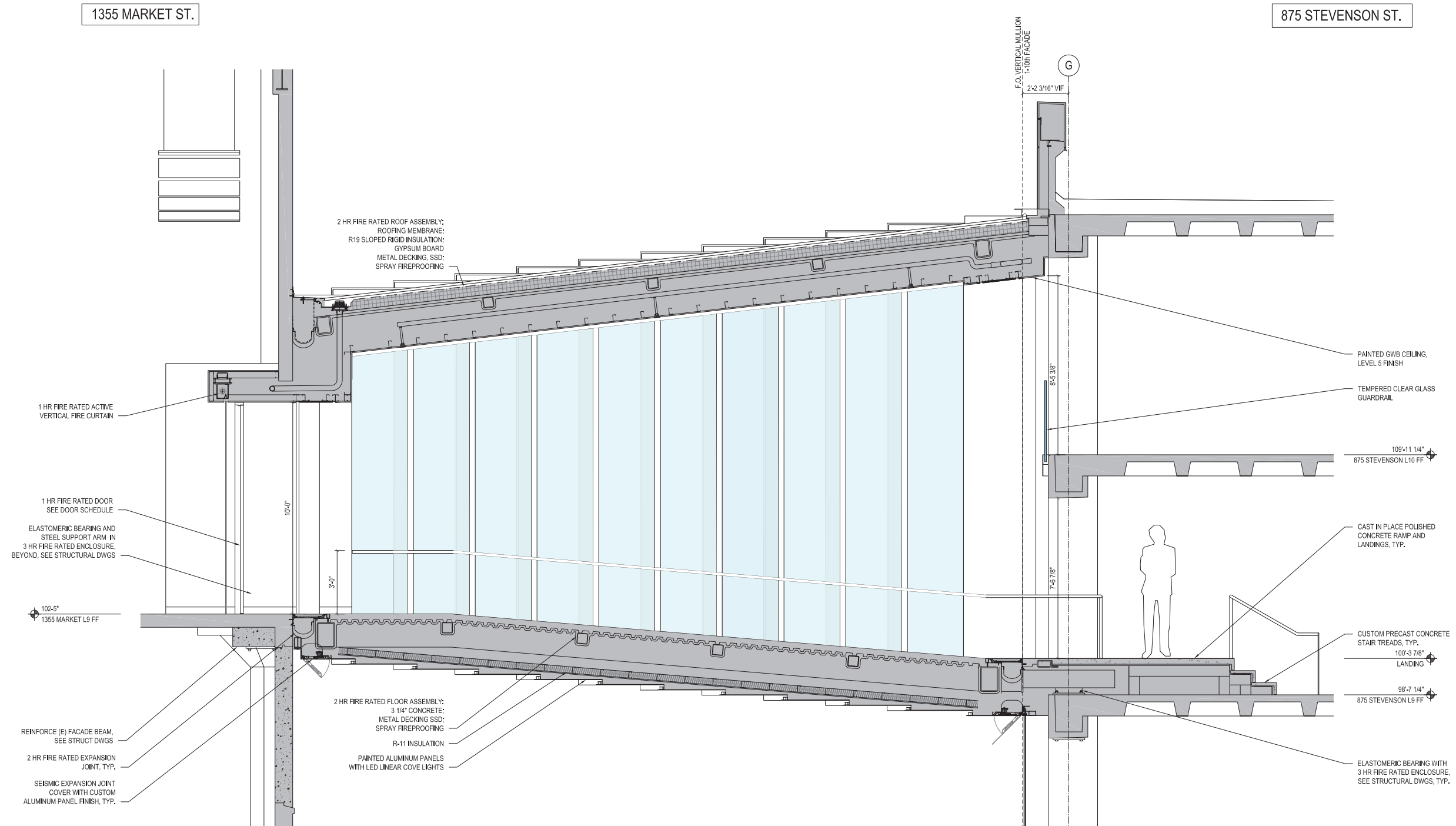


Section through 1355 Market Street, Proposed Skybridge, and 875 Stevenson Street

ELEVATIONS

SECTIONS

SECTION THROUGH PROPOSED SKYBRIDGE



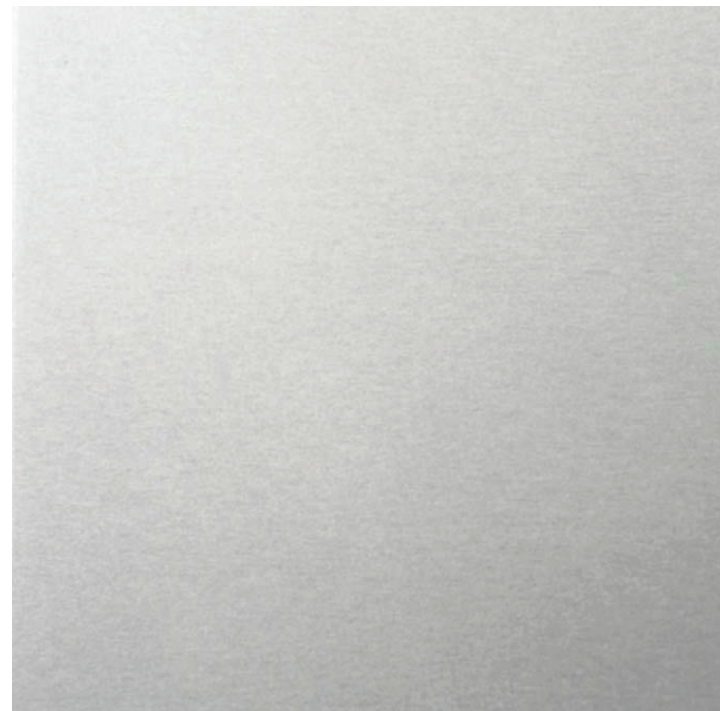
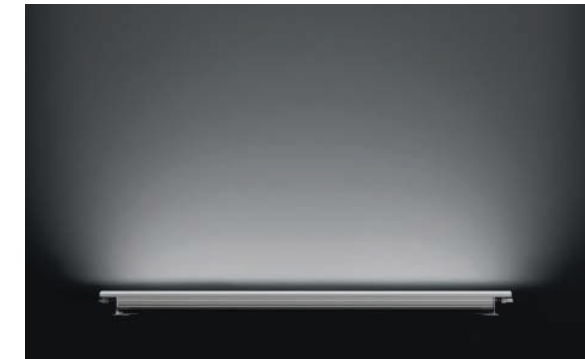
MATERIALS PALETTE



Interior Flooring: Polished Concrete



Lighting: LED Cove Lighting



Exterior Metal Panels: Aluminum with Kynar Finish



Exterior Glazing: Shingled Glass Panels

BUILDING CHRONOLOGY

1915: Western Furniture Exchange & Merchandise Mart established by Harry J. Moore at 1055 Market Street. This new Merchandise Mart was the largest furniture exchange west of Chicago.

1921: Western Furniture Exchange & Merchandise Mart located at 180 New Montgomery Street.

1937: New Western Furniture Exchange & Merchandise Mart constructed at 1355 Market Street for an estimated cost of \$2,500,000. The nine-story reinforced-concrete building was designed in the Art Deco style by Capital Company architects with Cahill Brothers as general contractors, and was clad in terracotta by Gladding McBean Co. The 500,000 square foot building was constructed with eight show floors and a two-story central tower, with a full-service garage located in the basement and the “Mart Club” ballroom on the ninth floor.

1941: Two wood-frame rooftop additions added to ninth floor by Capital Company architects. Work included a large square addition to the west of the tower and a small rectangular addition at the east end of the Market Street façade, filling in the floorplate of the ninth floor. These additions are not character-defining features of the building, as they lack the same architectural quality and distinction as the remainder of the building.

1947: Ninth Street Wing added to the east of the original building, extending the Market Street façade across the entire block and lending the building an L-shaped plan. This nine-story addition was also designed by Capital Company, and copies the original building in form and finishes. The Ninth Street Wing housed a Bank of America branch on the ground floor, two additional entrances to the showrooms, and two metal canopies that matched those on the original building.

1958: Tenth floor added to the building by architects B.L. Nishkian and John G. Minton. The L shaped reinforced concrete addition was clad in stucco and featured steel ribbon windows with a combination of fixed, casement, and hopper windows.

The central tower was also remodeled at this time, and required the removal of the central arched windows and terracotta details to accommodate the new square reinforced concrete and glass construction. The remodeled tower and tenth floor addition are not character-defining features of the building, as their installation resulted in the alteration of the Market Street tower and their materiality and horizontal fenestration pattern are inconsistent with the character of the historic core.

1963: Eleventh floor added to the building. The addition was also designed by architects B.L. Nishkian and John G. Minton, and matched the tenth floor in plan and finishes. The eleventh floor addition is not a character-defining feature of the building because while its materiality and horizontal fenestration pattern match the 1958 tenth floor addition, its character differs greatly from that of the historic core.

1960s: Main lobby remodeled. The lobby was carpeted, a chandelier and round banquettes were installed in the center of the room, mirrored panels replaced the original glazing on the walls, awnings were hung over the mural and clock and the interior retail entrance, and the reception desk and signage were altered.

Late 1960s: Clock and vertical sign added to the corner of Tenth and Market streets sometime between 1965 and 1970. The original signage assembly featured a digital clock and thermometer, which has since been replaced by an analog clock. Many storefronts along Market Street were also replaced with aluminum assemblies at this time.

1975: 875 Stevenson Street constructed adjacent to Market Square. The ten-story reinforced concrete building known as “Mart 2” was designed by Jorge de Quesada, AIA, and was connected to 1355 Market Street by a pedestrian bridge over Stevenson Street.

1986: Ground floor storefronts replaced. This project included the replacement of the majority of storefronts along Market, Ninth, and Tenth streets; some new entrances were inserted, and new aluminum sash windows with tempered glass replaced the original steel sashes. Aluminum louvers and replacement glazing were installed in the storefront transoms as part of this renovation. No conclusive evidence was found about the treatment of the second floor windows at this time, but it appears that they were replaced.

1987: Ground floor renovations. Double-height rotunda added to the rear of the ground floor, creating a second lobby with two escalators, a new terrazzo floor, mirrored columns, and new light fixtures. Two entrances were punched in the Stevenson Street façade to provide access to the new rear lobby. The project also included restoring original features and replacing the terrazzo floor, light fixtures, and some of the mirrored wall panels in the historic entrance lobby.

1999: Walgreens replaced Bank of America as the ground floor tenant on the corner of Ninth and Market streets. The storefronts were replaced at this time, and awnings were installed at the transoms.

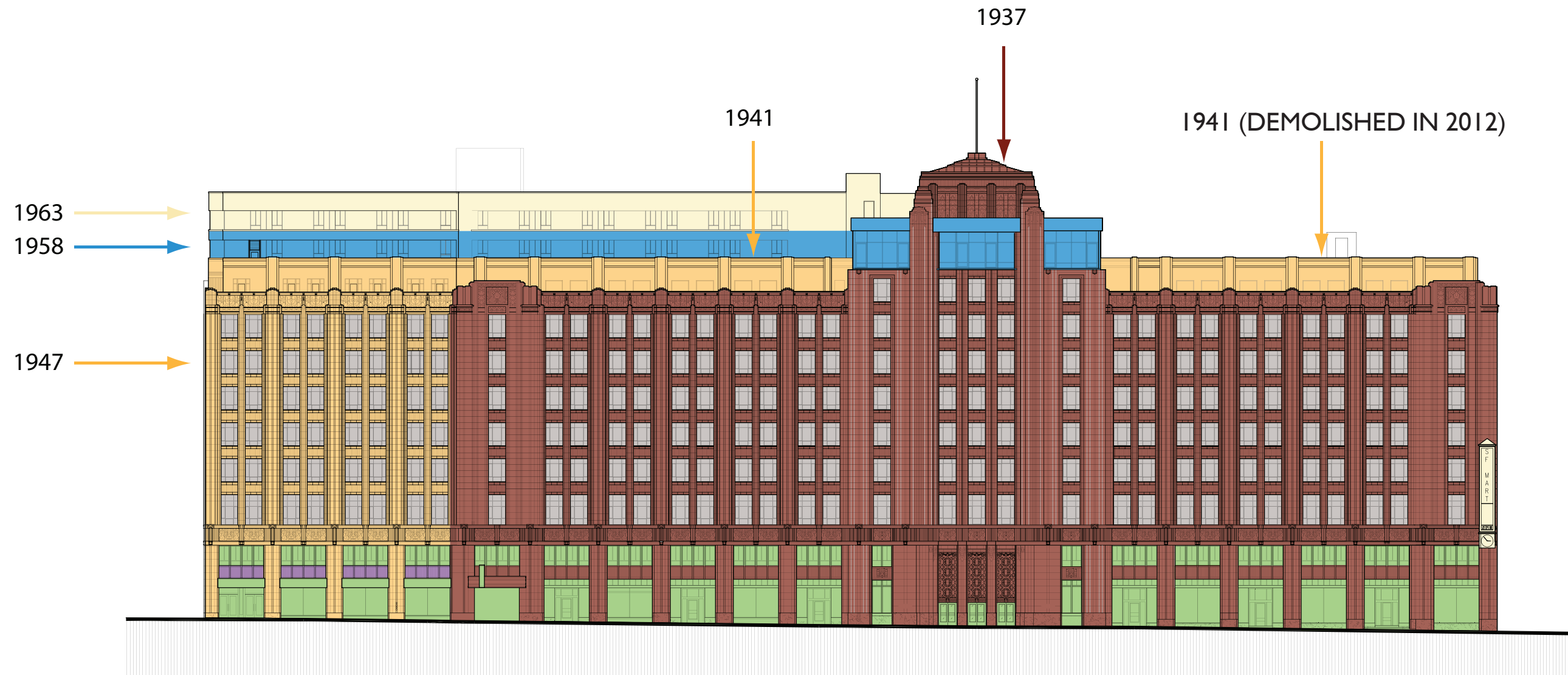
2002: Windows replaced on floors three through nine by architects Leclere Associates. The new aluminum sash windows match the original steel sash windows in profile and operation. The project also appears to include the demolition of the existing metal fire escape and installation of some new louvered windows on the Stevenson Street façade.

2008: Market Square still features furniture showrooms on several floors, but is largely vacant.

2011-2014: Rehabilitation of the building. Rehabilitation included seismic upgrade, new elevator lobby, new storefronts, new windows at second, tenth, and eleventh floors, new retail concourse at first floor. The non-historic ninth floor addition on the west side of the tower was demolished.



BUILDING CHRONOLOGY

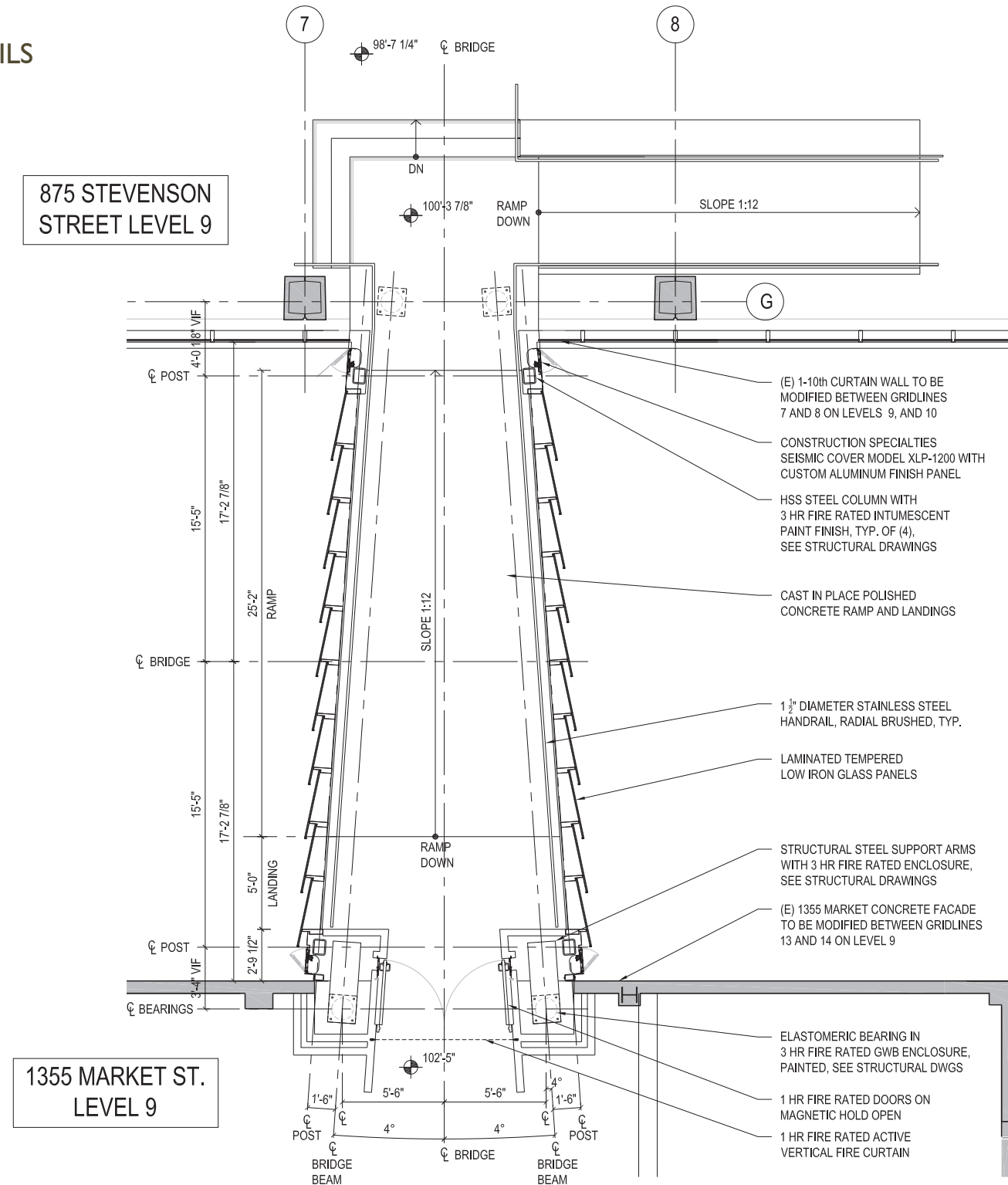


LEGEND:

- 1930s
- 1940s
- 1950s
- 1960s
- 1980s
- 2000s

SIGNIFICANCE
DIAGRAMS &
BUILDING
CHRONOLOGY

APPENDIX: DRAWINGS AND DETAILS



9TH FLOOR PLAN
SCALE: 1/8" = 1'-0"

Proposed Skybridge
875 Stevenson Street, San Francisco, CA



Bohlin Cywinski Jackson

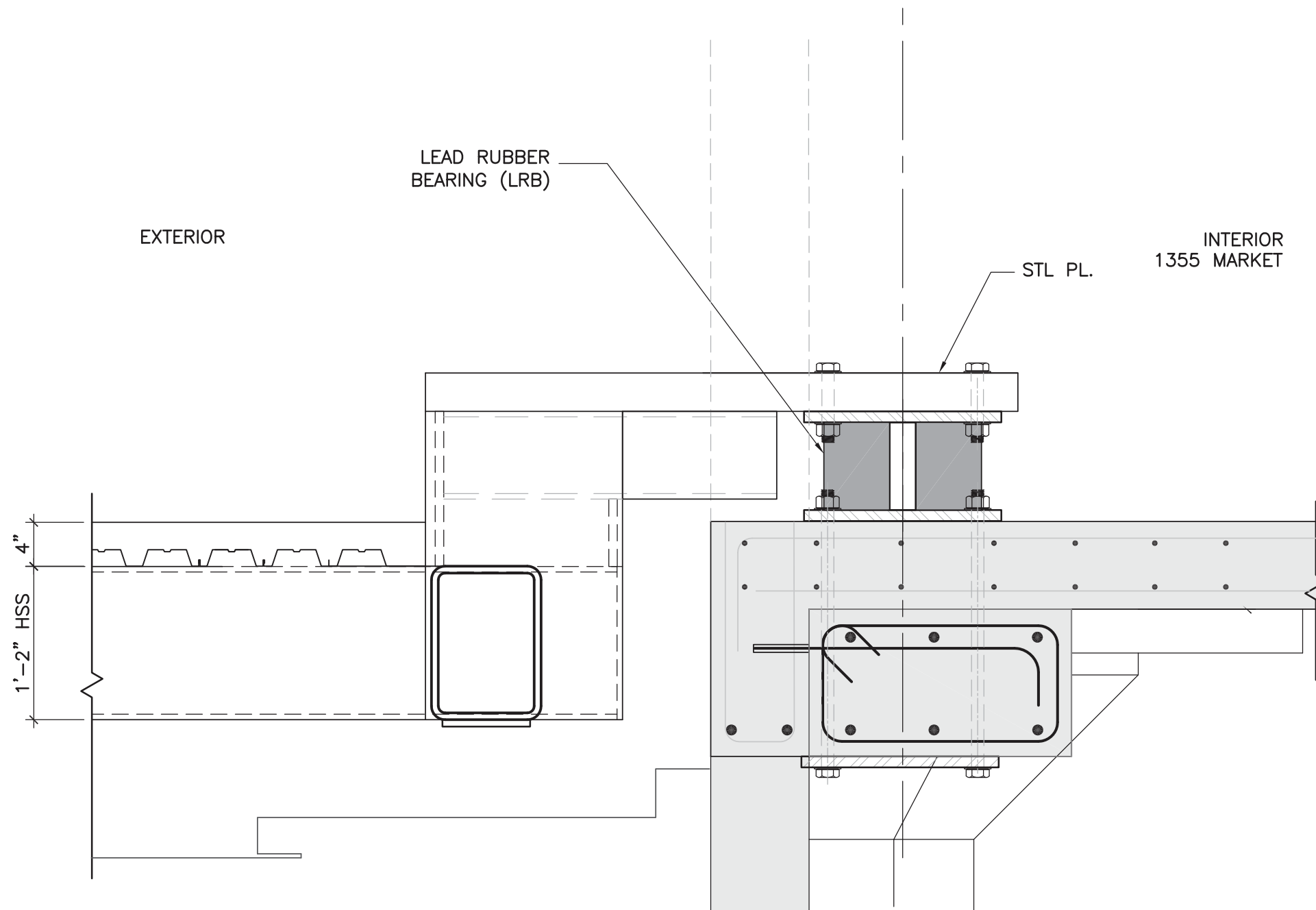
DRAWINGS



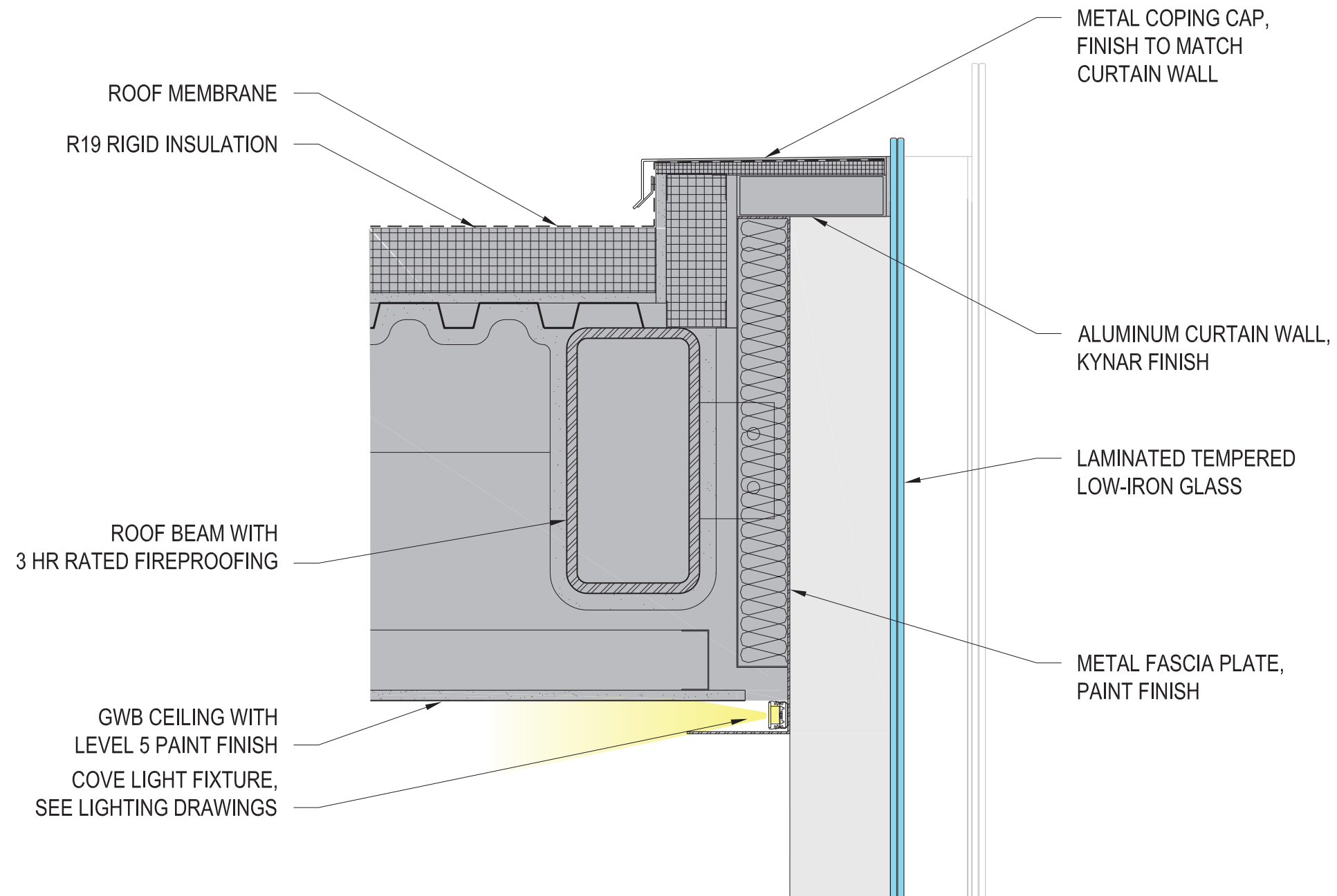
SEISMIC JOINT COVER

Proposed Skybridge
875 Stevenson Street, San Francisco, CA

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STRUCTURAL CONNECTION DETAIL

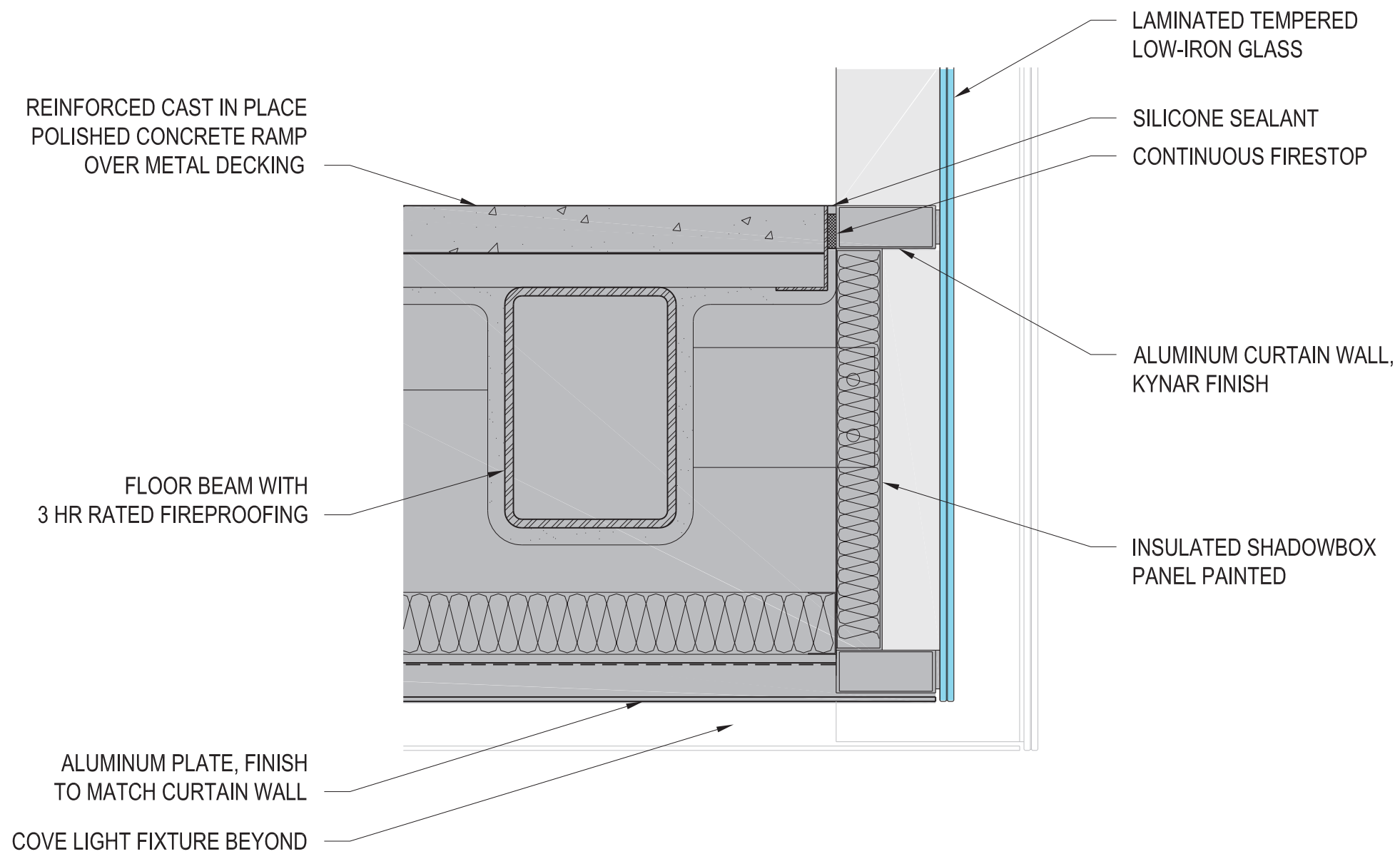


CURTAIN WALL SECTION DETAIL AT TOP OF BRIDGE
SCALE: 1 1/2" = 1'-0"

Proposed Skybridge

875 Stevenson Street, San Francisco, CA

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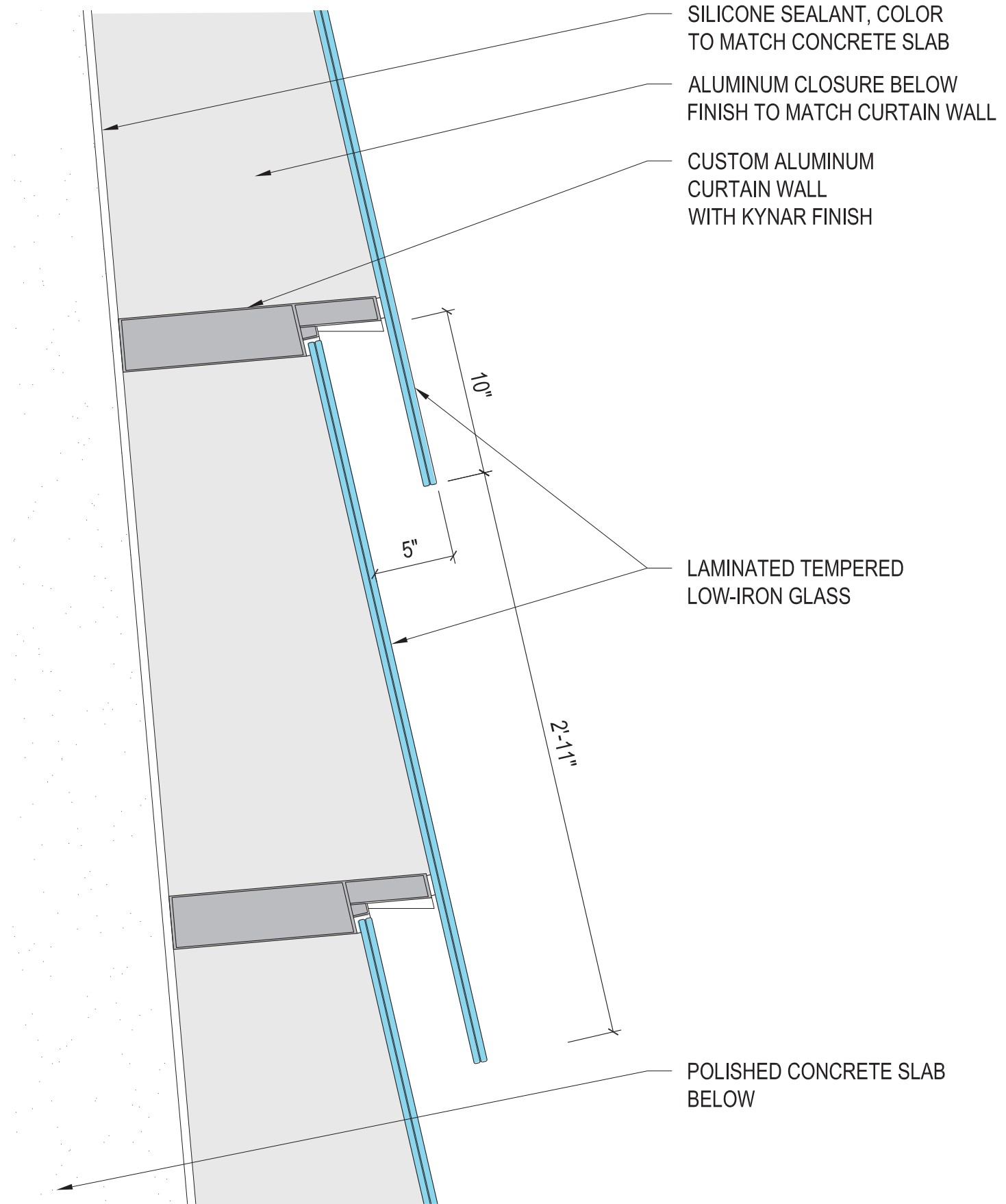
CURTAIN WALL SECTION DETAIL AT BOTTOM OF BRIDGE

SCALE: 1 1/2" = 1'-0"

Proposed Skybridge

875 Stevenson Street, San Francisco, CA

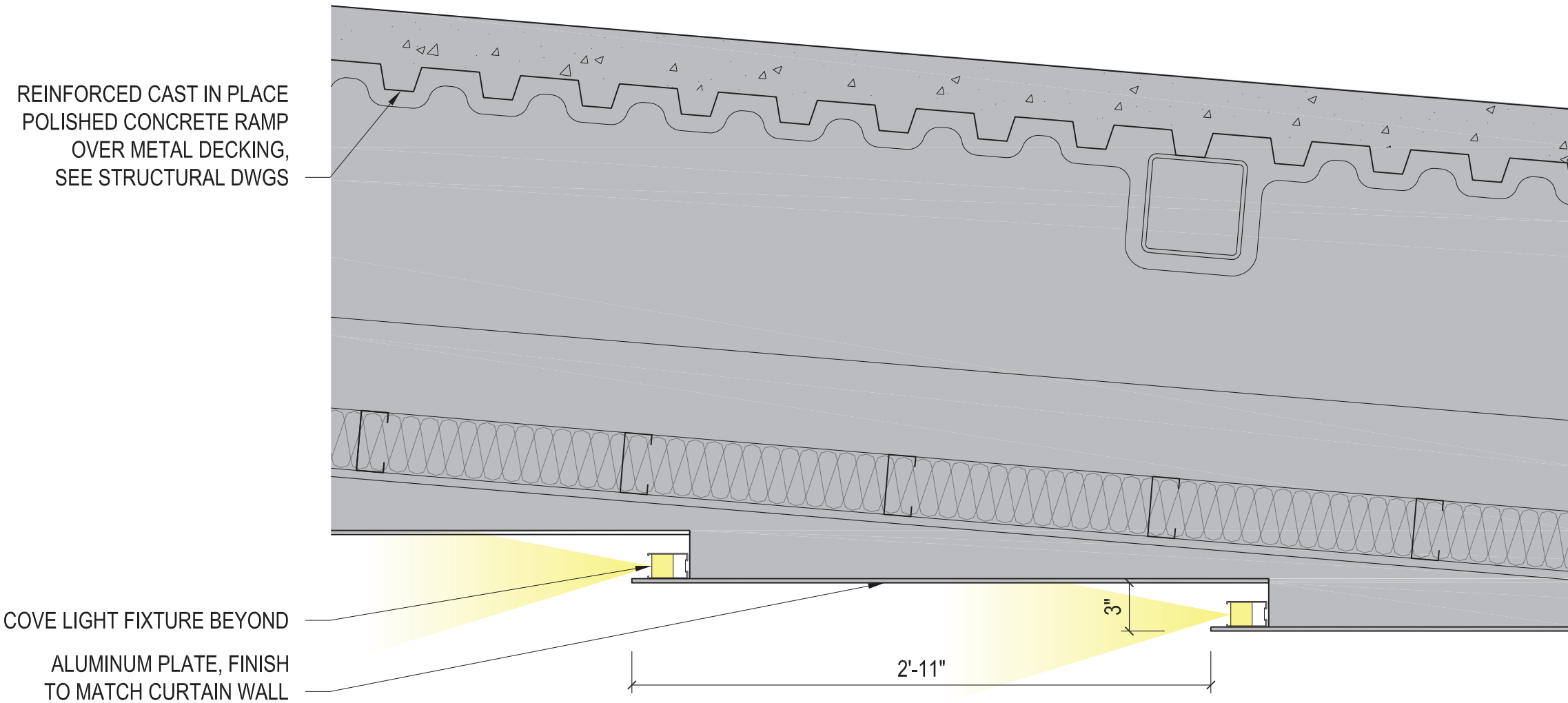
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BRIDGE CURTAIN WALL DETAIL
 SCALE: 1 1/2" = 1'-0"

Proposed Skybridge
 875 Stevenson Street, San Francisco, CA

Bohlin Cywinski Jackson

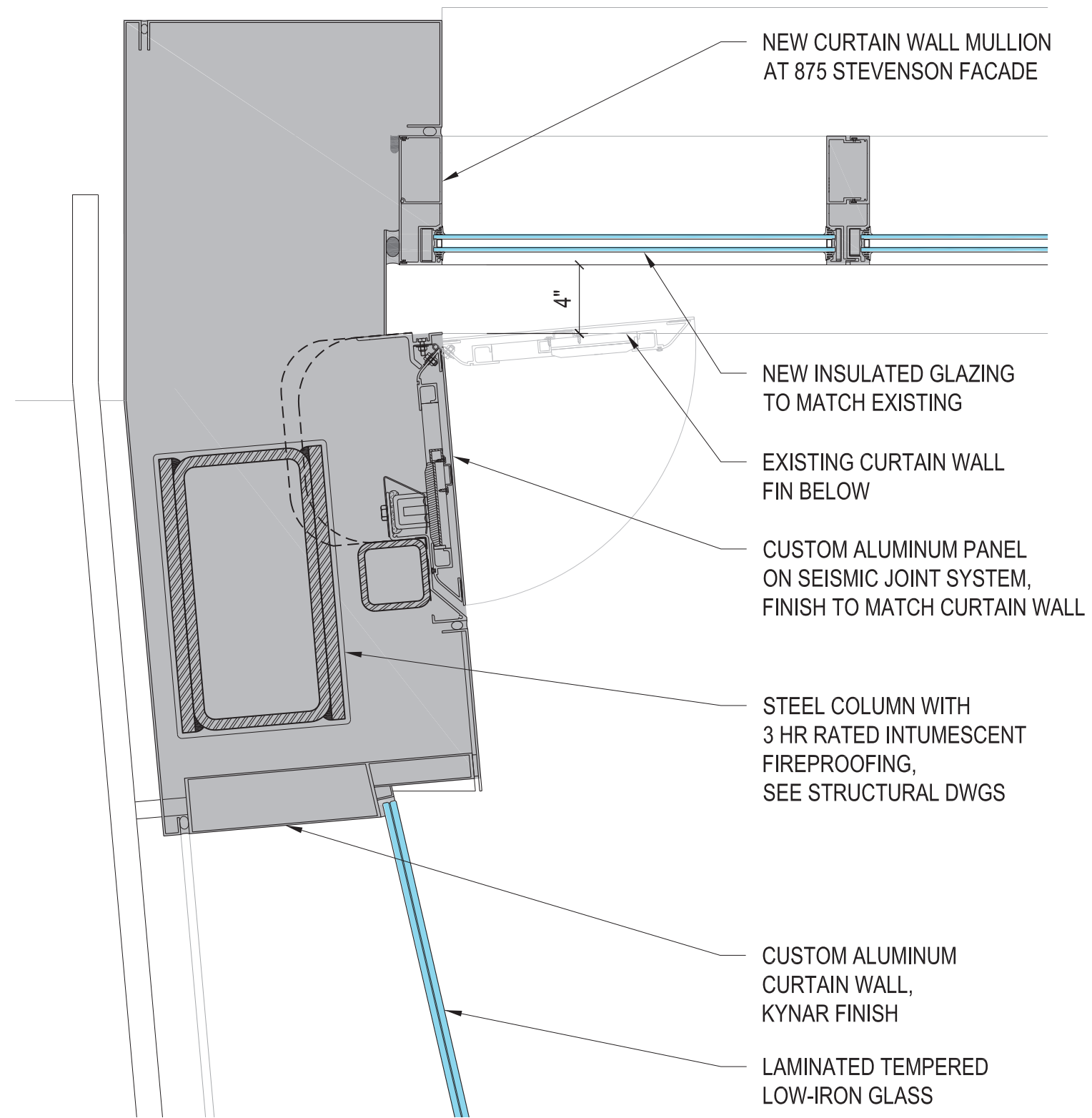


BRIDGE SOFFIT LIGHTING DETAIL
SCALE: 1 1/2" = 1'-0"

Proposed Skybridge

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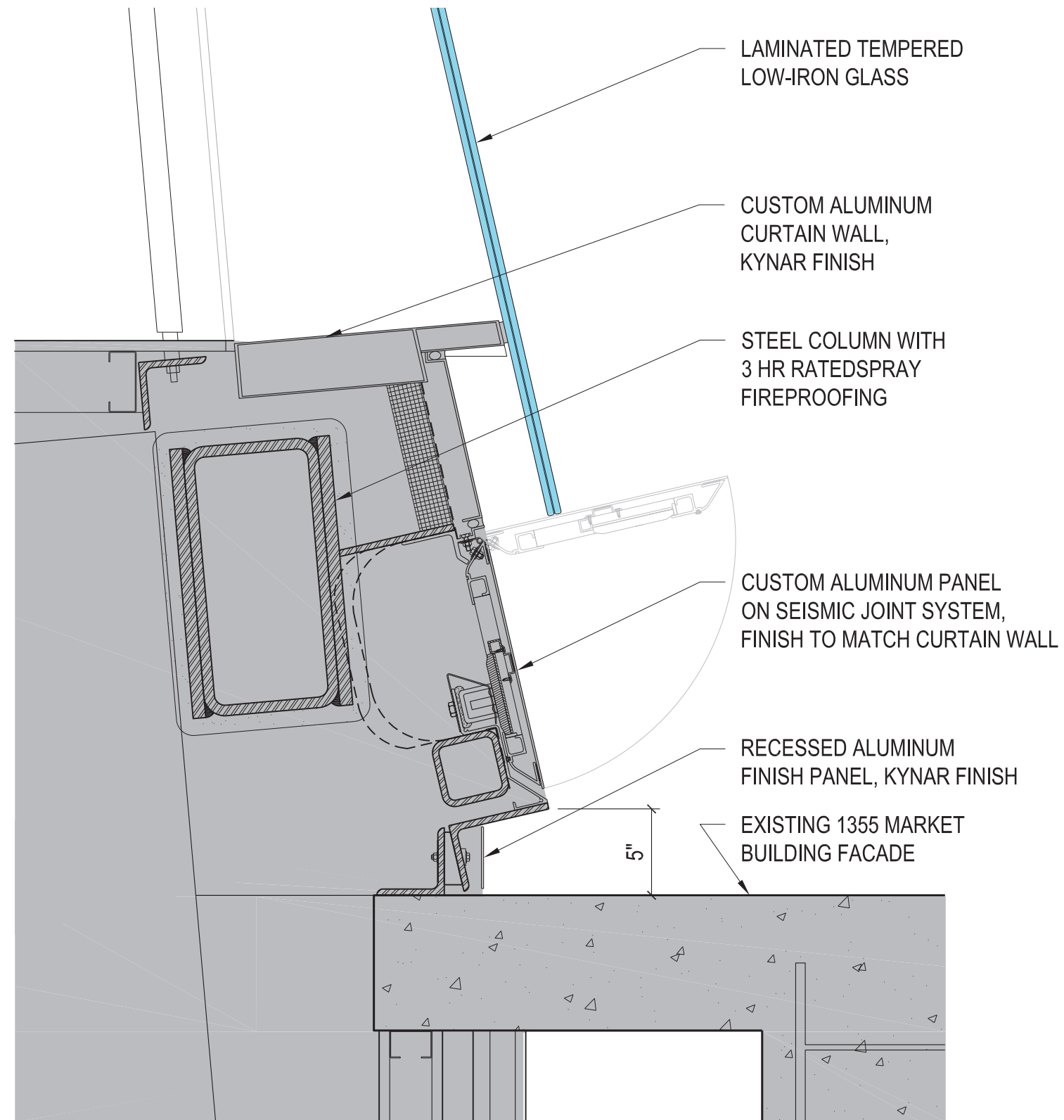


CONNECTION PLAN DETAIL AT 1 TENTH
 SCALE: 1 1/2" = 1'-0"

Proposed Skybridge

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CONNECTION PLAN DETAIL AT 1355 MARKET
 SCALE: 1 1/2" = 1'-0"

Proposed Skybridge

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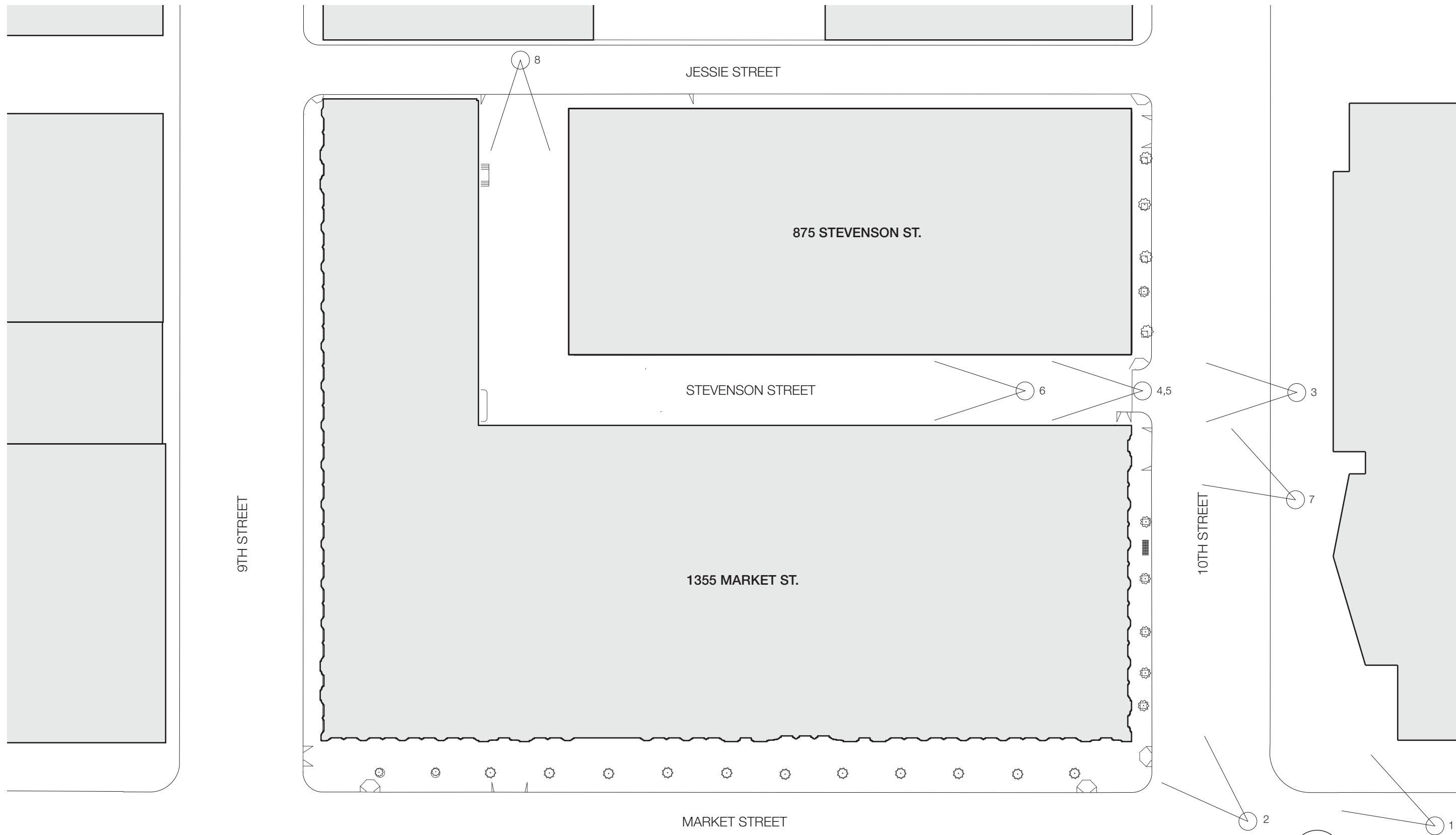
417 S. Hill Street, Suite 211
Los Angeles, California 90013
213.221.1200 / 213.221.1209 fax

2401 C Street, Suite B
Sacramento, California 95816
916.930.9903 / 916.930.9904 fax

417 Montgomery Street, 8th Floor
San Francisco, California 94104
415.362.5154 / 415.362.5560 fax

PROPOSED SKYBRIDGE BETWEEN 1355 MARKET STREET AND 875 STEVENSON STREET





SITE CONTEXT PHOTOS - KEY PLAN
 SCALE: 1" = 50'

Proposed Skybridge

875 Stevenson Street, San Francisco, CA

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1. Aerial view looking east at 1355 Market Street and 875 Stevenson Street buildings.



2. View looking east from Market Street.

SITE CONTEXT PHOTOS

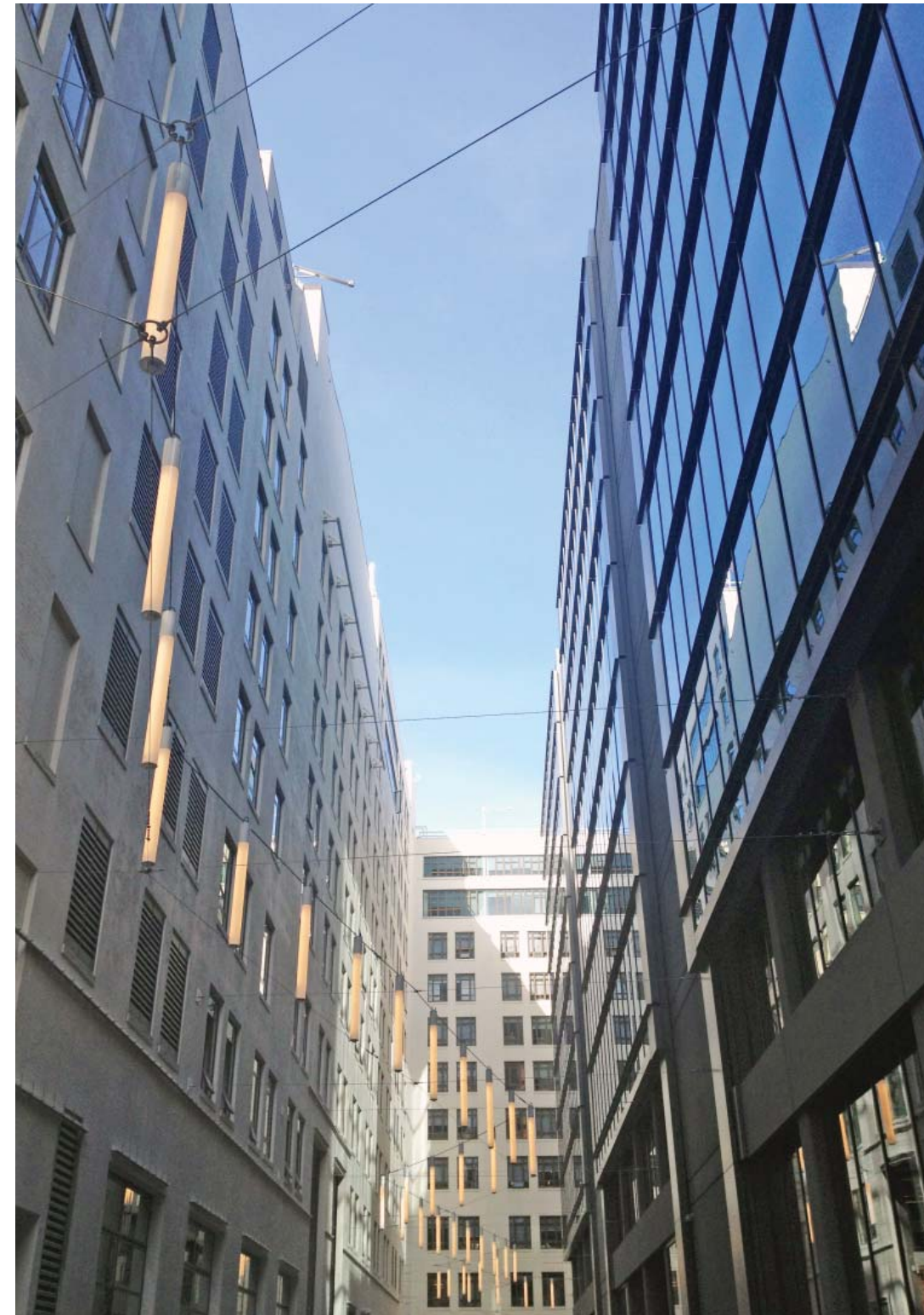
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3. Stevenson street view looking east from 10th Street.



4. Stevenson street view looking up towards the east.

SITE CONTEXT PHOTOS

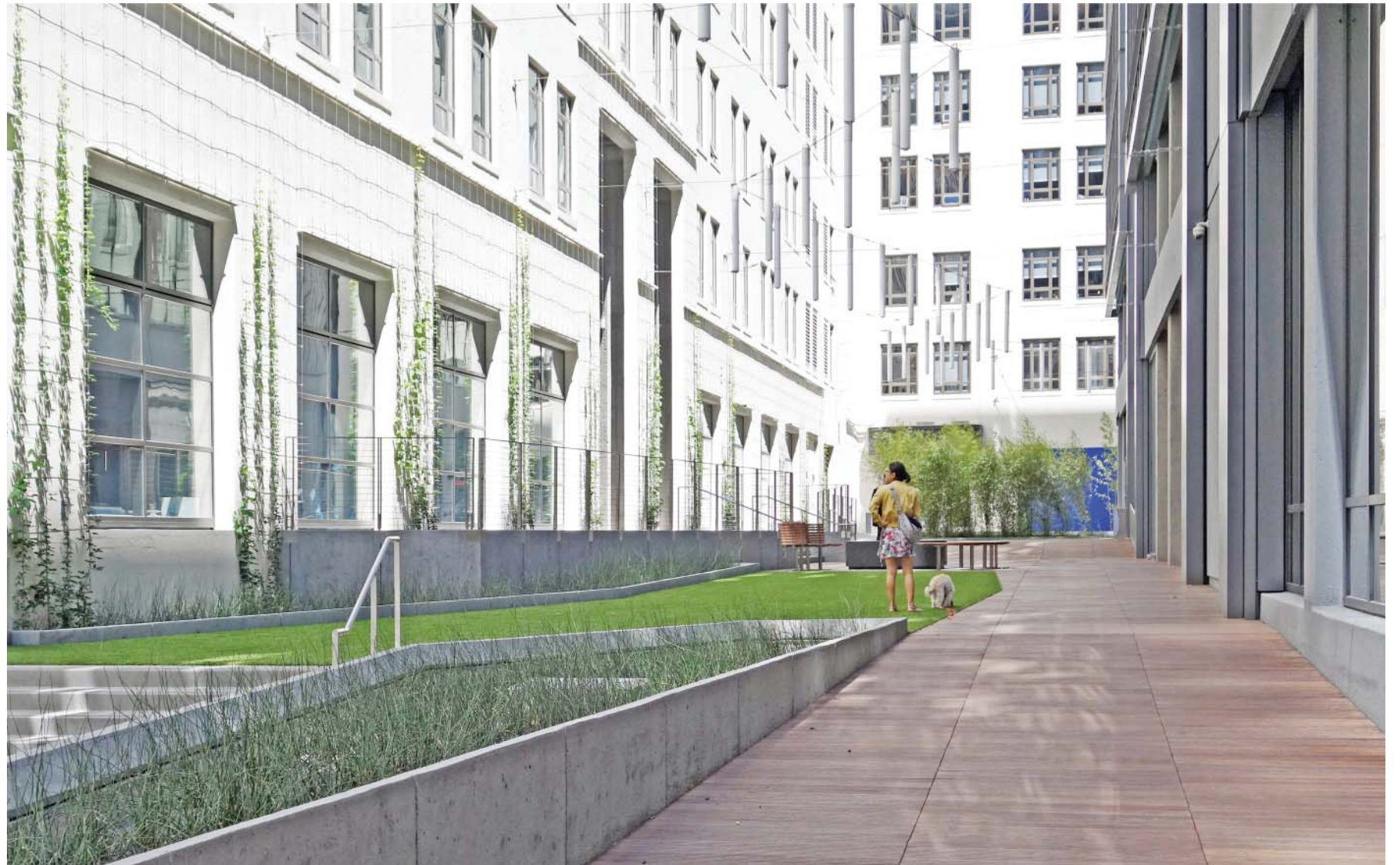
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5. Stevenson street view looking east.



6. Stevenson street view looking east.

SITE CONTEXT PHOTOS

Proposed Skybridge
875 Stevenson Street, San Francisco, CA

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Detail view of 1355 Market Building rear (south) facade.



7. View looking east from 10th Street into Stevenson street.



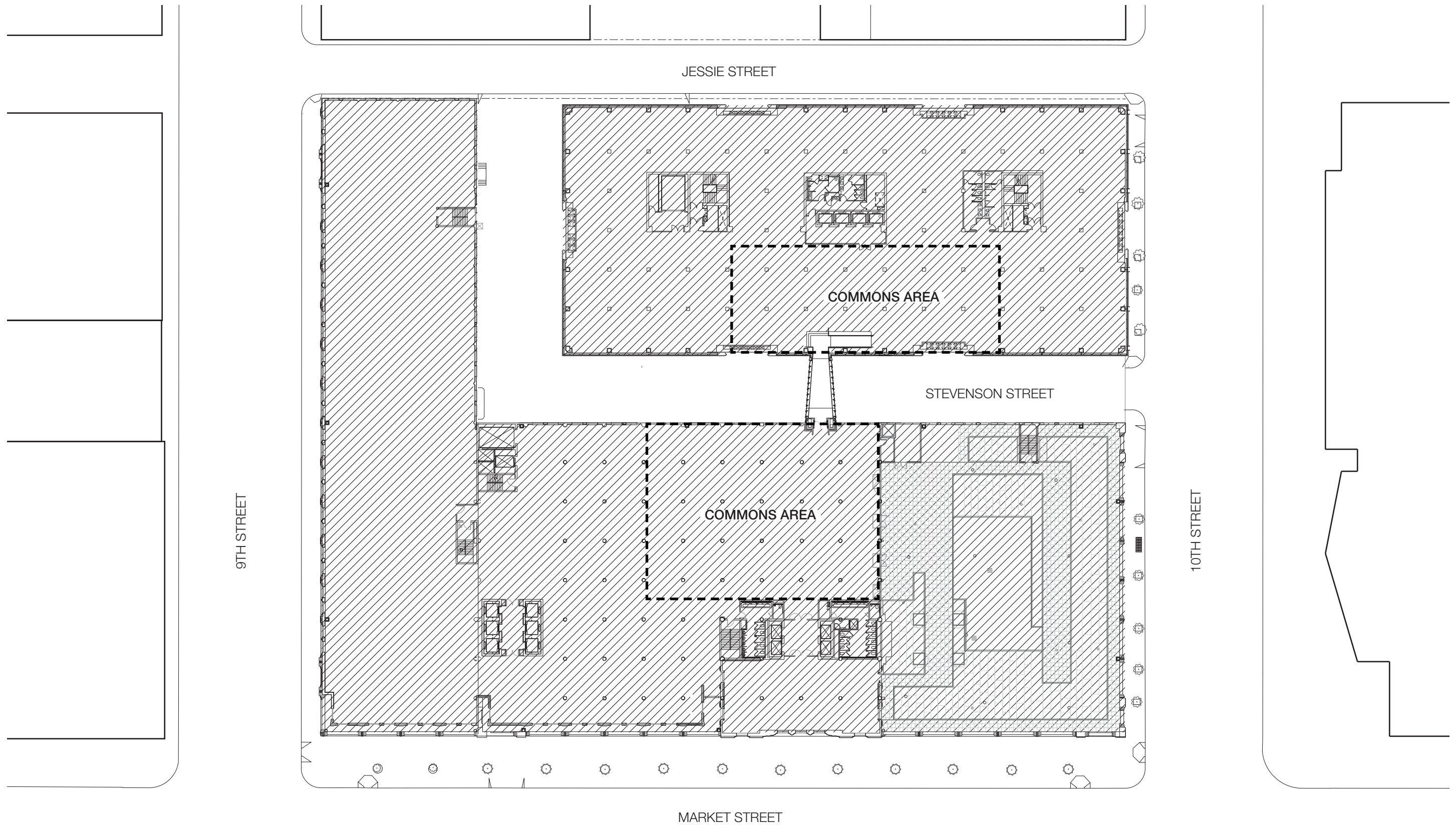
8. View looking north from Jessie Street towards Stevenson Street.

SITE CONTEXT PHOTOS

Proposed Skybridge

875 Stevenson Street, San Francisco, CA

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SITE PLAN AT 9TH FLOOR - PROPOSED

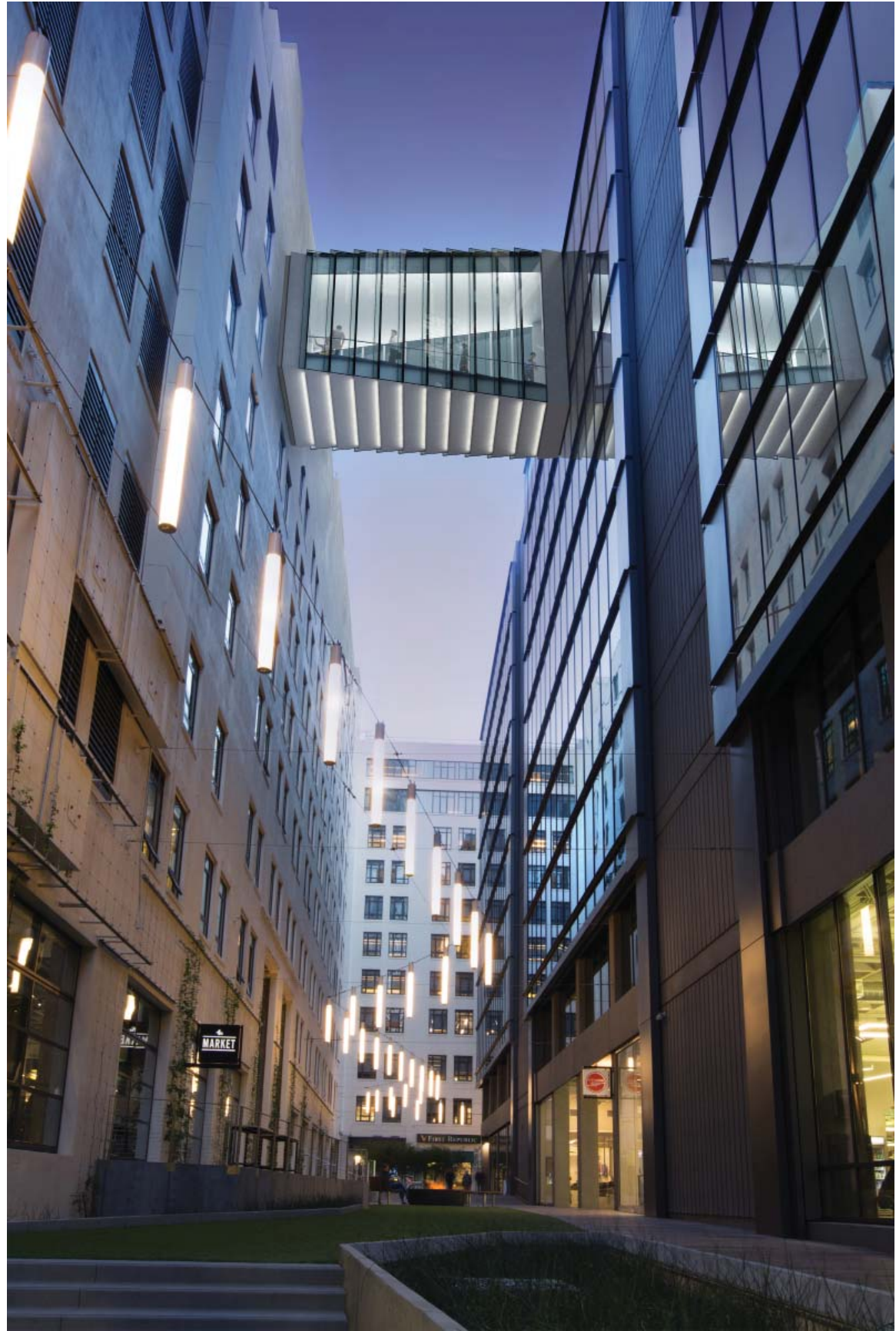
SCALE: 1" = 200'

Proposed Skybridge

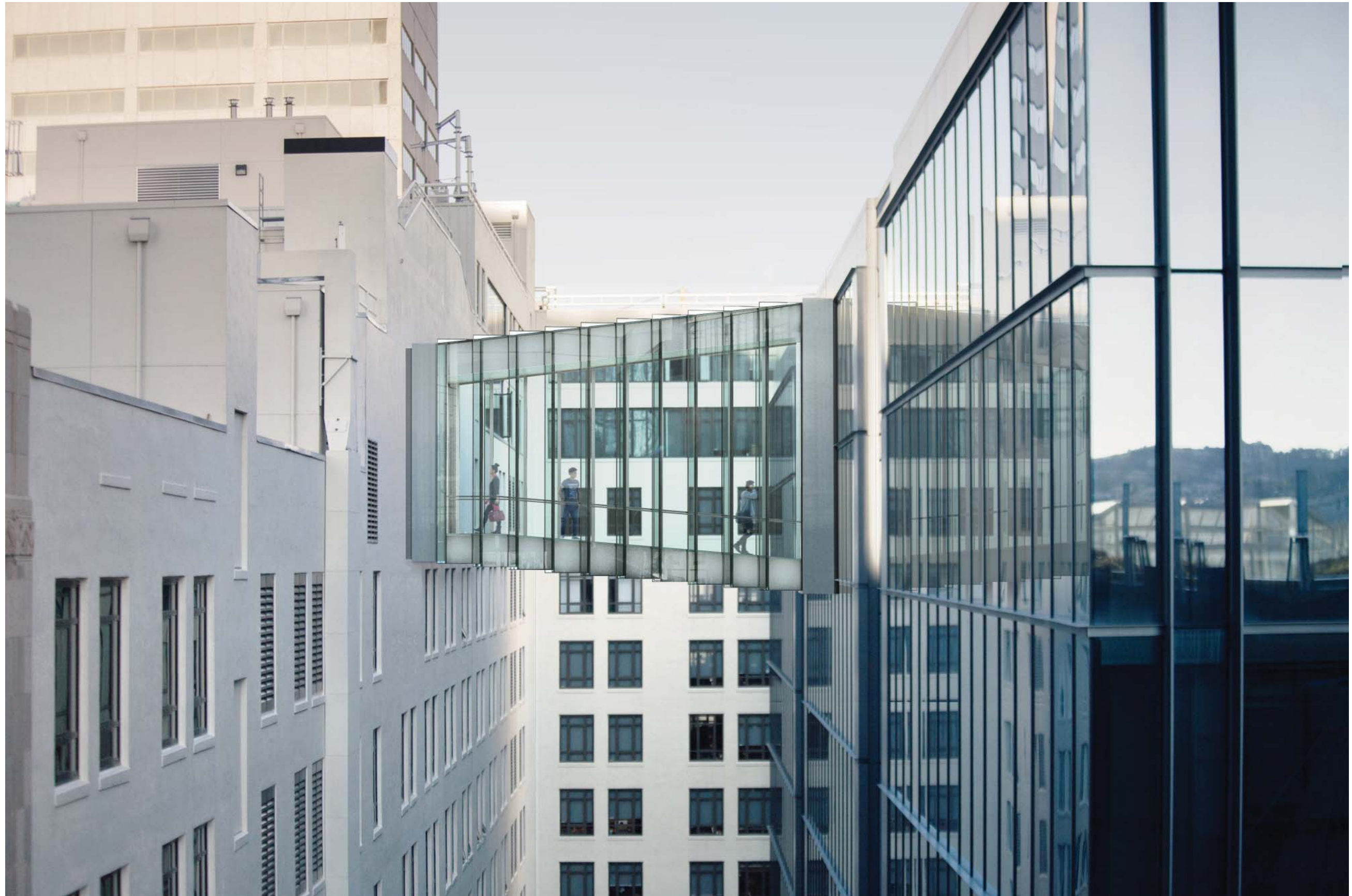
875 Stevenson Street, San Francisco, CA



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Proposed Skybridge
875 Stevenson Street, San Francisco, CA



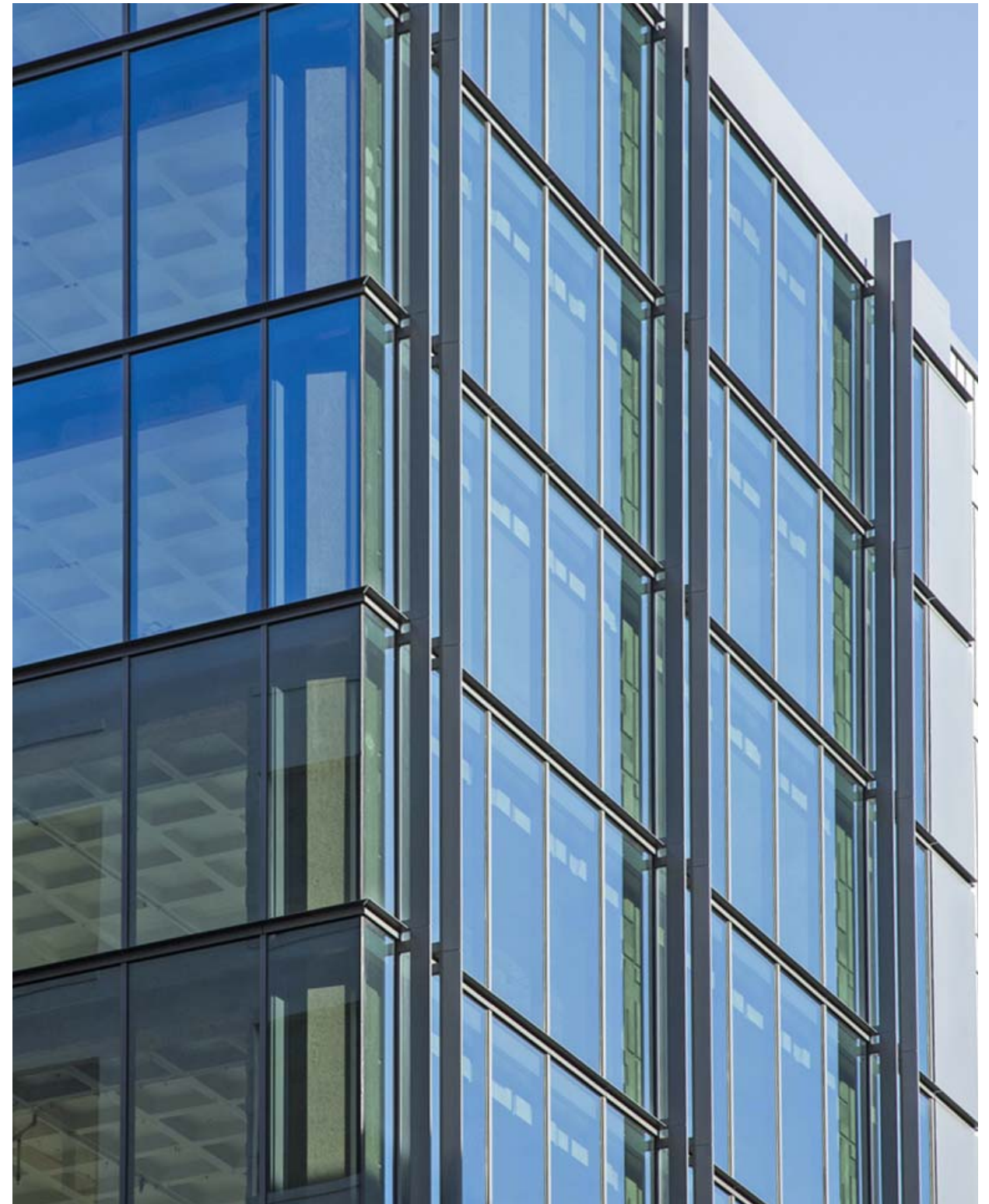
Proposed Skybridge
875 Stevenson Street, San Francisco, CA

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Proposed Skybridge
875 Stevenson Street, San Francisco, CA

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CONTEXT DETAIL

Proposed Skybridge

875 Stevenson Street, San Francisco, CA

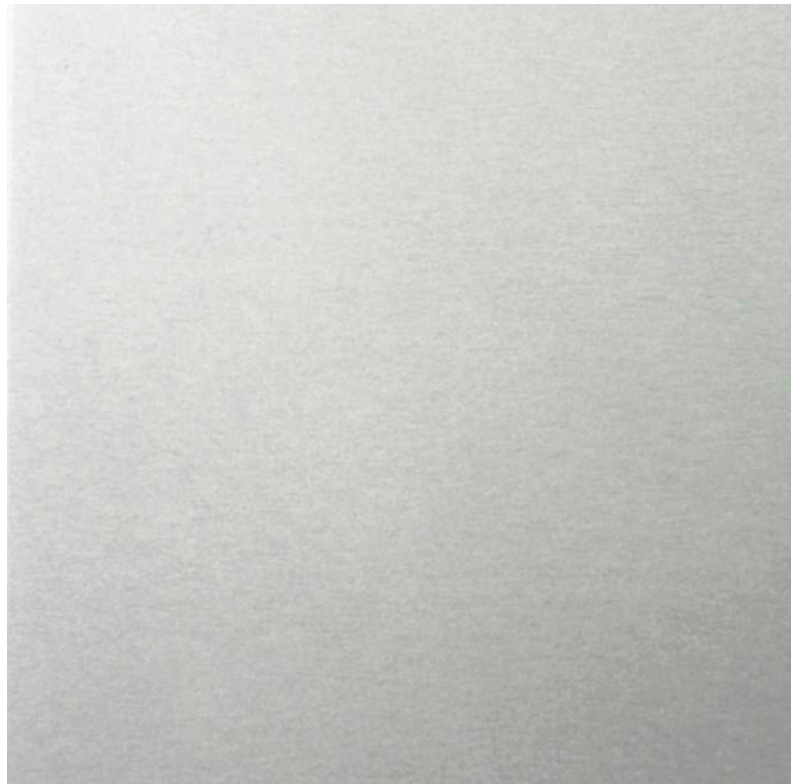
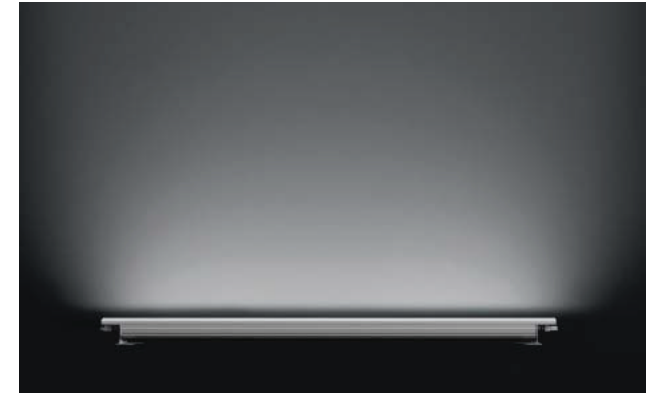
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Interior Flooring: Polished Concrete



Lighting: LED Cove Lighting



Exterior Metal Panels: Aluminum with Kynar Finish



Exterior Glazing: Shingled Glass Panels

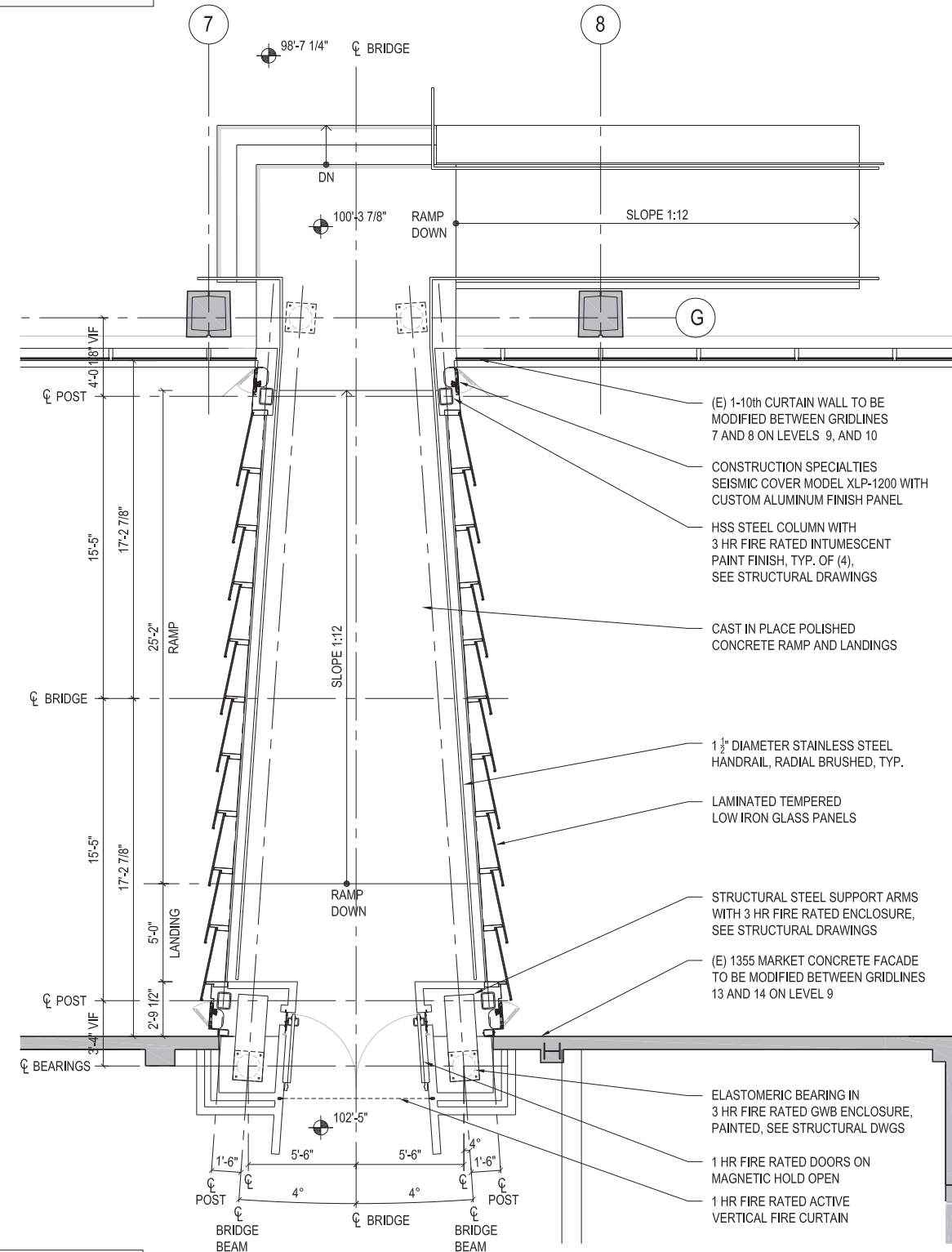
MATERIAL PALETTE

Proposed Skybridge

875 Stevenson Street, San Francisco, CA

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875 STEVENSON
STREET LEVEL 9



1355 MARKET ST.
LEVEL 9

9TH FLOOR PLAN
SCALE: 1/8" = 1'-0"

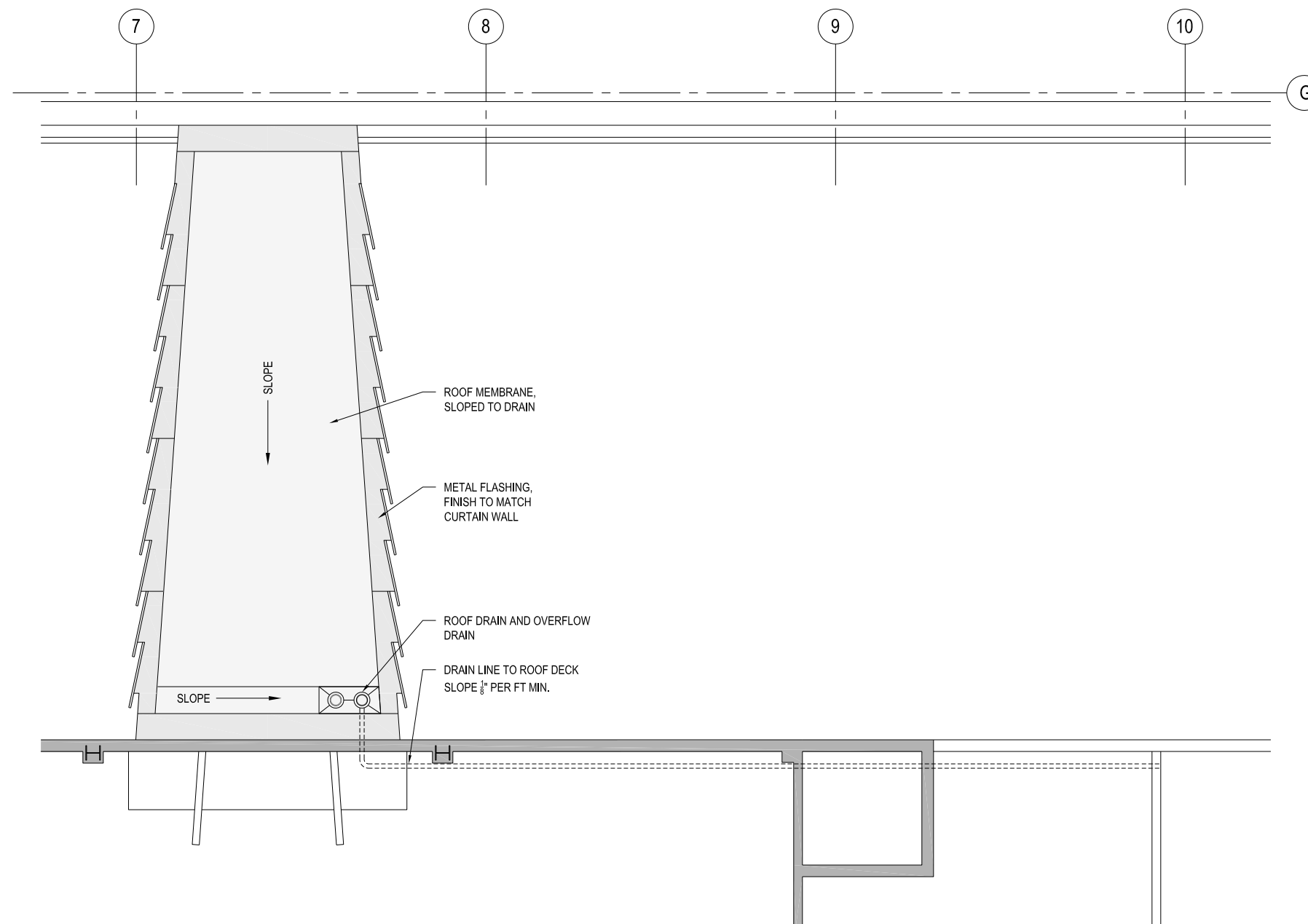
Proposed Skybridge

875 Stevenson Street, San Francisco, CA

- (E) 1-10th CURTAIN WALL TO BE MODIFIED BETWEEN GRIDLINES 7 AND 8 ON LEVELS 9, AND 10
- CONSTRUCTION SPECIALTIES SEISMIC COVER MODEL XLP-1200 WITH CUSTOM ALUMINUM FINISH PANEL
- HSS STEEL COLUMN WITH 3 HR FIRE RATED INTUMESCENT PAINT FINISH, TYP. OF (4). SEE STRUCTURAL DRAWINGS
- CAST IN PLACE POLISHED CONCRETE RAMP AND LANDINGS
- 1 1/2" DIAMETER STAINLESS STEEL HANDRAIL, RADIAL BRUSHED, TYP.
- LAMINATED TEMPERED LOW IRON GLASS PANELS
- STRUCTURAL STEEL SUPPORT ARMS WITH 3 HR FIRE RATED ENCLOSURE, SEE STRUCTURAL DRAWINGS
- (E) 1355 MARKET CONCRETE FACADE TO BE MODIFIED BETWEEN GRIDLINES 13 AND 14 ON LEVEL 9
- ELASTOMERIC BEARING IN 3 HR FIRE RATED GWB ENCLOSURE, PAINTED, SEE STRUCTURAL DWGS
- 1 HR FIRE RATED DOORS ON MAGNETIC HOLD OPEN
- 1 HR FIRE RATED ACTIVE VERTICAL FIRE CURTAIN



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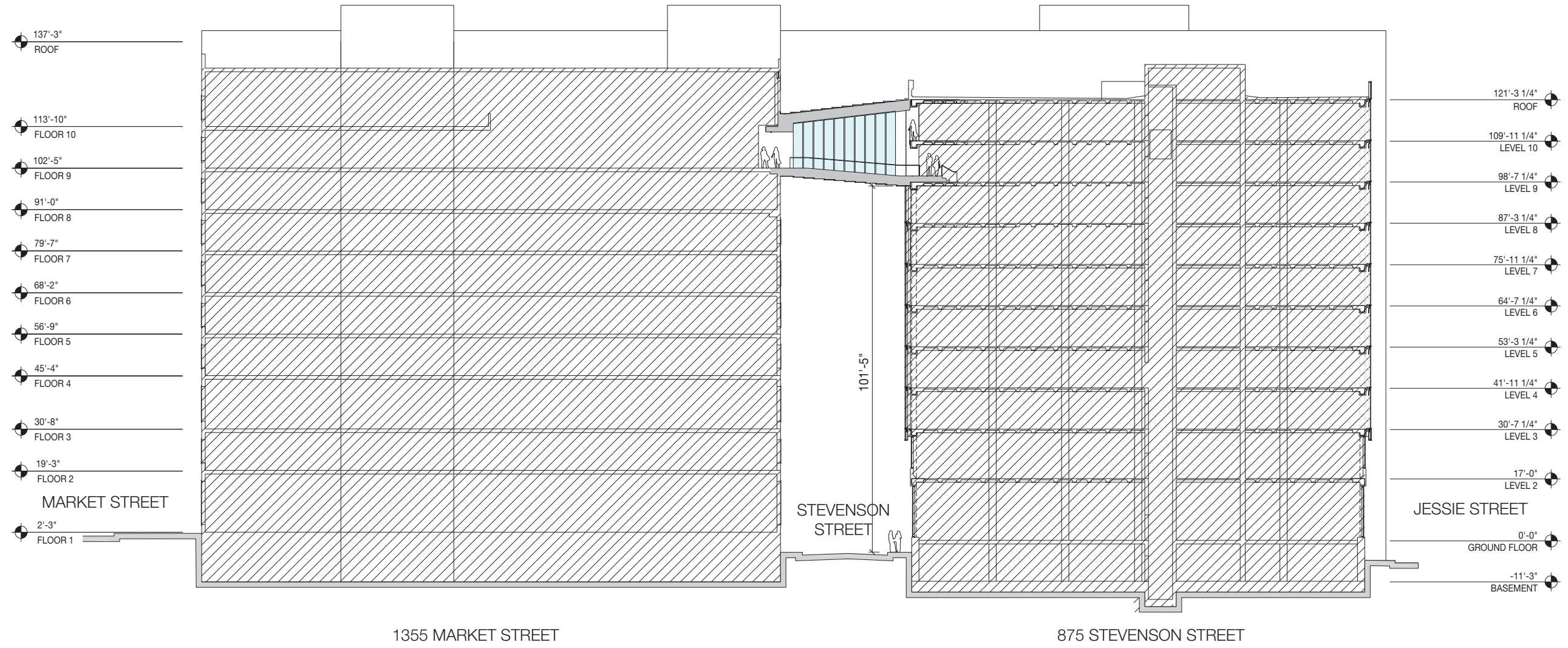
ROOF PLAN
 SCALE: 1/8" = 1'-0"

Proposed Skybridge

875 Stevenson Street, San Francisco, CA



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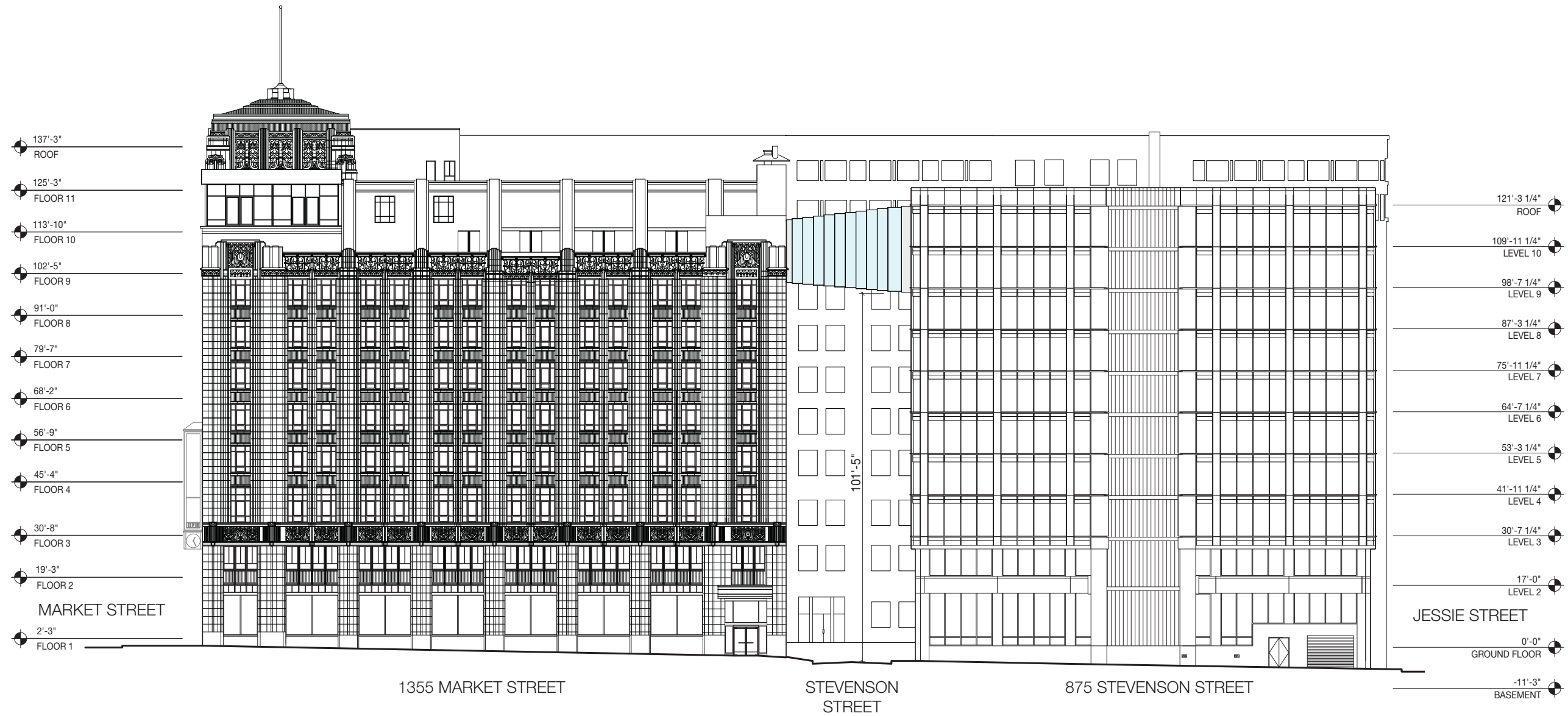
SECTION THROUGH 1355 MARKET ST., PROPOSED SKYBRIDGE, AND 875 STEVENSON ST.

SCALE: 1/32" = 1'-0"

Proposed Skybridge

875 Stevenson Street, San Francisco, CA

Bohlin Cywinski Jackson



PROPOSED 10TH STREET ELEVATION

SCALE: 1/32" = 1'-0"

Proposed Skybridge

875 Stevenson Street, San Francisco, CA

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1355 MARKET ST. REAR (SOUTH) ELEVATION - EXISTING
 SCALE: 1/32" = 1'-0"

Proposed Skybridge

875 Stevenson Street, San Francisco, CA

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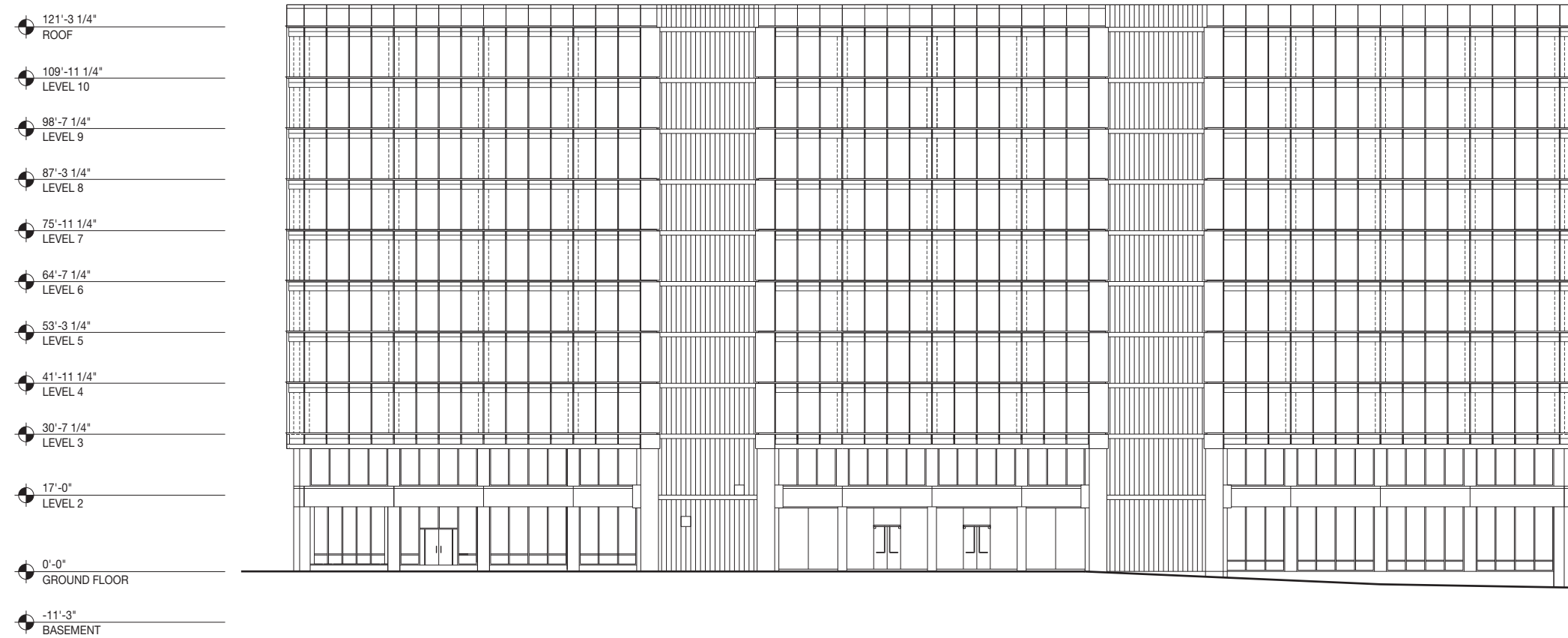


1355 MARKET ST. REAR (SOUTH) ELEVATION WITH PROPOSED SKYBRIDGE
 SCALE: 1/32" = 1'-0"

Proposed Skybridge

875 Stevenson Street, San Francisco, CA

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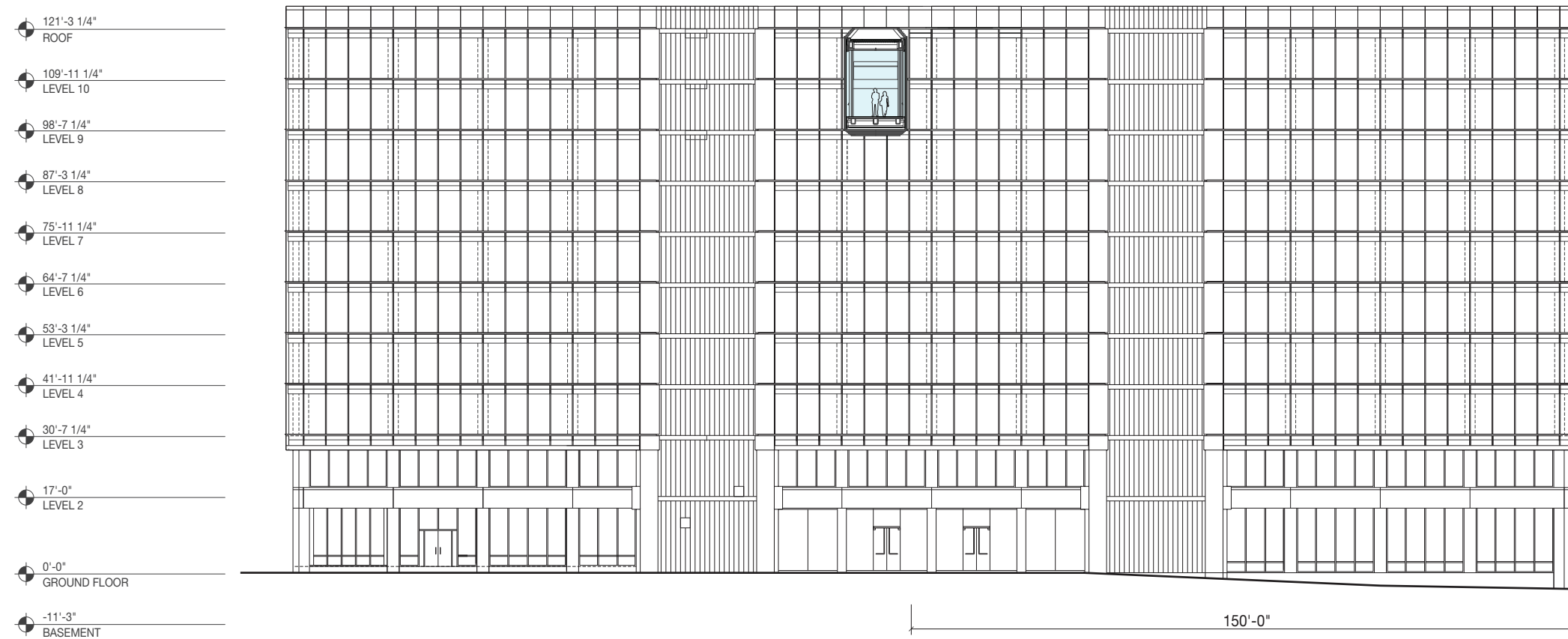
875 STEVENSON ST. FRONT (NORTH) ELEVATION - EXISTING

SCALE: 1/32" = 1'-0"

Proposed Skybridge

875 Stevenson Street, San Francisco, CA

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875 STEVENSON ST. FRONT (NORTH) ELEVATION WITH PROPOSED SKYBRIDGE
 SCALE: 1/32" = 1'-0"

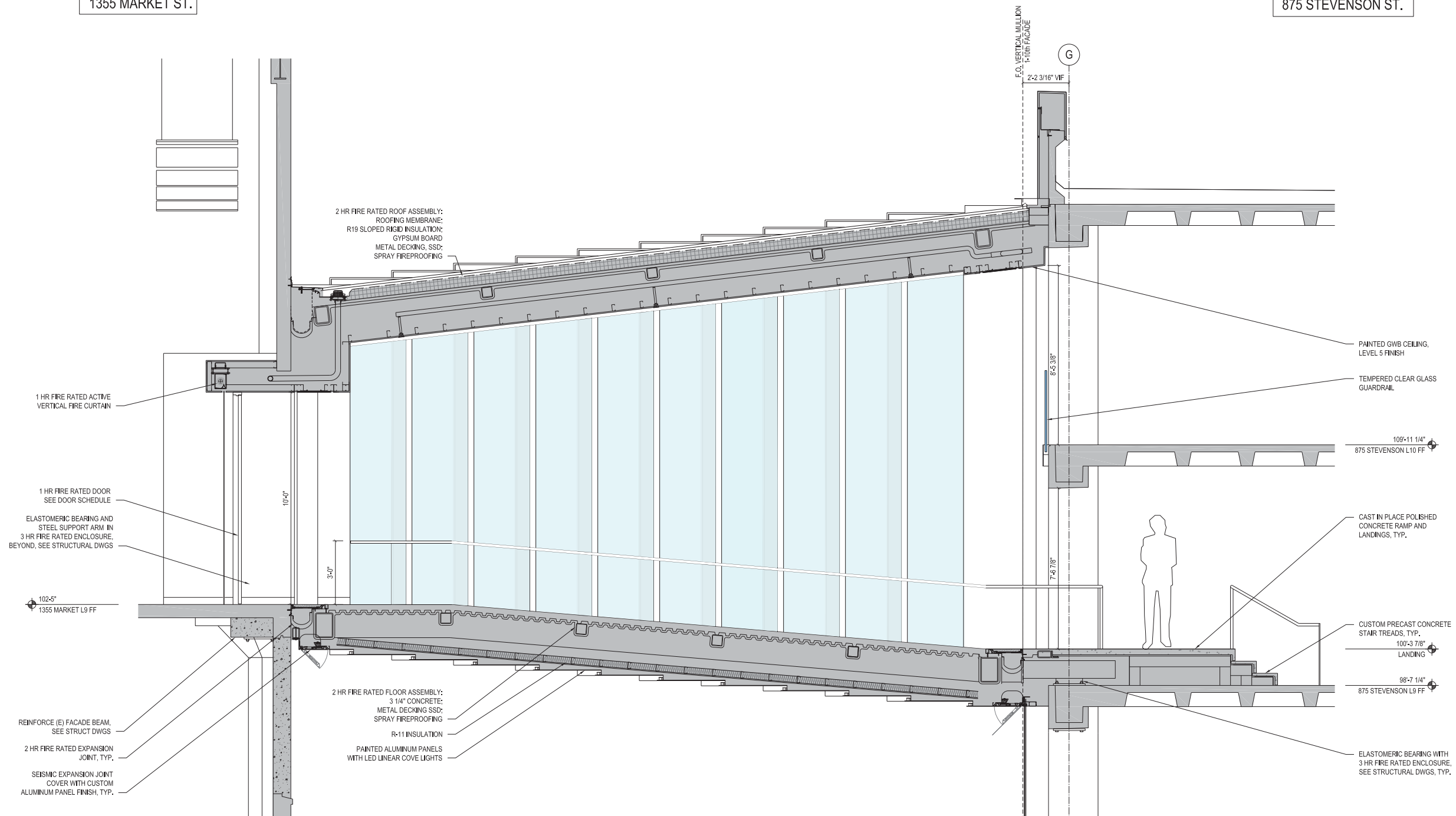
Proposed Skybridge

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1355 MARKET ST.

875 STEVENSON ST.



SECTION
SCALE: 3/32" = 1'-0"

Proposed Skybridge
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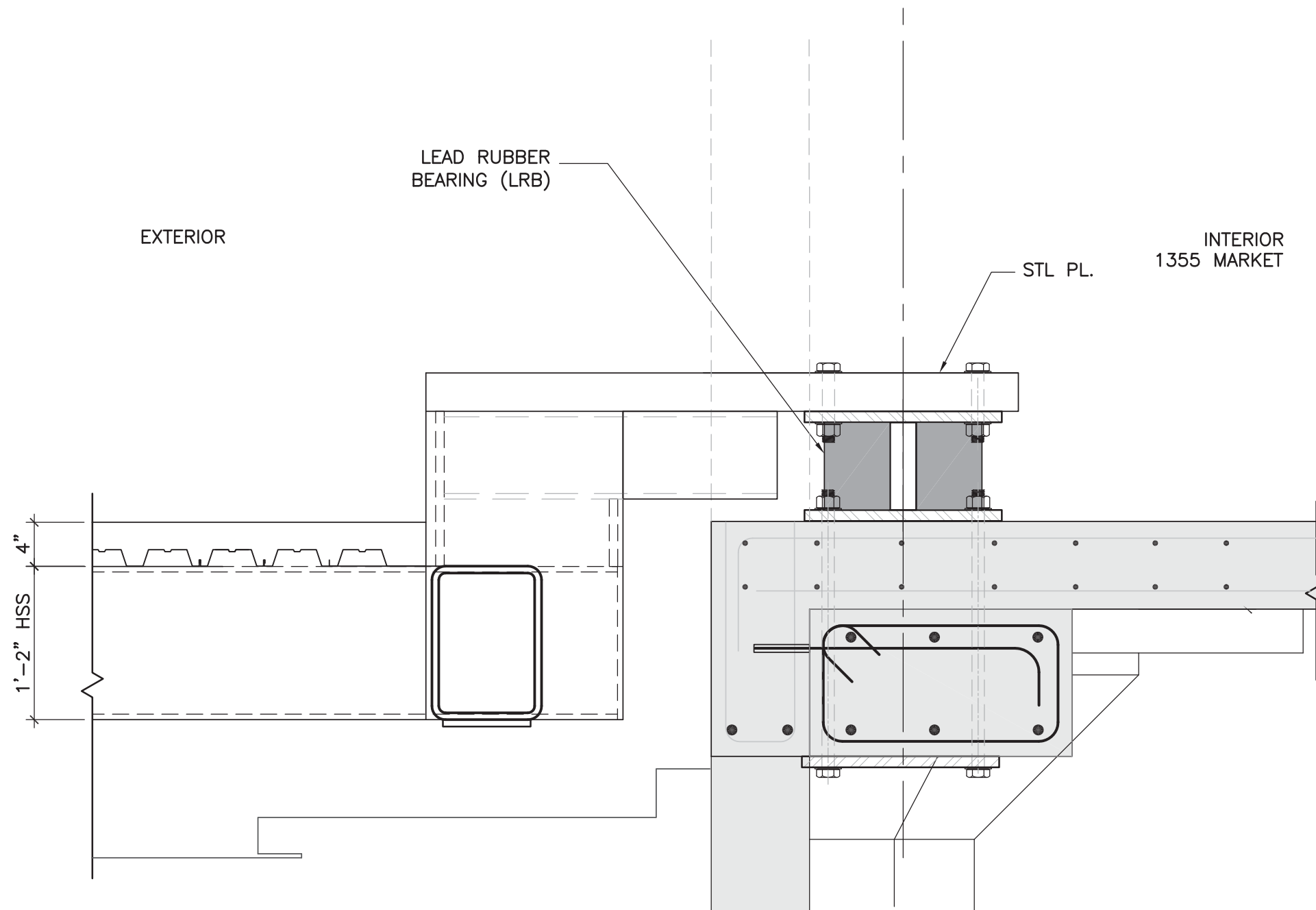


SEISMIC JOINT COVER

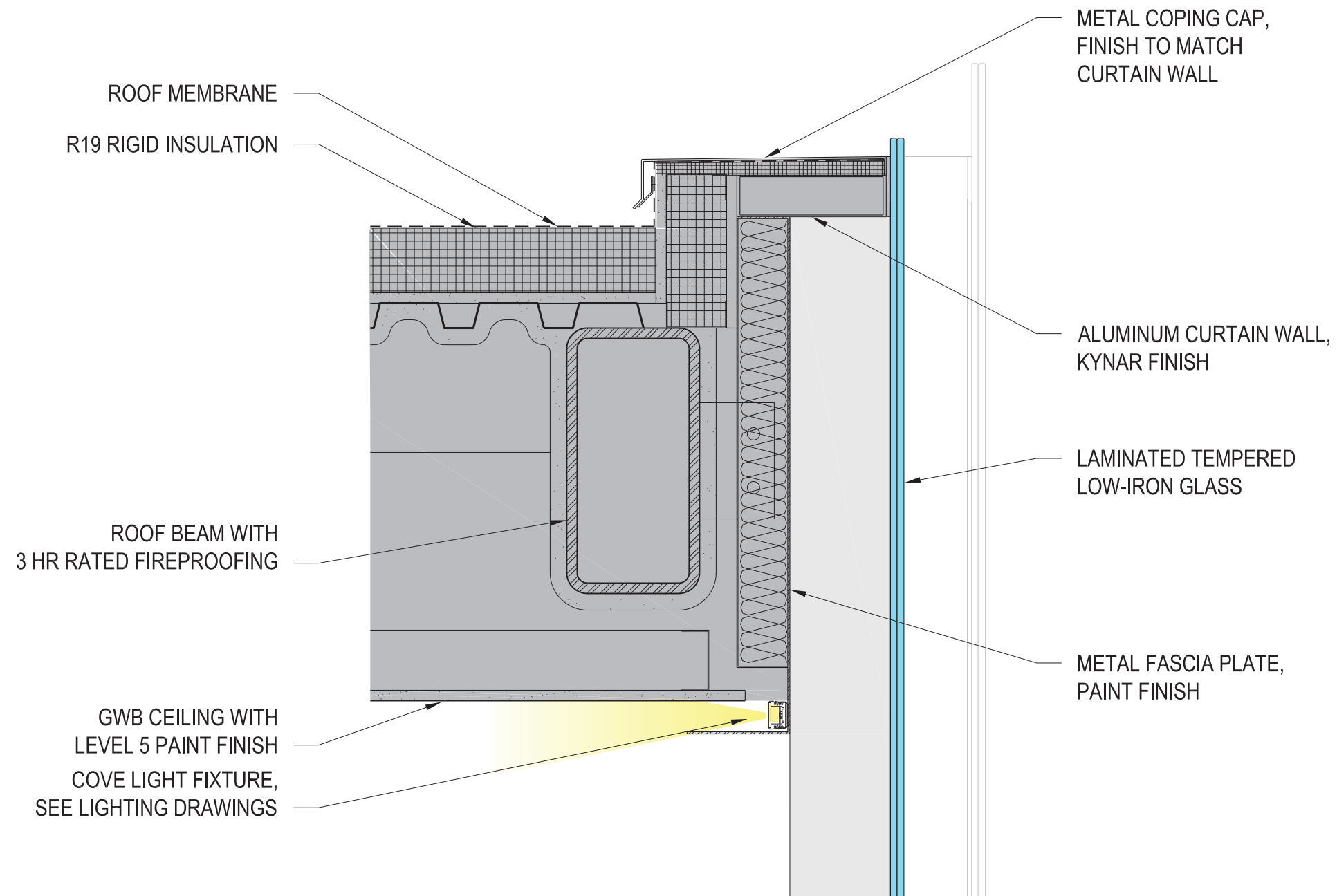
Proposed Skybridge

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STRUCTURAL CONNECTION DETAIL



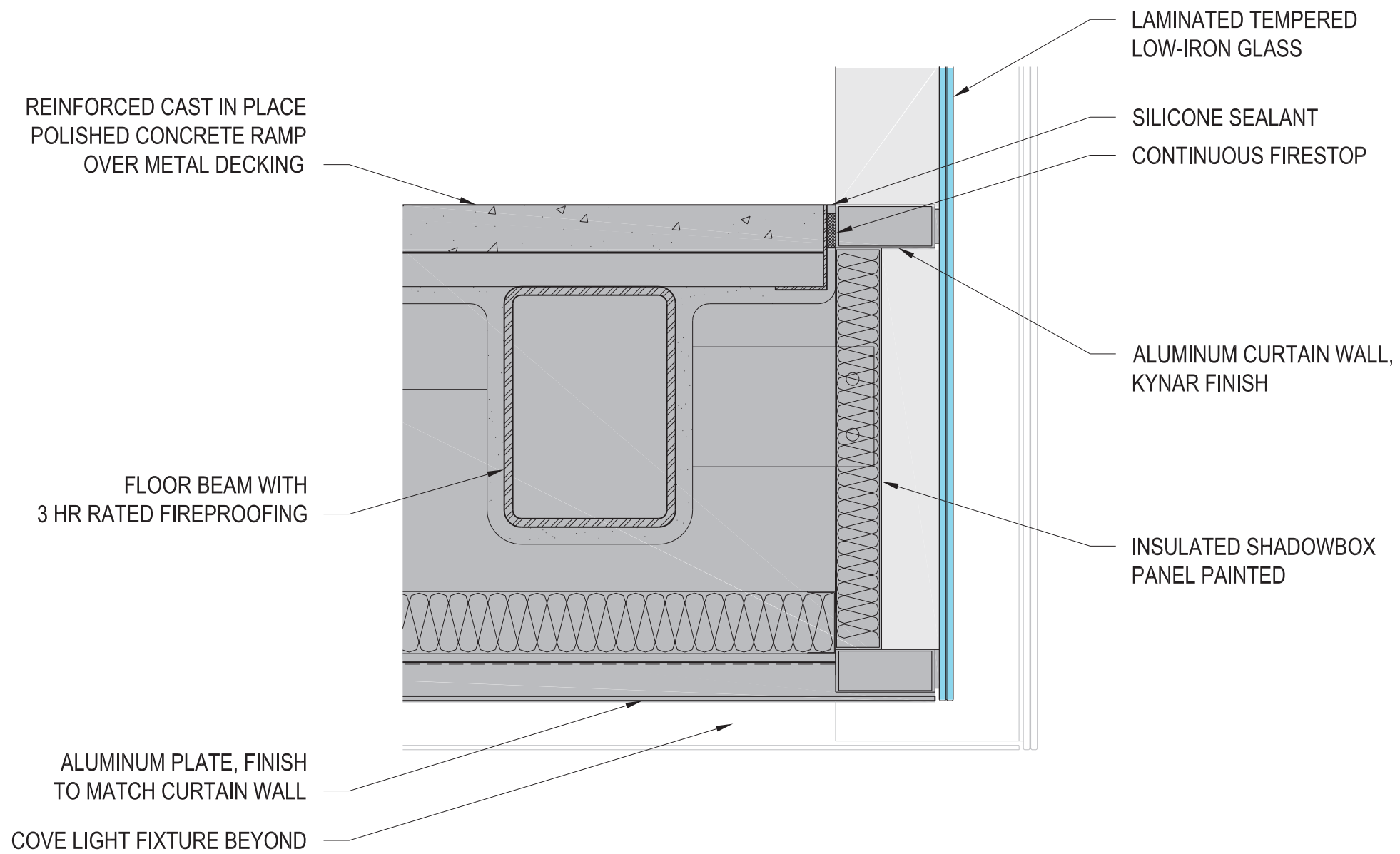
CURTAIN WALL SECTION DETAIL AT TOP OF BRIDGE

SCALE: 1 1/2" = 1'-0"

Proposed Skybridge

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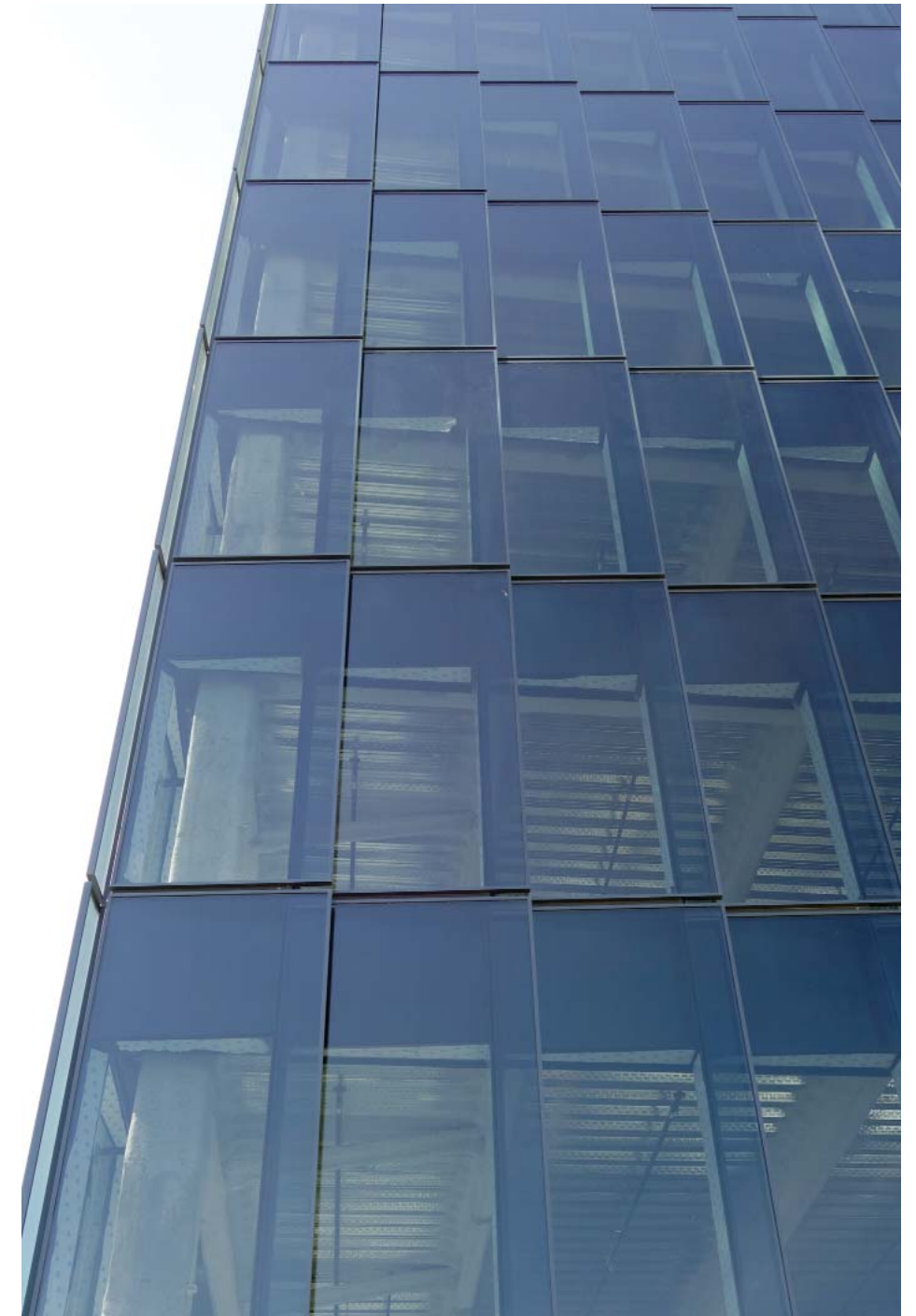
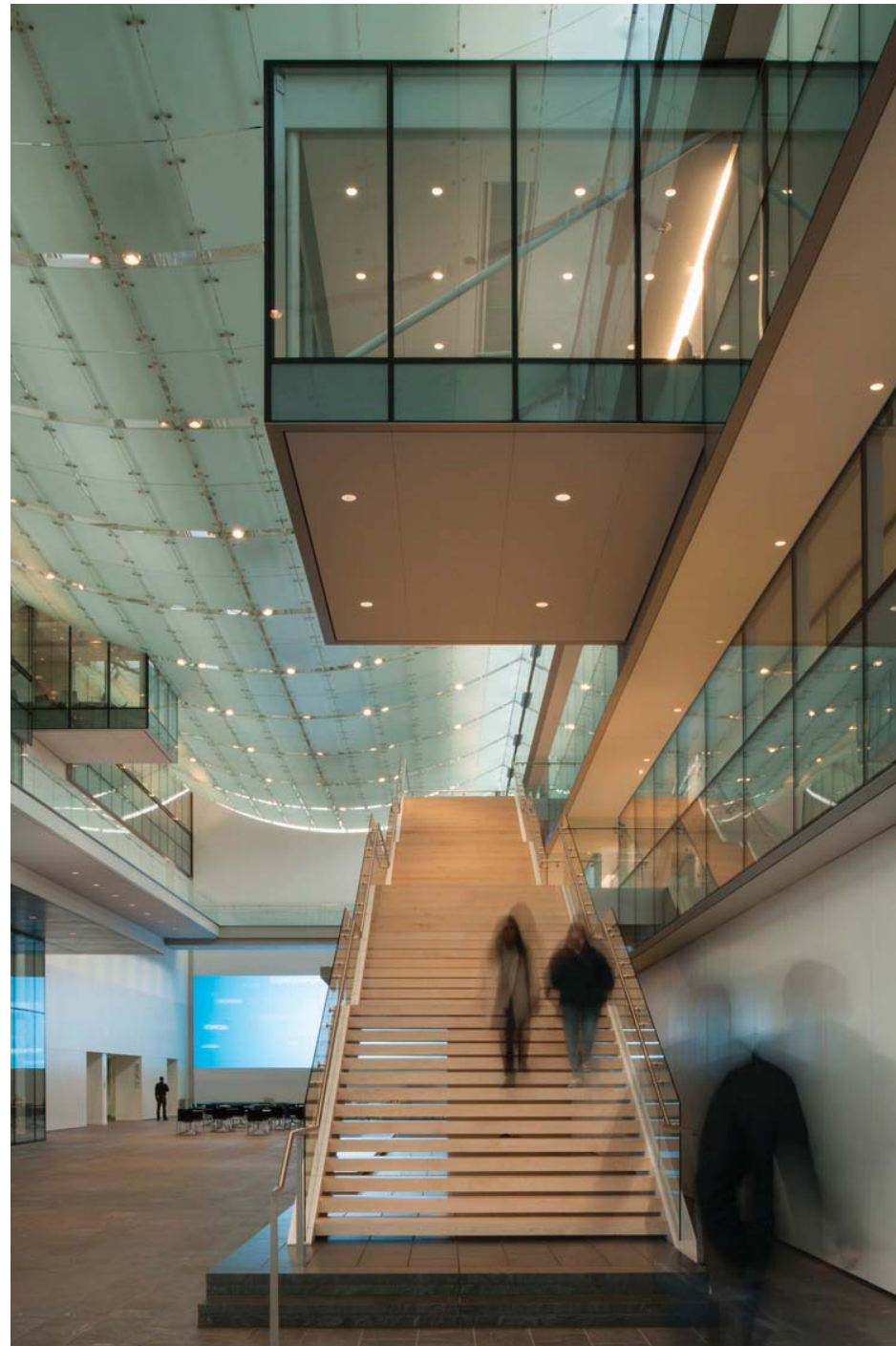
CURTAIN WALL SECTION DETAIL AT BOTTOM OF BRIDGE

SCALE: 1 1/2" = 1'-0"

Proposed Skybridge

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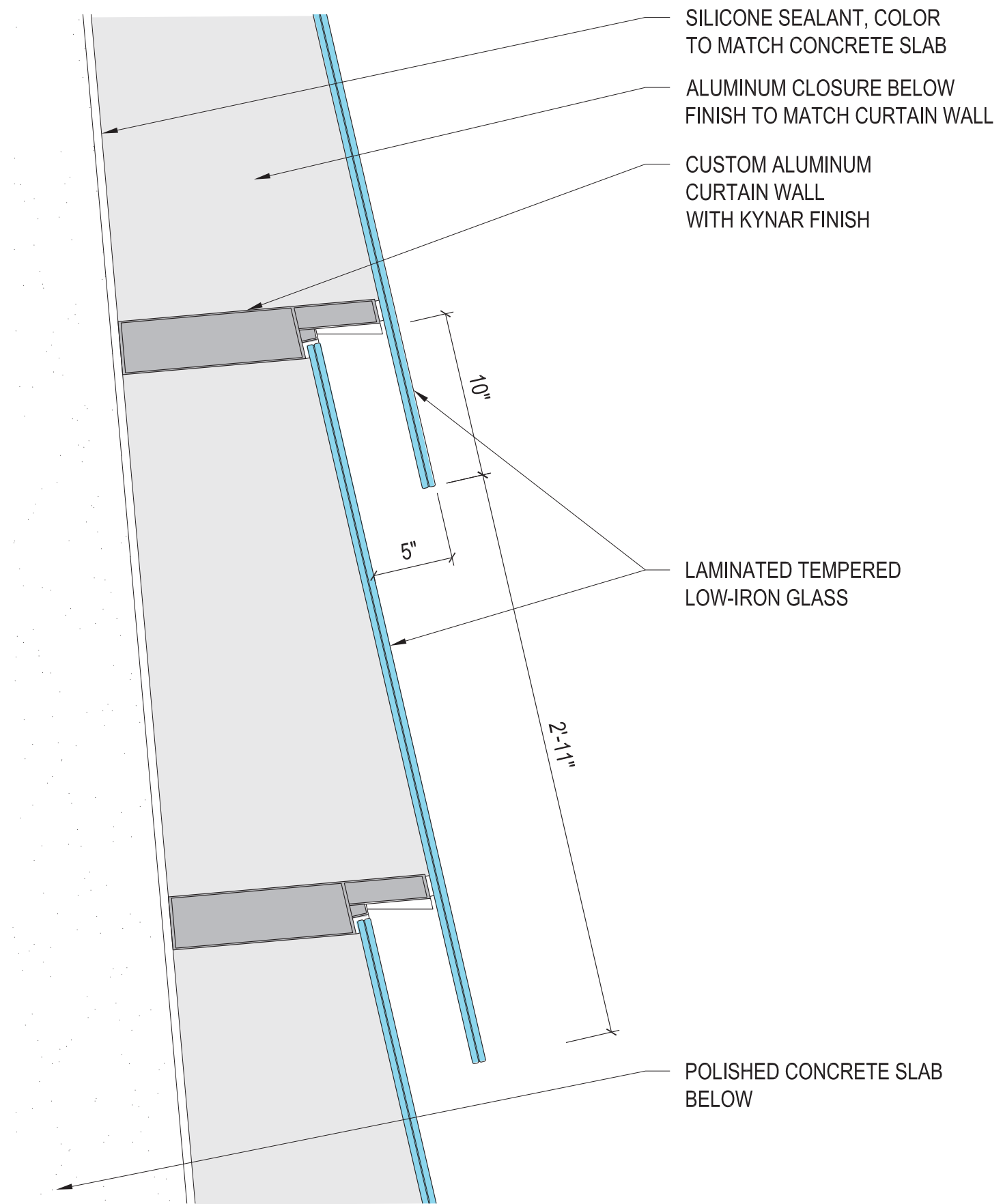


CURTAIN WALL SHADOW BOX PRECEDENTS

Proposed Skybridge

875 Stevenson Street, San Francisco, CA

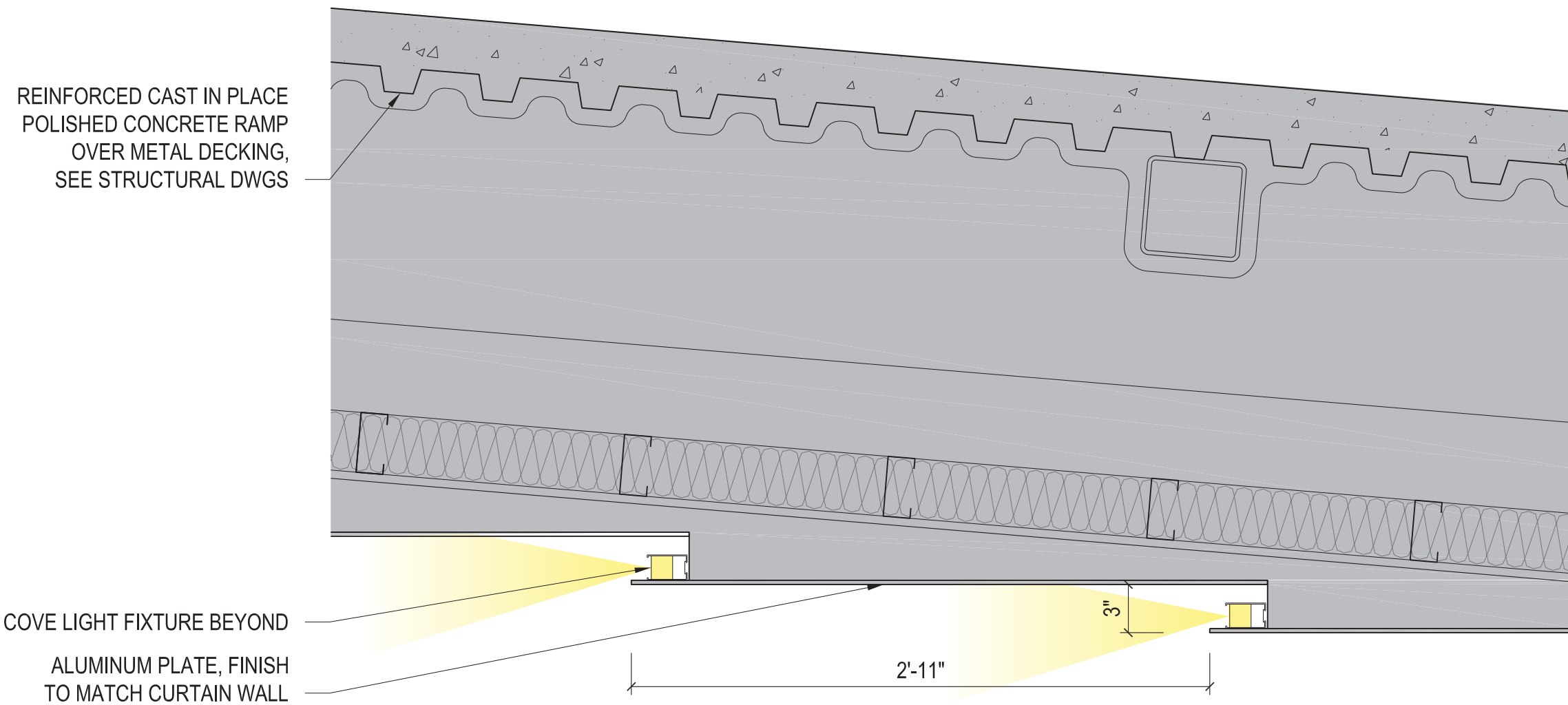
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BRIDGE CURTAIN WALL DETAIL
 SCALE: 1 1/2" = 1'-0"

Proposed Skybridge
 875 Stevenson Street, San Francisco, CA

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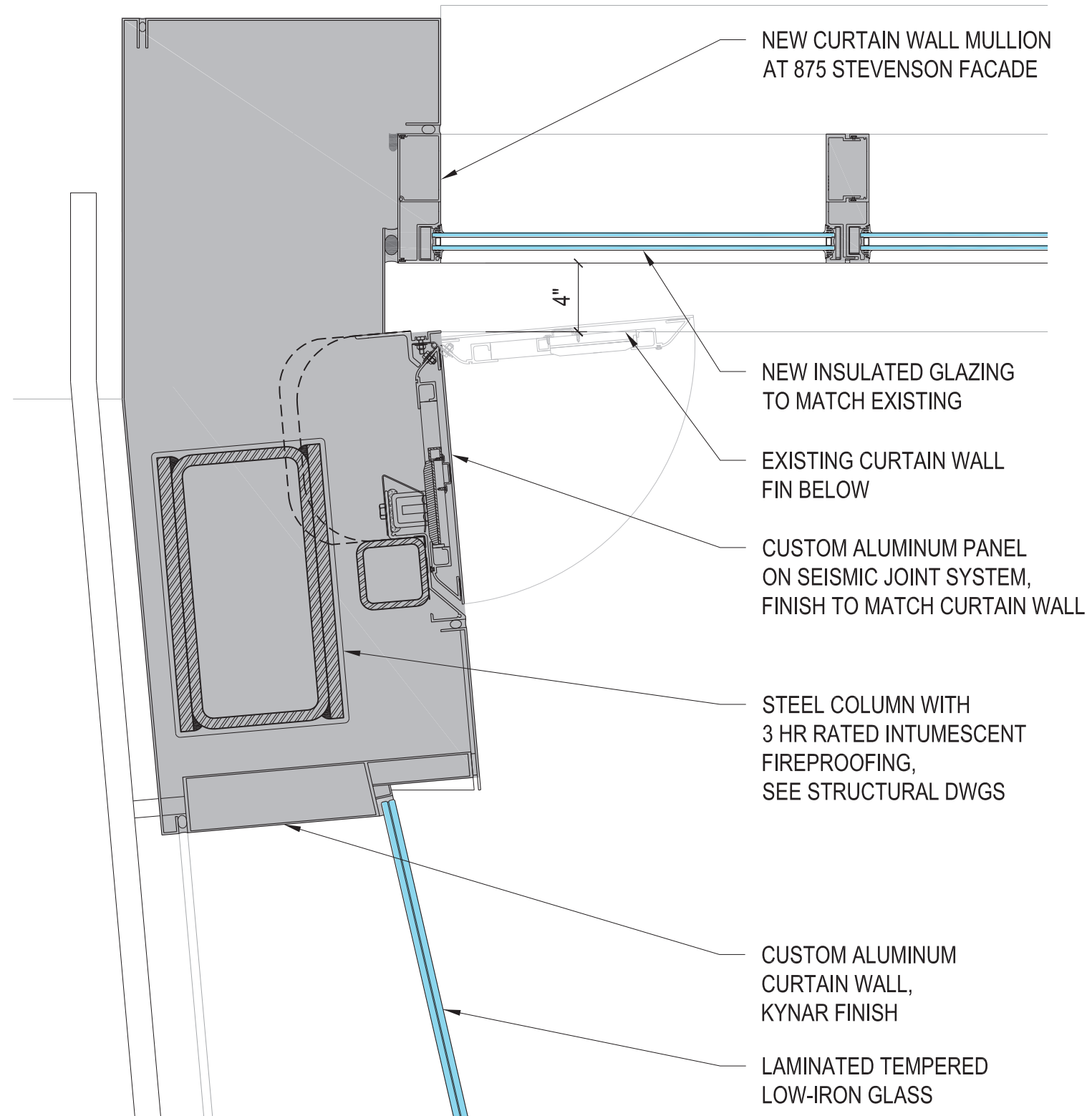


BRIDGE SOFFIT LIGHTING DETAIL
SCALE: 1 1/2" = 1'-0"

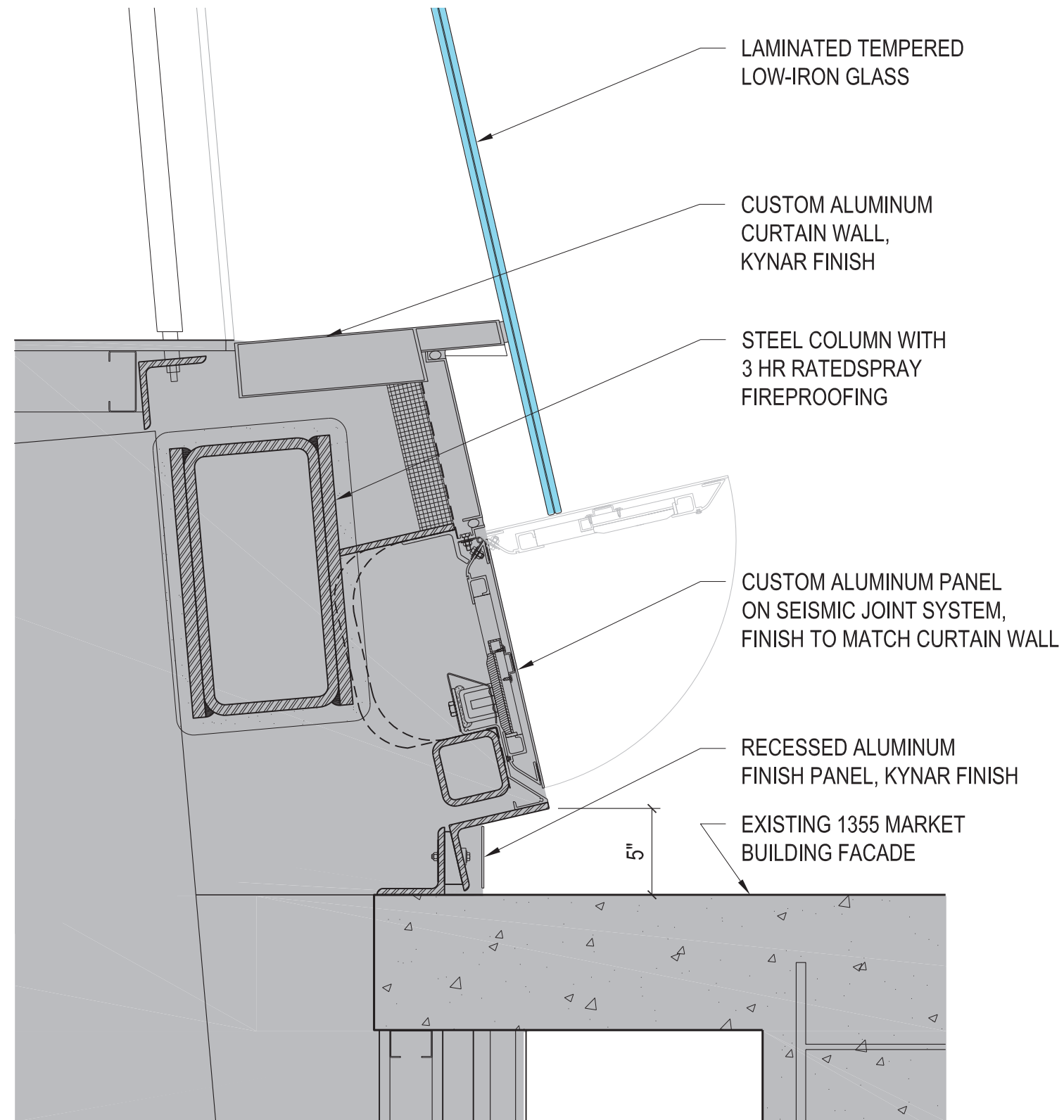
Proposed Skybridge

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CONNECTION PLAN DETAIL AT 1 TENTH
 SCALE: 1 1/2" = 1'-0"



CONNECTION PLAN DETAIL AT 1355 MARKET

SCALE: 1 1/2" = 1'-0"

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