



SAN FRANCISCO PLANNING DEPARTMENT

Certificate of Appropriateness Case Report

HEARING DATE: FEBRUARY 18, 2015

Filing Date: October 8, 2014
Case No.: **2014.1422A**
Project Address: **900 NORTH POINT STREET: GHIRARDELLI SQUARE**
Historic Landmark: No. 30 – Ghirardelli Square
Zoning: C-2 (Community Business) District
40-X Height and Bulk District
Waterfront Special Use District, subarea #2
Block/Lot: 0452 / 002
Applicant: Elisa Skaggs
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PROPERTY DESCRIPTION

Ghirardelli Square is a Romanesque Revival-style complex consisting of a collection of brick industrial buildings ranging in height from one to five stories. Construction of the existing buildings began in 1864 with the Woolen Mill building designed by William A. Mooser. Additions and alterations were made to the site in 1900 (Cocoa Building), 1911 (Chocolate and Mustard Buildings), 1915 (Power House), 1916 (Clock Tower and Apartment Building), 1919 (upper story of Chocolate Building), and 1923 (upper two stories of Cocoa Building) by William A. Mooser, II. The site was converted to retail use in 1962-68 and the rehabilitation was designed by Wurster, Bernardi & Emmons. The landscape architect for the conversion was Lawrence Halprin. All three phases of development and the accompanying structures have been recognized as contributing to the architectural and historical significance of the block.

Ghirardelli Square is designated San Francisco Landmark No. 30 and is listed on the National and California Registers of Historic Places, the *Here Today* survey (pages 40-43), and the 1976 Architectural Survey with a rating of '4'. The site is bound by Beach Street on the north, Larkin Street on the east, North Point Street on the south, and Polk Street on the west.

PROJECT DESCRIPTION

The proposed scope of work focuses on alterations to Terrace Plaza and ground floor of the north façade of the Mustard Building. Work at Terrace Plaza is intended to address waterproofing and accessibility

issues. At the Mustard Building, alterations would facilitate use of the ground floor retail space for a new restaurant tenant. Specifically, the proposal includes:

Terrace Plaza

- Replacement of existing paving – both original Halprin-era paving and 1980s-era paving – with new poured-in-place concrete and concrete pavers on pedestal system. The Halprin-era paving features a pebbled concrete (course aggregate concrete) field edged with 5 inch band of light-colored concrete (fine aggregate concrete). New paving will closely match the original Halprin-era finish (pebbled, or course aggregate, concrete) with a 6 inch band of light-colored concrete and will reestablish a regular grid pattern. Poured-in-place concrete will be installed at the on-grade locations and along the north side of the Mustard Building. Concrete pavers will be installed in the raised portion of the plaza; pavers will be 6 inch by 12 inch and 12 inch by 48 inch with a 3/16" joint between pavers. A false joint will highlight the lighter-colored grid at the raised pavers.
- Infill the chamfered corners installed in 1984 at the Halprin-era planter and reconfigure the planter to include new walls at east, south, and west sides. Infill at the previously chamfered corners will recreate the board form concrete finish of the original, extant portion of the wall.
- Install new plantings in the reconfigured planter.
- Install new concrete bench at south side of Halprin-era planter. The bench will be integral to the planter and will have a concrete base and reclaimed timber seat.
- Reconfigure stairs and ramps within Terrace Plaza. At the east end of the Plaza, stairs added in 1984 will be removed and replaced with new ramped paving. In the center of the Plaza, a ramp, planter, and set of angled stairs added in 1984 will be removed and replaced with raised paving and stairs. At the west end of the Plaza, angled stairs and intermediate landing added in 1984 to access the raised height of this portion of the Plaza, will be squared-off. New handrails with integral lighting will be installed at the west stair, center stair, and new ramp.
- Install incline lift mounted on railing at west stair between Terrace Plaza and Fountain Plaza.

Mustard Building

- Replace existing non-historic, angled storefront bays that project from ground floor of north façade of Mustard Building. The existing storefront bays appear to date from the alterations completed in 1984. The new storefront system will feature operable sash that will slide open to create a large opening in the center of each storefront facing the plaza.
- Remove paint from brick façade of ground floor of the north elevation of the Mustard Building.
- Clad the exposed underside of the existing second floor metal terrace with stucco and install recessed can lights.

Please see photographs and plans prepared by Page & Turnbull, Inc., HOK, and Boor Bridges Architecture, dated February 2015, for details.

OTHER ACTIONS REQUIRED

Proposed work will require Building Permit(s).

COMPLIANCE WITH THE PLANNING CODE PROVISIONS

The proposed project is in compliance with all other provisions of the Planning Code.

APPLICABLE PRESERVATION STANDARDS

ARTICLE 10

A Certificate of Appropriateness is required for any construction, alteration, removal, or demolition of a designated Landmark for which a City permit is required. In appraising a proposal for a Certificate of Appropriateness, the Historic Preservation Commission should consider the factors of architectural style, design, arrangement, texture, materials, color, and other pertinent factors. Section 1006.7 of the Planning Code provides in relevant part as follows:

The proposed work shall be appropriate for and consistent with the effectuation of the purposes of Article 10.

The proposed work shall be compatible with the historic structure in terms of design, materials, form, scale, and location. The proposed project will not detract from the site's architectural character as described in the designating ordinance. For all of the exterior and interior work proposed, reasonable efforts have been made to preserve, enhance or restore, and not to damage or destroy, the exterior architectural features of the subject property which contribute to its significance.

THE SECRETARY OF THE INTERIOR'S STANDARDS

Rehabilitation is the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features that convey its historical, cultural, or architectural values. The Rehabilitation Standards provide, in relevant part(s):

Standard 1: A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.

The project includes accessibility and waterproofing improvements at Terrace Plaza that will facilitate its continued, and historic, use for visitors and retailers. Proposed work will remove incompatible alterations and retain distinctive materials, spaces, and spatial relationships of Terrace Plaza to the extent feasible. Work at the ground floor of the Mustard Building will remove non-historic alterations and will avoid changes to distinctive materials, features, or spatial relationships of the Landmark.

Standard 2: The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

Terrace Plaza is part of the 1964 redevelopment of Ghirardelli Square by Wurster, Bernardi & Emmons with landscape design by Lawrence Halprin. In 1984, significant alterations to this plaza were made that included raising the height of the plaza, installing new paving, adding new ramps and stairs, and reconfiguring and chamfering corners of the Halprin-era planter. The proposed project will remove a number of these previous alterations while being sensitive to the 1960s-era historic fabric to the extent feasible. At the Mustard Building, no distinctive materials, features, spaces, or spatial relationships that characterize the property will be altered.

Standard 3: Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

The project does not propose to add conjectural features or changes that create a false sense of historical development. Historic photographs and plans from the 1960s-era redevelopment of the site have been utilized for the current project. The paving grid pattern, which will be altered as part of the project, is based on extant fabric and historic plans and photographs. The new paving will have a grid pattern that will respond to the architecture of the Plaza, and its features, in a manner similar to the original Halprin design. The underside of the metal terrace that projects from the second floor of the Mustard Building is proposed to be clad with stucco; historic photographs from the 1960s depict a similar finish for this feature.

Standard 4: Changes to a property that have acquired significance in their own right will be retained and preserved.

The Landmark and National Register designations for Ghirardelli Square recognize two primary periods of significance for the property with three phases of development; 1861-1923 covers the first and second phases of development when the property was developed as the Pioneer Woolen Mills (1858-1889) and then as the D. Ghirardelli Company (1893-1962-67) and 1962-1968 covers the third phase when the property underwent a commercial adaptive use to become Ghirardelli Square. Alterations made since the 1960s have not acquired significance.

The proposed project respects character-defining elements of the property from both recognized periods of significance.

Standard 5: Distinctive features, finishes, and construction techniques or examples of fine craftsmanship that characterize a property will be preserved.

The original board form concrete exposed north wall of the Halprin-era planter facing the ramp that divides Terrace and Fountain plazas will be preserved and incompatible previous alterations such as the chamfered corners of this planter wall will be removed. The original configuration of the north wall of the planter will be restored. No alterations to existing fenestration or details of the Mustard Building are proposed. The proposed project will preserve the craftsmanship that characterizes the Landmark property.

Standard 6: Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the

old in design, color, texture, and where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

Although Terrace Plaza was substantially repaved in 1984 when the height of the plaza was altered, original Halprin-era paving exists along the walkway adjacent to the north façade of the Mustard Building, the east and north sides of the Plaza, and within the passageway leading from the Plaza to North Point Street. This original paving also is extant underneath the raised portion of the Plaza. According to the project sponsor, the original paving exhibits much deterioration and requires removal to address waterproofing of the Plaza. Where possible (at grade and along north façade of Mustard Building), new poured-in-place concrete will be installed that matches existing in design, color, texture, and materials with the exception that the 5 inch edging will be changed to 6 inches for consistency with other proposed paving at Plaza.

At the raised portion of the Plaza, a paver system resting on steel pedestal system will be installed. The new pavers will match the color and texture of the original Halprin-era paving and will be installed in a grid pattern that is consistent with Halprin's original paving layout.

Standard 7: Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

No chemical or physical treatments are anticipated as part of the project except at the Mustard Building where the non-historic paint on the north façade is being considered for removal. Should this paint be removed, the gentlest means possible will be utilized.

Standard 9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

The proposed project includes accessibility improvements and the replacement of the existing paving to address water infiltration issues. The new paving, both poured-in-place and pedestal paver system, will match the Halprin-era paving in material, texture, and color thus retaining the historic quality of the Plaza. The Halprin-era planter, which was inappropriately altered in 1984, will be reconfigured in a manner that references the original design and construction. A new built-in, concrete bench will be installed at the south side of the planter to redefine this boundary of the planter. The bench pops out at the center to reference the seating nooks in the original Halprin design of the planter. The new incline lift will be installed along the west side of the planter in a manner that is as unobtrusive as possible and changes to the location of stairs and ramps within the Plaza will simplify the overall plan in a manner that appears to be generally consistent with the 1960s-era design. The new bench, incline lift, handrails, and paving will be differentiated from the old yet compatible with the scale, massing, materials and finishes of the Plaza and property.

At the Mustard Building, the proposed project would replace two non-historic storefront enclosures. The new storefront will be detailed such that they are differentiated from the Mustard Building but compatible with the building and site, in general.

Standard 10: New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The proposed storefront enclosures at the Mustard Building will be installed in a manner that is readily reversible, and if removed in the future, the form and integrity of this building would be unimpaired. Alterations to the paving will also be undertaken in a manner that will retain the essential form and integrity of the historic property.

PUBLIC/NEIGHBORHOOD INPUT

The Department has received no public input on the project at the date of this report.

ISSUES & OTHER CONSIDERATIONS

- The Landmark and National Register designations for Ghirardelli Square recognize two primary periods of significance for the property with three phases of development; 1861-1923 covers the first and second phases of development when the property was developed as the Pioneer Woolen Mills (1858-1889) and then as the D. Ghirardelli Company (1893-1962-67) and 1962-1968 covers the third phase when the property underwent a commercial adaptive use to become Ghirardelli Square. Alterations made since the 1960s have not acquired significance. The proposed project involves building and site features that date from both periods of significance with various non-historic alterations. Due to the multiple layers of significance, and numerous alterations, in their assessment of Ghirardelli Square, Page & Turnbull, Inc. developed detailed significance diagrams that indicate areas of primary, secondary, and non-contributing status. These determinations are based on multiple criteria for each building and site feature, including date of construction and overall integrity. In the area of the proposed project, Page & Turnbull, Inc. identified the majority of Terrace Plaza as “secondary contributing” due to non-historic alterations with the altered Halprin-era planter and non-historic bandshell identified as “non-contributing.” The north edge of the Plaza, including the ramp down to Fountain Plaza, was identified as “primary contributing.” For the purposes of the current evaluation, staff concurs with these determinations.
- The Project Sponsor has initiated an update of the Design Guidelines for the property. Staff review of this document is ongoing. As noted below, several details of the proposed project, including landscape plantings, storefront mullion profiles and finish, and material palette for new features will be conditioned to refer to this Guidelines document to ensure that new features are compatible with the character of similar character-defining features of this unique property.

STAFF ANALYSIS

Staff has determined that the proposed work will be in conformance with the requirements of Article 10 and the *Secretary of Interior's Standards for Rehabilitation*. Proposed work is compatible with the Landmark property. Staff finds that the project will replace deteriorated historic paving to closely match existing, will incorporate a new paving system, bench, plantings, and incline lift at Plaza and replace non-historic features at Mustard Building in a manner that is compatible with Landmark property and that the Landmark will be retained and preserved.

Terrace Plaza

Stairs, ramps, and Incline Lift

The proposed project will remove non-historic stairs and ramps within the Plaza and will install a new ramp and orthogonal stairs that are compatible with the original Halprin design. A new Incline Lift, providing Code-compliant accessibility to the site, will be installed at the western stair of the Plaza. The lift will be mounted on a simple metal railing anchored to grade surface. Machinery for the lift will be installed out of sight within the adjacent planter. As proposed, reconfiguration of stairs and ramps, and provision of incline lift, appears to be compatible with the character of the Landmark so long as new handrails and metal railing for the new lift have a dark finish to match existing railings found within the Plaza.

Recommendation:

1. *Staff recommends that new handrails and metal railings have a dark finish to match existing railings found within the Plaza and Landmark property. Appropriate finish and color for handrails, metal railings, or similar features will also refer to the updated Design Guidelines for guidance.*

Paving

Although Terrace Plaza was substantially repaved in 1984 when the height of the plaza was altered, original Halprin-era paving exists along the walkway adjacent to the north façade of the Mustard Building, the east and north sides of the Plaza, and within the passageway leading from the Plaza to North Point Street. This original paving also is extant underneath the raised portion of the Plaza. Halprin-era paving features a pebbled concrete (course aggregate concrete) field edged with 5 inch band of light-colored concrete (fine aggregate concrete). While there may be isolated areas within the rest of the site where similar Halprin-era paving is extant, Terrace Plaza appears retain the largest such remnant.

This original paving exhibits much deterioration and requires removal to address waterproofing issues. The proposed project will remove all (historic and non-historic) paving within Terrace Plaza, including along north façade of Mustard Building, within passageway to North Point Street, and at ramp leading to Fountain Plaza in order to install a new waterproofing membrane and paving systems. Poured-in-place concrete will be installed at the on-grade locations, and along the north side of the Mustard Building. Concrete pavers on a pedestal system will be installed in the raised portion of the plaza; pavers will be 6 inch by 12 inch and 12 inch by 48 inch with a small (3/16") joint between pavers and a false joint to highlight the light-colored grid. All new paving will closely match the original Halprin-era finish (pebbled, or course aggregate, concrete) with a 6 inch band of light-colored concrete. The new paving will reestablish a regular grid pattern within the Plaza with the light-colored edging changing from 5 inches to 6 inches; the pedestal paver system cannot accommodate pavers any smaller than 6 inches and the project sponsor would like the appearance of the entire Plaza to be consistent once the new paving systems are installed. This appears to be a minor change that is compatible with the original paving.

Although the loss of historic paving is unfortunate, existing paving appears to be deteriorated such that a new paving and waterproofing system is justified. New paving in both the poured-in-place and pedestal paver systems will closely match existing in texture, color, design, and, with the poured-in-place concrete, materials, in a manner that is consistent with the *Secretary's Standards*.

Recommendations:

2. *Staff recommends that the joint between pavers be the absolute minimum size so that pavers can read as much like a continuous field as possible and resemble more closely the original paving.*

3. *Staff recommends photographic documentation of the existing Halprin-era paving, including those stairs previously covered by installation of the previous raised paving, prior to removal. Further, physical samples of the pebbled and light-colored concrete will be salvaged and retained for comparison to the proposed new paving material, finish, color, and texture.*

Planter

The existing planter at the north edge of the Plaza was designed by Halprin, but it was substantially altered in 1984 through chamfering of several corners and total reconfiguration of the south side of the feature. The proposed project will infill chamfered corners to restore the extent and appearance of the north wall of the planter. Infill at the previously chamfered corners will recreate the board form concrete finish of the original, extant portion of the wall. At the east, south, and west sides, new planter walls will be installed. The south side of the planter, which is effectively below grade due to the raised level of the Plaza, will be defined by a new built-in concrete bench. The bench, which will be constructed of concrete with a reclaimed wood seat, will form an E in plan with the center section popping out in a manner that references the seating nooks in the original Halprin design. The reconfigured planter will be planted in new landscape plantings.

Recommendation:

4. *Staff recommends that to be compatible with the Landmark, the finish and material of the seat of the new built-in bench be based on information in the updated Design Guidelines and reflect the materiality typical of character-defining features of the Landmark property. The Project Sponsor will work with staff to confirm a compatible finish and material for the new bench based on the updated Design Guidelines.*
5. *Staff recommends that, where feasible, new landscape plantings evoke Halprin-era landscape design for the site. The project sponsor should seek original landscape planting plans and/or utilize historic photographs to inform future planting plans. Appropriate landscape plant list should be incorporated into updated Design Guidelines for the property (under development). Future landscape plantings, including for the proposed project, shall conform to the updated Design Guidelines.*

Mustard Building

The proposed project will replace non-historic features at the ground floor of the north façade of the Mustard Building and clad the exposed underside of the second floor terrace. Two existing non-historic angled storefront bays that project from ground floor of north façade of Mustard Building. The existing storefront bays appear to date from alterations made in 1984. New storefront will feature operable sash that will slide open to create a large opening in the center of each storefront facing the plaza. When in the closed position, this operable sash will align with the adjacent storefront. The new storefront is proposed as a multi-light metal storefront system with a dark finish. The project also proposes to remove non-historic paint from the brick cladding using the gentlest means possible. No changes would be made to projecting window lintels. The underside of the metal deck would be clad with stucco, which appears to be consistent with the finish for this feature as shown in 1960s-era photographs. Proposed alterations at north façade of Mustard Building appear to be compatible with the character of the building and site in conformance with the *Secretary's Standards* with the following modifications.

Recommendations:

6. *Staff recommends that Project Sponsor inventory and analyze site to determine whether there is a typical or prominent storefront or window mullion profile and/or mullion pattern from any periods of significance. Such information shall be incorporated into the updated Design Guidelines and the proposed project shall utilize a system that emulates these typical storefront features. Staff further recommends that the mullion*

pattern (horizontal and vertical) of the new storefront be simplified to reflect typical storefront systems from the Wurster, or Ghirardelli, periods.

7. *Staff recommends provision of product and methodology specifications for proposed paint removal at brick for review and approval by staff.*
8. *Staff recommends preparation of on-site mock-ups for proposed paint removal with review and approval of means and methods by staff.*
9. *Staff recommends that finish and tone for stucco at underside of deck be submitted to staff for review and approval for consistency with appearance of this feature in historic photographs. Staff further recommends provision of a reflected ceiling plan for the underside of the deck in the Building Permit Application plans that include location of proposed recessed lighting and scoring of stucco.*

ENVIRONMENTAL REVIEW STATUS

The Planning Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15301 (Class One-Minor Alteration of Existing facility) because the project is a minor alteration of an existing structure and meets the *Secretary of the Interior's Standards*.

PLANNING DEPARTMENT RECOMMENDATION

Planning Department staff recommends APPROVAL WITH CONDITIONS of the proposed project as it appears to meet the Secretary of the Interior Standards for Rehabilitation.

ATTACHMENTS

Draft Motion

Parcel Map

Sanborn Map

Aerial Photos

Sponsor Packet, including:

- Ghirardelli Square Exhibit 1: Narrative Description and Standards Analysis
- Ghirardelli Square C of A package (site history, photographs, plans, renderings, etc.)

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SAN FRANCISCO PLANNING DEPARTMENT

Historic Preservation Commission Draft Motion

HEARING DATE: NOVEMBER 5, 2014

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ADOPTING FINDINGS FOR A CERTIFICATE OF APPROPRIATENESS FOR PROPOSED WORK DETERMINED TO BE APPROPRIATE FOR AND CONSISTENT WITH THE PURPOSES OF ARTICLE 10, TO MEET THE STANDARDS OF ARTICLE 10 AND TO MEET THE SECRETARY OF INTERIOR'S STANDARDS FOR REHABILITATION, FOR THE PROPERTY LOCATED ON LOT 002 IN ASSESSOR'S BLOCK 0452, WITHIN A C-2 (COMMUNITY BUSINESS) ZONING DISTRICT, WATERFRONT SPECIAL USE DISTRICT, SUBAREA #2, AND AN 40-X HEIGHT AND BULK DISTRICT.

PREAMBLE

WHEREAS, on October 8, 2014, Elisa Skaggs of Page & Turnbull, Inc. ("Project Sponsor") filed an application with the San Francisco Planning Department ("Department") for a Certificate of Appropriateness to for alterations to Terrace Plaza and ground floor of north façade of Mustard Building at Ghirardelli Square, on the subject property located on Lot 002 in Assessor's Block 0452.

Specifically, the proposal includes:

Terrace Plaza

- Replacement of existing paving – both original Halprin-era paving and 1980s-era paving – with new poured-in-place concrete and concrete pavers on pedestal system. The Halprin-era paving features a pebbled concrete (course aggregate concrete) field edged with 5 inch band of light-colored concrete (fine aggregate concrete). New paving will closely match the original Halprin-era finish (pebbled, or course aggregate, concrete) with a 6 inch band of light-colored concrete

and will reestablish a regular grid pattern. Poured-in-place concrete will be installed at the on-grade locations and along the north side of the Mustard Building. Concrete pavers will be installed in the raised portion of the plaza; pavers will be 6 inch by 12 inch and 12 inch by 48 inch with a 3/16" joint between pavers. A false joint will highlight the lighter-colored grid at the raised pavers.

- Infill the chamfered corners installed in 1984 at the Halprin-era planter and reconfigure the planter to include new walls at east, south, and west sides. Infill at the previously chamfered corners will recreate the board form concrete finish of the original, extant portion of the wall.
- Install new plantings in the reconfigured planter.
- Install new concrete bench at south side of Halprin-era planter. The bench will be integral to the planter and will have a concrete base and reclaimed timber seat.
- Reconfigure stairs and ramps within Terrace Plaza. At the east end of the Plaza, stairs added in 1984 will be removed and replaced with new ramped paving. In the center of the Plaza, a ramp, planter, and set of angled stairs added in 1984 will be removed and replaced with raised paving and stairs. At the west end of the Plaza, angled stairs and intermediate landing added in 1984 to access the raised height of this portion of the Plaza, will be squared-off. New handrails with integral lighting will be installed at the west stair, center stair, and new ramp.
- Install incline lift mounted on railing at west stair between Terrace Plaza and Fountain Plaza.

Mustard Building

- Replace existing non-historic, angled storefront bays that project from ground floor of north façade of Mustard Building. The existing storefront bays appear to date from the alterations completed in 1984. The new storefront system will feature operable sash that will slide open to create a large opening in the center of each storefront facing the plaza.
- Remove paint from brick façade of ground floor of the north elevation of the Mustard Building.
- Clad the exposed underside of the existing second floor metal terrace with stucco and install recessed can lights.

WHEREAS, the Project was determined by the Department to be categorically exempt from environmental review. The Historic Preservation Commission (hereinafter "Commission") has reviewed and concurs with said determination.

WHEREAS, on February 18, 2015, the Commission conducted a duly noticed public hearing on the current project, Case No. 2014.1422A ("Project") for its appropriateness.

WHEREAS, in reviewing the Application, the Commission has had available for its review and consideration case reports, plans, and other materials pertaining to the Project contained in the

Department's case files, has reviewed and heard testimony and received materials from interested parties during the public hearing on the Project.

MOVED, that the Commission hereby **APPROVES WITH CONDITIONS** the Certificate of Appropriateness, in conformance with the conceptual architectural plans dated October 2015 and labeled Exhibit A on file in the docket for Case No. 2014.1422A based on the conditions and findings listed below.

CONDITIONS OF APPROVAL

Upon completion of construction drawings, the following shall be submitted to Planning Department Preservation Staff for review and approval:

1. That new handrails and metal railings have a dark finish to match existing railings found within the Plaza and Landmark property. Appropriate finish and color for handrails, metal railings, or similar features will also refer to the updated Design Guidelines for guidance.
2. That the joint between pavers be the absolute minimum size so that pavers can read as much like a continuous field as possible and resemble more closely the original paving.
3. That photographic documentation of the existing Halprin-era paving, including those stairs previously covered by installation of the previous raised paving, be conducted prior to removal. Further, physical samples of the pebbled and light-colored concrete will be salvaged and retained for comparison to the proposed new paving material, finish, color, and texture.
4. That to be compatible with the Landmark, the finish and material of the seat of the new built-in bench be based on information in the updated Design Guidelines and reflect the materiality typical of character-defining features of the Landmark property. The Project Sponsor will work with staff to confirm a compatible finish and material for the new bench based on the updated Design Guidelines.
5. That, where feasible, new landscape plantings evoke Halprin-era landscape design for the site. The project sponsor should seek original landscape planting plans and/or utilize historic photographs to inform future planting plans. Appropriate landscape plant list should be incorporated into updated Design Guidelines for the property (under development). Future landscape plantings, including for the proposed project, shall conform to the updated Design Guidelines.

6. That the Project Sponsor inventory and analyzes site to determine whether there is a typical or prominent storefront or window mullion profile and/or mullion pattern from any periods of significance. Such information shall be incorporated into the updated Design Guidelines and the proposed project shall utilize a system that emulates these typical storefront features. Staff further recommends that the mullion pattern (horizontal and vertical) of the new storefront be simplified to reflect typical storefront systems from the Wurster, or Ghirardelli, periods.
7. That the Project Sponsor provide product and methodology specifications for proposed paint removal at brick for review and approval by staff.
8. That preparation of on-site mock-ups for proposed paint removal be reviewed and approved by staff.
9. That finish and tone for stucco at underside of deck be submitted to staff for review and approval for consistency with appearance of this feature in historic photographs. Staff further recommends provision of a reflected ceiling plan for the underside of the deck in the Building Permit Application plans that include location of proposed recessed lighting and scoring of stucco.

FINDINGS

Having reviewed all the materials identified in the recitals above and having heard oral testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and also constitute findings of the Commission.
2. Findings pursuant to Article 10:

The Historical Preservation Commission has determined that the proposed work is compatible with the character of the landmark as described in the designation report.

- The proposal is compatible with, and respects, the character-defining features of the landmark property.
- The proposed work will not damage or destroy distinguishing original qualities or character of the landmark property.
- The proposed project will not remove distinctive materials nor irreversibly alter features, spaces, or spatial relationships of the arcade that characterizes the landmark property.
- That proposed retail kiosks will have a contemporary design that is compatible with the character of the landmark property.
- If the proposed addition is removed in the future, the essential form and integrity of the landmark property will remain intact.
- The proposed project meets the following *Secretary of the Interior's Standards for Rehabilitation*:

Standard 1.

A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

Standard 2.

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

Standard 3.

Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

Standard 4.

Changes to a property that have acquired significance in their own right will be retained and preserved.

Standard 5.

Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.

Standard 6.

Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

Standard 7.

Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

Standard 9.

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Standard 10.

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

3. **General Plan Compliance.** The proposed Certificate of Appropriateness is, on balance, consistent with the following Objectives and Policies of the General Plan:

I. URBAN DESIGN ELEMENT

THE URBAN DESIGN ELEMENT CONCERNS THE PHYSICAL CHARACTER AND ORDER OF THE CITY, AND THE RELATIONSHIP BETWEEN PEOPLE AND THEIR ENVIRONMENT.

GOALS

The Urban Design Element is concerned both with development and with preservation. It is a concerted effort to recognize the positive attributes of the city, to enhance and conserve those attributes, and to improve the living environment where it is less than satisfactory. The Plan is a definition of quality, a definition based upon human needs.

OBJECTIVE 1

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

POLICY 1.3

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

OBJECTIVE 2

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

POLICY 2.4

Preserve notable landmarks and areas of historic, architectural or aesthetic value, and promote the preservation of other buildings and features that provide continuity with past development.

POLICY 2.5

Use care in remodeling of older buildings, in order to enhance rather than weaken the original character of such buildings.

POLICY 2.7

Recognize and protect outstanding and unique areas that contribute in an extraordinary degree to San Francisco's visual form and character.

The goal of a Certificate of Appropriateness is to provide additional oversight for buildings and districts that are architecturally or culturally significant to the City in order to protect the qualities that are associated with that significance.

The proposed project qualifies for a Certificate of Appropriateness and therefore furthers these policies and objectives by maintaining and preserving the character-defining features of Ghirardelli Square for the future enjoyment and education of San Francisco residents and visitors.

4. The proposed project is generally consistent with the eight General Plan priority policies set forth in Section 101.1 in that:
 - A) The existing neighborhood-serving retail uses will be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses will be enhanced:

The proposed project will have no effect on neighborhood-serving retail uses.

- B) The existing housing and neighborhood character will be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods:

The proposed project will have no effect on housing and will strengthen neighborhood character by respecting the character-defining features of the landmark in conformance with the Secretary of the Interior's Standards.

- C) The City's supply of affordable housing will be preserved and enhanced:

The project will not impact the affordable housing supply.

- D) The commuter traffic will not impede MUNI transit service or overburden our streets or neighborhood parking:

The proposed project will not result in commuter traffic impeding MUNI transit service or overburdening the streets or neighborhood parking.

- E) A diverse economic base will be maintained by protecting our industrial and service sectors from displacement due to commercial office development. And future opportunities for resident employment and ownership in these sectors will be enhanced:

The proposed will not have any impact on industrial and service sector jobs. No office development is proposed as part of the project.

- F) The City will achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

Preparedness against injury and loss of life in an earthquake is improved by the proposed work. All construction will be executed in compliance with all applicable construction and safety measures.

- G) That landmark and historic buildings will be preserved:

The proposed project is in conformance with Article 10 of the Planning Code and the Secretary of the Interior's Standards for Rehabilitation.

- H) Parks and open space and their access to sunlight and vistas will be protected from development:

The proposed project will not impact the access to sunlight or vistas for the parks and open space.

5. For these reasons, the proposal overall, is appropriate for and consistent with the purposes of Article 10, meets the standards of Article 10, and the *Secretary of Interior's Standards for Rehabilitation*, General Plan and Prop M findings of the Planning Code.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **GRANTS WITH CONDITIONS a Certificate of Appropriateness** for the property located at Lot 002 in Assessor's Block 0452 for proposed work in conformance with the conceptual architectural plans dated February 2015 and labeled Exhibit A on file in the docket for Case No. 2014.1422A.

APPEAL AND EFFECTIVE DATE OF MOTION: The Commission's decision on a Certificate of Appropriateness shall be final unless appealed within thirty (30) days. Any appeal shall be made to the Board of Appeals, unless the proposed project requires Board of Supervisors approval or is appealed to the Board of Supervisors as a conditional use, in which case any appeal shall be made to the Board of Supervisors (see Charter Section 4.135).

Duration of this Certificate of Appropriateness: This Certificate of Appropriateness is issued pursuant to Article 10 of the Planning Code and is valid for a period of three (3) years from the effective date of approval by the Historic Preservation Commission. The authorization and right vested by virtue of this action shall be deemed void and canceled if, within 3 years of the date of this Motion, a site permit or building permit for the Project has not been secured by Project Sponsor.

THIS IS NOT A PERMIT TO COMMENCE ANY WORK OR CHANGE OF OCCUPANCY UNLESS NO BUILDING PERMIT IS REQUIRED. PERMITS FROM THE DEPARTMENT OF BUILDING INSPECTION (and any other appropriate agencies) MUST BE SECURED BEFORE WORK IS STARTED OR OCCUPANCY IS CHANGED.

I hereby certify that the Historical Preservation Commission ADOPTED the foregoing Motion on February 18, 2015.

Jonas P. Ionin
Commission Secretary

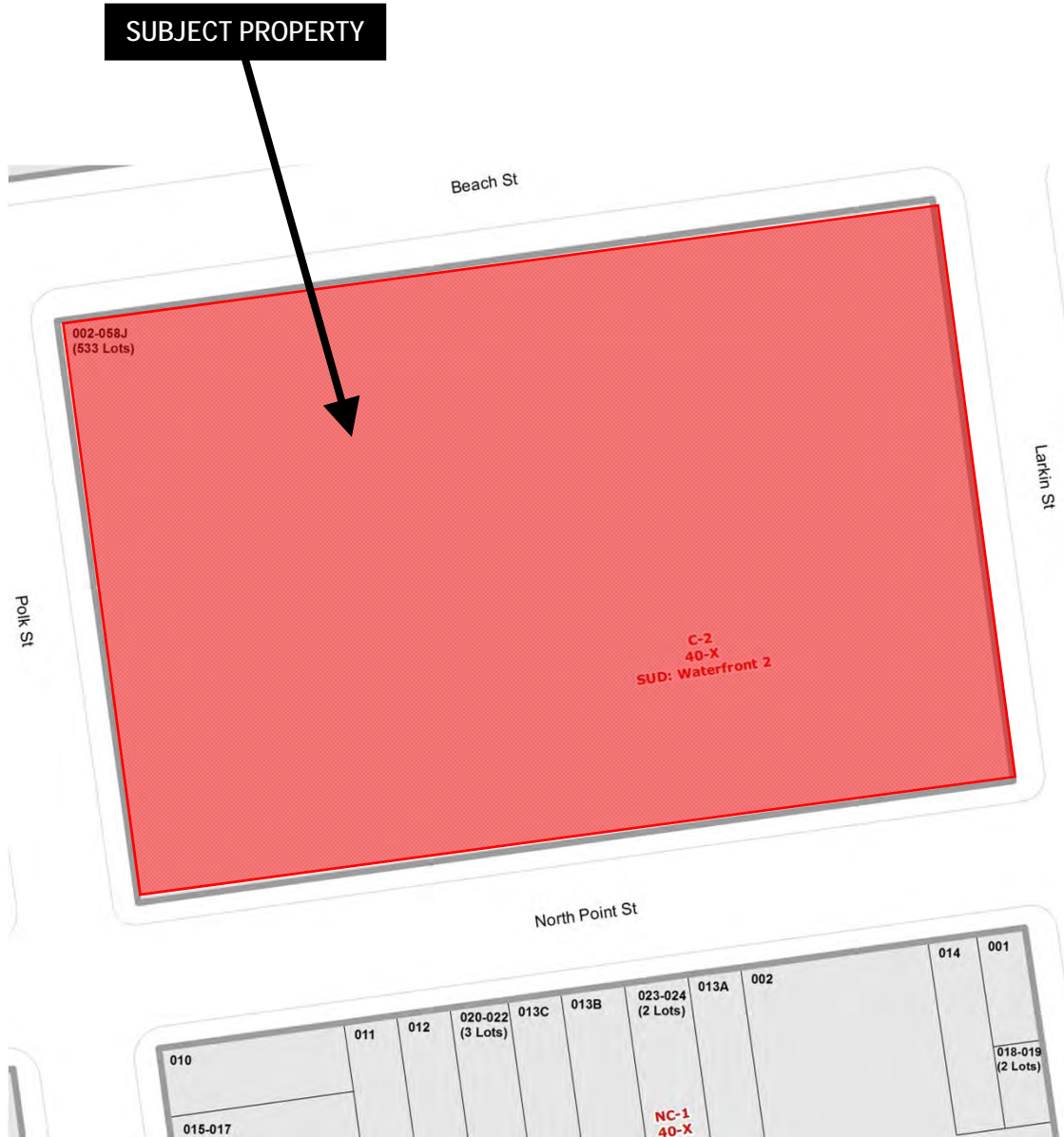
AYES: X

NAYS: X

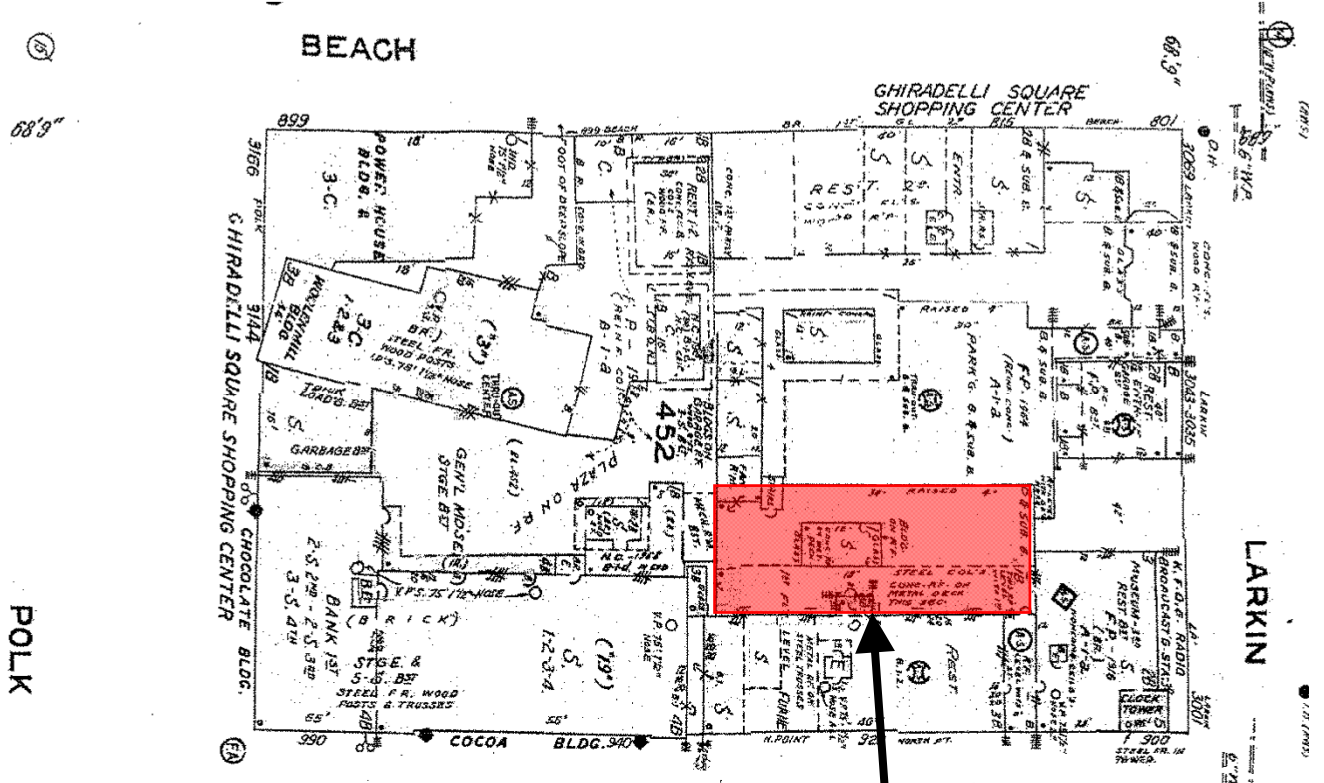
ABSENT: X

ADOPTED: February 18, 2015

Parcel Map



Sanborn Map*



*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.

Location of proposed project



Certificate of Appropriateness
 Case Number 2014.1422A
 Ghirardelli Square

Aerial Photo



SUBJECT PROPERTY



Certificate of Appropriateness
Case Number 2014.1422A
Ghirardelli Square

Aerial Photo



LOCATION OF PROPOSED WORK ON SUBJECT PROPERTY



Ghirardelli Square – Exhibit 1

Certificate of Appropriateness for proposed work at:

- Terrace Plaza
- Mustard Building

3. Project Description

Terrace Plaza: The proposed project consists of providing an accessible path from Fountain Plaza to Terrace Plaza via an incline lift at the stair connecting the two plazas. The project will also include the repaving of the Terrace to address water infiltration issues. Repaving will be compatible with the historic 1964 paving in style, texture, materials, and configuration. Terrace Plaza will be slightly reconfigured in a way that is more compatible with the 1964 design. Select alterations made in 1984 will be removed.

Mustard Building: The Mustard Building has two non-historic storefront enclosures at the north façade at the Terrace Plaza level. The storefronts were added in 1984 and are not compatible with features from either period of significance.

4. Project Narrative Description

The proposed project addresses accessibility deficiencies at the Terrace Plaza. The Terrace Plaza is currently only ADA accessible from North Point Street. The Halprin landscape improvements in the 1960s include a ramp that connects Terrace Plaza to the main plaza, Fountain Plaza; however, it exceeds the allowable slope for accessibility and is not ADA compliant. It also exceeds that allowable distance and slope under the California Historical Building Code. There is currently no ADA compliant path from Fountain Plaza to Terrace Plaza.

Terrace Plaza was altered in 1984. Alterations included reconfiguration of the Plaza and raising the intermediate level of the plaza so that it is now about 7 feet higher than Fountain Plaza.

The proposed project will include the following improvements to the Terrace Plaza:

1. Removal of select 1984 alterations.
2. Reconfiguration of Terrace Plaza in a way that is more compatible with Halprin's original design.
3. Addition of an incline lift to provide accessibility from Fountain Plaza to Terrace Plaza.
4. Replacement of the existing pavement with a new compatible surface to address water infiltration issues. The new pavement will match the Halprin paving in color, texture, and material.
5. A reconfigured planter that includes a seatwall that recalls the benches that were integrated within the original Halprin planter.

The proposed project will also include the replacement of the non-historic storefront enclosures on the north facade of the Mustard Building. The storefronts were installed in 1984 using a standard storefront system and were configured with chamfered sides. The storefronts will be replaced with

new storefronts that are orthogonal in configuration. The design team will work with Planning Staff to determine final storefront details to ensure a storefront design that is compatible with Ghirardelli Square.

The north façade of the Mustard Building is painted up to the second floor level. The design team is considering the feasibility of returning this portion of the façade to unpainted brick. Should it become feasible, the paint will be removed entirely from the north façade using the gentlest means possible. Mock-ups will be conducted to ensure that the paint removal process is consistent with best preservation practices.

General Preservation Standards Analysis

1. The property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships;

The project scope includes accessibility and waterproofing improvements at Terrace Plaza that will allow it to continue to be used as it was historically. The scope at the Terrace Plaza will include changes that remove incompatible alterations with improvements that are respectful of the historic character of Ghirardelli Square. A new restaurant will be located at the Terrace level of the Mustard Building. The restaurant use will require only minimal change to the Mustard Building. The proposed project will comply with Standard 1.

2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize the property will be avoided;

Terrace Plaza: Terrace Plaza is part of the 1964 redevelopment of Ghirardelli Square and had a significant alteration in 1984. The 1984 alterations reconfigured and raised the level of the plaza. The proposed project will remove select 1984 alterations. It will also include accessibility improvement as well as waterproofing improvements. The proposed project will reconfigure Terrace Plaza so that it is more compatible with the 1960s design. The replacement of the existing paving to address water infiltration will include replacement materials that are configured similarly to the original Halprin design and will match the original 1964 paving in color and texture.

Mustard Building: The existing non-historic storefront enclosures at the Mustard Building will be replaced with new storefront enclosures. The design team will work with Planning Staff to develop details that are compatible with the site. No character-defining features of the Mustard Building will be removed.

The proposed project will comply with Standard 2 and the character of Ghirardelli Square will be retained.

3. Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken;

There are no changes that are proposed that will create a false sense of historical development. The proposed project will reconfigure the plaza so that it is more compatible with the original design. Replacement materials will be compatible with Ghirardelli Square so as not to diminish its integrity. No conjectural features will be added as part of this project. As proposed, the project will comply with Standard 3.

4. Changes to a property that have acquired historic significance in their own right will be retained and preserved;

There are no changes at Ghirardelli Square that have acquired historic significance in their own right. The project complies with Standard 4.

5. Distinctive materials, features, finishes, and construction techniques or examples of fine craftsmanship that characterize a property will be preserved;

Terrace Plaza: The existing paving exhibits cracks and water infiltration. In order to address the water infiltration, the paving will be removed and replaced with new paving that matches the original Halprin paving in texture, color, and materials. Select 1984 alterations that are not compatible with the site will be removed and the Plaza will be reconfigured in a way that is more compatible with the character of the site.

Mustard Building: Improvements at the Mustard Building include the replacement of non-historic storefront enclosures and will not remove any distinctive materials, features, finishes, construction techniques, or examples of craftsmanship that characterize the property. Paint removal at the north façade is being considered. The paint was not applied during either period of significance, so if it is removed, it will improve the historic character of the Mustard Building.

The proposed project will comply with Standard 5 and the historic character of the property will be preserved.

6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence;

Terrace Plaza: The paving at the Terrace Plaza exhibits much deterioration and requires replacement. The paving that will be replaced includes paving original to the 1964 work and paving from the alterations in 1984. The replacement paving will match the original Halprin

paving in color, texture, and materials. Some Halprin paving is extant and will be used as physical reference to ensure new materials match the historic.

Mustard Building: No historic fabric are proposed to be removed. Proposed work at the Mustard Building includes the replacement of the non-original storefront enclosures.

7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used;

No chemical or physical treatments are anticipated except at the Mustard Building where the non-historic paint on the north façade is being considered to be removed. If the paint should be removed, the gentlest means possible will be used. In addition, mock-ups will be conducted to make sure the treatments do not damage historic fabric. The project will comply with Standard 7.

8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken;

No excavation will be required as part of this project.

9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment;

The proposed project does not include any additions or related new construction.

Terrace Plaza: Proposed scope includes accessibility improvements and the replacement of the existing paving to address water infiltration issues. The new paving will replace some historic fabric and some incompatible paving from 1984. The new paving will match the 1964 Halprin paving in materials, texture, and color thus retaining the historic quality of the Plaza. The existing planter dates from 1964 and was altered in 1984. It will be reconfigured in a way that recalls the original Halprin design. The reconfiguration will restore the spatial relationship between the planter and the plaza.

Mustard Building: The scope at the Mustard Building includes the replacement of two non-historic enclosures. The enclosure will be detailed so that they are differentiated from the Mustard Building but compatible with the site in general. The design team will confer with Planning Staff on the design details of the proposed storefront.

The project complies with Standard 9.

10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would not be impaired;

No additions are proposed. The project will be limited to the installation of a new incline lift which will be attached to non-historic fabric and therefore will be reversible. Likewise, the existing Terrace Plaza level paving will be removed and replaced to address water infiltration issues. The new hardscape will be installed at the same level as the existing and will not impair the existing essential form of the Plaza. The original paving from 1964 that is currently hidden beneath the Plaza will not be disturbed and it could potentially be uncovered and its form be restored.

At the Mustard Building, the storefronts are completely reversible and they could be removed and the original form of the Mustard Building be restored.

The project complies with Standard 10.



GHIRARDELLI SQUARE
SAN FRANCISCO, CALIFORNIA

CERTIFICATE OF APPROPRIATENESS: APPENDIX
ACCESSIBILITY IMPROVEMENTS TO THE UPPER TERRACE &
REPLACEMENT OF THE STOREFRONT ENCLOSURES AT THE MUSTARD BUILDING

PREPARED FOR THE HISTORIC PRESERVATION COMMISSION



PAGE & TURNBULL

imagining change in historic environments through design, research, and technology

FEBRUARY 2015



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INTRODUCTION



OVERVIEW OF ACCESSIBILITY ISSUES

Development of Ghirardelli Square began in the 1960s, prior to the Americans with Disabilities Act and as a result the Square today exhibits accessibility issues throughout the site. In 1984 a major renovation to the Square occurred, including alterations to the original Terrace Plaza planters, stairs and the addition of an elevated concrete paving slab. These alterations resulted in accessibility, waterproofing and other functional issues that need to be addressed to bring the project area into code compliance.

The Terrace Plaza waterproofing failures are occurring under the 1984 paving slab, where the 1984 planter meets the original ramp to the north. In addition, the paving slab is cracking, creating pedestrian trip concerns. This project will replace the existing, non-original slab with a new pedestal supported paving system over new waterproofing and will allow future access to the underlying waterproofing and utility systems.

To address accessibility issues, the project includes the addition of a new incline lift along the west side of a newly configured planter and stair. The incline lift will be compliant with the 'Americans with Disabilities Act' (ADA) and 'American with Disabilities Act/Architectural Barriers Act Accessibility Standards' (2010 ADAS). This lift is in direct view and alignment with the current ADA path of travel and will provide a more direct passage to destinations at the upper Terrace Plaza level.

The project also includes reconfiguration of sloping pathways and stairs that will be renovated to meet current codes. Paired with new signage, this will improve and clarify way-finding, exiting and egress. New exterior site lighting will also be included in the project area to bring existing and egress pathways to code.

In total, the proposed project will address the aforementioned issues, bringing the project area into code compliance for the long term success, use and maintenance of the Square. Each improvement will be designed to comply with the Secretary of Interior Standards of the Treatment of Historic Properties and will be compatible with the historic resource.

GHIRARDELLI SQUARE OVERVIEW AND PROJECT SUMMARY

SITE HISTORY

Ghirardelli Square is one of San Francisco's most prominent cultural, historical and architecturally significant landmarks. Its significance dates from 1858 when the Woolen Mill, one of the first factories in California, was constructed. Between 1893 and 1919, when the D. Ghirardelli Company developed the site with several new buildings, the complex became notable for the distinctive buildings designed by William S. Mooser, Sr. for industrial uses. The period between 1962 and 1968 includes a third significant phase for the site when the property was developed by William M. Roth and his mother, Mrs. William P. Roth. The property was adaptively reused as a festival marketplace and rebranded as Ghirardelli Square. Architects Wurster, Bernardi, & Emmons along with landscape architect Lawrence Halprin were the designers of the Square. Their work was notable for the rehabilitation of the existing buildings and the design of new buildings and landscape that are compatible with the existing. The landscape plan successfully integrated new and old while addressing the slope in the topography with informally located terraces.



HISTORIC STATUS

Ghirardelli Square was landmarked in 1970, a mere two years after Phase II of the rehabilitation was completed, and is San Francisco landmark #30. The site is also listed on the California and National registers.

Character-Defining Features for the buildings constructed between 1868 and 1920 include:

- Red brick
- Crenelated parapets
- White-painted cast concrete quoins, string courses, lintels, and voussoirs
- Regular fenestration pattern
- Steel windows – of types that include double hung, pivot, casement, and multi-lite industrial
- Electric Rooftop Sign

Character-Defining Features for the 1960s buildings and site:

- Red sand mold brick
- Simple, metal-framed storefronts
- Board-formed concrete retaining walls
- Mermaid fountain



PROJECT SUMMARY

The proposed project consists of the replacement of the existing non-historic storefronts at the north façade of the Mustard Building and accessibility upgrades at the Terrace Plaza. The Terrace Plaza is currently ADA accessible only from North Point Street. The Halprin landscape improvements in the 1960s include a ramp that connects the Terrace Plaza to the main plaza (Fountain Plaza); however, it exceeds the allowable slope for accessibility and is not ADA compliant. There is currently no ADA compliant path from Fountain Plaza to the Terrace Plaza.

The proposed project will include the following improvements:

- Removal of 1984 alterations at the Terrace Plaza
- Reconfiguration of Terrace Plaza so that it is more compatible with Halprin's original design
- Installation of an incline lift to allow accessibility from the Fountain Plaza to the Terrace Plaza
- Replacement of the existing pavement with a new surface to address water infiltration issues
- Replacement of the existing chamfered storefront enclosures at the north façade of the Mustard Building



HISTORIC IMAGES



North Point facade, 1919 (Calisphere)



View along North Point, 1919 (Online Archive of California)



View looking southwest at Larkin and Beach streets, 1960s (Calisphere)



Looking northwest at Larkin and North Point streets, 1919 (Online Archive of California)

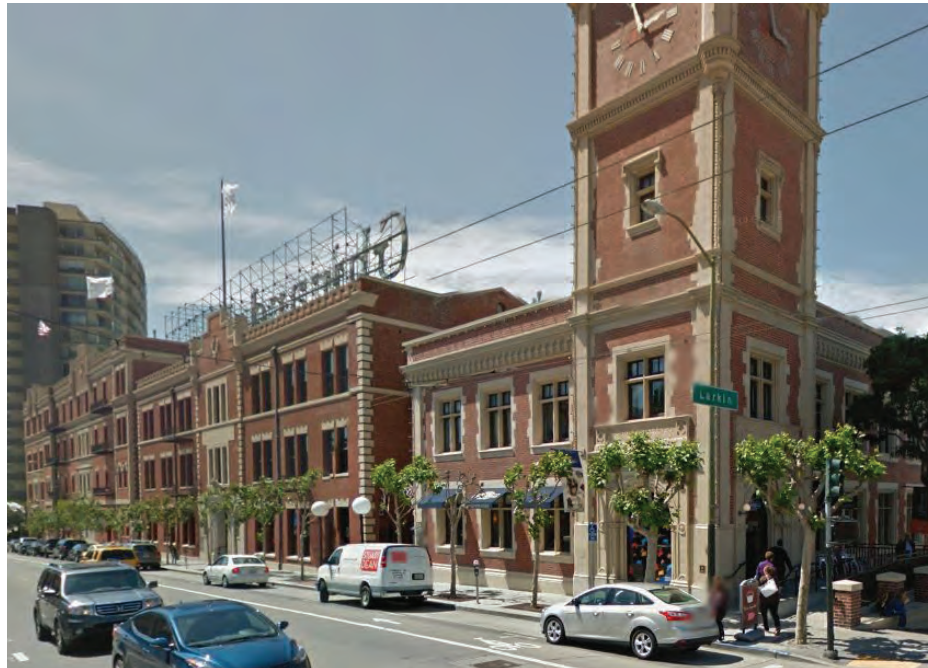


Fountain Plaza, 1960s (SFPL)



View looking west from Fountain Plaza, 1960s (Environmental Design Archives)

EXISTING CONDITION IMAGES



View looking northwest at North Point and Larkin streets (Google Maps)



View looking southeast at Polk and Beach streets



View of Fountain Plaza



View looking southwest at Larkin and Beach streets



View along Beach Street



View of West Plaza

IMAGES

TERRACE PLAZA

PROPOSED SCOPE OF WORK

Lawrence Halprin was the landscape architect for the 1960s Ghirardelli Square Rehabilitation. The landscape plan is organized as two primary plazas with secondary plazas that connect to the two main plazas. The primary plazas are Fountain Plaza at the eastern half of the Square and West Plaza at the western half of the Square. Secondary plazas include Terrace Plaza, the Promenade Level, Lower Plaza, and Rose Court.

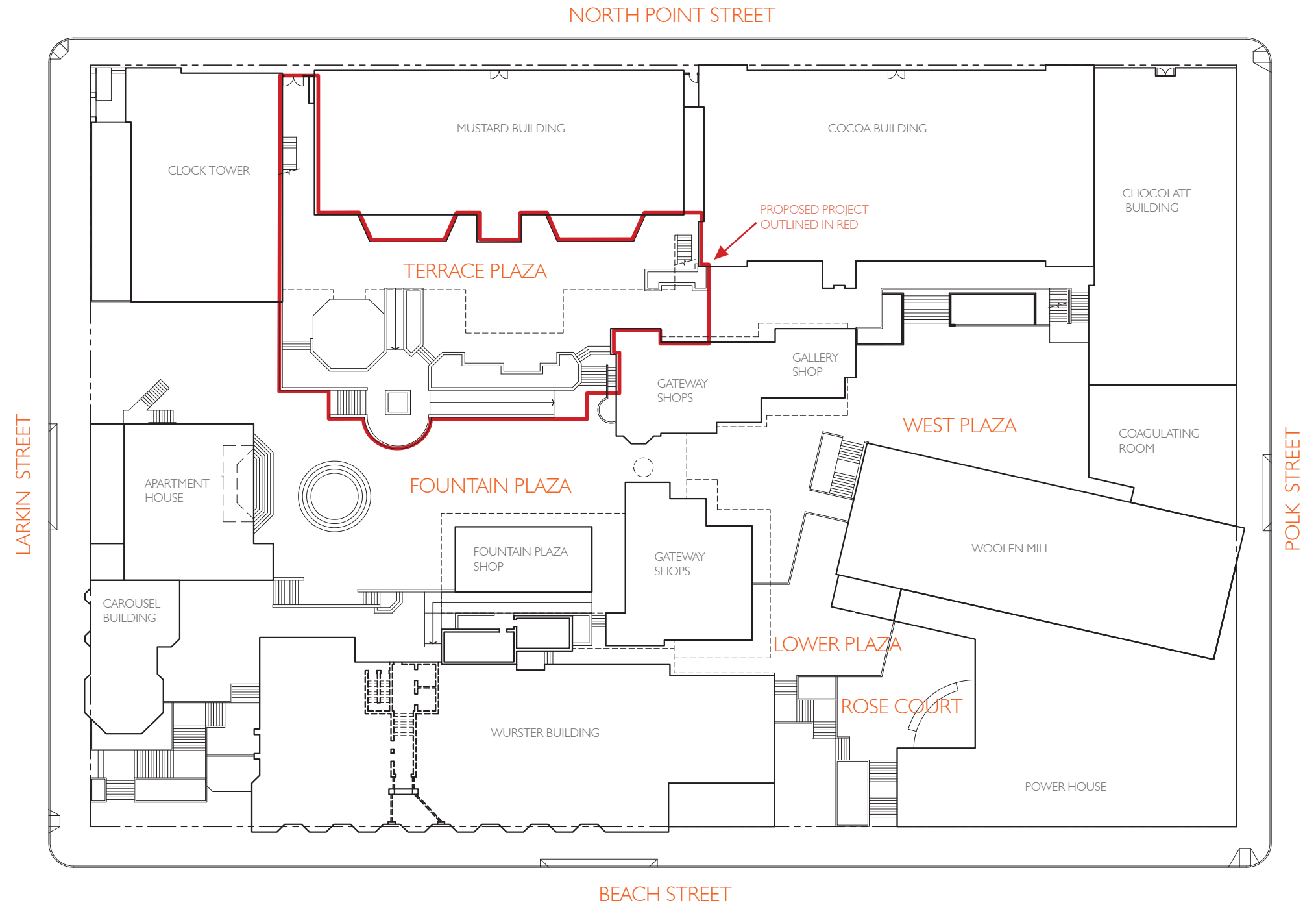
Though there are accessibility deficiencies throughout the Square, this project will focus on providing ADA compliant access from Fountain Plaza to the Terrace Plaza. The Terrace Plaza was altered in 1984 when a major renovation raised the level of a portion of the surface and added a new ramp and several new stairs. Though the perimeter of the plaza is the same as when it was designed in the 1960s, the configuration is significantly different from the original design. Terrace Plaza has also suffered from deterioration and cracks that have resulted in water infiltration. There are leaks from the large planter and along the joint between the planter and ramp.

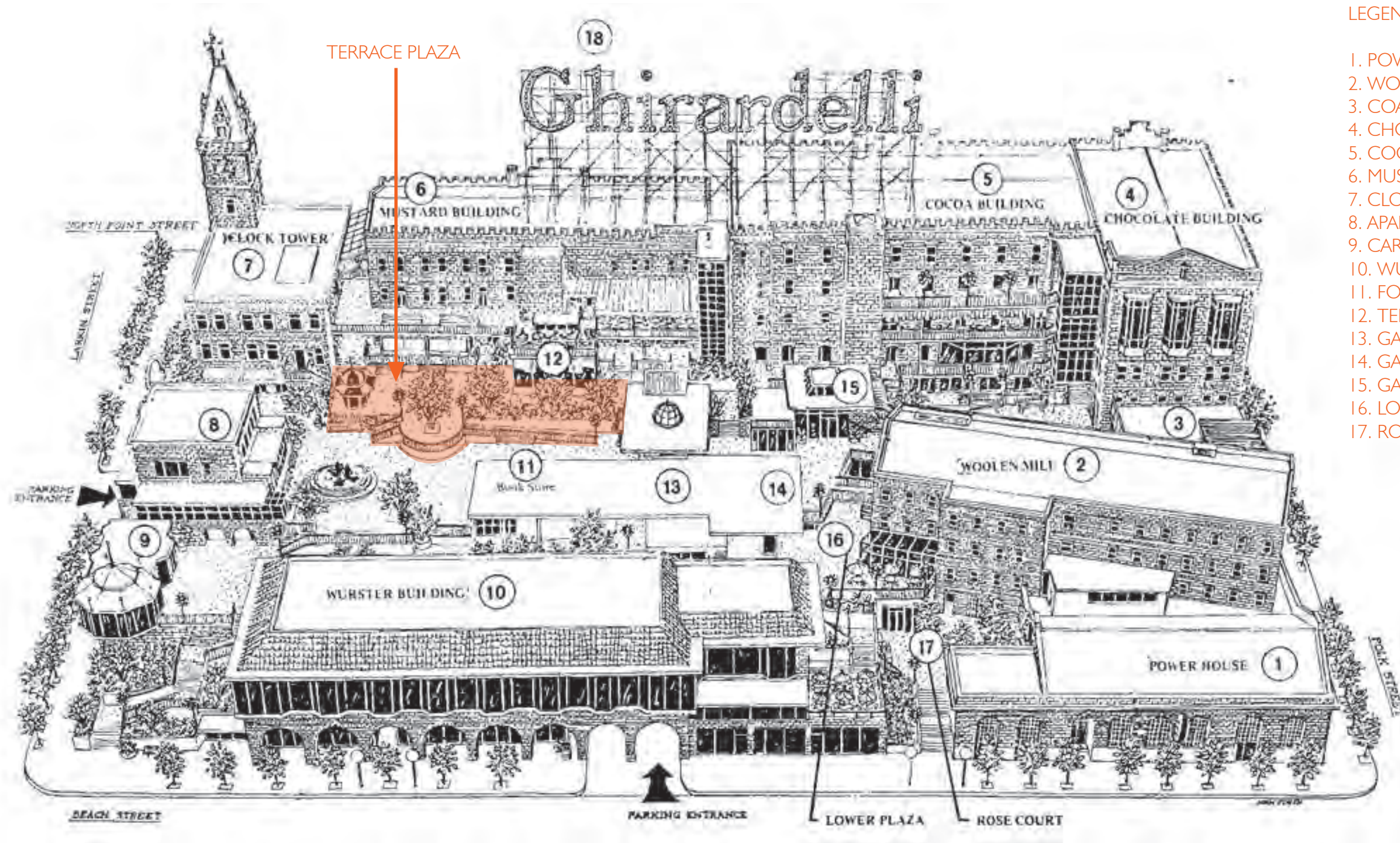
The proposed project will remove select previous, non-contributing alterations at Terrace Plaza and will have a layout compatible to the original 1960s configuration. The project will also include necessary repairs to address water infiltration problems.

The project includes:

- Removal of small ramp at the upper Terrace;
- Removal of chamfered stair additions;
- Removal of non-historic chamfered stair additions;
- Replacement of the chamfered corner at planter with a squared-off corner;
- Addition of incline lift;
- New stairs between the planter and bandstand;
- Extension of east and west sides of planter;
- New seating at planter;
- New paving throughout.

Finish materials will be compatible with the original Halprin design and will include pedestal pavers that match the Halprin paving in material, color and texture. In addition, the pedestal pavers will be installed in a grid pattern that recalls the grid pattern used by Halprin. Alterations to the planter will be of board-formed concrete to match the existing. The incline lift will be painted metal and will be designed with simple metal shapes so as not to attract undue attention. The chair will be stored at the upper Terrace to minimize impact to views from Fountain Plaza.





LEGEND

- 1. POWER HOUSE
- 2. WOOLEN MILL
- 3. COAGULATING ROOM
- 4. CHOCOLATE BUILDING
- 5. COCOA BUILDING
- 6. MUSTARD BUILDING
- 7. CLOCK TOWER
- 8. APARTMENT HOUSE
- 9. CAROUSEL BUILDING
- 10. WURSTER BUILDING
- 11. FOUNTAIN PLAZA SHOP
- 12. TERRACE PLAZA
- 13. GATEWAY SHOPS
- 14. GATEWAY SHOPS
- 15. GALLERY SHOP
- 16. LOWER PLAZA
- 17. ROSE COURT

1960s Rendering of Ghirardelli Square

TERRACE PLAZA: HISTORIC IMAGES



View of Terrace Plaza, 1960s (Environmental Design Archives)

Original planter had a simpler configuration that included two benches.

Terrace Plaza was lower than it is today. Note the height of the planter relative to the level of the Terrace.



View of Terrace Plaza, looking east, 1960s (Environmental Design Archives)



View of Terrace Plaza, looking west, 1960s (Environmental Design Archives)

Terrace Plaza originally lower than the area adjacent to the Mustard Building and steps connected the two areas.



Note the area southeast of the planter originally had no stairs or ramp.

Terrace Plaza from above, 1960s (Environmental Design Archives)

TERRACE PLAZA: EXISTING IMAGES



View of Terrace Plaza, looking west

Note relationship of planter to Terrace Plaza



Stairs from Fountain Plaza to Terrace Plaza, looking south

Note chamfered corner of planter, altered in the 1980s



Stairs at Terrace Plaza, looking south towards Mustard Building

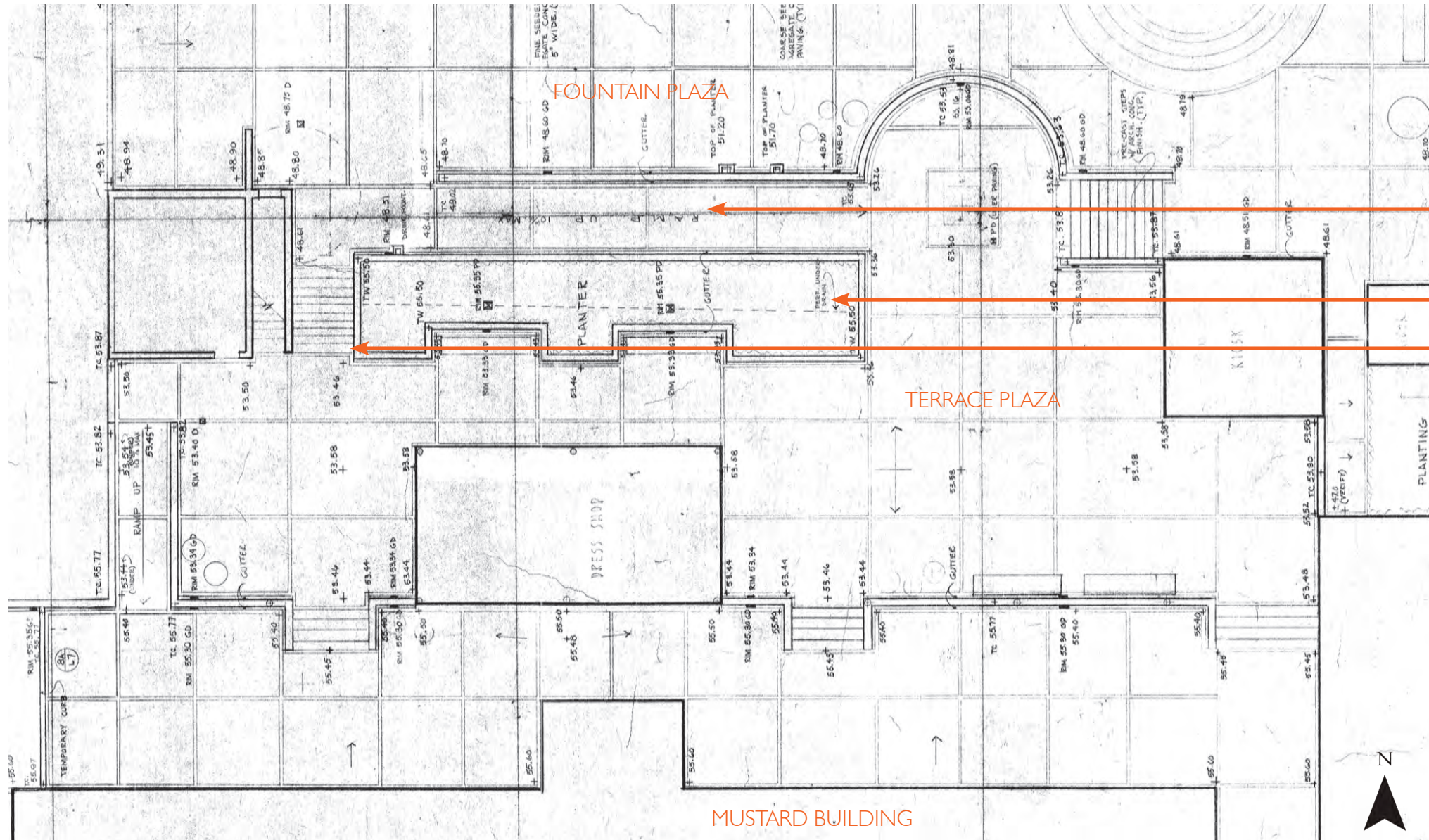
Both this ramp and stair were part of the 1984 improvements



Terrace Plaza, looking east along the Mustard Building

TERRACE PLAZA
SCOPE OF WORK

TERRACE PLAZA PLANS: LAWRENCE HALPRIN PLAN - 1964



The original Lawrence Halprin paving consisted of coarse aggregate concrete within a grid of 5" fine aggregate concrete bands. The grid aligned with architectural features of the site and was generally regular. This paving was installed throughout the site, including at the Terrace Plaza. The existing paving has outlived its life span and exhibits cracks throughout and water infiltration to the level below.

Terrace Plaza was originally about five feet higher than Fountain Plaza and about 2' lower than the area adjacent to the Mustard Building. The difference in the levels resulted in accessibility challenges.

Original ramp is not ADA-compliant and exceeds the length and slope allowed under the California Historical Building Code.

Note original configuration of planter

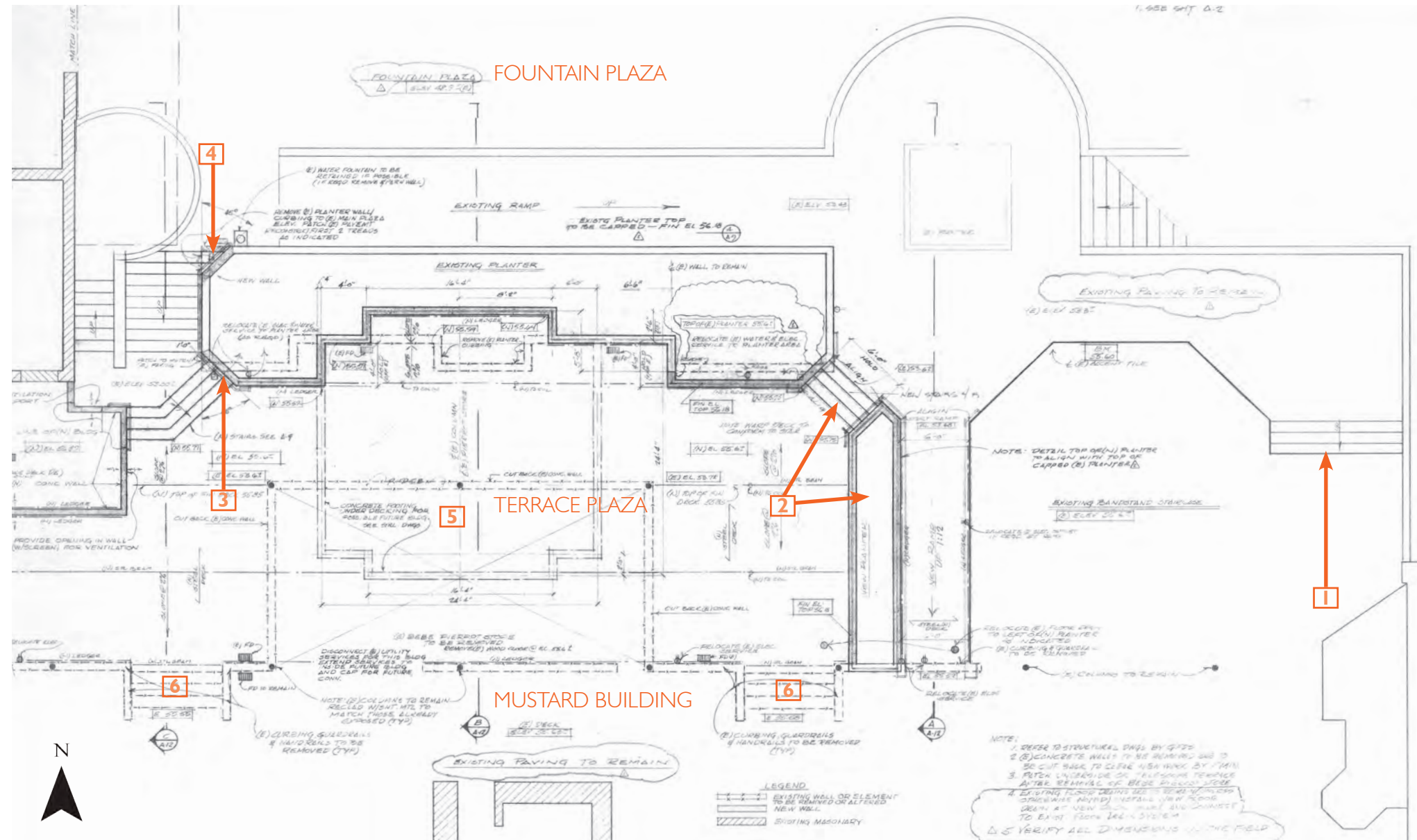
Note original configuration of stairs



Original landscape plan showing Terrace Plaza

Halprin Paving at Terrace Plaza

TERRACE PLAZA PLANS: 1984 ALTERATIONS



In 1984 several alterations were made. The intermediate level of the Terrace Plaza was raised to align with the portion of the Terrace adjacent to the Mustard Building. A new ramp and several steps were added to connect back down to Fountain Plaza. The Halprin grid pattern was retained although brick pavers were used to make up the grid bands. The 1984 grid was irregular, see photo below.

The portion of the Terrace Plaza that was raised sits above the original Halprin paving with a void separating the two and is now about 7' above the Fountain Plaza. The portion of the existing Terrace adjacent to the Mustard Building is original from 1964.

1. NEW STAIR
2. NEW RAMP AND STAIR
3. NOTE CHAMFERED CORNERS AT PLANTER
4. NOTE STAIRS WERE ALTERED AND INCLUDE A CHAMFER
5. TERRACE WAS RAISED
6. STEPS FROM 1960s PLAN ARE CONCEALED BENEATH THE 1984 RAISED TERRACE

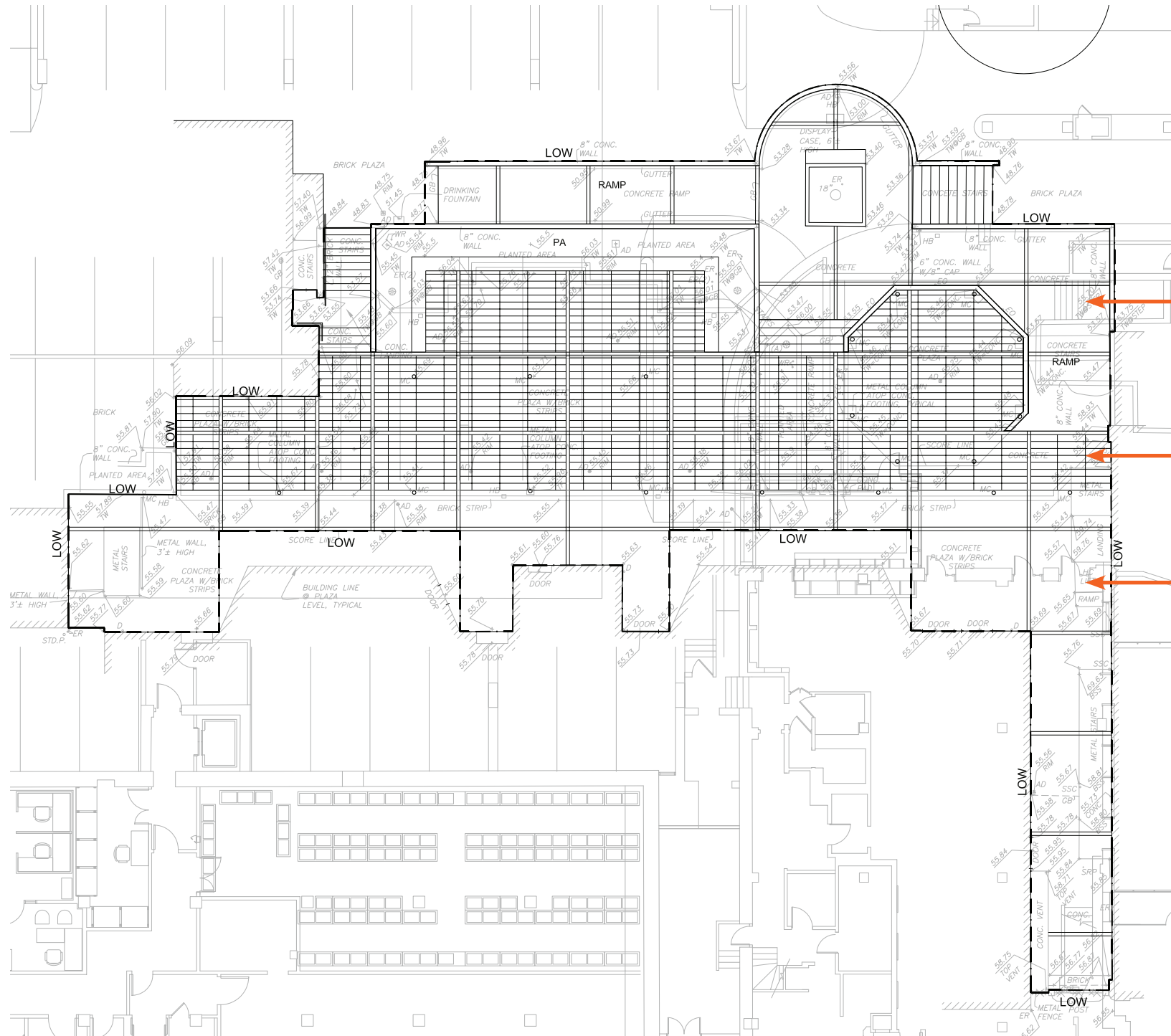
TERRACE PLAZA PLANS & RENDERINGS



Paving from 1984 alterations. Note irregularity of grid.

Terrace Plaza Plan Showing 1984 Alterations

TERRACE PLAZA PLANS: PROPOSED PAVING PLAN



POURED PAVING,
6" BAND WIDTH

PEDESTAL PAVING,
6" BAND WIDTH

POURED PAVING,
6" BAND WIDTH

PAVING PLAN DESCRIPTION

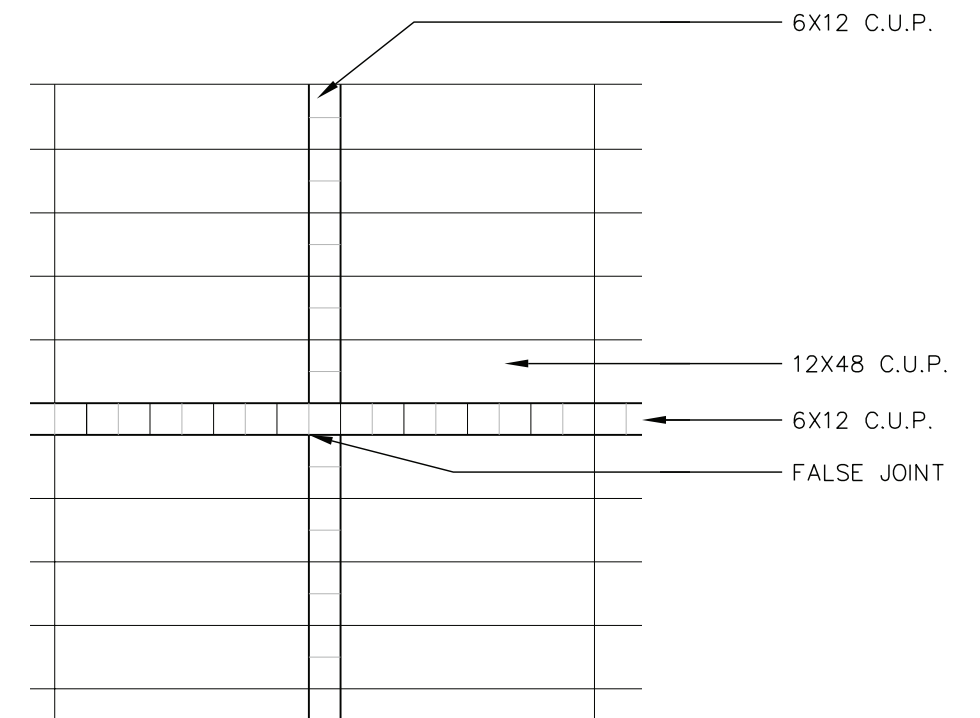
In order to address water infiltration issues, all of Terrace Plaza will receive new paving that includes a new water-proof membrane. The proposed paving will consist of several features that are compatible with the original Halprin paving:

- Grid pattern
- Color of paving will match original
- Texture of paving will match original: coarse aggregate will be used in field within grid and fine aggregate will be used for the grid bands
- Will have regular grid pattern and will align with architectural features

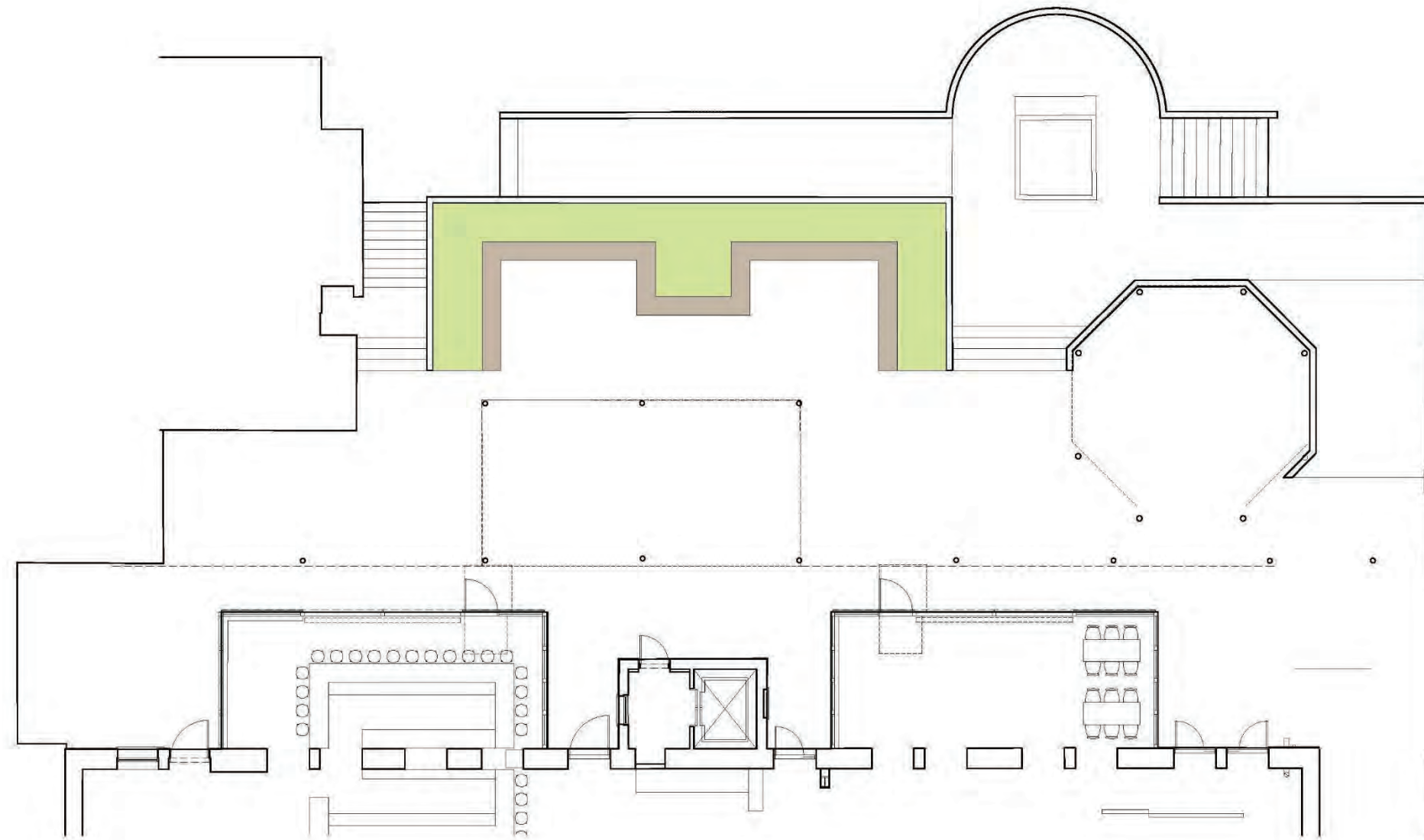
The proposed work will include pedestal pavers to replace the 1984 paving. It will consist of a 6" grid band width, which is very close in width to the 5" width of the original Halprin design. Where the paver system is installed, a 6" x 12" unit paver will make up the grid band and will include a false joint on this paver to give the appearance of 6" x 6" square. At the original 1964 ramp, the half-circle, and the paving between the Mustard Building and the Clock Tower the paving will be poured and will have 6" bands and align with the pedestal paved area.

PAVER DETAIL

NOTE:
PAVER SIZE IS NOMINAL SIZE



TERRACE PLAZA PLANS: SEATWALL



DESCRIPTION

The original Halprin landscape design for the Terrace included a planter with two insets where benches were installed. The 1984 work altered the planter and removed the benches. The proposed project includes extending the east and west sides of the planter to accommodate the lift and stairs on either side. A seatwall that recalls the Halprin seating area will be installed.

The proposed project includes two insets, similar to the original Halprin design. The bench will be integral to the planter and follow the configuration of the bench. The bench will have a concrete base and reclaimed timber seat.

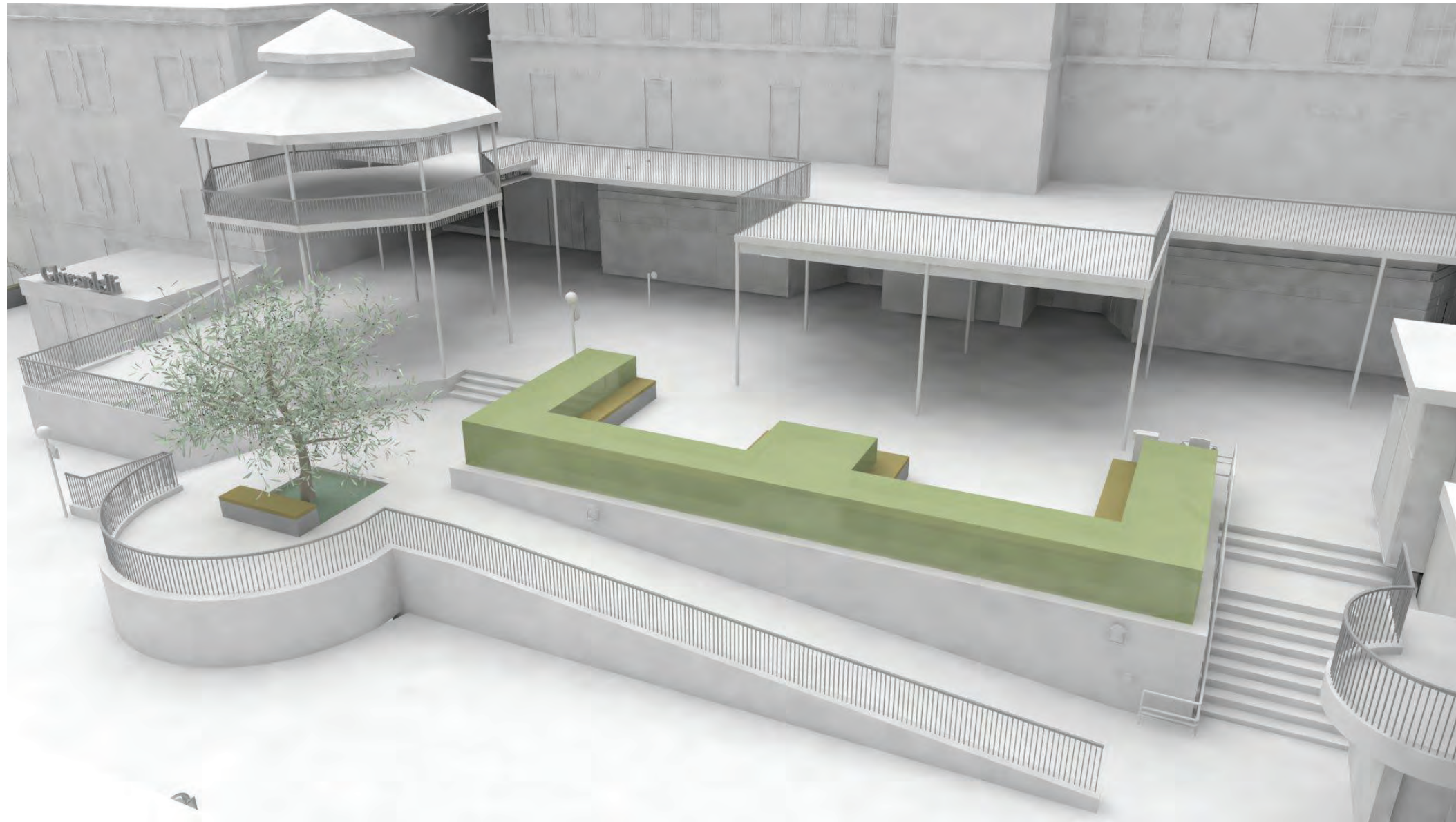


Reclaimed timber is proposed for seatwall



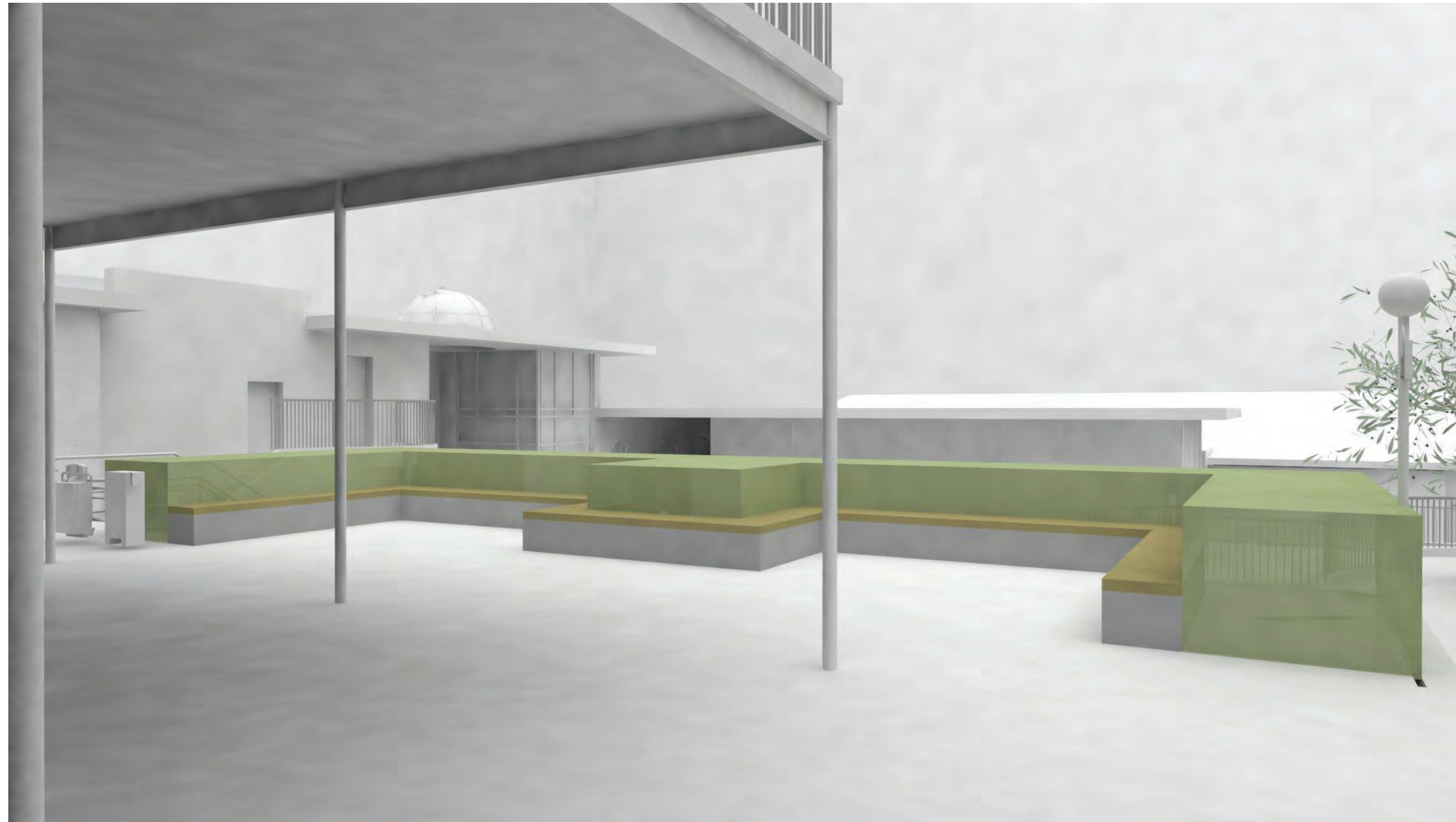
View of planter in 1964 as originally constructed. Note insets for benches.

TERRACE PLAZA: PLANTER AND SEATWALL



Rendering of planter and seatwall

TERRACE PLAZA: PLANTER AND SEATWALL



Rendering of planter and seatwall

TERRACE
PLAZA PLANS &
RENDERINGS

TERRACE PLAZA: PROPOSED LIFT



View of proposed lift and new stair. Lift shown in the down position (Fountain Plaza position)



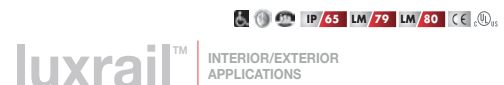
View of proposed lift and new stair. Lift shown in the up position (Terrace Plaza position)

LEGEND

- EXISTING STAIR
- NEW WALL
- INCLINE LIFT
- PLANTING

TERRACE PLAZA LIGHTING

Lighting is proposed as part of this project; however, scope is limited to meeting minimum foot candles required for path of travel. Lighting at stairs and ramps will include lighting that is integrated within the handrail. There will also be lighting at the underside of the soffit of the Fairmont hotel deck. These lights consist of simple recessed, can lights.



Application
 ANSI and ADA compliant, luxrail is an indoor/outdoor LED-based handrail that delivers functional illumination. Three intensities may be specified: standard output, mid output, and high output. The standard light output version delivers illuminance levels appropriate for exterior applications (2 footcandles at grade) as well as for dark interior environments with low ambient illumination levels (e.g., themed environments, theatres and residential areas). The high output version delivers illuminance levels applicable to interior environments – providing in excess of 10 footcandles along the path of egress (ANSI required for stair treads). Independent photometric test reports and IES Format data are available at www.iloighting.com.

luxrail's standard handrail gripping surfaces are circular in cross section and meet 2004 ADAAG (Americans with Disability Act Accessibility Guidelines). Patented optical assemblies deliver 10°, 25°, and 55° beam spreads, as well as an asymmetric option. The 25° and 55° beam patterns are most suitable for illuminating pathways, while the 10° beam spread offers accent lighting for optional glass or stainless steel cable railing infills. Reference page 54 of this catalog for information regarding infill options. Projected average rated life is 50,000 hours at 70% of lamp lumen output. Contact factory for IES LM-80 compliance. To ensure proper performance, architectural details should allow for ventilation and air flow around the fixture. Ambient temperature surrounding the fixture shall not exceed 122°F (50°C).

Light Output
 Three luminous intensities are available for white light. All values below represent the initial raw lumens of the LED. IES format photometry of Lighting Facts labels represent actual light output measured in lumens and candle power. Light output losses include optical, thermal and power supply inefficiencies. IES LM-79 format files may be obtained from the factory or downloaded from www.iloighting.com. Results are typical measurements.

	Standard Output	Mid Output	High Output
2700K White:	72 lms/ft	181 lms/ft	253 lms/ft
3000K White:	81 lms/ft	203 lms/ft	284 lms/ft
3500K White:	83 lms/ft	206 lms/ft	289 lms/ft
4000K White:	88 lms/ft	219 lms/ft	307 lms/ft
5000K White:	88 lms/ft	219 lms/ft	307 lms/ft

Construction
 luxrail may be post mounted or wall mounted. **io** recommends installation be completed by a qualified handrail installer. Mounting hardware (post or wall) is typically required up to 5" O.C., depending on the handrail alloy. Final post and wall bracket spacing must be determined by a licensed architect or structural engineer. luxrail is available in stainless steel and aluminum. Vandal resistant access chamber allows units to be removed for maintenance purposes.

All handrail component parts are engineered for quick installation. Field welding or cutting is typically not required. All parts are prefabricated to field dimensions and are assembled in the field with mechanical connection or epoxy. Contact **io** Lighting for recommended handrail installers.

The LED light fixture inside the caprail is UL Listed for wet locations. Handrail alloy options include stainless steel and aluminum. Contact factory for maintenance guidelines.

Electrical
 luxrail houses a low voltage LED-based light fixture that is integrated into the underside of the handrail. 24 volt 100 watt power supplies are provided as a standard. For detailed information regarding daisy chain limitations, remote distance limitations, power supply options, and dimming options consult the **io** website (www.iloighting.com) or an **io** representative.

Driver Remote Distance
 7'-0" (2.1m) w/22 AWG
 18'-0" (5.5m) w/18 AWG
 48'-0" (14.0m) w/14 AWG
 71'-0" (21.6m) w/12 AWG

Dimming modules must be specified separately. For detailed information download the power supply specification sheet from www.iloighting.com.

Power Consumption

Power consumption does not include power supply losses.

Standard Output	Mid Output	High Output
1.02 w/ft	2.54 w/ft	3.81 w/ft

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BEAM SPREAD OPTIONS
 10°, 25°, 55°, ASYMMETRIC

LIGHT OUTPUT - 55 DEGREE WARM WHITE
 Diagram showing beam angles and footcandle distribution at 12'0" run length.

WALL MOUNT DETAILS*
 Shows 22 AWG, 300V power cord, Luxrail light fixture, Locking Bracket Mount, and Snap-Cover Flange.

LIGHT OUTPUT CONVERSION TABLE

	Standard Output	Mid Output	High Output
2700K White	0.29 ^{ft}	0.89 ^{ft}	0.94 ^{ft}
3000K White	0.27 ^{ft}	0.73 ^{ft}	1.00 ^{ft}
3500K White	0.29 ^{ft}	0.78 ^{ft}	1.06 ^{ft}
4000K White	0.29 ^{ft}	0.78 ^{ft}	1.06 ^{ft}
5000K White	0.32 ^{ft}	0.87 ^{ft}	1.19 ^{ft}

POST MOUNT APPLICATION
 Diagram showing 60" (1.5m) mounting distance and 34" (0.86m) height.

Mounting / Infill Options
 PM (post mounted), WM (wall mount intermediate), Glass infill, Stainless steel cable infill

Order Code

0	06	1	2	3	4	5	6	7	8	9	10	11	
1. PRODUCT FAMILY 06 luxrail		2. ALLOY / FINISH SS: Stainless steel satin SSP: Stainless steel polished CAA: Clear anodized aluminum		3. SIZE 1: 1.66" O.D. (1 1/4" pipe size) (available in SS only) 2: 1.90" O.D. (1 1/2" pipe size) (available for SS & CAA)		4. MOUNTING PMC: Post mount concrete PMW: Post mount wood PMS: Post mount stone WM: Wall or guard rail mounted		5. INEILL AC: Stainless steel cable (R) GL: Glass (provided by others) C: Custom		6. LIGHT DISTRIBUTION 10: 10 Degree 25: 25 Degree 55: 55 Degree ASYM: Asymmetric NI: Handrail only (not illuminated)		7. LIGHT COLOR 27K: Warm White 3K: Warm White (R) 35K: Warm White 4K: Warm White 5K: Cool White (R)	
8. LENGTH GB2: Grab Bar 2' nominal (R) GB3: Grab Bar 3' nominal (R) GB4: Grab Bar 4' nominal (R) GB5: Grab Bar 5' nominal (R) HR: Hand Rail length in Feet / Inches (provide overall length of each handrail section) HRC: Hand Rail Curved length in Feet / Inches (provide overall length of each handrail section) ^(R)		9. VOLTAGE / DIMMING 1: 120v 2: 277v 3: 120v w/dim 4: 277v w/dim 5: Other (International voltage)		10. SPECIFY DRIVER / DIMMING* *Note: If not specified otherwise, io will supply 100 watt drivers. Download Power Supply specification sheet from www.iloighting.com .		11. CE: Available upon request.							

Footcandle

1. Power Supply Specification Sheet may be downloaded from www.iloighting.com
 2. Each handrail application will be custom to accommodate varying field conditions and design requirements. Shop drawings will be required to manage specifics of each handrail section.
 3. White light variance between LEDs is equal to or better than 3-step MacAdam Binning.
 4. Only available in 5.08 w-ft.
 5. Stainless Steel cable available for flat surfaces only.
 6. Detailed elevation drawing of handrail section are required for quote.
 7. Non-standard color temperatures and CRI are available. Consult factory for availability.

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LED lighting facts
 Light Output (Lumens): 512
 Watts: 12.4
 Lumens per Watt (Efficacy): 41
 Color Accuracy (Color Rendering Index, CRI): 83
 Light Color (Standard Color Temperature, CCT): 2992 (Warm White)

Label references 30° luxrail fixture with a 55° beam spread in High Output 3000K. Lighting Facts for additional beam spreads and light output levels may be obtained from io Lighting.

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Proposed lighting at handrails

Proposed lighting at handrails

Proposed recessed lighting for underside of deck

ENVIRONMENTALLY FRIENDLY, ENERGY EFFICIENT

- 800 to 2300 lumen units provide comparable light out put to a 50W, 75W and 100W PAR30 halogen, or 20W and 39W PAR30 Metal Halide, while reducing energy consumption by 25% to 70%, and having a rated life of 50,000 hours
- Superior-quality white LED light output using Chip on Board technology
- No harmful ultraviolet or infrared wavelengths
- No lead or mercury

PRODUCT SPECIFICATIONS

Optics
 Upper Reflector: Faceted, Specular Alzak® reflector available in spot, narrow flood and flood beam distributions
 Lower Cone: Low iridescent specular, semi-specular or satin Alzak® .050\"/>

DIMENSIONS

Electrical
LED Light Engine: High output LED arrays provide outstanding reliability, performance and color quality/consistency • 2700K, 3000K, 3500 or 4000K color temperatures • 80 CRI minimum • Consistent fixture-to-fixture color temperature that is within 3 MacAdams ellipses
Dimming: Dimmable via 0-10V protocol, increasing efficiency up to 30% while dimming • Lutron driver option allows dimming down to 1% • For a list of compatible dimmers see [LED-DIM](#)
LED Driver: Universal driver accommodates 120V to 277V input volts AC at 50/60Hz
 • Power factor >0.9 • Easily replaceable from below or above the ceiling.
Life: Rated for 50,000 hours at 70% lumen maintenance

Mechanical
Adjustability: Yoke assembly allows 370° rotation and up to 45° tilt of light source • Toolless Rotation and tilt locking are standard • Angles marked to allow accurate, consistent tilt angles
Housing: Heavy gauge steel with black baked enamel finish
Mounting Frame: Heavy gauge steel lower housing ring with factory installed spring friction clips securely holds cones in ceiling • Accommodates ceilings up to ¾\"/>

Labels and Listings

- UL listed for feed through and damp locations • UL and cUL, RoHS compliant
- EMI complies with FCC 47, Part 15, Class A
- I.B.E.W. Union made • ARRA Compliant

Warranty: 5 years when used in accordance with manufacturing guidelines. Product specifications subject to change without notice.

11/14 Rev.1

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 www.juniorlighting.com

TERRACE PLAZA PLANS & RENDERINGS



MUSTARD BUILDING: REPLACEMENT OF STOREFRONTS



Existing image of storefront enclosure at the Mustard Building, north facade



Existing image of storefront enclosure at the Mustard Building, north facade

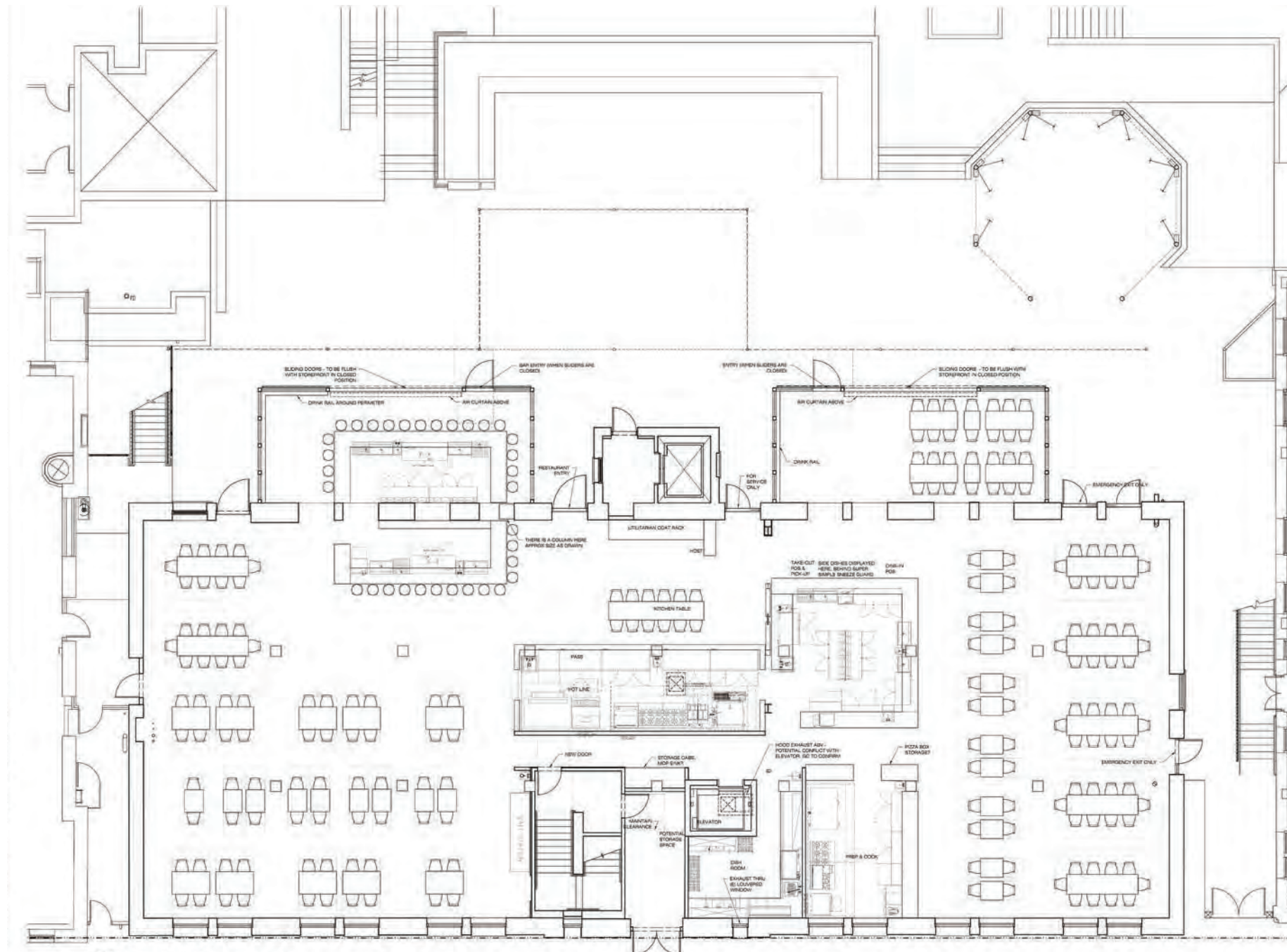


Precedent storefront, pavilion shop at Ghirardelli Square



Precedent glass enclosure at stair at Ghirardelli Square

MUSTARD BUILDING: REPLACEMENT OF STOREFRONTS



Mustard Building Proposed Plan

PROJECT OVERVIEW AT MUSTARD BUILDING

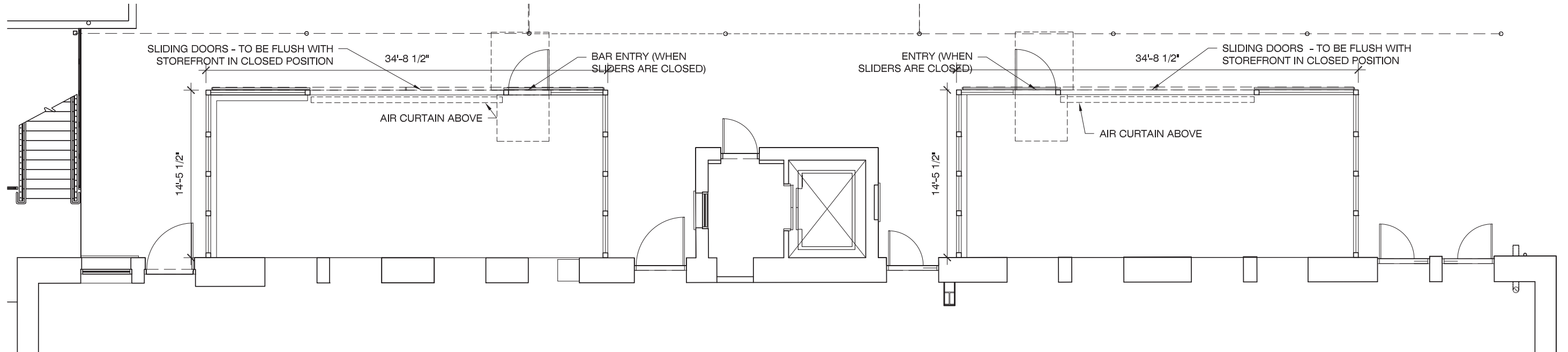
A new restaurant is planned for the Terrace Level floor of the Mustard Building. Improvements include replacement of the existing, non-historic storefronts which were constructed in 1984. Similar to other 1984 alterations, the existing storefronts have chamfered sides.

The replacement storefronts will be orthogonal, the same width and depth of the existing, and extend to the underside of the deck above. The storefronts are proposed to have sliding doors that will be in the open position on good weather days. When closed, the doors will be designed so that they are within the same plane of the storefront. The project team will work with Planning Staff for the final design of the storefront.

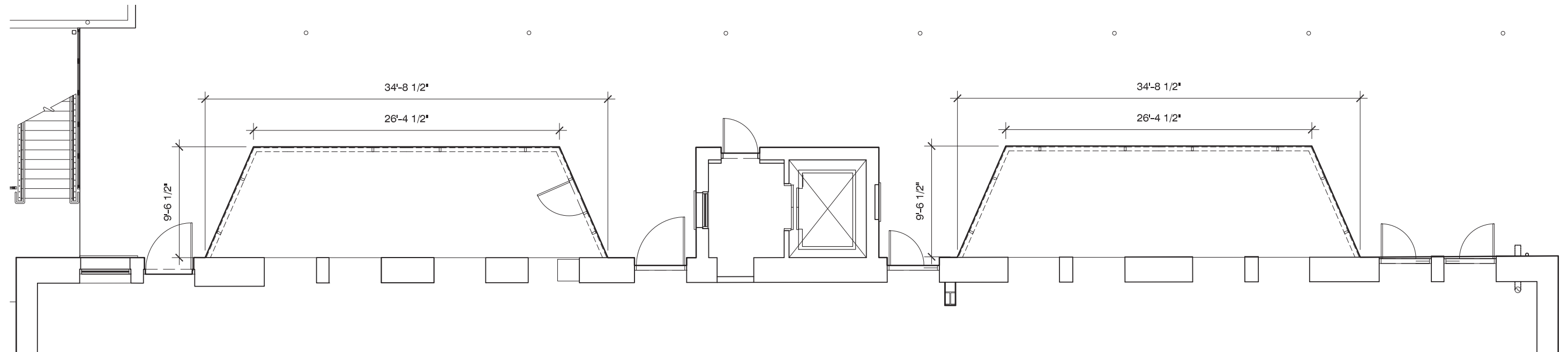
The project team is also considering removing the paint from the North facade of the Mustard building. This facade was painted after the period of significance and is not a historical feature of the building. If the paint is removed:

1. It will be removed in its entirety at the north facade;
2. Removal will follow best preservation practices and will use gentlest means possible;
3. Mock ups will be conducted to test the paint removal process.

MUSTARD BUILDING: REPLACEMENT OF STOREFRONTS

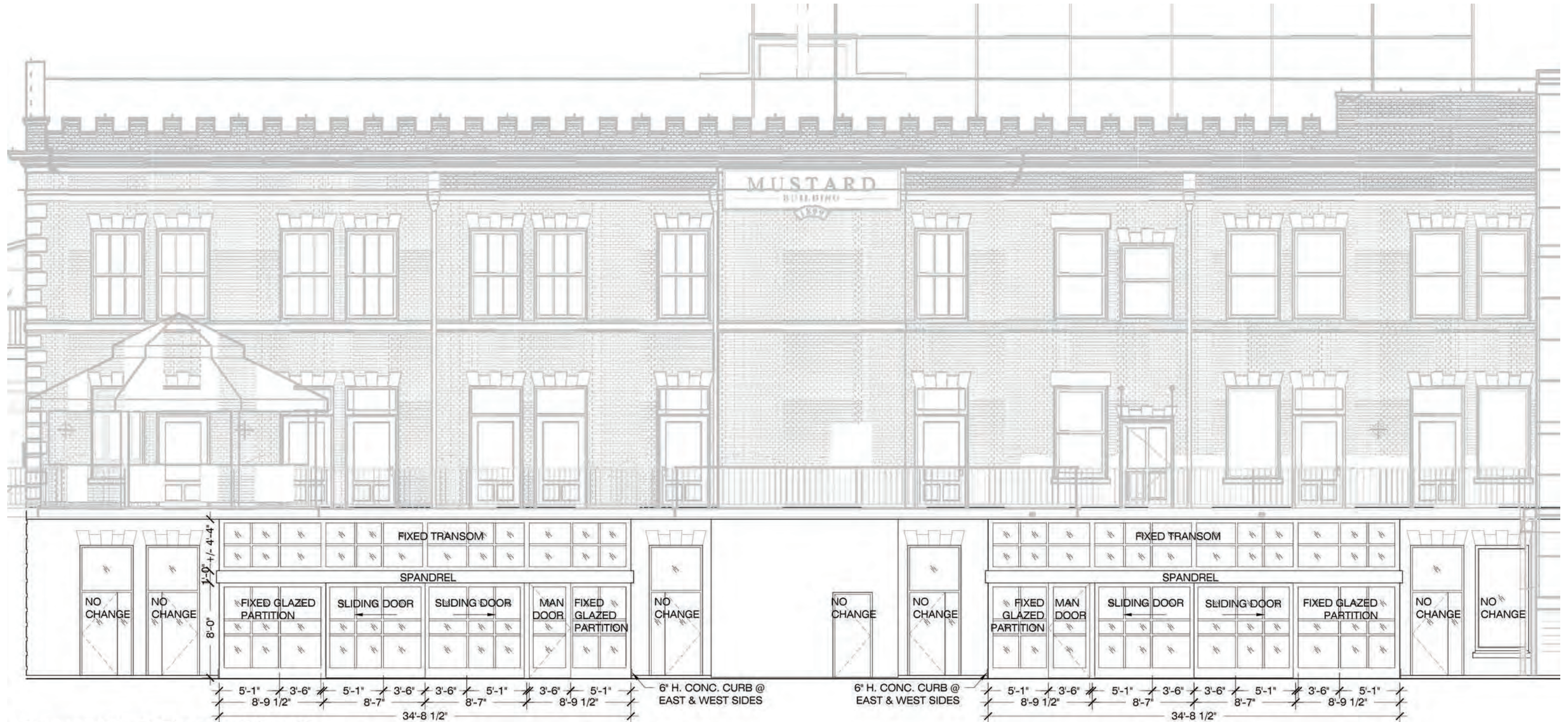


Floor Plan of Proposed Storefront
Not to scale



Floor Plan of Existing Storefront
Not to scale

MUSTARD BUILDING: REPLACEMENT OF STOREFRONTS



Proposed North Elevation (closed)

scale: 1/8" = 1'-0"

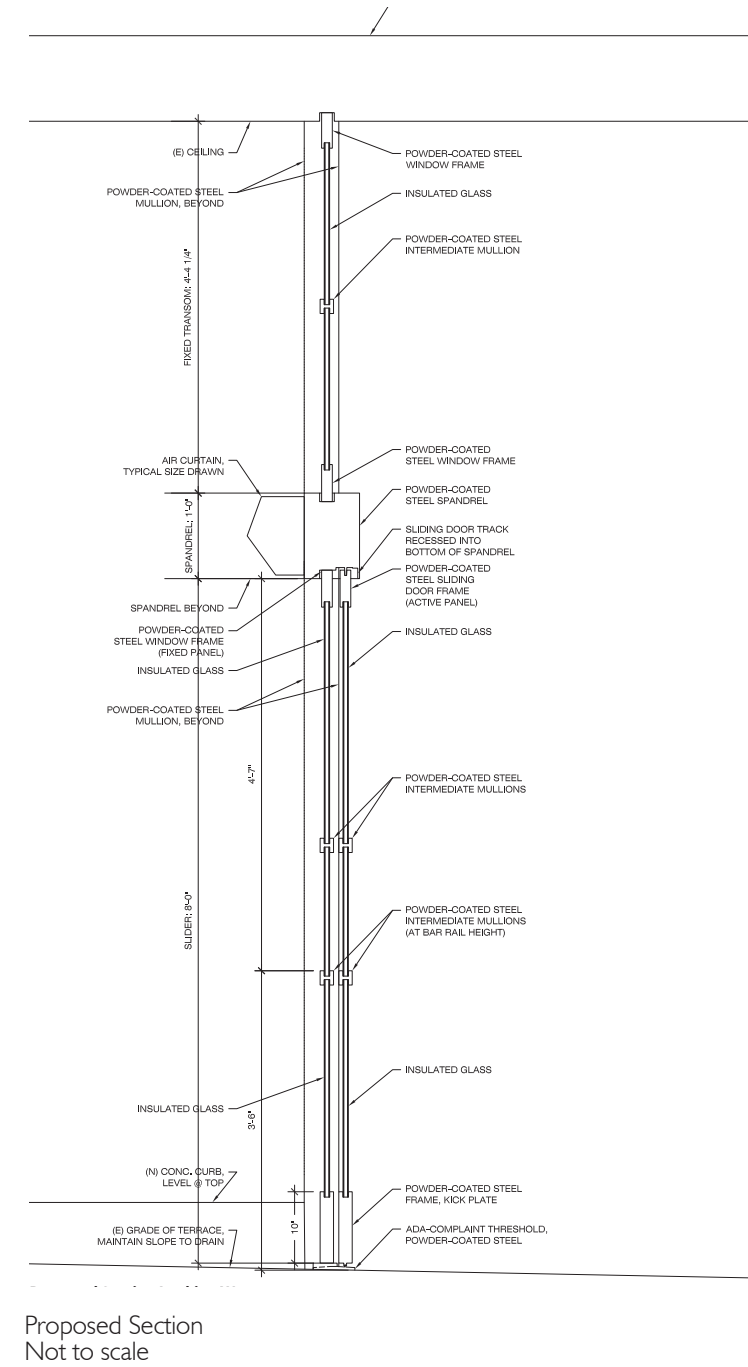
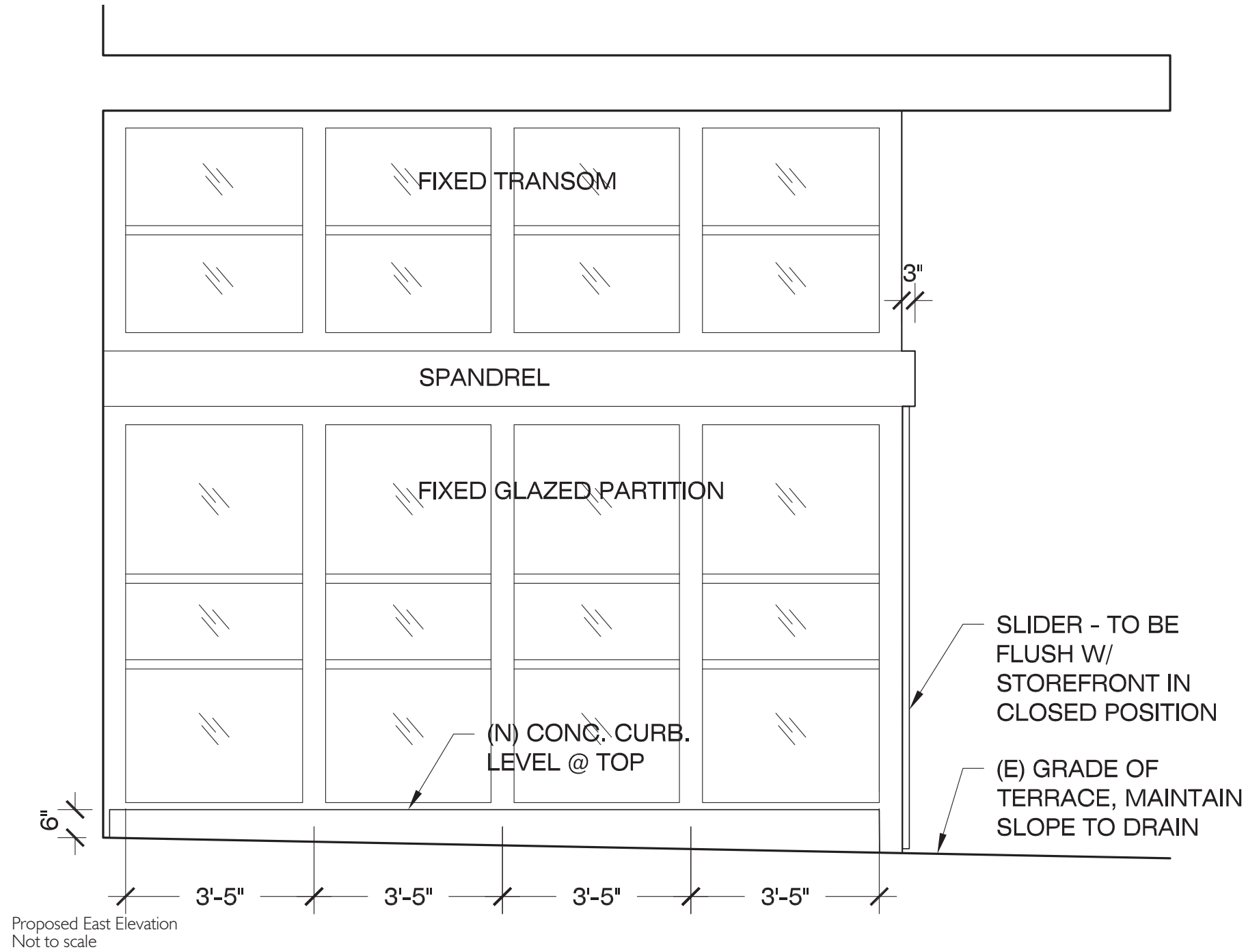
MUSTARD BUILDING STOREFRONTS

MUSTARD BUILDING: REPLACEMENT OF STOREFRONTS



Proposed North Elevation (open)
scale: 1/8" = 1'-0"

MUSTARD BUILDING: REPLACEMENT OF STOREFRONTS



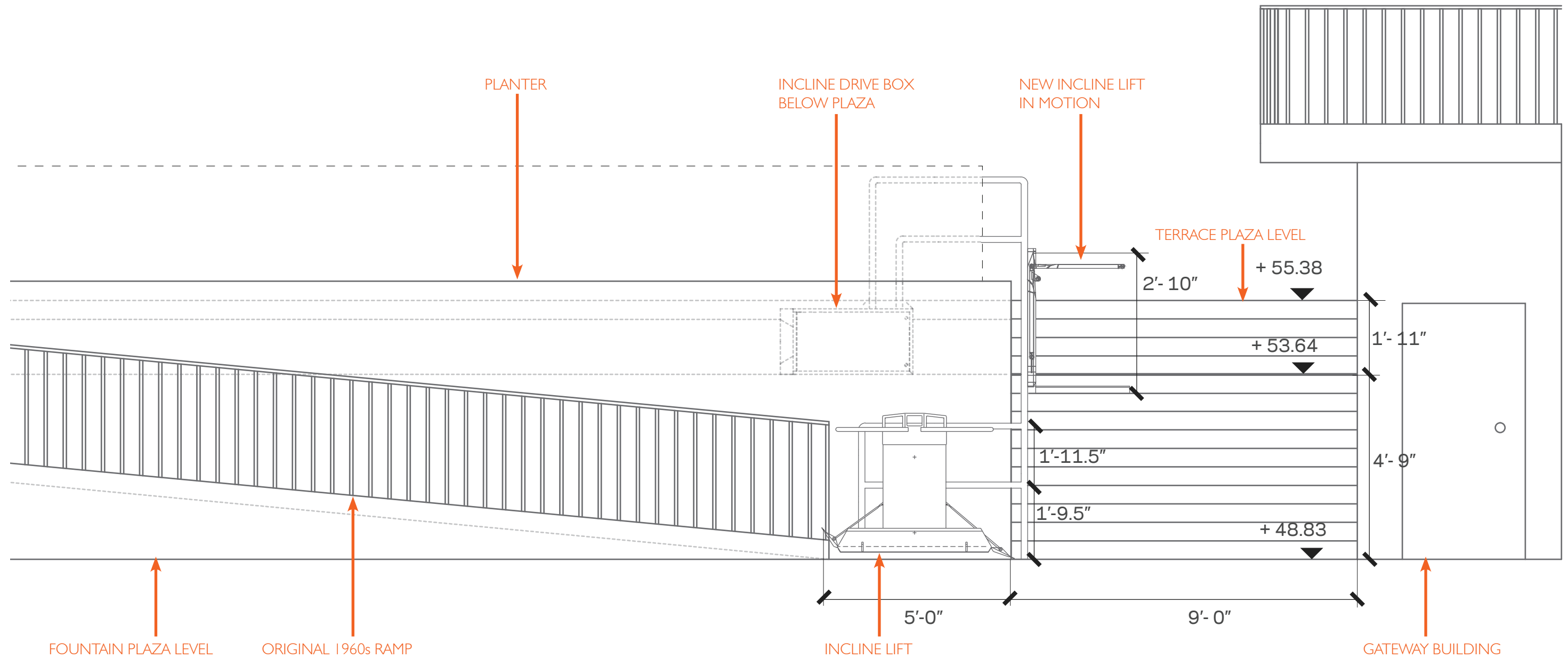
MUSTARD BUILDING STOREFRONTS

TERRACE PLAZA ARCHITECTURE DRAWINGS



SITE PLAN

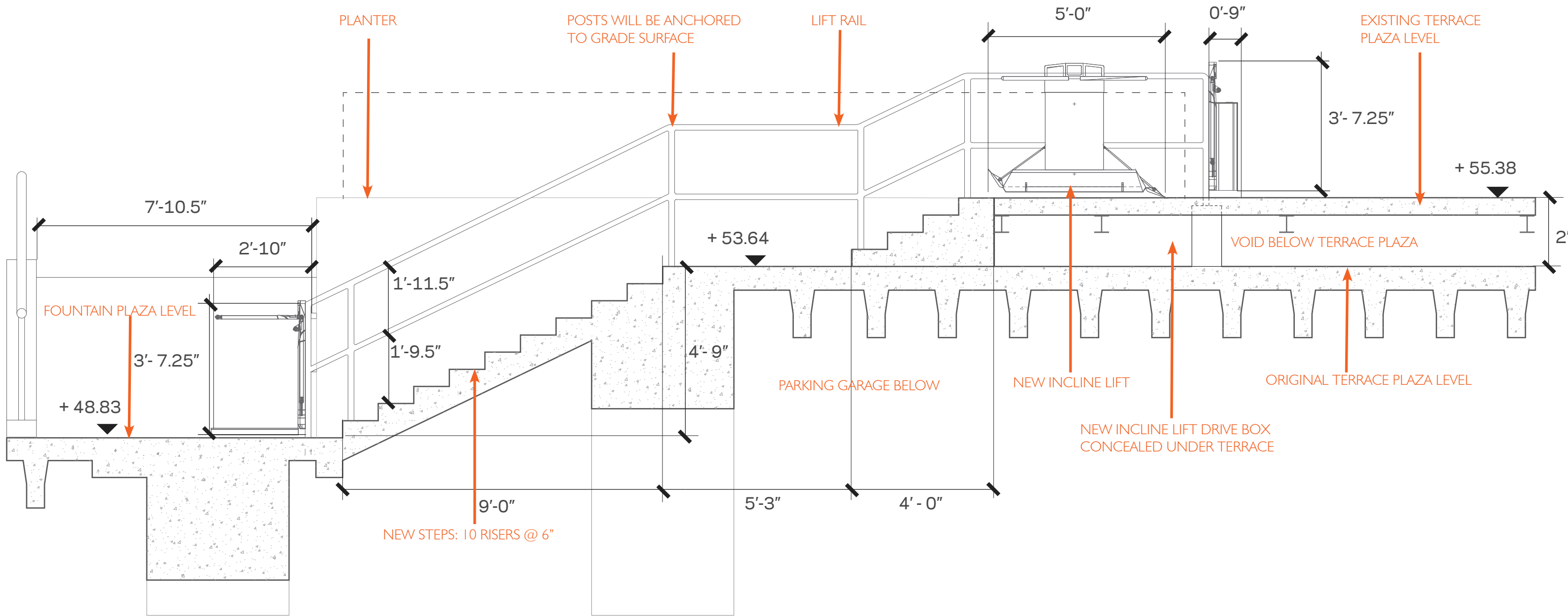
TERRACE PLAZA DRAWINGS: LIFT, RAMP & STAIR



TERRACE PLAZA
 ARCHITECTURE
 DRAWINGS

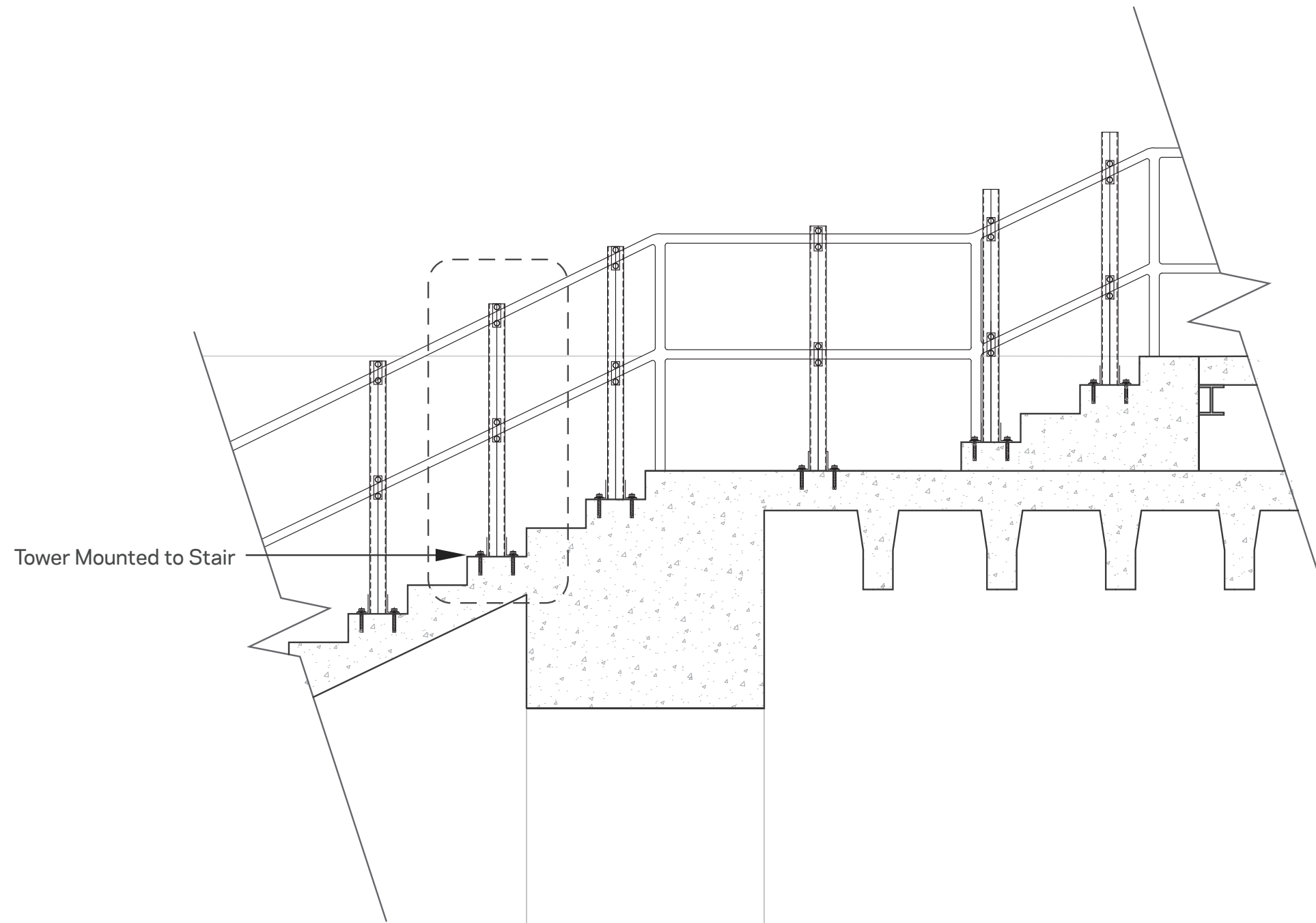
ELEVATION OF GALLERY BUILDING STAIR (SCALE: 3/8" = 1'-0")

TERRACE PLAZA DRAWINGS: LIFT, RAMP & STAIR

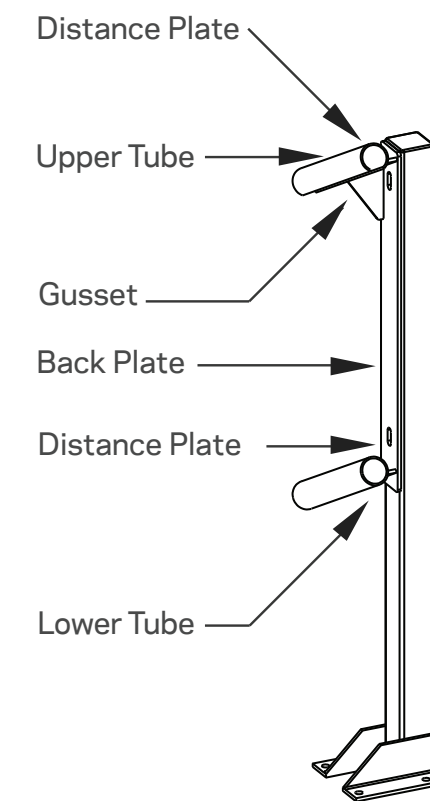


SECTION THROUGH GALLERY BUILDING STAIR (SCALE: 3/8" = 1'-0")

TERRACE PLAZA DRAWINGS: STAIR SECTION & LIFT TOWER DETAIL



ELEVATION OF GALLERY BUILDING STAIR (SCALE: 1/2" = 1'-0")



INDIVIDUAL TOWER MOUNT (NOT TO SCALE)

PLANS AND RENDERINGS



RENDERING OF TERRACE PLAZA SHOWING PROPOSED IMPROVEMENTS, LOOKING SOUTHEAST

PLANS AND RENDERINGS



TERRACE PLAZA
RENDERINGS

RENDERING OF TERRACE PLAZA SHOWING PROPOSED IMPROVEMENTS, LOOKING SOUTHWEST

MATERIALS BOARD



Existing board form concrete to be replicated as appropriate



Pedestal pavers. Project will use pedestal pavers that match original in material, texture, and color



Metal storefronts



New paving to match original paving in color, texture, and material

MATERIALS BOARD



Proposed incline lift to connect Fountain Plaza to Terrace Plaza



Example of proposed plantings for Terrace Plaza Planter: English Lavender



Example of proposed plantings for Terrace Plaza Planter: English Lavender



Proposed incline lift to connect Fountain Plaza to Terrace Plaza

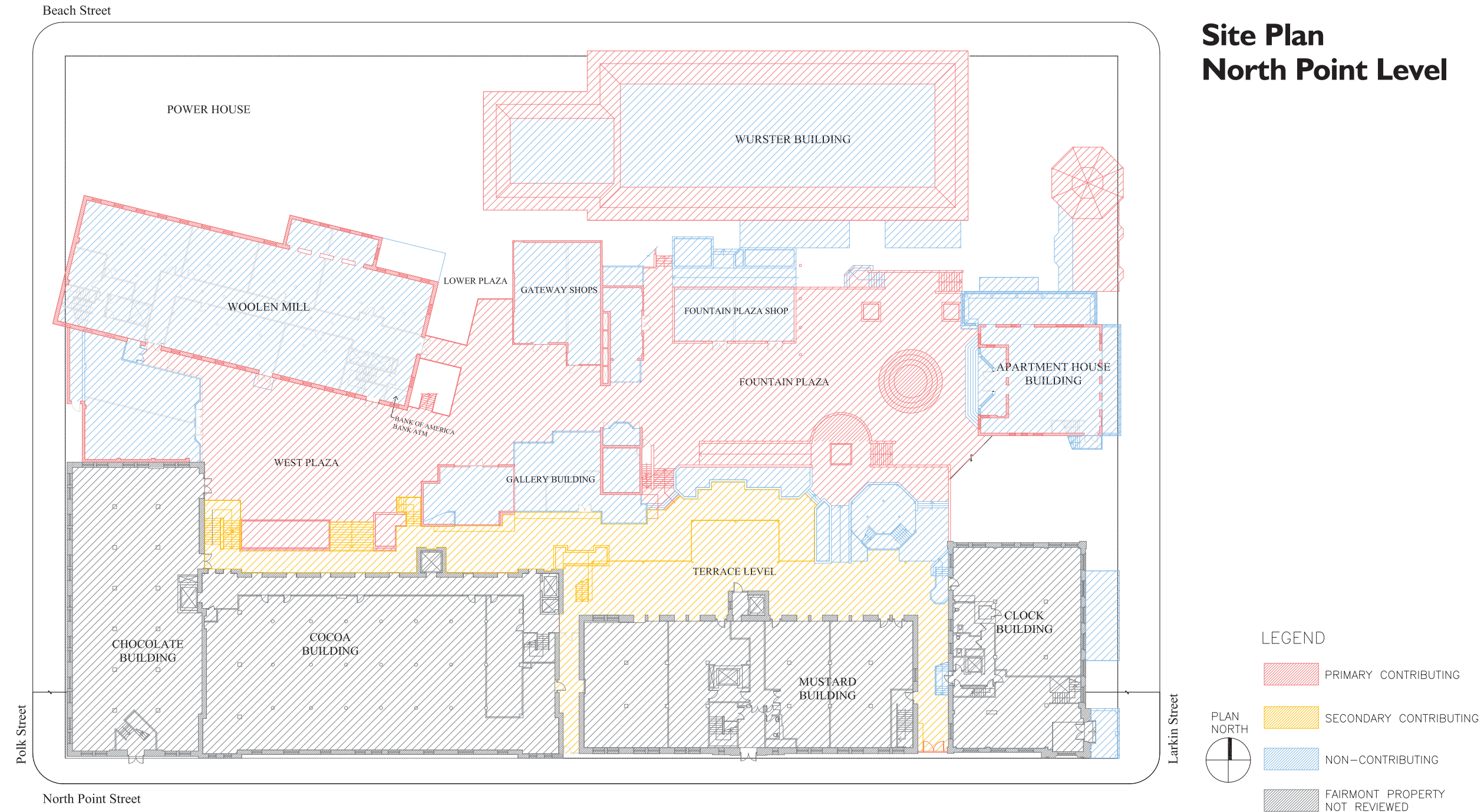


Example of proposed plantings for Terrace Plaza Planter: Blue Lyme Grass



Example of proposed plantings for Terrace Plaza Planter: Blue Lyme Grass

SIGNIFICANCE DIAGRAM



SIGNIFICANCE
DIAGRAM

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