



# SAN FRANCISCO PLANNING DEPARTMENT

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## Certificate of Appropriateness Case Report

HEARING DATE: MARCH 4, 2015

CONTINUED FROM JANUARY 21, 2015 AND FEBRUARY 4, 2015

*Filing Date:* September 5, 2014  
*Case No.:* **2014.1363A**  
*Project Address:* **978-980 GUERRERO STREET**  
*Historic Landmark:* Liberty-Hill Landmark District  
*Zoning:* RH-3 (Residential, House, Three-Family) Zoning District  
40-X Height and Bulk District  
*Block/Lot:* 3618/092-093  
*Applicant:* Brian Kaufmann, Brian Kaufmann Design  
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### PROPERTY DESCRIPTION

**978-980 GUERRERO STREET** is a raised three-story, two-family residence designed in an Edwardian-era architectural style located on a rectangular through lot (measuring approximately 31 ft x 117.5 ft) on the west side of Guerrero Street between 21<sup>st</sup> and 22<sup>nd</sup> Streets. Constructed in 1911, the existing building features wood-frame construction, wood-sash windows, wood siding, a flat roof, and is setback from the street edge on a raised lot. Currently, the subject property has frontage along Guerrero and Ames Streets, and has off-street parking off of Ames Street.

### PROJECT DESCRIPTION

The proposed project consists of a change in use from two dwelling unit to three dwelling units, and exterior alterations including:

- **Primary Façade Alterations:** To accommodate the new residential unit, the project would alter the primary façade by: adding a new landing and stair off of the main entry stair; replacing an existing wood pedestrian door currently located in an existing recessed opening; and, enlarging an existing double-hung wood-sash window. These ground floor alterations would be partially obscured by new landscaping within the raised front setback area.
- **Side/Rear Façade Alterations/Construction of Sunken Terrace:** The project would excavate the existing basement level to accommodate a new residential unit, and would add new windows on the side facades and new windows and a door on the rear façade. All new windows would be wood-sash. On the rear façade, the project add new windows and doors on the ground floor level. All new rear façade windows would match the existing windows on the upper floors.

- **Reconstruction of a Rear Deck/Stair:** On the rear façade off of Ames Street, the project would remove the existing rear stair and deck, and would replace it with a new wood rear stair and deck. The new stair and deck would be utilitarian in character and simple in design.

The project would not impact the two existing dwelling units and would create a new dwelling unit on the basement level, which would measure approximately 1,168 sq ft.

## OTHER ACTIONS REQUIRED

Proposed work requires a Rear Yard Variance from the Zoning Administrator, 311 Notification and a Building Permit from the Department of Building Inspection (DBI).

## COMPLIANCE WITH THE PLANNING CODE PROVISIONS

The proposed project is in compliance with all other provisions of the Planning Code.

## APPLICABLE PRESERVATION STANDARDS

### ARTICLE 10

Pursuant to Section 1006.2 of the Planning Code, unless exempt from the Certificate of Appropriateness requirements or delegated to Planning Department Preservation staff through the Administrative Certificate Appropriateness process, the Historic Preservation Commission is required to review any applications for the construction, alteration, removal, or demolition of any designated Landmark for which a City permit is required. Section 1006.6 states that in evaluating a request for a Certificate of Appropriateness for an individual landmark or a contributing building within a historic district, the Historic Preservation Commission must find that the proposed work is in compliance with the *Secretary of the Interior's Standards for the Treatment of Historic Properties*, as well as the designating Ordinance and any applicable guidelines, local interpretations, bulletins, related appendices, or other policies.

### THE SECRETARY OF THE INTERIOR'S STANDARDS

Rehabilitation is the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features that convey its historical, cultural, or architectural values. The Rehabilitation Standards provide, in relevant part(s):

**Standard 1:** A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

*The proposed project would maintain the subject property's current and historic use as a residence. Therefore, the proposed project complies with Rehabilitation Standard 1.*

**Standard 2:** The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

*The proposed project maintains the historic character of the subject property, as defined by its character-defining features, including, but not limited to, its overall mass and form, double-hung wood-sash windows, Classical Revival detailing, flat roof, as well as, other elements identified in the designating ordinance for the landmark.*

*Currently, the existing residence contains a wood pedestrian door and double-hung, wood-sash window on the ground floor of the primary façade. The proposed project would enlarge the double-hung wood-sash window on the ground floor level, and would replace the existing wood door with a new wood door. This new work is consistent with the building's architectural and historic character, since the new work is similar in design, material and style as the existing building's windows and doors and does not detract from the residence's overall historic character.*

*At the rear, the proposed project would also replace an existing rear stair and deck with a new wood rear stair and deck, which would be visible from Ames Street. Currently, Ames Street is a narrow alley that is utilitarian in character, and features the rear facades of the properties, which front onto Guerrero and Fair Oaks Street. The replacement stair and deck would be similar in form, design, and material as the existing stair and deck, and would not impact any significant historic characteristics of the subject property. The new stair and deck would not impact any historic materials or features of the subject property or the surrounding district. Therefore, the proposed project complies with Rehabilitation Standard 2.*

**Standard 3:** Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

*The proposed project does not include the addition of conjectural elements or architectural features from other buildings. The new work is simple in design and is distinguished from the Classical Revival character of the existing residence. The new work will not create a false sense of historical development and would be compatible with the surrounding district. Therefore, the proposed project complies with Rehabilitation Standard 3.*

**Standard 4:** Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

*The proposed project does not involve alterations to the subject building, which have acquired significance in their own right. The existing rear stair and deck do not possess historical significance and does not contribute to the district's historic character. Therefore, the proposed project complies with Rehabilitation Standard 4.*

**Standard 5:** Distinctive features, finishes, and construction techniques or examples of fine craftsmanship that characterize a property will be preserved.

*The proposed project maintains and preserves the subject property's distinctive finishes and character-defining features, including the overall form and massing, wood-sash windows, wood*

*rafter tails, wood trellis, and front facing gable. The project would not impact any distinctive features of the subject property. New work is focused upon non-historic elements of the subject property, including the existing rear stair and deck. Therefore, the proposed project complies with Rehabilitation Standard 5.*

**Standard 6:** Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacements of a distinctive feature, the new feature will match the old in design, color, texture and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

*The proposed project does not involve the repair or replacement of deteriorated historic features. New work is focused on the ground floor level. Therefore, the proposed project complies with Rehabilitation Standard 6.*

**Standard 7:** Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

*The proposed project does not involve chemical or physical treatments. Therefore, the proposed project complies with Rehabilitation Standard 7.*

**Standard 8:** Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures will be undertaken.

*The proposed project does include excavation below the existing building to accommodate the new residential unit. If archaeological resources are uncovered, the project would undertake the appropriate measures. Therefore, the proposed project complies with Rehabilitation Standard 8.*

**Standard 9:** New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

*The proposed project includes exterior alterations to the subject property, including façade alterations to accommodate a new residential unit and replacement of an existing stair and deck.*

*On the ground floor of the primary facade, the façade alterations include replacement of the existing wood door, enlargement of the existing double-hung wood-sash, and construction of a new landing off the main stair to accommodate a new residential unit on the ground floor level. On the side and rear facades, the project would add new double-hung, wood-sash windows and would add a new wood door on the rear façade. These façade alterations do not significantly impact any historic materials, since the existing door is not historic. The alterations to the*

*existing door and window are consistent with the character of the residence, since the project would replace a non-historic door with a new compatible wood door, and enlarge an existing double-hung wood-sash window, which would be similar to the larger-scale double-hung wood-sash windows on the second and third floors. At the rear, the project would add new windows in the same manner as the existing windows on the upper floors, and would add a new door to provide access to the new sunken courtyard. Overall, these façade alterations do not detract from the building's historic character, do not destroy historic materials or features, and are compatible with the subject building and surrounding district, since they match the district's predominant material palette, design and style.*

*At the rear, the new rear deck and stair is clearly differentiated from the historic mass of the original residence, as noted by form and material. The new rear deck and stair is similar in size and scale as the existing rear deck and stair. The new rear deck and stair is compatible with the subject property's overall historic character, since the new work is occurring on a rear façade, the deck would be constructed of wood, which is a compatible material in the surrounding district, and the overall mass of the new deck and stair is differentiated from the historic mass of the original residence.*

*Overall, the proposed project maintains the historic integrity of the subject property and provides new additions, which are compatible, yet differentiated with the historic residence. Therefore, the proposed project complies with Rehabilitation Standard 9.*

**Standard 10:** New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

*The proposed project includes construction of a new rear deck and stair, which would be located on the rear façade facing Ames Street. This new addition would not affect the essential form and integrity of the landmark district, and do not impact any character-defining features of the subject property. Therefore, the proposed project complies with Rehabilitation Standard 10.*

**Summary:** The Department finds that the overall project is consistent with the *Secretary of the Interior Standards for Rehabilitation*.

## PUBLIC/NEIGHBORHOOD INPUT

As of February 25, 2015, the Department has not received any public inquiries about the proposed project.

## STAFF ANALYSIS

Included as an exhibit are architectural drawings of the existing building and the proposed project. Based on the requirements of Article 10 and the *Secretary of Interior's Standards*, Department staff has determined the following:

**Façade Alterations:** The proposed project includes façade alterations to accommodate a new residential unit at the basement level and construction of a new landing off of the main entry stair. The new residential entryway would occur within the location of an existing door and window, and would be consistent and compatible with the historic character of the overall residence. Along the side and rear facades, the project would add new double-hung, wood-sash windows in alignment with the windows above, and would add a new wood door, which is considered to be a compatible material. These alterations would comply with the Secretary of the Interior's Standards for Rehabilitation and the requirements of Article 10 of the San Francisco Planning Code, since the project involves minimal removal of historic fabric and new work is compatible the existing historic features. However, to ensure that the proposed windows and doors are consistent with the surrounding district, the Department has included a condition of approval to review the profiles and millwork of the proposed door and window.

**Rear Deck and Stair/Sunken Terrace:** The proposed project includes replacement of the existing rear deck and stair with a new wood deck and stair, as well as the construction of a sunken terrace. This work would occur on the rear portions of the subject property. The mass, scale and location of the new deck and stair are consistent and compatible with the rear additions found on contributing properties within the surrounding district. In addition, the mass, scale and location of the new deck would be compatible with the subject property, since the new work is located towards the rear and is differential in mass and scale as compared with the larger residence. Further, this work would not impact any character-defining features of the subject property or surrounding district. The new materials on the rear facade (wood and double-hung wood-sash windows) would be in alignment with the district's character-defining features, which include wood siding and double-hung wood-sash windows. Therefore, this alteration would comply with the Secretary of the Interior's Standards for Rehabilitation and the requirements of Article 10 of the San Francisco Planning Code, since the new work would be compatible with the historic features.

**Summary:** Department staff finds that proposed work will be in conformance with the Secretary's Standards and requirements of Article 10, as the proposed work shall not adversely affect the special character or special historical, architectural, or aesthetic interest or value of the landmark and its site.

## ENVIRONMENTAL REVIEW STATUS

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 and 31 Categorical Exemption (CEQA Guideline Sections 15301 and 15331) because the project involves exterior and interior alteration to the existing building and meets the *Secretary of the Interior's Standards for Rehabilitation*.

## PLANNING DEPARTMENT RECOMMENDATION

Planning Department staff recommends APPROVAL WITH CONDITIONS of the proposed project as it appears to meet the *Secretary of the Interior Standards for Rehabilitation* and requirements of Article 10.

## CONDITIONS OF APPROVAL

To ensure that the proposed work is undertaken in conformance with this Certificate of Appropriateness, staff recommends the following conditions:

1. Prior to approval of the Site Permit, the Project Sponsor shall provide additional information on the proposed doors and windows, including a schedule that illustrates the proposed material, profiles, millwork, and dimension. All proposed door and windows shall be compatible and consistent with the surrounding landmark district, and shall feature historically-appropriate profiles, as determined by Planning Department Preservation staff.

## ATTACHMENTS

Draft Motion

Exhibits, including Parcel Map, Sanborn Map, Zoning Map, Aerial Photos, and Site Photos

Architectural Drawings

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# SAN FRANCISCO PLANNING DEPARTMENT

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## Historic Preservation Commission Motion No. 0XXX

HEARING DATE: MARCH 4, 2015

*Filing Date:* September 5, 2014  
*Case No.:* **2014.1363A**  
*Project Address:* **978-980 GUERRERO STREET**  
*Historic Landmark:* Liberty-Hill Landmark District  
*Zoning:* RH-3 (Residential, House, Three-Family) Zoning District  
40-X Height and Bulk District  
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**ADOPTING FINDINGS FOR A CERTIFICATE OF APPROPRIATENESS FOR PROPOSED WORK DETERMINED TO BE APPROPRIATE FOR AND CONSISTENT WITH THE PURPOSES OF ARTICLE 10, TO MEET THE STANDARDS OF ARTICLE 10 AND TO MEET THE SECRETARY OF INTERIOR'S STANDARDS FOR REHABILITATION, FOR THE PROPERTY LOCATED ON LOTS 092-093 IN ASSESSOR'S BLOCK 3618, WITHIN THE LIBERTY-HILL LANDMARK DISTRICT, RH-3 (RESIDENTIAL, HOUSE, THREE-FAMILY) ZONING DISTRICT AND 40-X HEIGHT AND BULK DISTRICT.**

### PREAMBLE

WHEREAS, on September 5, 2014, Brian Kaufman of Brian Kaufman Design (Project Sponsor) on behalf of Bendikt Strebel and Kathy Klausner (Property Owners), filed an application with the San Francisco Planning Department (Department) for a Certificate of Appropriateness for façade alterations and a new rear deck and stair to the subject property located at 978-980 Guerrero Street on Lots 092-093 in Assessor's Block 3618.

WHEREAS, the Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 and Class 31 Categorical Exemption (CEQA Guideline Section 15301 and 15331) because the project involves exterior and interior alteration to the existing building and meets the *Secretary of the Interior's Standards for Rehabilitation*.

WHEREAS, on March 4, 2015, the Commission conducted a duly noticed public hearing on the current project, Case No. 2014.1363A (Project) for its appropriateness.



WHEREAS, in reviewing the Application, the Commission has had available for its review and consideration case reports, plans, and other materials pertaining to the Project contained in the Department's case files, has reviewed and heard testimony and received materials from interested parties during the public hearing on the Project.

**MOVED**, that the Commission hereby grants with conditions a Certificate of Appropriateness, in conformance with the project information dated January 20, 2015 and labeled Exhibit A on file in the docket for Case No. 2014.1363A based on the following findings:

### **CONDITIONS OF APPROVAL**

To ensure that the proposed work is undertaken in conformance with this Certificate of Appropriateness, staff recommends the following conditions:

1. Prior to approval of the Site Permit, the Project Sponsor shall provide additional information on the proposed doors and windows, including a schedule that illustrates the proposed material, profiles, millwork, and dimension. All proposed door and windows shall be compatible and consistent with the surrounding landmark district, and shall feature historically-appropriate profiles, as determined by Planning Department Preservation staff.

### **FINDINGS**

Having reviewed all the materials identified in the recitals above and having heard oral testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and also constitute findings of the Commission.
2. Findings pursuant to Article 10:

The Historic Preservation Commission has determined that the proposed work is compatible with the character of the Liberty-Hill Landmark District as described in Appendix F of Article 10 of the Planning Code.

- That the proposed project features façade alterations and rear deck and stair, which are compatible with the Liberty-Hill Landmark District, since these alterations and additions maintain the historic form of the residence, do not destroy historic materials, and provide for new construction, which is compatible, yet differentiated.
- That the proposed project maintains the historic character of the subject property, as defined by its character-defining features, including, but not limited to, its overall mass and form, double-hung wood-sash windows, Classical Revival detailing, as well as, other elements identified in the designating ordinance for Liberty-Hill Landmark District.
- That the essential form and integrity of the landmark and its environment would be unimpaired if the alterations were removed at a future date.
- That the proposal respects the character-defining features of Liberty-Hill Landmark District.
- The proposed project meets the requirements of Article 10.

- The proposed project meets the *Secretary of the Interior's Standards for Rehabilitation*, including:

**Standard 2.**

*The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*

**Standard 9.**

*New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.*

**Standard 10:**

*New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

3. **General Plan Compliance.** The proposed Certificate of Appropriateness is, on balance, consistent with the following Objectives and Policies of the General Plan:

I. URBAN DESIGN ELEMENT

THE URBAN DESIGN ELEMENT CONCERNS THE PHYSICAL CHARACTER AND ORDER OF THE CITY, AND THE RELATIONSHIP BETWEEN PEOPLE AND THEIR ENVIRONMENT.

GOALS

*The Urban Design Element is concerned both with development and with preservation. It is a concerted effort to recognize the positive attributes of the city, to enhance and conserve those attributes, and to improve the living environment where it is less than satisfactory. The Plan is a definition of quality, a definition based upon human needs.*

OBJECTIVE 1

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

POLICY 1.3

*Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.*

OBJECTIVE 2

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

*POLICY 2.4*

*Preserve notable landmarks and areas of historic, architectural or aesthetic value, and promote the preservation of other buildings and features that provide continuity with past development.*

*POLICY 2.5*

*Use care in remodeling of older buildings, in order to enhance rather than weaken the original character of such buildings.*

*POLICY 2.7*

*Recognize and protect outstanding and unique areas that contribute in an extraordinary degree to San Francisco's visual form and character.*

*The goal of a Certificate of Appropriateness is to provide additional oversight for buildings and districts that are architecturally or culturally significant to the City in order to protect the qualities that are associated with that significance.*

*The proposed project qualifies for a Certificate of Appropriateness and therefore furthers these policies and objectives by maintaining and preserving the character-defining features of the South End Landmark District for the future enjoyment and education of San Francisco residents and visitors.*

4. The proposed project is generally consistent with the eight General Plan priority policies set forth in Section 101.1 in that:

- A) The existing neighborhood-serving retail uses will be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses will be enhanced:

*The project will not have any impact on any existing neighborhood serving retail uses, since there are no retail uses located on the project site.*

- B) The existing housing and neighborhood character will be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods:

*The proposed project would not impact any existing housing, and will strengthen neighborhood character by respecting the character-defining features of Liberty-Hill Landmark District in conformance with the Secretary of the Interior's Standards for Rehabilitation.*

- C) The City's supply of affordable housing will be preserved and enhanced:

*The project will have no impact upon affordable housing, since there are no identified affordable housing units on the project site.*

- D) The commuter traffic will not impede MUNI transit service or overburden our streets or neighborhood parking:

*The proposed project will not result in commuter traffic impeding MUNI transit service or overburdening the streets or neighborhood parking. The proposed project is located within a transit-rich neighborhood with walkable access to bus, light rail and train lines. The project provides three off-street parking spaces, thus accommodating the required amount of parking for the three dwelling units.*

- E) A diverse economic base will be maintained by protecting our industrial and service sectors from displacement due to commercial office development. And future opportunities for resident employment and ownership in these sectors will be enhanced:

*The proposed project will not have any impact on industrial and service sector jobs, since there is no commercial or industrial uses on the project site.*

- F) The City will achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

*Preparedness against injury and loss of life in an earthquake is unaffected by the proposed work. Any construction or alteration associated with the project will be executed in compliance with all applicable construction and safety measures.*

- G) That landmark and historic buildings will be preserved:

*The project as proposed is in conformance with Article 10 of the Planning Code and the Secretary of the Interior's Standards for Rehabilitation.*

- H) Parks and open space and their access to sunlight and vistas will be protected from development:

*The proposed project will not impact the access to sunlight or vistas for parks and open space.*

5. For these reasons, the proposal overall, is appropriate for and consistent with the purposes of Article 10, meets the standards of Article 10, and the *Secretary of Interior's Standards for Rehabilitation*, General Plan and Prop M findings of the Planning Code.

**DECISION**

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **GRANTS WITH CONDITIONS a Certificate of Appropriateness** for the property located on Lots 092-093 in Assessor's Block 3618 for proposed work in conformance with the project information dated January 20, 2015, labeled Exhibit A on file in the docket for Case No. 2014.1363A.

**APPEAL AND EFFECTIVE DATE OF MOTION:** The Commission's decision on a Certificate of Appropriateness shall be final unless appealed within thirty (30) days. Any appeal shall be made to the Board of Appeals, unless the proposed project requires Board of Supervisors approval or is appealed to the Board of Supervisors, such as a conditional use, in which case any appeal shall be made to the Board of Supervisors (see Charter Section 4.135).

**Duration of this Certificate of Appropriateness:** This Certificate of Appropriateness is issued pursuant to Article 10 of the Planning Code and is valid for a period of three (3) years from the effective date of approval by the Historic Preservation Commission. The authorization and right vested by virtue of this action shall be deemed void and canceled if, within 3 years of the date of this Motion, a site permit or building permit for the Project has not been secured by Project Sponsor.

**THIS IS NOT A PERMIT TO COMMENCE ANY WORK OR CHANGE OF OCCUPANCY UNLESS NO BUILDING PERMIT IS REQUIRED. PERMITS FROM THE DEPARTMENT OF BUILDING INSPECTION (and any other appropriate agencies) MUST BE SECURED BEFORE WORK IS STARTED OR OCCUPANCY IS CHANGED.**

I hereby certify that the Historic Preservation Commission ADOPTED the foregoing Motion on March 4, 2015.

Jonas P. Ionin  
Commission Secretary

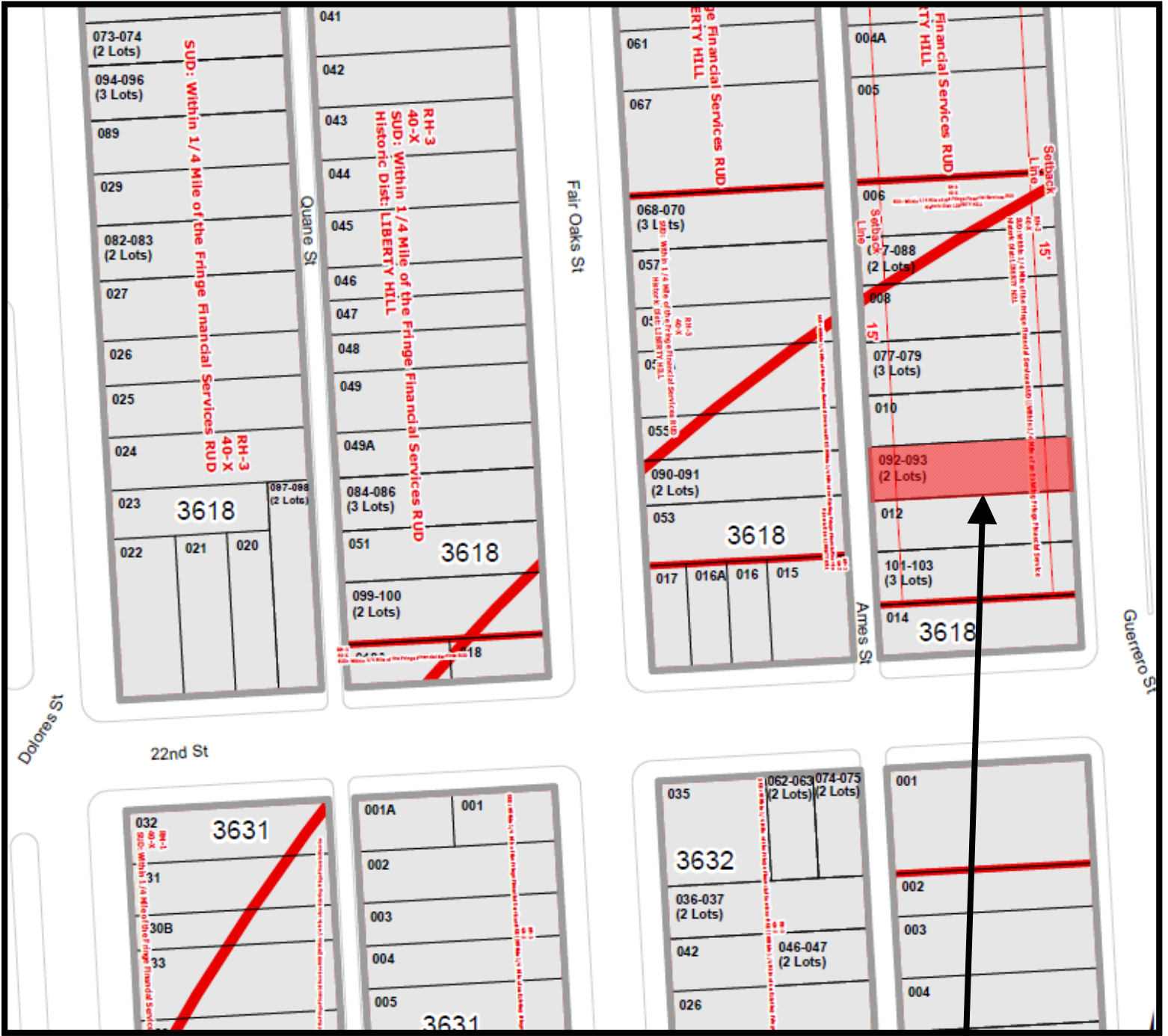
AYES:

NAYS:

ABSENT:

ADOPTED: March 4, 2015

# Parcel Map

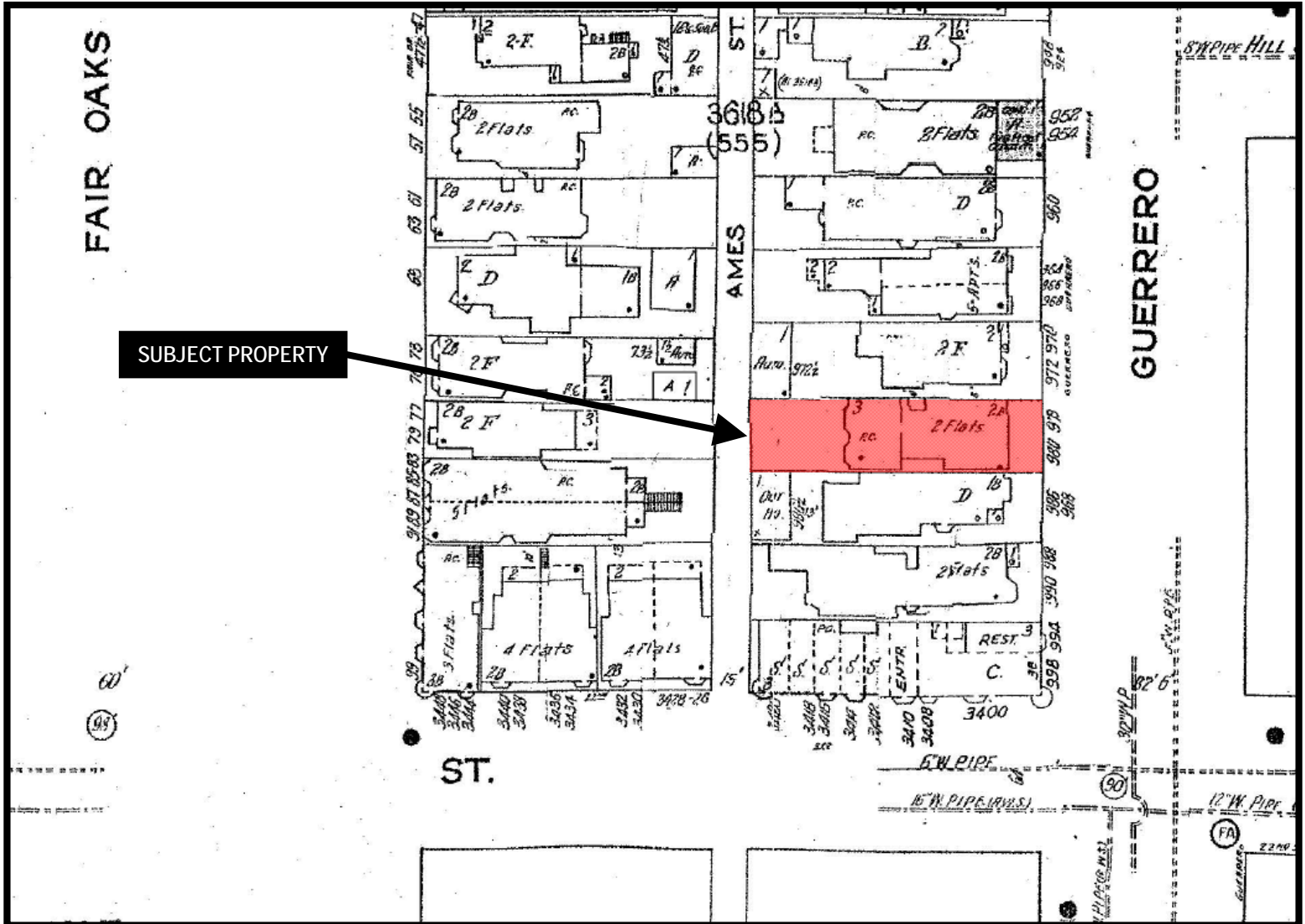


**SUBJECT PROPERTY**

Certificate of Appropriateness Hearing  
 Case Number 2014.1363A  
 978-980 Guerrero Street



# Sanborn Map\*

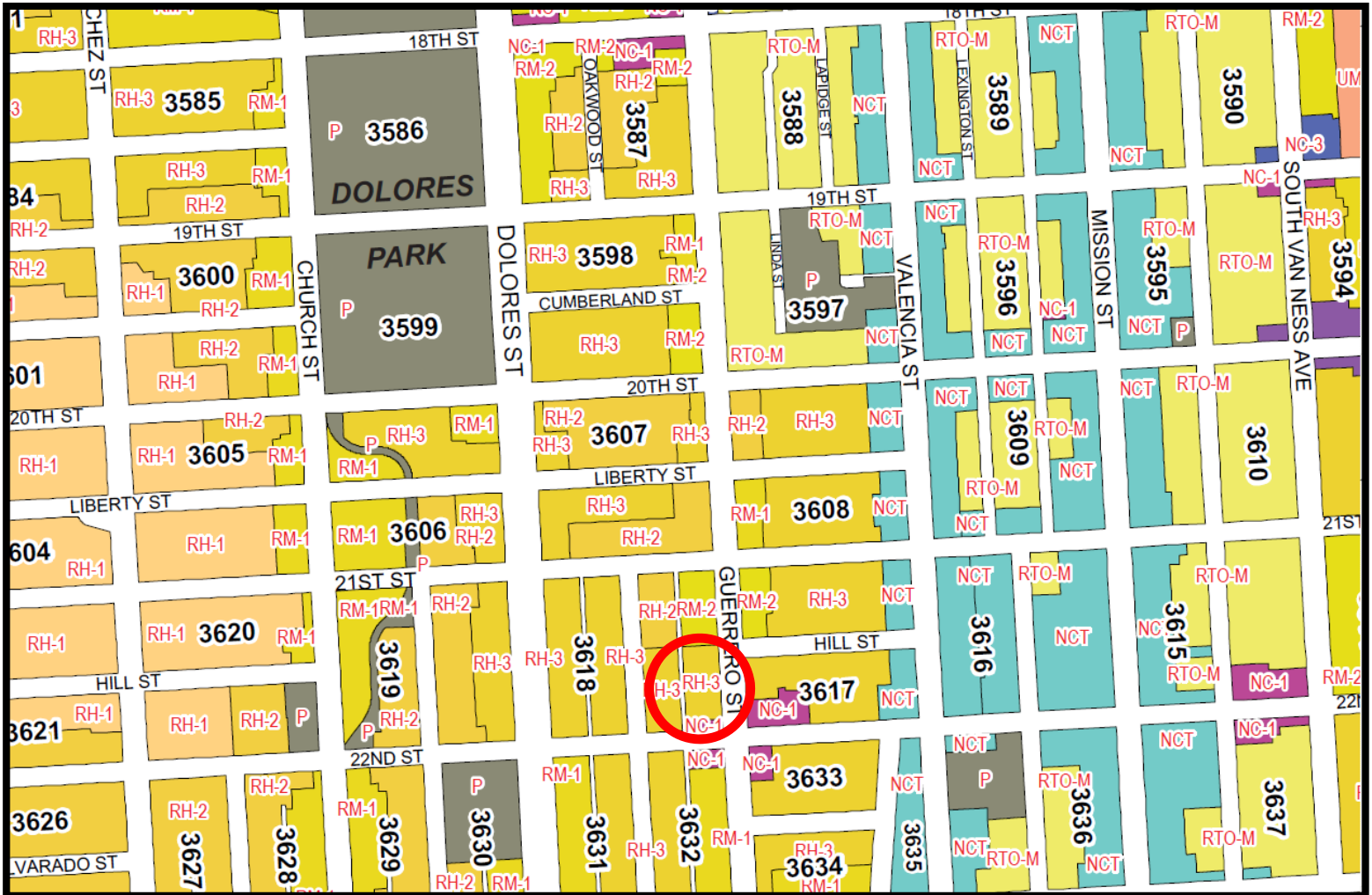


\*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Certificate of Appropriateness Hearing  
Case Number 2014.1363A  
978-980 Guerrero Street

# Zoning Map

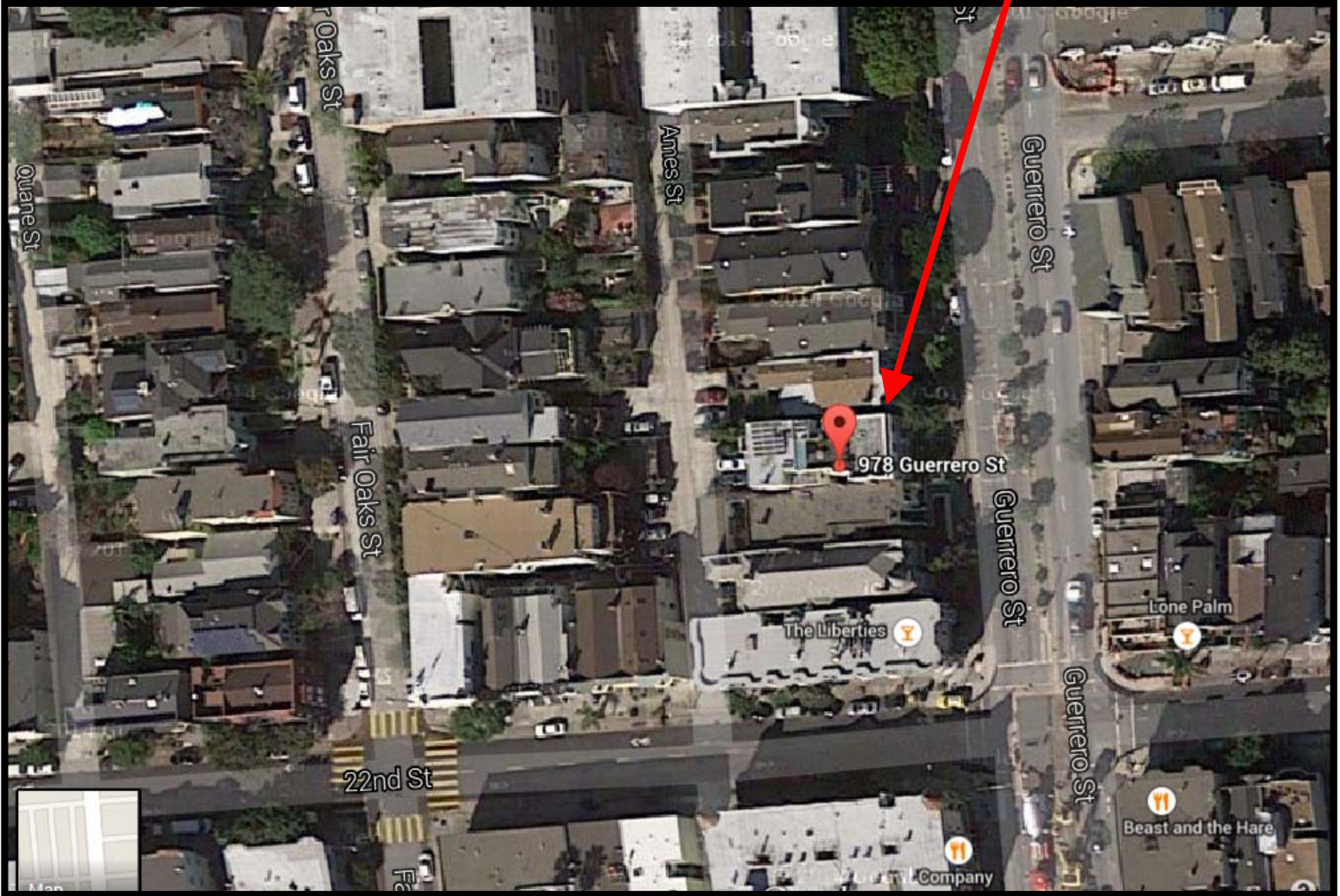


Certificate of Appropriateness Hearing  
Case Number 2014.1363A  
978-980 Guerrero Street



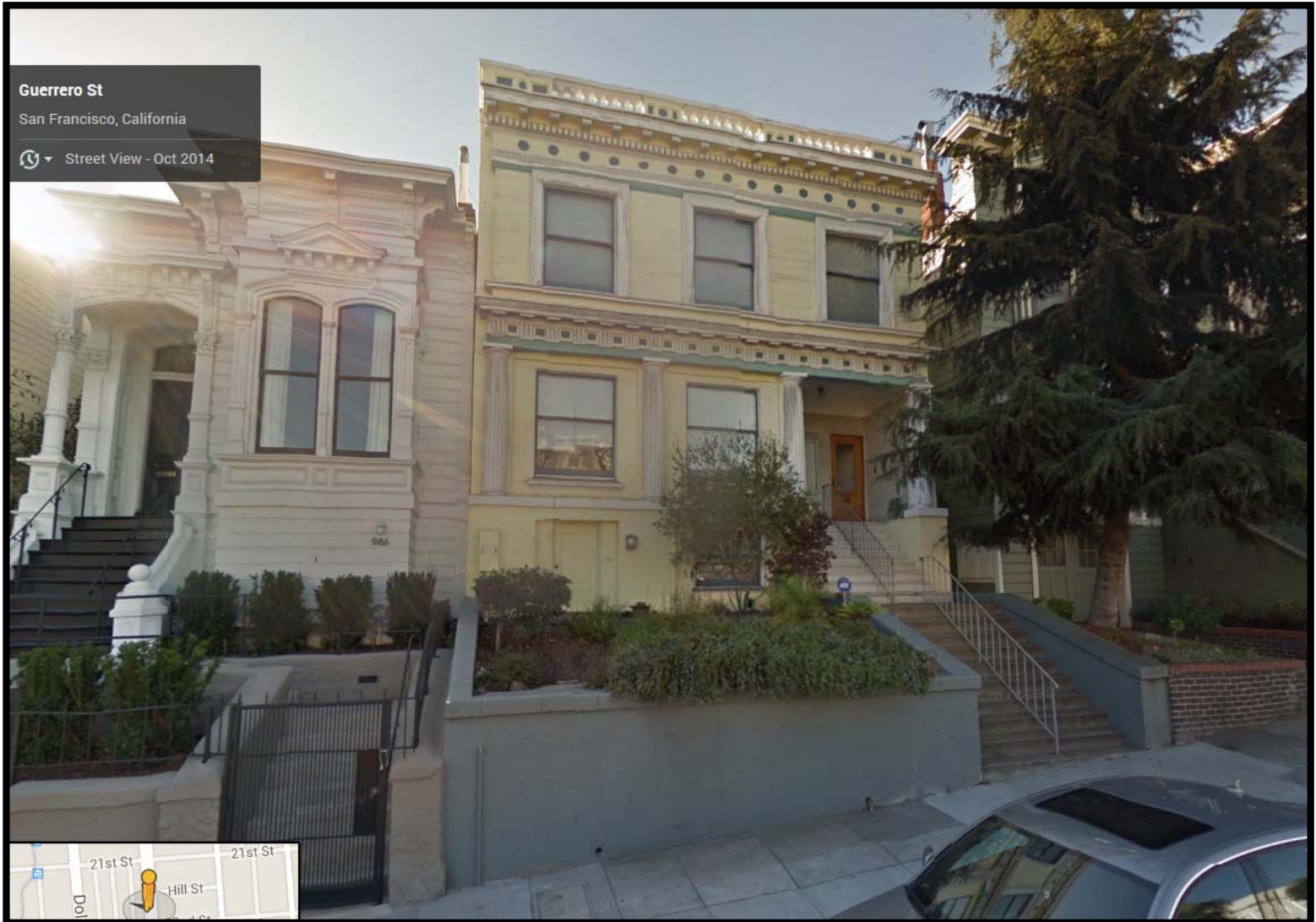
# Aerial Photo

SUBJECT PROPERTY



Certificate of Appropriateness Hearing  
Case Number 2014.1363A  
978-980 Guerrero Street

# Site Photo

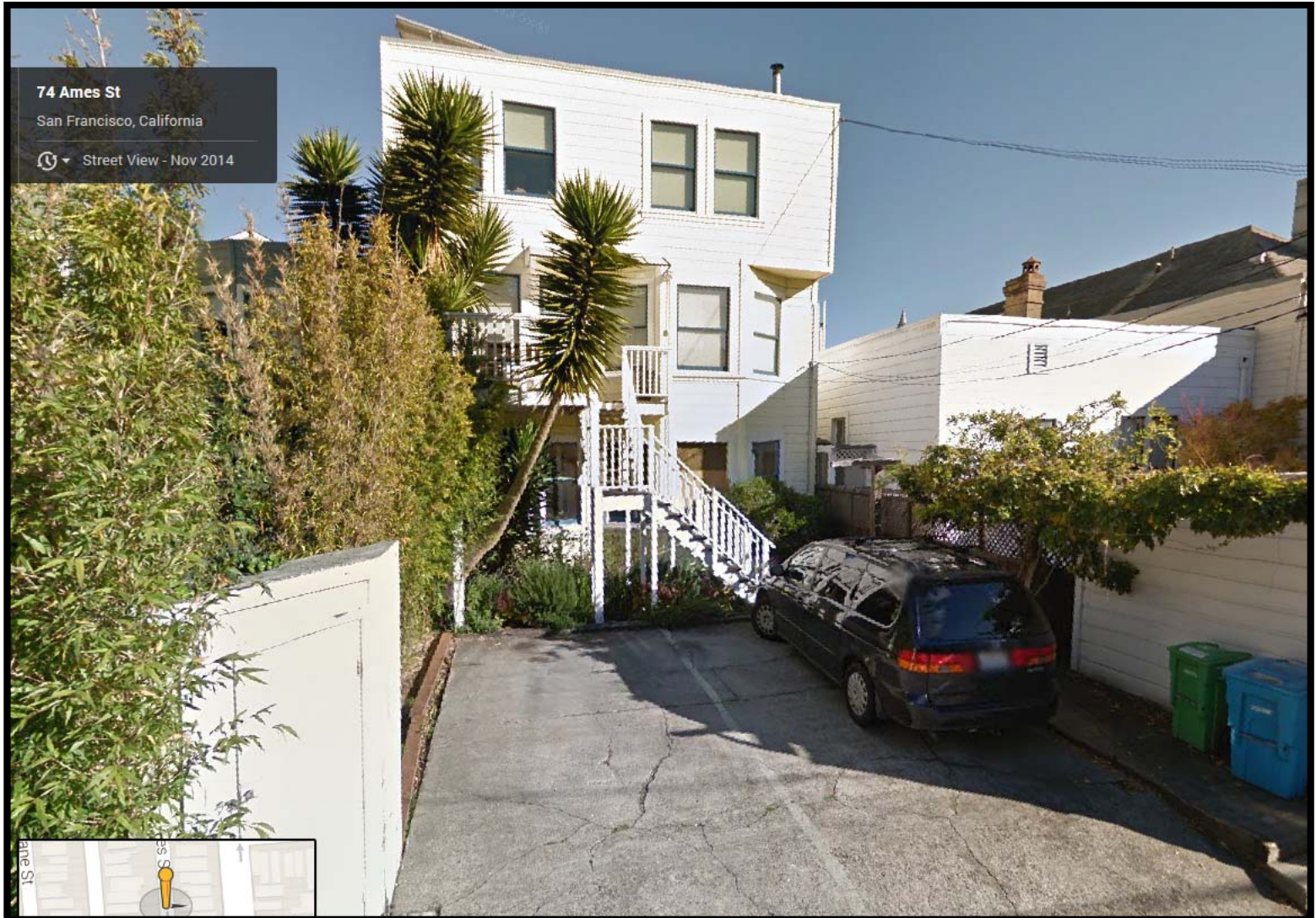


978-980 Guerrero Street (Source: Google Maps, October 2014)

Certificate of Appropriateness Hearing  
Case Number 2014.1363A  
978-980 Guerrero Street



# Site Photo



978-980 Guerrero Street. Rear Façade on Ames Street (Source: Google Maps, November 2014)

Certificate of Appropriateness Hearing  
Case Number 2014.1363A  
978-980 Guerrero Street



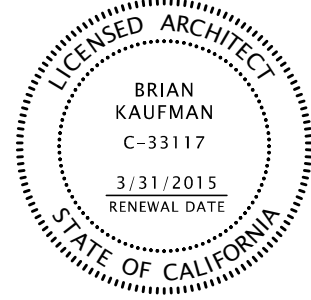
# RESIDENTIAL ADDITION

## 978 & 980 GUERRERO STREET SAN FRANCISCO, CALIFORNIA 94110

### DRAWINGS FOR VARIANCE AND CERT. OF APPROPRIATENESS APP NOVEMBER 4, 2014

BRIAN KAUFMAN DESIGN  
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415-279-6795 (voice) 415-400-5171 (fax)

**BASEMENT ADDITION**  
978 & 980 GUERRERO STREET  
SAN FRANCISCO, CA 94110  
BLOCK 3618 / LOT 092 & 093



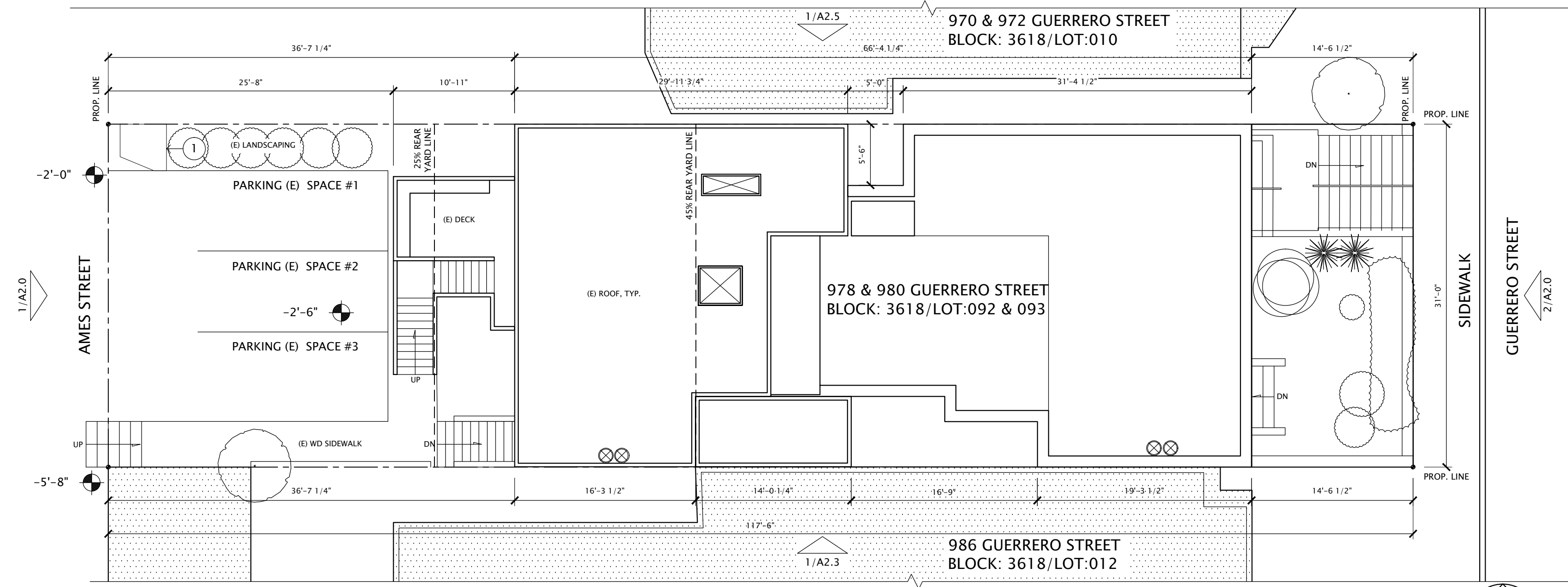
**TITLE SHEET**  
SITE PLANS

DESCRIPTION	DATE

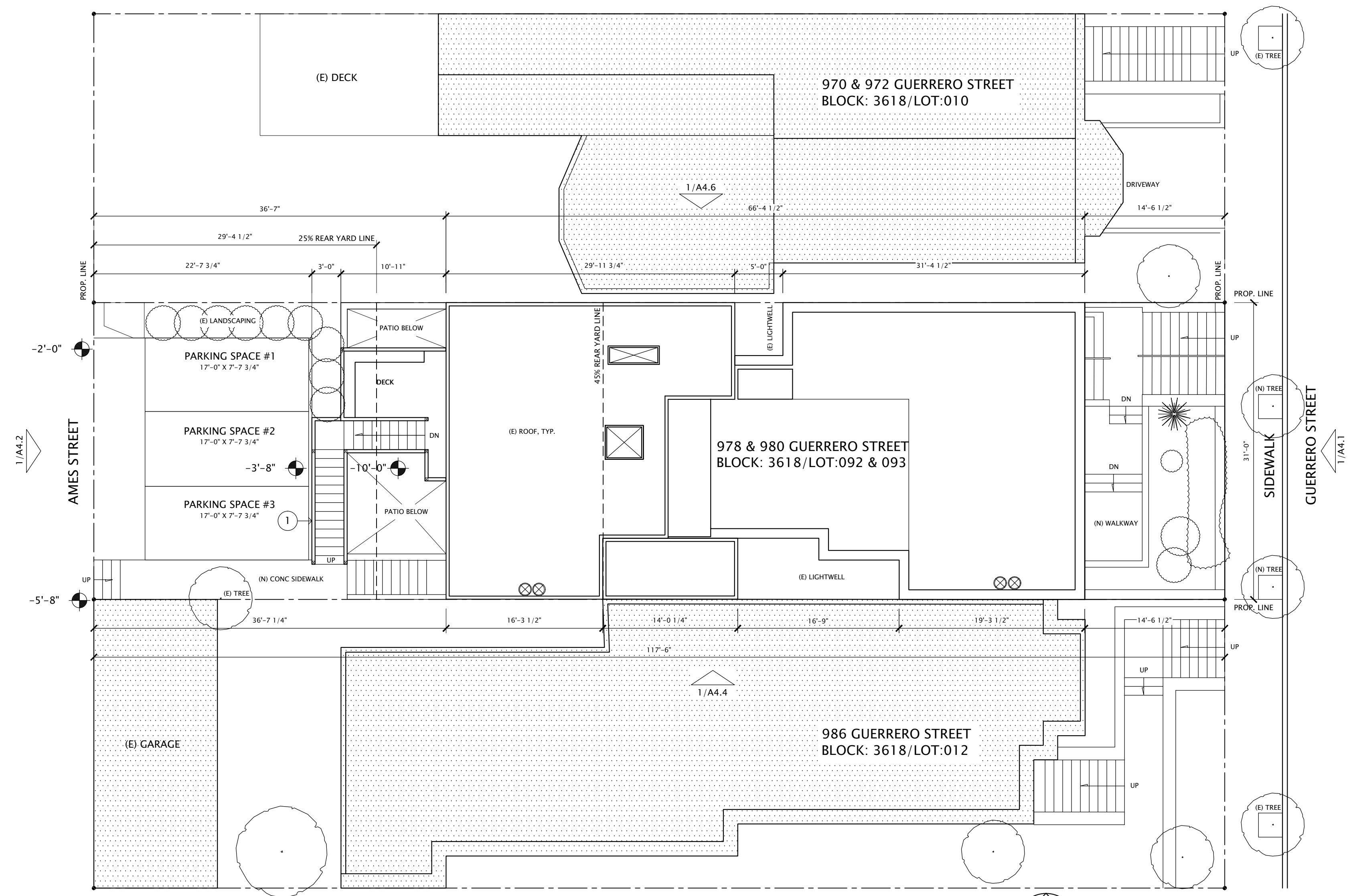
SCALE: AS NOTED

DATE: 11/4/14

# A0.0



**1 EXISTING SITE PLAN**  
1/8" = 1'-0"



**2 PROPOSED SITE PLAN**  
1/8" = 1'-0"

**PLAN SHEET NOTES**

- 1 LANDSCAPING UNDER STAIRS
- 2 (E) REFUSE SHED

**PROJECT DESCRIPTION**

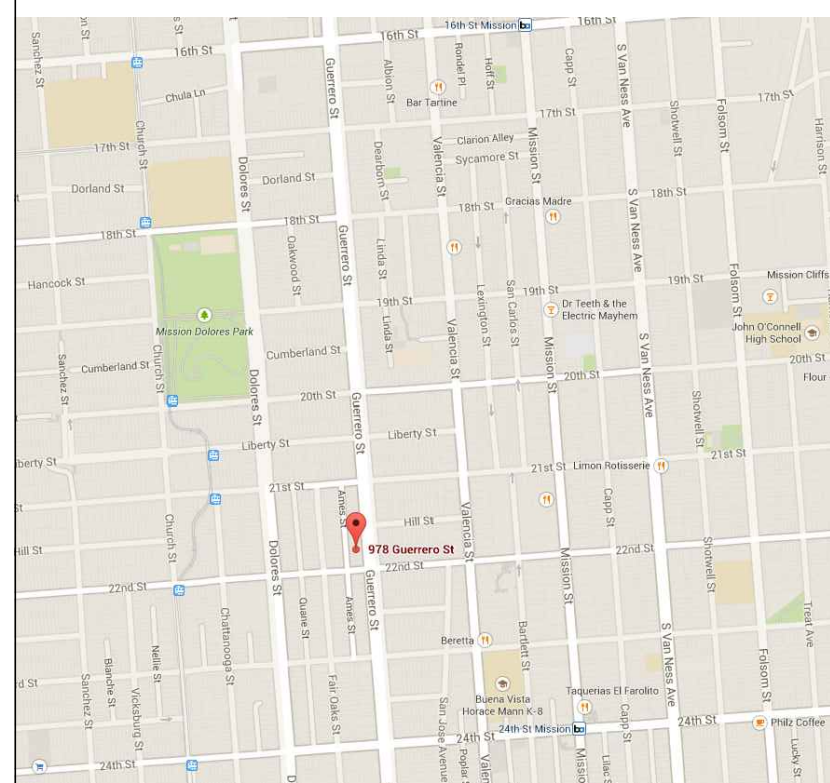
- THERE ARE 5 PRIMARY COMPONENTS FOR THIS PROJECT:
- CONVERSION OF EXISTING BASEMENT AND CRAWL SPACE INTO A 3RD DWELLING UNIT FOR THE BUILDING. NEW DWELLING UNIT WILL BE 3 BEDROOM OF APPROXIMATELY 1,1618 SQ. FT.
  - CREATION OF A NEW SUNKEN TERRACE FOR NEW DWELLING UNIT WITHIN THE REQUIRED REAR YARD.
  - RECONSTRUCTION OF REAR STAIR FROM TOP FLOOR UNIT AS NECESSARY TO ACCOMMODATE NEW SUNKEN TERRACE.
  - ALTERATIONS TO FRONT YARD TO ACCOMMODATE NEW ENTRANCE TO BASEMENT UNIT.
  - REPLACEMENT OF (E) WINDOW AT BASEMENT LEVEL WITH (N) LARGER WINDOW AND (N) DOOR TO REPLACE (E) DOOR TO BASEMENT LEVEL.

**PROJECT DATA**

APN: BLOCK 3618 / LOT 092-093  
ZONING: RH-3  
LOT AREA: 3642 SQ. FT.  
EXISTING OCCUPANCY: R-2  
PROPOSED OCCUPANCY: R-2  
EXISTING BUILT AREA OF BUILDING: 6,499 SQ. FT.  
EXISTING AREA OF BASEMENT: 1,658 SQ. FT.  
BASEMENT: 741 SQ. FT.  
CRAWL SPACE: 917 SQ. FT.  
EXISTING AREA OF 1ST FLOOR: 1,906 SQ. FT.  
EXISTING AREA OF 2ND FLOOR: 1,906 SQ. FT.  
EXISTING AREA OF 3RD FLOOR: 740 SQ. FT.  
PROPOSED AREA OF BUILDING: 7,023 SQ. FT.  
PROPOSED AREA OF BASEMENT: 1,618 SQ. FT.  
PROPOSED AREA OF 1ST FLOOR: 1,906 SQ. FT.  
PROPOSED AREA OF 2ND FLOOR: 1,906 SQ. FT.  
PROPOSED AREA OF 3RD FLOOR: 740 SQ. FT.  
PROPOSED AREA OF ADDITION: 1,618 SQ. FT.

USABLE OPEN SPACE  
DECKS: 456 SQ. FT.  
PATIOS: 356 SQ. FT.

**SITE MAP**



**PROJECT NOTES**

- ALL WORK SHALL CONFORM TO THE BUILDING CODES AS REQUIRED BY THE CITY AND COUNTY OF SAN FRANCISCO, INCLUDING BUT NOT LIMITED TO:  
THE 2013 CALIFORNIA BUILDING CODE  
THE SAN FRANCISCO BUILDING CODE, AMENDMENTS TO THE CALIFORNIA BUILDING CODE  
THE 2013 CALIFORNIA ELECTRICAL CODE  
THE 2013 CALIFORNIA PLUMBING CODE  
THE 2013 CALIFORNIA MECHANICAL CODE  
THE 2013 CALIFORNIA ENERGY CODE  
THE 2013 CALIFORNIA FIRE CODE
- AN AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE PROVIDED THROUGHOUT THE BASEMENT LEVEL OF THE BUILDING.

**DRAWING INDEX**

- ARCHITECTURAL**
- A0.0 TITLE SHEET / SITE PLAN
  - A0.1 REQUIRED PHOTOS
  - A1.0 EXISTING/DEMO & PROPOSED BASEMENT PLANS
  - A1.1 EXISTING/DEMO 1ST FLOOR PLAN
  - A1.2 EXISTING/DEMO & PROPOSED 2ND FLOOR PLANS
  - A1.3 EXISTING 3RD FLOOR AND ROOF PLANS
  - A4.0 EXISTING FRONT & REAR ELEVATIONS (EAST & WEST)
  - A4.1 PROPOSED FRONT ELEVATION (EAST)
  - A4.2 PROPOSED REAR ELEVATION (WEST)
  - A4.3 EXISTING SOUTH ELEVATION
  - A4.4 PROPOSED SOUTH ELEVATION
  - A4.5 EXISTING NORTH ELEVATION
  - A4.6 PROPOSED NORTH ELEVATION
  - A6.0 PROPOSED LONGITUDINAL SECTION
  - A6.1 PROPOSED CROSS SECTION @ SUNKEN PATIO
  - A9.1 DEMOLITION CALCULATIONS
  - C-2 GREEN BUILDING REQUIREMENTS

**PROJECT SYMBOLS**

- W1 WALL TAG
- 2 SHEETNOTE
- 2A WINDOW TAG
- 2E DOOR TAG
- 1/A6.1 SECTION MARK, SECTION DETAIL
- 1/A4.1 EXTERIOR ELEVATION, ELEVATION DETAIL

**CONTACTS**

**OWNER:** BENEDIKT STREBEL & KATHY KLAUSNER  
978 GUERRERO STREET  
SAN FRANCISCO, CA 94110  
415-824-3843

**ARCHITECT:** BRIAN KAUFMAN DESIGN  
77 VAN NESS AVE  
SAN FRANCISCO, CA 94102  
415-279-6795

**STRUCTURAL ENGINEER:** SANTOS & URRUTIA INC  
2451 HARRISON STREET  
SAN FRANCISCO, CA 94110  
415-642-7722

**USEABLE OPEN SPACE REQUIREMENTS:**

USEABLE OPEN SPACE:  
PRIVATE = 100 SQ.FT. PER UNIT  
COMMON = 133.3 SQ.FT. PER UNIT

UNIT 1, 978: PRIVATE USEABLE SPACE - (E) ROOF DECK & REAR DECK 456SF  
UNIT 2, 980A: COMMON USEABLE SPACE - FRONT YARD, 258 SF  
UNIT 3, 980B: PRIVATE USEABLE SPACE - REAR SUNKEN PATIO, 260 SF

TOTAL REQUIRED COMMON USEABLE SPACE = 133.3 SF X 1 UNITS = 133.3 SF  
TOTAL PROVIDED COMMON USEABLE SPACE = 258 SF

ABBREVIATIONS	
AB	ANCHOR BOLT
ADJ	ADJACENT, ADJUSTABLE
AFI	ABOVE FINISH FLOOR
ALUM	ALUMINUM
AP	ACCESS PANEL
APPROX	APPROXIMATE
ARCH	ARCHITECTURAL
ED	BOARD
BETW	BETWEEN
BLDG	BUILDING
BLK	BLOCK
BLKG	BLOCKING
BLT	BUILT
BSMT	BASEMENT
B/B	BACK TO BACK
C/C	CENTER TO CENTER
CAB	CABINET
CL	CENTER LINE
CLG	CEILING
CLOS	CLOSET
CLR	CLEAR
CO	CASED OPENING
COL	COLUMN
CONC	CONCRETE
CONSTR	CONSTRUCTION
CNT	CONTINUOUS
CPT	CARPET
CTR	CENTER
CTSK	COUNTERSUNK
DEPT	DEPARTMENT
DIA	DIAMETER
DIF	DIFFUSER
DIM	DIMENSION
DN	DOWN
DO	DOOR
DR	DOOR OPENING
DWG	DRAWING
EQ	EQUIPMENT
EQIP	EQUIPMENT
EXIST	EXISTING
EXP	EXPANSION
EXT	EXTERIOR
FLOOR DRAIN	FLOOR DRAIN
FIRE EXTINGUISHER	FIRE EXTINGUISHER
FACE TO FACE	FACE TO FACE
FINISHED FLOOR ELEV.	FINISHED FLOOR ELEV.
FIN	FINISH
FL	FLOOR
FLG	FLOORING
FLUOR	FLUORESCENT
FO...	FACE OF (ADD) C FOR CONC., F FOR FINISH, S FOR STUD)
FR	FIRE RATED
FRMG	FRAMING
FT	FOOT OR FEET
FTG	FOOTING
FURR	FURRING
GA	GAGE
GALV	GALVANIZED
GWB	GYPHUM WALLBOARD
GYP	GYPHUM
HC	HOLLOW CORE
HDWD	HARDWOOD
HDWE	HARDWARE
HGT	HEIGHT
HM	HOLLOW METAL
HORIZ	HORIZONTAL
HW	HOT WATER HEATER
ID	INSIDE DIAMETER
IF	INSIDE FACE
INT	INTERNATIONAL
INCL	INCLUDE
INSUL	INSULATION
INT	INTERNATIONAL
MIR	MIRROR
MISC	MISCELLANEOUS
MTD	MOUNTED
MUL	MULLION
MAX	MAXIMUM
MECH	MECHANICAL
MTL	METAL
MFR	MANUFACTURE
MIN	MINIMUM
MIR	MIRROR
MISC	MISCELLANEOUS
MTD	MOUNTED
MUL	MULLION
NA	NOT APPLICABLE
NIC	NOT IN CONTRACT
NO	NO
NOM	NOMINAL
NTS	NOT TO SCALE
OC	ON CENTER
OD	OUTSIDE DIAMETER
OF	OVERFLOW DRAIN
OH	OVER HEAD
OPNG	OPENING
OPP	OPPOSITE
PERF	PERFORATED
PLAM	PLASTIC LAMINATE
PLAS	PLASTER
PLUMB	PLUMBING
PLYWD	PLYWOOD
PNL	PANEL
PR	PAIR
PRCST	PRECAST
PREFAB	PREFABRICATED
PRELIM	PRELIMINARY
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
PNT	POINT
PTD	PAINTED
QTY	QUANTITY
R	RISER
RA	RETURN AIR
RAD	RADIUS
RD	ROOF DRAIN
REF	REFERENCE
REFR	REFRIGERATOR
REIN	REINFORCE
REQD	REQUIRED
REV	REVERSE
RCP	REFLECTED CEILING PLAN
RFG	ROOFING
RLC	RAILING
RO	ROUGH OPENING
RVL	REVEAL
RWL	RAIN WATER LEADER
SA	SUPPLY AIR
SC	SOLID CORE
SCHED	SCHEDULE
SD	SMOKE DETECTOR
SECT	SECTION
SED	SEE ELECTRICAL DRAWINGS
SES	SEISMIC
SF	SQUARE FOOT / FEET
SIM	SIMILAR
SMD	SEE MECHANICAL DRAWINGS
SPD	SEE PLUMBING DRAWINGS
SPEC	SPECIFICATIONS
SPR	SPRINKLER
SQ	SQUARE
SSD	SEE STRUCTURAL DRAWINGS
SST	STAINLESS STEEL
STD	STANDARD
STL	STEEL
STOR	STORAGE
STRUCT	STRUCTURAL
SUSP	SUSPENDED
SYM	SYMMETRICAL
T	TREAD
T&B	TOP AND BOTTOM
THK	THICK
TO...	TOP OF
TS	S FOR STEEL, W FOR WALL
TYP	TYPICAL
UON	UNLESS OTHERWISE NOTED
UTIL	UTILITY
VERT	VERTICAL
VIF	VERIFY IN FIELD
W/	WITH
W/O	WITHOUT
WC	WATER CLOSET
WD	WOOD
WDD	WINDOW
WT	WEIGHT





1 GUERRERO STREET LOOKING WEST – FRONT FACADE



2 GUERRERO STREET LOOKING EAST – OPPOSITE FACE OF STREET



3 AMES STREET – REAR FACADE

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**BASEMENT ADDITION**  
 978 & 980 GUERRERO STREET  
 SAN FRANCISCO, CA 94110  
 BLOCK 3618 / LOT 092 & 093

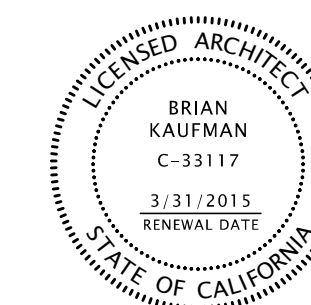


PHOTO MONTAGE

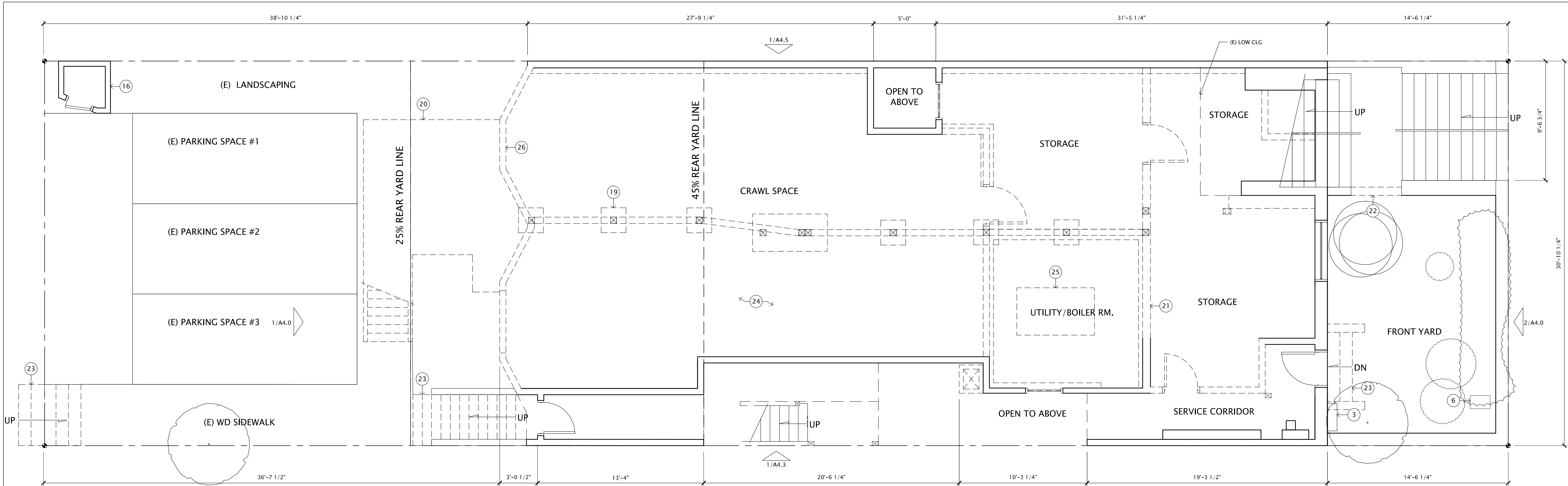
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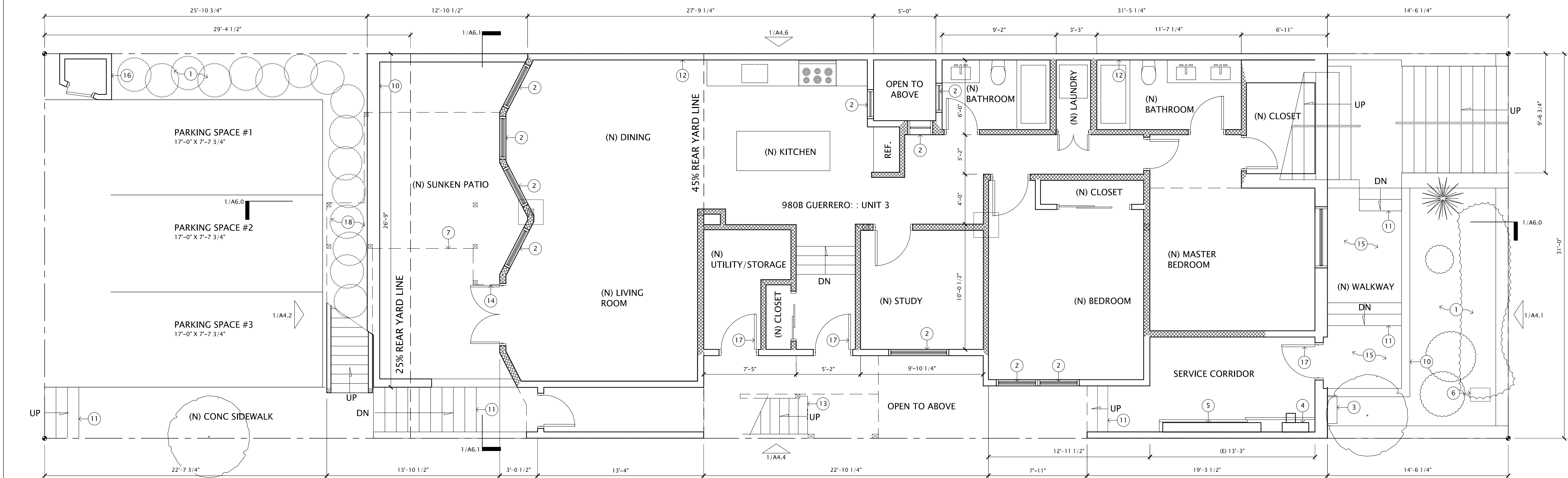
DATE: 11/4/14

**A0.1**





**1 EXISTING/DEMO BASEMENT PLAN**  
1/4" = 1'-0"



**2 PROPOSED BASEMENT PLAN**  
1/4" = 1'-0"

**WALL LEGEND**

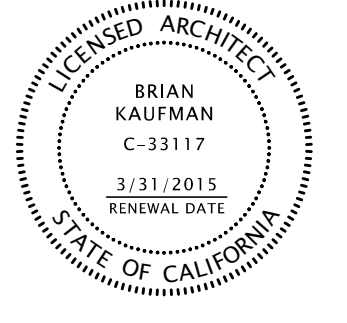
- (N) WALL
- (E) WALL
- DEMOLISH

**PLAN SHEET NOTES**

- 1 (E) LANDSCAPING TO REMAIN
- 2 (N) PTD WD WDW
- 3 (E) GAS METERS
- 4 (E) ELEC METER
- 5 (E) ELEC PNL
- 6 (E) PG&E VAULT
- 7 (E) DECK & (N) STAIR ABOVE
- 8 MAINTAIN (E) DECK, REBUILD STAIR
- 9 (N) CONC. RETAINING WALL
- 10 (N) CONC. RETAINING WALL
- 11 (N) CONC STAIRS
- 12 1-HR RATED WALL @ PROPERTY LINE
- 13 (E) WD STAIRS, TO REMAIN
- 14 (N) PTD WD FRENCH DR
- 15 (N) PAVED AREA
- 16 (E) REFUSE SHED
- 17 (N) PTD WD DR
- 18 (N) LANDSCAPING
- 19 (E) BEAM & COL STRUCTURE, TO BE REPLACED
- 20 (E) DECK, REBUILD STAIR, SEE 2/A1.0
- 21 (E) WALLS TO BE REMOVED
- 22 DEMOLISH CURB
- 23 (E) STEPS TO BE REMOVED
- 24 EXCAVATE CRAWL SPACE AREA TO CREATE SPACE, AS NECESSARY
- 25 (E) BOILER SYSTEM & MASONRY ENCLOSURE FOR BOILER FLUE, TO BE REMOVED
- 26 (E) WALL TO BE REMOVED TO UNDERSIDE OF 1ST FL FRMG. (N) WALL W/ CONC FTG TO BE BUILT IN PLACE

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978 & 980 GUERRERO STREET  
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BLOCK 3618 / LOT 092 & 093



**EXISTING/DEMO & PROPOSED BASEMENT PLANS**

DESCRIPTION	DATE

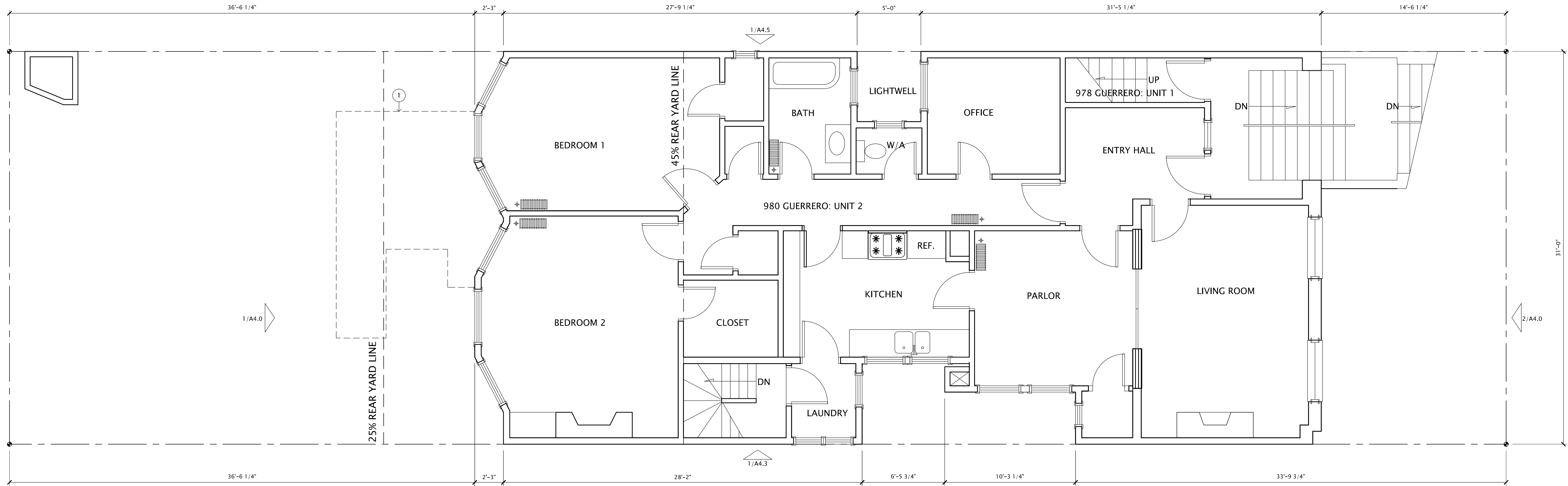
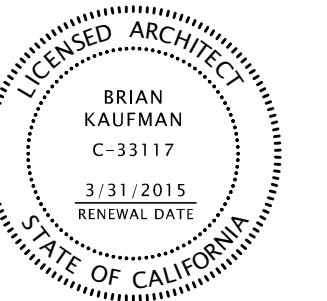
SCALE: AS NOTED

DATE: 11/4/14

**A1.0**

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**1** EXISTING FIRST FLOOR PLAN - NO PROPOSED WORK  
 1/4" = 1'-0"

**PLAN SHEET NOTES**

- ① OUTLINE OF (E) DECK ABOVE, REBUILD STAIR, SEE 2/A1.0

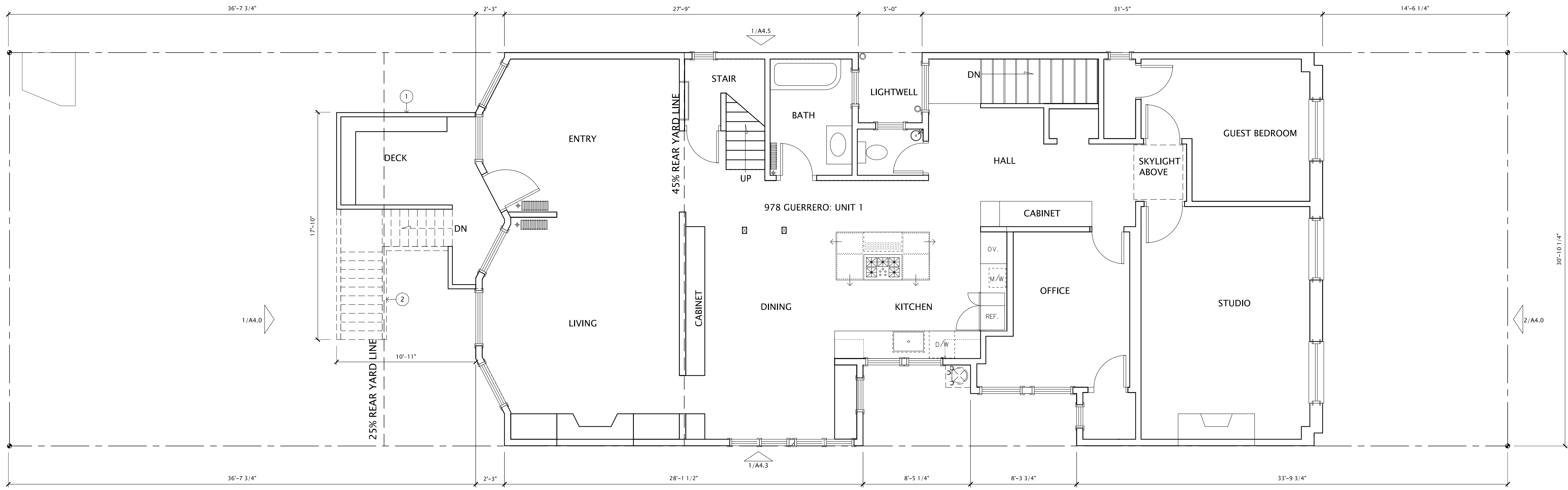
**EXISTING 1ST FLOOR PLAN**

DESCRIPTION	DATE

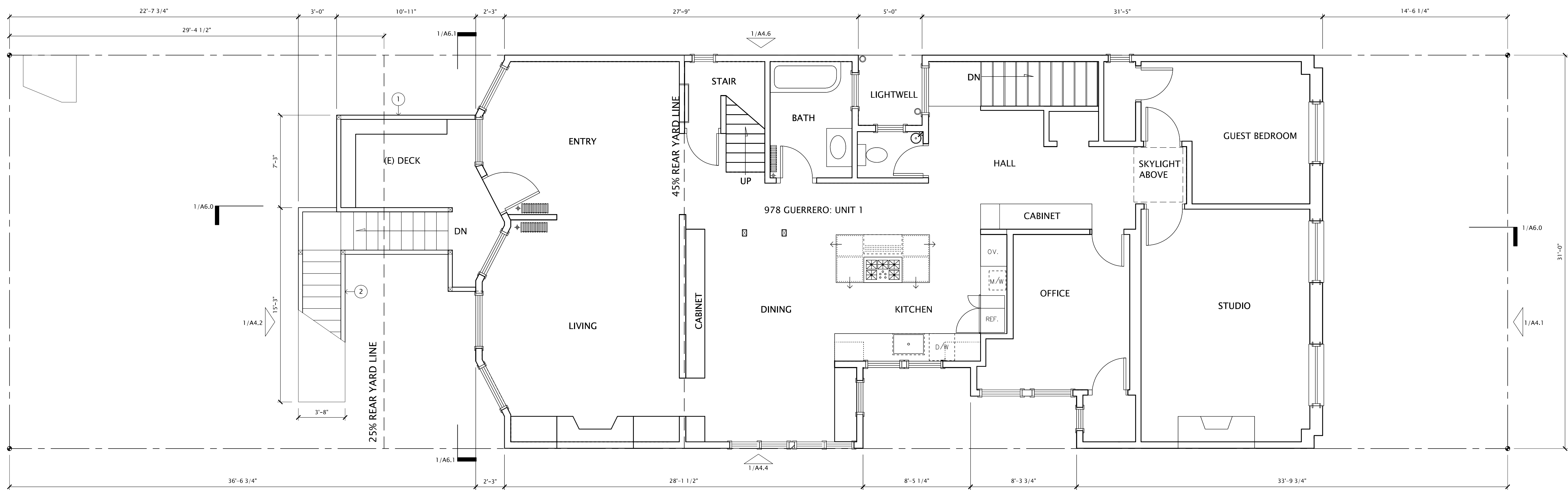
SCALE: AS NOTED

DATE: 11/4/14

**A1.1**



**1 EXISTING/DEMO SECOND FLOOR PLAN**  
 1/4" = 1'-0"



**2 PROPOSED SECOND FLOOR PLAN**  
 1/4" = 1'-0" NOTE: ONLY WORK AT THIS LEVEL IS FOR THE REAR DECK AND REAR STAIR, OUTSIDE OF THE BUILDING ENVELOPE

**WALL LEGEND**

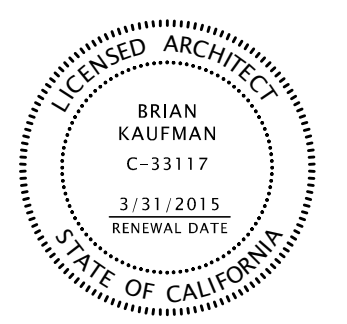
- (N) WALL
- (E) WALL
- DEMOLISH

**PLAN SHEET NOTES**

- ① MAINTAIN (E) DECK
- ② REBUILD STAIR, SEE 2/A1.0

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**EXISTING/DEMO & PROPOSED 2ND FLOOR PLANS**

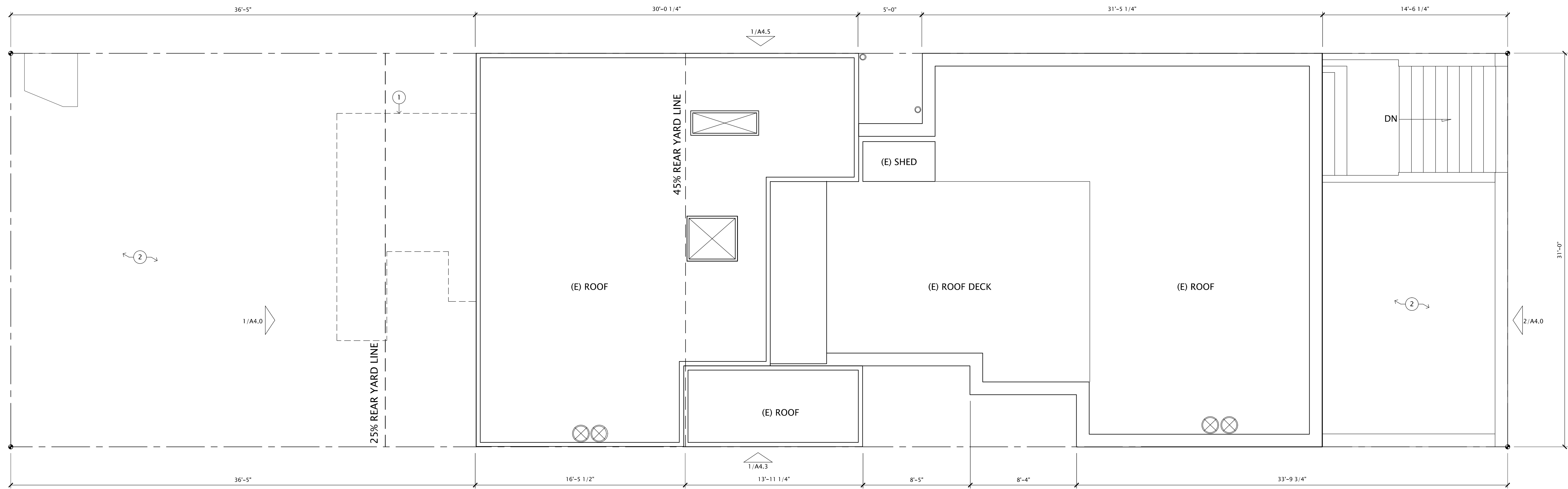
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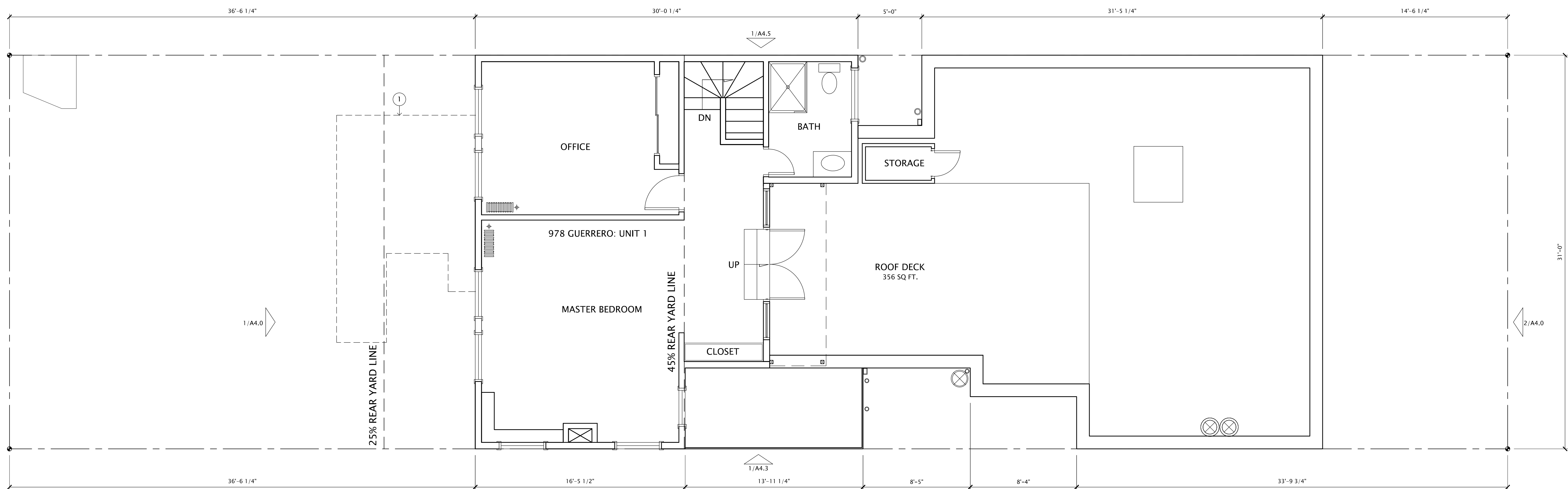
DATE: 11/4/14

**A1.2**





**1 EXISTING ROOF PLAN**  
1/4" = 1'-0"



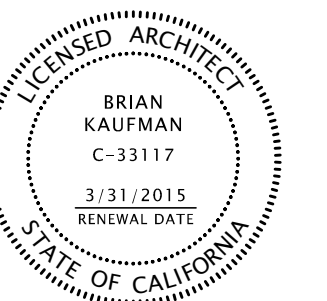
**2 EXISTING THIRD FLOOR PLAN**  
1/4" = 1'-0"

**PLAN SHEET NOTES**

- ① OUTLINE OF (E) DECK & STAIR BELOW, SEE 1/A1.1
- ② MAINTAIN (E) DECK, REBUILD STAIR, SEE 2/A2.0 FOR EXTENT OF (B) WORK
- ③ REMOVE (E) STAIR
- ④ SEE 2/A0.0 & 1/A1.0 FOR SITE FEATURES

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978 & 980 GUERRERO STREET  
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**EXISTING/DEMO  
3RD FLOOR & ROOF  
PLANS**

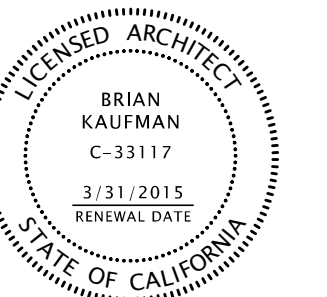
DESCRIPTION	DATE

SCALE: AS NOTED

DATE: 11/4/14

**A1.3**

**BASEMENT ADDITION**  
 978 & 980 GUERRERO STREET  
 SAN FRANCISCO, CA 94110  
 BLOCK 3618 / LOT 092 & 093



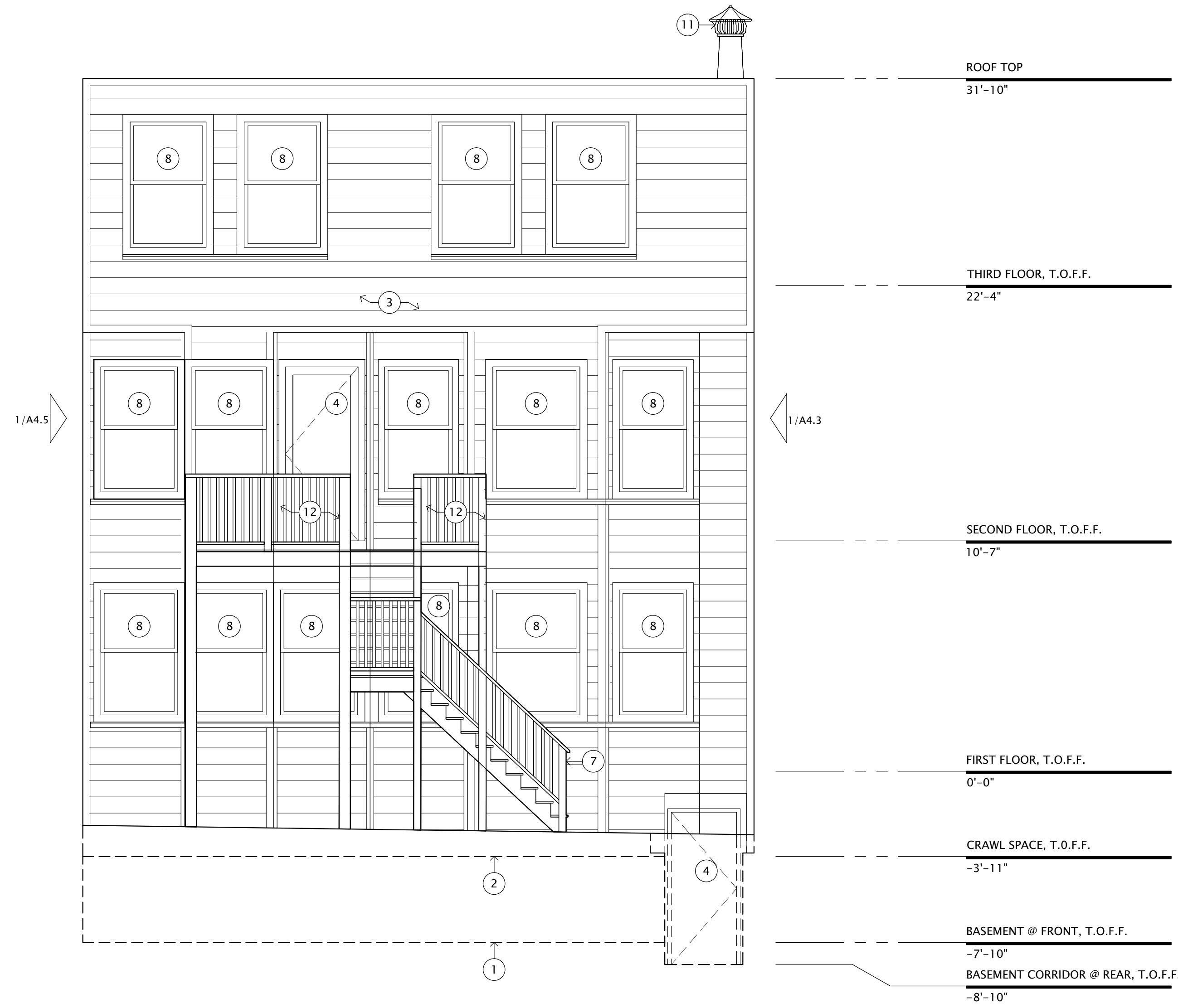
**EXISTING FRONT & REAR ELEVATIONS**

DESCRIPTION	DATE

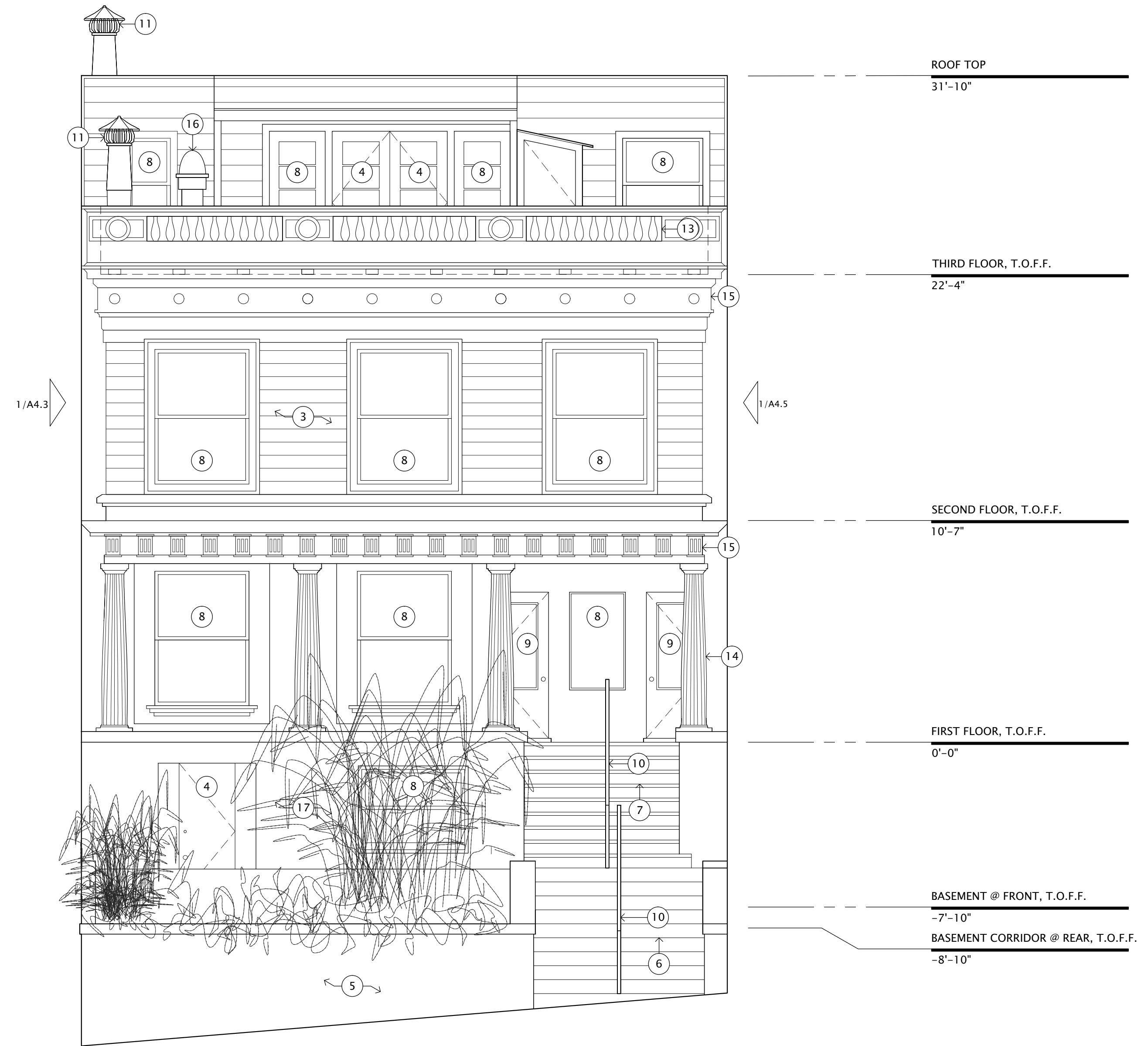
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DATE: 11/4/14

**A2.0**



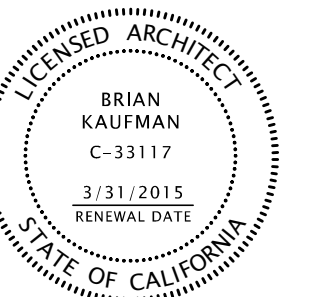
**1** EXISTING REAR (WEST) ELEVATION  
 1/4" = 1'-0"



**2** EXISTING FRONT (EAST) ELEVATION  
 1/4" = 1'-0"

**ELEVATION SHEET NOTES**

- |  |                                  |                       |
|--|----------------------------------|-----------------------|
| 1 (E) EXTENT OF (E) BASEMENT           | 8 (E) PTD WD WDW                 | 15 (E) PTD WD CORNICE |
| 2 (E) APPROX EXTENT OF (E) CRAWL SPACE | 9 (E) STAINED WD ENTRY DR        | 16 (E) BOILER FLUE    |
| 3 (E) PTD WD SIDING                    | 10 (E) ORNAMENTAL MTL HANDRAIL   | 17 (E) PTD STUCCO     |
| 4 (E) PTD WD DOOR                      | 11 (E) MTL FLUE TERMINATION CAPS |                       |
| 5 (E) RETAINING WALL W/ STUCCO FINISH  | 12 (E) PTD WD RLG                |                       |
| 6 (E) CONC STAIR                       | 13 (E) PTD WD BALUSTERS          |                       |
| 7 (E) STONE STAIR                      | 14 (E) PTD WD PILASTER           |                       |



**PROPOSED FRONT ELEVATION**

DESCRIPTION	DATE

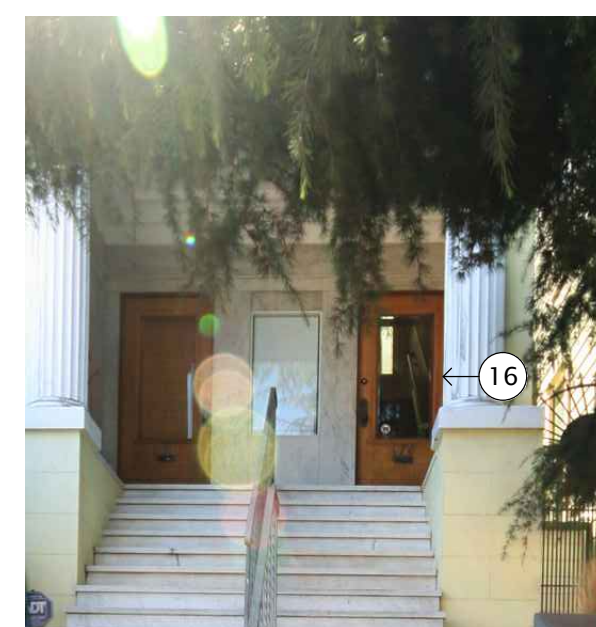
SCALE: AS NOTED

DATE: 11/4/14

**A2.1**



**1** PROPOSED FRONT (EAST) ELEVATION  
 1/4" = 1'-0"



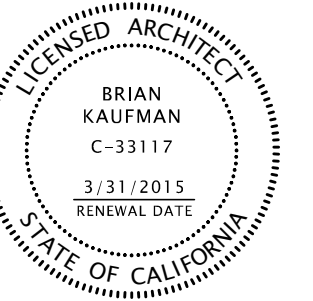
**2** (E) FRONT DOORS

**ELEVATION SHEET NOTES**

- |                                       |                                  |   |
|---------------------------------------|----------------------------------|---|
| 1 (E) RETAINING WALL W/ STUCCO FINISH | 8 (E) PTD WD WDW                 | 15 (N) PTD WD DOUBLE HUNG WDW TO REPLACE (E) SMALLER WDW      |
| 2 (E) CONC STAIR                      | 9 (E) STAINED WD ENTRY DR        | 16 (N) WD PANEL DR TO REPLACE (E) DR, SIM TO (E) ENTRY DR     |
| 3 (E) STONE STAIR                     | 10 (E) PTD WD BALUSTERS          | 17 NOT USED   |
| 4 (E) PTD WD SIDING                   | 11 (E) MTL FLUE TERMINATION CAPS | 18 NOT USED   |
| 5 (E) ORNAMENTAL MTL HANDRAIL         | 12 (E) PTD WD DR                 | 19 OUTLINE OF ADJ BLDG  |
| 6 (E) PTD WD CORNICE                  | 13 (E) BOILER FLUE               | 20 (N) CONC STAIR BEHIND (N) RETAINING WALL WITHIN FRONT YARD |
| 7 (E) PTD WD PILASTER                 | 14 (E) PTD STUCCO                | 21 EXT WORK AT FRONT OF BLDG LIMITED TO THIS AREA ONLY        |

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**BASEMENT ADDITION**  
 978 & 980 GUERRERO STREET  
 SAN FRANCISCO, CA 94110  
 BLOCK 3618 / LOT 092 & 093



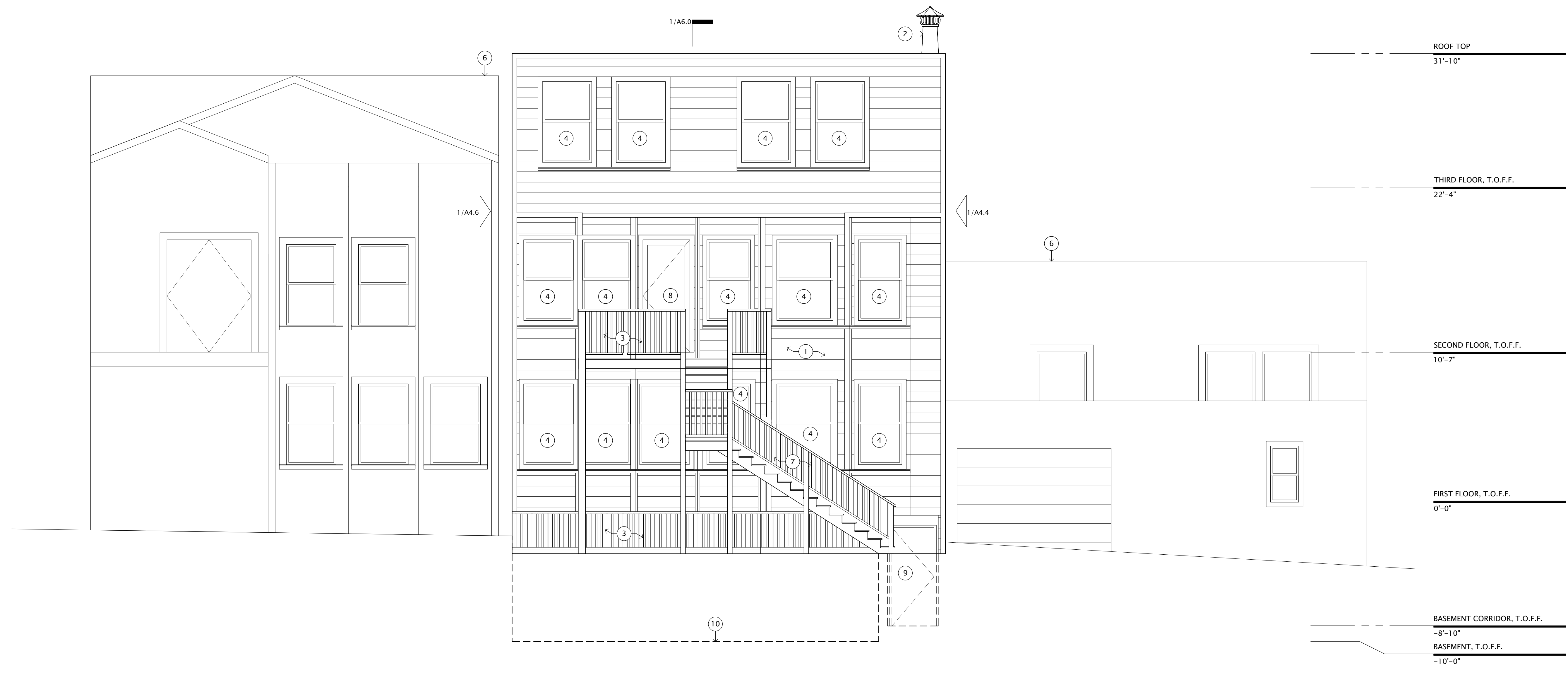
**PROPOSED REAR ELEVATION**

DESCRIPTION	DATE

SCALE: AS NOTED

DATE: 11/4/14

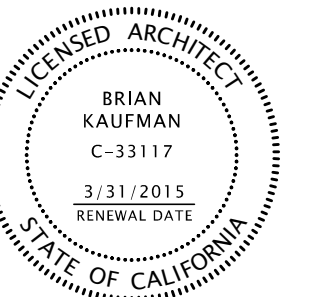
**A2.2**



**1 PROPOSED REAR ELEVATION**  
 1/4" = 1'-0"

**ELEVATION SHEET NOTES**

- ① (E) PTD WD SIDING, TYP UON
- ② (E) MTL FLUE TERMINATION CAPS
- ③ (N) PTD WD RLG
- ④ (E) PTD WD WDW
- ⑤ NOT USED
- ⑥ OUTLINE OF ADJ BLDG
- ⑦ (N) PTD WD STAIR
- ⑧ (E) PTD WD DOOR
- ⑨ (N) PTD WD DOOR
- ⑩ EXTENT OF (N) BASEMENT



**EXISTING SOUTH ELEVATION**

DESCRIPTION	DATE

SCALE: AS NOTED

DATE: 11/4/14

**A2.3**



SOUTH FACADE FACADE AREA: 2383.4 sqft  
 SEE A9.1 FOR DEMOLITION CALCULATIONS

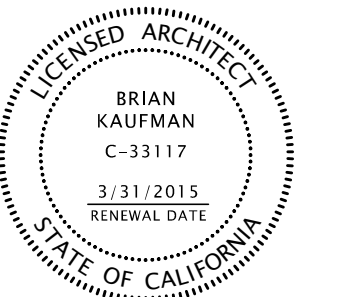
**1** EXISTING SIDE (SOUTH) ELEVATION  
 1/4" = 1'-0"

**ELEVATION SHEET NOTES**

- ① (E) PTD WD SIDING
- ② (E) MTL FLUE TERMINATION CAPS
- ③ (E) PTD WD BALLUSTERS
- ④ (E) BOILER FLUE
- ⑤ (E) RETAINING WALL W/ STUCCO FINISH
- ⑥ (E) PTD WD RLG
- ⑦ (E) PTD WD STAIR
- ⑧ (E) PTD WD WDW
- ⑨ (E) CONC STAIR BEYOND
- ⑩ OUTLINE OF (E) STAIR
- ⑪ EXT WALKWAY BEYOND

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**BASEMENT ADDITION**  
 978 & 980 GUERRERO STREET  
 SAN FRANCISCO, CA 94110  
 BLOCK 3618 / LOT 092 & 093



**PROPOSED SOUTH ELEVATION**

DESCRIPTION	DATE

SCALE: AS NOTED

DATE: 11/4/14

**A2.4**



**1 PROPOSED SIDE (SOUTH) ELEVATION**  
 1/4" = 1'-0"

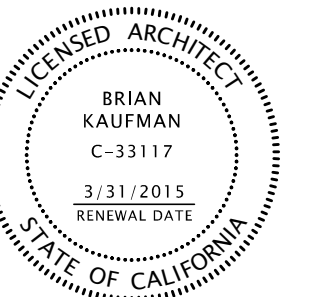
**ELEVATION SHEET NOTES**

- |                                       |                                |   |
|---------------------------------------|--------------------------------|---|
| 1 (E) PTD WD SIDING                   | 8 (E) BOILER FLUE              | 15 (N) PTD WD RKG                                 |
| 2 (E) MTL FLUE TERMINATION CAPS       | 9 (E) CONC STAIR BEYOND        | 16 (N) PTD WD STAIR                               |
| 3 (E) PTD WD BALUSTERS                | 10 OUTLINE OF ADJ BLDG         | 17 (E) PARKING PAD ELEVATION TO BE LOWERED ±1'-0" |
| 4 (E) PTD WD WDW                      | 11 (N) PTD WD WDW              |   |
| 5 (E) RETAINING WALL W/ STUCCO FINISH | 12 (N) EXTENT OF BASEMENT      |   |
| 6 (E) PTD WD RLG                      | 13 (N) PTD WD SIDING AS NEEDED |   |
| 7 NOT USED                            | 14 NOT USED                    |   |



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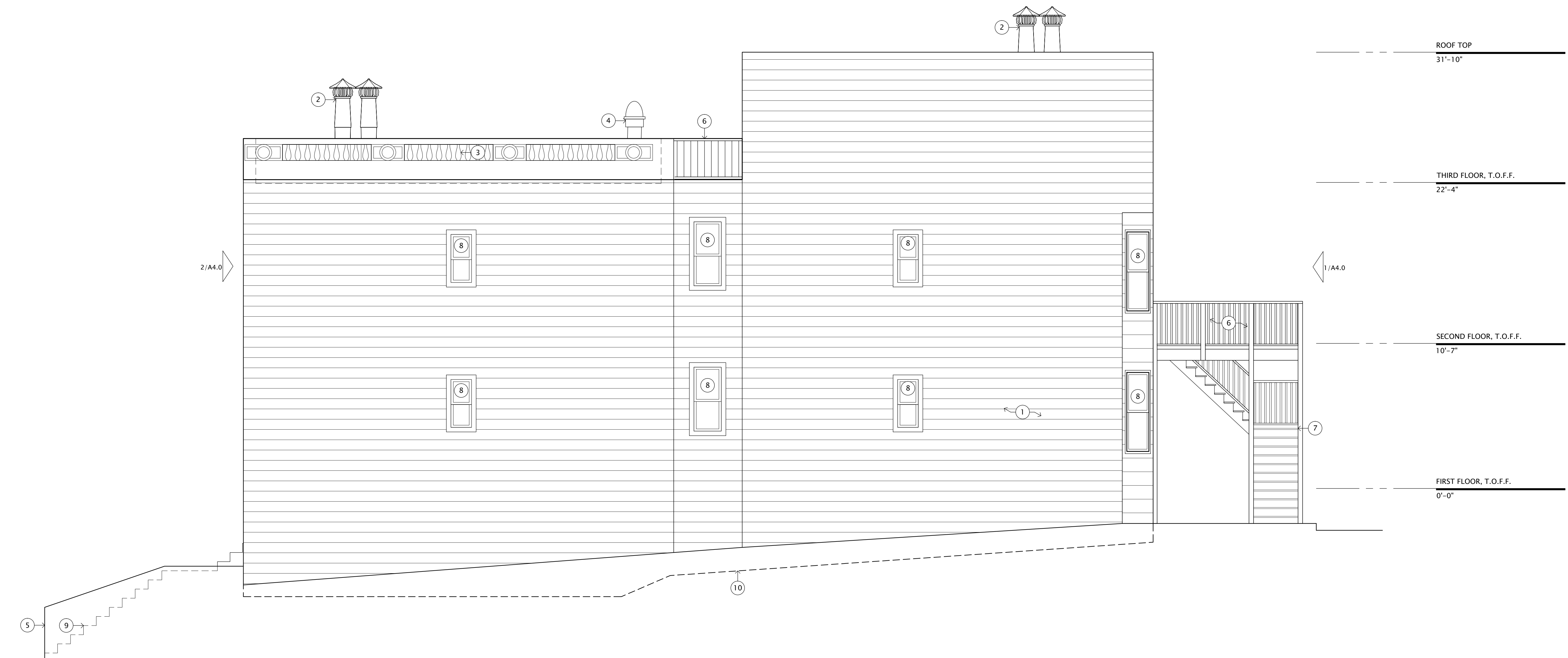
**EXISTING NORTH ELEVATION**

DESCRIPTION	DATE

SCALE: AS NOTED

DATE: 11/4/14

**A2.5**

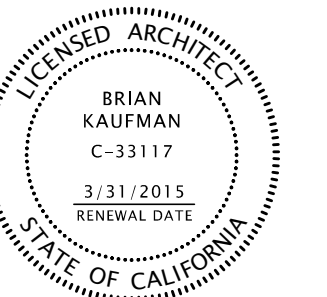


NORTH FACADE ELEVATION AREA: 2192.4 sqft  
 SEE A9.1 FOR DEMOLITION CALCULATIONS

**1** EXISTING SIDE (NORTH) ELEVATION  
 1/4" = 1'-0"

- ELEVATION SHEET NOTES**
- 1 (E) PTD WD SIDING
  - 2 (E) MTL FLUE TERMINATION CAPS
  - 3 (E) PTD WD BALUSTERS
  - 4 (E) BOILER FLUE
  - 5 (E) RETAINING WALL W/ STUCCO FINISH
  - 6 (E) PTD WD RLG
  - 7 (E) PTD WD STAIR
  - 8 (E) PTD WD WDW
  - 9 (E) CONC STAIR BEYOND
  - 10 (E) EXTENT OF BLDG BELOW GROUND

**BASEMENT ADDITION**  
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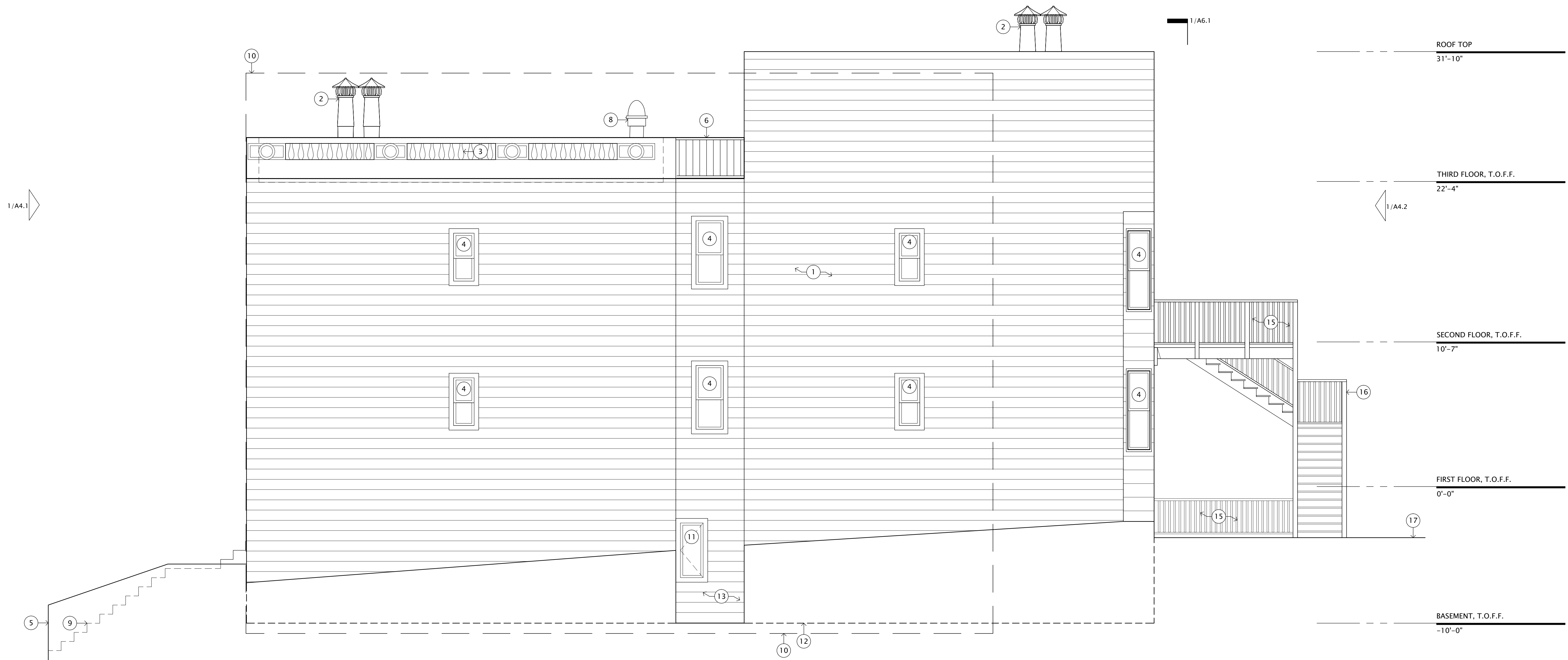
**PROPOSED NORTH ELEVATION**

DESCRIPTION	DATE

SCALE: AS NOTED

DATE: 11/4/14

**A2.6**



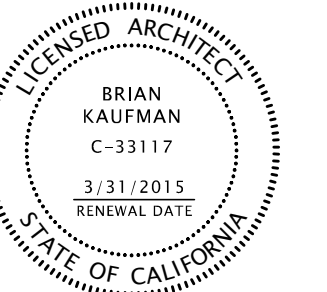
**1** PROPOSED SIDE (NORTH) ELEVATION  
 1/4" = 1'-0"

**ELEVATION SHEET NOTES**

- |                                       |                                |   |
|---------------------------------------|--------------------------------|---|
| 1 (E) PTD WD SIDING                   | 8 (E) BOILER FLUE              | 15 (N) PTD WD RKG                                 |
| 2 (E) MTL FLUE TERMINATION CAPS       | 9 (E) CONC STAIR BEYOND        | 16 (N) PTD WD STAIR                               |
| 3 (E) PTD WD BALUSTERS                | 10 OUTLINE OF ADJ BLDG         | 17 (E) PARKING PAD ELEVATION TO BE LOWERED ±1'-0" |
| 4 (E) PTD WD WDW                      | 11 (N) PTD WD WDW              |   |
| 5 (E) RETAINING WALL W/ STUCCO FINISH | 12 (N) EXTENT OF BASEMENT      |   |
| 6 (E) PTD WD RLG                      | 13 (N) PTD WD SIDING AS NEEDED |   |
| 7 NOT USED                            | 14 NOT USED                    |   |



**BASEMENT ADDITION**  
 978 & 980 GUERRERO STREET  
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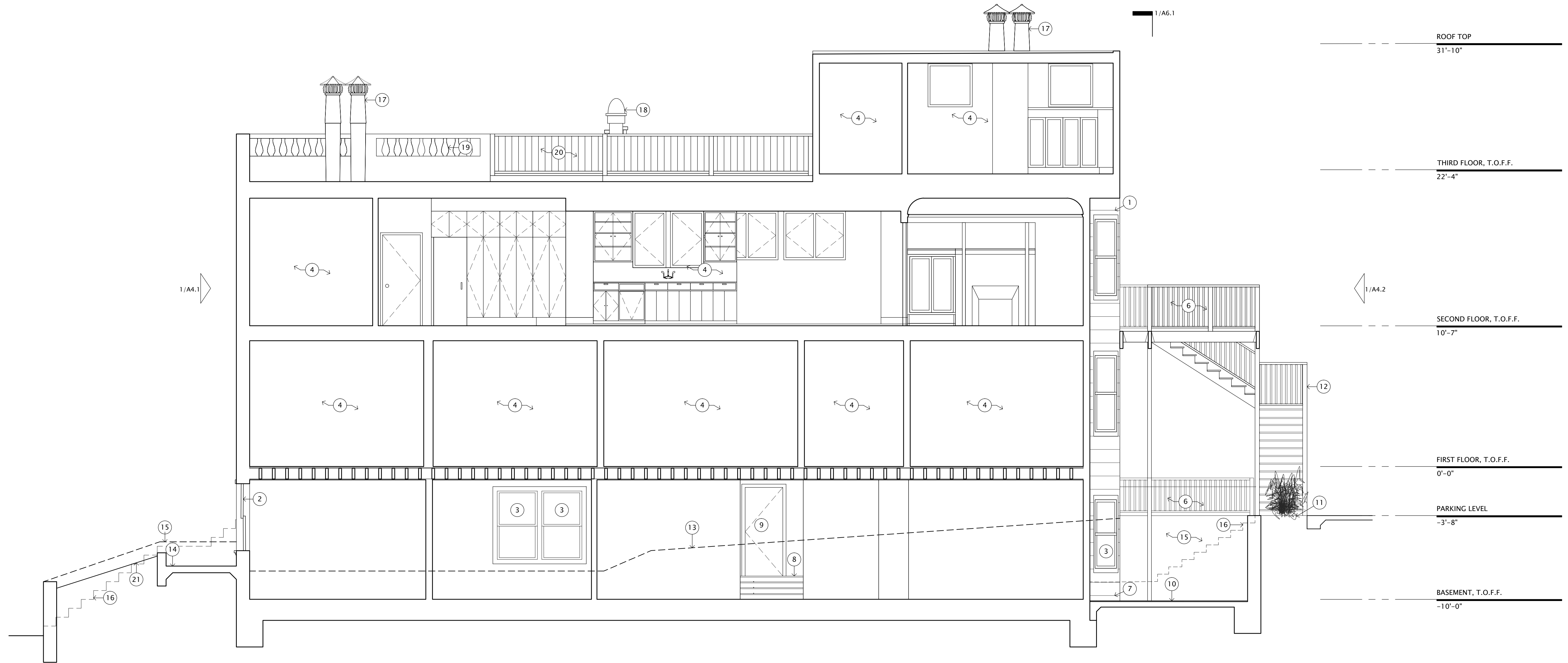
**LONGITUDINAL SECTION**

DESCRIPTION	DATE

SCALE: AS NOTED

DATE: 11/4/14

**A6.0**



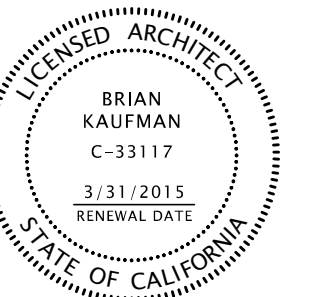
**1 PROPOSED LONGITUDINAL SECTION**  
 1/4" = 1'-0"

**ELEVATION SHEET NOTES**

- |  |                                 |                                  |
|--|---------------------------------|----------------------------------|
| 1 (E) PTD WD SIDING, TYP UON                   | 8 (N) INT STAIR                 | 15 (E) RETAINING WALL BEYOND     |
| 2 (N) PTD WD WDW TO REPLACE SMALLER (E) WD WDW | 9 (N) STAINED WD DOOR           | 16 (E) STAIR BEYOND/BEHIND       |
| 3 (N) PTD WD DOUBLE HUNG WDW                   | 10 (N) STONE PATIO              | 17 (E) MTL FLUE TERMINATION CAPS |
| 4 (E) NO WORK                                  | 11 (N) PLANTING AREA            | 18 (E) BOILER FLUE               |
| 5 NOT USED                                     | 12 (N) PTD WD STAIR             | 19 (E) PTD WD BALLUSTERS         |
| 6 (N) PTD WD RLG                               | 13 (E) APPROX BASEMENT FL LEVEL | 20 (E) PTD WD RLG                |
| 7 (N) PTD WD SIDING                            | 14 (N) PATIO STAIR LANDING      | 21 (E) LANDSCAPING & SOIL LEVEL  |

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CROSS SECTION @  
 SUNKEN PATIO

DESCRIPTION	DATE

SCALE: AS NOTED

DATE: 11/4/14

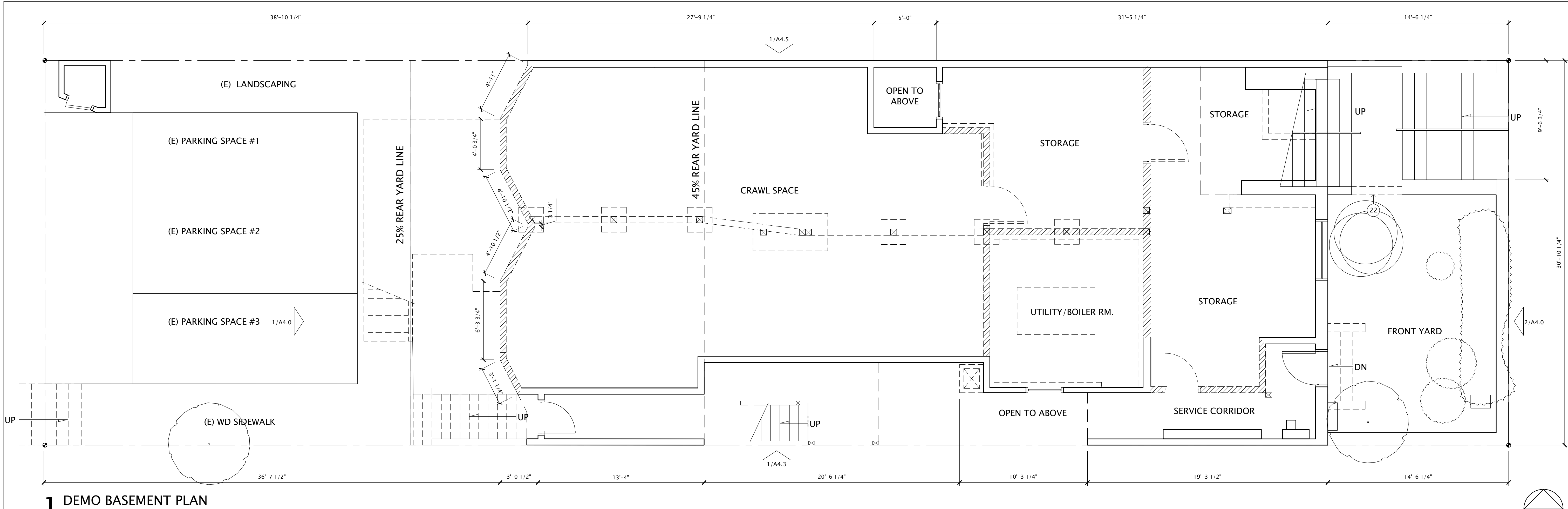
**A6.1**



**1** PROPOSED CROSS SECTION @ COURTYARD  
 1/4" = 1'-0"

**ELEVATION SHEET NOTES**

- 1 (E) PTD WD SIDING, TYP UON
- 2 (E) MTL FLUE TERMINATION CAPS
- 3 (N) PTD WD DOUBLE HUNG WDW
- 4 (E) PTD WD WDW
- 5 (N) PTD WD FRENCH DOOR
- 6 (N) PTD WD RLG
- 7 (N) PTD WD SIDING
- 8 (E) PTD WD DOOR
- 9 (N) PTD WD DOOR
- 10 (N) STONE PATIO



**1 DEMO BASEMENT PLAN**  
1/4" = 1'-0"

**ALL EXTERNAL WALLS FACING A PUBLIC STREET**

1. OVERALL EXTERNAL WALL FACING PUBLIC STREET		
FLOOR LEVEL	WALL HEIGHT*OVERALL LENGTH	TOTALS IN SQUARE FEET
FRONT FACADE	37'-10.75" * 30'-10"	1168.5 sqft
REAR FACADE	34'-6" * 33'-0"	1138.5 sqft
TOTAL EXISTING EXTERNAL WALL & FLOOR SURFACE AREA		2307 sqft
PROPOSED DEMOLITION OF EXTERNAL WALL FACING STREET		
FLOOR LEVEL/FLOOR PLATES	WALL HEIGHT*OVERALL LENGTH	TOTALS IN SQUARE FEET
BASEMENT @ REAR	1'-8" * 28'-4.75"	47.3 sqft
TOTAL EXTERNAL DEMOLITION OF WALL & FLOOR SURFACE AREA		47.3 sqft
PERCENTAGE OF PROPOSED DEMOLITION OF EXTERNAL STRUCTURE		47.3/2307 sqft 2% (25% MAX. DEMOLITION ALLOWED)

**REMOVAL OF EXTERNAL WALLS WHICH FUNCTION AS EXTERNAL**

2. OVERALL EXTERNAL STRUCTURE		
FLOOR LEVEL	WALL HEIGHT*OVERALL LENGTH	TOTALS IN SQUARE FEET
FRONT FACADE	37'-10.75" * 30'-10"	1168.5 sqft
REAR FACADE	34'-6" * 33'-0"	1138.5 sqft
SIDE FACADE (SOUTH)	SEE ELEVATION A2.4	2383.4 sqft
SIDE FACADE (NORTH)	SEE ELEVATION A2.5	2192.4 sqft
TOTAL EXISTING EXTERNAL WALL & FLOOR SURFACE AREA		6682.8 sqft
PROPOSED DEMOLITION OF EXTERNAL STRUCTURE		
FLOOR LEVEL/FLOOR PLATES	WALL HEIGHT*OVERALL LENGTH	TOTALS IN SQUARE FEET
BASEMENT @ REAR	1'-8" * 28'-4.75"	47.3 sqft
TOTAL EXTERNAL DEMOLITION OF WALL & FLOOR SURFACE AREA		47.3 sqft
PERCENTAGE OF PROPOSED DEMOLITION OF EXTERNAL STRUCTURE		47.3/6682.8 sqft 0.7% (50% MAX. DEMOLITION ALLOWED)

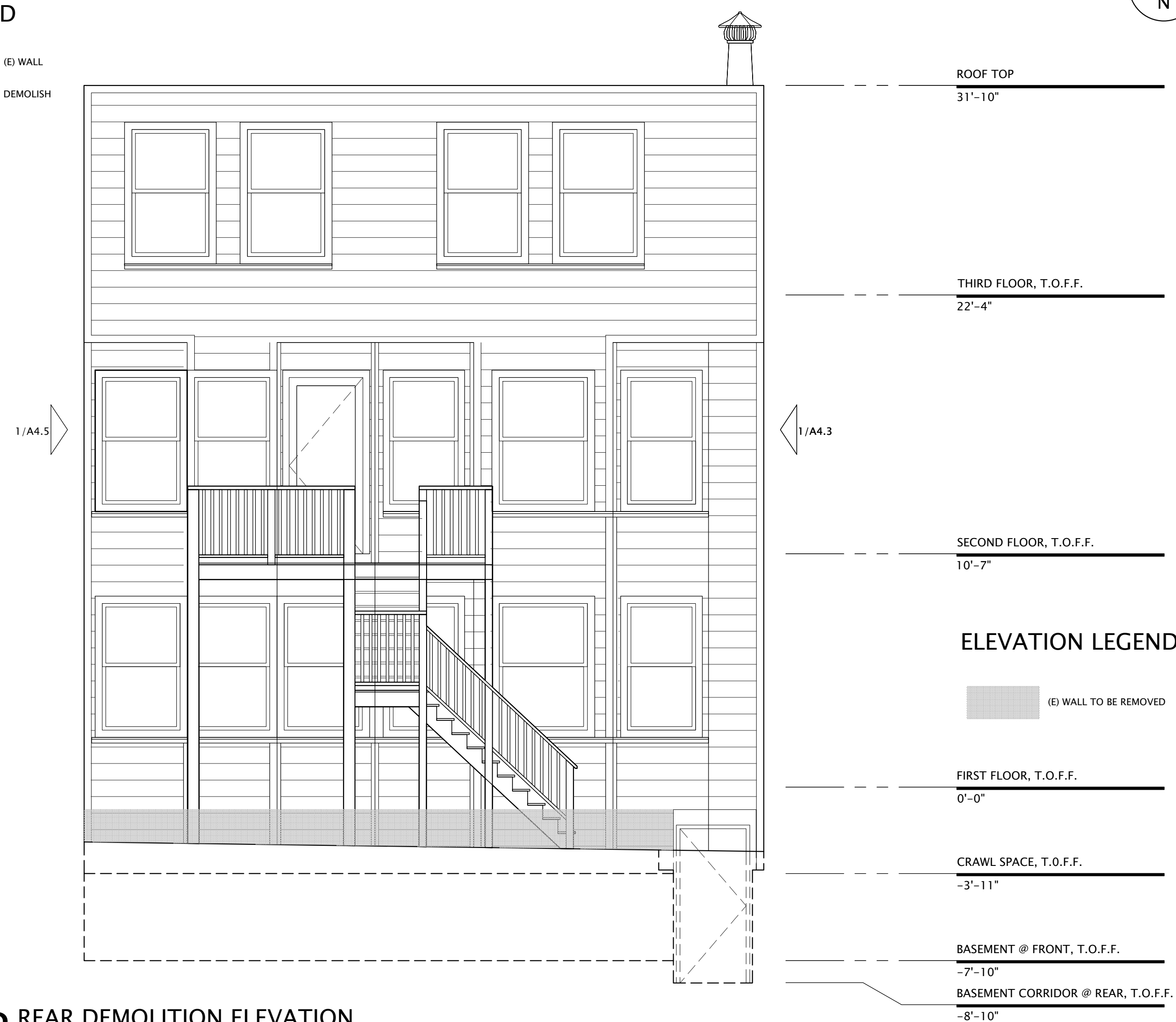
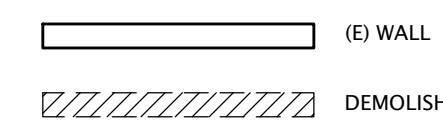
**REMOVAL OF EXTERNAL WALLS WHICH FUNCTION AS EXTERNAL OR INTERNAL**

3. OVERALL EXTERNAL STRUCTURE		
FLOOR LEVEL	WALL HEIGHT*OVERALL LENGTH	TOTALS IN SQUARE FEET
FRONT FACADE	37'-10.75" * 30'-10"	1168.5 sqft
REAR FACADE	34'-6" * 33'-0"	1138.5 sqft
SIDE FACADE (SOUTH)	SEE ELEVATION A2.4	2383.4 sqft
SIDE FACADE (NORTH)	SEE ELEVATION A2.5	2192.4 sqft
TOTAL EXISTING EXTERNAL WALL & FLOOR SURFACE AREA		6682.8 sqft
PROPOSED DEMOLITION OF EXTERNAL STRUCTURE		
FLOOR LEVEL/FLOOR PLATES	WALL HEIGHT*OVERALL LENGTH	TOTALS IN SQUARE FEET
ALL FLOORS	0" * 0"	0 sqft
TOTAL EXTERNAL DEMOLITION OF WALL & FLOOR SURFACE AREA		0 sqft
PERCENTAGE OF PROPOSED DEMOLITION OF EXTERNAL STRUCTURE		0/6682.8 sqft 0% (25% MAX. DEMOLITION ALLOWED)

**REMOVAL OF INTERIOR STRUCTURAL FRAMEWORK**

4. OVERALL INTERNAL STRUCTURE		
FLOOR LEVEL/FLOOR PLATES	WALL HEIGHT*OVERALL LENGTH	TOTALS IN SQUARE FEET
BASEMENT	6'-10.5" * 68'-2.75"	469.1 sqft
FIRST FLOOR	9'-5.5" * 204'-3"	1931.9 sqft
SECOND FLOOR	8'-7.5" * 157'-1.75"	1355.4 sqft
THIRD FLOOR	8'-4" * 39'-6.75"	329.7 sqft
TOTAL EXISTING INTERIOR WALL & FLOOR SURFACE AREA		4086.1 sqft
PROPOSED DEMOLITION OF INTERNAL STRUCTURE		
FLOOR LEVEL/FLOOR PLATES	WALL HEIGHT*OVERALL LENGTH	TOTALS IN SQUARE FEET
BASEMENT	6'-10.5" * 67'-3"	465.3 sqft
TOTAL INTERIOR DEMOLITION OF WALL & FLOOR SURFACE AREA		465.3 sqft
PERCENTAGE OF PROPOSED DEMOLITION OF INTERNAL STRUCTURE		465.3/4086.1 sqft 11.4% (75% MAX. DEMOLITION ALLOWED)

**WALL LEGEND**

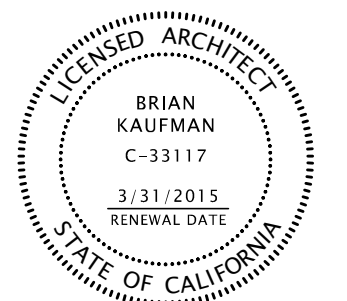


**2 REAR DEMOLITION ELEVATION**  
1/4" = 1'-0"

**3 DEMOLITION CALCULATIONS**  
SURFACE AREA PRECENTAGES

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**DEMOLITION CALCULATIONS**

DESCRIPTION	DATE

SCALE: AS NOTED

DATE: 11/4/14

**A9.1**