



SAN FRANCISCO PLANNING DEPARTMENT

Certificate of Appropriateness Case Report

HEARING DATE: APRIL 15, 2015

CONTINUED FROM DECEMBER 17, 2014 AND JANUARY 21, 2015

Filing Date: June 12, 2014
Case No.: **2014.0655A**
Project Address: **3751-3753 20th Street**
Historic Landmark: Liberty-Hill Landmark District
Zoning: RH-2 (Residential, House, Two-Family) Zoning District
40-X Height and Bulk District
Block/Lot: 3607/066
Applicant: Shane Curryn, Matarozzi/Pelsinger Builders, Inc.
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PROPERTY DESCRIPTION

3751-3753 20th STREET is a three-story, two-family residence designed in a simple Greek Revival architectural style located on a rectangular lot (measuring approximately 25-ft x 114-ft) on the south side of Liberty Street between Dolores and Guerrero Streets. Constructed prior to 1900, the existing building features wood-frame construction, wood siding, aluminum-sash and wood-sash windows, a gable roof, and is slightly setback from the street edge. At the street, the subject property features a brick retaining wall and a set of concrete steps. Currently, the subject property does not have any off-street parking.

Per Article 10 of the San Francisco Planning Code, 3751-3753 20th Street is designated as a contributing resource to the Liberty-Hill Landmark District.

PROJECT DESCRIPTION

The proposed project consists of rehabilitation of the two-family residence. The original proposal included:

- **Construction of a New Garage/Basement Level:** The project would construct a new three-car garage. The new garage opening would be approximately 9-ft wide and would feature painted, wood panel garage doors. The proposed curb cut would measure approximately 10-ft wide. As part of the work at the basement level, the project would replace the existing foundation with a new concrete foundation.
- **Primary Façade Alterations:** The project would remove the aluminum-sash window on the third floor and insert a pair of new eight-lite fixed windows to match the existing historic windows on

the first and second floors. In addition, portions of the existing brick retaining wall would be removed to accommodate the new garage opening.

- **Inset Roof Windows:** The project would construct a set of inset wood-sash windows on the west and east facades of the existing gable roof.
- **Rear Yard Alterations:** The project would remove portions of the grade at the rear yard to provide exposure to the ground floor level. With the grade work, the subject property appears as four-stories tall. As part of the rear yard work, the project would construct a new set of stairs from the new grade up to the existing grade.
- **Construction of Rear Addition:** At the rear, the project would remove the existing two-story, non-historic rear addition and construct a new three-story horizontal addition with a roof deck that would extend approximately 35-ft 7-in from the existing rear wall. This new horizontal addition would feature large wood windows, a flat roof, and tongue and groove wood siding (dimensioned at half the height of the existing wood siding on the historic property). The new addition would also feature a roof deck at the third and fourth floor levels. These roof decks would feature a simple metal cable rail system around the roof deck perimeter.
- **West/East Façade Alterations:** The project would add new window and door openings on the west facade. The rear façade would be clad in a smooth stucco finish, and would feature wood-sash casement windows.

The proposed project would increase the square footage of the two-family residence from 2,347 square feet to 7,111 square feet.

Since the January 21, 2015 HPC Hearing, the Project Sponsor modified the proposed project as follows:

- Removed the rear sub-grade light court;
- Added a small window on the front façade to address dwelling unit exposure for the lower residential unit;
- Regrading and terracing of the rear yard to step more gracefully from the back of the new addition and eliminating the originally proposed courtyard/light court;
- Alignment of the second-story rear addition with the rear of the adjacent neighbor's house (to address neighbor's request), thus resulting in a second floor addition that extends approximately 33-ft 4-in from the rear wall;
- Reduction of the height of the third-story of the rear addition;
- Revisions to the rear façade with less glazing and more wall surface;
- Incorporation of a 1-ft wide by 6-in deep "hyphen" connection to separate existing residence and new addition on the west and east facades;
- Revision to the gable window on the front façade from a two-panel casement window to a single-panel casement window (thus matching the single-panel casement window on the second floor);
- Addition of structural narrative (Sheet A07); and,
- Update of the demolition calculations.

OTHER ACTIONS REQUIRED

Proposed work requires a Rear Yard Variance from the Zoning Administrator and a Building Permit from the Department of Building Inspection (DBI).

COMPLIANCE WITH THE PLANNING CODE PROVISIONS

The proposed project is in compliance with all other provisions of the Planning Code.

APPLICABLE PRESERVATION STANDARDS

ARTICLE 10

Pursuant to Section 1006.2 of the Planning Code, unless exempt from the Certificate of Appropriateness requirements or delegated to Planning Department Preservation staff through the Administrative Certificate Appropriateness process, the Historic Preservation Commission is required to review any applications for the construction, alteration, removal, or demolition of any designated Landmark for which a City permit is required. Section 1006.6 states that in evaluating a request for a Certificate of Appropriateness for an individual landmark or a contributing building within a historic district, the Historic Preservation Commission must find that the proposed work is in compliance with the *Secretary of the Interior's Standards for the Treatment of Historic Properties*, as well as the designating Ordinance and any applicable guidelines, local interpretations, bulletins, related appendices, or other policies.

THE SECRETARY OF THE INTERIOR'S STANDARDS

Rehabilitation is the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features that convey its historical, cultural, or architectural values. The Rehabilitation Standards provide, in relevant part(s):

Standard 1: A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

The proposed project would maintain the subject property's current and historic use as a residence. Therefore, the proposed project complies with Rehabilitation Standard 1.

Standard 2: The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

The proposed project maintains the historic character of the subject property, as defined by its character-defining features, including, but not limited to, its overall mass and form, double-hung wood-sash windows, gable roof, wood siding, as well as, other elements identified in the designating ordinance for the landmark district.

Overall, the project does not call for the removal of character-defining historic materials or features. On the front façade, the project would remove a non-historic aluminum-sash window and add a new compatible, wood-sash window within the gable. In addition, the project would remove a portion of the brick retaining wall to accommodate the new driveway and garage; however, the remainder of the brick retaining wall would be maintained in place. At the rear, the proposed project would remove a non-historic two-story rear addition and construct a new three-story horizontal rear addition, which would be located at the rear of the subject property and would be minimally visible from the public rights-of-way. This new addition would maintain a sense of the existing building's form and massing, since it would be located behind the existing gable roof, would not extend past the peak of the existing roofline, and would not impact any significant historic characteristics of the subject property. The new addition would not impact any historic materials or features of the subject property or district. Therefore, the proposed project complies with Rehabilitation Standard 2.

Standard 3: Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

The proposed project does not include the addition of conjectural elements or architectural features from other buildings. The new work will not create a false sense of historical development and would be compatible with the surrounding district. Therefore, the proposed project complies with Rehabilitation Standard 3.

Standard 4: Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

The proposed project does not involve alterations to the subject building, which have acquired significance in their own right. The existing rear addition does not possess historical significance and does not contribute to the district's historic character. Therefore, the proposed project complies with Rehabilitation Standard 4.

Standard 5: Distinctive features, finishes, and construction techniques or examples of fine craftsmanship that characterize a property will be preserved.

The proposed project maintains and preserves the subject property's distinctive finishes and character-defining features, including, but not limited to, its overall mass and form, double-hung wood-sash windows, gable roof, and wood siding. The proposed project does include alteration of the existing gable to accommodate new inset windows on the west and east facades. These new windows still allow the overall form of the roof to be expressed, while minimizing a new feature. Therefore, the proposed project complies with Rehabilitation Standard 5.

Standard 6: Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacements of a distinctive feature, the new feature will match the old in design, color, texture and other visual qualities and, where possible, materials.

Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

The proposed project does not call for the repair or replacement of any deteriorated historic features. The project does include replacement of non-historic aluminum-sash windows with new compatible wood-sash windows; however, this alteration does not affect any existing feature. Therefore, the proposed project complies with Rehabilitation Standard 6.

Standard 7: Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

The proposed project does not involve chemical or physical treatments. Therefore, the proposed project complies with Rehabilitation Standard 7.

Standard 8: Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures will be undertaken.

The proposed project does include excavation and foundation work, and will undertake the appropriate mitigation and protection measures if any archaeological resource is uncovered. Therefore, the proposed project complies with Rehabilitation Standard 8.

Standard 9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

The proposed project includes exterior alterations to the subject property, including replacement of an aluminum-sash window for a new compatible wood-sash window, and construction of a new three-car garage and three-story horizontal addition.

The new three-car garage would be located along the eastern lot line via a 10-ft wide curb cut and a 9-ft wide garage entry. Garages are common alterations to residences within the surrounding district. Relative to the site's existing setting, the project would still maintain the building's historic setback's and the site's overall sloped character, as evidenced by the adjacent landscaping. The construction of this new garage would not impact any character-defining features of the existing residence. The new garage would feature a simple painted wood garage door, which is consistent with the subject property's simple architectural style, thus is compatible with the overall character of the residence.

On the front façade within the gable, the project would replace a non-historic aluminum-sash window with a new compatible, wood-sash window, which would match the remaining historic

windows on the exterior façade. This aspect of the project assists in reinforcing the property's historic character by removing a non-historic element and introducing a new compatible feature.

At the rear, the new three-story horizontal addition is clearly differentiated from the historic mass of the original residence, as noted by the roofline and the change in siding. The project also includes trim board between the historic residence and the new addition to better distinguish between the old and new. This trim board is enhanced by the project revisions, which incorporates a "hyphen" into the rear addition. The new addition has a flat roof, while the existing historic residence features a gable roof. The new additions would be constructed on top of an existing non-historic addition currently located at the rear of the existing residence. The new additions and rear façade alterations are compatible with the subject property's overall historic character, since the new work is occurring on a rear and non-visible façade, the new wood siding is similar in material and design to the property's historic wood siding (evident on the primary facades), and the mass of the new addition is differential to the historic mass of the original residence.

Overall, the proposed project maintains the historic integrity of the subject property and provides new additions, which are compatible, yet differentiated with the historic residence. Therefore, the proposed project complies with Rehabilitation Standard 9.

Standard 10: New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The proposed project includes construction of a three-story rear horizontal addition, which would be located behind the existing three-story residence. Although unlikely, removal of the new rear addition and garage would not affect the essential form and integrity of the landmark district, and does not impact any character-defining features of the subject property. Therefore, the proposed project complies with Rehabilitation Standard 10.

Summary: The Department finds that the overall project is consistent with the *Secretary of the Interior Standards for Rehabilitation*.

PUBLIC/NEIGHBORHOOD INPUT

As of April 6, 2015, the Department has received five public comments on the proposed project—three correspondences expressed opposition to the project, while two correspondences expressed support for the project. In addition, the Department received a letter from a neighborhood organization. Copies of these correspondences have been included within the Commissioner packets.

ARCHITECTURAL REVIEW COMMITTEE (ARC)

On January 21, 2015, the Historic Preservation Commission (HPC) requested additional review and comment before the Architectural Review Committee (ARC). The HPC expressed concern over the gable window on upper level of the front façade; size, scale and design of new addition; and, courtyard (light

court) in rear yard. The HPC requested that the ARC specifically review and comment on these issues. On April 1, 2015, the Project Sponsor presented revisions to the ARC, which addressed comments from the Commission and the adjacent neighbors. The ARC found the project revisions (as mentioned above) to be consistent and compatible with the subject property and the surrounding landmark district (See Attached-ARC Letter, dated April 1, 2015).

STAFF ANALYSIS

Included as an exhibit are architectural drawings of the existing building and the proposed project. Based on the requirements of Article 10 and the *Secretary of Interior's Standards*, Department staff has determined the following:

Construction of New Three-Car Garage: The project would construct a new three-car garage with a 10-ft wide curb cut and 9-ft wide garage door. This new garage would not impact any character-defining features of the subject property, and its location and character assist in maintaining the residence's historic setting and characteristic sloped lot. Given the character of the new garage doors, the project would assist in reinforcing the property's architectural style and its relationship to other properties on the street. This alteration would comply with the Secretary of the Interior's Standards for Rehabilitation and the requirements of Article 10 of the San Francisco Planning Code, since the new work would be compatible with the existing historic features. To ensure compatibility with the surrounding landmark district, the Department has included a condition of approval to salvage and reuse the brick retaining wall within any new construction.

Primary Façade Alterations (Window Replacement): The proposed project includes replacement of an aluminum-sash window with a single eight-lite, fixed wood-sash window. In addition, the project would add a new single-panel window on the ground floor of the front façade. This alteration would comply with the Secretary of the Interior's Standards for Rehabilitation and the requirements of Article 10 of the San Francisco Planning Code, since this work would remove an incompatible alteration and new work would be compatible with the existing historic features. To ensure compatibility, the Department has included a condition of approval for additional detail on the proposed window, including a window schedule. In addition, the Departments would recommend a smaller-scale window on the ground floor of the front façade to ensure that the new windows are differential to the original windows.

Inset Roof Windows: The proposed project includes insertion of inset wood-sash roof windows on the east and west facades of the gable roof of the historic residence. This alteration would comply with the Secretary of the Interior's Standards for Rehabilitation and the requirements of Article 10 of the San Francisco Planning Code, since this work is minimal in amount of material removed from the roof, maintains the overall form and mass of roof, and will be constructed of a compatible material.

Three-Story Horizontal Rear Addition/East-West Façade Alterations: The proposed project includes a three-story rear horizontal addition and alterations to the east and west facades. This work would occur on the side (non-visible) and rear portions of the subject property and would not be visible from any public rights of way. The façade alterations on the side façades primarily consist of adding new windows and doors on the ground floor level. These alterations would not remove any character-defining historic materials, and would be in discrete locations not visible from any public rights-of-way, especially given

the site's topography. The mass, scale and location of the new rear addition is consistent and compatible with the rear additions found on contributing properties within the surrounding district. Further, this work would not impact any character-defining features of the subject property or surrounding landmark district. The new materials on the rear facade (wood-siding and wood-sash windows) would be in alignment with the district's character-defining features, which include wood siding and wood-sash windows. In addition, the project revisions assist in further distinguishing the new addition from the historic residence, as noted by the "hyphen" connection on the west and east facades and the reduction in height and scale. Therefore, this alteration would comply with the Secretary of the Interior's Standards for Rehabilitation and the requirements of Article 10 of the San Francisco Planning Code, since the new work would be compatible with the historic features. To ensure compatibility with the surrounding landmark district, the Department has included a condition of approval to review and approve the proposed wood siding.

Rear Yard Alterations: The proposed rear yard alterations include minor excavation of the existing grade/yard and construction of a new rear yard staircase. The rear yard landscaping is not identified as a character-defining feature of the Liberty-Hill Landmark District. The proposed site work within the rear yard would not detract from the historical significance of the subject property or the surrounding landmark district.

Summary: Department staff finds that proposed work will be in conformance with the Secretary's Standards and requirements of Article 10, as the proposed work shall not adversely affect the special character or special historical, architectural, or aesthetic interest or value of the landmark and its site.

CONDITIONS OF APPROVAL

To ensure that the proposed work is undertaken in conformance with this Certificate of Appropriateness, staff recommends the following conditions:

- Prior to approval of the Building Permit, the Project Sponsor shall provide material samples, including the proposed wood siding, to ensure compatibility with the surrounding landmark district. These material samples shall demonstrate the range of color, texture and finish for the identified materials. Generally, the materials should feature a matte or painted finish, and be consistent with the building's overall historic character.
- Prior to approval of the Building Permit, the Project Sponsor shall provide a window schedule and conditions assessment. The window schedule shall detail the current issues with the existing windows on the primary façade, shall outline the repair methodologies and replacement products, and shall provide detailed information about the proposed material, glazing, dimension and profile.
- Prior to approval of the Building Permit, the Project Sponsor shall salvage and reuse the retaining walls bricks. Since portions of the existing brick retaining wall would be removed, the Project Sponsor shall reuse the historic bricks within the repair of the exterior wall to the extent feasible, as determined by Planning Department Preservation staff.

ENVIRONMENTAL REVIEW STATUS

On January 15, 2015, the Project was determined to be exempt from the California Environmental Quality Act ("CEQA") as a Class 32 Categorical Exemption under CEQA as described in the determination contained in the Planning Department files for this Project

PLANNING DEPARTMENT RECOMMENDATION

Planning Department staff recommends APPROVAL WITH CONDITIONS of the proposed project as it appears to meet the *Secretary of the Interior Standards for Rehabilitation* and requirements of Article 10.

ATTACHMENTS

Draft Motion

Exhibits, including Parcel Map, Sanborn Map, Zoning Map, Aerial Photos, and Site Photos

Architectural Drawings

Architectural Review Committee Letter

Project Sponsor Submittal-Neighborhood Outreach Log

Public Correspondence

Environmental Determination

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SAN FRANCISCO PLANNING DEPARTMENT

Historic Preservation Commission Motion No. XXXX

HEARING DATE: APRIL 15, 2015

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ADOPTING FINDINGS FOR A CERTIFICATE OF APPROPRIATENESS FOR PROPOSED WORK DETERMINED TO BE APPROPRIATE FOR AND CONSISTENT WITH THE PURPOSES OF ARTICLE 10, TO MEET THE STANDARDS OF ARTICLE 10 AND TO MEET THE SECRETARY OF INTERIOR'S STANDARDS FOR REHABILITATION, FOR THE PROPERTY LOCATED ON LOT 066 IN ASSESSOR'S BLOCK 3607, DESIGNATED AS A CONTRIBUTING RESOURCE TO THE LIBERTY-HILL LANDMARK DISTRICT, AND LOCATED WITHIN RH-2 (RESIDENTIAL, HOUSE, TWO-FAMILY) ZONING DISTRICT AND A 40-X HEIGHT AND BULK DISTRICT.

PREAMBLE

WHEREAS, on June 12, 2014, Shane Curryn of Matarozzi/Pelsinger (Project Sponsor) on behalf of Justin McBaine (Property Owners), filed an application with the San Francisco Planning Department (Department) for a Certificate of Appropriateness for exterior alterations and a three-story rear addition to the subject property located on Lot 066 in Assessor's Block 3607.

WHEREAS, the Project received an exemption from the California Environmental Quality Act ("CEQA") as a Class 32 Categorical Exemption (CEQA Guideline Section 15332) on January 15, 2015.

WHEREAS, the Planning Department, Jonas Ionin, is the custodian of records, located in Case No. 2014.0655A at 1650 Mission Street, Fourth Floor, San Francisco, California; and

WHEREAS, on January 21, 2015, the Commission conducted a duly noticed public hearing on the current project, Case No. 2014.0655A (Project) for its appropriateness.

WHEREAS, in reviewing the Application, the Commission has had available for its review and consideration case reports, plans, and other materials pertaining to the Project contained in the Department's case files, has reviewed and heard testimony and received materials from interested parties during the public hearing on the Project.

MOVED, that the Commission hereby grants a Certificate of Appropriateness WITH CONDITIONS, in conformance with the project information dated March 18, 2015, and labeled Exhibit A on file in the docket for Case No. 2014.0655A based on the following findings:

CONDITIONS OF APPROVAL

To ensure that the proposed work is undertaken in conformance with this Certificate of Appropriateness, staff recommends the following conditions:

1. As part of the Site Permit, the Project Sponsor shall provide material samples, including the examples of the materials for the proposed stair tread and rise, handrails and rear stucco finish, to ensure compatibility with the surrounding landmark district. These material samples shall demonstrate the range of color, texture and finish for the identified materials. Generally, the materials should feature a matte or painted finish, and be consistent with the building's overall historic character.
2. As part of the Site Permit, the Project Sponsor shall provide a window schedule and conditions assessment. The window schedule shall detail the current issues with the existing windows on the primary façade, and shall outline the repair methodologies.
3. As part of the Site Permit, the Project Sponsor shall provide detailed drawings and specifications for the restoration of the existing wood trellis on the primary façade. The Project Sponsor shall provide detailed drawings of the existing trellis (including plan, section, elevations and details, as determined by Department staff) to assist in guiding the reconstruction. The specifications shall include a conditions assessment of the existing wood, as well as dimensions for the individual pieces of wood, in order to assist with the restoration.

FINDINGS

Having reviewed all the materials identified in the recitals above and having heard oral testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and also constitute findings of the Commission.
2. Findings pursuant to Article 10:

The Historic Preservation Commission has determined that the proposed work is compatible with the character of the Liberty-Hill Landmark District as described in designating ordinance and Article 10 of the San Francisco Planning Code.

- That the proposed project features rear façade and rooftop alterations, which are compatible with the Landmark, since this new work does not destroy historic materials, and provides for alterations, which are compatible, yet differentiated.
- That the proposed addition is compatible with the historic residence and surrounding landmark district.
- That the essential form and integrity of the landmark district and its environment would be unimpaired if the alterations were removed at a future date.
- That the proposal respects the character-defining features of the Liberty-Hill Landmark District.
- The proposed project meets the requirements of Article 10.
- The proposed project meets the *Secretary of the Interior's Standards for Rehabilitation*, including:

Standard 2.

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

Standard 9.

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Standard 10.

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

3. **General Plan Compliance.** The proposed Certificate of Appropriateness is, on balance, consistent with the following Objectives and Policies of the General Plan:

I. URBAN DESIGN ELEMENT

THE URBAN DESIGN ELEMENT CONCERNS THE PHYSICAL CHARACTER AND ORDER OF THE CITY, AND THE RELATIONSHIP BETWEEN PEOPLE AND THEIR ENVIRONMENT.

GOALS

The Urban Design Element is concerned both with development and with preservation. It is a concerted effort to recognize the positive attributes of the city, to enhance and conserve those attributes, and to improve the living environment where it is less than satisfactory. The Plan is a definition of quality, a definition based upon human needs.

OBJECTIVE 1

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

POLICY 1.3

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

OBJECTIVE 2

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

POLICY 2.4

Preserve notable landmarks and areas of historic, architectural or aesthetic value, and promote the preservation of other buildings and features that provide continuity with past development.

POLICY 2.5

Use care in remodeling of older buildings, in order to enhance rather than weaken the original character of such buildings.

POLICY 2.7

Recognize and protect outstanding and unique areas that contribute in an extraordinary degree to San Francisco's visual form and character.

The goal of a Certificate of Appropriateness is to provide additional oversight for buildings and districts that are architecturally or culturally significant to the City in order to protect the qualities that are associated with that significance.

The proposed project qualifies for a Certificate of Appropriateness and therefore furthers these policies and objectives by maintaining and preserving the character-defining features of the Liberty Hill Landmark District for the future enjoyment and education of San Francisco residents and visitors.

- A) The existing neighborhood-serving retail uses will be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses will be enhanced:

The proposed project will not have any impact on any existing neighborhood serving retail uses. Currently, the site does not possess any retail uses.

- B) The existing housing and neighborhood character will be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods:

The proposed project will strengthen neighborhood character by respecting the character-defining features of Liberty-Hill Landmark District in conformance with the Secretary of the Interior's Standards for Rehabilitation.

- C) The City's supply of affordable housing will be preserved and enhanced:

Currently, the subject property does not possess any affordable housing, and the rehabilitation of the two-family dwelling would not impact the supply of affordable housing.

- D) The commuter traffic will not impede MUNI transit service or overburden our streets or neighborhood parking:

The proposed project will not result in commuter traffic impeding MUNI transit service or overburdening the streets or neighborhood parking. The proposed project includes new off-street parking, and the surrounding area is well-served by public transportation.

- E) A diverse economic base will be maintained by protecting our industrial and service sectors from displacement due to commercial office development. And future opportunities for resident employment and ownership in these sectors will be enhanced:

The proposed project does not include commercial office development.

- F) The City will achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

Preparedness against injury and loss of life in an earthquake is unaffected by the proposed work. The proposed project included a seismic upgrade, which will be executed in compliance with all applicable construction and safety measures.

- G) That landmark and historic buildings will be preserved:

The proposed project is in conformance with Article 10 of the Planning Code and the Secretary of the Interior's Standards for Rehabilitation.

- H) Parks and open space and their access to sunlight and vistas will be protected from development:

The proposed project will not impact the access to sunlight or vistas for parks and open space.

4. For these reasons, the proposal overall, is appropriate for and consistent with the purposes of Article 10, meets the standards of Article 10, and the *Secretary of Interior's Standards for Rehabilitation*, General Plan and Prop M findings of the Planning Code.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **GRANTS WITH CONDITIONS a Certificate of Appropriateness** for the property located at Lot 066 in Assessor's Block 3607 for proposed work in conformance with the project information dated March 18, 2015, labeled Exhibit A on file in the docket for Case No. 2014.0655A.

APPEAL AND EFFECTIVE DATE OF MOTION: The Commission's decision on a Certificate of Appropriateness shall be final unless appealed within thirty (30) days. Any appeal shall be made to the Board of Appeals, unless the proposed project requires Board of Supervisors approval or is appealed to the Board of Supervisors, such as a conditional use, in which case any appeal shall be made to the Board of Supervisors (see Charter Section 4.135).

Duration of this Certificate of Appropriateness: This Certificate of Appropriateness is issued pursuant to Article 10 of the Planning Code and is valid for a period of three (3) years from the effective date of approval by the Historic Preservation Commission. The authorization and right vested by virtue of this action shall be deemed void and canceled if, within 3 years of the date of this Motion, a site permit or building permit for the Project has not been secured by Project Sponsor.

THIS IS NOT A PERMIT TO COMMENCE ANY WORK OR CHANGE OF OCCUPANCY UNLESS NO BUILDING PERMIT IS REQUIRED. PERMITS FROM THE DEPARTMENT OF BUILDING INSPECTION (and any other appropriate agencies) MUST BE SECURED BEFORE WORK IS STARTED OR OCCUPANCY IS CHANGED.

I hereby certify that the Historic Preservation Commission ADOPTED the foregoing Motion on April 15, 2015.

Jonas P. Ionin
Commission Secretary

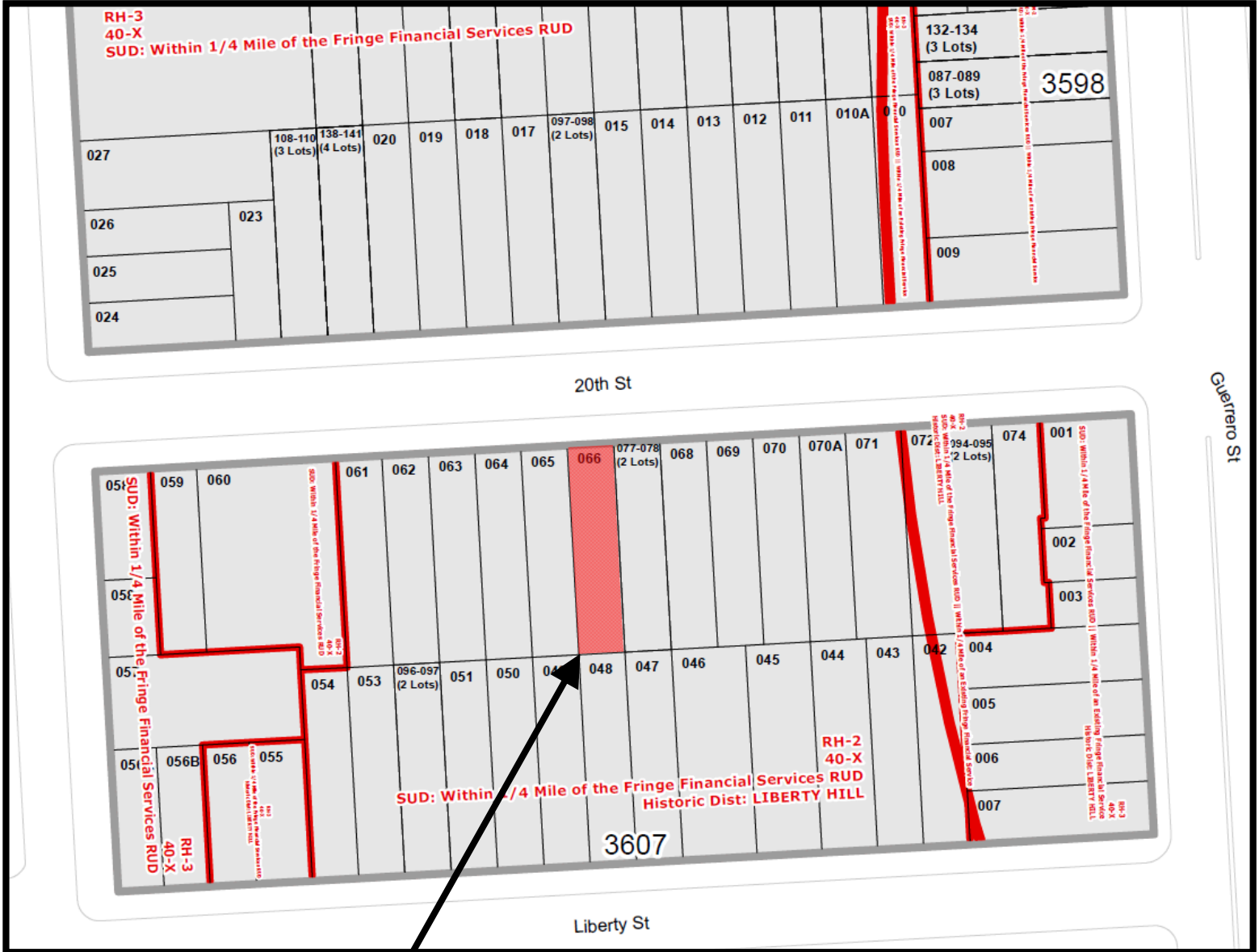
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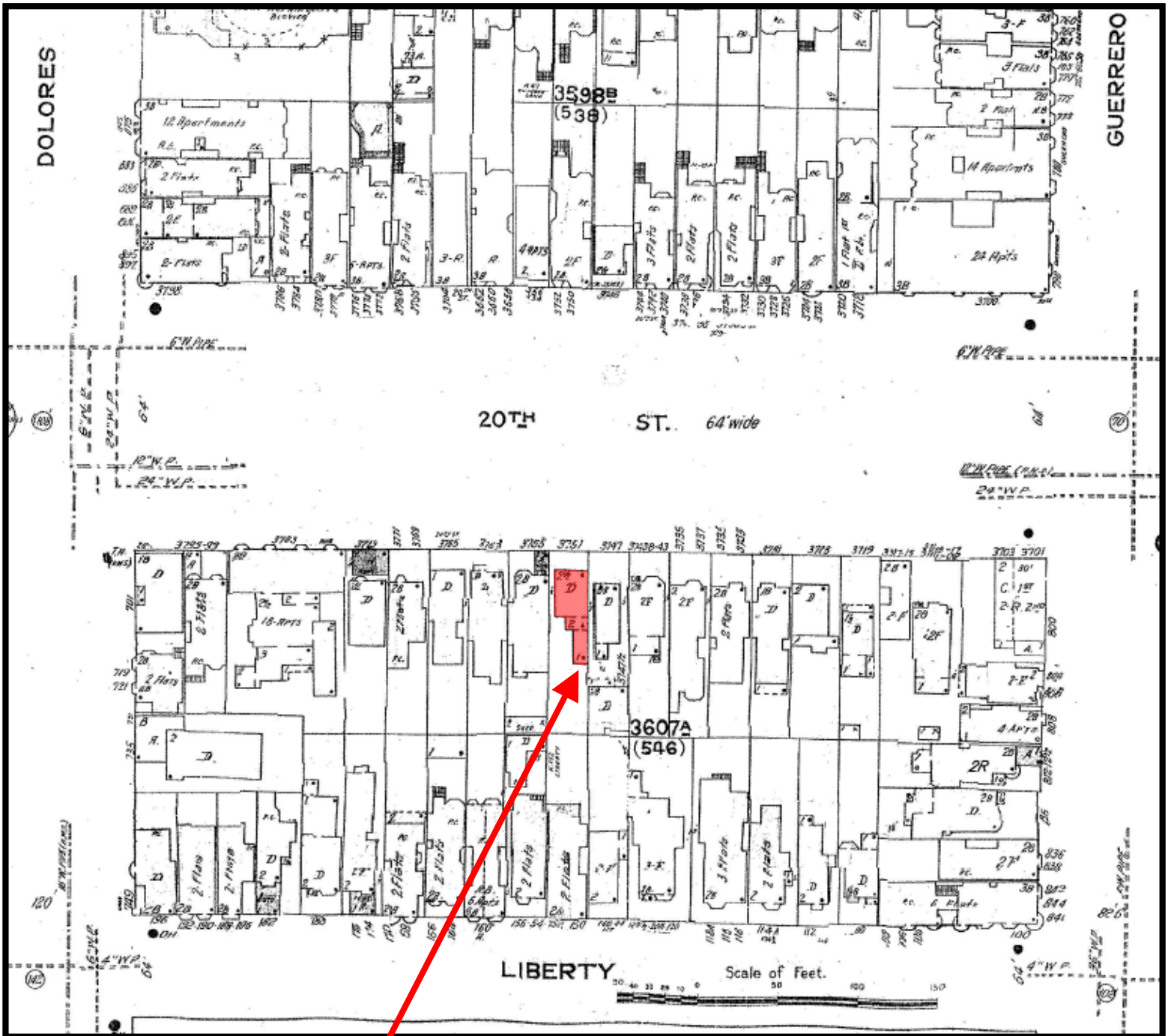
ABSENT:

ADOPTED: April 15, 2015

Parcel Map



Sanborn Map*



*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.

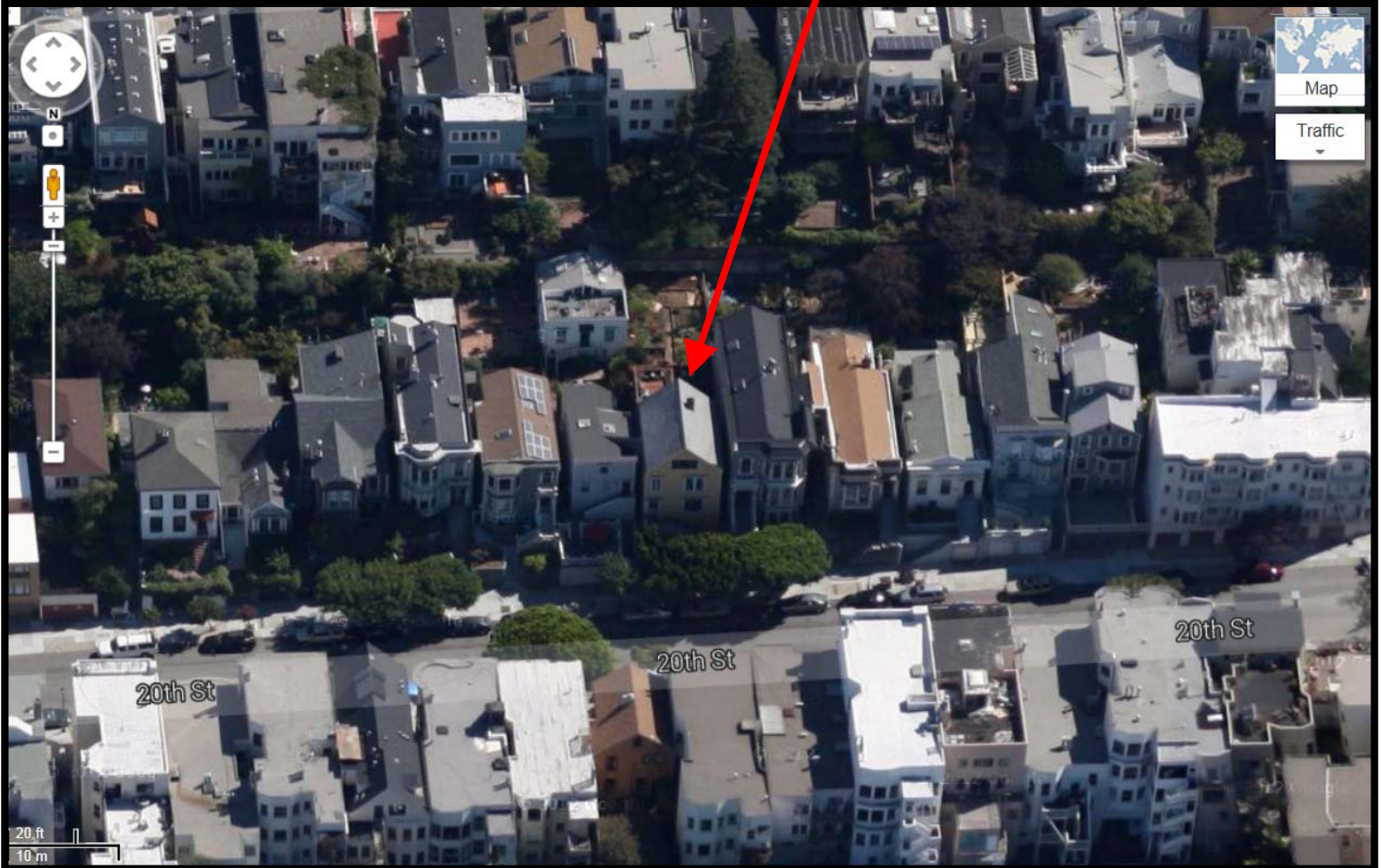
SUBJECT PROPERTY

Certificate of Appropriateness Hearing
Case Number 2014.0655A
3751-3753 20th Street



Aerial Photo

SUBJECT PROPERTY



Site Photo



3751-3752 20th Street (Source: Google Maps, August 2014)

Certificate of Appropriateness Hearing
Case Number 2014.0655A
3751-3753 20th Street

Site Photo



3751-3752 20th Street (Source: Planning Department, August 2014)

Certificate of Appropriateness Hearing
Case Number 2014.0655A
3751-3753 20th Street

Site Photo



3751-3752 20th Street (Source: Planning Department, August 2014)

Certificate of Appropriateness Hearing
Case Number 2014.0655A
3751-3753 20th Street

Site Photo



3751-3752 20th Street, Rear Facade (Source: Planning Department)

Certificate of Appropriateness Hearing
Case Number 2014.0655A
3751-3753 20th Street



MATAROZZI PELSINGER
DESIGN + BUILD

PERSPECTIVE | VIEW 1 | **EXISTING**

McBAIN RESIDENCE
3751 / 3753 20TH STREET

GABLE WINDOW
REDUCED IN SIZE

REAR ADDITION
LOWERED 1'-2"

NEW STREET-FACING
WINDOW





MATAROZZI PELSINGER
DESIGN + BUILD

PERSPECTIVE | VIEW 2 | **EXISTING**

McBAINE RESIDENCE
3751 / 3753 20TH STREET



GABLE WINDOW
REDUCED IN SIZE

REAR ADDITION
LOWERED 1'-2"

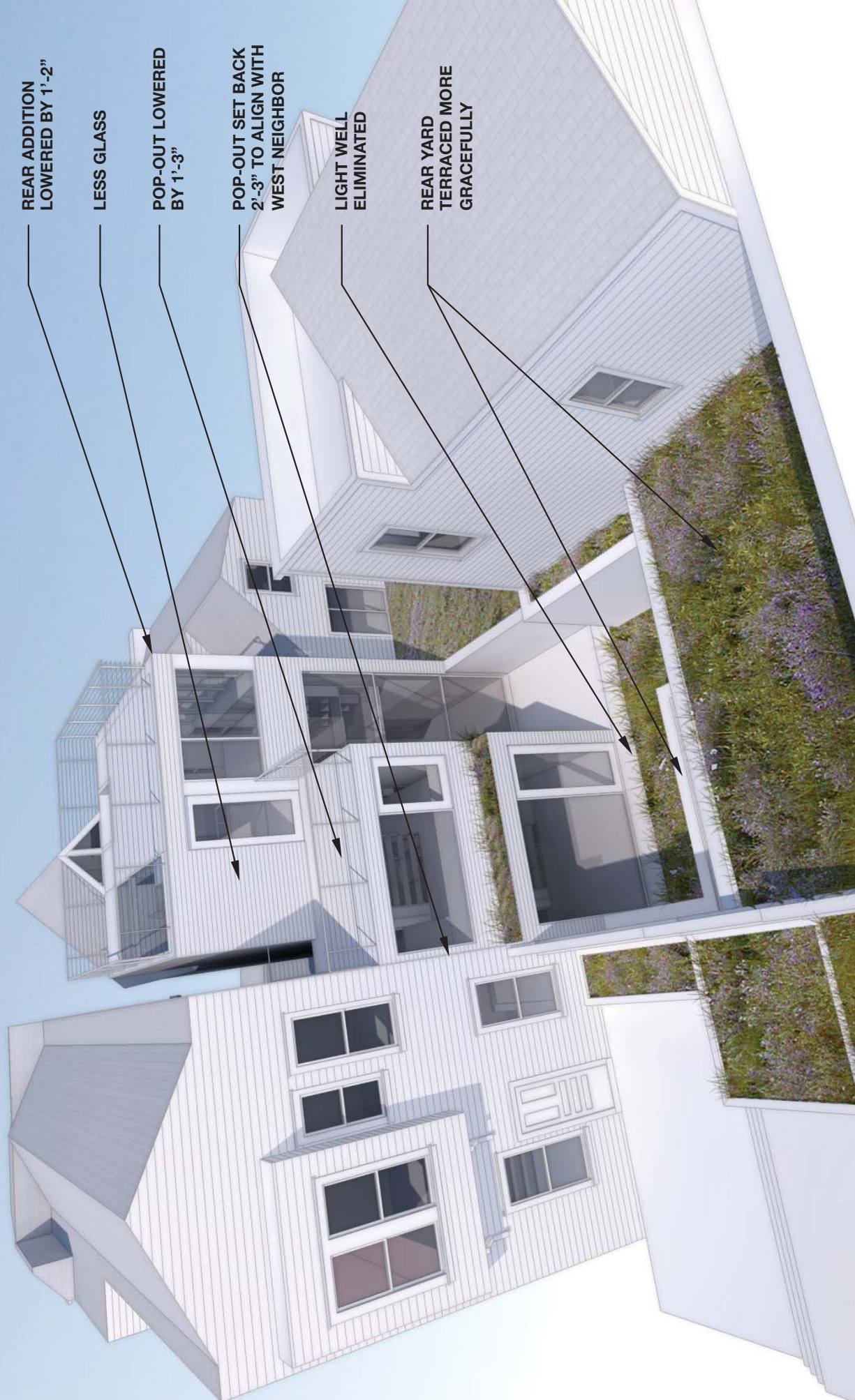
NEW STREET-FACING
WINDOW



MATAROZZI PELSINGER
DESIGN + BUILD

PERSPECTIVE | VIEW 3 | **EXISTING**

McBAIN RESIDENCE
3751 / 3753 20TH STREET



REAR ADDITION
LOWERED BY 1'-2"

LESS GLASS

POP-OUT LOWERED
BY 1'-3"

POP-OUT SET BACK
2'-3" TO ALIGN WITH
WEST NEIGHBOR

LIGHT WELL
ELIMINATED

REAR YARD
TERRACED MORE
GRACEFULLY



MATAROZZI PELSINGER
DESIGN + BUILD

PERSPECTIVE | VIEW 4 | **EXISTING**

McBAIN RESIDENCE
3751 / 3753 20TH STREET

REAR ADDITION
LOWERED BY 1'-2"

LESS GLASS

POP-OUT LOWERED
BY 1'-3"

POP-OUT SET BACK
2'-3" TO ALIGN WITH
WEST NEIGHBOR

LIGHT WELL
ELIMINATED

REAR YARD
TERRACED MORE
GRACEFULLY



PERSPECTIVE | VIEW 4 | PROPOSED

MATAROZZI PELSINGER
DESIGN + BUILD

McBAINE RESIDENCE
3751 / 3753 20TH STREET

ABBREVIATIONS

&	AND	(N)	NEW
@	AT	NAT.	NATURAL
ABV.	ABOVE	NOT IN CONTRACT	NOT IN CONTRACT
A.C.	AIR CONDITIONING	N.I.C.	NUMBER
A.C.T.	ACOUSTIC CEILING TILE	#	NUMBER
ADJ.	ADJUSTABLE	NOM.	NOMINAL
ADJ.C.	ADJACENT	N.T.S.	NOT TO SCALE
A.F.F.	ABOVE FINISHED FLOOR		
ALT.	ALTERNATE	OBSC.	OBSCURE
ALUM.	ALUMINUM	O.C.	ON CENTER
ANOD.	ANODIZED	O.D.	OUTSIDE DIAMETER
APPROX.	APPROXIMATE	O.H.	OPPOSITE HAND
ARCH.	ARCHITECTURAL	OPER.	OPERABLE
AXON.	AXONOMETRIC	OPNG.	OPENING
		OPP.	OPPOSITE
BD.	BOARD	PART.	PARTITION
B.J.	BUTT-JOINT	PERF.	PERFORATED
BLDG.	BUILDING	PL.	PLATE
BLKG.	BLOCKING	PL.	PROPERTY LINE
B.O.	BOTTOM OF	PLAM.	PLASTIC LAMINATE
B.P.	BUILDING PAPER	PLAS.	PLASTER
BRZ.	BRONZE	PLY.	PLYWOOD
B.U.R.	BUILT-UP ROOF	PNL.	PANEL
		PNT.	PAINT
CAB.	CABINET	PROP.	PROPERTY
CEM.	CEMENT	PTD.	PAINTED
CER.	CERAMIC	P.T.	PRESSURE TREATED
CHAN.	CHANNEL	P.V.	PHOTOVOLTAIC
C.I.P.	CAST-IN-PLACE		
C.L.	CENTERLINE	R.	RADIUS
CL.	CLEAR	R.	RISER
CLG.	CEILING	R.B.	RESILIENT BASE
C.L.O.	CLOSET	R.C.P.	REFLECTED CEILING PLAN
CLR.	CLEAR	REF.	REFERENCE
C.M.U.	CONCRETE MASONRY UNIT	REF.	REFRIGERATOR
COL.	COLUMN	REFIN.	REFINISH
CONC.	CONCRETE	REINF.	REINFORCED
CONT.	CONTINUOUS	REQD.	REQUIRED
CPT.	CARPET	REV.	REVISION/REVISED
CTR.	CENTER	RM.	ROOM
		R.O.	ROUGH OPENING
DEPT.	DEPARTMENT	RTD.	RATED
DET.	DETAIL	R.W.L.	RAIN WATER LEADER
D.F.	DOUGLAS FIR		
DIA.	DIAMETER	S.C.	SOLID CORE
DM.	DIMENSION	SCHED.	SCHEDULE
DN.	DOWN	S.A.	SOAP DISPENSER
DR.	DOOR	SECT.	SECTION
DW.	DISHWASHER	S.E.D.	SEE ELECTRICAL DRAWINGS
DWG.	DRAWING	SHT.	SHEET
		SHTG.	SHEATHING
(E)	EXISTING	SIM.	SIMILAR
EA.	EACH	S.L.D.	SEE LANDSCAPE DRAWINGS
EL.	ELEVATION	S.M.D.	SEE MECHANICAL DRAWINGS
ELEV.	ELEVATION	S.P.D.	SEE PLUMBING DRAWINGS
ELECT.	ELECTRICAL	SPEC.	SPECIFICATION
ENGR.	ENGINEER	S.S.	STAINLESS STEEL
EQ.	EQUAL	S.S.D.	SEE STRUCTURAL DRAWINGS
EQPT.	EQUIPMENT	STD.	STANDARD
EXEC.	EXECUTIVE	STL.	STEEL
EXP.	EXPANSION	STN.	STONE
EXT.	EXTERIOR	STOR.	STORAGE
		STRUCT.	STRUCTURAL
FAB.	FABRIC	SUSP.	SUSPENDED
F.B.O.	FURNISHED BY OWNER	SYM.	SYMMETRICAL
F.D.	FLOOR DRAIN		
FIN.	FINISH	T.	TREAD
FIN.	FINISH	T.B.D.	TO BE DETERMINED
FIXT.	FIXTURE	TEL.	TELEPHONE
FL.	FLOOR	TEMP.	TEMPERED
F.O.	FINISHED OPENING	TEMP.	TEMPORARY
F.O.F.	FACE OF FINISH	T.F.	TRANSPARENT FINISH
F.O.S.	FACE OF STUD	TFWD.	TRANSPARENT FINISHED WOOD
F.O.C.	FACE OF CONCRETE	T&G.	TONGUE AND GROOVE
FRM.	FRAME	T.O.	TOP OF
FRMG.	FRAMING	T.O.C.	TOP OF CONCRETE
FT.	FOOT OR FEET	T.O.W.	TOP OF WALL
FURR.	FURRING	TRANS.	TRANSLUCENT
		TV.	TELEVISION
GA.	GAUGE	TYP.	TYPICAL
GALV.	GALVANIZED		
G.D.	GARBAGE DISPOSAL	U.B.C.	UNIFORM BUILDING CODE
GEN.	GENERAL	U.C.	UNDER COUNTER
GL.	GLASS	U.O.N.	UNLESS OTHERWISE NOTED
GYP.	GYPSPUM	UTIL.	UTILITY
G.W.B.	GYPSPUM WALL BOARD		
		VAR.	VARIES
H.B.	HOSE BIB	V.T.	VINYL COMPOSITION TILE
H.C.	HOLLOW CORE	VEN.	VENEER
HDWD.	HARDWOOD	VERT.	VERTICAL
HT.	HEIGHT	VEST.	VESTIBULE
HORIZ.	HORIZONTAL	V.I.F.	VERIFY IN FIELD
HR.	HOUR	V.P.	VENEER PLASTER
H.M.	HOLLOW METAL		
H.W.	HOT WATER	W.	WITH
		W.C.	WATER CLOSET
I.D.	INSIDE DIAMETER	WD.	WOOD
IN.	INCH	W/D.	WASHER/DRYER
INSUL.	INSULATION	WIN.	WINDOW
INT.	INTERIOR	W.H.	WATER HEATER
		W/O.	WITHOUT
JAN.	JANITOR	W.O.	WHERE OCCURS
JT.	JOINT	W.P.	WATERPROOFING
		WT.	WEIGHT
KIT.	KITCHEN		
LAM.	LAMINATE		
LAV.	LAVATORY		
LOC.	LOCATION		
LTWT.	LIGHTWEIGHT		
LVL.	LEVEL		
MAT.	MATERIAL		
MAX.	MAXIMUM		
M.B.	MOISTURE BARRIER		
M.C.	MECHANICAL CABINET		
MECH.	MECHANICAL		
MEMB.	MEMBRANE		
MFR.	MANUFACTURER		
MIN.	MINIMUM		
MIR.	MIRROR		
MISC.	MISCELLANEOUS		
MSRY.	MASONRY		
MTD.	MOUNTED		
MTL.	METAL		

SYMBOLS

	WINDOW SYMBOL / TYPE
	DOOR SYMBOL / TYPE
	REVISION TAG
	DETAIL NUMBER
	SHEET NUMBER
	ELEVATION / SECTION NUMBER
	DRAWING NUMBER
	DRAWING NUMBER SHEET NUMBER
	PARTITION TYPE
	ALIGN
	FIRE SPRINKLER
	RETURN AIR
	SUPPLY AIR
	AIRBAR
	HOSE BIB

DIRECTORY

OWNER

NAME

ADDRESS

EMAIL

DESIGNER

MATAROZZI PELSINGER DESIGN+BUILD
355 11TH STREET, SUITE 200
SAN FRANCISCO, CA 94103
T 415.285.6930

VICINITY MAP



PROJECT SITE

PROJECT DATA

ADDRESS

3751/3753 20TH STREET
SAN FRANCISCO, CA 94110

BLOCKLOT

3607 / 066

ZONING DISTRICT

RH-2

OCCUPANCY GROUP

R-3

RESIDENTIAL UNITS

-2 EXISTING (NO CHANGE)

TYPE OF CONSTRUCTION

5B

HEIGHT LIMIT

40-X

SCOPE OF WORK

-(N) VERTICAL ADDITION BELOW (E) GRADE
-(N) HORIZONTAL ADDITION @ REAR
-(N) ELEVATOR
-(N) CURB CUT & GARAGE DOOR
-(N) DORMER WINDOWS
-REPLACE (E) FRONT GABLE WINDOW WITH (N) WOOD WINDOW

PARCEL AREA

2,848 SQ.FT.

BUILDING AREA (GROSS)

-EXISTING: 2,347 SQ.FT.
-PROPOSED: 6,366 SQ.FT. (INCLUDES GARAGE/STORAGE)

APPLICABLE BUILDING CODES

2013 CALIFORNIA BUILDING CODE (C.B.C.)
2013 CALIFORNIA PLUMBING CODE (C.P.C.)
2013 CALIFORNIA MECHANICAL CODE (C.M.C.)
2013 CALIFORNIA ELECTRICAL CODE (C.E.C.)
2013 CAL. GREEN BUILDING CODE (CALGREEN)
2013 SAN FRANCISCO AMENDMENTS TO C.B.C., C.P.C., C.M.C., C.E.C., AND CALGREEN

SHEET INDEX

ARCHITECTURAL

A0.1 - PROJECT INFORMATION
A0.2 - PHOTOS - NORTH & SOUTH STREET FACADES (BLOCK)
A0.3 - PHOTOS - SUBJECT PROPERTY & NEIGHBORS
A0.3B - PHOTOS - NEIGHBORS
A0.4 - ARTICLE 10 DEMOLITION CALCULATIONS
A0.5 - PRE-APPLICATION MEETING INFO
A0.6 - TREE PLANTING AND PROTECTION CHECKLIST
A0.7 - STRUCTURAL NARRATIVE

C.0 - SURVEY

A1.1 - SITE PLANS - EXISTING & PROPOSED
A2.1 - BASEMENT PLANS - PROPOSED ONLY
A2.2 - GROUND FLOOR PLANS - PROPOSED ONLY
A2.3 - 1ST FLOOR PLANS - EXISTING & PROPOSED
A2.4 - 2ND FLOOR PLANS - EXISTING & PROPOSED
A2.5 - 3RD FLOOR PLANS - EXISTING & PROPOSED
A2.6 - ROOF PLANS - EXISTING & PROPOSED

A3.1 - SECTION - NORTH/SOUTH, EXISTING
A3.2 - SECTION - NORTH/SOUTH, PROPOSED
A3.3 - SECTION - EAST/WEST, PROPOSED
A3.4 - ELEVATION - NORTH, EXISTING
A3.5 - ELEVATION - NORTH, PROPOSED
A3.6 - ELEVATION - SOUTH, EXISTING
A3.7 - ELEVATION - SOUTH, PROPOSED
A3.8 - ELEVATION - EAST, EXISTING
A3.9 - ELEVATION - EAST, PROPOSED
A3.10 - ELEVATION - WEST, EXISTING
A3.11 - ELEVATION - WEST, PROPOSED

PROJECT TITLE:
3751 / 3753 20th STREET

JOB:
13045.70

ISSUE:
SITE PERMIT

DATE:
03.18.2015

REVISION:

SHEET TITLE:
COVER SHEET

SHEET NUMBER:

A0.1

MATAROZZI PELSINGER
DESIGN + BUILD

355 11TH STREET, SUITE 200 SAN FRANCISCO CA 94103
T 415.285.6930 F 415.285.7266 WWW.MATPELBUILDERS.COM

3751 20TH STREET,
SAN FRANCISCO, CA, 94110



20TH STREET - SOUTH SIDE
NOT TO SCALE

2
-



20TH STREET - NORTH SIDE
NOT TO SCALE

1
-

MATAROZZI PELSINGER
DESIGN + BUILD
355 11TH STREET, SUITE 200 SAN FRANCISCO CA 94103
T 415.285.6830 F 415.285.7286 WWW.MATPELBUILDERS.COM



PROJECT TITLE:
3751 / 3753 20th STREET
3751 20TH STREET
SAN FRANCISCO, CA, 94110

JOB:
13045.70

ISSUE:
SITE PERMIT

DATE:
10.2.2014

REVISION:

SHEET TITLE:
PHOTOGRAPHS:
NORTH & SOUTH
20TH STREET

SHEET NUMBER:

A0.2



SUBJECT PROPERTY

VIEW FROM REAR OF SUBJECT PROPERTY
NOT TO SCALE

3
-



SUBJECT PROPERTY

SUBJECT PROPERTY & ADJACENT NEIGHBORS - REAR
NOT TO SCALE

2
-



SUBJECT PROPERTY

SUBJECT PROPERTY & ADJACENT NEIGHBORS - FRONT
NOT TO SCALE

1
-

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PROJECT TITLE:
3751 / 3753 20th STREET

3751 20TH STREET
SAN FRANCISCO, CA, 94110

JOB:
13045.70

ISSUE:
SITE PERMIT

DATE:
10.2.2014

REVISION:

SHEET TITLE:
PHOTOGRAPHS:
SUBJECT PROPERTY
FRONT & REAR

SHEET NUMBER:

A0.3



WEST NEIGHBOR - REAR
NOT TO SCALE

3
-



WEST NEIGHBOR - PROPERTY LINE WINDOWS
NOT TO SCALE

2
-



EAST NEIGHBOR - REAR
NOT TO SCALE

1
-



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DESIGN + BUILD
355 11TH STREET, SUITE 200 SAN FRANCISCO CA 94103
T 415.285.6930 F 415.285.7286 WWW.MATPELBUILDERS.COM

PROJECT TITLE:
3751 / 3753 20th STREET

3751 20TH STREET
SAN FRANCISCO, CA, 94110

JOB:
13045.70

ISSUE:
SITE PERMIT

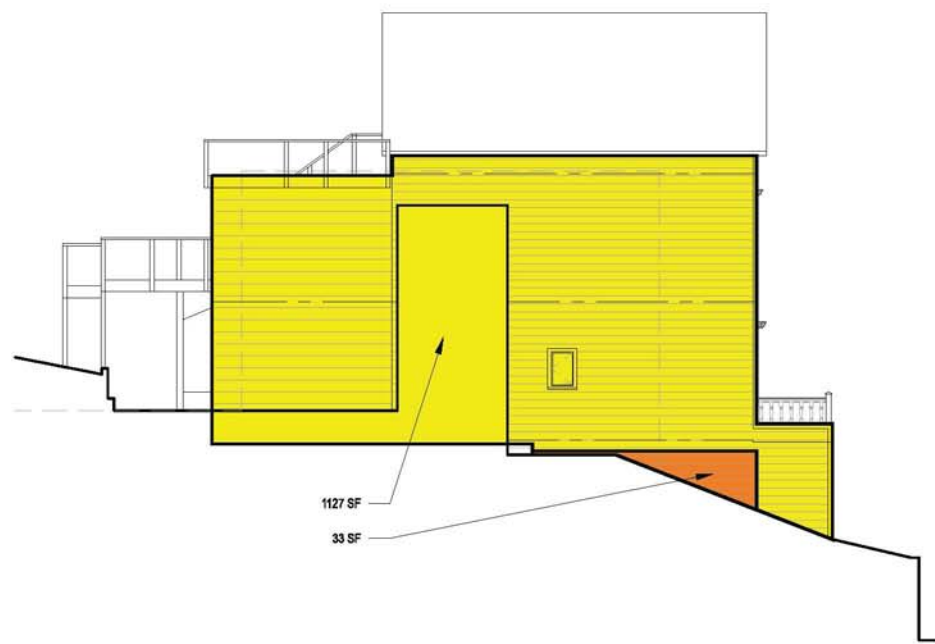
DATE:
11.04.2014

REVISION:

SHEET TITLE:
PHOTOGRAPHS:
NEIGHBORS

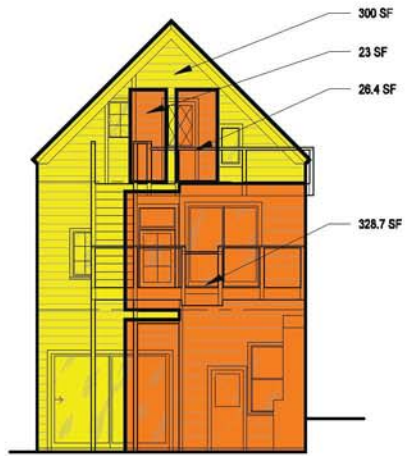
SHEET NUMBER:

A0.3B



EAST ELEVATION, (E)
SCALE: 1'-0" = 1/8"

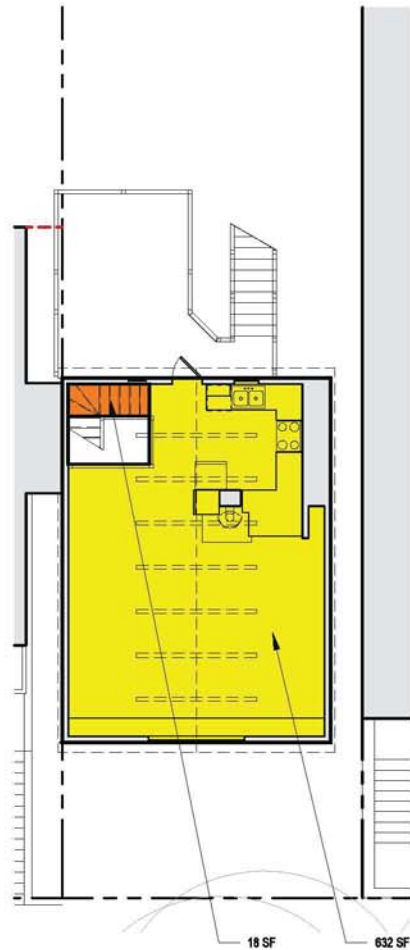
9
-



SOUTH ELEVATION, (E)
SCALE: 1'-0" = 1/8"

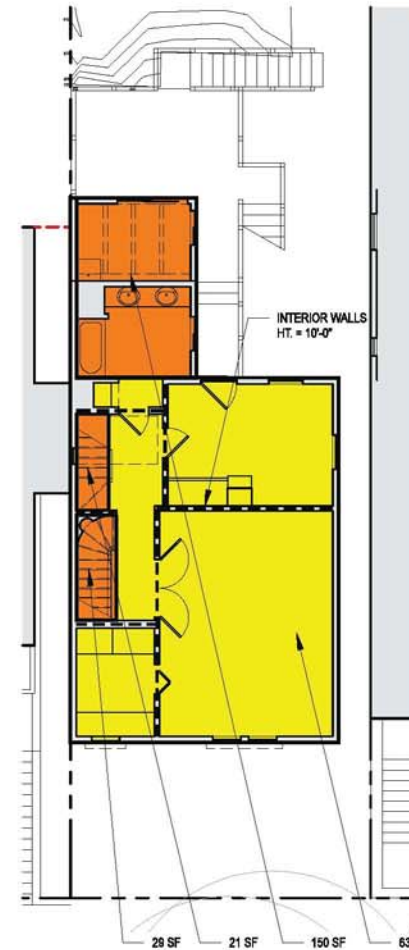
8
-

KEY:
 RETAINED AREA
 REMOVED AREA



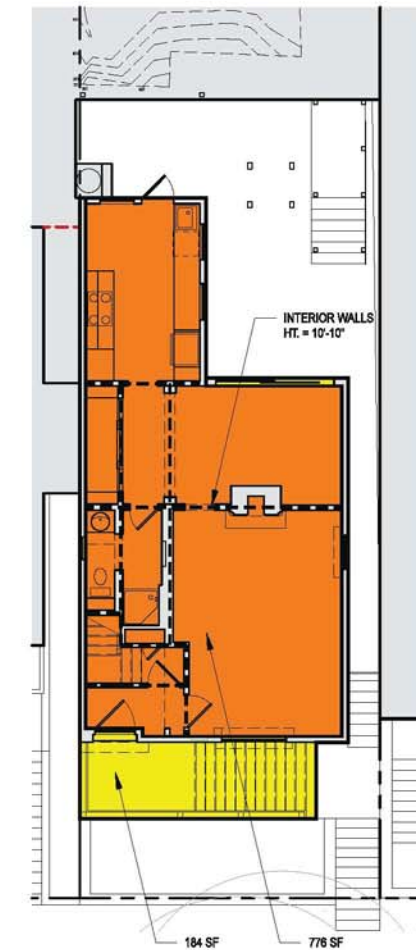
PLAN 3RD FL (L5), (E)
SCALE: 1'-0" = 1/8"

4
-



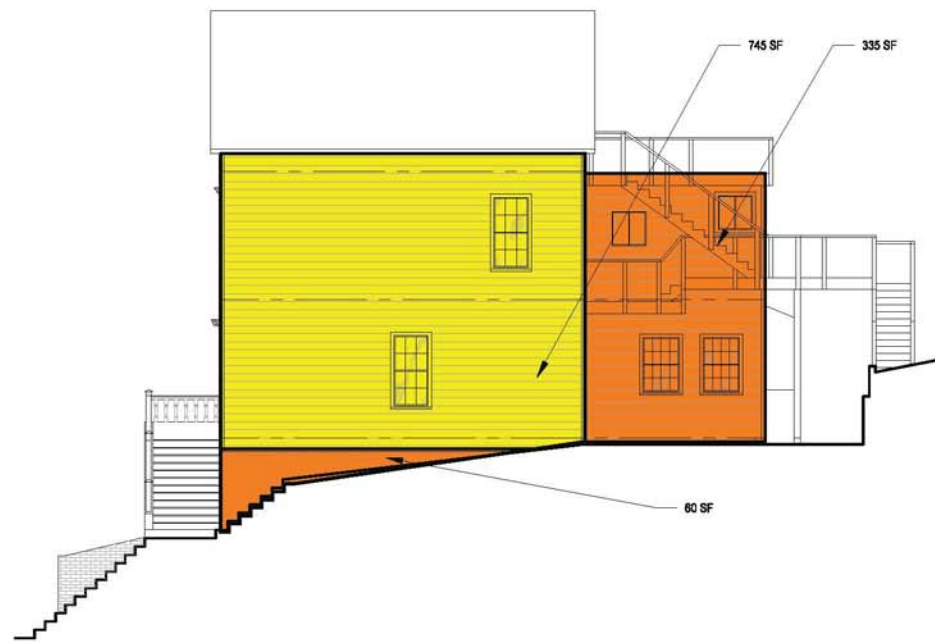
PLAN 2ND FL (L4), (E)
SCALE: 1'-0" = 1/8"

3
-



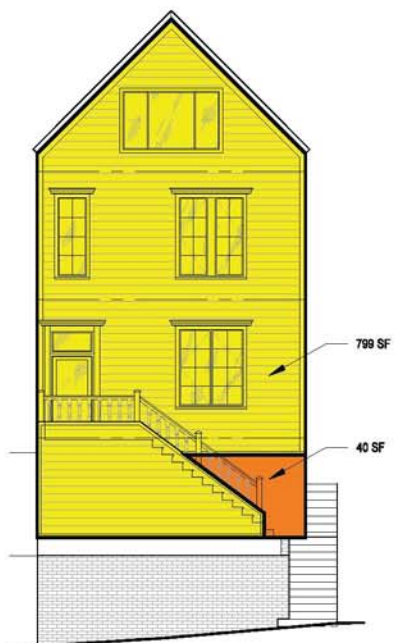
PLAN 1ST FL (L3), (E)
SCALE: 1'-0" = 1/8"

2
-



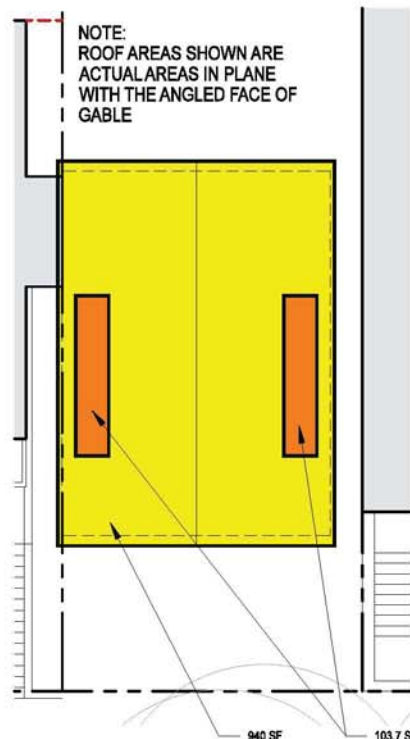
WEST ELEVATION, (E)
SCALE: 1'-0" = 1/8"

7
-



NORTH ELEVATION, (E)
SCALE: 1'-0" = 1/8"

6
-



PLAN 3RD FL (L5), (E)
SCALE: 1'-0" = 1/8"

5
-

NOTE:
ROOF AREAS SHOWN ARE
ACTUAL AREAS IN PLANE
WITH THE ANGLED FACE OF
GABLE

Exterior Walls Facing Public Street, Removal (Limit = 25%):

Element	Total Area	Removed Area	% Removed
North Elevation	838.5	39.7	4.7%

External Walls, Removal &/or Interiorization, (Limit = 50%):

Element	Total Area	Removed Area	% Removed
North Elevation	838.5	39.7	4.7%
South Elevation	676.5	378.05	55.9%
East Elevation	1160	368	31.7%
West Elevation	1138.7	394.2	34.6%
Total:	3813.7	1179.95	30.9%

Exterior Walls, Removal (Limit = 25%):

Element	Total Area	Removed Area	% Removed
North Elevation	838.5	39.7	4.7%
South Elevation	676.5	378.05	55.9%
East Elevation	1160	33	2.8%
West Elevation	1138.7	394.2	34.6%
Total:	3813.7	844.95	22.2%

Internal Structural Walls and Floorplates, Removal (Limit = 75%):

Element	Total Area	Removed Area	% Removed
1st Floor Walls	1067.04	1067.04	100.0%
1st Floor Plate	960	776	80.8%
2nd Floor Walls	720.5	720.5	100.0%
2nd Floor Plate	836	200.5	24%
3rd Floor Walls	0	0	0%
3rd Floor Plate	650.4	18	3%
Roof	1043	103.7	10%
Total:	5276.94	2885.74	54.7%

ARTICLE 10 DEMOLITION CALCULATIONS

1
-

Pre-Application Meeting Sign-in Sheet

Meeting Date: 3/25/2014
Meeting Time: 6pm
Meeting Address: 3751 20th Street, San Francisco, CA 94110
Project Address: 3751 20th Street, San Francisco, CA 94110
Property Owner Name: Justin McBaine
Project Sponsor/Representative: Shane Curnyn, Matarozzi Pelsinger Design + Build

Please print your name below, state your address and/or affiliation with a neighborhood group, and provide your phone number. Providing your name below does not represent support or opposition to the project; it is for documentation purposes only.

Table with 5 columns: NAME/ORGANIZATION, ADDRESS, PHONE #, EMAIL, SEND PLANS. Contains handwritten entries for Lindsay Kehaven, Virginia McKnight, Ingrid Eggers, and Pam Goode.

Summary of discussion from the Pre-Application Meeting

Meeting Date: 3/25/2014
Meeting Time: 6:00pm
Meeting Address: 3751 20th St., San Francisco, CA 94110
Project Address: 3751 20th St., San Francisco, CA 94110
Property Owner Name: Justin McBaine
Project Sponsor/Representative: Shane Curnyn, Matarozzi Pelsinger Design + Build

Please summarize the questions/comments and your response from the Pre-Application meeting in the space below. Please state if/how the project has been modified in response to any concerns.

Question/Concern #1 by (name of concerned neighbor/neighborhood group): Ingrid Eggers (3749 20th St.): The construction phase of the project will negatively affect my Airbnb business.

Project Sponsor Response: We intend to do everything within our power to mitigate the effect of construction on 3749. If there are specific concerns, please let us know so we can address them together.

Question/Concern #2: Ingrid Eggers (3749 20th St.): The rear addition seems larger than what Planning would allow given the fact that my unit is at the rear of our lot.

Project Sponsor Response: We have met with Planning twice and have confirmed our required rear yard and two-story Pop-Out dimensions. Pushing the Pop-Out to the west will require a variance, but we are prepared to pursue this in order to provide 3749 with a more generous connection to the mid-block open space.

Question/Concern #3:

Project Sponsor Response:

Question/Concern #4:

Project Sponsor Response:

Affidavit of Conducting a Pre-Application Meeting, Sign-in Sheet and Issues/Responses submittal

I, Justin McBaine, do hereby declare as follows:

- 1. I have conducted a Pre-Application Meeting for the proposed new construction or alteration prior to submitting any entitlement (Building Permit, Variance, Conditional Use, etc.) in accordance with Planning Commission Pre-Application Policy.
2. The meeting was conducted at 3751 20th Street, San Francisco, CA 94110 (location/address) on 3/25/2014 (date) from 6pm-7pm (time).
3. I have included the mailing list, meeting initiation, sign-in sheet, issue/response summary, and reduced plans with the entitlement Application. I understand that I am responsible for the accuracy of this information and that erroneous information may lead to suspension or revocation of the permit.
4. I have prepared these materials in good faith and to the best of my ability.

I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct.

EXECUTED ON THIS DAY, 3/25, 2014 IN SAN FRANCISCO.

Signature of Justin McBaine

Justin McBaine
Name (type or print)

Owner
Relationship to Project (e.g. Owner, Agent)
3751 20th Street, San Francisco, CA 94110
Project Address

PROJECT TITLE:
3751 / 3753 20th STREET

3751 20TH STREET
SAN FRANCISCO, CA, 94110

JOB:
13045.70

ISSUE:
SITE PERMIT

DATE:
03.18.2015

REVISION:

SHEET TITLE:
PLANNING PRE-APPLICATION MEETING INFO

SHEET NUMBER:

A0.5

MEMORANDUM

DATE: March 5, 2015
 TO: Justin McBaine (Homeowner)
 Shane Curryn (Architect, Matarozzi Pelsinger Builders)
 FROM: Larry Wong, SE (L Wong Engineering Inc.)
 PROJECT: 3751 20th Street, Structural Schematic Narrative

Overall Project Description

The existing building located at 3751 20th Street is a 3-story, 2-unit, wood-framed residence situated on the south side of 20th Street and on a lot that slopes up from street level towards the rear. The front entry to the existing first floor is approximately 16 feet higher than the elevation of the sidewalk, with access to the entry provided by a set of concrete stairs. The footprint of the existing building, including the rear deck, is approximately 22 feet wide by 53 ft long.

The proposed remodel requiring substantial structural modifications includes a 2-story excavation below the existing first floor (1 garage level and 1 habitable level), a 3-story rear addition extending approximately 12 feet beyond the existing rear deck, excavation for a new yard, and a seismic upgrade to the entire structure per the current San Francisco Building Code.

The neighboring structure to the east is a 2-story, wood-framed, single-family house with a partial basement garage. The elevation of the existing first floor is approximately the same as the first floor of the subject building.

The neighboring structure to the west is a 5-story, wood-framed, single-family house. It appears that the building underwent a major renovation circa 2001, in which two subterranean levels (1 garage level and 1 habitable level) were excavated and added under the existing 3-story structure at that time. The new garage level extends back approximately 40 feet from the sidewalk, and Level 2 extends as far back as to match the existing rear facade. The proposed garage level of the subject building will match approximately the garage level of the west neighboring building.

Proposed Structural System

The proposed gravity framing system for the structure is as follows:

- **Level 1 (Garage/Street Level):** A 14-inch reinforced concrete mat slab laying over moisture barrier, drain rocks, and compacted subgrade or native soil.

- **Level 2:** Concrete-filled metal deck (5-inch total depth) supported by a series of 12-inch deep steel beams spanning in the east-west direction between side retaining walls. The retaining walls along the property lines will consist of 12-inch reinforced concrete walls.
- **Level 3:** The existing wood-framed floor will be replaced with a concrete-filled metal deck (5-inch total depth) supported by a series of 12-inch deep steel beams spanning in the east-west direction between side retaining walls. The retaining walls along the property lines will consist of 12-inch reinforced concrete walls.
- **Level 4:** The existing wood joist framing will remain largely intact, with localized structural modifications and strengthening where required by the architectural floor plans. The floor framing of the new addition will consist of conventional wood framing.
- **Level 5:** The existing wood joist framing will remain largely intact, with localized structural modifications and strengthening where required by the architectural floor plans. The roof over the addition, which will serve as a roof deck, will consist of conventional wood framing.
- **Roof:** The existing wood joist framing will remain largely intact.

The proposed lateral-force-resisting system for the structure is as follows:

- **Level 1 (Garage/Street Level):** 12-inch reinforced concrete shear walls (also serving as retaining walls) in the north-south direction (Gridlines A & C), and 12-inch reinforced concrete shear walls in the east-west direction (Gridlines 2, 4 & 6).
- **Level 2:** 12-inch reinforced concrete shear walls (also serving as retaining walls) in the north-south direction (Gridlines A & C), and a combination of 12-inch reinforced concrete shear walls (Gridlines 4 & 6) and steel braced frame (Gridline 3) in the east-west direction.
- **Level 3:** Plywood shear walls in the north-south direction (Gridlines A & C), and a combination of plywood shear walls (Gridlines 3, 4 & 5) and steel moment frame (Gridline 6).
- **Level 4:** Plywood shear walls in the north-south direction (Gridlines A & C), and a combination of plywood shear walls (Gridlines 3, 4 & 5) and steel moment frame (Gridline 6).
- **Level 5:** Plywood shear walls in the north-south direction (Gridlines A & C), and a combination of plywood shear walls (Gridlines 3, 4 & 5) and steel moment frame (Gridline 6).

The proposed construction of the rear yard will consist of 16-inch concrete retaining walls on the east, south, and west sides (Gridlines A, D & 9). On the north side, the proposed 12-inch concrete retaining wall at Gridline 6 will also serve as wall bracing for the retaining walls along the east and west sides.

Excavation and Shoring of Soil and Neighboring Structures

In order to construct the proposed Level 1 and Level 2, it is expected that a 2-story deep excavation will occur along the east property line (the entire length of the proposed building) and along the west property line (from the point south of the west neighbor's garage). A shoring scheme was devised to protect adjacent buildings and their foundations during construction. Shoring along the east and west property lines will consist of 18-inch diameter drilled piers with 12-inch deep steel soldier beams embedded in each drilled pier. The piers are estimated to be spaced at 6 feet embedded into bedrock per the recommendations of the geotechnical engineer. This shoring scheme proposed will be installed prior to any excavation of soil for the subterranean levels.

Shoring of Existing Structure (Subject Building)

The shoring of the upper levels of the existing subject building, while the subterranean levels are being constructed, will consist of conventional house shoring techniques. Four lines of steel shoring beams will be placed in the longitudinal direction below the 2nd floor framing (approximately west of Line A, approximately east of Line C, and two interior lines near Line B). If necessary, the 3rd floor and roof framing can also be supported by the same line of steel beams. Steel shoring beams will be supported by conventional "cribbing" towers (consisting of criss-crossed 6x6 lumber) at 4 locations (one at the front of the building, one in the rear yard, and two evenly spaced in the interior of the building). Cribbing towers will be supported by temporary concrete footings. Prior to construction, it is expected that proper shoring drawings will be submitted to SFDDBI for permit application by the shoring engineer.

Please do not hesitate to contact me with any questions regarding this memorandum.

Yours Sincerely,

Larry Wong
 Larry Wong, SE



PROJECT TITLE:
3751 / 3753 20th STREET

3751 20TH STREET
 SAN FRANCISCO, CA, 94110

MATAROZZI PELSINGER
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JOB:
13045.70

ISSUE:
SITE PERMIT

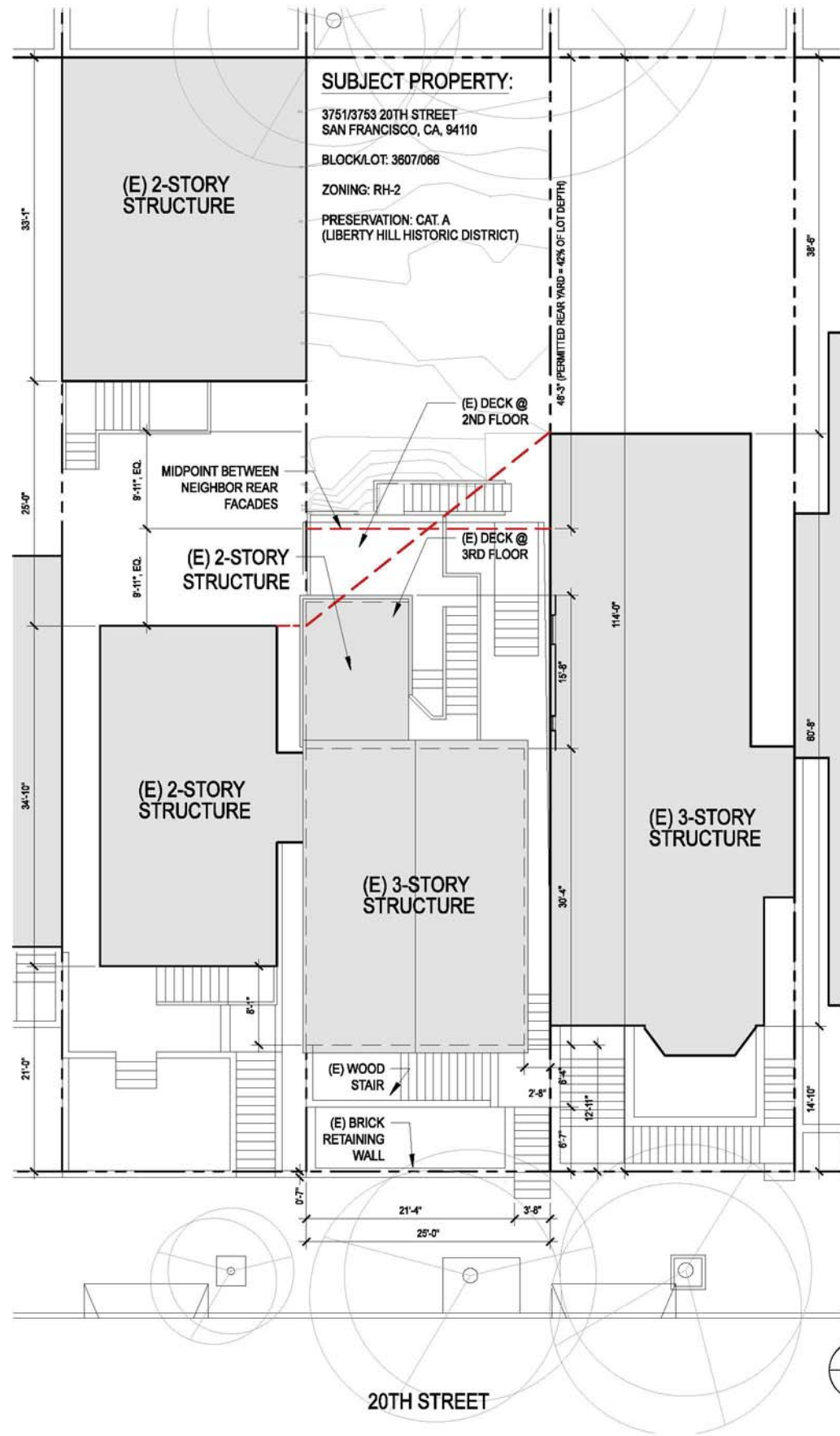
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03.18.2015

REVISION:

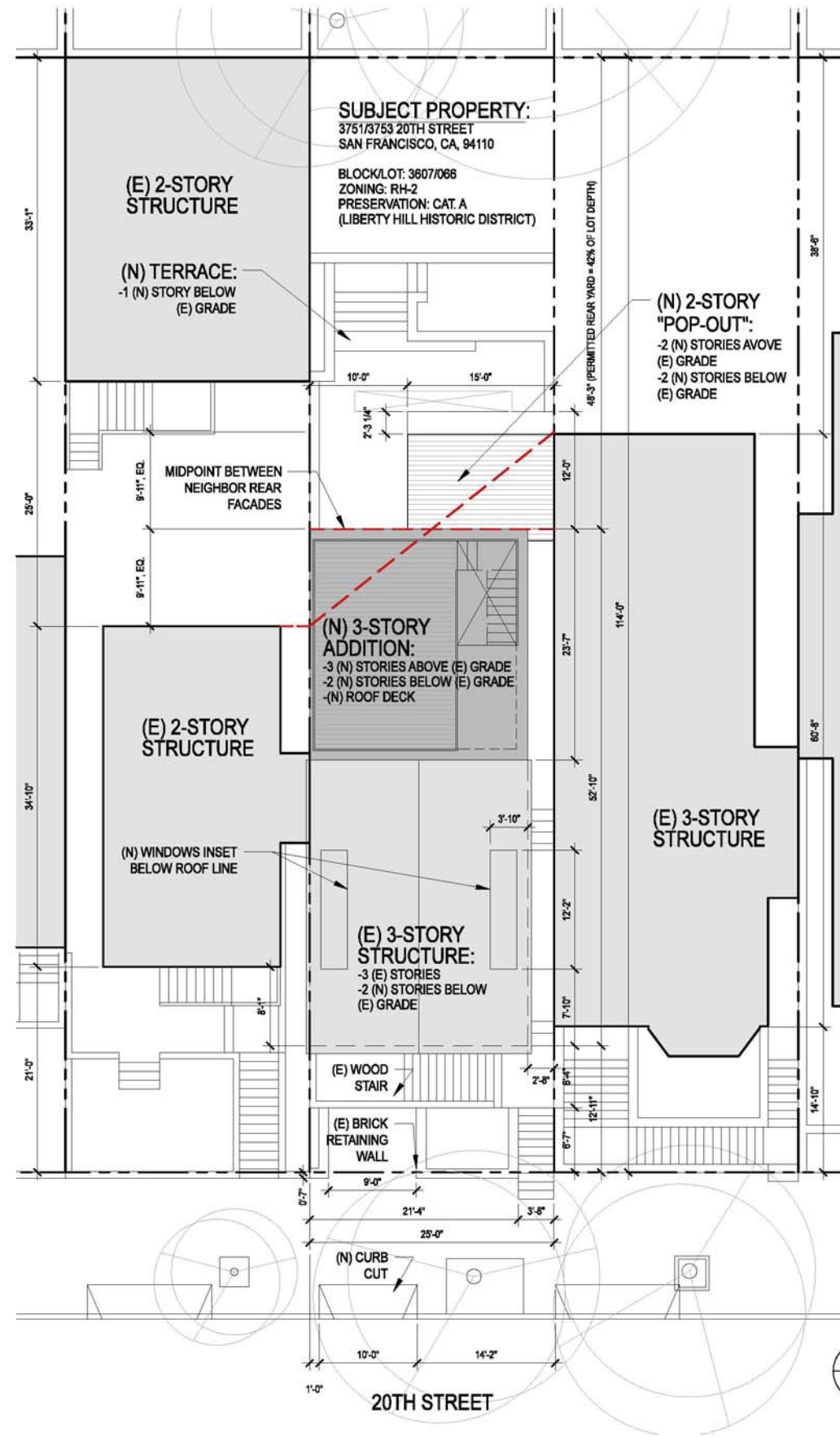
SHEET TITLE:
STRUCTURAL NARRATIVE

SHEET NUMBER:

A0.7



SITE PLAN: EXISTING
 SCALE: 1'-0" = 1/8"



SITE PLAN: PROPOSED
 SCALE: 1'-0" = 1/8"



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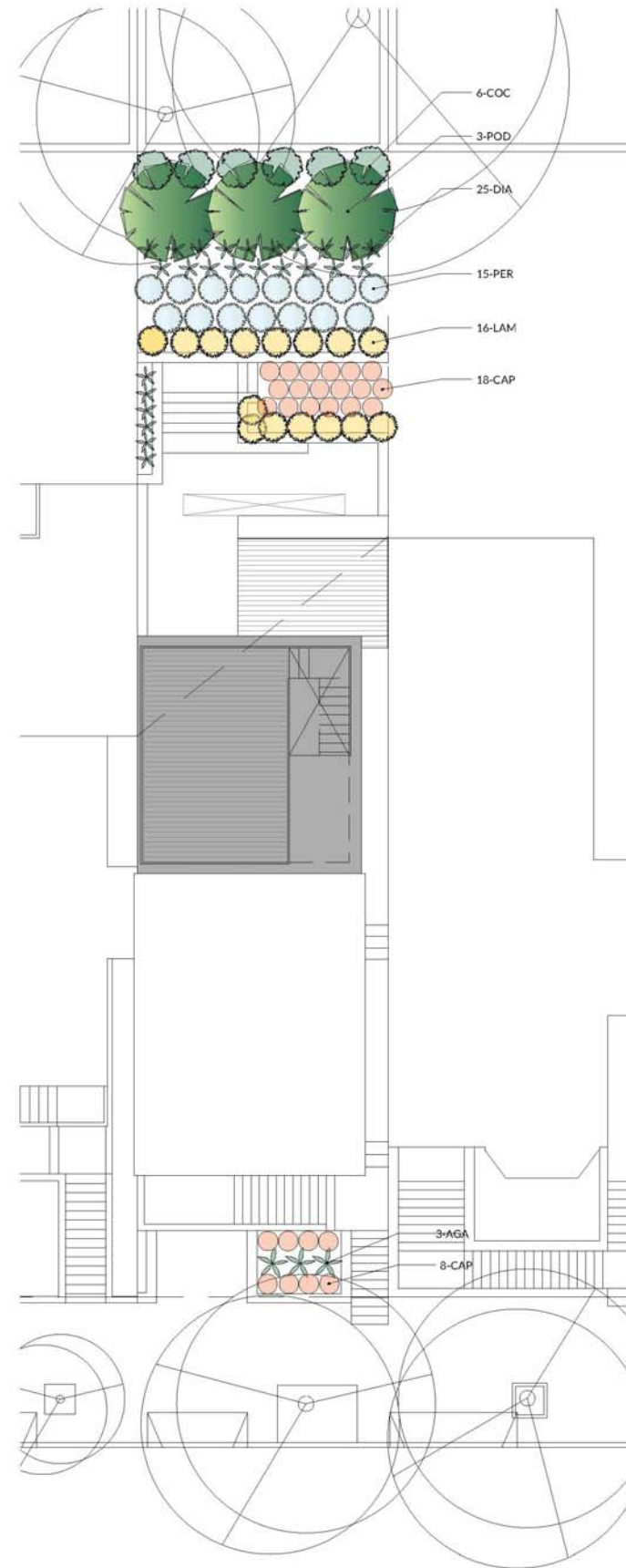
DATE:
 03.18.2015

REVISION:

SHEET TITLE:
 SITE PLAN:
 EXISTING &
 PROPOSED

SHEET NUMBER:

A1.1



1 PLANTING PLAN
Scale: 1/8" = 1'-0"



sun/shade: sun, part shade
size: 5' high 8' wide
water: low, moderate

Fox Tail Agave
Agave attenuata



sun/shade: sun, part shade
size: 6-8" high
water: moderate

California Meadow Sedge
Carex pansa



sun/shade: sun, shade
size: 25' tall
water: high

Pfitter Leaf
Coccoloba laurifolia



sun/shade: sun, part shade
size: 3-4' tall
water: high

Flax Lily
Dianella tasmanica 'Tara'



sun/shade: sun
size: 2' high 3-6' wide
water: low/moderate

Lantana sellowiana
White Trailing Lantana



Russian Sage
Perovskia atriplicifolia



Yew Pine
Podocarpus gracilior

Plant List					
Qty	ID	Botanical Name	Common Name	Scheduled Size	Remarks
Trees					
3	POD	Podocarpus gracilior	Fern Podocarpus	24 Box	0
Shrubs					
6	COC	Coccoloba laurifolia		15 Gal	0
16	LAM	Lantana sellowiana	White Trailing Lantana	5 Gal	0
Perennials					
40	DIA	Dianella tasmanica	Flax Lily	1 Gal	0
15	PER	Perovskia atriplicifolia	Russian Sage	1 Gal	0
Vines					
0				0.0	0
Ornamental Grasses					
26	CAP	Carex pansa	California Meadow Sedge	1 Gal	0
Cacti & Succulents					
3	AGA	Agave attenuata	Fox Tail Agave	1 gal	0

NOT FOR CONSTRUCTION

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LANDSCAPE ARCHITECTS
88 MISSOURI SAN FRANCISCO 94107
T: 415.861.3100 W: arterrasf.com
CA License #3502

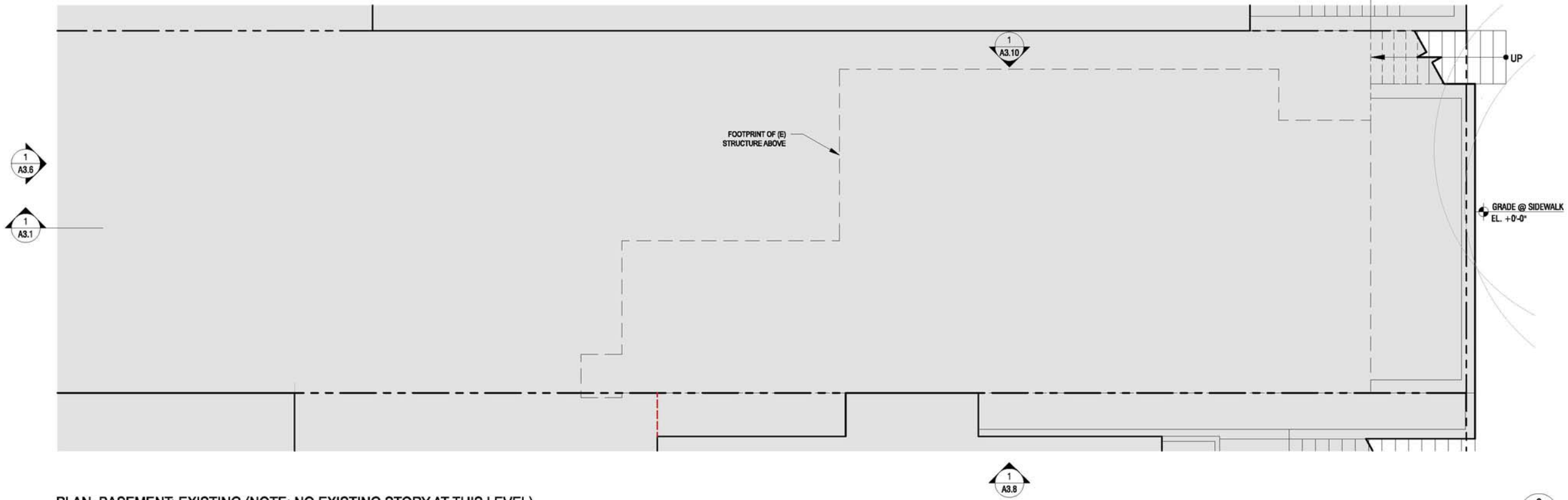
3751 20TH ST.
SAN FRANCISCO, CA 94110

DATE: ISSUE:

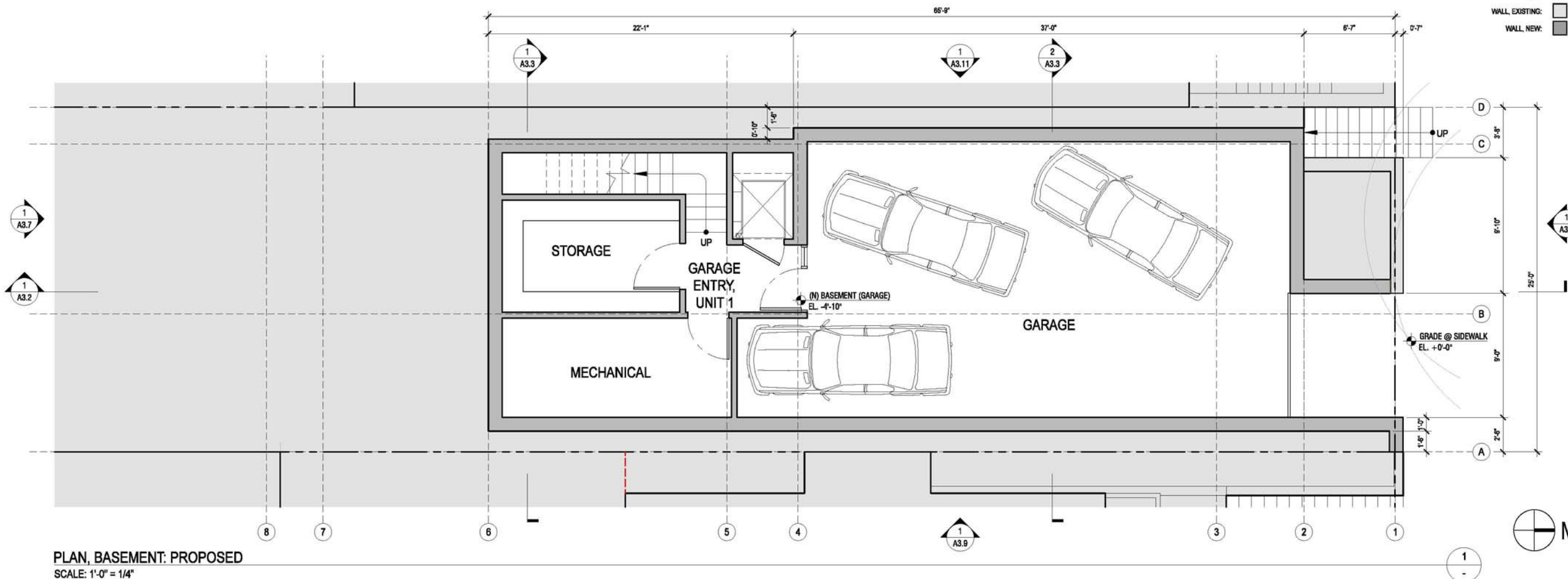
SCALE: 1/8" = 1'-0"

PLANTING PLAN

L3.0



PLAN, BASEMENT: EXISTING (NOTE: NO EXISTING STORY AT THIS LEVEL)
SCALE: 1'-0" = 1/4"



PLAN, BASEMENT: PROPOSED
SCALE: 1'-0" = 1/4"

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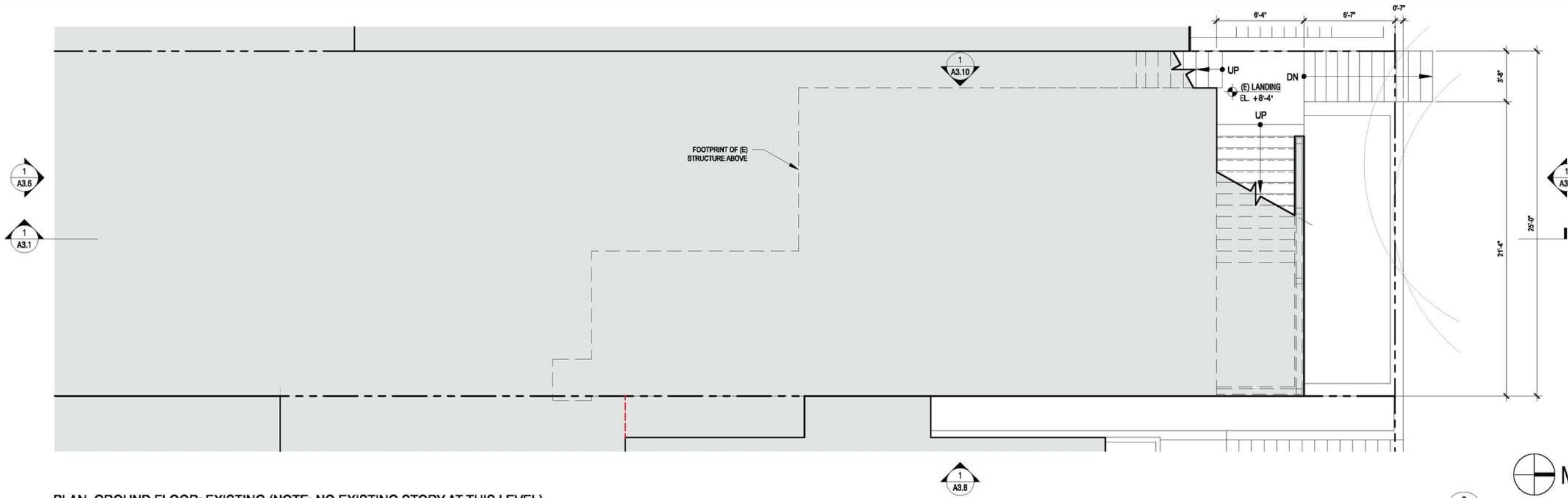
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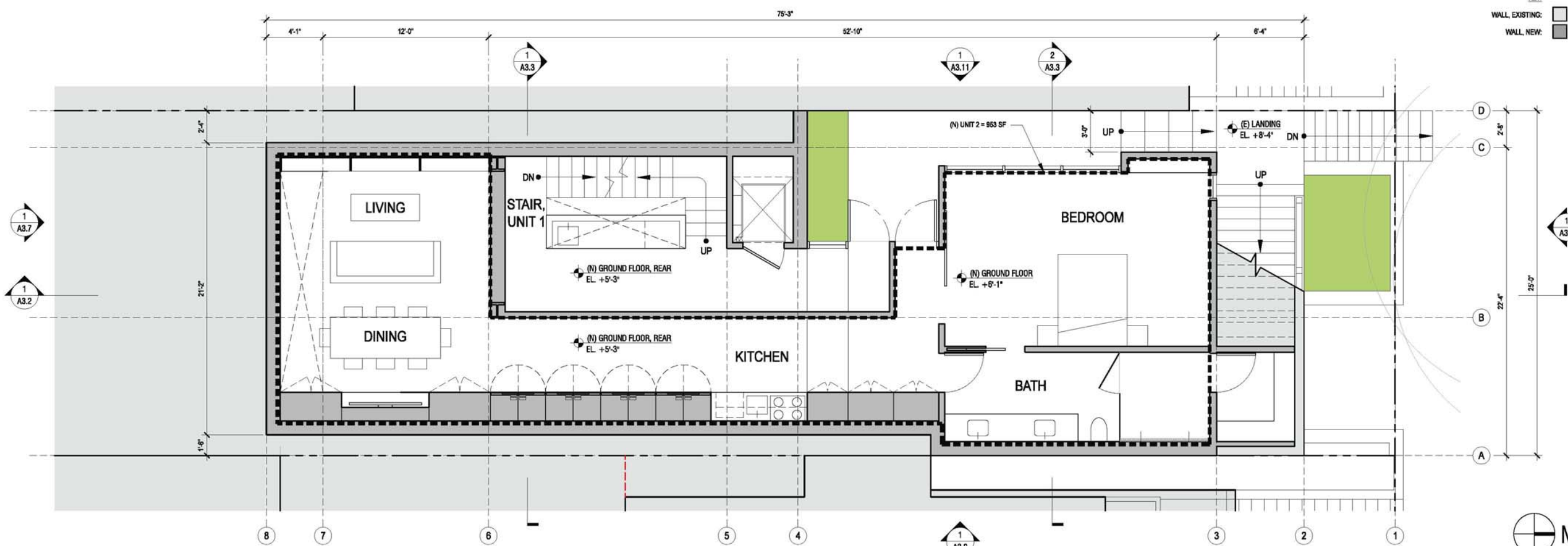
SHEET TITLE:
BASEMENT PLANS:
EXISTING &
PROPOSED

SHEET NUMBER:

A2.1



PLAN, GROUND FLOOR: EXISTING (NOTE: NO EXISTING STORY AT THIS LEVEL)
SCALE: 1'-0" = 1/4"



PLAN, GROUND FLOOR: PROPOSED
SCALE: 1'-0" = 1/4"

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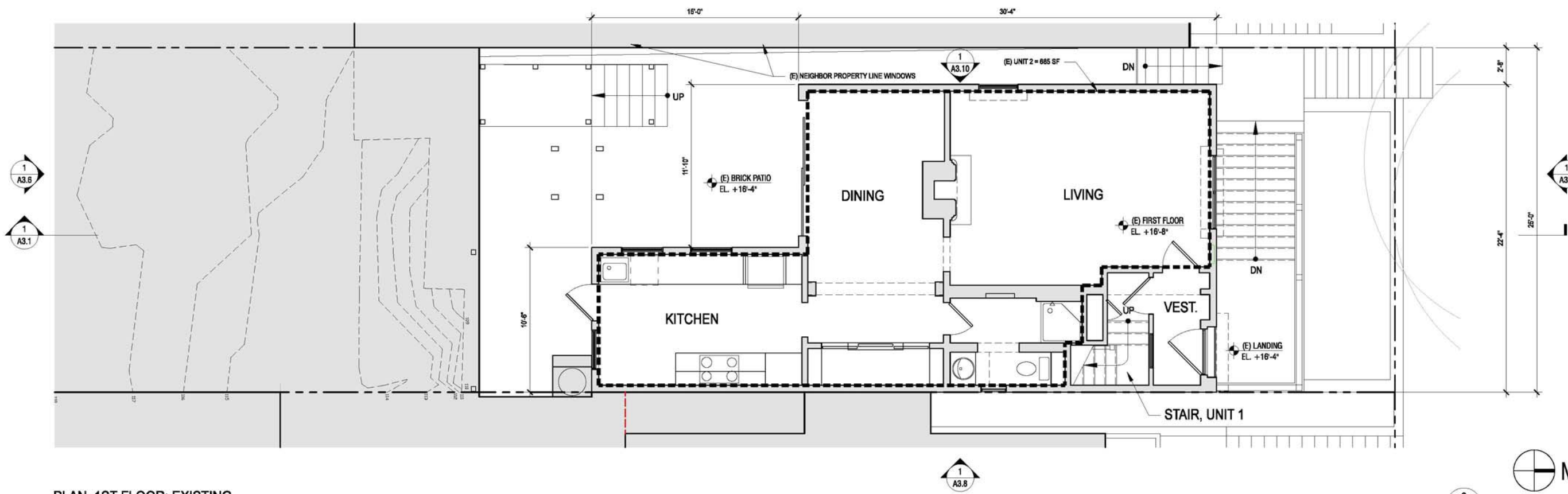
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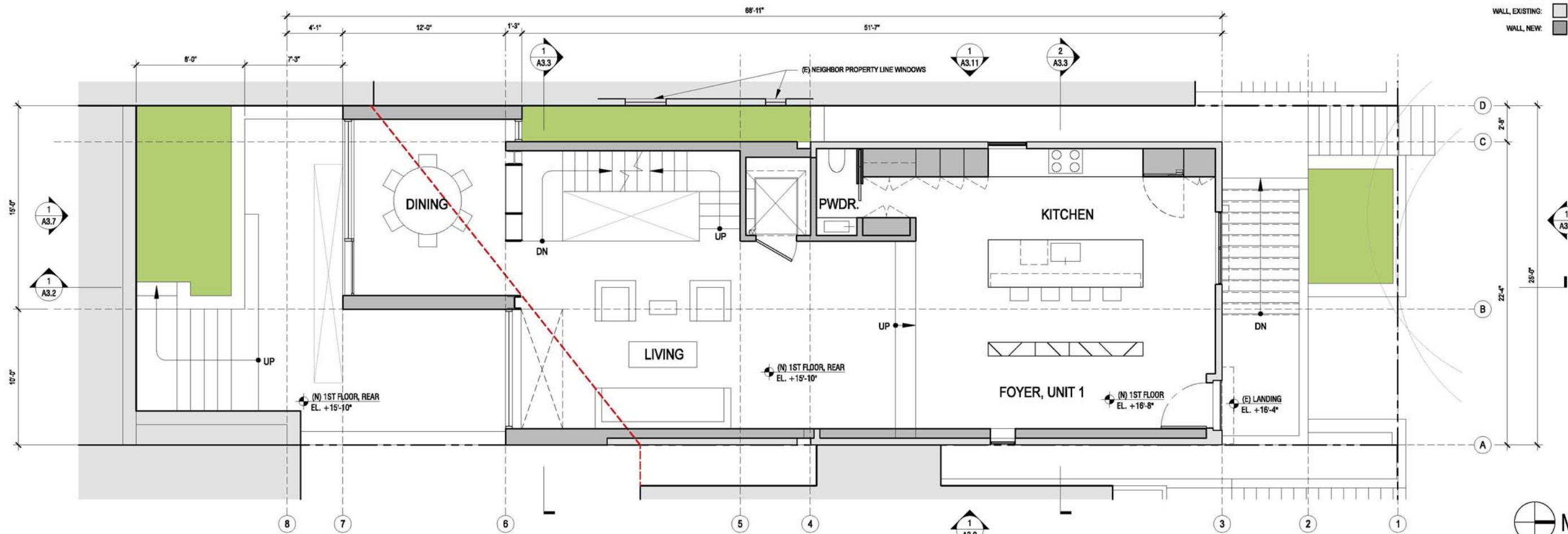
REVISION:

SHEET TITLE:
GROUND FLOOR
PLANS: EXISTING &
PROPOSED

SHEET NUMBER:
A2.2



PLAN, 1ST FLOOR: EXISTING
SCALE: 1'-0" = 1/4"



PLAN, 1ST FLOOR: PROPOSED
SCALE: 1'-0" = 1/4"

KEY:
WALL, EXISTING: [light gray box]
WALL, NEW: [dark gray box]

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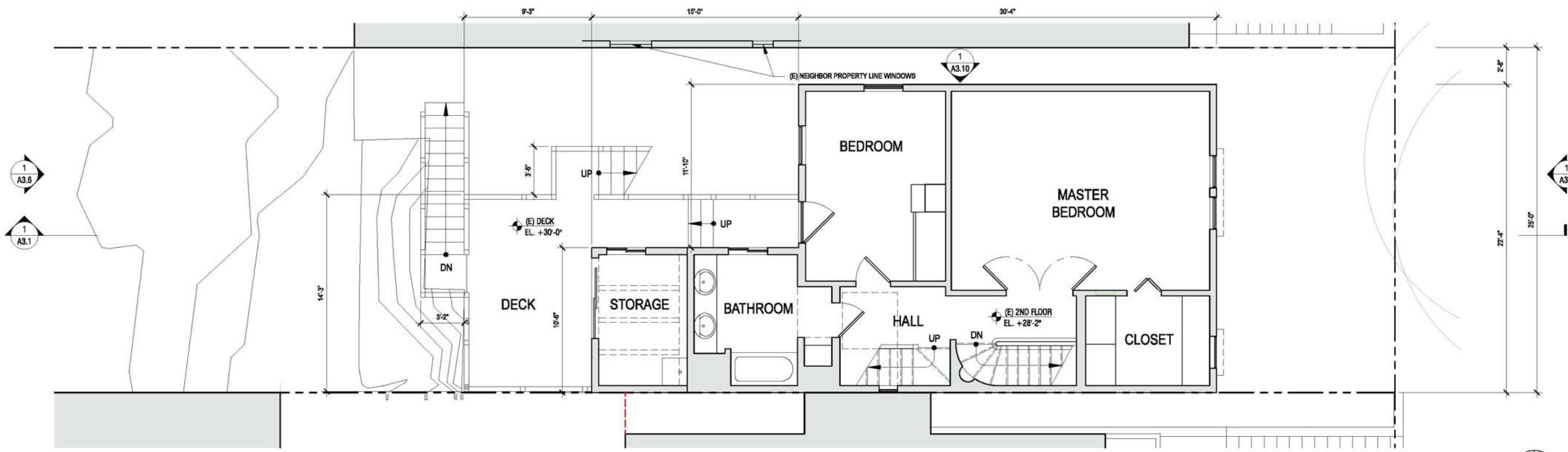
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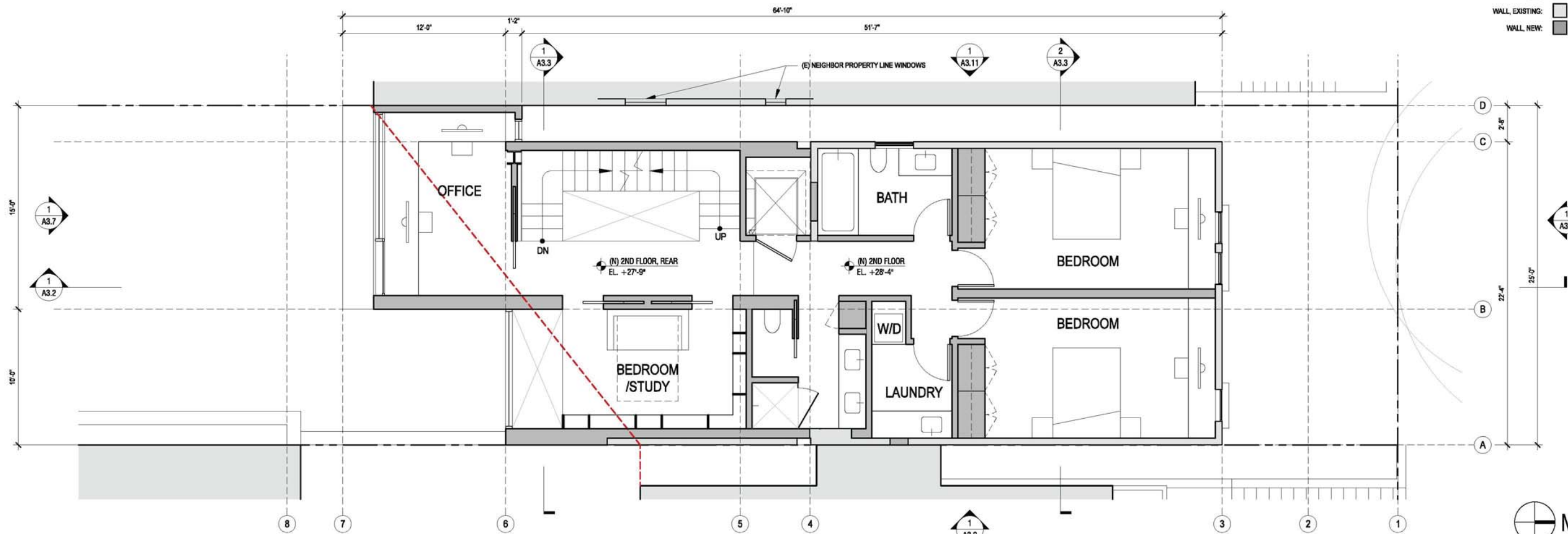
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03.18.2015

REVISION:
SHEET TITLE:
1ST FLOOR PLANS:
EXISTING &
PROPOSED

SHEET NUMBER:
A2.3



PLAN, 2ND FLOOR: EXISTING
SCALE: 1'-0" = 1/4"



PLAN, 2ND FLOOR: PROPOSED
SCALE: 1'-0" = 1/4"

KEY:
WALL, EXISTING: [light gray box]
WALL, NEW: [dark gray box]

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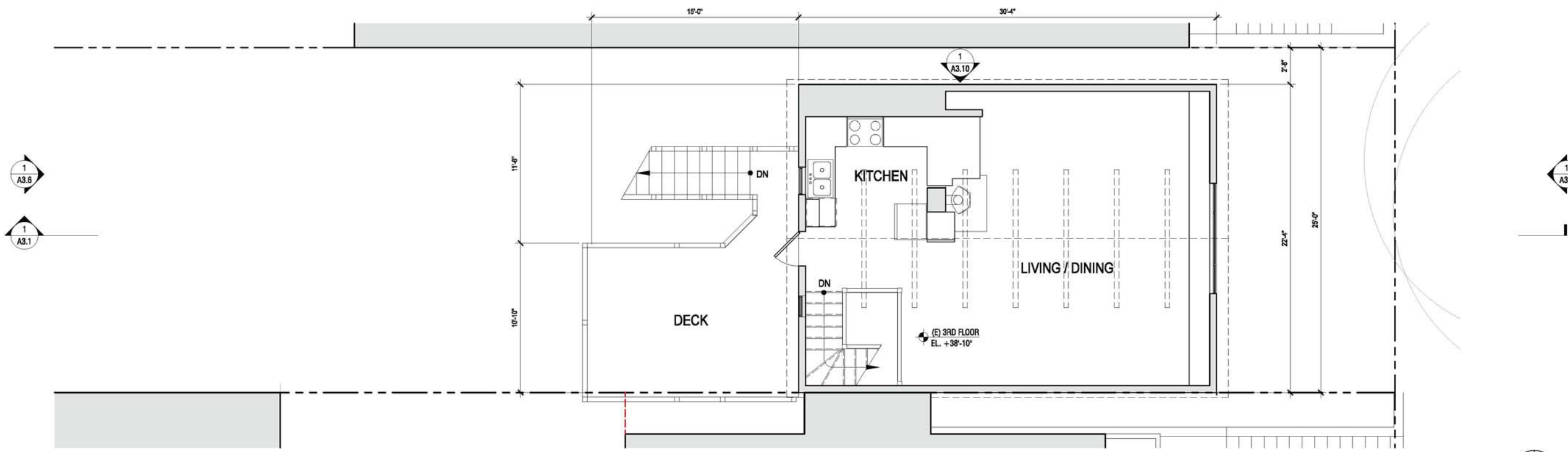
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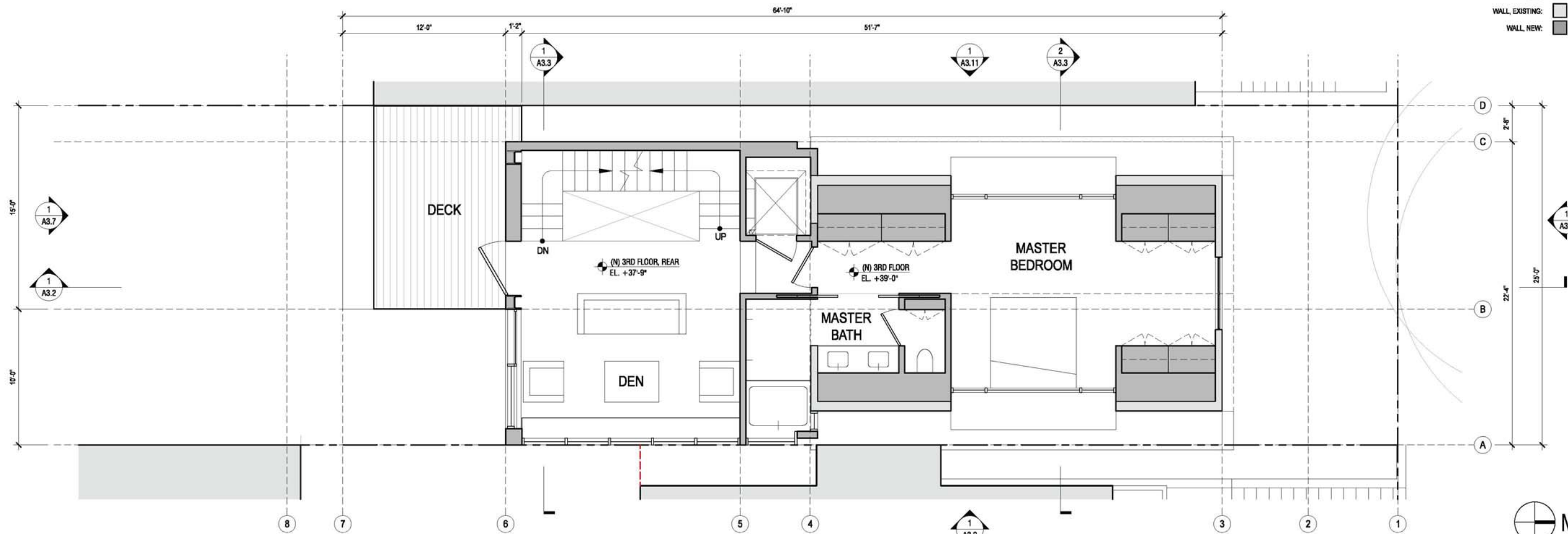
SHEET TITLE:
2ND FLOOR PLANS:
EXISTING &
PROPOSED

SHEET NUMBER:

A2.4



PLAN, 3RD FLOOR: EXISTING
SCALE: 1'-0" = 1/4"



PLAN, 3RD FLOOR: PROPOSED
SCALE: 1'-0" = 1/4"

KEY:
WALL, EXISTING: [light gray box]
WALL, NEW: [dark gray box]

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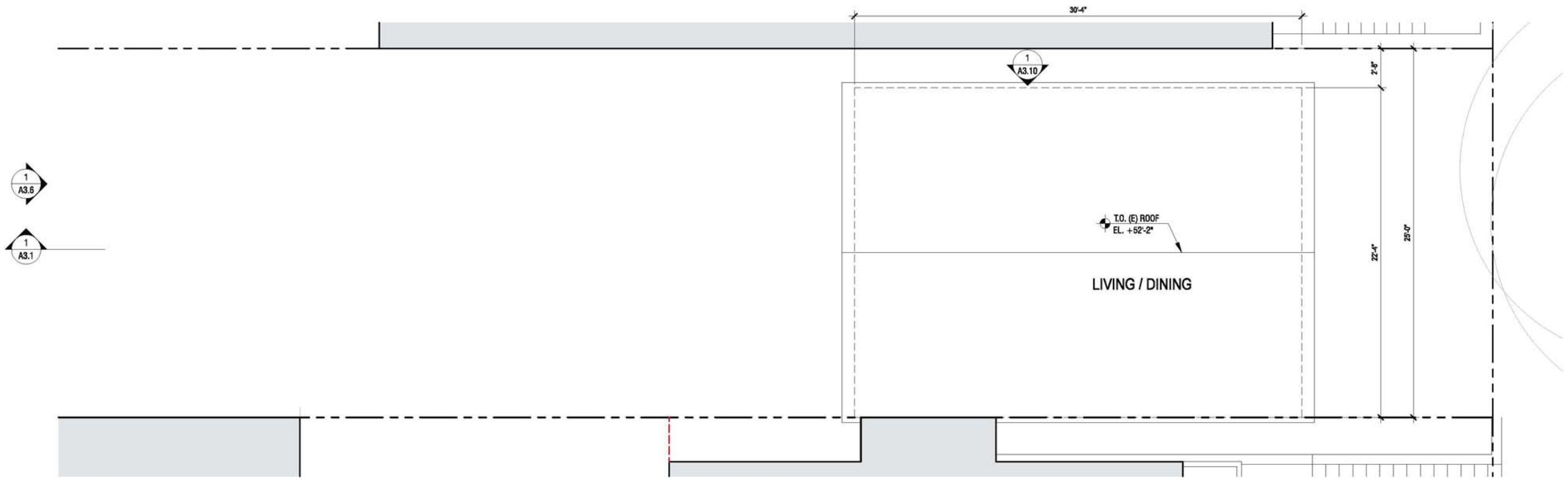
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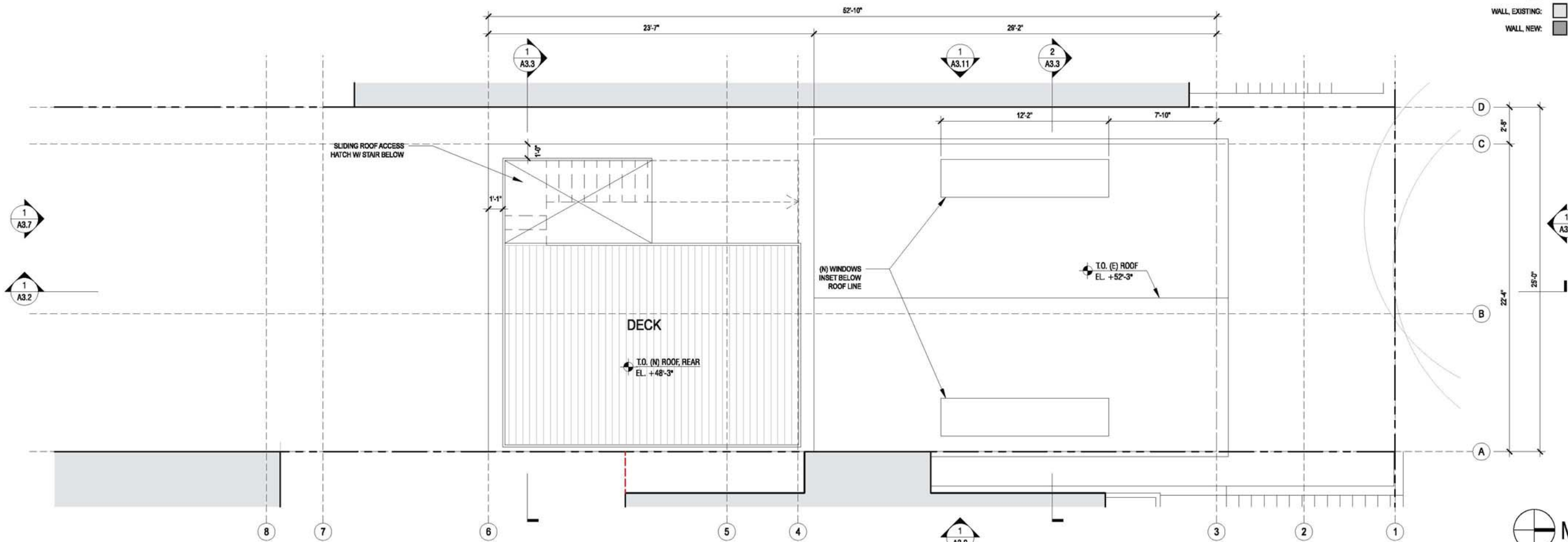
SHEET TITLE:
3RD FLOOR PLANS:
EXISTING &
PROPOSED

SHEET NUMBER:

A2.5



PLAN, ROOF: EXISTING
SCALE: 1'-0" = 1/4"



PLAN, ROOF: PROPOSED
SCALE: 1'-0" = 1/4"

KEY:
WALL, EXISTING: [light gray box]
WALL, NEW: [dark gray box]



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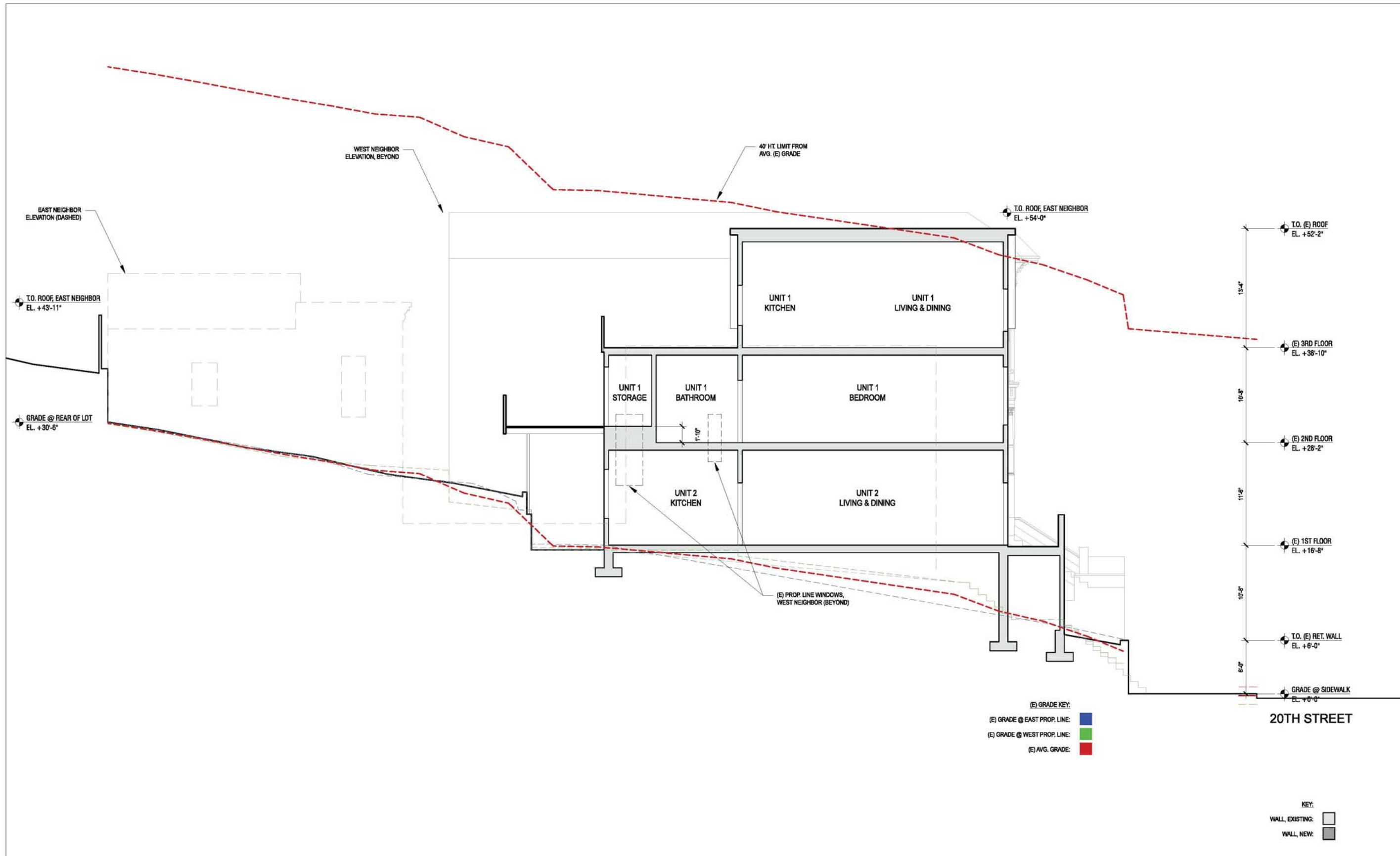
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REVISION:

SHEET TITLE:
ROOF PLANS:
EXISTING &
PROPOSED

SHEET NUMBER:

A2.6



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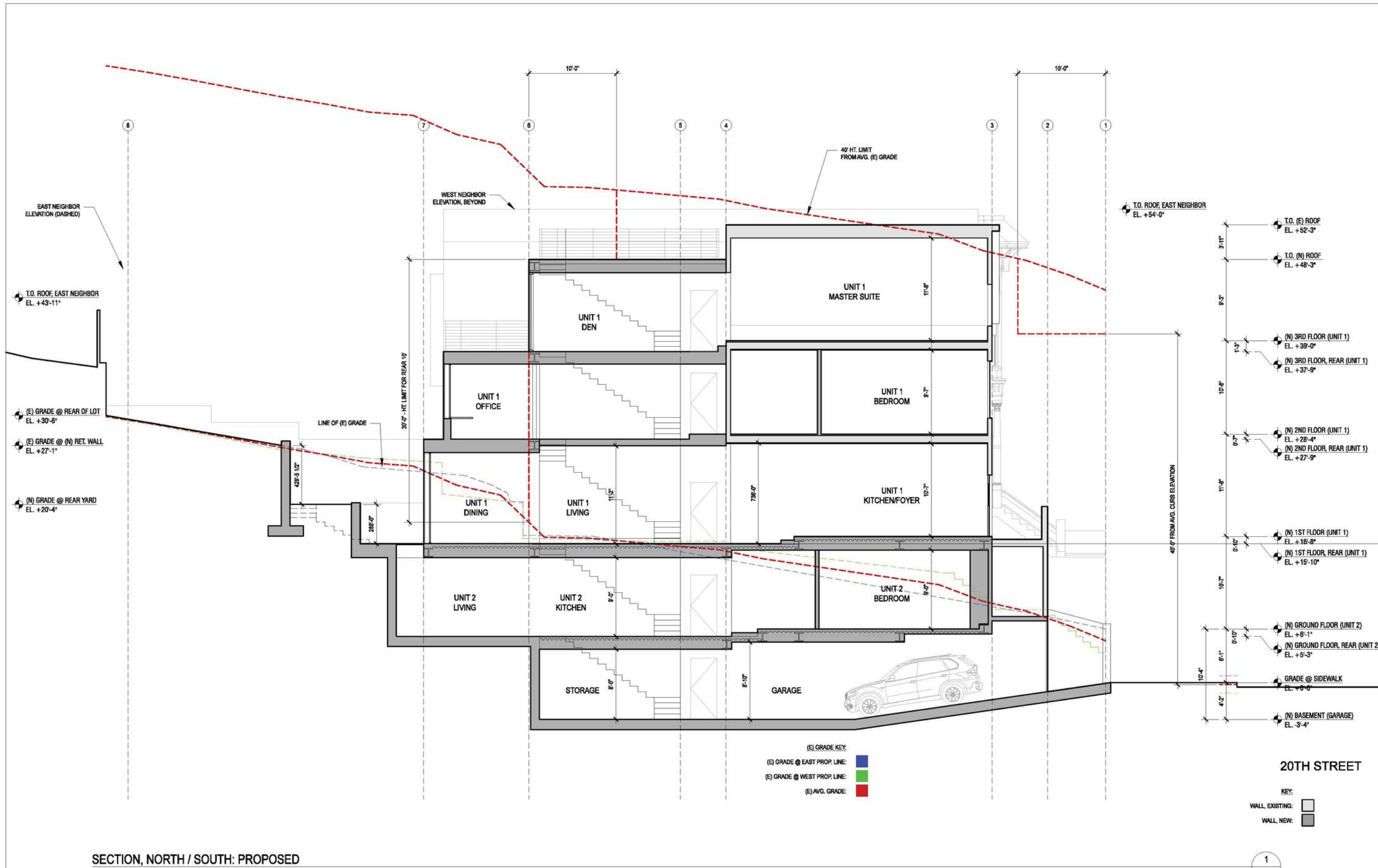
DATE:
 03.18.2015

REVISION:

SHEET TITLE:
 SECTION - NORTH / SOUTH, EXISTING

SHEET NUMBER:
A3.1

3751 20TH STREET
 SAN FRANCISCO, CA, 94110



SECTION, NORTH / SOUTH: PROPOSED
SCALE: 3/16" = 1'-0"

(E) GRADE KEY:
 (E) GRADE @ EAST PROP. LINE: [Blue Box]
 (E) GRADE @ WEST PROP. LINE: [Green Box]
 (E) AVG. GRADE: [Red Box]

KEY:
 WALL, EXISTING: [White Box]
 WALL, NEW: [Grey Box]

1
-

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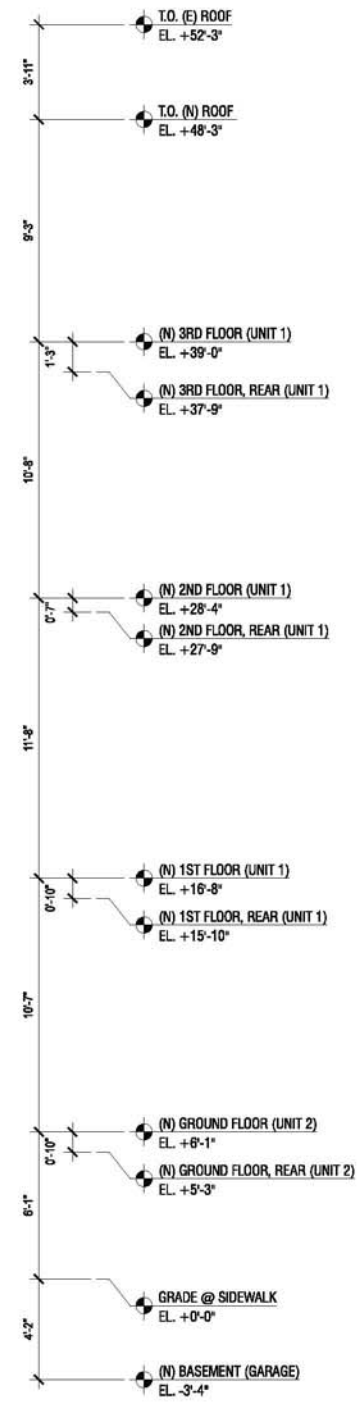
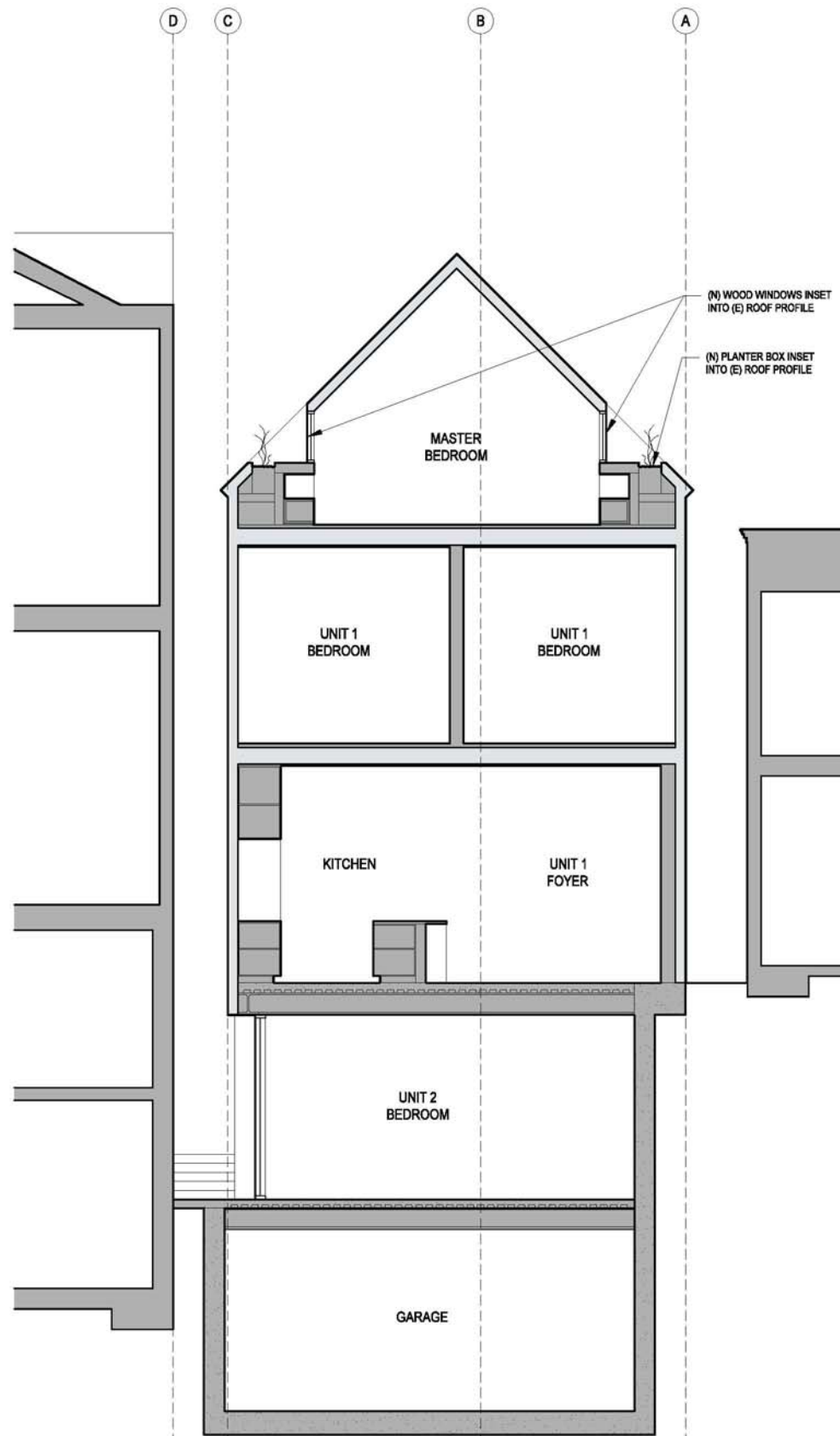
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3751 / 3753 20th STREET
 3751 20TH STREET
 SAN FRANCISCO, CA, 94110

JOB:
 13045.70
 ISSUE:
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DATE:
 03.18.2015

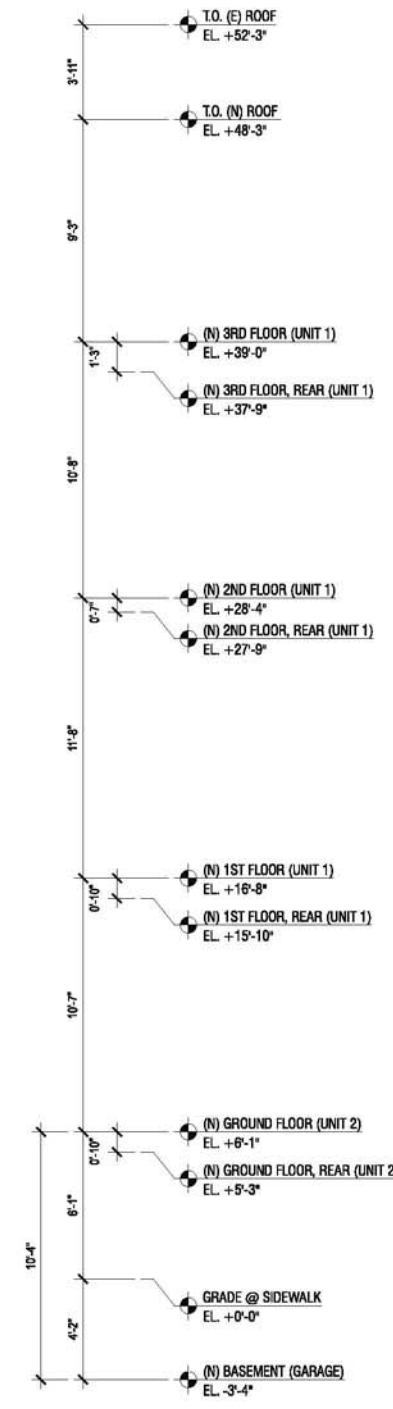
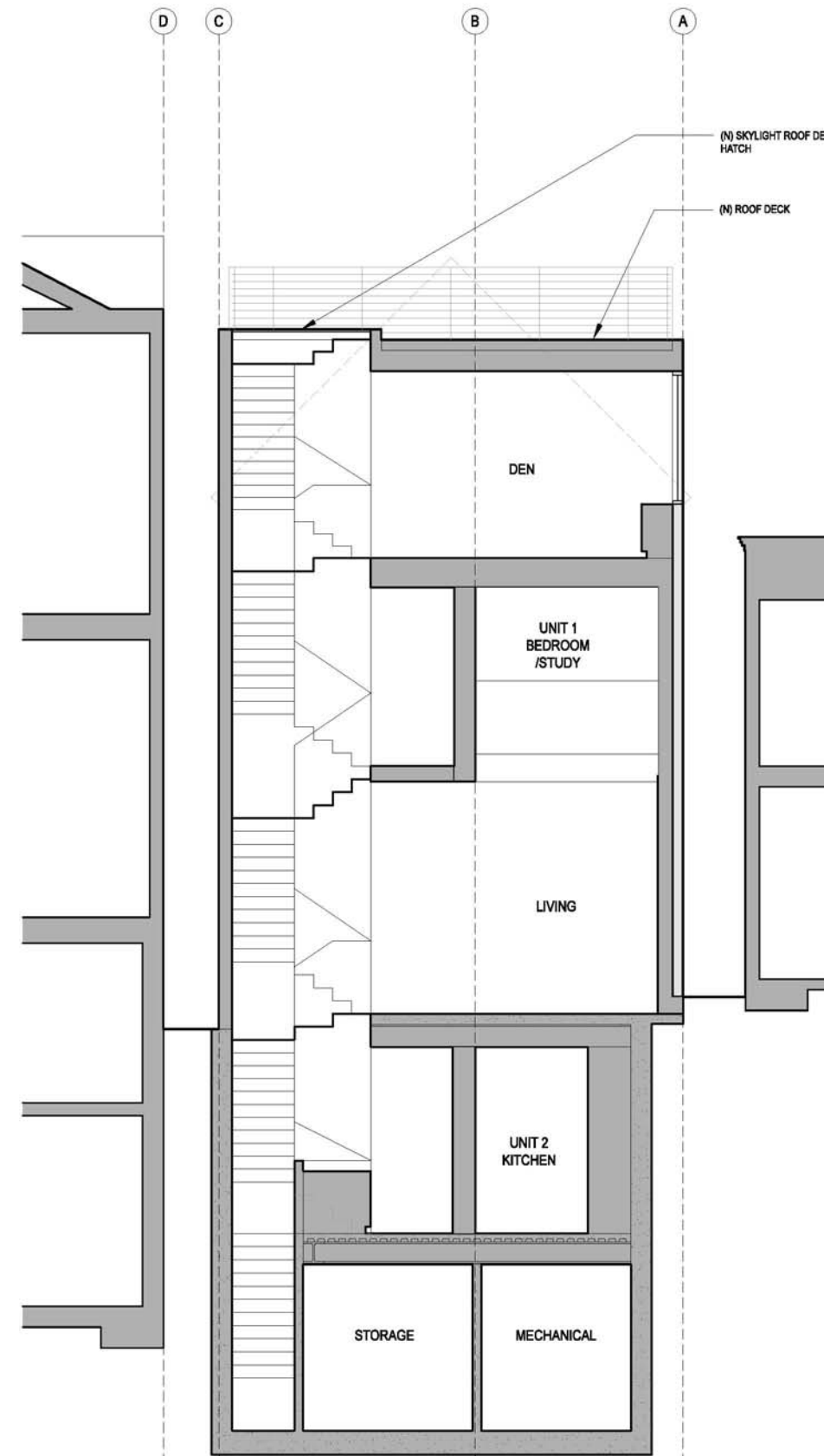
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 SECTION - NORTH / SOUTH, PROPOSED

SHEET NUMBER:
A3.2



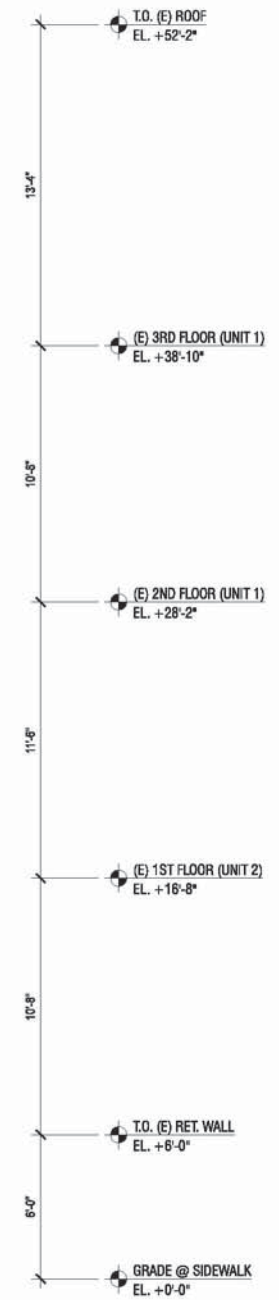
SECTION, EAST/WEST: PROPOSED (FRONT)
SCALE: 1/4" = 1'-0"

2



SECTION, EAST/WEST: PROPOSED (REAR)
SCALE: 1/4" = 1'-0"

1



ELEVATION, NORTH: EXISTING
SCALE: 1/4" = 1'-0"

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SHEET TITLE:
ELEVATION - NORTH, EXISTING

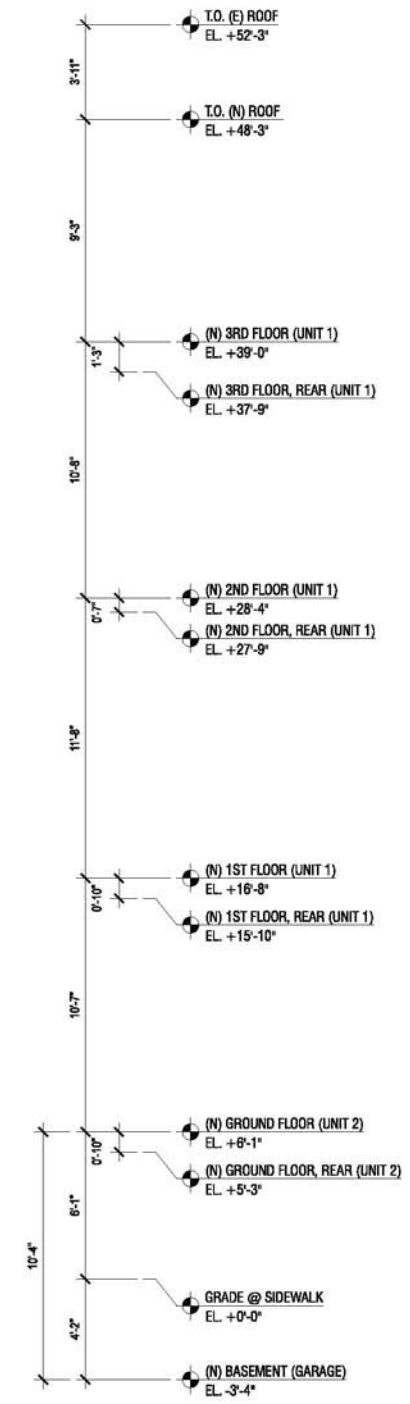
SHEET NUMBER:
A3.4

3751 20TH STREET
SAN FRANCISCO, CA, 94110



- (N) CABLE RAIL GUARDRAIL
- (N) PAINTED WOOD T&G SIDING @ ADDITION, TYP.
- (N) WOOD WINDOW
- (N) WOOD WINDOW
- (E) PAINTED WOOD SHIPLAP SIDING, TYP.
- (E) ORIG WOOD WINDOWS, TYP.

- (N) CONCRETE FOUNDATION WALL
- (E) CONCRETE STAIRS
- (E) BRICK RETAINING WALL
- (N) PAINTED WOOD GARAGE DOOR



1

ELEVATION, NORTH: PROPOSED
SCALE: 1/4" = 1'-0"

PROJECT TITLE:
3751 / 3753 20th STREET

JOB:
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ISSUE:
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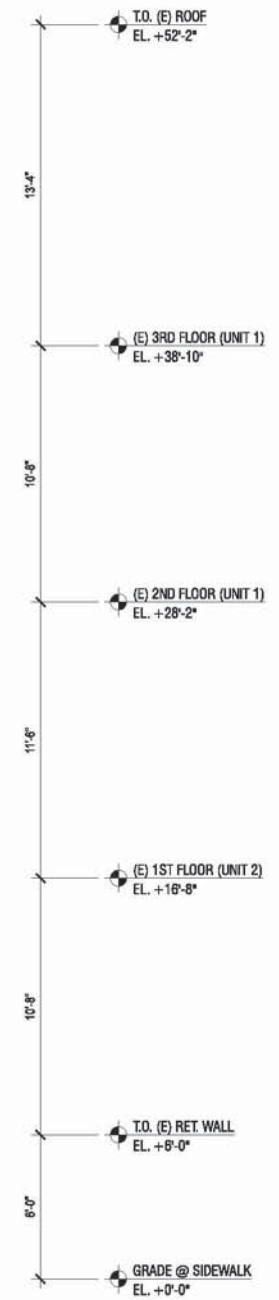
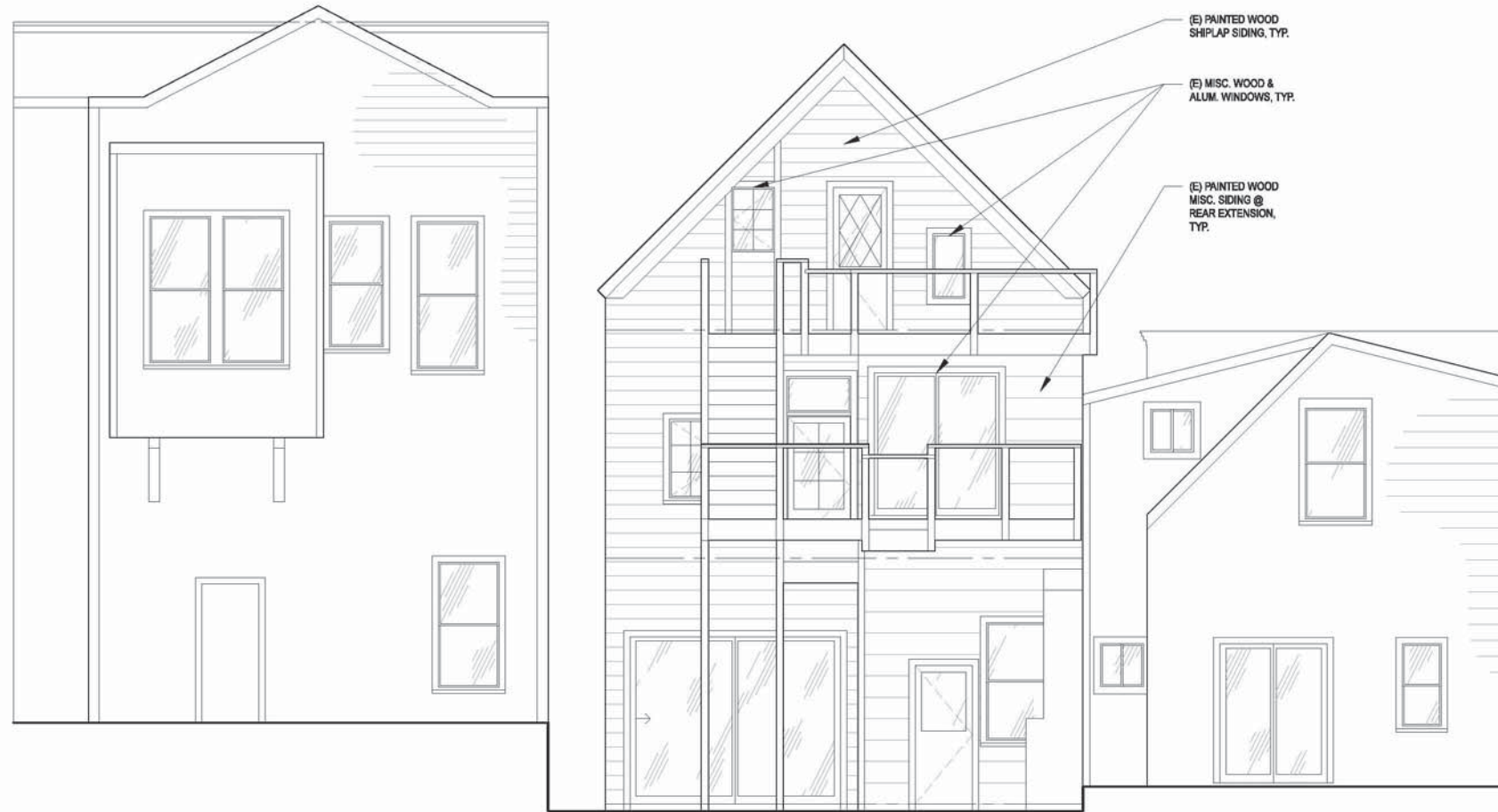
DATE:
03.18.2015

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SHEET TITLE:
ELEVATION - NORTH, PROPOSED

SHEET NUMBER:

A3.5



ELEVATION, SOUTH: EXISTING
SCALE: 1/4" = 1'-0"

1

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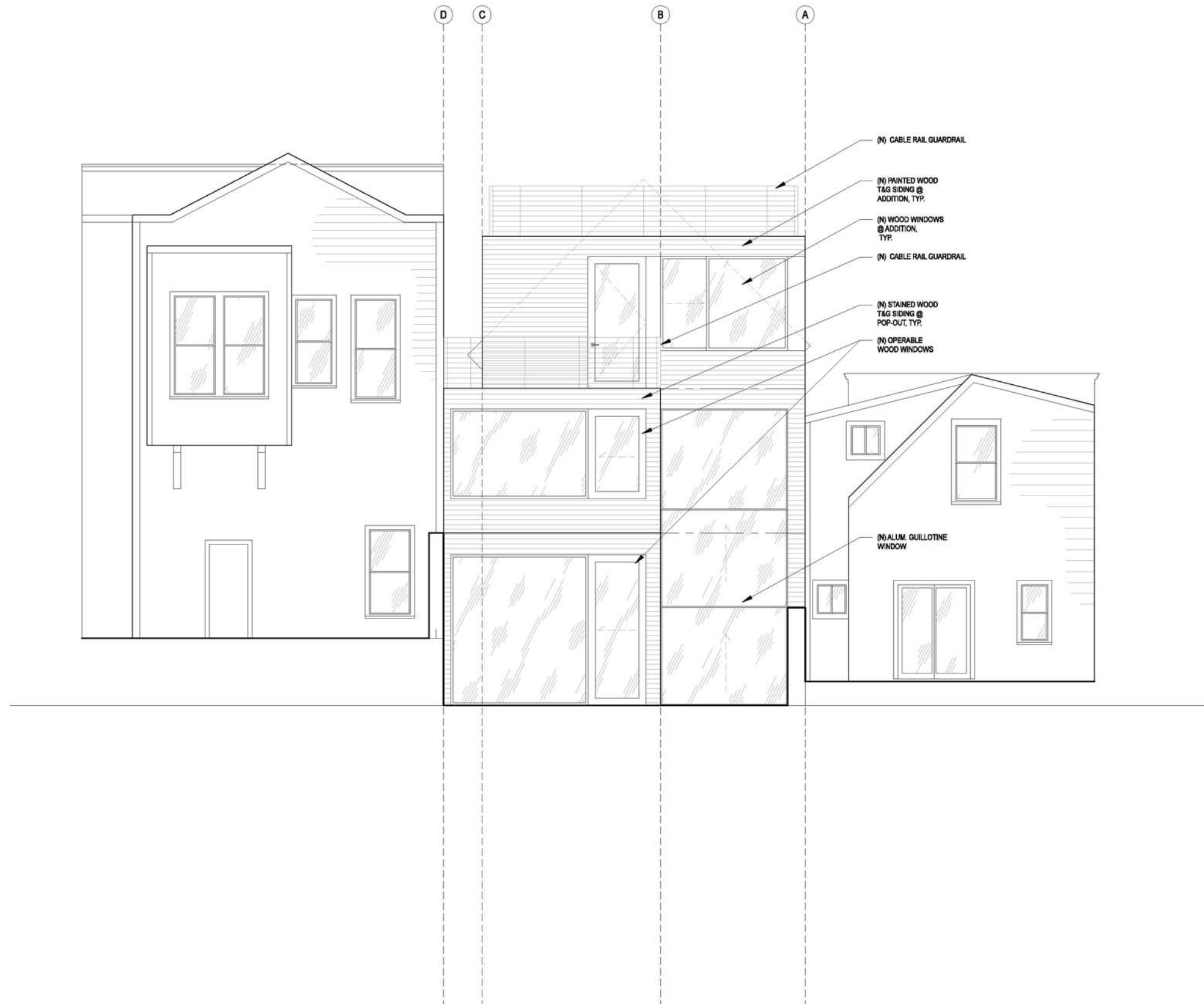
DATE:
03.18.2015

REVISION:

SHEET TITLE:
ELEVATION -
SOUTH,
EXISTING

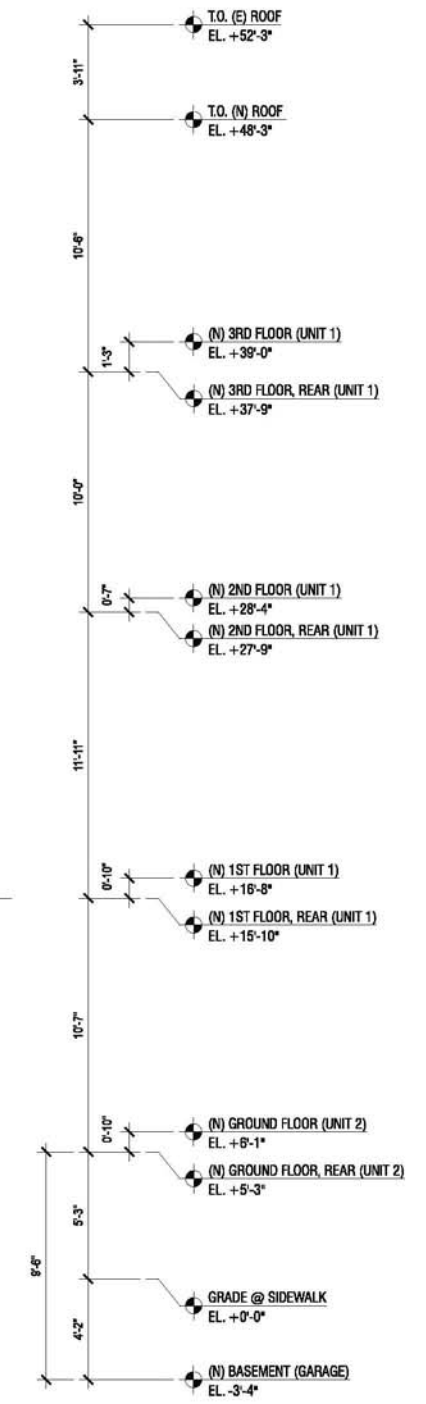
SHEET NUMBER:

A3.6



- (N) CABLE RAIL GUARDRAIL
- (N) PAINTED WOOD T&G SIDING @ ADDITION, TYP.
- (N) WOOD WINDOWS @ ADDITION, TYP.
- (N) CABLE RAIL GUARDRAIL
- (N) STAINED WOOD T&G SIDING @ POP-OUT, TYP.
- (N) OPERABLE WOOD WINDOWS

(N) ALUM. GUILLOTINE WINDOW



ELEVATION, SOUTH: PROPOSED
SCALE: 1/4" = 1'-0"

1

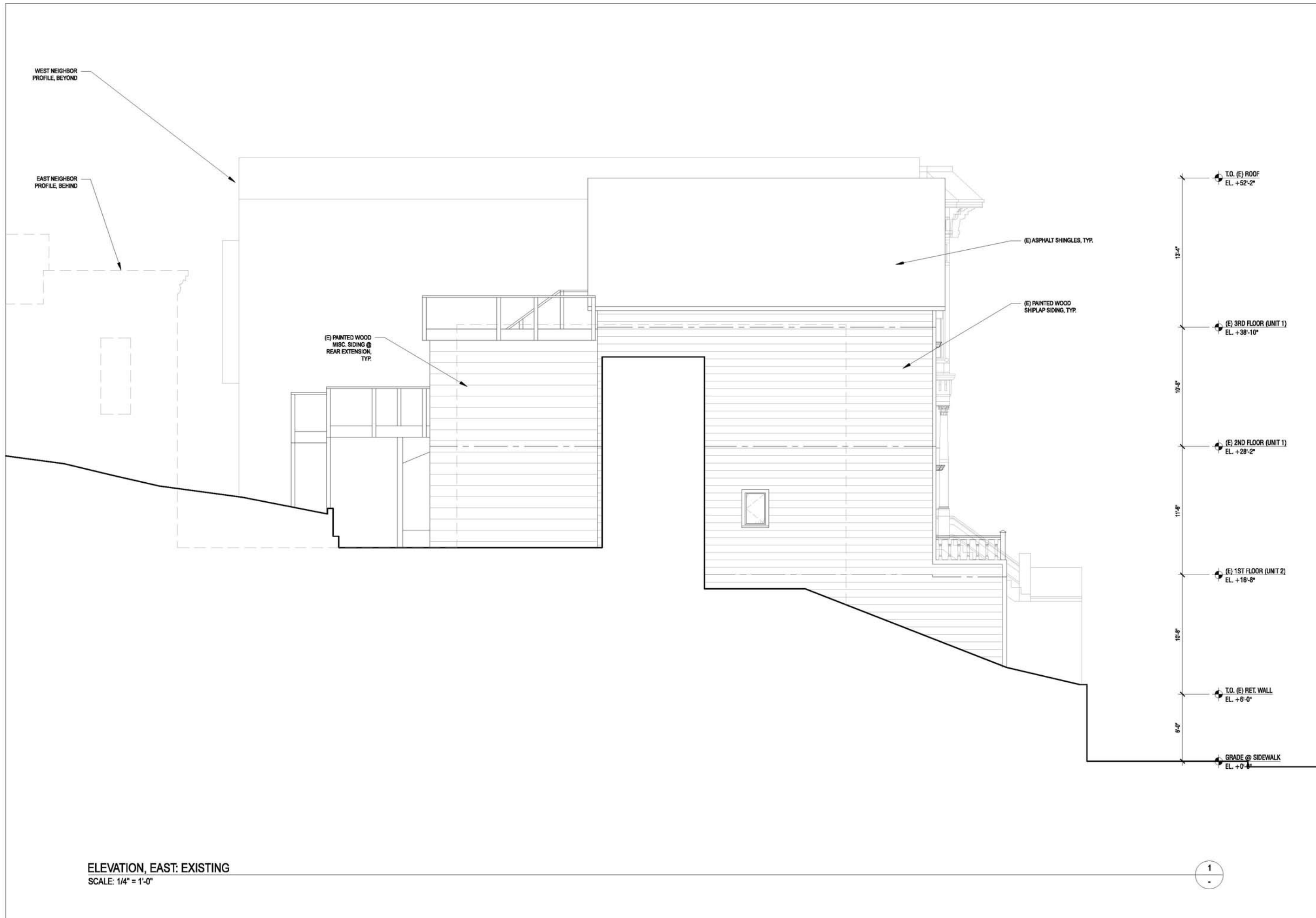
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3751 20TH STREET
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JOB: 13045.70
ISSUE: SITE PERMIT
DATE: 03.18.2015
REVISION:
SHEET TITLE: ELEVATION - SOUTH, PROPOSED
SHEET NUMBER:

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A3.7



ELEVATION, EAST: EXISTING
 SCALE: 1/4" = 1'-0"

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3751 / 3753 20th STREET

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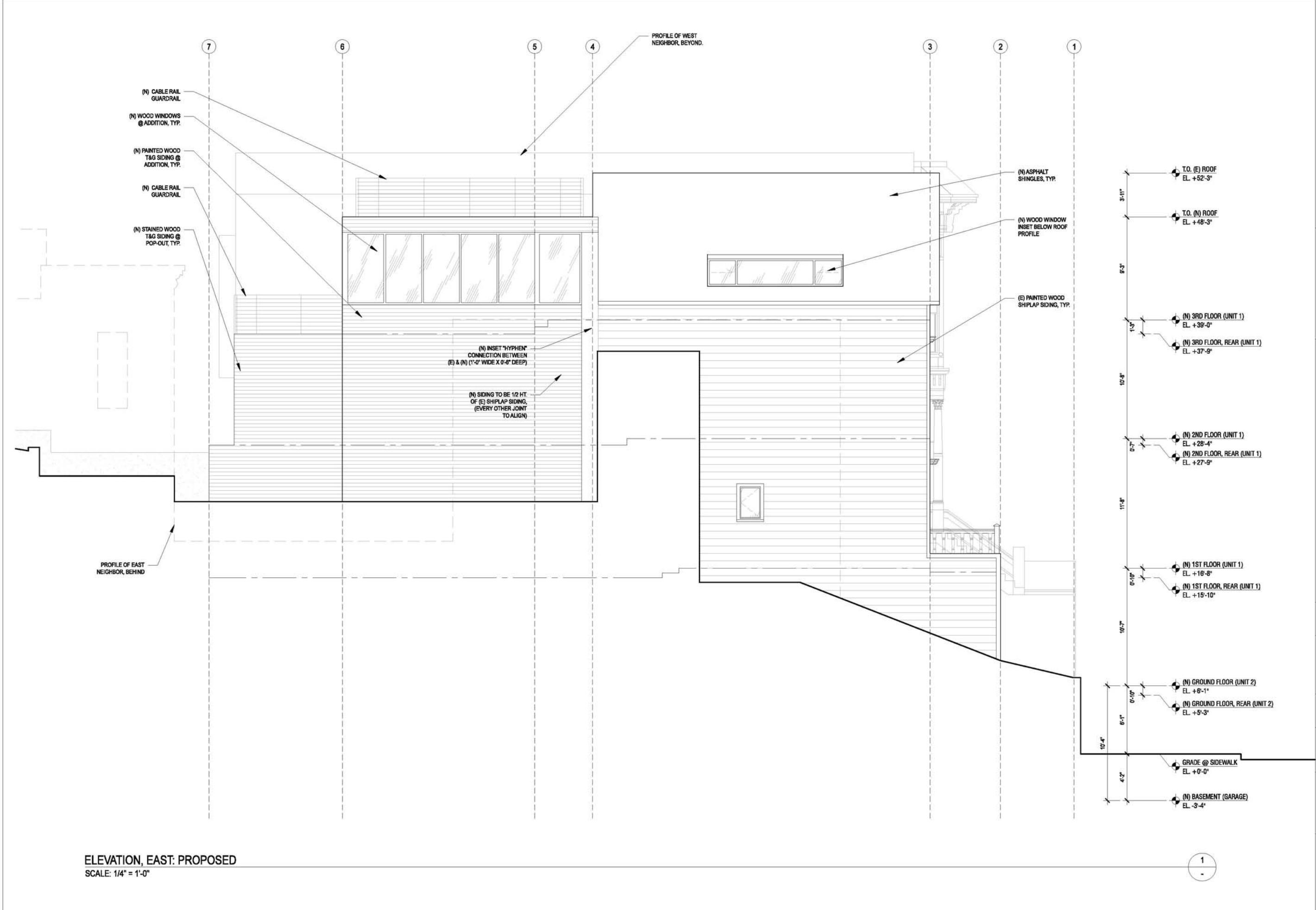
DATE:
 03.18.2015

REVISION:

SHEET TITLE:
 ELEVATION - EAST, EXISTING

SHEET NUMBER:
A3.8

3751 20TH STREET
 SAN FRANCISCO, CA, 94110



ELEVATION, EAST: PROPOSED
 SCALE: 1/4" = 1'-0"

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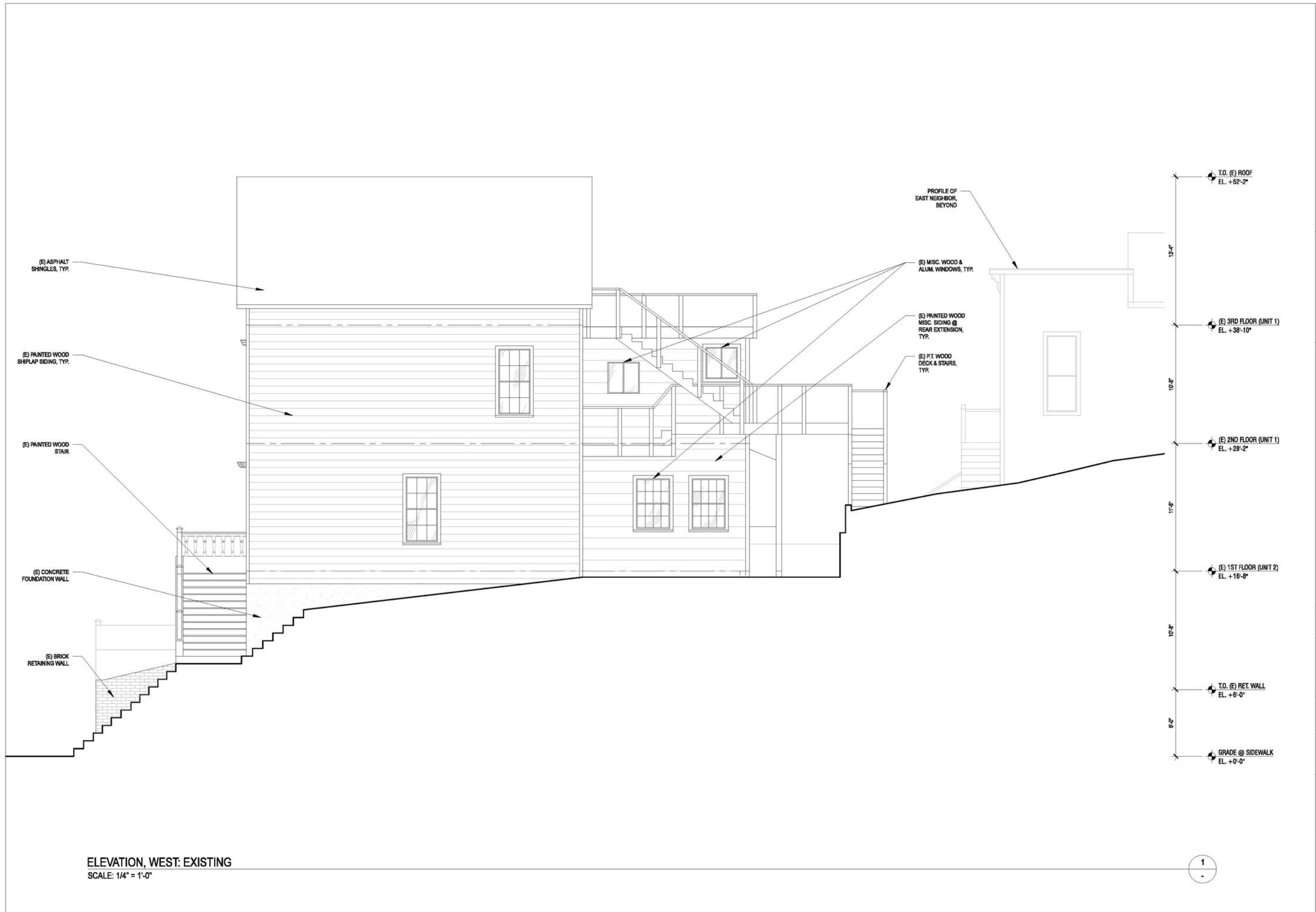
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REVISION:

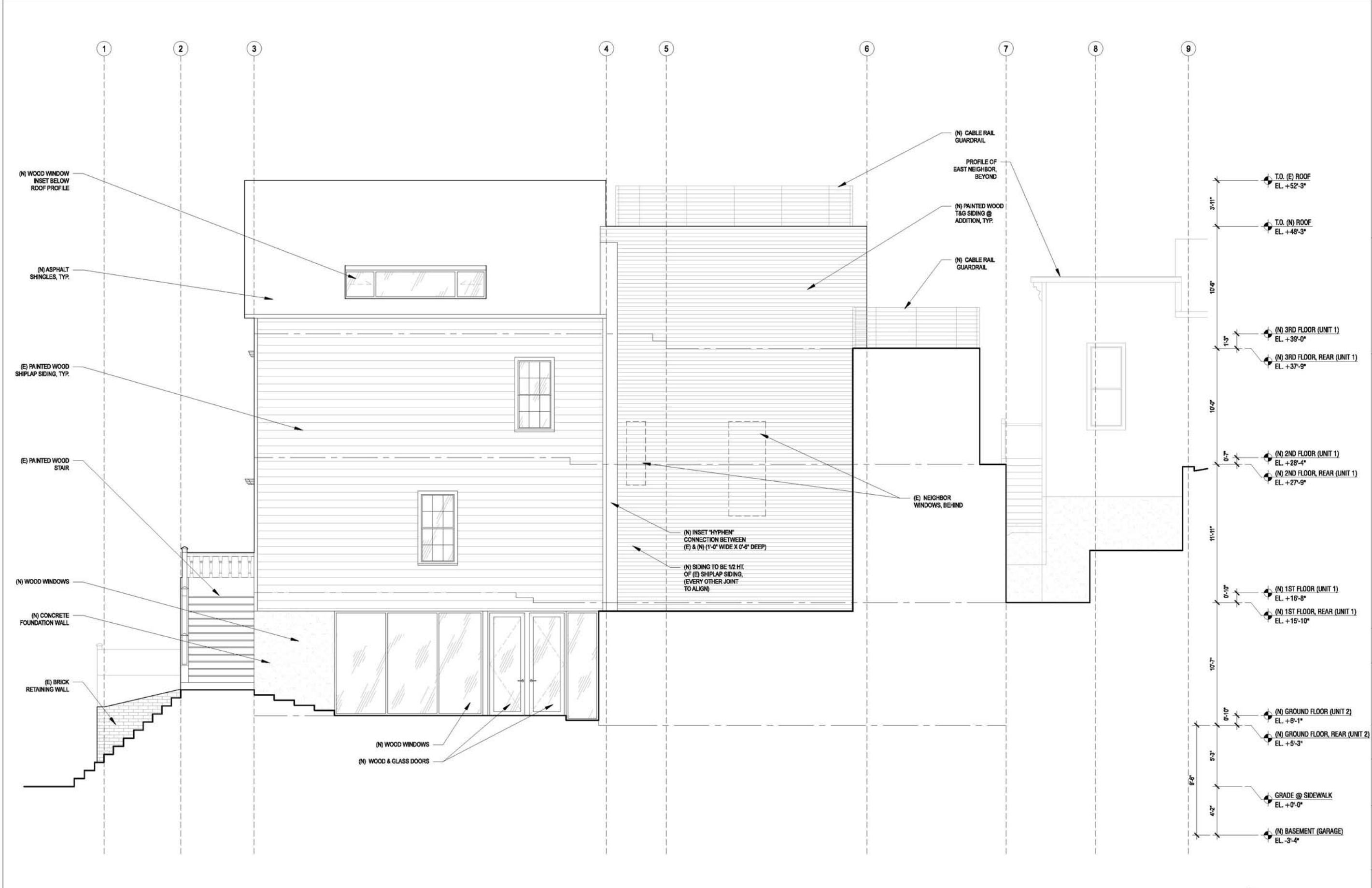
SHEET TITLE:
 ELEVATION - EAST, PROPOSED

SHEET NUMBER:
A3.9

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 SAN FRANCISCO, CA, 94110



ELEVATION, WEST: EXISTING
SCALE: 1/4" = 1'-0"



ELEVATION, WEST: PROPOSED
SCALE: 1/4" = 1'-0"



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

DATE: April 1, 2015
TO: Shane Curryn, Matarozzi Pelsinger Design + Build
FROM: Rich Sucre, Historic Preservation Technical Specialist,
(415) 575-9108
REVIEWED BY: Architectural Review Committee of the Historic Preservation
Commission
RE: **Meeting Notes - Review and Comment at the April 1, 2015
ARC-HPC Hearing for 3731-3753 20th Street, Case No. 2014.0655A**

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

At the request of the Historic Preservation Commission, the Architectural Review Committee (ARC) was asked to review and comment on the proposed project at 3751-3753 20th Street, which involves rehabilitation of the existing two-family dwelling, adding a new garage/basement level, and constructing a two-to-three-story rear addition.

ARC RECOMMENDATIONS/COMMENTS

Overall, the ARC appreciates the revisions to the proposed project, which were conducted in response to comments from the HPC and the adjacent neighbors.

Reduction of Gable Window on Upper Level of the Front Façade

The ARC concurs with Department staff that the revised design to the upper level gable window (consisting of a single-panel, wood-sash casement window) is compatible with the subject property and the surrounding landmark district because it is consistent with the size and configuration of existing windows on the second floor.

Size, Scale and Design of New Addition

The ARC concurs with Department staff that the new revised rear addition, which was reduced in depth, height and size and modified with less glazing and more solid wall surface, to be compatible with the subject property and the surrounding landmark district. The reduced size and revised design is more consistent with adjacent buildings.

Courtyard (Light Court) in Rear Yard

The ARC concurs with Department staff that the revised courtyard, which was modified to eliminate the sub-grade light court, to be compatible with the subject property and the surrounding landmark district because of the reduced amount of excavation.

Ground Floor Window on Street Façade

The ARC found that the size and location of the proposed window on the front façade was acceptable as a subordinate and clearly contemporary feature.

Sucre, Richard (CPC)

From: Lynch, Laura (CPC)
Sent: Tuesday, November 18, 2014 8:33 AM
To: eggers ingrid
Cc: Sucre, Richard (CPC)
Subject: RE: 3751/3753 20th Street

Hi Ingrid,

Thank you for your comment I will be sure to address your comment as it pertains to my environmental review of the project. I know you have previously spoken to Rich Sucre, but I am ccing him on this email as well. Rich will be reviewing the historic preservation aspect of the project as well as the consistency with the Residential Design Guidelines and the Planning Code. Once the environmental review document is complete I will send you a copy of the report. Please let me know if you would prefer a hard copy of the report or an electronic version.

Best,

Laura C. Lynch | Planner

San Francisco Planning Department | Environmental

1650 Mission Street, Suite 400 | San Francisco, California, 94103

T: (415) 575-9045 | Web: www.sfplanning.org | laura.lynych@sfgov.org

From: eggers ingrid [<mailto:iegg44@yahoo.com>]

Sent: Tuesday, November 18, 2014 6:08 AM

To: Lynch, Laura (CPC)

Subject: 3751/3753 20th Street

Dear Laura Lynch,

I'm out of the country and in response to your letter of November 7, I hope that this email is acceptable for voicing my concerns regarding the renovation of 3751-53 20th Street.

Last spring the neighbors were introduced to Justin McBean's renovation plans and I reacted by voicing my concerns to him and to Richard Sucre in earlier emails. I'm happily to do it again hoping that it might result in some changes.

My house, 3749 (built around 1880), is located in the back of the garden on a lot with 2 houses almost the same size as 3751/53. Separated from the front house, 3747, by a small garden, I live in about 1200 square feet (about the same as the front house) surrounded by plants and light. I love my small house tucked away from street noise. To update 3751/53 with garage, a new deck, dormers for better views and new interior is perfectly acceptable to me, as long as the unique character of the block is retained and my living and air space is not curtailed. The scope of the renovation, however, does not promise this. Two big boxes are supposed to be added on

the south side toward my house which will not just change my view - looking against walls instead of trees and a deck - the boxes will also significantly reduce light and airspace on my doorsteps. My guest and living room facing north, as well as the small garden space between 3747 and 3749 will be boxed in by the planned extension.

To more than triple the existing footprint in a historic neighborhood that is already overdeveloped, turns this project into the most aggressive renovation that I have seen on my block in the 16 years I have been living here. I think that digging 25 feet into the ground for a 3 car garage and another unit on top of it, plus adding 2 big boxes in the back of the 140 year old unique house in order to live in more space, will ruin my quality of life and the charm of this historic neighborhood. Does the planning department really want to encourage developing 2300 square feet living space into 7100 on limited historic ground just to allow a developer to build his "dreamhouse"?

I will return to SF on December 5 and more than willing to voice my concerns in person.

Thank You
Ingrid Eggers

www.germangems.com

Sucre, Richard (CPC)

From: Corrie Conrad <corrie.conrad@gmail.com>
Sent: Monday, January 05, 2015 4:16 PM
To: Sucre, Richard (CPC)
Cc: Daniel Conrad
Subject: Neighbor input from 3747 20th for the review of 3751-3753 20th

Hi Richard,

My family is the direct neighbor of the proposed renovations for 3751-3753 20th street. We learned from our neighbor Ingrid Eggers that the town hearing was moved from Dec 17th to January 21st. We're disappointed that the meeting was moved, as we'll be out of town on the 21st (we're gone that whole week).

I wanted to make sure you received and are aware of our concerns (see below). Additionally, I wanted to see if it might be possible to move the hearing to a date that might be able to attend? Is there a process for requesting that?

Please let us know if there's any additional information we can provide for you.

Thanks,

- Corrie

----- Forwarded message -----

From: Corrie Conrad <corrie.conrad@gmail.com>
Date: Tue, Nov 18, 2014 at 12:56 PM
Subject: Neighbor input from 3747 20th for the review of 3751-3753 20th
To: laura.lynch@sfgov.org
Cc: Daniel Conrad <daniel.conrad@gmail.com>, richard.sucre@sfgov.org

Laura,

Thanks for getting back to me today. I'm glad we were able to connect. As requested, here's a summary of our current concerns regarding the proposed plans for 3751-3753 20th street. I've copied my husband and also Rich Sucre, whose information you provided, so Rich is also aware of our concerns.

Laura/Rich please let me know what else we need to do and feel free to share this summary with others, if useful. I'd be happy to find time to meet in person, attend relevant meetings, etc.

Our current major concerns are:

- **Foundation:** What will be done to ensure our home's foundation remains strong and intact? (Particularly given the depth of the work proposed.)
 - What verification has or will occur? What about water runoff and how that might affect our foundation? What this will mean for us and how is our property is being taken into consideration, how will it be protected?

- We're aware that water runoff can be and has been an issue for the downhill home (in this case us) with other construction projects on our side of our block. My understanding is a neighbor a few houses up has to constantly pump water out of his garage due the impact of a neighboring project. We're concerned about the depth of the proposed work and it's potential impact on our home.
- **Light:** We're concerned about how the extension in the back will block light into our garden patio and into our home. We enjoy growing things in our back patio, and enjoy the sunlight on warm days outside and inside, when the rays come through our glass doors into the kitchen and dining area. We're worried about losing this.
- **Noise:** Our baby is and will continue to be cared for at home. His schedule currently involves 2 daily naps. We're concerned about the impact of the construction noise on him and our general well being while home.
- **Duration and scope:** We're generally in favor of improvements to homes in our neighborhood, but have been quite taken aback by the sheer size and scope of this proposed project. We're concerned about how long this will take (we heard that a garage project across the street took years, and this is bigger than that) and how long we would be living in the chaos and uncertainty of such a large project (since some of the impact on our home won't be known until construction starts, it seems the uncertainty could last awhile.)

Laura, you mentioned a geotech report, which I haven't seen. If you are able to email us a copy, we'd appreciate it.

Thanks for the work you do. I can only imagine how tough it is to be a city planner.

- Corrie

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Corrie White Conrad
Twitter: [@corrieconrad](https://twitter.com/corrieconrad)

--

Corrie White Conrad
Twitter: [@corrieconrad](https://twitter.com/corrieconrad)

Sucre, Richard (CPC)

From: Jerry Garchik <jchikesq@gmail.com>
Sent: Tuesday, January 13, 2015 10:04 AM
To: Sucre, Richard (CPC)
Cc: Ingrid Eggers; daniel.conrad@gmail.com; HSHEWITT43@gmail.com
Subject: 3751 20th Street Project, Case No.2014.0655A

Dear Richard Sucre

I write to confirm I am assisting Ms. Eggers (3479 20th St) a directly impacted neighbor to the McBaine 3751 project, and will be attending the Jan.21 meeting with her .and trust we shall be allowed to comment at that time.

A cc of this note is being sent to other direct neighbors who have also expressed opposition and concern with the ambitious and vast scope of this speculative project.

Yours truly,
Jerome M Garchik
Attorney at Law
235 Montgomery St, Ste 800
S F CA 94104
jchikesq@gmail.com
415 218 5685

cc. H.S.Hewitt
Daniel Conrad
Ingrid Eggers

Sucre, Richard (CPC)

From: Jerry Garchik <jchikesq@gmail.com>
Sent: Thursday, January 15, 2015 10:34 AM
To: Sucre, Richard (CPC)
Cc: Ingrid Eggers; daniel.conrad@gmail.com; HSHEWITT43@gmail.com
Subject: Re: 3751 20th Street Project, Case No.2014.0655A

Thank you,

just to clarify my schematic blueprint references, the excavation plan is Dwg.A.3.2 and the deficient rear perspectives are A3.6 through A3.11.

I also query whether sufficient notice has been served on the Liberty Street neighbors whose foundations will be compromised by the very deep hillside excavation proposed in this project!

See you at the 1/21 meeting!

J Garchik

cc Ingrid,etc.

On Thu, Jan 15, 2015 at 9:53 AM, Sucre, Richard (CPC) <richard.sucre@sfgov.org> wrote:

Hi Jerry,

Thank you for your email. I will submit your comments to the Historic Preservation Commission during my staff presentation at the public hearing.

The Department has provided a recommendation to the Historic Preservation Commission regarding the project, and its compliance with the Article 10 Guidelines, and Secretary of the Interior's Standards for Rehabilitation. The Historic Preservation Commission will examine all information presented to them and will make the ultimate determination on whether the project fits within the landmark district. As I mentioned, the project also requires a variance from the Zoning Administrator, who will look at the light and air issues relative to the Planning Code. The Historic Preservation Commission is responsible for examining the proposal relative to the Liberty-Hill Landmark District.

The project has undergone environmental review to examine the excavation issue. DBI (Department of Building Inspection) will conduct the final review of the excavation plan to ensure that it meets the City's standards. Finally, you are welcome to submit additional photographs of the site conditions to demonstrate the adjacency of the project to the neighboring property. I can also provide some additional photos of the rear.

Thank you,

Rich

Richard Sucre
Preservation Technical Specialist/Planner, Southeast Quadrant, Current Planning

Planning Department | City and County of San Francisco
1650 Mission Street, Suite 400, San Francisco, CA 94103
Direct: 415-575-9108 | Fax: [415-558-6409](tel:415-558-6409)

Email: richard.sucre@sfgov.org

Web: www.sfplanning.org



From: Jerry Garchik [mailto:jchikesq@gmail.com]
Sent: Thursday, January 15, 2015 8:21 AM
To: Sucre, Richard (CPC)
Cc: Ingrid Eggers; daniel.conrad@gmail.com; HSHEWITT43@gmail.com
Subject: Re: 3751 20th Street Project, Case No.2014.0655A

Dear Mr. Sucre

I have reviewed this file and wish to note the following:

Regarding Category 9, I think it is clear and obvious that tripling the size of this residence from 2000+ to over 7000 sq ft

is creation of a massing that is not in compliance with the criteria of neighborhood harmony and the original structure.

The question is are there other 7000+ sq ft dwellings on the standard lot footprint in this protected area to compare with?

I doubt it .Therefore I think the project fails on this category!

Second, the most important blue print is page 45 the excavation cross section which confirms a two story below grade

excavation almost 30 feet into the rear hill, than cannot but endanger the south side structures. and is an extremely

risky excavation proposal. In a historically seismically active area, this aspect of the project should be raising many alarm bells.

Third, the drawing at page 49 is misleading and false. It does not show the view from behind and in front of Ms Eggers existing property! There is no schematic showing the configuration of the project from the existing east neighbor, MsEggers. The hearing should be postponed until this omission is corrected!

J Garchik
on behalf of Ms.Eggers

cc Eggers, conrad, Hewitt

On Tue, Jan 13, 2015 at 10:41 AM, Sucre, Richard (CPC) <richard.sucre@sfgov.org> wrote:

Thank you, Jerry.

Any correspondence that I receive prior to the January 21st Hearing will be provided to the Commissioners at the HPC Hearing. Also, I have yet to schedule the variance hearing.

Thank you,

Rich

Richard Sucre
Preservation Technical Specialist/Planner, Southeast Quadrant, Current Planning

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1650 Mission Street, Suite 400, San Francisco, CA 94103
Direct: 415-575-9108 | Fax: [415-558-6409](tel:415-558-6409)

Email: richard.sucre@sfgov.org

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From: Jerry Garchik [mailto:jchikesq@gmail.com]
Sent: Tuesday, January 13, 2015 10:04 AM
To: Sucre, Richard (CPC)
Cc: Ingrid Eggers; daniel.conrad@gmail.com; HSHEWITT43@gmail.com
Subject: 3751 20th Street Project, Case No.2014.0655A

Dear Richard Sucre

I write to confirm I am assisting Ms. Eggers (3479 20th St) a directly impacted

neighbor to the McBaine 3751 project, and will be attending the Jan.21 meeting with her .and trust we shall be allowed to comment at that time.

A cc of this note is being sent to other direct neighbors who have also expressed opposition and concern with the ambitious and vast scope

of this speculative project.

Yours truly,

Jerome M Garchik
Attorney at Law

235 Montgomery St, Ste 800
S F CA 94104
jchikesq@gmail.com
[415 218 5685](tel:4152185685)

cc. H.S.Hewitt

Daniel Conrad

Ingrid Eggers

Sucre, Richard (CPC)

From: Jerry Garchik <jchikesq@gmail.com>
Sent: Saturday, January 17, 2015 9:27 AM
To: Sucre, Richard (CPC)
Cc: Ingrid Eggers; daniel.conrad@gmail.com; HSHEWITT43@gmail.com
Subject: Re: 3751 20th Street Project, Case No.2014.0655A

Dear Richard

I have been giving this situation a great deal of thought and reviewing the plans further with Ms. Eggers and yesterday spent some time on site.

Please note first that her view to the North will be diminished from her second floor window because now she sees the peaked roof of 3751 to the west of which she can see the spire of Mission High, etc, some distance away, but with the additions she will lose this view since the square top of the additions will completely block the east and west triangular areas of these peaked roof vistas.

More importantly, it seems that the contractors and developers are gaming the height limits by digging down not just for parking, but as here for a new living unit which will be below grade, and surrounded by retaining walls. If this model is allowed to proliferate, Dolores Heights, and other residential hills will be completely riddled by these types of cave like housing insertions, which will undermine the stability of the hill sides, and lead to densities that will exceed the City's infrastructure facilities, etc. Under your guideline 9, all the massing here, even though some of it is below grade, must be considered in the balance. Approving this project which clearly pushes the envelope structurally and in the neighborhood, will, given the potential economic windfall the developers can recover, open the flood gates for many, many similar "dig down" "re-builds" in the coming months and years of this boom cycle. Subterranean living will become a San Francisco hall mark, as common as the luxury views and rooms of the top floor dwellers. I think this problem and these implications of this of this project need to be explained to and carefully considered by the commissioners at this time.

I also understand that there is an "office" space proposed 2nd box, which may or may not be before you at this time, because the Mr. McBaine is yet to get a needed variance for its approval. Still it should be considered as part of the proposed new "massing" since it is in the plans and clearly essential to the proposed project. The proposal is to triple the living space of this property!

There is mention in the environmental review and your file to the structural engineers report and excavation and retaining wall plans but I have not seen it in the 53 pages you posted on line! Can you direct me to it, or post it or e mail it to me? thanks,

J Garchik

cc Eggers, etc.

On Thu, Jan 15, 2015 at 10:34 AM, Jerry Garchik <jchikesq@gmail.com> wrote:

Thank you,

just to clarify my schematic blueprint references, the excavation plan is

Dwg.A.3.2 and the deficient rear perspectives are A3.6 through A3.11.

I also query whether sufficient notice has been served on the Liberty Street neighbors whose foundations will be compromised by the very deep hillside excavation proposed in this project!

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Thank you,

Rich

Richard Sucre
Preservation Technical Specialist/Planner, Southeast Quadrant, Current Planning

Email: richard.sucre@sfgov.org

Web: www.sfplanning.org



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Sent: Thursday, January 15, 2015 8:21 AM
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on behalf of Ms.Eggers

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Richard Sucre
Preservation Technical Specialist/Planner, Southeast Quadrant, Current Planning

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Direct: 415-575-9108 | Fax: [415-558-6409](tel:415-558-6409)

Email: richard.sucre@sfgov.org

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Sent: Tuesday, January 13, 2015 10:04 AM
To: Sucre, Richard (CPC)
Cc: Ingrid Eggers; daniel.conrad@gmail.com; HSHEWITT43@gmail.com
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Yours truly,

Jerome M Garchik
Attorney at Law

235 Montgomery St, Ste 800
S F CA 94104
jchikesq@gmail.com
[415 218 5685](tel:4152185685)

cc. H.S.Hewitt

Daniel Conrad

Ingrid Eggers

Sucre, Richard (CPC)

From: Lindsay Kefauver <lkefauver@sbcglobal.net>
Sent: Tuesday, January 20, 2015 8:03 PM
To: Sucre, Richard (CPC)
Subject: Case No. 2014.0655A -3751-53 20th St.

To: Historic Preservation Commission

Good Morning Commissioners,

I am writing to oppose the plans of the current proposed expansion of the residential property at 3751-53 20th St. within the Liberty-Hill Landmark District.

I was one of the founders of the Liberty-Hill Historic District back in the 1980s. The intent of the historic preservation was to retain the character of the neighborhood while taking in to consideration the make-up of the whole community which consisted of residences and some businesses. Both were built and owned almost exclusively by working class folks. The 3700 block of 20th St. in which the property in question known as "Helen's House" sits is a row of homes whose first residents were an ironmonger, stone cutter, plasterer, bookkeeper, shipwright, sea captain and a steward at the What Cheer House hotel. Most of the current home owners are aware of our houses provenance and are proud to maintain their character.

At the time of our research and work to establish the historic district when we discussed the regulations on the houses's street appearance there was no threat of monster homes and we felt that we were safe in restricting the ordinance to just the facades. And although the plan suggests it will retain the facade of Helen's House, the size of the project will more than triple the house's square footage (from 2,347 to a ludicrous 7,111 sq. feet). This expansion will create a monster block behind a humble facade.

Additionally, the plan to dig down 1 story below street level to create a 5 car garage is reprehensible. I cannot locate another example of new below grade demolition and construction in the district. Both measures set an ugly and dangerous precedent to the historic Victorian & Edwardian character of the district, and if they are allowed they would substantially degrade all the carefully maintained and cherished homes around it.

I hope you will agree that the proposed project needs to be scaled down to the prevailing character of 20th Street and the Liberty-Hill Historic District.

Thank you for your consideration.

Sincerely,

Lindsay Kefauver
Visual Resources
3739 20th Street
SanFrancisco, CA 94110-2219
415/647-5649
[Lkefauver@sbcglobal.net](mailto:lkefauver@sbcglobal.net)

Sucre, Richard (CPC)

From: Bennett Mason <mbennettmason@gmail.com>
Sent: Tuesday, January 20, 2015 6:54 PM
To: Sucre, Richard (CPC)
Subject: Support for renovation project at 3751-3753 20th Street

Mr. Sucre,

I own the building at 3490 20th Street, at the intersection of Mission Street. I have reviewed the plans for 3751-3753 20th Street with Justin McBaine and discussed his vision for the project. Although I recognize this is a significant renovation, I believe it to be respectful to the historic nature of the neighborhood and I completely support it. In fact, I think the renovated property will be a welcome improvement for the 3700 block of 20th Street. Please don't hesitate to contact me with any questions at 415-624-6340.

Thanks,
Bennett Mason

Sucre, Richard (CPC)

From: Elizabeth Fromer <efromer3@gmail.com>
Sent: Friday, February 06, 2015 2:15 PM
To: Sucre, Richard (CPC)
Cc: Peter Heinecke; Mike Maier; Ryan Silvers
Subject: Proposed Renovation at 3751-3753 20th St.

Dear Mr. Sucre,

I've been informed that Justin McBaine presented a letter to the Commission from the Liberty Hill Neighborhood Association (LHNA), dated February 24, 2014.

The letter stated that no concerns were raised about the proposed residential renovation.

I'd like to clarify LHNA's position. LHNA only comments on the facade or street-facing portion of a property, since Liberty Hill has Historic Preservation status.

At the time Mr. McBaine presented his renovation plans at our meeting on February 4, 2014, no change to the building facade was mentioned. LHNA officially takes no position on alterations other than the facade. Our letter simply stated that position of neutrality. Now, however, there are plans for a garage which will alter the street-facing part of the house.

Mr. McBaine's February 4th presentation was a brief overview; those in attendance listened and saw some slides, but time constraints limited any real discussion. Informed opinion can hardly be expected under the circumstances. The fact that no objections were stated at that time should in no way signify tacit approval of this project.

After Mr. McBaine's presentation and subsequent request for a letter from LHNA, several Liberty Hill residents did come forward with multiple objections, especially those most affected by the proposed project. Now that more detailed plans make it clear that Mr. McBaine intends to more than triple the square footage of the property, additional concerns are being raised, all of them in opposition to Mr. McBaine's plans. Given the recent additional information about the scope of this project, it is less than honest of Mr. McBaine to have used our original February 24th letter to suggest that there was no neighborhood opposition to his renovation plans.

As an Historic Preservation District, the huge expansion of this property is not consistent with the neighborhood character we are trying to preserve, and sets a dangerous precedent. Preservation of structures in an historic district should seek to maintain the architectural integrity and style of our nineteenth and early twentieth century Victorians and Edwardians in Liberty Hill.

Opposition to Mr. McBaine's proposal is not occurring in a vacuum. Liberty Hill has seen the Planning Commission approve several new buildings that many feel are out of character with our historic neighborhood. This project is just another example of a project that doesn't fit. Architectural style reflects the socioeconomic character of our neighborhood. Both are vitally important. It is essential that both be preserved and maintained.

Sincerely,

Dr. Elizabeth Fromer
President
Liberty Hill Neighborhood Association

Sucre, Richard (CPC)

From: davidsonbidwell@comcast.net
Sent: Tuesday, January 20, 2015 8:01 PM
To: Sucre, Richard (CPC)
Cc: Edwin A. Waite; Justin McBaine
Subject: Letter of Support for 3751-3753 20th Street

Dear Mr. Sucre,

This is an expression of strong support for Mr. McBain's proposed renovation of 3751-3753 20th Street.

We have owned 3639-3641 and lived at 3641 20th Street since 1986 and are very familiar with the history, character and culture of the neighborhood. We have reviewed Mr. McBain's plans and believe the renovation is respectful of the original architecture and that of the neighborhood, and would be an appropriate use of the structure and property.

Please accept our expression of strong support for the requested approvals and permits.

Sincerely,

Davidson Bidwell-Waite and Edwin Waite
Sent from XFINITY Connect Mobile App

LIBERTY HILL

NEIGHBORHOOD ASSOCIATION

February 24, 2014

To Whom It May Concern:

Justin McBaine and his architect, Shayne Curnyn, presented their project at 3751-3753 20th Street to the Liberty Hill Neighborhood Association at our regular membership meeting on February 4th, 2014. The proposed plans were reviewed and no concerns were raised. Many of those present commented that it seemed to be a thoughtful plan.

We encourage Mr. McBaine and Mr. Curnyn to maintain open lines of communication with all affected neighbors.

Respectfully,



Dr. Elizabeth Fromer
President, Liberty Hill Neighborhood Association
For specific correspondence on this matter:
338 Lexington Street
San Francisco, CA 94110-2412
(415)826-5334
efromer3@gmail.com

cc by e-mail to Sue Lebeck (sue@innovatingsmart.org), Peter Heinecke (pheinecke@gmail.com),
Mike Maier (mike_maier@msn.com) and Jake Barlow (seejake@gmail.com), Shari Steiner
(sharisteiner@gmail.com)



SAN FRANCISCO PLANNING DEPARTMENT

Certificate of Determination Exemption from Environmental Review

Case No.: 2014.0655E
 Project Title: 3751-3753 20th Street
 Zoning: RH-2 (Residential – House, Two Family) Use District
 40-X Height and Bulk District
 Block/Lot: 3607/066
 Lot Size: 2,850 square feet
 Project Sponsor: Shane Cunyn, Matarozzi Pelsinger Builders
 (415) 652-3174
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PROJECT DESCRIPTION:

The project site is located on the southern side of 20th Street, mid-block on a block bounded by Liberty, Guerrero, Dolores and 20th Streets, in San Francisco’s Mission District and the Liberty Hill Historic District. The existing site contains a 2,347 square foot (sf), 52-foot-tall, three-story, two-unit residential building, constructed prior to 1900. The existing building provides no off-street parking spaces. The proposed project would involve a three-story horizontal addition at the rear of the property, two additional levels below grade and structural upgrades. The project would add approximately 4,800 sf to the existing building resulting in an approximately 7,200 sf, two-unit residence and three off-street parking spaces. No additional residential units would be created. The proposed horizontal addition would not extend past the existing roofline; therefore, the height would not increase.

EXEMPT STATUS:


Categorical Exemption, Class 32 (California Environmental Quality Act (CEQA) Guidelines Section 15332)

REMARKS:

See next page.

DETERMINATION:

I do hereby certify that the above determination has been made pursuant to State and local requirements.


 Sarah B. Jones
 Environmental Review Officer

January 15, 2015
 Date

cc: Shane Cunyn, Project Sponsor
 Richard Sucre, Current Planning/ Historic Preservation

Supervisor Scott Wiener, District 8
 Virna Byrd, M.D.F.
 Historic Preservation Distribution List

PROJECT DESCRIPTION (CONTINUED):

The 25-by-113-foot project site is on an approximately 22 percent slope, with the rear property line approximately 25 feet higher in elevation than the front property line. The structure is supported by a brick retaining wall and concrete stairs at the front of the property and a concrete retaining wall at the rear of the property.

The proposed project includes the following elements: (1) a two-story, partial below grade addition including a new three car garage at the ground floor; (2) a three-story horizontal addition at the rear, with no change to the existing building height; (3) the removal of the existing second story deck located at the rear of the property; and (4) façade alterations that would include the in-kind replacement of existing wood windows, the insertion of two dormer windows, and the addition of a new garage opening and curb cut. The proposed project would include creating an opening in the existing retaining wall at the front of the property to provide vehicle access to the proposed garage.

The proposed below grade addition would involve excavation to a maximum depth of 25 ft and approximately 1,570 cubic yards of soil disturbance, which would include soil removal. The proposed construction of the rear yard would consist of 16-inch concrete retaining walls on the east, south, and west sides of the property. In addition, a 12-inch concrete retaining wall would be constructed on the north side.

Approval Action: The proposed project requires a Certificate of Appropriateness per Planning Code Article 10 and is subject to notification under Section 311 of the Planning Code. If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project. If no Discretionary Review is requested, the issuance of a building permit by the Department of Building Inspection is the Approval Action.

REMARKS:

Infill Development. California Environmental Quality Act (CEQA) State Guidelines Section 15332, or Class 32, provides an exemption from environmental review for in-fill development projects which meet the following conditions:

- a) *The project is consistent with applicable general plan designations and policies as well as with applicable zoning designations.*

The San Francisco General Plan, which provides general policies and objectives to guide land use decisions, contains some policies that relate to physical environmental issues. The proposed project would not conflict with any such policy, and would be consistent with the San Francisco General Plan and with applicable zoning designations. The site is located within the RH-2 zoning district, where the proposed size, use and density would be permitted. The rear yard requirement for the subject property is 45 percent of the lot depth, but may be reduced to the average of the locations of rear walls of the two adjacent buildings; the proposed rear yard would be consistent with this requirement and with all other applicable zoning plans and policies.

- b) *The development occurs within city limits on a site of less than five acres surrounded by urban uses.*

The 0.065-acre (2,848 sf) project site is located within a fully developed area of San Francisco, consisting of low to medium density residential uses. Thus, the proposed project would be properly characterized as in-fill development on a site less than five acres, surrounded by urban uses.

- c) *The project site has no habitat for endangered, rare, or threatened species.*

The 2,848 sf project site is within a fully developed urban area and contains a single building. The open space at the front and rear of the lot does not contain substantial vegetation. Therefore, the project site has no habitat for rare, threatened, or endangered species.

- d) *Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.*

Traffic. The proposed project would add 4,764 sf to an existing 2,347 sf, two-unit residence with no increase in residential units. Based on the residential trip generation rates in the Planning Department's *Transportation Impact Analysis Guidelines for Environmental Review* (October 2002), the proposed project would generate no additional PM peak-hour vehicle trips. During the 12 month project construction period, there would be an increase in truck traffic near the project site. Due to their temporary and limited duration, construction-related impacts on traffic would not be considered significant.

Noise. An approximate doubling of traffic volumes in the area would be necessary to produce an increase in ambient noise levels noticeable to most people. The proposed project would not cause a doubling in traffic volumes and therefore would not cause a noticeable increase in the ambient noise level in the project vicinity. Although some increase in noise would be associated with the construction phase of the project, such occurrences would be limited to certain hours of the day and would be temporary in nature. Thus, no significant noise impacts would be associated with the proposed project.

Project construction would temporarily and intermittently increase noise and possibly vibration levels around the project site and may be considered an annoyance by occupants of nearby properties. Noise and vibration levels over the estimated 12 month construction period would fluctuate depending on the construction phase, equipment type and duration of use, distance between noise source and listener, and presence or absence of barriers. Construction noises associated with the proposed project would include excavation, truck traffic, and finishing. Of these, excavation, and site work would likely generate the most construction-related noise.

Throughout the construction period there would be truck traffic to and from the site, hauling away excavated materials and debris, or delivering building materials. It is anticipated that the construction hours would be between 7AM and 5PM during the week, with possible limited work during weekends.

The San Francisco Noise Ordinance (Article 29 of the Police Code) regulates construction-related noise. The ordinance requires that noise levels from individual pieces of construction equipment, other than impact tools, not exceed 80 dBA (A-weighted decibels) at a distance of 100 feet from the source. Impact tools, such as jackhammers, must have both the intake and exhaust muffled to the

satisfaction of the Director of the Department of Public Works or the Director of Building Inspection. Section 2908 of the Ordinance prohibits construction work between 8:00 p.m. and 7:00 a.m., if noise would exceed the ambient noise level by five dBA at the project property line, unless a special permit is authorized by the Director of Public Works or the Director of Building Inspection. The project must comply with regulations set forth in the Noise Ordinance. These measures which are required by law would reduce construction noise effects on nearby residents.

Air Quality. In accordance with the state and federal Clean Air Acts, air pollutant standards are identified for the following six criteria air pollutants: ozone, carbon monoxide (CO), particulate matter (PM), nitrogen dioxide (NO₂), sulfur dioxide (SO₂) and lead. These air pollutants are termed criteria air pollutants because they are regulated by developing specific public health- and welfare-based criteria as the basis for setting permissible levels. The Bay Area Air Quality Management District (BAAQMD) has established thresholds of significance to determine if projects would violate an air quality standard, contribute substantially to an air quality violation, or result in a cumulatively considerable net increase in criteria air pollutants within the San Francisco Bay Area Air Basin. To assist lead agencies, the BAAQMD, in its *CEQA Air Quality Guidelines* (May 2011), has developed screening criteria. If a proposed project meets the screening criteria, then the project would result in less-than-significant criteria air pollutant impacts. A project that exceeds the screening criteria may require a detailed air quality assessment to determine whether criteria air pollutant emissions would exceed significance thresholds. The proposed project would not exceed criteria air pollutant screening levels for operation or construction.¹

In addition to criteria air pollutants, individual projects may emit toxic air contaminants (TACs). TACs collectively refer to a diverse group of air pollutants that are capable of causing chronic (i.e., of long-duration) and acute (i.e., severe but of short-term) adverse effects to human health, including carcinogenic effects. In an effort to identify areas of San Francisco most adversely affected by sources of TACs, San Francisco partnered with the BAAQMD to inventory and assess air pollution and exposures from mobile, stationary, and area sources within San Francisco. Areas with poor air quality, identified as air pollutant exposure zones, were identified based on two health-protective criteria: (1) excess cancer risk from the contribution of emissions from all modeled sources greater than 100 per one million population, and/or (2) cumulative PM_{2.5} concentrations greater than 10 micrograms per cubic meter. Land use projects within these air pollutant exposure zones require special consideration to determine whether the project's activities would expose sensitive receptors to substantial air pollutant concentrations.

The proposed project is not within an air pollutant exposure zone. Therefore, the proposed project would result in a less-than-significant impact with respect to exposing sensitive receptors to substantial levels of air pollution. The proposed project would include emissions from construction activities for approximately 12 months. However, construction emissions would be temporary and variable in nature and would not be expected to expose sensitive receptors to substantial air pollutants. Furthermore, the proposed project would be subject to, and comply with, California

¹ Bay Area Air Quality Management District, *CEQA Air Quality Guidelines*, Updated May 2011. Table 3-1.

regulations limiting idling to no more than five minutes,² which would further reduce nearby sensitive receptors exposure to temporary and variable TAC emissions. Therefore, construction period TAC emissions would not result in a significant impact with respect to exposing sensitive receptors to substantial levels of air pollution.

Water Quality. The proposed project would not generate substantial additional wastewater or result in discharges that would have the potential to degrade water quality or contaminate a public water supply. The expanded building would be serviced by the City's combined sewer system, which already serves the existing building. Furthermore, the City's combined sewer system possesses sufficient capacity to accommodate the incremental increase in demand, if any, associated with the proposed project. Thus, the project would not result in significant effects related to water quality.

e) *The site can be adequately served by all required utilities and public services.*

The project site is located in a dense urban area where all public services and facilities are available; no expansion of public services or utilities is anticipated.

Historical Resources. In evaluating whether the proposed project would be exempt from environmental review under the California Environmental Quality Act (CEQA), the Planning Department must first determine whether the existing building is a historical resource. Under CEQA, a property qualifies as a historic resource if it is listed in, or determined to be eligible for listing in, the California Register of Historical Resources, or if it is considered a contributor to a potential historic district. The project site is locally designated in Article 10 of the San Francisco Planning Code as a contributing resource to the Liberty Hill Historic District. Therefore, the project site and the surrounding historic district are considered historic resources for purposes of CEQA.

The proposed project would include façade alterations including the removal of an aluminum-sash window on the third floor and insertion of a pair of new fixed windows to match the existing historic windows on the first and second floors. In addition, portions of the existing brick retaining wall would be removed to accommodate the new garage opening. The project would also involve the removal of the existing non-historic rear addition and the construction of a new three-story horizontal addition with a roof deck.

As described in the attached *Preservation Team Review Form*³ and the associated *Certificate of Appropriateness Case Report*⁴, the project was found to be consistent with the ten *Secretary of the Interior's Standards for Rehabilitation*. The proposed project would maintain the subject property's current and historic use as a residence (Standard 1). The proposed project would maintain the historic character of the subject property, as defined by its character-defining features (Standard 2). The project would not include conjectural elements or architectural features from other buildings or create a false sense of historical development and would be compatible with the surrounding district (Standard 3). The proposed project

² California Code of Regulations, Title 13, Division 3, § 2485.

³ San Francisco Planning Department, *Preservation Team Review Form, 3751-3753 20th Street, Case No. 2014.0655E*, December 2, 2014. This document is attached.

⁴ San Francisco Planning Department, *Certificate of Appropriateness Case Report 3751-3753 20th Street*. Hearing Date January 21, 2015. This document is attached.

would not alter features of the subject building that have acquired significance in their own right (Standard 4). The proposed project maintains and preserves the subject property's distinctive finishes and character-defining features (Standard 5). The proposed project would not call for the repair or replacement of any deteriorated historic features; additionally, the project would replace non-historic aluminum-sash windows with new compatible wood-sash windows, not affecting any existing historic features (Standard 6). The proposed project would not involve chemical or physical treatments (Standard 7). Significant archeological resources are not anticipated to be present at the project site (Standard 8). The project would maintain the historic integrity of the subject property and would provide additions that are compatible yet differentiated from the historic residence (Standard 9). The proposed project includes construction of a three-story rear horizontal addition, which would be located behind the existing three-story residence; this new addition would not affect the essential form and integrity of the landmark district, and would not impact any character-defining features of the subject property (Standard 10). Therefore, as the proposed project is consistent with the *Secretary of the Interior Standards for Rehabilitation*, it would not have a significant adverse impact upon a historic resource, as defined by CEQA.

Geology and Soils. The Planning Department's records show that the property is on a slope of 20 percent or greater. A geotechnical investigation⁵ was conducted for the project which concluded that the project site is suitable for the proposed development, provided the recommendations outlined in the report are incorporated into the design considerations and project plans and specifications. In addition, a structural schematic narrative⁶ was prepared to provide further review for the project with regard to neighboring properties. This narrative compliments the geotechnical investigation; the results of both the geotechnical investigation and structural schematic narrative are summarized below. The primary geotechnical concerns outlined within the geotechnical investigation are related to the potential for expansive soils at the site. The investigation concludes that aside from expansive soils, there are low to no concerns regarding geologic hazards, assuming the project would follow the recommendations outlined in the geotechnical investigation and structural schematic narrative and comply with applicable building codes.

The geotechnical investigation provides several recommendations regarding grading, subgrade preparation, and foundation, resistance to lateral forces, retaining walls, temporary shoring, slab-on-grade construction, and drainage. The geotechnical investigation recommends that the foundation for the proposed improvements either be supported with a continuous perimeter footing or a mat slab foundation with a perimeter continuous footing, to control moisture.

Other recommendations include constructing retaining walls on site and design them to resist lateral earth pressures and additional lateral pressures that may be caused by surcharged loads applied at the ground surface behind the walls. The structural schematic narrative also states that the rear yard should be supported by 16 inch thick retaining walls at the south, west and east of the lot and a 12-inch retaining wall along the northern portion of the rear yard.

⁵ Frank Lee and Associates, *Soil and Foundation Investigation Proposed Three Story Over Basement Remodeling 3751 20th Street, San Francisco, California 94110S*, September 3, 2013. This report is available for review as part of Case No. 2014.0655E.

⁶ L Wong Engineering Inc., *3751 20th Street, Structural Schematic Narrative*, December 17, 2014. This report is available for review as part of Case No. 2014.0655E.

With regard to subgrade site preparation, the geotechnical investigation recommends that all engineered fill shall be placed in uniform horizontal lifts of not more than eight inches in uncompacted thickness and shall be compacted to no less than 90 percent. Imported soil materials should be a soil or soil-rock mixture which is free from organic matter or other substances. It further recommends that any fill material shall not contain rocks or clumps of soil greater than 6 inches in dimension and not more than 15 percent larger than 2-1/2 inches in dimension. In addition, all slopes higher than four feet should be laid back or shored in conformance with the Occupational Safety and Health Administration (OSHA) standards. All material must be approved by the geotechnical engineer. Additionally, the geotechnical engineer shall be on site to oversee any grading, excavation or foundation work. The report also states that the grading contractor shall be responsible for preventing erosion of freshly graded areas during construction and until permanent drainage and erosion control measures have been installed.

Finally, a shoring scheme was devised to protect adjacent buildings and their foundations during construction. Shoring along the east and west property lines should consist of 18-inch diameter drilled piers with 12-inch deep steel soldier beams embedded in each drilled pier, to be spaced at about 6 feet and embedded into bedrock per the recommendations of the geotechnical engineer. This shoring scheme proposed should be installed prior to any excavation of soil for the subterranean levels.

The proposed project would be required to conform to the San Francisco Building Code, which ensures the safety of all new construction in the City. Decisions about appropriate foundation and structural design are considered as part of the Department of Building Inspection (DBI) permit review process. DBI would review background information including the geotechnical and structural engineering reports to ensure that the security and stability of adjoining properties and the subject property are maintained during and following project construction. Therefore, potential damage to structures from geologic hazards on the project site would be addressed through the DBI requirement for a geotechnical report and review of the building permit application pursuant to its implementation of the Building Code.

In light of the above, the proposed project would have no significant impacts regarding geologic and seismic hazards.

Neighborhood Concerns. A "Notification of Project Receiving Environmental Review" was mailed on November 07, 2014, to community organizations, tenants of the affected property and properties adjacent to the project site, and those persons who own property within 300 feet of the project site. Three neighbors responded with concerns regarding the amount of excavation and potential damage to adjacent structures, historic impacts and noise during project construction. These topics are addressed above.

Another neighbor expressed concerns regarding loss of light and views. Changes to private views would differ based on proximity to the project site, quality of the view currently experienced, and relative sensitivity of the viewer. Although some reduced private views and light would be an unavoidable consequence of the proposed project, any change in private views and light would not exceed that commonly accepted in an urban setting. While this loss or change of views might be of concern to those property owners or tenants, it would not affect a substantial number of people and would not be considered to be a significant impact pursuant to CEQA.

SUMMARY:

CEQA State Guidelines Section 15300.2 states that a categorical exemption shall not be used for an activity where there is a reasonable possibility that the activity will have a significant effect on the environment due to unusual circumstances. There are no unusual circumstances surrounding the current proposal that would suggest a reasonable possibility of a significant effect. The proposed project would have no significant environmental effects. The project would be exempt under the above-cited classification. For the above reasons, the proposed project is appropriately exempt from environmental review.