



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

DATE: March 25, 2015
TO: Architectural Review Committee of the Historic Preservation Commission
FROM: Rich Sucre, Historic Preservation Technical Specialist, (415) 575-9108
REVIEWED BY: Tim Frye, Preservation Coordinator, (415) 575-6822
RE: **Review and Comment: 3751-3753 20th Street Case No. 2014.0655A**

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

BACKGROUND

On January 21, 2015, the Historic Preservation Commission (HPC) requested additional review and comment before the Architectural Review Committee (ARC) regarding the proposal for façade alterations, construction of a new three-car garage, and a three-story rear addition and roof deck at 3751-3753 20th Street within the Liberty-Hill Landmark District, which is listed in Appendix F of Article 10 of the San Francisco Planning Code.

PROPERTY DESCRIPTION

3751-3753 20th STREET is a three-story, two-family residence designed in a simple Greek Revival architectural style located on a rectangular lot (measuring approximately 25 ft x 114 ft) on the south side of 20th Street between Dolores and Guerrero Streets. Constructed prior to 1900, the existing building features wood-frame construction, wood siding, aluminum-sash and wood-sash windows, a gable roof, and is slightly setback from the street edge. At the street, the subject property features a brick retaining wall and a set of concrete steps. Currently, the subject property does not have any off-street parking.

Per Article 10 of the San Francisco Planning Code, 3751-3753 20th Street is designated as contributing resource to the Liberty-Hill Landmark District. The project site is located within RH-2 (Residential, House, Two-Family) Zoning District with a 40-X Height and Bulk Limit.

PROJECT DESCRIPTION

The proposed project consists of rehabilitation of the two-family residence, including:

- *Construction of a New Garage/Basement Level:* The project would construct a new three-car garage. The new garage opening would be approximately 9-ft wide and would feature painted, wood panel garage doors. The proposed curb cut would measure approximately 10-ft wide. As part of the work at the basement level, the project would replace the existing foundation with a new concrete foundation.
- *Primary Façade Alterations:* The project would remove the aluminum-sash window on the third floor and insert a pair of new eight-lite fixed windows to match the existing historic

windows on the first and second floors. In addition, portions of the existing brick retaining wall would be removed to accommodate the new garage opening.

- *Inset Roof Windows:* The project would construct a set of inset wood-sash windows on the west and east facades of the existing gable roof.
- *Rear Yard Alterations:* The project would remove portions of the grade at the rear yard to provide exposure to the ground floor level. With the grade work, the subject property appears as four-stories tall. As part of the rear yard work, the project would construct a new set of stairs from the new grade up to the existing grade.
- *Construction of Rear Addition:* At the rear, the project would remove the existing two-story, non-historic rear addition and construct a new three-story horizontal addition with a roof deck that would extend approximately 34-ft 6-in from the existing rear wall. This new horizontal addition would feature large wood windows, a flat roof, and tongue and groove wood siding (dimensioned at half the height of the existing wood siding on the historic property). The new addition would also feature a roof deck at the third and fourth floor levels. These roof decks would feature a simple metal cable rail system around the roof deck perimeter.
- *West/East Façade Alterations:* The project would add new window and door openings on the west facade. The rear façade would be clad in a smooth stucco finish, and would feature wood-sash casement windows.

The proposed project would increase the square footage of the two-family residence from 2,347 square feet to 7,111 square feet. Original drawings date from November 4, 2014.

The proposed project requires a variance from the Zoning Administrator to address the Planning Code requirements for rear yard (Planning Code Section 134).

ENVIRONMENTAL REVIEW

On January 15, 2015, the Project was determined to be exempt from the California Environmental Quality Act (“CEQA”) as a Class 32 Categorical Exemption under CEQA as described in the determination contained in the Planning Department files for this Project.

JANUARY 21, 2015 HPC HEARING

On January 21, 2015, the HPC reviewed the proposed project, and expressed concern over the following:

- Reduction of gable window on upper level of the front façade;
- Size, scale and design of new addition;
- Courtyard (light court) in rear yard; and
- Amount of excavation and potential archaeological issues.

The HPC supports the revisions to the front façade and the insertion of a new three-car garage.

STAFF ANALYSIS & RECOMMENDATIONS

The Department seeks the advice of the ARC regarding the concerns expressed by the HPC, and the subsequent revisions to the project, as outlined in the revised architectural drawings dated March 18, 2015.

Since the January 21, 2015 HPC Hearing, the Project Sponsor has made the following modifications to the proposed project:

- Removal of the rear sub-grade light court;
- Addition of a small window on the front façade to address dwelling unit exposure for the lower residential unit;
- Regrading and terracing of the rear yard to step more gracefully from the back of the new addition;
- Alignment of the second-story rear addition with the rear of the adjacent neighbor's house (to address neighbor's request);
- Reduction of the height of the third-story of the rear addition;
- Revisions to the rear façade with less glazing and more wall surface;
- Incorporation of a 1-ft wide by 6-in deep "hyphen" connection to separate existing residence and new addition on the west and east facades;
- Revision to the gable window on the front façade from a two-panel casement window to a single-panel casement window (thus matching the single-panel casement window on the second floor);
- Addition of structural narrative (Sheet A07); and,
- Update of the demolition calculations.

The Department would like the ARC to consider the following information:

Reduction of Gable Window on Upper Level of the Front Façade

In response to comments from the HPC, the Project Sponsor has modified the design of the window on the gable on the top floor of the front façade. This window has been revised to a single-panel, eight-lite, wood-sash window, which would match the single panel window on the second floor.

Recommendation:

Department staff supports the proposed revisions to the gable, and recommends no further revisions.

Size, Scale and Design of the New Addition

In response to comments from the HPC and surrounding neighbors, the Project Sponsor has modified the size and scale of the proposed three-story rear horizontal addition. Specifically, the Project Sponsor has reduced the length of this addition on the second floor by approximately 2-ft

to match the adjacent neighbor to the north. In addition, the Project Sponsor has reduced the overall height of the rear vertical addition by approximately 1-ft 3-in. The Project Sponsor has also reduced the amount of glazing on the rear façade, and also increased the amount of stained wood tongue and groove wood siding.

Recommendation:

Department staff supports the proposed revisions to the rear addition, and recommends no further revisions. As noted in the original case report, the new three-story horizontal addition is clearly differentiated from the historic mass of the original residence, as noted by the roofline, the change in siding, and the newly-added hyphen on the west and east facades. This hyphen is accentuated by the addition of trim board, which highlights the distinction between the historic residence and the new addition. The new addition has a flat roof, while the existing historic residence features a gable roof. The new additions would be constructed on top of an existing non-historic addition currently located at the rear of the existing residence. The new addition is considered to be compatible with the subject property's overall historic character, since the new work is occurring on a rear and non-visible façade, the new wood siding is similar in material and design to the property's historic wood siding (evident on the primary facades), and the mass of the new addition is differential to the historic mass of the original residence. Although the overall scale of the project appears large due to the extent of the excavation, the Department considers the above grade portion of the new addition to be consistent and compatible with the residence and surrounding district, since the new addition is differentiated to the mass of the existing residence and is smaller in scale relative to the existing building.

Courtyard (Light Court) in Rear Yard/New Exterior Window

In response to comments from the HPC, the Project Sponsor has removed the two-story, rear yard light court, which would have required excavation of 21-ft 10-in. In response, the Project has modified the rear landscaping to include a series of rear yard terraces and retaining walls. To provide additional light to the lower residential unit, the project includes a skylight/light well and a new exterior window on the front facade. As proposed, the new exterior window appears out of scale with the other windows on the front façade.

Recommendation:

Department staff supports the proposed revisions to the rear light court, and recommends no further revisions. The Department seeks the input of the HPC on the design, size and scale of the new exterior window.

Amount of Excavation and Potential Archaeological Issues

The proposed project underwent archaeological review as part of the environmental review. At the request of the HPC, the Department has provided additional information on the proposed excavation from the Department's staff archaeologist (See Attached).

REQUESTED ACTION

Specifically, the Department seeks comments on:

- Reduction of gable window on upper level of the front façade;
- Size, scale and design of new addition; and,
- Courtyard (light court) in rear yard/new exterior window.

ATTACHMENTS

- Revised Proposed Project Architectural Drawings by Matarozzi Pelsinger Design + Build (March 18, 2015); and,
- Original Architectural Drawings by Matarozzi Pelsinger Design + Building (November 4, 2014).

ABBREVIATIONS

&	AND	(N)	NEW
@	AT	NAT.	NATURAL
ABV.	ABOVE	NOT IN CONTRACT	
A.C.	AIR CONDITIONING	NO.	NUMBER
A.C.T.	ACOUSTIC CEILING TILE	#	NUMBER
ADJ.	ADJUSTABLE	NOM.	NOMINAL
ADJ.C.	ADJACENT	N.T.S.	NOT TO SCALE
A.F.F.	ABOVE FINISHED FLOOR		
ALT.	ALTERNATE	OBSC.	OBSCURE
ALUM.	ALUMINUM	O.C.	ON CENTER
ANOD.	ANODIZED	O.D.	OUTSIDE DIAMETER
APPROX.	APPROXIMATE	O.H.	OPPOSITE HAND
ARCH.	ARCHITECTURAL	OPER.	OPERABLE
AXON.	AXONOMETRIC	OPNG.	OPENING
		OPP.	OPPOSITE
BD.	BOARD	PART.	PARTITION
B.J.	BUTT-JOINT	PERF.	PERFORATED
BLDG.	BUILDING	PL.	PLATE
BLKG.	BLOCKING	PL.	PROPERTY LINE
B.O.	BOTTOM OF	PLAM.	PLASTIC LAMINATE
B.P.	BUILDING PAPER	PLAS.	PLASTER
BRZ.	BRONZE	PLY.	PLYWOOD
B.U.R.	BUILT-UP ROOF	PNL.	PANEL
		PNT.	PAINT
CAB.	CABINET	PROP.	PROPERTY
CEM.	CEMENT	PTD.	PAINTED
CER.	CERAMIC	P.T.	PRESSURE TREATED
CHAN.	CHANNEL	P.V.	PHOTOVOLTAIC
C.I.P.	CAST-IN-PLACE		
C.L.	CENTERLINE	R.	RADIUS
CL.	CLEAR	R.	RISER
CLG.	CEILING	R.B.	RESILIENT BASE
CLO.	CLOSET	R.C.P.	REFLECTED CEILING PLAN
CLR.	CLEAR	REF.	REFERENCE
C.M.U.	CONCRETE MASONRY UNIT	REF.	REFRIGERATOR
COL.	COLUMN	REFIN.	REFINISH
CONC.	CONCRETE	REINF.	REINFORCED
CONT.	CONTINUOUS	REQD.	REQUIRED
CPT.	CARPET	REV.	REVISION/REVISED
CTR.	CENTER	RM.	ROOM
		R.O.	ROUGH OPENING
DEPT.	DEPARTMENT	RTD.	RATED
DET.	DETAIL	R.W.L.	RAIN WATER LEADER
D.F.	DOUGLAS FIR		
DIA.	DIAMETER	S.C.	SOLID CORE
DM.	DIMENSION	SCHED.	SCHEDULE
DN.	DOWN	S.A.	SOAP DISPENSER
DR.	DOOR	SECT.	SECTION
DW.	DISHWASHER	S.E.D.	SEE ELECTRICAL DRAWINGS
DWG.	DRAWING	SFT.	SHEET
		SFTG.	SHEATHING
(E)	EXISTING	SIM.	SIMILAR
EA.	EACH	S.L.D.	SEE LANDSCAPE DRAWINGS
EL.	ELEVATION	S.M.D.	SEE MECHANICAL DRAWINGS
ELEV.	ELEVATION	S.P.D.	SEE PLUMBING DRAWINGS
ELECT.	ELECTRICAL	SPEC.	SPECIFICATION
ENGR.	ENGINEER	S.S.	STAINLESS STEEL
EQ.	EQUAL	S.S.D.	SEE STRUCTURAL DRAWINGS
EQPT.	EQUIPMENT	STD.	STANDARD
EXEC.	EXECUTIVE	STL.	STEEL
EXP.	EXPANSION	STN.	STONE
EXT.	EXTERIOR	STOR.	STORAGE
		STRUCT.	STRUCTURAL
FAB.	FABRIC	SUSP.	SUSPENDED
F.B.O.	FURNISHED BY OWNER	SYM.	SYMMETRICAL
F.D.	FLOOR DRAIN		
FIN.	FINISH	T.	TREAD
FIN.	FINISH	T.B.D.	TO BE DETERMINED
FL.	FLOOR	TEL.	TELEPHONE
F.O.	FINISHED OPENING	TEMP.	TEMPERED
F.O.F.	FACE OF FINISH	TEMP.	TEMPORARY
F.O.S.	FACE OF STUD	T.F.	TRANSPARENT FINISH
F.O.C.	FACE OF CONCRETE	TFWD.	TRANSPARENT FINISHED WOOD
FRM.	FRAME	T&G.	TONGUE AND GROOVE
FRMG.	FRAMING	T.O.	TOP OF
FT.	FOOT OR FEET	T.O.C.	TOP OF CONCRETE
FURR.	FURRING	T.O.W.	TOP OF WALL
		TRANS.	TRANSLUCENT
GA.	GAUGE	TV.	TELEVISION
GALV.	GALVANIZED	TYP.	TYPICAL
G.D.	GARBAGE DISPOSAL		
GEN.	GENERAL	U.B.C.	UNIFORM BUILDING CODE
GL.	GLASS	U.C.	UNDER COUNTER
GYP.	GYPNUM	U.O.N.	UNLESS OTHERWISE NOTED
G.W.B.	GYPNUM WALL BOARD	UTIL.	UTILITY
		VAR.	VARIES
H.B.	HOSE BIB	V.T.	VINYL COMPOSITION TILE
H.C.	HOLLOW CORE	VEN.	VENEER
HDWD.	HARDWOOD	VERT.	VERTICAL
HT.	HEIGHT	VEST.	VESTIBULE
HORIZ.	HORIZONTAL	V.I.F.	VERIFY IN FIELD
HR.	HOUR	V.P.	VENEER PLASTER
H.M.	HOLLOW METAL		
H.W.	HOT WATER	W.	WITH
		W.C.	WATER CLOSET
I.D.	INSIDE DIAMETER	WD.	WOOD
IN.	INCH	W/D.	WASHER/DRYER
INSUL.	INSULATION	WIN.	WINDOW
INT.	INTERIOR	W.H.	WATER HEATER
		W/O.	WITHOUT
JAN.	JANITOR	W.O.	WHERE OCCURS
JT.	JOINT	W.P.	WATERPROOFING
		WT.	WEIGHT
KIT.	KITCHEN		
LAM.	LAMINATE		
LAV.	LAVATORY		
LOC.	LOCATION		
LTWT.	LIGHTWEIGHT		
LVL.	LEVEL		
MAT.	MATERIAL		
MAX.	MAXIMUM		
M.B.	MOISTURE BARRIER		
M.C.	MEDICINE CABINET		
MECH.	MECHANICAL		
MEMB.	MEMBRANE		
MFR.	MANUFACTURER		
MIN.	MINIMUM		
MIR.	MIRROR		
MISC.	MISCELLANEOUS		
MSRY.	MASONRY		
MTD.	MOUNTED		
MTL.	METAL		

SYMBOLS

	WINDOW SYMBOL / TYPE
	DOOR SYMBOL / TYPE
	REVISION TAG
	DETAIL NUMBER
	SHEET NUMBER
	ELEVATION / SECTION NUMBER
	DRAWING NUMBER
	DRAWING NUMBER
	SHEET NUMBER
	PARTITION TYPE
	ALIGN
	FIRE SPRINKLER
	RETURN AIR
	SUPPLY AIR
	AIRBAR
	HOSE BIB

DIRECTORY

OWNER

NAME
ADDRESS
EMAIL

DESIGNER

MATAROZZI PELSINGER DESIGN+BUILD
355 11TH STREET, SUITE 200
SAN FRANCISCO, CA 94103
T 415.285.6930

VICINITY MAP



PROJECT SITE

PROJECT DATA

ADDRESS

3751/3753 20TH STREET
SAN FRANCISCO, CA 94110

BLOCK/LOT

3607 / 066

ZONING DISTRICT

RH-2

OCCUPANCY GROUP

R-3

RESIDENTIAL UNITS

-2 EXISTING (NO CHANGE)

TYPE OF CONSTRUCTION

5B

HEIGHT LIMIT

40-X

SCOPE OF WORK

-(N) VERTICAL ADDITION BELOW (E) GRADE
-(N) HORIZONTAL ADDITION @ REAR
-(N) ELEVATOR
-(N) CURB CUT & GARAGE DOOR
-(N) DORMER WINDOWS
-REPLACE (E) FRONT GABLE WINDOW WITH (N) WOOD WINDOW

PARCEL AREA

2,848 SQ. FT.

BUILDING AREA (GROSS)

-EXISTING: 2,347 SQ. FT.
-PROPOSED: 7,111 SQ. FT. (INCLUDES GARAGE/STORAGE)

APPLICABLE BUILDING CODES

2013 CALIFORNIA BUILDING CODE (C.B.C.)
2013 CALIFORNIA PLUMBING CODE (C.P.C.)
2013 CALIFORNIA MECHANICAL CODE (C.M.C.)
2013 CALIFORNIA ELECTRICAL CODE (C.E.C.)
2013 CAL. GREEN BUILDING CODE (CALGREEN)
2013 SAN FRANCISCO AMENDMENTS TO C.B.C., C.P.C., C.M.C., C.E.C., AND CALGREEN

SHEET INDEX

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A0.4 - ARTICLE 10 DEMOLITION CALCULATIONS
A0.5 - PRE-APPLICATION MEETING INFO
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A0.7 - STRUCTURAL NARRATIVE

C.0 - SURVEY

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A2.1 - BASEMENT PLANS - PROPOSED ONLY
A2.2 - GROUND FLOOR PLANS - PROPOSED ONLY
A2.3 - 1ST FLOOR PLANS - EXISTING & PROPOSED
A2.4 - 2ND FLOOR PLANS - EXISTING & PROPOSED
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A2.6 - ROOF PLANS - EXISTING & PROPOSED

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A3.2 - SECTION - NORTHSOUTH, PROPOSED
A3.3 - SECTION - EAST/WEST, PROPOSED
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A3.5 - ELEVATION - NORTH, PROPOSED
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A3.9 - ELEVATION - EAST, PROPOSED
A3.10 - ELEVATION - WEST, EXISTING
A3.11 - ELEVATION - WEST, PROPOSED

PROJECT TITLE:

3751 / 3753 20th STREET

3751 20TH STREET,
SAN FRANCISCO, CA, 94110

JOB:

13045.70

ISSUE:

SITE PERMIT

DATE:

03.18.2015

REVISION:

SHEET TITLE:

COVER SHEET

SHEET NUMBER:

A0.1

MATAROZZI PELSINGER
DESIGN + BUILD

355 11TH STREET, SUITE 200 SAN FRANCISCO CA 94103
T 415.285.6930 F 415.285.7266 WWW.MATPELBUILDERS.COM



20TH STREET - SOUTH SIDE
NOT TO SCALE

2
-



20TH STREET - NORTH SIDE
NOT TO SCALE

1
-

MATAROZZI PELSINGER
DESIGN + BUILD
355 11TH STREET, SUITE 200 SAN FRANCISCO CA 94103
T 415.285.6830 F 415.285.7286 WWW.MATPELBUILDERS.COM



PROJECT TITLE:
3751 / 3753 20th STREET
3751 20TH STREET
SAN FRANCISCO, CA, 94110

JOB:
13045.70

ISSUE:
SITE PERMIT

DATE:
10.2.2014

REVISION:

SHEET TITLE:
PHOTOGRAPHS:
NORTH & SOUTH
20TH STREET

SHEET NUMBER:

A0.2



SUBJECT PROPERTY

VIEW FROM REAR OF SUBJECT PROPERTY
NOT TO SCALE

3
-



SUBJECT PROPERTY

SUBJECT PROPERTY & ADJACENT NEIGHBORS - REAR
NOT TO SCALE

2
-



SUBJECT PROPERTY

SUBJECT PROPERTY & ADJACENT NEIGHBORS - FRONT
NOT TO SCALE

1
-

MATAROZZI PELSINGER
DESIGN + BUILD
355 11TH STREET, SUITE 200 SAN FRANCISCO CA 94103
T 415.285.6930 F 415.285.7266 WWW.MATPELBUILDERS.COM



PROJECT TITLE:
3751 / 3753 20th STREET

3751 20TH STREET
SAN FRANCISCO, CA, 94110

JOB:
13045.70

ISSUE:
SITE PERMIT

DATE:
10.2.2014

REVISION:

SHEET TITLE:
PHOTOGRAPHS:
SUBJECT PROPERTY
FRONT & REAR

SHEET NUMBER:

A0.3



WEST NEIGHBOR - REAR
NOT TO SCALE

3
-



WEST NEIGHBOR - PROPERTY LINE WINDOWS
NOT TO SCALE

2
-



EAST NEIGHBOR - REAR
NOT TO SCALE

1
-



MATAROZZI PELSINGER
DESIGN + BUILD
355 11TH STREET, SUITE 200 SAN FRANCISCO CA 94103
T 415.285.6930 F 415.285.7286 WWW.MATPELBUILDERS.COM

PROJECT TITLE:
3751 / 3753 20th STREET

3751 20TH STREET
SAN FRANCISCO, CA, 94110

JOB:
13045.70

ISSUE:
SITE PERMIT

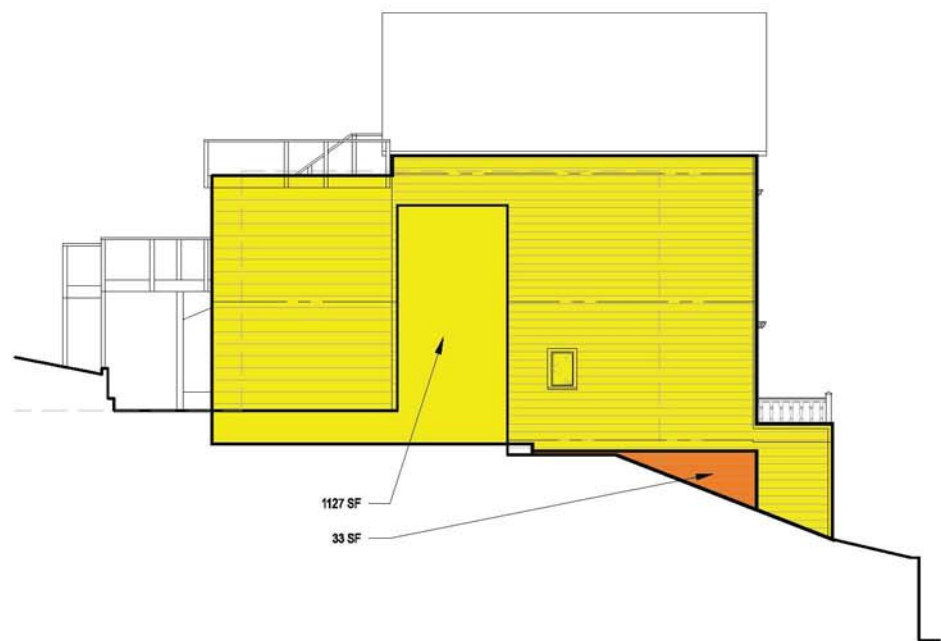
DATE:
11.04.2014

REVISION:

SHEET TITLE:
PHOTOGRAPHS:
NEIGHBORS

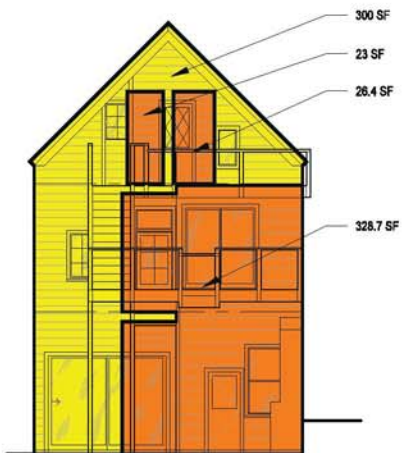
SHEET NUMBER:

A0.3B



EAST ELEVATION, (E)
SCALE: 1'-0" = 1/8"

9
-

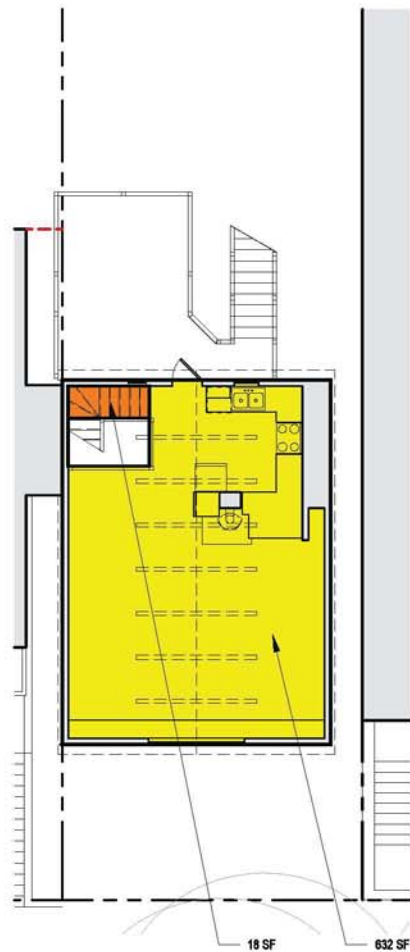


SOUTH ELEVATION, (E)
SCALE: 1'-0" = 1/8"

8
-

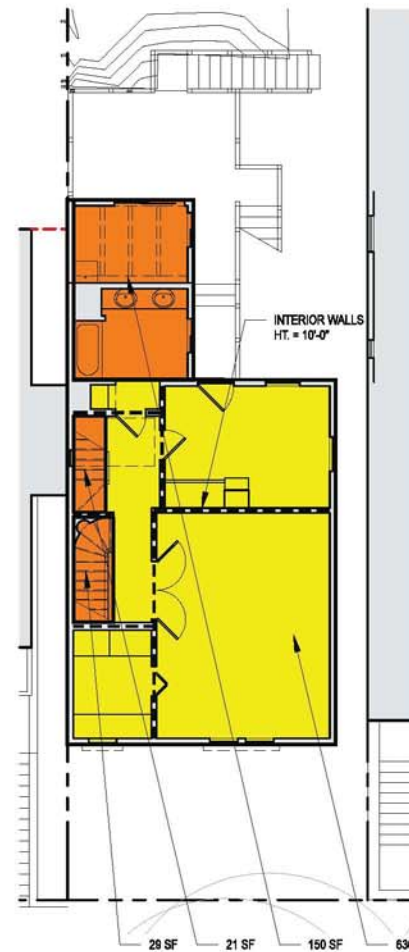
KEY:

- RETAINED AREA
- REMOVED AREA



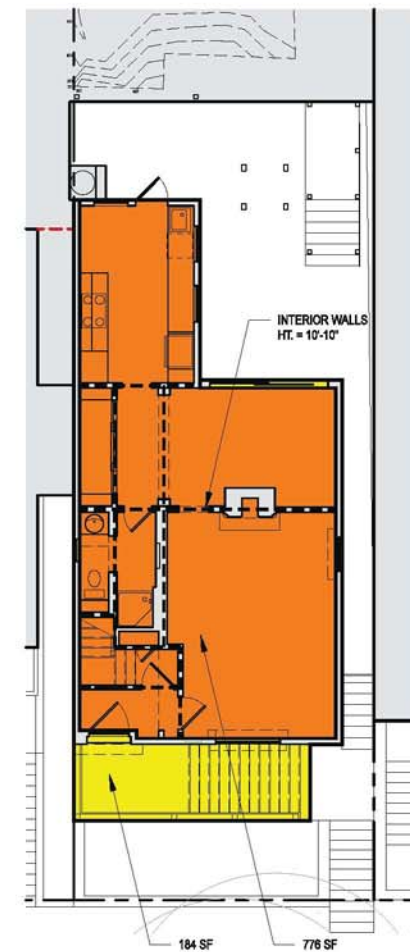
PLAN 3RD FL (L5), (E)
SCALE: 1'-0" = 1/8"

4
-



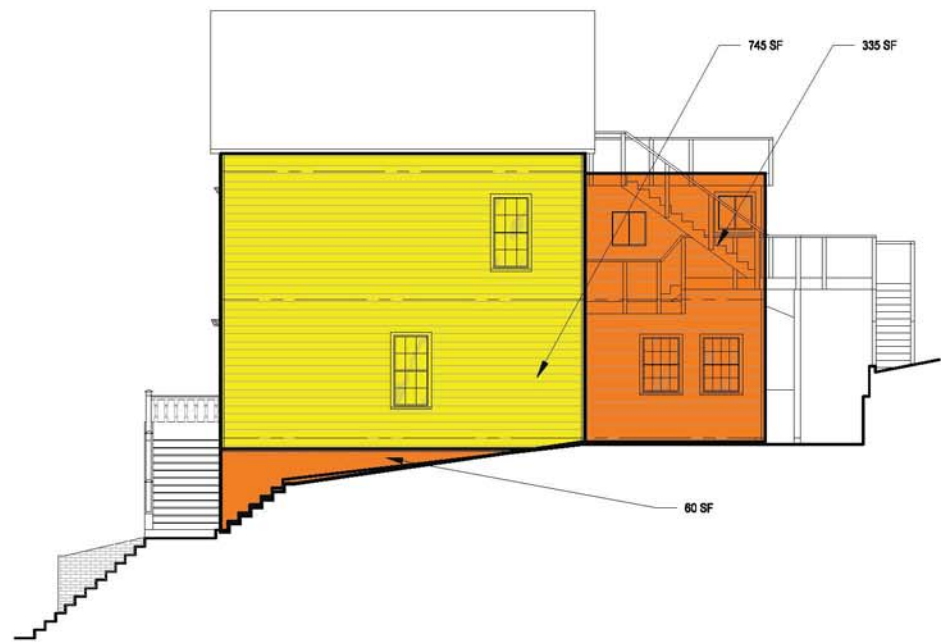
PLAN 2ND FL (L4), (E)
SCALE: 1'-0" = 1/8"

3
-



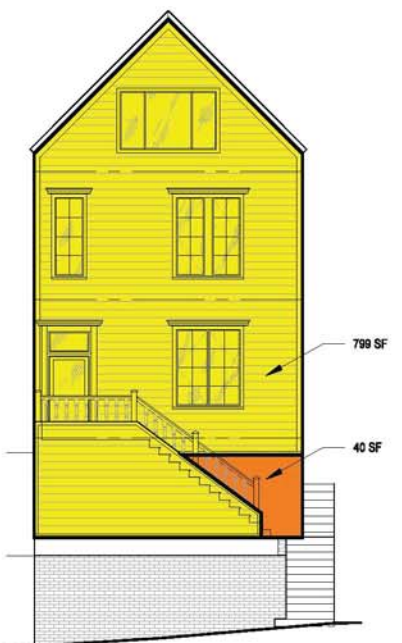
PLAN 1ST FL (L3), (E)
SCALE: 1'-0" = 1/8"

2
-



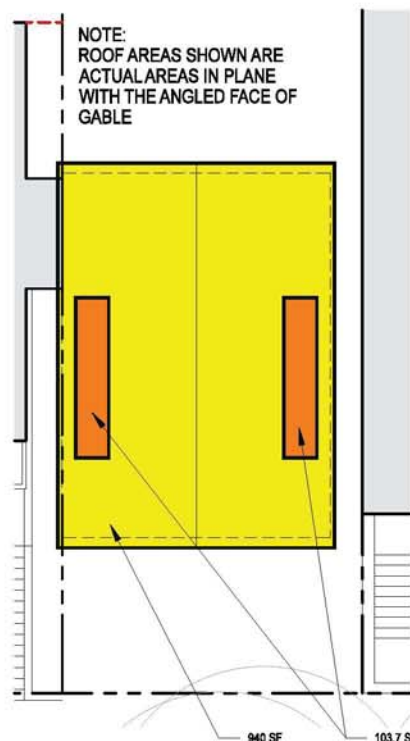
WEST ELEVATION, (E)
SCALE: 1'-0" = 1/8"

7
-



NORTH ELEVATION, (E)
SCALE: 1'-0" = 1/8"

6
-



PLAN 3RD FL (L5), (E)
SCALE: 1'-0" = 1/8"

5
-

NOTE:
ROOF AREAS SHOWN ARE
ACTUAL AREAS IN PLANE
WITH THE ANGLED FACE OF
GABLE

Exterior Walls Facing Public Street, Removal (Limit = 25%):

Element	Total Area	Removed Area	% Removed
North Elevation	838.5	39.7	4.7%

External Walls, Removal &/or Interiorization, (Limit = 50%):

Element	Total Area	Removed Area	% Removed
North Elevation	838.5	39.7	4.7%
South Elevation	676.5	378.05	55.9%
East Elevation	1160	368	31.7%
West Elevation	1138.7	394.2	34.6%
Total:	3813.7	1179.95	30.9%

Exterior Walls, Removal (Limit = 25%):

Element	Total Area	Removed Area	% Removed
North Elevation	838.5	39.7	4.7%
South Elevation	676.5	378.05	55.9%
East Elevation	1160	33	2.8%
West Elevation	1138.7	394.2	34.6%
Total:	3813.7	844.95	22.2%

Internal Structural Walls and Floorplates, Removal (Limit = 75%):

Element	Total Area	Removed Area	% Removed
1st Floor Walls	1067.04	1067.04	100.0%
1st Floor Plate	960	776	80.8%
2nd Floor Walls	720.5	720.5	100.0%
2nd Floor Plate	836	200.5	24%
3rd Floor Walls	0	0	0%
3rd Floor Plate	650.4	18	3%
Roof	1043	103.7	10%
Total:	5276.94	2885.74	54.7%

ARTICLE 10 DEMOLITION CALCULATIONS

1
-

Pre-Application Meeting Sign-in Sheet

Meeting Date: 3/25/2014
Meeting Time: 6pm
Meeting Address: 3751 20th Street, San Francisco, CA 94110
Project Address: 3751 20th Street, San Francisco, CA 94110
Property Owner Name: Justin McBaine
Project Sponsor/Representative: Shane Curnyn, Matarozzi Pelsinger Design + Build

Please print your name below, state your address and/or affiliation with a neighborhood group, and provide your phone number. Providing your name below does not represent support or opposition to the project; it is for documentation purposes only.

Table with 5 columns: NAME/ORGANIZATION, ADDRESS, PHONE #, EMAIL, SEND PLANS. Contains handwritten entries for Lindsay Kehaven, Virginia McKinnon, Ingrid Eggers, and Pam Goode.

Summary of discussion from the Pre-Application Meeting

Meeting Date: 3/25/2014
Meeting Time: 6:00pm
Meeting Address: 3751 20th St., San Francisco, CA 94110
Project Address: 3751 20th St., San Francisco, CA 94110
Property Owner Name: Justin McBaine
Project Sponsor/Representative: Shane Curnyn, Matarozzi Pelsinger Design + Build

Please summarize the questions/comments and your response from the Pre-Application meeting in the space below. Please state if/how the project has been modified in response to any concerns.

Question/Concern #1 by (name of concerned neighbor/neighborhood group): Ingrid Eggers (3749 20th St.): The construction phase of the project will negatively affect my Airbnb business.

Project Sponsor Response: We intend to do everything within our power to mitigate the effect of construction on 3749. If there are specific concerns, please let us know so we can address them together.

Question/Concern #2: Ingrid Eggers (3749 20th St.): The rear addition seems larger than what Planning would allow given the fact that my unit is at the rear of our lot.

Project Sponsor Response: We have met with Planning twice and have confirmed our required rear yard and two-story Pop-Out dimensions. Pushing the Pop-Out to the west will require a variance, but we are prepared to pursue this in order to provide 3749 with a more generous connection to the mid-block open space.

Question/Concern #3:

Project Sponsor Response:

Question/Concern #4:

Project Sponsor Response:

Affidavit of Conducting a Pre-Application Meeting, Sign-in Sheet and Issues/Responses submittal

I, Justin McBaine, do hereby declare as follows:

- 1. I have conducted a Pre-Application Meeting for the proposed new construction or alteration prior to submitting any entitlement (Building Permit, Variance, Conditional Use, etc.) in accordance with Planning Commission Pre-Application Policy.
2. The meeting was conducted at 3751 20th Street, San Francisco, CA 94110 (location/address) on 3/25/2014 (date) from 6pm-7pm (time).
3. I have included the mailing list, meeting initiation, sign-in sheet, issue/response summary, and reduced plans with the entitlement Application. I understand that I am responsible for the accuracy of this information and that erroneous information may lead to suspension or revocation of the permit.
4. I have prepared these materials in good faith and to the best of my ability.

I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct.

EXECUTED ON THIS DAY, 3/25, 2014 IN SAN FRANCISCO.

Signature of Justin McBaine

Justin McBaine
Name (type or print)

Owner
Relationship to Project (e.g. Owner, Agent)
(if Agent, give business name & profession)

3751 20th Street, San Francisco, CA 94110
Project Address

PROJECT TITLE:
3751 / 3753 20th STREET

3751 20TH STREET
SAN FRANCISCO, CA, 94110

JOB:
13045.70

ISSUE:
SITE PERMIT

DATE:
03.18.2015

REVISION:

SHEET TITLE:
PLANNING PRE-APPLICATION MEETING INFO

SHEET NUMBER:

A0.5

REQUIRED CHECKLIST FOR Tree Planting and Protection

1. Applicant Information

CONTACT FOR PROJECT INFORMATION
Justin McBaine

ADDRESS: Matarozzi Pelsinger Builders
355 11th St., Ste. 200
San Francisco, CA, 94103

TELEPHONE: (415) 466-8239
EMAIL: jmcba@yahoo.com

2. Location and Classification of Property

STREET ADDRESS OF PROJECT: 3751 / 3753 20th St.

CROSS STREETS: 20th & Dolores

ASSESSORS BLOCKLOT: 3607 / 066 LENGTH OF ALL LOT FRONTAGES: 25' ZONING DISTRICT: RH-2

RELATED BUILDING PERMIT APPLICATION AND/OR CASE NO.:

3. Scope of Project

Requirements for new street trees and tree protection apply to the types of projects identified in the chart below. Please check all boxes which apply to your project. If no boxes are checked, you do not need to complete this form.

DEVELOPMENT FEATURES	
<input type="checkbox"/>	construction of a new building
<input type="checkbox"/>	relocation of a building
<input type="checkbox"/>	parking or loading space more than 200 square feet of the front setback
<input checked="" type="checkbox"/>	addition of gross floor area (GFA) equal to 20% or more of the GFA of the existing building
<input type="checkbox"/>	addition of a new dwelling unit
<input checked="" type="checkbox"/>	addition of one or more parking spaces
<input checked="" type="checkbox"/>	addition of a garage

Required Checklist for Tree Planting and Protection

4. Disclosure of Existing Protected Trees

Only the following specific types of trees require protection under the Public Works Code: Street Trees, Significant Trees and Landmark Trees. These trees are collectively known as "Protected Trees." In the following table, please indicate the presence or lack thereof of such on, over, or adjacent to the parcel containing the proposed construction.

SIGNIFICANT TREES

A "Significant Tree" is a tree that is planted on the subject property (i.e. outside of the public right-of-way) with any portion of its trunk within 10 feet of the public right-of-way that has (a) a diameter at breast height (DBH) in excess of twelve inches OR (b) a height in excess of twenty feet OR (c) a canopy in excess of fifteen feet.

CHECK ALL BOXES THAT APPLY AND INDICATE QUANTITY OF EACH TREE TYPE, IF APPROPRIATE.

Significant Tree(s) exist on the subject property QTY: _____

Significant Tree(s) exist on any adjacent property QTY: _____

There are no Significant Trees on or adjacent to the subject property.

LANDMARK TREES

A "Landmark Tree" is a tree designated as such by the Board of Supervisors owing to particular age, size, shape, species, location, historical association, visual quality, or other contribution to the City's character.

CHECK ALL BOXES THAT APPLY AND INDICATE QUANTITY OF EACH TREE TYPE, IF APPROPRIATE.

Landmark Trees exist on the subject property QTY: _____

Landmark Trees exist on the adjacent sidewalk QTY: _____

Landmark Trees exist on any adjacent property QTY: _____

There are no Landmark Trees on or adjacent to the subject property.

COMPLETE LIST OF LANDMARK TREES AS OF SUMMER 2012

Site Name	Location
San Francisco Public Library	San Francisco Public Library
Golden Gate Park	Golden Gate Park
...	...

STREET TREES

A "Street Tree" is any tree growing within the public right-of-way (e.g. sidewalk) that is not also a Landmark Tree.

CHECK THE BOX THAT APPLIES AND INDICATE QUANTITY OF EXISTING TREES.

Street Trees exist adjacent to the subject property QTY: 1

There are no Street Trees adjacent to the property.

Required Checklist for Tree Planting and Protection

5. Impact of Project on Existing Protected Trees

If your responses above indicate that any Protected Tree(s) exist on, over, or adjacent to the subject property, please check the applicable boxes, below:

BOX 1 The project will not remove or have any other impact on Protected Trees, as follows: No construction-related activity whatsoever will occur within the dripline of any Significant Tree or Street Tree. This includes, but is not limited to, the following: (1) No grading or excavation will take place within the dripline of any Significant Tree or Street Tree. (2) No construction staging and/or storage of materials and/or equipment will occur within the dripline of any Significant Tree or Street Tree. (3) Any pruning of Significant Trees or Street Trees will be limited and consistent with applicable regulations. (4) No dumping of trash and/or liquids (such as project waste-water) will take place within the basin or dripline of any Significant Tree or Street Tree.

If you have checked this box, a Tree Protection Plan is not required.

BOX 2 The project involves the removal of one or more Protected Trees. A permit from DPW is required in order to remove any Protected Tree. The Planning Department will not approve a building permit for a project which involves the removal of a Protected Tree unless DPW has first reviewed the proposal and found it to be consistent with applicable rules and regulations.

If you have checked this box, a Tree Protection Plan is not required, however you must provide evidence to the Planning Department that DPW has reviewed the removal request and found it to be "approvable."

BOX 3 The project may have an impact on one or more Protected Trees which are not proposed for removal, as follows: Either (1) any construction-related activity, no matter how minor, is planned or is reasonably foreseeable to occur within the dripline of a Significant Tree or a Street Tree or (2) regardless of the location of construction activity, the property contains a Landmark Tree.

If you have checked this box, a Tree Protection Plan must be submitted to the Department of Public Works Bureau of Urban Forestry prior to the commencement of any construction activity.

- Such plan must meet the following minimum standards:
- The Tree Protection Plan must be developed by an International Society of Arboriculture (ISA) Certified Arborist.
 - The project sponsor must submit a written declaration that the protections specified in the Tree Protection Plan will be completely in place prior to the start of any construction, demolition, or grading.
 - Full-size site plans submitted along with the associated construction project must clearly indicate the street, curb, sidewalk, driveway, structure(s), and the locations of all Protected Trees and non-protected trees. Protected Trees must also be shown to include accurate tree height, accurate canopy dripline and trunk and canopy diameters. The plans must graphically depict implementation of all measures called for in the Tree Protection Plan. Additionally, the Tree Protection Plan itself along with the written declaration must be reproduced on full-size plans.

Required Checklist for Tree Planting and Protection

6. Calculation of Number of New Required Street Trees

One street tree is required for each 20 feet of street frontage of the subject property, with fractions of 0.5 rounded up, however credit is given for existing street trees. Please complete the table below to determine the number of street trees required for your project. If no street trees are required, please skip to the end of this form and once signed, return it to the Planning Department along with your Building Permit Application or other application.

COMBINED LENGTH OF ALL STREET FRONTAGES	DIVIDED BY TREE SPACING REQUIREMENT	GROSS NUMBER OF TREES REQUIRED	MINUS NUMBER OF EXISTING TREES	NET STREET TREE REQUIREMENT
25'	20'	1	1	0

Unless site conditions physically prevent the planting of a street tree, a waiver or modification of street tree requirements is available only under extremely limited circumstances and only outside of Residential Districts (i.e. RH, RM, RTO, RED). Be aware that even when available, an in-kind improvement or in-lieu payment is required for every such waiver. Please contact the Planning Department for information regarding the waiver process.

7. Applicable Requirements for New Street Trees

The Planning Department has developed three distinct "Tree Schedules" to aid in the implementation of the Planning Code's street tree requirements. The particular Tree Schedule applicable to your project will depend on the zoning district in which your property is located, the scope of your project, and the type of authorization that your project requires. In general terms, Tree Schedule A applies to small-scale projects in residential or industrial zoning districts, Tree Schedule B applies to moderate-scale projects or projects in commercial or mixed-use zoning districts, and Tree Schedule C applies to larger projects. In the following chart, please check the applicable box based on the characteristics of your project.

TREE SCHEDULE	PROJECT CHARACTERISTICS
<input type="checkbox"/> A	The project is located in a Residential (RH, RM, RTO, RED), Industrial (M) or Production/Distribution/Repair (PDR) Zoning District and does not involve a Planned Unit Development (PUD). A PUD is a special authorization granted by the Planning Commission that applies only to major projects involving large properties.
<input type="checkbox"/> B	1. The project is located in a RH, RM, RTO, RED, M or PDR Zoning District and involves a PUD OR 2. The project is located outside of an RH, RM, RTO, RED, M or PDR Zoning District and meets neither OR one of the following criteria, but not both: It is located on a parcel that contains (1) more than 1/2-acre in total area or (2) more than 250 feet of total street frontage or (3) street frontage which spans the entire block face between the nearest two intersections. It involves (1) the construction of a new building or (2) the addition of more than 20% of the gross floor area of the existing building or (3) a change of use of more than 50% of the existing square footage of the building.
<input type="checkbox"/> C	The project is located outside of an RH, RM, RTO, RED, M or PDR Zoning District and meets both criteria of Tree Schedule B(2), above.

TREE SCHEDULE A

REQUIREMENT	PROVISION
<input checked="" type="checkbox"/> Location	either in the public right-of-way (e.g. sidewalk) adjacent to the property or within an setback area at the front of the property
<input checked="" type="checkbox"/> Size	minimum of 24 inch box size

TREE SCHEDULE B

REQUIREMENT	PROVISION
<input checked="" type="checkbox"/> Location	either in the public right-of-way (e.g. sidewalk) adjacent to the property or within an setback area at the front of the property
<input checked="" type="checkbox"/> Size	minimum 2 inch diameter measured at breast height trunk a minimum of 80 inches above ultimate grade be planted in a sidewalk opening of at least 10 square feet have a minimum soil depth of 3 feet 6 inches
<input checked="" type="checkbox"/> Opening	include a laser grade with decorative treatment, such as curbs or cobble bedding will not count against the minimum 10 square foot opening if the existing material is permeable. A permeable material is one that allows water to infiltrate the underlying soils. Permeable surfaces are: mulch, but not be limited to, decorative paving, bark, porous asphalt, porous concrete, single-slab, aggregate, open-graded concrete, stone, pavers or brick that are locked and without mortar. Permeable surfaces are required to be maintained for better treatment than the permeable surface strategies of the site.

TREE SCHEDULE C

REQUIREMENT	PROVISION
<input checked="" type="checkbox"/> Location	As set forth in Schedule B, above.
<input checked="" type="checkbox"/> Spacing	Trees shall be planted in a continuous solidified trench parallel to the curb, such that the basin for each tree is depressed. The trenching shall be covered by permeable surface (see description above), except at required tree basins, where the soil must remain unobscured.

Applicant's Affidavit

I hereby attest under penalty of perjury that the information I have entered on this document is true and correct to the best of my knowledge, and that I have read and understood this form, and that I am the property owner or authorized agent of the property owner, familiar with the property, and able to provide accurate and complete information herein.

The undersigned agrees to the conditions of this form. I understand that knowingly or negligently providing false or misleading information in response to this disclosure requirement may lead to denial or rescission of my permit or other authorization and may constitute a violation of the San Francisco Municipal Code, which can lead to criminal and/or civil action and the imposition of administrative fines.

I understand that should my project be subject to a required Tree Protection Plan, that I will have a plan meeting or exceeding the minimum requirements prepared and submit it to the Department of Public Works prior to the commencement of any construction activities. Such submission may be in person, by mail or via email at urbanforestry@sfplanning.org.

Signature: Justin McBaine Date: 4/8/14

Print Name: Justin McBaine Address/Street name or authorized agent: (415) 466-8239 Phone Number: jmcba@yahoo.com Fax or Email:

Planning Department Determination

TO BE COMPLETED BY STAFF ONLY. DO NOT LEAVE ANY SECTION BLANK.

BUILDING PERMIT / CASE NO. _____

PLANS DATED: _____

New Street Trees New street trees are not required as part of this project.
 Street Trees are required as part of this project.

Number of new street trees required: _____

Applicable Tree Schedule: A B C

Compliance with as-of-right requirements shown on plans?
 YES
 NO - MODIFICATION OR WAIVER APPROVED. EXPLAIN IN COMMENTS BELOW.

Existing Tree Protection A Tree Protection Plan is not required. Box 1 or Box 2 in Section 5 has been marked.
 A Tree Protection Plan is required. Box 3 in Section 5 has been marked.

Existing Tree Removal No Protected Trees are proposed for removal.
 One or more Protected Trees are proposed for removal.

STAFF TO SIGN UNLESS A WAIVER OR MODIFICATION HAS BEEN APPROVED, IN WHICH CASE, A SIGNATURE IS REQUIRED.

Signature: _____ Print Name: _____ Date: _____

Comment (if any): _____

Staff Checklist

- The applicant has completed this entire checklist including the affidavit on the preceding page.
- If street trees are required, a building permit cannot be approved until the applicant provides evidence from DPW that the required planting permit can be issued.
- If Protected Trees are proposed for removal, a building permit cannot be approved until the applicant provides evidence from DPW that tree removal permits can be issued.
- If a Tree Protection Plan is required, the applicant has been informed verbally and/or in writing of his or her obligation to submit one directly to DPW prior to the commencement of construction.
- Once signed, a copy of this checklist has been returned to the applicant. The original has been included in the project file or, if processed over-the-counter, it has been routed upstairs for scanning by support staff.

MATAROZZI PELSINGER
DESIGN + BUILD

355 11TH STREET, SUITE 200 SAN FRANCISCO CA 94103
T 415.285.6830 F 415.285.7286 WWW.MATPELBUILDERS.COM

PROJECT TITLE:
3751 / 3753 20th STREET

JOB:
13045.70

ISSUE:
SITE PERMIT

DATE:
03.18.2015

REVISION:

SHEET TITLE:
TREE PLANTING & PROTECTION CHECKLIST

SHEET NUMBER:
A0.6

MEMORANDUM

DATE: March 5, 2015
 TO: Justin McBaine (Homeowner)
 Shane Curryn (Architect, Matarozzi Pelsinger Builders)
 FROM: Larry Wong, SE (L Wong Engineering Inc.)
 PROJECT: 3751 20th Street, Structural Schematic Narrative

Overall Project Description

The existing building located at 3751 20th Street is a 3-story, 2-unit, wood-framed residence situated on the south side of 20th Street and on a lot that slopes up from street level towards the rear. The front entry to the existing first floor is approximately 16 feet higher than the elevation of the sidewalk, with access to the entry provided by a set of concrete stairs. The footprint of the existing building, including the rear deck, is approximately 22 feet wide by 53 ft long.

The proposed remodel requiring substantial structural modifications includes a 2-story excavation below the existing first floor (1 garage level and 1 habitable level), a 3-story rear addition extending approximately 12 feet beyond the existing rear deck, excavation for a new yard, and a seismic upgrade to the entire structure per the current San Francisco Building Code.

The neighboring structure to the east is a 2-story, wood-framed, single-family house with a partial basement garage. The elevation of the existing first floor is approximately the same as the first floor of the subject building.

The neighboring structure to the west is a 5-story, wood-framed, single-family house. It appears that the building underwent a major renovation circa 2001, in which two subterranean levels (1 garage level and 1 habitable level) were excavated and added under the existing 3-story structure at that time. The new garage level extends back approximately 40 feet from the sidewalk, and Level 2 extends as far back as to match the existing rear facade. The proposed garage level of the subject building will match approximately the garage level of the west neighboring building.

Proposed Structural System

The proposed gravity framing system for the structure is as follows:

- **Level 1 (Garage/Street Level):** A 14-inch reinforced concrete mat slab laying over moisture barrier, drain rocks, and compacted subgrade or native soil.

- **Level 2:** Concrete-filled metal deck (5-inch total depth) supported by a series of 12-inch deep steel beams spanning in the east-west direction between side retaining walls. The retaining walls along the property lines will consist of 12-inch reinforced concrete walls.
- **Level 3:** The existing wood-framed floor will be replaced with a concrete-filled metal deck (5-inch total depth) supported by a series of 12-inch deep steel beams spanning in the east-west direction between side retaining walls. The retaining walls along the property lines will consist of 12-inch reinforced concrete walls.
- **Level 4:** The existing wood joist framing will remain largely intact, with localized structural modifications and strengthening where required by the architectural floor plans. The floor framing of the new addition will consist of conventional wood framing.
- **Level 5:** The existing wood joist framing will remain largely intact, with localized structural modifications and strengthening where required by the architectural floor plans. The roof over the addition, which will serve as a roof deck, will consist of conventional wood framing.
- **Roof:** The existing wood joist framing will remain largely intact.

The proposed lateral-force-resisting system for the structure is as follows:

- **Level 1 (Garage/Street Level):** 12-inch reinforced concrete shear walls (also serving as retaining walls) in the north-south direction (Gridlines A & C), and 12-inch reinforced concrete shear walls in the east-west direction (Gridlines 2, 4 & 6).
- **Level 2:** 12-inch reinforced concrete shear walls (also serving as retaining walls) in the north-south direction (Gridlines A & C), and a combination of 12-inch reinforced concrete shear walls (Gridlines 4 & 6) and steel braced frame (Gridline 3) in the east-west direction.
- **Level 3:** Plywood shear walls in the north-south direction (Gridlines A & C), and a combination of plywood shear walls (Gridlines 3, 4 & 5) and steel moment frame (Gridline 6).
- **Level 4:** Plywood shear walls in the north-south direction (Gridlines A & C), and a combination of plywood shear walls (Gridlines 3, 4 & 5) and steel moment frame (Gridline 6).
- **Level 5:** Plywood shear walls in the north-south direction (Gridlines A & C), and a combination of plywood shear walls (Gridlines 3, 4 & 5) and steel moment frame (Gridline 6).

The proposed construction of the rear yard will consist of 16-inch concrete retaining walls on the east, south, and west sides (Gridlines A, D & 9). On the north side, the proposed 12-inch concrete retaining wall at Gridline 6 will also serve as wall bracing for the retaining walls along the east and west sides.

Excavation and Shoring of Soil and Neighboring Structures

In order to construct the proposed Level 1 and Level 2, it is expected that a 2-story deep excavation will occur along the east property line (the entire length of the proposed building) and along the west property line (from the point south of the west neighbor's garage). A shoring scheme was devised to protect adjacent buildings and their foundations during construction. Shoring along the east and west property lines will consist of 18-inch diameter drilled piers with 12-inch deep steel soldier beams embedded in each drilled pier. The piers are estimated to be spaced at 6 feet embedded into bedrock per the recommendations of the geotechnical engineer. This shoring scheme proposed will be installed prior to any excavation of soil for the subterranean levels.

Shoring of Existing Structure (Subject Building)

The shoring of the upper levels of the existing subject building, while the subterranean levels are being constructed, will consist of conventional house shoring techniques. Four lines of steel shoring beams will be placed in the longitudinal direction below the 2nd floor framing (approximately west of Line A, approximately east of Line C, and two interior lines near Line B). If necessary, the 3rd floor and roof framing can also be supported by the same line of steel beams. Steel shoring beams will be supported by conventional "cribbing" towers (consisting of criss-crossed 6x6 lumber) at 4 locations (one at the front of the building, one in the rear yard, and two evenly spaced in the interior of the building). Cribbing towers will be supported by temporary concrete footings. Prior to construction, it is expected that proper shoring drawings will be submitted to SFDDBI for permit application by the shoring engineer.

Please do not hesitate to contact me with any questions regarding this memorandum.

Yours Sincerely,

Larry Wong
 Larry Wong, SE



PROJECT TITLE:
3751 / 3753 20th STREET

3751 20TH STREET
 SAN FRANCISCO, CA, 94110

MATAROZZI PELSINGER
 DESIGN + BUILD

355 11TH STREET, SUITE 200 SAN FRANCISCO CA 94103
 T 415.285.6830 F 415.285.7266 WWW.MATPELBUILDERS.COM

JOB:
13045.70

ISSUE:
SITE PERMIT

DATE:
03.18.2015

REVISION:

SHEET TITLE:
**STRUCTURAL
 NARRATIVE**

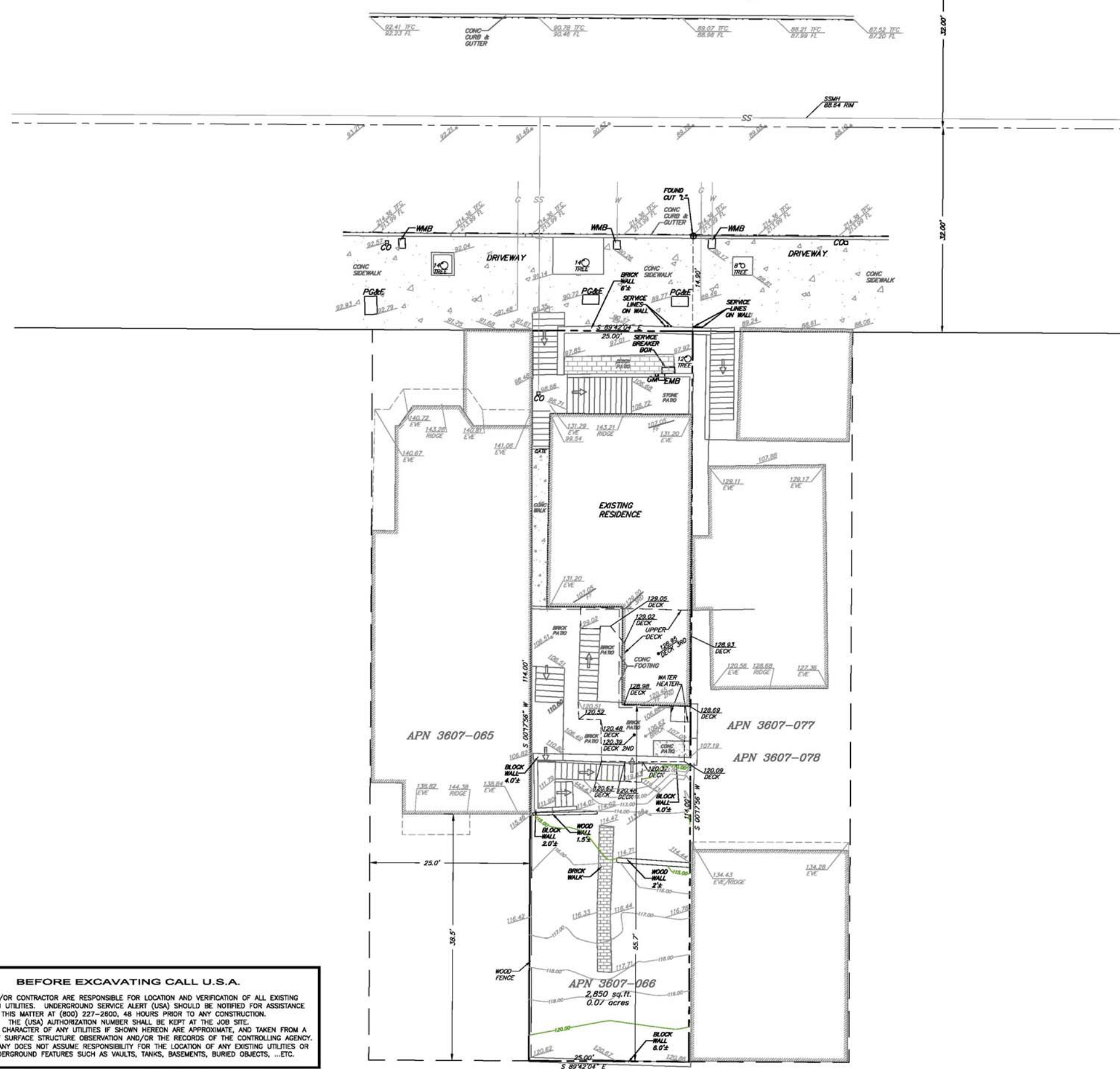
SHEET NUMBER:

A0.7

26TH STREET 64' R/W

LEGEND

- — — — — PROPERTY LINE
 - — — — — ADJACENT PROPERTY LINE
 - — — — — CENTERLINE
 - — — — — FLOW LINE
 - — — — — WOOD FENCE
 - — — — — OVERHEAD UTILITIES
 - — — — — SEWER LINE
 - — — — — GAS LINE
 - — — — — WATER LINE
 - — — — — CENTERLINE
-
- 00.00 → SPOT ELEVATIONS
 - SSMH SANITARY SEWER MANHOLE
 - GAS VALVE
 - ⊕ INDICATES FOUND MONUMENT AS NOTED
 - AC ASPHALT CONCRETE
 - AD AREA DRAIN
 - CO SANITARY SEWER CLEAN-OUT
 - CONC CONCRETE
 - DS DOWNSPOUT
 - EMB ELECTRIC METER BOX
 - FF FINISHED FLOOR
 - FL FLOWLINE
 - GM GAS METER
 - GP POWER POLE
 - R/W RIGHT OF WAY
 - SSMH SANITARY SEWER MANHOLE
 - SLV STREET LIGHT VAULT
 - TFC TOP FACE OF CURB
 - WMB WATER METER BOX
-
- BRICK
 - CONCRETE



BENCHMARK NOTE:
ELEVATIONS ARE BASED ON CITY DATUM.
BENCHMARK IS THE LETTER "O" IN OPEN ON TOP
OF THE FIRE HYDRANT AT THE SE INTERSECTION
OF 20TH STREET AND DELORES STREET.
ELEVATION = 112.262'

GENERAL NOTES:
3751 20TH STREET
SAN FRANCISCO, CA 94123
A.P.N. 3607-066

PREPARED FOR:
JUSTIN McBAINE

TOPOGRAPHIC SURVEY
 3751 20TH STREET
 CITY AND COUNTY OF SAN FRANCISCO



8285 office ave. suite 100
 REDWOOD CITY, CA 94063
 phone (760) 834-7283
 fax (760) 834-6819
 e-mail triad@triadholmes.com

214 west 5th st. suite 4
 REDWOOD CITY, CA 94063
 phone (760) 873-4253
 fax (760) 873-4024
 e-mail holmes@triadholmes.com

777 woodside rd. suite 4
 REDWOOD CITY, CA 94063
 phone (800) 388-0818
 fax (707) 251-8108
 e-mail holmes@triadholmes.com

513 brookside ave. suite 4
 S.F., CA 94133
 phone (415) 251-8170
 fax (415) 251-8108
 e-mail holmes@triadholmes.com

820 sherman st. suite 1
 SAN FRANCISCO, CA 94108
 phone (415) 251-8170
 fax (415) 251-8108
 e-mail holmes@triadholmes.com

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 Document is Intended Only
 for Use on the Project
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 Any Reproduction of the
 Document or Portions of the
 Document without the
 Express Written Consent of
 Triad/Holmes, is Prohibited.

I HEREBY STATE THAT I AM A LICENSED SURVEYOR OF THE STATE OF CALIFORNIA, THAT THIS MAP CORRECTLY REPRESENTS A SURVEY MADE UNDER MY SUPERVISION IN AUGUST 2013, AND THAT PROPERTY LINES SHOWN HEREON ARE COMPILED FROM RECORD DATA AND A BOUNDARY RETRACEMENT SURVEY, AND THAT THIS MAP DOES NOT INCLUDE EASEMENTS EXCEPT THOSE SPECIFICALLY DELINEATED HEREON.

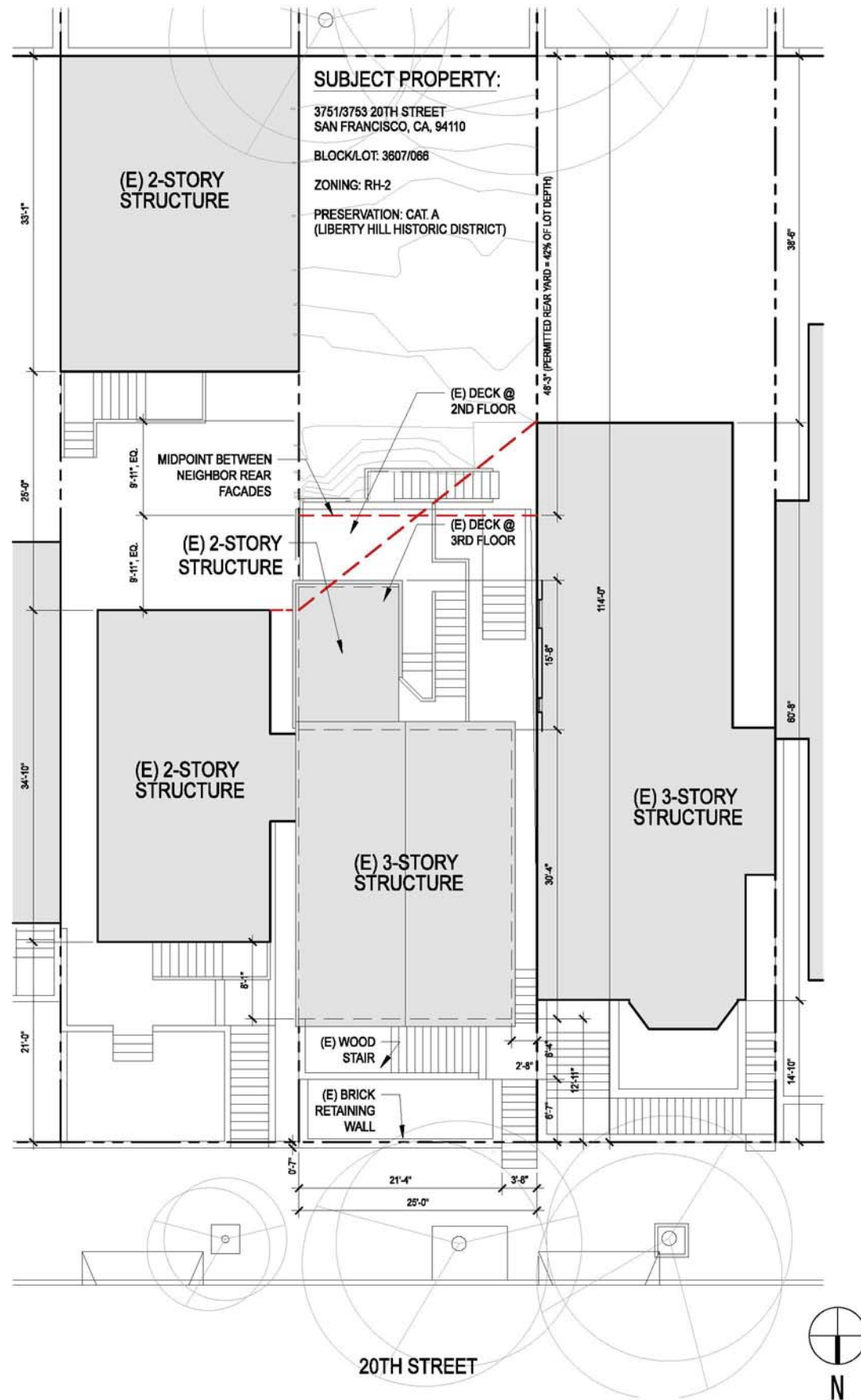
IF UNDERGROUND UTILITIES, ZONE, SETBACK AND STREET WIDENING DATA ARE SHOWN HEREON, IT IS FOR INFORMATION ONLY, HAVING BEEN OBTAINED FROM AVAILABLE SOURCES NOT CONNECTED WITH THIS CORPORATION. THEREFORE, NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF SAID INFORMATION.



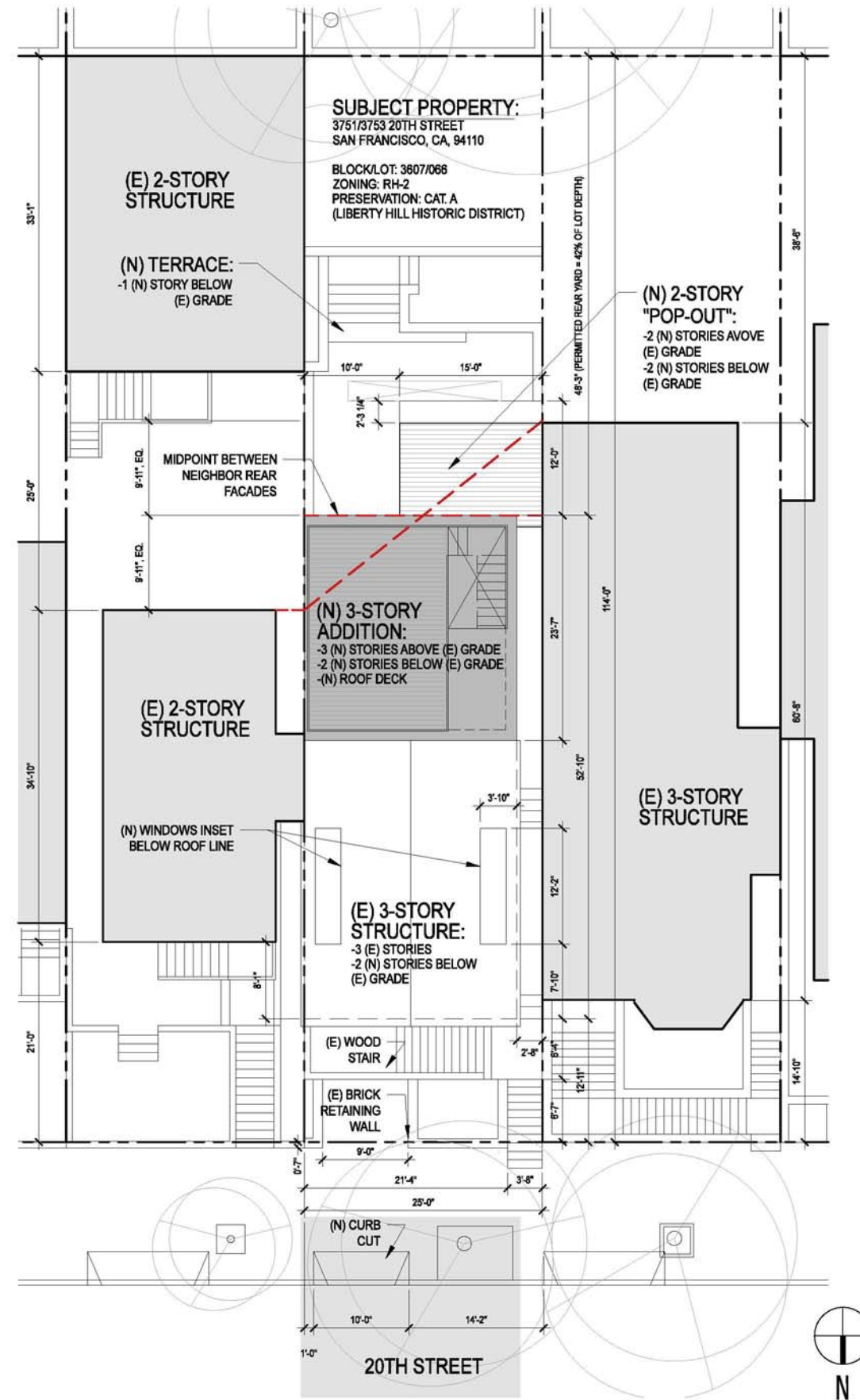
BEFORE EXCAVATING CALL U.S.A.
 OWNER AND/OR CONTRACTOR ARE RESPONSIBLE FOR LOCATION AND VERIFICATION OF ALL EXISTING UNDERGROUND UTILITIES. UNDERGROUND SERVICE ALERT (USA) SHOULD BE NOTIFIED FOR ASSISTANCE IN THIS MATTER AT (800) 227-2600, 48 HOURS PRIOR TO ANY CONSTRUCTION.
 THE (USA) AUTHORIZATION NUMBER SHALL BE KEPT AT THE JOB SITE.
 LOCATION AND CHARACTER OF ANY UTILITIES IF SHOWN HEREON ARE APPROXIMATE, AND TAKEN FROM A COMBINATION OF SURFACE STRUCTURE OBSERVATION AND/OR THE RECORDS OF THE CONTROLLING AGENCY. HUMAN COMPANY DOES NOT ASSUME RESPONSIBILITY FOR THE LOCATION OF ANY EXISTING UTILITIES OR OTHER UNDERGROUND FEATURES SUCH AS VAULTS, TANKS, BASEMENTS, BURIED OBJECTS, ...ETC.



DATE	08/15/13
SCALE	1"=8'
DRAWN	MN
JOB NO.	09-1561
DWG.	09-1571 TOPO
SHEET	C.0
OF	1 SHEETS

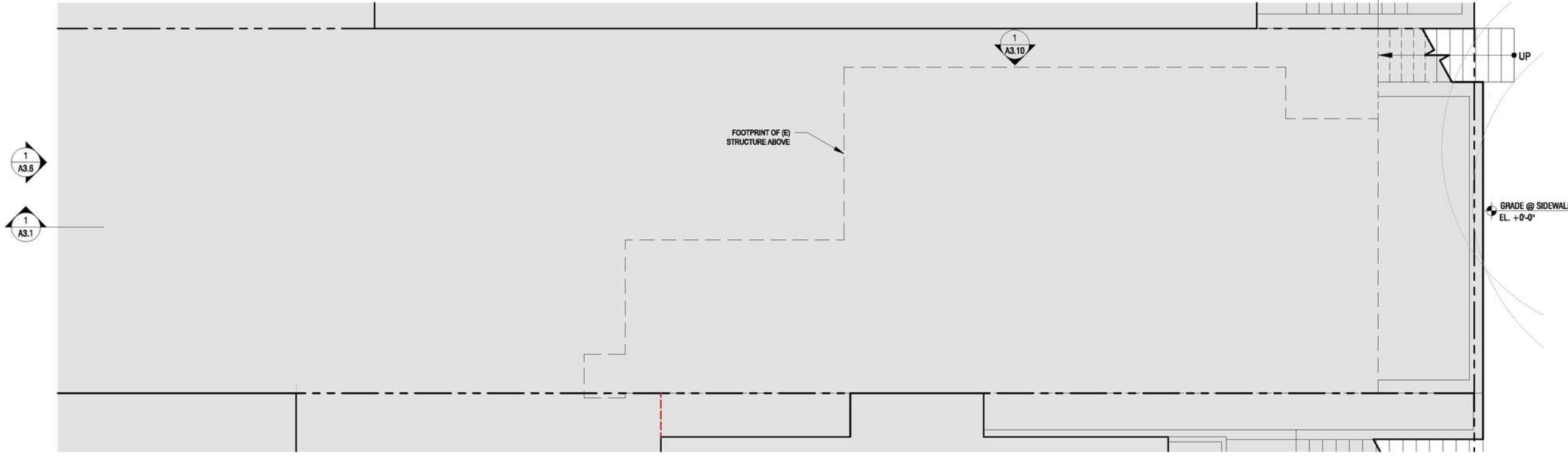


SITE PLAN: EXISTING
 SCALE: 1'-0" = 1/8"

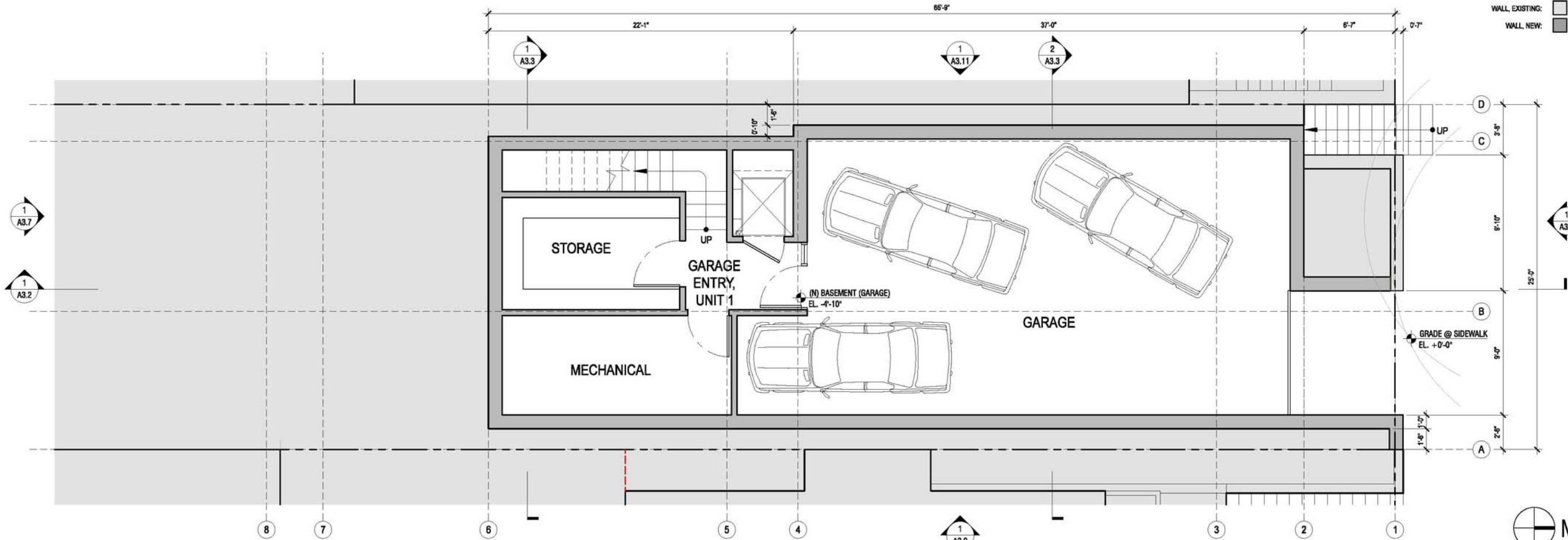


SITE PLAN: PROPOSED
 SCALE: 1'-0" = 1/8"





PLAN, BASEMENT: EXISTING (NOTE: NO EXISTING STORY AT THIS LEVEL)
SCALE: 1'-0" = 1/4"



PLAN, BASEMENT: PROPOSED
SCALE: 1'-0" = 1/4"

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DESIGN + BUILD
355 11TH STREET, SUITE 200 SAN FRANCISCO CA 94103
T 415.285.6830 F 415.285.7266 WWW.MATPELBUILDERS.COM

PROJECT TITLE:
3751 / 3753 20th STREET

3751 20TH STREET
SAN FRANCISCO, CA, 94110

JOB:
13045.70

ISSUE:
SITE PERMIT

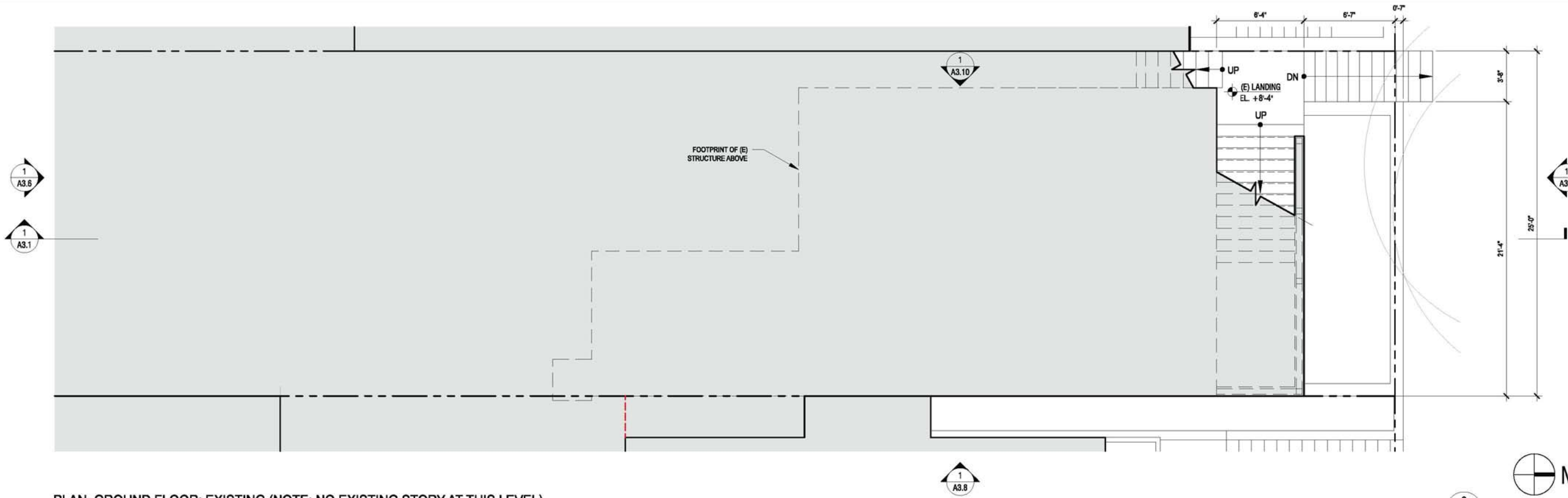
DATE:
03.18.2015

REVISION:

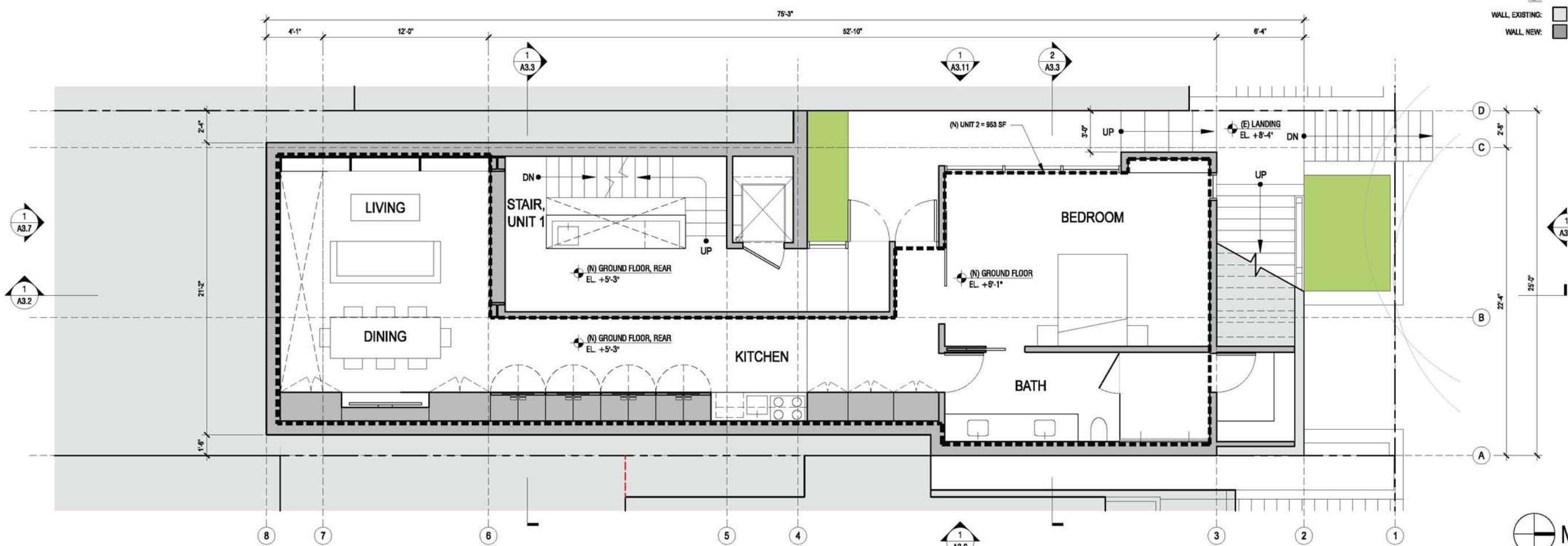
SHEET TITLE:
**BASEMENT PLANS:
EXISTING &
PROPOSED**

SHEET NUMBER:

A2.1



PLAN, GROUND FLOOR: EXISTING (NOTE: NO EXISTING STORY AT THIS LEVEL)
SCALE: 1'-0" = 1/4"



PLAN, GROUND FLOOR: PROPOSED
SCALE: 1'-0" = 1/4"

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JOB:
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ISSUE:
SITE PERMIT

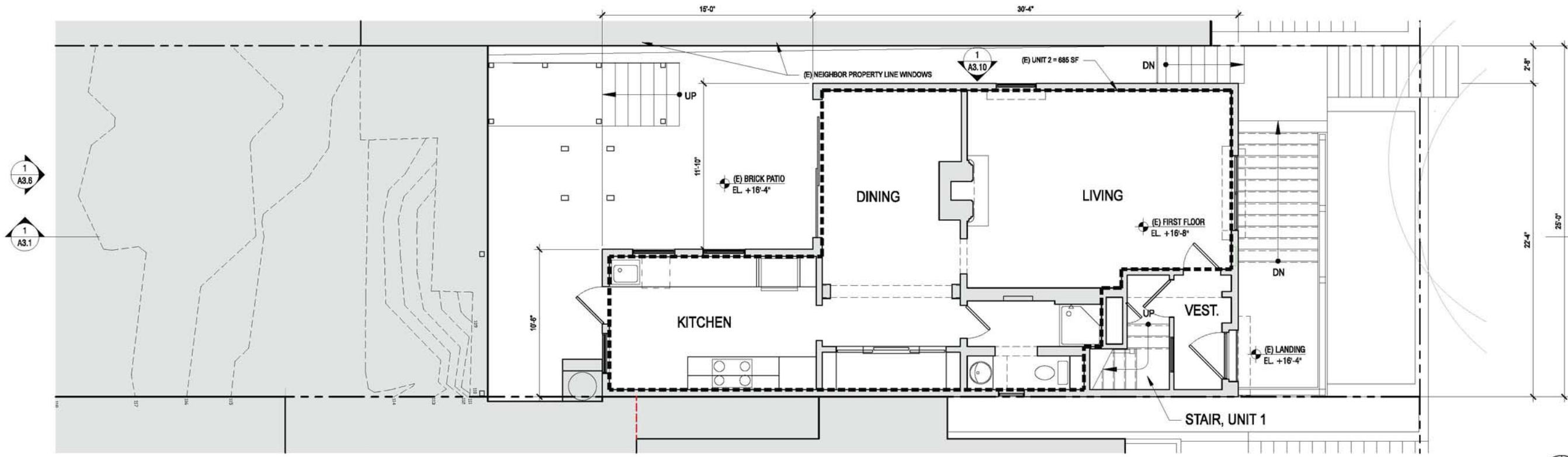
DATE:
03.18.2015

REVISION:

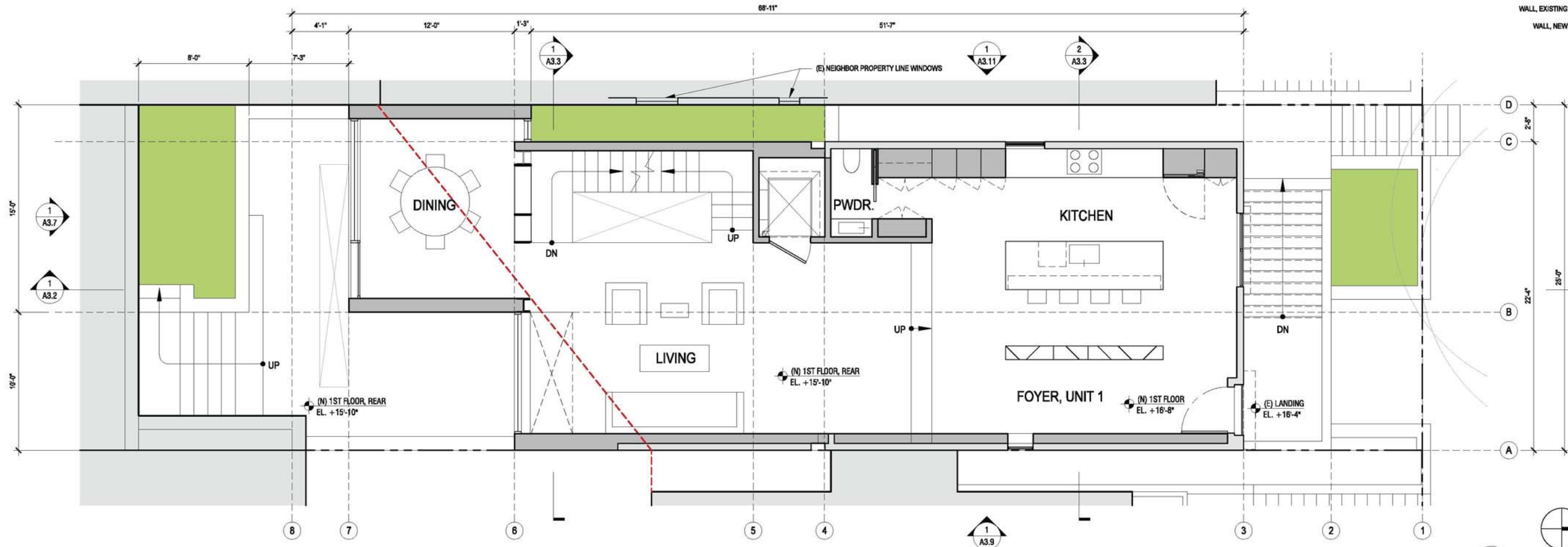
SHEET TITLE:
GROUND FLOOR
PLANS: EXISTING &
PROPOSED

SHEET NUMBER:

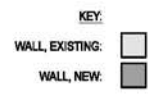
A2.2



PLAN, 1ST FLOOR: EXISTING
SCALE: 1'-0" = 1/4"



PLAN, 1ST FLOOR: PROPOSED
SCALE: 1'-0" = 1/4"



KEY:
WALL, EXISTING: [white box]
WALL, NEW: [grey box]

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DESIGN + BUILD
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T 415.285.6830 F 415.285.7288 WWW.MATPELBUILDERS.COM

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JOB:
13045.70

ISSUE:
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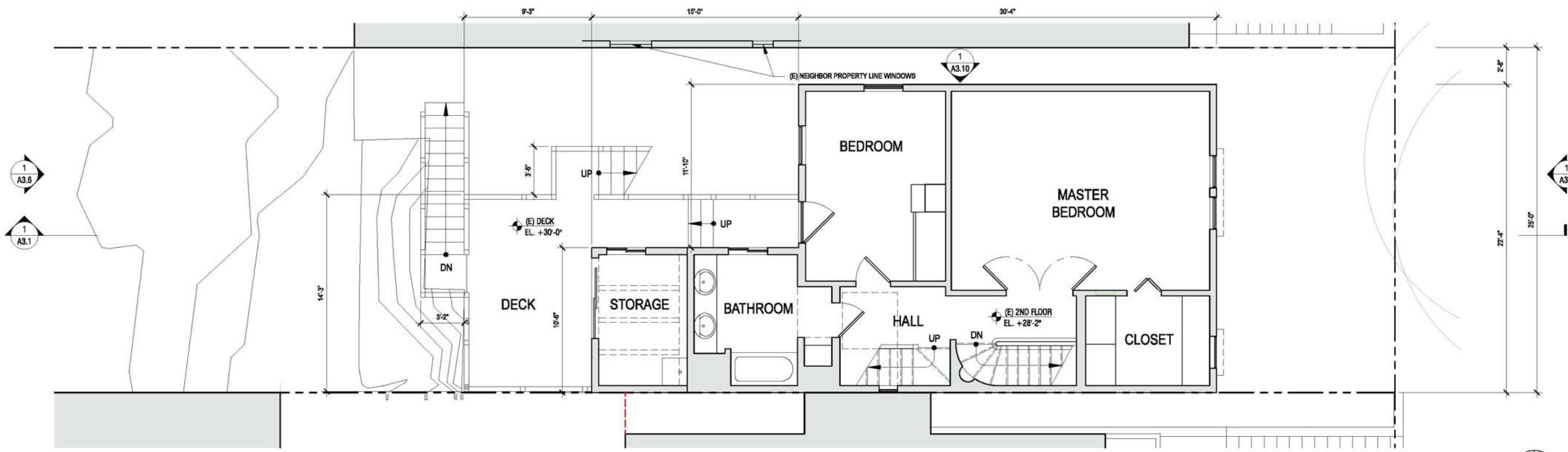
DATE:
03.18.2015

REVISION:

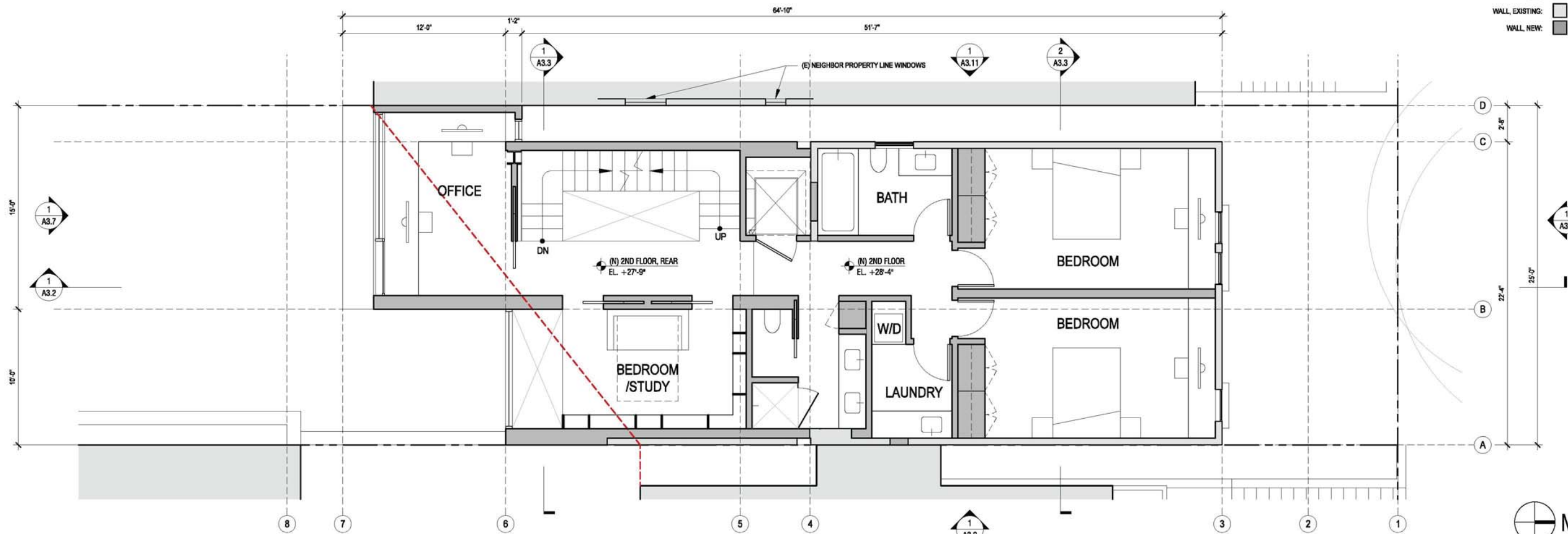
SHEET TITLE:
1ST FLOOR PLANS:
EXISTING &
PROPOSED

SHEET NUMBER:

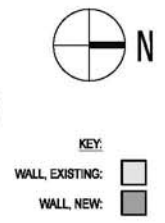
A2.3



PLAN, 2ND FLOOR: EXISTING
SCALE: 1'-0" = 1/4"



PLAN, 2ND FLOOR: PROPOSED
SCALE: 1'-0" = 1/4"



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JOB:
13045.70

ISSUE:
SITE PERMIT

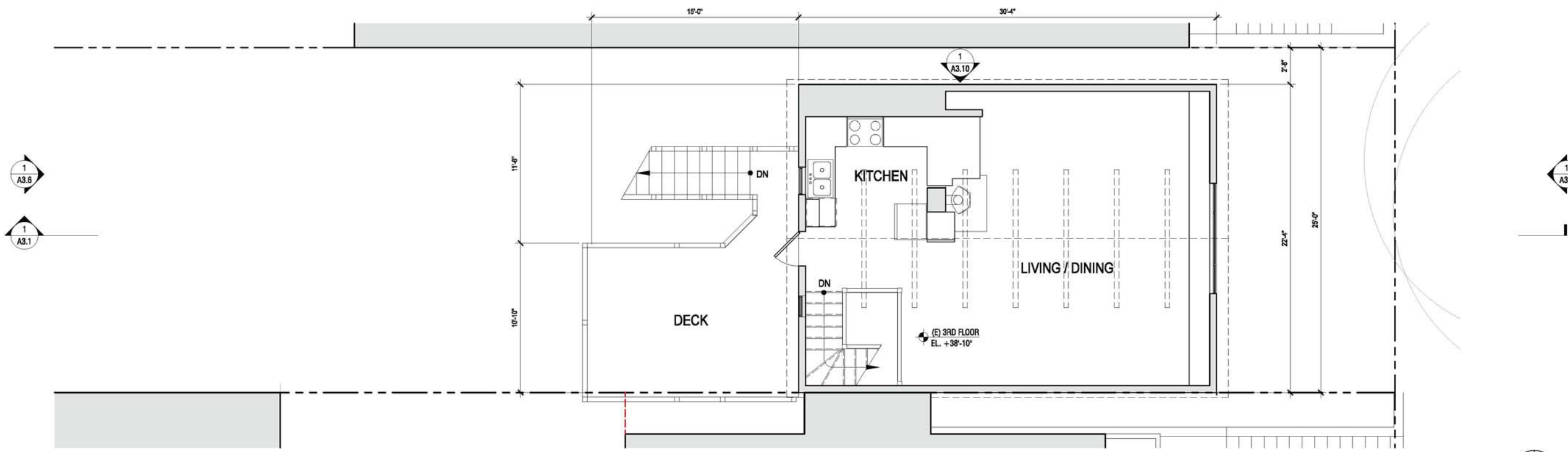
DATE:
03.18.2015

REVISION:

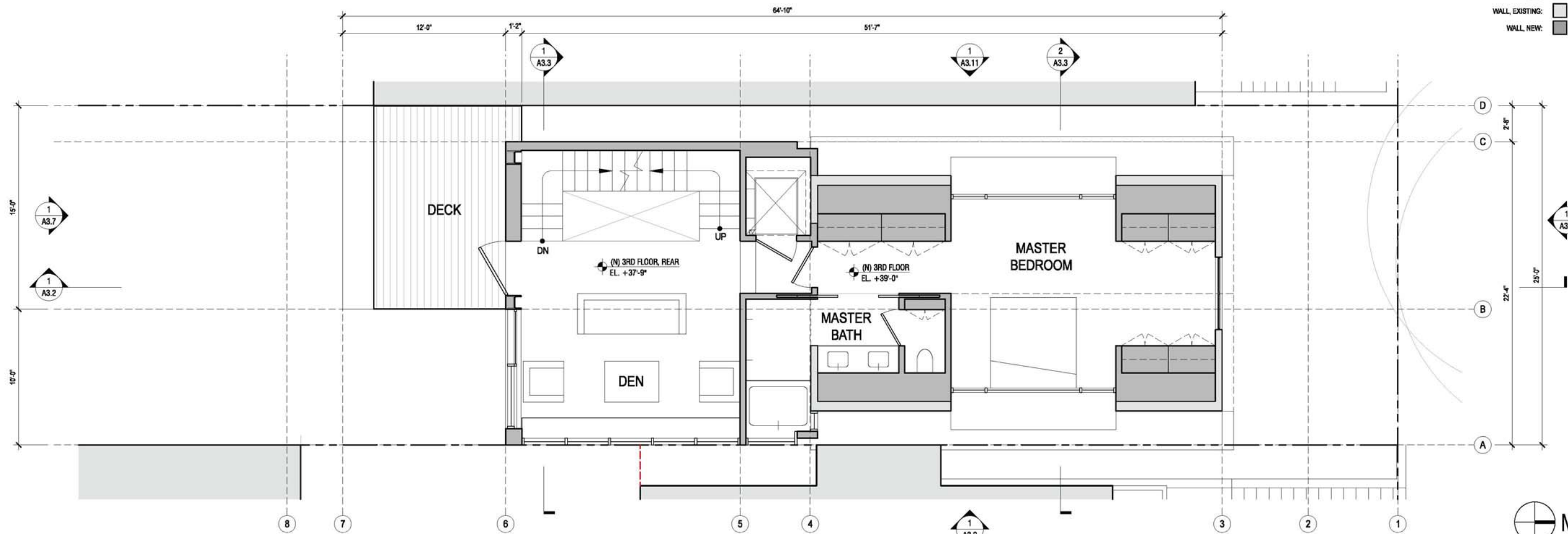
SHEET TITLE:
2ND FLOOR PLANS:
EXISTING &
PROPOSED

SHEET NUMBER:

A2.4



PLAN, 3RD FLOOR: EXISTING
SCALE: 1'-0" = 1/4"



PLAN, 3RD FLOOR: PROPOSED
SCALE: 1'-0" = 1/4"

KEY:
WALL, EXISTING: [light gray box]
WALL, NEW: [dark gray box]

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T 415.285.6830 F 415.285.7266 WWW.MATPELBUILDERS.COM

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3751 / 3753 20th STREET
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JOB:
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ISSUE:
SITE PERMIT

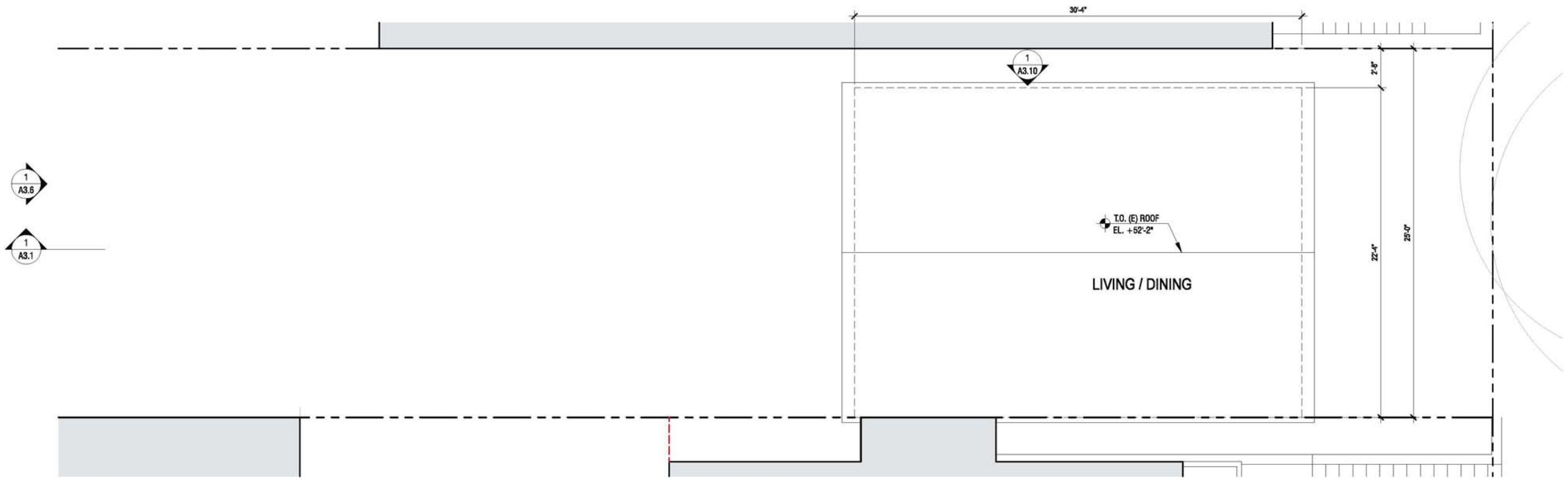
DATE:
03.18.2015

REVISION:

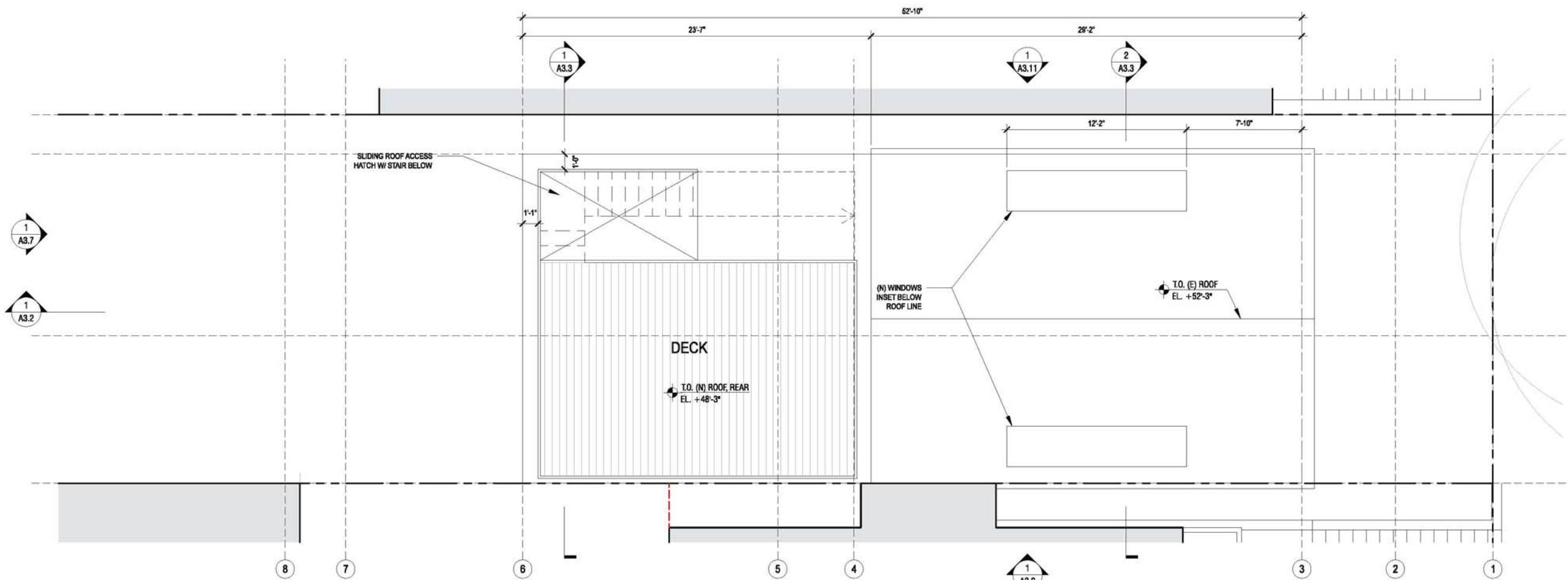
SHEET TITLE:
3RD FLOOR PLANS:
EXISTING &
PROPOSED

SHEET NUMBER:

A2.5



PLAN, ROOF: EXISTING
SCALE: 1'-0" = 1/4"



PLAN, ROOF: PROPOSED
SCALE: 1'-0" = 1/4"

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T 415.285.6830 F 415.285.7266 WWW.MATPELBUILDERS.COM

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ISSUE:
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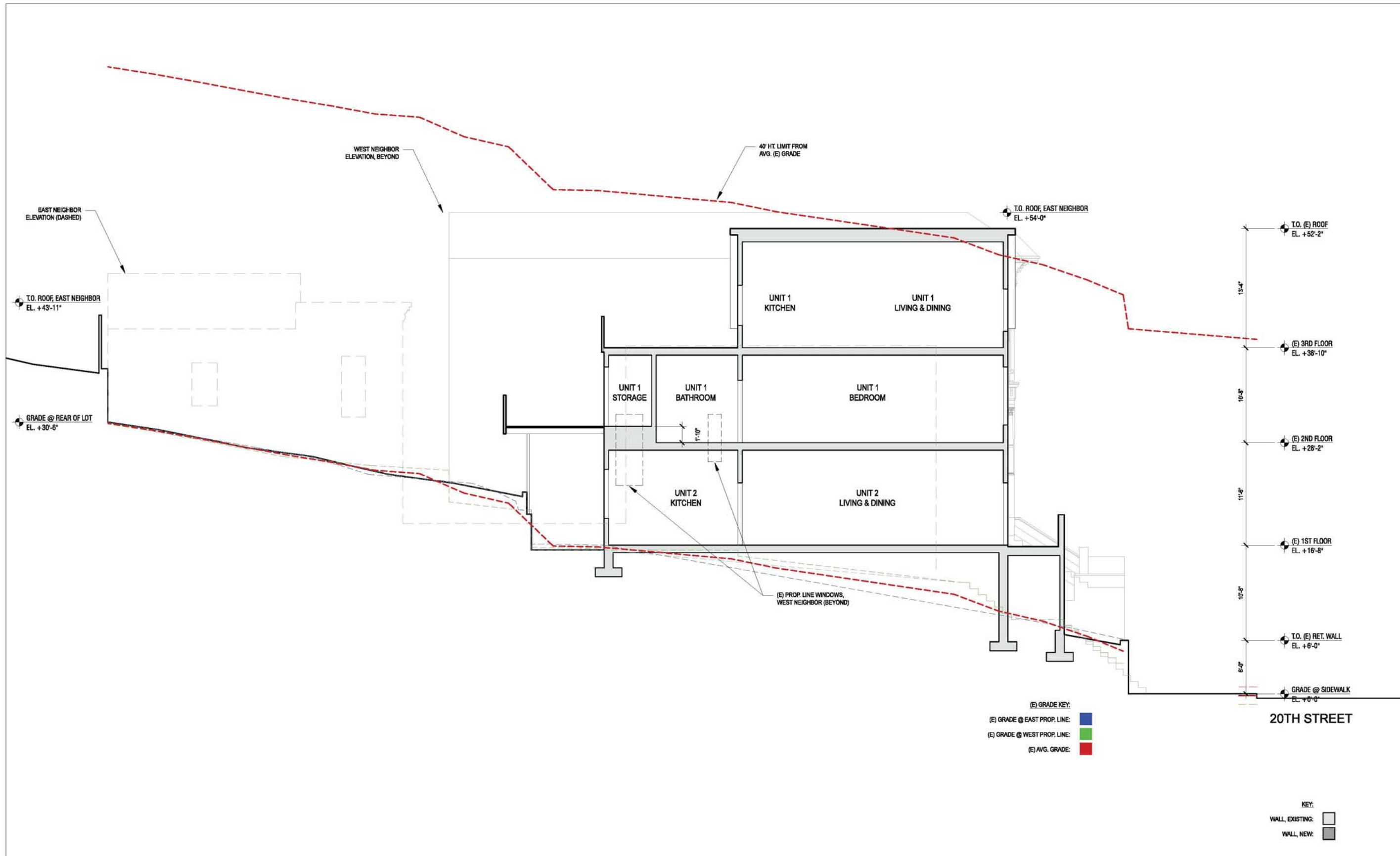
DATE:
03.18.2015

REVISION:

SHEET TITLE:
ROOF PLANS:
EXISTING &
PROPOSED

SHEET NUMBER:

A2.6

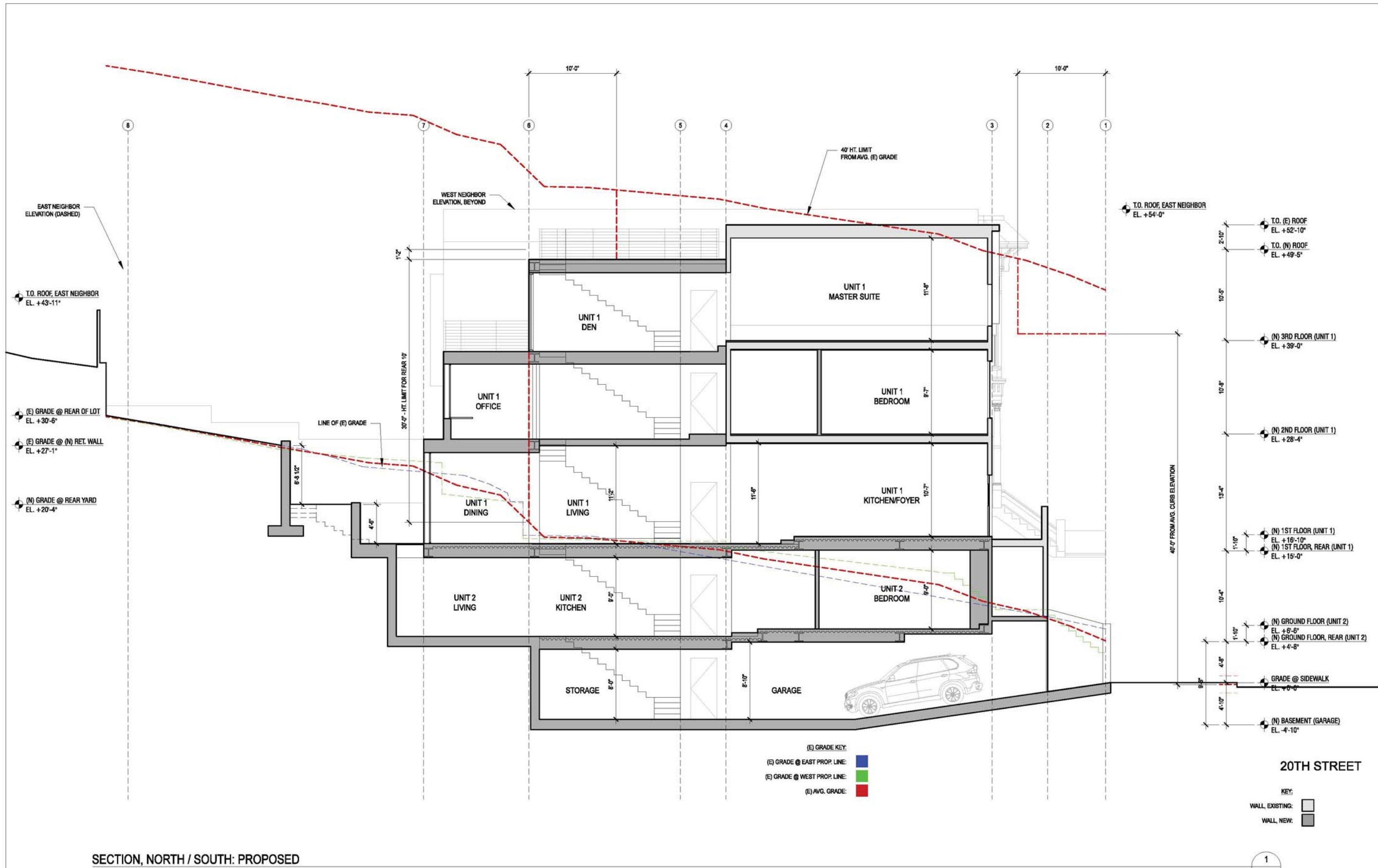


SECTION, NORTH / SOUTH: EXISTING
SCALE: 3/16" = 1'-0"

- (E) GRADE KEY:
- (E) GRADE @ EAST PROP. LINE: ■
 - (E) GRADE @ WEST PROP. LINE: ■
 - (E) AVG. GRADE: ■

- KEY:
- WALL, EXISTING:
 - WALL, NEW:

1
-



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 T 415.285.6830 F 415.285.7288 WWW.MATPELBUILDERS.COM

PROJECT TITLE:
3751 / 3753 20th STREET

JOB:
 13045.70

ISSUE:
 SITE PERMIT

DATE:
 03.18.2015

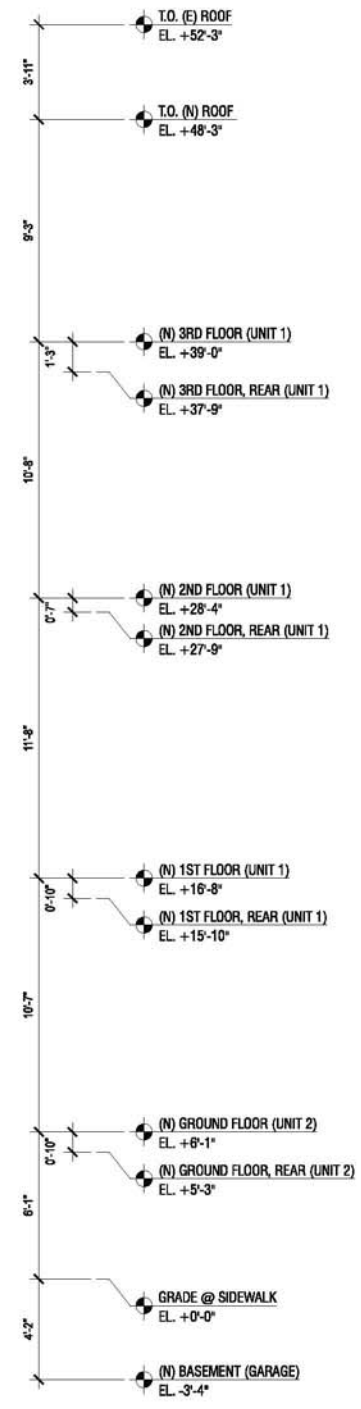
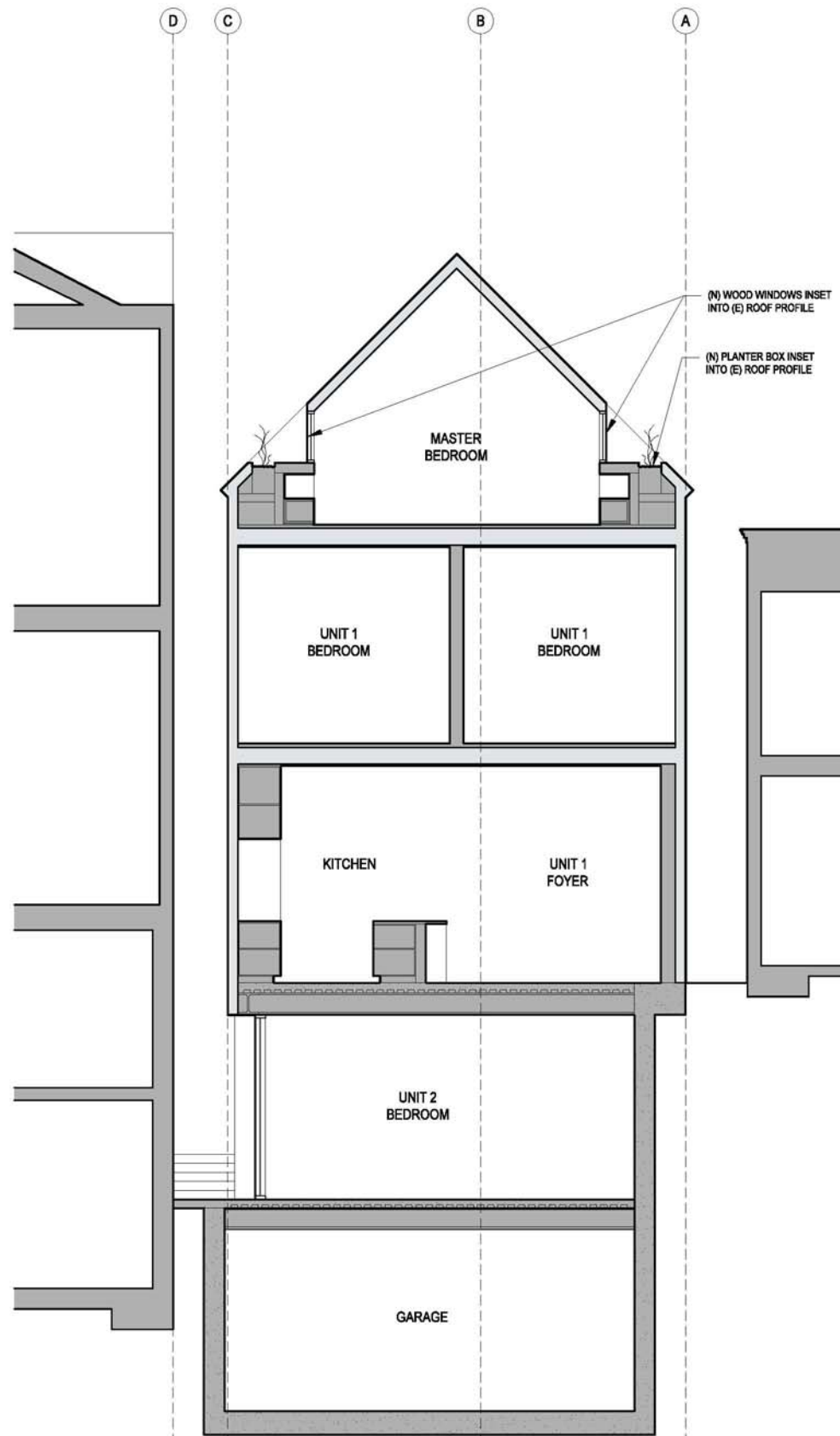
REVISION:

SHEET TITLE:
 SECTION - NORTH / SOUTH, PROPOSED

SHEET NUMBER:
A3.2

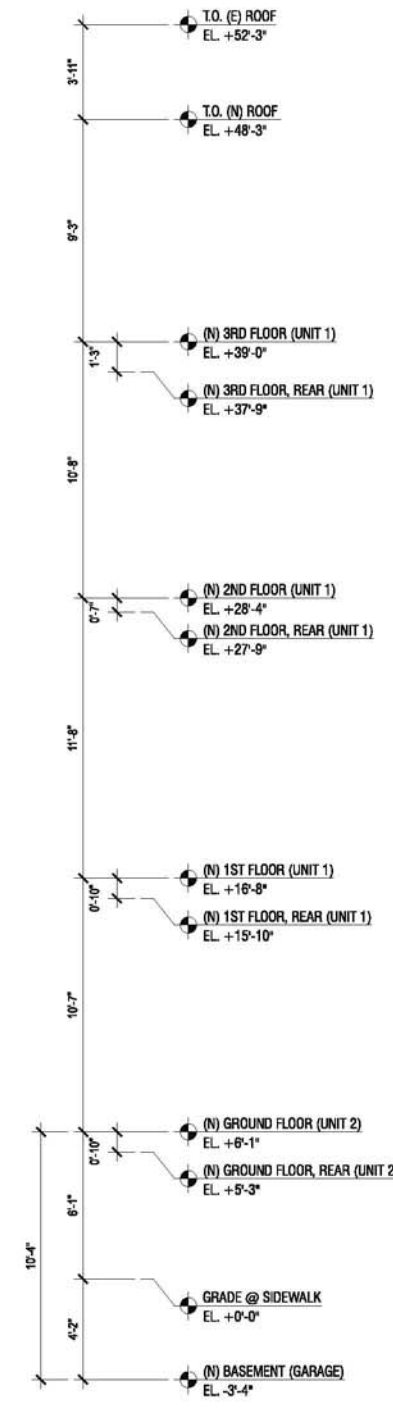
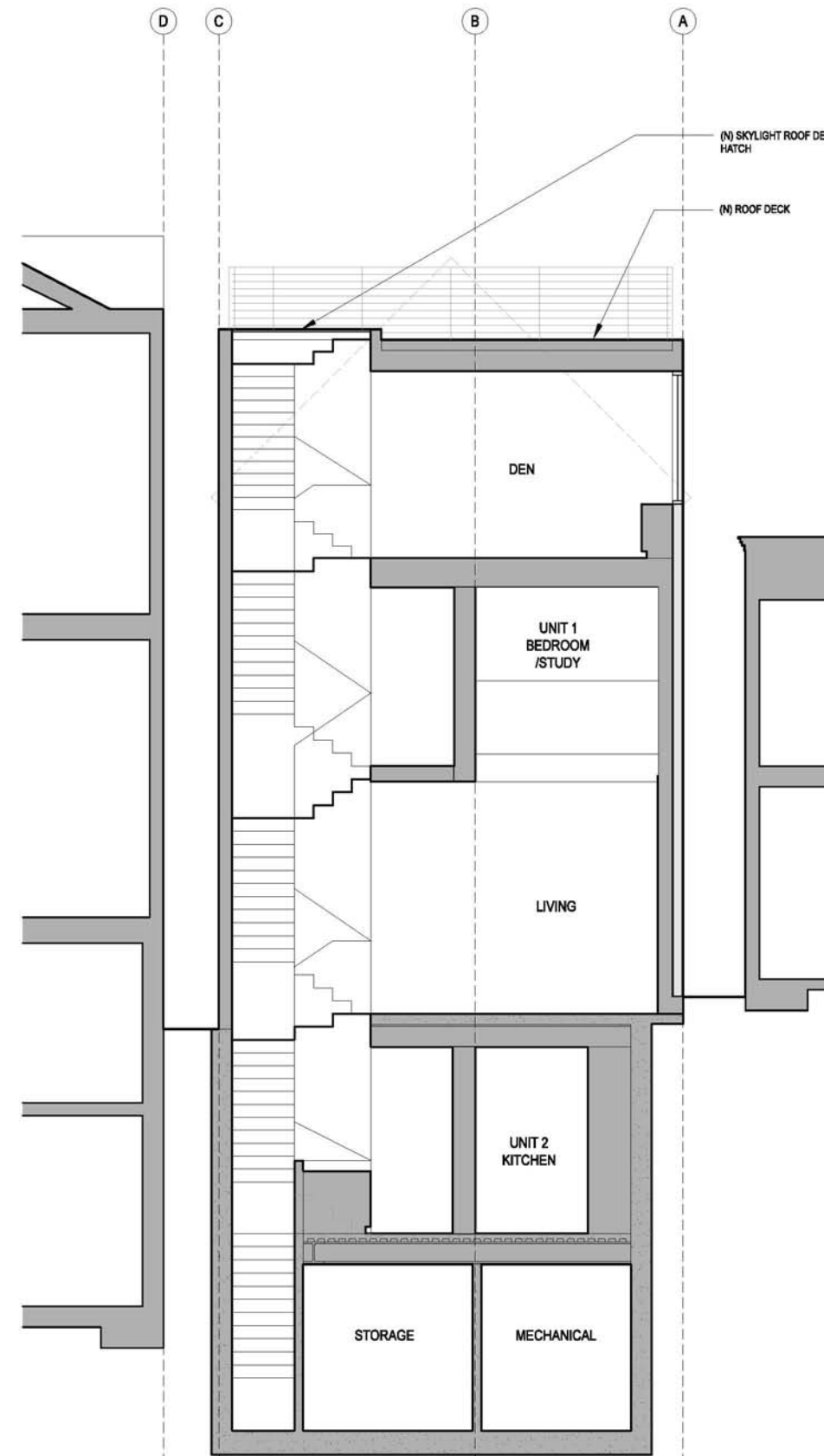
3751 20TH STREET
 SAN FRANCISCO, CA, 94110

1
 -



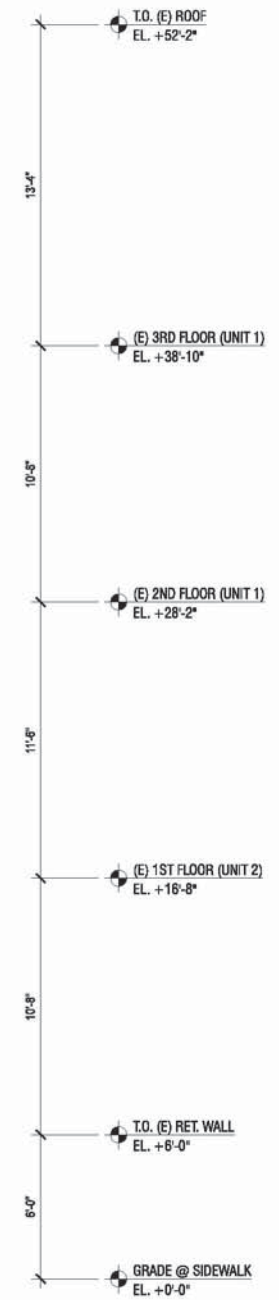
SECTION, EAST/WEST: PROPOSED (FRONT)
SCALE: 1/4" = 1'-0"

2



SECTION, EAST/WEST: PROPOSED (REAR)
SCALE: 1/4" = 1'-0"

1



ELEVATION, NORTH: EXISTING
SCALE: 1/4" = 1'-0"

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PROJECT TITLE:
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JOB:
13045.70

ISSUE:
SITE PERMIT

DATE:
03.18.2015

REVISION:

SHEET TITLE:
ELEVATION - NORTH, EXISTING

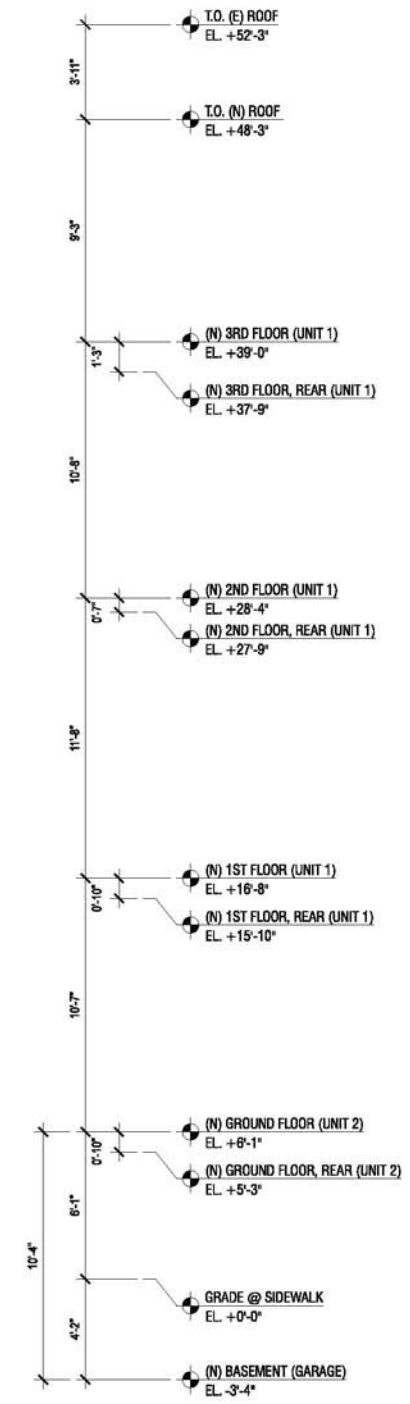
SHEET NUMBER:

A3.4



- (N) CABLE RAIL GUARDRAIL
- (N) PAINTED WOOD T&G SIDING @ ADDITION, TYP.
- (N) WOOD WINDOW
- (N) WOOD WINDOW
- (E) PAINTED WOOD SHIPLAP SIDING, TYP.
- (E) ORIG WOOD WINDOWS, TYP.

- (N) CONCRETE FOUNDATION WALL
- (E) CONCRETE STAIRS
- (E) BRICK RETAINING WALL
- (N) PAINTED WOOD GARAGE DOOR



1

ELEVATION, NORTH: PROPOSED
SCALE: 1/4" = 1'-0"

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PROJECT TITLE:
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JOB:
13045.70

ISSUE:
SITE PERMIT

DATE:
03.18.2015

REVISION:

SHEET TITLE:
ELEVATION - NORTH, PROPOSED

SHEET NUMBER:

A3.5

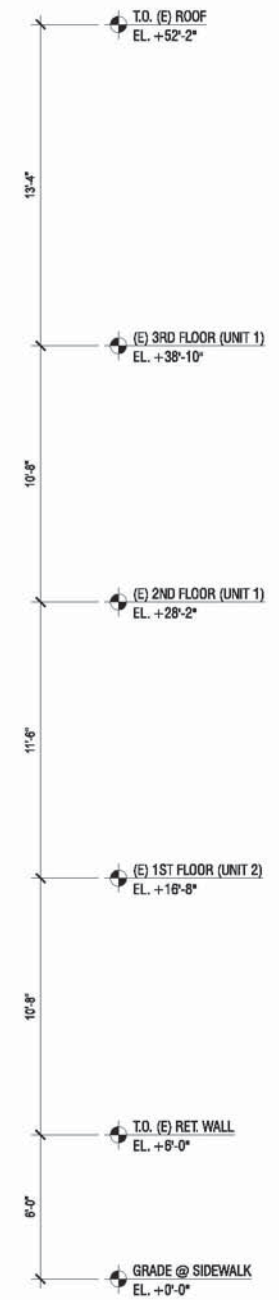
3751 20TH STREET
SAN FRANCISCO, CA, 94110



(E) PAINTED WOOD SHIP-LAP SIDING, TYP.

(E) MISC. WOOD & ALUM. WINDOWS, TYP.

(E) PAINTED WOOD MISC. SIDING @ REAR EXTENSION, TYP.



ELEVATION, SOUTH: EXISTING
SCALE: 1/4" = 1'-0"

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DESIGN + BUILD

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PROJECT TITLE:
3751 / 3753 20th STREET

JOB:
13045.70

ISSUE:
SITE PERMIT

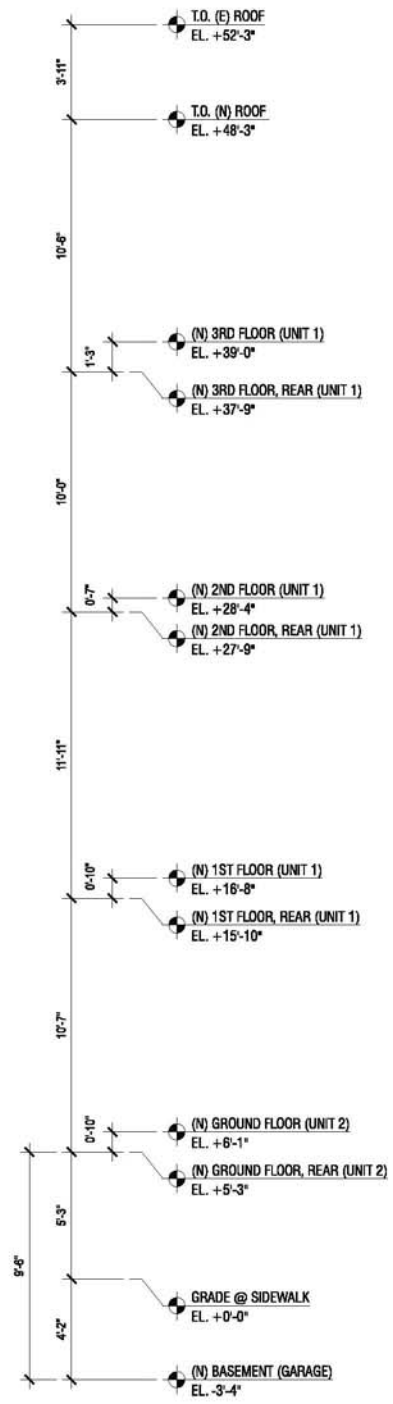
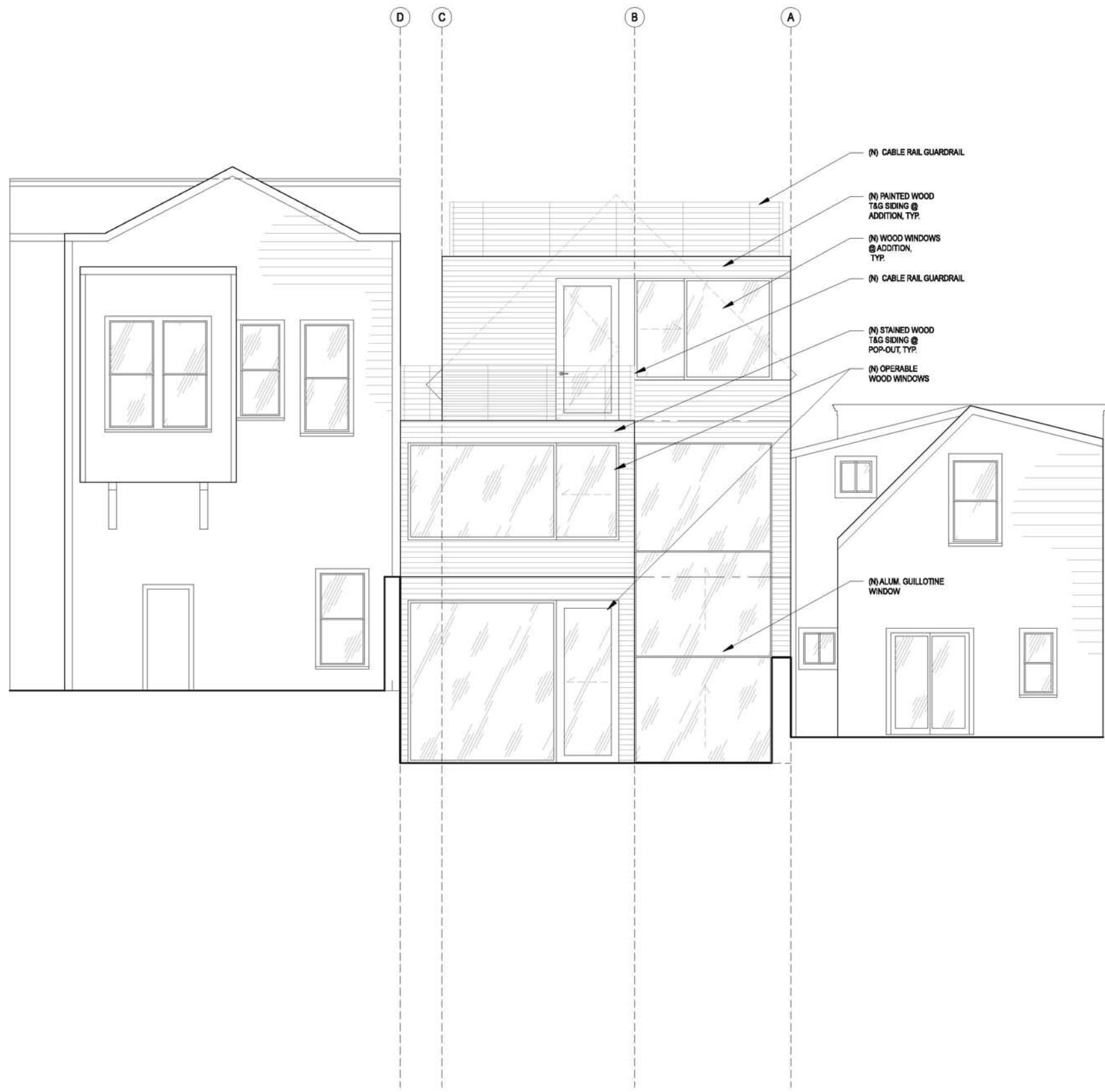
DATE:
03.18.2015

REVISION:

SHEET TITLE:
ELEVATION - SOUTH, EXISTING

SHEET NUMBER:
A3.6

3751 20TH STREET
SAN FRANCISCO, CA, 94110



ELEVATION, SOUTH: PROPOSED
SCALE: 1/4" = 1'-0"

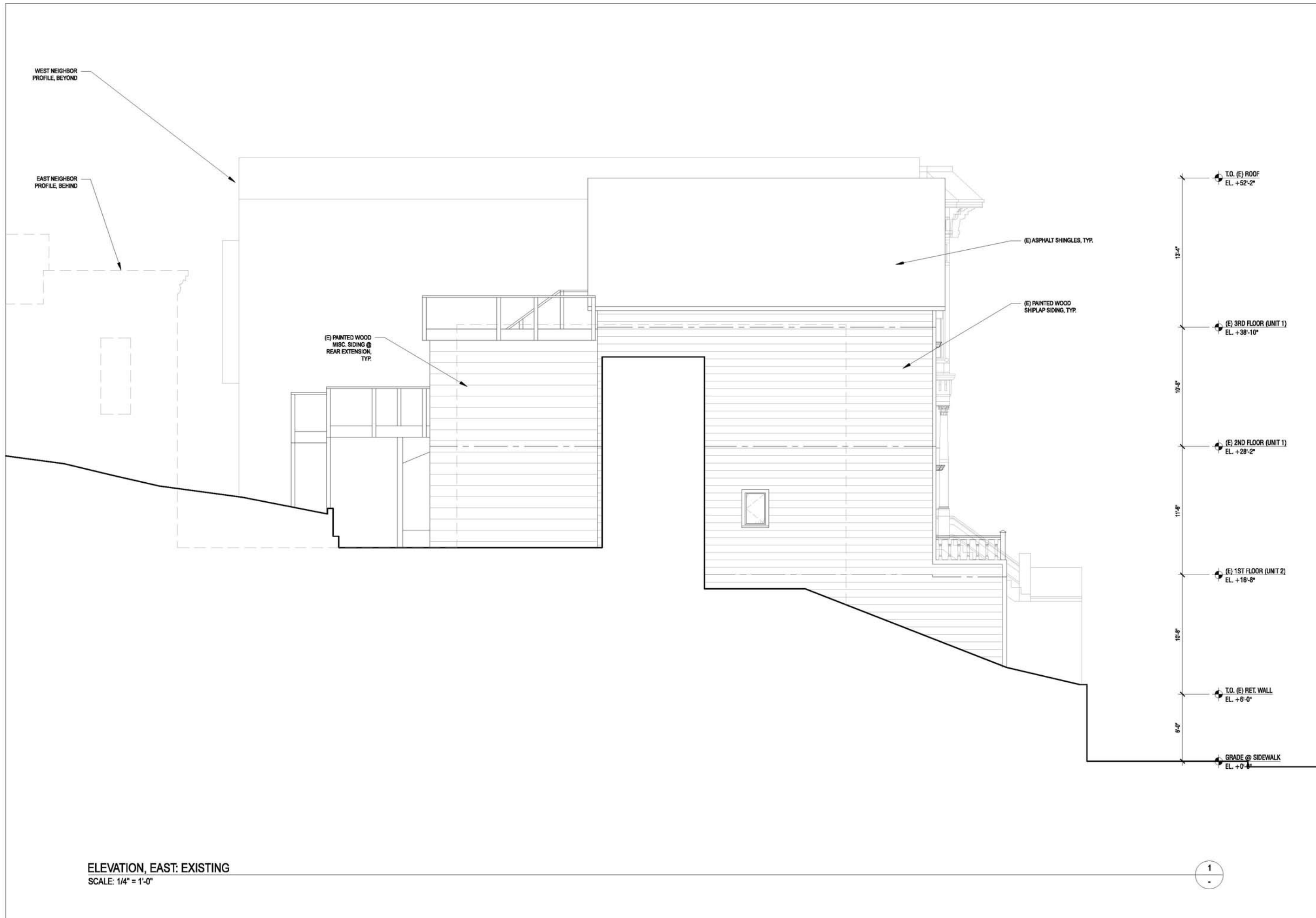
MATAROZZI PELSINGER
DESIGN + BUILD

3751 20TH STREET
SAN FRANCISCO, CA, 94110

JOB: 13045.70
ISSUE: SITE PERMIT
DATE: 03.18.2015
REVISION:
SHEET TITLE: ELEVATION - SOUTH, PROPOSED
SHEET NUMBER:

A3.7

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WEST NEIGHBOR
PROFILE, BEYOND

EAST NEIGHBOR
PROFILE, BEYOND

(E) PAINTED WOOD
MISC. SIDING @
REAR EXTENSION,
TYP.

(E) ASPHALT SHINGLES, TYP.

(E) PAINTED WOOD
SHIPLAP SIDING, TYP.

T.O. (E) ROOF
EL. +52'-2"

(E) 3RD FLOOR (UNIT 1)
EL. +38'-10"

(E) 2ND FLOOR (UNIT 1)
EL. +28'-2"

(E) 1ST FLOOR (UNIT 2)
EL. +18'-8"

T.O. (E) RET. WALL
EL. +6'-0"

GRADE @ SIDEWALK
EL. +0'-0"

13'-4"
10'-5"
11'-5"
10'-8"
6'-0"

ELEVATION, EAST: EXISTING
SCALE: 1/4" = 1'-0"

1

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PROJECT TITLE:
3751 / 3753 20th STREET

3751 20TH STREET
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JOB:
13045.70

ISSUE:
SITE PERMIT

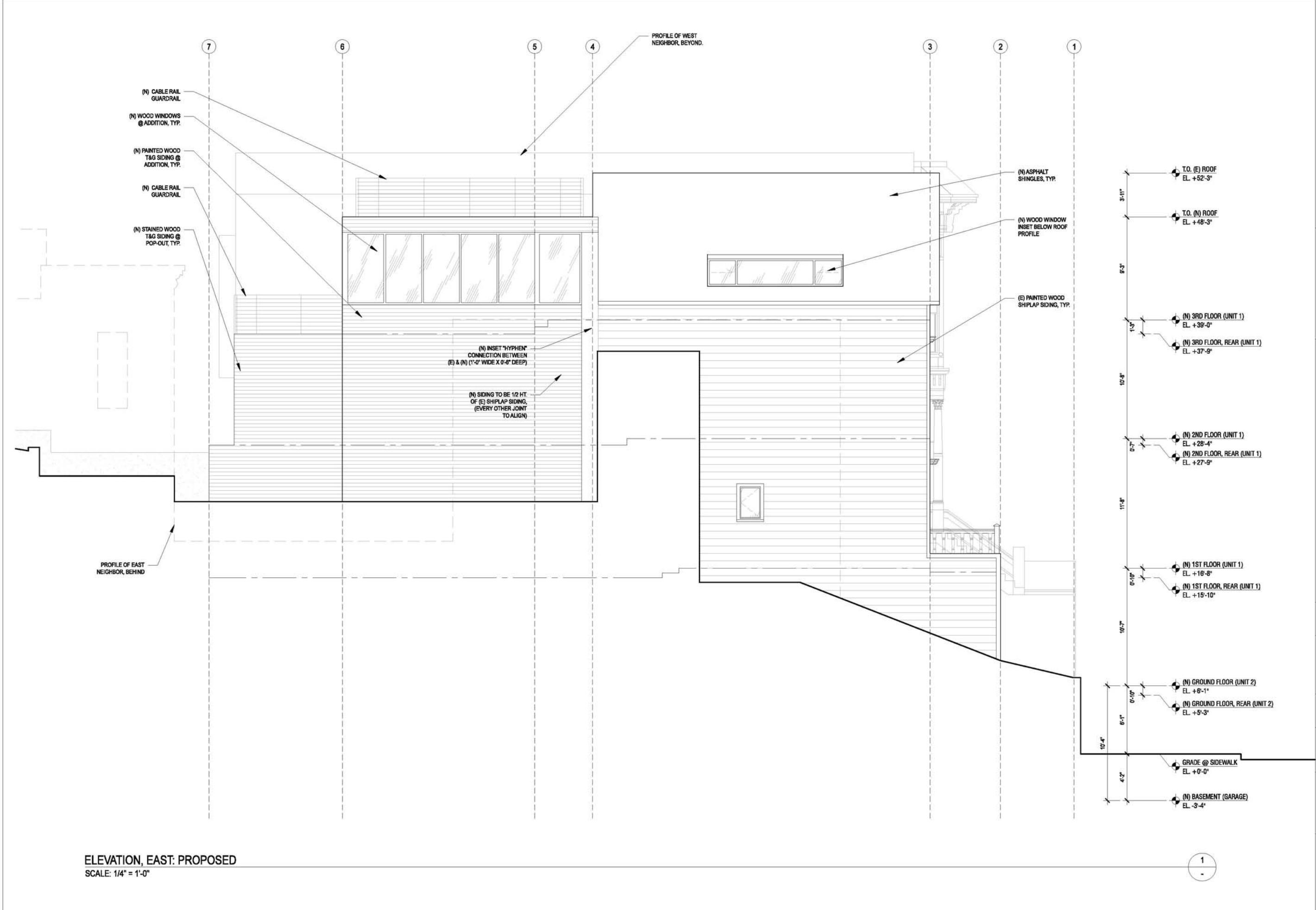
DATE:
03.18.2015

REVISION:

SHEET TITLE:
ELEVATION -
EAST,
EXISTING

SHEET NUMBER:

A3.8



ELEVATION, EAST: PROPOSED
 SCALE: 1/4" = 1'-0"

1

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 T 415.285.6830 F 415.285.7288 WWW.MATPELBUILDERS.COM

PROJECT TITLE:
3751 / 3753 20th STREET
 3751 20TH STREET
 SAN FRANCISCO, CA, 94110

JOB:
 13045.70

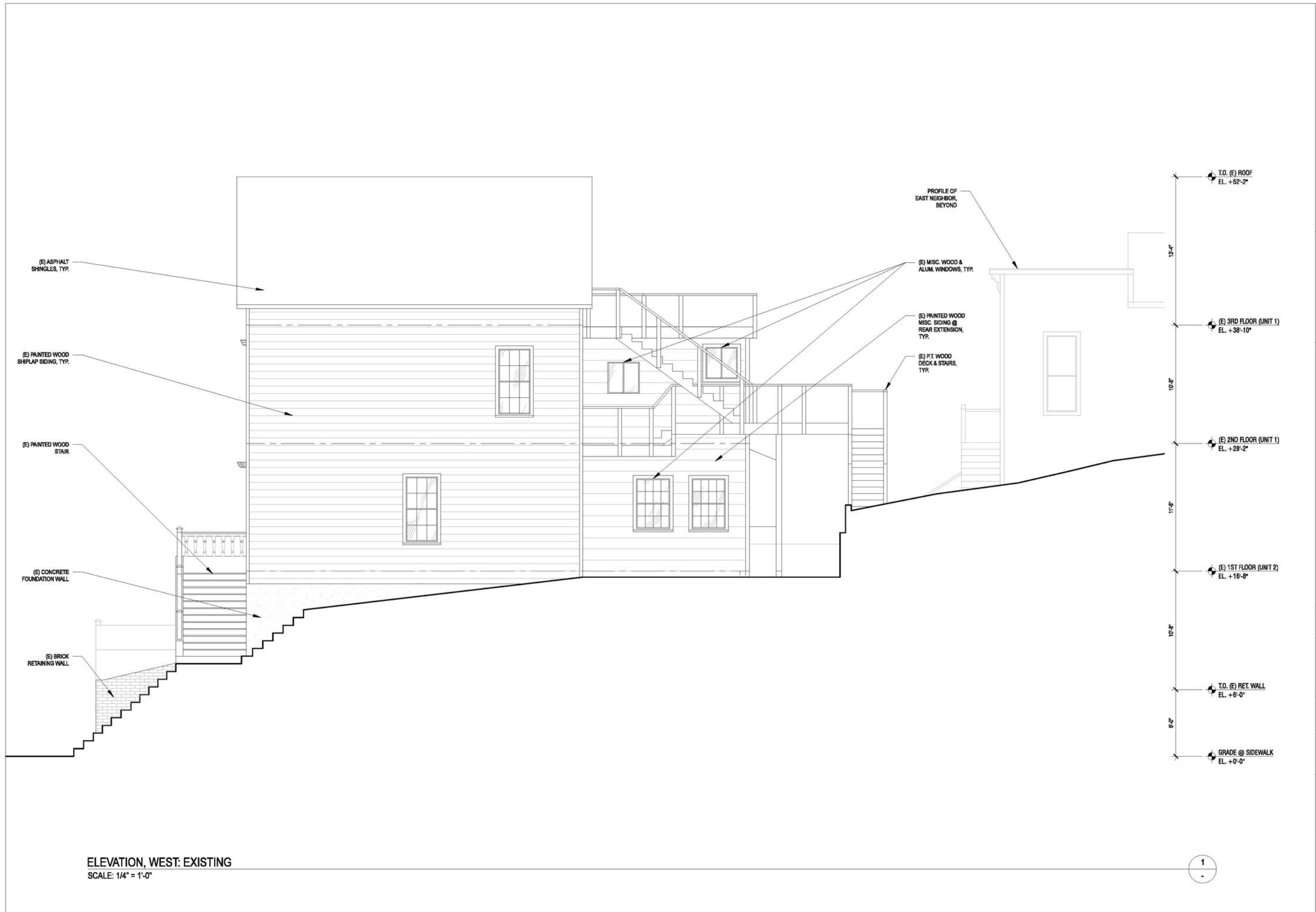
ISSUE:
 SITE PERMIT

DATE:
 03.18.2015

REVISION:

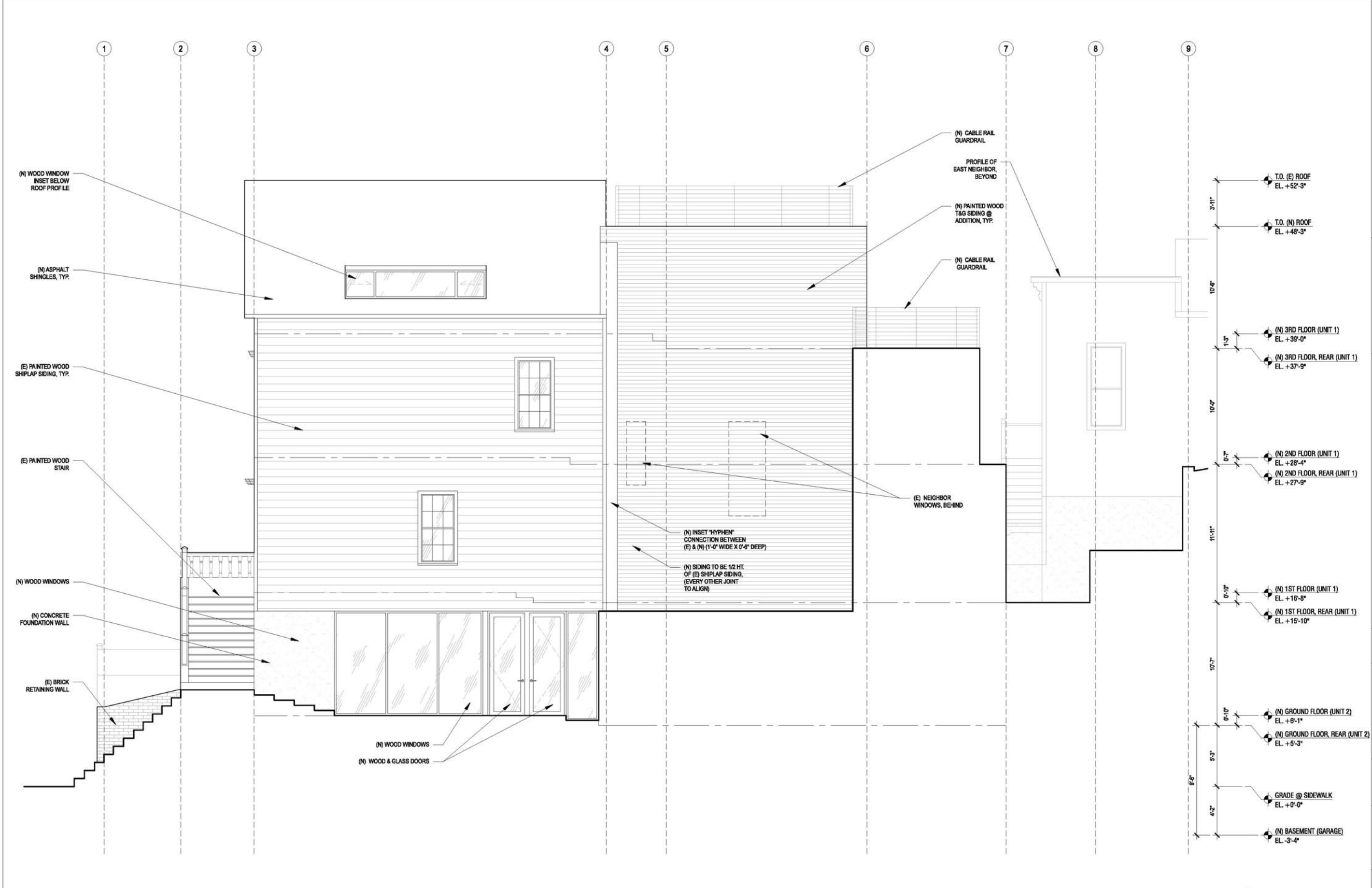
SHEET TITLE:
 ELEVATION - EAST, PROPOSED

SHEET NUMBER:
A3.9



ELEVATION, WEST: EXISTING
SCALE: 1/4" = 1'-0"

1



ELEVATION, WEST: PROPOSED
SCALE: 1/4" = 1'-0"

1

3751 / 3753 20TH STREET: PERSPECTIVE VIEWS

MARCH 24, 2015

























Original Proposal – 3751-3753 20th Street
(dated November 4, 2014)

ABBREVIATIONS

&	AND	(N)	NEW
@	AT	NAT.	NATURAL
ABV.	ABOVE	N.I.C.	NOT IN CONTRACT
A.C.	AIR CONDITIONING	NO.	NUMBER
A.C.T.	ACOUSTIC CEILING TILE	#	NUMBER
ADJ.	ADJUSTABLE	NOM.	NOMINAL
ADJ.C.	ADJACENT	N.T.S.	NOT TO SCALE
A.F.F.	ABOVE FINISHED FLOOR		
ALT.	ALTERNATE	OBSC.	OBSCURE
ALUM.	ALUMINUM	O.C.	ON CENTER
ANOD.	ANODIZED	O.D.	OUTSIDE DIAMETER
APPROX.	APPROXIMATE	O.H.	OPPOSITE HAND
ARCH.	ARCHITECTURAL	OPER.	OPERABLE
AXON.	AXONOMETRIC	OPNG.	OPENING
		OPP.	OPPOSITE
BD.	BOARD	PART.	PARTITION
B.J.	BUTT-JOINT	PERF.	PERFORATED
B.L.D.G.	BUILDING	PL.	PLATE
B.L.G.	BLOCKING	PL	PROPERTY LINE
B.O.	BOTTOM OF	PLAM.	PLASTIC LAMINATE
B.P.	BUILDING PAPER	PLAS.	PLASTER
BRZ.	BRONZE	PLY.	PLYWOOD
B.U.R.	BUILT-UP ROOF	PNL.	PANEL
		PNT.	PAINT
CAB.	CABINET	PROP.	PROPERTY
CEM.	CEMENT	PTD.	PAINTED
CER.	CERAMIC	P.T.	PRESSURE TREATED
CHAN.	CHANNEL	P.V.	PHOTOVOLTAIC
C.I.P.	CAST-IN-PLACE		
C.L.	CENTERLINE	R.	RADIUS
CL.	CLEAR	R	RISER
CLG.	CEILING	R	RESILIENT BASE
C.L.O.	CLOSET	R.C.P.	REFLECTED CEILING PLAN
CL.R.	CLEAR	REF.	REFERENCE
C.M.U.	CONCRETE MASONRY UNIT	REF.	REFRIGERATOR
COL.	COLUMN	REFIN.	REFINISH
CONC.	CONCRETE	REINF.	REINFORCED
CONT.	CONTINUOUS	REQD.	REQUIRED
CPT.	CARPET	REV.	REVISION/REVISED
CTR.	CENTER	RM.	ROOM
		R.O.	ROUGH OPENING
DEPT.	DEPARTMENT	RTD.	RATED
DET.	DETAIL	R.W.L.	RAIN WATER LEADER
D.F.	DOUGLAS FIR		
DIA.	DIAMETER	S.C.	SOLID CORE
DIM.	DIMENSION	SCHED.	SCHEDULE
DN.	DOWN	S.A.	SOAP DISPENSER
DR.	DOOR	SECT.	SECTION
DW.	DISHWASHER	S.E.D.	SEE ELECTRICAL DRAWINGS
DWG.	DRAWING	SHT.	SHEET
		SHTG.	SHEATHING
(E)	EXISTING	SIM.	SIMILAR
EA.	EACH	S.L.D.	SEE LANDSCAPE DRAWINGS
EL.	ELEVATION	S.M.D.	SEE MECHANICAL DRAWINGS
ELEV.	ELEVATION	S.P.D.	SEE PLUMBING DRAWINGS
ELECT.	ELECTRICAL	SPEC.	SPECIFICATION
ENGR.	ENGINEER	S.S.	STAINLESS STEEL
EQ.	EQUAL	S.S.D.	SEE STRUCTURAL DRAWINGS
EQPT.	EQUIPMENT	STD.	STANDARD
EXEC.	EXECUTIVE	STL.	STEEL
EXP.	EXPANSION	STN.	STONE
EXT.	EXTERIOR	STOR.	STORAGE
		STRUCT.	STRUCTURAL
FAB.	FABRIC	SUSP.	SUSPENDED
F.B.O.	FURNISHED BY OWNER	SYM.	SYMMETRICAL
F.D.	FLOOR DRAIN		
FIN.	FINISH	T.	TREAD
FIXT.	FIXTURE	T.B.D.	TO BE DETERMINED
FL.	FLOOR	TEL.	TELEPHONE
F.O.	FINISHED OPENING	TEMP.	TEMPERED
F.O.F.	FACE OF FINISH	TEMP.	TEMPORARY
F.O.S.	FACE OF STUD	T.F.	TRANSPARENT FINISH
F.O.C.	FACE OF CONCRETE	TFWD.	TRANSPARENT FINISHED WOOD
FRM.	FRAME	T&G	TONGUE AND GROOVE
FRMG.	FRAMING	T.O.	TOP OF
FT.	FOOT OR FEET	T.O.C.	TOP OF CONCRETE
FURR.	FURRING	T.O.W.	TOP OF WALL
		TRANS.	TRANSLUCENT
GA.	GALVE	TV.	TELEVISION
GALV.	GALVANIZED	TYP.	TYPICAL
G.D.	GARBAGE DISPOSAL		
GEN.	GENERAL	U.B.C.	UNIFORM BUILDING CODE
GL.	GLASS	U.C.	UNDER COUNTER
GYP.	GYPSPUM	U.O.N.	UNLESS OTHERWISE NOTED
G.W.B.	GYPSPUM WALL BOARD	UTIL.	UTILITY
		VAR.	VARIES
H.B.	HOSE BIB	V.T.	VINYL COMPOSITION TILE
H.C.	HOLLOW CORE	VEN.	VENEER
HDWD.	HARDWOOD	VERT.	VERTICAL
HT.	HEIGHT	VEST.	VESTIBULE
HORIZ.	HORIZONTAL	V.F.	VERIFY IN FIELD
HR.	HOUR	V.P.	VENEER PLASTER
H.M.	HOLLOW METAL		
H.W.	HOT WATER	W.	WITH
		W.C.	WATER CLOSET
I.D.	INSIDE DIAMETER	WD.	WOOD
IN.	INCH	W/D.	WASHER/DRYER
INSUL.	INSULATION	WIN.	WINDOW
INT.	INTERIOR	W.H.	WATER HEATER
JAN.	JANITOR	W/O.	WITHOUT
JT.	JOINT	W.O.	WHERE OCCURS
		W.P.	WATERPROOFING
KIT.	KITCHEN	WT.	WEIGHT
LAM.	LAMINATE		
LAV.	LAVATORY		
LOC.	LOCATION		
LWT.	LIGHTWEIGHT		
LVL.	LEVEL		
MAT.	MATERIAL		
MAX.	MAXIMUM		
M.B.	MOISTURE BARRIER		
M.C.	MEDICINE CABINET		
MECH.	MECHANICAL		
MEMB.	MEMBRANE		
MFR.	MANUFACTURER		
MIN.	MINIMUM		
MIR.	MIRROR		
MISC.	MISCELLANEOUS		
MSRY.	MASONRY		
MTD.	MOUNTED		
MTL.	METAL		

SYMBOLS

	WINDOW SYMBOL / TYPE
	DOOR SYMBOL / TYPE
	REVISION TAG
	DETAIL NUMBER
	SHEET NUMBER
	ELEVATION / SECTION NUMBER
	DRAWING NUMBER
	DRAWING NUMBER / SHEET NUMBER
	PARTITION TYPE
	ALIGN
	FIRE SPRINKLER
	RETURN AIR
	SUPPLY AIR
	AIRBAR
	HOSE BIB

DIRECTORY

OWNER
NAME
ADDRESS
EMAIL

DESIGNER
MATAROZZI PELSINGER DESIGN+BUILD
355 11TH STREET, SUITE 200
SAN FRANCISCO, CA 94103
T 415.285.6930

VICINITY MAP



PROJECT SITE

PROJECT DATA

ADDRESS
3751/3753 20TH STREET
SAN FRANCISCO, CA 94110

BLOCK/LOT #
3807 / 066

ZONING DISTRICT
RH-2

OCCUPANCY GROUP
R-3

RESIDENTIAL UNITS
-2 EXISTING (NO CHANGE)

TYPE OF CONSTRUCTION
5B

HEIGHT LIMIT
40-X

SCOPE OF WORK
-(N) VERTICAL ADDITION BELOW (E) GRADE
-(N) HORIZONTAL ADDITION @ REAR
-(N) ELEVATOR
-(N) CURB CUT & GARAGE DOOR
-(N) DORMER WINDOWS
-REPLACE (E) FRONT GABLE WINDOW WITH (N) WOOD WINDOW

PARCEL AREA
2,848 SQ.FT.

BUILDING AREA (GROSS)
-EXISTING: 2,347 SQ.FT.
-PROPOSED: 7,111 SQ.FT.

APPLICABLE BUILDING CODES
2013 CALIFORNIA BUILDING CODE (C.B.C.)
2013 CALIFORNIA PLUMBING CODE (C.P.C.)
2013 CALIFORNIA MECHANICAL CODE (C.M.C.)
2013 CALIFORNIA ELECTRICAL CODE (C.E.C.)
2013 CAL. GREEN BUILDING CODE (CALGREEN)
2013 SAN FRANCISCO AMENDMENTS TO C.B.C., C.P.C., C.M.C., C.E.C., AND CALGREEN

SHEET INDEX

- ARCHITECTURAL**
A0.1 - PROJECT INFORMATION
A0.2 - PHOTOS- NORTH & SOUTH STREET FACADES (BLOCK)
A0.3 - PHOTOS- SUBJECT PROPERTY & NEIGHBORS
A0.3B - PHOTOS - NEIGHBORS
A0.4 - ARTICLE 10 DEMOLITION CALCULATIONS
A0.5 - PRE-APPLICATION MEETING INFO
A0.6 - TREE PLANTING AND PROTECTION CHECKLIST
- C.0 - SURVEY**
A1.1 - SITE PLANS - EXISTING & PROPOSED
A2.1 - BASEMENT PLANS - PROPOSED ONLY
A2.2 - GROUND FLOOR PLANS - PROPOSED ONLY
A2.3 - 1ST FLOOR PLANS - EXISTING & PROPOSED
A2.4 - 2ND FLOOR PLANS - EXISTING & PROPOSED
A2.5 - 3RD FLOOR PLANS - EXISTING & PROPOSED
A2.6 - ROOF PLANS - EXISTING & PROPOSED
A3.1 - SECTION - NORTHSOUTH, EXISTING
A3.2 - SECTION - NORTHSOUTH, PROPOSED
A3.3 - (UNUSED)
A3.4 - ELEVATION - NORTH, EXISTING
A3.5 - ELEVATION - NORTH, PROPOSED
A3.6 - ELEVATION - SOUTH, EXISTING
A3.7 - ELEVATION - SOUTH, PROPOSED
A3.8 - ELEVATION - EAST, EXISTING
A3.9 - ELEVATION - EAST, PROPOSED
A3.10 - ELEVATION - WEST, EXISTING
A3.11 - ELEVATION - WEST, PROPOSED

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DESIGN + BUILD

355 11TH STREET, SUITE 200 SAN FRANCISCO CA 94103
T 415.285.6930 F 415.285.7286 WWW.MATPELBUILDERS.COM



PROJECT TITLE:
3751 / 3753 20th STREET

JOB:
13045.70

ISSUE:
SITE PERMIT

DATE:
11.04.2014

REVISION:

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
A0.1

3751 20TH STREET
SAN FRANCISCO, CA, 94110



20TH STREET - SOUTH SIDE
NOT TO SCALE

2
-



20TH STREET - NORTH SIDE
NOT TO SCALE

1
-

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PROJECT TITLE:
3751 / 3753 20th STREET
3751 20TH STREET
SAN FRANCISCO, CA, 94110

JOB:
13045.70

ISSUE:
SITE PERMIT

DATE:
10.2.2014

REVISION:

SHEET TITLE:
PHOTOGRAPHS:
NORTH & SOUTH
20TH STREET

SHEET NUMBER:

A0.2



SUBJECT PROPERTY

VIEW FROM REAR OF SUBJECT PROPERTY
NOT TO SCALE

3
-



SUBJECT PROPERTY

SUBJECT PROPERTY & ADJACENT NEIGHBORS - REAR
NOT TO SCALE

2
-



SUBJECT PROPERTY

SUBJECT PROPERTY & ADJACENT NEIGHBORS - FRONT
NOT TO SCALE

1
-

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DESIGN + BUILD
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T 415.285.6930 F 415.285.7266 WWW.MATPELBUILDERS.COM



PROJECT TITLE:
3751 / 3753 20th STREET

3751 20TH STREET
SAN FRANCISCO, CA, 94110

JOB:
13045.70

ISSUE:
SITE PERMIT

DATE:
10.2.2014

REVISION:

SHEET TITLE:
PHOTOGRAPHS:
SUBJECT PROPERTY
FRONT & REAR

SHEET NUMBER:

A0.3



WEST NEIGHBOR - REAR
NOT TO SCALE

3
-



WEST NEIGHBOR - PROPERTY LINE WINDOWS
NOT TO SCALE

2
-



EAST NEIGHBOR - REAR
NOT TO SCALE

1
-

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PROJECT TITLE:
3751 / 3753 20th STREET

3751 20TH STREET
SAN FRANCISCO, CA, 94110

JOB:
13045.70

ISSUE:
SITE PERMIT

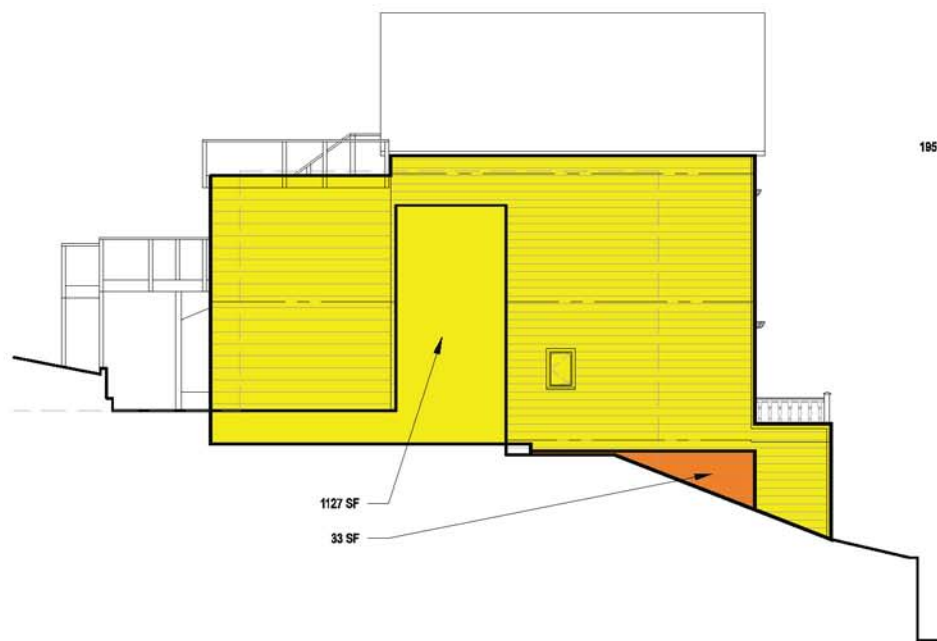
DATE:
11.04.2014

REVISION:

SHEET TITLE:
PHOTOGRAPHS:
NEIGHBORS

SHEET NUMBER:

A0.3B



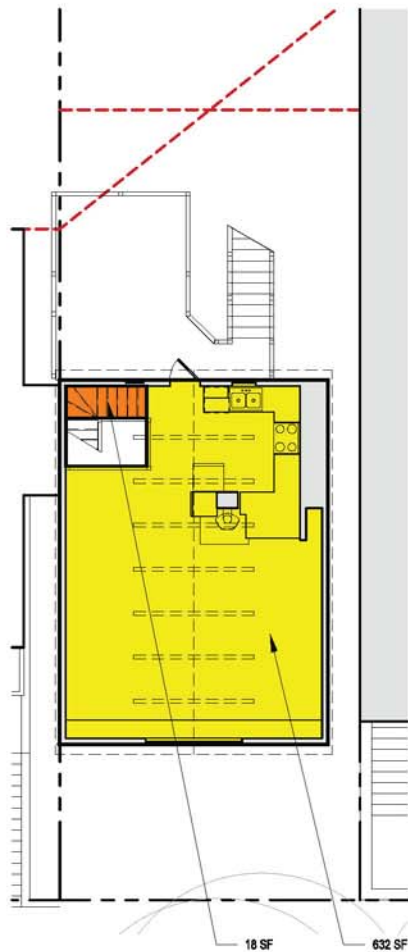
EAST ELEVATION, (E)
SCALE: 1'-0" = 1/8"

8
-



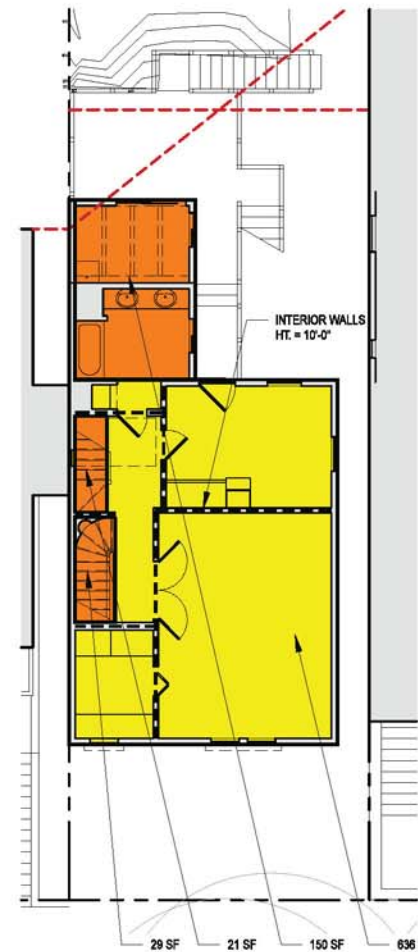
SOUTH ELEVATION, (E)
SCALE: 1'-0" = 1/8"

7
-



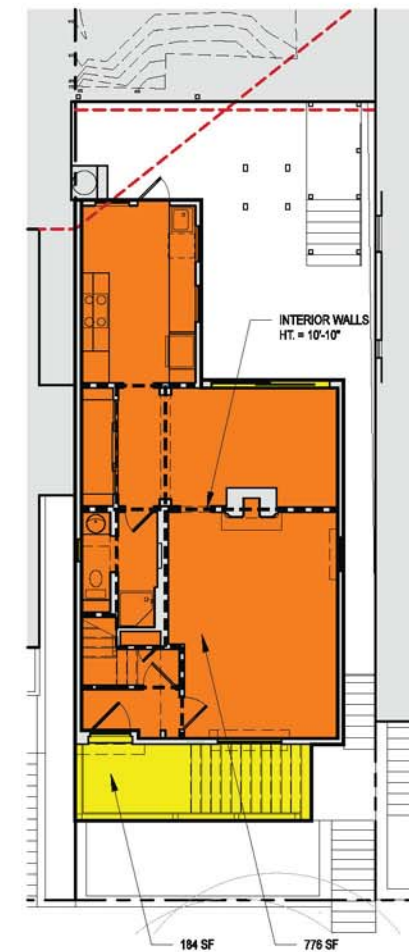
PLAN 3RD FL (L5), (E)
SCALE: 1'-0" = 1/8"

4
-



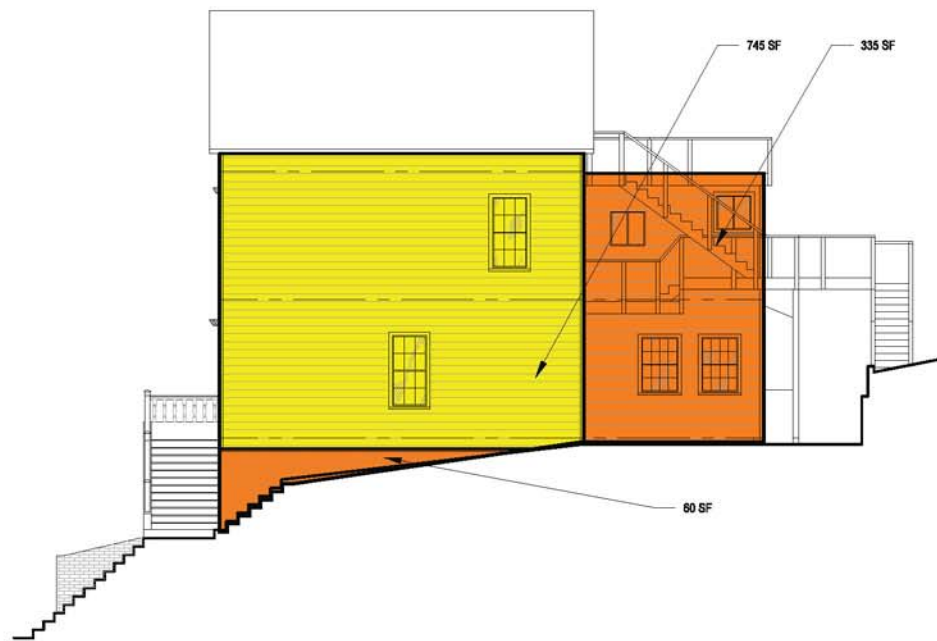
PLAN 2ND FL (L4), (E)
SCALE: 1'-0" = 1/8"

3
-



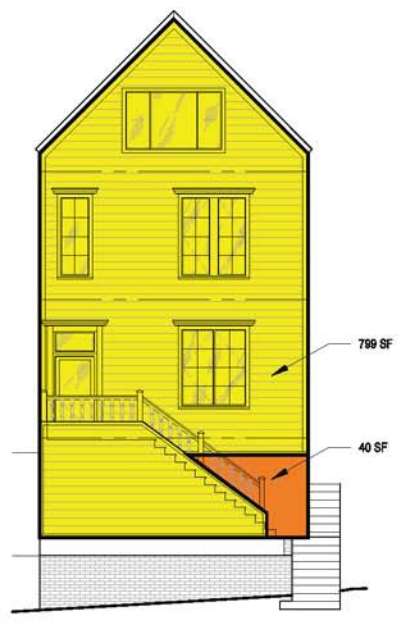
PLAN 1ST FL (L3), (E)
SCALE: 1'-0" = 1/8"

2
-



WEST ELEVATION, (E)
SCALE: 1'-0" = 1/8"

6
-



NORTH ELEVATION, (E)
SCALE: 1'-0" = 1/8"

5
-

KEY:
 RETAINED AREA
 REMOVED AREA

Exterior Walls Facing Public Street, Removal (Limit = 25%):

Element	Total Area	Removed Area	% Removed
North Elevation	838.5	39.7	4.7%

External Walls, Removal &/or Interiorization, (Limit = 50%):

Element	Total Area	Removed Area	% Removed
North Elevation	838.5	39.7	4.7%
South Elevation	661	661	100.0%
East Elevation	1160	368	31.7%
West Elevation	1138.7	394.2	34.6%
Total:	3798.2	1462.9	38.5%

Exterior Walls, Removal (Limit = 25%):

Element	Total Area	Removed Area	% Removed
North Elevation	838.5	39.7	4.7%
South Elevation	661	466	70.5%
East Elevation	1160	33	2.8%
West Elevation	1138.7	394.2	34.6%
Total:	3798.2	932.9	24.6%

Internal Structural Walls and Floorplates, Removal (Limit = 75%):

Element	Total Area	Removed Area	% Removed
1st Floor Walls	1067.04	1067.04	100.0%
1st Floor Plate	960	776	80.8%
2nd Floor Walls	720.5	720.5	100.0%
2nd Floor Plate	836	200.5	24%
3rd Floor Walls	0	0	0%
3rd Floor Plate	650.4	18	3%
Roof	N/A	N/A	N/A
Total:	4233.94	2782.04	65.7%

ARTICLE 10 DEMOLITION CALCULATIONS

1
-

MATAROZZI PELSINGER
 DESIGN + BUILD
 355 11TH STREET, SUITE 200 SAN FRANCISCO CA 94103
 T 415.285.6930 F 415.285.7286 WWW.MATPELBUILDERS.COM



PROJECT TITLE:
3751 / 3753 20th STREET
 3751 20TH STREET
 SAN FRANCISCO, CA, 94110

JOB:
13045.70
 ISSUE:
SITE PERMIT

DATE:
10.2.2014

REVISION:
 SHEET TITLE:
**ARTICLE 10:
 DEMOLITION
 CALCULATIONS**

SHEET NUMBER:
A0.4

Pre-Application Meeting Sign-in Sheet

Meeting Date: 3/25/2014
Meeting Time: 6pm
Meeting Address: 3751 20th Street, San Francisco, CA 94110
Project Address: 3751 20th Street, San Francisco, CA 94110
Property Owner Name: Justin McBaine
Project Sponsor/Representative: Shane Curmyrn, Matarozzi Pelsinger Design + Build

Please print your name below, state your address and/or affiliation with a neighborhood group, and provide your phone number. Providing your name below does not represent support or opposition to the project; it is for documentation purposes only.

Table with 5 columns: NAME/ORGANIZATION, ADDRESS, PHONE #, EMAIL, SEND PLANS. Contains handwritten entries for Lindsay Kelauer, Virginia Moku, Ingrid Eggers, and Pam Goode.

Summary of discussion from the Pre-Application Meeting

Meeting Date: 3/25/2014
Meeting Time: 6:00pm
Meeting Address: 3751 20th St., San Francisco, CA 94110
Project Address: 3751 20th St., San Francisco, CA 94110
Property Owner Name: Justin McBaine
Project Sponsor/Representative: Shane Curmyrn, Matarozzi Pelsinger Design + Build

Please summarize the questions/comments and your response from the Pre-Application meeting in the space below. Please state if/how the project has been modified in response to any concerns.

Question/Concern #1 by (name of concerned neighbor/neighborhood group): Ingrid Eggers (3749 20th St.): The construction phase of the project will negatively affect my Airbnb business.

Project Sponsor Response: We intend to do everything within our power to mitigate the effect of construction on 3749. If there are specific concerns, please let us know so we can address them together.

Question/Concern #2: Ingrid Eggers (3749 20th St.): The rear addition seems larger than what Planning would allow given the fact that my unit is at the rear of our lot.

Project Sponsor Response: We have met with Planning twice and have confirmed our required rear yard and two-story Pop-Out dimensions. Pushing the Pop-Out to the west will require a variance, but we are prepared to pursue this in order to provide 3749 with a more generous connection to the mid-block open space.

Question/Concern #3:

Project Sponsor Response:

Question/Concern #4:

Project Sponsor Response:

Affidavit of Conducting a Pre-Application Meeting, Sign-in Sheet and Issues/Responses submittal

I, Justin McBaine, do hereby declare as follows:

- 1. I have conducted a Pre-Application Meeting for the proposed new construction or alteration prior to submitting any entitlement (Building Permit, Variance, Conditional Use, etc.) in accordance with Planning Commission Pre-Application Policy.
2. The meeting was conducted at 3751 20th Street, San Francisco, CA 94110 on 3/25/2014 from 6pm-7pm.
3. I have included the mailing list, meeting initiation, sign-in sheet, issue/response summary, and reduced plans with the entitlement Application.
4. I have prepared these materials in good faith and to the best of my ability.

I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct.

EXECUTED ON THIS DAY, 3/25, 2014 IN SAN FRANCISCO.

Signature of Justin McBaine

Justin McBaine
Name (type or print)

Owner
Relationship to Project (e.g. Owner, Agent)
If Agent, give business name & profession

3751 20th Street, San Francisco, CA 94110
Project Address



MATAROZZI PELSINGER DESIGN + BUILD
365 11TH STREET, SUITE 200 SAN FRANCISCO CA 94103
T 415.285.6830 F 415.285.7286 WWW.MATPELBUILDERS.COM

PROJECT TITLE:
3751 / 3753 20th STREET
3751 20TH STREET
SAN FRANCISCO, CA, 94110

JOB:
13045.70

ISSUE:
SITE PERMIT

DATE:
11.04.2014

REVISION:

SHEET TITLE:
PLANNING PRE-APPLICATION MEETING INFO

SHEET NUMBER:
A0.5

REQUIRED CHECKLIST FOR Tree Planting and Protection

1. Applicant Information

CONTACT FOR PROJECT INFORMATION:
Justin McBaine

ADDRESS: Matarozzi Pelsinger Builders
355 11th St., Ste. 200
San Francisco, CA, 94103

TELEPHONE: (415) 466-8239
EMAIL: jimbcb@yahoo.com

2. Location and Classification of Property

STREET ADDRESS OF PROPERTY:
3751 / 3753 20th St.

CROSS STREETS:
20th & Dolores

ASSESSORS BLOCK/LOT: 3607 / 086
LENGTH OF ALL LOT FRONTAGES: 25'
ZONING DISTRICT: RH-2

RELATED BUILDING PERMIT APPLICATION AND/OR CASE NO.:

3. Scope of Project

Requirements for new street trees and tree protection apply to the types of projects identified in the chart below. Please check all boxes which apply to your project. If no boxes are checked, you do not need to complete this form.

DEVELOPMENT FEATURES	
construction of a new building	<input type="checkbox"/>
renovation of a building	<input type="checkbox"/>
painting or repairing more than 200 square feet of the front setback	<input type="checkbox"/>
addition of gross floor area (GFA) equal to 20% or more of the GFA of the existing building	<input checked="" type="checkbox"/>
addition of a new building unit	<input type="checkbox"/>
addition of new or more parking spaces	<input checked="" type="checkbox"/>
addition of a garage	<input checked="" type="checkbox"/>

Required Checklist for Tree Planting and Protection

4. Disclosure of Existing Protected Trees

Only the following specific types of trees require protection under the Public Works Code: Street Trees, Significant Trees and Landmark Trees. These trees are collectively known as "Protected Trees." In the following table, please indicate the presence or lack thereof of such on, over, or adjacent to the parcel containing the proposed construction.

SIGNIFICANT TREES

A "Significant Tree" is a tree that is planted on the subject property (i.e. outside of the public right-of-way) with any portion of its trunk within 10 feet of the public right-of-way that has (a) a diameter at breast height (DBH) in excess of twelve inches OR (b) a height in excess of twenty feet OR (c) a canopy in excess of fifteen feet.

CHECK ALL BOXES THAT APPLY AND INDICATE QUANTITY OF EACH TREE TYPE, IF APPROPRIATE.

Significant Tree(s) exist on the subject property QTY: _____

Significant Tree(s) exist on any adjacent property QTY: _____

There are no Significant Trees on or adjacent to the subject property.

LANDMARK TREES

A "Landmark Tree" is a tree designated as such by the Board of Supervisors owing to particular age, size, shape, species, location, historical association, visual quality, or other contribution to the City's character.

CHECK ALL BOXES THAT APPLY AND INDICATE QUANTITY OF EACH TREE TYPE, IF APPROPRIATE.

Landmark Trees exist on the subject property QTY: _____

Landmark Trees exist on the adjacent sidewalk QTY: _____

Landmark Trees exist on any adjacent property QTY: _____

There are no Landmark Trees on or adjacent to the subject property.

COMPLETE LIST OF LANDMARK TREES AS OF SUMMER 2012

66 New Oaks adjacent to 1891 South Street	Sanctuary adjacent to 17th St. and Nevada Street in the Mission
Historical location at 1100 Pacific Street	Sanctuary at 1880 Battery Street
Sanctuary location at 1225 Divisadero Street	All Carols World Cafe Plant in the center island on Dolores Street
10 Canary Island Date Palms in Outside of interior wall of 301 St	Two Trees in middle of 17th St. between St. 1344 Dolores St
Quailcove Palms in the middle section from 1808-1809 Dolores St	Cliff House Palm in the backyard of 2028 Rowanwood Place
Quailcove Palms in the backyard of 1700 Dolores Street	Cliff House Palm in the backyard of 4124 24th Street
Two flowering Juniper in the backyard of 580 Oakland Street	San Francisco tree in the backyard of 1800 & 1801 Franklin Blvd
Monterey Bay Fig at 905 Cass Street St. 1788 Nevada St	Monterey Cypress in the backyard of 2005 Vallejo Street
Monterey Cypress in the backyard of 1115 Parker Avenue	California Sycamore located behind 757 Pennsylvania Street
Northwest Redwood Tree in the backyard of 2200-60 Sutter Street	Two Canary Island Palms in the backyard of 2200-60 Sutter St.

STREET TREES

A "Street Tree" is any tree growing within the public right-of-way (e.g. sidewalk) that is not also a Landmark Tree.

CHECK THE BOX THAT APPLIES AND INDICATE QUANTITY OF APPROPRIATE.

Street Trees exist adjacent to the subject property QTY: 1

There are no Street Trees adjacent to the property.

Required Checklist for Tree Planting and Protection

5. Impact of Project on Existing Protected Trees

If your responses above indicate that any Protected Tree(s) exist on, over or adjacent to the subject property, please check the applicable boxes below:

BOX 1 The project will not remove or have any other impact on Protected Trees, as follows: No construction-related activity whatsoever will occur within the dripline of any Significant Tree or Street Tree. This includes, but is not limited to, the following: (1) No grading or excavation will take place within the dripline of any Significant Tree or Street Tree. (2) No construction staging and/or storage of materials and/or equipment will occur within the dripline of any Significant Tree or Street Tree. (3) Any pruning of Significant Trees or Street Trees will be limited and consistent with applicable regulations. (4) No dumping of trash and/or liquids (such as project waste-water) will take place within the basin or dripline of any Significant Tree or Street Tree.

If you have checked this box, a Tree Protection Plan is not required.

BOX 2 The project involves the removal of one or more Protected Trees. A permit from DPW is required in order to remove any Protected Tree. The Planning Department will not approve a building permit for a project which involves the removal of a Protected Tree unless DPW has first reviewed the proposal and found it to be consistent with applicable rules and regulations.

If you have checked this box, a Tree Protection Plan is not required, however you must provide evidence to the Planning Department that DPW has reviewed the removal request and found it to be "approvable."

BOX 3 The project may have an impact on one or more Protected Trees which are not proposed for removal, as follows: Either (1) any construction-related activity, no matter how minor, is planned or is reasonably foreseeable to occur within the dripline of a Significant Tree or a Street Tree or (2) regardless of the location of construction activity, the property contains a Landmark Tree.

If you have checked this box, a Tree Protection Plan must be submitted to the Department of Public Works Bureau of Urban Forestry prior to the commencement of any construction activity.

- Such plan must meet the following minimum standards:
- The Tree Protection Plan must be developed by an International Society of Arboriculture (ISA) Certified Arborist.
 - The project sponsor must submit a written declaration that the protections specified in the Tree Protection Plan will be completely in place prior to the start of any construction, demolition, or grading.
 - Full-size site plans submitted along with the associated construction project must clearly indicate the street, curb, sidewalk, driveway, structure(s), and the locations of all Protected Trees and non-protected trees. Protected Trees must also be shown to include accurate tree height, accurate canopy dripline and trunk and canopy diameters. The plans must graphically depict implementation of all measures called for in the Tree Protection Plan. Additionally, the Tree Protection Plan itself along with the written declaration must be reproduced on full-size plans.

Required Checklist for Tree Planting and Protection

6. Calculation of Number of New Required Street Trees

One street tree is required for each 20 feet of street frontage of the subject property, with fractions of 0.5 rounded up, however credit is given for existing street trees. Please complete the table below to determine the number of street trees required for your project. If no street trees are required, please skip to the Applicant's Affidavit at the end of this form and once signed, return it to the Planning Department along with your Building Permit Application or other application.

COMBINED LENGTH OF ALL STREET FRONTAGES	DIVIDED BY TREE SPACING REQUIREMENT	ROSS NUMBER OF TREES REQUIRED	MINUS NUMBER OF EXISTING TREES	NET ADJUSTED TREE REQUIREMENT
25'	÷ 20'	= 1	- 1	= 0

Unless site conditions physically prevent the planting of a street tree, a waiver or modification of street tree requirements is available only under extremely limited circumstances and only outside of Residential Districts (i.e. RH, RM, RTO, RED). Be aware that even when available, an in-kind improvement or in-lieu payment is required for every such waiver. Please contact the Planning Department for information regarding the waiver process.

7. Applicable Requirements for New Street Trees

The Planning Department has developed three distinct "Tree Schedules" to aid in the implementation of the Planning Code's street tree requirements. The particular Tree Schedule applicable to your project will depend on the zoning district in which your property is located, the scope of your project, and the type of authorization that your project requires. In general terms, Tree Schedule A applies to small-scale projects in residential or industrial zoning districts, Tree Schedule B applies to moderate-scale projects or projects in commercial or mixed-use zoning districts, and Tree Schedule C applies to larger projects. In the following chart, please check the applicable box based on the characteristics of your project.

TREE SCHEDULE	PROJECT CHARACTERISTICS
<input type="checkbox"/> A	The project is located in a Residential (RH, RM, RTO, RED), Industrial (M) or Production/Distribution/Repair (PDR) Zoning District and does not involve a Planned Unit Development (PUD). A PUD is a special authorization granted by the Planning Commission that applies only to major projects involving large properties.
<input type="checkbox"/> B	1. The project is located in a RH, RM, RTO, RED, M or PDR Zoning District and involves a PUD OR 2. The project is located outside of an RH, RM, RTO, RED, M or PDR Zoning District and meets neither OR one of the following criteria, but not both: It is located on a parcel that contains (1) more than 1/2-acre in total area or (2) more than 200 feet of total street frontage or (3) street frontage which spans the entire block face between the nearest two intersections. It involves (1) the construction of a new building or (2) the addition of more than 20% of the gross floor area of the existing building or (3) a change of use of more than 50% of the existing square footage of the building.
<input type="checkbox"/> C	The project is located outside of an RH, RM, RTO, RED, M or PDR Zoning District and meets both criteria of Tree Schedule B(2), above.

TREE SCHEDULE A

REQUIREMENT	SPECIFICATION
<input checked="" type="checkbox"/> Location	either in the public right-of-way (e.g. sidewalk) adjacent to the property or within an unobstructed area at the front of the property
<input checked="" type="checkbox"/> Size	minimum of 24" for tree size

Required Checklist for Tree Planting and Protection

TREE SCHEDULE B

Location: either in the public right-of-way (e.g. sidewalk) adjacent to the property or within an unobstructed area at the front of the property

Size: minimum of 24" diameter at breast height
minimum of 30 inches above and below grade
be planted in a sidewalk opening of at least 10 square feet
Have a minimum soil depth of 3 feet 6 inches

OPENING: include a basin edged with decorative treatment, such as concrete or cobble paving, set not more than 18 inches from property if the edging material is permeable. A permeable material is one that allows drainage to infiltrate the underlying soils. Permeable surfaces shall include, but not be limited to, vegetative planting beds, porous asphalt, porous concrete, unglazed aggregate, unpolished concrete, stone, gravel or brick set in concrete and without mortar. Permeable surfaces are required to be contained on either sidewalk or the permeable surface drainage of the site.

TREE SCHEDULE C

Location: as set forth in Schedule B, above.

OPENING: Trees shall be planted in a continuous soil-filled basin parallel to the curb, such that the basin for each tree is contained. The basin may be covered by permeable surface (as described above), except as required tree basins, where this is not further restricted.

Applicant's Affidavit

I hereby attest under penalty of perjury that the information I have entered on this document is true and correct to the best of my knowledge, and that I have read and understood this form, and that I am the property owner or authorized agent of the property owner, familiar with the property, and able to provide accurate and complete information herein.

The undersigned agrees to the conditions of this form. I understand that knowingly or negligently providing false or misleading information in response to this disclosure requirement may lead to denial or revocation of my permit or other authorization and may constitute a violation of the San Francisco Municipal Code, which can lead to criminal and/or civil legal action and the imposition of administrative fines.

I understand that should my project be subject to a required Tree Protection Plan, that I will have a plan meeting or exceeding the minimum requirements prepared and submit it to the Department of Public Works prior to the commencement of any construction activities. Such submission may be in person, by mail or via email at urbanforestry@sfplanning.org.

Signature: Justin McBaine Date: 4/8/14

Print Name: Justin McBaine Phone Number: (415) 466-8239
jimbcb@yahoo.com

Job Title: Owner: Authorized Agent:

Phone Number: _____ Fax or Email: _____

Planning Department Determination

TO BE COMPLETED BY STAFF ONLY. DO NOT LEAVE ANY SECTION BLANK.

BUILDING PERMIT / CASE NO. _____

PLANS DATED: _____

New Street Trees

New street trees are not required as part of this project.

Street Trees are required as part of this project.

Number of new street trees required: _____

Applicable Tree Schedule: A B C

Compliance with as-of-right requirements shown on plans? YES NO - MODIFICATION OR WAIVER APPROVED. EXPLAIN IN COMMENT AREA BELOW.

Existing Tree Protection

A Tree Protection Plan is not required. Box 1 or Box 2 in Section 5 has been marked.

A Tree Protection Plan is required. Box 3 in Section 5 has been marked.

Existing Tree Removal

No Protected Trees are proposed for removal.

One or more Protected Trees are proposed for removal.

STAFF TO NOW REVIEW A WAIVER OR MODIFICATION HAS BEEN APPROVED, IN WHICH CASE THE SIGNATURE IS REQUIRED.

Signature: _____ Print Name: _____ Date: _____

Comment (if any): _____

Staff Checklist

- The applicant has completed this entire checklist including the affidavit on the preceding page.
- If street trees are required, a building permit cannot be approved until the applicant provides evidence from DPW that the required planting permit can be issued.
- If Protected Trees are proposed for removal, a building permit cannot be approved until the applicant provides evidence from DPW that tree removal permits can be issued.
- If a Tree Protection Plan is required, the applicant has been informed verbally or in writing of his or her obligation to submit one directly to DPW prior to the commencement of construction.
- Once signed, a copy of this checklist has been returned to the applicant. The original has been included in the project file or, if processed over-the-counter, it has been routed upstairs for scanning by support staff.

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T 415.285.6930 F 415.285.7286 WWW.MATPELBUILDERS.COM



PROJECT TITLE:
3751 / 3753 20th STREET

JOB:
13045.70

ISSUE:
SITE PERMIT

DATE:
11.04.2014

REVISION:

SHEET TITLE:
TREE PLANTING & PROTECTION CHECKLIST

SHEET NUMBER:

A0.6

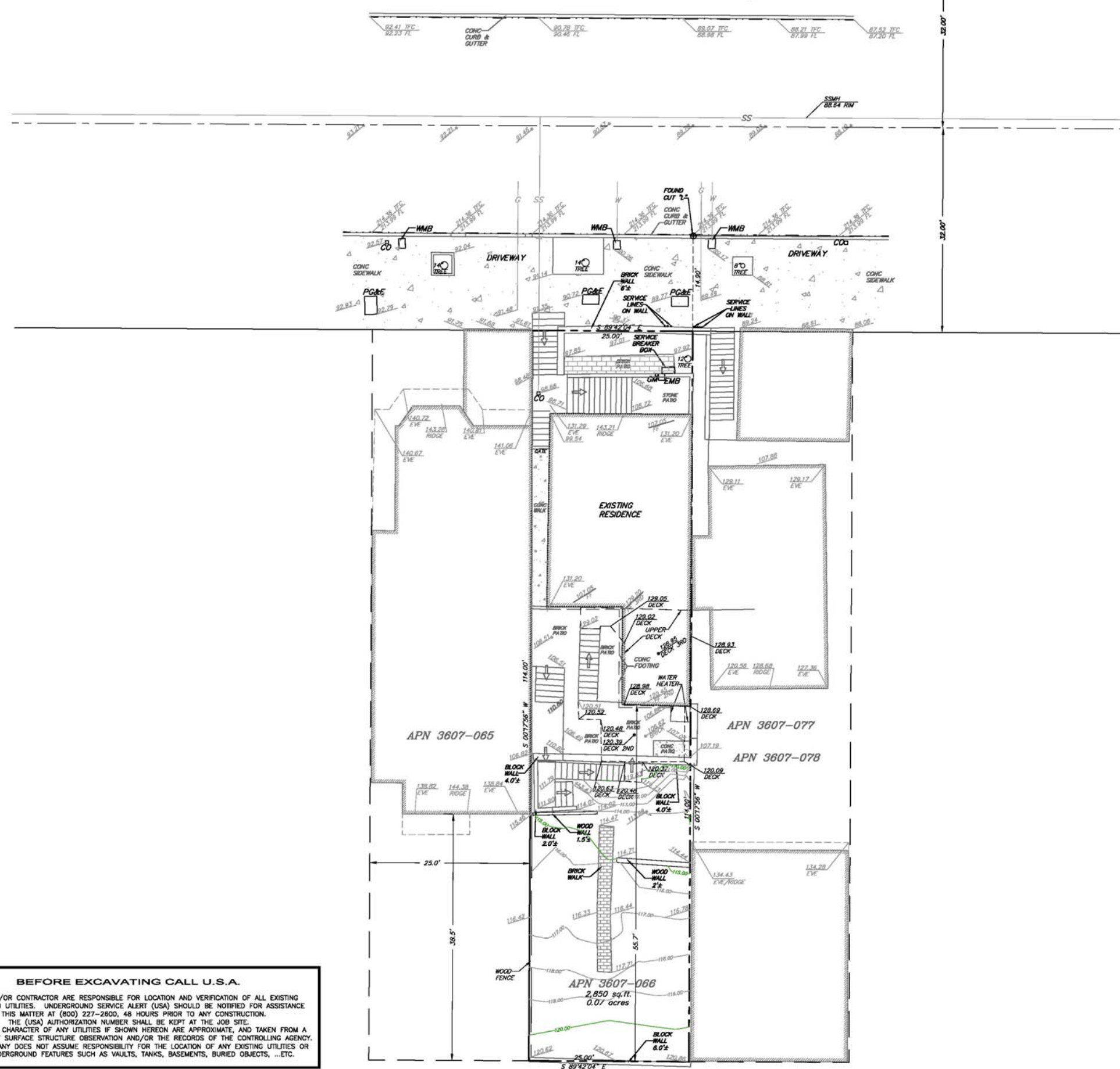
26TH STREET 64' R/W

LEGEND

- — — — — PROPERTY LINE
- — — — — ADJACENT PROPERTY LINE
- — — — — CENTERLINE
- — — — — FLOW LINE
- — — — — WOOD FENCE
- — — — — OVERHEAD UTILITIES
- — — — — SEWER LINE
- — — — — GAS LINE
- — — — — WATER LINE
- — — — — CENTERLINE

- 00.00 → SPOT ELEVATIONS
- SSMH SANITARY SEWER MANHOLE
- GV GAS VALVE
- ⊕ INDICATES FOUND MONUMENT AS NOTED
- AC ASPHALT CONCRETE
- AD AREA DRAIN
- CO SANITARY SEWER CLEAN-OUT
- CONC CONCRETE
- DS DOWNSPOUT
- EMB ELECTRIC METER BOX
- FF FINISHED FLOOR
- FL FLOWLINE
- GM GAS METER
- GP POWER POLE
- R/W RIGHT OF WAY
- SSMH SANITARY SEWER MANHOLE
- SLV STREET LIGHT VAULT
- TFC TOP FACE OF CURB
- WMB WATER METER BOX

- BRICK
- CONCRETE



BENCHMARK NOTE:
ELEVATIONS ARE BASED ON CITY DATUM.
BENCHMARK IS THE LETTER "O" IN OPEN ON TOP
OF THE FIRE HYDRANT AT THE SE INTERSECTION
OF 20TH STREET AND DELORES STREET.
ELEVATION = 112.262'

GENERAL NOTES:
3751 20TH STREET
SAN FRANCISCO, CA 94123
A.P.N. 3607-066

PREPARED FOR:
JUSTIN McBAINE

TOPOGRAPHIC SURVEY
 3751 20TH STREET
 CITY AND COUNTY OF SAN FRANCISCO



8285 office ave. suite 100
SAN FRANCISCO, CA 94133
phone (415) 334-7283
fax (415) 334-6819
e-mail info@triahomes.com

214 west line st. suite 2
SAN FRANCISCO, CA 94103
phone (415) 373-4233
fax (415) 373-4024
e-mail info@triahomes.com

777 woodside rd. suite 2
REDWOOD CITY, CA 94061
phone (650) 388-0818
fax (650) 388-0818
e-mail info@triahomes.com

513 brookside ave. suite 2
SUNNYVALE, CA 94086
phone (415) 251-8170
fax (415) 251-8108
e-mail info@triahomes.com

820 sherris st. suite 211
SAN FRANCISCO, CA 94108
phone (415) 344-8828
fax (415) 344-8828
e-mail info@triahomes.com

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Specified in the Title Block.
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Triad/Holmes, is Prohibited.

I HEREBY STATE THAT I AM A LICENSED SURVEYOR OF THE STATE OF CALIFORNIA, THAT THIS MAP CORRECTLY REPRESENTS A SURVEY MADE UNDER MY SUPERVISION IN AUGUST 2013, AND THAT PROPERTY LINES SHOWN HEREON ARE COMPILED FROM RECORD DATA AND A BOUNDARY RETRACEMENT SURVEY, AND THAT THIS MAP DOES NOT INCLUDE EASEMENTS EXCEPT THOSE SPECIFICALLY DELINEATED HEREON.

IF UNDERGROUND UTILITIES, ZONE, SETBACK AND STREET WIDENING DATA ARE SHOWN HEREON, IT IS FOR INFORMATION ONLY, HAVING BEEN OBTAINED FROM AVAILABLE SOURCES NOT CONNECTED WITH THIS CORPORATION. THEREFORE, NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF SAID INFORMATION.

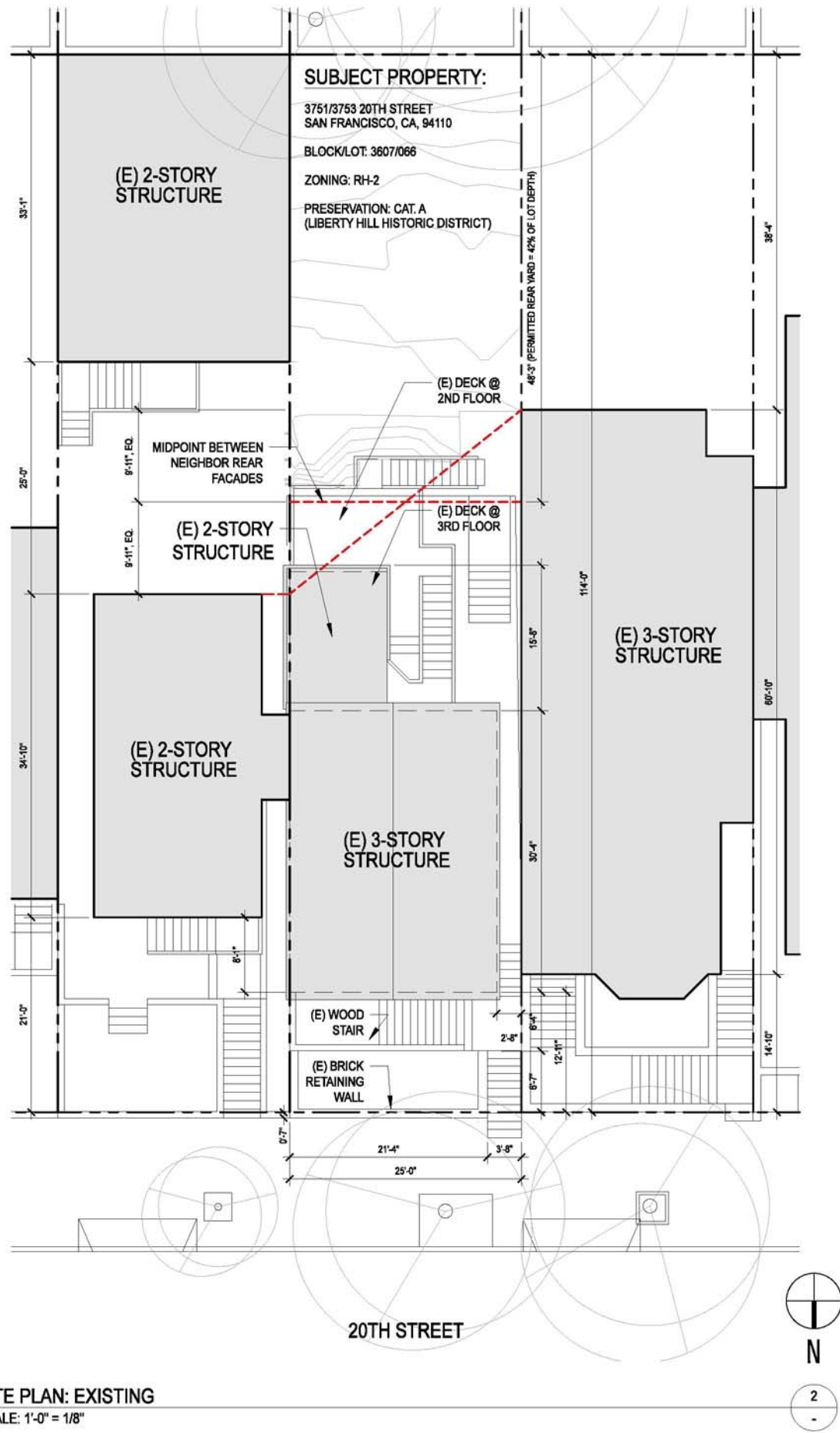


BEFORE EXCAVATING CALL U.S.A.

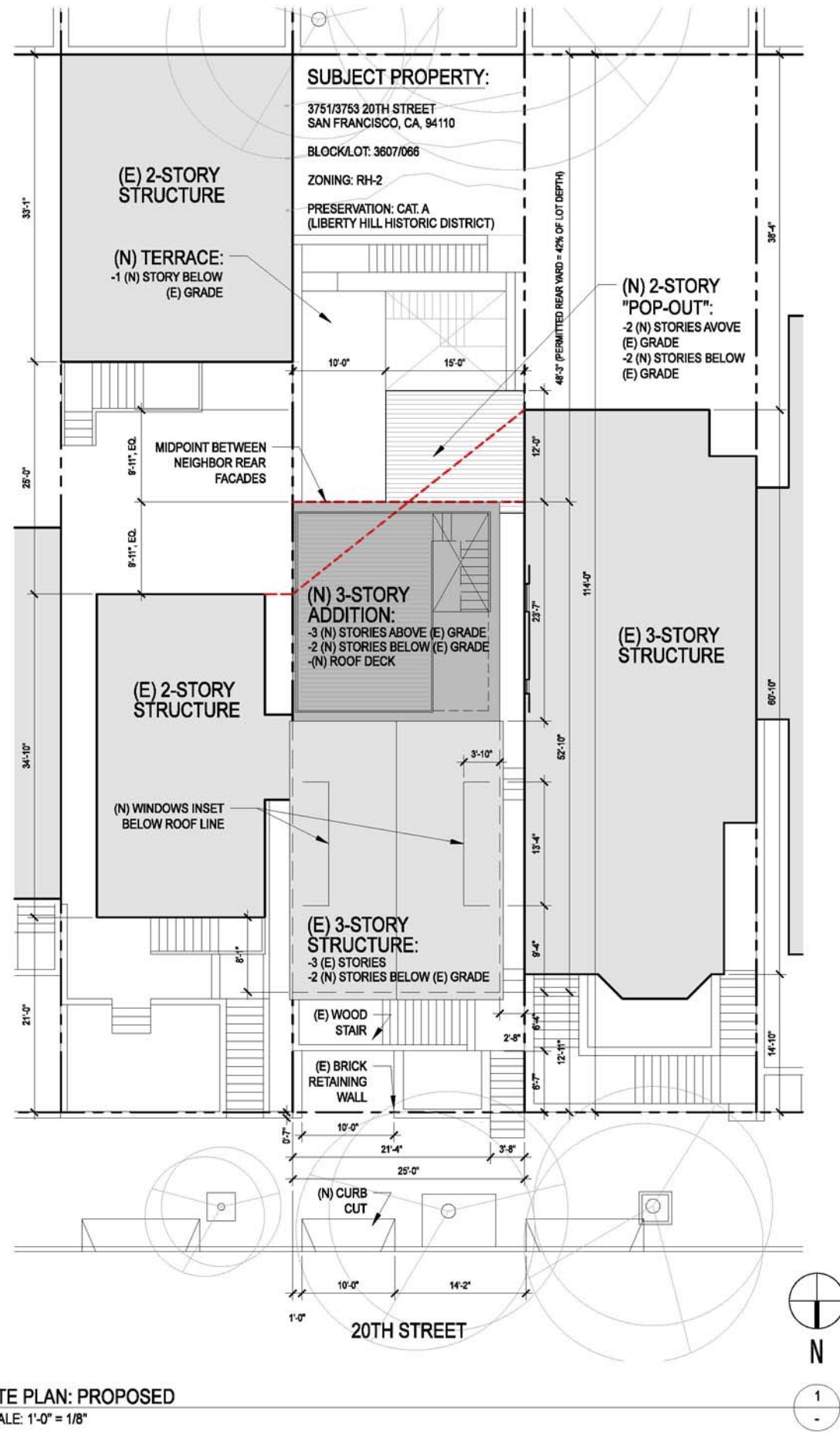
OWNER AND/OR CONTRACTOR ARE RESPONSIBLE FOR LOCATION AND VERIFICATION OF ALL EXISTING UNDERGROUND UTILITIES. UNDERGROUND SERVICE ALERT (USA) SHOULD BE NOTIFIED FOR ASSISTANCE IN THIS MATTER AT (800) 227-2600, 48 HOURS PRIOR TO ANY CONSTRUCTION. THE (USA) AUTHORIZATION NUMBER SHALL BE KEPT AT THE JOB SITE. LOCATION AND CHARACTER OF ANY UTILITIES IF SHOWN HEREON ARE APPROXIMATE, AND TAKEN FROM A COMBINATION OF SURFACE STRUCTURE OBSERVATION AND/OR THE RECORDS OF THE CONTROLLING AGENCY. HUMAN COMPANY DOES NOT ASSUME RESPONSIBILITY FOR THE LOCATION OF ANY EXISTING UTILITIES OR OTHER UNDERGROUND FEATURES SUCH AS VAULTS, TANKS, BASEMENTS, BURIED OBJECTS, ...ETC.



DATE	08/15/13
SCALE	1"=8'
DRAWN	MN
JOB NO.	09-1561
DWG	09-1571 TOPO
SHEET	C.0
OF	1 SHEETS



SITE PLAN: EXISTING
 SCALE: 1'-0" = 1/8"



SITE PLAN: PROPOSED
 SCALE: 1'-0" = 1/8"

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PROJECT TITLE:
3751 / 3753 20th STREET

JOB:
 13045.70

ISSUE:
 13045.70

ISSUE:
 SITE PERMIT

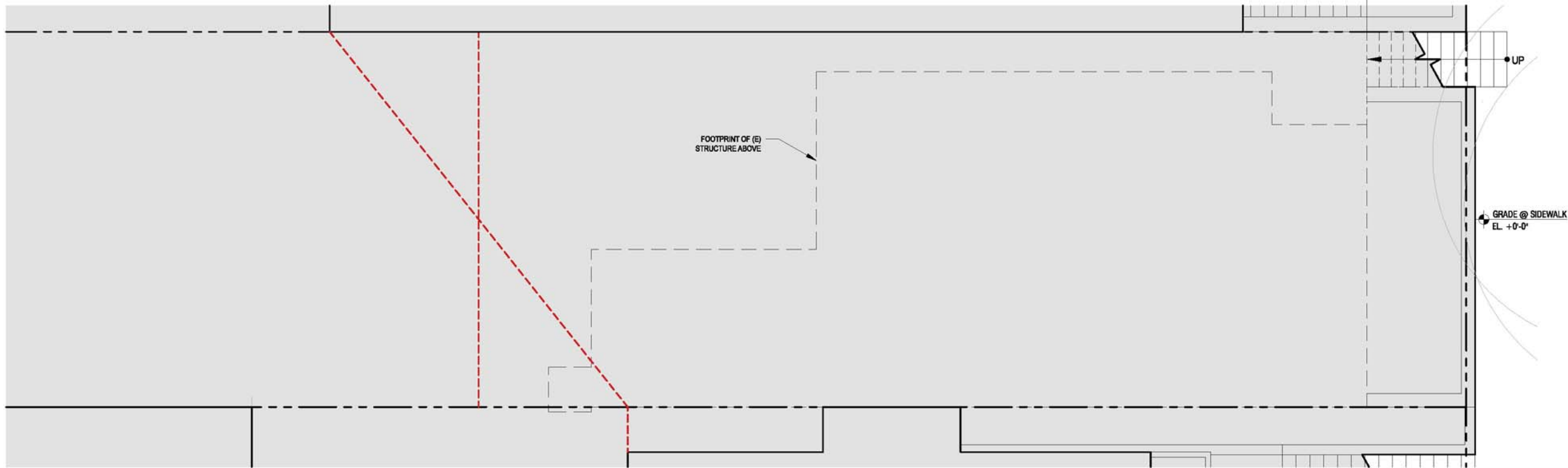
DATE:
 10.28.2014

REVISION:

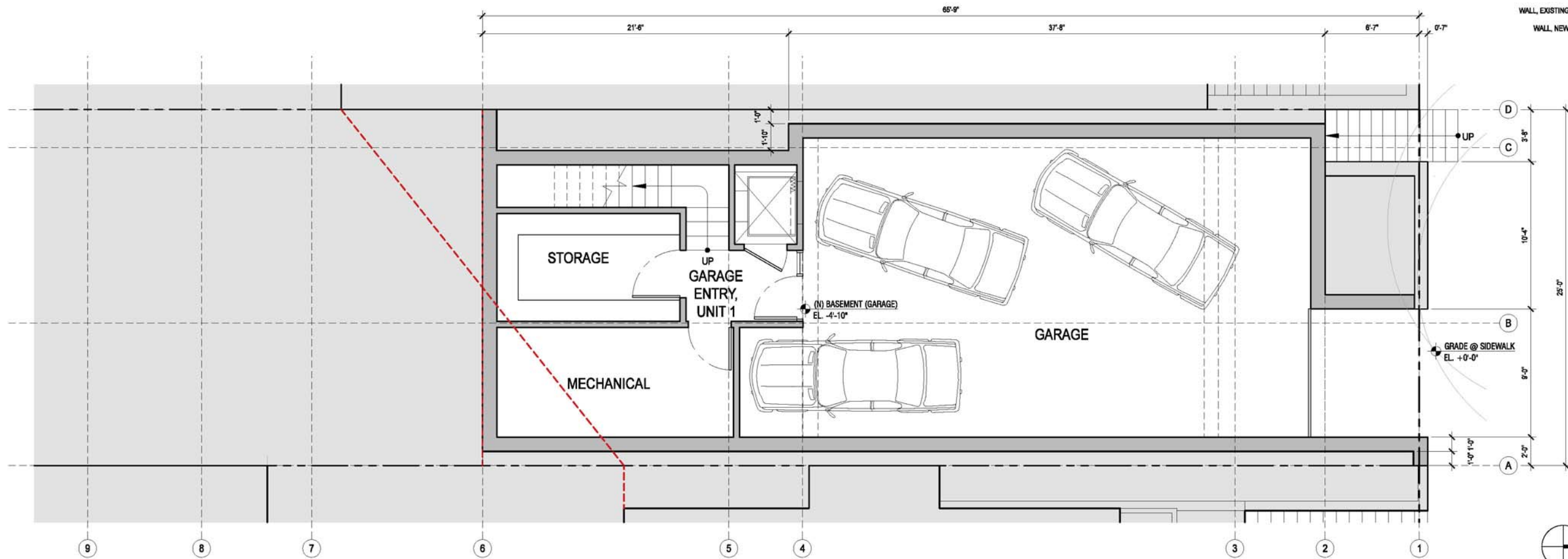
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 SITE PLAN:
 EXISTING &
 PROPOSED

SHEET NUMBER:

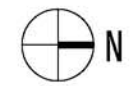
A1.1



PLAN, BASEMENT: EXISTING (NOTE: NO EXISTING STORY AT THIS LEVEL)
SCALE: 1'-0" = 1/4"



PLAN, BASEMENT: PROPOSED
SCALE: 1'-0" = 1/4"



2
-

KEY:
WALL, EXISTING: [light gray box]
WALL, NEW: [dark gray box]

1
-



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PROJECT TITLE:
3751 / 3753 20th STREET

3751 20TH STREET
SAN FRANCISCO, CA, 94110

JOB:
13045.70

ISSUE:
SITE PERMIT

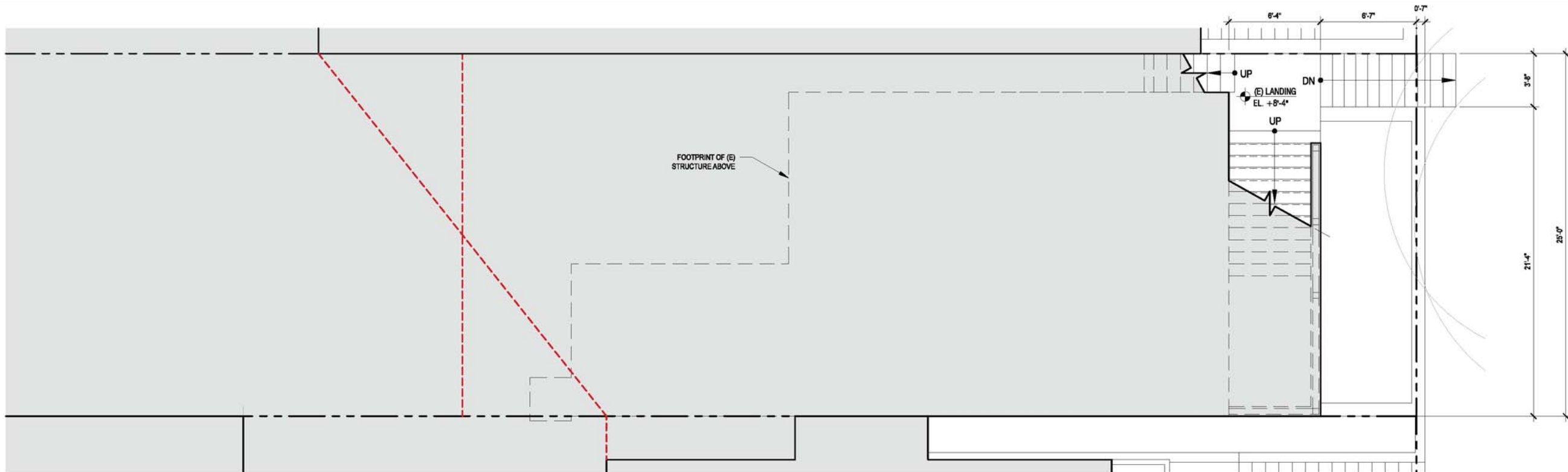
DATE:
11.04.2014

REVISION:

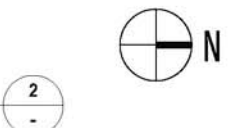
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BASEMENT PLANS:
EXISTING &
PROPOSED

SHEET NUMBER:

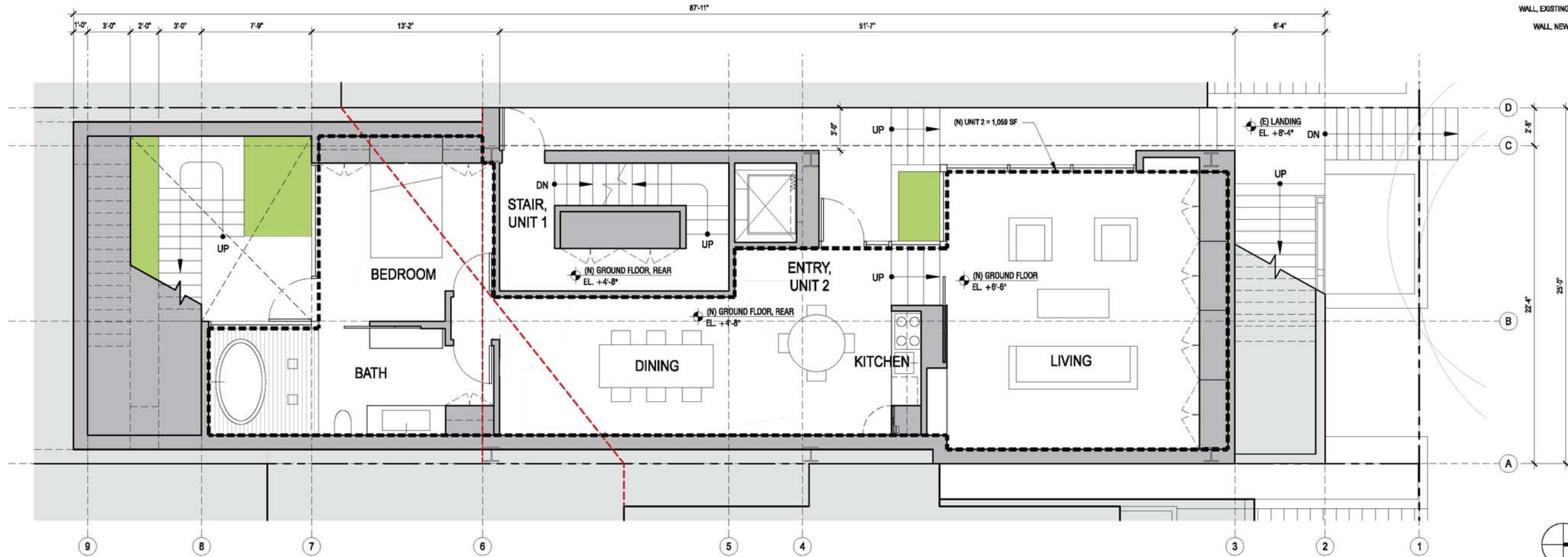
A2.1



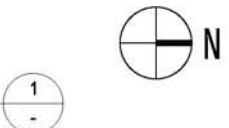
PLAN, GROUND FLOOR: EXISTING (NOTE: NO EXISTING STORY AT THIS LEVEL)
SCALE: 1'-0" = 1/4"



KEY:
WALL, EXISTING: [light gray box]
WALL, NEW: [dark gray box]



PLAN, GROUND FLOOR: PROPOSED
SCALE: 1'-0" = 1/4"



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PROJECT TITLE:
3751 / 3753 20th STREET

3751 20TH STREET
SAN FRANCISCO, CA, 94110

JOB:
13045.70

ISSUE:
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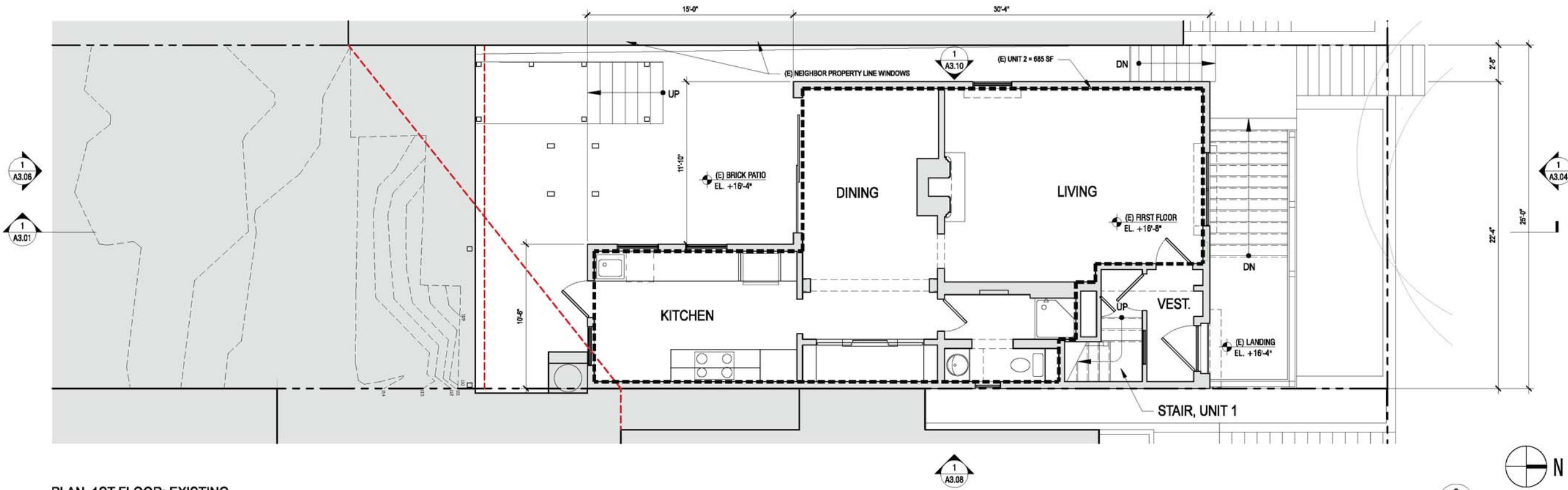
DATE:
11.04.2014

REVISION:

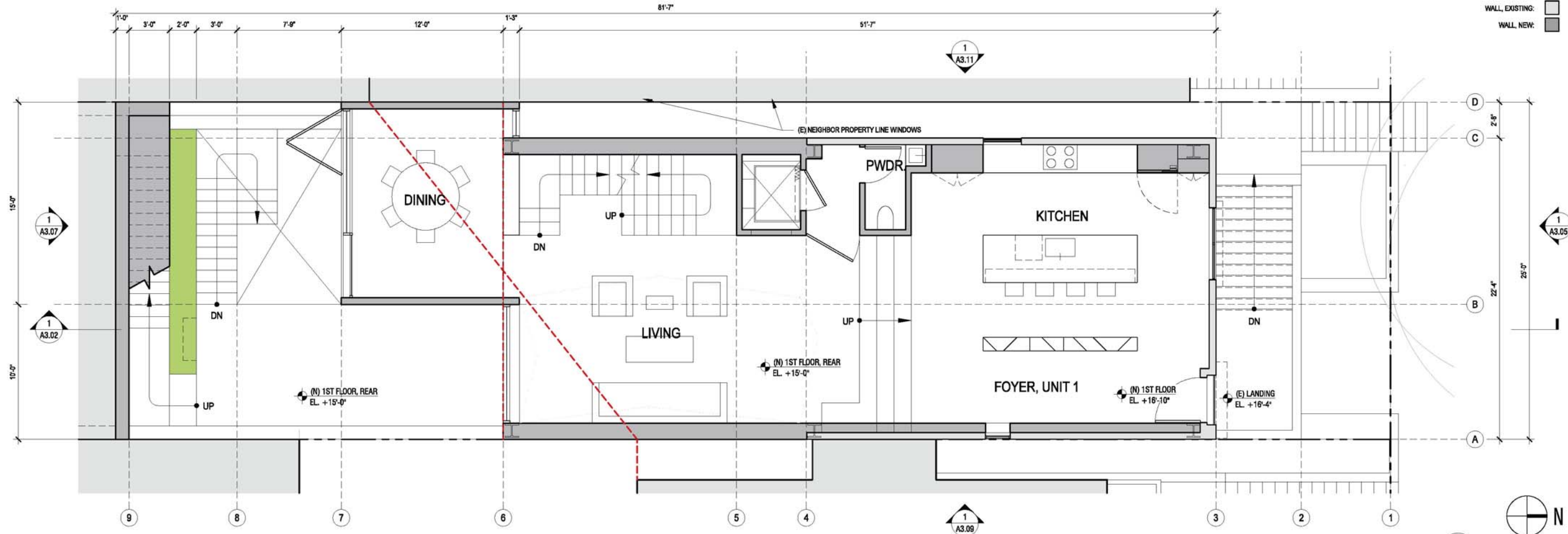
SHEET TITLE:
GROUND FLOOR
PLANS: EXISTING &
PROPOSED

SHEET NUMBER:

A2.2



PLAN, 1ST FLOOR: EXISTING
SCALE: 1'-0" = 1/4"



PLAN, 1ST FLOOR: PROPOSED
SCALE: 1'-0" = 1/4"

KEY:
WALL, EXISTING: [light gray box]
WALL, NEW: [dark gray box]

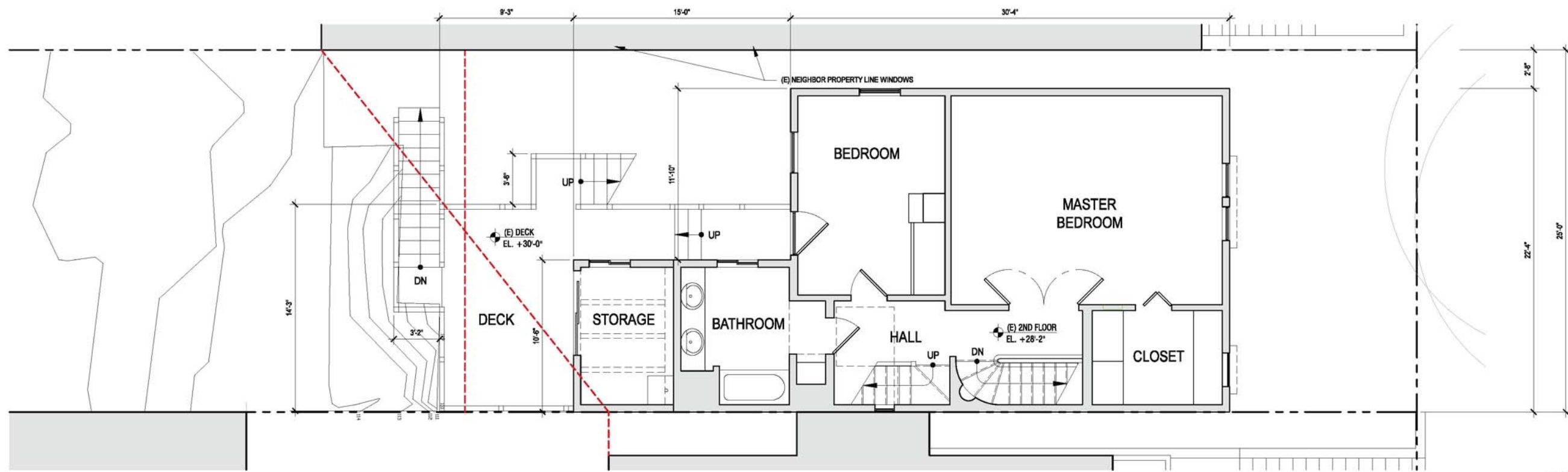
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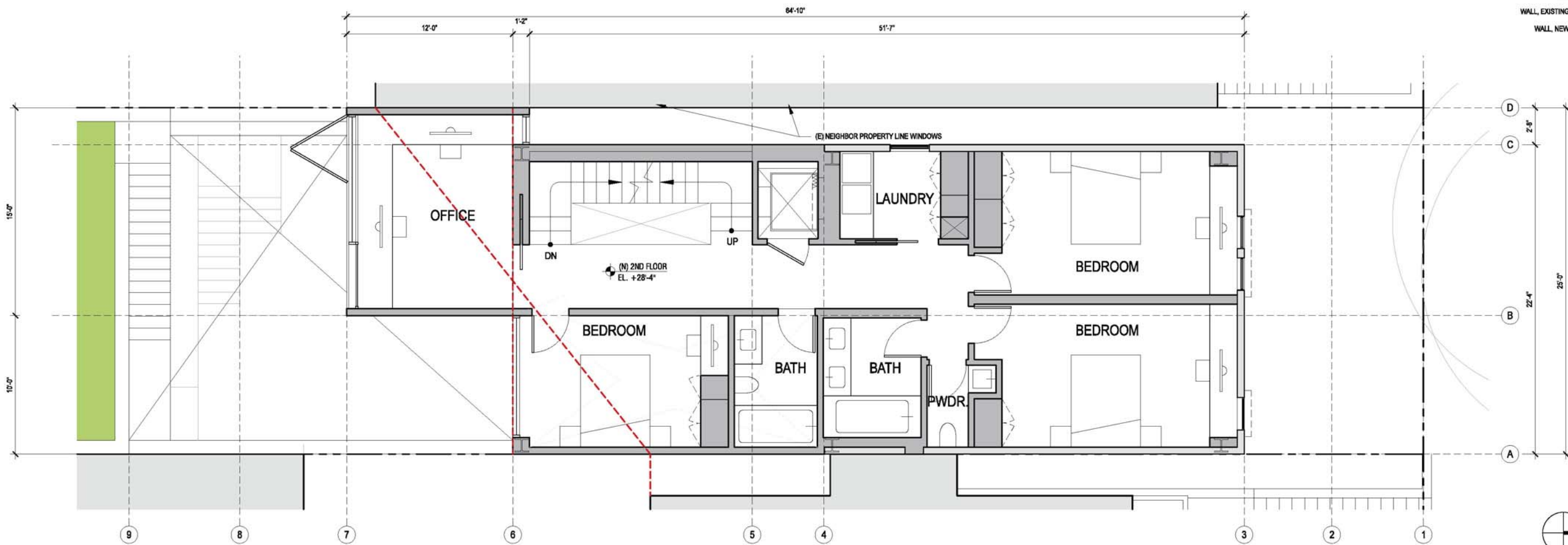
PROJECT TITLE:
3751 / 3753 20th STREET
JOB:
13045.70
ISSUE:
SITE PERMIT
DATE:
11.04.2014
REVISION:

SHEET TITLE:
**1ST FLOOR PLANS:
EXISTING &
PROPOSED**

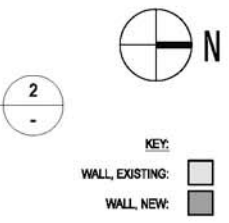
SHEET NUMBER:
A2.3



PLAN, 2ND FLOOR: EXISTING
SCALE: 1'-0" = 1/4"



PLAN, 2ND FLOOR: PROPOSED
SCALE: 1'-0" = 1/4"



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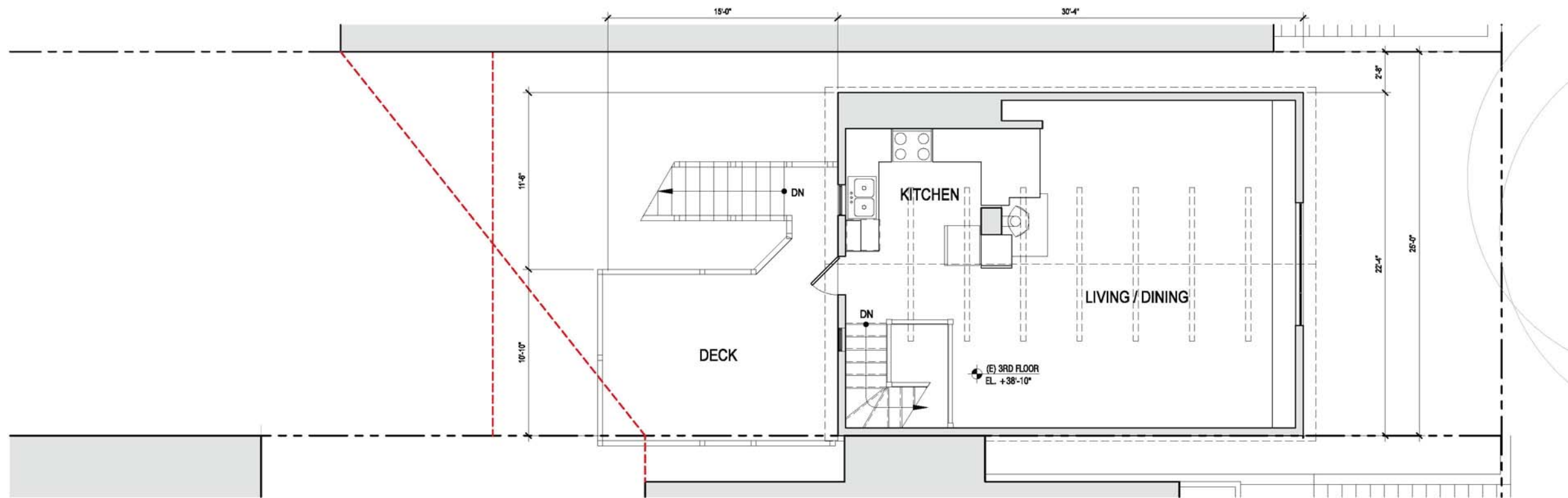
PROJECT TITLE:
3751 / 3753 20th STREET
3751 20TH STREET
SAN FRANCISCO, CA, 94110

JOB:
13045.70
ISSUE:
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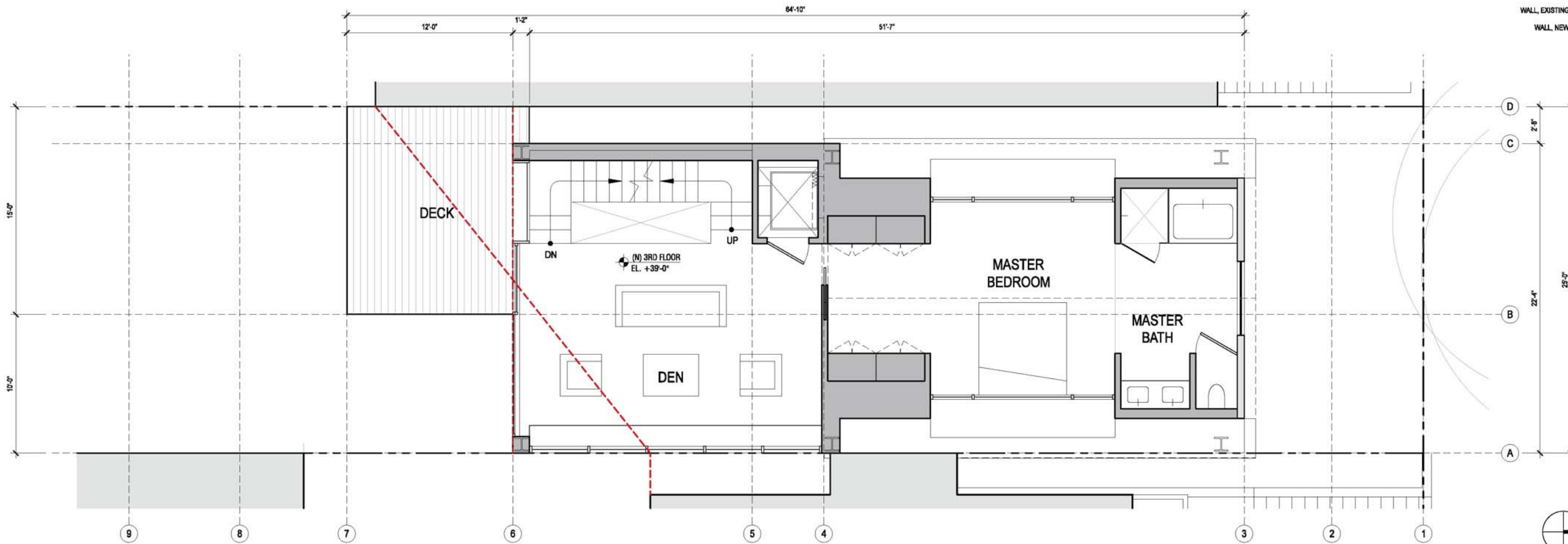
DATE:
11.04.2014

SHEET TITLE:
**2ND FLOOR PLANS:
EXISTING &
PROPOSED**

SHEET NUMBER:
A2.4



PLAN, 3RD FLOOR: EXISTING
SCALE: 1'-0" = 1/4"



PLAN, 3RD FLOOR: PROPOSED
SCALE: 1'-0" = 1/4"



2

KEY:
WALL, EXISTING: [light gray box]
WALL, NEW: [dark gray box]



1

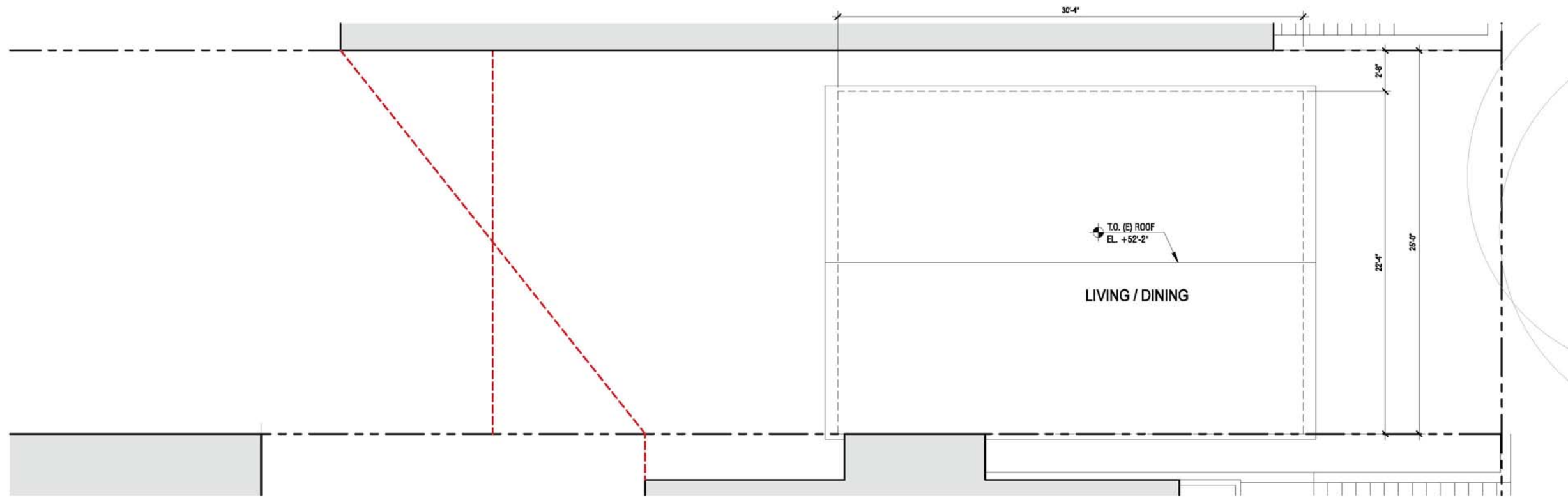


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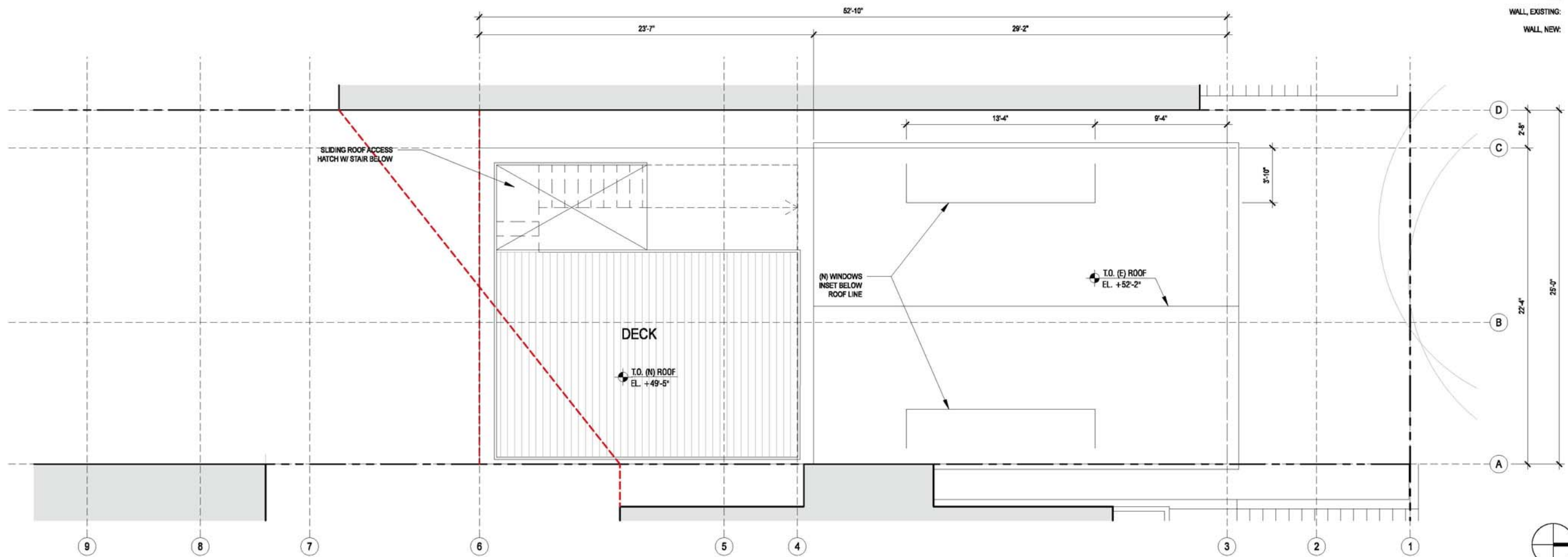
PROJECT TITLE:
3751 / 3753 20th STREET
JOB:
13045.70
ISSUE:
SITE PERMIT
DATE:
11.04.2014
REVISION:

SHEET TITLE:
**3RD FLOOR PLANS:
EXISTING &
PROPOSED**

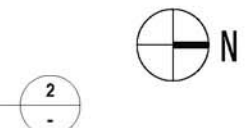
SHEET NUMBER:
A2.5



PLAN, ROOF: EXISTING
SCALE: 1'-0" = 1/4"



PLAN, ROOF: PROPOSED
SCALE: 1'-0" = 1/4"



KEY:
WALL, EXISTING: [light gray box]
WALL, NEW: [dark gray box]

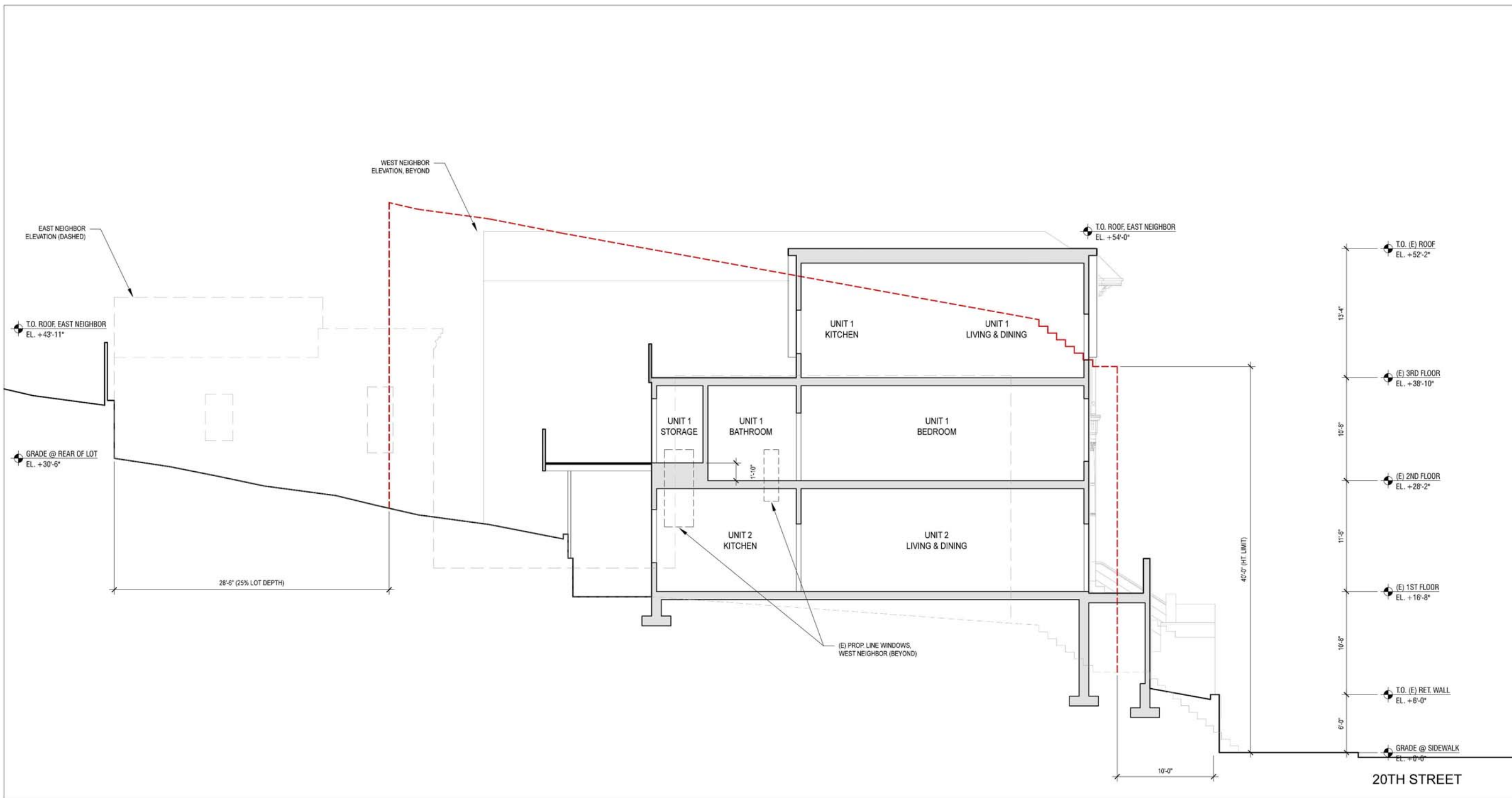


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PROJECT TITLE:
3751 / 3753 20th STREET
JOB:
13045.70
ISSUE:
SITE PERMIT
DATE:
11.04.2014
REVISION:

SHEET TITLE:
**ROOF PLANS:
EXISTING &
PROPOSED**

SHEET NUMBER:
A2.6



KEY:
WALL, EXISTING: [light gray box]
WALL, NEW: [dark gray box]

1
-

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PROJECT TITLE:
3751 / 3753 20th STREET

3751 20TH STREET
SAN FRANCISCO, CA, 94110

JOB:
13045.70

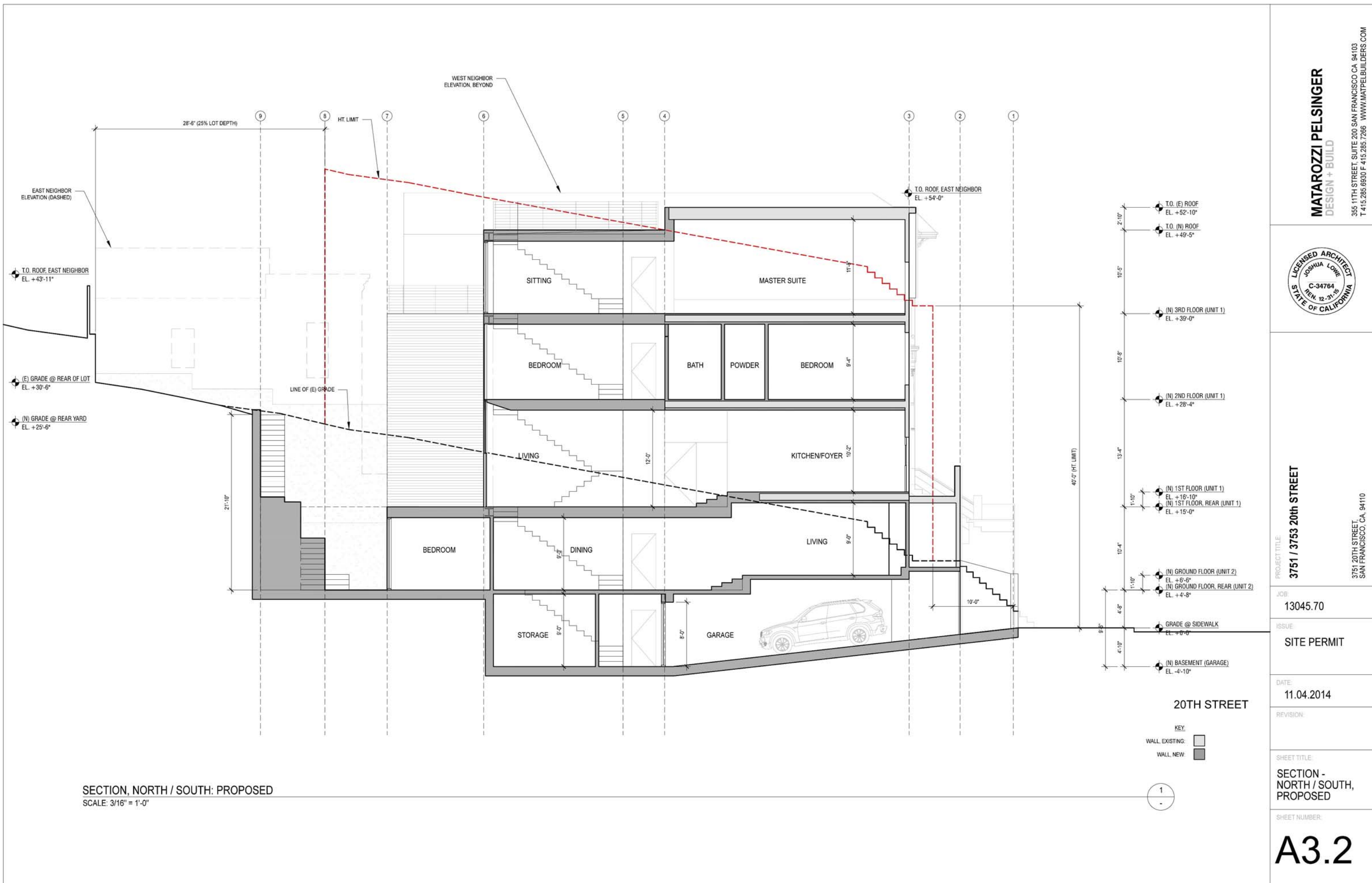
ISSUE:
SITE PERMIT

DATE:
10.2.2014

REVISION:

SHEET TITLE:
SECTION - NORTH / SOUTH, EXISTING

SHEET NUMBER:
A3.1



SECTION, NORTH / SOUTH: PROPOSED
 SCALE: 3/16" = 1'-0"

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3751 / 3753 20th STREET
 3751 20TH STREET
 SAN FRANCISCO, CA, 94110

JOB
 13045.70

ISSUE
 SITE PERMIT

DATE:
 11.04.2014

REVISION:

SHEET TITLE:
 SECTION -
 NORTH / SOUTH,
 PROPOSED

SHEET NUMBER:
A3.2

KEY:
 WALL EXISTING: [light gray box]
 WALL NEW: [dark gray box]

1
 -



ELEVATION, NORTH: EXISTING
SCALE: 1/4" = 1'-0"

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T 415.285.6830 F 415.285.7266 WWW.MATPELBUILDERS.COM

LICENSED ARCHITECT
JOSHUA LOWE
C-34764
REN. 12-31-15
STATE OF CALIFORNIA

PROJECT TITLE:
3751 / 3753 20th STREET

JOB:
13045.70

ISSUE:
SITE PERMIT

DATE:
10.2.2014

REVISION:

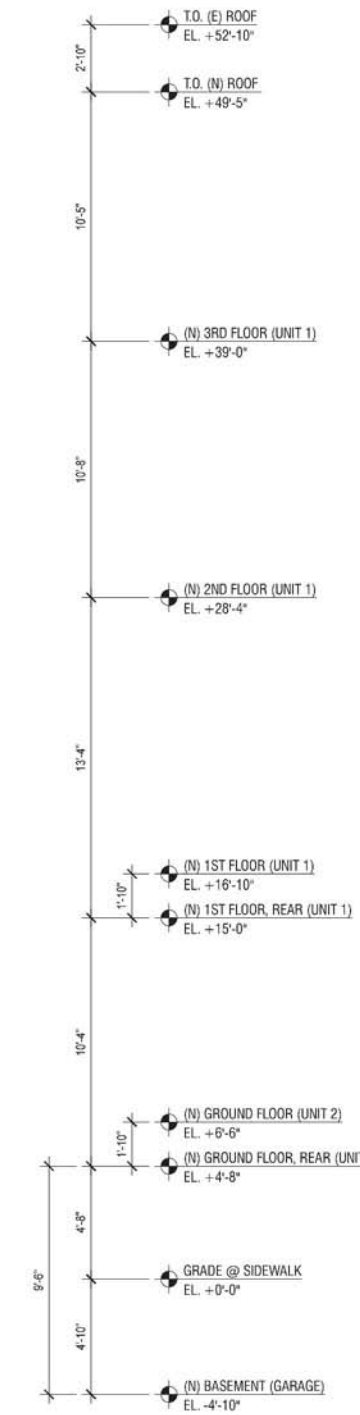
SHEET TITLE:
ELEVATION - NORTH, EXISTING

SHEET NUMBER:
A3.4

3751 20TH STREET
SAN FRANCISCO, CA, 94110



ELEVATION, NORTH: PROPOSED
SCALE: 1/4" = 1'-0"



1

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3751 / 3753 20th STREET

3751 20TH STREET
SAN FRANCISCO, CA, 94110

JOB:
13045.70

ISSUE:
SITE PERMIT

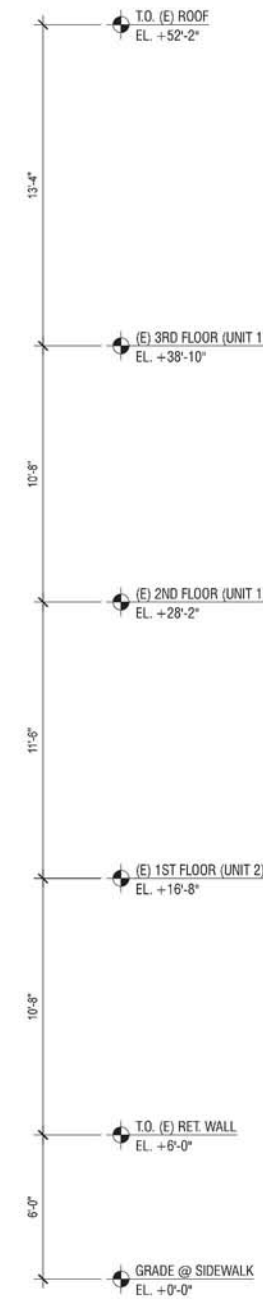
DATE:
11.04.2014

REVISION:

SHEET TITLE:
ELEVATION - NORTH, PROPOSED

SHEET NUMBER:

A3.5



ELEVATION, SOUTH: EXISTING
SCALE: 1/4" = 1'-0"

1

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PROJECT TITLE:
3751 / 3753 20th STREET

3751 20TH STREET,
SAN FRANCISCO, CA, 94110

JOB:
13045.70

ISSUE:
SITE PERMIT

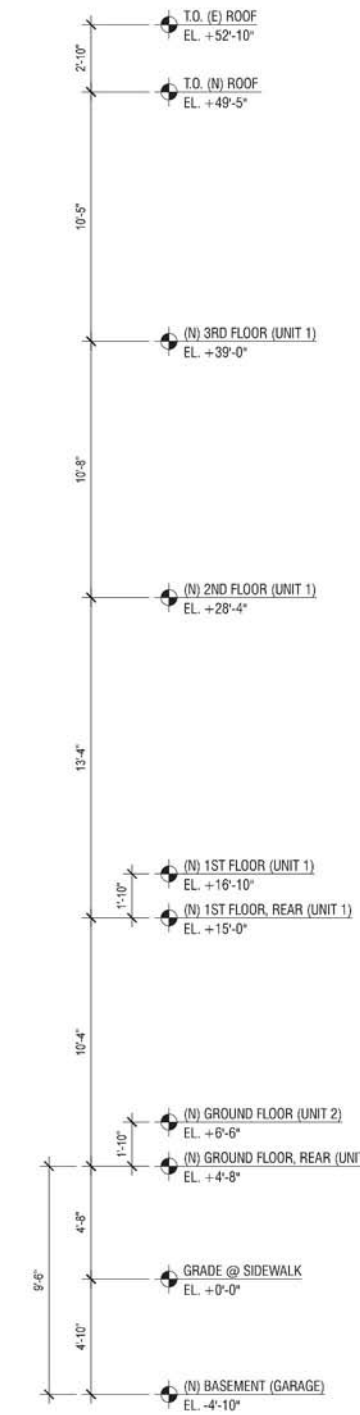
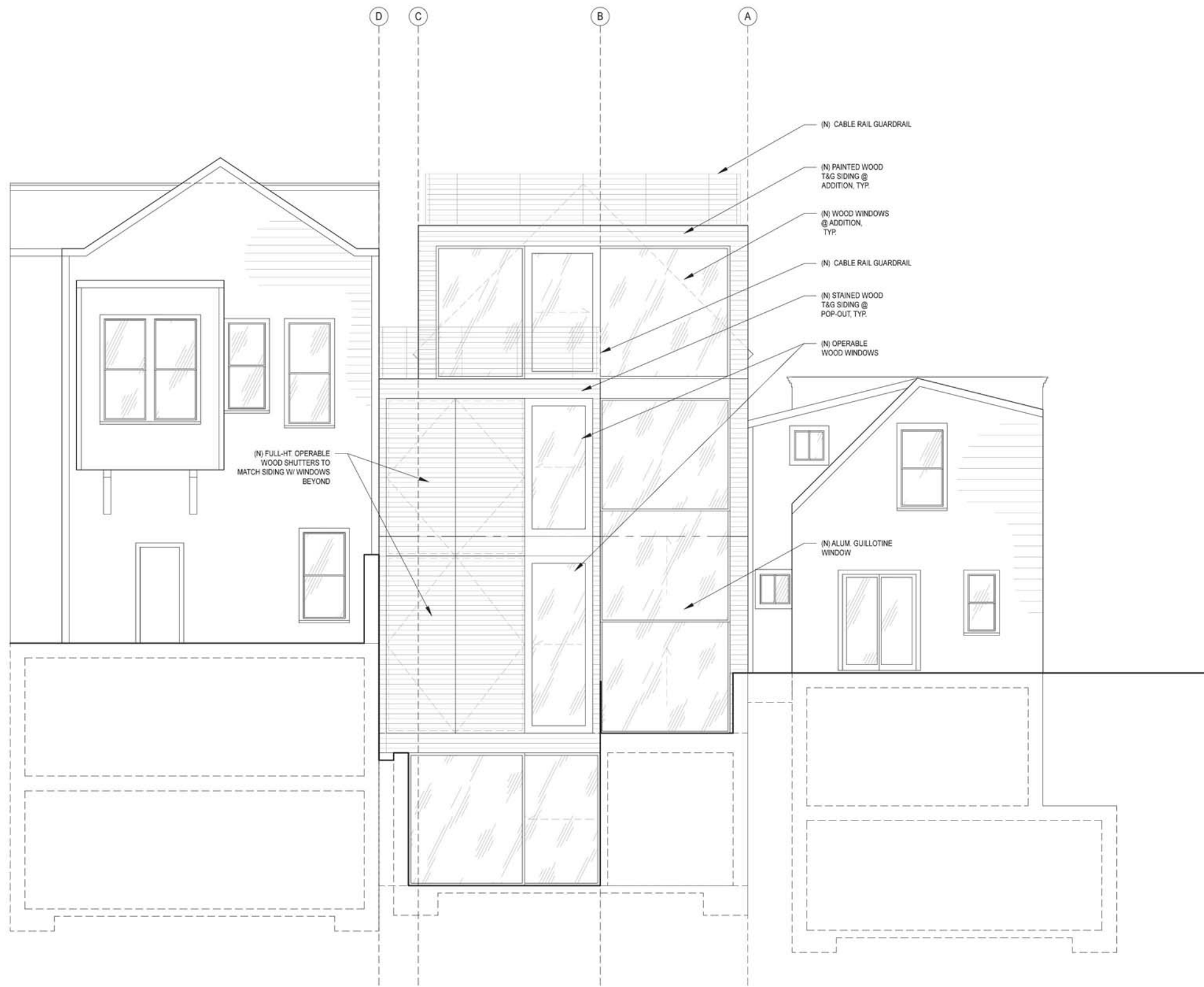
DATE:
10.2.2014

REVISION:

SHEET TITLE:
ELEVATION -
SOUTH,
EXISTING

SHEET NUMBER:

A3.6



ELEVATION, SOUTH: PROPOSED
SCALE: 1/4" = 1'-0"

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LICENSED ARCHITECT
JOSHUA LOWE
C-34764
REN. 12-31-15
STATE OF CALIFORNIA

PROJECT TITLE:
3751 / 3753 20th STREET

JOB:
13045.70

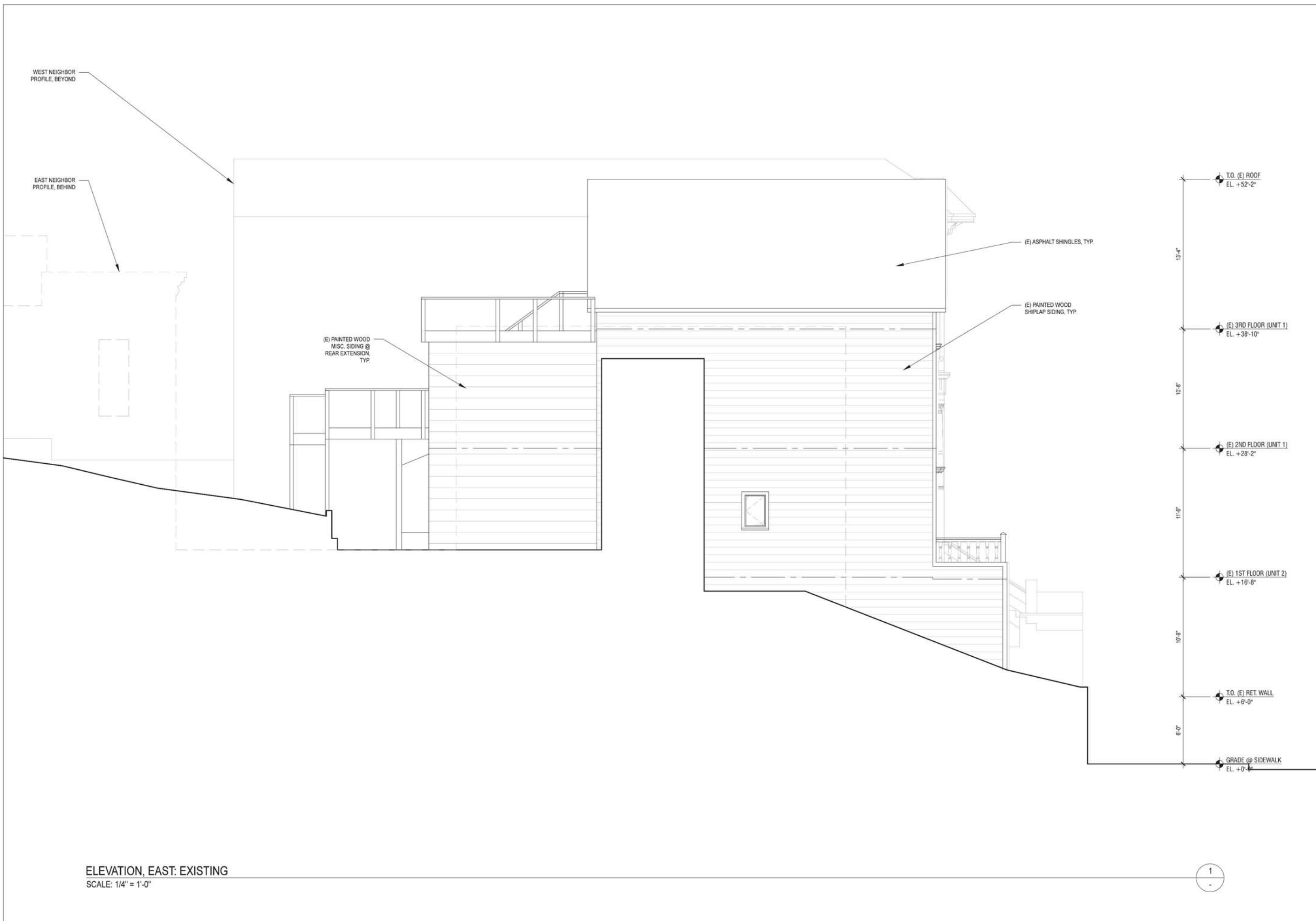
ISSUE:
SITE PERMIT

DATE:
11.04.2014

REVISION:

SHEET TITLE:
ELEVATION - SOUTH, PROPOSED

SHEET NUMBER:
A3.7



ELEVATION, EAST: EXISTING
SCALE: 1/4" = 1'-0"

1

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PROJECT TITLE:
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3751 20TH STREET
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JOB:
13045.70

ISSUE:
SITE PERMIT

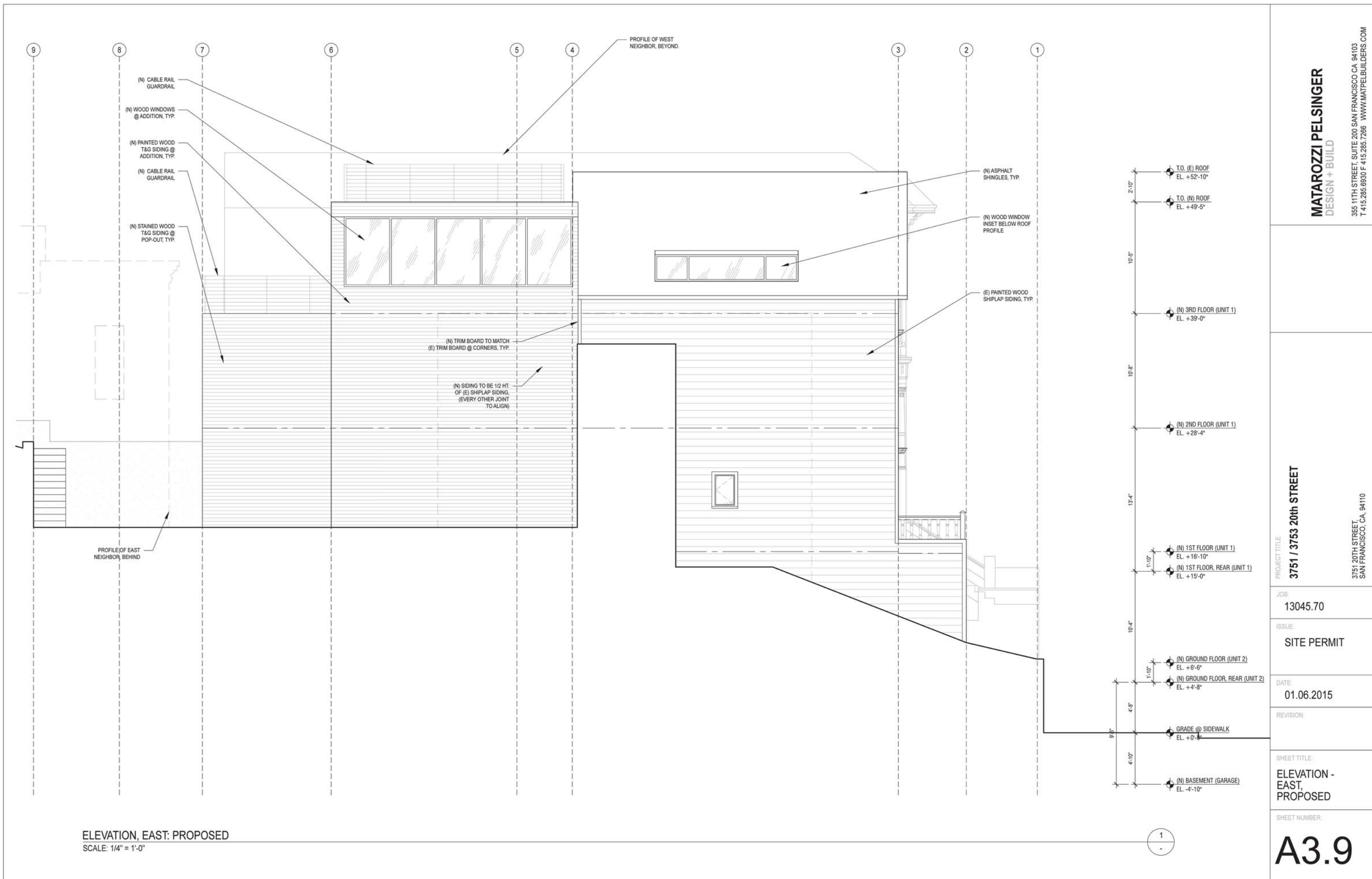
DATE:
10.2.2014

REVISION:

SHEET TITLE:
ELEVATION -
EAST,
EXISTING

SHEET NUMBER:

A3.8



ELEVATION, EAST: PROPOSED
SCALE: 1/4" = 1'-0"

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PROJECT TITLE:
3751 / 3753 20th STREET
3751 20TH STREET
SAN FRANCISCO, CA, 94110

JOB:
13045.70

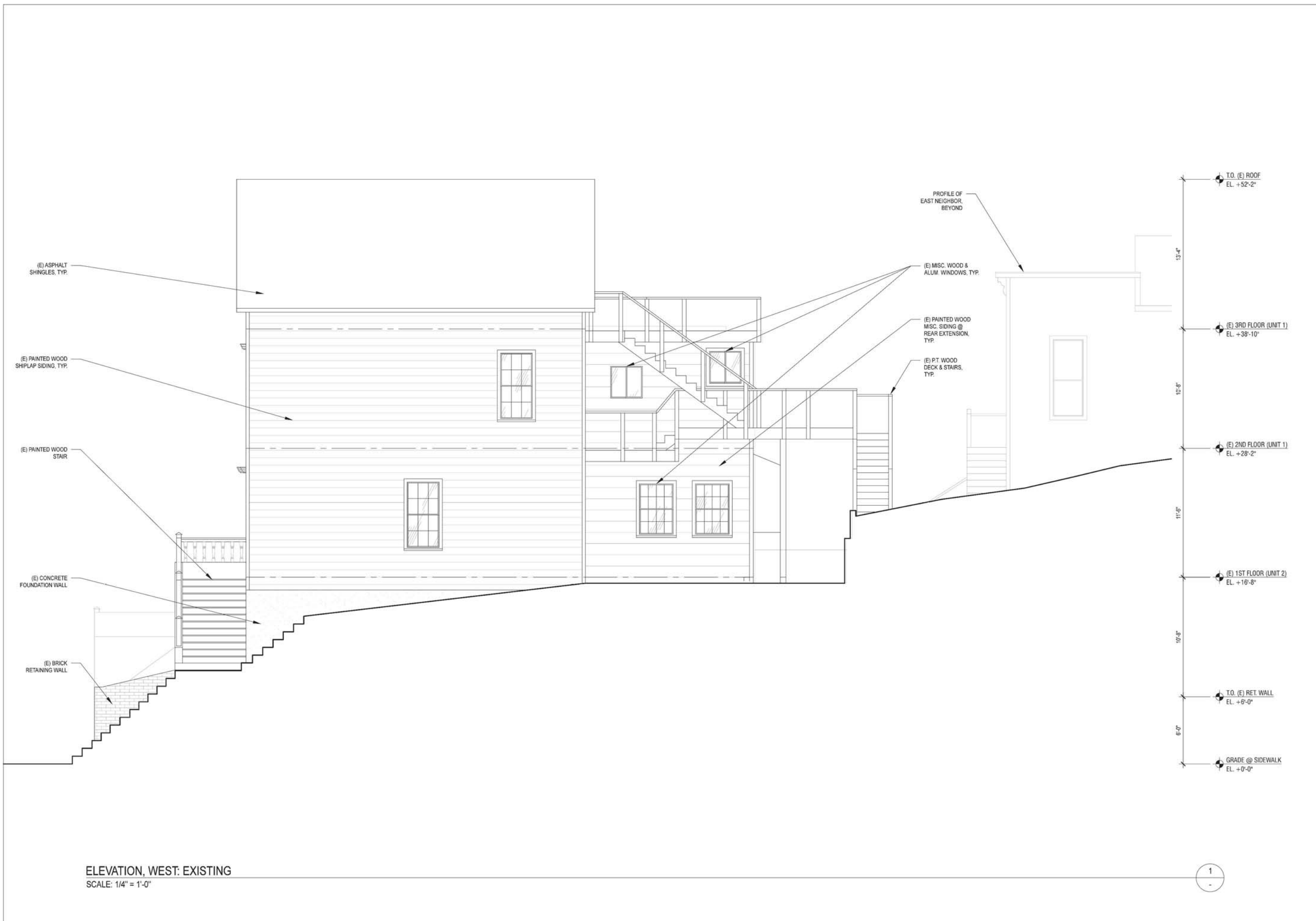
ISSUE:
SITE PERMIT

DATE:
01.06.2015

REVISION:

SHEET TITLE:
ELEVATION - EAST, PROPOSED

SHEET NUMBER:
A3.9



ELEVATION, WEST: EXISTING
SCALE: 1/4" = 1'-0"

1

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PROJECT TITLE:
3751 / 3753 20th STREET

3751 20TH STREET,
SAN FRANCISCO, CA, 94110

JOB:
13045.70

ISSUE:
SITE PERMIT

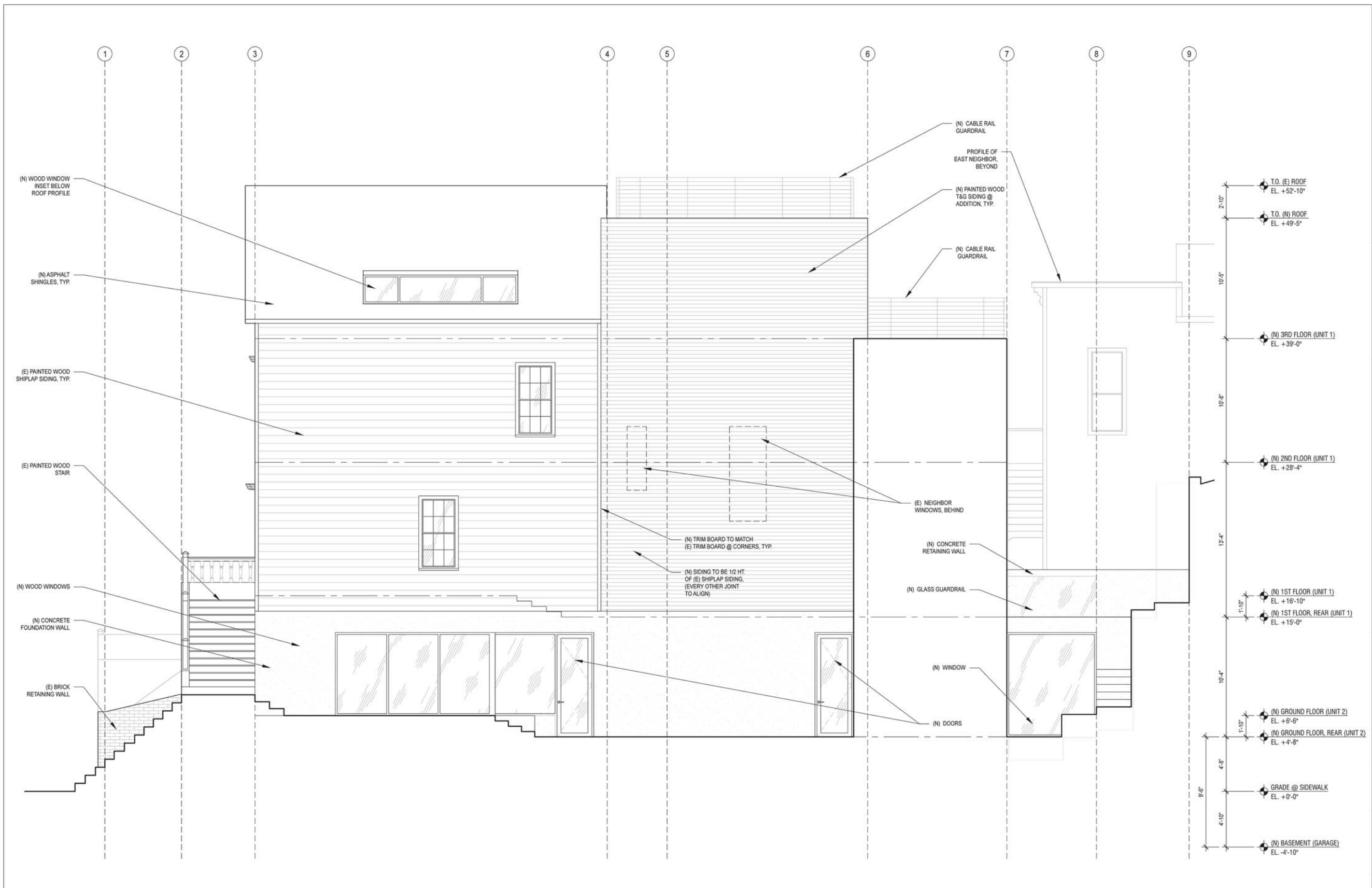
DATE:
10.2.2014

REVISION:

SHEET TITLE:
ELEVATION - WEST, EXISTING

SHEET NUMBER:

A3.10



ELEVATION, WEST: PROPOSED
SCALE: 1/4" = 1'-0"

PROJECT TITLE:
3751 / 3753 20th STREET

3751 20TH STREET
SAN FRANCISCO, CA, 94110

JOB:
13045.70

ISSUE:
SITE PERMIT

DATE:
01.06.2015

REVISION:

SHEET TITLE:
ELEVATION -
WEST,
PROPOSED

SHEET NUMBER:

A3.11