



# SAN FRANCISCO PLANNING DEPARTMENT

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## Certificate of Appropriateness Case Report

HEARING DATE: JANUARY 21, 2015  
CONTINUED FROM DECEMBER 17, 2014

*Filing Date:* June 12, 2014  
*Case No.:* **2014.0655A**  
*Project Address:* **3751-3753 20<sup>th</sup> Street**  
*Historic Landmark:* Liberty-Hill Landmark District  
*Zoning:* RH-2 (Residential, House, Two-Family) Zoning District  
40-X Height and Bulk District  
*Block/Lot:* 3607/066  
*Applicant:* Shane Curryn, Matarozzi/Pelsinger Builders, Inc.  
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### PROPERTY DESCRIPTION

**3751-3753 20<sup>th</sup> STREET** is a three-story, two-family residence designed in a simple Greek Revival architectural style located on a rectangular lot (measuring approximately 25 ft x 114 ft) on the south side of Liberty Street between Dolores and Guerrero Streets. Constructed prior to 1900, the existing building features wood-frame construction, wood siding, aluminum-sash and wood-sash windows, a gable roof, and is slightly setback from the street edge. At the street, the subject property features a brick retaining wall and a set of concrete steps. Currently, the subject property does not have any off-street parking.

Per Article 10 of the San Francisco Planning Code, 3751-3753 20<sup>th</sup> Street is designated as contributing resource to the Liberty-Hill Landmark District.

### PROJECT DESCRIPTION

The proposed project consists of rehabilitation of the two-family residence, including:

- **Construction of a New Garage/Basement Level:** The project would construct a new three-car garage. The new garage opening would be approximately 9-ft wide and would feature painted, wood panel garage doors. The proposed curb cut would measure approximately 10-ft wide. As part of the work at the basement level, the project would replace the existing foundation with a new concrete foundation.
- **Primary Façade Alterations:** The project would remove the aluminum-sash window on the third floor and insert a pair of new eight-lite fixed windows to match the existing historic windows on

the first and second floors. In addition, portions of the existing brick retaining wall would be removed to accommodate the new garage opening.

- **Inset Roof Windows:** The project would construct a set of inset wood-sash windows on the west and east facades of the existing gable roof.
- **Rear Yard Alterations:** The project would remove portions of the grade at the rear yard to provide exposure to the ground floor level. With the grade work, the subject property appears as four-stories tall. As part of the rear yard work, the project would construct a new set of stairs from the new grade up to the existing grade.
- **Construction of Rear Addition:** At the rear, the project would remove the existing two-story, non-historic rear addition and construct a new three-story horizontal addition with a roof deck that would extend approximately 34-ft 6-in from the existing rear wall. This new horizontal addition would feature large wood windows, a flat roof, and tongue and groove wood siding (dimensioned at half the height of the existing wood siding on the historic property). The new addition would also feature a roof deck at the third and fourth floor levels. These roof decks would feature a simple metal cable rail system around the roof deck perimeter.
- **West/East Façade Alterations:** The project would add new window and door openings on the west facade. The rear façade would be clad in a smooth stucco finish, and would feature wood-sash casement windows.

The proposed project would increase the square footage of the two-family residence from 2,347 square feet to 7,111 square feet.

## OTHER ACTIONS REQUIRED

Proposed work requires a Rear Yard Variance from the Zoning Administrator and a Building Permit from the Department of Building Inspection (DBI).

## COMPLIANCE WITH THE PLANNING CODE PROVISIONS

The proposed project is in compliance with all other provisions of the Planning Code.

## APPLICABLE PRESERVATION STANDARDS

### ARTICLE 10

Pursuant to Section 1006.2 of the Planning Code, unless exempt from the Certificate of Appropriateness requirements or delegated to Planning Department Preservation staff through the Administrative Certificate Appropriateness process, the Historic Preservation Commission is required to review any applications for the construction, alteration, removal, or demolition of any designated Landmark for which a City permit is required. Section 1006.6 states that in evaluating a request for a Certificate of Appropriateness for an individual landmark or a contributing building within a historic district, the Historic Preservation Commission must find that the proposed work is in compliance with the *Secretary of the Interior's Standards for the Treatment of Historic Properties*, as well as the designating Ordinance and any applicable guidelines, local interpretations, bulletins, related appendices, or other policies.

### THE SECRETARY OF THE INTERIOR'S STANDARDS

Rehabilitation is the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features that convey its historical, cultural, or architectural values. The Rehabilitation Standards provide, in relevant part(s):

**Standard 1:** A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

*The proposed project would maintain the subject property's current and historic use as a residence. Therefore, the proposed project complies with Rehabilitation Standard 1.*

**Standard 2:** The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

*The proposed project maintains the historic character of the subject property, as defined by its character-defining features, including, but not limited to, its overall mass and form, double-hung wood-sash windows, gable roof, wood siding, as well as, other elements identified in the designating ordinance for the landmark.*

*Overall, the project does not call for the removal of character-defining historic materials or features. On the front façade, the project would remove a non-historic aluminum-sash window and add a new compatible, wood-sash window within the gable. In addition, the project would remove a portion of the brick retaining wall to accommodate the new garage; however, the remainder of the brick retaining wall would be maintained in place. At the rear, the proposed project would remove a non-historic two-story rear addition and construct a new three-story horizontal rear addition, which would be located at the rear of the subject property and would be minimally visible from the public rights-of-way. This new addition would maintain a sense of the existing building's form and massing, since it would be located behind the existing gable roof, would not extend past the peak of the existing roofline, and would not impact any significant historic characteristics of the subject property. The new addition would not impact any historic materials or features of the subject property or district. Therefore, the proposed project complies with Rehabilitation Standard 2.*

**Standard 3:** Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

*The proposed project does not include the addition of conjectural elements or architectural features from other buildings. The new work will not create a false sense of historical development and would be compatible with the surrounding district. Therefore, the proposed project complies with Rehabilitation Standard 3.*

**Standard 4:** Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

*The proposed project does not involve alterations to the subject building, which have acquired significance in their own right. The existing rear addition does not possess historical significance and does not contribute to the district's historic character. Therefore, the proposed project complies with Rehabilitation Standard 4.*

**Standard 5:** Distinctive features, finishes, and construction techniques or examples of fine craftsmanship that characterize a property will be preserved.

*The proposed project maintains and preserves the subject property's distinctive finishes and character-defining features, including, but not limited to, its overall mass and form, double-hung wood-sash windows, gable roof, and wood siding. The proposed project does include alteration of the existing gable to accommodate new inset windows on the west and east facades. These new windows still allow the overall form of the roof to be expressed, while minimizing a new feature. Therefore, the proposed project complies with Rehabilitation Standard 5.*

**Standard 6:** Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacements of a distinctive feature, the new feature will match the old in design, color, texture and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

*The proposed project does not call for the repair or replacement of any deteriorated historic features. The project does include replacement of non-historic aluminum-sash windows with new compatible wood-sash windows; however, this alteration does not affect any existing feature. Therefore, the proposed project complies with Rehabilitation Standard 6.*

**Standard 7:** Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

*The proposed project does not involve chemical or physical treatments. Therefore, the proposed project complies with Rehabilitation Standard 7.*

**Standard 8:** Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures will be undertaken.

*The proposed project does include excavation and foundation work, and will undertake the appropriate mitigation and protection measures if any archaeological resource is uncovered. Therefore, the proposed project complies with Rehabilitation Standard 8.*



**Standard 9:** New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

*The proposed project includes exterior alterations to the subject property, including replacement of an aluminum-sash window for a new compatible wood-sash window, and construction of a new three-car garage and three-story horizontal addition.*

*The new three-car garage would be located along the eastern lot line via a 10-ft wide curb cut and a 9-ft wide garage entry. Garages are common alterations to residences within the surrounding district. Relative to the site's existing setting, the project would still maintain the building's historic setback's and the overall site's sloped character, as evidenced by the adjacent landscaping. The construction of this new garage would not impact any character-defining features of the existing residence. The new garage would feature a simple painted wood garage door, which is consistent with the subject property's simple architectural style, thus is compatible with the overall character of the residence.*

*On the front façade within the gable, the project would replace a non-historic aluminum-sash window with a new compatible, wood-sash window, which would match the remaining historic windows on the exterior façade. This aspect of the project assists in reinforcing the property's historic character by removing a non-historic element and introducing a new compatible feature.*

*At the rear, the new three-story horizontal addition is clearly differentiated from the historic mass of the original residence, as noted by the roofline and the change in siding. The project also includes trim board between the historic residence and the new addition to better distinguish between the old and new. The new addition has a flat roof, while the existing historic residence features a gable roof. The new additions would be constructed on top of an existing non-historic addition currently located at the rear of the existing residence. The new additions and rear façade alterations are compatible with the subject property's overall historic character, since the new work is occurring on a rear and non-visible façade, the new wood siding is similar in material and design to the property's historic wood siding (evident on the primary facades), and the mass of the new addition is differential to the historic mass of the original residence.*

*Overall, the proposed project maintains the historic integrity of the subject property and provides new additions, which are compatible, yet differentiated with the historic residence. Therefore, the proposed project complies with Rehabilitation Standard 9.*

**Standard 10:** New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

*The proposed project includes construction of a three-story rear horizontal addition, which would be located behind the existing three-story residence. This new addition would not affect the essential form and integrity of the landmark district, and does not impact any character-defining features of the subject property. Therefore, the proposed project complies with Rehabilitation Standard 10.*

**Summary:** The Department finds that the overall project is consistent with the *Secretary of the Interior Standards for Rehabilitation*.

## PUBLIC/NEIGHBORHOOD INPUT

As of January 9, 2015, the Department has received two public comments on the proposed project, which has expressed opposition to the project. Copies of these correspondences have been included within the Commissioner packets.

## STAFF ANALYSIS

Included as an exhibit are architectural drawings of the existing building and the proposed project. Based on the requirements of Article 10 and the *Secretary of Interior's Standards*, Department staff has determined the following:

**Construction of New Three-Car Garage:** The project would construct a new three-car garage with a 10-ft wide curb cut and 9-ft wide garage door. This new garage would not impact any character-defining features of the subject property, and its location and character assist in maintaining the residence's historic setting and characteristic sloped lot. Given the character of the new garage doors, the project would assist in reinforcing the property's architectural style and its relationship to other properties on the street. This alteration would comply with the Secretary of the Interior's Standards for Rehabilitation and the requirements of Article 10 of the San Francisco Planning Code, since the new work would be compatible the existing historic features. To ensure compatibility with the surrounding landmark district, the Department has included a condition of approval to salvage and reuse the brick retaining wall within any new construction.

**Primary Façade Alterations (Window Replacement):** The proposed project includes replacement of an aluminum-sash window with a pair of new eight-lite, fixed wood-sash windows. This alteration would comply with the Secretary of the Interior's Standards for Rehabilitation and the requirements of Article 10 of the San Francisco Planning Code, since this work would remove an incompatible alteration and new work would be compatible with the existing historic features. To ensure compatibility, the Department has included a condition of approval for additional detail on the proposed window, including a window schedule.

**Inset Roof Windows:** The proposed project includes insertion of inset wood-sash roof windows on the east and west facades of the gable roof of the historic residence. This alteration would comply with the Secretary of the Interior's Standards for Rehabilitation and the requirements of Article 10 of the San Francisco Planning Code, since this work is minimal in amount of material removed from the roof, maintains the overall form and mass of roof, and constructed of a compatible material.

**Three-Story Horizontal Rear Addition/East-West Façade Alterations:** The proposed project includes a three-story rear horizontal addition and alterations to the east and west facades. This work would occur on the side (non-visible) and rear portions of the subject property and would not be visible from any public rights of way. The façade alterations on the side façades primarily consist of adding new windows and doors on the ground floor level. These alterations would not remove any character-defining historic materials, and would be in discrete locations not visible from any public rights-of-way, especially given the site's topography. The mass, scale and location of the new rear addition is consistent and compatible with the rear additions found on contributing properties within the surrounding district. Further, this work would not impact any character-defining features of the subject property or surrounding landmark district. The new materials on the rear facade (wood-siding and wood-sash windows) would be in alignment with the district's character-defining features, which include wood siding and wood-sash windows. Therefore, this alteration would comply with the Secretary of the Interior's Standards for Rehabilitation and the requirements of Article 10 of the San Francisco Planning Code, since the new work would be compatible with the historic features. To ensure compatibility with the surrounding landmark district, the Department has included a condition of approval to review and approval the proposed wood siding.

**Rear Yard Alterations:** The proposed rear yard alterations include excavation of the existing grade/yard and construction of a new rear yard staircase. The rear yard landscaping is not identified as a character-defining feature of the Liberty-Hill Landmark District. The proposed site work within the rear yard would not detract from the historical significance of the subject property or the surrounding landmark district.

**Summary:** Department staff finds that proposed work will be in conformance with the Secretary's Standards and requirements of Article 10, as the proposed work shall not adversely affect the special character or special historical, architectural, or aesthetic interest or value of the landmark and its site.

## CONDITIONS OF APPROVAL

To ensure that the proposed work is undertaken in conformance with this Certificate of Appropriateness, staff recommends the following conditions:

- Prior to approval of the Building Permit, the Project Sponsor shall provide material samples, including the proposed wood siding, to ensure compatibility with the surrounding landmark district. These material samples shall demonstrate the range of color, texture and finish for the identified materials. Generally, the materials should feature a matte or painted finish, and be consistent with the building's overall historic character.
- Prior to approval of the Building Permit, the Project Sponsor shall provide a window schedule and conditions assessment. The window schedule shall detail the current issues with the existing windows on the primary façade, shall outline the repair methodologies and replacement products, and shall provide detailed information about the proposed material, glazing, dimension and profile.

- Prior to approval of the Building Permit, the Project Sponsor shall salvage and reuse the retaining walls bricks. Since portions of the existing brick retaining wall would be removed, the Project Sponsor shall reuse the historic bricks within the repair of the exterior wall to the extent feasible, as determined by Planning Department Preservation staff.

## ENVIRONMENTAL REVIEW STATUS

The Department anticipates publication of a Class 32 Categorical Exemption for the proposed project. Copies of this exemption shall be provided to the Historic Preservation Commission at the public hearing.

## PLANNING DEPARTMENT RECOMMENDATION

Planning Department staff recommends APPROVAL WITH CONDITIONS of the proposed project as it appears to meet the *Secretary of the Interior Standards for Rehabilitation* and requirements of Article 10.

## ATTACHMENTS

Draft Motion

Exhibits, including Parcel Map, Sanborn Map, Zoning Map, Aerial Photos, and Site Photos

Architectural Drawings

Project Sponsor Submittal-Neighborhood Outreach Log

Public Correspondence

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# SAN FRANCISCO PLANNING DEPARTMENT

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## Historic Preservation Commission Motion No. XXXX

HEARING DATE: JANUARY 21, 2015

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**ADOPTING FINDINGS FOR A CERTIFICATE OF APPROPRIATENESS FOR PROPOSED WORK DETERMINED TO BE APPROPRIATE FOR AND CONSISTENT WITH THE PURPOSES OF ARTICLE 10, TO MEET THE STANDARDS OF ARTICLE 10 AND TO MEET THE SECRETARY OF INTERIOR'S STANDARDS FOR REHABILITATION, FOR THE PROPERTY LOCATED ON LOT 066 IN ASSESSOR'S BLOCK 3607, DESIGNATED AS A CONTRIBUTING RESOURCE TO THE LIBERTY-HILL LANDMARK DISTRICT, AND LOCATED WITHIN RH-2 (RESIDENTIAL, HOUSE, TWO-FAMILY) ZONING DISTRICT AND A 40-X HEIGHT AND BULK DISTRICT.**

### PREAMBLE

WHEREAS, on June 12, 2014, Shane Currryn of Matarozzi/Pelsinger (Project Sponsor) on behalf of Justin McBaine (Property Owners), filed an application with the San Francisco Planning Department (Department) for a Certificate of Appropriateness for exterior alterations and a three-story rear addition to the subject property located on Lot 066 in Assessor's Block 3607.

WHEREAS, the Project received an exemption from the California Environmental Quality Act ("CEQA") as a Class 32 Categorical Exemption (CEQA Guideline Section 15332) on December XX, 2014.

WHEREAS, the Planning Department, Jonas Ionin, is the custodian of records, located in Case No. 2014.0655A at 1650 Mission Street, Fourth Floor, San Francisco, California; and

WHEREAS, on January 21, 2015, the Commission conducted a duly noticed public hearing on the current project, Case No. 2014.0655A (Project) for its appropriateness.

WHEREAS, in reviewing the Application, the Commission has had available for its review and consideration case reports, plans, and other materials pertaining to the Project contained in the Department's case files, has reviewed and heard testimony and received materials from interested parties during the public hearing on the Project.

**MOVED**, that the Commission hereby grants a Certificate of Appropriateness WITH CONDITIONS, in conformance with the project information dated November 4, 2014 and labeled Exhibit A on file in the docket for Case No. 2014.0655A based on the following findings:

### **CONDITIONS OF APPROVAL**

To ensure that the proposed work is undertaken in conformance with this Certificate of Appropriateness, staff recommends the following conditions:

1. As part of the Site Permit, the Project Sponsor shall provide material samples, including the examples of the materials for the proposed stair tread and rise, handrails and rear stucco finish, to ensure compatibility with the surrounding landmark district. These material samples shall demonstrate the range of color, texture and finish for the identified materials. Generally, the materials should feature a matte or painted finish, and be consistent with the building's overall historic character.
2. As part of the Site Permit, the Project Sponsor shall provide a window schedule and conditions assessment. The window schedule shall detail the current issues with the existing windows on the primary façade, and shall outline the repair methodologies.
3. As part of the Site Permit, the Project Sponsor shall provide detailed drawings and specifications for the restoration of the existing wood trellis on the primary façade. The Project Sponsor shall provide detailed drawings of the existing trellis (including plan, section, elevations and details, as determined by Department staff) to assist in guiding the reconstruction. The specifications shall include a conditions assessment of the existing wood, as well as dimensions for the individual pieces of wood, in order to assist with the restoration.

### **FINDINGS**

Having reviewed all the materials identified in the recitals above and having heard oral testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and also constitute findings of the Commission.
2. Findings pursuant to Article 10:

The Historic Preservation Commission has determined that the proposed work is compatible with the character of the Liberty-Hill Landmark District as described in designating ordinance and Article 10 of the San Francisco Planning Code.

- That the proposed project features rear façade and rooftop alterations, which are compatible with the Landmark, since this new work does not destroy historic materials, and provides for alterations, which are compatible, yet differentiated.
- That the proposed addition is compatible with the historic residence and surrounding landmark district.
- That the essential form and integrity of the landmark district and its environment would be unimpaired if the alterations were removed at a future date.
- That the proposal respects the character-defining features of the Liberty-Hill Landmark District.
- The proposed project meets the requirements of Article 10.
- The proposed project meets the *Secretary of the Interior's Standards for Rehabilitation*, including:

**Standard 2.**

*The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*

**Standard 9.**

*New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.*

**Standard 10.**

*New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

3. **General Plan Compliance.** The proposed Certificate of Appropriateness is, on balance, consistent with the following Objectives and Policies of the General Plan:

I. URBAN DESIGN ELEMENT

THE URBAN DESIGN ELEMENT CONCERNS THE PHYSICAL CHARACTER AND ORDER OF THE CITY, AND THE RELATIONSHIP BETWEEN PEOPLE AND THEIR ENVIRONMENT.

GOALS

*The Urban Design Element is concerned both with development and with preservation. It is a concerted effort to recognize the positive attributes of the city, to enhance and conserve those attributes, and to improve the living environment where it is less than satisfactory. The Plan is a definition of quality, a definition based upon human needs.*

OBJECTIVE 1

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

POLICY 1.3

*Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.*

OBJECTIVE 2

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

POLICY 2.4

*Preserve notable landmarks and areas of historic, architectural or aesthetic value, and promote the preservation of other buildings and features that provide continuity with past development.*

POLICY 2.5

*Use care in remodeling of older buildings, in order to enhance rather than weaken the original character of such buildings.*

POLICY 2.7

*Recognize and protect outstanding and unique areas that contribute in an extraordinary degree to San Francisco's visual form and character.*

*The goal of a Certificate of Appropriateness is to provide additional oversight for buildings and districts that are architecturally or culturally significant to the City in order to protect the qualities that are associated with that significance.*

*The proposed project qualifies for a Certificate of Appropriateness and therefore furthers these policies and objectives by maintaining and preserving the character-defining features of the South End Landmark District for the future enjoyment and education of San Francisco residents and visitors.*

- A) The existing neighborhood-serving retail uses will be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses will be enhanced:

*The proposed project will not have any impact on any existing neighborhood serving retail uses. Currently, the site does not possess any retail uses.*

- B) The existing housing and neighborhood character will be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods:



*The proposed project will strengthen neighborhood character by respecting the character-defining features of Liberty-Hill Landmark District in conformance with the Secretary of the Interior's Standards for Rehabilitation.*

- C) The City's supply of affordable housing will be preserved and enhanced:

*The revisions to the theater rehabilitation project will have no impact to housing supply.*

- D) The commuter traffic will not impede MUNI transit service or overburden our streets or neighborhood parking:

*The proposed project will not result in commuter traffic impeding MUNI transit service or overburdening the streets or neighborhood parking. The proposed project include new off-street parking, and the surrounding area is well-served by public transportation.*

- E) A diverse economic base will be maintained by protecting our industrial and service sectors from displacement due to commercial office development. And future opportunities for resident employment and ownership in these sectors will be enhanced:

*The proposed project does not include commercial office development.*

- F) The City will achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

*Preparedness against injury and loss of life in an earthquake is unaffected by the proposed work. The proposed project included a seismic upgrade, which will be executed in compliance with all applicable construction and safety measures.*

- G) That landmark and historic buildings will be preserved:

*The proposed project are in conformance with Article 10 of the Planning Code and the Secretary of the Interior's Standards for Rehabilitation.*

- H) Parks and open space and their access to sunlight and vistas will be protected from development:

*The proposed project will not impact the access to sunlight or vistas for parks and open space.*

4. For these reasons, the proposal overall, is appropriate for and consistent with the purposes of Article 10, meets the standards of Article 10, and the *Secretary of Interior's Standards for Rehabilitation*, General Plan and Prop M findings of the Planning Code.

**DECISION**

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **GRANTS WITH CONDITIONS a Certificate of Appropriateness** for the property located at Lot 066 in Assessor's Block 3607 for proposed work in conformance with the project information dated November 4, 2014, labeled Exhibit A on file in the docket for Case No. 2014.0655A.

**APPEAL AND EFFECTIVE DATE OF MOTION:** The Commission's decision on a Certificate of Appropriateness shall be final unless appealed within thirty (30) days. Any appeal shall be made to the Board of Appeals, unless the proposed project requires Board of Supervisors approval or is appealed to the Board of Supervisors, such as a conditional use, in which case any appeal shall be made to the Board of Supervisors (see Charter Section 4.135).

**Duration of this Certificate of Appropriateness:** This Certificate of Appropriateness is issued pursuant to Article 10 of the Planning Code and is valid for a period of three (3) years from the effective date of approval by the Historic Preservation Commission. The authorization and right vested by virtue of this action shall be deemed void and canceled if, within 3 years of the date of this Motion, a site permit or building permit for the Project has not been secured by Project Sponsor.

**THIS IS NOT A PERMIT TO COMMENCE ANY WORK OR CHANGE OF OCCUPANCY UNLESS NO BUILDING PERMIT IS REQUIRED. PERMITS FROM THE DEPARTMENT OF BUILDING INSPECTION (and any other appropriate agencies) MUST BE SECURED BEFORE WORK IS STARTED OR OCCUPANCY IS CHANGED.**

I hereby certify that the Historic Preservation Commission ADOPTED the foregoing Motion on January 21, 2015.

Jonas P. Ionin  
Commission Secretary

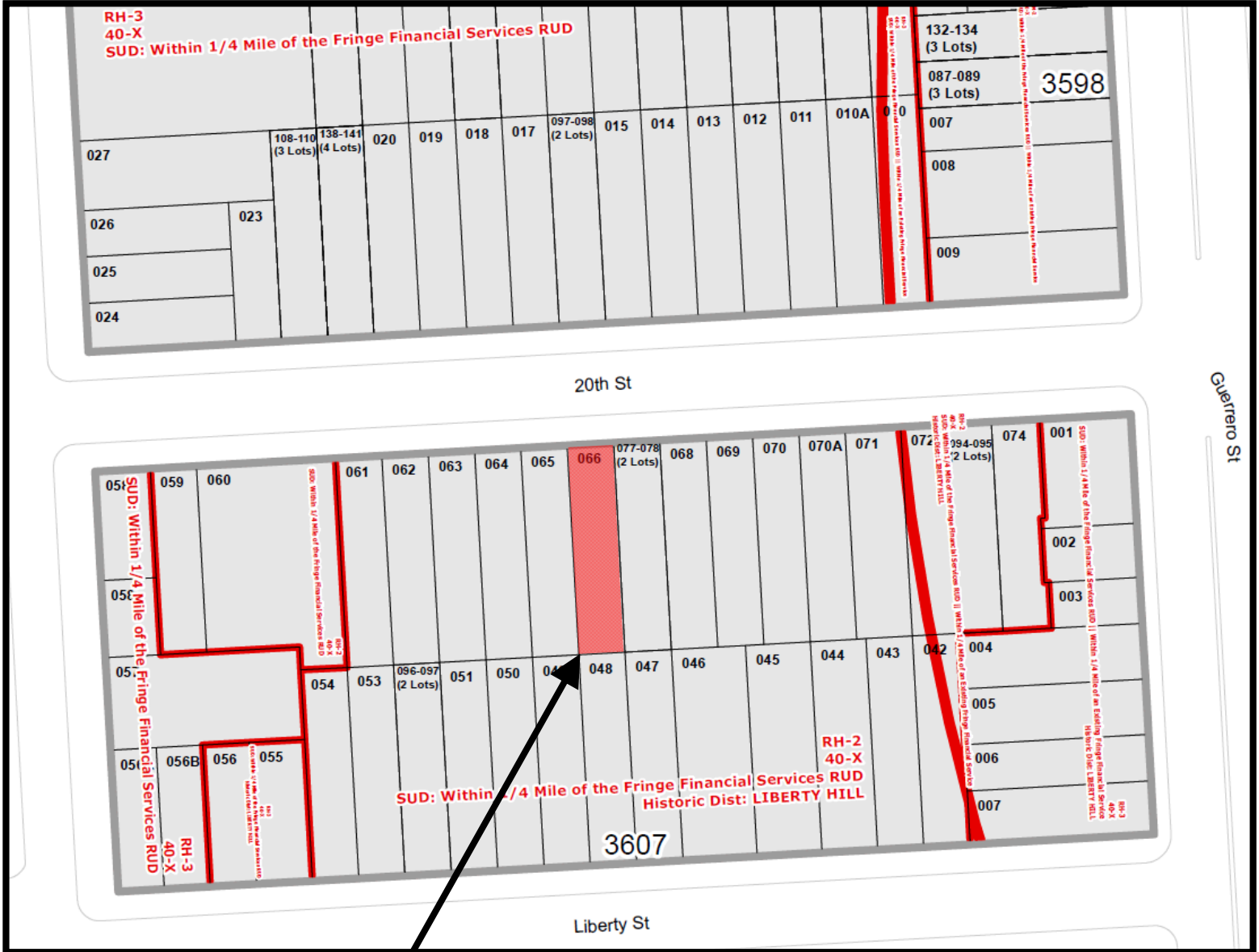
AYES:

NAYS:

ABSENT:

ADOPTED: January 21, 2015

# Parcel Map



**SUBJECT PROPERTY**



Certificate of Appropriateness Hearing  
 Case Number 2014.0655A  
 3751-3753 20<sup>th</sup> Street

# Sanborn Map\*



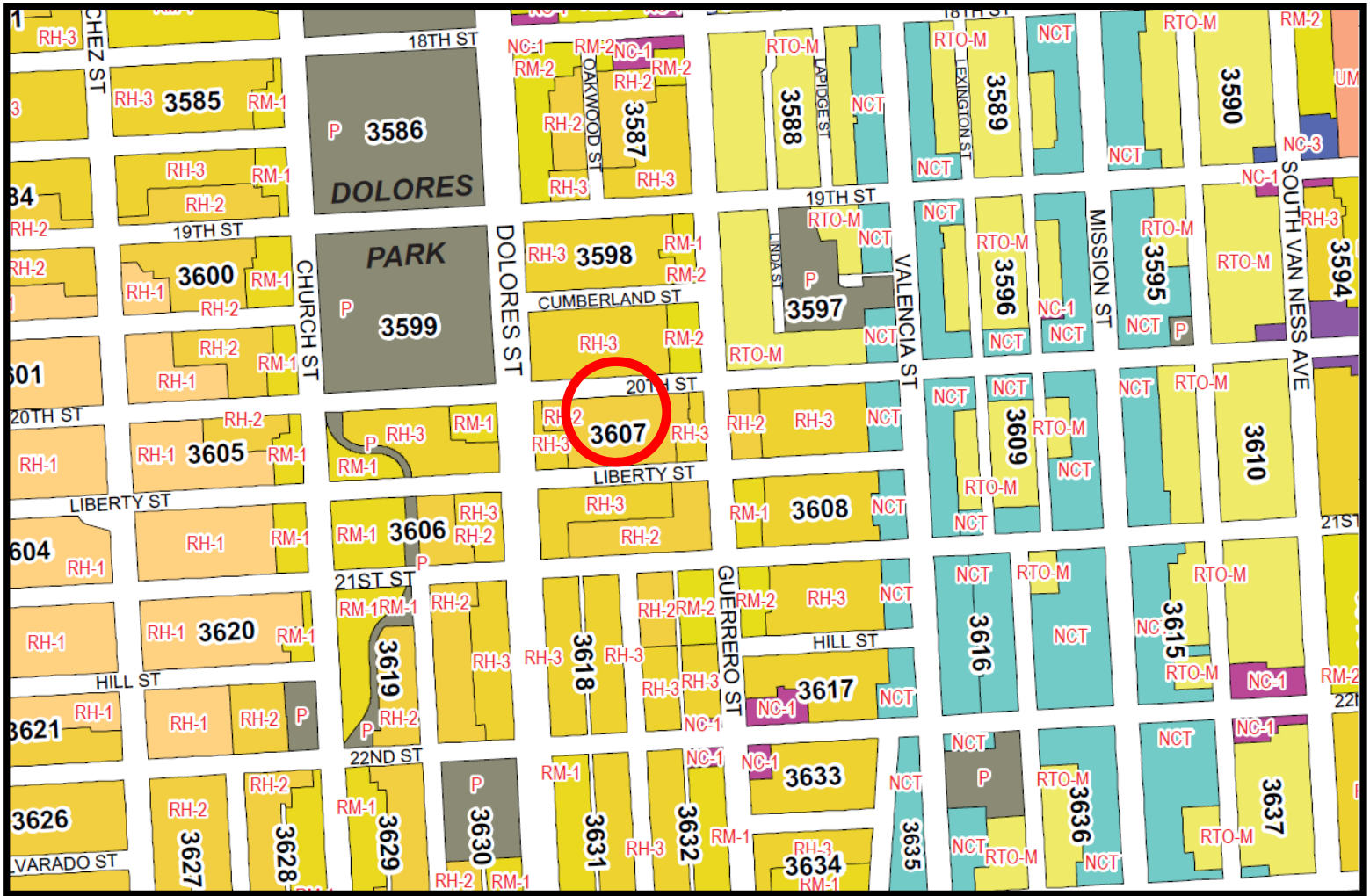
\*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.

**SUBJECT PROPERTY**

Certificate of Appropriateness Hearing  
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# Zoning Map

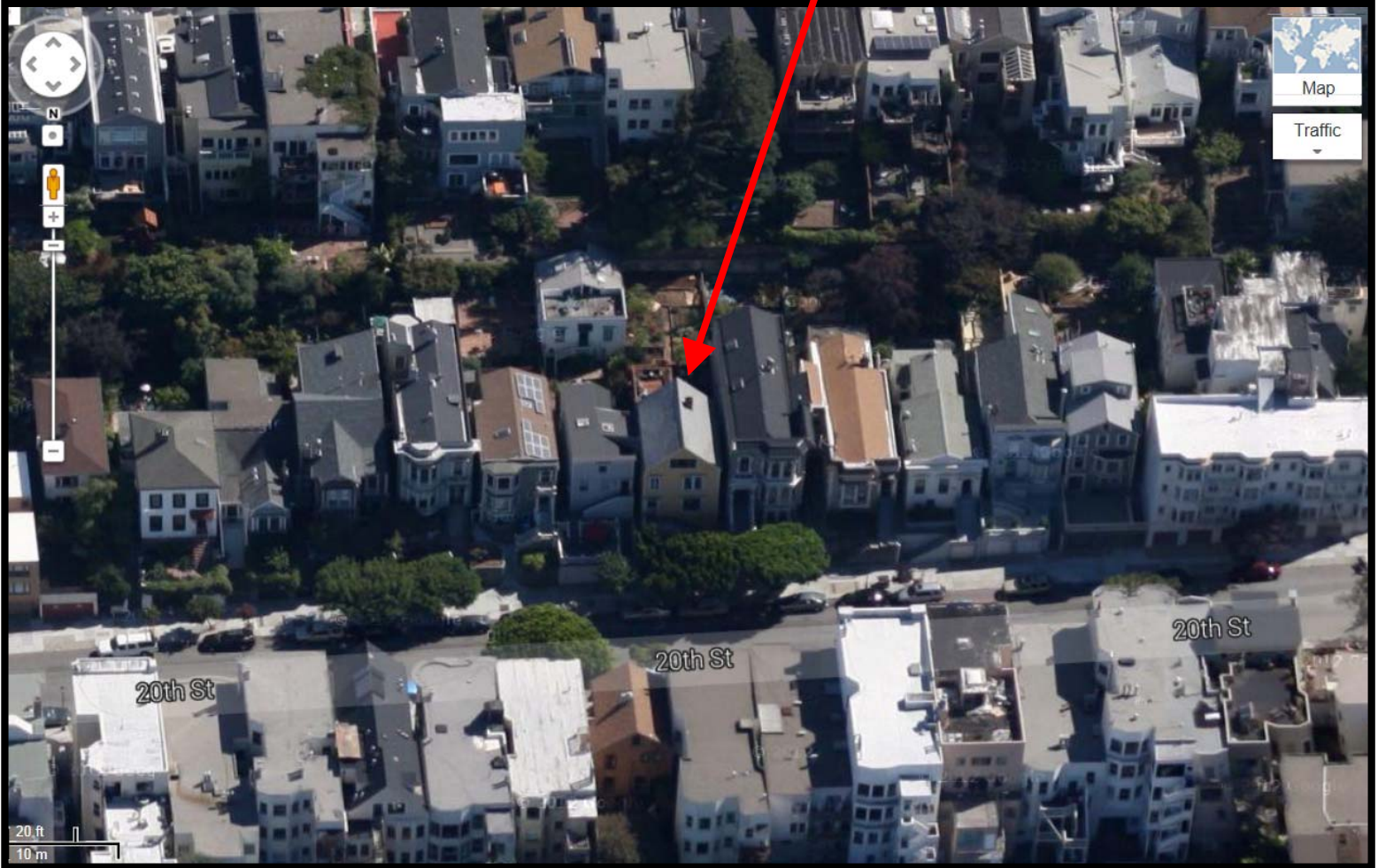


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# Aerial Photo

SUBJECT PROPERTY



Certificate of Appropriateness Hearing  
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3751-3753 20<sup>th</sup> Street





# Site Photo



3751-3752 20<sup>th</sup> Street (Source: Google Maps, August 2014)

Certificate of Appropriateness Hearing  
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# Site Photo



3751-3752 20<sup>th</sup> Street (Source: Planning Department, August 2014)

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3751-3753 20<sup>th</sup> Street



# Site Photo



3751-3752 20<sup>th</sup> Street (Source: Planning Department, August 2014)

Certificate of Appropriateness Hearing  
Case Number 2014.0655A  
3751-3753 20<sup>th</sup> Street

# Site Photo



3751-3752 20<sup>th</sup> Street, Rear Facade (Source: Planning Department)

Certificate of Appropriateness Hearing  
Case Number 2014.0655A  
3751-3753 20<sup>th</sup> Street



## **3751 20<sup>th</sup> St. – Neighbor Outreach Log**

**Date:** 01.08.15

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### **8/25/2013, Liberty Hill Neighborhood Association, 10 Hill (Voluntary Outreach):**

Informational meeting with LHNA officers to introduce ourselves and discuss general process for their review and comment on the project. No design presented at this point, only existing site plan showing rear-yard envelope per SF Planning Code.

### **2/4/2014, Liberty Hill Neighborhood Association, 338 Lexington (Voluntary Outreach):**

Project drawings presented to the full LHNA membership as an agenda item at their regular meeting. Membership voted unanimously to support the project. The following materials were presented:

Slideshow:

[https://www.dropbox.com/s/s3a9wwwxf2b2kgt/3751%2020th%20St\\_Liberty%20Hill%20Mtg\\_Final.pdf?dl=0](https://www.dropbox.com/s/s3a9wwwxf2b2kgt/3751%2020th%20St_Liberty%20Hill%20Mtg_Final.pdf?dl=0)

Handout:

[https://www.dropbox.com/s/t275oxm3hi6brkc/3751%2020th%20St\\_Handout\\_Final.pdf?dl=0](https://www.dropbox.com/s/t275oxm3hi6brkc/3751%2020th%20St_Handout_Final.pdf?dl=0)

### **3/4/2014, 5PM, Meeting with Immediate Neighbors to the West at 3755 20<sup>th</sup> (Henry Hewitt and Sharon Meadows), 3751 20th (Voluntary Outreach):**

The owners were generally supportive, but expressed some concern about views from the new rear addition into their rear yard and asked if we could explore ways to increase privacy and reduce view line. We discussed various mitigating measures such as plantings, and reduced bedroom window size. We agreed to have a follow up meeting to review our proposed changes to address the privacy issue. The following materials were presented:

Slideshow:

[https://www.dropbox.com/s/a20zroeserecfro/3751%2020th%20St\\_Pre-App%20Neighbor%20Mtg\\_Final.pdf?dl=0](https://www.dropbox.com/s/a20zroeserecfro/3751%2020th%20St_Pre-App%20Neighbor%20Mtg_Final.pdf?dl=0)

### **3/4/2014, 6PM, Meeting with Immediate Neighbors to the East at 3747 20th (front structure, Corrie & Daniel Conrad) and 3749 20th (rear yard structure, Ingrid Eggers), 3751 20th (Voluntary Outreach):**

Owner's Daniel & Corrie Conrad (3747 20th, front) and Ingrid Eggers (3749 20th, rear) attended the meeting. Daniel & Corrie Conrad asked several questions to make sure they clearly understood the drawings and proposed changes, but did not request any specific revisions to the proposal. Ingrid Eggers expressed general concern about the scale of the remodel and rear addition, particularly with respect to the negative effects the construction activity would have on her AirBnB business renting out the lower unit within her home. We asked Ingrid Eggers if there were any specific aspects of the project that she would like to discuss revision, she responded

that she felt we ought to abandon the project entirely and seek out a different property that does not require such extensive remodeling. The following materials were presented:

Slideshow:

[https://www.dropbox.com/s/a20zroeserecfro/3751%2020th%20St\\_Pre-App%20Neighbor%20Mtg\\_Final.pdf?dl=0](https://www.dropbox.com/s/a20zroeserecfro/3751%2020th%20St_Pre-App%20Neighbor%20Mtg_Final.pdf?dl=0)

**3/25/2014, Pre-Application Meeting with Neighbors, 3751 20th (Required Outreach):**

Sign-in Sheet:

[https://www.dropbox.com/s/u44dw0x967zeo7b/3751%2020th%20St\\_PreApplicationMtg\\_SignIn.pdf?dl=0](https://www.dropbox.com/s/u44dw0x967zeo7b/3751%2020th%20St_PreApplicationMtg_SignIn.pdf?dl=0)

Summary:

[https://www.dropbox.com/s/y9i96o2eb5oplym/3751%2020th%20St\\_PreApplicationMtg\\_Summary.pdf?dl=0](https://www.dropbox.com/s/y9i96o2eb5oplym/3751%2020th%20St_PreApplicationMtg_Summary.pdf?dl=0)

Drawings Presented:

[https://www.dropbox.com/s/40jlt8qq8um5xq6/3751%2020th%20St\\_PreApplicationMtg\\_Dwgs.pdf?dl=0](https://www.dropbox.com/s/40jlt8qq8um5xq6/3751%2020th%20St_PreApplicationMtg_Dwgs.pdf?dl=0)

**5/7/2014, Meeting with 3755 20th Owners (Henry Hewitt and Sharon Meadows) to Review Privacy Modifications to Rear Addition, 3751 20th (Voluntary Outreach):**

We met with 3755 20th owner Henry Hewitt and presented a combined strategy of planting screens plus reduced bedroom window with an operable shutter functioning as a privacy blind to shield view from the bedroom at 3751 to the rear yard of 3755. The drawings were favorably received. The following materials were presented:

Slideshow:

[https://www.dropbox.com/s/bnj4nfrh9epcw8/3751%2020th%20St\\_Privacy%20Modifications.pdf?dl=0](https://www.dropbox.com/s/bnj4nfrh9epcw8/3751%2020th%20St_Privacy%20Modifications.pdf?dl=0)

**12/16/2014, Meeting with 3755 20th Owners (Henry Hewitt and Sharon Meadows) and Structural Engineer to research existing foundation configuration on their property:**

The project team toured the lower levels of 3755 20th with the owners to identify the general extent of the sub-grade structure on their lot with the goal of identifying an appropriate preliminary strategy for foundation wall configuration and shoring along the shared property line.

**1/13/2015 (Pending), Meeting with 3747 20th Owners (Corrie & Daniel Conrad) to discuss their questions and concerns about the proposed project**

## Sucre, Richard (CPC)

---

**From:** Lynch, Laura (CPC)  
**Sent:** Tuesday, November 18, 2014 8:33 AM  
**To:** eggers ingrid  
**Cc:** Sucre, Richard (CPC)  
**Subject:** RE: 3751/3753 20th Street

Hi Ingrid,

Thank you for your comment I will be sure to address your comment as it pertains to my environmental review of the project. I know you have previously spoken to Rich Sucre, but I am ccing him on this email as well. Rich will be reviewing the historic preservation aspect of the project as well as the consistency with the Residential Design Guidelines and the Planning Code. Once the environmental review document is complete I will send you a copy of the report. Please let me know if you would prefer a hard copy of the report or an electronic version.

Best,

**Laura C. Lynch** | Planner

San Francisco Planning Department | Environmental

1650 Mission Street, Suite 400 | San Francisco, California, 94103

T: (415) 575-9045 | Web: [www.sfplanning.org](http://www.sfplanning.org) | [laura.lynych@sfgov.org](mailto:laura.lynych@sfgov.org)

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**From:** eggers ingrid [<mailto:iegg44@yahoo.com>]

**Sent:** Tuesday, November 18, 2014 6:08 AM

**To:** Lynch, Laura (CPC)

**Subject:** 3751/3753 20th Street

Dear Laura Lynch,

I'm out of the country and in response to your letter of November 7, I hope that this email is acceptable for voicing my concerns regarding the renovation of 3751-53 20th Street.

Last spring the neighbors were introduced to Justin McBean's renovation plans and I reacted by voicing my concerns to him and to Richard Sucre in earlier emails. I'm happily to do it again hoping that it might result in some changes.

My house, 3749 (built around 1880), is located in the back of the garden on a lot with 2 houses almost the same size as 3751/53. Separated from the front house, 3747, by a small garden, I live in about 1200 square feet (about the same as the front house) surrounded by plants and light. I love my small house tucked away from street noise. To update 3751/53 with garage, a new deck, dormers for better views and new interior is perfectly acceptable to me, as long as the unique character of the block is retained and my living and air space is not curtailed. The scope of the renovation, however, does not promise this. Two big boxes are supposed to be added on

the south side toward my house which will not just change my view - looking against walls instead of trees and a deck - the boxes will also significantly reduce light and airspace on my doorsteps. My guest and living room facing north, as well as the small garden space between 3747 and 3749 will be boxed in by the planned extension.

To more than triple the existing footprint in a historic neighborhood that is already overdeveloped, turns this project into the most aggressive renovation that I have seen on my block in the 16 years I have been living here. I think that digging 25 feet into the ground for a 3 car garage and another unit on top of it, plus adding 2 big boxes in the back of the 140 year old unique house in order to live in more space, will ruin my quality of life and the charm of this historic neighborhood. Does the planning department really want to encourage developing 2300 square feet living space into 7100 on limited historic ground just to allow a developer to build his "dreamhouse"?

I will return to SF on December 5 and more than willing to voice my concerns in person.

Thank You  
Ingrid Eggers

[www.germangems.com](http://www.germangems.com)

## Sucre, Richard (CPC)

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**From:** Corrie Conrad <corrie.conrad@gmail.com>  
**Sent:** Monday, January 05, 2015 4:16 PM  
**To:** Sucre, Richard (CPC)  
**Cc:** Daniel Conrad  
**Subject:** Neighbor input from 3747 20th for the review of 3751-3753 20th

Hi Richard,

My family is the direct neighbor of the proposed renovations for 3751-3753 20th street. We learned from our neighbor Ingrid Eggers that the town hearing was moved from Dec 17th to January 21st. We're disappointed that the meeting was moved, as we'll be out of town on the 21st (we're gone that whole week).

I wanted to make sure you received and are aware of our concerns (see below). Additionally, I wanted to see if it might be possible to move the hearing to a date that might be able to attend? Is there a process for requesting that?

Please let us know if there's any additional information we can provide for you.

Thanks,

- Corrie

----- Forwarded message -----

**From:** Corrie Conrad <[corrie.conrad@gmail.com](mailto:corrie.conrad@gmail.com)>  
**Date:** Tue, Nov 18, 2014 at 12:56 PM  
**Subject:** Neighbor input from 3747 20th for the review of 3751-3753 20th  
**To:** [laura.lynch@sfgov.org](mailto:laura.lynch@sfgov.org)  
**Cc:** Daniel Conrad <[daniel.conrad@gmail.com](mailto:daniel.conrad@gmail.com)>, [richard.sucre@sfgov.org](mailto:richard.sucre@sfgov.org)

Laura,

Thanks for getting back to me today. I'm glad we were able to connect. As requested, here's a summary of our current concerns regarding the proposed plans for 3751-3753 20th street. I've copied my husband and also Rich Sucre, whose information you provided, so Rich is also aware of our concerns.

Laura/Rich please let me know what else we need to do and feel free to share this summary with others, if useful. I'd be happy to find time to meet in person, attend relevant meetings, etc.

Our current major concerns are:

- **Foundation:** What will be done to ensure our home's foundation remains strong and intact? (Particularly given the depth of the work proposed.)
  - What verification has or will occur? What about water runoff and how that might affect our foundation? What this will mean for us and how is our property is being taken into consideration, how will it be protected?

- We're aware that water runoff can be and has been an issue for the downhill home (in this case us) with other construction projects on our side of our block. My understanding is a neighbor a few houses up has to constantly pump water out of his garage due the impact of a neighboring project. We're concerned about the depth of the proposed work and it's potential impact on our home.
- **Light:** We're concerned about how the extension in the back will block light into our garden patio and into our home. We enjoy growing things in our back patio, and enjoy the sunlight on warm days outside and inside, when the rays come through our glass doors into the kitchen and dining area. We're worried about losing this.
- **Noise:** Our baby is and will continue to be cared for at home. His schedule currently involves 2 daily naps. We're concerned about the impact of the construction noise on him and our general well being while home.
- **Duration and scope:** We're generally in favor of improvements to homes in our neighborhood, but have been quite taken aback by the sheer size and scope of this proposed project. We're concerned about how long this will take (we heard that a garage project across the street took years, and this is bigger than that) and how long we would be living in the chaos and uncertainty of such a large project (since some of the impact on our home won't be known until construction starts, it seems the uncertainty could last awhile.)

Laura, you mentioned a geotech report, which I haven't seen. If you are able to email us a copy, we'd appreciate it.

Thanks for the work you do. I can only imagine how tough it is to be a city planner.

- Corrie

--

Corrie White Conrad  
Twitter: [@corrieconrad](https://twitter.com/corrieconrad)

--

Corrie White Conrad  
Twitter: [@corrieconrad](https://twitter.com/corrieconrad)



**ABBREVIATIONS**

&	AND	(N)	NEW
@	AT	NAT.	NATURAL
ABV.	ABOVE	N.I.C.	NOT IN CONTRACT
A.C.	AIR CONDITIONING	NO.	NUMBER
A.C.T.	ACOUSTIC CEILING TILE	#	NUMBER
ADJ.	ADJUSTABLE	NOM.	NOMINAL
ADJ.C.	ADJACENT	N.T.S.	NOT TO SCALE
A.F.F.	ABOVE FINISHED FLOOR		
ALT.	ALTERNATE	OBSC.	OBSCURE
ALUM.	ALUMINUM	O.C.	ON CENTER
ANOD.	ANODIZED	O.D.	OUTSIDE DIAMETER
APPROX.	APPROXIMATE	O.H.	OPPOSITE HAND
ARCH.	ARCHITECTURAL	OPER.	OPERABLE
AXON.	AXONOMETRIC	OPNG.	OPENING
		OPP.	OPPOSITE
BD.	BOARD	PART.	PARTITION
B.J.	BUTT-JOINT	PERF.	PERFORATED
B.L.D.G.	BUILDING	PL.	PLATE
B.L.G.	BLOCKING	PL	PROPERTY LINE
B.O.	BOTTOM OF	PLAM.	PLASTIC LAMINATE
B.P.	BUILDING PAPER	PLAS.	PLASTER
BRZ.	BRONZE	PLY.	PLYWOOD
B.U.R.	BUILT-UP ROOF	PNL.	PANEL
		PNT.	PAINT
CAB.	CABINET	PROP.	PROPERTY
CEM.	CEMENT	PTD.	PAINTED
CER.	CERAMIC	P.T.	PRESSURE TREATED
CHAN.	CHANNEL	P.V.	PHOTOVOLTAIC
C.I.P.	CAST-IN PLACE		
C.L.	CENTERLINE	R.	RADIUS
CL.	CLEAR	R	RISER
CLG.	CEILING	R	RESILIENT BASE
C.L.O.	CLOSET	R.C.P.	REFLECTED CEILING PLAN
CL.R.	CLEAR	REF.	REFERENCE
C.M.U.	CONCRETE MASONRY UNIT	REF.	REFRIGERATOR
COL.	COLUMN	REFIN.	REFINISH
CONC.	CONCRETE	REINF.	REINFORCED
CONT.	CONTINUOUS	REQD.	REQUIRED
CPT.	CARPET	REV.	REVISION/REVISED
CTR.	CENTER	RM	ROOM
		R.O.	ROUGH OPENING
DEPT.	DEPARTMENT	RTD.	RATED
DET.	DETAIL	R.W.L.	RAIN WATER LEADER
D.F.	DOUGLAS FIR		
DIA.	DIAMETER	S.C.	SOLID CORE
DIM.	DIMENSION	SCHED.	SCHEDULE
DN.	DOWN	S.A.	SOAP DISPENSER
DR.	DOOR	SECT.	SECTION
DW.	DISHWASHER	S.E.D.	SEE ELECTRICAL DRAWINGS
DWG.	DRAWING	SHT.	SHEET
		SHTG.	SHEATHING
(E)	EXISTING	SIM.	SIMILAR
EA.	EACH	S.L.D.	SEE LANDSCAPE DRAWINGS
EL.	ELEVATION	S.M.D.	SEE MECHANICAL DRAWINGS
ELEV.	ELEVATION	S.P.D.	SEE PLUMBING DRAWINGS
ELECT.	ELECTRICAL	SPEC.	SPECIFICATION
ENGR.	ENGINEER	S.S.	STAINLESS STEEL
EQ.	EQUAL	S.S.D.	SEE STRUCTURAL DRAWINGS
EQPT.	EQUIPMENT	STD.	STANDARD
EXEC.	EXECUTIVE	STL.	STEEL
EXP.	EXPANSION	STN.	STONE
EXT.	EXTERIOR	STOR.	STORAGE
		STRUCT.	STRUCTURAL
FAB.	FABRIC	SUSP.	SUSPENDED
F.B.O.	FURNISHED BY OWNER	SYM.	SYMMETRICAL
F.D.	FLOOR DRAIN		
FIN.	FINISH	T.	TREAD
FIXT.	FIXTURE	T.B.D.	TO BE DETERMINED
FL.	FLOOR	TEL.	TELEPHONE
F.O.	FINISHED OPENING	TEMP.	TEMPERED
F.O.F.	FACE OF FINISH	TEMP.	TEMPORARY
F.O.S.	FACE OF STUD	T.F.	TRANSPARENT FINISH
F.O.C.	FACE OF CONCRETE	TFWD.	TRANSPARENT FINISHED WOOD
FRM.	FRAME	T&G	TONGUE AND GROOVE
FRMG.	FRAMING	T.O.	TOP OF
FT.	FOOT OR FEET	T.O.C.	TOP OF CONCRETE
FURR.	FURRING	T.O.W.	TOP OF WALL
		TRANS.	TRANSLUCENT
GA.	GALVE	TV.	TELEVISION
GALV.	GALVANIZED	TYP.	TYPICAL
G.D.	GARBAGE DISPOSAL		
GEN.	GENERAL	U.B.C.	UNIFORM BUILDING CODE
GL.	GLASS	U.C.	UNDER COUNTER
GYP.	GYPSPUM	U.O.N.	UNLESS OTHERWISE NOTED
G.W.B.	GYPSPUM WALL BOARD	UTIL.	UTILITY
		VAR.	VARIES
H.B.	HOSE BIB	V.T.	VINYL COMPOSITION TILE
H.C.	HOLLOW CORE	VEN.	VENEER
HDWD.	HARDWOOD	VERT.	VERTICAL
HT.	HEIGHT	VEST.	VESTIBULE
HORIZ.	HORIZONTAL	V.I.F.	VERIFY IN FIELD
HR.	HOUR	V.P.	VENEER PLASTER
H.M.	HOLLOW METAL		
H.W.	HOT WATER	W.	WITH
		W.C.	WATER CLOSET
I.D.	INSIDE DIAMETER	WD.	WOOD
IN.	INCH	W/D.	WASHER/DRYER
INSUL.	INSULATION	WIN.	WINDOW
INT.	INTERIOR	W.H.	WATER HEATER
JAN.	JANITOR	W/O.	WITHOUT
JT.	JOINT	W.O.	WHERE OCCURS
		W.P.	WATERPROOFING
KIT.	KITCHEN	WT.	WEIGHT
LAM.	LAMINATE		
LAV.	LAVATORY		
LOC.	LOCATION		
LWT.	LIGHTWEIGHT		
LVL.	LEVEL		
MAT.	MATERIAL		
MAX.	MAXIMUM		
M.B.	MOISTURE BARRIER		
M.C.	MEDICINE CABINET		
MECH.	MECHANICAL		
MEMB.	MEMBRANE		
MFR.	MANUFACTURER		
MIN.	MINIMUM		
MIR.	MIRROR		
MISC.	MISCELLANEOUS		
MSRY.	MASONRY		
MTD.	MOUNTED		
MTL.	METAL		

**SYMBOLS**

	WINDOW SYMBOL / TYPE
	DOOR SYMBOL / TYPE
	REVISION TAG
	DETAIL NUMBER
	SHEET NUMBER
	ELEVATION / SECTION NUMBER
	DRAWING NUMBER
	DRAWING NUMBER
	SHEET NUMBER
	PARTITION TYPE
	ALIGN
	FIRE SPRINKLER
	RETURN AIR
	SUPPLY AIR
	AIRBAR
	HOSE BIB

**DIRECTORY**

**OWNER**  
NAME  
ADDRESS  
EMAIL

**DESIGNER**  
MATAROZZI PELSINGER DESIGN+BUILD  
355 11TH STREET, SUITE 200  
SAN FRANCISCO, CA 94103  
T 415.285.6930

**VICINITY MAP**



PROJECT SITE

**PROJECT DATA**

**ADDRESS**  
3751/3753 20TH STREET  
SAN FRANCISCO, CA 94110

**BLOCK/LOT #**  
3807 / 066

**ZONING DISTRICT**  
RH-2

**OCCUPANCY GROUP**  
R-3

**RESIDENTIAL UNITS**  
-2 EXISTING (NO CHANGE)

**TYPE OF CONSTRUCTION**  
5B

**HEIGHT LIMIT**  
40-X

**SCOPE OF WORK**  
-(N) VERTICAL ADDITION BELOW (E) GRADE  
-(N) HORIZONTAL ADDITION @ REAR  
-(N) ELEVATOR  
-(N) CURB CUT & GARAGE DOOR  
-(N) DORMER WINDOWS  
-REPLACE (E) FRONT GABLE WINDOW WITH (N) WOOD WINDOW

**PARCEL AREA**  
2,848 SQ.FT.

**BUILDING AREA (GROSS)**  
-EXISTING: 2,347 SQ.FT.  
-PROPOSED: 7,111 SQ.FT.

**APPLICABLE BUILDING CODES**  
2013 CALIFORNIA BUILDING CODE (C.B.C.)  
2013 CALIFORNIA PLUMBING CODE (C.P.C.)  
2013 CALIFORNIA MECHANICAL CODE (C.M.C.)  
2013 CALIFORNIA ELECTRICAL CODE (C.E.C.)  
2013 CAL. GREEN BUILDING CODE (CALGREEN)  
2013 SAN FRANCISCO AMENDMENTS TO C.B.C., C.P.C., C.M.C., C.E.C., AND CALGREEN

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**C.0 - SURVEY**  
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A3.3 - (UNUSED)  
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A3.5 - ELEVATION - NORTH, PROPOSED  
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A3.9 - ELEVATION - EAST, PROPOSED  
A3.10 - ELEVATION - WEST, EXISTING  
A3.11 - ELEVATION - WEST, PROPOSED

PROJECT TITLE:  
**3751 / 3753 20th STREET**

JOB:  
**13045.70**

ISSUE:  
**SITE PERMIT**

DATE:  
**11.04.2014**

REVISION:

SHEET TITLE:  
**COVER SHEET**

SHEET NUMBER:  
**A0.1**

**MATAROZZI PELSINGER**  
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355 11TH STREET, SUITE 200 SAN FRANCISCO CA 94103  
T 415.285.6930 F 415.285.7286 WWW.MATPELBUILDERS.COM



3751 20TH STREET  
SAN FRANCISCO, CA, 94110



20TH STREET - SOUTH SIDE  
NOT TO SCALE

2  
-



20TH STREET - NORTH SIDE  
NOT TO SCALE

1  
-

**MATAROZZI PELSINGER**  
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PROJECT TITLE:  
**3751 / 3753 20th STREET**  
3751 20TH STREET  
SAN FRANCISCO, CA, 94110

JOB:  
13045.70

ISSUE:  
SITE PERMIT

DATE:  
10.2.2014

REVISION:

SHEET TITLE:  
PHOTOGRAPHS:  
NORTH & SOUTH  
20TH STREET

SHEET NUMBER:

**A0.2**





SUBJECT PROPERTY

VIEW FROM REAR OF SUBJECT PROPERTY  
NOT TO SCALE

3  
-



SUBJECT PROPERTY

SUBJECT PROPERTY & ADJACENT NEIGHBORS - REAR  
NOT TO SCALE

2  
-



SUBJECT PROPERTY

SUBJECT PROPERTY & ADJACENT NEIGHBORS - FRONT  
NOT TO SCALE

1  
-

**MATAROZZI PELSINGER**  
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PROJECT TITLE:  
**3751 / 3753 20th STREET**

3751 20TH STREET  
SAN FRANCISCO, CA, 94110

JOB:  
13045.70

ISSUE:  
SITE PERMIT

DATE:  
10.2.2014

REVISION:

SHEET TITLE:  
PHOTOGRAPHS:  
SUBJECT PROPERTY  
FRONT & REAR

SHEET NUMBER:

**A0.3**





WEST NEIGHBOR - REAR  
NOT TO SCALE

3  
-



WEST NEIGHBOR - PROPERTY LINE WINDOWS  
NOT TO SCALE

2  
-



EAST NEIGHBOR - REAR  
NOT TO SCALE

1  
-



**MATAROZZI PELSINGER**  
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PROJECT TITLE:  
**3751 / 3753 20th STREET**

3751 20TH STREET  
SAN FRANCISCO, CA, 94110

JOB:  
13045.70

ISSUE:  
SITE PERMIT

DATE:  
11.04.2014

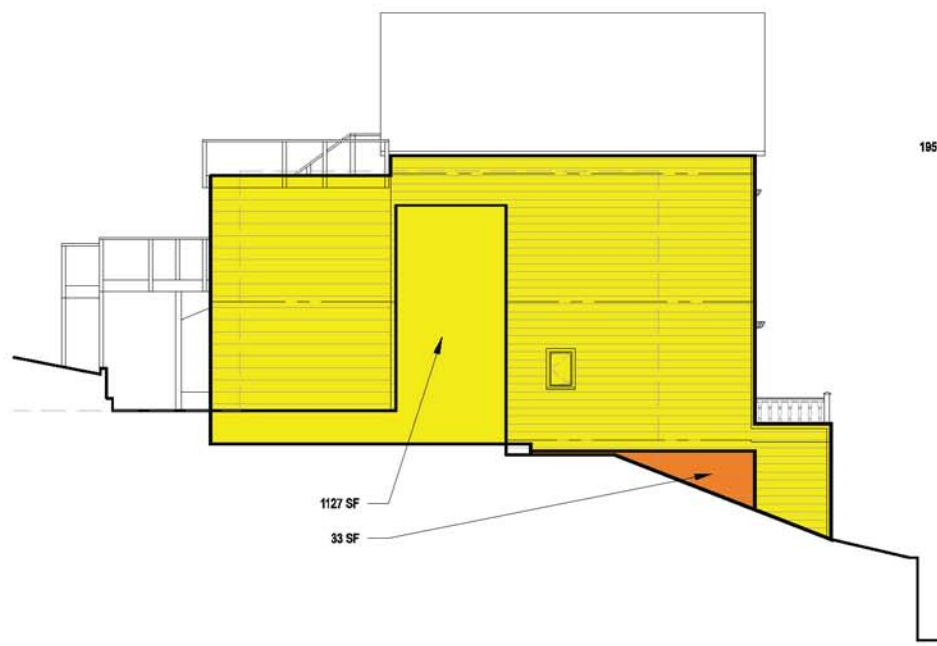
REVISION:

SHEET TITLE:  
PHOTOGRAPHS:  
NEIGHBORS

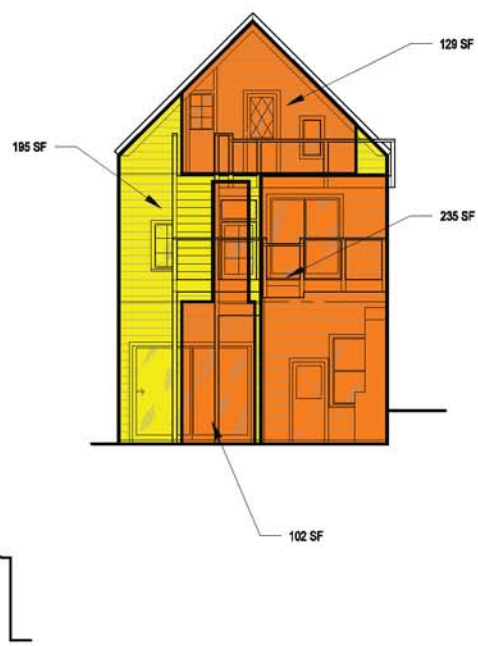
SHEET NUMBER:

**A0.3B**

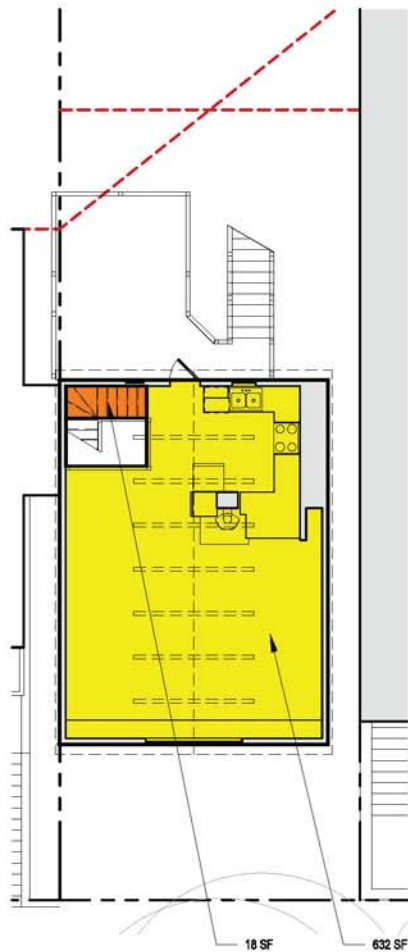




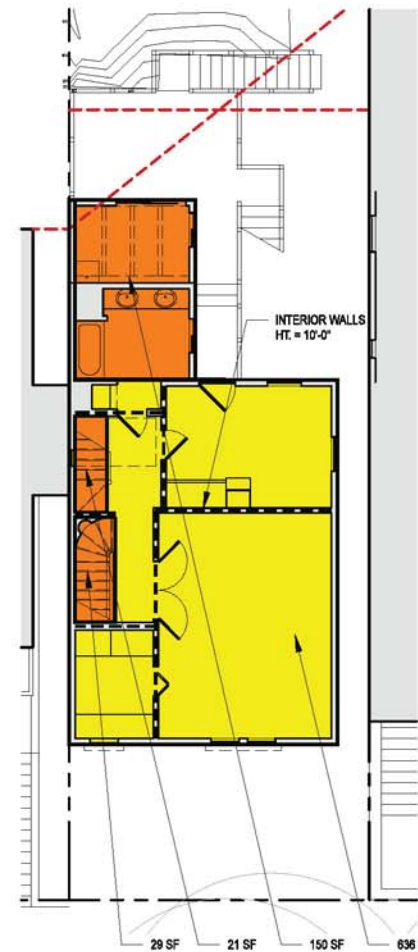
EAST ELEVATION, (E)  
SCALE: 1'-0" = 1/8"



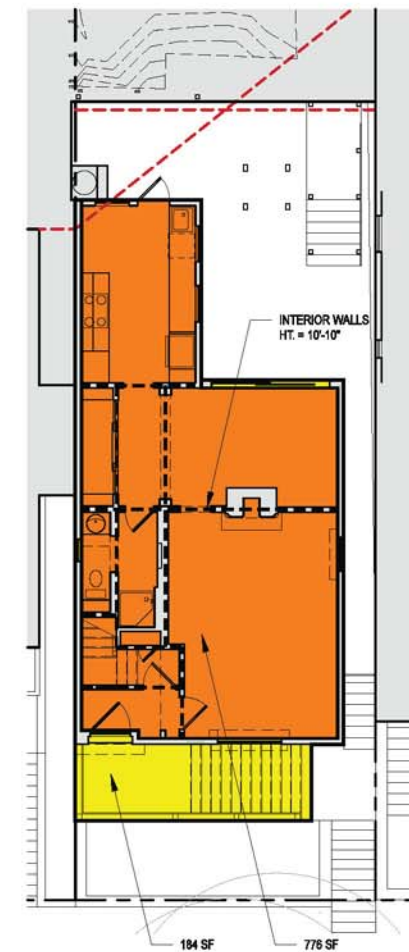
SOUTH ELEVATION, (E)  
SCALE: 1'-0" = 1/8"



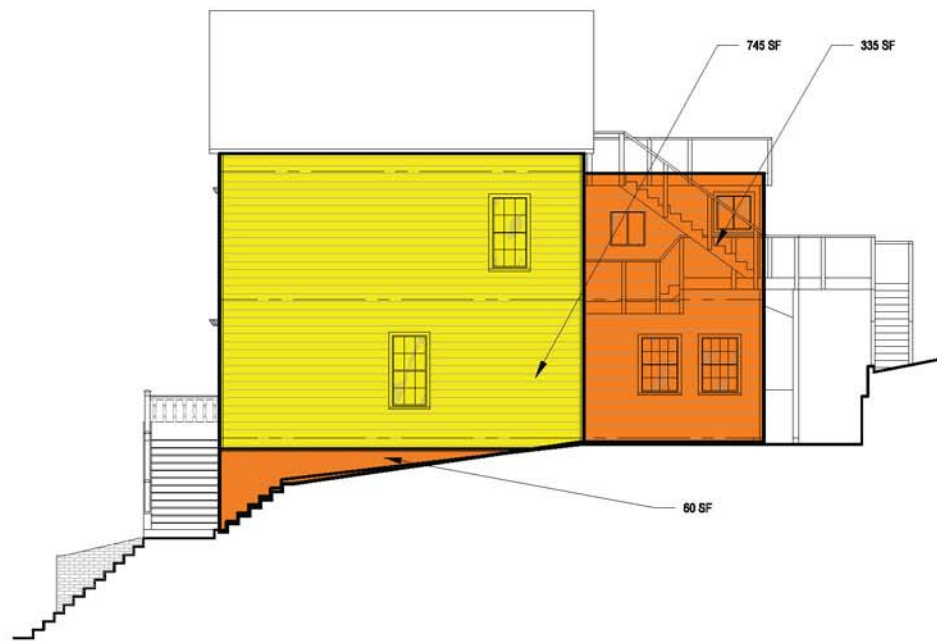
PLAN 3RD FL (L5), (E)  
SCALE: 1'-0" = 1/8"



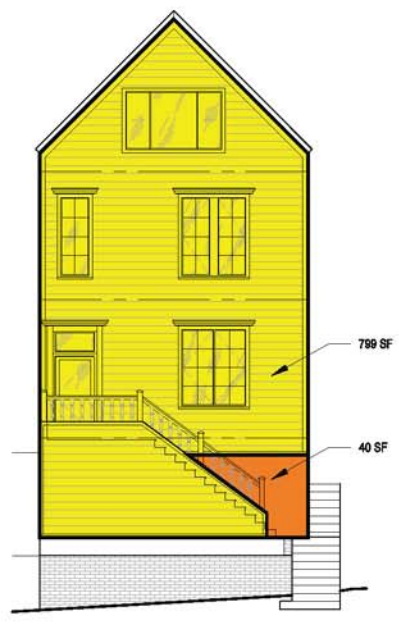
PLAN 2ND FL (L4), (E)  
SCALE: 1'-0" = 1/8"



PLAN 1ST FL (L3), (E)  
SCALE: 1'-0" = 1/8"



WEST ELEVATION, (E)  
SCALE: 1'-0" = 1/8"



NORTH ELEVATION, (E)  
SCALE: 1'-0" = 1/8"

**KEY:**  
 RETAINED AREA  
 REMOVED AREA

**Exterior Walls Facing Public Street, Removal (Limit = 25%):**

Element	Total Area	Removed Area	% Removed
North Elevation	838.5	39.7	4.7%

**External Walls, Removal &/or Interiorization, (Limit = 50%):**

Element	Total Area	Removed Area	% Removed
North Elevation	838.5	39.7	4.7%
South Elevation	661	661	100.0%
East Elevation	1160	368	31.7%
West Elevation	1138.7	394.2	34.6%
<b>Total:</b>	<b>3798.2</b>	<b>1462.9</b>	<b>38.5%</b>

**Exterior Walls, Removal (Limit = 25%):**

Element	Total Area	Removed Area	% Removed
North Elevation	838.5	39.7	4.7%
South Elevation	661	466	70.5%
East Elevation	1160	33	2.8%
West Elevation	1138.7	394.2	34.6%
<b>Total:</b>	<b>3798.2</b>	<b>932.9</b>	<b>24.6%</b>

**Internal Structural Walls and Floorplates, Removal (Limit = 75%):**

Element	Total Area	Removed Area	% Removed
1st Floor Walls	1067.04	1067.04	100.0%
1st Floor Plate	960	776	80.8%
2nd Floor Walls	720.5	720.5	100.0%
2nd Floor Plate	836	200.5	24%
3rd Floor Walls	0	0	0%
3rd Floor Plate	650.4	18	3%
Roof	N/A	N/A	N/A
<b>Total:</b>	<b>4233.94</b>	<b>2782.04</b>	<b>65.7%</b>

ARTICLE 10 DEMOLITION CALCULATIONS

**MATAROZZI PELSINGER**  
 DESIGN + BUILD  
 355 11TH STREET, SUITE 200 SAN FRANCISCO CA 94103  
 T 415.285.6930 F 415.285.7286 WWW.MATPELBUILDERS.COM



PROJECT TITLE:  
**3751 / 3753 20th STREET**  
 3751 20TH STREET  
 SAN FRANCISCO, CA, 94110

JOB:  
**13045.70**  
 ISSUE:  
**SITE PERMIT**

DATE:  
**10.2.2014**

SHEET TITLE:  
**ARTICLE 10:  
 DEMOLITION  
 CALCULATIONS**

SHEET NUMBER:  
**A0.4**

Pre-Application Meeting Sign-in Sheet

Meeting Date: 3/25/2014
Meeting Time: 6pm
Meeting Address: 3751 20th Street, San Francisco, CA 94110
Project Address: 3751 20th Street, San Francisco, CA 94110
Property Owner Name: Justin McBaine
Project Sponsor/Representative: Shane Curmyn, Matarozzi Pelsinger Design + Build

Please print your name below, state your address and/or affiliation with a neighborhood group, and provide your phone number. Providing your name below does not represent support or opposition to the project; it is for documentation purposes only.

Table with 5 columns: NAME/ORGANIZATION, ADDRESS, PHONE #, EMAIL, SEND PLANS. Contains handwritten entries for Lindsay Kelauer, Virginia Moku, Ingrid Eggers, and Pam Goode.

Summary of discussion from the Pre-Application Meeting

Meeting Date: 3/25/2014
Meeting Time: 6:00pm
Meeting Address: 3751 20th St., San Francisco, CA 94110
Project Address: 3751 20th St., San Francisco, CA 94110
Property Owner Name: Justin McBaine
Project Sponsor/Representative: Shane Curmyn, Matarozzi Pelsinger Design + Build

Please summarize the questions/comments and your response from the Pre-Application meeting in the space below. Please state if/how the project has been modified in response to any concerns.

Question/Concern #1 by (name of concerned neighbor/neighborhood group): Ingrid Eggers (3749 20th St.): The construction phase of the project will negatively affect my Airbnb business.

Project Sponsor Response: We intend to do everything within our power to mitigate the effect of construction on 3749. If there are specific concerns, please let us know so we can address them together.

Question/Concern #2: Ingrid Eggers (3749 20th St.): The rear addition seems larger than what Planning would allow given the fact that my unit is at the rear of our lot.

Project Sponsor Response: We have met with Planning twice and have confirmed our required rear yard and two-story Pop-Out dimensions. Pushing the Pop-Out to the west will require a variance, but we are prepared to pursue this in order to provide 3749 with a more generous connection to the mid-block open space.

Question/Concern #3:

Project Sponsor Response:

Question/Concern #4:

Project Sponsor Response:

Affidavit of Conducting a Pre-Application Meeting, Sign-in Sheet and Issues/Responses submittal

I, Justin McBaine, do hereby declare as follows:

- 1. I have conducted a Pre-Application Meeting for the proposed new construction or alteration prior to submitting any entitlement (Building Permit, Variance, Conditional Use, etc.) in accordance with Planning Commission Pre-Application Policy.
2. The meeting was conducted at 3751 20th Street, San Francisco, CA 94110 on 3/25/2014 from 6pm-7pm.
3. I have included the mailing list, meeting initiation, sign-in sheet, issue/response summary, and reduced plans with the entitlement Application.
4. I have prepared these materials in good faith and to the best of my ability.

I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct.

EXECUTED ON THIS DAY, 3/25, 2014 IN SAN FRANCISCO.

Signature of Justin McBaine

Justin McBaine
Name (type or print)

Owner
Relationship to Project (e.g. Owner, Agent)
If Agent, give business name & profession

3751 20th Street, San Francisco, CA 94110
Project Address

MATAROZZI PELSINGER DESIGN + BUILD
365 11TH STREET, SUITE 200 SAN FRANCISCO CA 94103
T 415.285.6830 F 415.285.7286 WWW.MATPELBUILDERS.COM



PROJECT TITLE: 3751 / 3753 20th STREET

3751 20TH STREET SAN FRANCISCO, CA, 94110

JOB: 13045.70

ISSUE: SITE PERMIT

DATE: 11.04.2014

REVISION:

SHEET TITLE: PLANNING PRE-APPLICATION MEETING INFO

SHEET NUMBER:

A0.5



# REQUIRED CHECKLIST FOR Tree Planting and Protection

## 1. Applicant Information

CONTACT FOR PROJECT INFORMATION:  
Justin McBaine

ADDRESS: Matarozzi Pelsinger Builders  
355 11th St., Ste. 200  
San Francisco, CA, 94103

TELEPHONE: (415) 466-8239  
EMAIL: jimbcb@yahoo.com

## 2. Location and Classification of Property

STREET ADDRESS OF PROJECT:  
3751 / 3753 20th St.

CROSS STREETS:  
20th & Dolores

ASSESSORS BLOCK/LOT: 3607 / 086  
LENGTH OF ALL LOT FRONTAGES: 25'  
ZONING DISTRICT: RH-2

RELATED BUILDING PERMIT APPLICATION AND/OR CASE NO.:

## 3. Scope of Project

Requirements for new street trees and tree protection apply to the types of projects identified in the chart below. Please check all boxes which apply to your project. If no boxes are checked, you do not need to complete this form.

DEVELOPMENT FEATURES	
construction of a new building	<input type="checkbox"/>
renovation of a building	<input type="checkbox"/>
painting or repairing more than 200 square feet of the front setback	<input type="checkbox"/>
addition of gross floor area (GFA) equal to 20% or more of the GFA of the existing building	<input checked="" type="checkbox"/>
addition of a new building unit	<input type="checkbox"/>
addition of new or more parking spaces	<input checked="" type="checkbox"/>
addition of a garage	<input checked="" type="checkbox"/>

## Required Checklist for Tree Planting and Protection

### 4. Disclosure of Existing Protected Trees

Only the following specific types of trees require protection under the Public Works Code: Street Trees, Significant Trees and Landmark Trees. These trees are collectively known as "Protected Trees." In the following table, please indicate the presence or lack thereof of such on, over, or adjacent to the parcel containing the proposed construction.

**SIGNIFICANT TREES**

A "Significant Tree" is a tree that is planted on the subject property (i.e. outside of the public right-of-way) with any portion of its trunk within 10 feet of the public right-of-way that has (a) a diameter at breast height (DBH) in excess of twelve inches OR (b) a height in excess of twenty feet OR (c) a canopy in excess of fifteen feet.

CHECK ALL BOXES THAT APPLY AND INDICATE QUANTITY OF EACH TREE TYPE, IF APPROPRIATE.

Significant Tree(s) exist on the subject property QTY: \_\_\_\_\_

Significant Tree(s) exist on any adjacent property QTY: \_\_\_\_\_

There are no Significant Trees on or adjacent to the subject property.

**LANDMARK TREES**

A "Landmark Tree" is a tree designated as such by the Board of Supervisors owing to particular age, size, shape, species, location, historical association, visual quality, or other contribution to the City's character.

CHECK ALL BOXES THAT APPLY AND INDICATE QUANTITY OF EACH TREE TYPE, IF APPROPRIATE.

Landmark Trees exist on the subject property QTY: \_\_\_\_\_

Landmark Trees exist on the adjacent sidewalk QTY: \_\_\_\_\_

Landmark Trees exist on any adjacent property QTY: \_\_\_\_\_

There are no Landmark Trees on or adjacent to the subject property.

**COMPLETE LIST OF LANDMARK TREES AS OF SUMMER 2012**

66 New Oaks adjacent to 1891 South Street	Sanctuary adjacent to 17th St. and Nevada Street in the Mission
Historical Poplar at 1100 Pacific Street	Sanctuary Tree at 1880 Battery Street
Two Deciduous Oak Trees at 1229 Divisadero Street	All Canary Island Date Palms in the Garden located on Dolores Street
10 Canary Island Date Palms in Outside of Interior wall of 901 St. Quentin	Two Trees in median across St. Francisco St. & 1344 Divisadero St.
Quadrant Palms in the median across from 1808-1809 Divisadero St.	Cliff-top Oak in the backyard of 2028 Rockwood Place
Quadrant Palms in the median across from 1700 Divisadero St.	Cliff-top Oak in the backyard of 4124 24th Street
Two Monterey Pine Trees in the backyard of 1800 Divisadero St.	San Francisco tree in the backyard of 1800 Divisadero St.
Monterey Bay Fig at 905 Cass Street & 1788 Nevada St.	Monterey Cypress in the backyard of 2005 Vallejo Street
Honey Locust in the backyard of 1115 Parker Avenue	California Buckeye located behind 757 Pennsylvania Street
Northwest Redwood Tree in the backyard of 2245-46 Sutter Street	Two Canary Island Palms in the backyard of 2245-46 Sutter St.

**STREET TREES**

A "Street Tree" is any tree growing within the public right-of-way (e.g. sidewalk) that is not also a Landmark Tree.

CHECK THE BOX THAT APPLIES AND INDICATE QUANTITY OF APPROPRIATE.

Street Trees exist adjacent to the subject property QTY: 1

There are no Street Trees adjacent to the property.

## Required Checklist for Tree Planting and Protection

### 5. Impact of Project on Existing Protected Trees

If your responses above indicate that any Protected Tree(s) exist on, over or adjacent to the subject property, please check the applicable boxes, below:

BOX 1  The project will not remove or have any other impact on Protected Trees, as follows: No construction-related activity whatsoever will occur within the dripline of any Significant Tree or Street Tree. This includes, but is not limited to, the following: (1) No grading or excavation will take place within the dripline of any Significant Tree or Street Tree. (2) No construction staging and/or storage of materials and/or equipment will occur within the dripline of any Significant Tree or Street Tree. (3) Any pruning of Significant Trees or Street Trees will be limited and consistent with applicable regulations. (4) No dumping of trash and/or liquids (such as project waste-water) will take place within the basin or dripline of any Significant Tree or Street Tree.

If you have checked this box, a Tree Protection Plan is not required.

BOX 2  The project involves the removal of one or more Protected Trees. A permit from DPW is required in order to remove any Protected Tree. The Planning Department will not approve a building permit for a project which involves the removal of a Protected Tree unless DPW has first reviewed the proposal and found it to be consistent with applicable rules and regulations.

If you have checked this box, a Tree Protection Plan is not required, however you must provide evidence to the Planning Department that DPW has reviewed the removal request and found it to be "approvable."

BOX 3  The project may have an impact on one or more Protected Trees which are not proposed for removal, as follows: Either (1) any construction-related activity, no matter how minor, is planned or is reasonably foreseeable to occur within the dripline of a Significant Tree or a Street Tree or (2) regardless of the location of construction activity, the property contains a Landmark Tree.

If you have checked this box, a Tree Protection Plan must be submitted to the Department of Public Works Bureau of Urban Forestry prior to the commencement of any construction activity.

- Such plan must meet the following minimum standards:
- The Tree Protection Plan must be developed by an International Society of Arboriculture (ISA) Certified Arborist.
  - The project sponsor must submit a written declaration that the protections specified in the Tree Protection Plan will be completely in place prior to the start of any construction, demolition, or grading.
  - Full-size site plans submitted along with the associated construction project must clearly indicate the street, curb, sidewalk, driveway, structure(s), and the locations of all Protected Trees and non-protected trees. Protected Trees must also be shown to include accurate tree height, accurate canopy dripline and trunk and canopy diameters. The plans must graphically depict implementation of all measures called for in the Tree Protection Plan. Additionally, the Tree Protection Plan itself along with the written declaration must be reproduced on full-size plans.

## Required Checklist for Tree Planting and Protection

### 6. Calculation of Number of New Required Street Trees

One street tree is required for each 20 feet of street frontage of the subject property, with fractions of 0.5 rounded up, however credit is given for existing street trees. Please complete the table below to determine the number of street trees required for your project. If no street trees are required, please skip to the Applicant's Affidavit at the end of this form and once signed, return it to the Planning Department along with your Building Permit Application or other application.

COMBINED LENGTH OF ALL STREET FRONTAGES	DIVIDED BY TREE SPACING REQUIREMENT	SPROSS NUMBER OF TREES REQUIRED	MINUS NUMBER OF EXISTING TREES	NET AT NET TREE REQUIREMENT
25'	÷ 20'	= 1	- 1	= 0

Unless site conditions physically prevent the planting of a street tree, a waiver or modification of street tree requirements is available only under extremely limited circumstances and only outside of Residential Districts (i.e. RH, RM, RTO, RED). Be aware that even when available, an in-kind improvement or in-lieu payment is required for every such waiver. Please contact the Planning Department for information regarding the waiver process.

### 7. Applicable Requirements for New Street Trees

The Planning Department has developed three distinct "Tree Schedules" to aid in the implementation of the Planning Code's street tree requirements. The particular Tree Schedule applicable to your project will depend on the zoning district in which your property is located, the scope of your project, and the type of authorization that your project requires. In general terms, Tree Schedule A applies to small-scale projects in residential or industrial zoning districts, Tree Schedule B applies to moderate-scale projects or projects in commercial or mixed-use zoning districts, and Tree Schedule C applies to larger projects. In the following chart, please check the applicable box based on the characteristics of your project.

TREE SCHEDULE	PROJECT CHARACTERISTICS
<input type="checkbox"/> A	The project is located in a Residential (RH, RM, RTO, RED), Industrial (M) or Production/Distribution/Repair (PDR) Zoning District and does not involve a Planned Unit Development (PUD). A PUD is a special authorization granted by the Planning Commission that applies only to major projects involving large properties.
<input type="checkbox"/> B	1. The project is located in a RH, RM, RTO, RED, M or PDR Zoning District and involves a PUD OR 2. The project is located outside of an RH, RM, RTO, RED, M or PDR Zoning District and meets neither OR one of the following criteria, but not both: It is located on a parcel that contains (1) more than 1/2-acre in total area or (2) more than 200 feet of total street frontage or (3) street frontage which spans the entire block face between the nearest two intersections. It involves (1) the construction of a new building or (2) the addition of more than 20% of the gross floor area of the existing building or (3) a change of use of more than 50% of the existing square footage of the building.
<input type="checkbox"/> C	The project is located outside of an RH, RM, RTO, RED, M or PDR Zoning District and meets both criteria of Tree Schedule B(2), above.

**TREE SCHEDULE A**

REQUIREMENT	SPECIFICATION
<input checked="" type="checkbox"/> Location	either in the public right-of-way (e.g. sidewalk) adjacent to the property or within an unobstructed area at the front of the property
<input checked="" type="checkbox"/> Size	minimum of 24" for tree size

## Required Checklist for Tree Planting and Protection

**TREE SCHEDULE B**

Location: either in the public right-of-way (e.g. sidewalk) adjacent to the property or within an unobstructed area at the front of the property

Size: minimum of 24" diameter at breast height  
minimum of 50 inches above and below grade  
to be planted in a sidewalk opening of at least 10 square feet  
Have a minimum soil depth of 3 feet 6 inches

OPENING: include a basin edged with decorative treatment, such as concrete or cobble paving, set not more than 18 inches from property if the edging material is permeable. A permeable material is one that allows drainage to infiltrate the underlying soils. Permeable surfaces shall include, but not be limited to, vegetative planting beds, porous asphalt, porous concrete, unglazed aggregate, unpolished concrete, stone, gravel or brick set in concrete and without mortar. Permeable surfaces are required to be contained on either sidewalk or the permeable surface drainage of the site.

**TREE SCHEDULE C**

Location: as set forth in Schedule B, above.

OPENING: Trees shall be planted in a decorative and filled basin parallel to the curb, such that the basin for each tree is contained. The basin may be covered by permeable surface (as described above), except as required tree basins, where this is not further restricted.

### Applicant's Affidavit

I hereby attest under penalty of perjury that the information I have entered on this document is true and correct to the best of my knowledge, and that I have read and understood this form, and that I am the property owner or authorized agent of the property owner, familiar with the property, and able to provide accurate and complete information herein.

The undersigned agrees to the conditions of this form. I understand that knowingly or negligently providing false or misleading information in response to this disclosure requirement may lead to denial or revocation of my permit or other authorization and may constitute a violation of the San Francisco Municipal Code, which can lead to criminal and/or civil legal action and the imposition of administrative fines.

I understand that should my project be subject to a required Tree Protection Plan, that I will have a plan meeting or exceeding the minimum requirements prepared and submit it to the Department of Public Works prior to the commencement of any construction activities. Such submission may be in person, by email or via email at urbanforestry@sfplanning.org.

Signature: Justin McBaine Date: 4/8/14

Print Name: Justin McBaine Phone Number: (415) 466-8239  
jimbcb@yahoo.com

Job Title: Owner:  Authorized Agent:

Phone Number: \_\_\_\_\_ Fax or Email: \_\_\_\_\_

### Planning Department Determination

TO BE COMPLETED BY STAFF ONLY. DO NOT LEAVE ANY SECTION BLANK.

BUILDING PERMIT / CASE NO. \_\_\_\_\_

PLANS DATED: \_\_\_\_\_

**New Street Trees**

New street trees are not required as part of this project.

Street Trees are required as part of this project.

Number of new street trees required: \_\_\_\_\_

Applicable Tree Schedule:  A  B  C

Compliance with as-of-right requirements shown on plans?  
 YES  NO - MODIFICATION OR WAIVER APPROVED  
EXPLAIN IN COMMENT AREA BELOW:

**Existing Tree Protection**

A Tree Protection Plan is not required. Box 1 or Box 2 in Section 5 has been marked.

A Tree Protection Plan is required. Box 3 in Section 5 has been marked.

**Existing Tree Removal**

No Protected Trees are proposed for removal.

One or more Protected Trees are proposed for removal.

STAFF TO NOW REVIEW A WAIVER OR MODIFICATION HAS BEEN APPROVED, IN WHICH CASE THE SIGNATURE IS REQUIRED.

Signature: \_\_\_\_\_ Print Name: \_\_\_\_\_ Date: \_\_\_\_\_

Comment (if any): \_\_\_\_\_

### Staff Checklist

- The applicant has completed this entire checklist including the affidavit on the preceding page.
- If street trees are required, a building permit cannot be approved until the applicant provides evidence from DPW that the required planting permit can be issued.
- If Protected Trees are proposed for removal, a building permit cannot be approved until the applicant provides evidence from DPW that tree removal permits can be issued.
- If a Tree Protection Plan is required, the applicant has been informed verbally or in writing of his or her obligation to submit one directly to DPW prior to the commencement of construction.
- Once signed, a copy of this checklist has been returned to the applicant. The original has been included in the project file or, if processed over-the-counter, it has been routed upstairs for scanning by support staff.

**MATAROZZI PELSINGER**  
DESIGN + BUILD

355 11TH STREET, SUITE 200 SAN FRANCISCO CA 94103  
T 415.285.6930 F 415.285.7286 WWW.MATPELBUILDERS.COM



PROJECT TITLE:  
**3751 / 3753 20th STREET**

JOB:  
**13045.70**

ISSUE:  
**SITE PERMIT**

DATE:  
**11.04.2014**

REVISION:

SHEET TITLE:  
**TREE PLANTING & PROTECTION CHECKLIST**

SHEET NUMBER:

**A0.6**



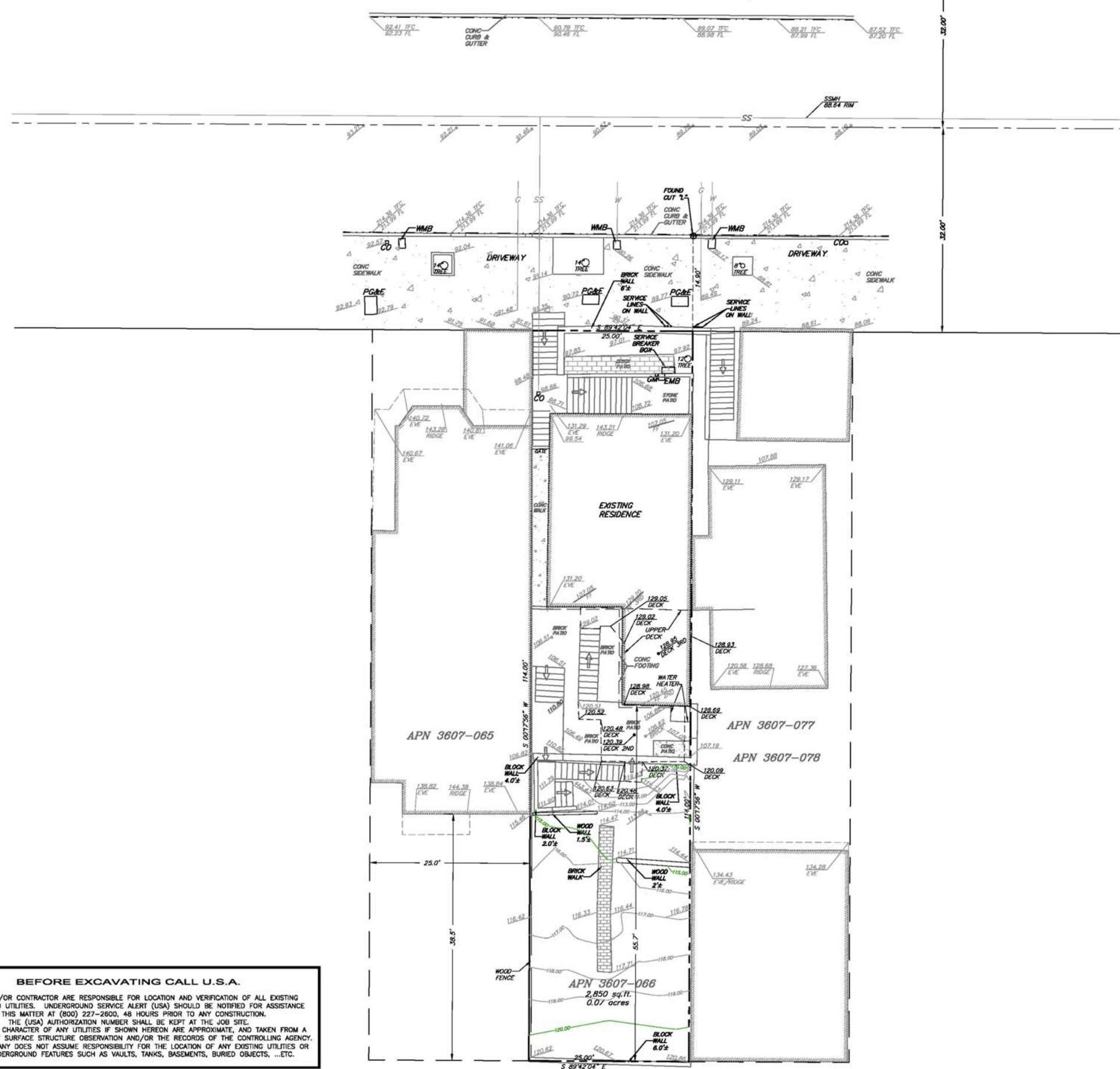
# 26TH STREET 64' R/W

**LEGEND**

---	PROPERTY LINE
---	ADJACENT PROPERTY LINE
---	CENTERLINE
---	FLOW LINE
---	WOOD FENCE
OH	OVERHEAD UTILITIES
SS	SEWER LINE
G	GAS LINE
W	WATER LINE
---	CENTERLINE

00.00	SPOT ELEVATIONS
SSMH	SANITARY SEWER MANHOLE
	GAS VALVE
⊕	INDICATES FOUND MONUMENT AS NOTED
AC	ASPHALT CONCRETE
AD	AREA DRAIN
CO	SANITARY SEWER CLEAN-OUT
CONC	CONCRETE
DS	DOWNSPOUT
EMB	ELECTRIC METER BOX
FF	FINISHED FLOOR
FL	FLOWLINE
GM	GAS METER
GP	POWER POLE
R/W	RIGHT OF WAY
SSMH	SANITARY SEWER MANHOLE
SLV	STREET LIGHT VAULT
TFC	TOP FACE OF CURB
WMB	WATER METER BOX

	BRICK
	CONCRETE



**BENCHMARK NOTE:**  
ELEVATIONS ARE BASED ON CITY DATUM.  
BENCHMARK IS THE LETTER "O" IN OPEN ON TOP  
OF THE FIRE HYDRANT AT THE SE INTERSECTION  
OF 20TH STREET AND DELORES STREET.  
ELEVATION = 112.262'

**GENERAL NOTES:**  
3751 20TH STREET  
SAN FRANCISCO, CA 94123  
A.P.N. 3607-066

**PREPARED FOR:**  
JUSTIN McBAINE

TOPOGRAPHIC SURVEY  
 3751 20TH STREET  
 CITY AND COUNTY OF SAN FRANCISCO



8085 office ave. suite 100  
 REDWOOD CITY, CA 94063  
 phone (760) 834-7288  
 fax (760) 834-6819  
 e-mail info@triahomes.com

214 west 1st st. suite 4  
 REDWOOD CITY, CA 94063  
 phone (760) 873-4233  
 fax (760) 873-4024  
 e-mail info@triahomes.com

777 woodside rd. suite 4  
 REDWOOD CITY, CA 94063  
 phone (800) 388-0818  
 fax (707) 251-0108  
 e-mail info@triahomes.com

513 brookside ave. suite 4  
 S.F., CA 94133  
 phone (415) 221-8170  
 fax (415) 221-8108  
 e-mail info@triahomes.com

820 sherris st. suite 101  
 SAN FRANCISCO, CA 94133  
 phone (415) 221-8170  
 fax (415) 221-8108  
 e-mail info@triahomes.com

I HEREBY STATE THAT I AM A LICENSED SURVEYOR OF THE STATE OF CALIFORNIA, THAT THIS MAP CORRECTLY REPRESENTS A SURVEY MADE UNDER MY SUPERVISION IN AUGUST 2013, AND THAT PROPERTY LINES SHOWN HEREON ARE COMPILED FROM RECORD DATA AND A BOUNDARY RETRACEMENT SURVEY, AND THAT THIS MAP DOES NOT INCLUDE EASEMENTS EXCEPT THOSE SPECIFICALLY DELINEATED HEREON.

IF UNDERGROUND UTILITIES, ZONE, SETBACK AND STREET WIDENING DATA ARE SHOWN HEREON, IT IS FOR INFORMATION ONLY, HAVING BEEN OBTAINED FROM AVAILABLE SOURCES NOT CONNECTED WITH THIS CORPORATION. THEREFORE, NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF SAID INFORMATION.



**BEFORE EXCAVATING CALL U.S.A.**

OWNER AND/OR CONTRACTOR ARE RESPONSIBLE FOR LOCATION AND VERIFICATION OF ALL EXISTING UNDERGROUND UTILITIES. UNDERGROUND SERVICE ALERT (USA) SHOULD BE NOTIFIED FOR ASSISTANCE IN THIS MATTER AT (800) 227-2600, 48 HOURS PRIOR TO ANY CONSTRUCTION.

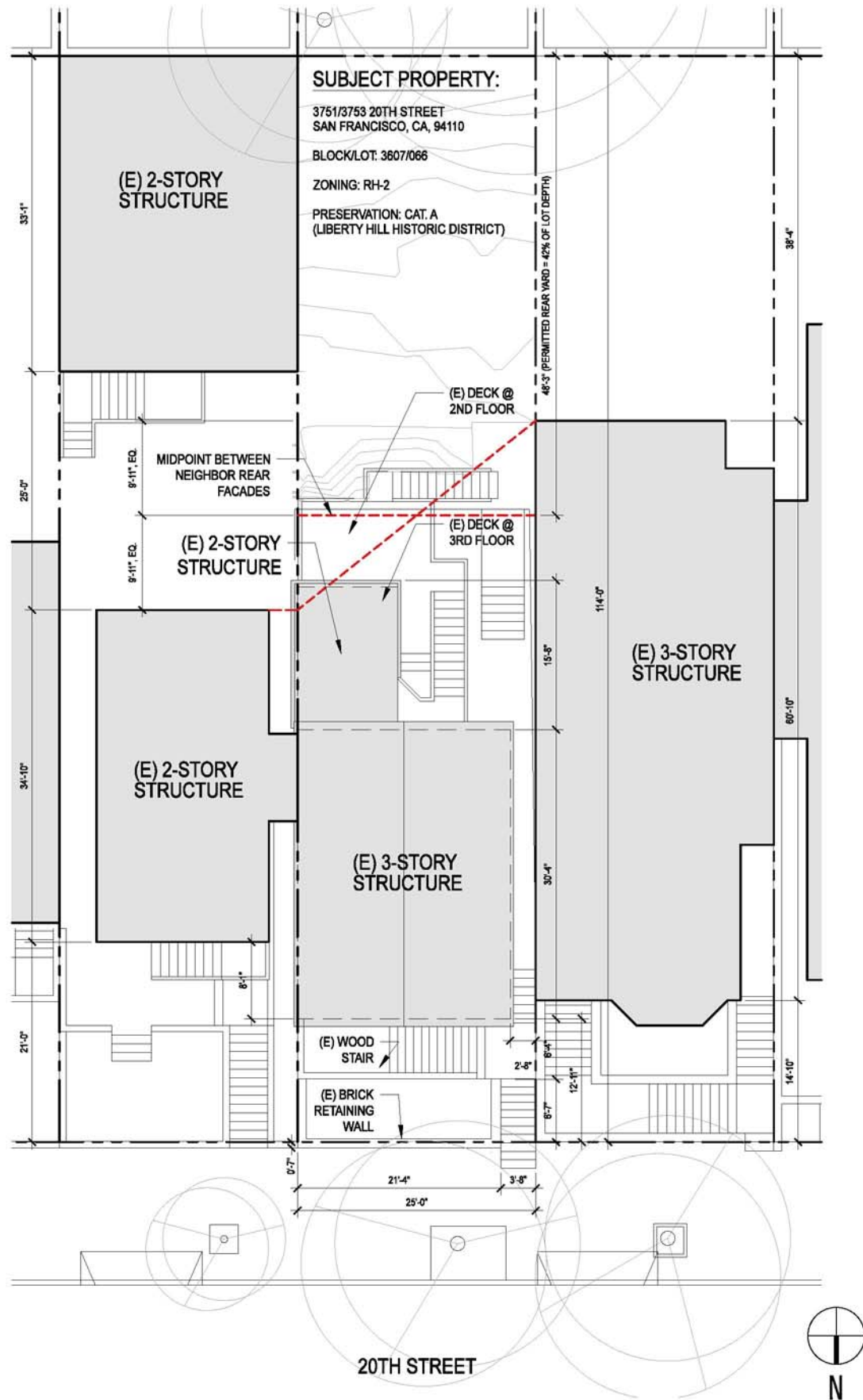
THE (USA) AUTHORIZATION NUMBER SHALL BE KEPT AT THE JOB SITE.

LOCATION AND CHARACTER OF ANY UTILITIES IF SHOWN HEREON ARE APPROXIMATE, AND TAKEN FROM A COMBINATION OF SURFACE STRUCTURE OBSERVATION AND/OR THE RECORDS OF THE CONTROLLING AGENCY. HUMAN COMPANY DOES NOT ASSUME RESPONSIBILITY FOR THE LOCATION OF ANY EXISTING UTILITIES OR OTHER UNDERGROUND FEATURES SUCH AS VAULTS, TANKS, BASEMENTS, BURIED OBJECTS, ...ETC.



DATE	08/15/13
SCALE	1"=8'
DRAWN	MN
JOB NO.	09-1561
DWG.	09-1571 TOPO
SHEET	C.0
OF	1 SHEETS





**SUBJECT PROPERTY:**

3751/3753 20TH STREET  
SAN FRANCISCO, CA, 94110

BLOCK/LOT: 3607/066

ZONING: RH-2

PRESERVATION: CAT. A  
(LIBERTY HILL HISTORIC DISTRICT)

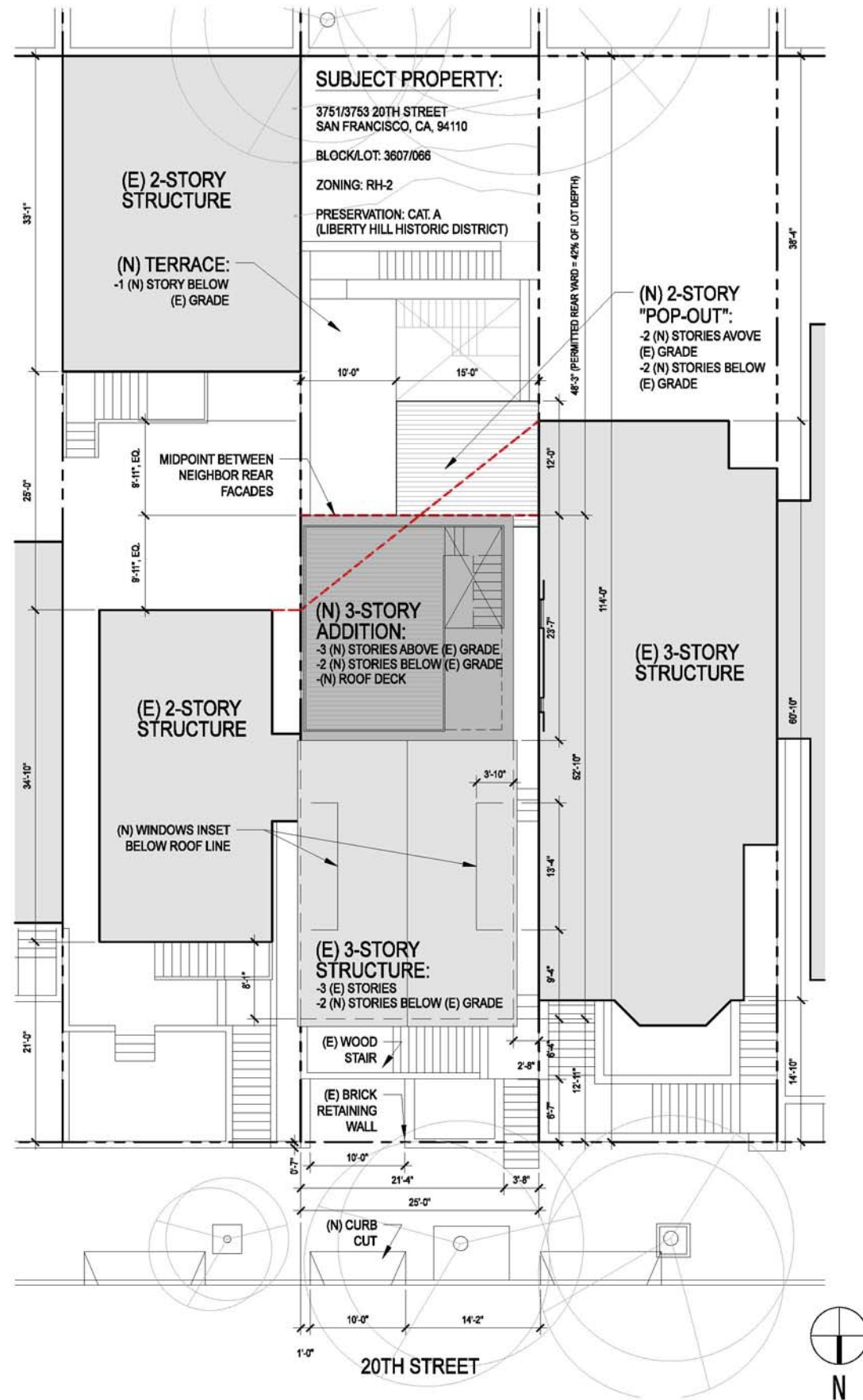
46'-3" (PERMITTED REAR YARD = 42% OF LOT DEPTH)

20TH STREET



2

**SITE PLAN: EXISTING**  
SCALE: 1'-0" = 1/8"



**SUBJECT PROPERTY:**

3751/3753 20TH STREET  
SAN FRANCISCO, CA, 94110

BLOCK/LOT: 3607/066

ZONING: RH-2

PRESERVATION: CAT. A  
(LIBERTY HILL HISTORIC DISTRICT)

46'-3" (PERMITTED REAR YARD = 42% OF LOT DEPTH)

**(N) 3-STORY ADDITION:**  
-3 (N) STORIES ABOVE (E) GRADE  
-2 (N) STORIES BELOW (E) GRADE  
-(N) ROOF DECK

**(N) 2-STORY "POP-OUT":**  
-2 (N) STORIES ABOVE (E) GRADE  
-2 (N) STORIES BELOW (E) GRADE

**(E) 3-STORY STRUCTURE:**  
-3 (E) STORIES  
-2 (N) STORIES BELOW (E) GRADE

20TH STREET



1

**SITE PLAN: PROPOSED**  
SCALE: 1'-0" = 1/8"

**MATAROZZI PELSINGER**  
DESIGN + BUILD

355 11TH STREET, SUITE 200, SAN FRANCISCO, CA 94103  
T 415.285.6930 F 415.285.7286 WWW.MATPELBUILDERS.COM



PROJECT TITLE:  
**3751 / 3753 20th STREET**

3751 20TH STREET  
SAN FRANCISCO, CA, 94110

JOB:  
13045.70

ISSUE:  
SITE PERMIT

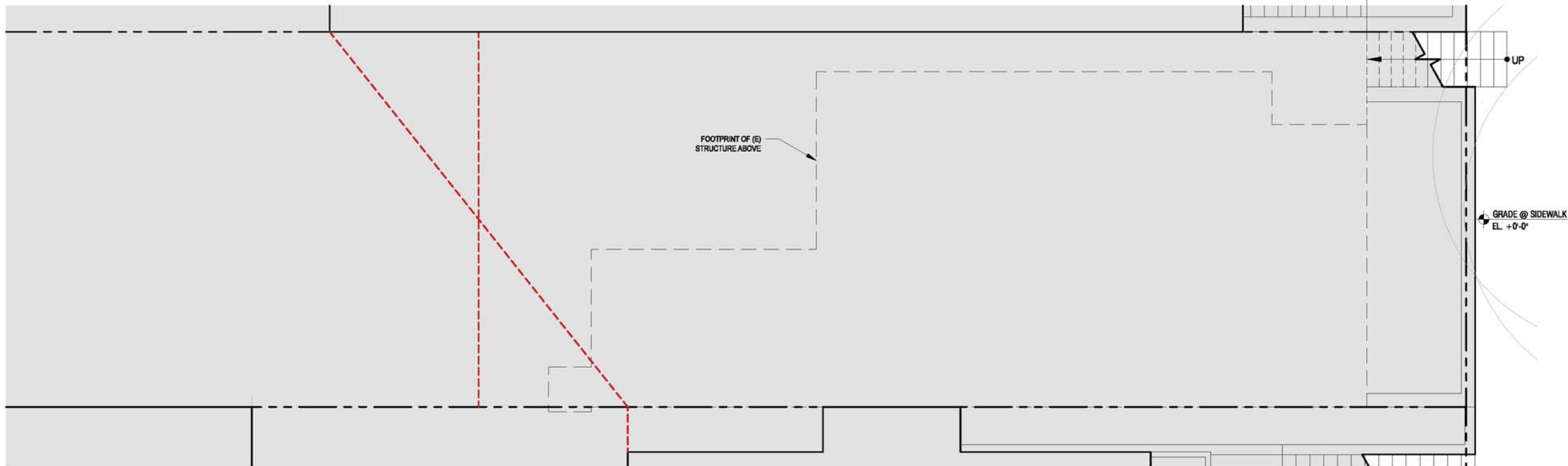
DATE:  
10.28.2014

REVISION:

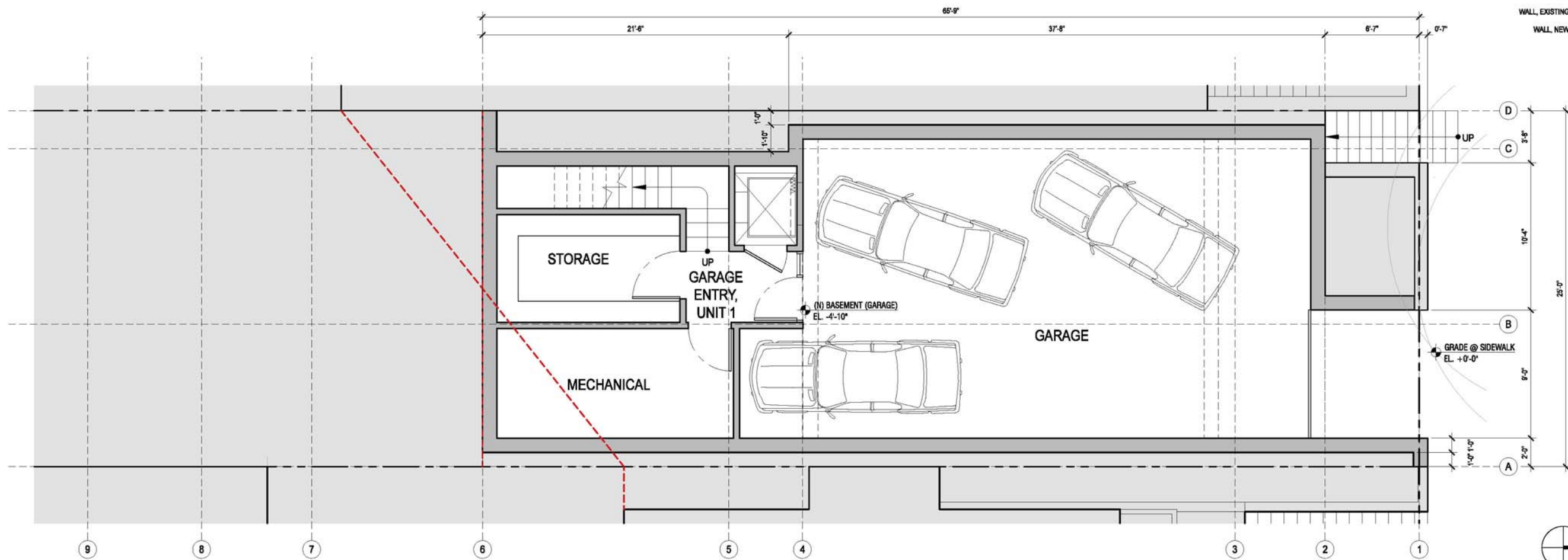
SHEET TITLE:  
SITE PLAN:  
EXISTING &  
PROPOSED

SHEET NUMBER:

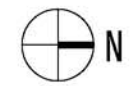
**A1.1**



PLAN, BASEMENT: EXISTING (NOTE: NO EXISTING STORY AT THIS LEVEL)  
SCALE: 1'-0" = 1/4"



PLAN, BASEMENT: PROPOSED  
SCALE: 1'-0" = 1/4"



2  
-

KEY:  
WALL, EXISTING: [light gray box]  
WALL, NEW: [dark gray box]

1  
-



**MATAROZZI PELSINGER**  
DESIGN + BUILD  
355 11TH STREET, SUITE 200, SAN FRANCISCO, CA 94103  
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PROJECT TITLE:  
**3751 / 3753 20th STREET**

3751 20TH STREET  
SAN FRANCISCO, CA, 94110

JOB:  
13045.70

ISSUE:  
SITE PERMIT

DATE:  
11.04.2014

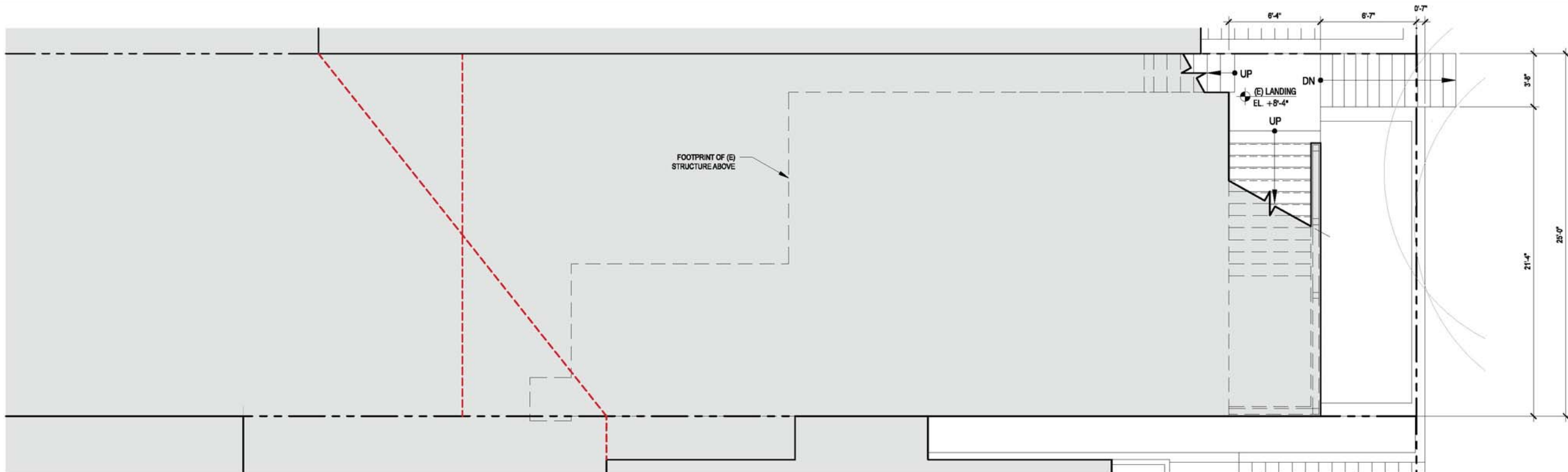
REVISION:

SHEET TITLE:  
BASEMENT PLANS:  
EXISTING &  
PROPOSED

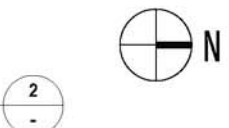
SHEET NUMBER:

**A2.1**

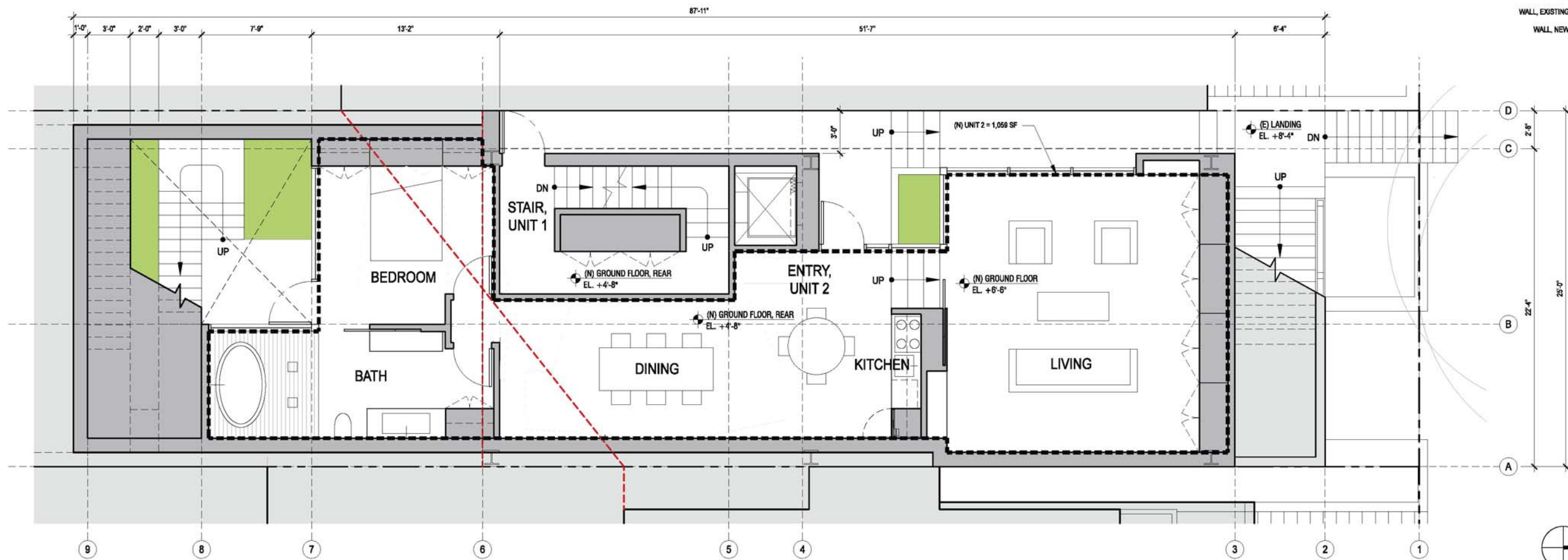




PLAN, GROUND FLOOR: EXISTING (NOTE: NO EXISTING STORY AT THIS LEVEL)  
SCALE: 1'-0" = 1/4"



KEY:  
WALL, EXISTING: [light gray box]  
WALL, NEW: [dark gray box]



PLAN, GROUND FLOOR: PROPOSED  
SCALE: 1'-0" = 1/4"



**MATAROZZI PELSINGER**  
DESIGN + BUILD  
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PROJECT TITLE:  
**3751 / 3753 20th STREET**

3751 20TH STREET  
SAN FRANCISCO, CA, 94110

JOB:  
13045.70

ISSUE:  
SITE PERMIT

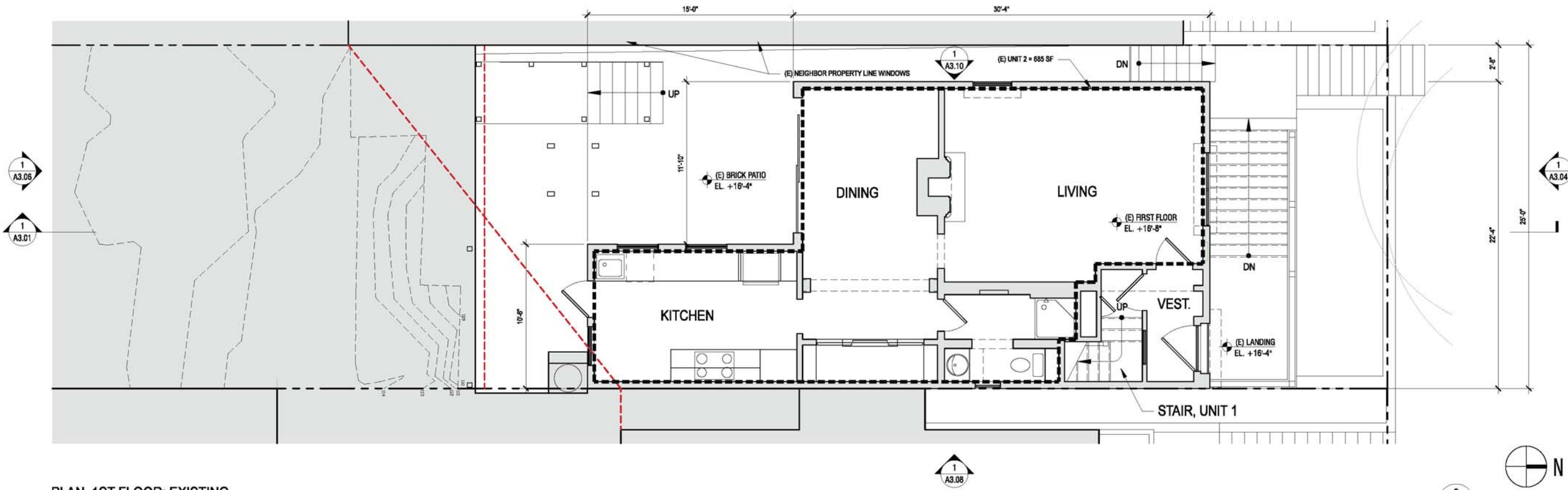
DATE:  
11.04.2014

REVISION:

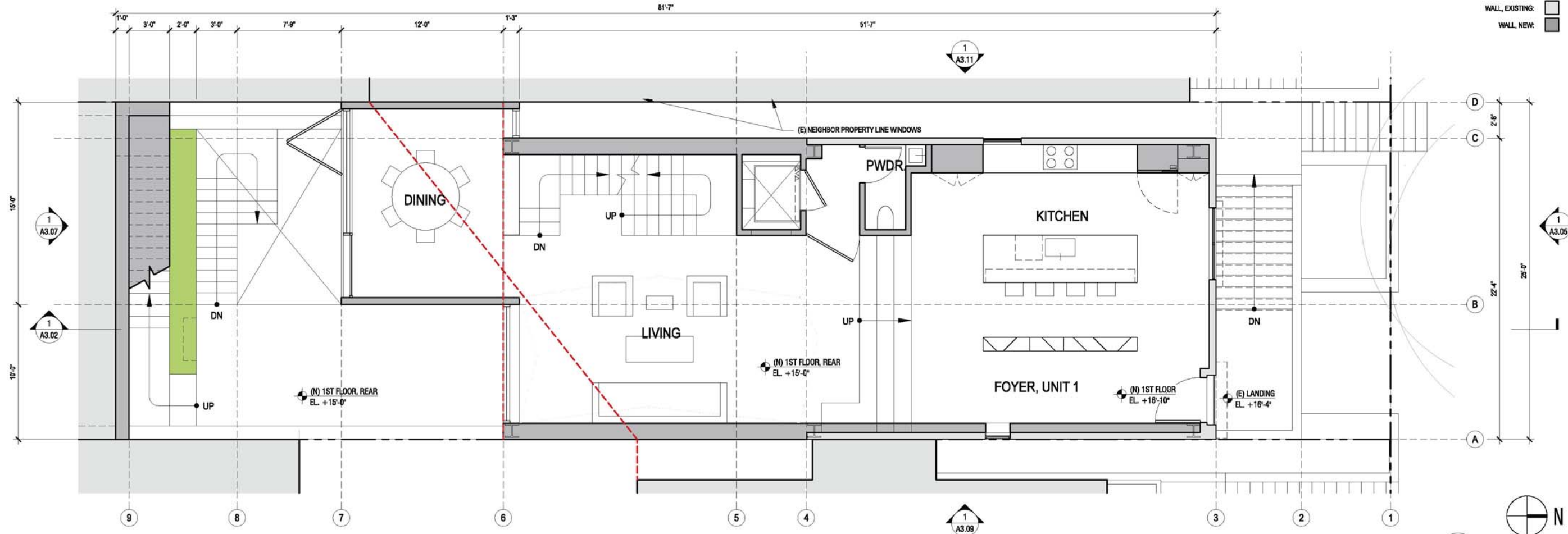
SHEET TITLE:  
GROUND FLOOR  
PLANS: EXISTING &  
PROPOSED

SHEET NUMBER:

**A2.2**



PLAN, 1ST FLOOR: EXISTING  
SCALE: 1'-0" = 1/4"



PLAN, 1ST FLOOR: PROPOSED  
SCALE: 1'-0" = 1/4"

KEY:  
WALL, EXISTING: [light gray box]  
WALL, NEW: [dark gray box]

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DESIGN + BUILD  
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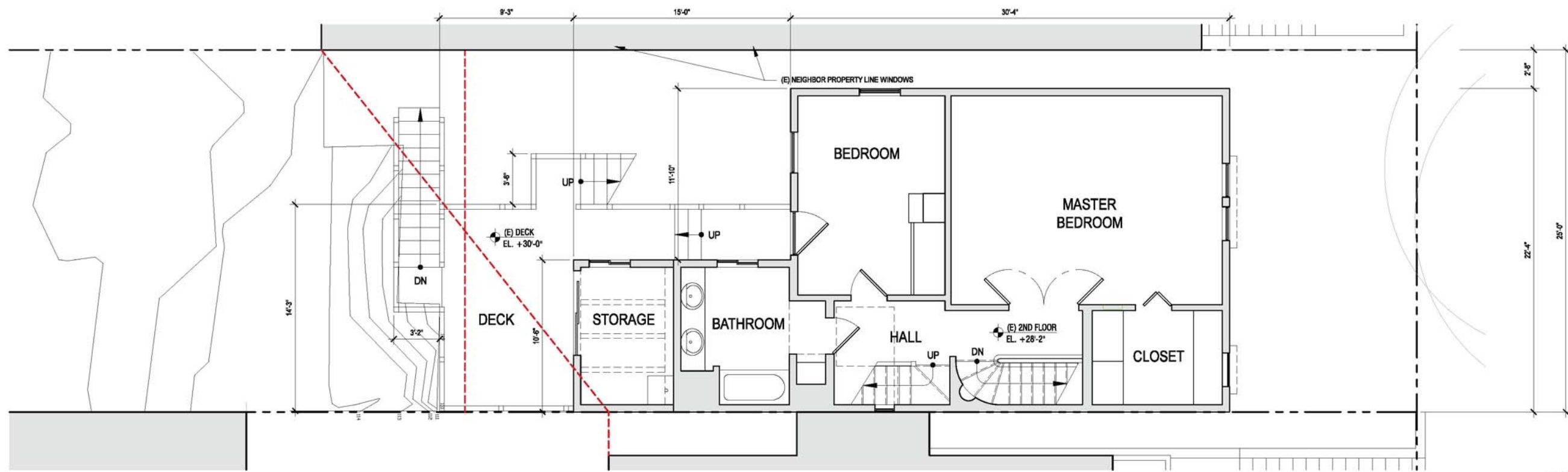


PROJECT TITLE:  
**3751 / 3753 20th STREET**  
JOB:  
13045.70  
ISSUE:  
SITE PERMIT  
DATE:  
11.04.2014  
REVISION:

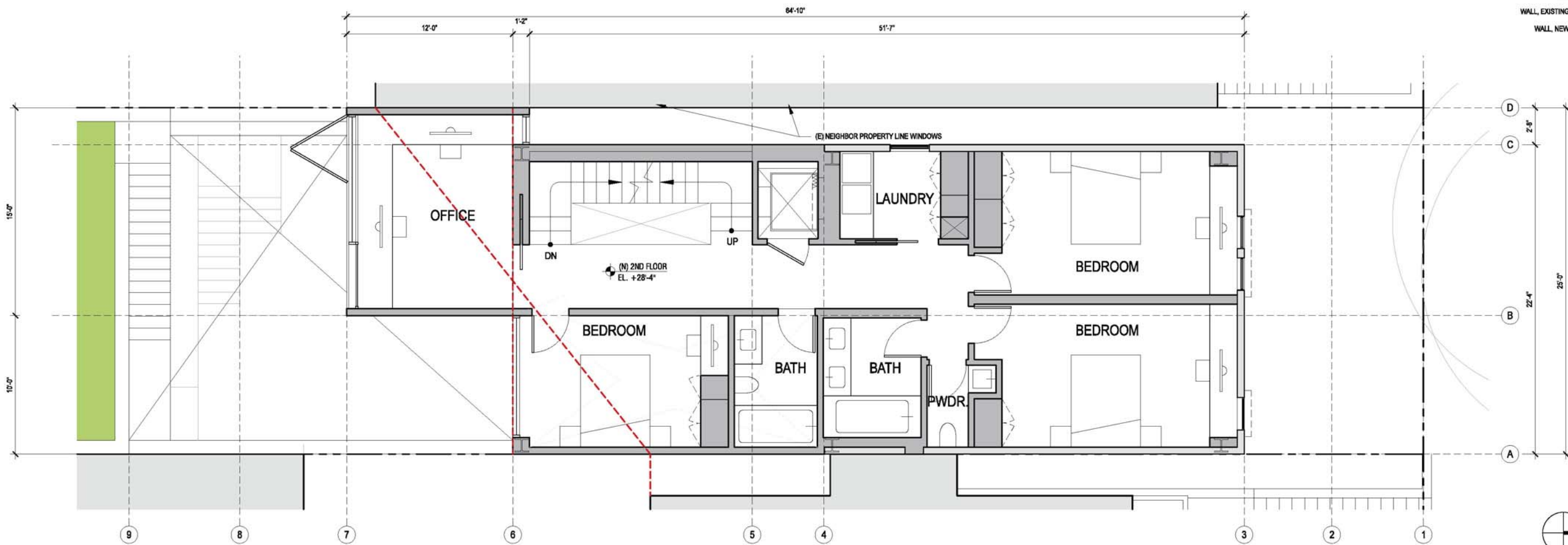
SHEET TITLE:  
**1ST FLOOR PLANS:  
EXISTING &  
PROPOSED**

SHEET NUMBER:  
**A2.3**





PLAN, 2ND FLOOR: EXISTING  
SCALE: 1'-0" = 1/4"



PLAN, 2ND FLOOR: PROPOSED  
SCALE: 1'-0" = 1/4"



2

KEY:  
WALL, EXISTING: [light gray box]  
WALL, NEW: [dark gray box]



1

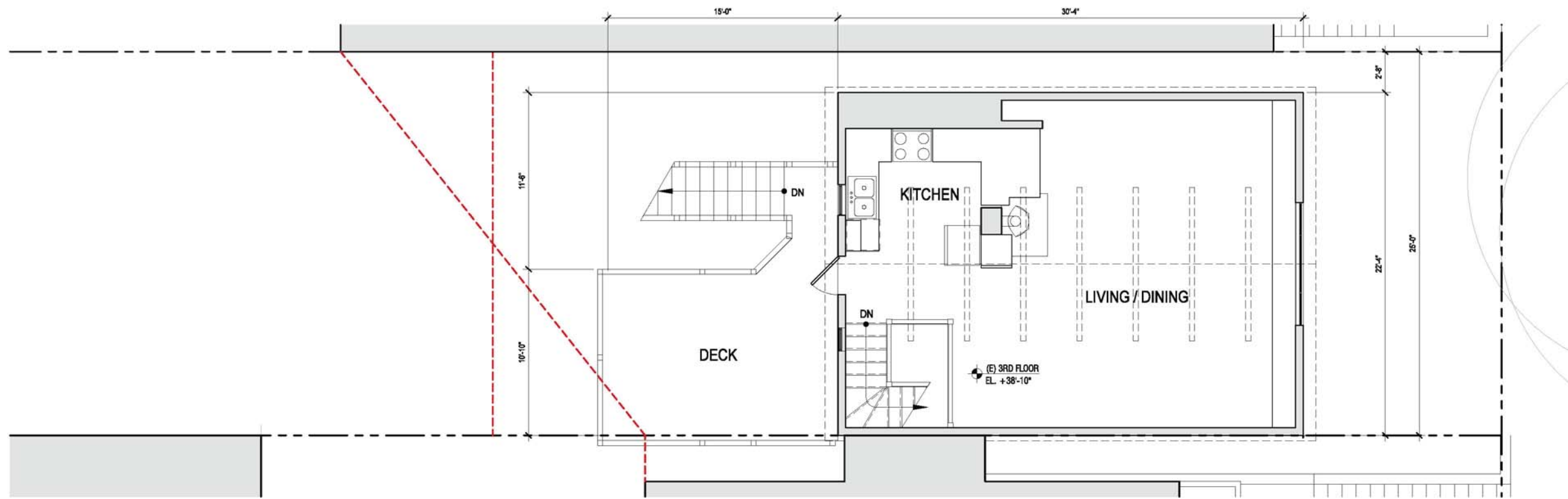


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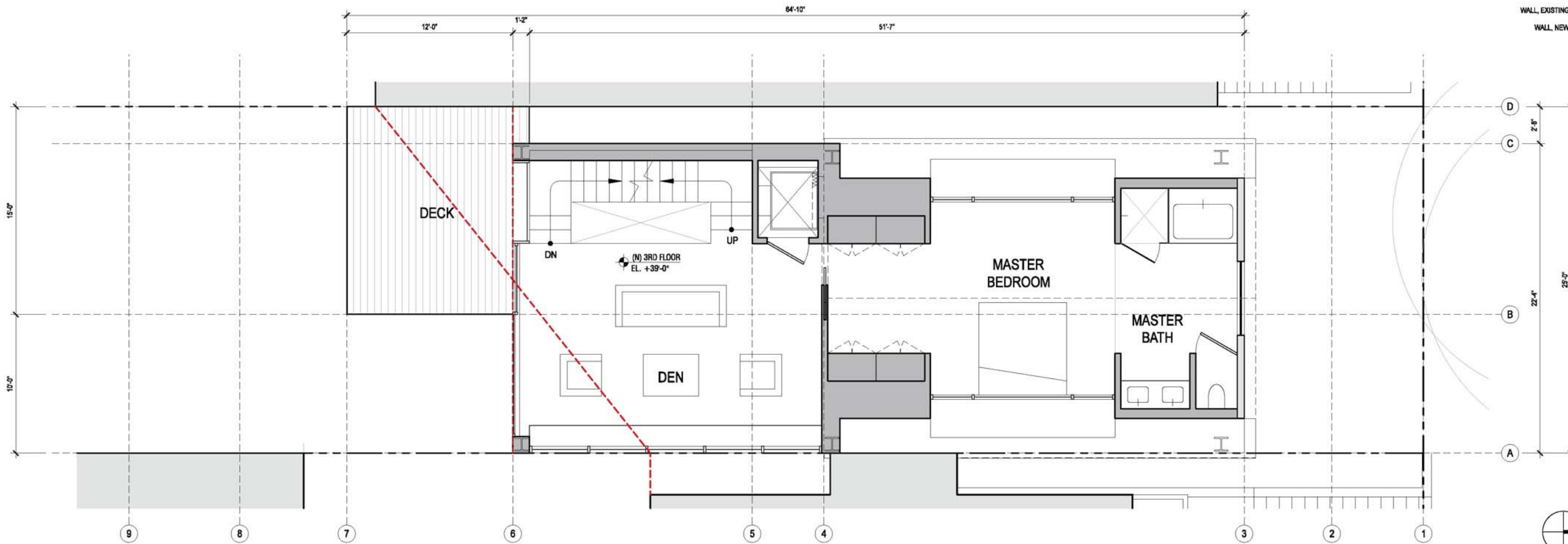
PROJECT TITLE:  
**3751 / 3753 20th STREET**  
JOB:  
13045.70  
ISSUE:  
SITE PERMIT  
DATE:  
11.04.2014  
REVISION:

SHEET TITLE:  
**2ND FLOOR PLANS:  
EXISTING &  
PROPOSED**

SHEET NUMBER:  
**A2.4**



PLAN, 3RD FLOOR: EXISTING  
SCALE: 1'-0" = 1/4"



PLAN, 3RD FLOOR: PROPOSED  
SCALE: 1'-0" = 1/4"



2

KEY:  
WALL, EXISTING: [light gray box]  
WALL, NEW: [dark gray box]



1

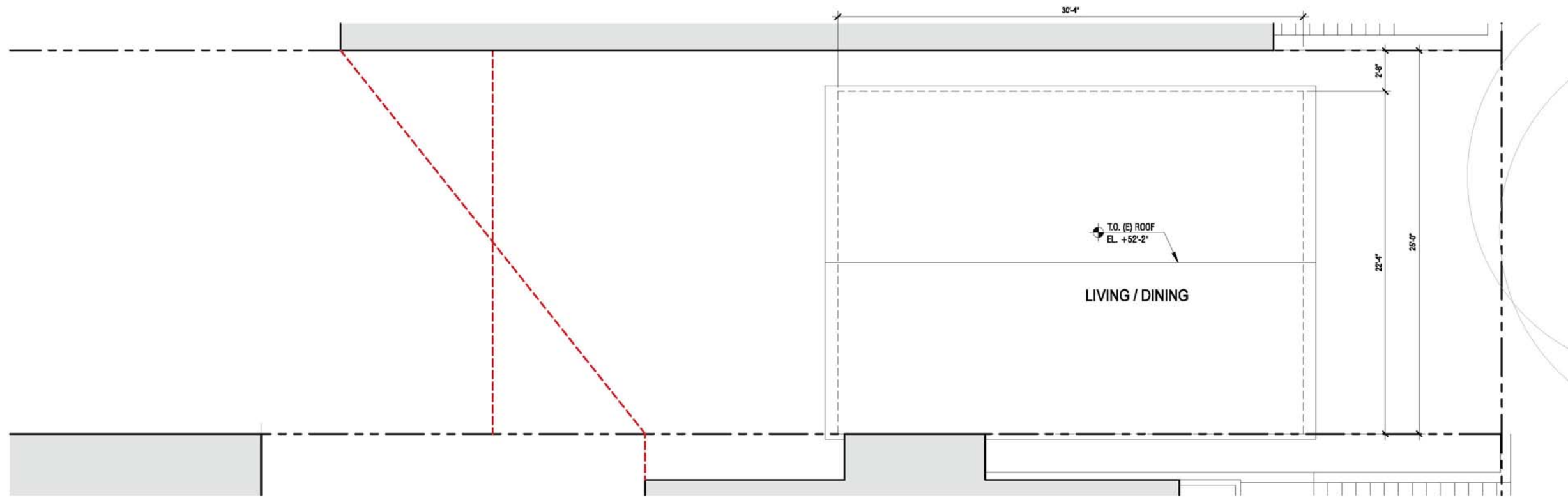


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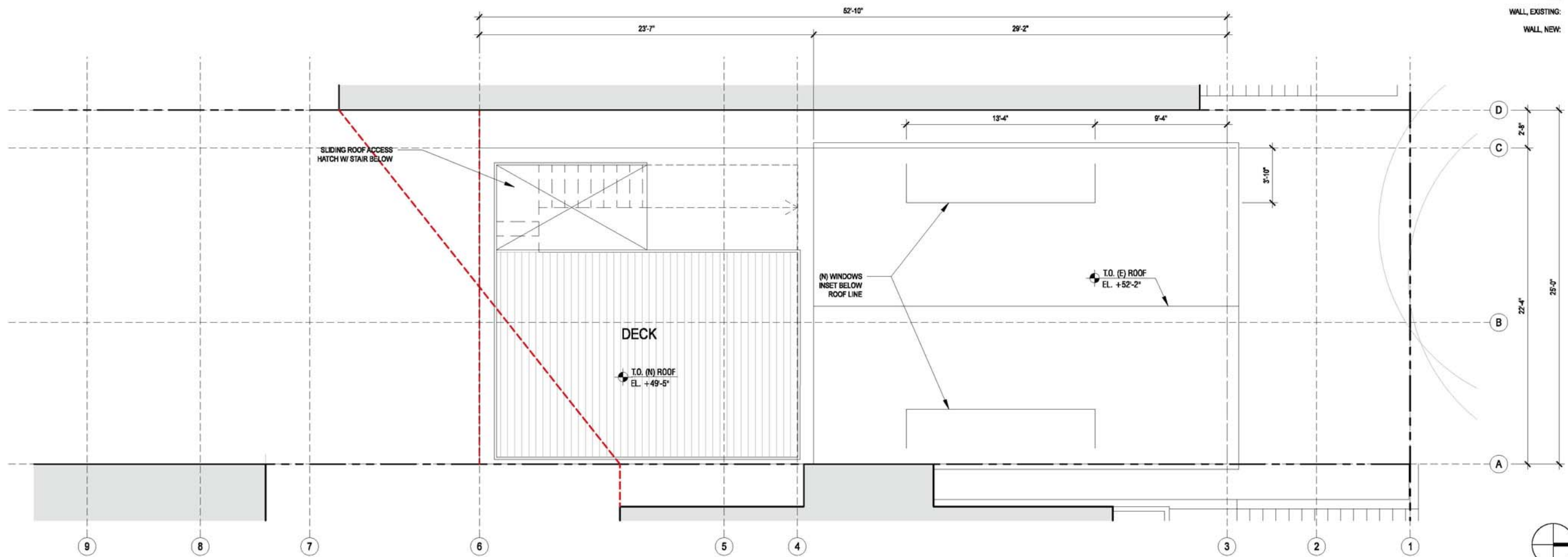
PROJECT TITLE:  
**3751 / 3753 20th STREET**  
JOB:  
13045.70  
ISSUE:  
SITE PERMIT  
DATE:  
11.04.2014  
REVISION:

SHEET TITLE:  
**3RD FLOOR PLANS:  
EXISTING &  
PROPOSED**

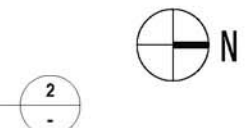
SHEET NUMBER:  
**A2.5**



PLAN, ROOF: EXISTING  
SCALE: 1'-0" = 1/4"



PLAN, ROOF: PROPOSED  
SCALE: 1'-0" = 1/4"



KEY:  
WALL, EXISTING: [white box]  
WALL, NEW: [grey box]



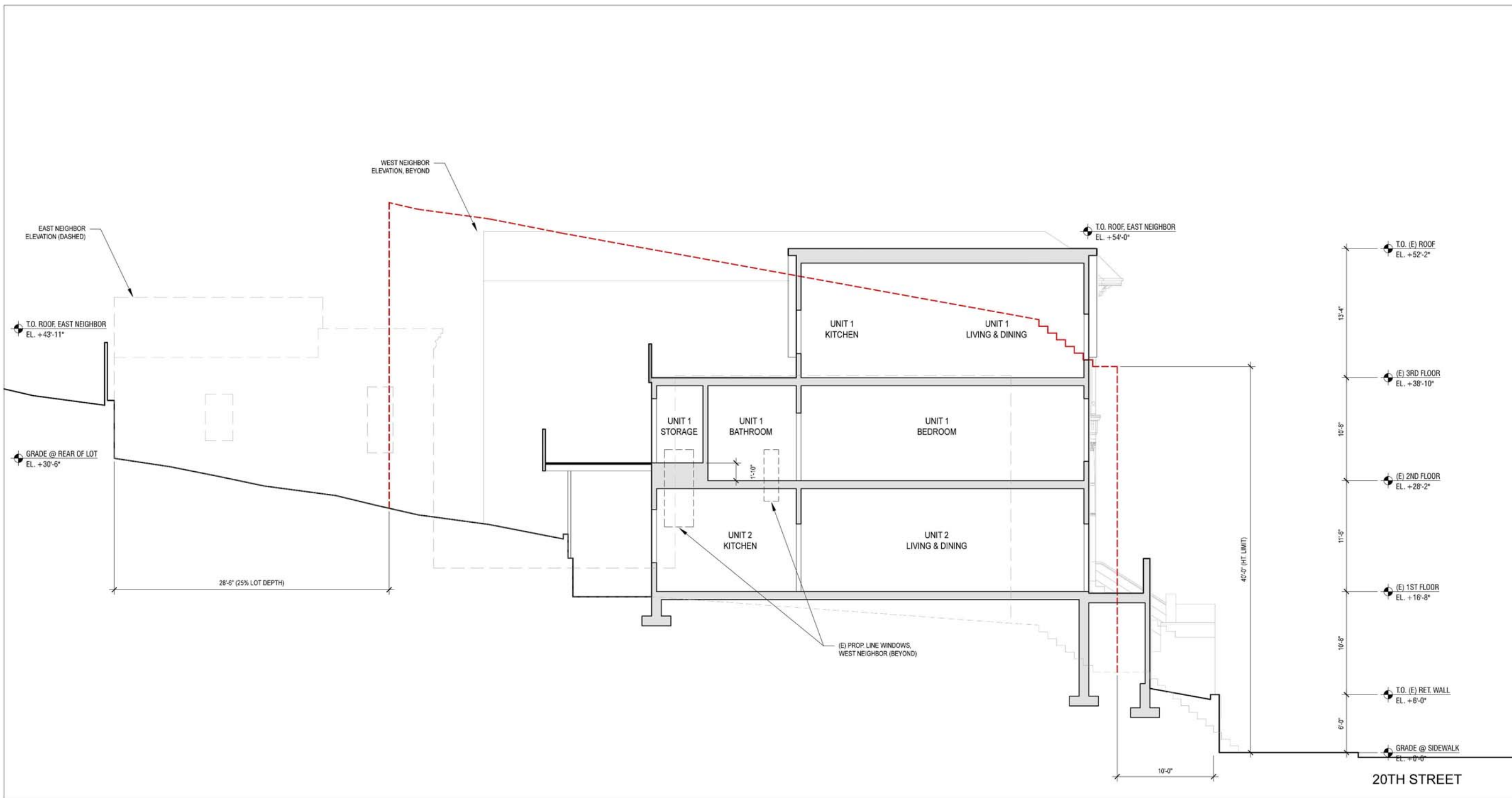
**MATAROZZI PELSINGER**  
DESIGN + BUILD  
355 11TH STREET, SUITE 200, SAN FRANCISCO, CA 94103  
T 415.285.6930 F 415.285.7286 WWW.MATPELBUILDERS.COM

PROJECT TITLE:  
**3751 / 3753 20th STREET**  
JOB:  
13045.70  
ISSUE:  
SITE PERMIT  
DATE:  
11.04.2014  
REVISION:

SHEET TITLE:  
**ROOF PLANS:  
EXISTING &  
PROPOSED**

SHEET NUMBER:  
**A2.6**





SECTION, NORTH / SOUTH: EXISTING  
SCALE: 3/16" = 1'-0"

KEY:  
WALL, EXISTING: [light gray box]  
WALL, NEW: [dark gray box]

1  
-

**MATAROZZI PELSINGER**  
DESIGN + BUILD  
355 11TH STREET, SUITE 200, SAN FRANCISCO, CA 94103  
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PROJECT TITLE:  
**3751 / 3753 20th STREET**  
3751 20TH STREET  
SAN FRANCISCO, CA, 94110

JOB:  
13045.70

ISSUE:  
SITE PERMIT

DATE:  
10.2.2014

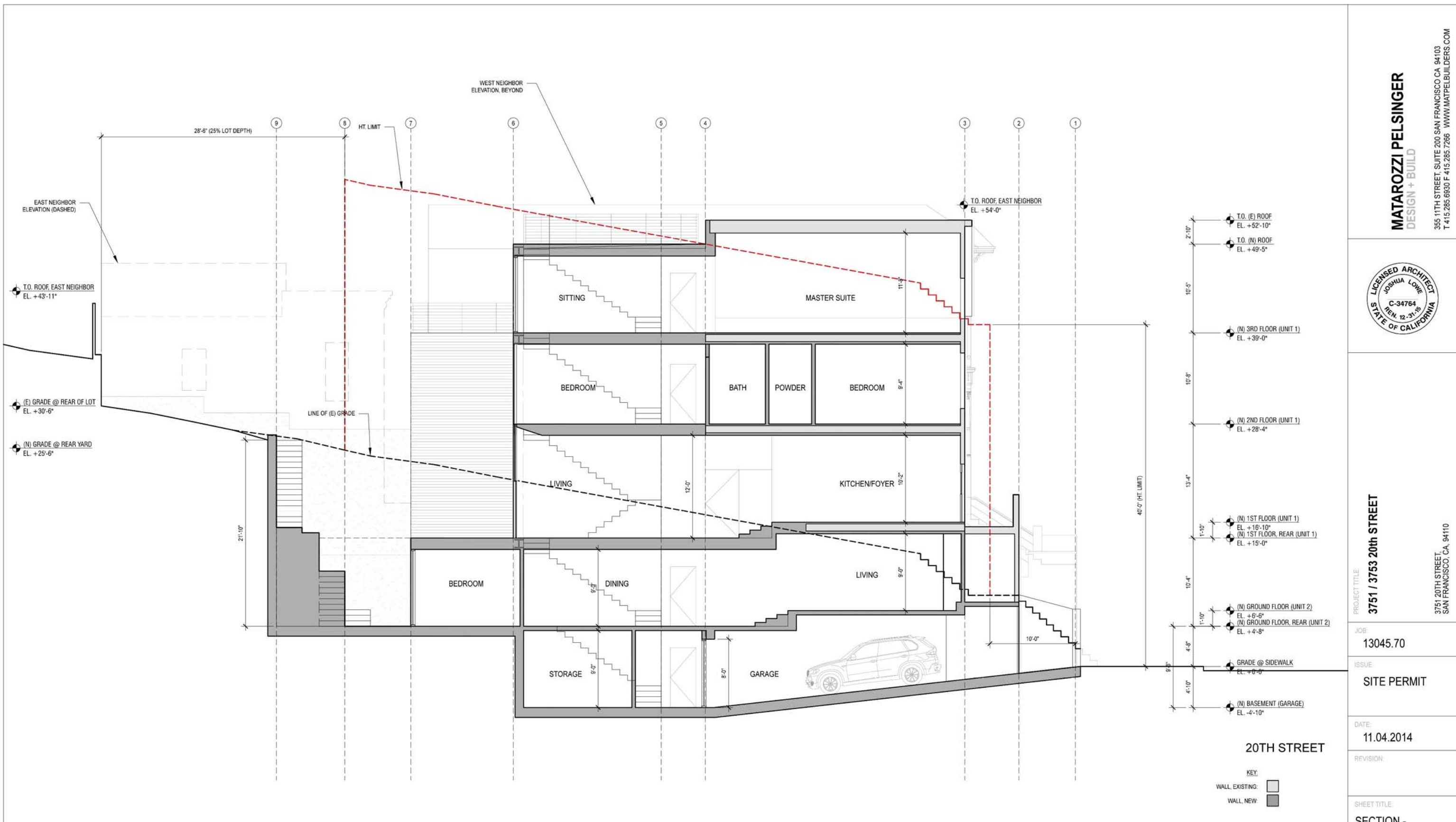
REVISION:

SHEET TITLE:  
SECTION -  
NORTH / SOUTH,  
EXISTING

SHEET NUMBER:

**A3.1**





SECTION, NORTH / SOUTH: PROPOSED  
 SCALE: 3/16" = 1'-0"

- T.O. (E) ROOF  
EL. +52'-10"
- T.O. (N) ROOF  
EL. +49'-5"
- (N) 3RD FLOOR (UNIT 1)  
EL. +39'-0"
- (N) 2ND FLOOR (UNIT 1)  
EL. +28'-4"
- (N) 1ST FLOOR (UNIT 1)  
EL. +18'-10"
- (N) 1ST FLOOR, REAR (UNIT 1)  
EL. +15'-0"
- (N) GROUND FLOOR (UNIT 2)  
EL. +6'-6"
- (N) GROUND FLOOR, REAR (UNIT 2)  
EL. +4'-8"
- GRADE @ SIDEWALK  
EL. +0'-0"
- (N) BASEMENT (GARAGE)  
EL. -4'-10"

KEY:  
 WALL EXISTING: [light gray box]  
 WALL NEW: [dark gray box]

1  
 -

**MATAROZZI PELSINGER**  
 DESIGN + BUILD  
 355 11TH STREET, SUITE 200 SAN FRANCISCO CA 94103  
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PROJECT TITLE:  
**3751 / 3753 20th STREET**  
 3751 20TH STREET  
 SAN FRANCISCO, CA, 94110

JOB:  
 13045.70  
 ISSUE:  
 SITE PERMIT

DATE:  
 11.04.2014

REVISION:

SHEET TITLE:  
 SECTION -  
 NORTH / SOUTH,  
 PROPOSED

SHEET NUMBER:  
**A3.2**



ELEVATION, NORTH: EXISTING  
SCALE: 1/4" = 1'-0"

**MATAROZZI PELSINGER**  
DESIGN + BUILD

355 11TH STREET, SUITE 200, SAN FRANCISCO, CA 94103  
T 415.285.6830 F 415.285.7266 WWW.MATPELBUILDERS.COM

LICENSED ARCHITECT  
JOSHUA LOWE  
C-34764  
REN. 12-31-15  
STATE OF CALIFORNIA

PROJECT TITLE:  
**3751 / 3753 20th STREET**

JOB:  
13045.70

ISSUE:  
SITE PERMIT

DATE:  
10.2.2014

REVISION:

SHEET TITLE:  
ELEVATION - NORTH, EXISTING

SHEET NUMBER:  
**A3.4**

3751 20TH STREET  
SAN FRANCISCO, CA, 94110



ELEVATION, NORTH: PROPOSED  
SCALE: 1/4" = 1'-0"

**MATAROZZI PELSINGER**  
DESIGN + BUILD

355 11TH STREET, SUITE 200, SAN FRANCISCO, CA 94103  
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PROJECT TITLE:  
**3751 / 3753 20th STREET**

3751 20TH STREET  
SAN FRANCISCO, CA, 94110

JOB:  
13045.70

ISSUE:  
SITE PERMIT

DATE:  
11.04.2014

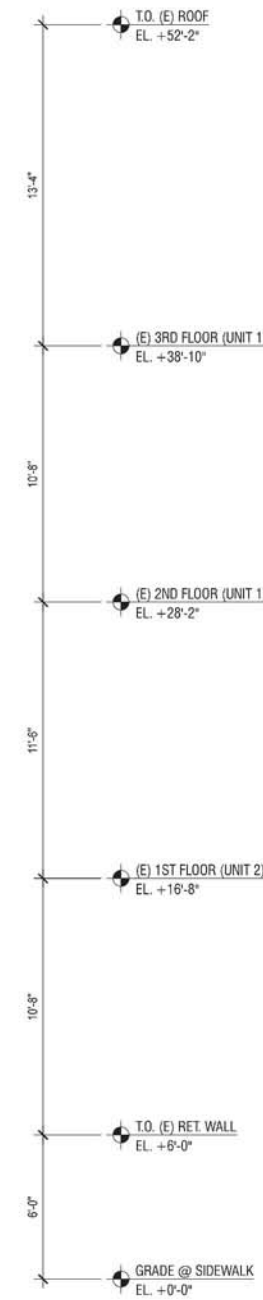
REVISION:

SHEET TITLE:  
ELEVATION -  
NORTH,  
PROPOSED

SHEET NUMBER:

**A3.5**





ELEVATION, SOUTH: EXISTING  
SCALE: 1/4" = 1'-0"

1

**MATAROZZI PELSINGER**  
DESIGN + BUILD  
355 11TH STREET, SUITE 200, SAN FRANCISCO, CA 94103  
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PROJECT TITLE:  
**3751 / 3753 20th STREET**

3751 20TH STREET,  
SAN FRANCISCO, CA, 94110

JOB:  
13045.70

ISSUE:  
SITE PERMIT

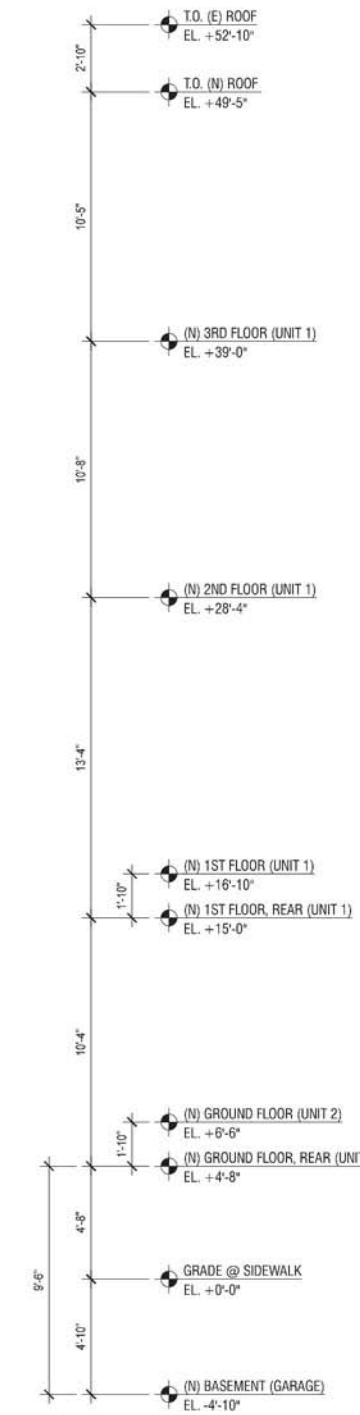
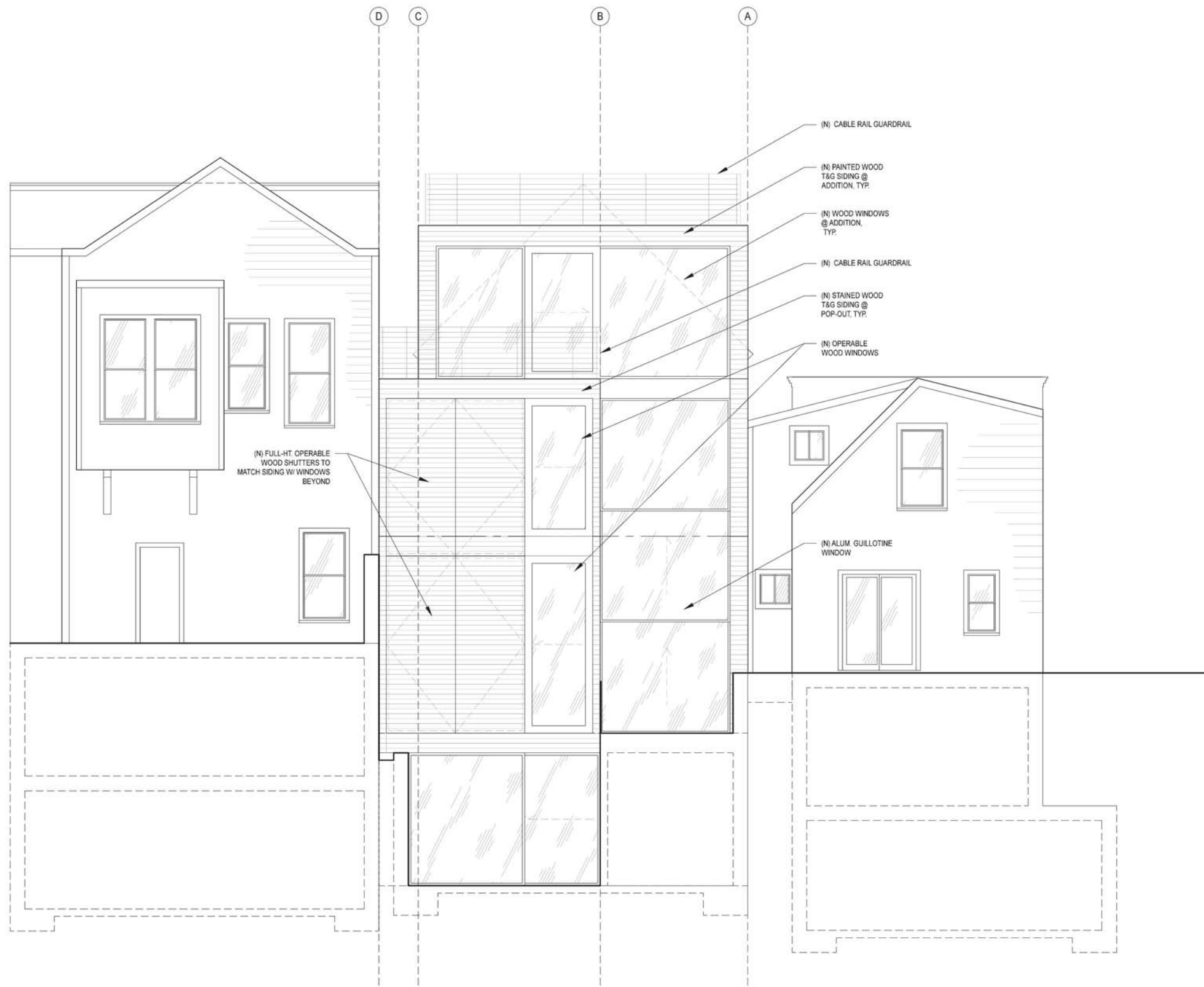
DATE:  
10.2.2014

REVISION:

SHEET TITLE:  
ELEVATION -  
SOUTH,  
EXISTING

SHEET NUMBER:

**A3.6**



ELEVATION, SOUTH: PROPOSED  
SCALE: 1/4" = 1'-0"

1

**MATAROZZI PELSINGER**  
DESIGN + BUILD

355 11TH STREET, SUITE 200, SAN FRANCISCO, CA 94103  
T 415.285.6830 F 415.285.7266 WWW.MATPELBUILDERS.COM

LICENSED ARCHITECT  
JOSHUA LOWE  
C-34764  
REN. 12-31-15  
STATE OF CALIFORNIA

PROJECT TITLE:  
**3751 / 3753 20th STREET**

JOB:  
13045.70

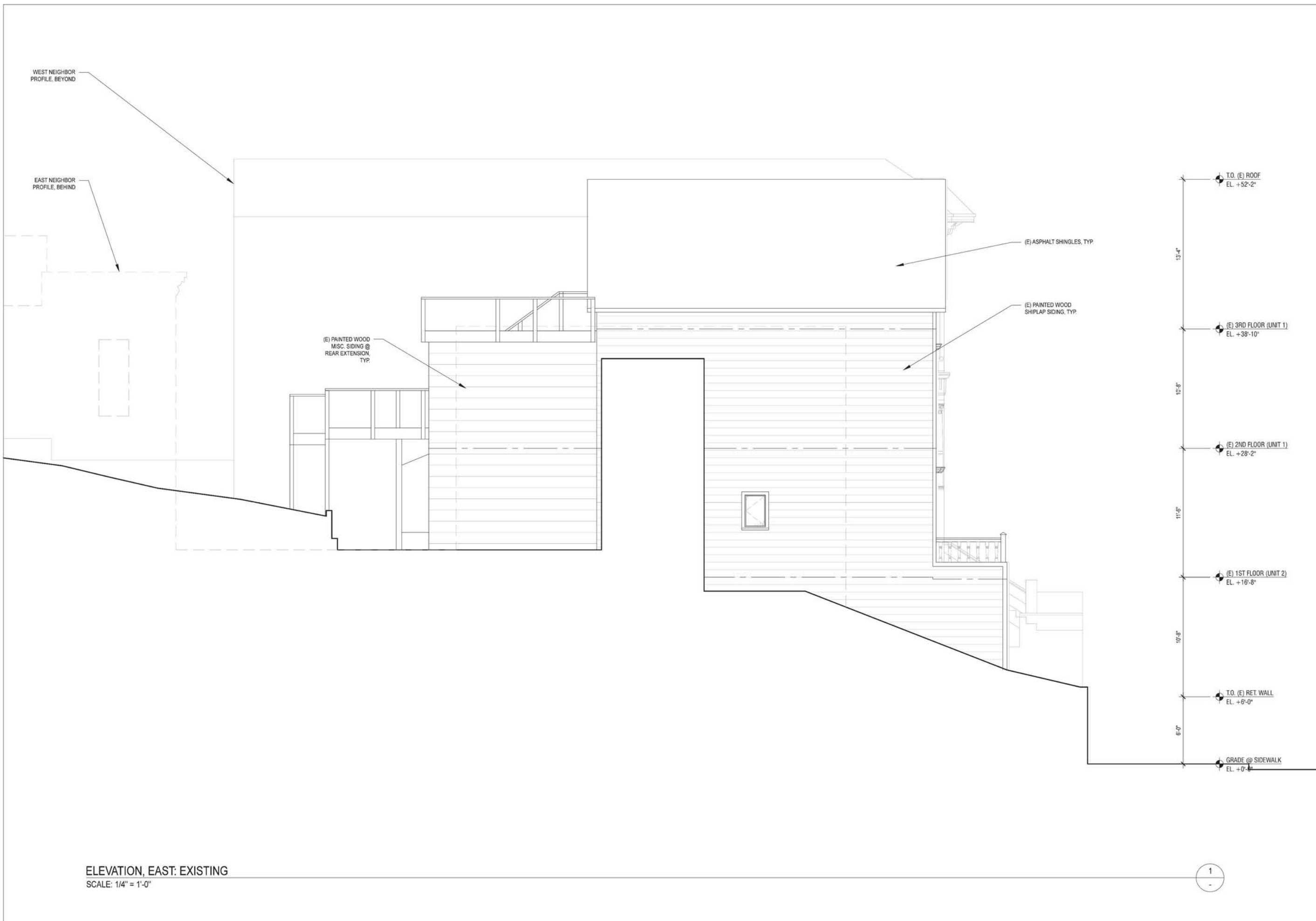
ISSUE:  
SITE PERMIT

DATE:  
11.04.2014

REVISION:

SHEET TITLE:  
ELEVATION - SOUTH, PROPOSED

SHEET NUMBER:  
**A3.7**



ELEVATION, EAST: EXISTING  
SCALE: 1/4" = 1'-0"

**MATAROZZI PELSINGER**  
DESIGN + BUILD

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T 415.285.6930 F 415.285.7266 WWW.MATPELBUILDERS.COM

LICENSED ARCHITECT  
JOSHUA LOWE  
C-34764  
REN. 12-31-15  
STATE OF CALIFORNIA

PROJECT TITLE:  
**3751 / 3753 20th STREET**

JOB:  
13045.70

ISSUE:  
SITE PERMIT

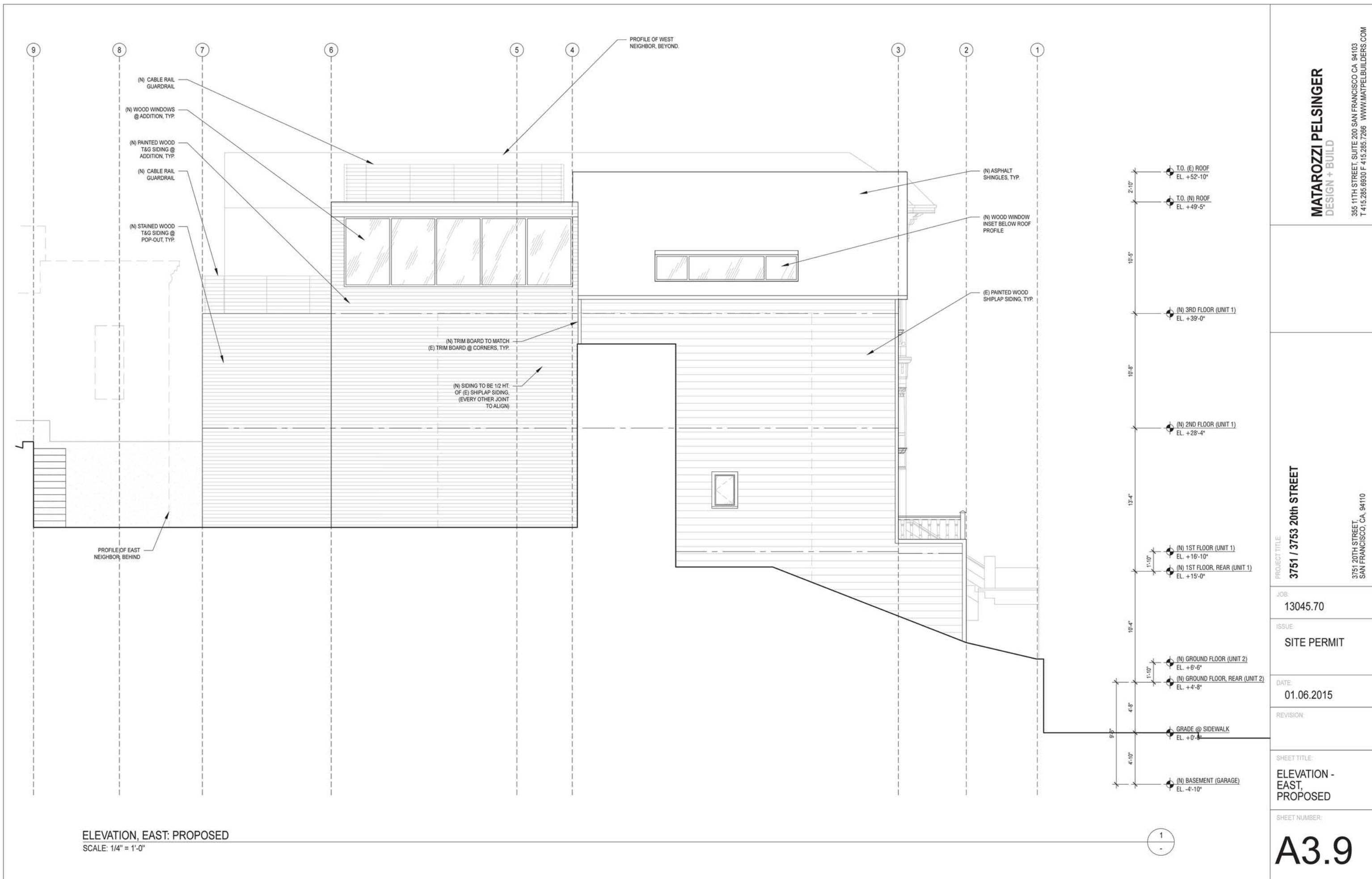
DATE:  
10.2.2014

REVISION:

SHEET TITLE:  
ELEVATION - EAST, EXISTING

SHEET NUMBER:  
**A3.8**

3751 20TH STREET  
SAN FRANCISCO, CA, 94110



ELEVATION, EAST: PROPOSED  
SCALE: 1/4" = 1'-0"

PROJECT TITLE:  
**3751 / 3753 20th STREET**

3751 20TH STREET  
SAN FRANCISCO, CA, 94110

JOB:  
13045.70

ISSUE:  
SITE PERMIT

DATE:  
01.06.2015

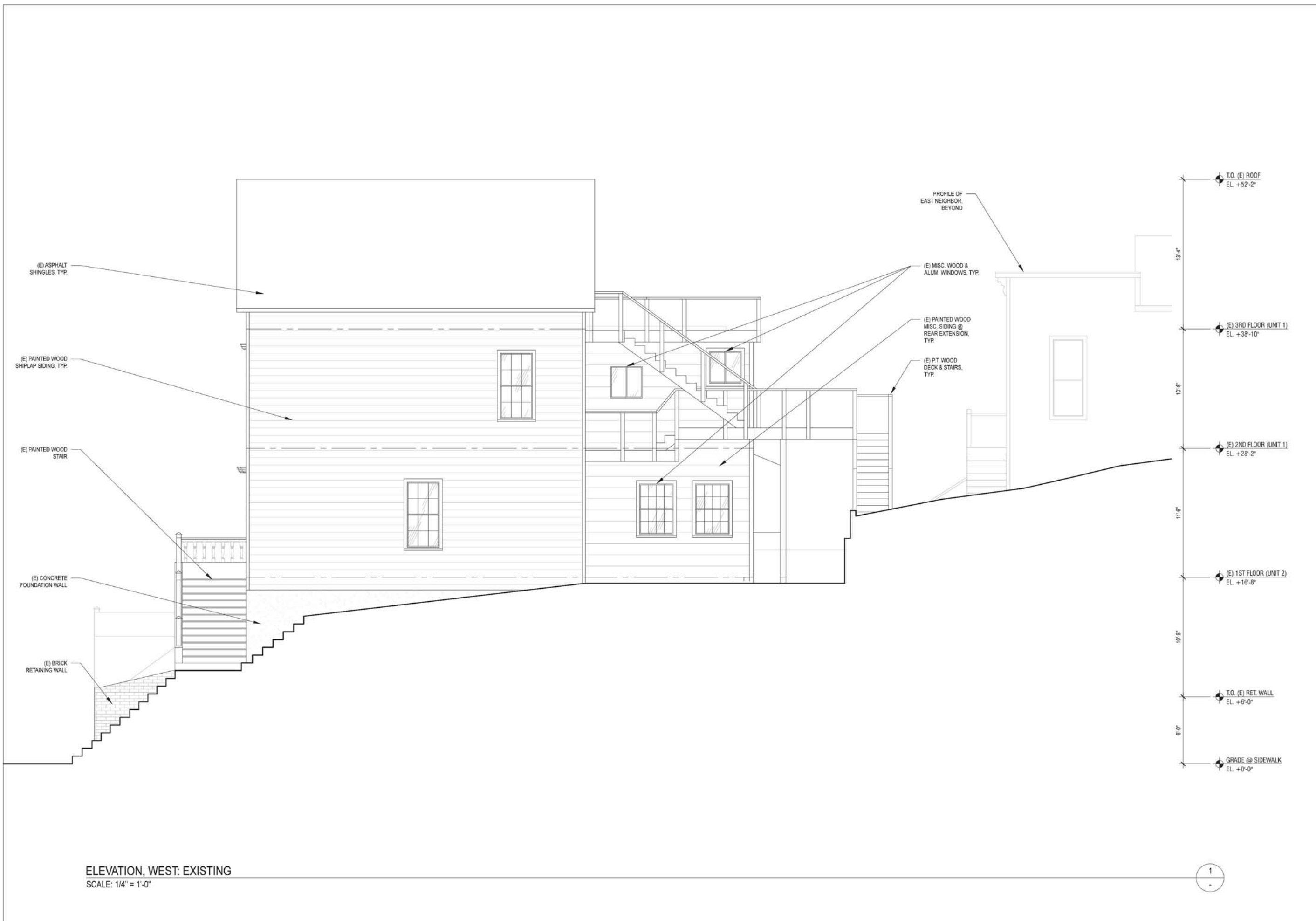
REVISION:

SHEET TITLE:  
ELEVATION - EAST, PROPOSED

SHEET NUMBER:

**A3.9**





ELEVATION, WEST: EXISTING  
SCALE: 1/4" = 1'-0"

1

**MATAROZZI PELSINGER**  
DESIGN + BUILD  
355 11TH STREET, SUITE 200 SAN FRANCISCO CA 94103  
T 415.285.6830 F 415.285.7266 WWW.MATPELBUILDERS.COM



PROJECT TITLE:  
**3751 / 3753 20th STREET**

3751 20TH STREET,  
SAN FRANCISCO, CA, 94110

JOB:  
13045.70

ISSUE:  
SITE PERMIT

DATE:  
10.2.2014

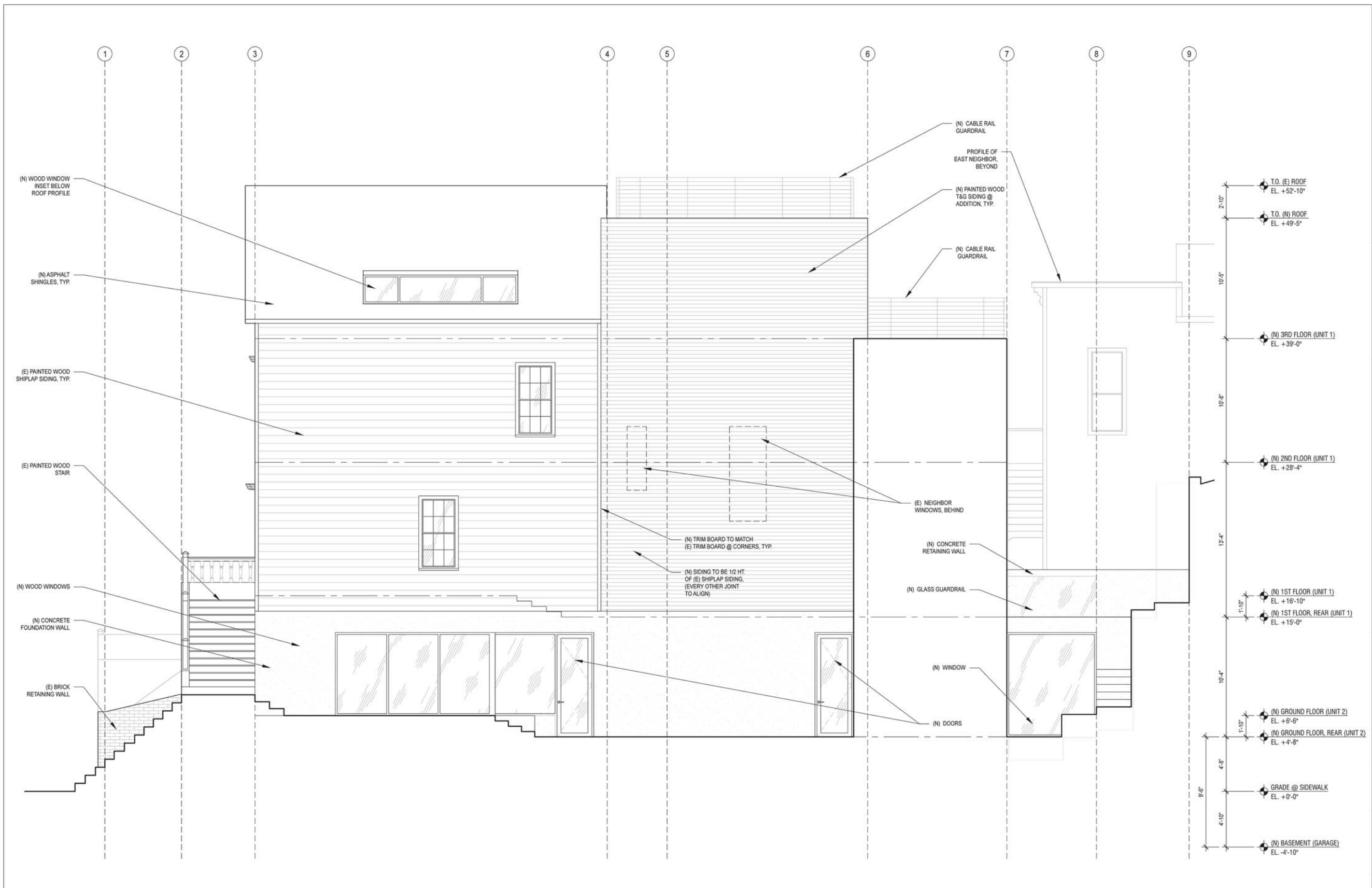
REVISION:

SHEET TITLE:  
ELEVATION -  
WEST,  
EXISTING

SHEET NUMBER:

**A3.10**





ELEVATION, WEST: PROPOSED  
SCALE: 1/4" = 1'-0"

1

PROJECT TITLE:  
**3751 / 3753 20th STREET**

3751 20TH STREET  
SAN FRANCISCO, CA, 94110

JOB:  
13045.70

ISSUE:  
SITE PERMIT

DATE:  
01.06.2015

REVISION:

SHEET TITLE:  
ELEVATION - WEST, PROPOSED

SHEET NUMBER:

**A3.11**