



SAN FRANCISCO PLANNING DEPARTMENT

Certificate of Appropriateness Case Report

HEARING DATE: JANUARY 21, 2015

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Filing Date: April 10, 2014
Case No.: **2014.0522A**
Project Address: **911 Minnesota Street**
Historic Landmark: Dogpatch Landmark District
Zoning: RH-3 (Residential, House, Three-Family) Zoning District
40-X Height and Bulk District
Block/Lot: 4107/002F
Applicant: Karen Curtiss, Red Dot Studio
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San Francisco, CA 94110
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Reviewed By Tina Tam – (415) 558-6325
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PROPERTY DESCRIPTION

911 MINNESOTA STREET is a two-story, single-family residence located on a rectangular lot (measuring approximately 20 ft x 100 ft) on the east side of Minnesota Street between 20th and 22nd Streets. Designed as a Pelton cottage prior to 1900, the existing building features wood-frame construction, wood siding, wood-sash windows, a false-front parapet and gable roof. The subject property is one of several Pelton cottages on Minnesota Street between 20th and 22nd Streets.

Per Article 10 of the San Francisco Planning Code, 911 Minnesota Street is designated as contributing resource to the Dogpatch Landmark District.

PROJECT DESCRIPTION

The proposed project consists of rehabilitation of the single-family residence, including:

- **Façade Alterations:** The proposed façade alterations entail construction of a new wood front entry stair and railing and a new painted wood side-entry gate on the front façade; insertion of a new wood door and wood-sash window on the first floor of the south façade; and, insertion of a new wood-window and relocation of an existing wood window on the second floor of the south façade. At the rear, the project would remove the existing windows and doors on the rear facade, and add new sliding glass doors on the first and second floors.
- **Construction of Rear Deck:** At the rear, the project would construct a new patio and wood deck. The new wood deck would have a wood staircase from the second to ground floors and simple wood railings.

- **New Skylights:** The project would add new low-profile skylights on the gable roof. The new skylights would be constructed with a low profile, aluminum-sash skylight system.

OTHER ACTIONS REQUIRED

Proposed work requires a Building Permit from the Department of Building Inspection (DBI).

COMPLIANCE WITH THE PLANNING CODE PROVISIONS

The proposed project is in compliance with all other provisions of the Planning Code.

APPLICABLE PRESERVATION STANDARDS

ARTICLE 10

Pursuant to Section 1006.2 of the Planning Code, unless exempt from the Certificate of Appropriateness requirements or delegated to Planning Department Preservation staff through the Administrative Certificate Appropriateness process, the Historic Preservation Commission is required to review any applications for the construction, alteration, removal, or demolition of any designated Landmark for which a City permit is required. Section 1006.6 states that in evaluating a request for a Certificate of Appropriateness for an individual landmark or a contributing building within a historic district, the Historic Preservation Commission must find that the proposed work is in compliance with the *Secretary of the Interior's Standards for the Treatment of Historic Properties*, as well as the designating Ordinance and any applicable guidelines, local interpretations, bulletins, related appendices, or other policies.

THE SECRETARY OF THE INTERIOR'S STANDARDS

Rehabilitation is the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features that convey its historical, cultural, or architectural values. The Rehabilitation Standards provide, in relevant part(s):

Standard 1: A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

The proposed project would maintain the subject property's current and historic use as a residence. Therefore, the proposed project complies with Rehabilitation Standard 1.

Standard 2: The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

The proposed project maintains the historic character of the subject property, as defined by its character-defining features, including, but not limited to, its overall mass and form, double-hung wood-sash windows, gable roof, wood siding, as well as, other elements identified in the designating ordinance for the landmark.

Overall, the project does not call for the removal of character-defining historic materials or features. On the front façade, the project would remove a non-historic stair and add a new compatible, wood stair and railing. In addition, the project would add a new wood side-entry door, which is consistent with the pattern of the side-entry doors on the Pelton Cottages along Minnesota Street. On the side (south) façade, the project would add compatible new wood-sash windows and a wood door in discrete locations, which are minimally visible from public rights-of-way. At the rear, the proposed project would construct a wood deck and stair, which would be located at the rear of the subject property and would not be visible from the public rights-of-way. This new deck allows a clear reading of the existing building's form and massing, since it would be located along the rear façade, is one-stories in height, and would not impact any significant historic characteristics of the subject property. Finally, the new skylights would not impact any historic materials or features of the subject property or district, and would be low in profile. Therefore, the proposed project complies with Rehabilitation Standard 2.

Standard 3: Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

The proposed project does not include the addition of conjectural elements or architectural features from other buildings. The new work will not create a false sense of historical development and would be compatible with the surrounding district. Therefore, the proposed project complies with Rehabilitation Standard 3.

Standard 4: Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

The proposed project does not involve alterations to the subject building, which have acquired significance in their own right. The existing front staircase does not possess historical significance and does not contribute to the district's historic character. Therefore, the proposed project complies with Rehabilitation Standard 4.

Standard 5: Distinctive features, finishes, and construction techniques or examples of fine craftsmanship that characterize a property will be preserved.

The proposed project maintains and preserves the subject property's distinctive finishes and character-defining features, including, but not limited to, its overall mass and form, double-hung wood-sash windows, gable roof, and wood siding. The proposed project does include alteration of the existing gable roof to accommodate new skylights; however, the original form of the roof and overall building is still apparent despite the new alteration. Similarly, the project calls for new sliding glass doors on the rear façade, which is not visible from any public right-of-way and is ancillary to the overall significance of the building. Therefore, the proposed project complies with Rehabilitation Standard 5.

Standard 6: Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacements of a distinctive feature, the new feature will match the old in design, color, texture and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

The proposed project does not call for the repair or replacement of any deteriorated historic features. The project does include insertion of new compatible wood-sash windows on a secondary facade; however, this alteration does not affect any existing feature. Therefore, the proposed project complies with Rehabilitation Standard 6.

Standard 7: Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

The proposed project does not involve chemical or physical treatments. Therefore, the proposed project complies with Rehabilitation Standard 7.

Standard 8: Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures will be undertaken.

The proposed project does not include excavation or foundation work. During the project, appropriate mitigation and protection measures will be undertaken if any archaeological resource is uncovered. Therefore, the proposed project complies with Rehabilitation Standard 8.

Standard 9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

The proposed project includes exterior alterations to the subject property, including construction of a new front entry stair, replacement of the side entry door and construction of a new rear deck.

On the front façade, the new wood, straight-run entry stair and handrails on the primary facade would reinforce the subject property's historic character by removing a non-historic feature and introducing a stair and handrail design that is compatible with the building's architectural style and surrounding district. The simple design of the front entry stair is consistent with other Pelton cottages on the same block, which feature simple dog-leg or straight run staircases. Wood handrails and stairs are a character-defining feature of the surrounding district.

Also on the front facade, the project would replace the existing paneled side entry door with a new wooden side entry door with vertically-oriented wood siding. This new door draws from the existing building's dominant material--horizontal wood siding. Wood siding is a character-

defining feature of the residential properties in the surrounding district; therefore, this alteration appropriate fits within the context of the surrounding area.

On the south and rear facades, the proposed façade alterations introduce compatible window and doors materials on secondary facades, which are minimally visible from the public rights-of-way. All new windows and doors are wood, which is a common characteristic of the residential properties in the surrounding landmark district.

At the rear, the new second-story rear deck and stair are clearly differentiated from the historic mass of the original residence, since the new deck projects from the original mass of the historic residence. The new rear deck is compatible with the subject property's overall historic character, since the new work is occurring on a rear and non-visible façade, the new deck would be constructed of wood, which is a common material found within the surrounding district, and the new deck is differential in scale to the mass of the original residence.

Overall, the proposed project maintains the historic integrity of the subject property and provides alterations, which are compatible, yet differentiated with the historic residence. Therefore, the proposed project complies with Rehabilitation Standard 9.

Standard 10: New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The proposed project includes construction of a second-story rear deck, which would be located behind the existing two-story residence. This new deck would not affect the essential form and integrity of the landmark district, and does not impact any character-defining features of the subject property. Therefore, the proposed project complies with Rehabilitation Standard 10.

Summary: The Department finds that the overall project is consistent with the *Secretary of the Interior Standards for Rehabilitation*.

PUBLIC/NEIGHBORHOOD INPUT

As of January 9, 2015, the Department has received one public inquiry on the proposed project, which did not express either support or opposition to the project.

ISSUES

In January 2008, a fire damaged the interior of 911 Minnesota Street. Subsequent work by the previous owner attempted to rectify past issues with the subject property. The proposed project is being undertaken by a new property owner.

STAFF ANALYSIS

Included as an exhibit are architectural drawings of the existing building and the proposed project. Based on the requirements of Article 10 and the *Secretary of Interior's Standards*, Department staff has determined the following:

Construction of Front Entry Stair and New Side Entry Door: The proposed project includes construction of a new front entry stair and railing and a new side entry door on the front façade facing Minnesota Street. This alteration would comply with the Secretary of the Interior's Standards for Rehabilitation and the requirements of Article 10 of the San Francisco Planning Code, since this work would remove an incompatible staircase, and new work would be compatible with the existing historic features.

Rear Deck: The proposed project includes a second-story deck on the rear facade. This work would occur on the rear facade and would not be visible from any public right-of-way. The mass, scale and location of the new rear deck is consistent and compatible with the rear deck found on other contributing properties within the surrounding district. Further, this work would not impact any character-defining features of the subject property or surrounding landmark district. Therefore, this alteration would comply with the Secretary of the Interior's Standards for Rehabilitation and the requirements of Article 10 of the San Francisco Planning Code, since the new work would be compatible with the historic features.

Secondary and Rear Facade Alterations: The façade alterations on the side and rear façades primarily consist of adding new windows and doors on the ground and second floors. These alterations would not remove any character-defining historic materials, and would be in discrete locations, which would be minimally visible from the public right-of-way, especially given the close proximity and density of the surrounding block. The new materials on these facades (wood-siding and wood-sash windows) would be in alignment with the district's character-defining features, which include wood siding and wood-sash windows. Therefore, this alteration would comply with the Secretary of the Interior's Standards for Rehabilitation and the requirements of Article 10 of the San Francisco Planning Code, since the new work would be compatible with the historic features.

Skylights: The proposed project includes installation of new skylights on the gable roof, behind the false front parapet. The new skylights would be constructed with a low-profile aluminum-sash system. The new skylights would not impact any character-defining features of the subject property or surrounding landmark district. To ensure compatibility with the surrounding district, the Department has included a condition of approval to review the final details for the skylights to ensure a low profile and compatible skylight system.

Summary: Department staff finds that proposed work will be in conformance with the Secretary's Standards and requirements of Article 10, as the proposed work shall not adversely affect the special character or special historical, architectural, or aesthetic interest or value of the landmark and its site.

CONDITIONS OF APPROVAL

To ensure that the proposed work is undertaken in conformance with this Certificate of Appropriateness, staff recommends the following conditions:

- Prior to approval of the Building Permit, the Project Sponsor shall provide additional information on the proposed skylight system, including dimensions, waterproofing details, and product information. Proposed skylights shall be low-in profile and constructed with materials compatible with the surrounding district.

ENVIRONMENTAL REVIEW STATUS

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 and 31 Categorical Exemption (CEQA Guideline Sections 15301 and 15331) because the project involves exterior and interior alteration to the existing building and meets the *Secretary of the Interior's Standards for Rehabilitation*.

PLANNING DEPARTMENT RECOMMENDATION

Planning Department staff recommends APPROVAL WITH CONDITIONS of the proposed project as it appears to meet the *Secretary of the Interior Standards for Rehabilitation* and requirements of Article 10.

ATTACHMENTS

Draft Motion

Exhibits, including Parcel Map, Sanborn Map, Zoning Map, Aerial Photos, and Site Photos

Architectural Drawings

Public Correspondence

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SAN FRANCISCO PLANNING DEPARTMENT

Historic Preservation Commission Motion No. XXXX

HEARING DATE: JANUARY 21, 2015

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ADOPTING FINDINGS FOR A CERTIFICATE OF APPROPRIATENESS FOR PROPOSED WORK DETERMINED TO BE APPROPRIATE FOR AND CONSISTENT WITH THE PURPOSES OF ARTICLE 10, TO MEET THE STANDARDS OF ARTICLE 10 AND TO MEET THE SECRETARY OF INTERIOR'S STANDARDS FOR REHABILITATION, FOR THE PROPERTY LOCATED ON LOT 002F IN ASSESSOR'S BLOCK 4107, DESIGNATED AS A CONTRIBUTING RESOURCE TO THE DOGPATCH LANDMARK DISTRICT, AND LOCATED WITHIN RH-3 (RESIDENTIAL, HOUSE, THREE-FAMILY) ZONING DISTRICT AND A 40-X HEIGHT AND BULK DISTRICT.

PREAMBLE

WHEREAS, on April 10, 2014, Karen Curtiss of Red Dot Studio (Project Sponsor) on behalf of Patrice Martin and Nathan Wilson (Property Owners), filed an application with the San Francisco Planning Department (Department) for a Certificate of Appropriateness for exterior alterations and a second-story rear deck to the subject property located on Lot 002F in Assessor's Block 4107.

WHEREAS, the Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 and Class 31 Categorical Exemption (CEQA Guideline Section 15301 and 15331) because the project involves exterior and interior alteration to the existing building and meets the *Secretary of the Interior's Standards for Rehabilitation*.

WHEREAS, the Planning Department, Jonas Ionin, is the custodian of records, located in Case No. 2014.0522A at 1650 Mission Street, Fourth Floor, San Francisco, California; and

WHEREAS, on January 21, 2015, the Commission conducted a duly noticed public hearing on the current project, Case No. 2014.0522A (Project) for its appropriateness.

WHEREAS, in reviewing the Application, the Commission has had available for its review and consideration case reports, plans, and other materials pertaining to the Project contained in the Department's case files, has reviewed and heard testimony and received materials from interested parties during the public hearing on the Project.

MOVED, that the Commission hereby grants a Certificate of Appropriateness WITH CONDITIONS, in conformance with the project information dated January 2, 2015 and labeled Exhibit A on file in the docket for Case No. 2014.0522A based on the following findings:

CONDITIONS OF APPROVAL

To ensure that the proposed work is undertaken in conformance with this Certificate of Appropriateness, staff recommends the following conditions:

- Prior to approval of the Building Permit, the Project Sponsor shall provide additional information on the proposed skylight system, including dimensions, waterproofing details, and product information. Proposed skylights shall be low-in profile and constructed with materials compatible with the surrounding district.

FINDINGS

Having reviewed all the materials identified in the recitals above and having heard oral testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and also constitute findings of the Commission.
2. Findings pursuant to Article 10:

The Historic Preservation Commission has determined that the proposed work is compatible with the character of the Dogpatch Landmark District as described in designating ordinance and Article 10 of the San Francisco Planning Code.

- That the proposed project features exterior alterations and a rear deck, which are compatible with the landmark district, since this new work does not destroy historic materials, and provides for alterations, which are compatible, yet differentiated.
- That the essential form and integrity of the landmark district and its environment would be unimpaired if the alterations were removed at a future date.
- That the proposal respects the character-defining features of the Dogpatch Landmark District.
- The proposed project meets the requirements of Article 10.
- The proposed project meets the *Secretary of the Interior's Standards for Rehabilitation*, including:

Standard 2.

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

Standard 9.

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Standard 10.

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

3. **General Plan Compliance.** The proposed Certificate of Appropriateness is, on balance, consistent with the following Objectives and Policies of the General Plan:

I. URBAN DESIGN ELEMENT

THE URBAN DESIGN ELEMENT CONCERNS THE PHYSICAL CHARACTER AND ORDER OF THE CITY, AND THE RELATIONSHIP BETWEEN PEOPLE AND THEIR ENVIRONMENT.

GOALS

The Urban Design Element is concerned both with development and with preservation. It is a concerted effort to recognize the positive attributes of the city, to enhance and conserve those attributes, and to improve the living environment where it is less than satisfactory. The Plan is a definition of quality, a definition based upon human needs.

OBJECTIVE 1

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

POLICY 1.3

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

OBJECTIVE 2

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

POLICY 2.4

Preserve notable landmarks and areas of historic, architectural or aesthetic value, and promote the preservation of other buildings and features that provide continuity with past development.

POLICY 2.5

Use care in remodeling of older buildings, in order to enhance rather than weaken the original character of such buildings.

POLICY 2.7

Recognize and protect outstanding and unique areas that contribute in an extraordinary degree to San Francisco's visual form and character.

The goal of a Certificate of Appropriateness is to provide additional oversight for buildings and districts that are architecturally or culturally significant to the City in order to protect the qualities that are associated with that significance.

The proposed project qualifies for a Certificate of Appropriateness and therefore furthers these policies and objectives by maintaining and preserving the character-defining features of the South End Landmark District for the future enjoyment and education of San Francisco residents and visitors.

- A) The existing neighborhood-serving retail uses will be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses will be enhanced:

The proposed project will not have any impact on any existing neighborhood serving retail uses. Currently, the site does not possess any retail uses.

- B) The existing housing and neighborhood character will be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods:

The proposed project will strengthen neighborhood character by respecting the character-defining features of Dogpatch Landmark District in conformance with the Secretary of the Interior's Standards for Rehabilitation.

- C) The City's supply of affordable housing will be preserved and enhanced:

The proposed project does not impact any affordable housing. The project site is a single-family residence and does not possess any affordable housing units.

- D) The commuter traffic will not impede MUNI transit service or overburden our streets or neighborhood parking:

The proposed project will not result in commuter traffic impeding MUNI transit service or overburdening the streets or neighborhood parking.

- E) A diverse economic base will be maintained by protecting our industrial and service sectors from displacement due to commercial office development. And future opportunities for resident employment and ownership in these sectors will be enhanced:

The proposed project does not include commercial office development.

- F) The City will achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

Preparedness against injury and loss of life in an earthquake is unaffected by the proposed work. The proposed project included a seismic upgrade, which will be executed in compliance with all applicable construction and safety measures.

- G) That landmark and historic buildings will be preserved:

The proposed project is in conformance with Article 10 of the Planning Code and the Secretary of the Interior's Standards for Rehabilitation.

- H) Parks and open space and their access to sunlight and vistas will be protected from development:

The proposed project will not impact the access to sunlight or vistas for parks and open space.

4. For these reasons, the proposal overall, is appropriate for and consistent with the purposes of Article 10, meets the standards of Article 10, and the *Secretary of Interior's Standards for Rehabilitation*, General Plan and Prop M findings of the Planning Code.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **GRANTS WITH CONDITIONS a Certificate of Appropriateness** for the property located at Lot 007F in Assessor's Block 4107 for proposed work in conformance with the project information dated January 2, 2015, labeled Exhibit A on file in the docket for Case No. 2014.0522A.

APPEAL AND EFFECTIVE DATE OF MOTION: The Commission's decision on a Certificate of Appropriateness shall be final unless appealed within thirty (30) days. Any appeal shall be made to the Board of Appeals, unless the proposed project requires Board of Supervisors approval or is appealed to the Board of Supervisors, such as a conditional use, in which case any appeal shall be made to the Board of Supervisors (see Charter Section 4.135).

Duration of this Certificate of Appropriateness: This Certificate of Appropriateness is issued pursuant to Article 10 of the Planning Code and is valid for a period of three (3) years from the effective date of approval by the Historic Preservation Commission. The authorization and right vested by virtue of this action shall be deemed void and canceled if, within 3 years of the date of this Motion, a site permit or building permit for the Project has not been secured by Project Sponsor.

THIS IS NOT A PERMIT TO COMMENCE ANY WORK OR CHANGE OF OCCUPANCY UNLESS NO BUILDING PERMIT IS REQUIRED. PERMITS FROM THE DEPARTMENT OF BUILDING INSPECTION (and any other appropriate agencies) MUST BE SECURED BEFORE WORK IS STARTED OR OCCUPANCY IS CHANGED.

I hereby certify that the Historic Preservation Commission ADOPTED the foregoing Motion on January 21, 2015.

Jonas P. Ionin
Commission Secretary

AYES:

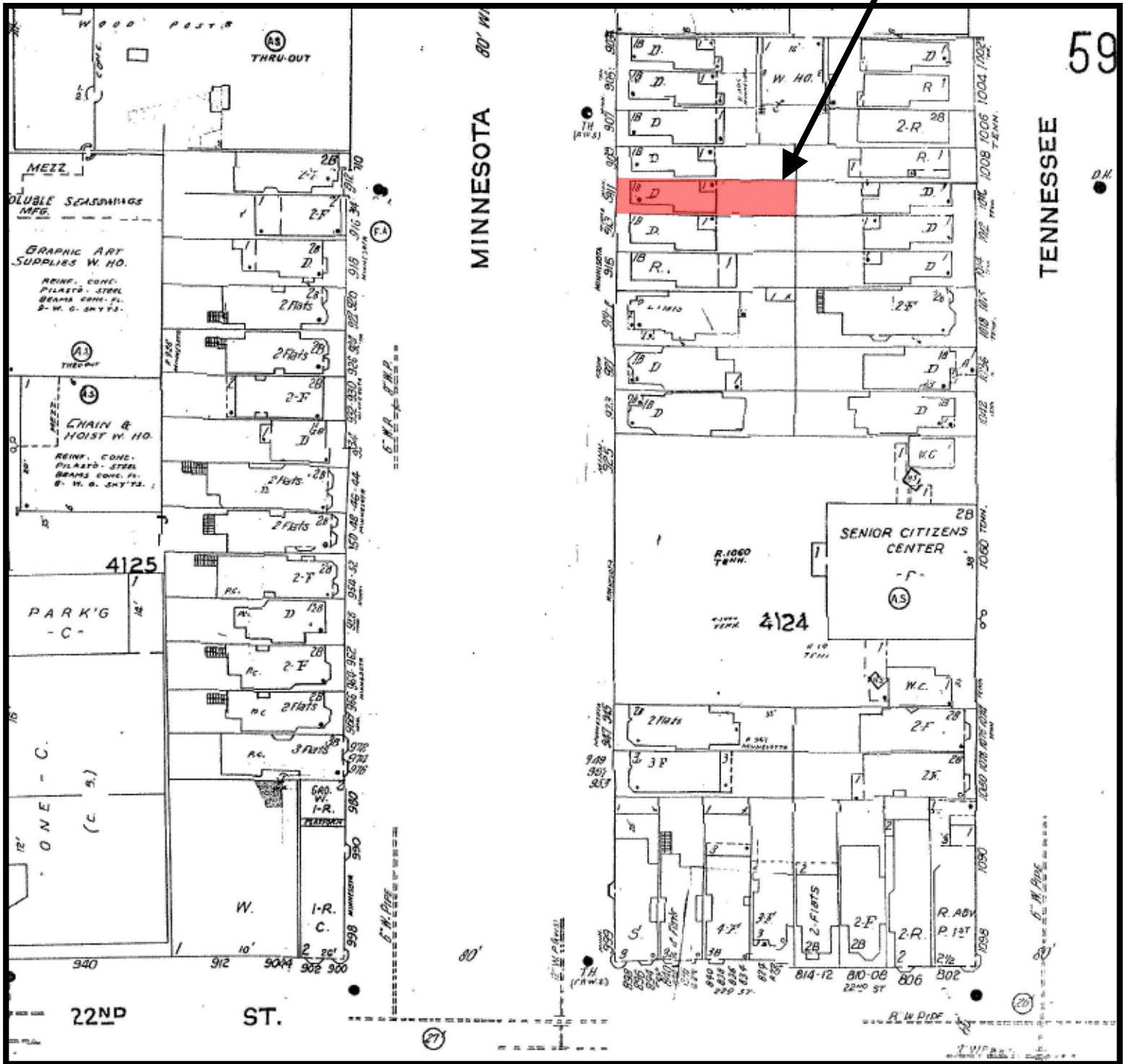
NAYS:

ABSENT:

ADOPTED: January 21, 2015

Sanborn Map*

SUBJECT PROPERTY

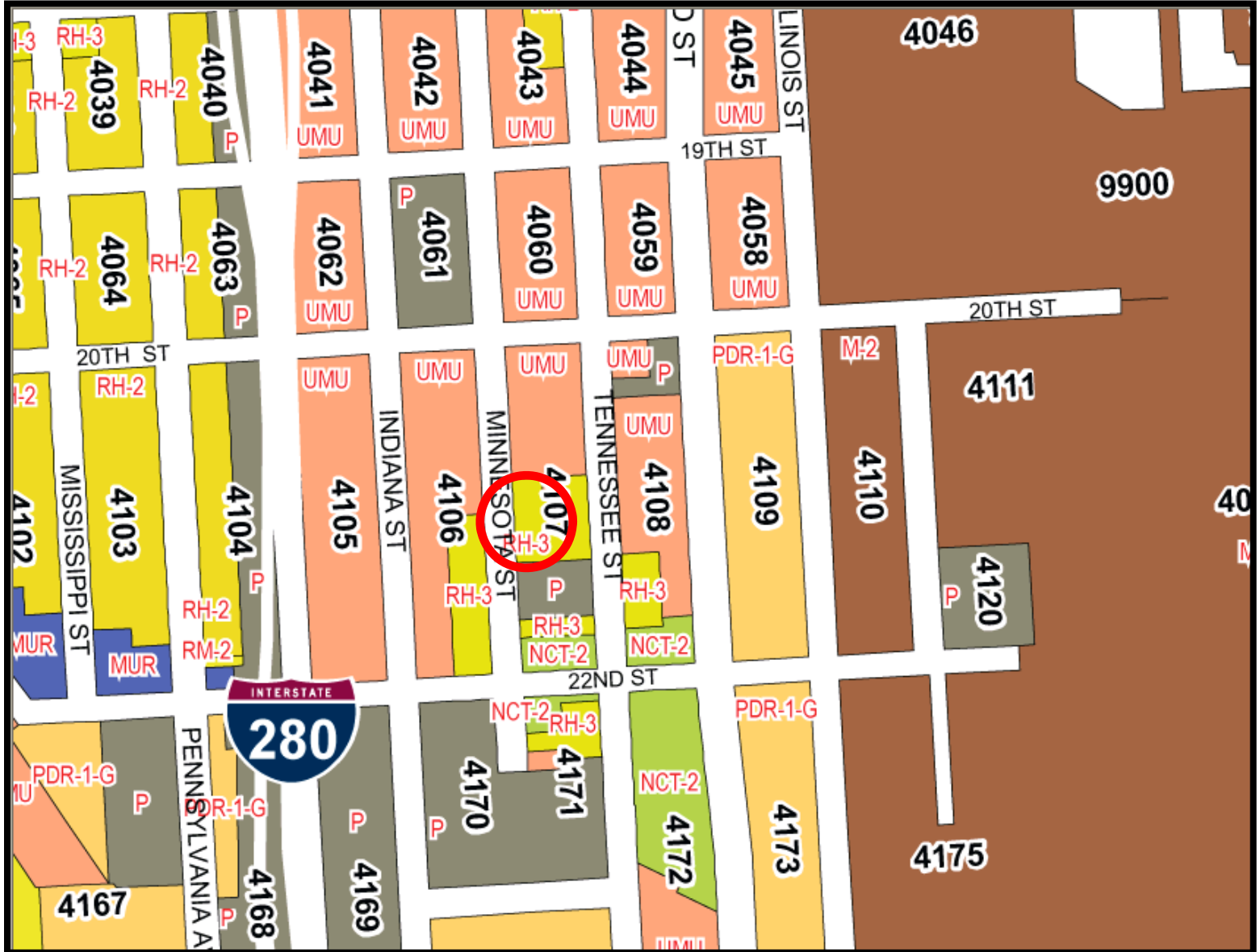


*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Certificate of Appropriateness Hearing
Case Number 2014.0522A
911 Minnesota Street

Zoning Map



Certificate of Appropriateness Hearing
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911 Minnesota Street

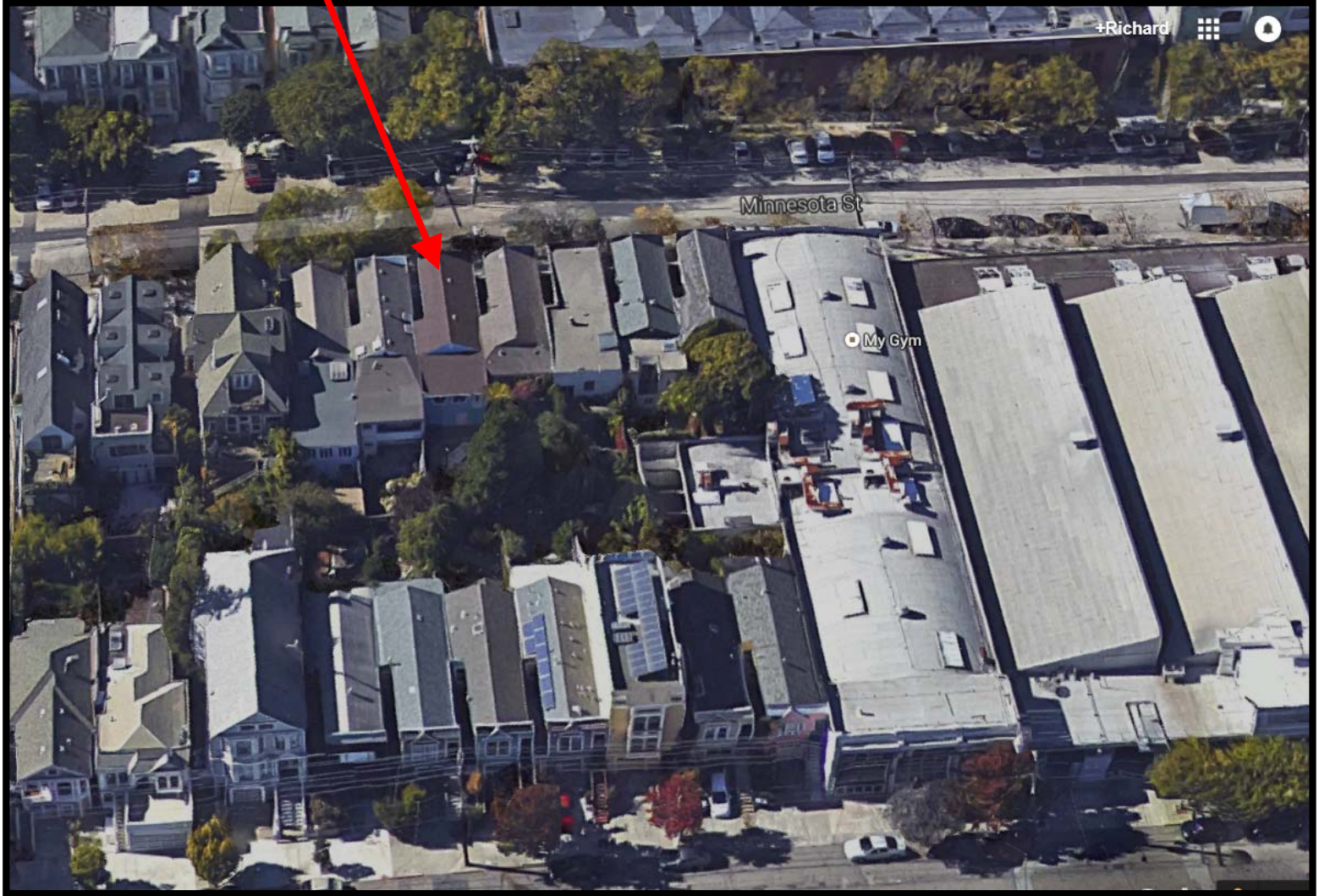
Aerial Photo

SUBJECT PROPERTY

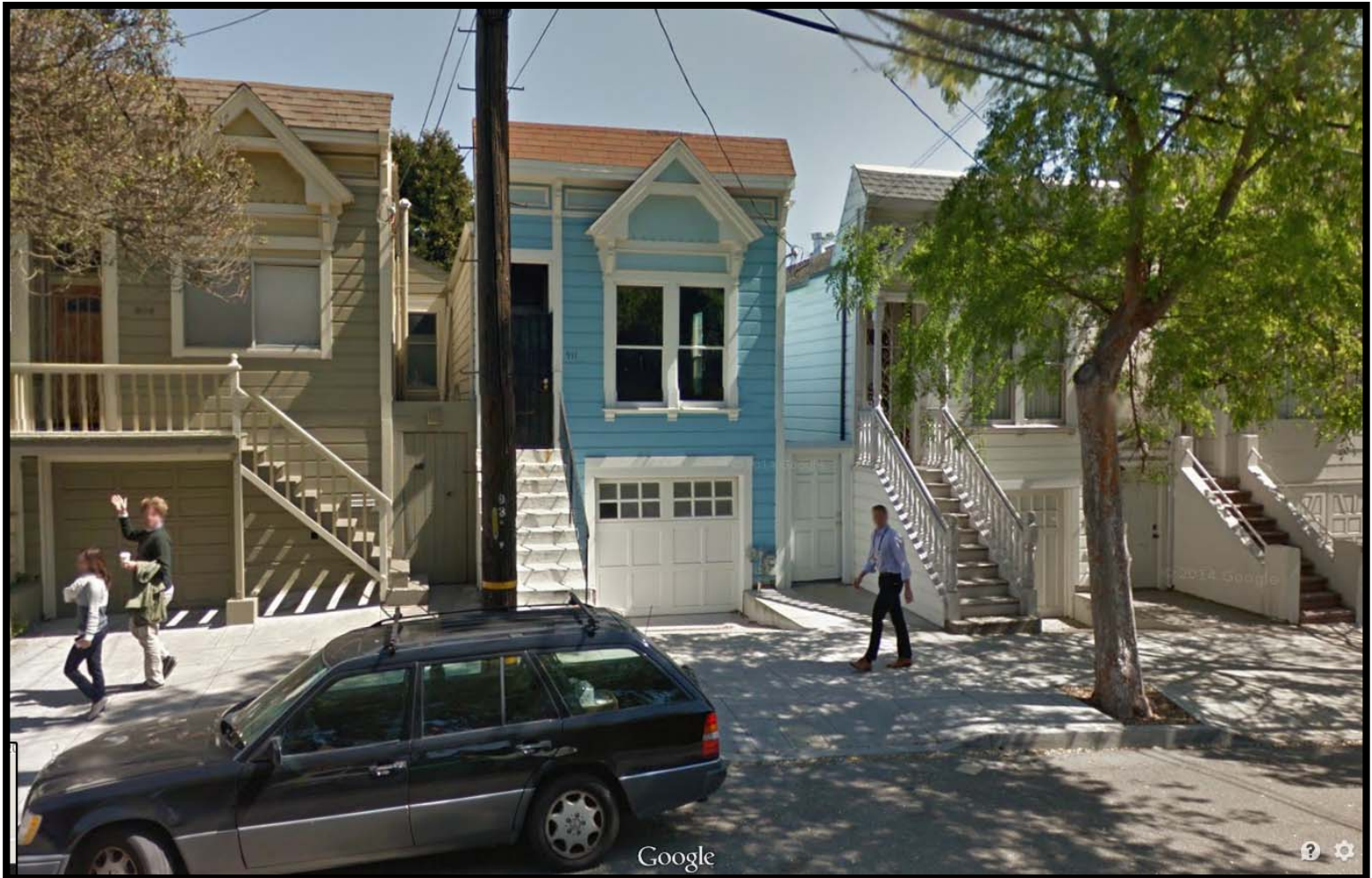


Aerial Photo

SUBJECT PROPERTY



Site Photo



911 Minnesota Street, March 2014 (Source: Google Maps)

Certificate of Appropriateness Hearing
Case Number 2014.0522A
911 Minnesota Street

VICINITY MAP



PROJECT INFO

Block and Lot: 4107/002F
 Construction Type: V-B
 Occupancy: R-3
 Zoning: RH-3
 Sprinklered: NO
 Fire Alarm: NO

Scope of Work:
 Interior remodel of existing residence
 under separate permit: # 2014-05-23-6674
 New rear and side yard windows. New sky lights.
 New deck at rear.
 No change to the size of the building envelope.

APPLICABLE CODES

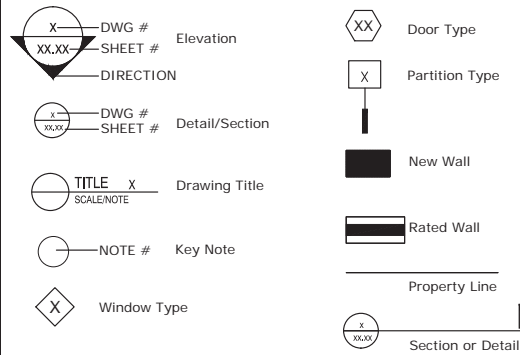
2013 California Codes
 2013 California Building Code
 2013 California Electrical Code
 2013 California Mechanical Code
 2013 California Plumbing Code
 2013 Green Building Code

2013 California Energy Code - Effective July 1, 2014
 2013 San Francisco Code Amendments
 2013 San Francisco Building Code Amendments
 2013 San Francisco Electrical Code Amendments
 2013 San Francisco Mechanical Code Amendments
 2013 San Francisco Plumbing Code Amendments
 2013 San Francisco Green Building Code Amendments
 2013 San Francisco Housing Code

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SYMBOLS



ABBREVIATIONS

ADJ. Adjustable, Adjacent	PTD. Painted
AFF. Above Finished Floor	QTY. Quantity
D. Dryer	R. Riser
DIM. Dimension	REQ. Required
DN. Down	RWL. Rain Water Leader
DWG. Drawing	S. South
CH. Ceiling Height	SF. Square Feet
(E). Existing	SIM. Similar
EA. Each	SQ. Square
EQ. Equal	SS. Stainless Steel
EX. Existing	SSD. See Structural Drawings
FAU. Forced Air Unit	T. Tread
FL. Fluorescent	THK. Thick
GLS. Glass	TYP. Typical
GYP. Gypsum Wall Board	UON. Unless Otherwise Noted
HB. Hose Bibb	VIF. Verify In Field
HT. Height	W. West or Width or Washer
MAX. Maximum	W/. With
MIN. Minimum	W/O. Without
N. North	WD. Wood
(N). New	WO. Where Occurs
NTS. Not To Scale	&. And
OC. On Center	@. At
OFCI. Owner Furnished Contractor Installed	#. Number, Pound
OP. Operable	
OPP. Opposite	
OS. Occupancy Sensor	

GENERAL NOTES

- Verify all dimensions before proceeding with the work. Notify the architect immediately of any discrepancy or variation. Do not proceed with affected work until the variation or discrepancy is resolved.
- Do not scale drawings. If unable to locate dimensions for any item of work, consult architect for direction before proceeding.
- Dimensions are to:
 - face of interior finished wall
 - face of exterior finished wall
 - center line of column grid
 - face of door
- Heights shown or noted AFF are to be measured from top of finish floor material.
- If drawing is less than 24" x 36" it has been scaled from the original size.
- Details shown on drawings shall be incorporated into the project at all appropriate locations whether specifically referenced at each location or not.
- Install necessary blocking, backing, framing, hangers, and other support for fixtures, equipment, shelving and casework.
- The contractor shall be responsible for and shall supervise all cutting and patching of finished work already installed if made necessary by errors, changes, or other reasons. All replacement work shall match adjoining surfaces with no visible markings of redo/repair work.
- It shall be the responsibility of the contractor to provide all supports, anchors, clips, fasteners, braces, and reinforcements for all assemblies, systems, fixed equipment, accessories, and so forth, that are a part of the structural system, have been shown, specified, or sized or are reasonably required to complete the work in conformance with the contract documents. The contractor shall also provide calculations for all such items as required by the authority having jurisdiction.
- If a discrepancy exists between drawings, between drawings and specifications or within the specifications, such discrepancy shall be brought to the attention of the architect prior to installation of said work. Do not proceed with affected work until the variation or discrepancy is resolved.
- The contractor shall not fabricate or install any work where they have reasonable knowledge that the contract documents may be in conflict with applicable codes or interpretation of the authority having jurisdiction. Any such information shall be immediately brought to the attention of the architect who shall issue a resolution of the conflict.
- Electrical, mechanical and plumbing systems are shown for intent only. These systems shall be engineered by others and the contractor shall be responsible for proper installation to all applicable state and local codes.
- Relocate plumbing vents, hose bibs and electrical conduit as required for new construction.
- Provide smoke/CO2 alarms as required by code.
- Compliance with the San Francisco Construction & Demolition Debris Ordinance 27-05.
- Pest protection at exterior walls as per DBI guidelines.
- Moisture content shall be verified in compliance with CalGreen 4.505.3.
- HVAC qualified installer per CalGreen 702.1
- Cover duct openings & protect mechanical equipment during construction.
- Composite wood products per CalGreen Table 4.504.5.
- Low-VOC aerosol paints and coatings at habitable space.
- Low VOC Caulks, Construction adhesives, and Sealants at new habitable space as per CalGreen 4.504.2.1.

DEMO CALCS

Vertical Elements			
Location	Existing Lineal Feet	Lineal Feet Removed	% Removed
Front Façade 1st	16'-2"	0	0 %
Front Façade 2nd	16'-2"	0	0 %
Rear Façade 1st	20'-0"	13'-6"	67.5 %
Rear Façade 2nd	20'-0"	13'-6"	67.5 %
North Façade 1st	53'-9"	0	0 %
North Façade 2nd	53'-9"	0	0 %
South Façade 1st	53'-9"	7'-6"	14 %
South Façade 2nd	53'-9"	5'-0"	9.3 %
Lightwell West	4'-0"	10"	20.8 %
Lightwell West 2nd	4'-0"	10"	20.8 %
Interior Partitions *	0	0	0 %

* Note: Limited non-functioning interior partitions due to fire damage.

Horizontal Elements			
Location	Total Area	Area Removed	% Removed
First Story	968 SF	0	0 %
Second Story	968 SF	127 SF	13.1 %
Roof	968 SF	79 SF	8.2 %

PROJECT TEAM

ARCHITECT
 RED DOT STUDIO
 1045 17TH ST SUITE 202
 SAN FRANCISCO CA 94107

STRUCTURAL ENGINEER
 TOFT DE NEVERS AND LEE
 11 MAIDEN LANE STE 500
 SAN FRANCISCO CA 94108

ENERGY CONSULTANT
 NRG COMPLIANCE
 730 2ND ST, SANTA ROSA, CA 95402

OWNER
 PATRICE MARTIN & NATHAN WILSON

red dot studio
 ARCHITECTURE AND DESIGN
 1045 17th St, Suite 202
 San Francisco, CA 94107

MARTIN WILSON RESIDENCE
 911 MINNESOTA STREET
 SAN FRANCISCO, CA 94107
 BLOCK 4107 LOT 002F

REVIEW	Date
AS BUILT	02.02.14
SCHEMATIC DESIGN	03.26.14
C of A	03.28.14
Building Permit	04.08.14
Exterior Permit	06.03.14
C of A Revisions	06.30.14
	10.21.14

Scale
 AS NOTED

Sheet Title

COVER SHEET

Sheet Number
 A0.01

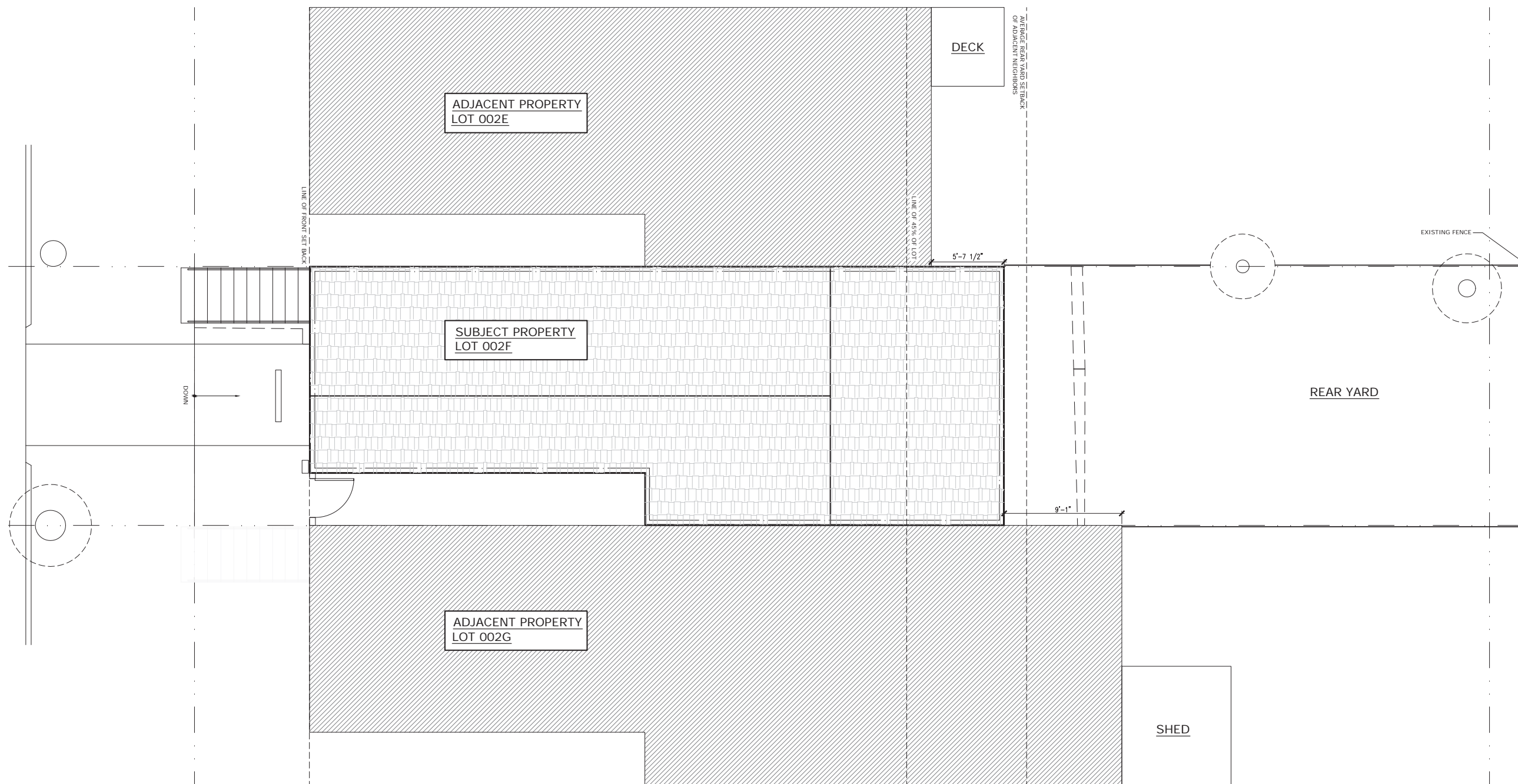
MARTIN WILSON RESIDENCE
911 MINNESOTA STREET
SAN FRANCISCO, CA 94107
BLOCK 4107 LOT 002F

REVIEW	Date
AS BUILT	02.02.14
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Scale
 AS NOTED

Sheet Title
 EXISTING SITE/
 ROOF PLAN

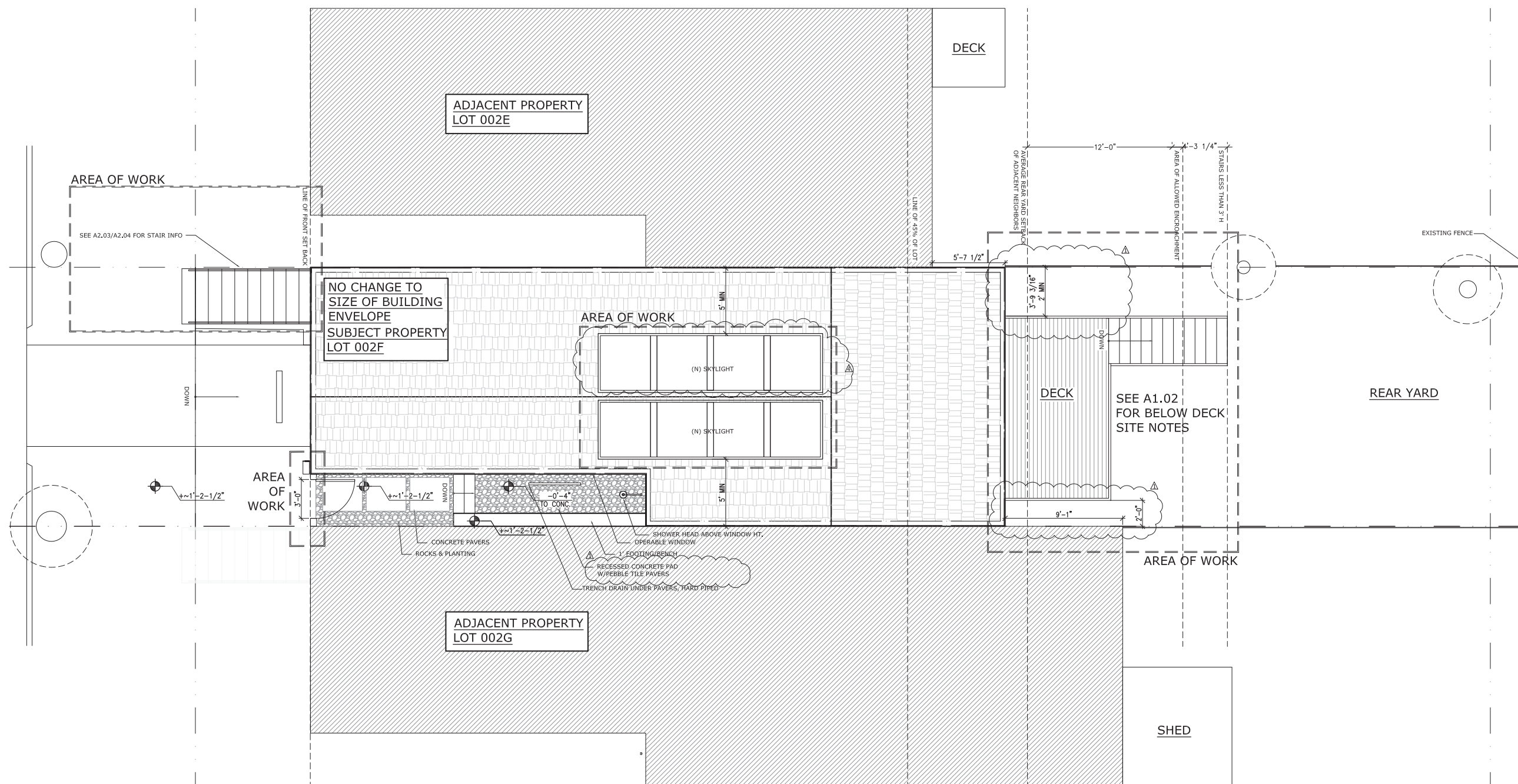
Sheet Number
A0.02



1
 A0.01 EXISTING SITE/ROOF PLAN
 1/4" = 1'-0"



MARTIN WILSON RESIDENCE
 911 MINNESOTA STREET
 SAN FRANCISCO, CA 94107
 BLOCK 4107 LOT 002F



1 PROPOSED SITE/ROOF PLAN
 A0.02 1/4" = 1'-0"



REVIEW	Date
C of A	03.28.14
Building Permit	04.08.14
Exterior Permit	06.03.14
Δ	06.30.14
C of A Revisions	10.21.14
C of A Revisions	01.02.15

Scale
 AS NOTED

Sheet Title
 PROPOSED SITE/
 ROOF PLAN

Sheet Number
 A0.03

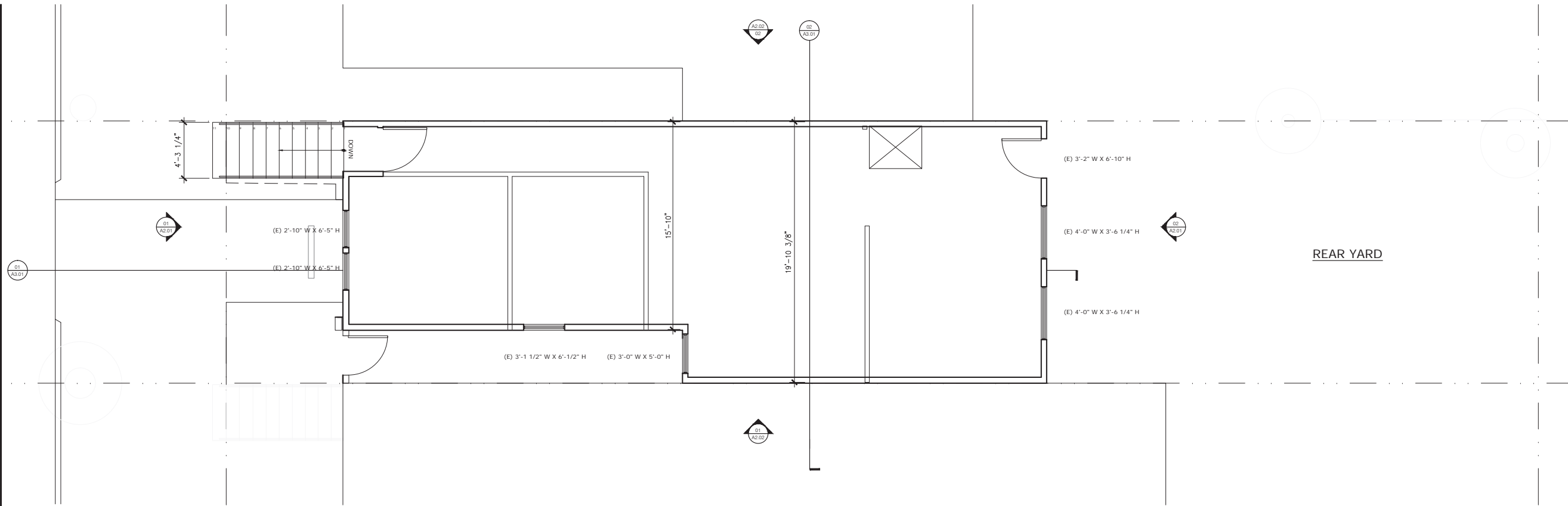
MARTIN WILSON RESIDENCE
911 MINNESOTA STREET
SAN FRANCISCO, CA 94107
BLOCK 4107 LOT 002F

REVIEW	Date
AS BUILT	02.02.14
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C of A	03.28.14
Building Permit	04.08.14
Exterior Permit	06.03.14
C of A Revisions	10.21.14

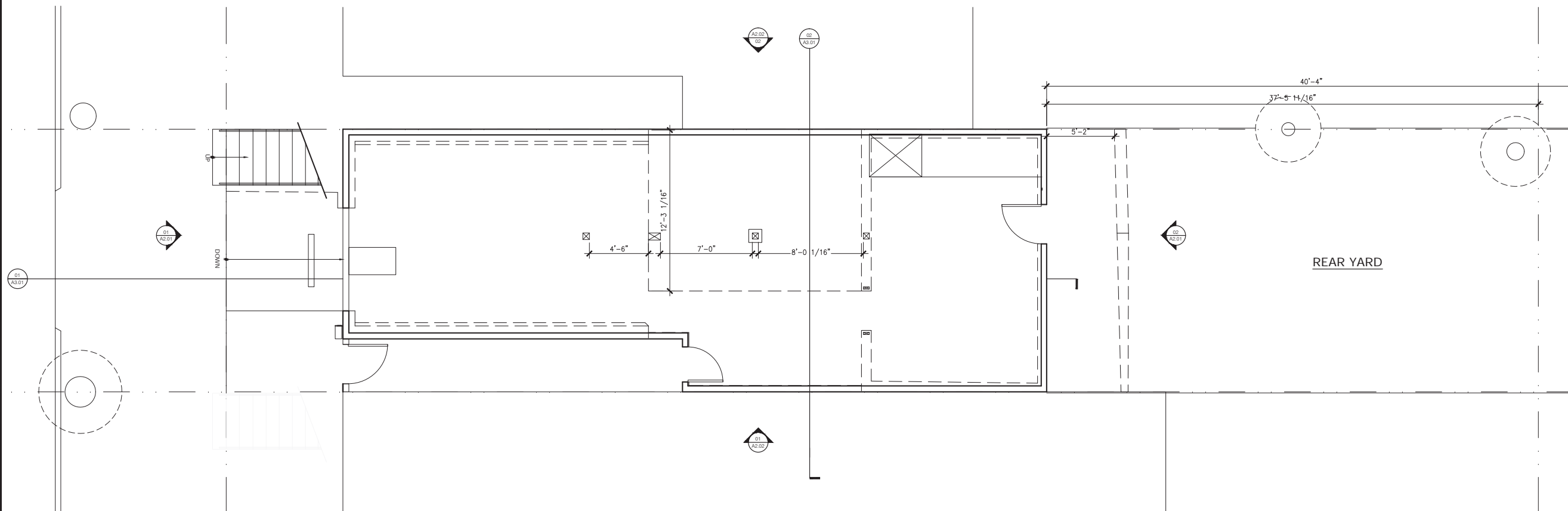
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Sheet Title
EXISTING FLOORPLANS

Sheet Number
A1.01



2 EXISTING SECOND STORY
 A1.01 1/4" = 1'-0"



1 EXISTING GROUND FLOOR
 A1.01 1/4" = 1'-0"

MARTIN WILSON RESIDENCE
911 MINNESOTA STREET
SAN FRANCISCO, CA 94107
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REVIEW	Date
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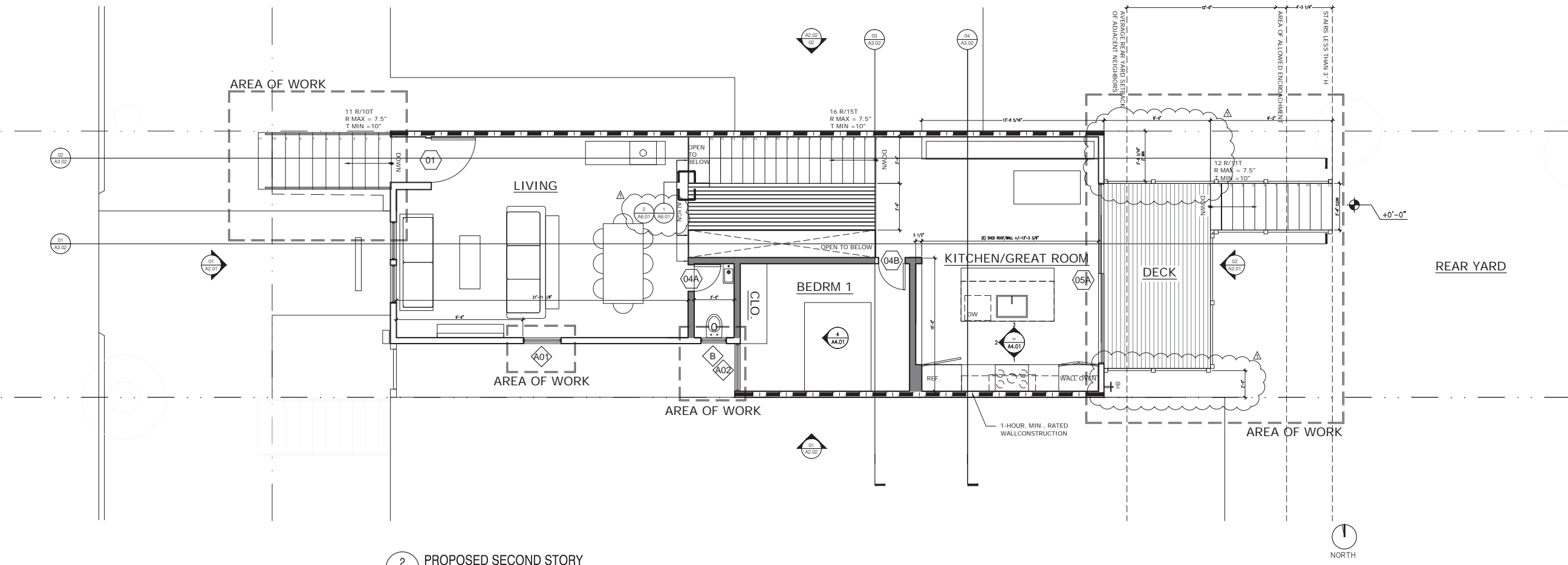
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PROPOSED FLOORPLANS

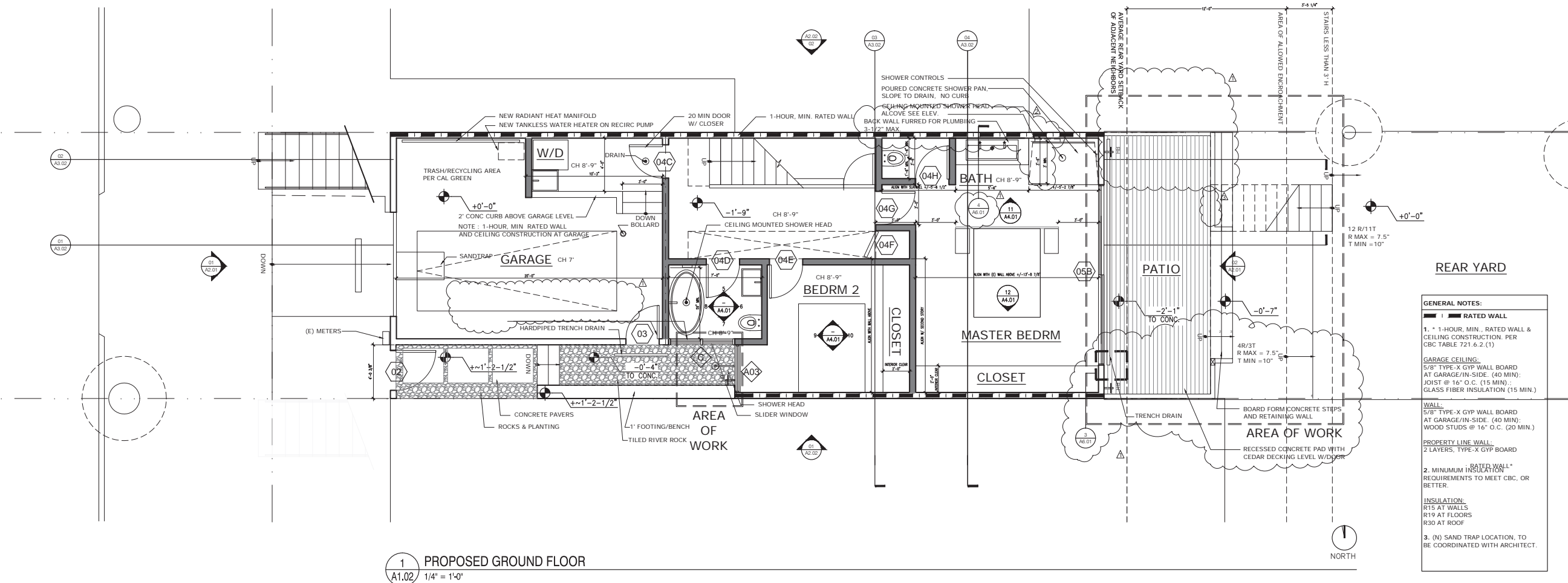
Sheet Number

A1.02

2 PROPOSED SECOND STORY
 1/4" = 1'-0"

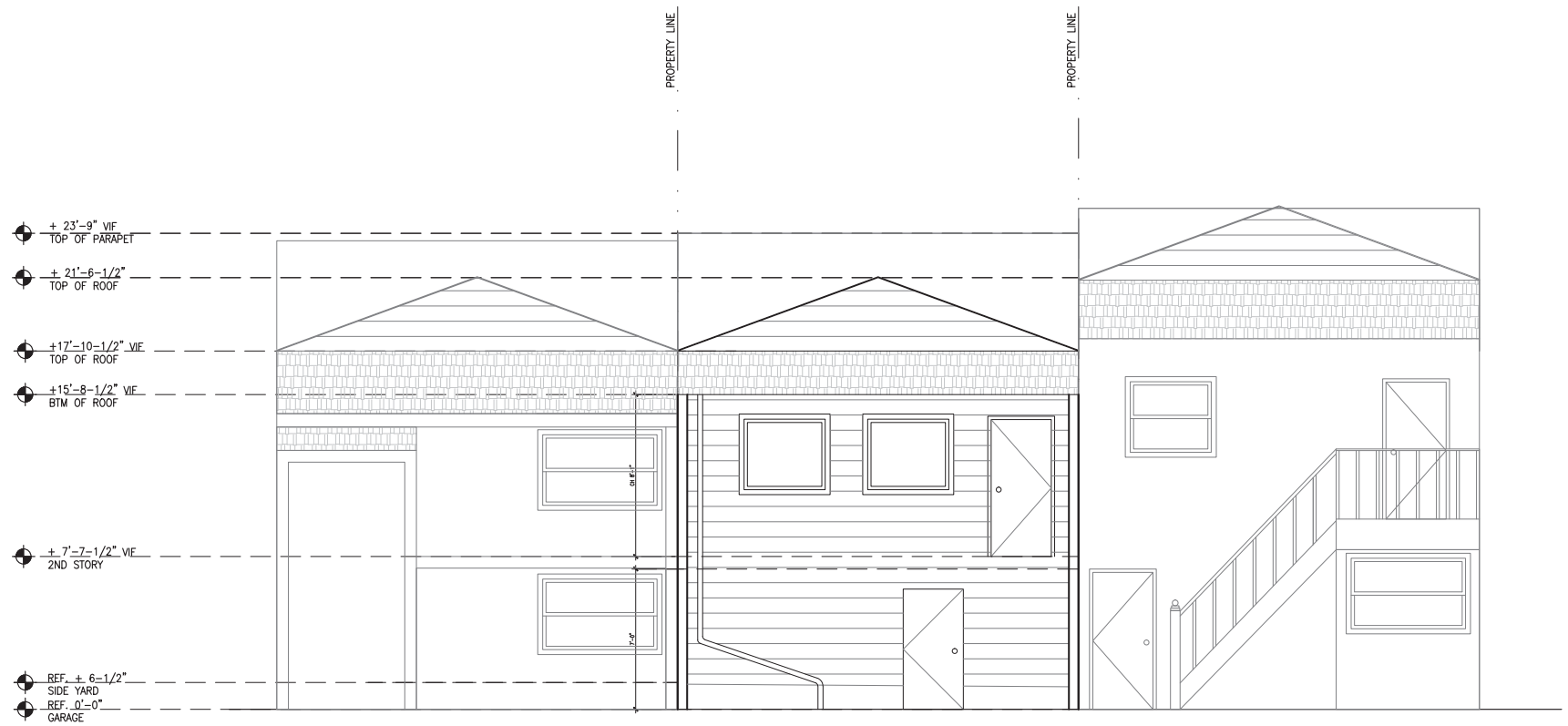


1 PROPOSED GROUND FLOOR
 1/4" = 1'-0"



- GENERAL NOTES:**
- 1. **RATED WALL**
 - 1. 1-HOUR, MIN., RATED WALL & CEILING CONSTRUCTION. PER CBC TABLE 721.6.2.(1)
 - GARAGE CEILING:**
 - 5/8" TYPE-X GYP WALL BOARD AT GARAGE/IN-SIDE. (40 MIN); JOIST @ 16" O.C. (15 MIN); GLASS FIBER INSULATION (15 MIN.)
 - WALL:**
 - 5/8" TYPE-X GYP WALL BOARD AT GARAGE/IN-SIDE. (40 MIN); WOOD STUDS @ 16" O.C. (20 MIN.)
 - PROPERTY LINE WALL:**
 - 7 LAYERS, TYPE-X GYP BOARD
 - RATED WALL***
 - REQUIREMENTS TO MEET CBC, OR BETTER.
 - INSULATION:**
 - R15 AT WALLS
 - R19 AT FLOORS
 - R30 AT ROOF
 - 3. (N) SAND TRAP LOCATION, TO BE COORDINATED WITH ARCHITECT.

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2 EXISTING EAST ELEVATION
 A2.01 1/4" = 1'-0"



1 EXISTING WEST ELEVATION
 A2.01 1/4" = 1'-0"

REVIEW	Date
AS BUILT	02.02.14
SCHEMATIC DESIGN	03.26.14
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Building Permit	04.08.14
Exterior Permit	06.03.14
C of A Revisions	10.21.14

Scale
 AS NOTED

Sheet Title
 EXISTING
 EXTERIOR ELEVATIONS

Sheet Number
 A2.01

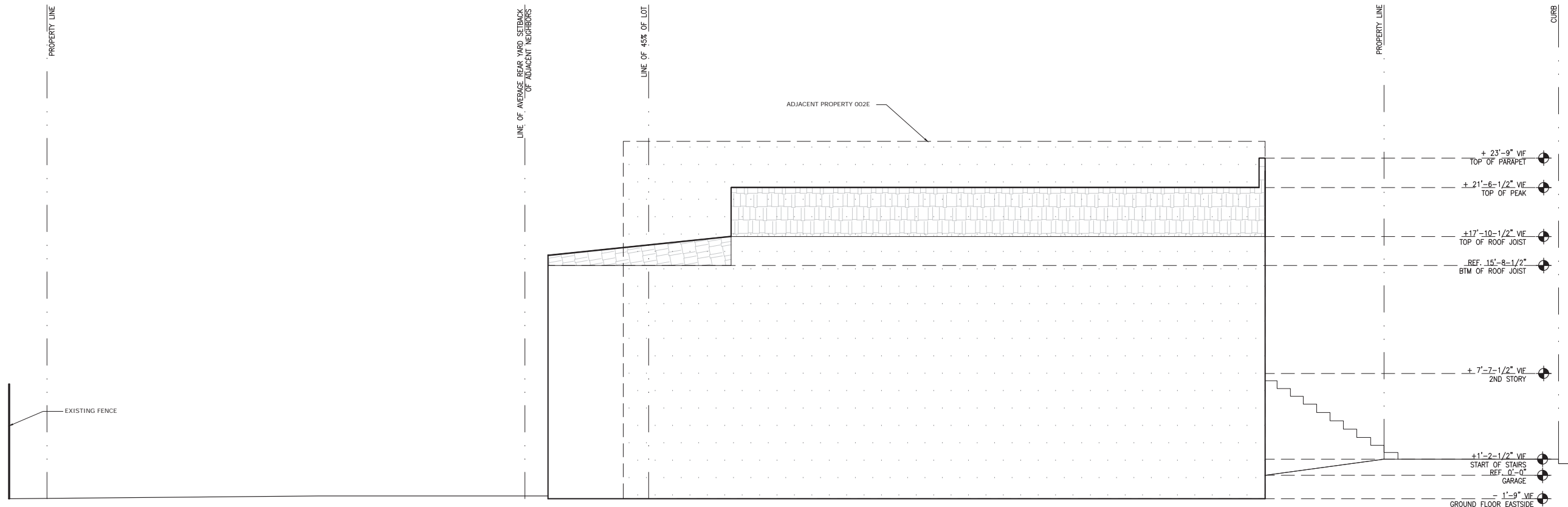
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911 MINNESOTA STREET
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BLOCK 4107 LOT 002F

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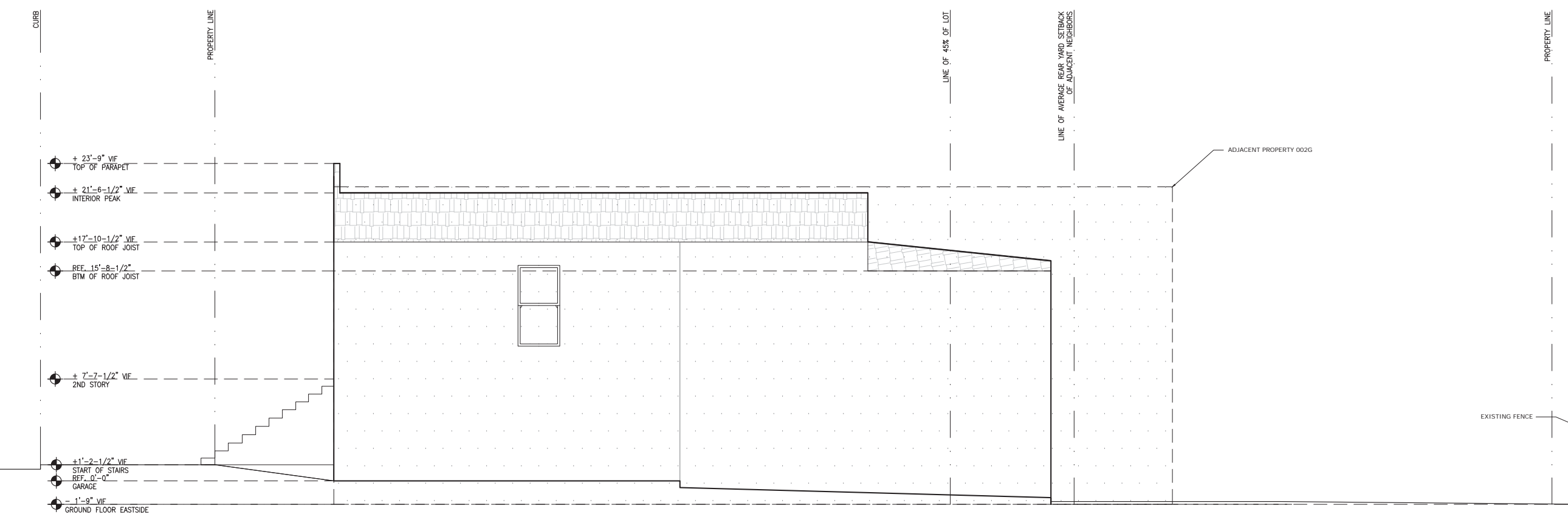
Scale
 AS NOTED

Sheet Title
EXISTING SIDE EXTERIOR ELEVATIONS

Sheet Number
A2.02



2 EXISTING NORTH ELEVATION
 A2.02 1/4" = 1'-0"



1 EXISTING SOUTH ELEVATION
 A2.02 1/4" = 1'-0"

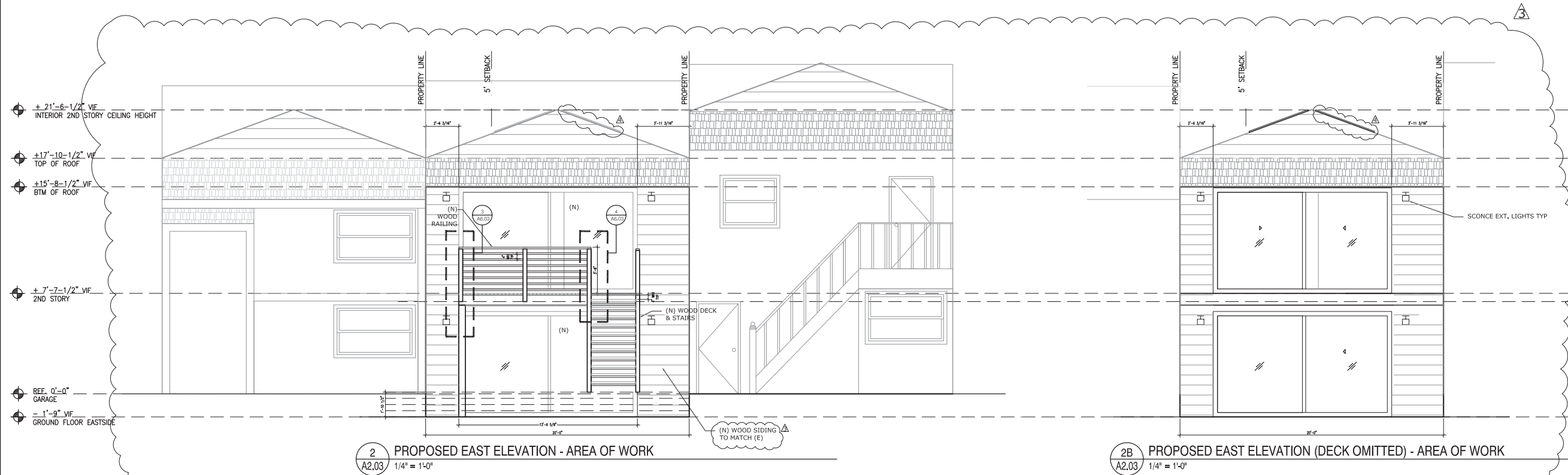
MARTIN WILSON RESIDENCE
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 SAN FRANCISCO, CA 94107
 BLOCK 4107 LOT 002F

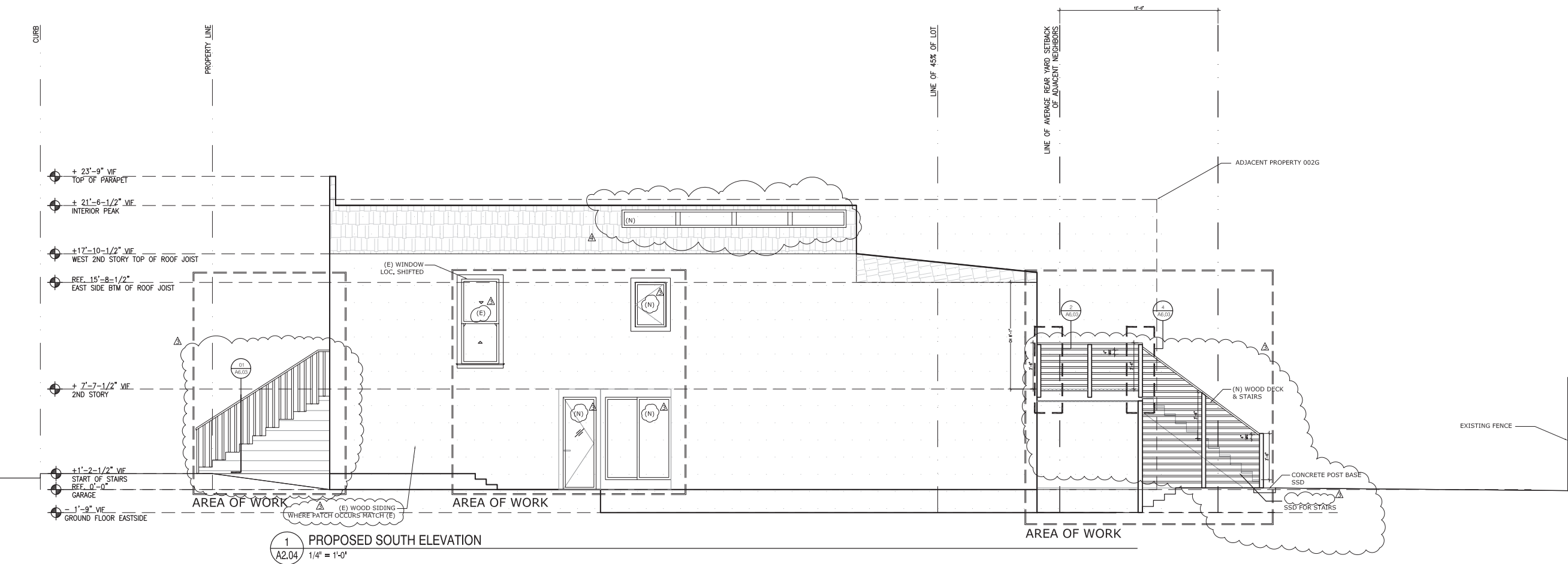
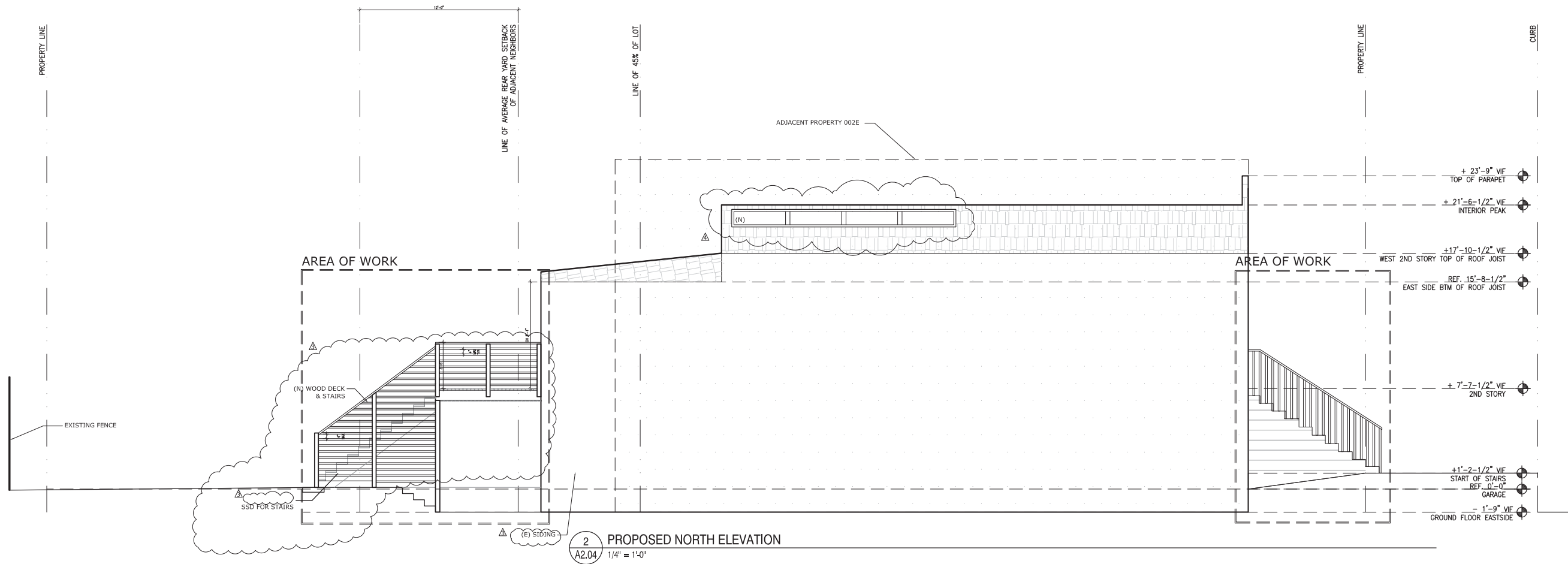
REVIEW	Date
C of A	03.28.14
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Exterior Permit	05.03.14
Revision	06.03.14
C of A Revisions	10.21.14
C of A Revisions	01.02.15

Scale
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Sheet Title
**PROPOSED
 EXTERIOR ELEVATIONS**

Sheet Number
A2.03





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BLOCK 4107 LOT 002F

REVIEW	Date
C of A	03.28.14
Building Permit	04.08.14
Exterior Permit	05.03.14
Revision	06.30.14
C of A Revisions	10.21.14
C of A Revisions	01.02.15

Scale
 AS NOTED

Sheet Title
**PROPOSED SIDE
 EXTERIOR ELEVATIONS**

Sheet Number
A2.04

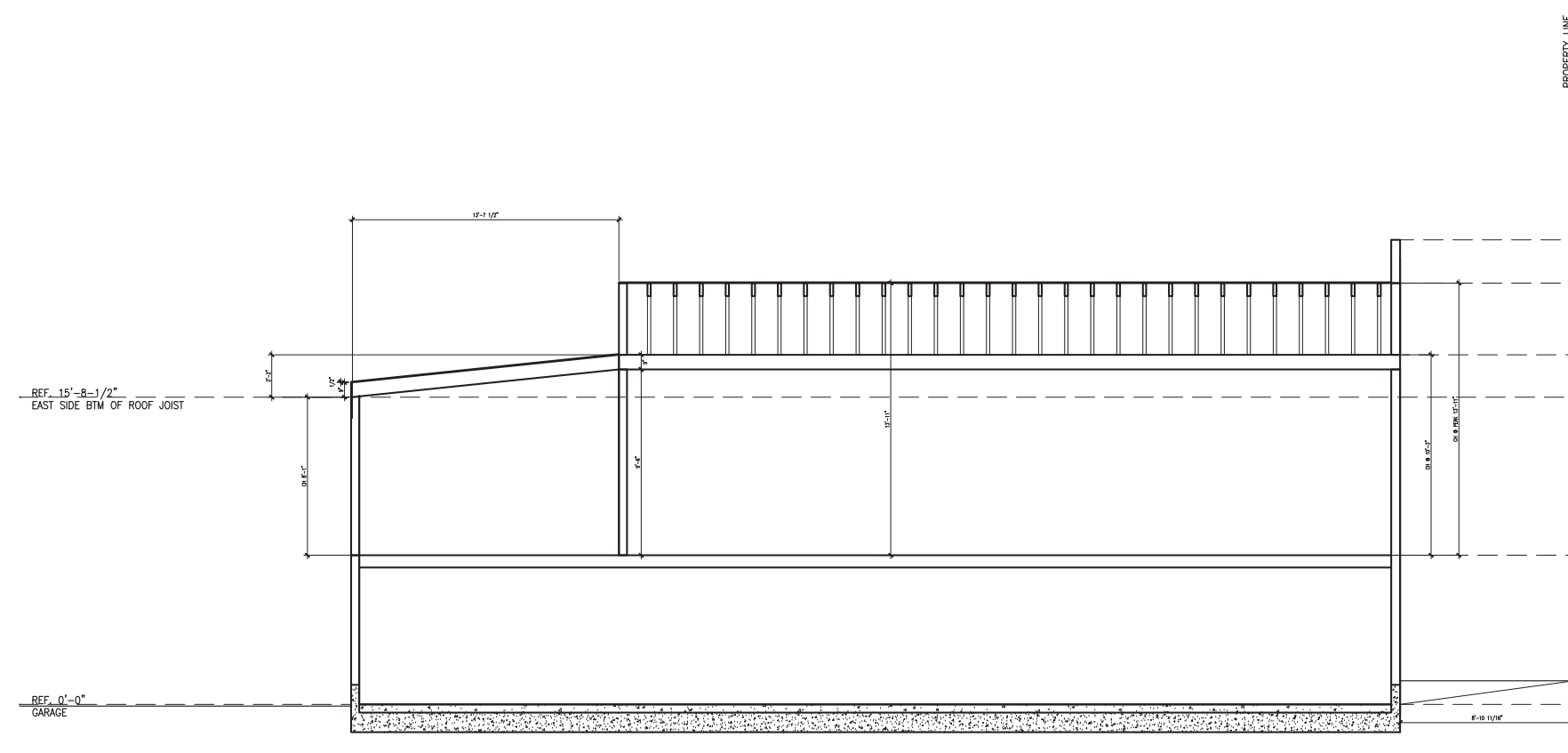
MARTIN WILSON RESIDENCE
911 MINNESOTA STREET
SAN FRANCISCO, CA 94107
BLOCK 4107 LOT 002F

REVIEW	Date
AS BUILT	02.02.14
SCHEMATIC DESIGN	03.28.14
C of A	03.28.14
Building Permit	04.08.14
Exterior Permit	06.03.14
C of A Revisions	10.21.14

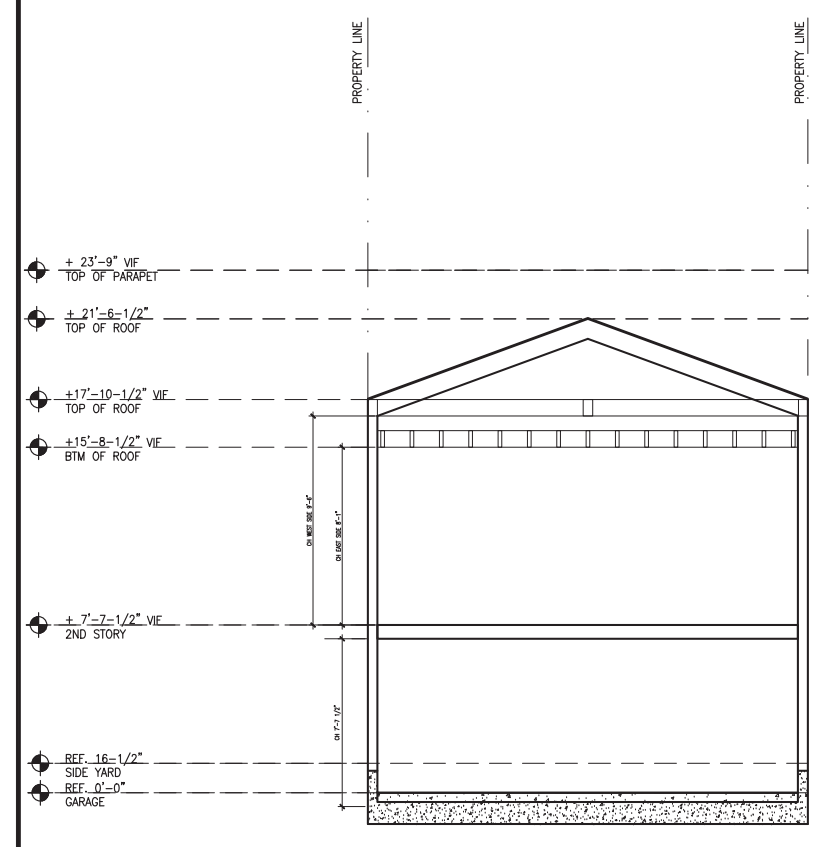
Scale
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Sheet Title
 EXISTING
 SECTIONS

Sheet Number
 A3.01



1 EXISTING LONGTUDINAL SECTION
 A3.01 1/4" = 1'-0"



2 EXISTING CROSS SECTION
 A3.01 1/4" = 1'-0"

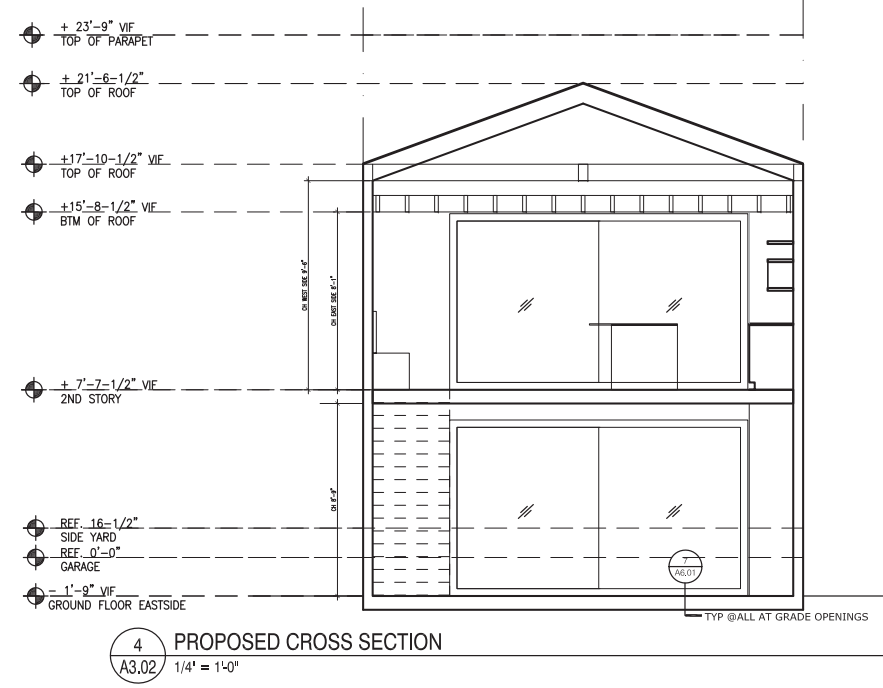
MARTIN WILSON RESIDENCE
 911 MINNESOTA STREET
 SAN FRANCISCO, CA 94107
 BLOCK 4107 LOT 002F

REVIEW	Date
C of A	03.28.14
Building Permit	04.08.14
Exterior Permit	05.03.14
Revision A	05.09.14
C of A Revisions	10.21.14
C of A Revisions	01.02.15

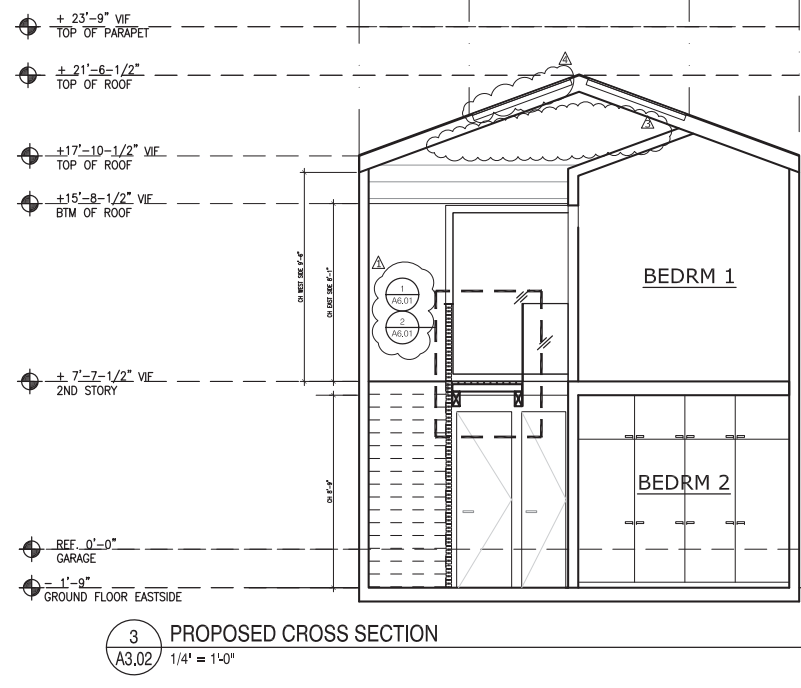
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Sheet Title
PROPOSED SECTIONS

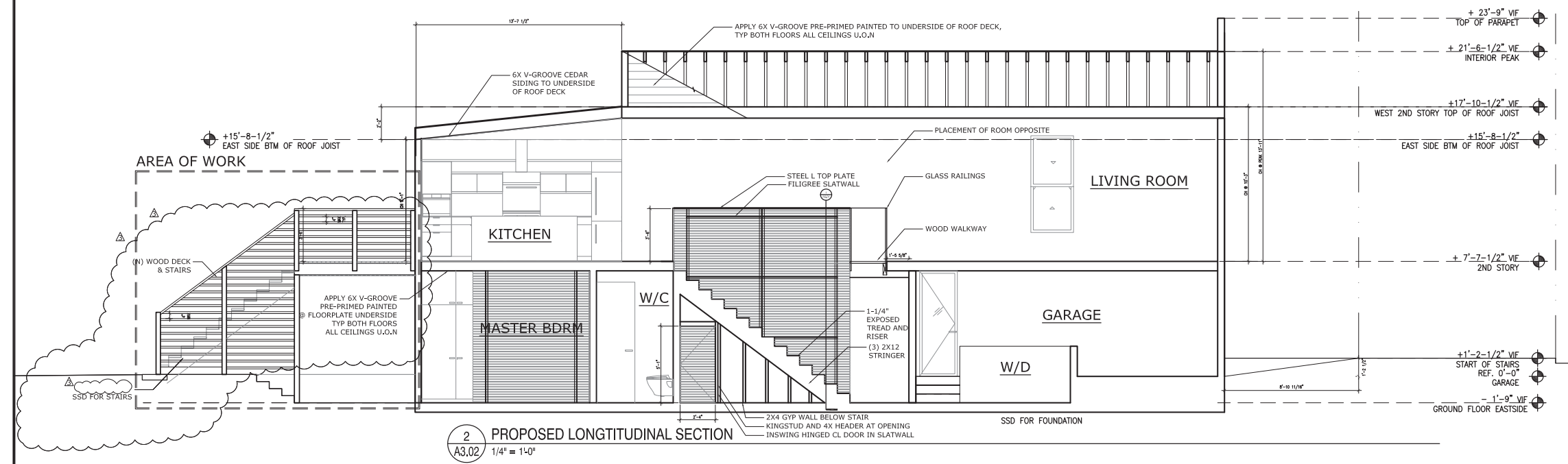
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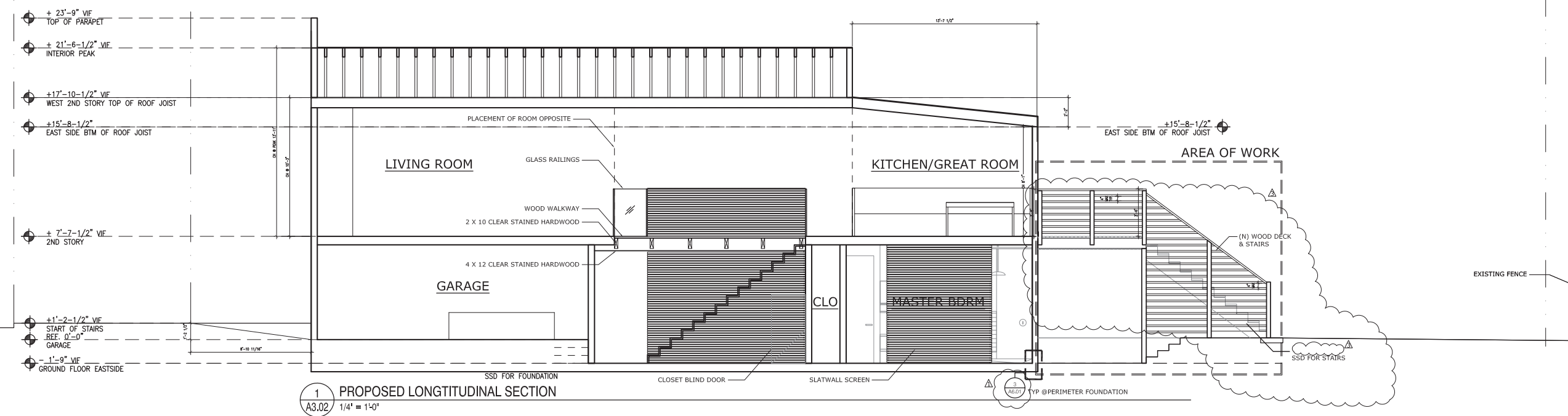
4 PROPOSED CROSS SECTION
 A3.02 1/4" = 1'-0"



3 PROPOSED CROSS SECTION
 A3.02 1/4" = 1'-0"



2 PROPOSED LONGITUDINAL SECTION
 A3.02 1/4" = 1'-0"



1 PROPOSED LONGITUDINAL SECTION
 A3.02 1/4" = 1'-0"

TYP @ PERIMETER FOUNDATION

DOOR SCHEDULE

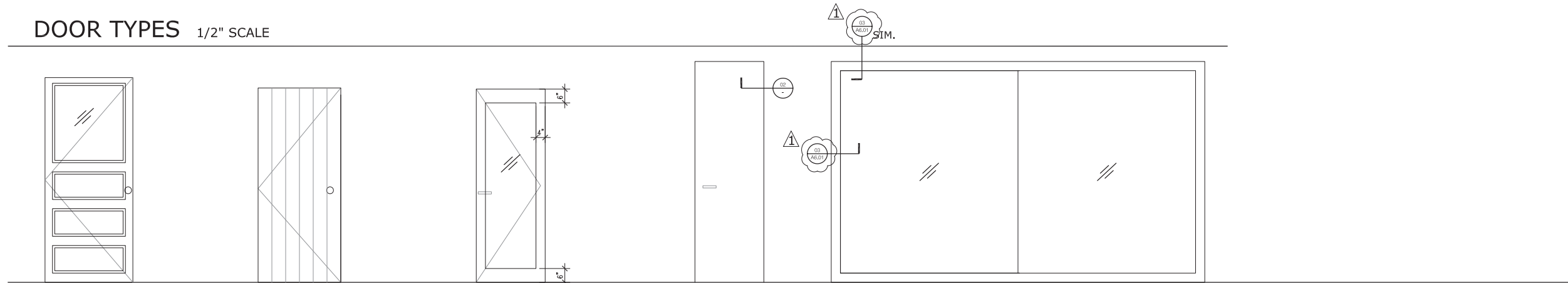
OPENING			DOOR			HARDWARE		
TYPE	LOCATION	SIZE	FIRE	MATERIAL	FINISH	TYPE	MODEL	FINISH
01	EXTERIOR ENTRY 2ND STORY	3'-2" VIF X 7'-5" VIF	NR	REFURBISHED (E)	CLEAR STAINED	DEADBOLT	TBD	OIL RUBBED BRNZ/BLK
02	GATE ENTRY SIDEYARD	3'-0" X 7'-0"	NR	CEDAR 6" PLANKS	CLEAR STAINED	DEADBOLT	TBD	OIL RUBBED BRNZ/BLK
03	GARAGE	2'-6" X 7'-0"	NR	WOOD & GLASS		DEADBOLT	TBD	OIL RUBBED BRNZ/BLK
04A	2ND STORY BATH	2'-6" X 8'-0"	NR	MASONITE	PAINTED	PASSAGE LOCK	TBD	OIL RUBBED BRNZ/BLK
04B	2ND STORY BEDROOM	2'-6" X 8'-0"	NR	MASONITE	PAINTED	LOCKING	TBD	OIL RUBBED BRNZ/BLK
05A	GREAT ROOM SLIDERS	13'-7" X 8'-0"	NR	WOOD INTERIOR CLAD + BRONZE	CLEAR STAINED INT/ BRONZE EXT	LOCKING/STND	2 WAY SLIDE	OIL RUBBED BRNZ/BLK
04C	GROUND FLOOR INTO GARAGE	2'-6" X 8'-0"	20 MIN & CLOSER	MASONITE	PAINTED	LOCKING	DEADBOLT	OIL RUBBED BRNZ/BLK
04D	GROUND FLOOR BATH	2'-6" X 8'-0"	NR	MASONITE	PAINTED	LOCKING	TBD	OIL RUBBED BRNZ/BLK
04E	GROUND FLOOR BEDROOM	2'-6" X 8'-0"	NR	MASONITE	PAINTED		TBD	OIL RUBBED BRNZ/BLK
04F	GROUND FLOOR LINEN	2'-0" X 8'-0"	NR	MASONITE	PAINTED	LOCKING	TBD	OIL RUBBED BRNZ/BLK
04G	GROUND FLOOR MASTER	2'-6" X 8'-0"	NR	MASONITE	PAINTED	LOCKING	TBD	OIL RUBBED BRNZ/BLK
04H	GROUND FLOOR MASTER BATH	2'-6" X 8'-0"	NR	MASONITE	PAINTED	LOCKING	TBD	OIL RUBBED BRNZ/BLK
05B	MASTER BEDROOM SLIDERS	13'-7" X 8'-0"	NR	WOOD INTERIOR CLAD + BRONZE	CLEAR STAINED INT/ BRONZE EXT	LOCKING/STND	ONE WAY SLIDE	OIL RUBBED BRNZ/BLK

GENERAL NOTES

- ALL UNITS VIEWED FROM EXTERIOR.
- DIMENSIONS ARE DOOR PANEL SIZES. CONTRACTOR TO VIF AND ALLOW FOR FRAME AND SHIM SPACES AS REQ. NOTIFY THE ARCHITECT IF SPECIFIED DOOR PANEL SIZE DOES NOT FIT AS SCHEDULED.
- ALL GLAZING IN DOOR ASSEMBLIES TEMPERED UON.

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DOOR TYPES 1/2" SCALE



01

TYPE: REPLACEMENT DOOR
 LOCATION: EXTERIOR
 OPERATION: INSWING
 MATERIAL: WOOD
 FINISH: CLEAR STAIN SIKKENS
 GLAZING: DUAL PANE
 MANUFACTURER: TBD
 MODEL: TBD
 NOTES: SALVAGE WOOD DOOR
 W/ DUAL PANE REPLACEMENT GLASS

02

TYPE: NEW DOOR
 LOCATION: EXTERIOR
 OPERATION: INSWING
 MATERIAL: WOOD 6X SIDING
 FINISH: PAINTED
 GLAZING: NONE
 MANUFACTURER: CUSTOM
 MODEL: N/A
 NOTES: GATE TO BE TWO SIDED
 W/SIDING @BOTH SIDES

03

TYPE: NEW DOOR
 LOCATION: EXTERIOR
 OPERATION: INSWING
 MATERIAL: WOOD & GLASS
 FINISH: PAINTED
 GLAZING: LOW-E, .4 MAX U-FACTOR
 DUAL PANE
 MANUFACTURER: SIMPSON OR EQUAL
 MODEL: TBD
 NOTES: SINGLE LITE NO MULLIONS

04

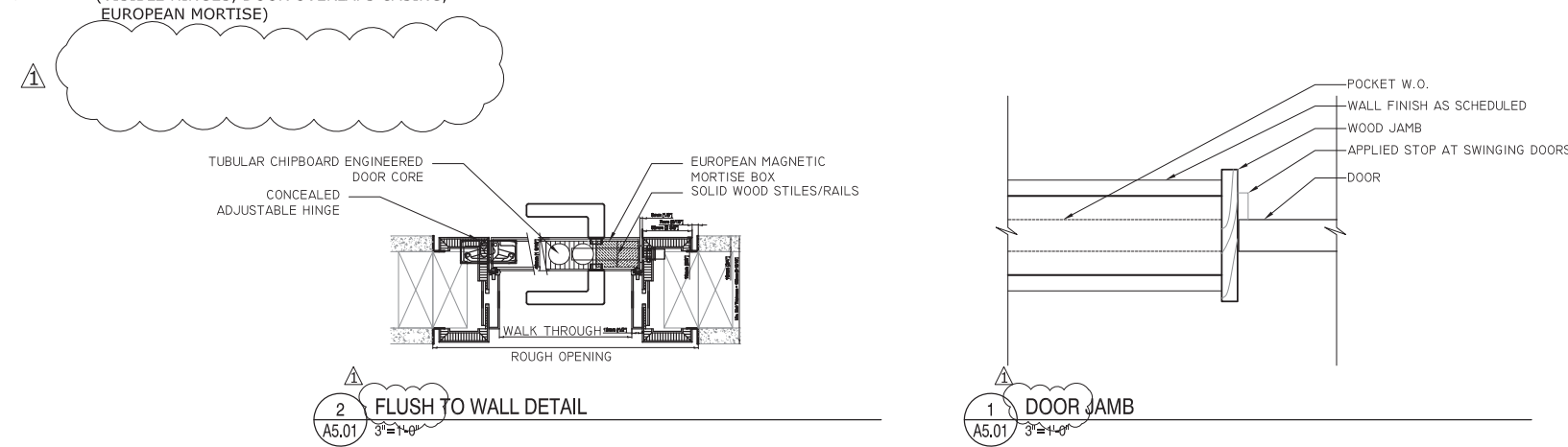
TYPE: NEW DOOR SEE 1/A501 FOR JAMB
 LOCATION: INTERIOR
 OPERATION: SWING PER PLAN
 MATERIAL: MASONITE
 FINISH: PAINTED
 GLAZING: NONE
 MANUFACTURER: CONTRACTORS CHOICE
 MODEL: TBD
 NOTES: BARTELS EUROPEAN RABETTED EDGE
 (VISIBLE HINGES, DOOR OVERLAPS CASING,
 EUROPEAN MORTISE)

04C

SEE 1/A501 FOR JAMB

05

TYPE: NEW DOOR
 LOCATION: EXTERIOR
 OPERATION: SLIDING OPERATION PER ELEVATION
 MATERIAL: WOOD CLAD INTERIOR, ALUMINUM EXTERIOR & GLASS
 FINISH: N/A
 GLAZING: THERMALLY BROKEN, LOW-E, .4 MAX U-FACTOR, DUAL PANE
 MANUFACTURER: WESTERN WINDOW SYSTEMS
 MODEL: SERIES 2600 DOORS
 NOTES:



REVIEW	Date
C of A	03.28.14
Building Permit	04.08.14
Exterior Permit	05.03.14
A	05.20.14
C of A Revisions	10.21.14
C of A Revisions	01.02.05

Scale
 AS NOTED

Sheet Title

DOOR SCHEDULE AND DETAILS

Sheet Number
A5.01

MARTIN WILSON RESIDENCE
 911 MINNESOTA STREET
 SAN FRANCISCO, CA 94107
 BLOCK 4107 LOT 002F

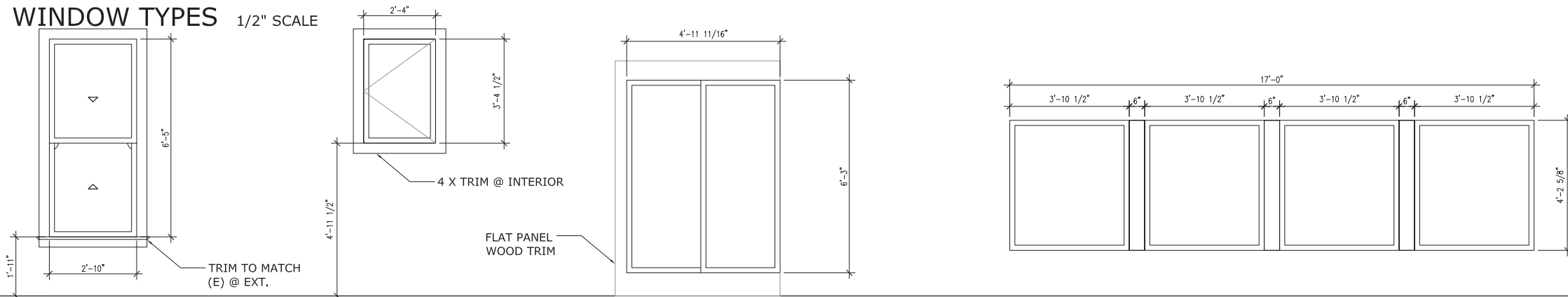
WINDOW/SKYLIGHT SCHEDULE

OPENING			WINDOW		HARDWARE		
TYPE	LOCATION	SIZE	MATERIAL	FINISH	TYPE	MODEL	FINISH
A01	LIVING ROOM SIDE YARD	2'-10" X +/6'-5"	RE-USE EXISTING @ NEW LOC.		LOCKING	TBD	
A02	BEDROOM 2ND STORY	2'-10" X +/6'-5"	WOOD		LOCKING	TBD	OIL RUBBED BRNZ/BLK
B	BATH 2ND STORY	2'-4" X 3'-4-1/2"	WOOD	OPAQUE GLASS	LOCKING	FOLDING HANDLE OR ROTO OPTR	OIL RUBBED BRNZ/BLK
C	BATH GROUND FLOOR SLIDER	4'-11-11/16" X 6'-3"	WOOD		LOCKING	TBD	OIL RUBBED BRNZ/BLK
A03	BEDROOM GROUND FLOOR	2'-10" X +/6'-5"	WOOD		LOCKING	TBD	OIL RUBBED BRNZ/BLK
D	SKYLIGHT	4'-2-5/8" X 5'-10-1/2"	WOOD/ALUMINIUM		N/A		

GENERAL NOTES

- ALL UNITS VIEWED FROM EXTERIOR.
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- ALL GLAZING IN DOOR ASSEMBLIES TEMPERED UON.

WINDOW TYPES 1/2" SCALE



A

TYPE: NEW WINDOWS
OPERATION: DOUBLE HUNG
MATERIAL: WOOD & GLASS
FINISH: PAINTED
GLAZING: LOW-E, .4 MAX U-FACTOR, DUAL PANE
MANUFACTURER: MARVIN OR ARELLANO
MODEL: TBD
NOTES: BEDROOM WINDOWS MEET EGRESS
INT TRIM SIM TO 1/A501

B

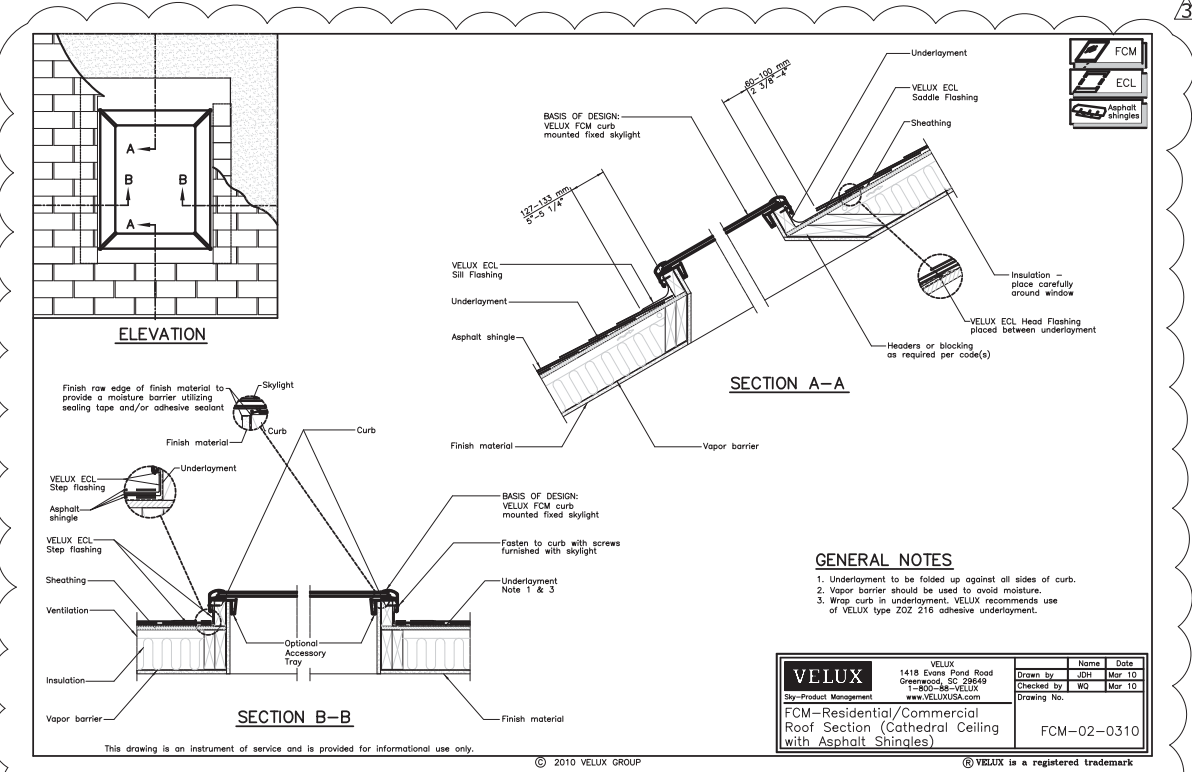
TYPE: NEW WINDOW
OPERATION: CASEMENT
MATERIAL: WOOD & GLASS
FINISH: PAINTED
GLAZING: LOW-E, .4 MAX U-FACTOR, DUAL PANE
MANUFACTURER: MARVIN OR ARELLANO
MODEL: TBD
NOTES: SANDBLASTED GLASS
INT TRIM SIM TO 1/A501

C

TYPE: NEW WINDOW
OPERATION: SLIDER
MATERIAL: WOOD & GLASS
FINISH: PAINTED
GLAZING: LOW-E, .4 MAX U-FACTOR, DUAL PANE
MANUFACTURER: MARVIN OR ARELLANO
MODEL: TBD
NOTES: SANDBLASTED GLASS SLIDE PER ELEVATION
INT TRIM SIM TO 1/A501

D

TYPE: NEW SKYLIGHT
OPERATION: FIXED, CURB MOUNTED
MATERIAL: ALUMINIUM & GLASS
FINISH: PAINTED
GLAZING: LOW-E, .4 MAX U-FACTOR, DUAL PANE,
THERMALLY BROKEN
MANUFACTURER: VELUX
MODEL: VELUX NO LEAK RESIDENTIAL SKYLIGHT
NOTES: DRY WALL RETURN @ CAVITY



GENERAL NOTES

- Underlayment to be folded up against all sides of curb.
- Vapor barrier should be used to avoid moisture.
- Wrap curb in underlayment. VELUX recommends use of VELUX type Z02 216 adhesive underlayment.

VELUX
1418 Evans Pond Road
Greenville, SC 29649
1-800-84-VELUX
www.VELUXUSA.com

FCM-Residential/Commercial
Roof Section (Cathedral Ceiling
with Asphalt Shingles)

FCM-02-0310

Drawn by: JHJ Mar 10
Checked by: WG Mar 10
Drawing No.

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1 SKYLIGHT DETAIL
A5.02 1" = 1'-0"

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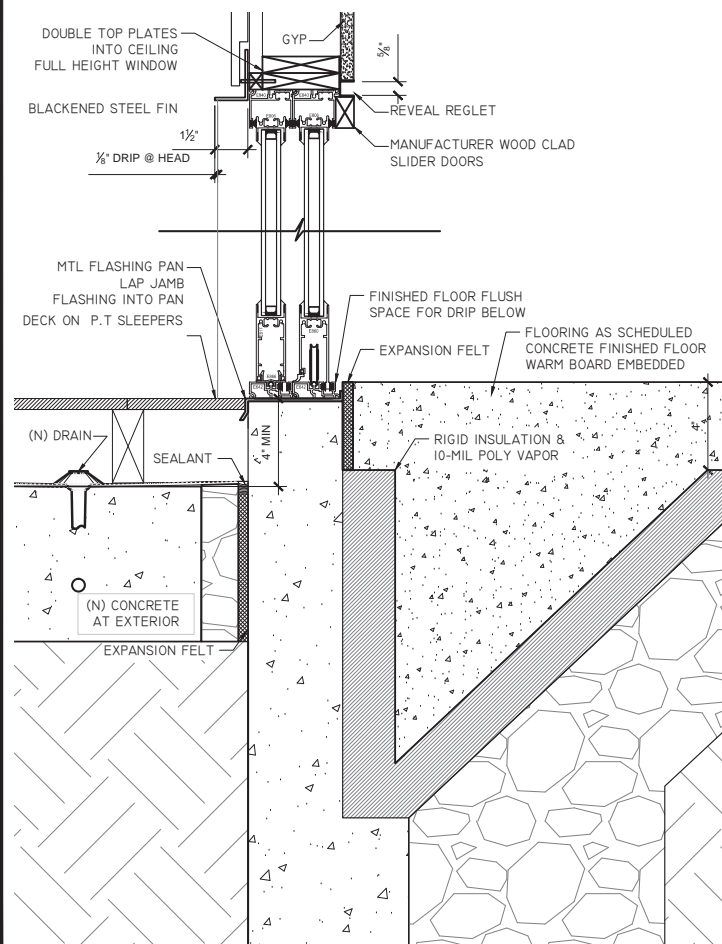
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AS BUILT	02.02.14
SCHEMATIC DESIGN	03.28.14
C of A	03.28.14
Building Permit	04.03.14
Exterior Permit	06.03.14
C of A Revisions	10.21.14
C of A Revisions	01.02.05

Scale
AS NOTED

Sheet Title

WINDOW SCHEDULE AND DETAILS

Sheet Number
A5.02



3 RECESSED THRESHOLD & WINDOW DETAIL
A6.01 3/8"=1'-0"

MARTIN WILSON RESIDENCE
911 MINNESOTA STREET
SAN FRANCISCO, CA 94107
BLOCK 4107 LOT 002F

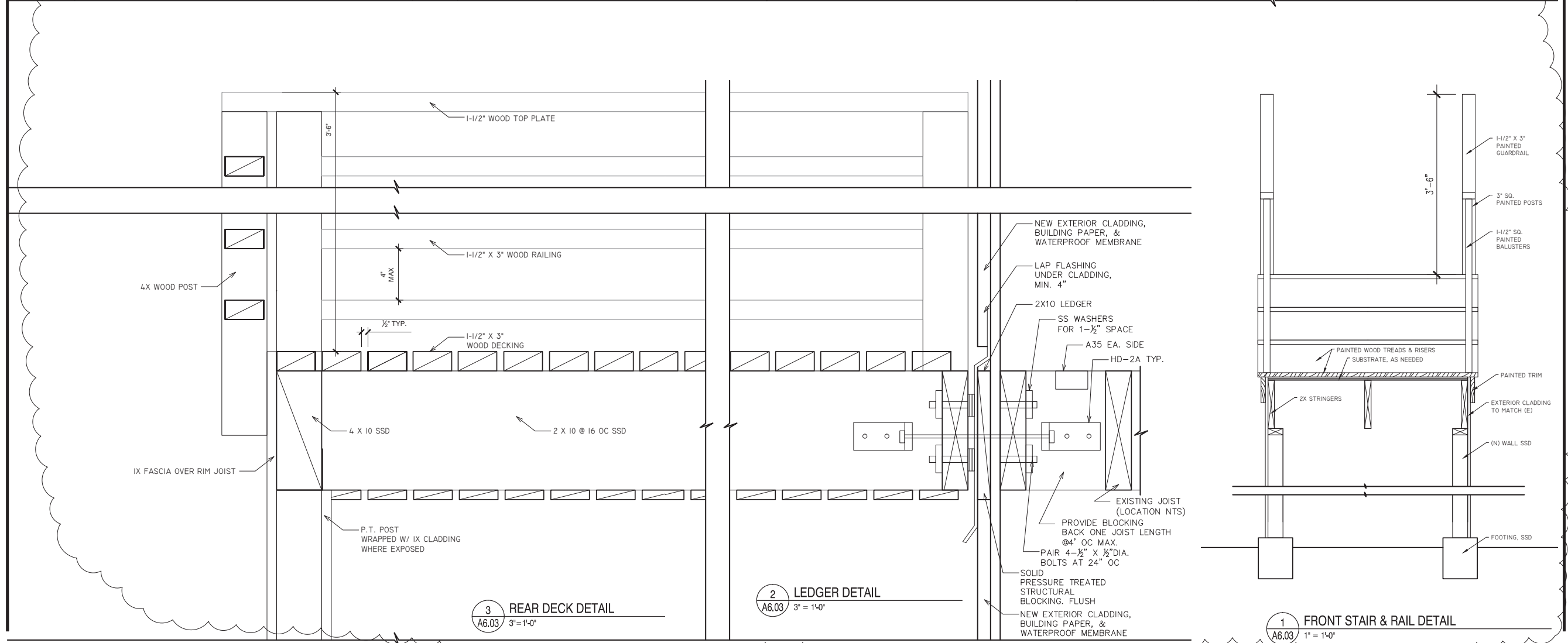
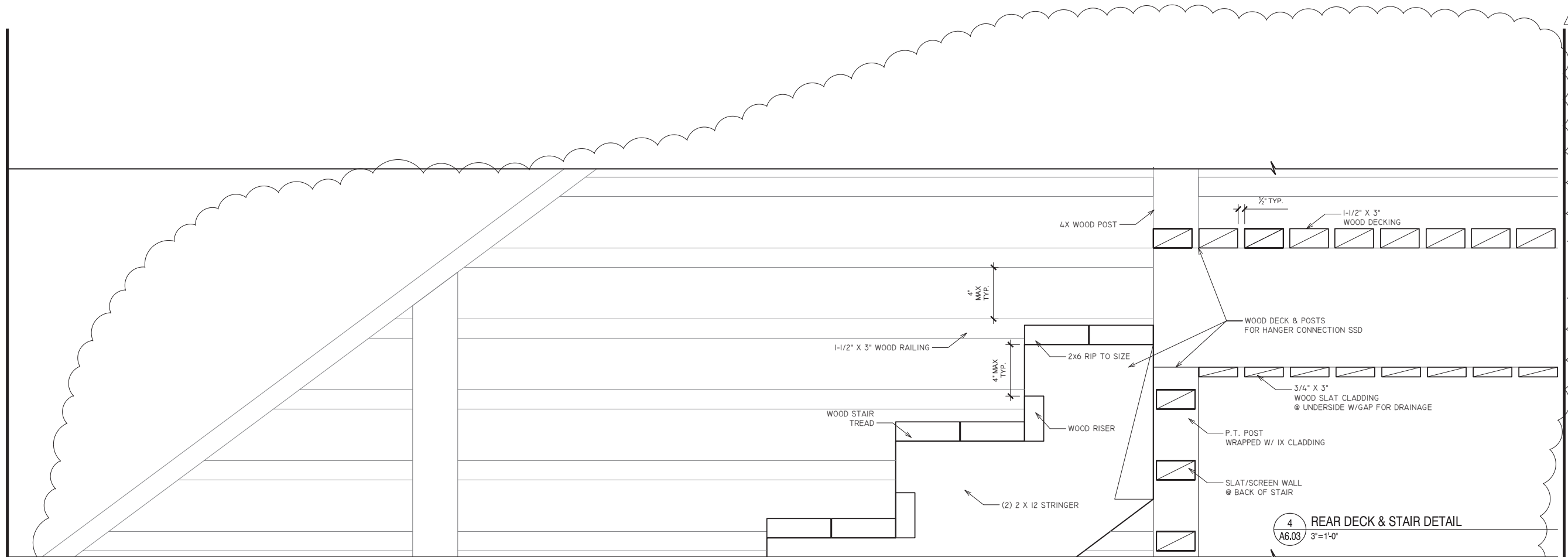
REVIEW	Date
SCHEMATIC DESIGN	02.02.14
SCHEMATIC DESIGN	03.26.14
C of A	03.28.14
Building Permit	04.08.14
Exterior Permit	06.03.14
Revision A	06.30.14
C of A Revisions A	10.21.14

Scale
AS NOTED

Sheet Title
**PROPOSED
DETAILS**

Sheet Number
A6.01

MARTIN WILSON RESIDENCE
 911 MINNESOTA STREET
 SAN FRANCISCO, CA 94107
 BLOCK 4107 LOT 002F



REVIEW	Date
SCHEMATIC DESIGN	02.02.14
SCHEMATIC DESIGN	03.26.14
C. of A.	03.28.14
Building Permit	04.08.14
Exterior Permit	06.03.14
Revision	06.30.14
C. of A. Revisions	10.21.14

Scale
 AS NOTED

Sheet Title
PROPOSED DETAILS

Sheet Number
A6.03

GENERAL NOTES

I. GENERAL:

- ALL FEATURES OF CONSTRUCTION NOT FULLY SHOWN SHALL BE OF THE SAME TYPE AND CHARACTER AS SHOWN FOR SIMILAR CONDITIONS.
- ALL CONSTRUCTION SHALL CONFORM TO THE 2013 EDITION OF THE SAN FRANCISCO BUILDING CODE.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ADEQUATE BRACING, SHORING, AND SUPPORT OF ALL TEMPORARY CONSTRUCTION, TEMPORARY EXCAVATION, AND PARTIALLY COMPLETED PORTIONS OF THE BUILDING, SUCH BRACING, SHORING AND SUPPORT MUST INSURE THE SAFETY OF THE ADJACENT PROPERTY AND OF ANY PERSONS WHO MAY COME IN CONTACT WITH THE PROJECT.
- VERIFY ALL SITE CONDITIONS, DIMENSIONS, ELEVATIONS, ETC. BEFORE STARTING WORK. REPORT ANY DISCREPANCIES TO THE ARCHITECT, KAREN CURTIS ARCHITECTS AND TOPT, DE NEVERS & LEE BEFORE PROCEEDING.
- ABBREVIATIONS:**

(E) - EXISTING	M.B. - MACHINE BOLT
(N) - NEW	MAX. - MAXIMUM
A.B. - ANCHOR BOLT	MIN. - MINIMUM
BLKG. - BLOCKING	O.H. - OPPOSITE HAND
CLR. - CLEAR	OPNG. - OPENING
CONT. - CONTINUOUS	REINP. - REINFORCEMENT
DET. - DETAIL	REQD. - REQUIRED
E.S. - EXPANSION BOLT	S.A.D. - SEE ARCHITECTURAL DRAWINGS
E.W. - EACH WAY	SIM. - SIMILAR
EA - EACH	T&B - TOP AND BOTTOM
EL. - ELEVATION	TYP. - TYPICAL
GA. - GAUGE	U.O.N. - UNLESS OTHERWISE NOTED
HORIZ. - HORIZONTAL	VERT. - VERTICAL
HT. - HEIGHT	W/ - WITH

II. FOUNDATION AND GRADING:

- REFER TO THE GEOTECHNICAL REPORT PROJECT NO. 14-4225 "GEOTECHNICAL INVESTIGATION PLANNED REPAIRS/IMPROVEMENTS AT 811 MINNESOTA ST., CA) SAN FRANCISCO, CALIFORNIA) PREPARED BY H. ALLEN GRUEN, 360 GRAND AVENUE, SUITE 262, OAKLAND, CALIFORNIA, MAY 8, 2014.
- ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM 18 INCHES INTO UNDISTURBED SOIL.
- DESIGN BEARING PRESSURE FOR SPREAD FOOTINGS ARE:
DEAD PLUS LIVE LOAD = 2000 PSF
TOTAL LOAD (INC. WIND & SEISMIC) = 3000 PSF

III. CONCRETE:

- CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI. CONCRETE SHALL HAVE A MINIMUM CEMENT CONTENT OF 5 BAGS PER CUBIC YARD AND A SLUMP OF 3 TO 4 INCHES. THE CONCRETE SUPPLIER SHALL SUBMIT THE MIX DESIGN FOR REVIEW. WATER-CEMENT RATIO FOR CONCRETE SLAB ON GRADE OVER 15 MIL. STEGO WRAP SHALL BE 0.50 OR LESS.
- CAST THREE CYLINDERS FROM EACH POUR. CYLINDERS SHALL BE TESTED BY A TESTING LABORATORY APPROVED BY TOPT, DE NEVERS & LEE. FROM EACH SET OF THREE CYLINDERS, ONE SHALL BE TESTED AT 7 DAYS, ONE AT 28 DAYS, AND THE THIRD HELD IN RESERVE.
- NOTIFY TOPT, DE NEVERS & LEE 36 HOURS BEFORE PLACING CONCRETE. NO CONCRETE SHALL BE PLACED BEFORE TOPT, DE NEVERS & LEE HAS INSPECTED THE REINFORCING STEEL OR WAIVED SUCH INSPECTION.
- ALL CONCRETE SHALL BE CONSOLIDATED WITH A MECHANICAL VIBRATOR.
- EPOXY COMPOUND FOR GROUTING DOWELS AND ANCHORS INTO EXISTING CONCRETE OR BRICK SHALL BE SIMPSON SET-XP EPOXY OR APPROVED EQUAL.

IV. REINFORCING STEEL:

- REINFORCING STEEL SHALL CONFORM TO ASTM A615. #3 TIES SHALL BE GRADE 40. ALL OTHER BARS SHALL BE GRADE 60.
- BEND BARS 24 DIAMETERS AT CORNERS AND INTERSECTIONS AND LAP #2 DIAMETERS AT SPLICES, U.O.N.

V. STRUCTURAL STEEL:

- ALL STRUCTURAL STEEL TUBES SHALL CONFORM TO ASTM A500 GRADE B. WIDE FLANGE STRUCTURAL STEEL SHALL CONFORM TO ASTM A992 GRADE 50. ALL OTHER STRUCTURAL STEEL SHALL CONFORM TO ASTM A36.
- ALL WELDERS SHALL BE CERTIFIED AND QUALIFIED AS PER AWS D11 SECT. 5.
- WELDING PROCEDURE SPECIFICATIONS (WPS) SHALL BE DEVELOPED BY THE FABRICATOR AND SUBMITTED TO TOPT, DE NEVERS & LEE FOR REVIEW BEFORE FABRICATION. THE WPS SHALL FOLLOW THE REQUIREMENTS OF AWS D11.
- THREE SETS OF STEEL SHOP DRAWINGS SHALL BE SUBMITTED TO TOPT, DE NEVERS & LEE FOR REVIEW BEFORE FABRICATION.
- ALL STRUCTURAL STEEL SHALL RECEIVE A SHOP COAT AND FIELD TOUCH UP, AFTER WELDING, OF PROTECTIVE PRIMER PAINT.
- ALL BOLTS SHALL CONFORM TO ASTM A307.
- ALL EXTERIOR BOLTS AND THREADED RODS SHALL BE HOT-DIPPED ZINC COATED GALVANIZED OR STAINLESS STEEL.
- EXPANSION BOLTS SHALL BE HILTI KWIK BOLT TZ ANCHORS OR APPROVED EQUAL. EXPANSION BOLTS SHALL NOT BE USED IN LIEU OF CAST IN PLACE ANCHORS SPECIFIED ON PLANS.

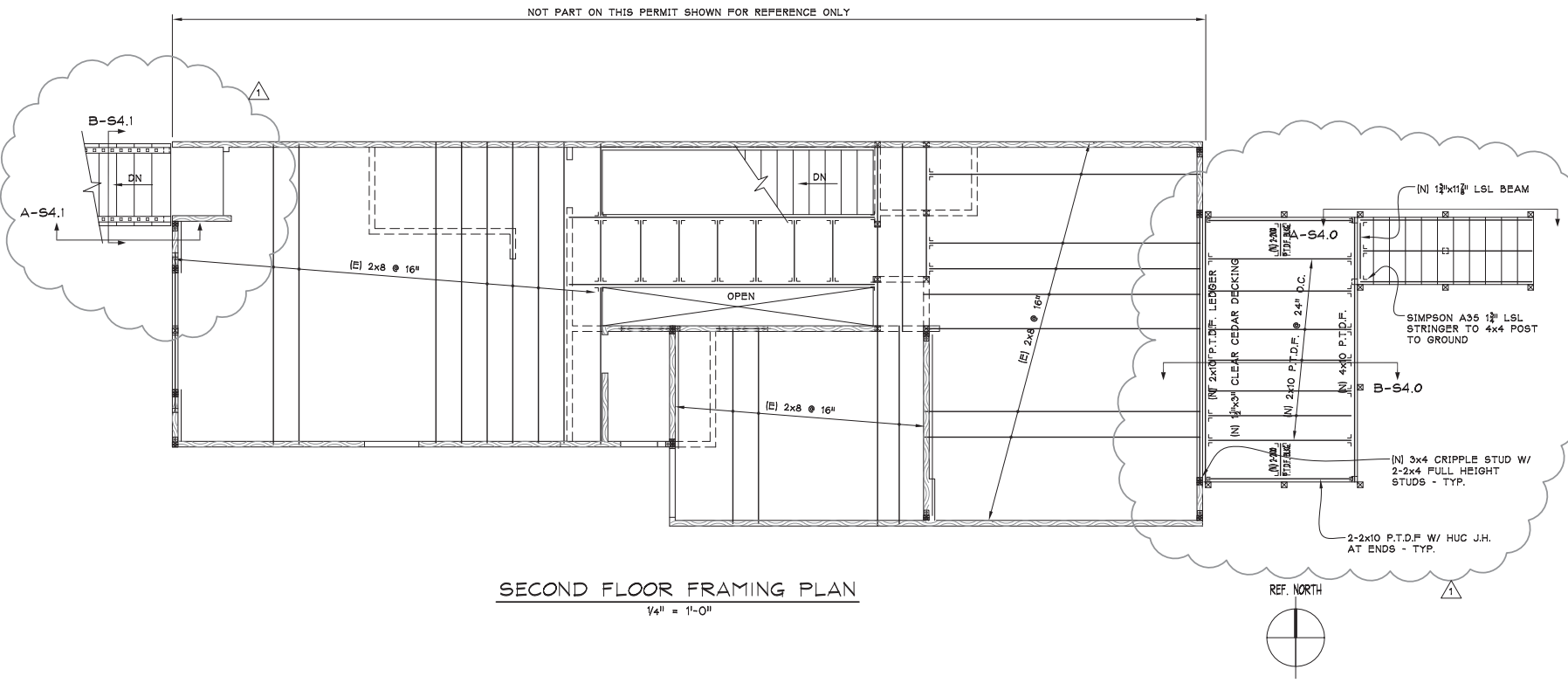
VI. CARPENTRY:

- INDICATES BLOCKING; INDICATES CONTINUOUS MEMBER.
- FRAMING LUMBER SHALL BE DOUGLAS FIR GRADED AS FOLLOWS:
JOISTS AND BEAMS - NO. 1, U.O.N.
STUDS, PLATES, BLOCKING ETC. - NO.2 OR BETTER, U.O.N.
POSTS 5" AND WIDER - NO.1, U.O.N.
SILLS AND LEDGERS ON CONCRETE OR CONCRETE BLOCK - DOUGLAS FIR - PRESSURE TREATED WITH AN APPROVED PRESERVATIVE.
ALL BUILDING MATERIALS INCLUDING STRUCTURAL WOOD MEMBERS, 2X FLOOR FLOOR FRAMING (JOIST, BLOCKING, HEADER, AND BEAMS), 4x AND THICKER LUMBER SHALL BE 19 PERCENT MAXIMUM MOISTURE CONTENT.
- ROOF AND FLOOR SHEATHING SHALL CONFORM TO PS 1-83 OR PS 2-82, EXPOSURE 1, AND SHALL BE PLACED WITH LONG DIMENSION OF PANELS PERPENDICULAR TO SUPPORTS AND WITH STAGGERED END JOINTS.
FLOORS - 3/4" OR 23/32" - 48/24 APA RATED STURD-I-FLOOR SHEATHING WITH T&G EDGES UNBLOCKED, NAIL ALL SUPPORTED EDGES WITH 10d RINGSHANK @ 6", ALL OTHER BEARINGS WITH 10d @ 10".
ROOFS - 1/2" OR 5/8" - 32/16 APA RATED SHEATHING UNBLOCKED U.O.N. ON PLANE. NAIL ALL SUPPORTED EDGES WITH 10d @ 6", ALL OTHER BEARINGS WITH 10d @ 12".
SHEAR WALLS - ON THE OUTSIDE FACE OF ALL EXTERIOR WALLS 1 3/4" OR 1 1/2" - 32/16 APA RATED SHEATHING. ON INTERIOR WALLS WHERE SHOWN ON PLAN 1/2" OR 5/8" APA RATED SHEATHING. NAIL WITH 10d @ SPACING SHOWN ON SCHEDULE AA-S1.0 AROUND THE ENTIRE PERIMETER OF EACH SHEET, BLOCK ALL JOINTS W/ FULL DEPTH SOLID BLOCKING, AND NAIL OTHER BEARINGS WITH 10d @ 12".

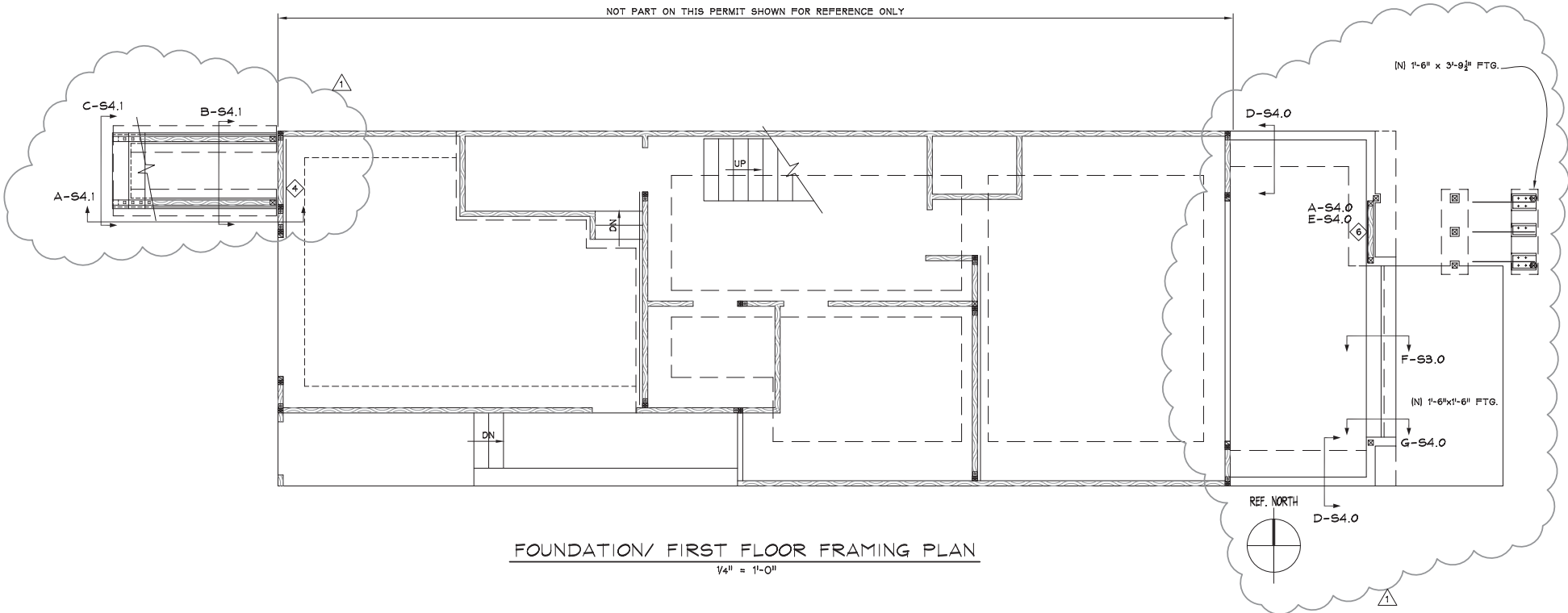
- ALL WOOD CONNECTIONS SHALL BE IN ACCORDANCE WITH TABLE 2304.9.1 OF THE CALIFORNIA BUILDING CODE, 2013 EDITION.
- JOIST HANGERS AND OTHER SHEET METAL CONNECTORS SHALL BE AS PROVIDED BY SIMPSON COMPANY OF SAN LEANDRO, CA. OR EQUAL.
- NAIL SIZES, SPACINGS, AND QUANTITIES ARE SPECIFIED FOR COMMON WIRE NAILS, U.O.N. OTHER TYPES OF FLAT HEADED STEEL WIRE NAILS MAY BE SUBSTITUTED WHERE THEY HAVE A DIAMETER AND PENETRATION EQUAL TO OR GREATER THAN THE SPECIFIED COMMON NAILS AS FOLLOWS. ALL OTHER SUBSTITUTIONS FOR THE SPECIFIED COMMON WIRE NAILS SHALL BE APPROVED BY TOPT, DE NEVERS & LEE.

SPECIFIED PENNYWEIGHT	WIRE GAUGE	WIRE DIAMETER	MIN. PENETRATION INTO HOLDING MEMBER
8d	10 1/4"	0.135"	1 1/2"
10d	9	0.148"	1 3/4"
12d	8	0.148"	1 3/4"
16d	6	0.162"	2"
20d	6	0.192"	2 3/8"
30d	5	0.207"	2 1/2"

- ALL ANCHOR BOLTS TO SILL PLATE SHALL BE HOT-DIPPED ZINC COATED GALVANIZED 5/8" x 12" EMBEDDED 7" INTO THE CONCRETE OR MASONRY W/ 3/4"x10" THICK WASHER AT SPACING SHOWN ON SCHEDULE AA-S1.0.
- "PARALLAM" BEAMS ARE PARALLEL STRAND LUMBER (PSL) BEAMS AS MANUFACTURED BY TRUS JOIST - MIN. GRADE: 2800Fb-2.0E
- "MICROLLAM" BEAMS ARE LAMINATED VENEER LUMBER (LVL) BEAMS AS MANUFACTURED BY TRUS JOIST MIN. GRADE: 2600Fb-1.8E
- "TIMBERSTRAND" BEAMS ARE LAMINATED STRAND LUMBER (LSL) BEAMS AS MANUFACTURED BY TRUS JOIST MIN. GRADE: 2600Fb-1.7E
- GLUELAM BEAMS - 24F DOUGLAS FIR, EXTERIOR GLUE, INDUSTRIAL APPEARANCE GRADE. [24F-V8 FOR CANTILEVER MEMBERS, 24F-V4 OTHERWISE] CAMBER 1600 FOOT RADIUS (NO CAMBER ON CANTILEVER PORTIONS). THE FABRICATOR SHALL SUBMIT AN AISC CERTIFICATE COMPLIANCE TO THE ARCHITECT.
- PROVIDE 6x8 (OR 4x8) HEADERS OVER ALL EXTERIOR WALL DOOR AND WINDOWS OPENINGS U.O.N. PROVIDE 3-2x8 OR 2-2x8 MIN. HEADERS OVER ALL DOOR AND OTHER OPENINGS [6'-0" MAX.] ELSEWHERE U.O.N. PROVIDE 6x10 (OR 4x10) FOR ALL OPENINGS GREATER THAN 6'-0" TO 10'-6" MAX. PROVIDE 2x6 (OR 2x4) CRIPPLE AND FULL HEIGHT STUD AT EACH JAMB FOR OPENINGS 4'-0" MAX. AND ONE CRIPPLE AND TWO FULL HEIGHT STUD AT EACH JAMB FOR OPENINGS 4'-0" TO 10'-6" MAX.
- BLOCKING- PROVIDE FULL DEPTH SOLID BLOCKING BETWEEN STUDS @ 10'-0" MAX. AND BETWEEN JOISTS @ 12'-0" MAX.
- ALL BOLTS SHALL CONFORM TO ASTM A307.
- ALL NAILS FOR EXTERIOR CONSTRUCTION SHALL BE HOT-DIPPED ZINC COATED GALVANIZED.
- ALL HOLDDOWNS SHALL BE AS PROVIDED BY SIMPSON COMPANY OF SAN LEANDRO, CA OR EQUAL. SEE HOLDDOWN SCHEDULE BB-S1.0 FOR MATCHING ANCHOR BOLTS.



SECOND FLOOR FRAMING PLAN
1/4" = 1'-0"



FOUNDATION/ FIRST FLOOR FRAMING PLAN
1/4" = 1'-0"

shear WALL SCHEDULE

SHEAR WALL MARK	6	4	3	2
SHEATHING PANELS	1/2" OR 5/8" W.S.P.	1/2" OR 5/8" W.S.P.	1/2" OR 5/8" W.S.P.	1/2" OR 5/8" W.S.P.
PANEL EDGE NAILING (E.N.)	10d @ 6"	10d @ 4"	10d @ 3"	10d @ 2"
MIN. WIDTH OF FRAMING	3x	3x	3x	3x
SILL & ANCHOR BOLTS	5/8" @ 4'-0"	5/8" @ 3'-4"	5/8" @ 2'-8"	5/8" @ 2'-0"

NOTE: WHERE SHEATHING OCCURS ON BOTH SIDES OF WALL USE SILL PLATE ANCHOR BOLTS AT HALF THE INDICATED SPACING.

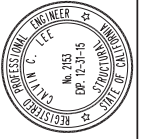
AA-S1.0
NO SCALE

HOLDDOWN SCHEDULE

HOLDDOWN MODEL	ANCHOR BOLT DIA.	NO. OF SIMPSON SDS4x3 WOOD SCREWS	CONCRETE FOUNDATION SSTB ANCHOR BOLT / MIN. EMBED LENGTH
H02-SDS2.5	5/8"	6	SSTB20L / 16 1/2"
H04-SDS2.5	5/8"	10	SSTB20L / 16 1/2"
H05-SDS2.5	5/8"	14	SSTB24L / 20 9/16"
H08-SDS2.5	7/8"	20	SSTB28L / 24 7/8"

BB-S1.0
NO SCALE

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11-03-14	CCL



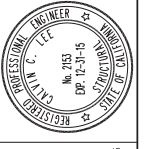
TOPT, DE NEVERS & LEE
CONSULTING STRUCTURAL ENGINEERS
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MARTIN RESIDENCE
911 MINNESOTA STREET
SAN FRANCISCO, CA 94107
BLOCK 4107 LOT 002F

GENERAL NOTES
FIRST FLOOR FOUNDATION PLAN
SECOND FLOOR FRAMING PLAN

Date 7-21-14
Scale AS NOTED
Drawn CCL
Job 8252
Sheet
S11
Sheet of

REVISIONS	BY
11-03-14	CCL

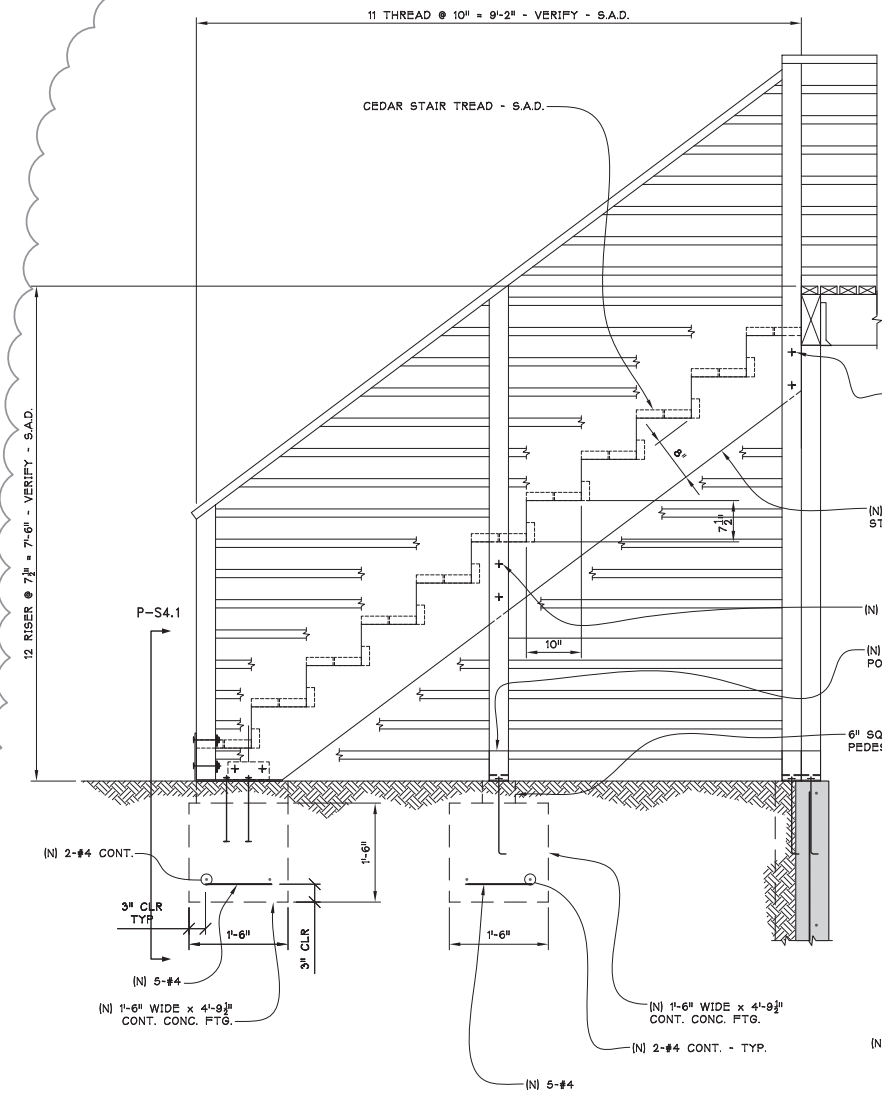


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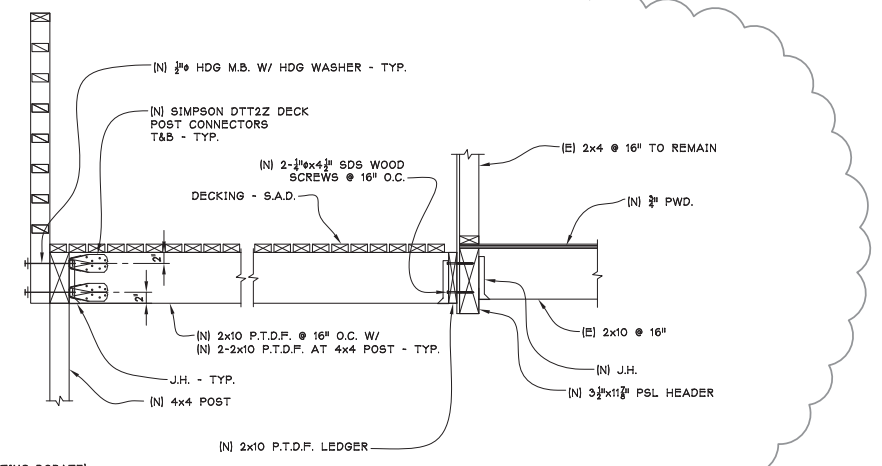
MARTIN RESIDENCE
911 MINNESOTA STREET
SAN FRANCISCO, CA 94107
BLOCK 4107 LOT 002F

DETAILS

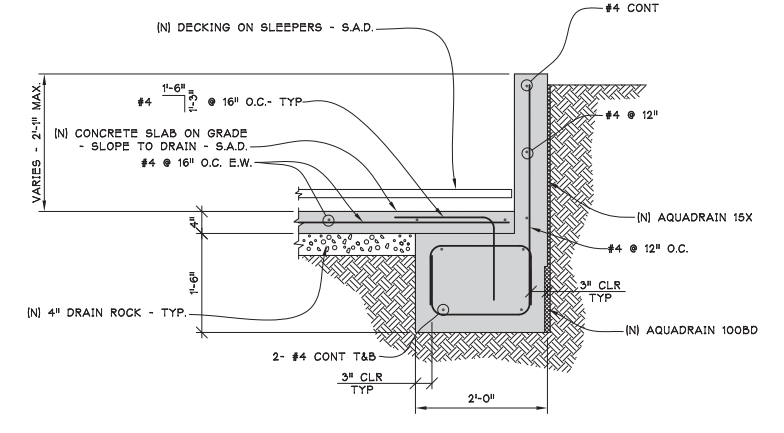
Date	7-21-14
Scale	AS NOTED
Drawn	CCL
Job	8252
Sheet	S4.0
Sheet	of



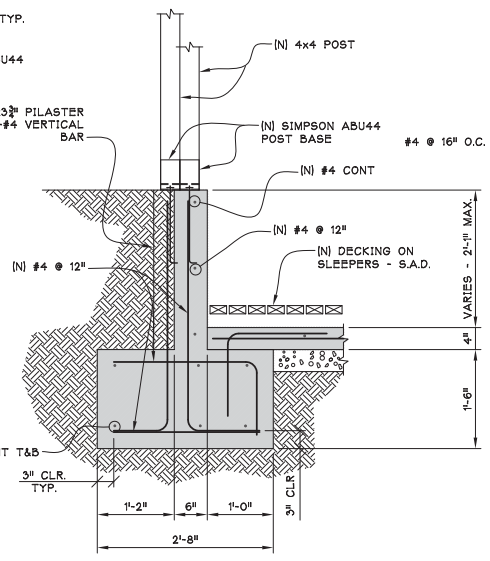
A-S4.0
3/4"=1'-0"



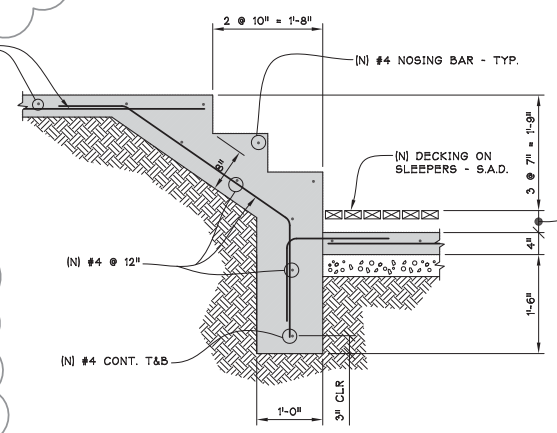
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3/4"=1'-0"



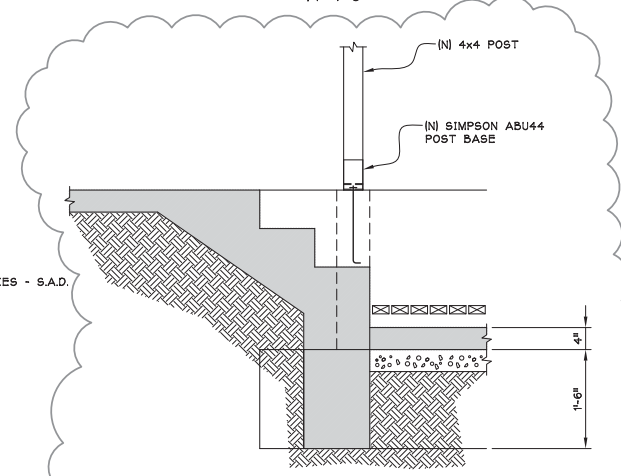
D-S4.0
3/4"=1'-0"



E-S4.0
3/4"=1'-0"

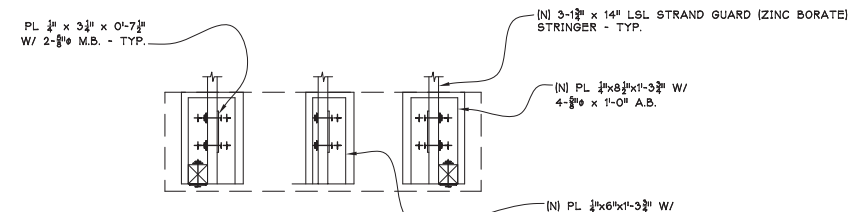


F-S4.0
3/4"=1'-0"

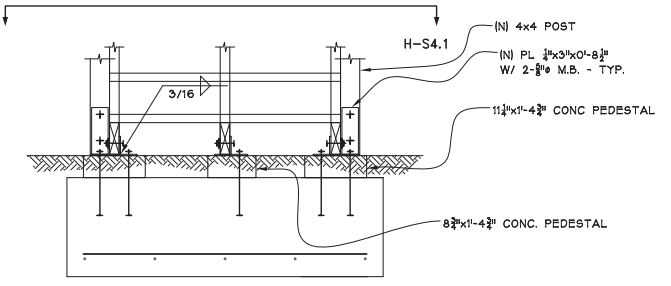


G-S4.0
3/4"=1'-0"

NOTE: CONCRETE STAIRS REINFORCING NOT SHOWN FOR CLARITY - SEE DET. F-S4.0 FOR REINFORCING NOT SHOWN

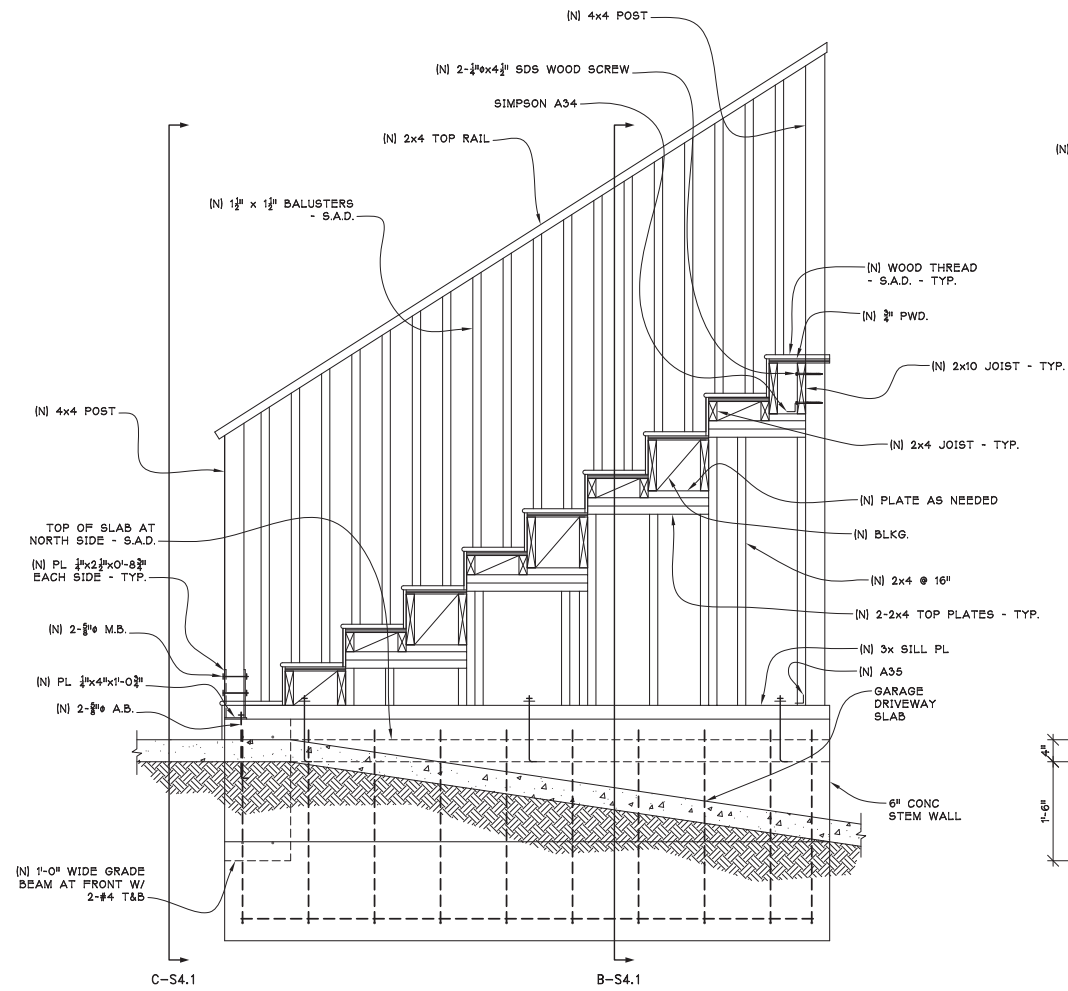


H-S4.0
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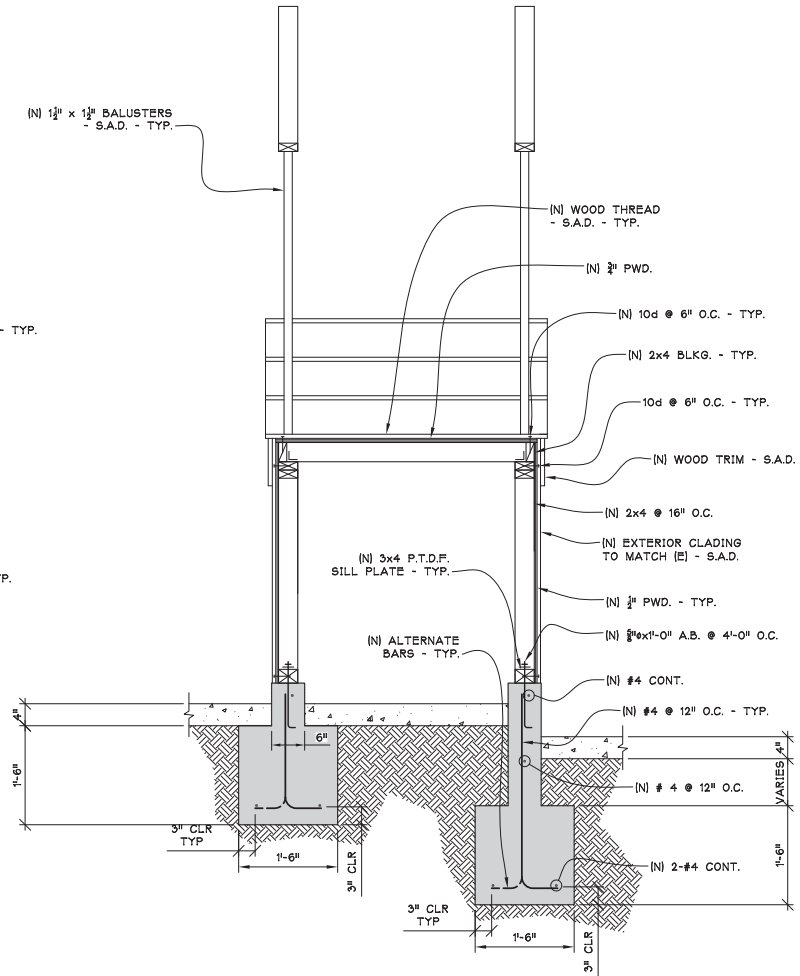


P-S4.0
3/4"=1'-0"

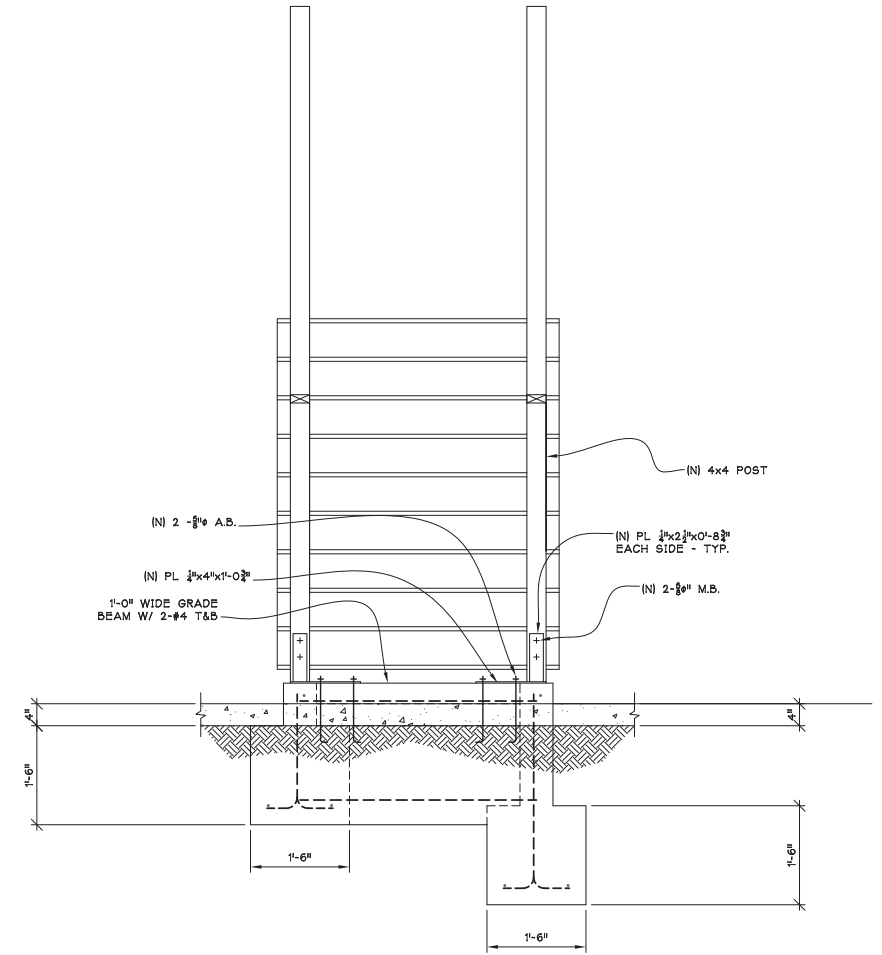
8252/S4.0



A-S4.1
3/4"=1'-0"



B-S4.1
3/4"=1'-0"



C-S4.1
3/4"=1'-0"

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DETAILS

Date 11-03-14
Scale AS NOTED
Drawn CCL
Job 8252
Sheet **S4.1**
Sheet of