



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

DATE: June 7, 2016
TO: Architectural Review Committee of the Historic Preservation Commission
FROM: Rich Sucre, Historic Preservation Technical Specialist, (415) 575-9108
REVIEWED BY: Tim Frye, Preservation Coordinator, (415) 575-6822
RE: **Review and Comment: 77-85 Federal Street**
Case No. 2012.1410AX

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BACKGROUND

The Planning Department (Department) has requested review and comment before the Architectural Review Committee (ARC) regarding the proposal to demolish the existing two-story non-contributing industrial building, and construct a new five-story-with-basement commercial building within the South End Landmark District, which is listed in Appendix I of Article 10 of the San Francisco Planning Code.

PROPERTY DESCRIPTION

77-85 Federal Street is located on a rectangular midblock through lot (measuring approximately 16,047 square feet) with 107-ft of frontage on Federal Street and 87-ft 6-in of frontage on De Boom Street. Currently, the project site contains a two-story industrial building, which was constructed between 1940 and 1948. The existing two-story industrial building was constructed outside of the district's period of significance and is a non-contributing resource within the South End Landmark District. The project site is located within MUO (Mixed Use Office) Zoning District with a 65-X Height and Bulk Limit.

PROJECT DESCRIPTION

The proposed project entails the demolition of the existing two-story industrial building, and the new construction of a five-story-with-basement (65-ft tall) commercial building with approximately 72,070 gross square feet. The project includes 22,266 square feet of retail space (for use as a fitness center/gym) at the basement and first floor, 49,832 square feet of office use on the second through fifth floors, and 25 below-grade off-street parking spaces. The proposed project also includes a roof deck on the fourth floor (939 sq ft), and 124 bicycle parking spaces.

In addition to the Historic Preservation Commission (HPC), the proposed project requires review and approval by the Planning Commission. The HPC shall review the proposed project as part of a Certificate of Appropriateness (Planning Code Section 1006), since the project includes new construction within the South End Landmark District. The Planning Commission shall review the proposed project as part of the Office Development Authorization (Planning Code Section 321 and

322) and a Large Project Authorization (Planning Code Section 329), since the project includes the new construction in excess of 25,000 gross square feet within the Eastern Neighborhoods Area Plan, and new office use larger than 25,000 gross square feet.

ENVIRONMENTAL REVIEW

The proposed project is currently undergoing environmental review as part of a Community Plan Exemption (CPE).

APPENDIX I OF ARTICLE 10

The South End Landmark District is locally designated in Appendix I of Article 10 of the San Francisco Planning Code (Appendix I). The South End Landmark District is significant under events and design/construction for its strong collection of late nineteenth-century and early twentieth century masonry warehouses, which are representative of San Francisco's maritime, labor, industrial and railroad activities for the period of significance between 1867 and 1935. This district is also significant for the collection of well-known architects and businesses that arose along the southern waterfront, and for the intact collection of brick and reinforced concrete industrial warehouses.

Per Section 6 of Appendix I, the South End Landmark District is characterized by the following character-defining features:

1. *Overall Form and Continuity- Building height is generally within a six-story range, and many of the oldest structures are one or two stories in height.*
2. *Scale and Proportion - The buildings are of typical warehouse design, large in bulk, often with large arches and openings originally designed for easy vehicular access. There is a regularity of overall form. The earlier brick structures blend easily with the scaled-down Beaux Arts forms of the turn of the century and the plain reinforced concrete structures characteristic of twentieth-century industrial architecture.*
3. *Fenestration - The earliest structures have few windows, expressing their warehouse function. They are varied in size, rhythmically spaced, deeply recessed, produce a strong shadow line, and relate in shape and proportion to those in nearby buildings. Larger industrial sash windows began to be incorporated in structures built from the 1920s and onward. Door openings are often massive to facilitate easy access of bulk materials.*
4. *Materials - Standard brick masonry is predominant for the oldest buildings in the district, with reinforced concrete introduced after the 1906 fire, although its widespread use did not occur until the 1920s. Brick and stone paving treatments on Federal and First and De Boom Streets respectively are extant as well as Beltline Railroad Tracks which run throughout the District.*
5. *Color - Red brick is typical, with some yellow and painted brick. Muted earth tones predominate in shades of red, brown, green, gray and blue.*

6. *Texture - Typical facing materials give a rough textured appearance. The overall texture of the facades is rough grained.*
7. *Detail - Arches are common at the ground floor, and are frequently repeated on upper floors. Flattened arches for window treatment are typical. Cornices are simple and generally tend to be abstract versions of the more elaborate cornices found in downtown commercial structures from the nineteenth century. Most of the surfaces of the later buildings are plain and simple reflecting their function. Some of the earlier brick work contains suggestions of pilasters, again highly abstracted. Where detail occurs, it is often found surrounding entryways.*

In addition to the aforementioned features, Section 6 of Appendix I also includes the following standards for new construction and alterations within the South End Landmark District:

1. *Facade Line Continuity – Facade line continuity is historically appropriate. Therefore, setbacks at lower floors and arcades, not generally being features of the South End Historic District, are generally not acceptable.*

2. *Fenestration and Design Elements for New Construction – In areas with a concentration of buildings characterized by a high proportion of mass to void and deeply recessed openings, vertical orientation and limited fenestration, the design of new construction should relate to those elements. In areas characterized by buildings with industrial style fenestration, new construction should relate to those design elements.*

3. *Signs.*

(A) Principal Signs - Only one sign will be allowed per establishment per street frontage. A flush sign with lettering intended to be read from across the street is permitted. On brick surfaces, signs should be mounted with a minimum number of penetrations of the wall, and those penetrations only in the mortar joints.

(B) Secondary Signs - One per establishment per street frontage. A secondary sign is intended to be viewed close-up and consists of: (a) Lettering on a door or window which contains only the name and nature of the establishment, hours of operation and other pertinent information. (b) A projecting sign not exceeding two square feet in area used in conjunction with a principal flush sign.

As noted within Section 7 of Appendix I, “new construction on vacant sites should conform to the general profile of the District, especially as to scale, sculptural qualities of facade and entrance detailing, fenestration patterns and materials described in Section 6 of this ordinance.”

Appendix I also includes additional standards for infill construction in Section 10, which read:

Additions to existing buildings and new infill construction proposed within the South End Historic District must reflect an understanding of the relationship of the proposal with the

contributing buildings within the district. Additions shall be reviewed for compatibility with the historic building and the district while infill construction shall be reviewed for compatibility with the overall district. Neither should directly imitate nor replicate existing features. For additions, every effort should be made to minimize the visibility of the new structure within the district. Infill construction should reflect the character of the district, including the prevailing heights of contributing buildings without creating a false sense of history. Property owners should consult early in the process with a Planning Department Historic Preservation Technical Specialist when developing a proposal...

When a district provides an opportunity for new construction through existing vacant parcels or by replacing non-contributing buildings, a sensitive design is of critical importance. Historic buildings within the district should be utilized and referenced for design context. Contemporary design that respects the District's existing character-defining features without replicating historic designs is encouraged. The Department uses the following criteria when reviewing proposals for infill construction:

The structure respects the general size, shape, and scale of the character-defining features associated with the district and its relationship to the character-defining features of the immediate neighbors and the district.

The site plan respects the general site characteristics associated with the district.

The design respects the general character-defining features associated with the district

The materials are compatible with the district in general character, color, and texture.

STAFF ANALYSIS & RECOMMENDATIONS

The Department seeks the advice of the ARC regarding the compatibility of the new construction with the surrounding landmark district as defined by Secretary of the Interior's Standards for Rehabilitation (Secretary's Standards) and Article 10 of the San Francisco Planning Code. The Department would like the ARC to consider the following information:

Demolition

The existing two-story industrial building is a non-contributing resource within the South End Landmark District, and is not considered a historic resource in its own right. Department staff has determined that the demolition of the existing building would not impact any character-defining features of the South End Landmark District, since there are no contributing resources located on the project site.

Secretary of the Interior's Standards for Rehabilitation & Appendix I of Article 10

The proposed project would not destroy or damage any contributing elements to the South End Landmark District. Department staff will undertake a complete analysis of the proposed project per the applicable Standards as part of the environmental review and the subsequent preservation

entitlements (Certificate of Appropriateness). In addition, Department staff will undertake additional analysis of the proposed project per the standards outlined in Appendix I of Article 10, specifically to assess the project's conformance to the guidelines for new construction and compatibility within the surrounding landmark district.

New Construction-Overall Form & Continuity, Scale & Proportion

Within the South End Landmark District, the existing buildings are generally one-to-six-story in height, constructed of a typical warehouse design, large in bulk and regular in overall form.

The proposed project is five-stories tall, large in bulk with minimal setbacks, and provides for an appropriate massing and scale relative to the adjacent context and larger landmark district. Along De Boom Street, the project is three-story tall along the street frontage with a setback incorporated for the upper two floors. This massing allows for a strong relationship to the two adjacent buildings, which are two-stories in scale. Along Federal Street, the project is two stories tall along the street frontage with a setback incorporated at the third floor and fourth/fifth floor levels. This massing is driven by Planning Code requirements. Department staff finds that a taller building at the street frontage would be appropriate given the district's context and massing; however, Planning Code requirements only allow for the two-story massing at the street face along Federal Street. This massing along Federal Street allows for an appropriate relationship to the neighboring three-story building. Currently, the project is designed with a brick façade and traditional industrial sash windows on the lower three levels and metal siding with butte-glazed fenestration on the upper two floors. Given the adjacent context, the side facades are exposed to public view.

Recommendation: The Department recommends continuation of the primary façade materials onto the visible side elevations. Currently, the brick façade and metal siding terminate partway along the side elevations, and the side elevations express a simpler material palette (stucco or exposed concrete). To allow for a reading of building in the round, as occurs within other buildings in the landmark district, the Department recommends continuing the primary façade material along the entire length of the visible side facades.

New Construction-Fenestration

Within the South End Landmark District, the existing buildings feature industrial-sash fenestration that is rhythmically spaced and deeply recessed.

On the three lower floors, the project incorporates an appropriate proportion of deeply recessed industrial sash windows in a regular pattern on both street facades. On the upper floors, the project incorporates a butt-glazed window system with no visible frames or sashes.

Recommendation: None. The Department believes that the proposed fenestration is compatible. The Department is supportive of the fenestration's deep recess, and encourages a projecting sill to add additional depth on the exterior façade.

New Construction-Materials, Color & Texture

Within the South End Landmark District, the common material palette consists of standard brick masonry and reinforced concrete. The typical colors and texture include a rough textured, red brick with some yellow and painted brick. In addition, the district features muted earth tones in shades of red, brown, green, gray and blue.

The project proposes a material palette consisting of a smooth-face, beige brick (first through third floors) with a patterned metal panels above (fourth and fifth floors). The beige brick would be laid in a common bond pattern and would feature soldier course accents at the roofline. The patterned metal panels would run across the entire length of the façade on the fourth and fifth floors. The Project Sponsor has also included two other options for the material palette, including: 1) a variation of the beige brick, which incorporate two other shades of beige; and, 2) a red brick option, which has two other shades of red.

Recommendation:

Department staff recommends continued refinement of the exterior brick material. Generally, the Department supports the red brick option given the prevalence of this type of material within the larger landmark district. However, the proposed sample features a smooth face, as opposed to a rough-textured face. The Department recommends an exterior brick in a variety of shades of red with a rougher texture.

In addition, the Department recommends elimination of the patterned metal panels, since it is not consistent with the dominant materials within the larger district. Although contemporary, the metal siding is too flat with no texture or visual depth. The Project Sponsor might consider an exposed or rough-texture concrete finish on the exterior of the fourth and fifth floors. The exterior color should also be consistent with the surrounding district.

New Construction-Detail

Within the South End Landmark District, the contributing properties commonly feature some type of roofline termination, which ranges from a simple projecting cornice to brick corbels. Arches, columns or pilasters with an articulated base are commonly found at the ground floor.

Currently, the project features a slightly projecting metal cornice at the roofline, which is below a soldier course of brick at the uppermost level of the brick façades on the third floor. The fourth and fifth floors do not feature a roofline termination; however, given the design of the fenestration, the project expresses a large framed element (or soffit) at the fifth floor. Along Federal Street, the ground floor features powder-coated aluminum storefront system and a regular rhythm of punched windows. The base of the pilasters would be covered in corten steel. At the ground floor along De Boom Street, the project features a raised inset entryway, which is adjacent to the roll-up garage door.

Recommendation:

Overall, the Department finds that the roofline termination offered by the project; however, the Department recommends additional consideration into the appropriateness

of a secondary roofline/cap at the second floor along Federal Street. Given the prevalence of the district's roofline termination, the Department is questioning whether additional articulation is warranted in this location, since a roofline termination is commonly found along the street facade.

In addition, the Department recommends removal of the corten steel base at the base of the pilasters along De Boom Street. This material seems incongruous with the surrounding district. The Project Sponsor should consider an articulated brick base or colored concrete, which are common features found among the district's contributors.

Finally, the Department recommends refinement of the entryway on De Boom Street. Since this project is commercial in nature, the raised inset entryway appears too residential in character, and should evoke a commercial or industrial aesthetic. The Project Sponsor should refine the landscaping in this area, and also consider alternate handrails.

REQUESTED ACTION

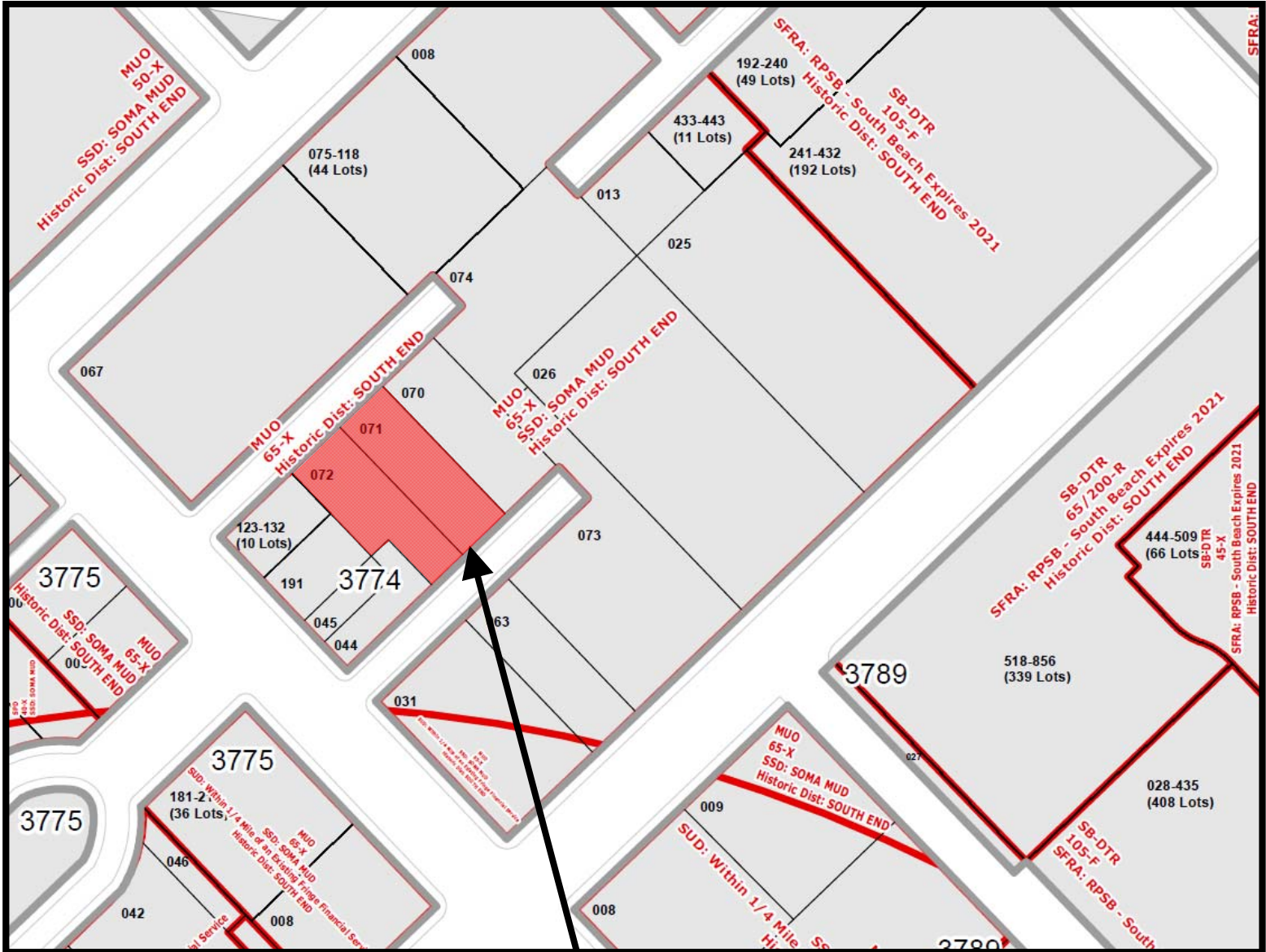
Specifically, the Department seeks comments on:

- Compatibility of the New Construction with the South End Landmark District;
- Recommendations for Overall Form & Continuity, Scale & Proportion;
- Concurrence on Fenestration;
- Recommendations for Materials, Color and Texture; and,
- Recommendations for Details.

ATTACHMENTS

- Exhibits
- Renderings & Architectural Drawings by Sternberg Benjamin Architects (March 29, 2016);

Parcel Map

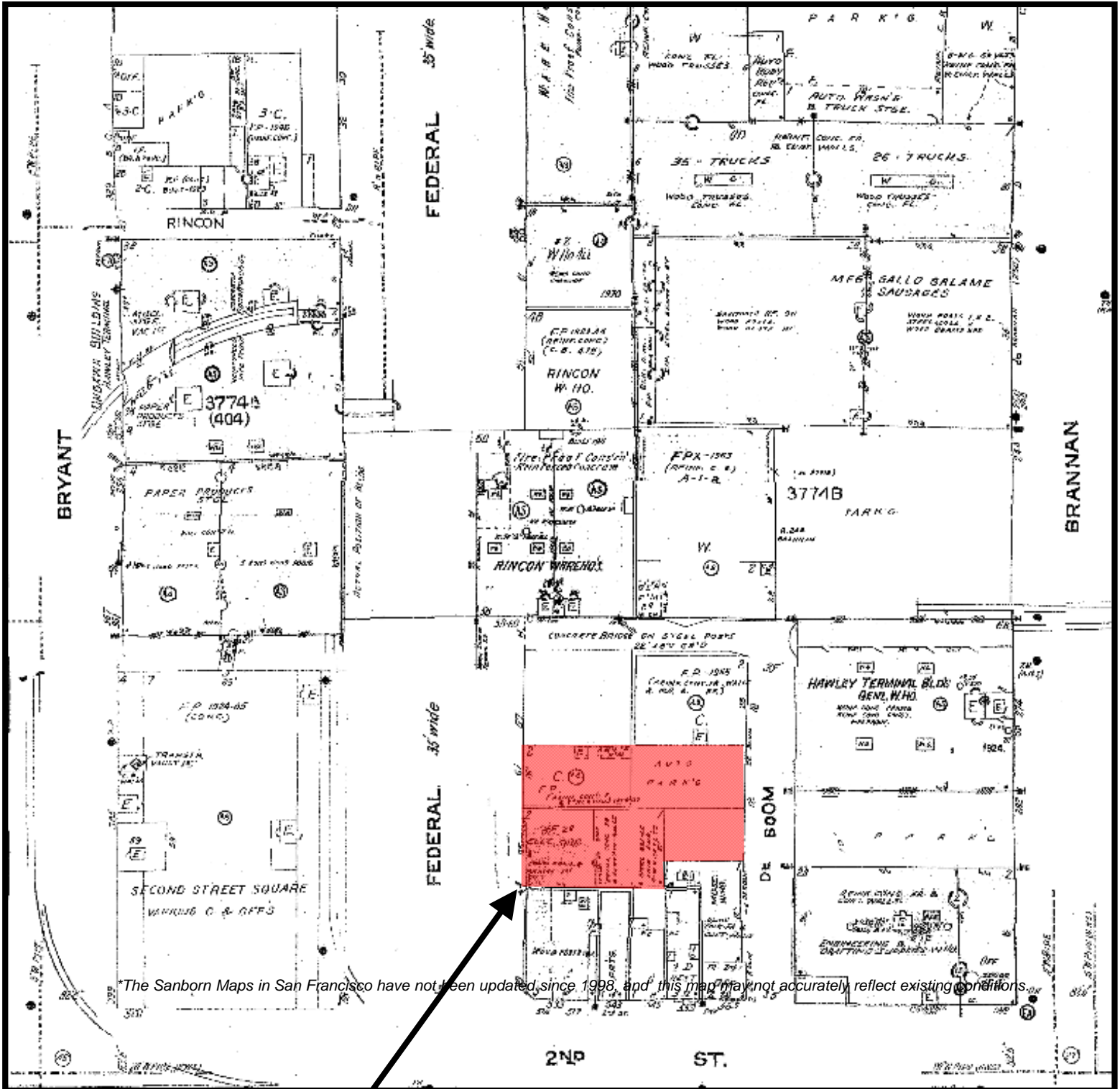


SUBJECT PROPERTY



Review & Comment (ARC Hearing)
Case Number 2012.1410AX
77-85 Federal Street

Sanborn Map*

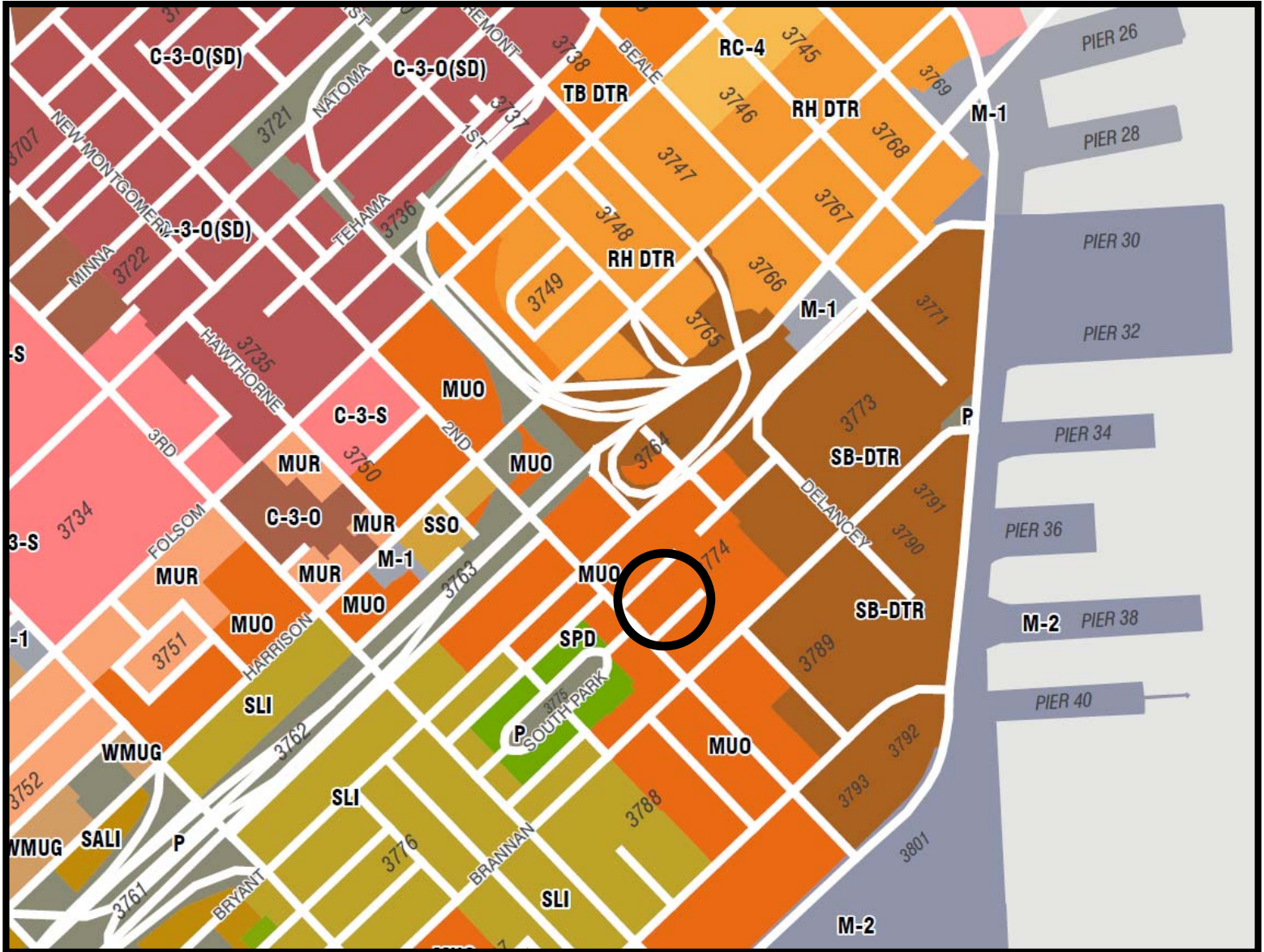


SUBJECT PROPERTY



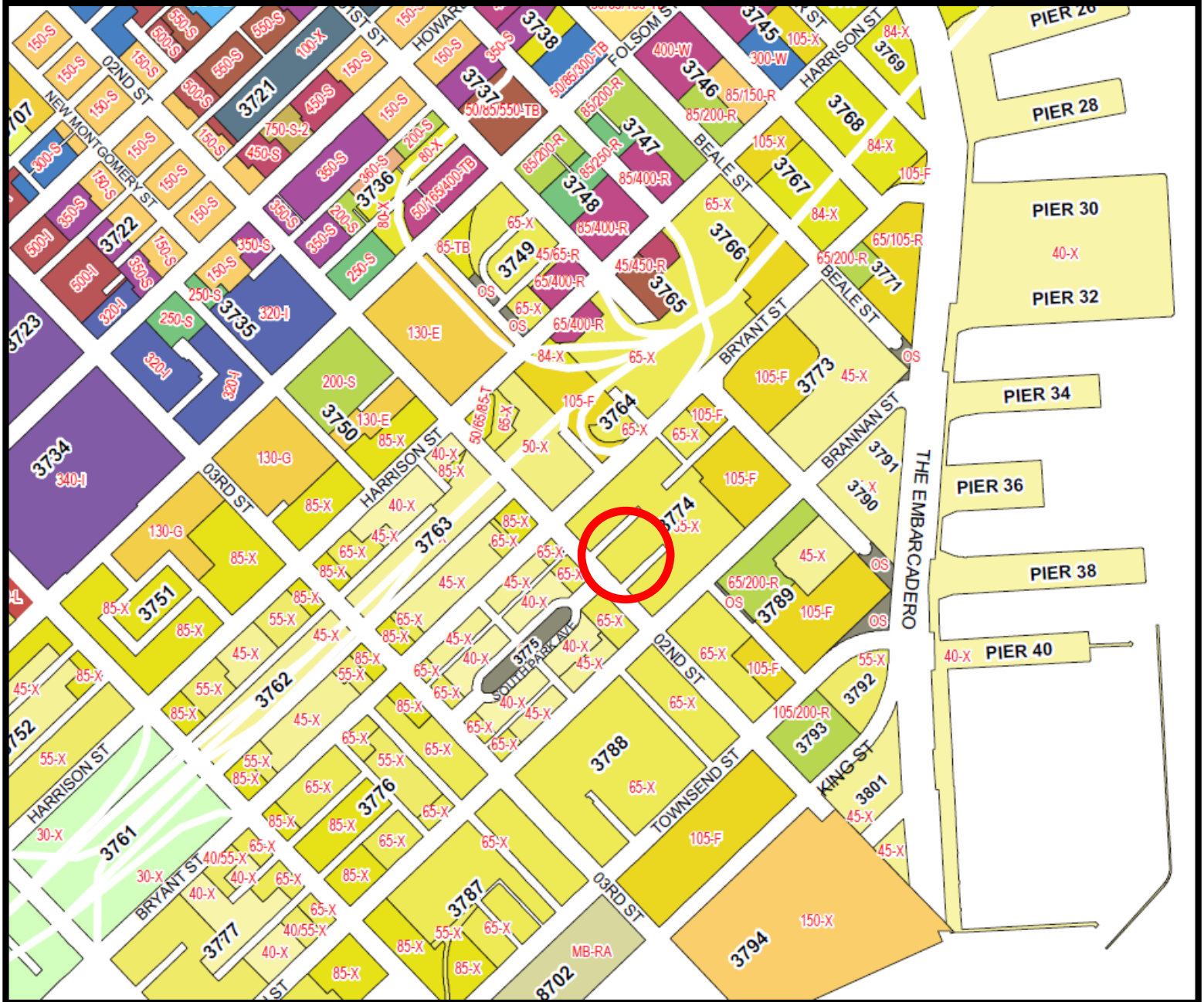
Review & Comment (ARC Hearing)
Case Number 2012.1410AX
77-85 Federal Street

Zoning Map



Review & Comment (ARC Hearing)
Case Number 2012.1410AX
77-85 Federal Street

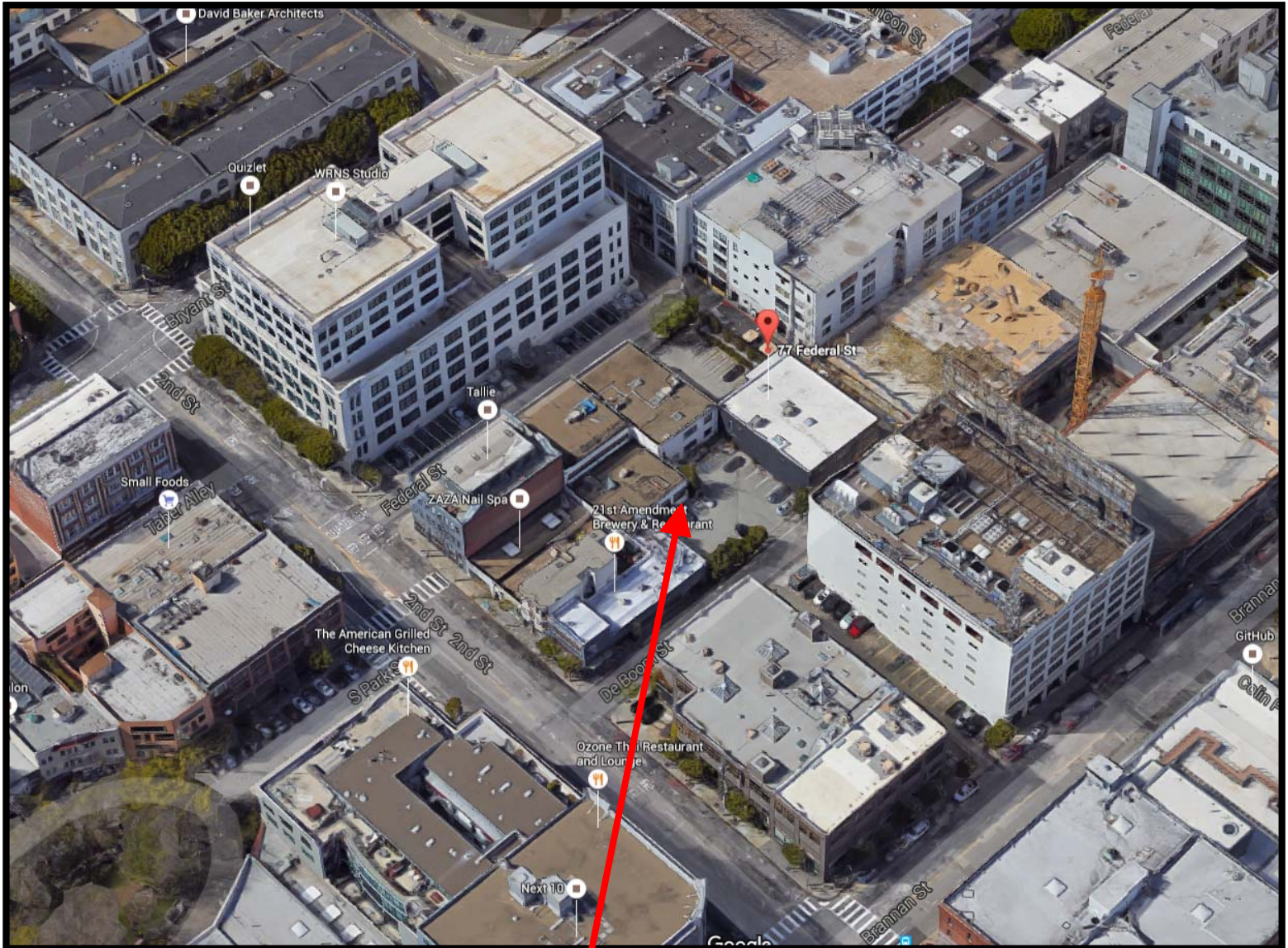
Height & Bulk Map



Review & Comment (ARC Hearing)
Case Number 2012.1410AX
77-85 Federal Street



Aerial Photo



SUBJECT PROPERTY



Review & Comment (ARC Hearing)
Case Number 2012.1410AX
77-85 Federal Street

Site Photo

SUBJECT PROPERTY

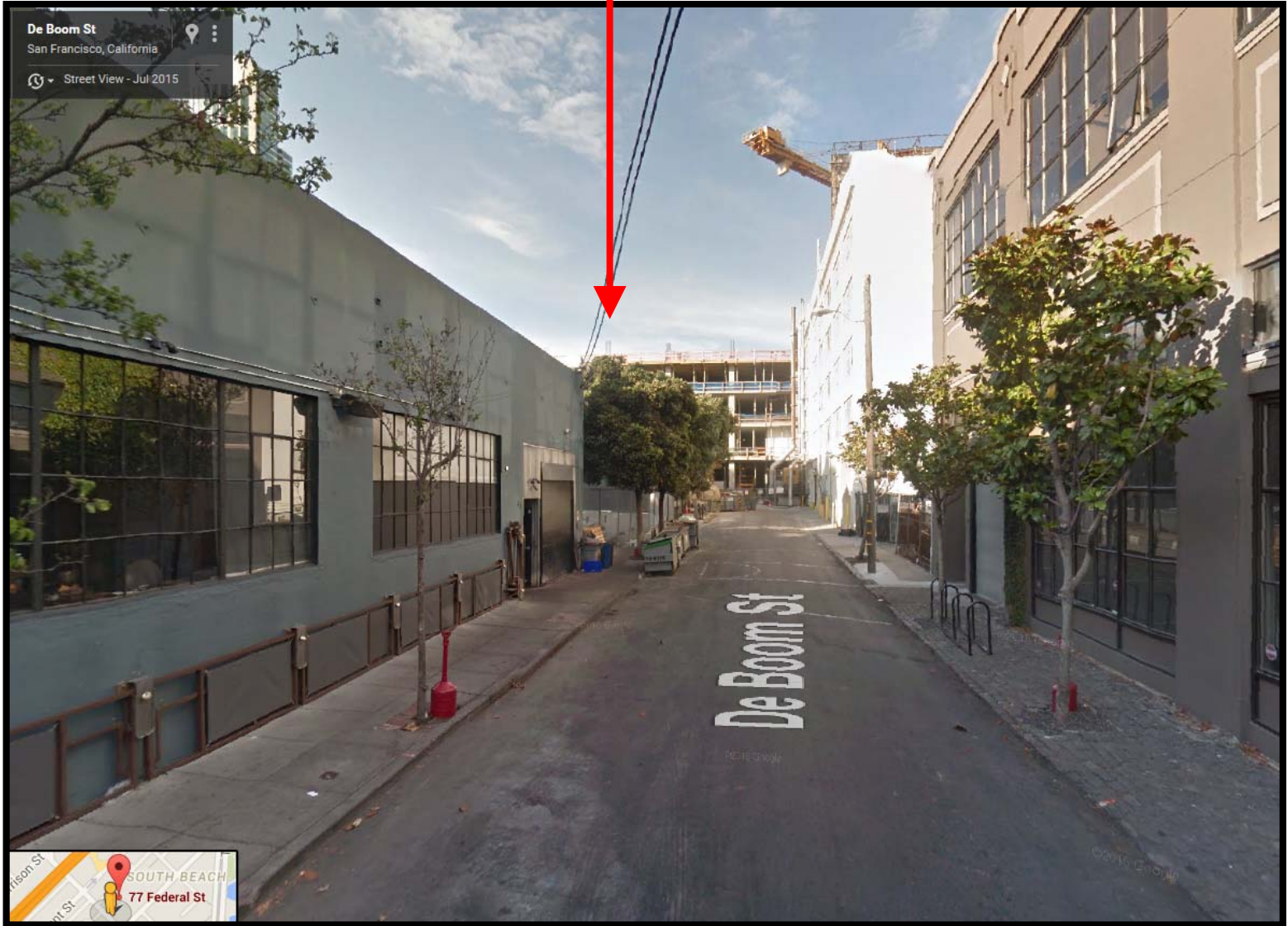


77-85 Federal Street, View along De Boom Street

Review & Comment (ARC Hearing)
Case Number 2012.1410AX
77-85 Federal Street

Site Photo

SUBJECT PROPERTY



77-85 Federal Street, View along De Boom Street from 2nd St

Review & Comment (ARC Hearing)
Case Number 2012.1410AX
77-85 Federal Street

Site Photo

SUBJECT PROPERTY



77-85 Federal Street, Existing Buildings along Federal St

Review & Comment (ARC Hearing)
Case Number 2012.1410AX
77-85 Federal Street

Site Photo

SUBJECT PROPERTY



77-85 Federal Street, Existing Buildings along Federal St

Review & Comment (ARC Hearing)
Case Number 2012.1410AX
77-85 Federal Street



DEAD END

gallie

STARS







11.05.15
NOPDR#2

DRAWING INDEX

Title Sheets

TS.00	COVER SHEET/ DRAWING INDEX
TS.01	PROJECT NOTES
TS.02	LEGENDS AND ABBREVIATIONS
TS.03	WATER FLOW / UNIT & RETAIL AREAS PLUMBING FIXTURES
TS.04	NOTICE OF SPECIAL RESTRICTIONS DECLARATION OF USE LIMITATIONS AND SAN FRANCISCO EQUILIBRIUMS GREEN BUILDING: SITE PERMIT CHECKLIST

Architectural

P1.00	ALLOWABLE AREA DIAGRAMS -PLANNING
P1.01	BUILDING ENVELOPE DIAGRAM
P1.02	EXISTING CONDITIONS PHOTO SHEET
A0.10	ARCHITECTURAL SITE PLAN
A1.00	BASEMENT FLOOR PLAN
A1.01	FIRST FLOOR PLAN
A1.02	SECOND FLOOR PLAN
A1.03	THIRD FLOOR PLAN
A1.04	FOURTH FLOOR PLAN
A1.05	FIFTH FLOOR PLAN
A1.06	ROOF PLAN

A2.01	FEDERAL STREET & DE BOOM STREET ELEVATIONS
A2.02	EAST & WEST (PROPERTY LINE) ELEVATIONS

A3.01	SECTION LOOKING EAST
A6.01	ENLARGED BUILDING ELEVATIONS
A9.01	ENLARGED DETAILS

C 1.1	ARCHITECTURAL SITE SURVEY
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DIRECTORY:

OWNER

XXX
1485 BAYSHORE
BLVD. SUITE 101
SAN FRANCISCO, CA
94124

ARCHITECT

STERNBERG BENJAMIN
ARCHITECTS INC.
1331 HARRISON STREET
SAN FRANCISCO, CA 94103

STRUCTURAL ENGINEER

XXX

CIVIL ENGINEER

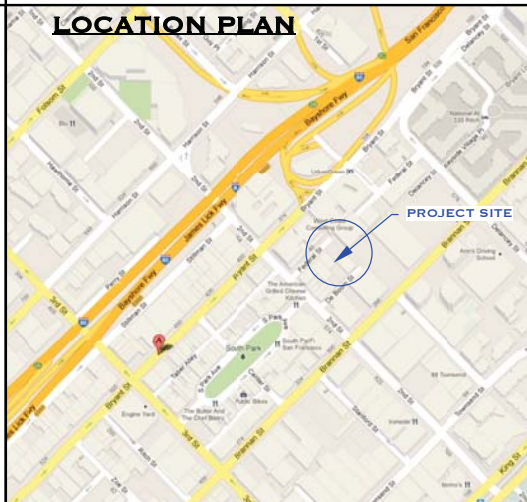
FREDERICK T. SEHER & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
SURVEYING & MAPPING
841 LONBARD STREET
SAN FRANCISCO, CA 94133



COVER SHEET
DRAWING INDEX

FEDERAL & De BOOM
SAN FRANCISCO, CA
BLOCK: 3774, LOT 071 & 072

Revision	Date
Pre App	12.17.2012
EE	03.22.2013
NOPDR #1	11.02.2015
NOPDR #2	03.29.16



Date: 11.05.2012
Scale:
Drawn: ABM
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TS.00

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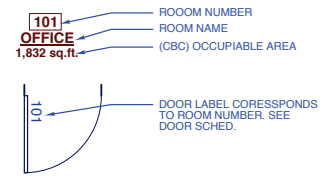
LEGEND

<p>ONE-WAY SWITCH</p> <p>TWO-WAY SWITCH</p> <p>DIMMER SWITCH</p> <p>24 HOUR TIMERSWITCH</p> <p>DUPLEX RECEPTACLE 240: 220/240 VOLT WP: WATERPROOF CA: ABOVE COUNTER</p> <p>FLOOR DUPLEX RECPT. W/ REMOVABLE FLUSH COVER</p> <p>FOURPLEX RECEPT. DIRECT CONNECTION RECEPTACLE</p> <p>RECEPTACLE STRIP (OUTLETS @ 6" O.C.)</p> <p>RECESS MOUNTED ELEC. PANEL BOX</p> <p>TELEPHONE RECEPT. (W: WALL MTD.)</p> <p>CEILING HEATER</p> <p>SURFACE-MOUNTED INCANDESCENT LIGHT FIXTURE AT WALL PC=PULL CHAIN, LV=LOW VOLTAGE</p> <p>SURFACE-MOUNTED INCANDESCENT LIGHT FIXTURE AT CEILING. PC=PULL CHAIN, LV=LOW VOLTAGE</p> <p>SURFACE-MOUNTED COMPACT FLUORESCENT LIGHT FIXTURE AT WALL. LV=LOW VOLTAGE</p> <p>SURFACE-MOUNTED COMPACT FLUORESCENT LIGHT FIXTURE AT CEILING. LV=LOW VOLTAGE</p> <p>RECESSED INCANDESCENT LIGHT FIXTURE AT CEILING. (H: HEAT LAMP LV: LOW VOLT.)</p> <p>RECESSED COMPACT FLUORESCENT LIGHT FIXTURE AT CEILING.</p> <p>ROOM NAME ROOM NUMBER</p> <p>BR BEDROOM WC BATHROOM DA DRESSING AREA AWC HANDICAP ACCESSIBLE BATHROOM KITCHEN K/L/D LIVING DINNING ROOM</p>	<p>UNDER CABINET FLUOR. LIGHT STRIP</p> <p>FLUORESCENT LIGHT FIXTURE</p> <p>INCANDESCENT TRACK LIGHT FIXTURE</p> <p>HALOGEN TRACK LIGHT FIXTURE</p> <p>T.V. OUTLET; VIACOM COMPATIBLE CABLE</p> <p>INTERCOM</p> <p>SMOKE / CARBON MONOXIDE DETECTOR (AC POWERED W/ BATTERY BACK-UP U.O.N.)</p> <p>THERMOSTAT</p> <p>DOOR BELL LIGHTED EXIT SIGN W/ BATTERY BACK-UP</p> <p>SECURITY ALARM</p> <p>SECURITY ALARM PANEL BOX</p> <p>IN-SINK TRASH DISPOSAL</p> <p>EXHAUST FAN</p> <p>GAS METER</p> <p>ELECTRIC METER</p> <p>WATER CONNECTION AS REQUIRED</p> <p>HOSE BIB</p> <p>GAS HOOK-UP</p> <p>FLOOR SUPPLY</p> <p>FLOOR RETURN</p> <p>CEILING SUPPLY</p> <p>CEILING RETURN</p> <p>WALL/TOE SPACE SUPPLY</p> <p>WALL/TOE SPACE RETURN</p> <p>ELECTRIC WALL HEATER</p> <p>LAUNDRY KITCHEN BATHROOM EXHAUST</p> <p>DOWNSPOUT</p> <p>"Z" DUCT</p> <p>FIRE DEPT. CONNECTION</p> <p>FLOOR DRAIN. MAXIMUM SLOPE NOT TO EXCEED 1/4" PER FOOT IN ADA ACCESSIBLE AREAS</p>
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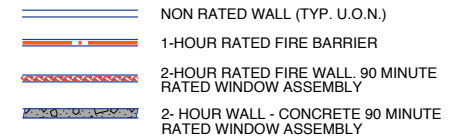
ABBREVIATIONS

<p>& AND</p> <p>< ANGLE</p> <p>@ AT</p> <p>A. ANCHOR BOLT</p> <p>A.C. ASPHALTIC CONCRETE</p> <p>ACOUST. ACOUSTICAL</p> <p>A.D. AREA DRAIN</p> <p>ADJ. ADJACENT</p> <p>ALUM. ALUMINUM</p> <p>AUTO. AUTOMATIC</p> <p>BALC. BALCONY</p> <p>BD. BOARD</p> <p>BLD. BUILDING</p> <p>BM. BEAM</p> <p>B.O.C. BOTTOM OF CURB</p> <p>BTM. BOTTOM</p> <p>B.S.W. BACK OF SIDEWALK</p> <p>BTWN. BETWEEN</p> <p>CABT. CABINET</p> <p>CEM. PLAS. CEMENT PLASTER/STUCCO</p> <p>C.J. CONTROL JOINT</p> <p>CL. CENTERLINE</p> <p>CLG. CEILING</p> <p>CLKG. CAULKING</p> <p>CL. CLOSET</p> <p>CLR. CLEAR</p> <p>CMU. CONCRETE MASONRY UNIT</p> <p>COL. COLUMN</p> <p>CONC. CONCRETE</p> <p>CONN. CONNECTION</p> <p>CONT. CONTINUOUS</p> <p>CONST. CONSTRUCTION</p> <p>CNTR. COUNTER</p> <p>CSMT. CASEMENT</p> <p>D. DRYER</p> <p>DA. DRESSING AREA</p> <p>DBL. DOUBLE</p> <p>DET. DETAIL</p> <p>DIA. DIAMETER</p> <p>DIM. DIMENSION</p> <p>DR. DOOR</p> <p>D.S. DOWNSPOUT</p> <p>DWG. DRAWING</p> <p>EA. EACH</p> <p>E.J. EXPANSION JOINT</p> <p>ELEV. ELEVATION</p> <p>ELECT. ELECTRICAL</p> <p>ENCL. ENCLOSURE</p> <p>E.P. ELECTRICAL PANEL</p> <p>EQ. EQUAL</p> <p>EQPT. EQUIPMENT</p> <p>EXT. EXTERIOR</p> <p>F.A.I. FRESH AIR INTAKE</p>	<p>KIT. KITCHEN</p> <p>LDNG. LANDING</p> <p>LAV. LAVATORY</p> <p>LT. LIGHT</p> <p>MAX. MAXIMUM</p> <p>M.C. MEDICINE CABINET</p> <p>MECH. MECHANICAL</p> <p>MFR. MANUFACTURER</p> <p>MIN. MINIMUM</p> <p>MTD. MOUNTED</p> <p>MTL. METAL</p> <p>MULL. MULLION</p> <p>N/A. NOT APPLICABLE</p> <p>NIC. NOT IN CONTRACT</p> <p>NTS. NOT TO SCALE</p> <p>O/. OVER</p> <p>O.C. ON CENTER</p> <p>OFF. OFFICE</p> <p>O.H. OVERHANG</p> <p>OPNG. OPENING</p> <p>PERF. PERFORATED</p> <p>PL. PROPERTY LINE</p> <p>PLAS. LAM. PLASTIC LAMINATE</p> <p>P.O. PARTIALLY OPERABLE</p> <p>P.T. PRESSURE TREATED, OR, POST</p> <p>PTD. PAINTED</p> <p>PWD. PLYWOOD</p> <p>R. RISER</p> <p>REC. RECESSED</p> <p>REF. REFRIGERATOR</p> <p>REINF. REINFORCED</p> <p>REQD. REQUIRED</p> <p>RM. ROOM</p> <p>RO. ROUGH OPENING</p> <p>RWL. RAIN WATER LEADER</p> <p>S.A.D. SEE ARCHITECTURAL DRAWINGS</p> <p>S.A.F. SELF ADHERED FLASHING</p> <p>SC. SOLID CORE</p> <p>S.C.D. SEE CIVIL DRAWINGS</p> <p>SCH. SCHEDULE</p> <p>SEC. SECTION</p> <p>S.E.D. SEE ELECTRICAL DRAWINGS</p> <p>S.F. SUBFLOOR</p> <p>S.G. SAFETY GLAZING</p> <p>SH. SHELF</p> <p>SHT. SHEET</p> <p>SIM. SIMILAR</p> <p>S.L.D. SEE LANDSCAPE DRAWINGS</p> <p>S.M. SHEET METAL</p> <p>S.M.D. SEE MECHANICAL DRAWINGS</p> <p>S.P. STANDPIPE</p> <p>S.P.D. SE PLUMBING DRAWINGS</p> <p>SPECS. SPECIFICATIONS</p>
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SYMBOL LEGEND:



WALL LEGEND:



1331 HARRISON STREET
SAN FRANCISCO, CA 94103
TEL 415.882.9783 FAX 415.882.9786

STERENBERG
BENJAMIN
ARCHITECTS

www.sternbergbenjamin.com



**LEGENDS
ABBREVIATIONS**

FEDERAL & De BOOM
SAN FRANCISCO, CA
BLOCK: 3774, LOT 071 & 072

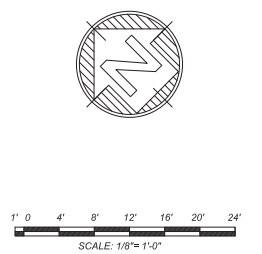
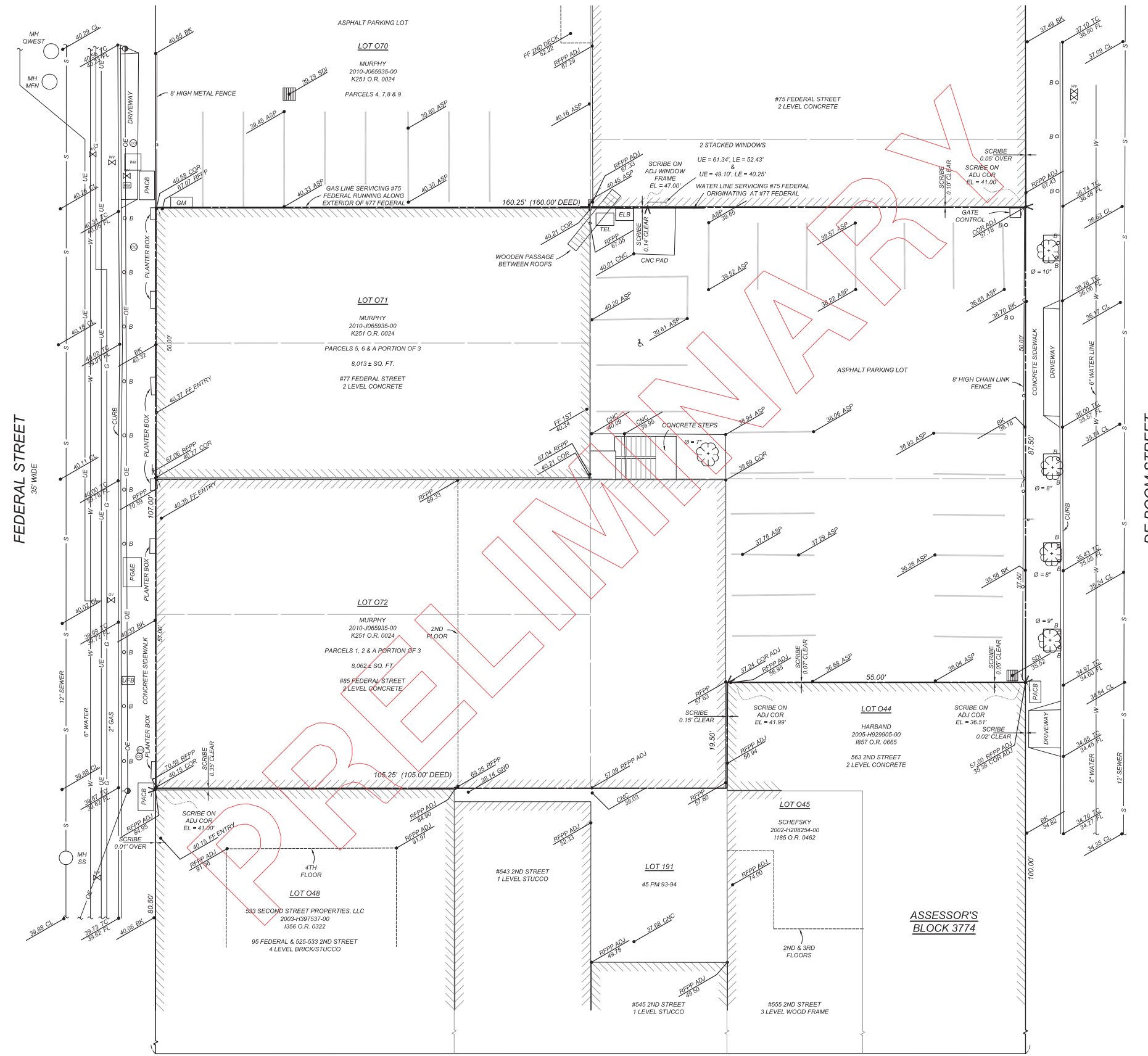
Revision	Date
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NOPDR #1	11.02.2015
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Date: 11.05.2012
Scale:
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LEGEND

- ADJ ADJACENT BUILDING
ASP ASPHALT
BK BACK OF WALK
BLDG BUILDING
CL CENTER LINE
CNC CONCRETE
COR CORNER
ELB ELECTRIC BOX
EL ELEVATION
FF FINISHED FLOOR
FL FLOW LINE
GM GAS METER
MH MANHOLE
PACB PACIFIC BELL
PGE PACIFIC GAS & ELECTRIC
RFPF ROOF PARAPET
SDI STORM DRAIN INLET
SS SANITARY SEWER
TC TOP OF CURB
TEL TELEPHONE BOX
UE UNIDENTIFIED BOX
... (more symbols and descriptions)

NOTE: TO ANYONE HAVING ANY TYPE OF INTEREST IN THIS MAP PLEASE BE ADVISED AS FOLLOWS:
1. THAT ALL TITLE INFORMATION HEREON INCLUDING EASEMENTS WAS PREPARED SOLELY FOR AND IN STRICT CONFORMANCE WITH OUR CLIENTS OR HIS AGENT'S REQUIREMENTS AND TITLE INFORMATION SUPPLIED TO FREDERICK T. SEHER & ASSOCIATES, INC.; FURTHERMORE, WE HEREBY DISCLAIM ANY AND ALL TITLE SEARCH RESPONSIBILITY ON THIS JOB.
2. NO PRELIMINARY TITLE REPORT WAS REVIEWED IN CONJUNCTION WITH THIS MAPPING. IT IS RECOMMENDED THAT A TITLE REPORT BE RECEIVED FROM THE OWNER TO VERIFY THE EXISTENCE OF ANY ADDITIONAL EASEMENTS OF RECORD OR LOT LINE ADJUSTMENTS THAT MAY HAVE ALTERED THE INFORMATION SHOWN HEREON PRIOR TO ANY DESIGN AND/OR CONSTRUCTION.
... (more notes)



PRELIMINARY FOR REVIEW PURPOSES ONLY

BOUNDARY NOTES:
PROPERTY AND RIGHT-OF-WAY LINES SHOWN HEREON ARE PREDICATED ON AN ANALYSIS OF EXISTING IMPROVEMENTS, RECORD DATA, FIELD TIES AND ASSESSOR'S PARCEL MAPS. IT IS NOT THE INTENT OF THIS MAP TO PROVIDE A FORMAL BOUNDARY RESOLUTION FOR THE SUBJECT PROPERTY SHOWN HEREON. SAID RESOLUTION WOULD REQUIRE THE SETTING OF PROPERTY CORNERS AND THE FILING OF A RECORD OF SURVEY UNDER CALIFORNIA STATE LAW. BOUNDARY INFORMATION SHOWN HEREON IS FOR PLANNING PURPOSES ONLY.
ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED
ALL DISTANCES ARE MEASURED IN FEET AND DECIMALS THEREOF.
DATE OF FIELD SURVEY:
TOPOGRAPHIC INFORMATION SHOWN HERE IS BASED UPON A FIELD SURVEY PERFORMED BY FREDERICK T. SEHER & ASSOCIATES INC. ON MAY 1, 2012.
SURVEY REFERENCE:
THE SURVEY HEREON IS BASED ON THE LEGAL DESCRIPTIONS DESCRIBED IN THE FOLLOWING GRANT DEED:
LOTS 071 & 072; RECORDED OCTOBER 18, 2010, DOCUMENT NUMBER 2010-J065935-00, ON REEL K251 AT IMAGE 0024, PARCELS 1, 2, 3, 5 & 6.
UTILITY NOTE:
UNDERGROUND UTILITIES SHOWN HEREON WERE PLOTTED FROM A COMBINATION OF OBSERVED SURFACE EVIDENCE (CONDITIONS PERMITTING) AND RECORD INFORMATION OBTAINED FROM THE RESPECTIVE UTILITY COMPANIES, AND ARE NOT INTENDED TO REPRESENT THEIR ACTUAL LOCATIONS. THEREFORE, ALL UTILITIES MUST BE VERIFIED WITH RESPECT TO SIZES, HORIZONTAL AND VERTICAL LOCATIONS BY THE OWNER AND/OR CONTRACTOR PRIOR TO DESIGN OR CONSTRUCTION. NO RESPONSIBILITY IS ASSUMED BY THE SURVEYOR FOR THE LOCATION AND CAPACITY OF SAID UTILITIES.
PROJECT BENCHMARK - DESCRIPTION:
ELEVATIONS SHOWN HEREON WERE OBTAINED FROM A GROUP OF CITY BENCHMARKS, LOCATED AT THE INTERSECTION OF SECOND AND BRYANT STREETS. ELEVATIONS ARE BASED ON CITY AND COUNTY OF SAN FRANCISCO DATUM, N.W. CORNER, CROW CUT OUTER RIM SWI. ELEVATION = 44.508'.
GENERAL NOTE:
THE FOLIAGE LINES OF ALL TREES PLOTTED HEREON ARE SHOWN IN A GRAPHICAL FORM ONLY, AND ARE NOT INTENDED TO REPRESENT ACTUAL DRUPLINES THEREOF.
SURVEYOR'S STATEMENT:
THIS MAP WAS PREPARED BY ME, OR UNDER MY DIRECTION, AND IS BASED UPON A FIELD SURVEY.
FREDERICK T. SEHER, PLS
LICENSE NO. 6216
LICENSE EXPIRES MARCH 31, 2014
DATE

2ND STREET
82.50' WIDE

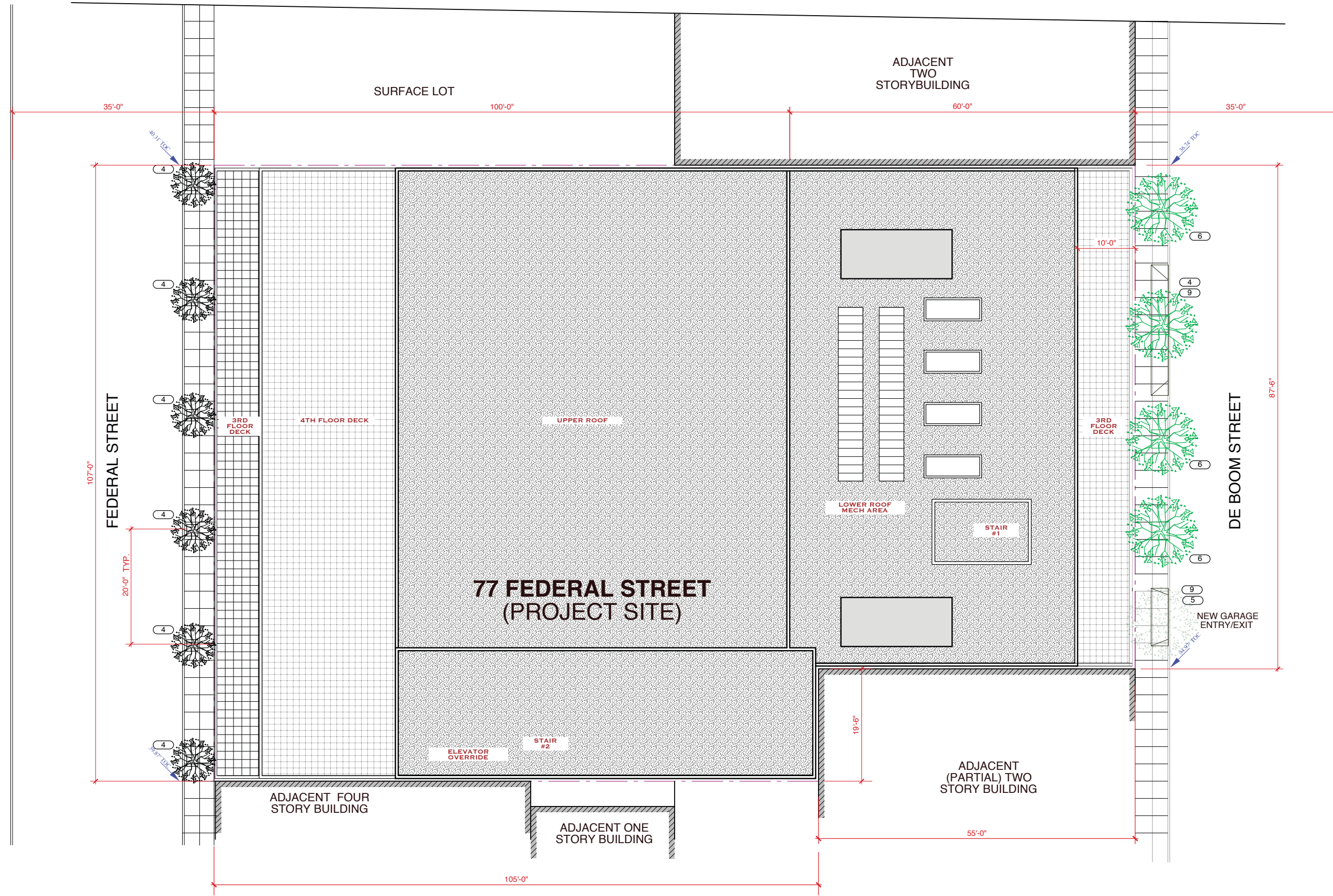
Table with columns: DATE, SCALE, DRAWN BY, DRAWING NAME, SURVEYED BY, CHECKED BY. Includes a revision table with columns: NO, BY, DATE, REVISIONS.

FREDERICK T. SEHER & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
SURVEYING & MAPPING
841 LOMBARD STREET, SAN FRANCISCO, CA 94133
(415) 921-7690 FAX (415) 921-7655

ARCHITECTURAL SITE SURVEY
75 & 85 FEDERAL STREET
ASSESSOR'S BLOCK 3774, LOTS 071 & 072

SHEET 1 OF 1 SHEETS
FILE NO. 1619-12

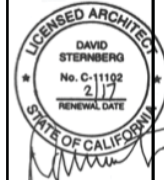
- KEYNOTES**
- 4 NEW STREET TREE TO BE PROVIDED
 - 5 EXISTING STREET TREE TO BE REMOVED
 - 6 EXISTING STREET TREE TO REMAIN
 - 7 NOT USED
 - 8 EXISTING CURB CUT TO BE REMOVED
 - 9 NEW CURB CUT AT DRIVEWAY ENTRY/EXIT



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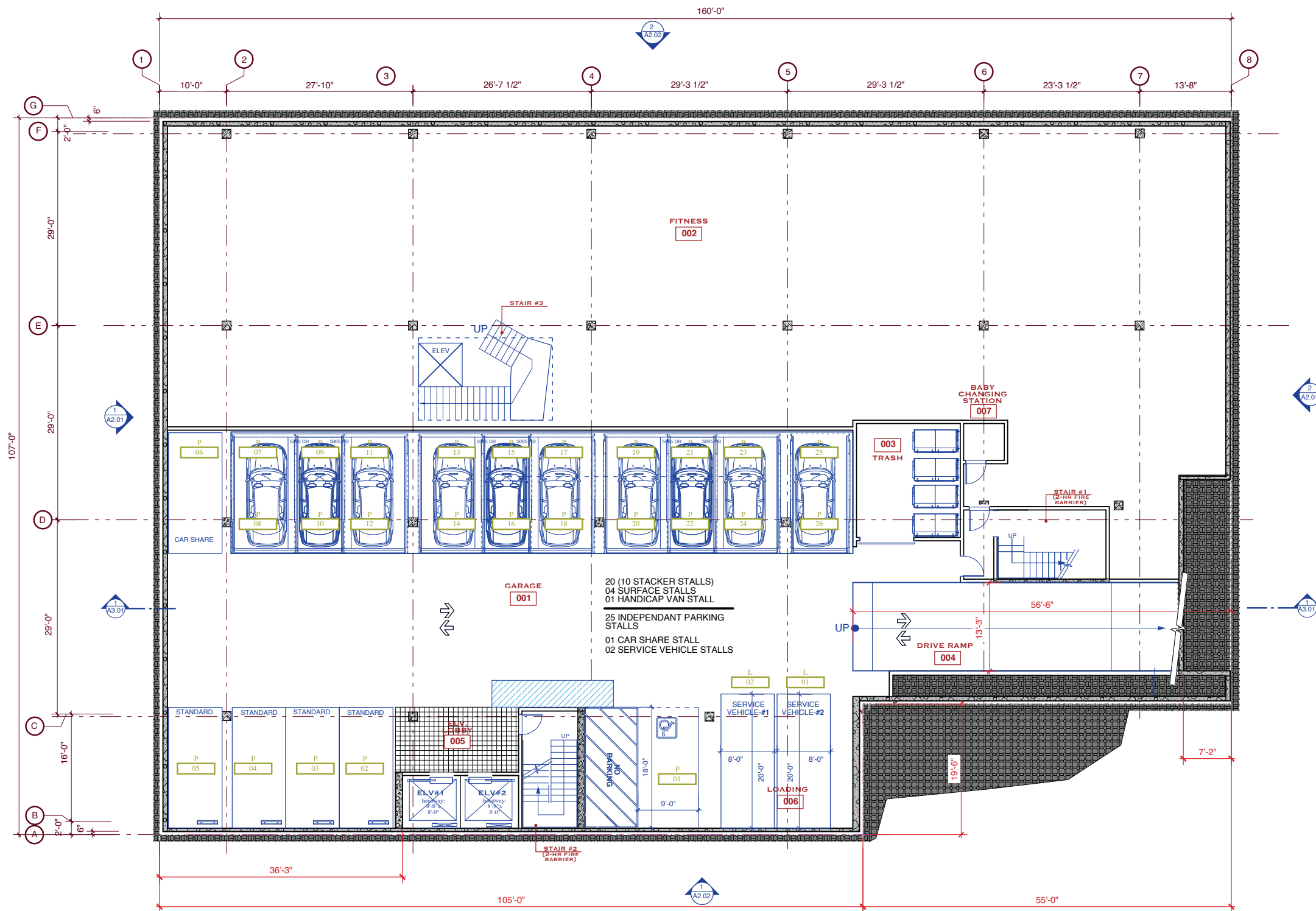
ARCHITECTURAL SITE
 PLAN

FEDERAL & DE BOOM
 SAN FRANCISCO, CA
 BLOCK: 3774, LOT 071 & 072

Revision	Date
Pre App	12.17.2012
EE	03.22.2013
NOPDR #1	11.02.2015
NOPDR #2	03.29.16

Date: 11.05.2012
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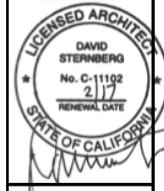
A0.10



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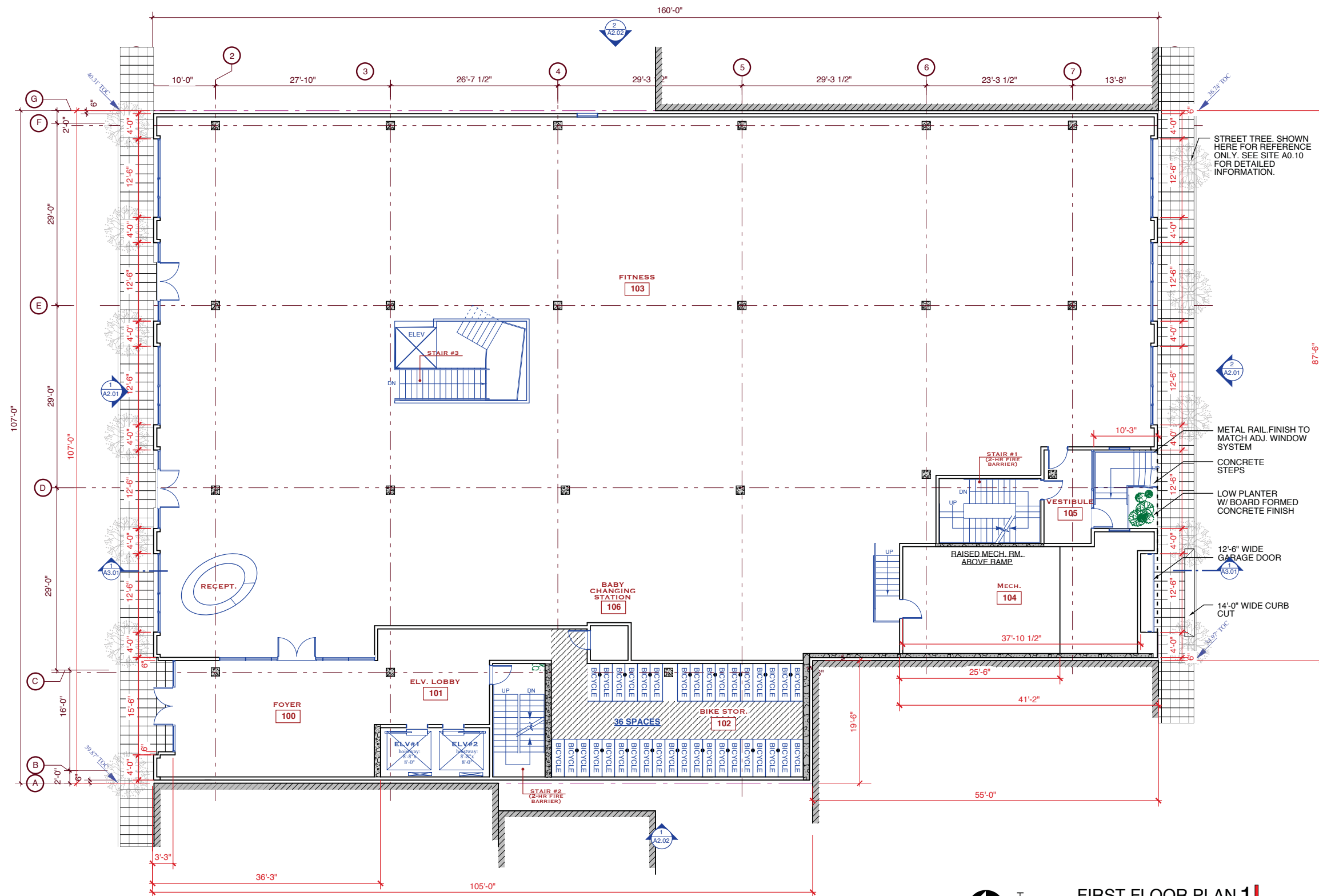


GARAGE FLOOR PLAN

FEDERAL & De BOOM
SAN FRANCISCO, CA
BLOCK: 3774, LOT 071 & 072

Revision	Date
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EE	03.22.2013
NOPDR #1	11.02.2015
NOPDR #2	03.29.16

Date: 11.05.2012
Scale: 1/8" = 1'-0"
Drawn: ABM
Sheet:



FIRST FLOOR PLAN 1
 SCALE 1/8" = 1'-0"
 NORTH

STREET TREE. SHOWN HERE FOR REFERENCE ONLY. SEE SITE A0.10 FOR DETAILED INFORMATION.

METAL RAIL FINISH TO MATCH ADJ. WINDOW SYSTEM
 CONCRETE STEPS
 LOW PLANTER W/ BOARD FORMED CONCRETE FINISH
 12'-6" WIDE GARAGE DOOR
 14'-0" WIDE CURB CUT

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STERNBERG BENJAMIN ARCHITECTS

LICENSED ARCHITECT
 DAVID STERNBERG
 No. C-11192
 2/17
 RENEWAL DATE

STATE OF CALIFORNIA

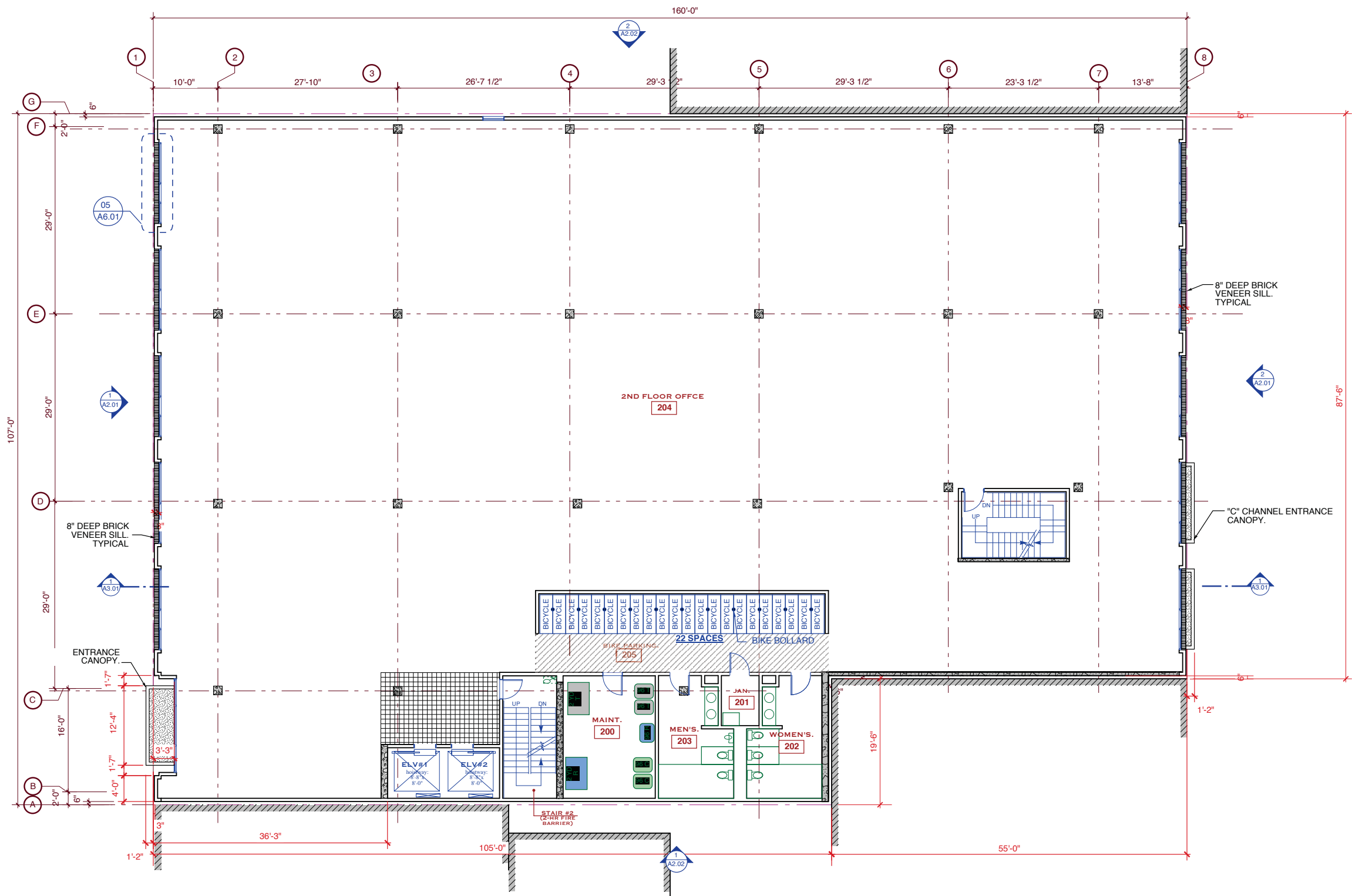
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**FIRST FLOOR PLAN
 OPTION -A**

FEDERAL & De BOOM
 SAN FRANCISCO, CA
 BLOCK: 3774, LOT 071 & 072

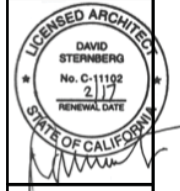
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SECOND FLOOR PLAN 1
 0 1 2 3 4 5 10 15 20

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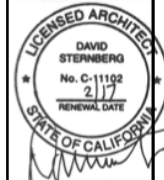
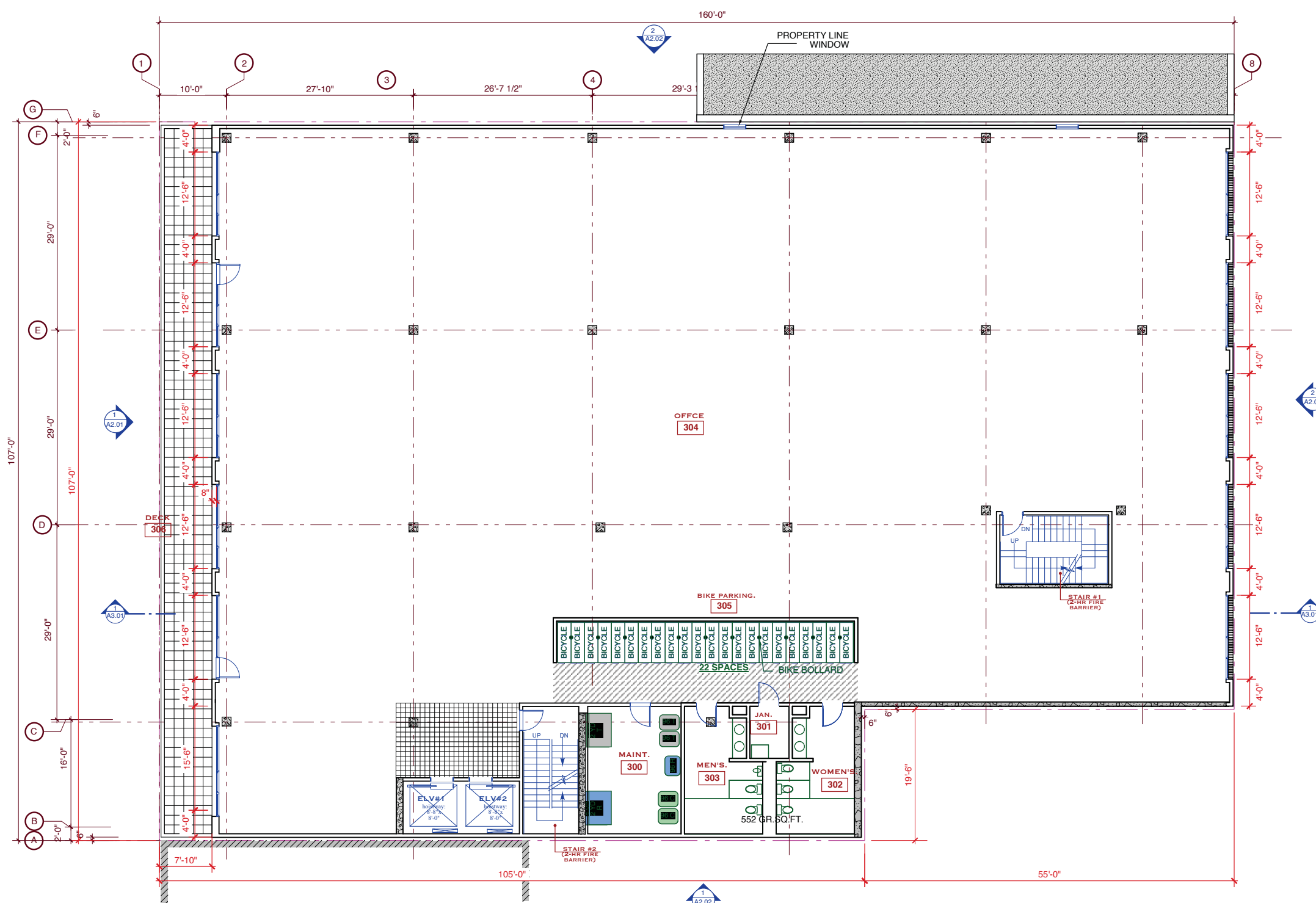
SECOND FLOOR PLAN

FEDERAL & De BOOM
 SAN FRANCISCO, CA
 BLOCK: 3774, LOT 071 & 072

Revision	Date
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 Scale: 1/8" = 1'-0"
 Drawn: ABM
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A1.02



THIRDFLOOR PLAN

FEDERAL & De BOOM
SAN FRANCISCO, CA
BLOCK: 3774, LOT 071 & 072

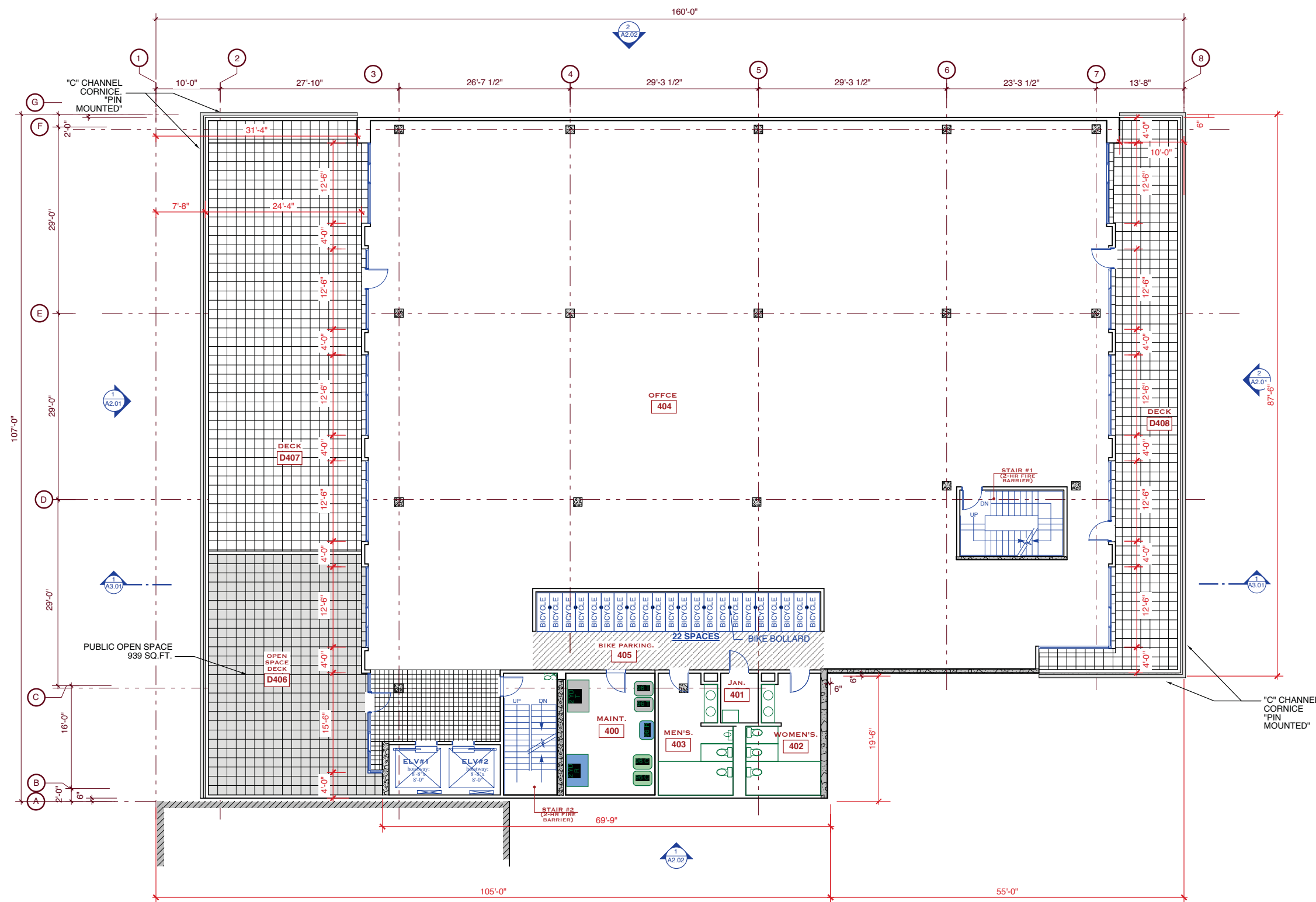
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NOPDR #2	03.29.16

Date: 11.05.2012
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Drawn: ABM
Sheet:

A1.03



THIRD FLOOR PLAN 1

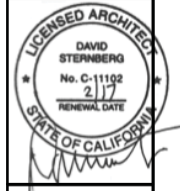


PLAN NORTH
FOURTH FLOOR PLAN 1

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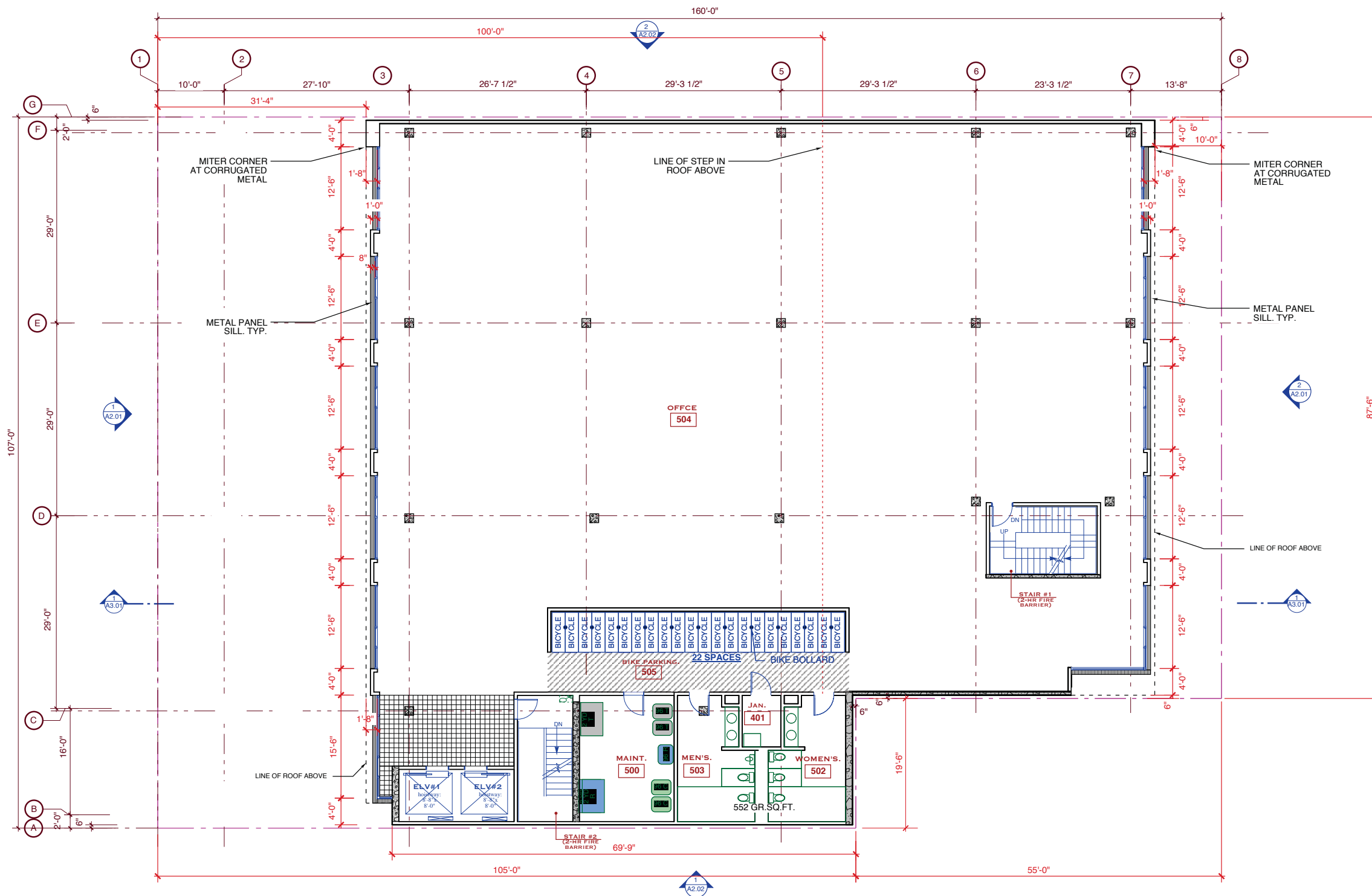
FOURTH FLOOR

FEDERAL & De BOOM
 SAN FRANCISCO, CA
 BLOCK: 3774, LOT 071 & 072

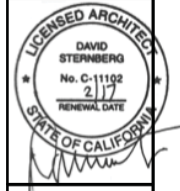
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Date: 11.05.2012
 Scale:
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A1.04



FIFTH FLOOR PLAN 1

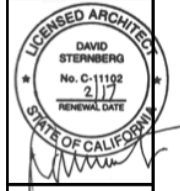
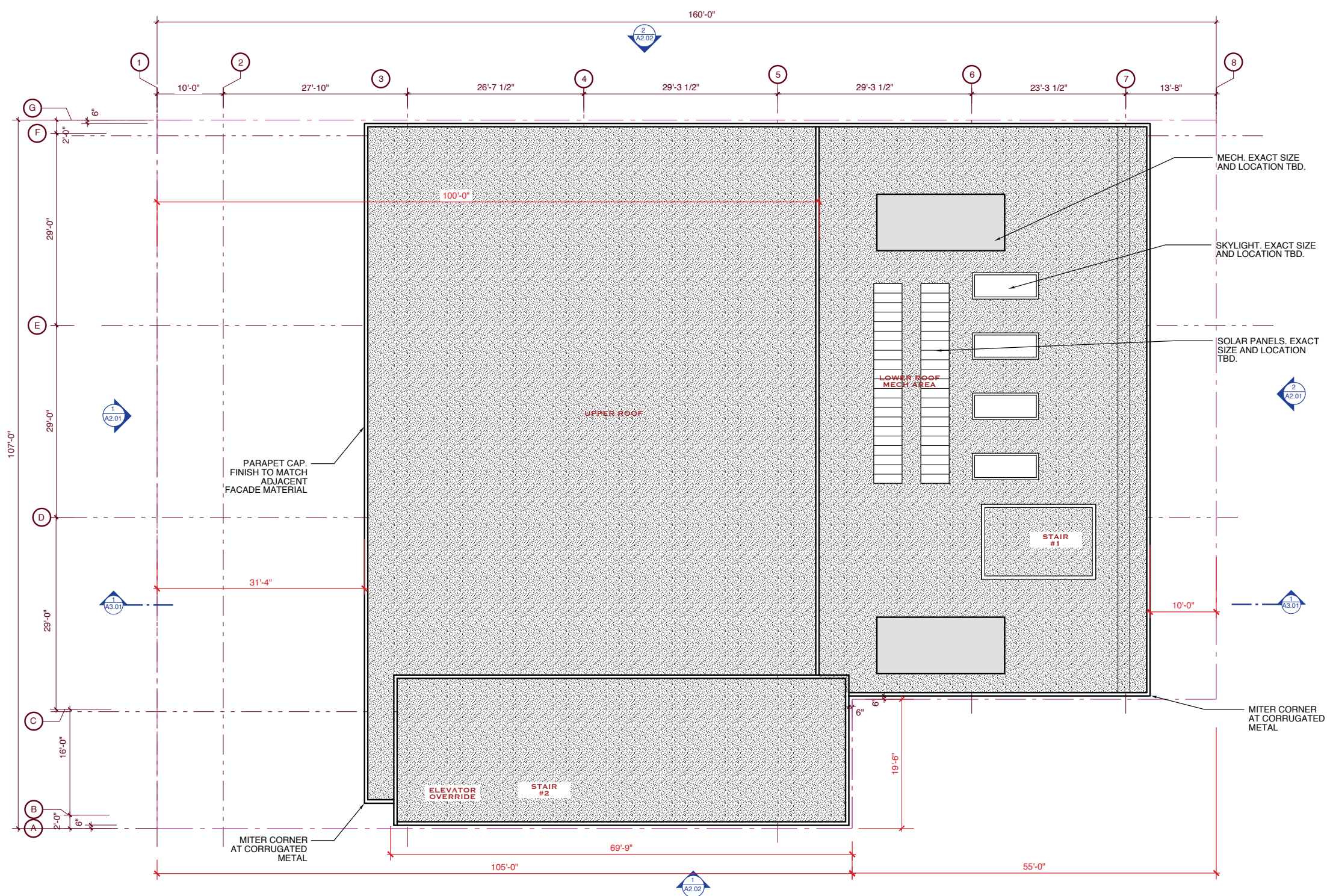


FIFTH FLOOR

FEDERAL & De BOOM
SAN FRANCISCO, CA
BLOCK: 3774, LOT 071 & 072

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EE	03.22.2013
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ROOF PLAN

FEDERAL & De BOOM
SAN FRANCISCO, CA
BLOCK: 3774, LOT 071 & 072

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A1.06



ROOF PLAN 1



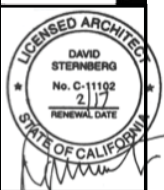
SOUTH ELEVATION (DE BOOM STREET) 2



NORTH ELEVATION (FEDERAL STREET) 1

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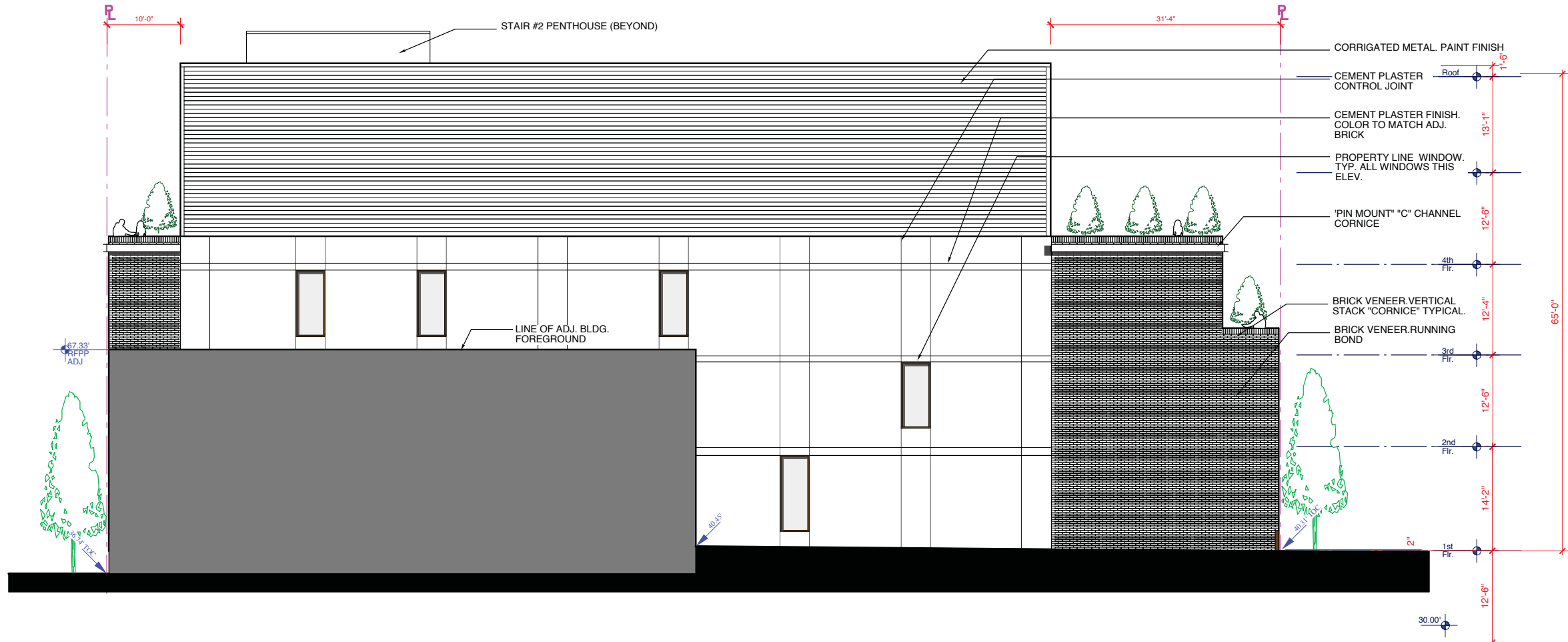
FEDERAL & DE BOOM ELEVATIONS

FEDERAL & De BOOM
SAN FRANCISCO, CA
BLOCK: 3774, LOT 071 & 072

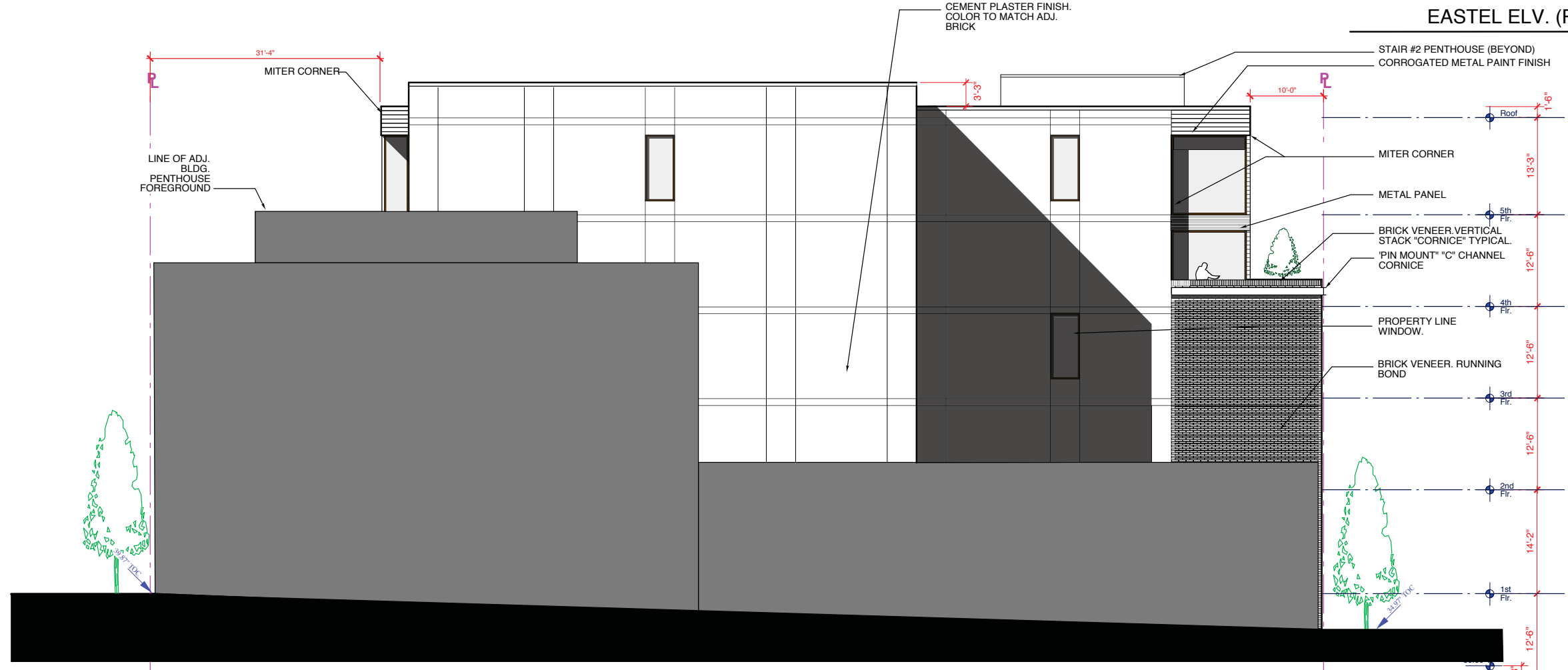
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NOPDR #2	03.29.16

Date: 11.05.2012
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Sheets:
A2.01



EAST ELV. (PROPERTY LINE) 2



WEST ELV. (PROPERTY LINE) 1

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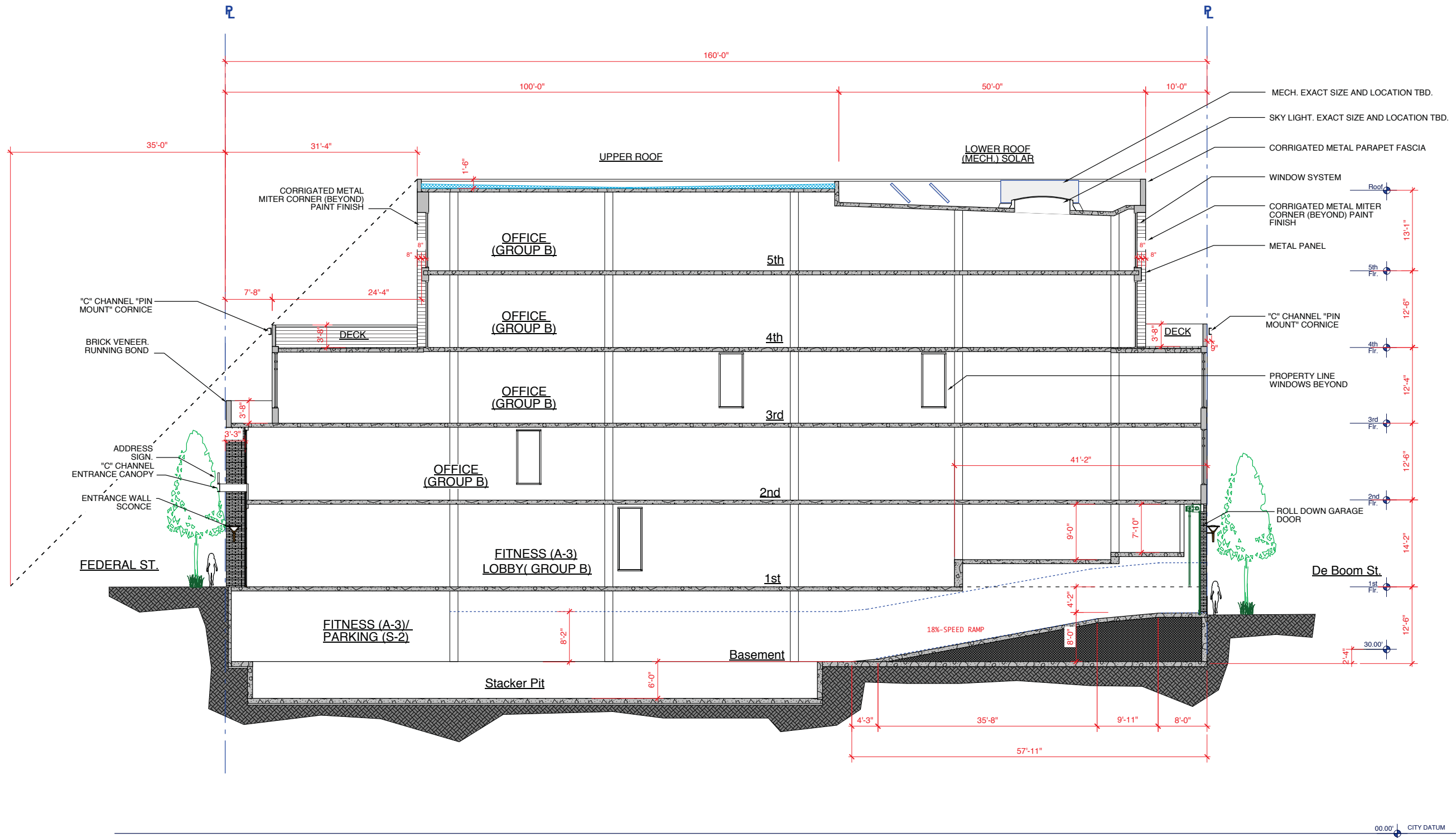
LICENSED ARCHITECT
DAVID STERNBERG
No. C-11192
2/17
RENEWAL DATE

**EAST & WEST
PROPERTY LINE
ELEVATIONS**

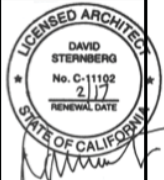
FEDERAL & De BOOM
SAN FRANCISCO, CA
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SECTION THRU BUILDING 1

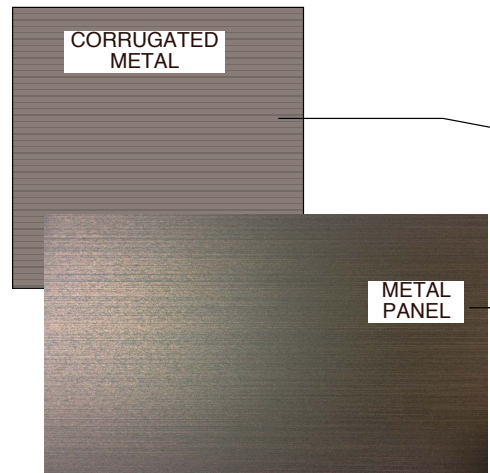


SECTION LOOKING EAST

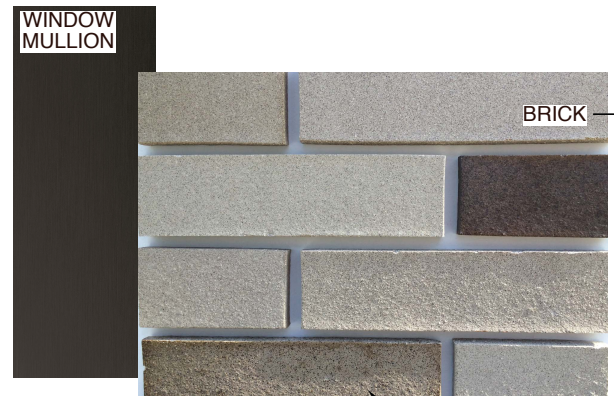
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FLOORS 4-5



FLOORS 1-3

'BELDEN' THIN BRICK VENEER-MODULAR MAYO BLEND 'A' 11-19

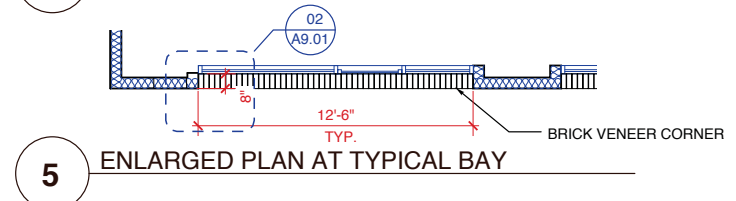


4 MATERIALS PALETTE

3 ENLARGED ELEVATION AT TYPICAL BAY

2 ENLARGED ELEVATION AT MAIN ENTRANCE

1 ENLARGED SECTION AT MAIN ENTRANCE

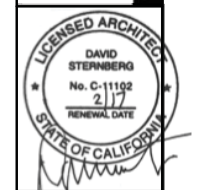


5 ENLARGED PLAN AT TYPICAL BAY

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FEDERAL & De BOOM
DE BOOM ENLARGED
ELEVATIONS

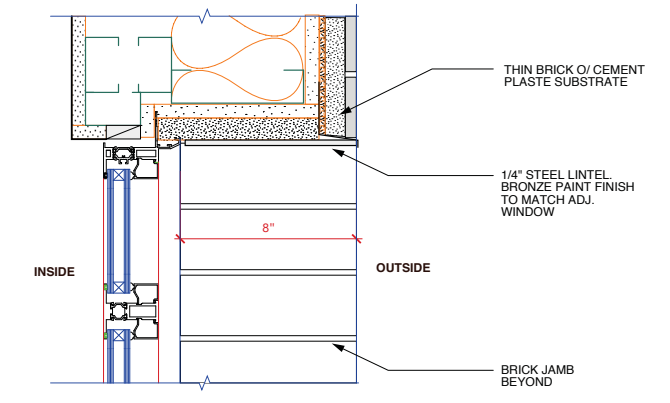
FEDERAL & De BOOM
SAN FRANCISCO, CA
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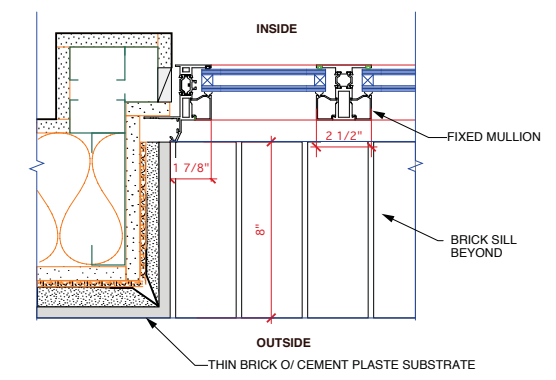
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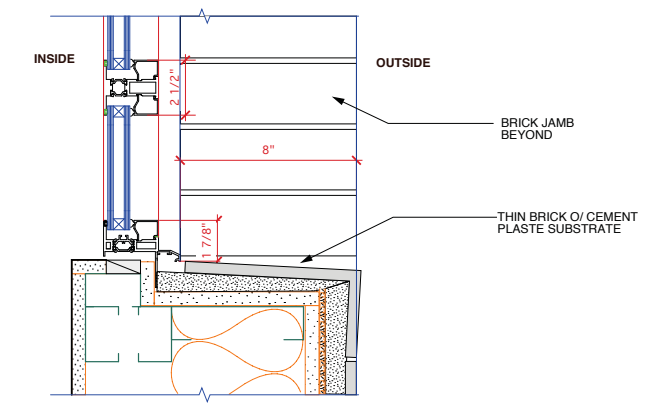
Date: 11.05.2012
 Scale:
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 Sheet:



3 HEAD DETAIL AT BRICK VENEER WALL 3" = 1'-0"



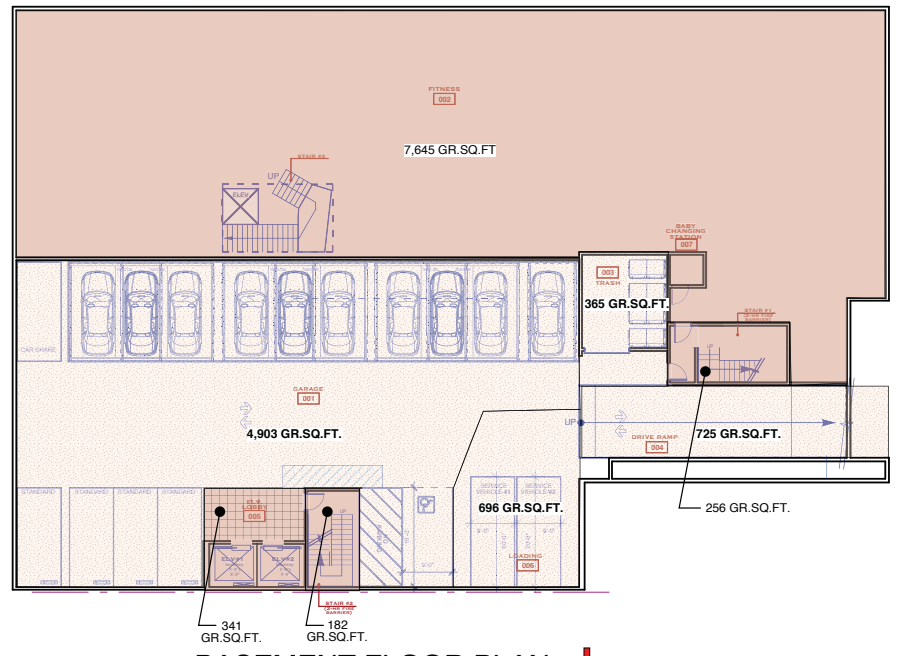
2 JAMB DETAIL AT BRICK VENEER WALL 3" = 1'-0"



1 SILL DETAIL AT BRICK VENEER WALL 3" = 1'-0"

BUILDING AREA CALCULATIONS		
GROSS AREA	INCLUDED	EXCLUDED
FITNESS & STAIR #3	7,645 gr.sq.ft	
GARAGE & CAR SHARE TRASH LOADING		4,903 gr.sq.ft 365 gr.sq.ft 696 gr.sq.ft
CIRCULATION DRIVE RAMP STAIR #1 STAIR #2	256 gr.sq.ft 182 gr.sq.ft	725 gr.sq.ft
ELEVATOR & LOBBY	341 gr.sq.ft	
TOTAL	8,424 gr.sq.ft	6,689 gr.sq.ft

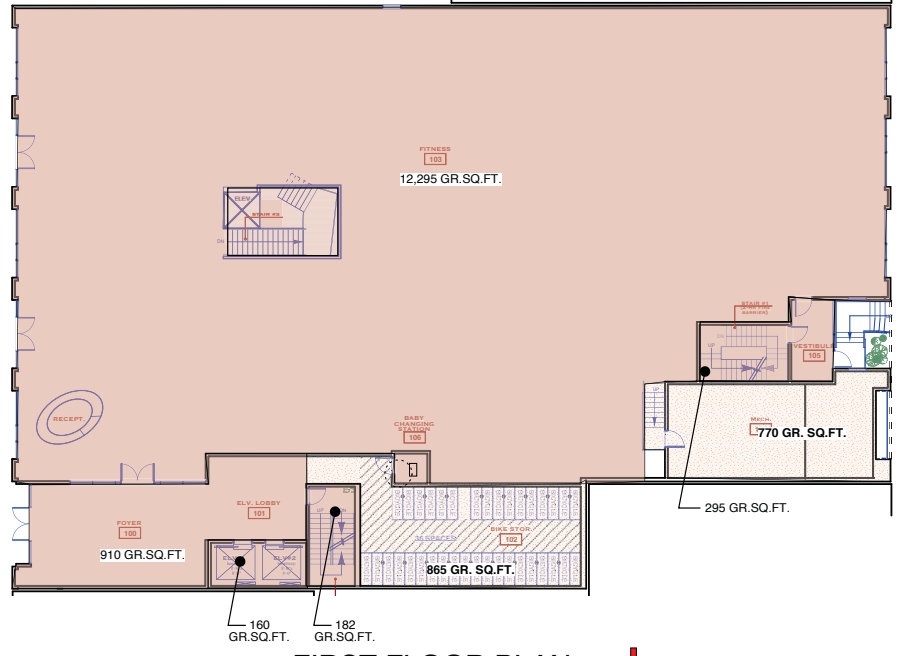
FLOOR AREA OCCUPIED	
FITNESS	7,397 sq.ft.



BASEMENT FLOOR PLAN

BUILDING AREA CALCULATIONS		
GROSS AREA	INCLUDED	EXCLUDED
FITNESS & STAIR #3 Foyer & Lobby ELEVATOR	12,295 gr.sq.ft 910 gr.sq.ft 160 gr.sq.ft	
MECH. BICYCLE PARKING		770 gr.sq.ft 865 gr.sq.ft
CIRCULATION STAIR #1 & LOBBY STAIR #2	295 gr.sq.ft 182 gr.sq.ft	
TOTAL	13,842 gr.sq.ft	1,625 gr.sq.ft

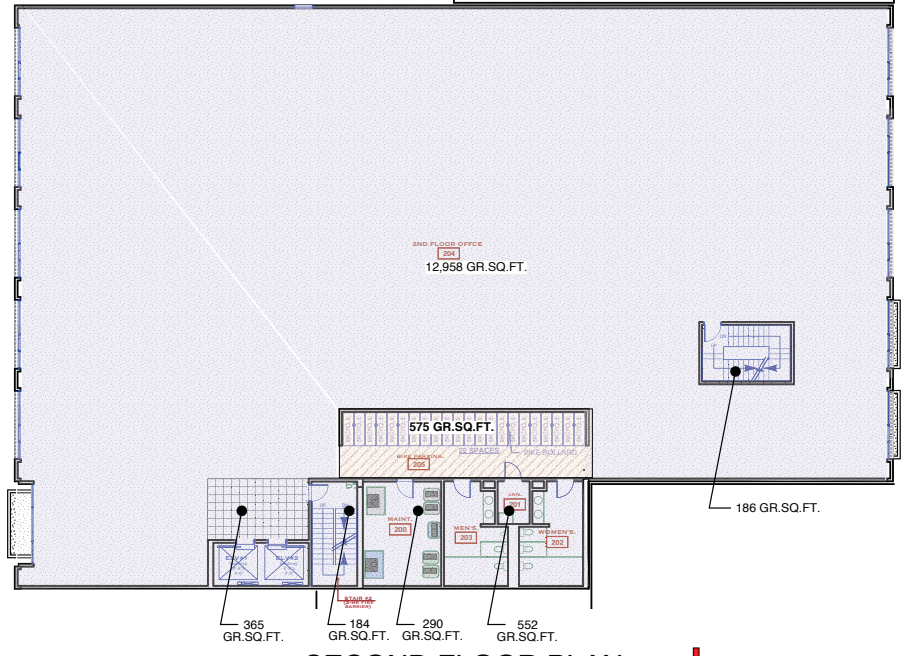
FLOOR AREA OCCUPIED	
FITNESS	12,096 sq.ft.



FIRST FLOOR PLAN

BUILDING AREA CALCULATIONS		
GROSS AREA	INCLUDED	EXCLUDED
OPEN OFFICE BATHROOM MAINTENANCE.	13,358 gr.sq.ft 552 gr.sq.ft 290 gr.sq.ft	
BICYCLE PARKING		575 gr.sq.ft
CIRCULATION STAIR #1 STAIR #2	186 gr.sq.ft 184 gr.sq.ft	
ELEVATOR & LOBBY	365 gr.sq.ft	
TOTAL	14,935 gr.sq.ft	575 gr.sq.ft

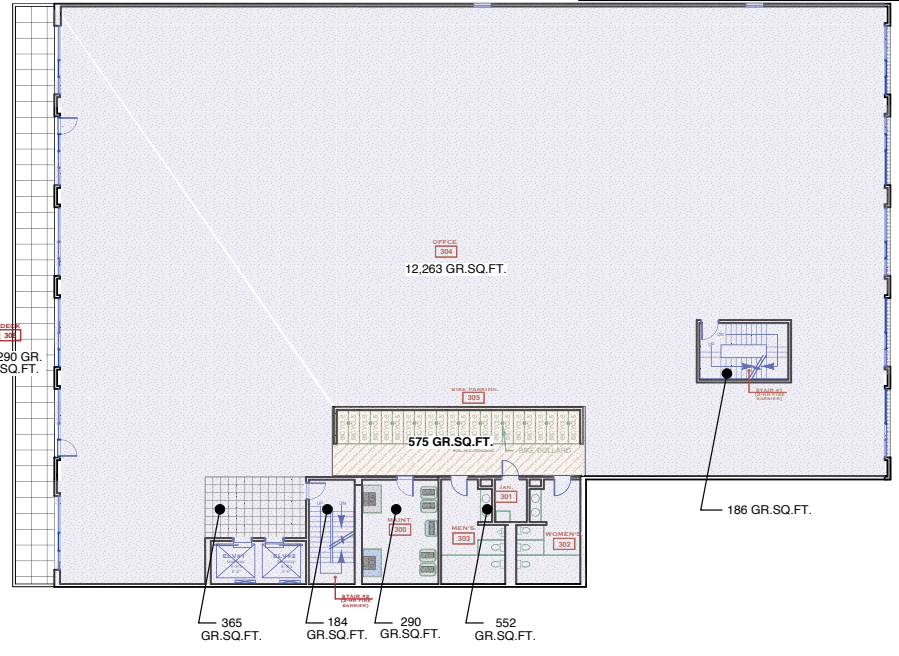
FLOOR AREA OCCUPIED	
OPEN OFFICE	13,051 sq.ft.



SECOND FLOOR PLAN

BUILDING AREA CALCULATIONS		
GROSS AREA	INCLUDED	EXCLUDED
OPEN OFFICE BATHROOM MAINTENANCE	12,263 gr.sq.ft 552 gr.sq.ft 290 gr.sq.ft	
BICYCLE PARKING		575 gr.sq.ft
CIRCULATION STAIR #1 STAIR #2	186 gr.sq.ft 184 gr.sq.ft	
ELEVATOR & LOBBY	365 gr.sq.ft	
TOTAL	13,840 gr.sq.ft	575 gr.sq.ft

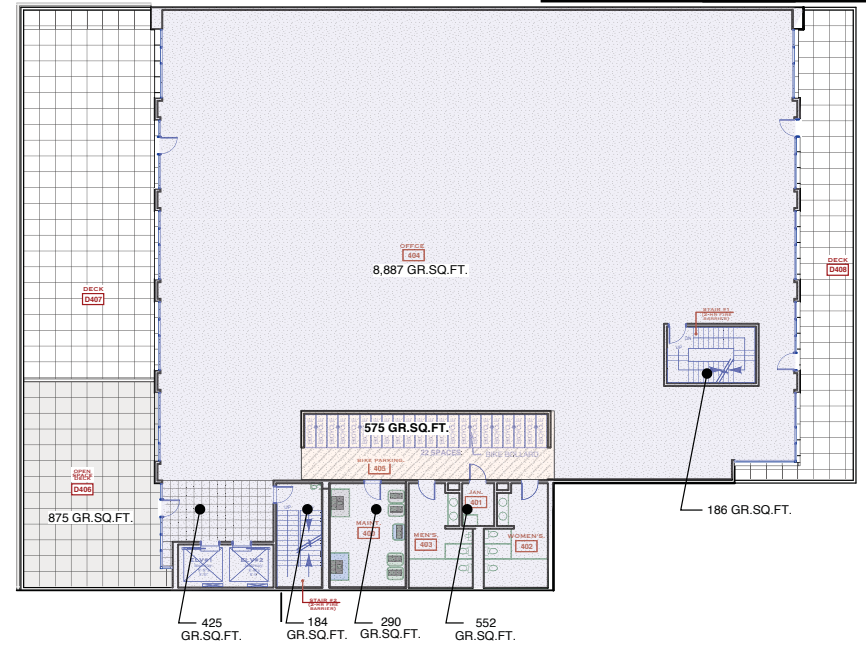
FLOOR AREA OCCUPIED	
OPEN OFFICE	12,356 sq.ft.



THIRD FLOOR PLAN

BUILDING AREA CALCULATIONS		
GROSS AREA	INCLUDED	EXCLUDED
OPEN OFFICE BATHROOM MAINTENANCE	8,887 gr.sq.ft 552 gr.sq.ft 290 gr.sq.ft	
BICYCLE PARKING		575 gr.sq.ft
CIRCULATION STAIR #1 STAIR #2	186 gr.sq.ft 184 gr.sq.ft	
ELEVATOR & LOBBY	425 gr.sq.ft	
TOTAL	10,524 gr.sq.ft	575 gr.sq.ft

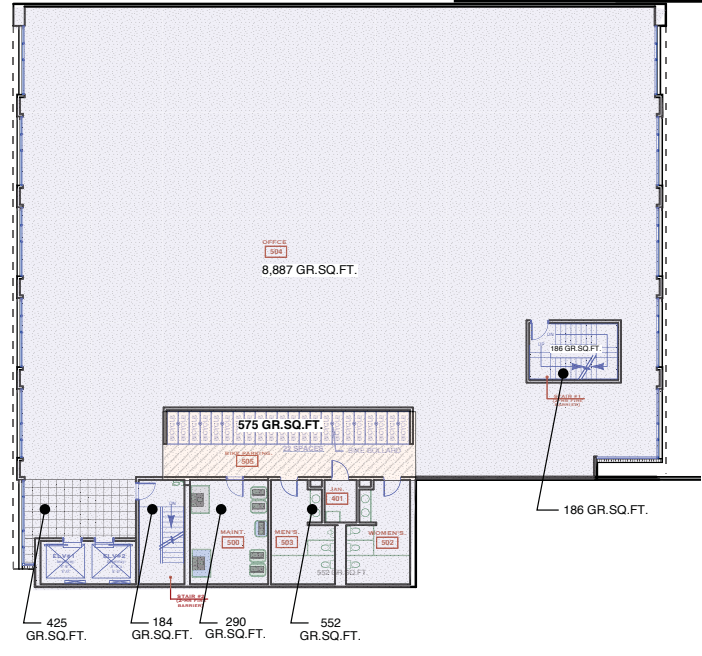
FLOOR AREA OCCUPIED	
OPEN OFFICE	8,824 sq.ft.



FOURTH FLOOR PLAN

BUILDING AREA CALCULATIONS		
GROSS AREA	INCLUDED	EXCLUDED
OPEN OFFICE BATHROOM MAINTENANCE	8,887 gr.sq.ft 552 gr.sq.ft 290 gr.sq.ft	
BICYCLE PARKING		575 gr.sq.ft
CIRCULATION STAIR #1 STAIR #2	186 gr.sq.ft 184 gr.sq.ft	
ELEVATOR & LOBBY	425 gr.sq.ft	
TOTAL	10,524 gr.sq.ft	575 gr.sq.ft

FLOOR AREA OCCUPIED	
OPEN OFFICE	8,824 sq.ft.



FIFTH FLOOR PLAN

1581 HARRISON STREET
SAN FRANCISCO, CA 94103
TEL 415.882.9783 FAX 415.882.9788

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LICENSED ARCHITECT
DAVID
STERBERG
No. C-11192
2/17
RENEWAL DATE

www.sternbergbenjamin.com

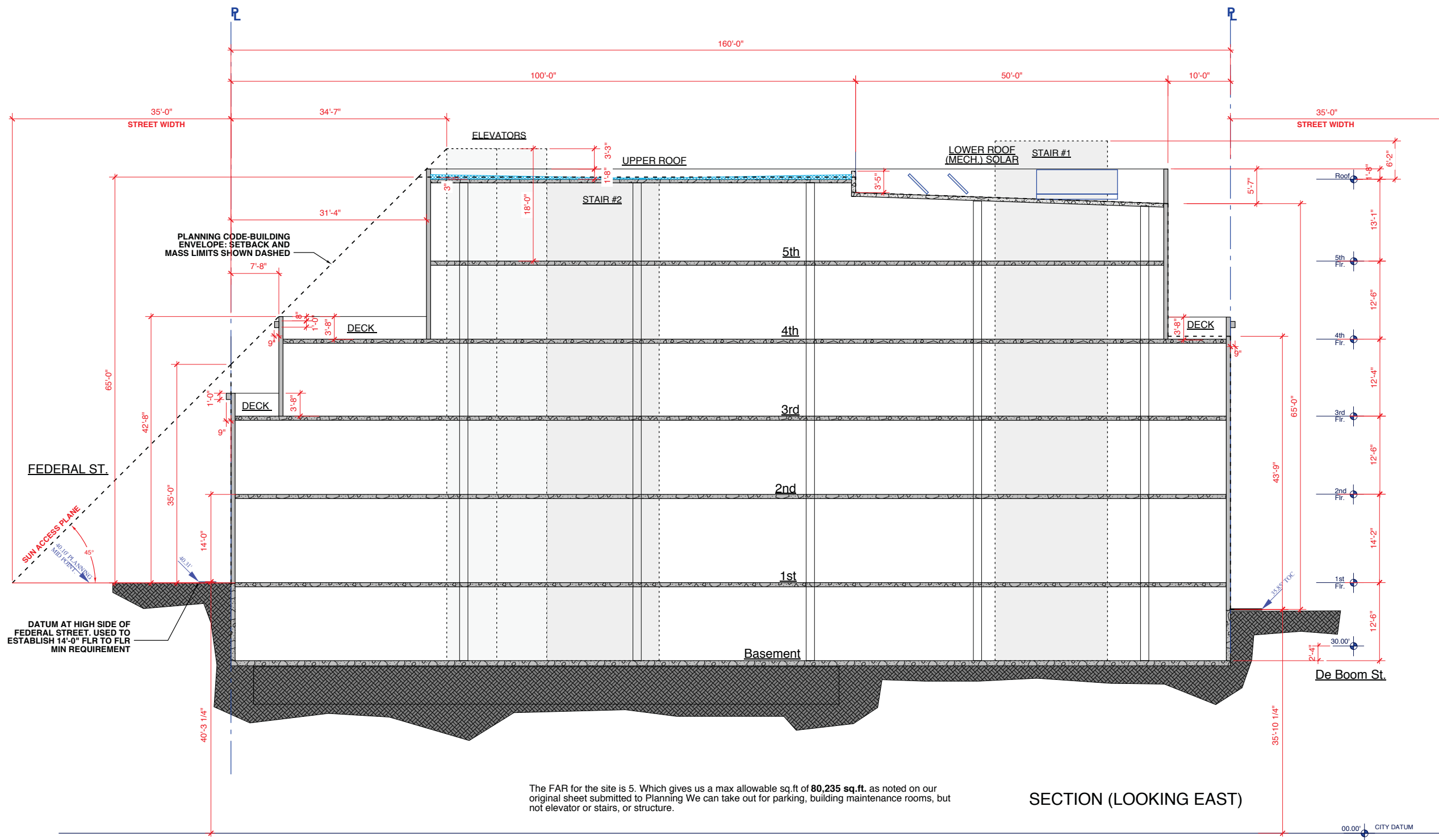
AREA DIAGRAMS-
PLANNING

FEDERAL & De BOOM
SAN FRANCISCO, CA
BLOCK: 3774, LOT 071 & 072

Revision	Date
Pre App	12.17.2012
EE	03.22.2013
NOPDR #1	11.02.2015
NOPDR #2	03.29.16

Date: 11.05.2012
Scale: 1/8" = 1'-0"
Drawn: ABM
Sheet:

P1.00



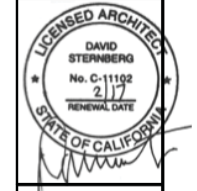
The FAR for the site is 5. Which gives us a max allowable sq.ft of **80,235 sq.ft.** as noted on our original sheet submitted to Planning We can take out for parking, building maintenance rooms, but not elevator or stairs, or structure.

SECTION (LOOKING EAST)

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**BUILDING ENVELOPE
SECTION
AT SITE MID POINT**

FEDERAL & De BOOM
SAN FRANCISCO, CA
BLOCK: 3774, LOT 071 & 072

Revision	Date
Pre App	12.17.2012
EE	03.22.2013
NOPDR #1	11.02.2015
NOPDR #2	03.29.16

Date: 11.05.2012
Scale:
Drawn: ABM
Sheet:



1) FEDERAL STREET: VIEW LOOKING EAST



2) FEDERAL STREET: VIEW LOOKING WEST



3) FEDERAL STREET: VIEW LOOKING SOUTH EAST (ADJACENT PROPERTY)



4) DE BOOM STREET: VIEW LOOKING NORTHWEST



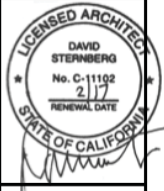
5) DE BOOM STREET: VIEW LOOKING NORTH (ADJACENT PROPERTY)



EXISTING SITE PLAN

1331 HARRISON STREET
SAN FRANCISCO, CA 94103
TEL 415.882.9783 FAX 415.882.9786

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ARCHITECTS



PROJECT REVIEW:
SITE PHOTOS

FEDERAL & DE BOOM
SAN FRANCISCO, CA
BLOCK: 3774, LOT 071 & 072

Revision	Date
Pre App	12.17.2012
EE	03.22.2013
NOPDR #1	11.02.2015
NOPDR #2	03.29.16

Date: 11.05.2012
Scale:
Drawn: ABM
Sheet:

PR.02