

MEMO

DATE: June 7, 2016

TO: Architectural Review Committee of the Historic Preservation

Commission

FROM: Rich Sucré, Historic Preservation Technical Specialist, (415) 575-9108

REVIEWED BY: Tim Frye, Preservation Coordinator, (415) 575-6822

RE: Review and Comment: 77-85 Federal Street

Case No. 2012.1410AX

1650 Mission St. Suite 400 San Francisco, CA 94103-2479

Reception:

415.558.6378

Fax: 415.558.6409

Planning Information: 415.558.6377

BACKGROUND

The Planning Department (Department) has requested review and comment before the Architectural Review Committee (ARC) regarding the proposal to demolish the existing two-story non-contributing industrial building, and construct a new five-story-with-basement commercial building within the South End Landmark District, which is listed in Appendix I of Article 10 of the San Francisco Planning Code.

PROPERTY DESCRIPTION

77-85 Federal Street is located on a rectangular midblock through lot (measuring approximately 16,047 square feet) with 107-ft of frontage on Federal Street and 87-ft 6-in of frontage on De Boom Street. Currently, the project site contains a two-story industrial building, which was constructed between 1940 and 1948. The existing two-story industrial building was constructed outside of the district's period of significance and is a non-contributing resource within the South End Landmark District. The project site is located within MUO (Mixed Use Office) Zoning District with a 65-X Height and Bulk Limit.

PROJECT DESCRIPTION

The proposed project entails the demolition of the existing two-story industrial building, and the new construction of a five-story-with-basement (65-ft tall) commercial building with approximately 72,070 gross square feet. The project includes 22,266 square feet of retail space (for use as a fitness center/gym) at the basement and first floor, 49,832 square feet of office use on the second through fifth floors, and 25 below-grade off-street parking spaces. The proposed project also includes a roof deck on the fourth floor (939 sq ft), and 124 bicycle parking spaces.

In addition to the Historic Preservation Commission (HPC), the proposed project requires review and approval by the Planning Commission. The HPC shall review the proposed project as part of a Certificate of Appropriateness (Planning Code Section 1006), since the project includes new construction within the South End Landmark District. The Planning Commission shall review the proposed project as part of the Office Development Authorization (Planning Code Section 321 and

322) and a Large Project Authorization (Planning Code Section 329), since the project includes the new construction in excess of 25,000 gross square feet within the Eastern Neighborhoods Area Plan, and new office use larger than 25,000 gross square feet.

ENVIRONMENTAL REVIEW

The proposed project is currently undergoing environmental review as part of a Community Plan Exemption (CPE).

APPENDIX I OF ARTICLE 10

The South End Landmark District is locally designated in Appendix I of Article 10 of the San Francisco Planning Code (Appendix I). The South End Landmark District is significant under events and design/construction for its strong collection of late nineteenth-century and early twentieth century masonry warehouses, which are representative of San Francisco's maritime, labor, industrial and railroad activities for the period of significance between 1867 and 1935. This district is also significant for the collection of well-known architects and businesses that arose along the southern waterfront, and for the intact collection of brick and reinforced concrete industrial warehouses.

Per Section 6 of Appendix I, the South End Landmark District is characterized by the following character-defining features:

- 1. Overall Form and Continuity- Building height is generally within a six-story range, and many of the oldest structures are one or two stories in height.
- 2. Scale and Proportion The buildings are of typical warehouse design, large in bulk, often with large arches and openings originally designed for easy vehicular access. There is a regularity of overall form. The earlier brick structures blend easily with the scaled-down Beaux Arts forms of the turn of the century and the plain reinforced concrete structures characteristic of twentieth-century industrial architecture.
- 3. Fenestration The earliest structures have few windows, expressing their warehouse function. They are varied in size, rhythmically spaced, deeply recessed, produce a strong shadow line, and relate in shape and proportion to those in nearby buildings. Larger industrial sash windows began to be incorporated in structures built from the 1920s and onward. Door openings are often massive to facilitate easy access of bulk materials.
- 4. Materials Standard brick masonry is predominant for the oldest buildings in the district, with reinforced concrete introduced after the 1906 fire, although its widespread use did not occur until the 1920s. Brick and stone paving treatments on Federal and First and De Boom Streets respectively are extant as well as Beltline Railroad Tracks which run throughout the District.
- 5. Color Red brick is typical, with some yellow and painted brick. Muted earth tones predominate in shades of red, brown, green, gray and blue.

- 6. Texture Typical facing materials give a rough textured appearance. The overall texture of the facades is rough grained.
- 7. Detail Arches are common at the ground floor, and are frequently repeated on upper floors. Flattened arches for window treatment are typical. Cornices are simple and generally tend to be abstract versions of the more elaborate cornices found in downtown commercial structures from the nineteenth century. Most of the surfaces of the later buildings are plain and simple reflecting their function. Some of the earlier brick work contains suggestions of pilasters, again highly abstracted. Where detail occurs, it is often found surrounding entryways.

In addition to the aforementioned features, Section 6 of Appendix I also includes the following standards for new construction and alterations within the South End Landmark District:

- 1. Facade Line Continuity Facade line continuity is historically appropriate. Therefore, setbacks at lower floors and arcades, not generally being features of the South End Historic District, are generally not acceptable.
- 2. Fenestration and Design Elements for New Construction In areas with a concentration of buildings characterized by a high proportion of mass to void and deeply recessed openings, vertical orientation and limited fenestration, the design of new construction should relate to those elements. In areas characterized by buildings with industrial style fenestration, new construction should relate to those design elements.
- 3. Signs.
- (A) Principal Signs Only one sign will be allowed per establishment per street frontage. A flush sign with lettering intended to be read from across the street is permitted. On brick surfaces, signs should be mounted with a minimum number of penetrations of the wall, and those penetrations only in the mortar joints.
- (B) Secondary Signs One per establishment per street frontage. A secondary sign is intended to be viewed close-up and consists of: (a) Lettering on a door or window which contains only the name and nature of the establishment, hours of operation and other pertinent information. (b) A projecting sign not exceeding two square feet in area used in conjunction with a principal flush sign.

As noted within Section 7 of Appendix I, "new construction on vacant sites should conform to the general profile of the District, especially as to scale, sculptural qualities of facade and entrance detailing, fenestration patterns and materials described in Section 6 of this ordinance."

Appendix I also includes additional standards for infill construction in Section 10, which read:

Additions to existing buildings and new infill construction proposed within the South End Historic District must reflect an understanding of the relationship of the proposal with the

SAN FRANCISCO
PLANNING DEPARTMENT

3 of 7

contributing buildings within the district. Additions shall be reviewed for compatibility with the historic building and the district while infill construction shall be reviewed for compatibility with the overall district. Neither should directly imitate nor replicate existing features. For additions, every effort should be made to minimize the visibility of the new structure within the district. Infill construction should reflect the character of the district, including the prevailing heights of contributing buildings without creating a false sense of history. Property owners should consult early in the process with a Planning Department Historic Preservation Technical Specialist when developing a proposal...

When a district provides an opportunity for new construction through existing vacant parcels or by replacing non-contributing buildings, a sensitive design is of critical importance. Historic buildings within the district should be utilized and referenced for design context. Contemporary design that respects the District's existing characterdefining features without replicating historic designs is encouraged. The Department uses the following criteria when reviewing proposals for infill construction:

The structure respects the general size, shape, and scale of the character-defining features associated with the district and its relationship to the character-defining features of the immediate neighbors and the district.

The site plan respects the general site characteristics associated with the district.

The design respects the general character-defining features associated with the district

The materials are compatible with the district in general character, color, and texture.

STAFF ANALYSIS & RECOMMENDATIONS

The Department seeks the advice of the ARC regarding the compatibility of the new construction with the surrounding landmark district as defined by Secretary of the Interior's Standards for Rehabilitation (Secretary's Standards) and Article 10 of the San Francisco Planning Code. The Department would like the ARC to consider the following information:

Demolition

The existing two-story industrial building is a non-contributing resource within the South End Landmark District, and is not considered a historic resource in its own right. Department staff has determined that the demolition of the existing building would not impact any character-defining features of the South End Landmark District, since there are no contributing resources located on the project site.

Secretary of the Interior's Standards for Rehabilitation & Appendix I of Article 10

The proposed project would not destroy or damage any contributing elements to the South End Landmark District. Department staff will undertake a complete analysis of the proposed project per the applicable Standards as part of the environmental review and the subsequent preservation

entitlements (Certificate of Appropriateness). In addition, Department staff will undertake additional analysis of the proposed project per the standards outlined in Appendix I of Article 10, specifically to assess the project's conformance to the guidelines for new construction and compatibility within the surrounding landmark district.

New Construction-Overall Form & Continuity, Scale & Proportion

Within the South End Landmark District, the existing buildings are generally one-to-six-story in height, constructed of a typical warehouse design, large in bulk and regular in overall form.

The proposed project is five-stories tall, large in bulk with minimal setbacks, and provides for an appropriate massing and scale relative to the adjacent context and larger landmark district. Along De Boom Street, the project is three-story tall along the street frontage with a setback incorporated for the upper two floors. This massing allows for a strong relationship to the two adjacent buildings, which are two-stories in scale. Along Federal Street, the project is two stories tall along the street frontage with a setback incorporated at the third floor and fourth/fifth floor levels. This massing is driven by Planning Code requirements. Department staff finds that a taller building at the street frontage would be appropriate given the district's context and massing; however, Planning Code requirements only allow for the two-story massing at the street face along Federal Street. This massing along Federal Street allows for an appropriate relationship to the neighboring three-story building. Currently, the project is designed with a brick façade and traditional industrial sash windows on the lower three levels and metal siding with butte-glazed fenestration on the upper two floors. Given the adjacent context, the side facades are exposed to public view.

Recommendation: The Department recommends continuation of the primary façade materials onto the visible side elevations. Currently, the brick façade and metal siding terminate partway along the side elevations, and the side elevations express a simpler material palette (stucco or exposed concrete). To allow for a reading of building in the round, as occurs within other buildings in the landmark district, the Department recommends continuing the primary façade material along the entire length of the visible side facades.

New Construction-Fenestration

Within the South End Landmark District, the existing buildings feature industrial-sash fenestration that is rhythmically spaced and deeply recessed.

On the three lower floors, the project incorporates an appropriate proportion of deeply recessed industrial sash windows in a regular pattern on both street facades. On the upper floors, the project incorporates a butt-glazed window system with no visible frames or sashes.

Recommendation: None. The Department believes that the proposed fenestration is compatible. The Department is supportive of the fenestration's deep recess, and encourages a projecting sill to add additional depth on the exterior façade.

New Construction-Materials, Color & Texture

Within the South End Landmark District, the common material palette consists of standard brick masonry and reinforced concrete. The typical colors and texture include a rough textured, red brick with some yellow and painted brick. In addition, the district features muted earth tones in shades of red, brown, green, gray and blue.

The project proposes a material palette consisting of a smooth-face, beige brick (first through third floors) with a patterned metal panels above (fourth and fifth floors). The beige brick would be laid in a common bond pattern and would feature soldier course accents at the roofline. The patterned metal panels would run across the entire length of the façade on the fourth and fifth floors. The Project Sponsor has also included two other options for the material palette, including: 1) a variation of the beige brick, which incorporate two other shades of beige; and, 2) a red brick option, which has two other shades of red.

Recommendation:

Department staff recommends continued refinement of the exterior brick material. Generally, the Department supports the red brick option given the prevalence of this type of material within the larger landmark district. However, the proposed sample features a smooth face, as opposed to a rough-textured face. The Department recommends an exterior brick in a variety of shades of red with a rougher texture.

In addition, the Department recommends elimination of the patterned metal panels, since it is not consistent with the dominant materials within the larger district. Although contemporary, the metal siding is too flat with no texture or visual depth. The Project Sponsor might consider an exposed or rough-texture concrete finish on the exterior of the fourth and fifth floors. The exterior color should also be consistent with the surrounding district.

New Construction-Detail

Within the South End Landmark District, the contributing properties commonly feature some type of roofline termination, which ranges from a simple projecting cornice to brick corbels. Arches, columns or pilasters with an articulated base are commonly found at the ground floor.

Currently, the project features a slightly projecting metal cornice at the roofline, which is below a soldier course of brick at the uppermost level of the brick façades on the third floor. The fourth and fifth floors do not feature a roofline termination; however, given the design of the fenestration, the project expresses a large framed element (or soffit) at the fifth floor. Along Federal Street, the ground floor features powder-coated aluminum storefront system and a regular rhythm of punched windows. The base of the pilasters would be covered in corten steel. At the ground floor along De Boom Street, the project features a raised inset entryway, which is adjacent to the roll-up garage door.

Recommendation:

Overall, the Department finds that the roofline termination offered by the project; however, the Department recommends additional consideration into the appropriateness

of a secondary roofline/cap at the second floor along Federal Street. Given the prevalence of the district's roofline termination, the Department is questioning whether additional articulation is warranted in this location, since a roofline termination is commonly found along the street facade.

In addition, the Department recommends removal of the corten steel base at the base of the pilasters along De Boom Street. This material seems incongruous with the surrounding district. The Project Sponsor should consider an articulated brick base or colored concrete, which are common features found among the district's contributors.

Finally, the Department recommends refinement of the entryway on De Boom Street. Since this project is commercial in nature, the raised inset entryway appears too residential in character, and should evoke a commercial or industrial aesthetic. The Project Sponsor should refine the landscaping in this area, and also consider alternate handrails.

REQUESTED ACTION

Specifically, the Department seeks comments on:

- Compatibility of the New Construction with the South End Landmark District;
- Recommendations for Overall Form & Continuity, Scale & Proportion;
- Concurrence on Fenestration;
- Recommendations for Materials, Color and Texture; and,
- Recommendations for Details.

ATTACHMENTS

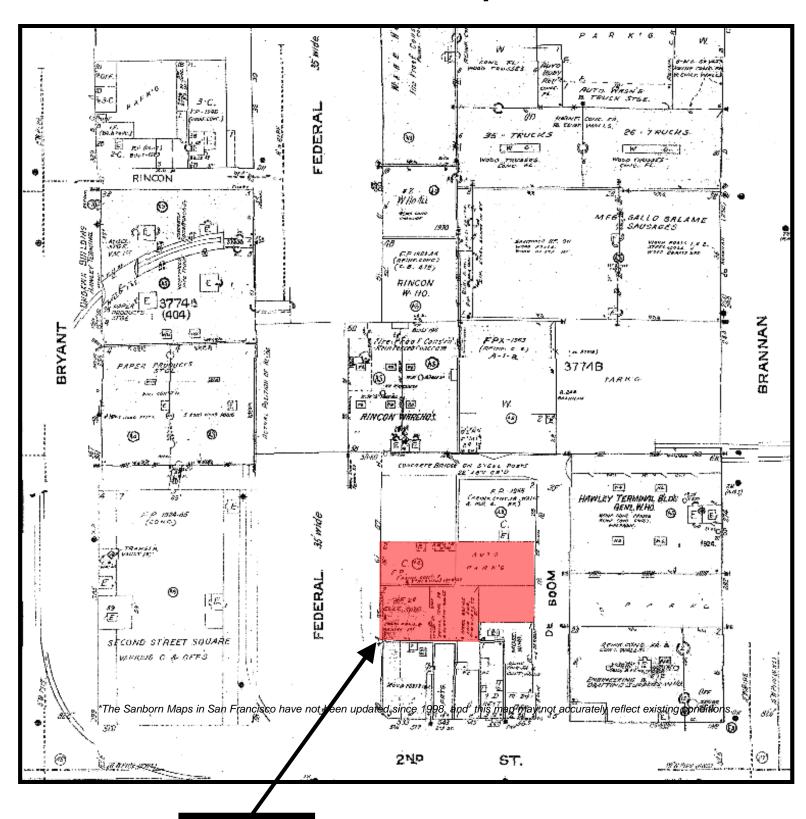
- Exhibits
- Renderings & Architectural Drawings by Sternberg Benjamin Architects (March 29, 2016);

Parcel Map





Sanborn Map*



SUBJECT PROPERTY

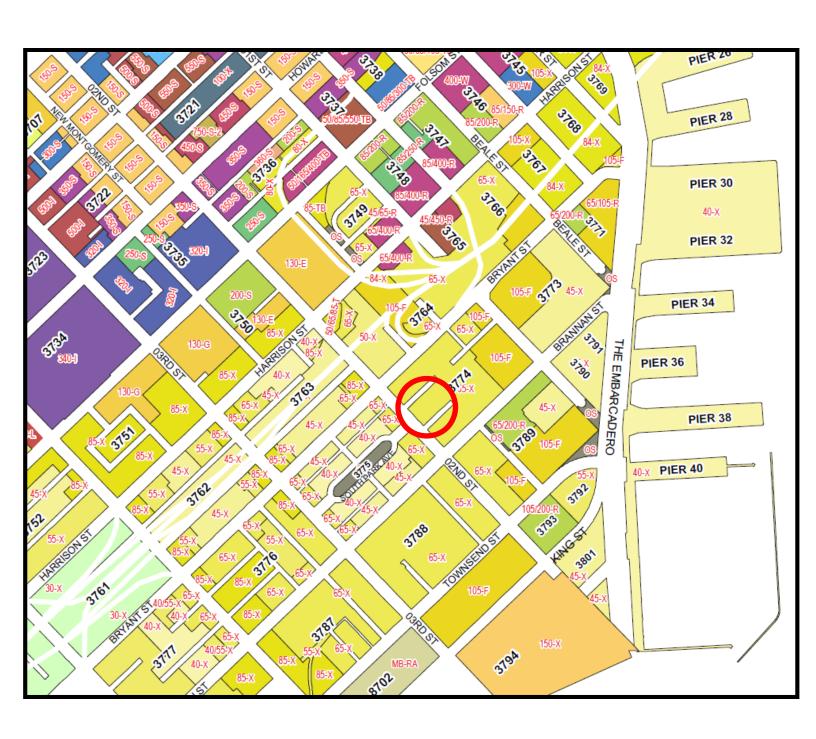


Zoning Map



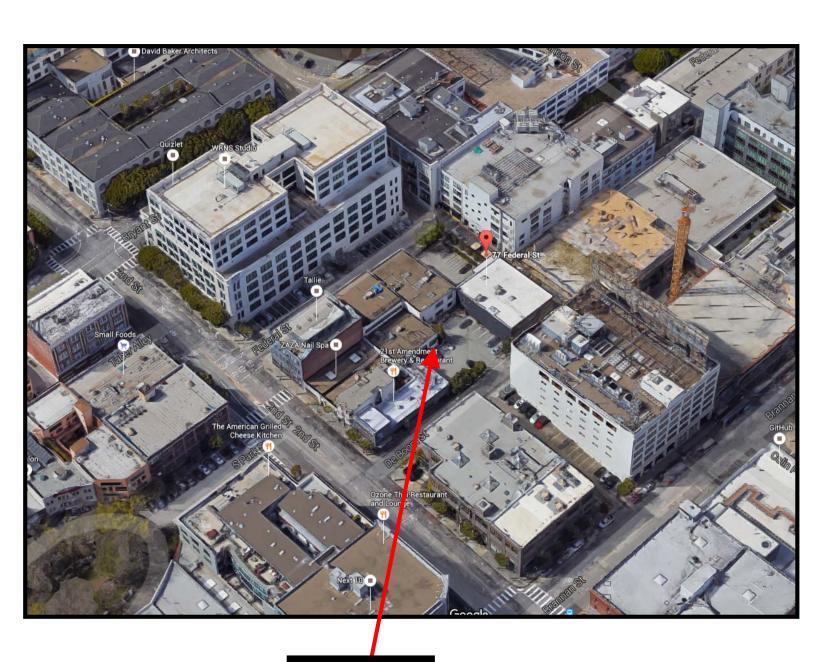


Height & Bulk Map



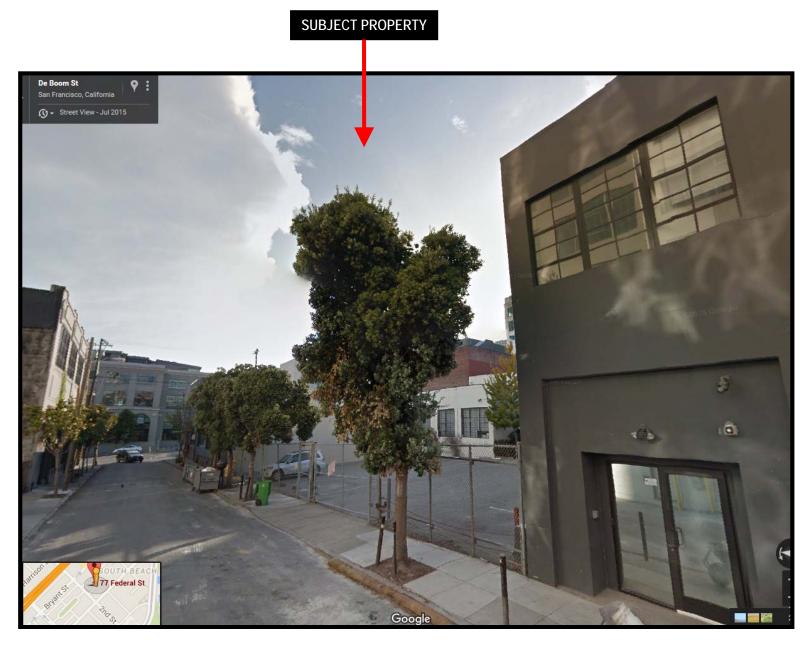


Aerial Photo



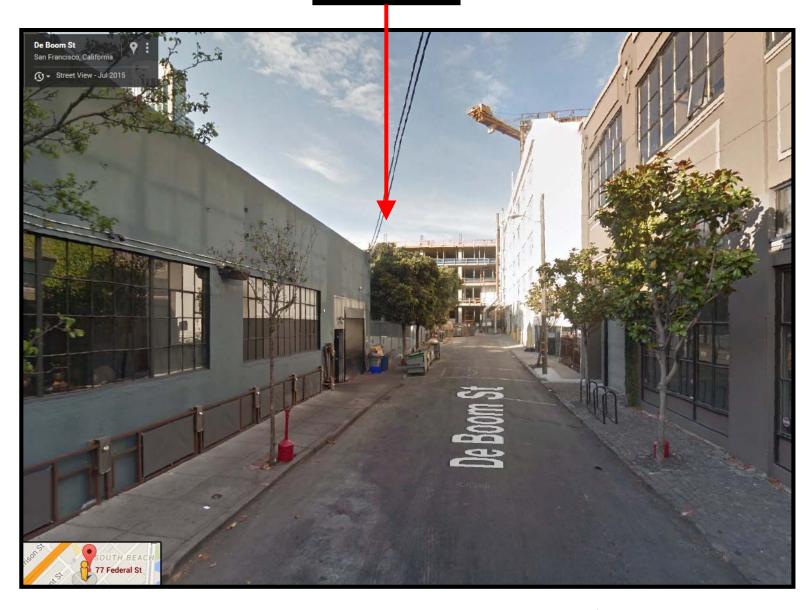
SUBJECT PROPERTY





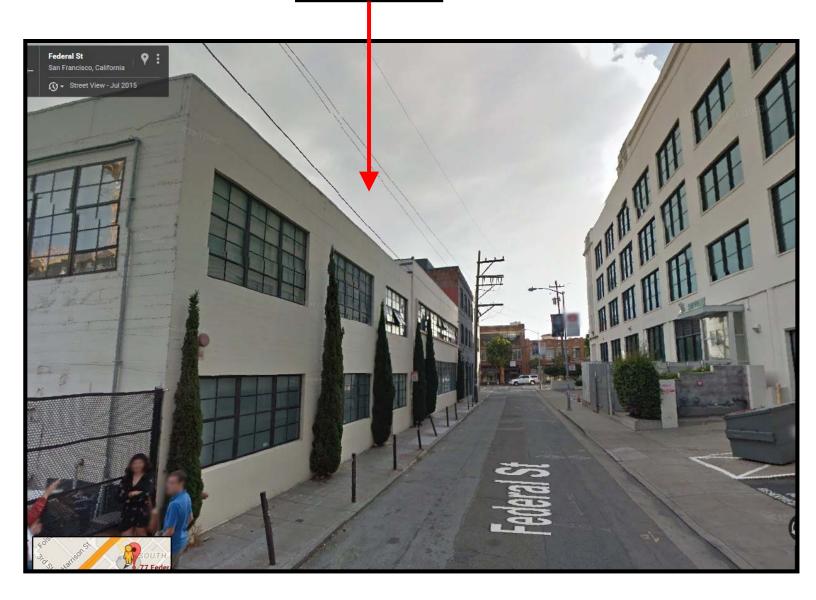
77-85 Federal Street, View along De Boom Street

SUBJECT PROPERTY



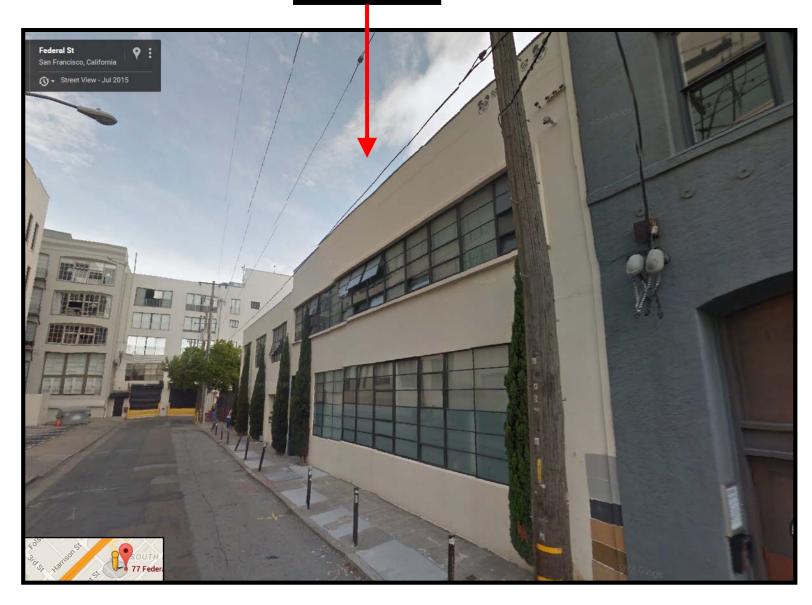
77-85 Federal Street, View along De Boom Street from 2nd St

SUBJECT PROPERTY



77-85 Federal Street, Existing Buildings along Federal St

SUBJECT PROPERTY



77-85 Federal Street, Existing Buildings along Federal St









DRAWING INDEX Title Sheets Title Sheets Tis.oo Cover sheet/ Drawing Index Tis.oo PROJECT NOTES Tis.oo Legends and abbreviations Tis.oo Water Flow/ Unit & Retail areas Plumbing Fixtures Tis.oo Audice of special restrictions Declaration of Use Limitations and San Francisco Equivillancies Green Building: Site Permit Checklist Architectural P1.00 Allowable area Diagrams -Planning P1.01 Building envelope Diagram P1.02 Existing Conditions Photo Sheet P1.03 Another Conditions Photo Sheet P1.04 Architectural Site Plan P1.05 Basement Floor Plan P1.06 Basement Floor Plan P1.07 Basement Floor Plan P1.08 Basement Floor Plan P1.09 Basement Floor Plan P1.09 Basement Floor Plan P1.00 Basement Floor Plan P1.01 Basement Floor Plan P1.02 Second Floor Plan P1.03 Second Floor Plan P1.04 Floor Plan P1.05 Firth Floor Plan P1.06 Firth Floor Plan P1.07 Second Floor Plan P1.08 Firth Floor Plan P1.09 Firth Floor Plan P1.09 Firth Floor Plan P1.09 Firth Floor Plan P1.09 Firth Floor Plan P1.00 Firth Floor Plan		DIRECTORY: OWNER XXX 1485 BAYSHORE BLVD. SUITE 101 SAN FRANCISCO, CA 94124 ARCHITECT STERNBERG BENJAMIN ARCHITECTS INC. 1331 HARRISON STREET SAN FRANCISCO, CA 94103 STRUCTURAL ENGINEER XXX	STERNBERG BENJAMIN A TEATH OF BENJAMIN COM
A2.01 FEDERAL STREET & DE BOOM STREET ELEVATIONS BEST A2.02 EAST & WEST (PROPERTY LINE) ELEVATIONS BEST A3.01 SECTION LOOKING EAST BEST A6.01 FILLARGED BUILDING ELEVATIONS A9.01 ENLARGED DETAILS C 1.1 ARCHITECTURAL SITE SURVEY		CIVIL ENGINEER FREDERICK T. SEHER & ASSOCIATES, INC. PROFESSIONAL LAND SURVEYORS SURVEYING & MAPPING 841 LONBARD STREET SAN FRANCISCO, CA 94133	
			COVER SHEET DRAWING INDEX
			FEDERAL & De BOOM SAN FRANCISCO, CA BLOCK: 3774, LOT 071 & 072
		LOCATION PLAN	Revision Date Pre App 12.17.2012. EE 03.22.2013 NOPDR #1 11.02.2015 NOPDR #2 03.29.16
		PROJECT SITE PROJECT SITE Property of the state of the	Date: 11.05.2012 Scale: Drawn: ABM Sheet: TS.00

GENERAL CONDITIONS

I.CONTRACTOR TO PROVIDE ALL WORK AND MATERIALS IN ACCORDANCE VITH THE 2010 CBC AS AMENDED BY ALL STATE AND LOCAL CODES, AND CALIFORNIA ADMINISTRATIVE CODE, TITLE 24, DISABLED ACCESS COMPLIANCE REGULATIONS.

2 CONTRACTOR SHALL MAKE SITE INSPECTIONS AND RE RESPONSIBLE FOR ALL NEW AND DEMOLITION WORK, WHETHER DETAILED BY THE

3.ANY DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS, AS CONFLICTS WITH ACTUAL SITE CONDITIONS SHALL BE BROUGHT TO THI ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.

4.CONTRACTOR SHALL PROVIDE ALL TEMPORARY SHORING 8 UNDERPINNING AS NECESSARY: WORK TO BE PERFORMED UNDER SEPARATE PERMIT

5 CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND PROVIDE ALL NECESSARY TEMPORARY UTILITY HOOK-UPS FOR ALL EQUIPMENT

6.CONTRACTOR SHALL BE RESPONSIBLE FOR DISCONNECTION / CAPPI OFF OF ALL EXISTING UTILITIES AND RE-CONNECTION WHERE RE-USE POSSIBLE.

7.CONFIRM ALL WINDOW SIZES WITH ACTUAL / EXISTING ROUGH OPENII DIMENSIONS PRIOR TO ORDERING WINDOWS

8.SLOPE ALL FLOORS / ROOFS TO DRAIN A MINIMUM OF 1/4" PER 1'-0". UNLESS SPECIFICALLY NOTED OTHERWISE.

CONTRACTOR IS DESPONSIBLE TO PROCLIDE STATE INDUSTRIAL SAFEY PERMIT FOR ANY WORK OVER 36' IN HEIGHT, INVOLVING EXCAVATION OVER 5' & AS OTHERWISE REQUIRED.

1.DO NOT SCALE DRAWINGS! ALL WRITTEN DIMENSIONS SUPERSEDE

2.ALL DIMENSIONS ARE TO "FACE OF STUD" UNLESS SPECIFICALLY 2.ALL DIMENSIONS ARE TO "FACE OF STOD" ONLESS SPECIFICALLY NOTED OTHERWISE. EXISTING DIMENSIONS DENOTED BY "(E)" ARE TO "FACE OF EXISTING FINISH" UNLESS SPECIFICALLY NOTED OTHERWISE. ALL EXISTING DIMENSIONS SHALL BE FIELD VERIFIED PRIOR TO

3.LARGE SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS. WRITTEN SPECIFICATIONS TAKE PRECEDENCE OVER ALL DRAWINGS.

4.REFER TO EXTERIOR ELEVATIONS FOR INDICATIONS OF WINDOW

ASSEMBLIES

(SEE LEGEND FOR RATED WALL DESIGNATIONS AND OTHER WALL TYPES)

1.PROVIDE MINIMUM 1-HOUR WALL AND FLOOR / CEILING ASSEMBLY BETWEEN ALL RESIDENTIAL UNITS. SEE PLANS AND BUILDING SECTIONS FOR DESIGNATIONS; AND STANDARD DETAILS FOR COMPLETE ASSEMBLY DESCRIPTIONS.

2.PROVIDE MINIMUM 50 STC AND IIC REQUIREMENT AT ALL UNITS AT FLOORS.CEILINGS. AND WALLS. SEE PLANS AND BUILDING SECTIONS FOR DESIGNATIONS; AND STANDARD DETAILS FOR ASSEMBLY DESCRIPTIONS

3 INSULATE ALL ASSEMBLIES BETWEEN HEATED AND LINHEATED AREAS 3.INSULATE ALL ASSEMBLIES BETWEEN HEATED AND UNHEATED AREAS:
8-30 AT ROOFS, R-13 AT WALLS, R-19 AT FLOORS; MINIMUM, UNLESS
SPECIFICALLY NOTED OTHERWISE. SEE TITLE 24, ENERGY COMPLIANCE
STATEMENT MANDATORY MEASURES CHECKLIST FOR SPECIFIC

4.PROVIDE VENTILATION OF ALL JOIST, STUD AND RAFTER SPACES ENCLOSED BY BUILDING ASSEMBLIES BETWEEN HEATED AND UNHEATED AREAS INCLUDING:ATTICS, BASEMENTS, ROOFS, SOFFITS, PARAPET AND RAILING WALLS FTC

5.ALL DOORS BETWEEN HEATED AND UNHEATED AREAS SHALL BE PROVIDED WITH WEATHER-STRIPPING AND THRESHOLDS

SALL PROPERTY LINE WINDOWS (INDICATED ON DRAWINGS BY " SHALL BE STEEL SASH WITH FIXED WIRE GLASS, WITH SPRINKLER HEAD PROTECTION PER S.F. BUILDING CODE SECTION 503.5.

PROVIDE MOISTURE RESISTANT GYPSUM WALL BOARD (MR GWB) ON ALL BATHROOM WALLS. DO NOT USE A CONTINUOUS VAPOR BARRIER BEHIND MR GWB. PROVIDE 30 POUND ROOFING FELT BEHIND FINISH SURFACE OF ALL TUB / SHOWER SURROUNDS, LAPPING ALL SEAMS. DO NOT USE MR GWB ON BATHROOM CEILINGS: USE 5/8" TYPE "X" GWB.

MECHANICAL AND ELECTRICAL

MECHANICAL AND ELECTRICAL WORK SHOWN ON DRAWINGS IS
 SCHEMATIC IN NATURE: CONTRACTOR TO CONFIRM FINAL LAYOUT WITH
 ARCHITECT, PRIOR TO PROCEEDING WITH THE WORK.

2. ALL WORK TO BE PERFORMED UNDER SEPARATE PERMIT

3. PARKING GARAGE(S), CORRIDORS AND STAIRS SHALL BE VENTILATED AS REQUIRED PER CODE.

4. PROVIDE EMERGENCY / EXIT LIGHTING AT ALL EXIT PATHS OF TRAVEL

5. ALL INTERIOR COMMON AREA LIGHT FIXTURES, ETC. SHALL BE PROVIDED WITH SWITCHING VIA CENTRAL PHOTO-ELECTRIC SENSOR WITH TIMER CLOCK SWITCH OVERRIDE, UNLESS OTHERWISE SPECIFIED.

3. PARKING GARAGE(S) AND ALL OTHER COMMON AREAS, NOT SERVED BY DAY LIGHTING WINDOWS, SHALL BE PROVIDED WITH ELECTRIC LIGHTING 24 HOURS PER DAY, UNLESS SPECIFICALLY NOTED OTHERWISE.

7. ALL ELECTRICAL RECEPTACLES IN DAMP LOCATIONS TO BE GROUND

WATERPROCEING

1.ALL SHEET METAL WORK TO BE IN ACCORDANCE WITH CURRENT EDITION OF S.M.A.C.N.A. STANDARDS.

2.PROVIDE GALVANIZED SHEET METAL FLASHING AT ALL WINDOW AND DOOR HEADS: INSTALL UNDER EXTERIOR SIDING OR CEMENT PLASTER AND BUILDING PAPER, AND OVER HEAD FRAME OF ALL NEW DOORS AND

PROVIDE ADDITIONAL FLASHING MEMBRANE PER STANDARD WINDOW FLASHING DETAIL (SEE DETAIL SHEETS) AROUND ALL WINDOW AND DOC

3.PROVIDE GALVANIZED SHEET METAL FLASHING AT ALL ROOF CONDITIONS INCLUDING BUT NOT LIMITED TO: PERIMETER EDGES, VALLEYS, PARAPET CAPS, WALL / ROOF INTERSECTIONS, ROOF PENETRATIONS, ETC. SEE DETAIL SHEETS FOR SPECIFIC REQUIREMENTS.

4.ALL NEW EXTERIOR FINISHES TO BE INSTALLED OVER A MINIMUM MOISTURE BARRIER OF OF TWO LAYERS OF 15 POUND (GRADE D) BUILDING PAPER.

BUILDING DEPARTMENT NOTES

APPLICABLE BUILDING CODES:
2010 SAN FRANCISCO BUILDING CODE (CONSISTS OF 2010 CALIFORNIA BUILDING CODE); 2010 CALIFORNIA MECHANICAL. ELECTRICAL AND PLUMBING CODES: 2010 SAN FRANCISCO FIRE CODE & NFPA-13 2010 ENERGY CODE

CONSTRUCTION TYPE:

IVE STORIES OF TYPE III-A, NON RATED CONSTRUCTION

AUTOMATIC FIRE SPRINKLER SYSTEM PROVIDED THROUGHOUT

CHAPTER 3: OCCUPANCY CLASSIFICATION

PER SECTION 304: A-3 ASSEMBLY-FITNESS CENTER, BUSINESS GROUP B, S-2 PARKING GARAGE.
OUTDOOR DECK AT OFFICE LEVELS IS CONSIDERED AN ACCESSORY USE TO THE B OCCUPANCY. CHAPTER 4: SPECIAL USE AND CLASSIFICTION:

NOT APPLICABLE

CHAPTER 5: HEIGHTS AND AREAS

PER TABLE 503 TYPE III-A
HEIGHT ALLOWED IS 5: "PROPOSED BUILDING IS 55"-0". BUILDING COMPLIES.
STORIES ALLOWED IS 5: PROPOSED BUILDING IS 5 STORIES. BUILDING COMPLIES.

PER TABLE 503: THE ALLOWABLE AREA PER FLOOR: A-3 OCCUPANCY= 14,000 SQ.FT. PER STORY (MAXIMUM FLOOR AREA PROVIDED PER STORY OCCURS AT GROUND FLOOR: 11,268 GROSS SQ. FT. PROPOSED BUILDING COMPLIES

B OCCUPANCY = 28.500 SQ.FT. PER STORY (MAXIMUM FLOOR AREA PROVIDED PER STORY CCURS AT SECOND FLOOR: 13,936 GROSS SQ.FT. PROPOSED BUILDING COM

S-2 OCCUPANCY = 39,000 SQ.FT. PER STORY (MAXIMUM FLOOR AREA PROVIDED PER STORY OCCURS AT BASEMENT: 6,070 GROSS SQ.FT. PROPOSED BUILDING COMPLIES).

NOTE: HEIGHT INCREASE ALLOWANCE (PER SECT 504.2) AND AREA INCREASE ALLOWANCE (PE SECT 506.3) WHERE A BUILDING IS EQUIPPED THROUGH OUT WITH AN AUTOMATIC SPRINKLEF SYSTEM IN ACCORDANCE WITH SECTION 903.1.1. ARE <u>NOT</u> UTILIZED IN THIS PROJECT.

PER SECTION 506.5.2 FOR BUILDINGS WITH MORE THAN ONE STORY ABOVE THE GRADE PLANE AND CONTAINING MIXED OCCUPANCIES, EACH STORY SHALL INDIVIDUALLY COMPLY WAPPLICABLE REQUIREMENTS OF SECTION 508.1

PER TABLE 508.4 REQUIRED SEPARATION OF OCCUPANCIES A-3 AND B: 1 HOUR. A-3 AND S-2: 1 HOUR.

CHAPTER 6: TYPES OF CONSTRUCTION

PER CBC TABLE 601: FIRE RESISTIVE RATING REQUIREMENTS FOR BUILDING ELEMENTS:

PRIMARY STRUCTURAL FRAME: 1 HOUR

PRIMARY STRUCTURAL FRAME: 1 HOUR
BEARING WALLS EXTERIOR: 2 HOUR
BEARING WALLS INTERIOR: 1 HOUR
NON BEARING WALLS AND PARTITIONS INTERIOR: NON RATED
FLOOR CONSTRUCTION AND SECONDARY MEMBERS: 1 HOUR
ROOF CONSTRUCTION AND SECONDARY MEMBERS: 1 HOUR

PER CBC TABLE 602: NON LOAD BEARING EXTERIOR WALLS FOR TYPE IIIA, B OCCUPANCY: LESS THAN 5'-0" FROM PROPERTY LINE : 1HOUR REQUIRED.
GREATER THAN 10'-0" LESS THAN 30'-0" FROM PROPERTY LINE: 1 HOUR REQUIRED GREATER THAN 30'-0" FROM PROPERTY LINE: NON RATED

FAST & WEST EXTERIOR WALLS ARE NON LOAD BEARING AND LESS THAN 5'-O" AWAY FROM ROPERTY LINE. THEY SHALL BE OF ONE HOUR FIRE RESISTIVE CONSTRUCTION

NORTH AND SOUTH WALLS ARE NON LOAD BEARING AND ON STREET FRONTAGES. CENTER LINE OF STREET IS ASSUMED PROPERTY LINE. (17'-6") PER TABLE 602 EXCPETION E, FIRE RESISTIVE CONSTRUCTION SHALL BE DETERMINED WHERE REQUIRED PER STORY.

CHAPTER 7 FIRE RESISTIVE CONSTRUCTION

EXTERIOR WALLS EXTERIOR WALLS PER SECTION 705.5 FIRE RESISTIVE RATINGS: EXTERIOR WALLS SHALL BE FIRE RESISTISANCE RATED FOR EXPOSURE ON BOTH SIDES WHERE A FIRE SEPARATION DISTANCE OF LESS THAN OF EQUAL TO 10'-0" OCCURS.

EAST AND WEST EXTERIOR PROPERTY LINE WALLS SHALL BE FIRE RESISTANCE RATED FROM

NORTH AND SOUTH WALLS SHALL BE RATED AS REQUIRED ON EXTERIOR SIDE ONLY.

MAXIMUM EXTERIOR WALL OPENINGS: PER TABLE 705.8: FIRE SEPARATION DISTANCE OF MAXIMUM EXTERIOR WALL OPENINGS: PER TABLE 705.8: FIRE SEPARATION BETWEEN 15'-0" TO LESS THAN 20'-0" ALLOWS: 25% UNPROTECTED NON SPRINKLERED (UP,NS) OPENINGS 75% UNPROTECTED SPRINKLERED (UP,S) OPENINGS. 75% PROTECTED OPENINGS. PERCENTAGE ALLOWED IS AS AN AREA OF THE EXTERIOR WALL PER STORY.

PER CBC SECTION 705.8.1 EXEPTION 1.1.1: IN THE FIRST STORY ABOVE GRADE UNLIMITED INPROTECTED OPENINGS ARE ALLOWED WHERE A WALL FACES A STREET AND HAS A FIRE SEPARATION DISTANCE OF MORE THAN 15'-O".

NORTH AND SOUTH WALLS COMPLY WITH EXCEPTION. UNLIMITED UNPROTECTED OPENINGS

PER SECTION 708.4 SHAFT ENLCOSURES SHALL HAVE A FIRE RESISTIVE RATING OF NOT LESS THAN 2 HOURS WHEN CONNECTING FOUR STORIES OR MORE. AND SHALL INCLUDE ANY

PER SECTION 708.6 WHERE EXTERIOR WALLS SERVE AS PART OF A REQUIRED SHAF NCLOSURE SUCH WALLS SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 705 FOR EXTERIOR WALLS AND THE FIRE RESITANCE RATED ENCLOSURE REQUIREMENTS SHALL NOT

PER SECTION 708.14.1 AN ENCLOSED ELEVATOR LOBBY SHALL BE PROVIDED AT EACH FLOOR

PER EXCEPTION 1: AN ENCLOSED ELEVATOR LOBBY IS NOT REQUIRED TO BE ENCLOSED AT THE STREET FLOOR PROVIDED THE ENTIRE STREET FLOOR IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORANCE WITH SECTION 903.3.1.1

PER EXCEPTION 3: ENCLOSED ELEVATOR LOBBIES ARE NOT REQUIRED WHERE ADDITONAL OORS ARE PROVIDED AT THE HOISTWAY OPENING IN ACCORDANCE WITH SECTION 3002.6

PER EXCEPTION 4: ENCLOSED ELEVATOR LOBBIES ARE NOT REQUIRED. WHERE THE BUILDING IS PROTECTED BY AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORANCE WITH SECTION

PER SECTION 708.14.1.1 AREAS OF REFUGE SHALL BE PROVIDE AS REQUIRED IN SECTION 1007

PER SECTION 709 5: WHERE EXTERIOR WALLS SERVE AS PART OF A REQUIRED FIRE RESITANCE RATED SEPARATION, SUCH WALLS SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 705 FOR EXTERIOR WALLS AND THE FIRE RATED SEPARATION REQUIREMENTS HALL NOT APPLY. (EXCEPTION: EXTERIOR WALLS REQUIRED TO BE RATED IN ACCORDANCE WITH SECTION 1022.6 FOR EXIT ENCLOSURES)

BUILDING DEPARTMENT NOTES CONT'D:

CHAPTER 10: MEANS OF EGRESS
PER SECTION 1007.1 ACCESSIBLE SPACES SHALL BE PROVIDED WITH NOT LESS THAN ONE

PER SECTION 1007.2.1 ACCESSIBLE MEANS OF EGRESS. IN BUILDINGS WHERE A REQUIRED ACCESSBILE FLOOR IS FOUR OR MORE STORIES ABOVE THE LEVEL OF EXIT DISCHARGE, AT LEAST ONE REQUIRED ACCESSIBLE MEANS OF EGRESS SHALL BE AN ELEVATOR COMPLYING

PER SECTION 1007.2 EACH REQUIRED ACCESSIBLE MEANS OF EGRESS SHALL BE CONINTUOUS

1007.4 IN ORDER FOR AN ELEVATOR TO BE CONSIDERED PART OF AN ACCESSIBLE MEANS OF EGRESS IT SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 1007.4 (SEE ALSO SHEET A0.02 PER EXCEPTION 2. ELEVATORS ARE NOT REQUIRED TO BE ACCCESSED FROM AN AREA OF REFUGE IN BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.1.1.

EGRESS TABLE 1004.1.1, OCCUPANT LOAD CALCULATION

BUSINESS AREAS= 100 GROSS

PARKING GARAGE= 200 GROS SEE EXITING DIAGRAM SHEET: XXXX

PER SECTION 1022.1 INTERIOR EXIT STAIRWAYS SHALL BE ENCLOSED WITH FIRE BARRIERS IN ACCORDANCE WITH SECTION 707, AND SHALL HAVE A FIRE REISTANCE RATING OF NOT LESS THAN 2 HOURS. EXIT ENCLOSURES SHALL LEAD DIRECTLY TO THE EXTERIOR OF THE BUILDING WITH AN EXIT PASSAGE CONFORMING TO SECTION 1023 EXCEPT AS PERMITTED IN SECTION

PER SECTION 1027.1 EXITS SHALL DISCHARGE DIRECTLY TO THE EXTERIOR OF THE BUILDING PER EXCEPTION 1: A MAXIMUM OF 50% OF THE NUMBER OF EXIT ENCLOSURES IS PERMITTED TO EGRESS THROUGH AREAS ON THE LEVEL OF DISCHARGE PROVIDED SUB SECTIONS 1.1 THROUGH 1.3 ARE MET.
STAIR #2 COMPLIES AND EXITS THROUGH THE GROUND FLOOR LOBBY.

FIRE DEPARTMENT NOTES:

SPRINKLER SYSTEM REQUIRED TO MEET NFPA 13 2010 EDITION: LIGHT HAZARD- THIS IS A COMMERCIAL BUILDING. NOTE: SEWER CONNECTIONS TO FIRE SPRINKLER DRAINS ARE NOT PERMITTED IN AN ENCLOSED STAIRWAY.

FIRE ALARM TO MEET SECTION 310.10 CBC AND BE MONITORED TO CENTRAL STATION OVER 100 HEADS. SYSTEM TO BE UL CERTIFIED.

A STANDPIPE SYSTEM IS REQUIRED THROUGH OUT PER NFPA 13, PROVIDE OUTLET IN EACH STAIRWELL AT FACH LEVEL

FIRE EXTINGUISHERS, OF 2A10BC RATING, TO BE PROVIDED ON EACH LEVEL WITH A MAXIMUM OF 75 FEET TRAVEL DISTANCE FORM THE EXTINGUISHER. PLANS AND INSTALLATIONS TO MEET NFPA 13 AS ABOVE AND SAN FRANCISCO FIRE DEPARTMENT ADMINISTRATE BULLETINS. SEPARATE ELECTRICAL AND PLUMBING PERMITS ARE REQUIRED.

THIS BUILDING IS B OCCUPANCY BUILDING OVER A S-2 PARKING GARAGE. PROVIDE A LOCK BOX PER FIRE DEPARTMENT DISTRICT INSPECTOR.

DPW STREET IMPROVEMENT NOTES

LOW LEVEL EXIT SIGNS REQUIRED WITH GENERAL EXIT SIGNS.

DPW / BSM SITE MEETING REQUIRED: CALL 415-554-7149 TO ARRANGE APPOINTMENT WITH

OFFICIAL SIDEWALK SLOPE IS 1/5" PER FOOT RISE FROM CURB GRADE TO PROPERTY LINE. ALL ENTRANCES, BOTH PEDESTRIAN AND VEHICULAR, SHALL MEET SIDEWALK GRADE. ALL RAMPING SHALL BE INSIDE OF PROPERTY LINE. DRIVEWAYS AND SIDEWALKS MUST CONFORM TO CITY REQUIREMENTS. FOR FURTHER INFORMATION CALL BUREAU OF STREET USE & MAPPING @

ALL ENCROACHMENTS INTO OFFICIAL STREET OR SIDEWALK AREAS MUST BE GRANTED IN WRITING BY THE DIRECTOR OF PUBLIC WORKS OR BY RESOLUTION OF THE BOARD OF SUPERVISORS. ALL RAMPING TO BE INSIDE PROPERTY LINE.

SEPARATE PERMIT REQUIRED FROM BUREAU OF STREET USE & MAPPING FOR POTTED PLANTS & STREET TREES IN SIDEWALK AREAS. FOR FURTHER INFORMATION CALL 415-554-6700.

DPW / BSM SIGN-OFF REQUIRED ON JOB CARD PRIOR TO DBI FINAL

ALL WORK IS SUBJECT TO THE CONDITIONS NOTED ON PENDING $\underline{\mathsf{DPW}}$ STREET IMPROVEMENT

STORM WATER MANAGEMENT

PROJECT WILL COMPLY STORMWATER DESIGN GUIDELINES AND WILL SUBMIT A STORM WATER CONTROL PLAN TO THE SFPUC FOR REVIEW.

SCOPE OF WORK

CONSTRUCTION OF NEW FIVE STORY COMMERCIAL BUILDING OVER A BASEMENT w/ COMMERCIAL AND PARTIAL GARAGE

EXISTING SITE HAS A TWO STORY BUILDING TO BE DEMOLISHED

PLANNING DEPARTMENT NOTES

PROJECT LOCATION: 77 FEDERAL STREET ZONING DISTRICT: MUO: MIXED OFFICE USE, EASTERN NEIGHBORHOODS HEIGHT & BULK DISTRICT: 65.X ZONING DISTRICT: MUO: MIXED OFFICE USE, EASTERN NEIGHBORHOODS
HEIGHT & BULK DISTRICT: 65-X
SPECIAL USE DISTRICT: NONE
SPECIAL SIGN DISTRICT: SOUTH OF MARKET MIXED USE DISTRICT CODE:607.2
SETBACKS: NONE
COSTAL ZONE: NOT IN COSTAL ZONE
FORT: NOT UNDER JURISDICTION
LIMITED AND NONCONFORMING USE: NONE
REDEVELOPMENT AREA: NONE
REDEVELOPMENT AREA: NONE
PRESERVATION: SOUTH END HD- FOUND INELLIGIBLE TO BE CONTRIBUTORY

BLOCK AND LOT: 3774 Lot 071 & 072 he Mixed Use-Office (MUO) runs predominantly along the 2nd Street corridor in the South of Market

ind arts activities. Nighttime entertainment is permitted as a conditional use. Dwelling units and group using are permitted, while demolition or conversion of existing dwelling units or group housing equires conditional use authorization. Family-sized housing is encouraged. Office, general commercial, most retail, production, distribution, and repair uses are also incipal permitted uses. Large hotel, adult entertainment and heavy industrial uses are not permitte

rea. The MUO is designed to encourage office uses and housing, as well as small-scale light industria

Ground Floor Ceiling Height, Unless otherwise established elsewhere in this Code Section 145.1 (4), (B): Ground floor non-residential uses in all C-3, C-M, NCT, DTR, Chinatown Mixed Use, RSD, SLR, SLI, SPD, SSO, MUG, MUR, and MUO Districts shall have a minimum floor-to-floo neight of 14 feet, as measured from grade.

PLANNING DEPARTMENT NOTES CONT'D:

LOT AREA

16.047 SQ.FT. = 37 ACRES

FLOOR AREA RATIO (FAR)

PDR-1-B. PDR-1-D. PDR-1-G. and PDR-2 in a 65 or 68 foot height district = 5.0 to 1

5 * 16,047 SQ.FT. = 80,235 GR.SQ.FT. (max. allowable gross square footage)

sq.ft

TOTA OFFICE: 49,832 GR.SQ.FT TOTA AREA: 72,070 GR.SQ.FT 10,795 gr sq 1

Per Table 151.1:

Retail: All retail in the Eastern Neighborhoods Mixed Use Districts where any portion of the parcel is less than

22,234 /1,500 SQ.FT. = 14 MAXIMUM STALLS ALLOWABLE

No Parking is required for any use in the MUO. Up to 7% of the gross floor area may be devoted to .07 * 49,367 SQ.FT. = 3,455 SQ.FT. MAX. ALLOWABLE

STALLS PROVIDED: 04 SURFACE STALLS 01 HANDICAP VAN STALL

Car-Share Parking. Any off-street parking space dedicated for use as a car-share parking space, as defined in Section 166, shall not be credited toward the total parking permitted as accessory in this ection

01 CAR SHARE STALL PROVIDED

10,000 GR.SQ.FT. < 22,363 GR.SQ.FT. < 30,000 GR.SQ.FT.

Office: 0.1 space per 10,000 sq. ft. of gross floor area (to closest whole number per Section 153)

BICYCLE PARKING:

Per Section 155.2 Retail:

Minimum two spaces. One Class 1 space for every 15,000 square feet of occupied floor area.

BASEMENT 7,397 flr area-occupied 12,096

36 CLASS 1 BICYCLE PARKING SPACE PROVIDED

Office:

One Class 1 space for every 5,000 occupied square feet.

2ND 13,051 flr area-occupied 3RD 12,356 4TH 8 824

> 43,055 SQ.FT. / 5,000.SQ.FT.= 9 STALL REQUIRED 9 CLASS 1 BICYCLE PARKING SPACES PROVIDED.

TOTAL: 124 BICYCLE PARKING SPACES

er Section 168

OPEN SPACE REQUIREMENT Per Table 135.3

sq. ft. per 50 sq. ft. of occupied floor area of new, converted or added square footage 43.055 SQ.FT./50 = 861 sa.ft. required

PER PLANNING CODE SECTION 124: MUG, MUO, MUR, UMU,

GROSS BUILDING AREA:							
FLOOR	AREA	USE	COMMENTS				
BASEMENT LEVEL:	8,424 GR.SQ.FT.	RETAIL (FITNESS)	(EXCLUDES VEHICLE AND SERV. PRKG AND AND CAR SHARE AND DRIVE RAMP)	6,689 gr.sq			
FIRST FLOOR:	13,842 GR.SQ.FT.	RETAIL (FITNESS)	(EXCLUDES TRASH. MECH. AND BICYCLE PRK'G)	1,625 gr.sc			
TOTAL RETAIL:	22,266 GR.SQ.FT						
SECOND FLOOR:	14,935 GR.SQ.FT.	OFFICE	(EXCLUDES BICYCLE PARKING)	575 gr sq			
THIRD FLOOR:	13,840 GR.SQ.FT	OFFICE	(EXCLUDES BICYCLE PARKING)	575 gr sq			
FOURTH FLOOR:	10,524 GR.SQ.FT.	OFFICE	(EXCLUDES BICYCLE PARKING)	575 gr sg			
FIFTH FLOOR:	10,524 GR.SQ.FT.	OFFICE	(EXCLUDES BICYCLE PARKING)	575 gr sq			

TOTA AREA: 71,601 GR.SQ.FT < 80,235 GR.SQ.FT. BUILDING COMPLIES

VEHICULAR PARKING:

office parking

1/4 mile from 3rd Streets. P up to one for each 1,500 square feet of gross floor area.

185 SQ.FT. PER CAR ALLOWABLE 3,455 SQ.FT./185 SQ.FT.= 18 STALLS MAX. ALLOWABLE

TOTAL STALLS MAXIMUM ALLOWABLE = 18 + 14 = 32 STALLS 20 (10 INDEPENDENTLY ACCESSIBLE STACKER STALLS)

TOTAL: 25 TOTAL INDEPENDANT PARKING STALLS < 32 STALLS ALLOWABLE

01 CAR SHARE STALL REQUIRED PER 25-49 STALLS PROVIDED. Per Table 166:

LOADING:

Per Table: 152.1 Retail: 1 space per 10,001-30,000 gr. sq. ft.

ONE FREIGHT LOADING STALL OR TWO SERVICE VEHICLES STALLS REO'D

49,730 GR. SQ.FT./10,000 *.1= .49 NO FREIGHT LOADING STALL REQ'D.

TOTAL: 2 SERVICE VEHICLE STALLS REQ'D. 2 SERVICE VEHICLE STALLS PROVIDED

19,493 .SQ.FT. / 15,000.SQ.FT.= 2 STALL REQUIRED

Project will provide a minimum of 1 diaper changing station at the basement and ground floor level that is accessible to both men and women

DIAPER CHANGING STATION:

1 sq. ft. per 250 sq. ft. of occupied floor area of new or added square footage 19,493 SQ.FT./250 = 78 sq.ft. required.

78 sq.ft. provided on 4TH FLOOR roof deck

861 sq.ft. provided on 4TH FLOOR roof deck

939 sq ft_total

8,047 SQ.FT. 8,000 SQ.FT.

¥.

sq. ft WSED ARCH

NOT CTЭCO

EDERAL & De E SAN FRANCISCO, OCK: 3774, LOT 07

Ш

Revision Date

072 BO(7, CA 71 & (9,0

NOPDR #1 11.02.201 NOPDR #2 03 29 16

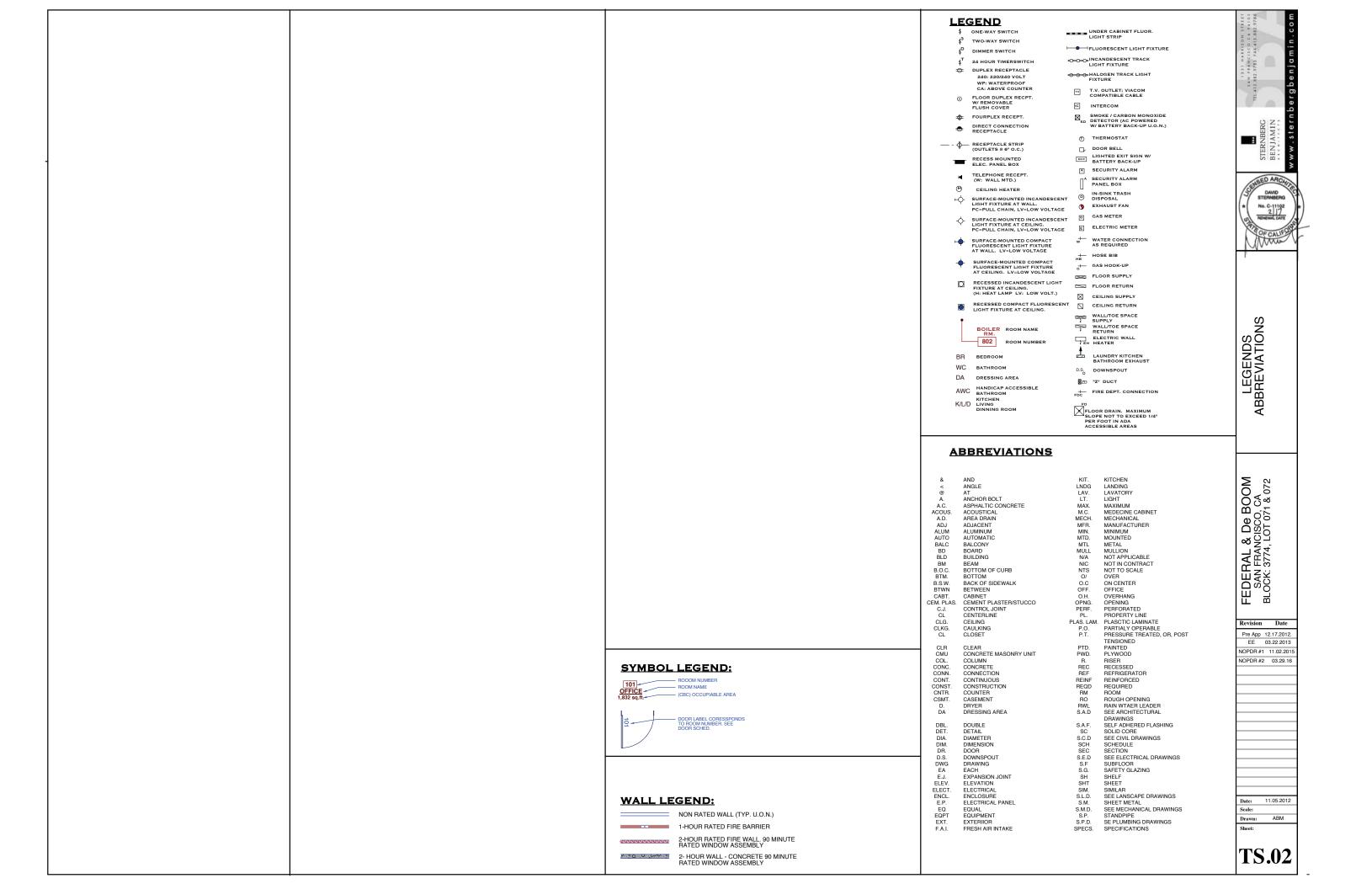
H B

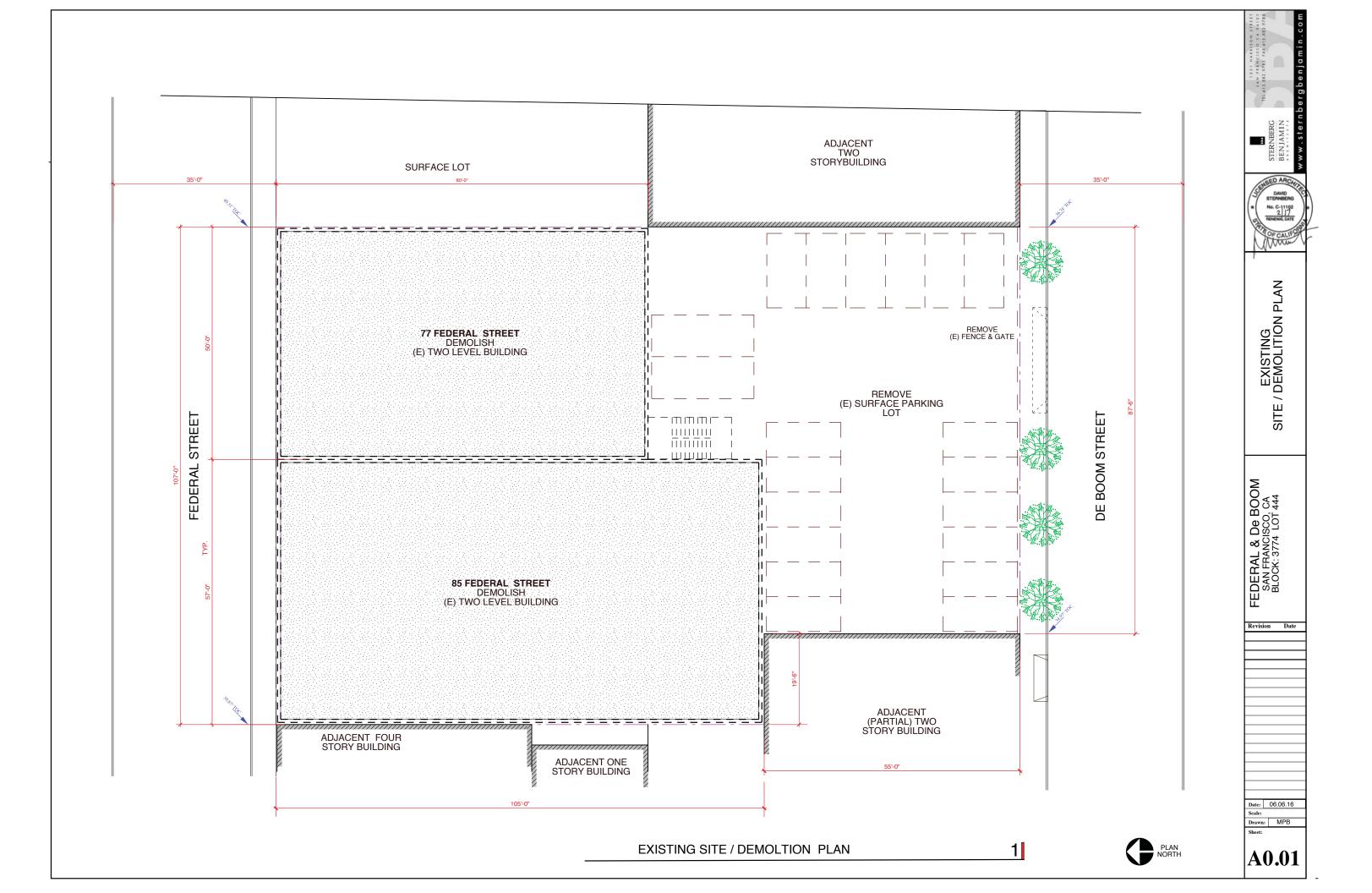
Pre App 12.17.2012. FF 03.22.2013

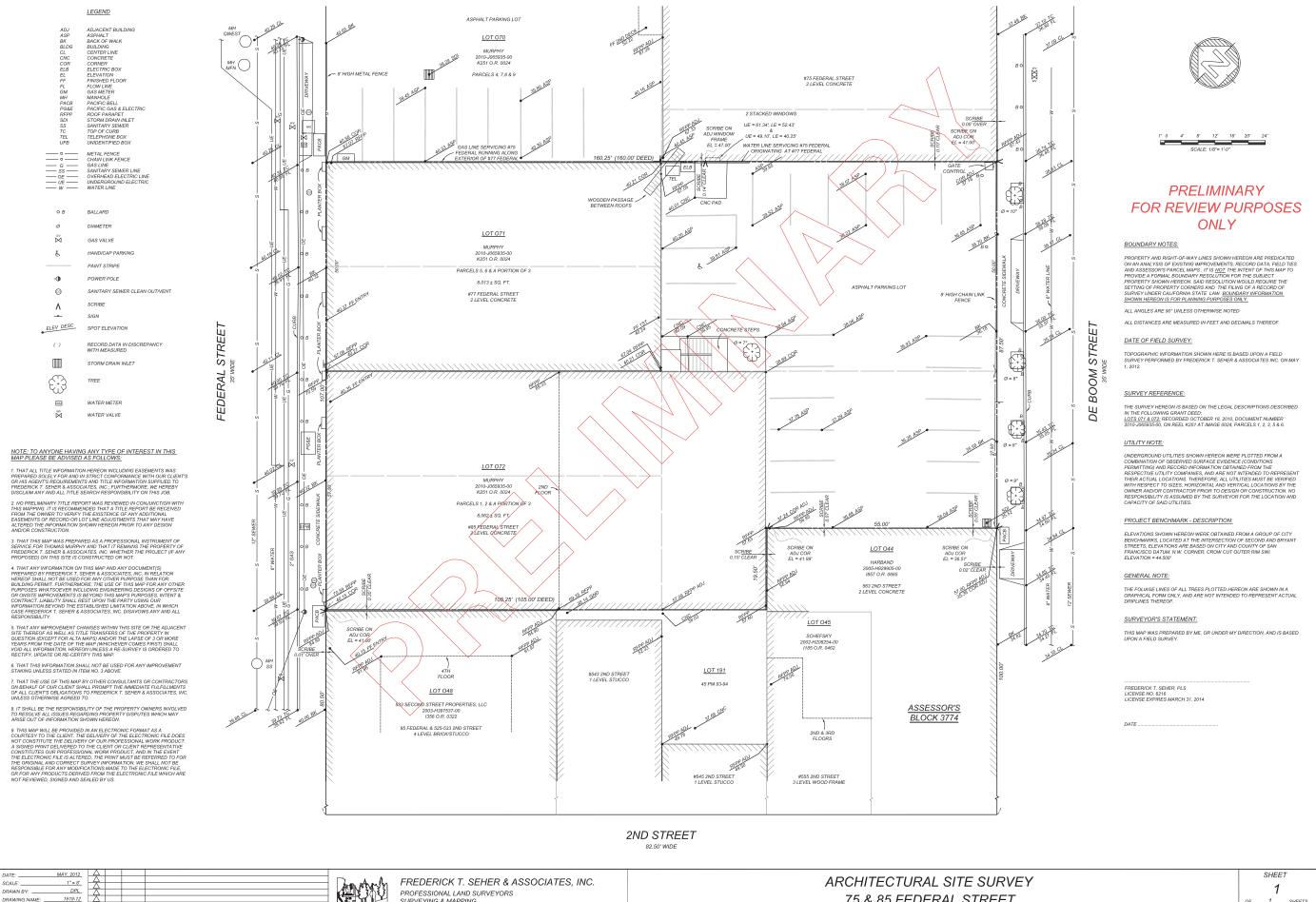
ABM

TS.01

11.05.2012





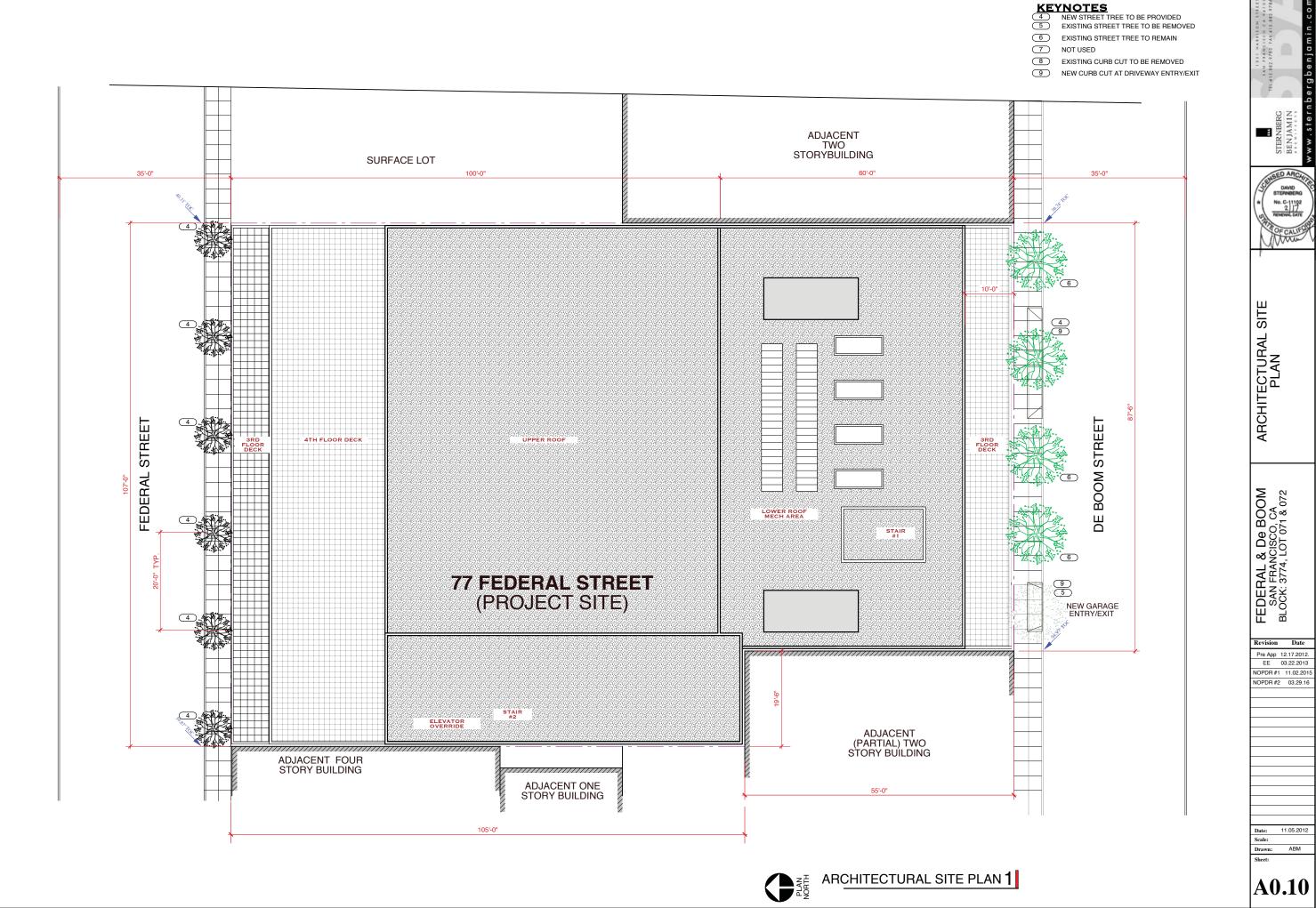


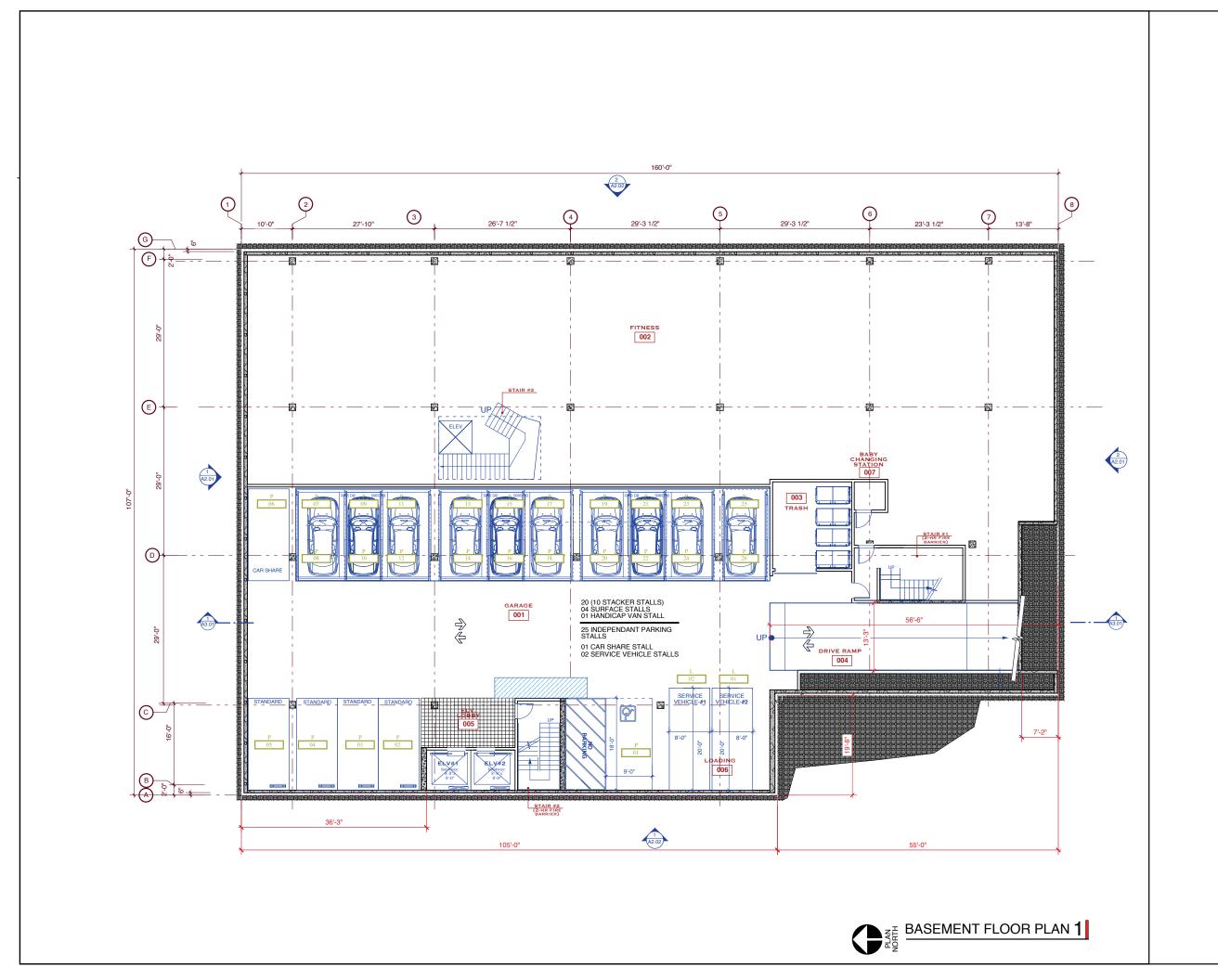
SURVEYED BY:

PROFESSIONAL LAND SURVEYORS SURVEYING & MAPPING 841 LOMBARD STREET, SAN FRANCISCO, CA 94133

(415) 921-7690 FAX (415) 921-7655

75 & 85 FEDERAL STREET ASSESSOR'S BLOCK 3774, LOTS 071 & 072 1 SHEETS FILE NO. 1619-12





STERNBERG BENJAMIN
SEGNATION OF STERN STATES OF STATES O



GARAGE FLOOR PLAN

FEDERAL & De BOOM SAN FRANCISCO, CA BLOCK: 3774, LOT 071 & 072

 Revision
 Date

 Pre App
 12.17.2012.

 EE
 03.22.2013

 NOPDR #1
 11.02.2015

 NOPDR #2
 03.29.16

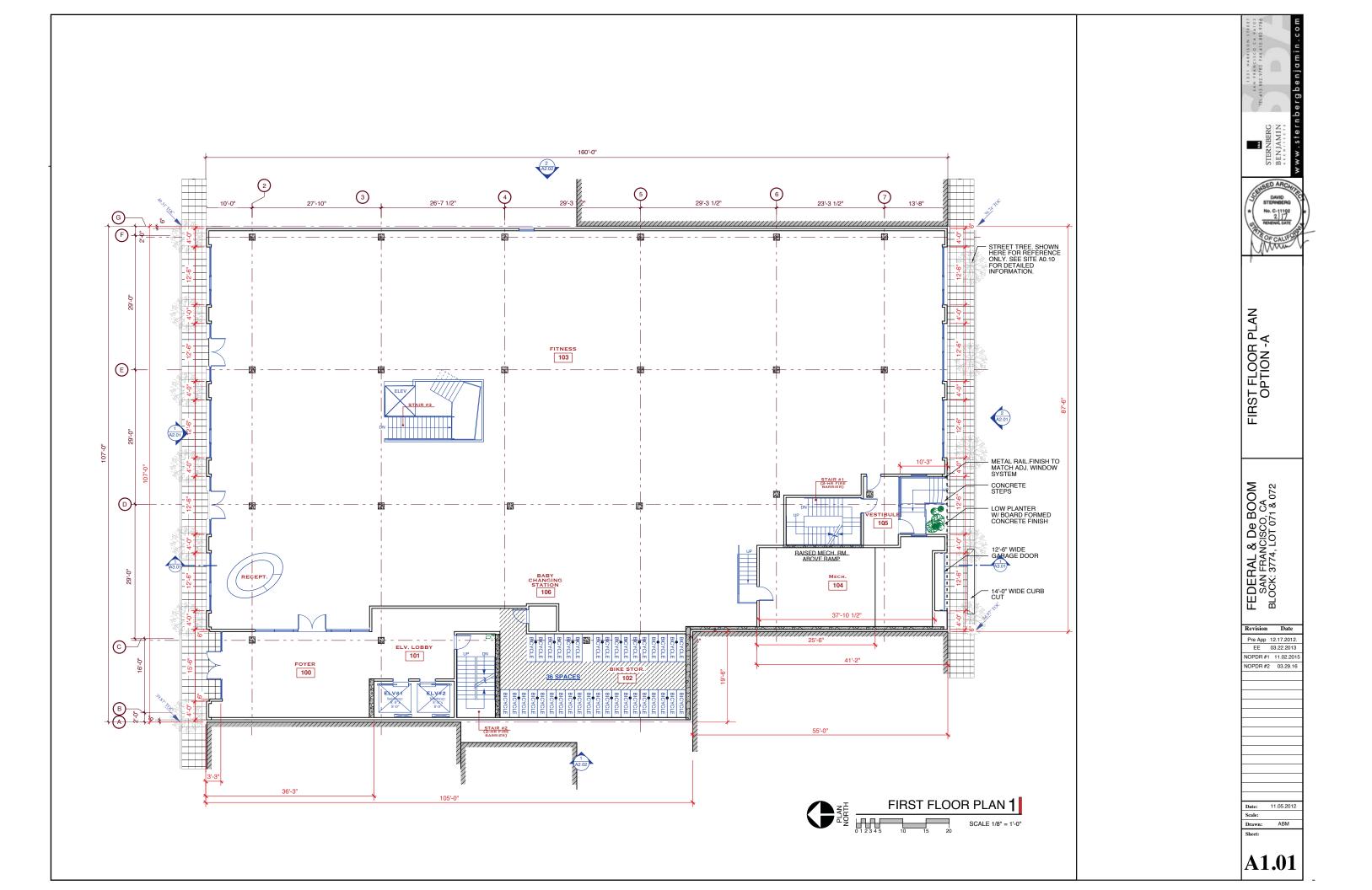
 Date:
 11.05.2012

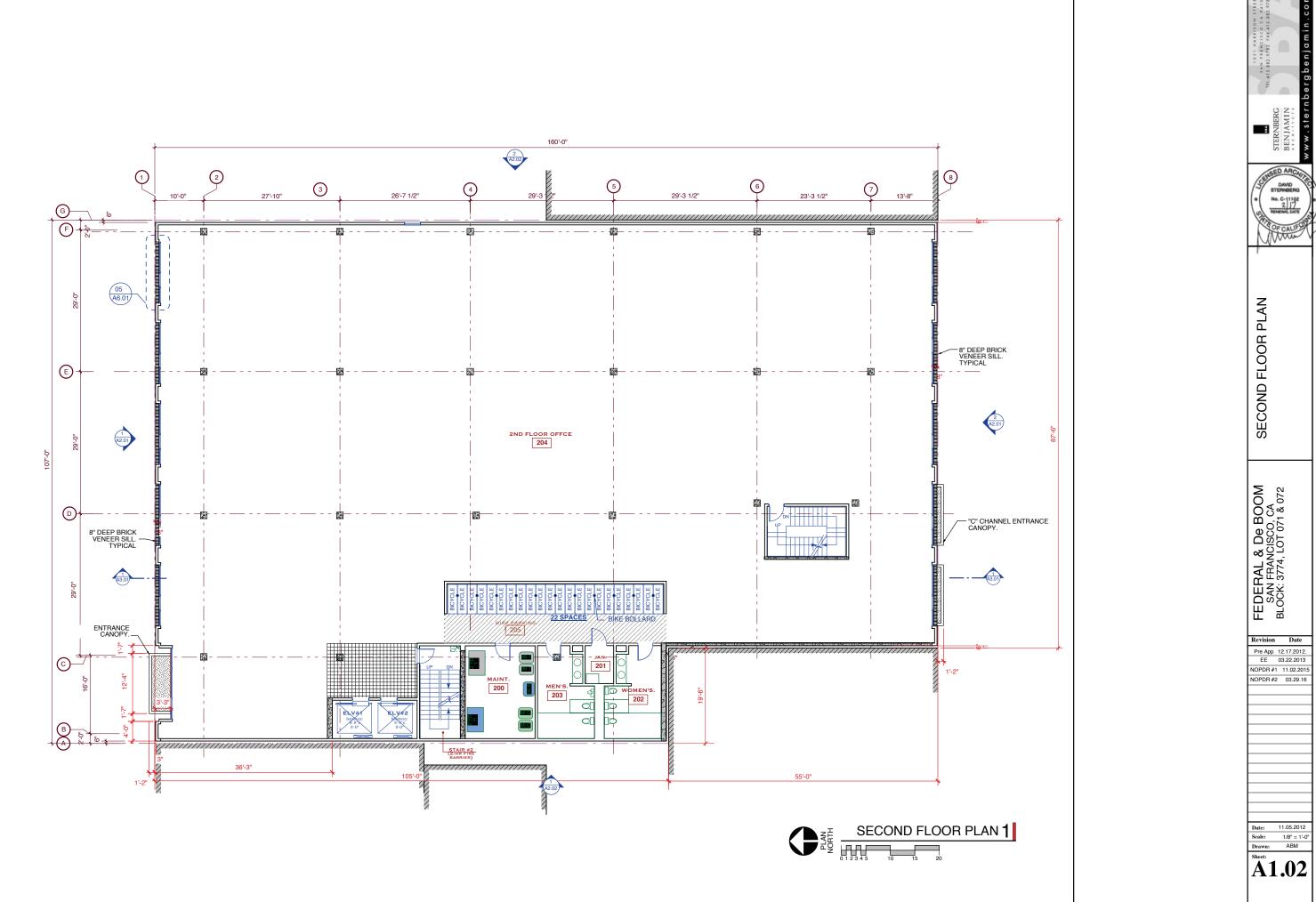
 Scale:
 1/8" = 1'-0"

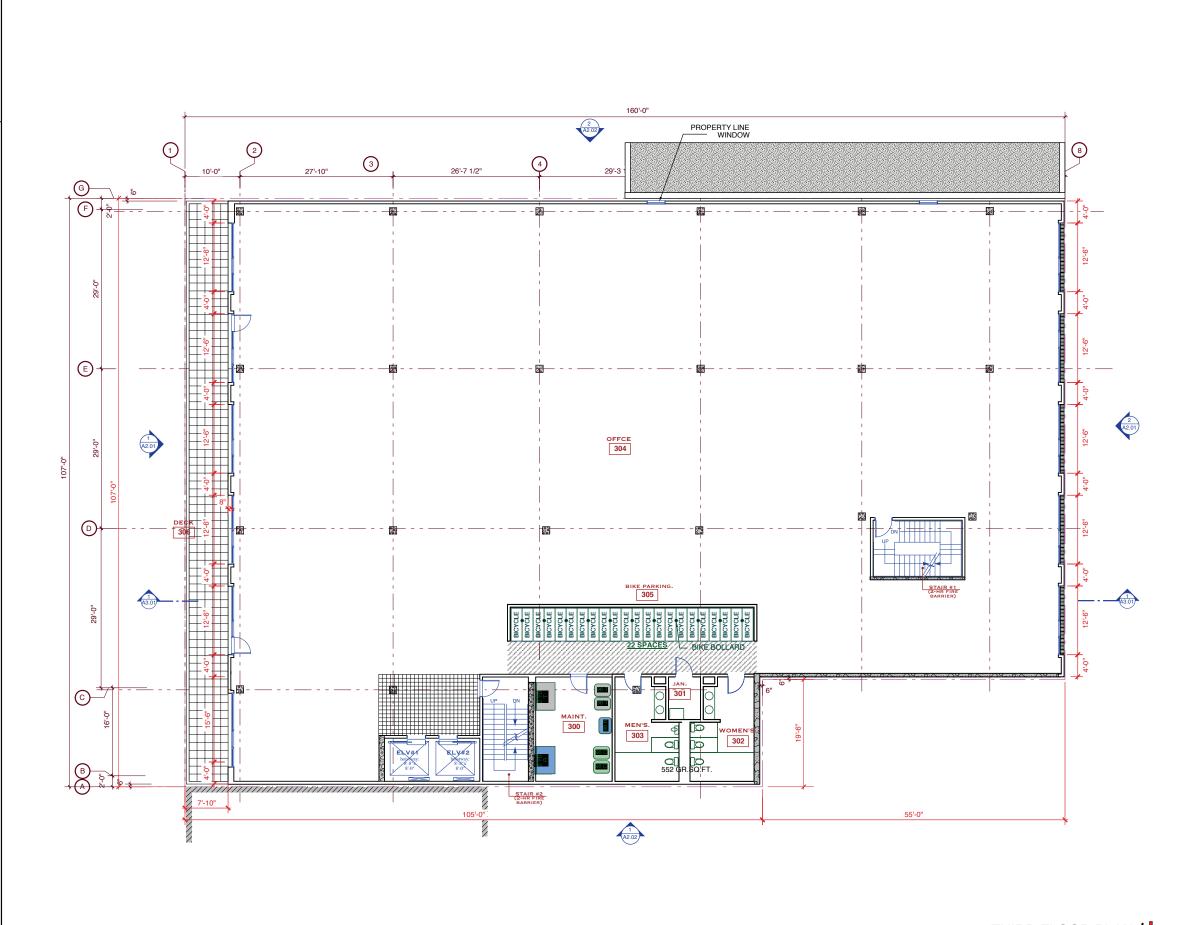
 Drawn:
 ABM

 Sheet:

A1.00





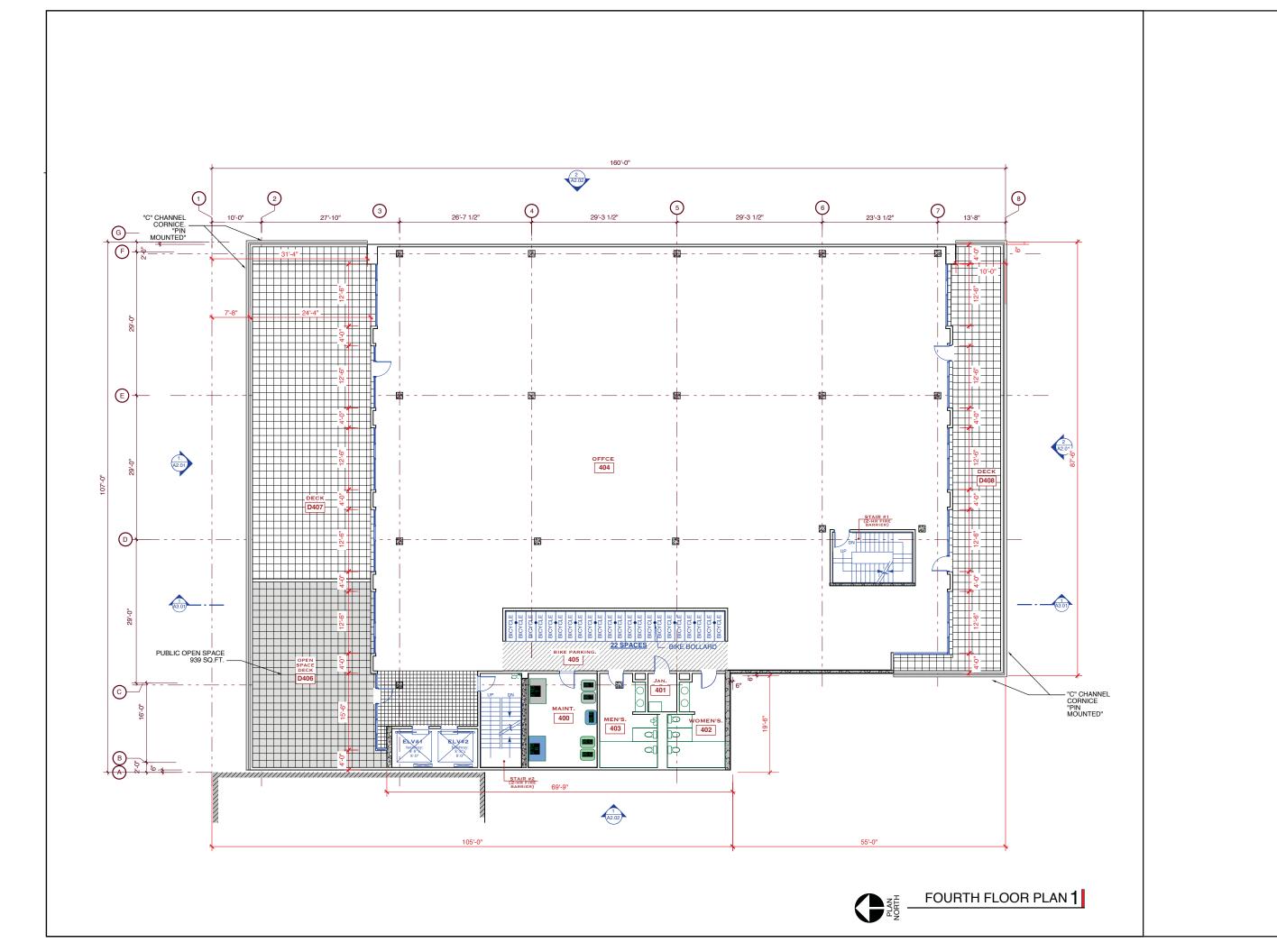


STERNBERG DAVID STERNBERG No. C-11102 2] 7 RENEWAL DATE THIRDFLOOR PLAN FEDERAL & De BOOM SAN FRANCISCO, CA BLOCK: 3774, LOT 071 & 072 Revision Date Pre App 12.17.2012. EE 03.22.2013 NOPDR #1 11.02.2015 NOPDR #2 03.29.16 Date: 11.05.2012 Scale: Drawn: ABM Sheet:

A1.03

PLAN NORTH —

THIRD FLOOR PLAN 1



STERNBERG
BENJAMIN
SECULIFICAS
WWW.Sternbergbenjamin.co



FEDERAL & De BOOM SAN FRANCISCO, CA BLOCK: 3774, LOT 071 & 072

FOURTH FLOOR

 Revision
 Date

 Pre App
 12.17.2012.

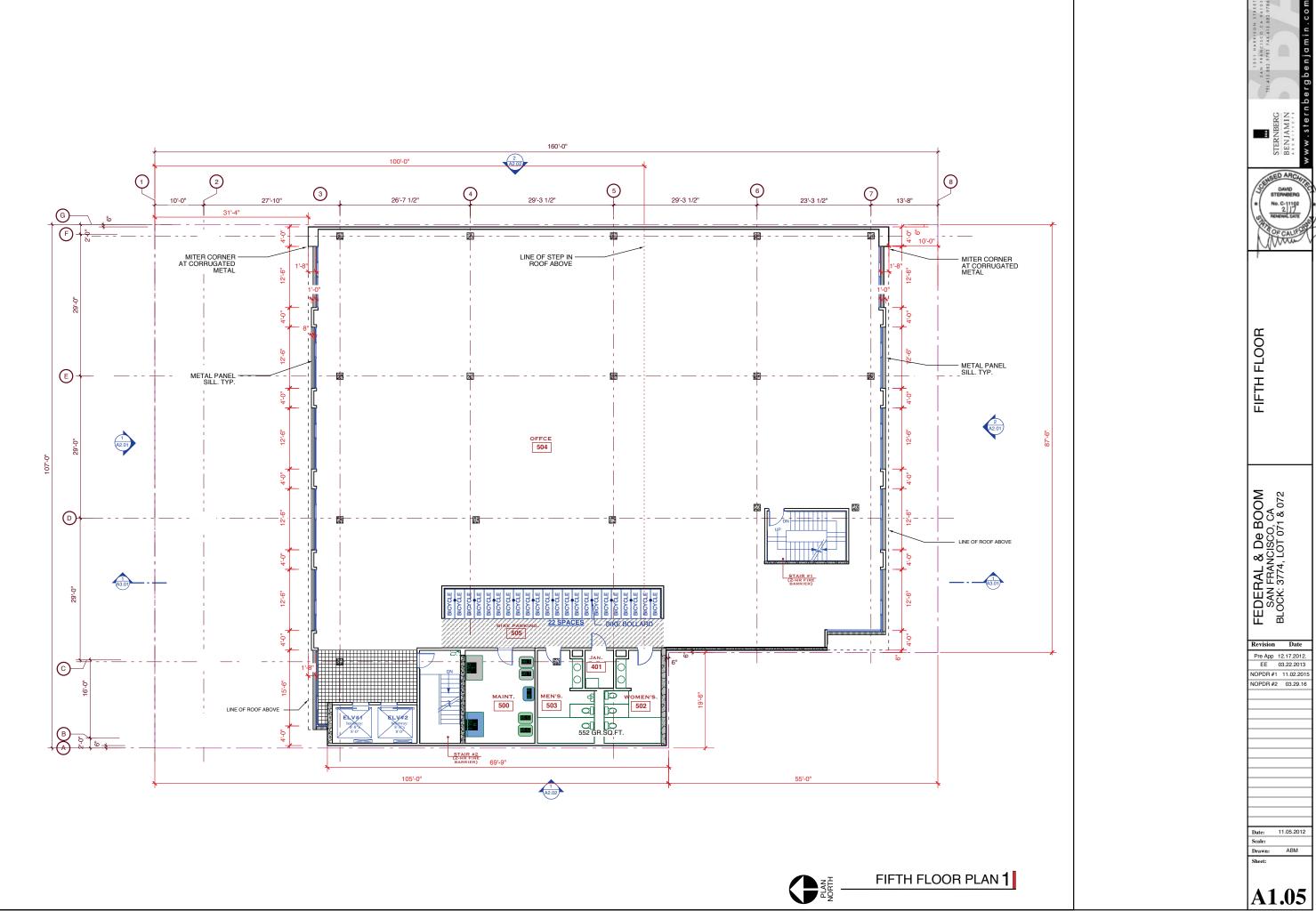
 EE
 03.22.2013

 NOPDR #1
 11.02.2015

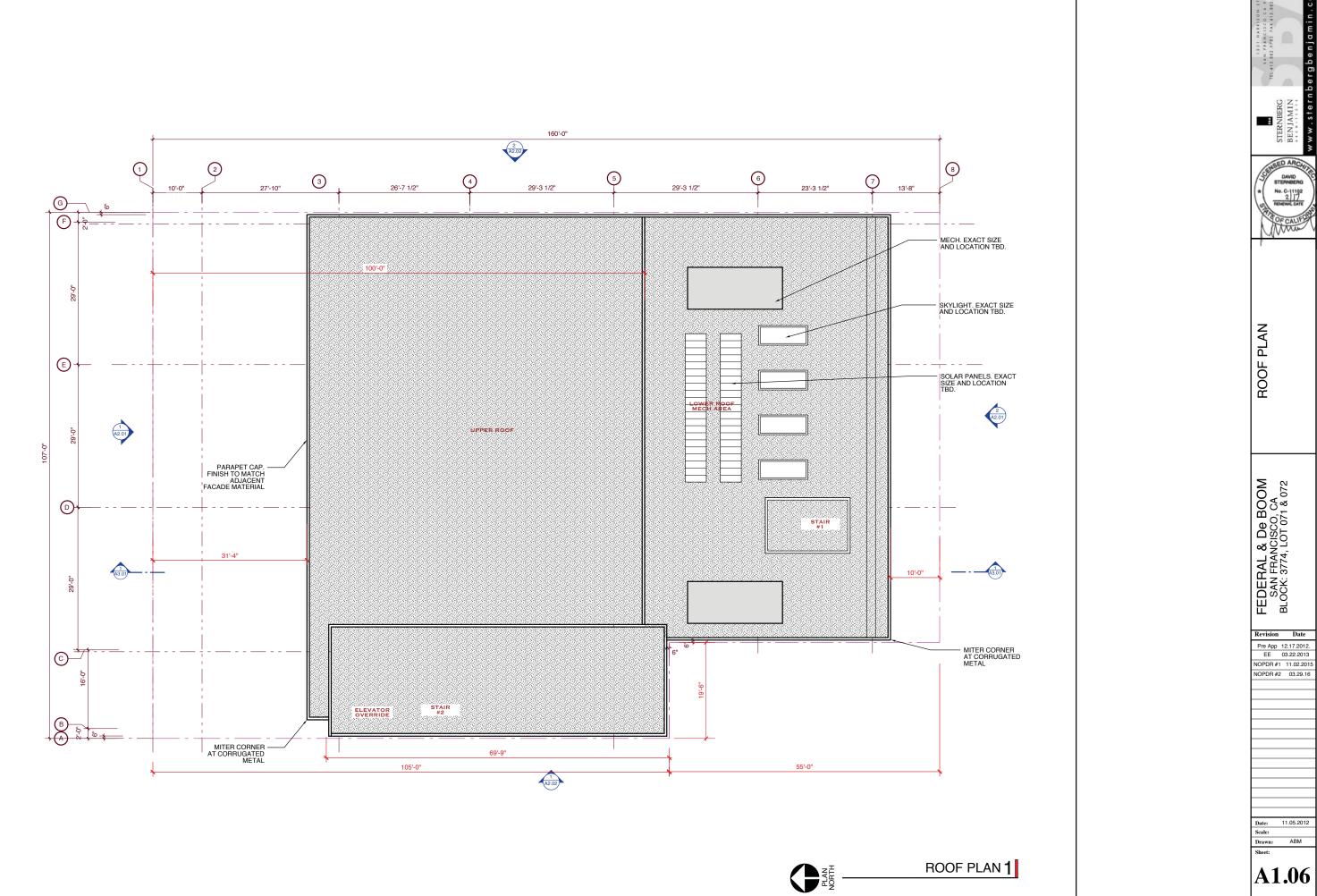
NOPDR #2 03.29.16

Date: 11.05.2012 Scale: Drawn: ABM Sheet:

A1.04



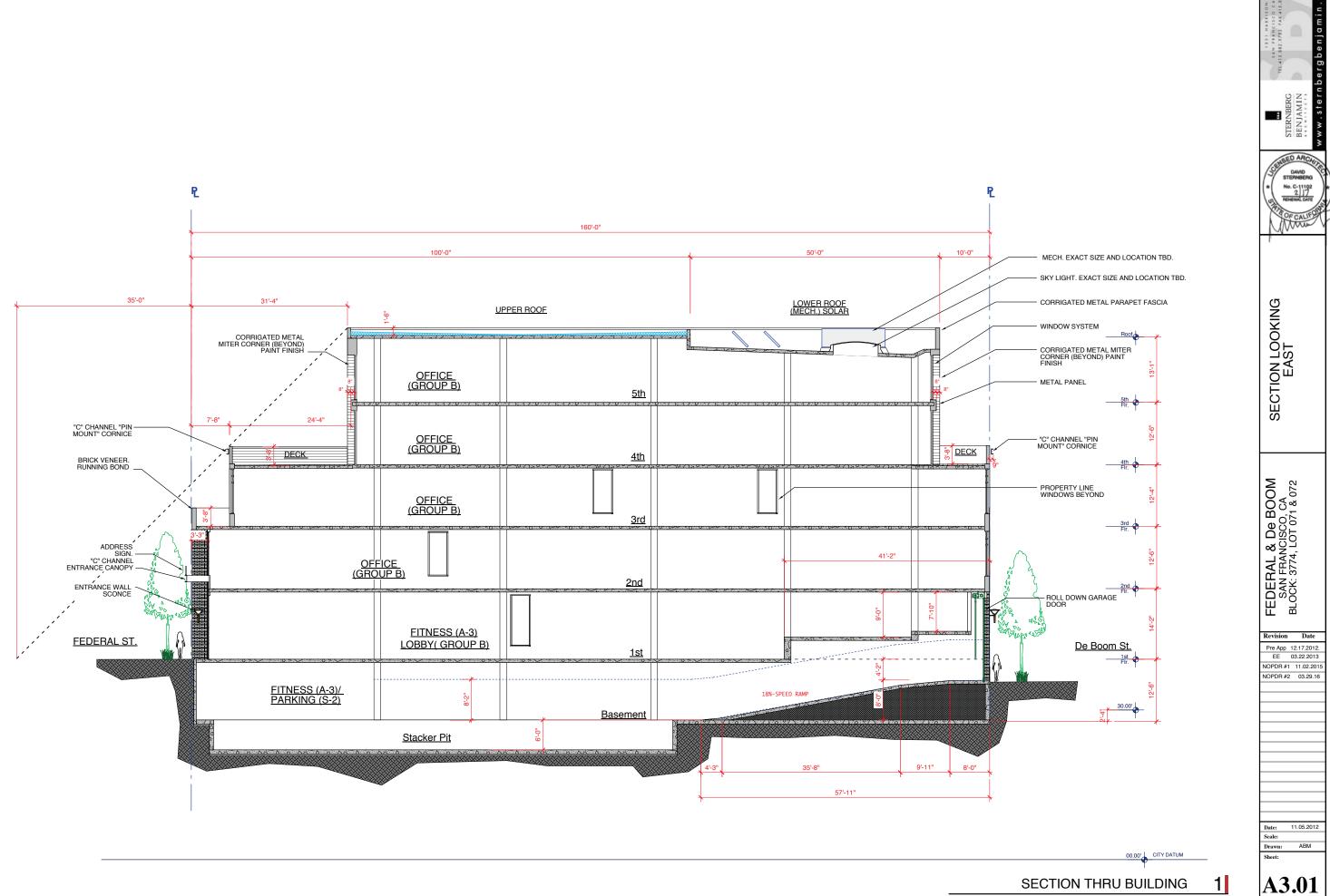






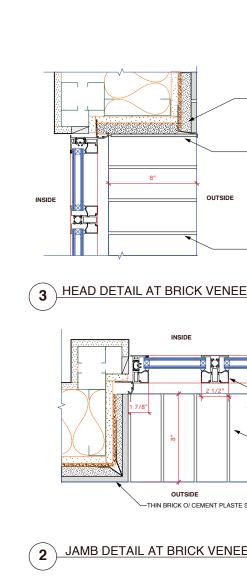


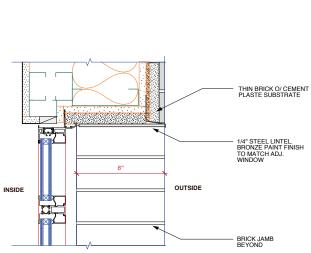




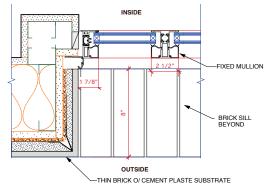




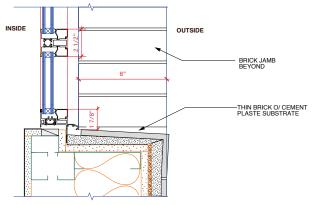




3 HEAD DETAIL AT BRICK VENEER WALL



JAMB DETAIL AT BRICK VENEER WALL



SILL DETAIL AT BRICK VENEER WALL

STERNBERG
BENJAMIN
ATEMITECES
WWW.STERNBERG
WWW.STERNBERG

DAVID STERNBERG No. C-11102 2 1)7 RENEWAL DATE

OF CALIFOR

ENLARGED EXTERIOR DETAILS

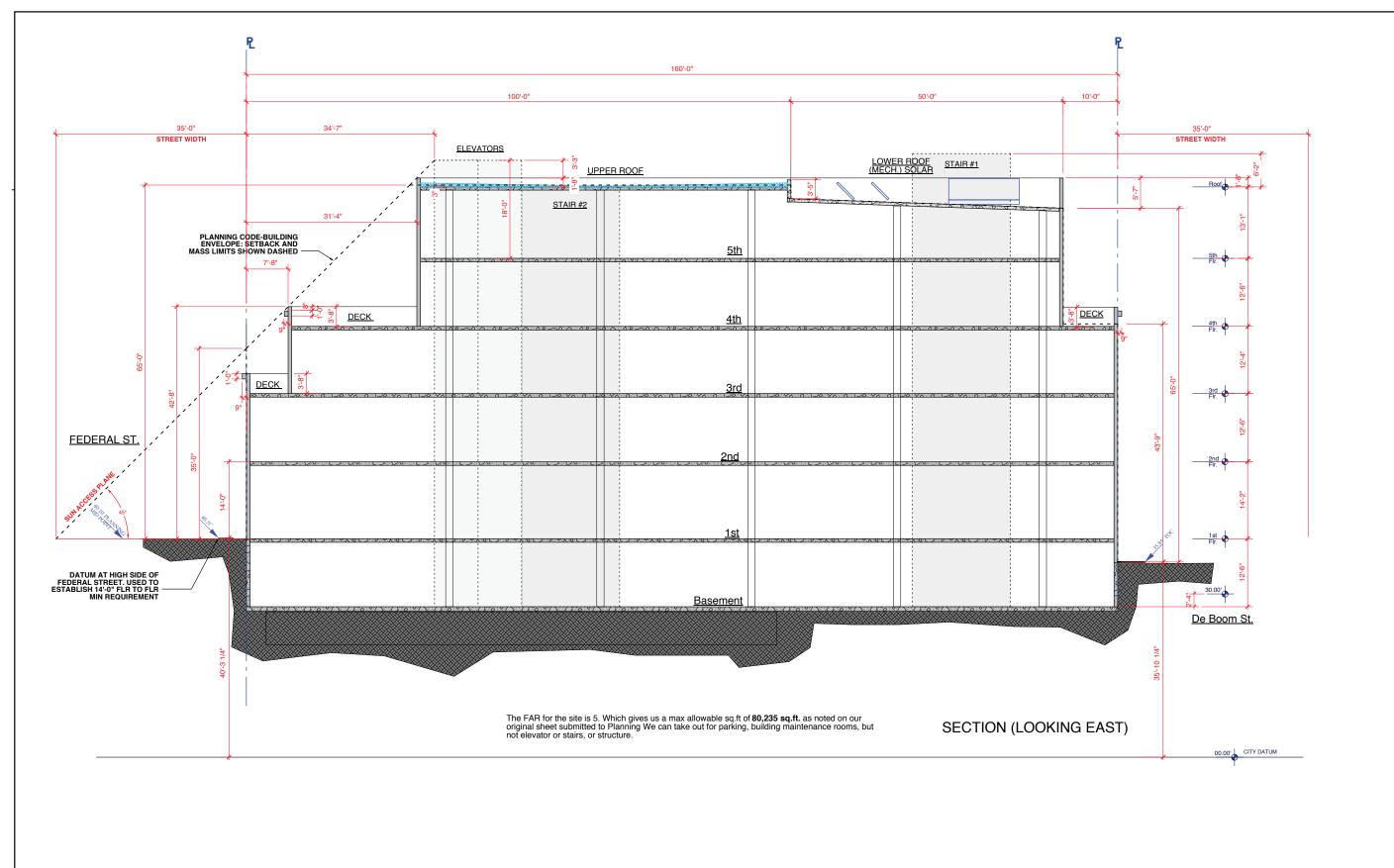
FEDERAL & De BOOM SAN FRANCISCO, CA BLOCK: 3774, LOT 071 & 072

Revision Date Pre App 12.17.2012. EE 03.22.2013 NOPDR #1 11.02.2015 NOPDR #2 03.29.16

Date: 11.05.2012
Scale:
Drawn: ABM
Sheet:

A9.01





DAND
STEINHERG
No. C-1172
REMENDAL DATE
OF CALIFORNIA DATE
OF CALIFORN

BUILDING ENVELOPE SECTION AT SITE MID POINT

FEDERAL & De BOOM SAN FRANCISCO, CA BLOCK: 3774, LOT 071 & 072

 Revision
 Date

 Pre App
 12.17.2012.

 EE
 03.22.2013

 NOPDR #1
 11.02.2015

NOPDR #2 03.29.16

Date: 11.05.2012 Scale:

P1.01

PR.02

ADJACENT PROPERTY SUBJECT PROPERTY

1) FEDERAL STREET: VIEW LOOKING EAST



2) FEDERAL STREET: VIEW LOOKING WEST



3) FEDERAL STREET: VIEW LOOKING SOUTH EAST (ADJANCET PROPERTY)



5) DE BOOM STREET: VIEW LOOKING NORTH (ADJACENT PROPERTY)



4) DE BOOM STREET: VIEW LOOKING NORTHWEST



