



SAN FRANCISCO PLANNING DEPARTMENT

Permit to Alter Case Report

HEARING DATE: DECEMBER 19, 2012

Filing Date: October 18, 2012
Case No.: **2012.1326H**
Project Address: **1 Kearny Street**
Category: Category I (Significant)
Conservation District: Kearny-Market-Mason-Sutter
Zoning: C-3-O (Downtown-Office)
80-130-F Height and Bulk District
Block/Lot: 0312/031
Applicant: Tony Sanchez Corea
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San Francisco, CA 94127
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Reviewed By: Tim Frye - (415) 558-6625
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PROPERTY DESCRIPTION

1 KEARNY STREET is located on the north side of Market Street between Third Street and Grant Avenue (Assessor's Block 0312; Lot 031). The subject property is a Category I (Significant) property within the Kearny-Market-Mason-Sutter Conservation District, which is locally designated under Article 11, Appendix E of the Planning Code. It is located within the C-3-O (Downtown-Office) Zoning District with an 80-130-F Height and Bulk limit.

1 Kearny Street was originally constructed in 1902 by William Curlett and is a twelve-story office building designed in the Renaissance/Baroque architectural style. The building features an annex, designed in 1964 by the firm of Clark & Beuttler with Charles W. Moore as lead architect; and a contemporary addition by Charles Bloszies in 2009.

PROJECT DESCRIPTION

The proposed project is to renovate the second floor office space into a restaurant. Specifically, the proposal includes:

- Replacement of the existing windows along Market Street, located at the second floor of the historic Mutual Savings Bank façade. Proposed windows will be installed in-line with the exterior wall of the building, and will replace the existing non-original inverted bay windows.
- Replacement of the aluminum storefront door of the Annex Lobby. The door will be replaced in-kind for better operation.
- Repairs to the canopy of the Annex and installation of new tenant signage.

Please see photographs and plans for details.

PROJECT BACKGROUND

The proposed project was reviewed by the National Park Service Technical Services Branch and found to qualify for the 20% Historic Rehabilitation Tax Credit on August 21, 2012. The National Park Service, in partnership with the California State Historic Preservation Office reviewed the project and found the proposal to be in compliance with the Secretary of the Interior's Standards for Rehabilitation.

OTHER ACTIONS REQUIRED

None.

COMPLIANCE WITH THE PLANNING CODE PROVISIONS

The proposed project is in compliance with all other provisions of the Planning Code.

APPLICABLE PRESERVATION STANDARDS

ARTICLE 11

Pursuant to Section 1110 of the Planning Code, unless delegated to the Planning Department Preservation Staff through the Minor Permit to Alter process pursuant to Section 1111.1 of the Planning Code, the Historic Preservation Commission is required to review any applications for the construction, alteration, removal, or demolition for Significant buildings, Contributory buildings, or any building within a Conservation District. In evaluating a request for a Permit to Alter, the Historic Preservation Commission must find that the proposed work is in compliance with the *Secretary of the Interior's Standards for the Treatment of Historic Properties*, Section 1111.6 of the Planning Code, as well as the designating Ordinance and any applicable guidelines, local interpretations, bulletins, related appendices, or other policies.

SECTION 1111.6 OF THE PLANNING CODE

Section 1111.6 and Section 1111.2, as it relates to signage, of the Planning Code outline the specific standards and requirements the Historic Preservation Commission shall use when evaluating Permits to Alter. These standards, in relevant part(s), are listed below:

- (a) The proposed alteration shall be consistent with and appropriate for the effectuation of the purposes of this Article 11.

The proposed project is consistent with Article 11.

- (b) For Significant Buildings/Properties - Categories I and II, and for Contributory Buildings - Categories III and IV, proposed alterations of structural elements and exterior features shall be consistent with the architectural character of the building, and shall comply with the following specific requirements:

- (1) The distinguishing original qualities or character of the building may not be damaged or destroyed. Any distinctive architectural feature which affects the overall appearance of the building shall not be removed or altered unless it is the only feasible means to protect the public safety.

The proposed project involves in-kind replacement of the entry door, canopy and signage at the ground floor, and replacement of circa 1960 windows on the second floor. This project will require minimal disturbance of existing historic fabric and the distinguishing qualities of the subject building and the Kearny-Market-Mason-Sutter Conservation District will be retained.

- (2) The integrity of distinctive stylistic features or examples of skilled craftsmanship that characterize a building shall be preserved.

As described above, the proposed project will not result in the loss of distinctive stylistic features or examples of skilled craftsmanship that characterize the property.

- (4) Contemporary design of alterations is permitted, provided that such alterations do not destroy significant exterior architectural material and that such design is compatible with the size, scale, color, material and character of the building and its surroundings.

The repair of the ground floor canopy and in-kind replacement of the entry door and tenant signage will match the existing and will not destroy significant architectural materials. Overall, the proposed project is compatible with the size, scale, color, materials and character of the existing building and these change are compatible with the overall design of the property and surrounding Kearny-Market-Mason-Sutter Conservation District.

- (6) In the case of Significant Buildings - Category I, any additions to height of the building (including addition of mechanical equipment) shall be limited to one story above the height of the existing roof, shall be compatible with the scale and character of the building, and shall in no event cover more than 75 percent of the roof area.

The proposed project does not include any addition to the height of the building.

THE SECRETARY OF THE INTERIOR'S STANDARDS

Rehabilitation is the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features that convey its historical, cultural, or architectural values. The Rehabilitation Standards provide, in relevant part(s):

Standard 1: A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.

The proposed project will involve the conversion of existing office space into restaurant use. This use requires minimal change to the building's distinctive materials, features, spaces and spatial relationships and is considered a compatible use.

Standard 2: The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

The proposal is to replace the existing entry door, canopy and signage in-kind, and alter the second story window wall along Market Street. The in-kind replacement of the entry elements will match the existing historic elements and will slightly modify these elements to meet ADA requirements and to change the copy of the existing sign. The second story windows will be modified and the profiles will match the existing such that this change will be compatible with the character of the existing windows. These changes will not remove distinctive materials, nor irreversibly alter features, spaces, or spatial relationships that characterize the property or the Kearny-Market-Mason-Sutter Conservation District.

Standard 3: Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

The proposed project does not include the addition of conjectural elements or architectural features from other buildings. New work does not create a false sense of historical development and would be contemporary in character. The replacement of entry elements will be in-kind. The alteration of the configuration and operation of the second floor window wall along Market Street will not alter the overall appearance of the façade and will draw upon the materials and character of the existing windows. The proposed project will be recognized as a physical record of its time, place, and use.

Standard 5: Distinctive features, finishes, and construction techniques or examples of fine craftsmanship that characterize a property will be preserved.

The proposed project will not affect any original distinctive materials, features, finishes, and construction techniques that characterize the property. Alterations to this building will not affect the character of the surrounding Kearny-Market-Mason-Sutter district.

Standard 9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

The proposed work is not anticipated to destroy historic materials, features, or spatial relationships that characterize the property. The entry door and signage will be replaced in-kind and the canopy will be repaired and will reference the overall character of the historic appearance of these features. The alterations to the second story window wall on Market Street will be compatible with the materials and dimensions of the existing windows. Therefore, the proposed project will be compatible with the historic materials, features, size, scale and proportion and massing of the existing building and the surrounding Kearny-Market-Mason-Sutter district.

Standard 10: New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The essential form and integrity of the subject building and the Kearny-Market-Mason-Sutter Conservation District would be unimpaired if the proposed alterations at the subject property were removed at a future date.

PUBLIC/NEIGHBORHOOD INPUT

The Department has received two public inquiries for general information about the proposed project.

ISSUES & OTHER CONSIDERATIONS

None.

STAFF ANALYSIS

Staff has determined that the proposed work will be in conformance with the requirements of Article 10, Appendix E and the *Secretary of Interior's Standards for Rehabilitation*. Proposed work will not damage or destroy distinguishing original qualities or character of the subject property or the Kearny-Market-Mason-Sutter Conservation District. The overall proposal includes renovation of the second floor office space into a restaurant. The proposal includes in-kind replacement of the entry door at the corner of Market and Geary, repair of the canopy above the entry door, alteration of the second floor window wall on Market Street, and replacement of the tenant signage on the canopy. Staff finds that the historic character of the property will be retained and preserved and will not result in the removal of historic fabric.

This project will require minimal disturbance of existing historic fabric, limited to in-kind replacement of the entry door, canopy and signage, and modification of the configuration of the second floor windows. The proposed in-kind replacement of the entry door, canopy and tenant signage will retain the overall materials, character and design of these elements and will not destroy historic materials, features, and spatial relationships that characterize the property. The proposed project will not result in the loss of distinctive stylistic features or examples of skilled craftsmanship that characterize the property. The modification of the second floor windows will be limited to the removal of the interior recess and the new windows will match the old in profile, dimension, and materials. New work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and the surrounding district.

ENVIRONMENTAL REVIEW STATUS

The Planning Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15301 (Class One-Minor Alteration of Existing facility) because the project is a minor alteration of an existing structure and meets the *Secretary of the Interior's Standards*.

PLANNING DEPARTMENT RECOMMENDATION

Planning Department staff recommends APPROVAL of the proposed project as it appears to meet the provisions of Article 11 of the Planning Code regarding Major Alteration to a Category I (Significant) Property and the *Secretary of the Interior Standards for Rehabilitation*.

ATTACHMENTS

Draft Motion
Parcel Map
Sanborn Map
Aerial Photo
Zoning Map
Site Photos
Plans

GH: G:\Documents\Major Permit to Alter\1 Kearny\HPC hearing\1 Kearny_Case Report.doc



SAN FRANCISCO PLANNING DEPARTMENT

Historic Preservation Commission Motion No. XXXX Permit to Alter MAJOR ALTERATION

HEARING DATE: DECEMBER 19, 2012

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ADOPTING FINDINGS FOR A PERMIT TO ALTER FOR MAJOR ALTERATIONS FOR PROPOSED WORK DETERMINED TO BE APPROPRIATE FOR AND CONSISTENT WITH THE PURPOSES OF ARTICLE 11, TO MEET THE SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION, FOR THE CATEGORY I (SIGNIFICANT) PROPERTY LOCATED ON LOT 031 IN ASSESSOR'S BLOCK 0312. THE SUBJECT PROPERTY IS WITHIN THE KEARNY-MARKET-MASON-SUTTER CONSERVATION DISTRICT, WITH A C-3-O (COMMERCIAL-OFFICE) ZONING DISTRICT AND AN 80-130-F HEIGHT AND BULK DISTRICT.

PREAMBLE

WHEREAS, on October 24, 2012, Tony Sanchez-Corea of A.R. Sanchez-Corea & Associates, Inc. ("Applicant") filed an application with the San Francisco Planning Department ("Department") for a Permit to Alter for exterior alterations required to convert existing second floor office space into a restaurant. The subject property is located on Lot 031 in Assessor's block 0312, a Category I (Significant) property historically known as the Mutual Savings Bank Building and within the Article 11 Kearny-Market-Mason-Sutter Conservation District (KMMS District). Specifically, the proposal includes:

- Replacement of the existing windows along Market Street, located at the second floor of the historic Mutual Savings Bank façade. Proposed windows will be installed in-line with the exterior wall of the building, and will replace the existing non-original inverted bay windows.
- Replacement of the aluminum storefront door of the Annex Lobby. The door will be replaced in-kind for better operation.
- Repairs to the canopy of the Annex and installation of new tenant signage.

WHEREAS, the Project was determined by the Department to be categorically exempt from environmental review. The Historic Preservation Commission (hereinafter "Commission") has reviewed and concurs with said determination.

WHEREAS, on December 19, 2012, the Commission conducted a duly noticed public hearing on Permit to Alter application No. 2012.1326H ("Project").

WHEREAS, in reviewing the application, the Commission has had available for its review and consideration case reports, plans, and other materials pertaining to the Project contained in the Department's case files, and has reviewed and heard testimony and received materials from interested parties during the public hearing on the Project.

MOVED, that the Commission hereby **APPROVES** the Permit to Alter, in conformance with the architectural plans dated August 6, 2012 and labeled Exhibit A on file in the docket for Case No. 2012.1326H based on the following findings:

FINDINGS

Having reviewed all the materials identified in the recitals above and having heard oral testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and also constitute findings of the Commission.
2. Findings pursuant to Article 11:

The Commission has determined that the proposed work is compatible with the exterior character-defining features of the subject property and meets the requirements of Article 11 of the Planning Code:

- That the proposal respects the character-defining features of the subject building and the KMMS District;
- That the architectural character of the subject building will be maintained and those features that affect the building's overall appearance that are altered shall be done so in-kind;
- That the integrity of distinctive stylistic features and examples of skilled craftsmanship that characterize the building shall be preserved; and,

- That all new materials shall match the historic material in composition, design, color, texture and other visual qualities and shall be based on accurate duplication of features.

For these reasons, the proposal overall, is appropriate for and consistent with the purposes of Article 11, meets the standards of Article 1111.6 of the Planning Code and complies with the *Secretary of the Interior's Standards for Rehabilitation*.

3. **General Plan Compliance.** The proposed Permit to Alter is, on balance, consistent with the following Objectives and Policies of the General Plan:

I. URBAN DESIGN ELEMENT

THE URBAN DESIGN ELEMENT CONCERNS THE PHYSICAL CHARACTER AND ORDER OF THE CITY, AND THE RELATIONSHIP BETWEEN PEOPLE AND THEIR ENVIRONMENT.

GOALS

The Urban Design Element is concerned both with development and with preservation. It is a concerted effort to recognize the positive attributes of the city, to enhance and conserve those attributes, and to improve the living environment where it is less than satisfactory. The Plan is a definition of quality, a definition based upon human needs.

OBJECTIVE 1

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

POLICY 1.3

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

OBJECTIVE 2

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

POLICY 2.4

Preserve notable landmarks and areas of historic, architectural or aesthetic value, and promote the preservation of other buildings and features that provide continuity with past development.

POLICY 2.5

Use care in remodeling of older buildings, in order to enhance rather than weaken the original character of such buildings.

POLICY 2.7

Recognize and protect outstanding and unique areas that contribute in an extraordinary degree to San Francisco's visual form and character.

The goal of a Permit to Alter is to provide additional oversight for buildings and districts that are architecturally or culturally significant to the City in order to protect the qualities that are associated with that significance.

The proposed project qualifies for a Permit to Alter and therefore furthers these policies and objectives by maintaining and preserving the character-defining features of the subject property for the future enjoyment and education of San Francisco residents and visitors.

4. The proposed project is generally consistent with the eight General Plan priority policies set forth in Section 101.1 in that:

- A) The existing neighborhood-serving retail uses will be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses will be enhanced:

The proposed project will not have an impact on neighborhood serving retail uses.

- B) The existing housing and neighborhood character will be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods:

The proposed project will strengthen neighborhood character by respecting the character-defining features of the building in conformance with the Secretary of the Interior's Standards

- C) The City's supply of affordable housing will be preserved and enhanced:

The project will not affect the City's affordable housing supply.

- D) The commuter traffic will not impede MUNI transit service or overburden our streets or neighborhood parking:

The proposed project will not result in commuter traffic impeding MUNI transit service or overburdening the streets or neighborhood parking. It will provide sufficient off-street parking for the proposed units.

- E) A diverse economic base will be maintained by protecting our industrial and service sectors from displacement due to commercial office development. And future opportunities for resident employment and ownership in these sectors will be enhanced:

The proposed project is located on Market Street and will not have a direct impact on the displacement of industrial and service sectors.

- F) The City will achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

All construction will be executed in compliance with all applicable construction and safety measures.

- G) That landmark and historic buildings will be preserved:

The proposed project is in conformance with Article 11 of the Planning Code and the Secretary of the Interior's Standards.

- H) Parks and open space and their access to sunlight and vistas will be protected from development:

The proposed project will not impact the access to sunlight or vistas for the parks and open space.

5. For these reasons, the proposal overall, appears to meet the *Secretary of the Interior's Standards* and the provisions of Article 11 of the Planning Code regarding Major Alterations to Category I (Significant) buildings.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **GRANTS a Permit to Alter** for the property located at Lot 031 in Assessor's Block 0312 for proposed work in conformance with the architectural submittal dated August 6, 2012 and labeled Exhibit A on file in the docket for Case No. 2012.1326H.

APPEAL AND EFFECTIVE DATE OF MOTION: The Commission's decision on a Permit to Alter shall be final unless appealed within thirty (30) days after the date of this Motion No. XXXX. Any appeal shall be made to the Board of Appeals, unless the proposed project requires Board of Supervisors approval or is appealed to the Board of Supervisors as a conditional use, in which case any appeal shall be made to the Board of Supervisors (see Charter Section 4.135). For further information, please contact the Board of Appeals in person at 1650 Mission Street, (Room 304) or call (415) 575-6880.

THIS IS NOT A PERMIT TO COMMENCE ANY WORK OR CHANGE OF OCCUPANCY UNLESS NO BUILDING PERMIT IS REQUIRED. PERMITS FROM THE DEPARTMENT OF BUILDING INSPECTION (and any other appropriate agencies) MUST BE SECURED BEFORE WORK IS STARTED OR OCCUPANCY IS CHANGED.

I hereby certify that the Historical Preservation Commission **ADOPTED** the foregoing Motion on December 19, 2012.

Jonas P. Ionin
Acting Commission Secretary

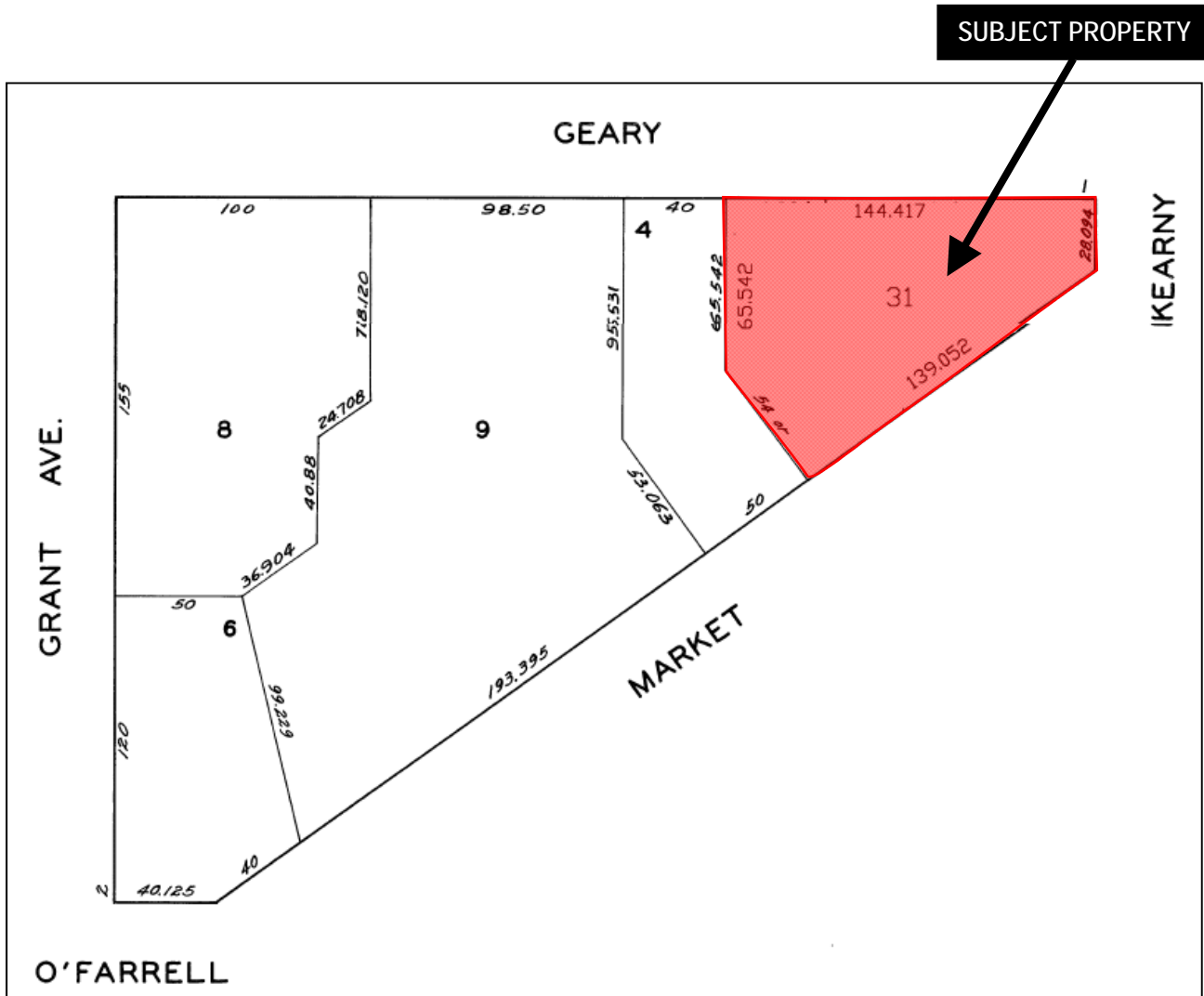
AYES:

NAYS:

ABSENT:

ADOPTED: December 19, 2012

Parcel Map



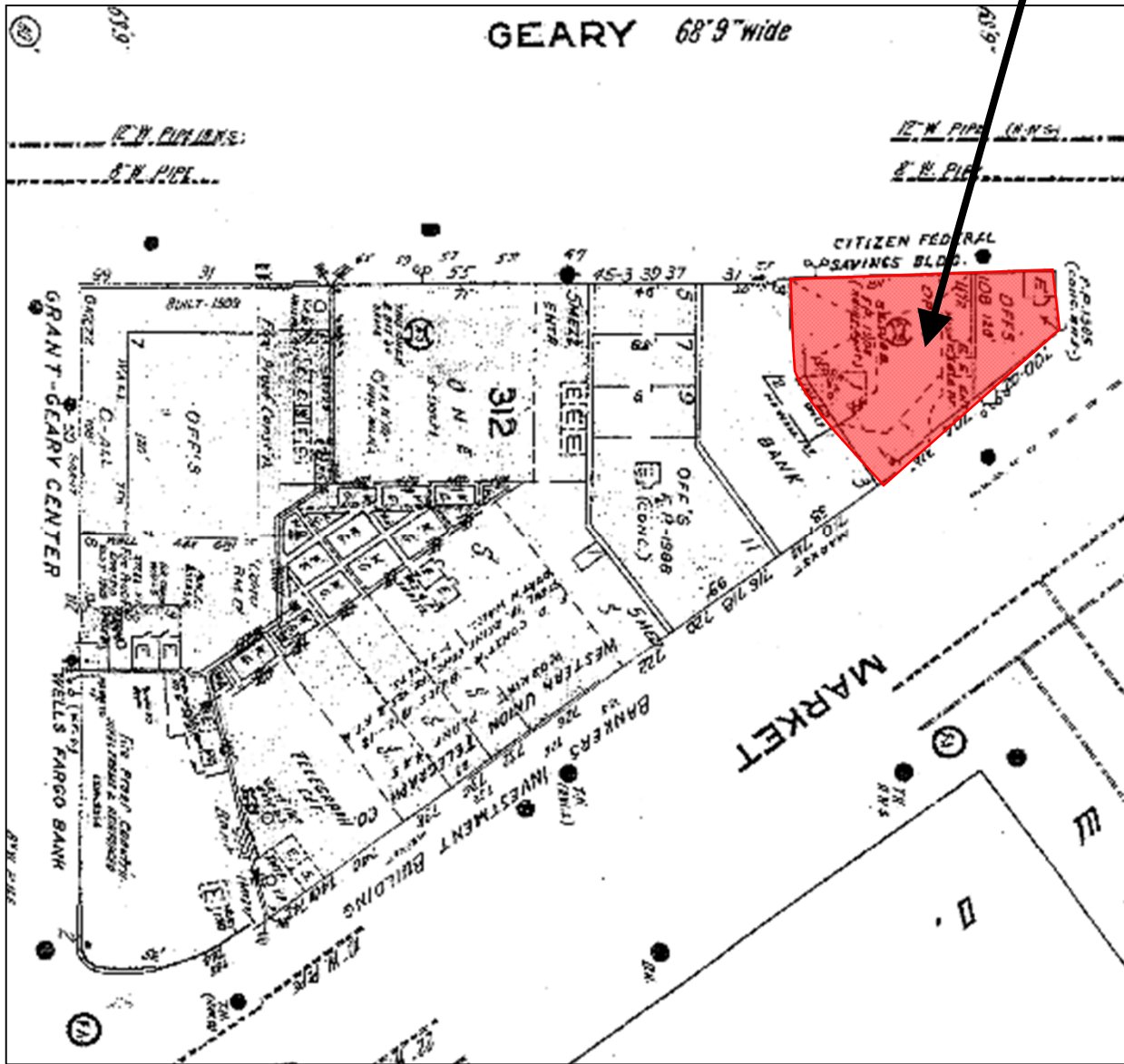
SUBJECT PROPERTY



Major Permit to Alter Hearing
Case Number 2012.1326H
1 Kearny Street

Sanborn Map*

SUBJECT PROPERTY



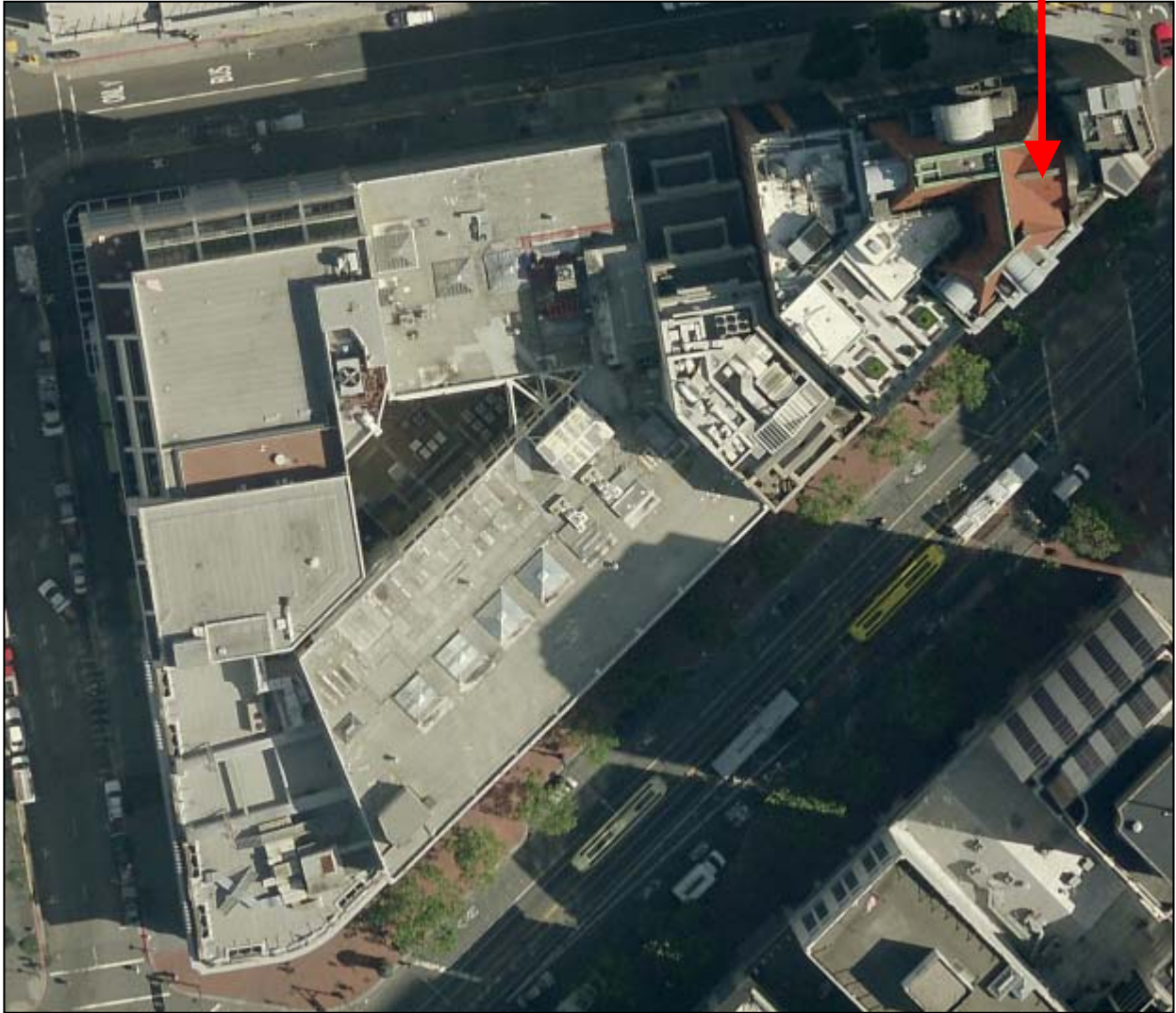
*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Major Permit to Alter Hearing
Case Number 2012.1326H
1 Kearny Street

Aerial Photo

SUBJECT PROPERTY



Major Permit to Alter Hearing
Case Number 2012.1326H
1 Kearny Street

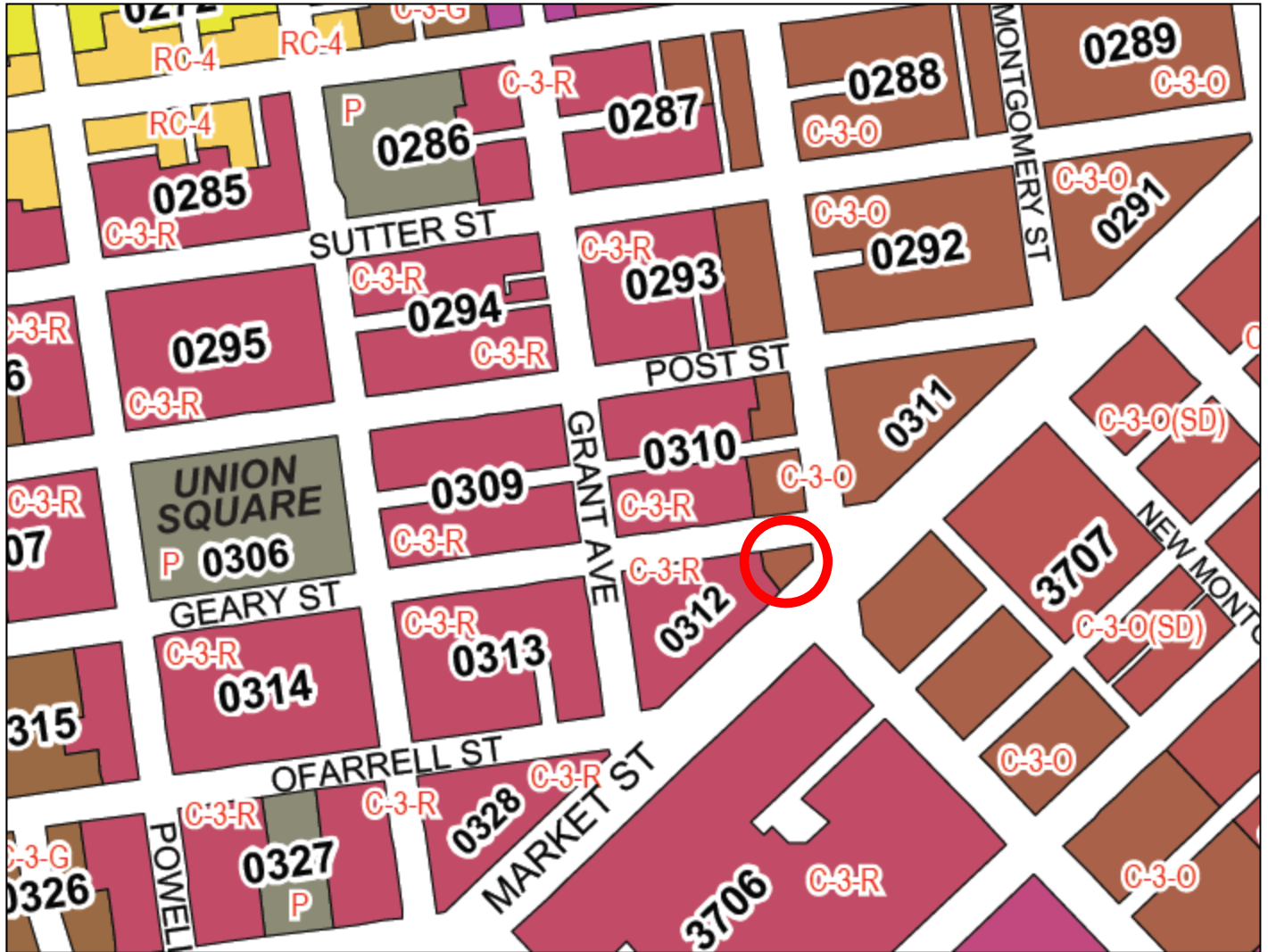
Aerial Photo

SUBJECT PROPERTY



Major Permit to Alter Hearing
Case Number 2012.1326H
1 Kearny Street

Zoning Map



Major Permit to Alter Hearing
Case Number 2012.1326H
1 Kearny Street

Site Photo



Major Permit to Alter Hearing
Case Number 2012.1326H
1 Kearny Street

ONE KEARNY
Tenant Improvements for Hakkasan Ltd.
San Francisco, CA

**MAJOR PERMIT TO ALTER
APPENDIX**

Prepared for
Historic Preservation Commission Hearing



TABLE OF CONTENTS

1. PROJECT OVERVIEW
 - a. Building History
 - b. Historic Status
 - c. Proposed Work
2. SUPPORTING DOCUMENTS
3. HISTORIC IMAGES
4. EXISTING CONDITIONS IMAGES
5. PROPOSED PROJECT
6. RENDERINGS

PROJECT OVERVIEW

BUILDING HISTORY

Built in 1902, the Mutual Savings Bank Building is a twelve-story steel-frame bank/office building with a twelve-story annex built in 1964. In 2008 a contemporary addition was constructed to the west of the Mutual Savings Bank, connecting three buildings to form a single triangular footprint. The 1902 portion of the building has a V-shaped plan that corresponds to the irregular configuration of its lot. It is designed in a Renaissance-Baroque style, heavily influenced by the architectural vocabulary of the French Renaissance. The Market and Geary Street facades both feature tripartite compositions, consisting of a two-story rusticated base, a pilastered shaft and a double-height attic story with a multi-faceted Mansard roof. The entire building is festooned with abundant French Renaissance-inspired carved stone and terra cotta ornamentation. The Annex is a twelve-story reinforced-concrete structure with two basement levels and a mechanical penthouse. The irregular plan of the Annex conforms to the constrained corner gore lot facing the intersection of Market, Kearny and Geary Streets. The vertical pier elements are clad in brown face brick and extend above the roofline. The standing seam aluminum-clad "mansard" roof is punctuated by a rather droll dormer window with an arched header.



HISTORIC STATUS

The Mutual Savings Bank Building is classified as a Category I Significant Building under the Downtown Area Plan, and is therefore subject to the regulations and guidelines in Article 11 of the San Francisco Planning Code. Category I buildings are defined as being at least forty years old, of "individual importance" and "excellent in architectural design" or rated "very good in both architectural design and relationship to the environment." A building with a Category I rating may not be demolished unless the building is a threat to public safety or retains no substantial remaining market value. Also, potential changes to the façade or significant exterior or interior features must be reviewed by the Historic Preservation Commission for consistency with the Secretary of the Interior's Standards for Rehabilitation. In addition to its status as a Category I Significant Building, the Mutual Savings Bank Building is located within the boundaries of the Kearny-Market-Mason-Sutter Conservation District, and is therefore subject to the additional regulations and guidelines in Article 11, Appendix E of the San Francisco Planning Code.

Character-defining features of the building include:

- Rusticated granite base
- Central entry portal on Market Street
- Full height arched openings and jack-arched opening at second floor of Market Street façade
- Colusa rusticated sandstone-clad facades
- Clay tile mansard roof
- Massive brick piers of the Annex
- Vertical band of anodized aluminum windows of the Annex
- Standing seam "mansard" roof of the Annex



PROPOSED WORK

Project involves improvements associated with the conversion of approximately 681 sq.ft. at the ground floor Annex Lobby, and second floor into a restaurant and bar for Hakkasan, a restaurant specializing in Asian cuisine.

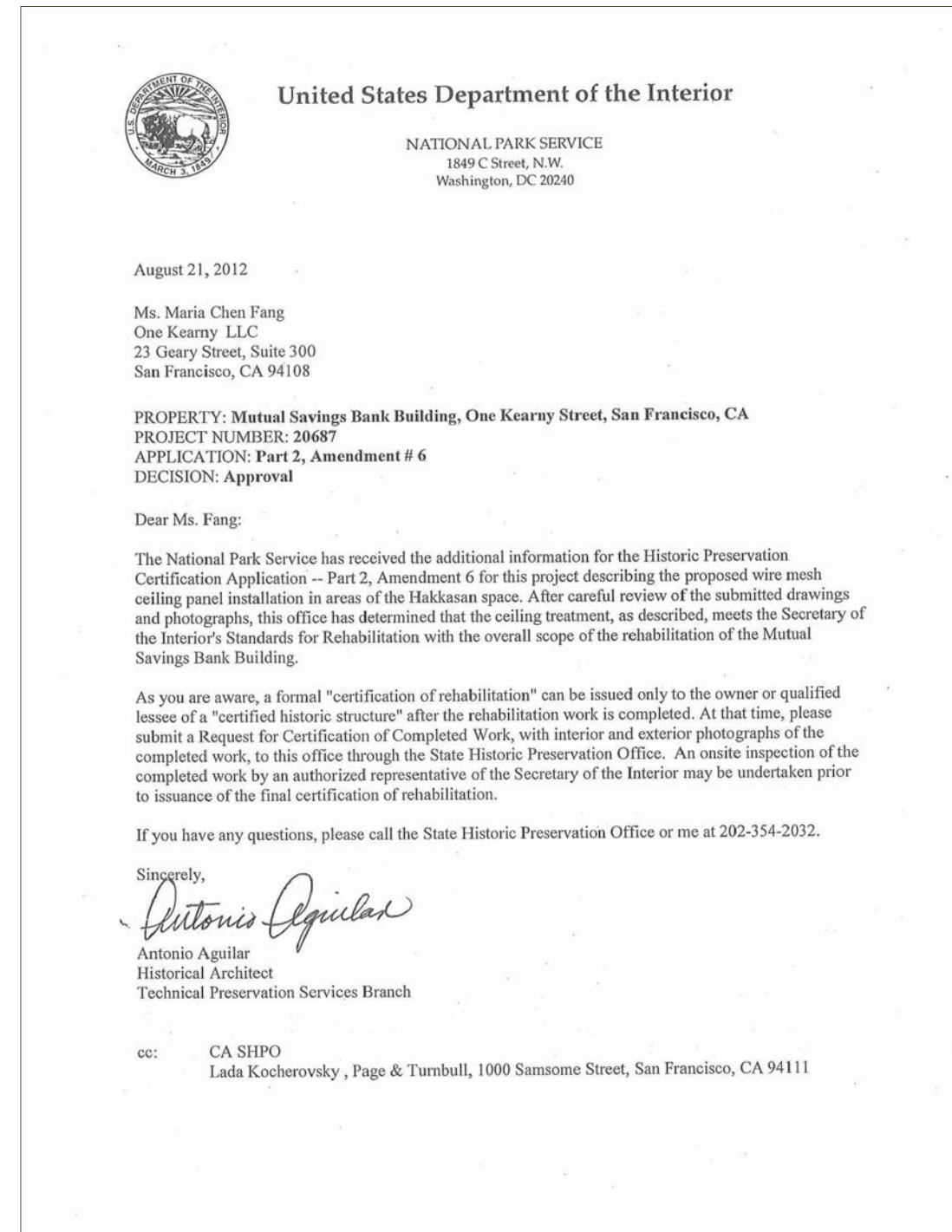
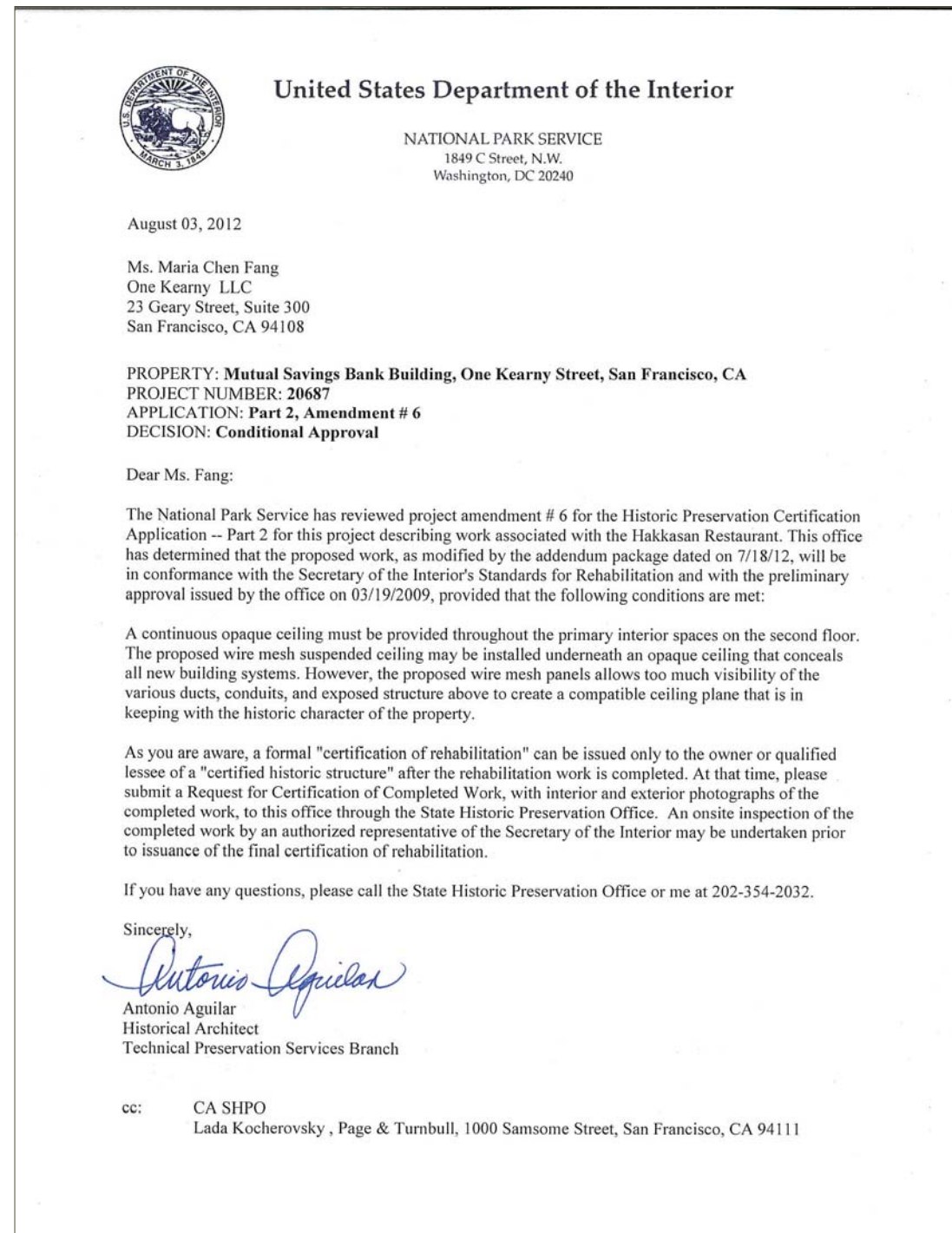
Specific features include:

1. Replacement of the existing windows along Market Street, located at the second floor of the historic Mutual Savings Bank facade. Proposed windows will be installed in-line with the exterior wall of the building, and will replace the existing non-original inverted bay windows.
2. Replacement of the aluminum storefront door of the Annex Lobby at One Kearny Street. The door will be replaced in-kind for better operation.
3. Repairs to the canopy at One Kearny and installation of new Tenant signage.

Interior tenant improvements include installation of a reception station at the ground floor lobby, dining rooms, bar, kitchen and back-of-house spaces at the second floor. Interior work approved under a separate permit.

The proposed project is intended to meet the Secretary of the Interior's Standards so as to retain the historic character of the building. The project has been reviewed by the Office of Historic Preservation and the National Park Service as part of the Tax Credit Certification Application amendment and has been approved by both agencies, see Supplemental Information section.

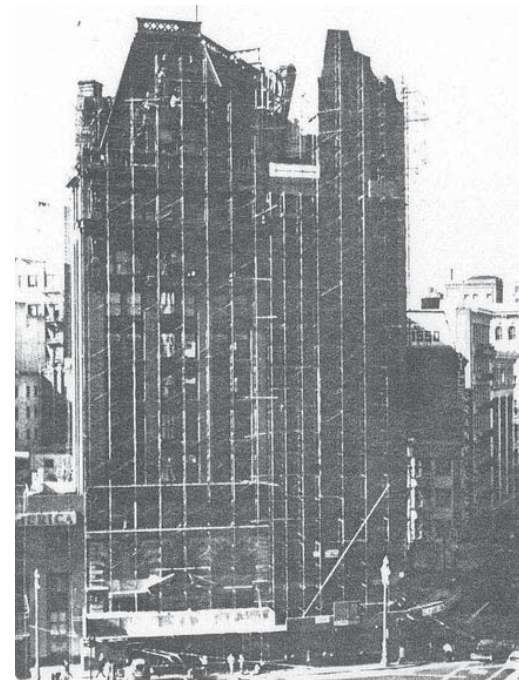
SUPPORTING DOCUMENTS



HISTORIC IMAGES



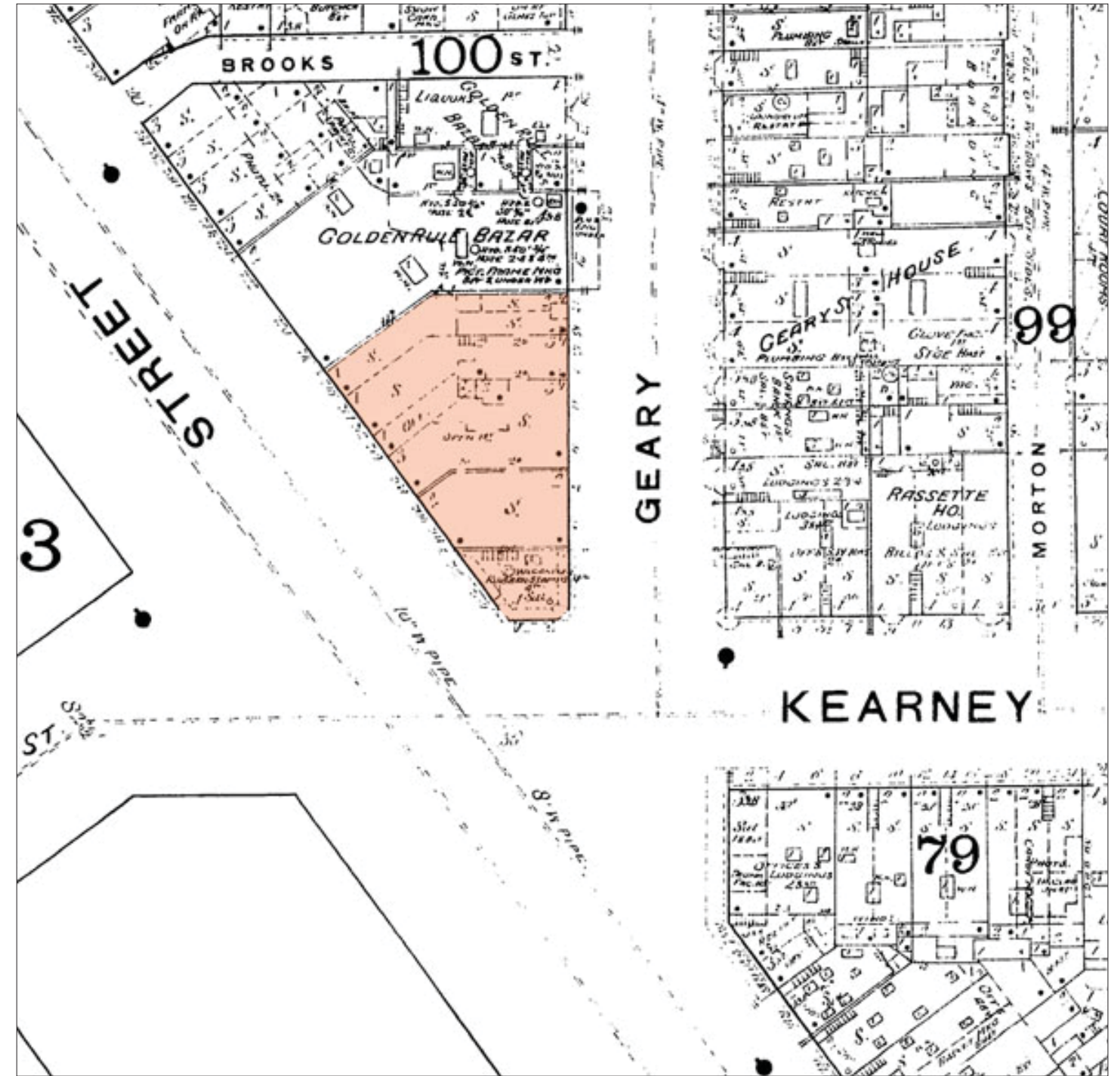
Mutual Savings Bank (1902)



Construction Addition



Mutual Savings Bank



1887 Sanborn Map

EXISTING CONDITIONS IMAGES



Lobby – Existing Interior



Lobby – Existing Exterior

EXISTING CONDITIONS IMAGES



2nd Floor Lobby – Existing Interior Condition

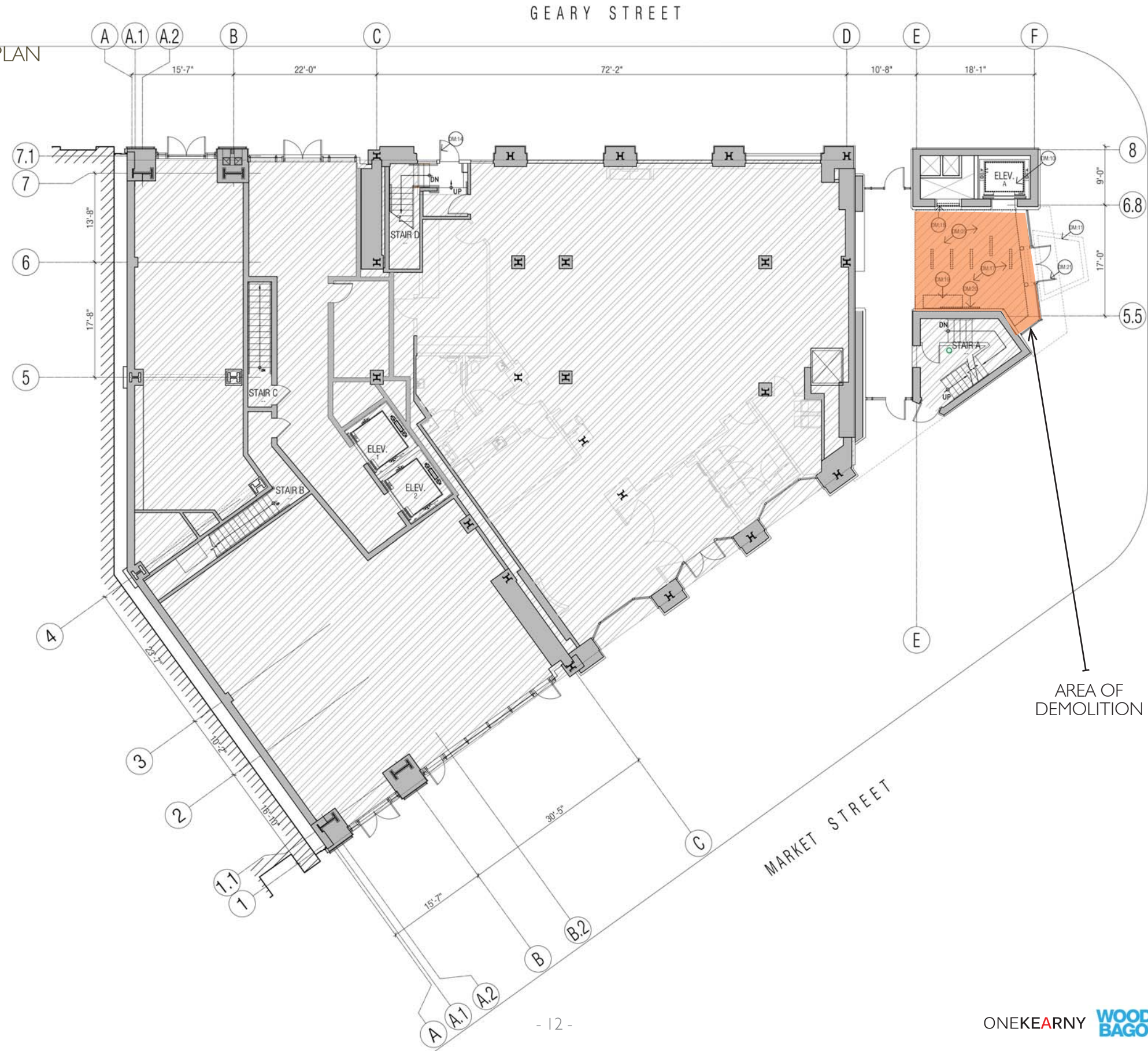


EXISTING CONDITIONS IMAGES



Market Street Facing Windows, Mutual Savings Bank – Existing Interior Condition

PROPOSED PROJECT
1ST FLOOR DEMOLITION PLAN



Copyright
WOODS BAGOT

Notes:
CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK OR PREPARING WORKSHOP DRAWINGS. DO NOT SCALE DRAWING.

DEMOLITION NOTES

- REFER TO DEMOLITION SCHEDULE FOR FULL SPECIFICATION OF DEMOLITION ITEMS.
- CONTRACTOR TO MAINTAIN INTEGRITY OF FIRE-RATED ASSEMBLIES DURING ALL POINTS OF CONSTRUCTION.

- DEMOLITION LEGEND**
- DM:01 REMOVE PORTION OF EXISTING SLAB TO ACCOMMODATE NEW HOST
 - DM:02 REMOVE SECTION OF VESTIBULE ENCLOSURE
 - DM:03 REMOVE PORTION OF EXISTING FOUNDATION WALL
 - DM:04 REMOVE EXISTING METAL AND GLASS ASSEMBLY
 - DM:05 REMOVE PORTION OF EXISTING CEILING IN HISTORICAL ANNEX
 - DM:06 REMOVE PORTION OF ELEVATOR VESTIBULE WALL
 - DM:07 REMOVE EXISTING DOUBLE DOOR ASSEMBLY
 - DM:08 DEMOLISH EXISTING INTERIOR PARTITIONS
 - DM:09 REMOVE EXISTING DOOR ASSEMBLY
 - DM:10 REMOVE FINISHES IN EXISTING ELEVATOR
 - DM:11 REMOVE EXISTING SIGNAGE INSERTS AT EXTERIOR AWNING
 - DM:12 REMOVE PORTION OF EXISTING CEILING IN HISTORICAL ANNEX
 - DM:13 REMOVE PORTION OF EXISTING FLOOR SLAB
 - DM:14 DEMOLISH EXISTING DOOR
 - DM:15 STRUCTURAL DEMOLITION AT EXISTING SHEAR WALL
 - DM:16 REMOVE EXISTING ELECTRICAL TRANSFORMER AND ASSOCIATED EQUIPMENT
 - DM:17 REMOVE EXISTING STONE FLOORING AT LEVEL 01 ENTRY
 - DM:18 REMOVE EXISTING ELEVATOR BLANK-OFF PANEL
 - DM:19 REMOVE EXISTING WALL MOUNTED BENCH
 - DM:20 REMOVE WALL MOUNTED DISPLAY CASE
 - DM:21 DEMOLISH EXISTING DOOR TO REPLACE IN KIND
 - DM:22 REMOVE PORTION OF EXTERIOR CURTAIN WALL TO ACCOMMODATE LOUVRED OPENINGS

- DENOTES DEMOLITION
- ▨ DENOTES DEMOLITION AT FLOOR SLAB
- ▩ DENOTES DEMOLITION AT FLOOR FINISH
- ▧ DENOTES AREA NOT IN CONTRACT

PO	ISSUE FOR PERMIT	09.17.12
Rev	Description	Date
Client		App'd

HAKKASAN LIMITED
151 WARDOUR STREET, 4TH FLOOR
LONDON W1F 8WE

Project
HAKKASAN SAN FRANCISCO
ONE KEARNY STREET
SAN FRANCISCO, CALIFORNIA
USA



Drawing title
**ARCHITECTURAL
LEVEL 01
DEMOLITION PLAN**

Date generated: 14/09/12
Checked: ---
Approved: ---

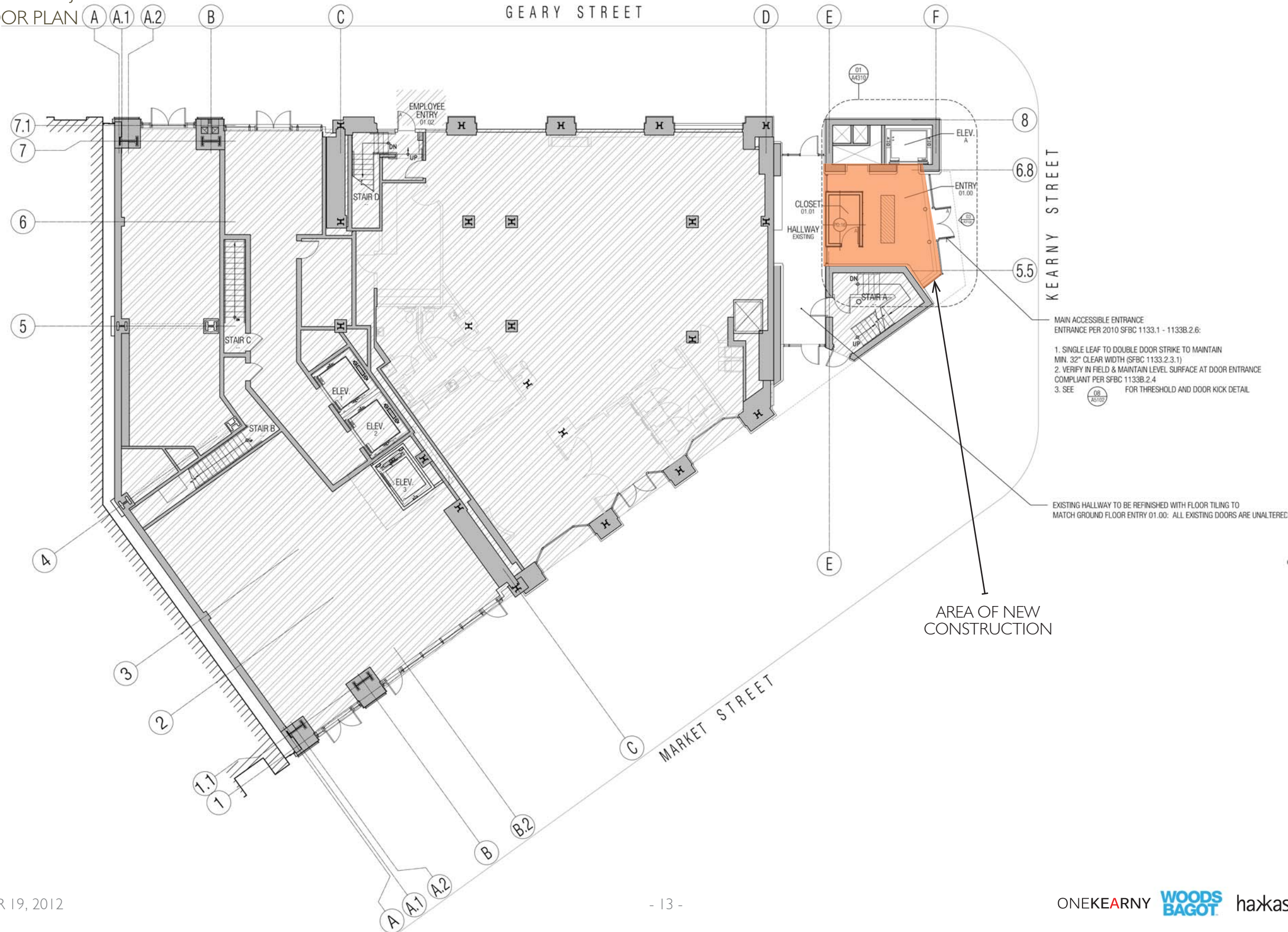
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@ Arch'd sheet size 2" on original

Project number	Drawing number	Revision
1-90-0087	A2110	PO

Status
PERMIT

AREA OF DEMOLITION

PROPOSED PROJECT
1ST FLOOR PLAN



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WOODS BAGOT

Notes
CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK OR PREPARING WORKSHOP DRAWINGS. DO NOT SCALE DRAWING.

PARTITION NOTES

- ALL EXISTING WALLS AND INTER-TENANCY WALLS TO BE VERIFIED BY CONTRACTOR ON SITE TO BE 2 HR FIRE RATED SLAB-TO-SLAB CONSTRUCTION.
- TO BE READ IN CONJUNCTION WITH DOOR SCHEDULE ON SHEET A8101.
- FIRE SAFE PENETRATIONS AT RATED PARTITIONS PER APPLICABLE UL ASSEMBLY. MAINTAIN INTEGRITY OF EXISTING UL FIRE RATED ASSEMBLIES FOR ALL PENETRATIONS.
- ALL EXISTING BASE BUILDING COLUMNS AND PIPE WORK TO BE BOXED OUT TIGHT TO EXISTING STRUCTURE TO RECEIVE NEW FINISHES, U.O.N.
- WHERE FURRED PARTITIONS EXCEED MAXIMUM HEIGHT, BRACE TO ADJACENT STRUCTURE.

PARTITION TYPES

SEE PARTITION TYPES ON SHEETS A5100 & 5101 FOR ADDITIONAL INFORMATION.

PD-01 2 HOUR RATED SHAFT WALL ENCLOSURE TO SLAB
 PD-02 2 HOUR RATED SHAFT WALL ENCLOSURE TO SLAB
 PD-03 1 HOUR RATED PARTITION FROM SLAB TO SLAB WITH STC 49
 PD-04 DRYWALL PARTITION TO SLAB WITH STC 49
 PD-05 FURRING WALL
 PD-06 FURRING WALL
 PD-07 DRYWALL PARTITION TO 6 INCHES ABOVE FINISHED CEILING
 PD-08 DRYWALL PARTITION TO SLAB
 PD-09 FURRING WALL
 PD-10 FURRING WALL WITH PLYWOOD
 PD-11 PLUMBING CHASE WALL
 PD-12 PLUMBING CHASE WALL
 PD-13 FURRING WALL WITH PLYWOOD
 PD-14 FURRING WALL WITH MOISTURE RESISTANT DRYWALL
 PD-15 DRYWALL PARTITION TO SLAB WITH BLOCKING
 PD-16 DRYWALL PARTITION FROM SLAB TO NEW CEILING WITH STC 49
 PD-17 LOW WALL AT WINDOW MULLION

1. SINGLE LEAF TO DOUBLE DOOR STRIKE TO MAINTAIN MIN. 32" CLEAR WIDTH (SFBC 1133.2.3.1)
 2. VERIFY IN FIELD & MAINTAIN LEVEL SURFACE AT DOOR ENTRANCE COMPLIANT PER SFBC 1133B.2.4
 3. SEE (08 AS102) FOR THRESHOLD AND DOOR KICK DETAIL

LEGEND:
 [Hatched Box] DENOTES AREA NOT IN CONTRACT
 [Dotted Box] DENOTES MILLWORK
 [Diagonal Line Box] DENOTES RAISED FLOOR (LEVEL 02 ONLY)

PD ISSUED FOR PERMIT 08.06.12
 Rev Description Date App'd
 Client

HAKKASAN LIMITED
 151 WARDOUR STREET, 4TH FLOOR
 LONDON W1F 8AE

Project
HAKKASAN SAN FRANCISCO
 ONE KEARNY STREET
 SAN FRANCISCO, CALIFORNIA
 USA

WOODS BAGOT NORTH AMERICA AUSTRALIA ASIA MIDDLE EAST EUROPE

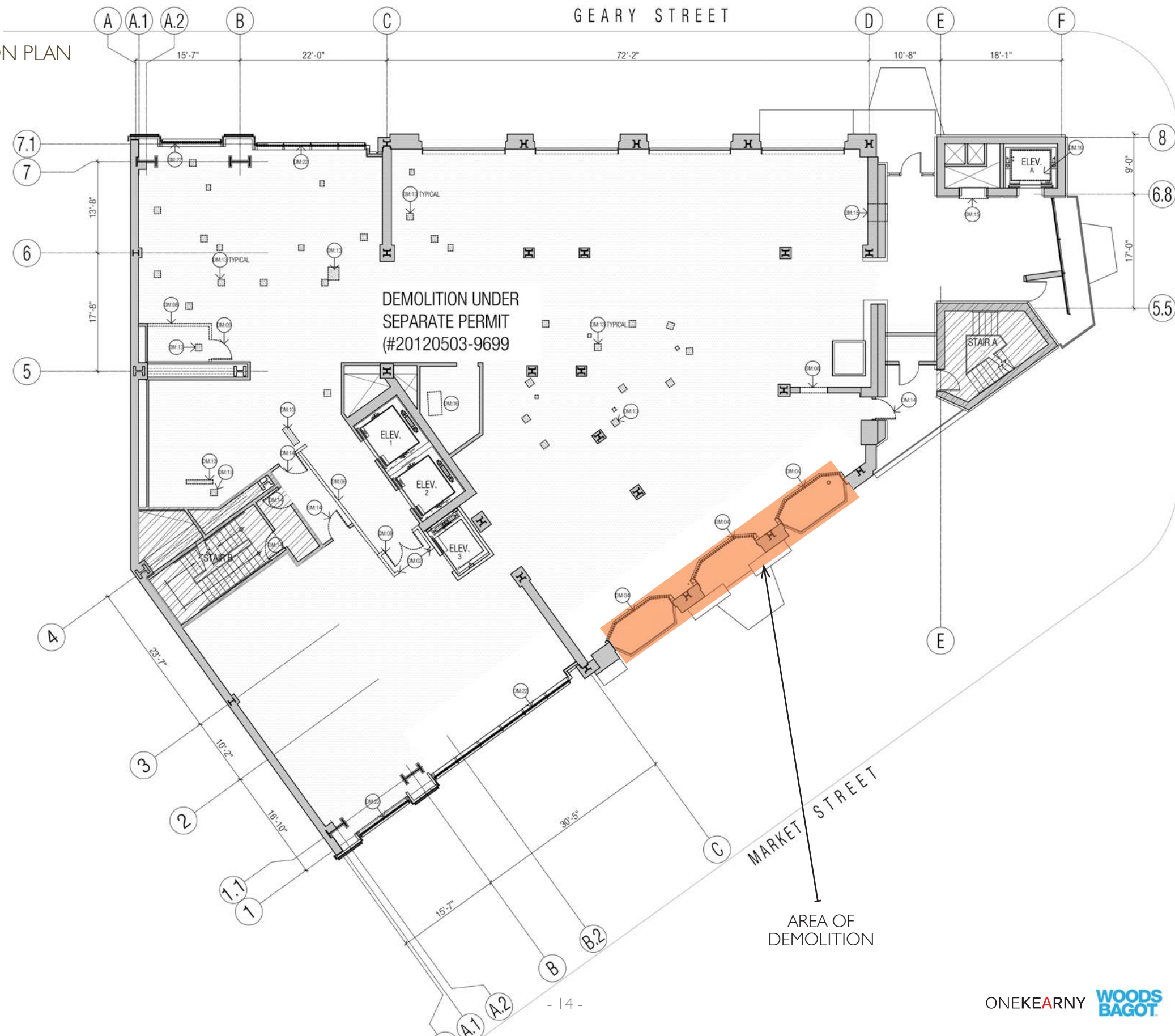
Drawing title
ARCHITECTURAL
LEVEL 01
PARTITION PLAN

Date generated 08/06/12 Checked --- Approved ---

Scale
 1/8" = 1'-0"
 (A) AArchD sheet size: 2" on original

Project number 1-90-0087 Drawing number **A2310** Revision PO
 Status PERMIT

PROPOSED PROJECT
2ND FLOOR DEMOLITION PLAN



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Note:
CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK OR PREPARING WORKSHOP DRAWINGS. DO NOT SCALE DRAWING.

DEMOLITION NOTES

- REFER TO DEMOLITION SCHEDULE FOR FULL SPECIFICATION OF DEMOLITION ITEMS.
- CONTRACTOR TO MAINTAIN INTEGRITY OF FIRE-RATED ASSEMBLIES DURING ALL POINTS OF CONSTRUCTION.

DEMOLITION LEGEND

- DM-01 REMOVE PORTION OF EXISTING SLAB TO ACCOMMODATE NEW HOIST
- DM-02 REMOVE SECTION OF VESTIBULE ENCLOSURE
- DM-03 REMOVE PORTION OF EXISTING FOUNDATION WALL
- DM-04 REMOVE EXISTING METAL AND GLASS ASSEMBLY
- DM-05 REMOVE PORTION OF EXISTING CEILING IN HISTORICAL ANNEX
- DM-06 REMOVE PORTION OF ELEVATOR VESTIBULE WALL
- DM-07 REMOVE EXISTING DOUBLE DOOR ASSEMBLY
- DM-08 DEMOLISH EXISTING INTERIOR PARTITIONS
- DM-09 REMOVE EXISTING DOOR ASSEMBLY
- DM-10 REMOVE FINISHES IN EXISTING ELEVATOR
- DM-11 REMOVE EXISTING SIGNAGE INSERTS AT EXTERIOR AWNING
- DM-12 REMOVE PORTION OF EXISTING CEILING IN HISTORICAL ANNEX
- DM-13 REMOVE PORTION OF EXISTING FLOOR SLAB
- DM-14 DEMOLISH EXISTING DOOR
- DM-15 STRUCTURAL DEMOLITION AT EXISTING SHEAR WALL
- DM-16 REMOVE EXISTING ELECTRICAL TRANSFORMER AND ASSOCIATED EQUIPMENT
- DM-17 REMOVE EXISTING STONE FLOORING AT LEVEL 01 ENTRY
- DM-18 REMOVE EXISTING ELEVATOR BLANK-OFF PANEL
- DM-19 REMOVE EXISTING WALL MOUNTED BENCH
- DM-20 REMOVE WALL MOUNTED DISPLAY CASE
- DM-21 DEMOLISH EXISTING DOOR TO REPLACE IN KIND
- DM-22 REMOVE PORTION OF EXTERIOR CURTAIN WALL TO ACCOMMODATE LOUVRED OPENINGS

DENOTES DEMOLITION
 DENOTES DEMOLITION AT FLOOR SLAB
 DENOTES DEMOLITION AT FLOOR FINISH
 DENOTES AREA NOT IN CONTRACT

PO	ISSUE FOR PERMIT	09/14/12
Rev	Description	Date

Client:

HAKKASAN LIMITED
151 WARDOUR STREET, 4TH FLOOR
LONDON W1F 8WE

Project:
HAKKASAN SAN FRANCISCO
ONE KEARNY STREET
SAN FRANCISCO, CALIFORNIA
USA

WOODS BAGOT NORTH AMERICA AUSTRALIA ASIA MIDDLE EAST EUROPE

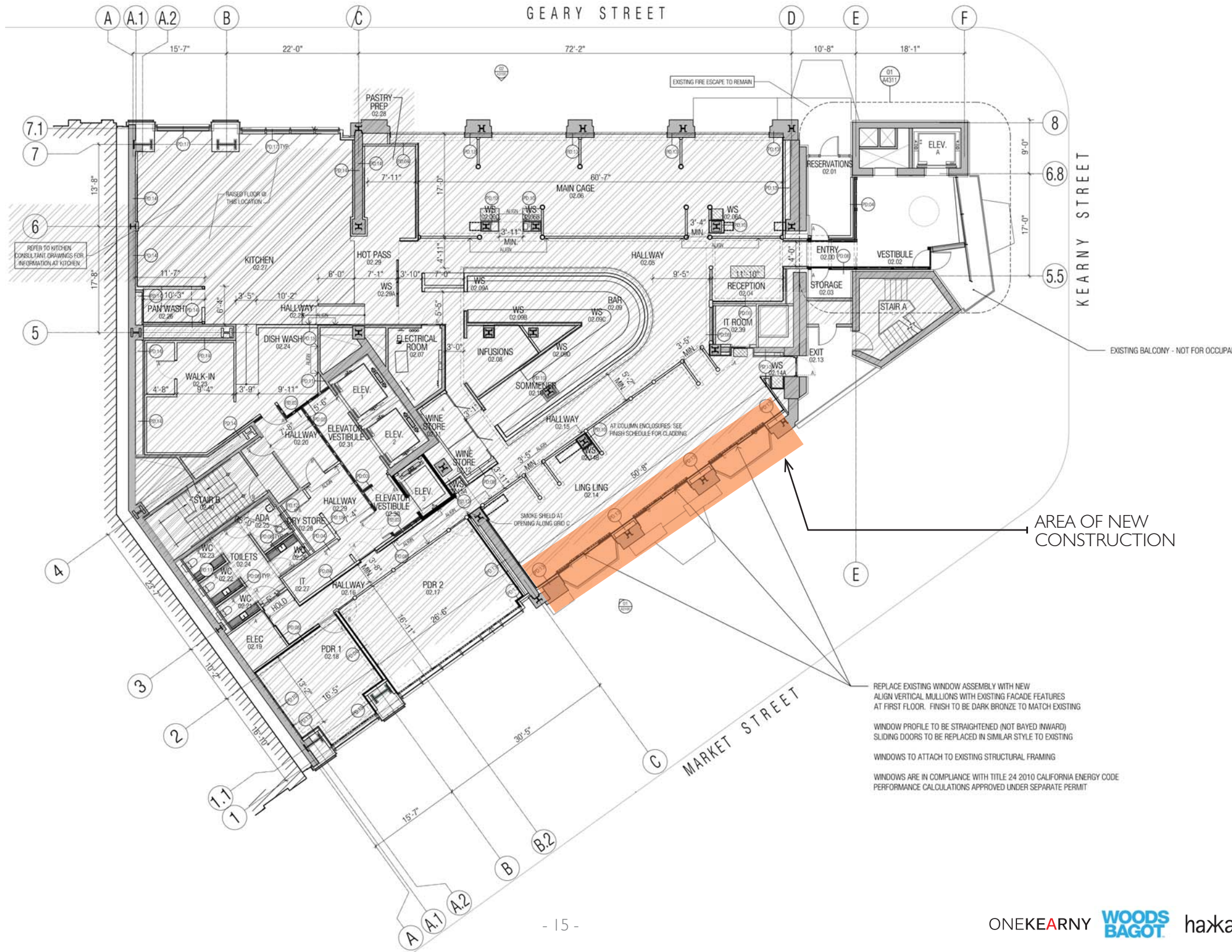
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**ARCHITECTURAL
LEVEL 02
DEMOLITION PLAN**

Date generated: 14/09/12
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Approved: ---

Scale:
1/8" = 1'-0"
@ ArchID sheet size 2" on original

Project number: 1-90-0087
Drawing number: **A2120**
Revision: PO
Status: PERMIT

PROPOSED PROJECT
2ND FLOOR PLAN



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Notes
CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK OR PREPARING WORKSHOP DRAWINGS. DO NOT SCALE DRAWING.

PARTITION NOTES

- ALL EXISTING WALLS AND INTER-TENANCY WALLS TO BE VERIFIED BY CONTRACTOR ON SITE TO BE 2 HR FIRE RATED SLAB-TO-SLAB CONSTRUCTION.
- TO BE READ IN CONJUNCTION WITH DOOR SCHEDULE ON SHEET A5101.
- FIRE SAFE PENETRATIONS AT RATED PARTITIONS PER APPLICABLE UL ASSEMBLY. MAINTAIN INTEGRITY OF EXISTING UL FIRE RATED ASSEMBLIES FOR ALL PENETRATIONS.
- ALL EXISTING BASE BUILDING COLUMNS AND PIPE WORK TO BE BOXED OUT TIGHT TO EXISTING STRUCTURE TO RECEIVE NEW FINISHES. U.O.N.
- WHERE FLURRED PARTITIONS EXCEED MAXIMUM HEIGHT, BRACE TO ADJACENT STRUCTURE.

PARTITION TYPES

SEE PARTITION TYPES ON SHEETS A5100 & 5101 FOR ADDITIONAL INFORMATION.

- PD-01 2 HOUR RATED SHAFT WALL ENCLOSURE TO SLAB
- PD-02 2 HOUR RATED SHAFT WALL ENCLOSURE TO SLAB
- PD-03 1 HOUR RATED PARTITION FROM SLAB TO SLAB WITH STC 49
- PD-04 DRYWALL PARTITION TO SLAB WITH STC 49
- PD-05 FURRING WALL
- PD-06 FURRING WALL
- PD-07 DRYWALL PARTITION TO 6 INCHES ABOVE FINISHED CEILING
- PD-08 DRYWALL PARTITION TO SLAB
- PD-09 FURRING WALL
- PD-10 FURRING WALL WITH PLYWOOD
- PD-11 PLUMBING CHASE WALL
- PD-12 PLUMBING CHASE WALL
- PD-13 FURRING WALL WITH PLYWOOD
- PD-14 FURRING WALL WITH MOISTURE RESISTANT DRYWALL
- PD-15 DRYWALL PARTITION TO SLAB WITH BLOCKING
- PD-16 DRYWALL PARTITION FROM SLAB TO NEW CEILING WITH STC 49
- PD-17 LOW WALL AT WINDOW MULLION

00 ISSUE FOR PERMIT 08.06.12
Rev. Description Date App'd
Client

HAKKASAN LIMITED
151 WARDOUR STREET, 4TH FLOOR
LONDON W1F 8BE

Project
HAKKASAN SAN FRANCISCO
ONE KEARNY STREET
SAN FRANCISCO, CALIFORNIA
USA

WOODS BAGOT NORTH AMERICA
AUSTRALIA
ASIA
MIDDLE EAST
EUROPE

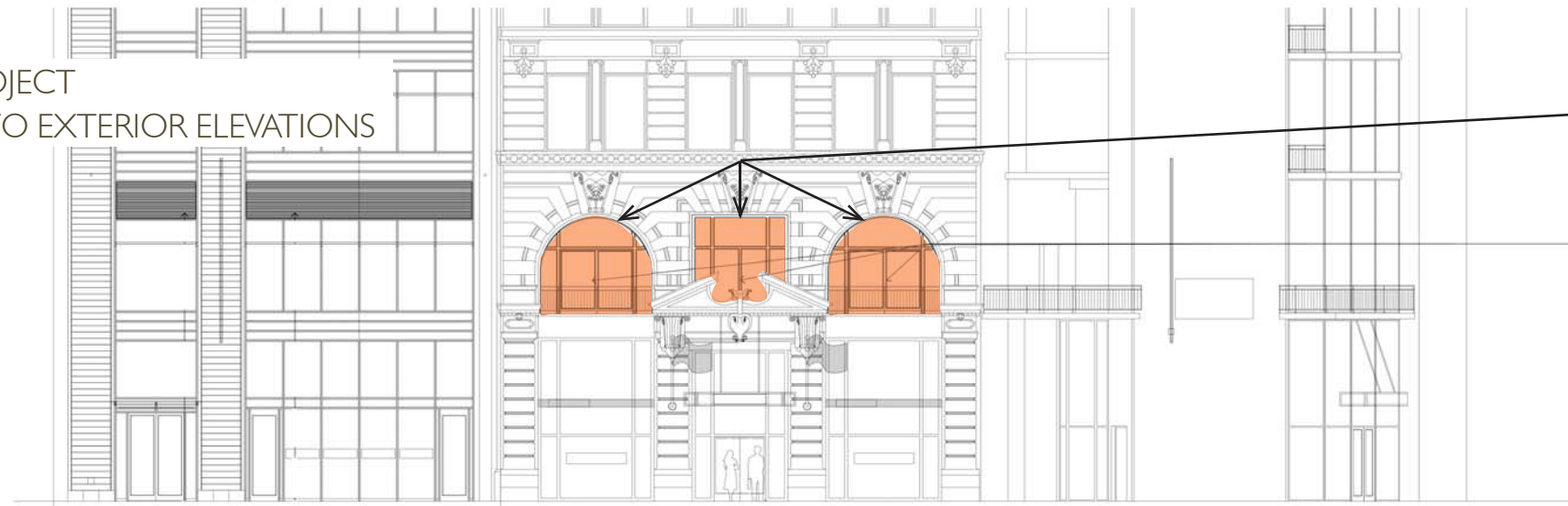
Drawing title
**LEVEL 02
PARTITION PLAN**

Date generated 08/06/12 Checked --- Approved ---

Scale
1/8" = 1'-0"
@ A3x11 sheet size 2" on original

Project number 1-90-0087 Drawing number **A2320** Revision PO
Status
PERMIT

PROPOSED PROJECT
ALTERATIONS TO EXTERIOR ELEVATIONS



AREA OF REMODEL

REPLACE EXISTING WINDOW ASSEMBLY WITH NEW
ALIGN NEW VERTICAL MULLIONS WITH THOSE BELOW
FINISH TO BE DARK BRONZE TO MATCH
WINDOW PROFILE TO BE STRAIGHTENED (NOT BAYED INWARD)
SLIDING DOORS TO BE REPLACED IN SIMILAR STYLE TO EXISTING

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Notes
CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING
WORK OR PREPARING WORKSHOP DRAWINGS. DO NOT SCALE DRAWING.
PO ISSUE FOR PERMIT 08.06.12
Rev Description Date App'd
Client

HAKKASAN LIMITED
151 WARDOUR STREET, 4TH FLOOR
LONDON W1F 8WE
Project
HAKKASAN SAN FRANCISCO
ONE KEARNY STREET
SAN FRANCISCO, CALIFORNIA
USA

WOODS BAGOT NORTH AMERICA
AUSTRALIA
ASIA
MIDDLE EAST
EUROPE

Drawing title
ARCHITECTURAL
EXTERIOR FACADE ELEVATION

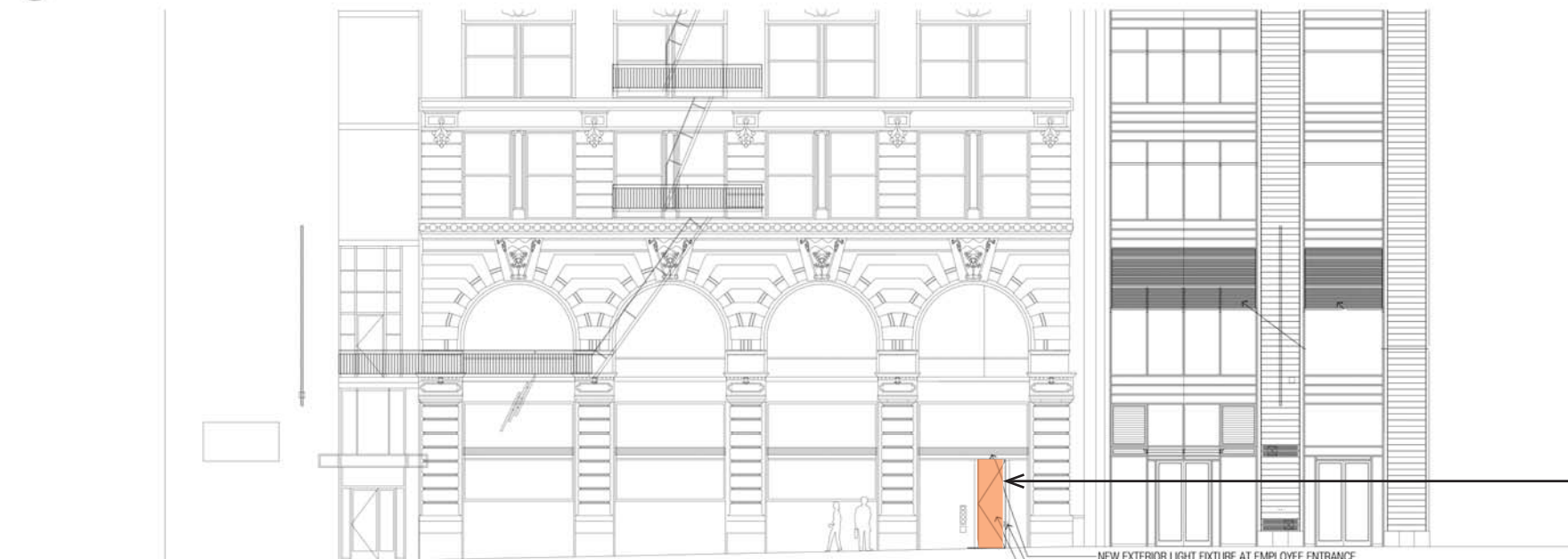
Date generated 08/06/12 Checked --- Approved ---

Scale
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@ A4/C0 sheet size 2" on original

Project number 1-90-0087 Drawing number A3100 Revision PO

Status PERMIT

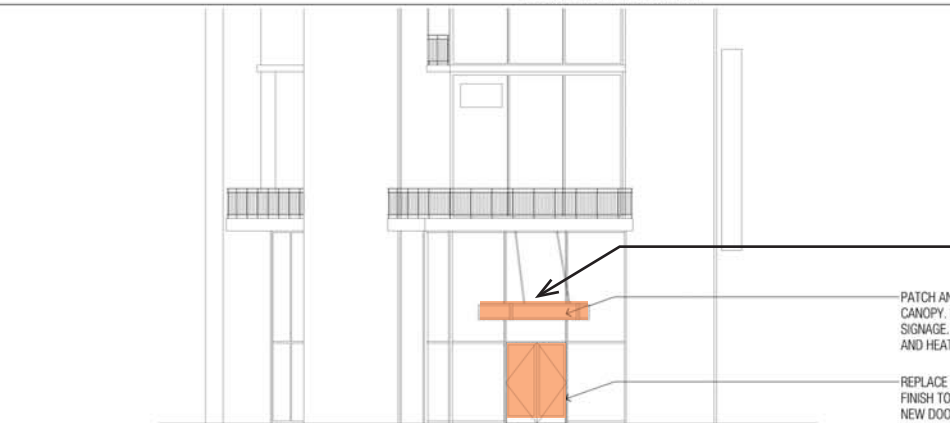
01 SOUTH ELEVATION : FROM MARKET STREET



AREA OF REMODEL

NEW EXTERIOR LIGHT FIXTURE AT EMPLOYEE ENTRANCE
NEW CARD READER
REPLACE EXISTING DOOR WITH SOLID DOOR
TO MATCH EXISTING FINISH. PROVIDE PULL AT DOOR
EXTERIOR FOR EMPLOYEE ACCESS

02 NORTH ELEVATION : FROM GEARY STREET FACADE



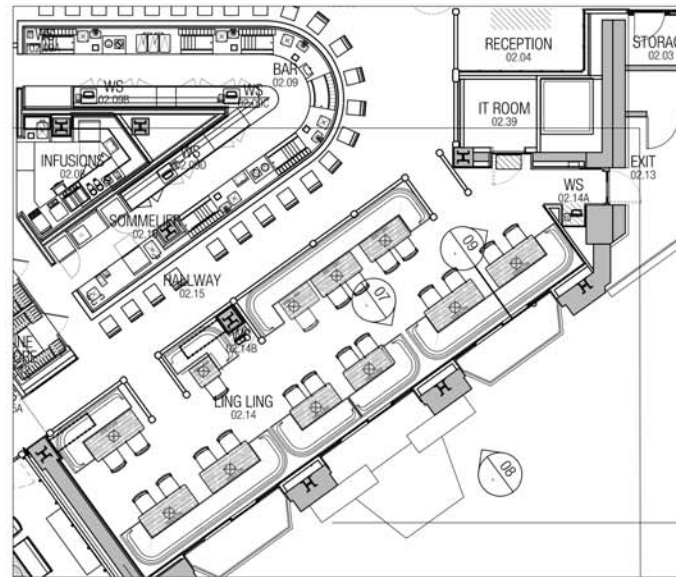
AREA OF REMODEL

PATCH AND REPAIR EXISTING METAL FRAMING AT
CANOPY. PROVIDE NEW BACKLIT BLUE GLAZING FOR
SIGNAGE. AT UNDERSIDE OF CANOPY, NEW DOWNLIGHT
AND HEATER TO SIT WITHIN FRAMING, HIDDEN FROM VIEW

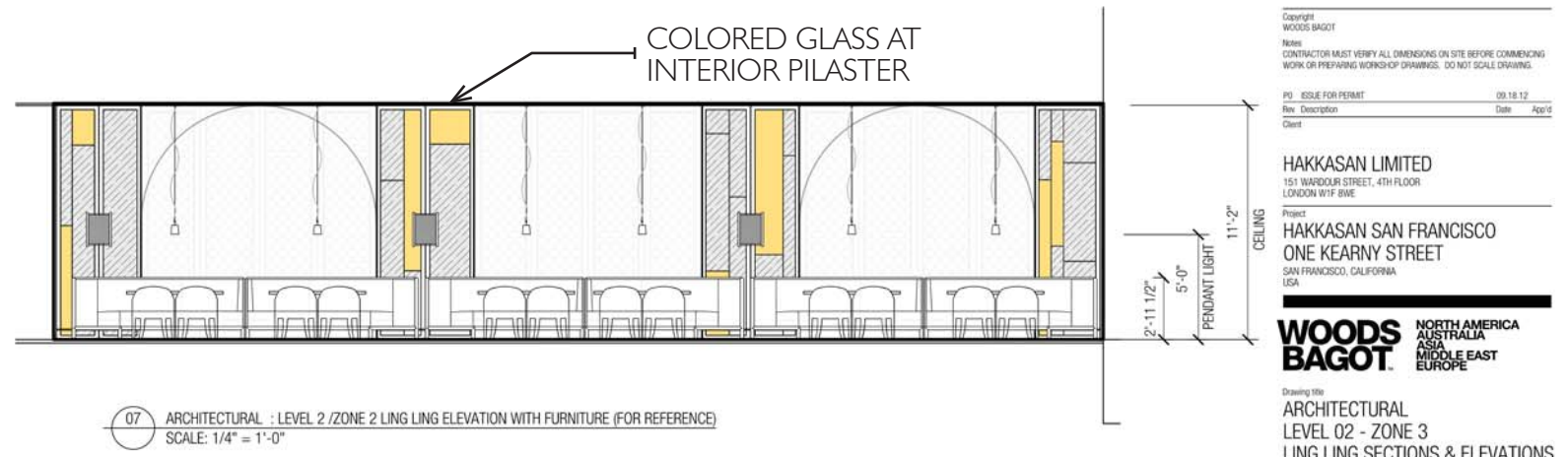
REPLACE EXISTING DOOR IN KIND
FINISH TO MATCH EXISTING
NEW DOOR TO MEET ADA ACCESSIBILITY REQUIREMENTS

03 EAST ELEVATION FROM KEARNY STREET

PROPOSED PROJECT
ALTERATIONS TO EXTERIOR ELEVATIONS, ENLARGED



00 LEVEL 2 /ZONE 3 LING LING KEY PLAN
SCALE: 1/8" = 1'-0"



07 ARCHITECTURAL : LEVEL 2 /ZONE 2 LING LING ELEVATION WITH FURNITURE (FOR REFERENCE)
SCALE: 1/4" = 1'-0"

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Notes:
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PG. ISSUE FOR PERMIT 09.18.12
Rev. Description Date App'd

Client
HAKKASAN LIMITED
151 WARDLUR STREET, 4TH FLOOR
LONDON W1F 8WE

Project
HAKKASAN SAN FRANCISCO
ONE KEARNY STREET
SAN FRANCISCO, CALIFORNIA
USA

WOODS BAGOT NORTH AMERICA AUSTRALIA ASIA MIDDLE EAST EUROPE

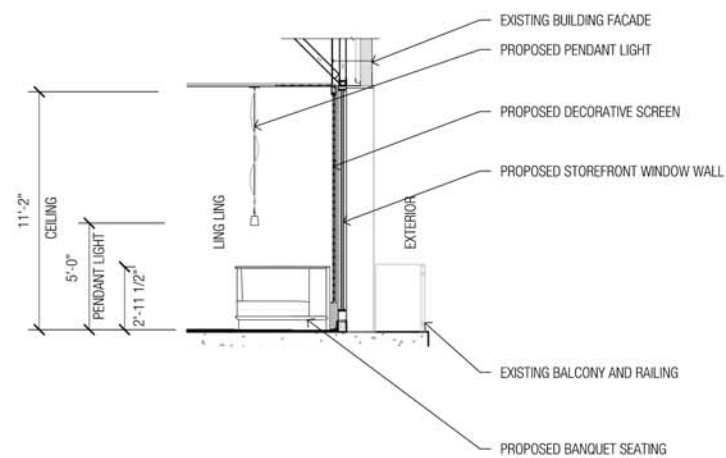
Drawing Title
ARCHITECTURAL
LEVEL 02 - ZONE 3
LING LING SECTIONS & ELEVATIONS

Date generated 04/06/2012
Checked
Approved

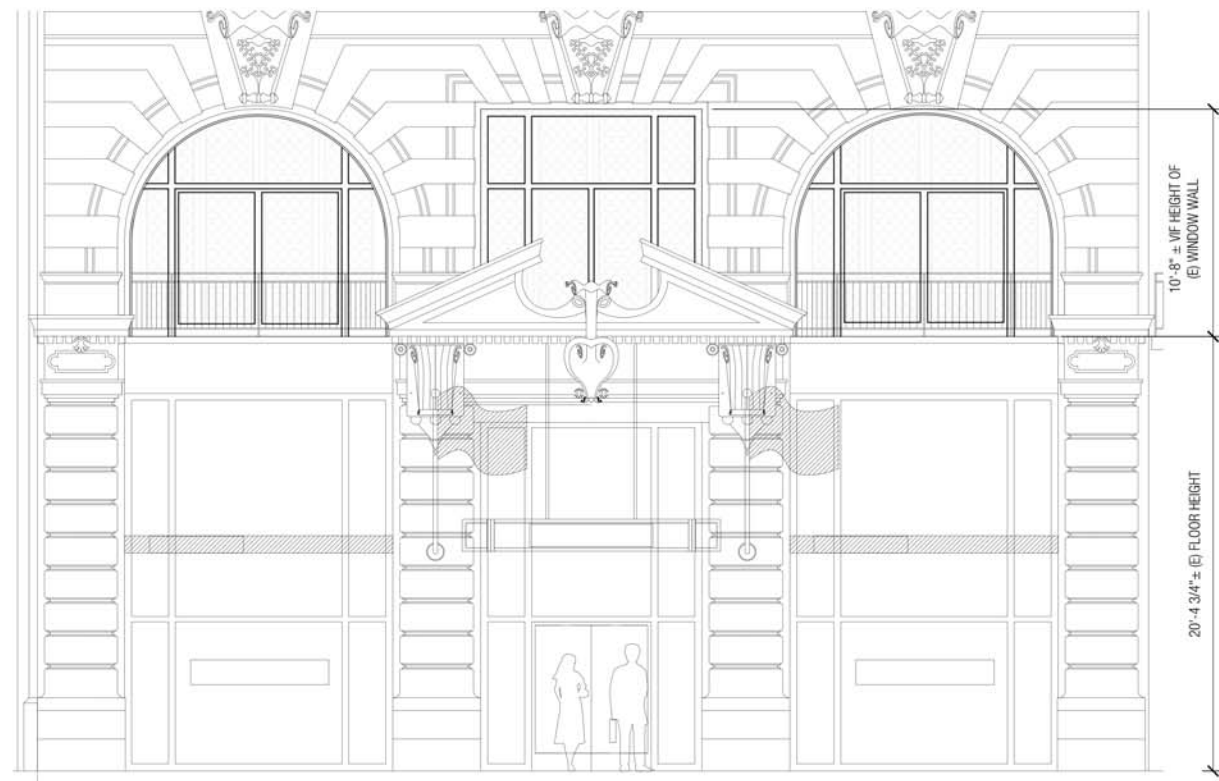
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Project number 1-90-0087
Drawing number A4431
Revision PO

Scale
PERMIT

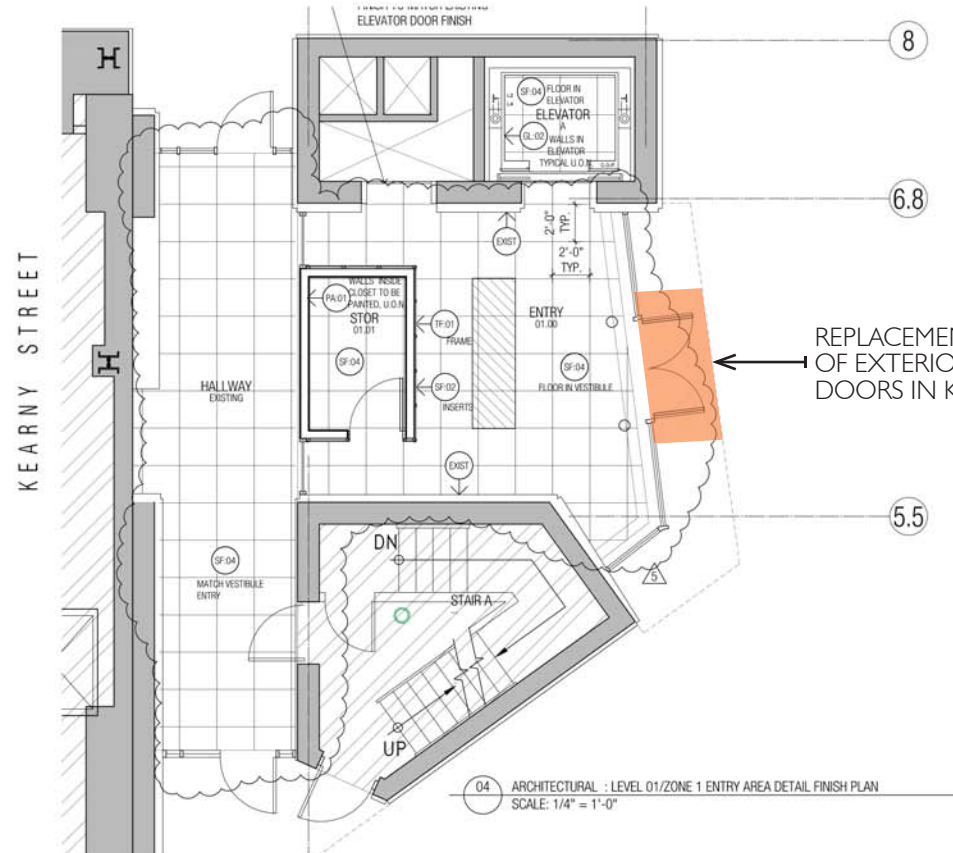
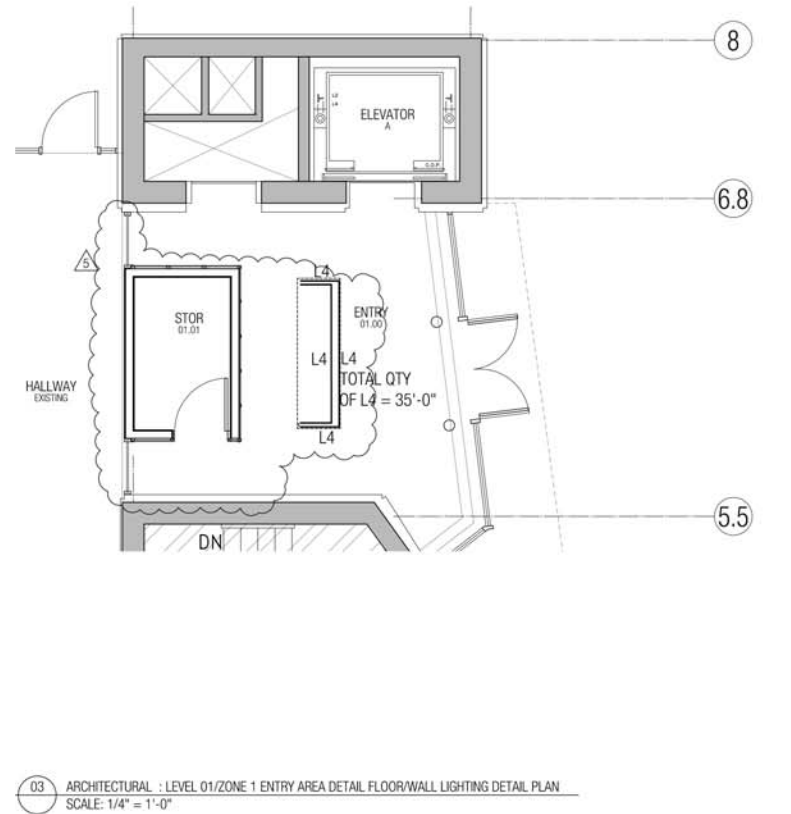
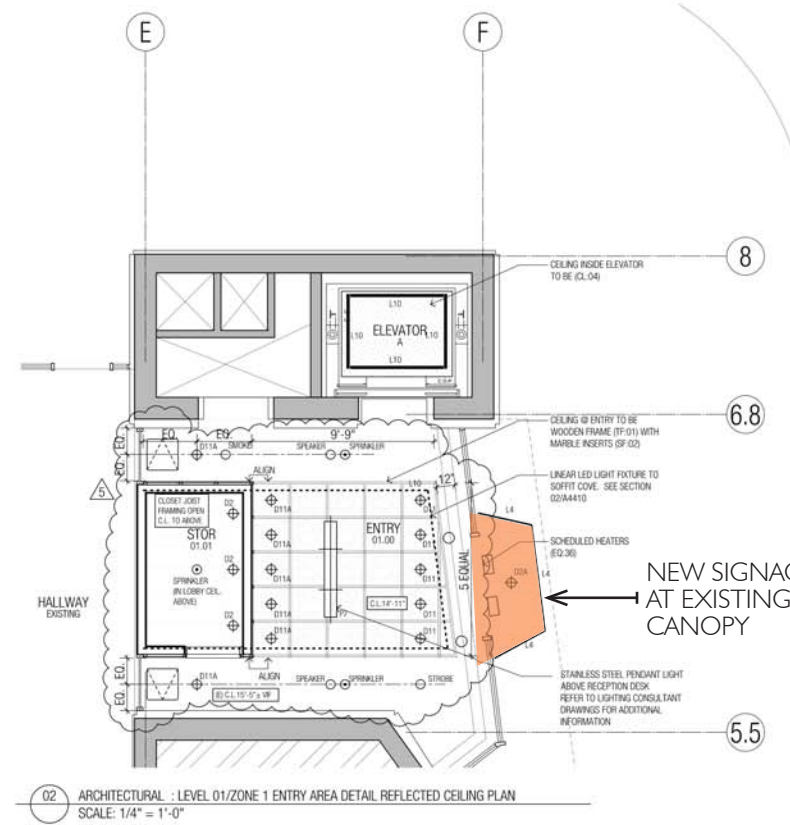
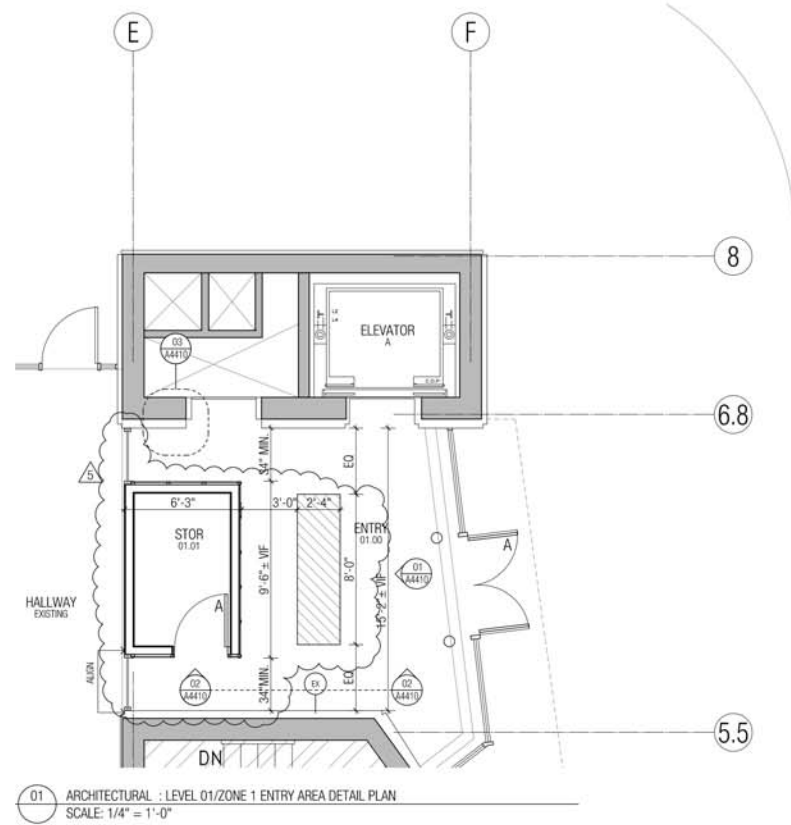


09 TYP. LING LING SECTION
SCALE: 1/4" = 1'-0"



08 EXTERIOR ELEVATION AT MARKET STREET
SCALE: 1/4" = 1'-0"

PROPOSED PROJECT
1ST FLOOR, ENLARGED PLANS



FINISH LEGEND

SF - STONE FINISHES

- SF-01 CASCADE BROWN STONE SLAB, HONED FINISH
- SF-02 CALACATA PRESTOLA WHITE MARBLE WITH GREY VEINING, SOFT FINISH
- SF-03 CALACATA PRESTOLA WHITE MARBLE WITH BROWN VEINING, SOFT FINISH
- SF-04 BLACK ZIMBARWE GRANITE, BLACK SEALED WITH FLAMED FINISH

TF - TIMBER

- TF-01 DARK BROWN OAKWOOD, SATIN HALF GLOSS VARNISH (NOT BRUSHED)
- TF-02 SMOCKED OAKWOOD, BRUSHED FINISH BROWN
- TF-03 OBERFLEX WENGE OAKWOOD, PEARLESCENT FINISH

OTHER FINISHES

- OP-01 CARPET TIBO
- RE-01 SLIP RESISTANT PVC SAFETY FLOORING (ECCORP)
- RE-02 ANTI-STATIC VINYL FLOORING (T. MECH ROOMS)
- RE-03 POLISHED, SEALED CONCRETE
- EM-01 METAL MESH ENTRANCE MAT
- CT-01 CERAMIC TILE
- CT-02 NON-SLIP CERAMIC FLOOR TILE
- CT-03 WHITE CERAMIC SUBWAY TILE
- FRP-01 FIBERGLASS REINFORCED PLASTIC, LIGHT COLOR, REFLECTIVE WASHABLE, GREASE RESISTANT
- ST-01 STAINLESS STEEL WALL PANELS, STAINLESS STEEL END CAPS, 1/8 GAUGE WITH HEM SEAMS
- PB-01 FINNABLE COPK BOARD
- PB-01 RUBBER BASE

GL - GLASS

- GL-01 LAMINATE BLUE GLASS, TRANSPARENCY 10%
- GL-02 DARK BLUE MIRROR GLASS
- GL-03 LIGHT BLUE MIRROR GLASS
- GL-04 CLEAR MIRROR GLASS
- GL-05 GREY MIRROR GLASS
- GL-06 ORANGE MIRROR GLASS
- GL-07 LAMINATED RED GLASS
- GL-08 LAMINATED WHITE GLASS (TRANSPARENCY TIBO)
- GL-09 LAMINATED BLUE GLASS, TRANSPARENCY 90%
- GL-10 INSULATED GLASS (W/ WIRE STORE)

ME - METAL

- ME-01 POLISHED STAINLESS STEEL
- ME-02 BRUSHED STAINLESS STEEL
- ME-03 BRASS METAL WITH BLACK PATINA
- ME-04 BRASS METAL WITH LIGHT PATINA
- ME-05 METAL WITH BLACK PATINA
- ME-06 ALUMINUM WITH POWER COATED PAINT
- ME-07 MDF PANELS WITH UNEVEN FINISH BLACK PATINA METALLIZATION

FA - FABRICS @ POR WALLS

- FA-01 EMERALD SILK
- FA-02 MAGENTA SILK

NOTES:

- REFER TO FINISHES SCHEDULE (S9000) FOR ADDITIONAL INFORMATION
- ALL STONE SLAB MATERIAL SIZES TO BE DETERMINED ON SHOP DRAWINGS, U.O.N.
- ALL THRESHOLDS TRANSITIONING FROM MAIN FLOORING (SF-02) TO DIFFERENT FLOOR FINISH MATERIAL, TO MATCH (SF-02), TYPICAL, U.O.N.
- ALL WALL BASE @ LEVEL 00 BOH AREA TO BE (PB-01), U.O.N.
- TO UNDERSTAND COMPLETE EXTENT OF INDICATED WALL FINISHES REFER TO RELEVANT ELEVATIONS
- REFER TO CORRELATING DETAILED PLAN DRAWINGS @ EACH ZONE FOR ADDITIONAL FINISH INFORMATION
- TO BE READ IN CONJUNCTION WITH KITCHEN CONSULTANT & RESTAURANT SUPPLY CONSULTANT'S DRAWINGS

RCP LEGEND

- LIGHTING SHOWN FOR REFERENCE ONLY. REFER TO LIGHTING CONSULTANT & ELECTRICAL DRAWINGS FOR L.D.A. AND B.L.S. LIGHTING LOCATIONS, DETAILS AND SPECIFICATIONS.
- REFER TO ENGINEER'S DRAWINGS FOR LOCATION OF SERVICES WITHIN CEILING.
- RATED SEPARATION BETWEEN KITCHEN AND DINING USES IS NOT REQUIRED BECAUSE THE FOLLOWING REQUIREMENTS HAVE BEEN MET:
 - COOKING EQUIPMENT IS VENTED DIRECTLY TO OUTDOORS
 - 2 FT DRAFT CURTAIN PROVIDED. SEE NOTE #3
 - SPRINKLER HEADS IN ACCORDANCE WITH SUBCHAPTER 17 ARE PROVIDED WITHIN 24" ON KITCHEN SIDE OF DRAFT CURTAIN AND SPACED 48" MAX ON CENTER
- REFER TO DETAIL DRAWING FOR SMOKE BARRIER BETWEEN KITCHEN AND DINING SPACE, COMPLYING WITH TABLE 5-115-2 FOOTNOTES
- COORDINATE FINAL LIGHTING LOCATIONS WITH ALL CONSULTANT DRAWINGS - MEP, LIGHTING CONSULTANT & KITCHEN CONSULTANT
- ALL FINISHED CEILING HEIGHT TO BE 8'-0" A.F.F. MINIMUM, U.O.N. TYPICAL @ ALL LEVELS.
- ALL CEILING ABOVE BLACK MESH CEILING FINISH (CL-02) SHALL BE PAINTED PA02

RCP LEGEND

REFER TO CEILING SCHEDULE FOR SPECIFICATION OF CEILING TYPES

- CL-01 24"x24" ACOUSTICAL CEILING PANELS, ARMSTRONG HEALTH ZONE ULTIMA
- CL-01A 24"x24" ACOUSTICAL CEILING PANELS, ARMSTRONG ULTIMA
- CL-02 BLACK MESH CEILING TILE AND GRID
- CL-03 DARK WOODEN PLANK CEILING IN TF-01 TIMBER FINISH
- CL-04 RETRO LIGHT GLASS CEILING CL-01
- CL-05 SUSPENDED CEILING: TF-01 FRAME WITH SF-02 WHITE MARBLE INSERTS
- CL-06 PLASTERBOARD CEILING
- CL-EX EXISTING CEILING @ LEVEL 02

OTHER NOTATIONS:

- ⊘ DENOTES AREA NOT IN CONTRACT
- ⊘ DENOTES MILLWORK
- ⊘ EXT SIGNAGE - WALL MOUNTED
- ⊘ EXT SIGNAGE - DIRECTIONAL
- ⊘ CEILING FAN - EQ. 16
- ⊘ 2 X 2 FLUORESCENT LIGHT FIXTURE
- ⊘ 2 X 4 FLUORESCENT LIGHT FIXTURE
- ⊘ FLUORESCENT LIGHT FIXTURE
- ⊘ CURTAIN SPECIFICATION TIBO

REVISIONS:

Rev	Description	Date	App'd
01	ISSUE FOR PERMIT	09.17.12	
02	ISSUE FOR BULLETIN # 01	09.08.12	
03	ISSUE FOR CONSTRUCTION	09.01.12	
04	ISSUE FOR COORDINATION	05.25.12	
05	ISSUE FOR HISTORICAL REVIEW BOARD	04.27.12	
06	ISSUE FOR COORDINATION	04.26.12	
07	ISSUE FOR COORDINATION	04.06.12	

HAKKASAN LIMITED
151 WARDOUR STREET, 4TH FLOOR
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HAKKASAN SAN FRANCISCO
ONE KEARNY STREET
SAN FRANCISCO, CALIFORNIA
USA

WOODS BAGOT NORTH AMERICA AUSTRALIA ASIA MIDDLE EAST EUROPE

ARCHITECTURAL
LEVEL 01 - ZONE 1, ENTRY
DETAIL PLAN, FINISH PLAN & RCP

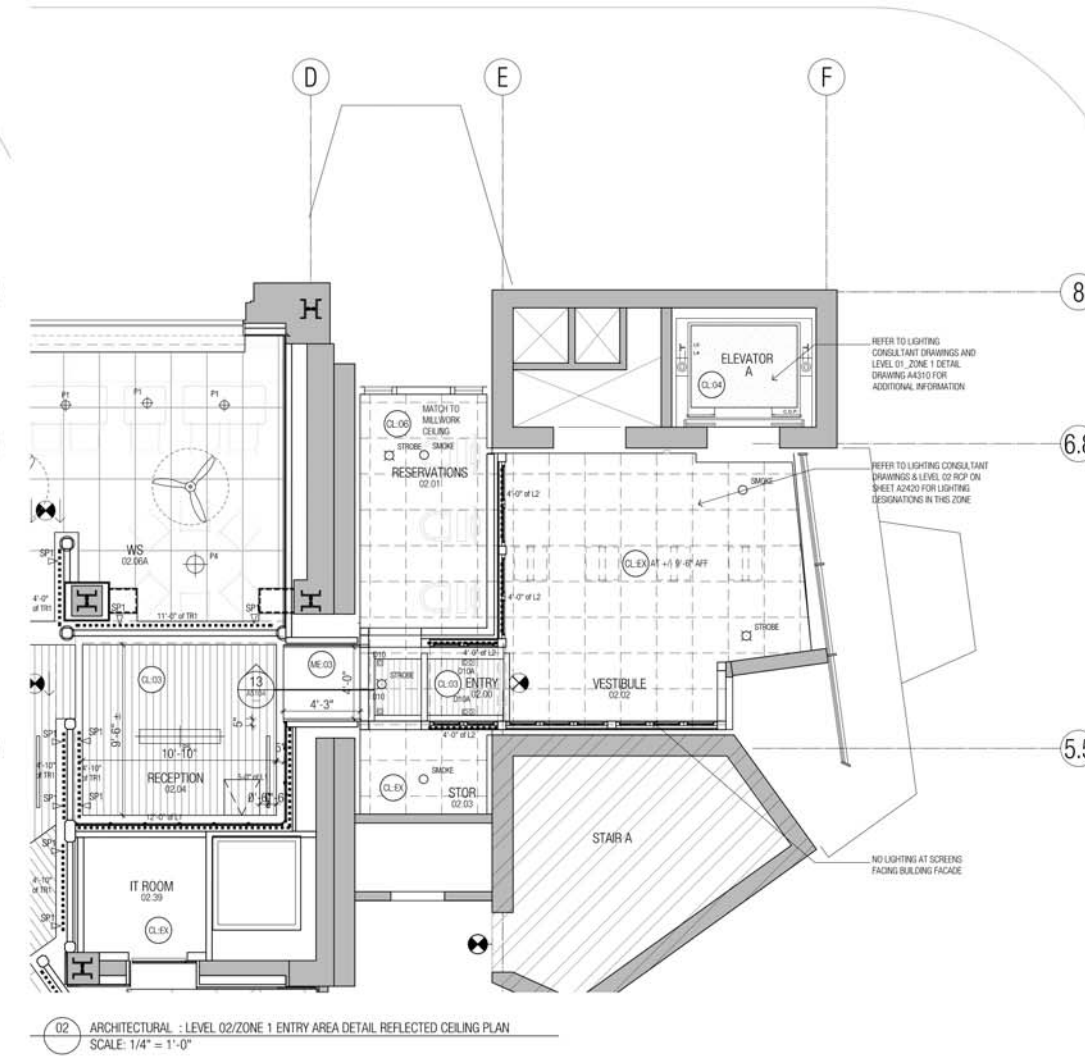
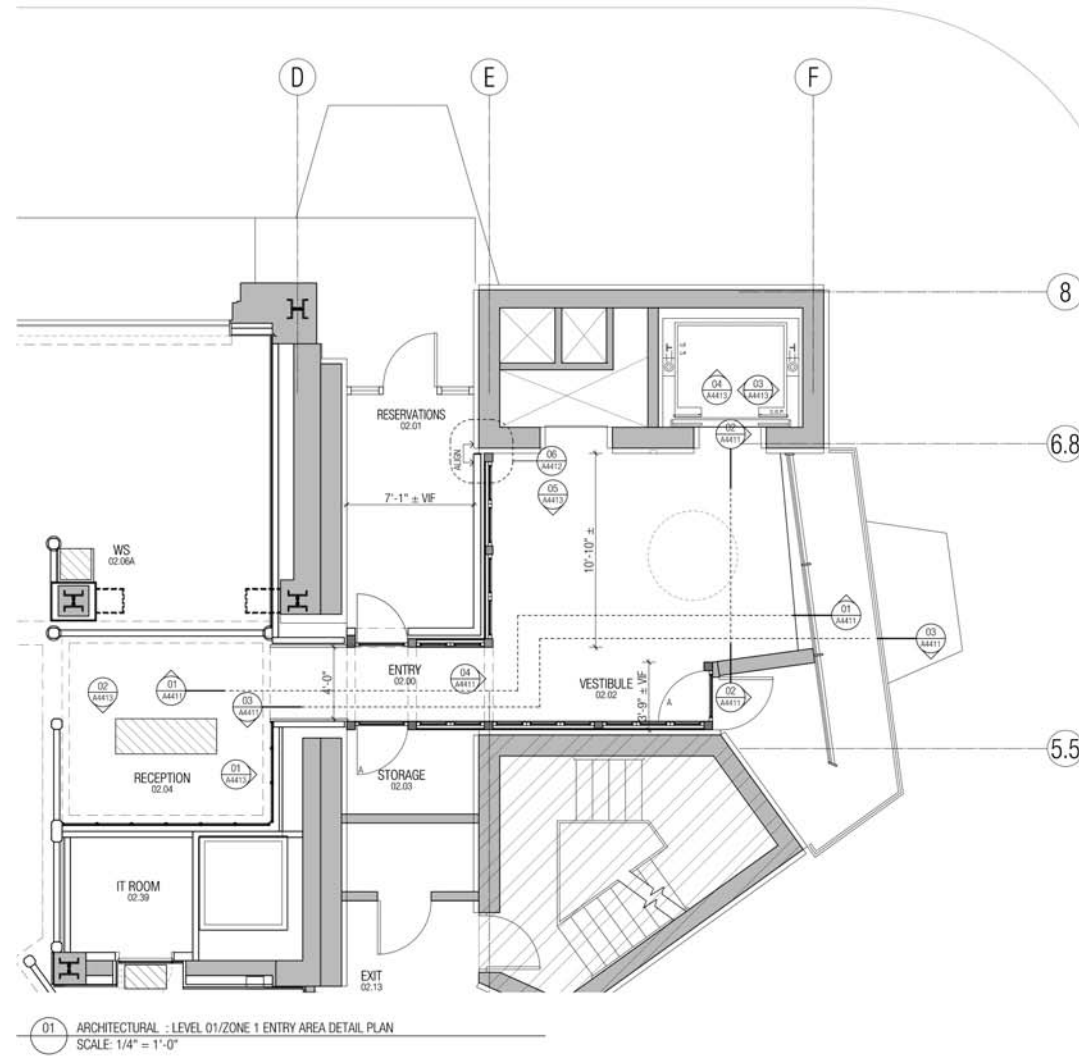
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Scale: 1/4" = 1'-0"
@ A0/0 sheet size 2" = original

Project number: 1-90-0087
Drawing number: A4310
Revision: 00

Status: CONSTRUCTION

PROPOSED PROJECT
2ND FLOOR, ENLARGED PLANS



WOODS BAGOT
Notes
CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK OR PREPARING WORKSHOP DRAWINGS. DO NOT SCALE DRAWING.

- RCP LEGEND**
RCP NOTES:
1. LIGHTING SHOWN FOR REFERENCE ONLY. REFER TO LIGHTING CONSULTANT & ELECTRICAL DRAWINGS FOR F.G.H. AND B.O.H. LIGHTING LOCATIONS, DETAILS AND SPECIFICATIONS.
 2. REFER TO ENGINEER'S DRAWINGS FOR LOCATION OF SERVICES WITHIN CEILING.
 3. RATED SEPARATION BETWEEN KITCHEN AND DINING LUGS IS NOT REQUIRED BECAUSE THE FOLLOWING REQUIREMENTS HAVE BEEN MET:
- COOKING EQUIPMENT IS VENTED DIRECTLY TO OUTDOORS
- 2 FT DRAFT CURTAIN PROVIDED. SEE NOTE K3
- SPRINKLER HEADS IN ACCORDANCE WITH SUBCHAPTER 17 ARE PROVIDED WITHIN 24" ON KITCHEN SIDE OF DRAFT CURTAIN AND SPACED 48" MAX ON CENTER
 4. REFER TO DETAIL DRAWING FOR SMOKE BARRIER BETWEEN KITCHEN AND DINING SPACE COMPLYING WITH TABLE 5-10-2 FOOTNOTES
 5. COORDINATE FINAL LIGHTING LOCATIONS WITH ALL CONSULTANT DRAWINGS: MEP, LIGHTING CONSULTANT & KITCHEN CONSULTANT
 6. ALL FINISHED CEILING HEIGHT TO BE 8'-0" AFF. MINIMUM 1/8" TYPICAL @ ALL LEVELS.
 7. ALL CEILINGS ABOVE BLACK MESH CEILING FINISH (CL.03) SHALL BE PAINTED P/02

- RCP LEGEND**
REFER TO CEILING SCHEDULE FOR SPECIFICATION OF CEILING TYPES
- CL.01 24"x24" ACOUSTICAL CEILING PANELS, ARMSTRONG HEALTH ZONE ULTMA
 - CL.01A 24"x24" ACOUSTICAL CEILING PANELS, ARMSTRONG ULTMA
 - CL.02 BLACK MESH CEILING TILE AND GRID
 - CL.03 DARK WOODEN PLANK CEILING IN TF-01 TRIMMER FINISH
 - CL.04 RETRO LIGHT GLASS CEILING CL-01
 - CL.05 SUSPENDED CEILING: TF-01 FRAME WITH SF-02 WHITE MARBLE INSERTS
 - CL.06 PLASTERBOARD CEILING
 - CLEX EXISTING CEILING @ LEVEL 02
 - Denotes AREA NOT IN CONTRACT
 - Denotes MILLWORK
 - EXIT SIGNAGE - WALL MOUNTED
 - EXIT SIGNAGE - DIRECTIONAL
 - CEILING FAN - ED-16
 - 2 X 2 FLUORESCENT LIGHT FIXTURE
 - 2 X 4 FLUORESCENT LIGHT FIXTURE
 - FLUORESCENT LIGHT FIXTURE
 - CURTAIN SPECIFICATION TBD

PS	ISSUE FOR PERMIT	08.13.12
01	ISSUE FOR BIDDING	08.06.12
02	ISSUE FOR CONSTRUCTION	06.01.12
P4	ISSUE FOR COORDINATION	05.25.12
P3	ISSUE FOR HISTORICAL REVIEW BOARD	04.27.12
P2	ISSUED FOR COORDINATION	04.25.12
Rev	Description	Date
Client		

HAKKASAN LIMITED
151 WASHINGTON STREET, 4TH FLOOR
LONDON W1F 8AE

Project:
HAKKASAN SAN FRANCISCO
ONE KEARNY STREET
SAN FRANCISCO, CALIFORNIA
USA

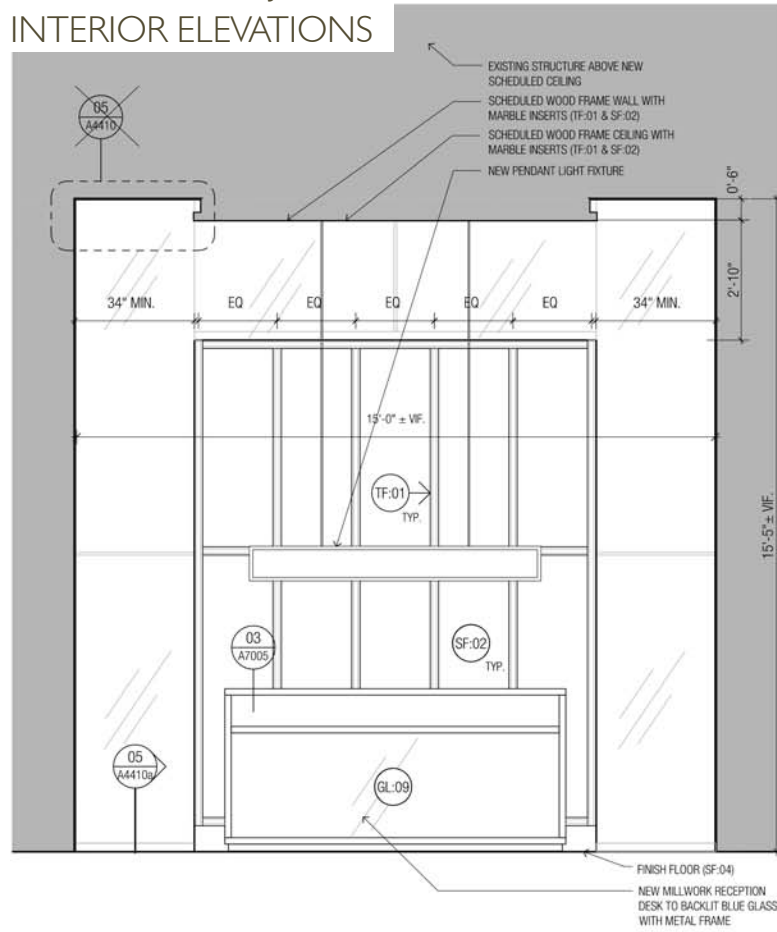
WOODS BAGOT NORTH AMERICA AUSTRALIA ASIA EUROPE EAST EUROPE

Drawing title:
ARCHITECTURAL
LEVEL 02 - ZONE 1
ENTRY DETAIL PLAN & RCP

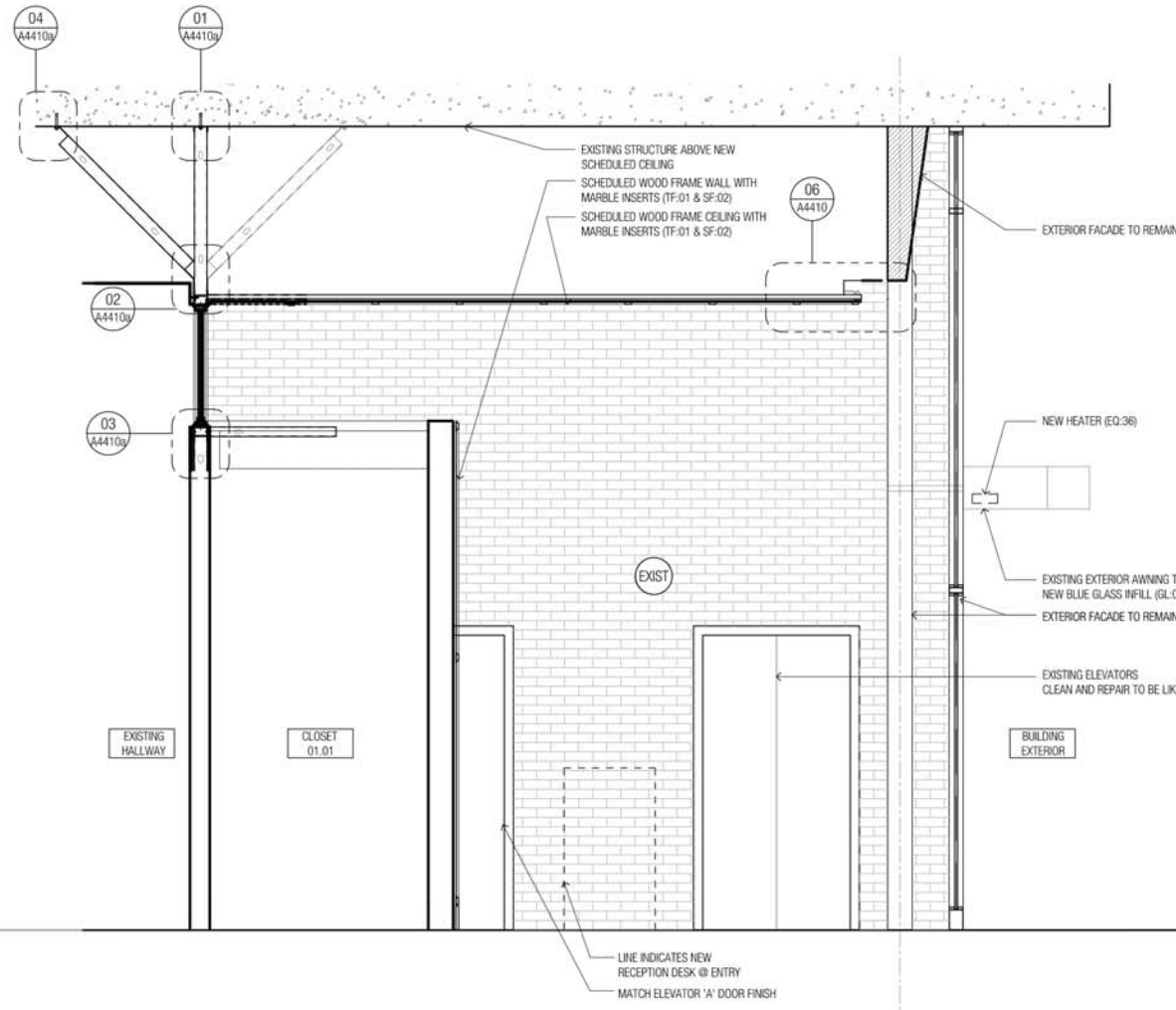
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Project number: 1-90-0087
Drawing number: A4311
Revision: 00
Date: CONSTRUCTION

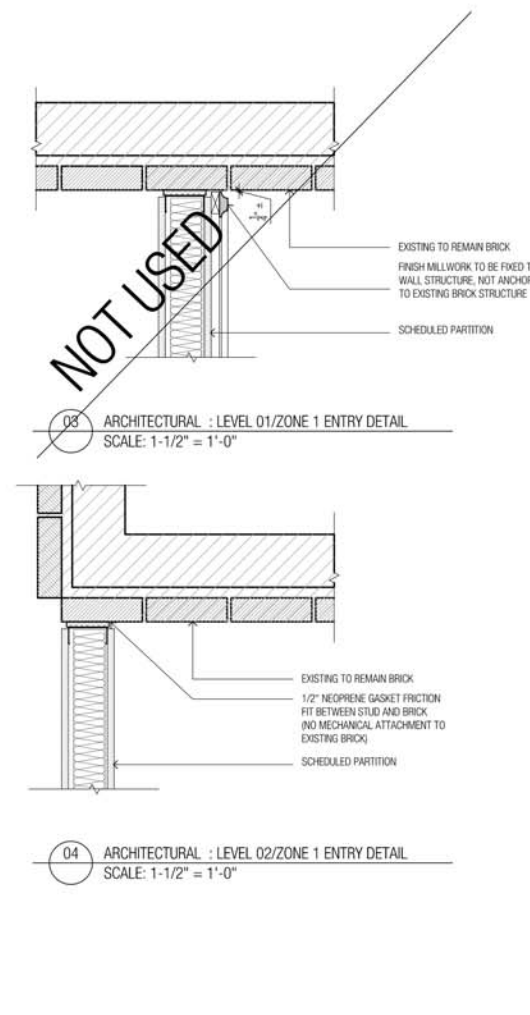
PROPOSED PROJECT
INTERIOR ELEVATIONS



01 ARCHITECTURAL : LEVEL 01/ZONE 1 ENTRY ELEVATION 1
SCALE: 1/2" = 1'-0"



02 ARCHITECTURAL : LEVEL 01/ZONE 1 ENTRY ELEVATION 2
SCALE: 1/2" = 1'-0"



03 ARCHITECTURAL : LEVEL 01/ZONE 1 ENTRY DETAIL
SCALE: 1-1/2" = 1'-0"

04 ARCHITECTURAL : LEVEL 02/ZONE 1 ENTRY DETAIL
SCALE: 1-1/2" = 1'-0"



00 LEVEL 1 / ZONE 1 ENTRANCE KEY PLAN
N.T.S.

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Notes
CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK OR PREPARING SHOP DRAWINGS. DO NOT SCALE DRAWING.

P5	ISSUE FOR PERMIT	00.13.12
05	ISSUE FOR BULLETIN # 5	08.06.12
00	ISSUE FOR CONSTRUCTION	06.01.12
P4	ISSUE FOR COORDINATION	05.25.12
P3	ISSUE FOR HISTORICAL REVIEW BOARD	04.27.12
P2	ISSUE FOR COORDINATION	04.20.12
Rev	Description	Date
Client		

HAKKASAN LIMITED
151 WARDOUR STREET, 4TH FLOOR
LONDON W1F 8WE

Project
HAKKASAN SAN FRANCISCO
ONE KEARNY STREET
SAN FRANCISCO, CALIFORNIA
USA



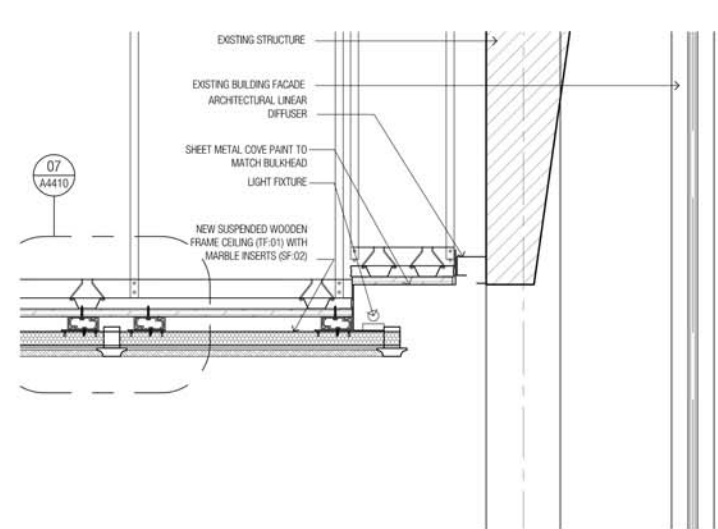
Drawing title
ARCHITECTURAL
LEVEL 01 - ZONE 1
ENTRY ELEVATIONS & DETAILS

Date generated 13/09/12
Checked
Approved

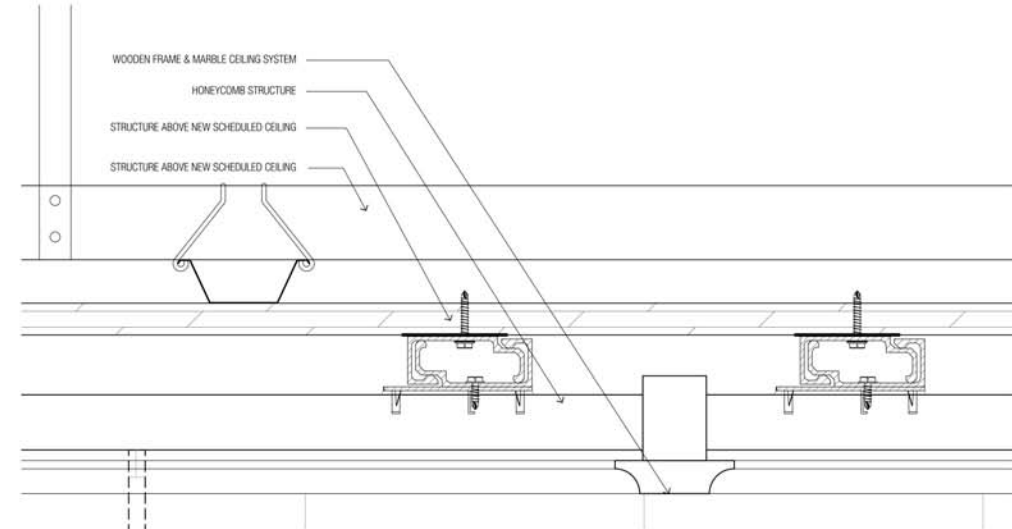
Scale
AS NOTED
@ ArchD sheet size 2" on original

Project number 1-90-0087
Drawing number A4410
Revision 00
Status CONSTRUCTION

COORDINATE W/
SHOP DRAWINGS



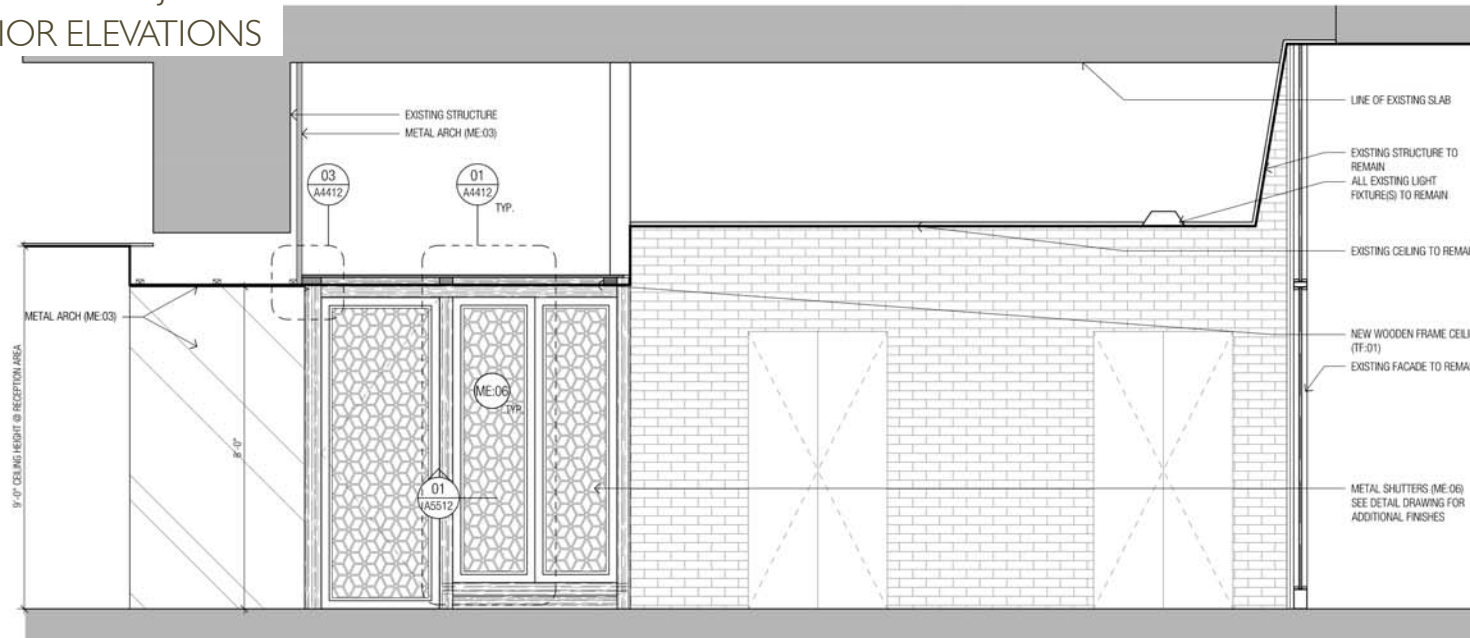
07 ARCHITECTURAL : DETAIL @ LEVEL 01 ENTRY MARBLE CEILING
SCALE: 1-1/2" = 1'-0"



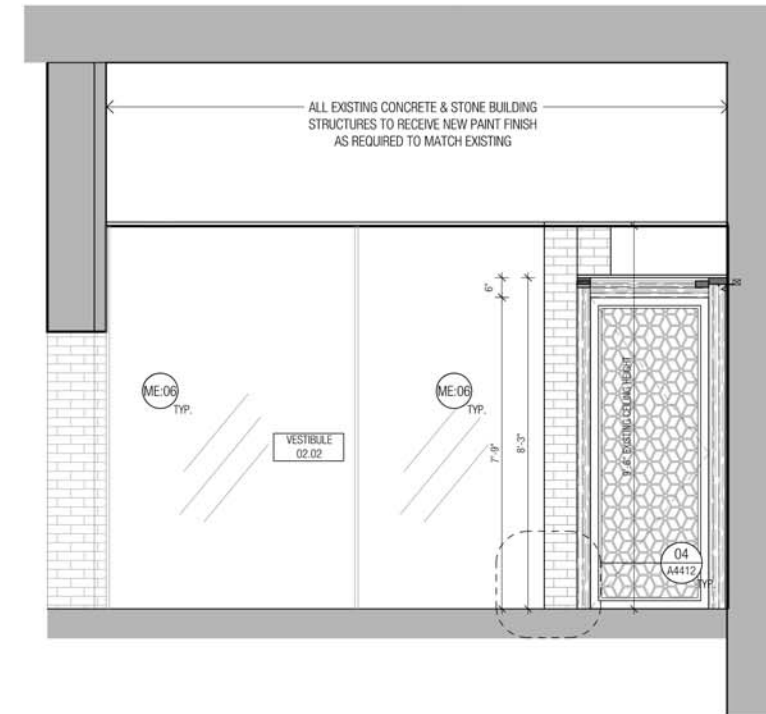
06 ARCHITECTURAL : DETAIL @ LEVEL 01 ENTRY MARBLE CEILING
SCALE: 6" = 1'-0"

05 ARCHITECTURAL : DETAIL @ LEVEL 01 ENTRY MARBLE WALL
SCALE: 6" = 1'-0"

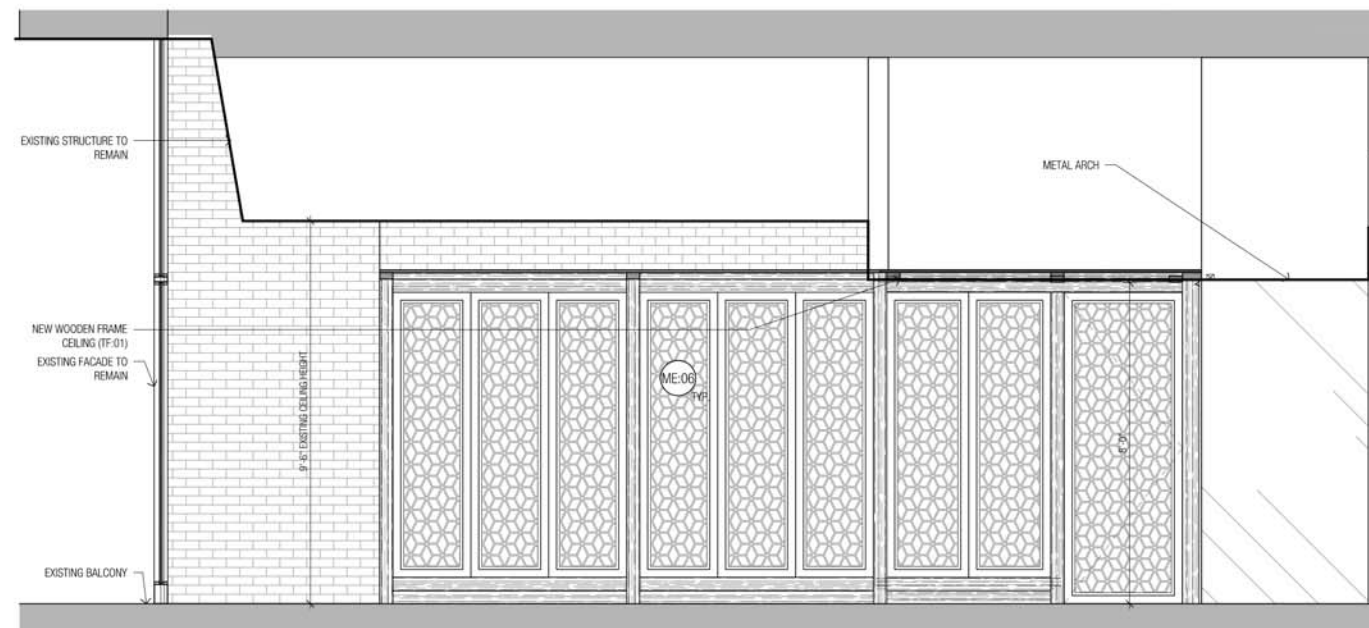
PROPOSED PROJECT
INTERIOR ELEVATIONS



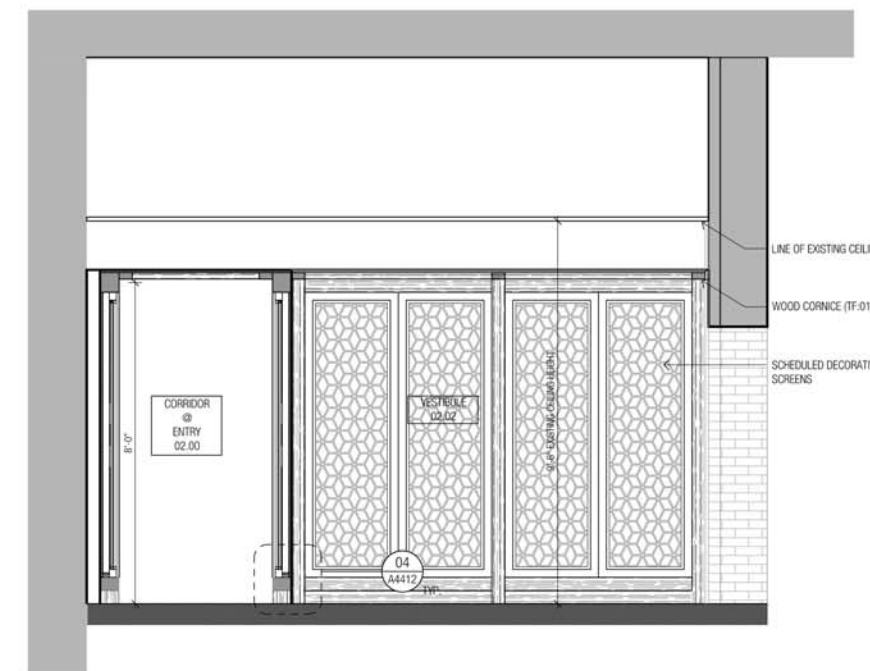
01 ARCHITECTURAL : LEVEL 01/ZONE 1 ENTRANCE CORRIDOR SECTION 1
SCALE: 1/2" = 1'-0"



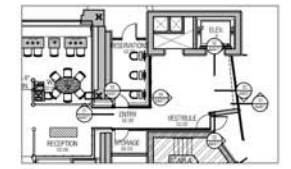
02 ARCHITECTURAL : LEVEL 01/ZONE 1 ENTRANCE CORRIDOR SECTION 2
SCALE: 1/2" = 1'-0"



03 ARCHITECTURAL : LEVEL 01/ZONE 1 ENTRANCE CORRIDOR SECTION 3
SCALE: 1/2" = 1'-0"



04 ARCHITECTURAL : LEVEL 01/ZONE 1 ENTRANCE CORRIDOR SECTION 4
SCALE: 1/2" = 1'-0"



00 LEVEL 2 /ZONE 1 ENTRY KEY PLAN
N.T.S.

Copyright
WOODS BAGOT
Name
CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK OR PREPARING WORKSHOP DRAWINGS. DO NOT SCALE DRAWING.
NOTES
1. REFER TO MILLWORKER SHOP DRAWINGS FOR ADDITIONAL INFORMATION
2. AT ALL CAGE STRUCTURES, U.O.N -
2.1. STRUCTURE TO BE TF-02
2.2. DECORATIVE SCREENS TO BE TF-01
2.3. INSERT PANELS TO BE SF-03
3. MILLWORKER TO COORDINATE ALL ELECTRICAL/LIGHTING REQUIREMENTS WHERE APPLICABLE
4. REFER TO FINISHES SCHEDULE (000000) FOR ADDITIONAL INFORMATION
5. TO BE READ IN CONJUNCTION WITH KITCHEN CONSULTANT'S DRAWINGS
6. TO BE READ IN CONJUNCTION WITH LIGHTING CONSULTANT'S DRAWINGS. MILLWORKER TO COORDINATE LOCATION OF LIGHT FIXTURES WITHIN MILLWORK
Rev. Description Date App'd
P5 ISSUE FOR PERMIT 08.17.12
P6 ISSUE FOR CONSTRUCTION 06.01.12
P4 ISSUE FOR COORDINATION 05.25.12
P3 ISSUE FOR HISTORICAL REVIEW BOARD 04.27.12
P2 ISSUE FOR COORDINATION 04.20.12
P1 ISSUE FOR COORDINATION 04.06.12
Client

HAKKASAN LIMITED
151 WARDOUR STREET, 4TH FLOOR
LONDON W1F 9AE
Project
HAKKASAN SAN FRANCISCO
ONE KEARNY STREET
SAN FRANCISCO, CALIFORNIA
USA

WOODS BAGOT NORTH AMERICA AUSTRALIA ASIA MIDDLE EAST EUROPE

Drawing title
ARCHITECTURAL
LEVEL 02 - ZONE 1
ENTRANCE SECTIONS & DETAILS
Date generated: 04/06/2012
Checked: --- Approved: ---
Scale: AS NOTED
@ ARCHD sheet size 2" x original
Project number: 1-90-0087 Drawing number: A4411 Revision: 00
Status: CONSTRUCTION

RENDERINGS



Existing Exterior Elevation Market Street

RENDERINGS



Proposed Design

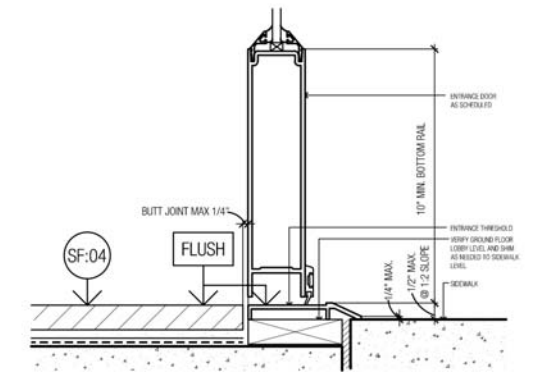
RENDERINGS
CANOPY AND ENTRY DOOR DETAIL



Existing Condition



Proposed Design

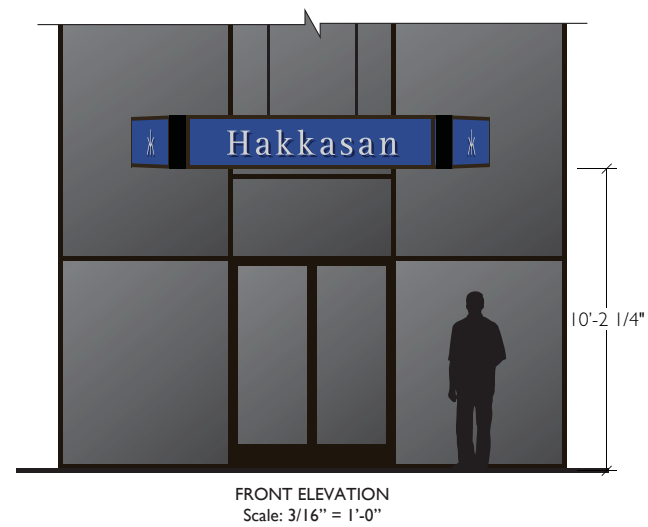
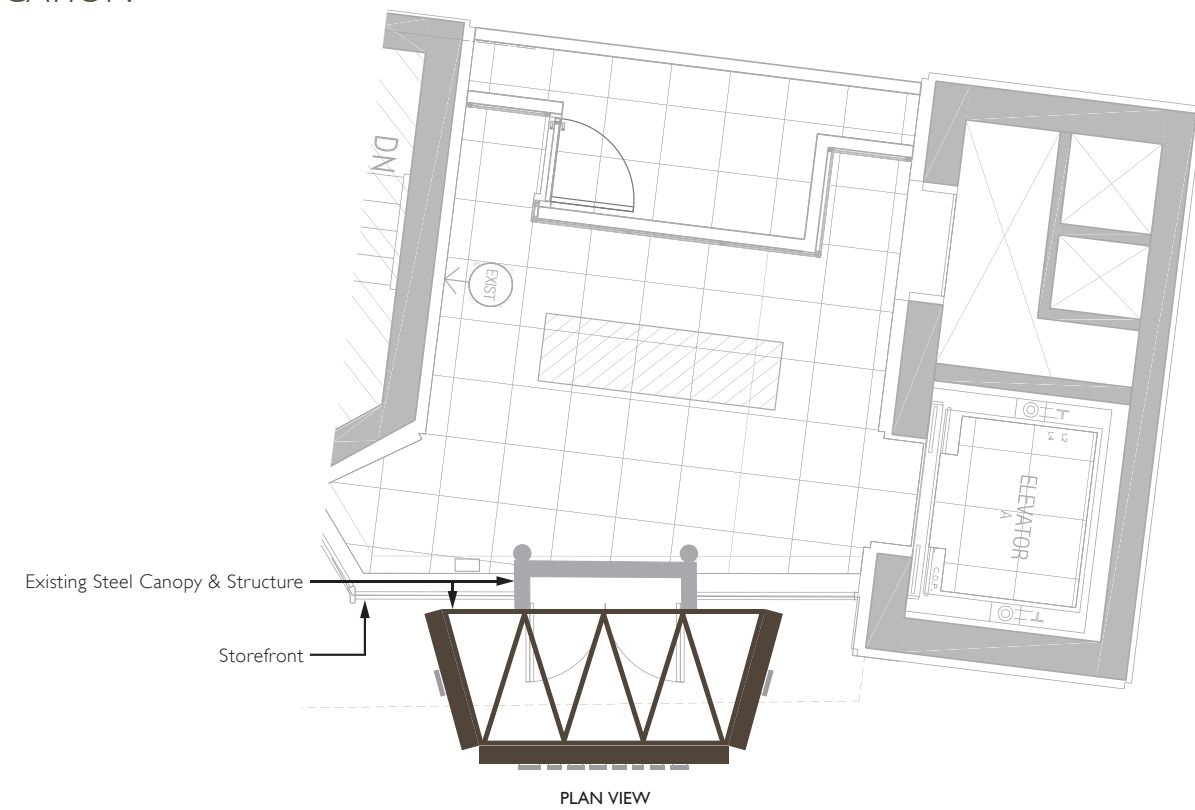


08 ENTRY DOOR THRESHOLD
SCALE 3"=1'-0"



Exterior View

RENDERINGS
SIGN FABRICATION



SCOTT | AG

SCOTT AG, LLC
ENVIRONMENTAL GRAPHICS
1275 NORTH DUTTON AVENUE
SANTA ROSA CALIFORNIA 95401
TEL: 707.545.4519 FAX: 707.571.7802

Hakkasan SF
San Francisco, California
#5027-200

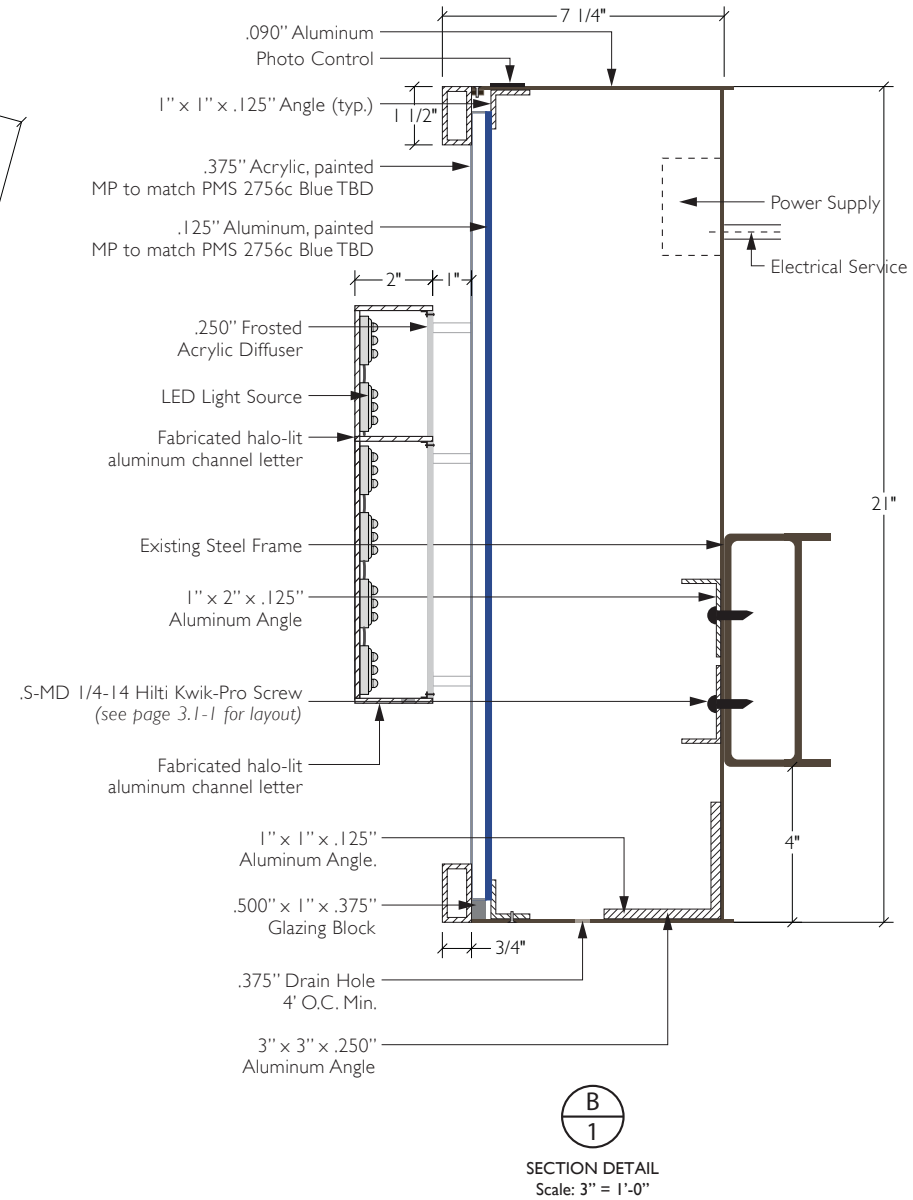
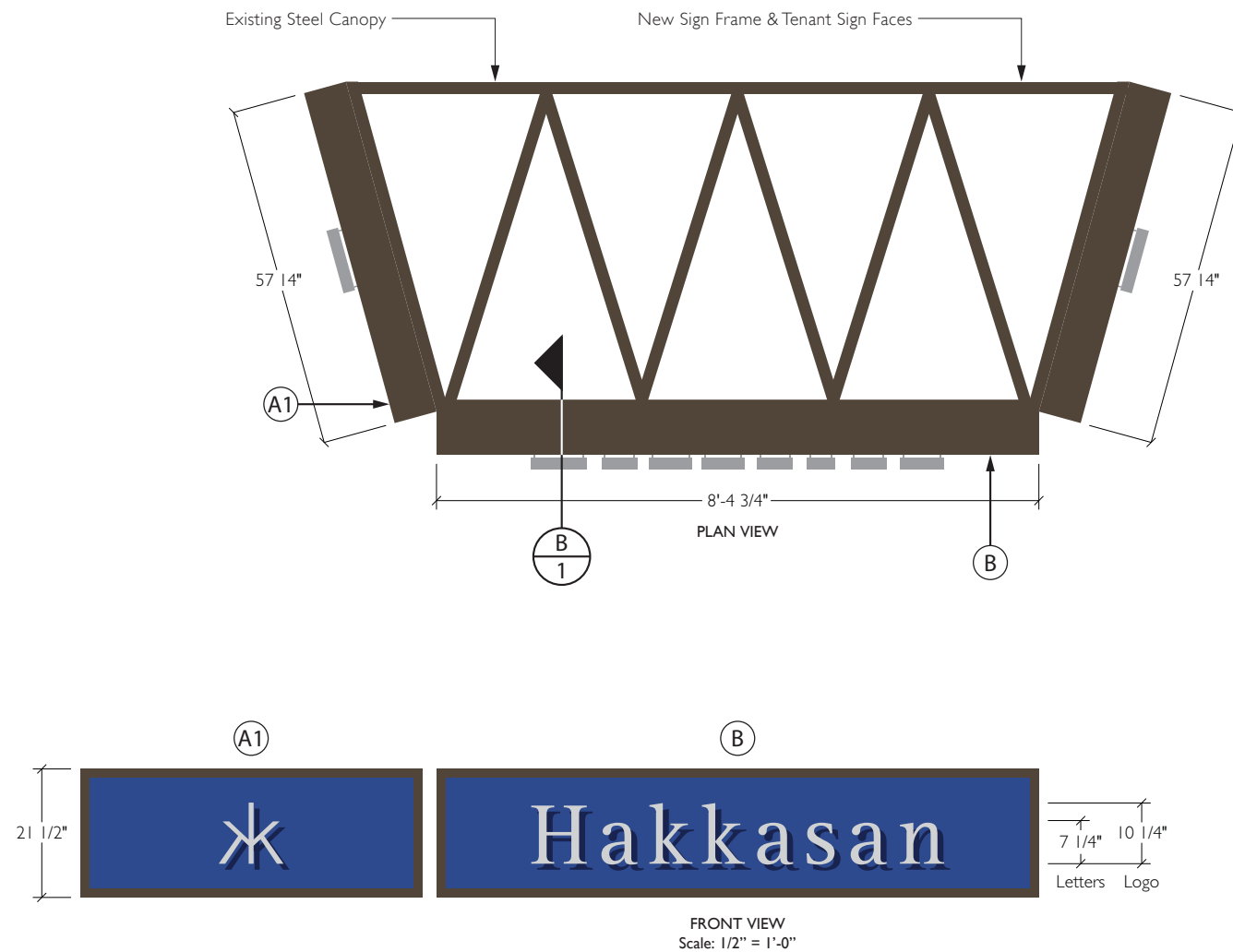
EBa
Canopy Sign at Main Entry

project manager
MICHAEL BURCH
phase
DESIGN DEVELOPMENT
scale
AS NOTED
drawn by
GIANCARLO SILIPO
date/revisions
8.24.2012 GS
9.25.2012 GS
9.27.2012 GS

E1.0-0

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RENDERINGS
SIGN FABRICATION DETAILS



SCOTT | AG

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Hakkasan SF
San Francisco, California
#5027-200

EBa
Canopy Sign at Main Entry
Option I

project manager
MICHAEL BURCH

phase
DESIGN DEVELOPMENT

scale
AS NOTED

drawn by
GIANCARLO SILIPO

date/revisions

8.24.2012	GS
9.19.2012	GS
9.28.2012	GS
10.11.2012	GS

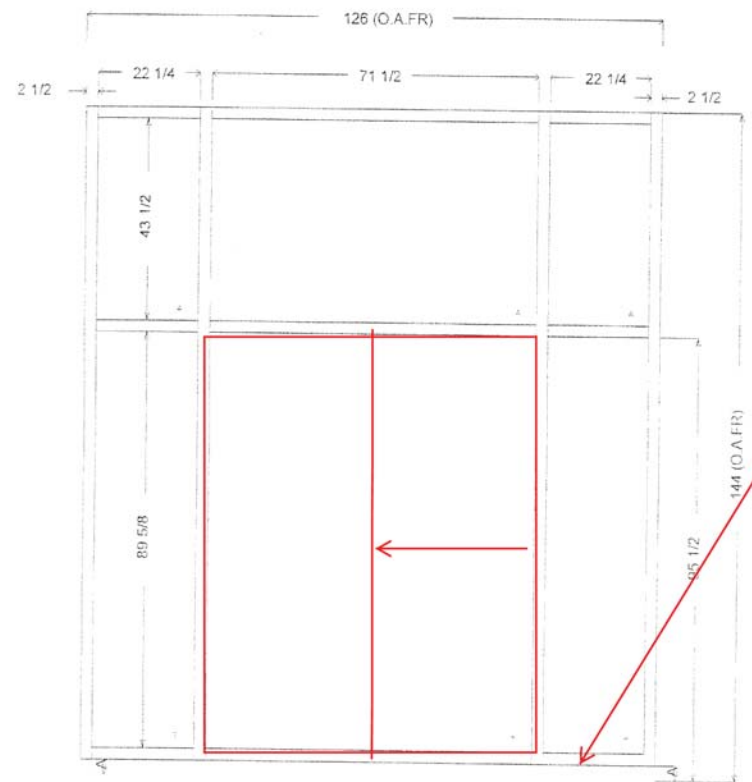
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FABRICATION DETAILS
2ND FLOOR WINDOWS

Project Name: Hakksan
Frame Set Name: Frame Set 1
Metal Group: M1600 6" 1600SS RTS 1"
Required: 1 Panels: 3 Rows: 2
Back Member Color: #22 BLACK : FLUROPON
Frame Name: Frame 1
D/S: 1 Frame Type: Standard
Frame Width: 126 Frame Height: 144
Face Member Color: #22 BLACK : FLUROPON
6/21/2012 3:27 PM

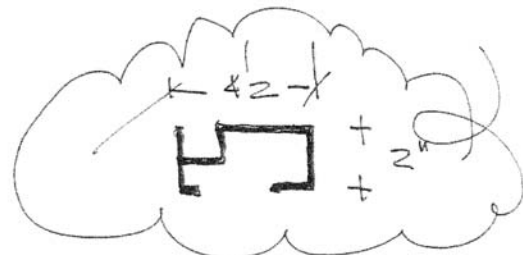
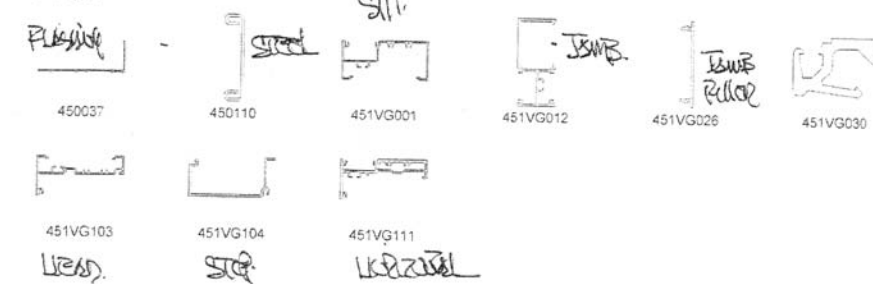
provide sample for comparison to existing finish



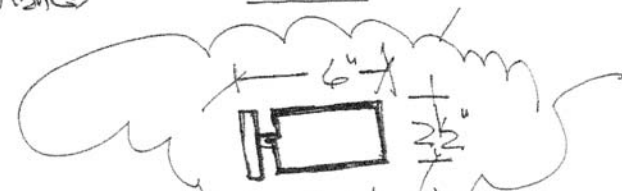
coordinate with concrete curbs as being fabricated on site.

1. Verify vertical mullions align (visually) with mullions on level below. This is required for Historical Review Board sign off.
2. Sliding door is required for access to exterior balcony.
3. Finish of framing and mullions to match system that was removed (or level below)

Project Name: Hakksan
Frame Set Name: Frame Set 1
Parts Image:
Frame Name: Frame 1
6/21/2012 2:44 PM



ALUMINUM STRENGTH 2x42.
CLEAR INSULATED GLASS
JUSTIFIED



ALUMINUM CURTAIN WALL - 2 1/2 x 6\"/>

Provide sample of Insulated glass for review. Provide cut sheet on glass to verify R/U values and compliance with Title 24 Envelope Calcs.

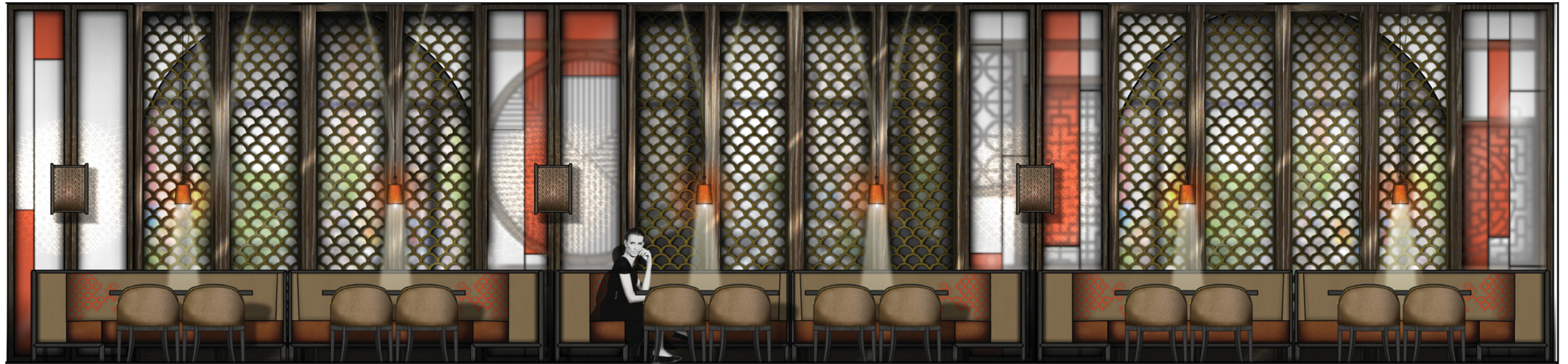


Existing 2nd Floor Windows

Shop Drawings - Window Elevation

Shop Drawings - Window Profiles

RENDERINGS



South Dining Room, facing Market Street



North Dining Room, facing Geary Street

