



SAN FRANCISCO PLANNING DEPARTMENT

Certificate of Appropriateness Case Report

HEARING DATE: JULY 1, 2015

Filing Date: May 14, 2015
Case No.: 2011.0617COA-02
Project Address: 1 Jones Street
Historic Landmark: Landmark #130
Zoning: C-3-G (Downtown General Commercial)
80-T-120-T Height and Bulk District
Block/Lot: 0349/003
Applicant: Seamus Naughton
Dolmen Property Group
1452 Broadway Street
San Francisco, CA 94109
Staff Contact Kelly H. Wong - (415) 575-9100
kelly.wong@sfgov.org
Reviewed By Tim Frye - (415) 558-6822
tim.frye@sfgov.org

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

PROPERTY DESCRIPTION

1 JONES STREET is located on the northwest corner of Jones and McAllister Streets (Assessor's Block 0349; Lot 003). The subject building, constructed in 1892 with addition in 1905 and repair in 1906-1907 based on designs by architect Albert Pissis, is designated as City Landmark #130, is a contributing resource to the National Register-listed Market Street Theater Loft Historic District, and is a Category I (Significant) Building, located within a C-3-G (Downtown General Commercial) Zoning District and 80-T-120-T Height and Bulk District.

The subject building occupies a rectangular lot on the northwest corner of Jones and McAllister Streets. The following building description is excerpted from Kelley & VerPlanck Historical Resources Consulting, LLC *Hibernia Bank Building, One Jones Street, Historic Structure Report* (September 19, 2009); more detailed description information can be located in the Kelley & VerPlanck report.

The building is two stories tall above a partially exposed basement, rectangular in plan, with a copperdomed colonnaded rotunda at the southeast corner containing the monumental main entrance accessed from a semi-circular flight of stairs. Exterior walls are white granite. The two primary façades feature giant Corinthian orders and pedimented end bays above a rusticated granite base. Windows are deeply recessed with decorative surrounds consisting of projecting entablature moldings, pedestal moldings, simple architraves, and flat projecting lintels supported by scrolled acanthus leaf brackets. There is a narrow open passage way along the north side of the building, and a wider paved yard on the west that is enclosed by a fence with

granite base, cast iron posts, and wrought iron balusters. A long rectangular light and stair well extends below grade along the east sidewalk; this is now covered with plywood and surrounded by a wrought iron safety railing.

PROJECT DESCRIPTION

The proposed project is for the exterior rehabilitation of the landmark building and property. Specifically, the proposal includes:

- Lowering of exterior grade at both east and west elevations, specifically at the West Alley and East Light Well to provide for new accessible building entrances, lowering of existing doors and installation of new transoms above;
- Installation of one new exterior wheelchair lift at the West Exit Alley;
- Alteration of existing window openings on existing roof penthouse and introduction of one new vent opening; and
- Enlargement of a previously approved roof deck by 277 square feet. (Roof deck approved under Certificate of Appropriateness Case No. 2011.0617A.)

Please see photographs and plans for details.

OTHER ACTIONS REQUIRED

None.

COMPLIANCE WITH THE PLANNING CODE PROVISIONS

The proposed project will require a Building Permit.

APPLICABLE PRESERVATION STANDARDS

ARTICLE 10

Pursuant to Section 1006.2 of the Planning Code, unless exempt from the Certificate of Appropriateness requirements or delegated to Planning Department Preservation staff through the Administrative Certificate Appropriateness process, the Historic Preservation Commission is required to review any applications for the construction, alteration, removal, or demolition of any designated Landmark for which a City permit is required. Section 1006.6 states that in evaluating a request for a Certificate of Appropriateness for an individual landmark or a contributing building within a landmark district, the Historic Preservation Commission must find that the proposed work is in compliance with the *Secretary of the Interior's Standards for the Treatment of Historic Properties*, as well as the designating Ordinance and any applicable guidelines, local interpretations, bulletins, related appendices, or other policies.

THE SECRETARY OF THE INTERIOR'S STANDARDS

Rehabilitation is the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features that convey its historical, cultural, or architectural values. The Rehabilitation Standards provide, in relevant part(s):

Standard 1: A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.

The proposed scope of work will be undertaken to bring the building into code-compliance for a potential new use. No use or tenant has yet been identified. The proposed work will require minimal change to distinctive materials, features, spaces, and spatial relationships that characterize the property.

Standard 2: The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

The project will retain the historic materials, features, and spaces that characterize the property. Existing door openings will be enlarged in locations where existing grade will be lowered on the east and west elevations. Door enlargements will require removal of small sections of brick wall substrate, which was originally below grade. New elements including the base course at excavated wall sections will be a simple compatible cast stone finish and will be minimally visible from the public right-of-way. Existing doors will be lowered and new transoms in a compatible design will be installed above. The new wheelchair lift will be located on a secondary elevation (west) and behind a nearby stair that will be minimally visible from the public right-of-way. Changes at the roof penthouse windows will also be minimally visible and will not remove or damage adjacent distinctive features of the building. Expansion of the roof deck including handrails will not be visible from the public right-of-way.

Standard 3: Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

The proposed project does not propose to add conjectural features or changes that create a false sense of historical development. The introduction of a new cast stone finish below the rusticated granite stone will be simple in design and finish to be compatible with the material, finish, and character of the historic building and surrounding landmark district. The new windows will match previously approved new multi-lite windows in design, materials, and finish. The expanded portion of the roof deck will also match the previously approved contemporary roof deck in design, materials, and finish.

Standard 5: Distinctive features, finishes, and construction techniques or examples of fine craftsmanship that characterize a property will be preserved.

The distinctive finishes and features of the landmark building will be retained and preserved. The proposal includes lowering of existing grade at two elevations and enlargement of existing door openings without removal of distinctive materials or features such as the rusticated granite stone and cast stone. Existing doors will be removed and reinstalled, and new transoms will be inserted above. The new lift will not attach directly to the landmark building. Window changes to the roof penthouse and expansion at new roof deck do not remove historic features. As such, all scopes of work preserve the craftsmanship that characterizes the landmark building and property.

Standard 6: Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary physical evidence.

No historic features are proposed for repair or replacement in this project.

Standard 9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

The proposed project includes lowering of grade at the east and west elevations, which do not change the character of the building exterior at these isolated locations. The new exposed wall base will be a contemporary cast stone finish that is compatible with the original granite and cast stone exterior. The two existing basement doors will be salvaged and reused. New transoms in a design that is compatible with existing doors will be installed over existing lowered doors. The new lift is contemporary in design with painted finish and is of a scale and size that will be minimally visible from the public right-of-way and a proportion that is compatible with the landmark building. The lift will not attach directly to the landmark building and will be designed to provide for proper drainage and maintenance to avoid damage to the landmark property. The proposed window alterations at the roof penthouse include addition of new windows that match previously approved new windows at the roof penthouse and infill of non-historic openings. The expanded portions of the roof deck will also match the previously approved contemporary roof deck design with painted metal deck and guardrails. As such, the exterior alterations are compatible with the historic materials, features, proportion, and spatial relationships that characterize the landmark property and surrounding neighborhood. And the overall scale and proportion of the new lift will not destroy the character of the landmark building.

Standard 10: New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The lowering of grade and new elements will not impact the essential form and integrity of the historic property and its environment if removed in the future. Enlarged basement door openings can be infilled, new transoms easily removed, and existing doors reinstalled in their original locations. The lift will not attach to the building directly and will be designed in a manner to avoid future damage to the building. The exposed brick wall base at both east and west elevations where existing grade is to be lowered, will be covered in a cast stone finish that can be removed in the future and enlarged doors can be infilled to return to their original sizes.

PUBLIC/NEIGHBORHOOD INPUT

The Department has received no public inquiries on the project at the date of this report.

ISSUES & OTHER CONSIDERATIONS

On November 16, 2011, the project applicant Alice Suet Yee Barkley of Mckenna Long & Aldridge filed a Certificate of Appropriateness Application (Case No. 2011.0617A) for the rehabilitation of the subject landmark building and property including a full building seismic upgrade, compliance with fire and life-safety codes, and accessibility upgrades associated with a potential new assembly use.

On May 14, 2015, the current project applicant Seamus Naughton of Dolmen Property Group, also associated with the prior project contact Alice Suet Yee Barkley of Mckenna Long & Aldridge, filed an additional Certificate of Appropriateness Application (Case No. 2011.0617COA-02) for new scopes of work to be undertaken as part of the overall construction work associated with the first Certificate of Appropriateness Application (Case No. 2011.0617A). This current project includes work at the basement level to provide for accessible entrances and changes to the roof penthouse and new deck.

STAFF ANALYSIS

Staff has determined that the proposed work will be in conformance with the requirements of Article 10 and the *Secretary of Interior's Standards for Rehabilitation*. Proposed work will be compatible with the landmark building and property.

Staff finds that the historic character of the property will be retained and preserved by careful excavation and lowering of existing grade along the east and west elevations. Staff has reviewed the details for the proposed new base course and finds that the design is simple and compatible with adjacent granite and cast stone surfaces. The new design will also provide for improved

waterproofing through the installation of a new waterproofing membrane and the new base is designed with an angled edge to allow water to shed away from the building.

Staff has reviewed the details for the proposed new doors at the new accessible basement entrances and determined that the proposed new transoms above existing doors are compatible with the landmark building and will match existing doors in material, profile, and finish. Existing doors will be retained in their original configuration and design, and their finishes restored.

Staff has reviewed the details for the new wheelchair lift on the West Exit Alley and finds that the lift is contemporary in design with painted metal finish and compatible with the existing landmark. To prevent damage to the landmark building and property, the new lift will not attach directly to the building and the area between the lift and the building will be protected to prevent debris from collecting and water from entering the building. Additionally, the lift will be located behind a new stair and minimally visible from the public right-of-way.

Staff has reviewed the details for the proposed alterations at the roof penthouse and finds that all changes are compatible with the landmark building and property. The removal and infill of existing clerestory windows on the south elevation do not remove distinctive materials that characterize the property. The introduction of a new opening with powder-coated louver and new painted multi-lite steel window on the east elevation, and the enlargement of multi-lite steel windows are compatible with the historic materials, size, and proportion of the landmark property. These changes will be minimally visible from the public right-of-way.

Staff has reviewed studies of the expanded roof deck and determined that it will not be visible from the public right-of-way. The expanded roof deck will match the previously approved coated metal deck and handrail details that are clearly contemporary in design.

In order to ensure that details of the rehabilitation of the building and new changes are consistent with the character and visual qualities of the landmark building, the Department recommends the following conditions of approval:

Prior to issuance of the Architectural Addendum, the following shall require review and approval by Planning Department Preservation Staff:

1. Samples of all proposed base course wall finishes at the east and west elevations where grade is lowered.
2. Final details of the new transoms above new accessible basement entrances.

ENVIRONMENTAL REVIEW STATUS

The Planning Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15301 (Class One-Minor Alteration of Existing facility) because the project is a minor alteration of an existing structure and meets the *Secretary of the Interior's Standards*.

PLANNING DEPARTMENT RECOMMENDATION

Planning Department staff recommends APPROVAL WITH CONDITIONS of the proposed project as it appears to meet the *Secretary of the Interior Standards for Rehabilitation*. Staff recommends the following conditions of approval:

Prior to issuance of the Architectural Addendum, the following shall require review and approval by Planning Department Preservation Staff:

1. Samples of all proposed base course wall finishes at the east and west elevations where grade is lowered.
2. Final details of the new transoms above new accessible basement entrances.

ATTACHMENTS

Draft Motion

Parcel Map

Sanborn Map

Aerial Photos

Zoning Map

Site Photos

Certificate of Appropriateness Application

Sponsor Packet

Drawings

Historic Preservation Commission Motion No. 0180, dated December 5, 2012

KW:G:\Kelly\02_Projects\COA\1 Jones Street_Hibernia Bank\2015-07-01_HPC hearing\01_1 Jones_Case Report.doc



SAN FRANCISCO PLANNING DEPARTMENT

Historic Preservation Commission Motion No. XXXX

HEARING DATE: JULY 1, 2015

Hearing Date: July 1, 2015
Filing Date: May 14, 2015
Case No.: **2011.0167COA-02**
Project Address: **1 Jones Street**
Historic Landmark: Landmark #130
Zoning: C-3-G (Downtown General Commercial)
80-T-120-T Height and Bulk District
Block/Lot: 0349/003
Applicant: Seamus Naughton
Dolmen Property Group
1452 Broadway Street
San Francisco, CA 94109
Staff Contact Kelly H. Wong - (415) 575-9100
kelly.wong@sfgov.org
Reviewed By Tim Frye - (415) 558-6625
tim.frye@sfgov.org

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

ADOPTING FINDINGS FOR A CERTIFICATE OF APPROPRIATENESS FOR PROPOSED WORK DETERMINED TO BE APPROPRIATE FOR AND CONSISTENT WITH THE PURPOSES OF ARTICLE 10, TO MEET THE STANDARDS OF ARTICLE 10 AND TO MEET THE SECRETARY OF INTERIOR'S STANDARDS FOR REHABILITATION, FOR THE PROPERTY LOCATED ON LOT 003 IN ASSESSOR'S BLOCK 0349, WITHIN A C-3-G (DOWNTOWN GENERAL COMMERCIAL) ZONING DISTRICT AND A 80-T-120-T HEIGHT AND BULK DISTRICT.

PREAMBLE

WHEREAS, on November 16, 2011, the previous Project Sponsor (Alice Suet Yee Barkley) filed an application with the San Francisco Planning Department (hereinafter "Department") for a Certificate of Appropriateness (Case No. 2011.0617A) to rehabilitate the landmark building and property including a full building seismic upgrade, compliance with fire and life-safety codes, and accessibility upgrades, on the subject property located on lot 003 in Assessor's Block 0349 for a potential new assembly use.

WHEREAS, on May 14, 2015, the current Project Sponsor Seamus Naughton (Project Sponsor), in a team still associated with project contact Alice Suet Yee Barkley, filed an additional application for a Certificate of Appropriateness (Case No. 2011.0617COA-02) for new scopes of work including basement level changes to provide for accessible entrances and alterations to the openings at the roof penthouse and the enlargement of the new deck.

Specifically, the work includes:

- Lowering of exterior grade at both east and west elevations, specifically at the West Alley and East Light Well to provide for new accessible building entrances, lowering of existing doors and installation of new transoms above;
- Installation of one new exterior wheelchair lift at the West Exit Alley;
- Alteration of existing window openings on existing roof penthouse and introduction of one new vent opening; and
- Enlargement of a previously approved roof deck by 277 square feet. (Roof deck approved under Certificate of Appropriateness Case No. 2011.0617A.)

WHEREAS, the Project was determined by the Department to be categorically exempt from environmental review. The Historic Preservation Commission (hereinafter "Commission") has reviewed and concurs with said determination.

WHEREAS, on July 1, 2015, the Commission conducted a duly noticed public hearing on the project, Case No. 2011.0167COA-02 ("Project") for its appropriateness.

WHEREAS, in reviewing the Application, the Commission has had available for its review and consideration case reports, plans, and other materials pertaining to the Project contained in the Department's case files, has reviewed and heard testimony and received materials from interested parties during the public hearing on the Project.

MOVED, that the Commission hereby **APPROVES WITH CONDITIONS** the Certificate of Appropriateness, in conformance with the architectural plans dated January 20, 2015 and labeled Exhibit A on file in the docket for Case 2011.0167COA-02 based on the findings listed below.

CONDITIONS OF APPROVAL

Prior to issuance of the Architectural Addendum, the following shall require review and approval by Planning Department Preservation Staff:

1. Samples of all proposed base course wall finishes at the east and west elevations where grade is lowered.
2. Final details of the new transoms above new accessible basement entrances.

FINDINGS

Having reviewed all the materials identified in the recitals above and having heard oral testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and also constitute findings of the Commission.

2. Findings pursuant to Article 10:

The Historic Preservation Commission has determined that the proposed work is compatible with the character of the landmark building and property.

- The proposal is compatible with, and respects, the character-defining features of the landmark building and property;
- That the architectural character of the landmark building will be maintained;
- The proposed work will not remove, damage or destroy distinguishing original qualities or character of the original historic building;
- That the proposed new wheelchair lift will not attach directly to the building and will be minimally visible from the public right-of-way;
- That the proposed roof deck expansion and railing will have a simple design that is compatible with the character of the building and will not be visible from the public right-of-way; and
- The proposed project meets the following *Secretary of the Interior's Standards for Rehabilitation*:

Standard 1.

A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

Standard 2.

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

Standard 5.

Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.

Standard 6.

Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary physical evidence.

Standard 9.

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work

will be differentiated from the old and will be compatible with the historic materials, features, size, and scale and proportion, and massing to protect the integrity of the property and its environment.

Standard 10.

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

3. **General Plan Compliance.** The proposed Certificate of Appropriateness is, on balance, consistent with the following Objectives and Policies of the General Plan:

I. URBAN DESIGN ELEMENT

THE URBAN DESIGN ELEMENT CONCERNS THE PHYSICAL CHARACTER AND ORDER OF THE CITY, AND THE RELATIONSHIP BETWEEN PEOPLE AND THEIR ENVIRONMENT.

GOALS

The Urban Design Element is concerned both with development and with preservation. It is a concerted effort to recognize the positive attributes of the city, to enhance and conserve those attributes, and to improve the living environment where it is less than satisfactory. The Plan is a definition of quality, a definition based upon human needs.

OBJECTIVE 1

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

POLICY 1.3

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

OBJECTIVE 2

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

POLICY 2.4

Preserve notable landmarks and areas of historic, architectural or aesthetic value, and promote the preservation of other buildings and features that provide continuity with past development.

POLICY 2.5

Use care in remodeling of older buildings, in order to enhance rather than weaken the original character of such buildings.

POLICY 2.7

Recognize and protect outstanding and unique areas that contribute in an extraordinary degree to San Francisco's visual form and character.

The goal of a Certificate of Appropriateness is to provide additional oversight for buildings and districts that are architecturally or culturally significant to the City in order to protect the qualities that are associated with that significance.

The proposed project qualifies for a Certificate of Appropriateness and therefore furthers these policies and objectives by maintaining and preserving the character-defining features of the landmark building for the future enjoyment and education of San Francisco residents and visitors.

4. The proposed project is generally consistent with the eight General Plan priority policies set forth in Section 101.1 in that:

- A) The existing neighborhood-serving retail uses will be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses will be enhanced:

The proposed project will not have any impact on neighborhood serving retail uses.

- B) The existing housing and neighborhood character will be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods:

The proposed project will strengthen neighborhood character by respecting the character-defining features of the landmark district in conformance with the Secretary of the Interior's Standards.

- C) The City's supply of affordable housing will be preserved and enhanced:

The project will not have any impact on the City's supply of affordable housing.

- D) The commuter traffic will not impede MUNI transit service or overburden our streets or neighborhood parking:

The proposed project will not result in commuter traffic impeding MUNI transit service or overburdening the streets or neighborhood parking.

- E) A diverse economic base will be maintained by protecting our industrial and service sectors from displacement due to commercial office development. And future opportunities for resident employment and ownership in these sectors will be enhanced:

The proposed will not have any impact on industrial and service sector jobs.

- F) The City will achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

Preparedness against injury and loss of life in an earthquake is improved by the proposed work. The work will eliminate unsafe conditions at the site and all construction will be executed in compliance with all applicable construction and safety measures.

- G) That landmark and historic buildings will be preserved:

The proposed project is in conformance with Article 10 of the Planning Code and the Secretary of the Interior's Standards.

- H) Parks and open space and their access to sunlight and vistas will be protected from development:

The proposed project will not impact the access to sunlight or vistas for the parks and open space.

5. For these reasons, the proposal overall, is appropriate for and consistent with the purposes of Article 10, meets the standards of Article 10, and the Secretary of Interior's Standards for Rehabilitation, General Plan and Prop M findings of the Planning Code.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **GRANTS WITH CONDITIONS a Certificate of Appropriateness** for the property located at Lot 003 in Assessor's Block 0349 for proposed work in conformance with the renderings and architectural sketches dated April 22, 2015 and labeled Exhibit A on file in the docket for Case No. 2011.0167COA-02.

APPEAL AND EFFECTIVE DATE OF MOTION: The Commission's decision on a Certificate of Appropriateness shall be final unless appealed within thirty (30) days. Any appeal shall be made to the Board of Appeals, unless the proposed project requires Board of Supervisors approval or is appealed to the Board of Supervisors as a conditional use, in which case any appeal shall be made to the Board of Supervisors (see Charter Section 4.135).

Duration of this Certificate of Appropriateness: This Certificate of Appropriateness is issued pursuant to Article 10 of the Planning Code and is valid for a period of three (3) years from the effective date of approval by the Historic Preservation Commission. The authorization and right vested by virtue of this action shall be deemed void and canceled if, within 3 years of the date of this Motion, a site permit or building permit for the Project has not been secured by Project Sponsor.

THIS IS NOT A PERMIT TO COMMENCE ANY WORK OR CHANGE OF OCCUPANCY UNLESS NO BUILDING PERMIT IS REQUIRED. PERMITS FROM THE DEPARTMENT OF BUILDING INSPECTION (and any other appropriate agencies) MUST BE SECURED BEFORE WORK IS STARTED OR OCCUPANCY IS CHANGED.

I hereby certify that the Historical Preservation Commission ADOPTED the foregoing Motion on July 1, 2015.

Jonas P. Ionin
Commission Secretary

AYES:

NAYS:

RECUSED:

ABSENT:

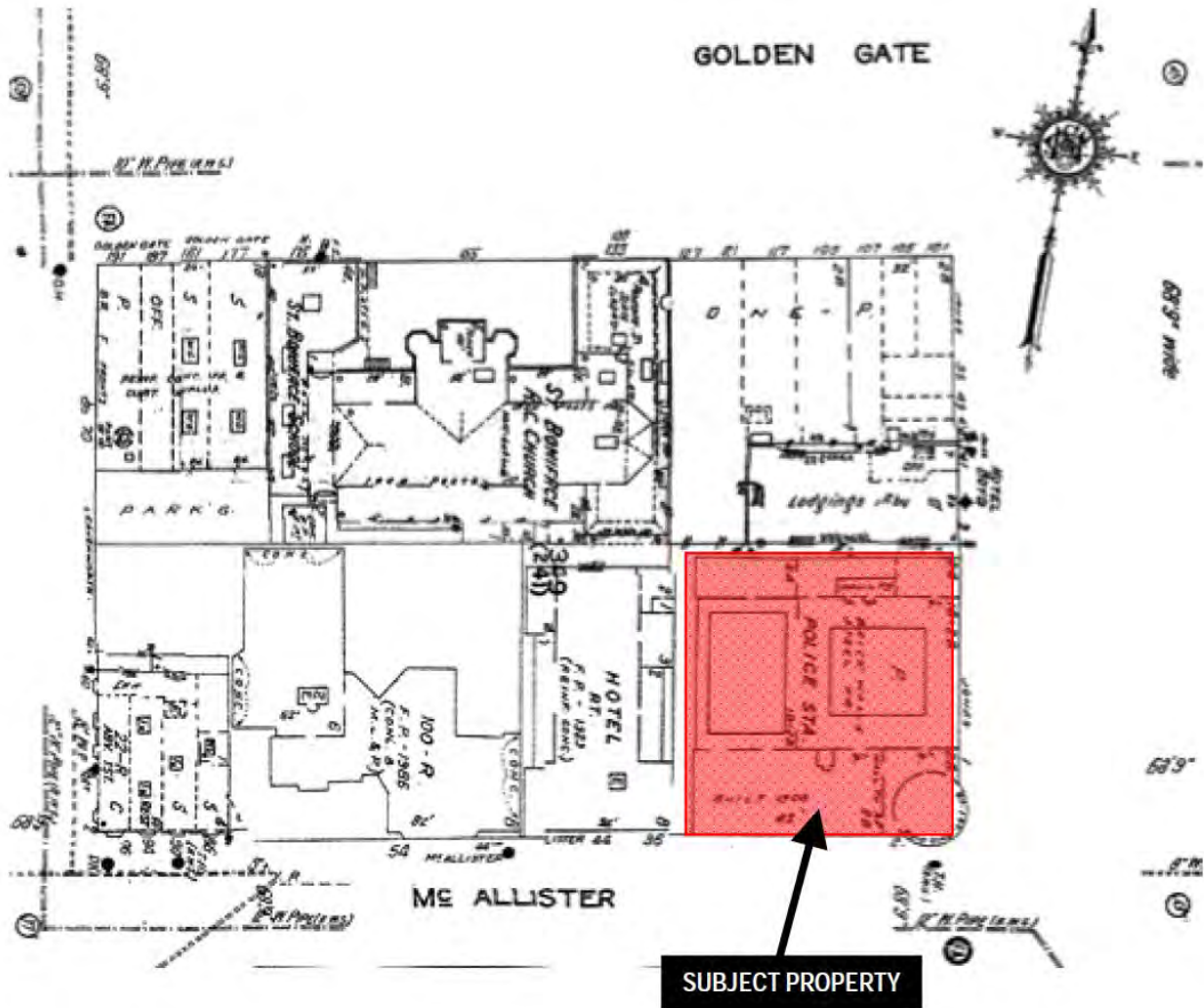
ADOPTED: Jul 1, 2015

Parcel Map



Certificate of Appropriateness Hearing
Case Number 2011.0617COA-02
1 Jones Street

Sanborn Map*



*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Certificate of Appropriateness Hearing
Case Number 2011.0617COA-02
1 Jones Street

Aerial Photo

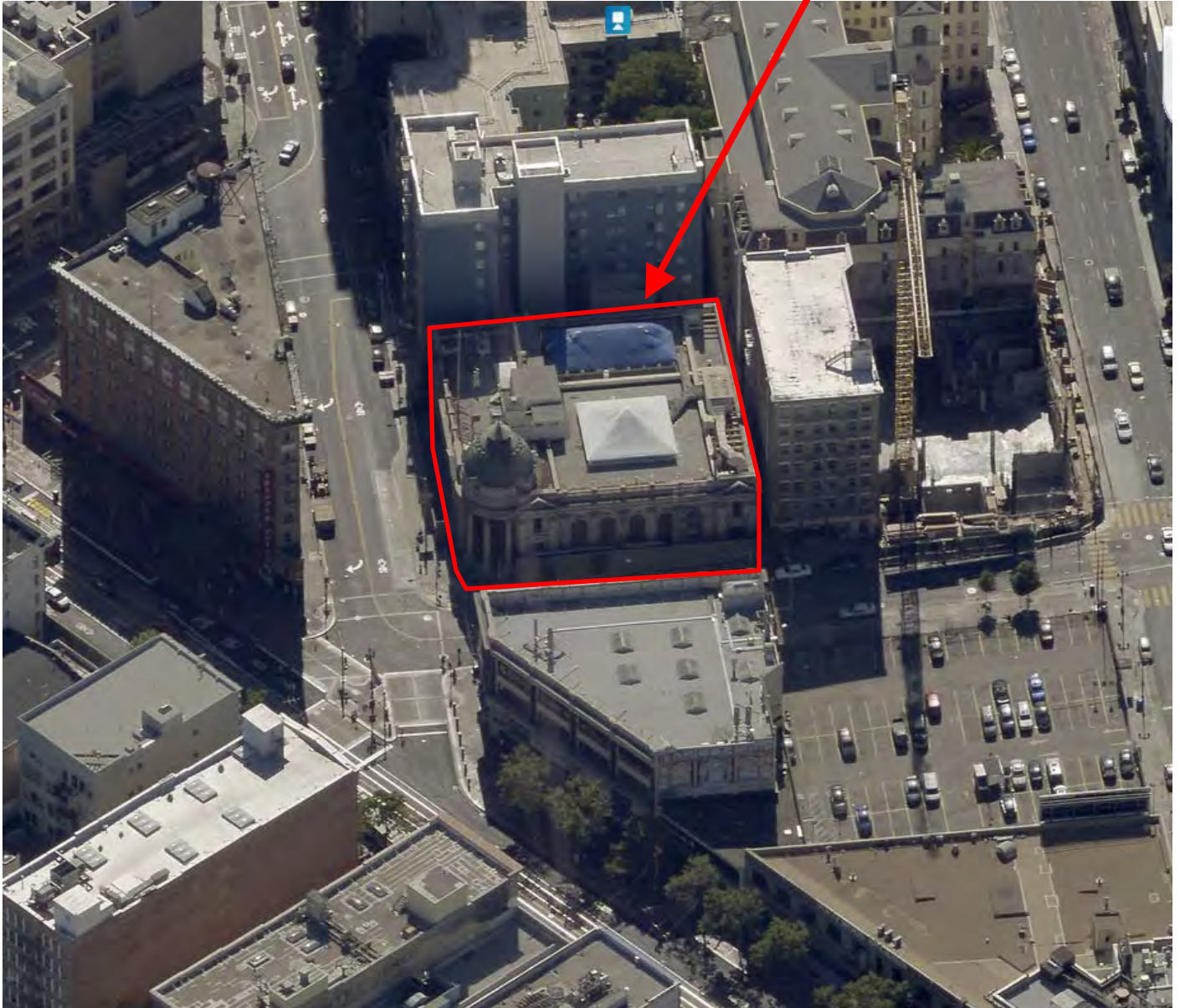
SUBJECT PROPERTY



Certificate of Appropriateness Hearing
Case Number 2011.0617COA-02
1 Jones Street

Aerial Photo

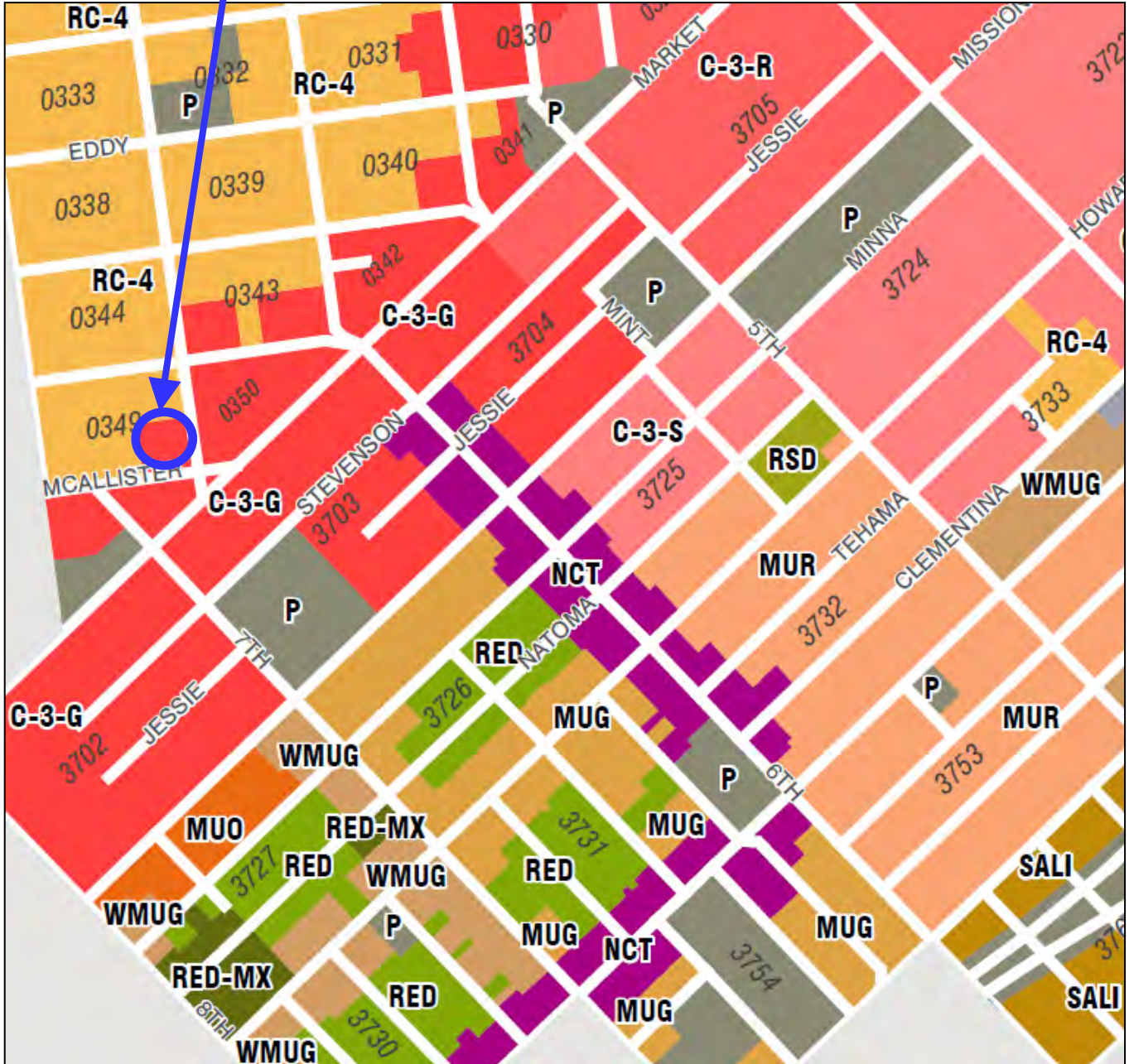
SUBJECT PROPERTY



Certificate of Appropriateness Hearing
Case Number 2011.0617COA-02
1 Jones Street

Zoning Map

SUBJECT PROPERTY



Certificate of Appropriateness Hearing
Case Number 2011.0617COA-02
1 Jones Street

Site Photo



Certificate of Appropriateness Hearing
Case Number 2011.0617COA-02
1 Jones Street



Certificate of Appropriateness Application
Hibernia Bank Building at 1 Jones Street

Prepared for

Historic Preservation Commission, Hearing date: July 1, 2015

Prepared by

Christopher VerPlanck, Principal
VerPlanck Historic Preservation Consulting
57 Post Street, Suite 512
San Francisco, California 94104

t. 415.391.7486
f. 415.391.7486
c.415.606.0920
chris@verplanckconsulting.com

June 18, 2015



Table of Contents

I. Project Team.....	3
II. Preamble.....	4
III. Project Background.....	4
IV. Site Context.....	5
V. Building Context	
A. Historic Context.....	6
B. Existing Conditions.....	8
C. Proposed Project.....	9
Appendix	
1. Certificate of Appropriateness Application	
2. Architectural Drawings	



I. Project Team

Owner:

1 Jones Street ,LLC
1452 Broadway Street
San Francisco, CA 94109
Contact: Seamus Naughton
Phone: (415) 559.1227
seamus@dolmenpropertygroup.com

Historic Architect:

Wiss, Janney, Elstner Associates, Inc.
2000 Powell Street, Suite 1650
Emeryville, CA 94608
Contact: Alan Dreyfuss
Phone: (510) 450-5523
adreyfuss@wje.com

General Contractor:

Landmark Construction
1452 Broadway Street
San Francisco, CA 94109
Contact: Seamus Naughton
Phone: 415.559.1227
seamus@dolmenpropertygroup.com

Project Counsel:

McKenna Long Aldridge
121 Spear Street, Suite 200
San Francisco CA 94105
Contact: Alice Barkley
(415) 828-8222
abarkley@mckennalong.com

Architect:

Elevation Architects, Inc.
1159 Green Street, Suite 4
San Francisco, CA 94109
Contact: Jonathan Pearlman
Phone: (415) 537-1125 x101
jonathan@elevationarchitects.com

Structural Engineer:

Wiss, Janney, Elstner Associates, Inc.
2000 Powell Street, Suite 1650
Emeryville, CA 94608
Contact: Terry Paret
Phone: (510) 450-5523
tparet@wje.com

MEPS Engineer:

MHC Engineers
150 Eighth Street
San Francisco, CA 94103
Contact: Timmy Lai
Phone: (415) 512-7141
timmylai@mhcengr.com

Historical Consultant:

VerPlanck Historic Preservation Consulting
57 Post Street, Suite 512
San Francisco, CA 94104
Contact: Chris VerPlanck
(415) 391-7486
chris@verplanckconsulting.com

II. Preamble

The Hibernia Bank building located at 1 Jones Street, San Francisco (Assessor's Block No. 349, Lot 3), was designated San Francisco City Landmark No. 130 in August 1981. 1 Jones LLC ("Project Sponsor") purchased the building in 2008 with the intent of bringing the building up to current San Francisco Building Code (SFBC) standards, including seismic, fire, accessibility and egress. The Historic Preservation Commission at its December 5, 2012 hearing approved a Certificate of Appropriateness for those changes.

This application for a new Certificate of Appropriateness will describe proposed changes to the project from the 2012 Certificate of Appropriateness application. The proposed work is necessary to meet accessibility requirements and includes several minor modifications to the third floor penthouse. A Historic Structure Report (herein, "HSR"), dated September 15, 2009, prepared by Kelley & VerPlanck, was submitted to the Planning Department as an Exhibit to the 2012 Certificate of Appropriateness. This HSR contains an extensive historical context and description, parts of which are summarized below.



III. Project Background

The Project Sponsor's rehabilitation of the Hibernia Bank was initially approved by the Historic Preservation Commission in a Certificate of Appropriateness approved on December 5, 2012. The unanimous vote found the project compliant under all 10 of the Secretary of the Interior's Standards. The approved project entailed the rehabilitation of the building to meet all current life-safety and accessibility codes and to make it suitable for continued commercial use. Upgrades are being made to the building's mechanical, electrical, and plumbing (MEP) systems and life-safety (including emergency egress) and fire infrastructure.

On the exterior of the building, the white granite cladding and ornamental detailing, the metal windows, roll-up fire shutters, copper dome, and skylight enclosures are being retained and restored. Within the interior, most marble and plaster finishes, historic light fixtures, skylights, and metal doors and door and window casings are being retained and restored. The exterior changes include:

- the construction of two new stair penthouses on the roof
- the replacement of the existing elevator with a new code-compliant elevator (including the construction of a new elevator penthouse enclosure on the roof)
- the conversion of three existing window openings into new exit doors on the north and west elevations
- two small additions to the existing 1935 3rd floor penthouse
- a new roof deck south of the 3rd floor Penthouse Room.

New interior work includes:

- the construction of new toilet rooms at the basement level
- mechanical rooms, and offices in the basement
- modifications to the 1921 bank tellers' counter on the first floor
- the removal of all non-character-defining partition walls and finishes from the second floor office wing.

The seismic work, which is the largest component of the project, includes the construction of several new concrete and cold-formed steel shear walls at various locations, most of which are to be built in inconspicuous, back-of-house spaces. Additional seismic work includes center core drilling and reinforcement along the perimeter walls, and new concrete bond beams and tie-ins on the roof. The project sponsor is currently seeking federal rehabilitation tax credits for the work. Construction began in Spring 2014 with anticipated completion in the Fall of 2015.

IV. Site Context

The project site ("Site") is located at the northwest corner of Jones and McAllister Streets, where Jones, McAllister, and Market streets converge. The Site is in a C-3-G Zoning District and an 80-to-120' height and Bulk District. The 18,906.25 sf Site measures 137.5' x 137.5'. The Site is improved with an approximately 39,330 gsf, 50' high (65' to the top of the dome above the entry rotunda without the ornamental spire) building. The building, designed by Albert Pissis specifically for the Hibernia Bank, is a designated City Landmark (landmark # 130) under Article 10 of the Planning Code, a contributor to the National Register listed Market Street Theater Loft Historic District and a category 1 (Significant) Building under Article 11 of the Planning Code.

The Hibernia Bank Building sits at the juncture of the Tenderloin and the Mid-Market area. The context presents an eclectic mix of uses. Much of building stock dates from the early 20th century, specifically built after the 1906 Earthquake, which destroyed most downtown San Francisco. Building heights range from two-to-eight stories. All are of masonry construction, including concrete, brick, terra cotta, stucco, and a combination of multiple materials. In terms of their style, most buildings in the vicinity adhere to a traditional Renaissance/Baroque vocabulary. The Hibernia Bank Building is one of the architectural highlights of the neighborhood. The property is a contributor to the National Register-listed Mid-Market Theater and Loft District and is adjacent to the Tenderloin/Uptown National Register Historic District and the Article 10 Civic Center Historic District.

With its Beaux Arts Neoclassical architectural vocabulary, the Hibernia Bank Building is a precursor to many buildings in the nearby San Francisco Civic Center, including City Hall, the California State Building, the Veterans Building, the War Memorial Opera House, the Federal Office Building, the Asian Art Museum, and the Bill Graham Civic Auditorium, all of which are within two-to-four blocks of the Hibernia Bank Building. Immediately to the north of the Hibernia Bank Building, on Jones Street, is the Hotel Boyd, a mixed-use SRO residential/commercial building, and to the west of the Site is 44 McAllister Street, another SRO. These residential mid-rise buildings with ground floor retail or commercial space are the predominant building type found in the nearby Tenderloin. Across McAllister Street to the south is the Hotel Renoir, a 1909 flat-iron style building in a Renaissance style. The Hotel is currently being renovated into a boutique hotel as part of the upgrading of the Mid-Market area.

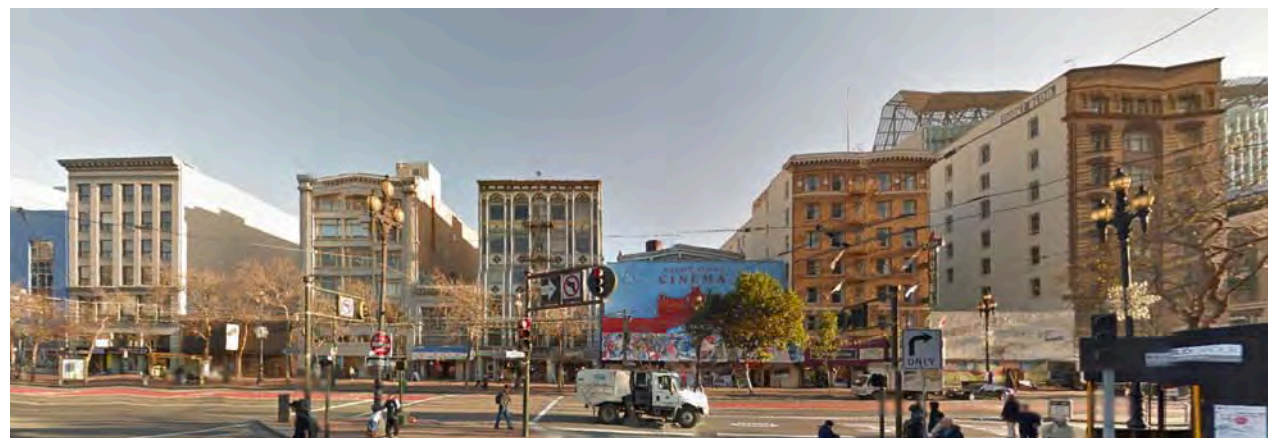


Figure 1: Looking south to Market Street from Jones. The Hibernia Bank is out of the picture to the far right.

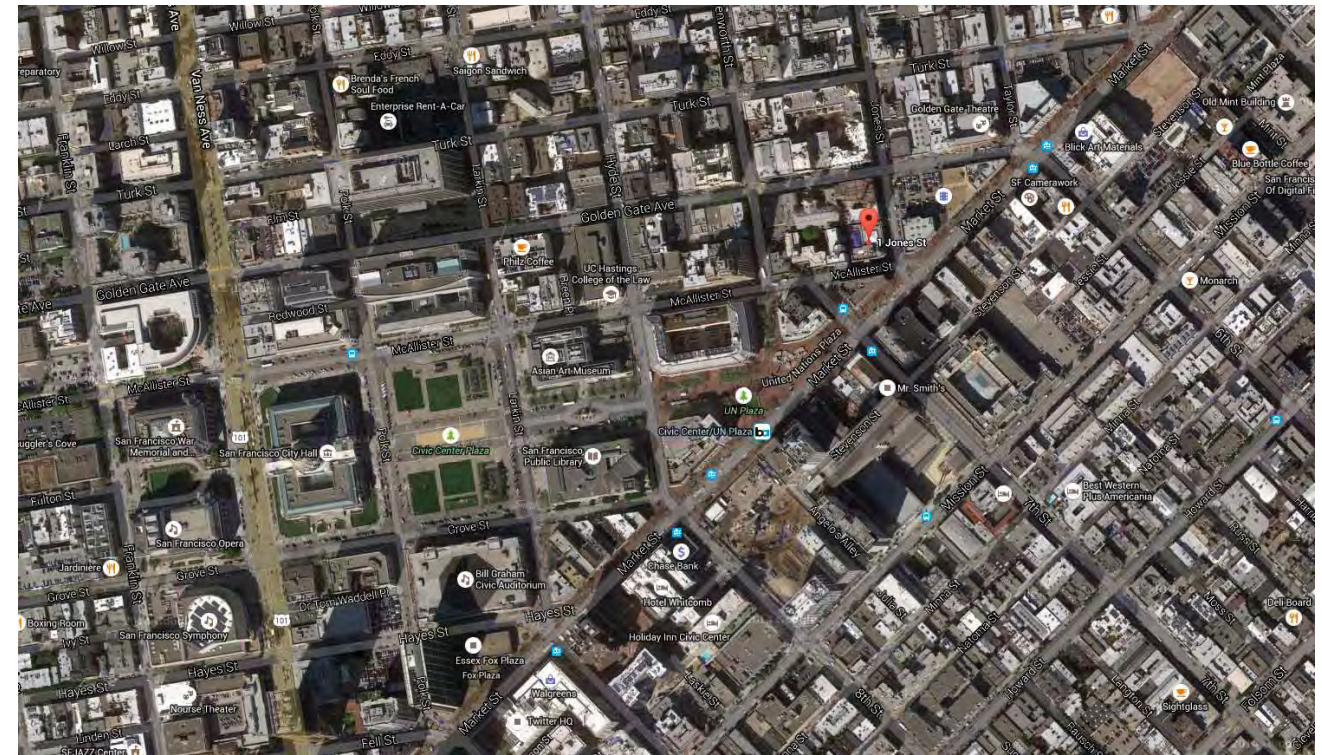


Figure 2: The Hibernia Bank Building sits at the confluence of the Tenderloin to the north of Market, The Mid-Market area and the Civic Center, just to the west.

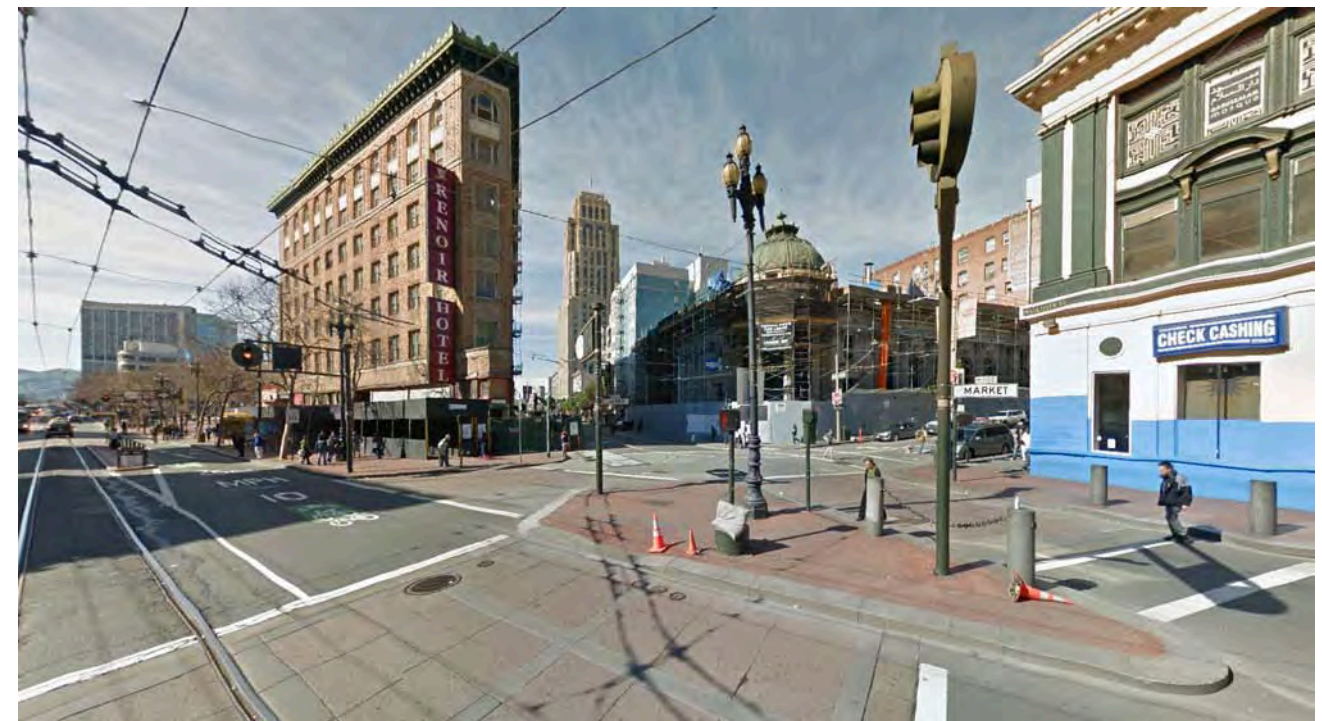


Figure 3: The Hibernia Bank building with the Hotel Renoir along Market Street which runs to the southwest on the left.

V. Building Context

A. Historic Context

The Hibernia Bank was chartered in 1859 by a consortium of prominent Irish immigrant businessmen. It was the first chartered bank in California. The bank served San Francisco's politically and economically powerful Irish community. Unlike many East Coast cities, where entrenched Anglo-American elites excluded Irish-Americans from power, in San Francisco, Irish-Americans were always part of the city's elite. In its early years, the Hibernia Bank played a very important role in the development of San Francisco, the Bay Area, and California at large, lending vast sums of money to construct buildings, build infrastructure, and bring wild lands under cultivation.

Hibernia Bank's first headquarters were located at on Montgomery Street, where it remained for over three decades. In 1888, it acquired a prominent corner lot at the corner of Jones, McAllister, and Market streets, approximately two blocks east of San Francisco's vast new City Hall.

In 1889, the bank's managers held a national design competition, with a prize of \$1,000 going to the winner, to solicit designs for their new headquarters. Twenty firms submitted entries, but the winner was Pissis & Moore, a small local architecture firm composed of Albert Pissis and William P. Moore. Pissis, a young Mexican-born, San Francisco-raised architect trained at the prestigious Ecole des Beaux Arts in Paris. He was the city's foremost practitioner of French Neoclassicism and unarguably the most talented architect in San Francisco during this time.



Figure 4: The Hibernia Bank building under construction at lower left, ca. 1891

Construction of the Hibernia Bank began in 1889. The original structure, which measured 60' x 129' in plan, covered just the eastern two-thirds of the lot, leaving the remainder free for future expansion. The exterior of the building was clad in white granite from Rocklin, California. It featured monolithic fluted Corinthian columns, pediment-capped corner bays, and a copper-clad dome capping an open-air rotunda. The structural system was advanced for the time, consisting of cast iron columns, steel girders, and groin-vaulted floors. As originally built, the floor plan consisted of a large banking room and vault in the northern two-thirds of the building, with a two-story, eight-room office wing in the southern third of the building. The first floor of the office wing contained bank offices and the second floor was home to the prominent law firm of Tobin & Tobin. Completed in 1892, the Hibernia Bank was San Francisco's first true Beaux Arts building and the first of several elaborate banking "temples" that would go up along the north side of Market Street over the following two decades. The newly completed building elicited extensive praise from the local design community as being equal to the best commercial buildings in Paris, London, or New York.

A little over a decade after it was built the Hibernia Bank directors hired Albert Pissis to design an addition for the west side of the building that would enlarge it to fill the lot. This addition increased the building's square footage by approximately one-third. The addition housed an addition to the banking hall, new toilet rooms, and four offices in the office wing. The \$200,000 expansion was completed in March 1906, just one month prior to the 1906 Earthquake and Fire.



Figure 5: The Hibernia Bank building, at left, ca. 1895, prior to the addition of 1905.

The 1906 Earthquake and Fire destroyed downtown, the Tenderloin, the South of Market Area, and much of the Mission district. Though the temblor itself was destructive enough, it was not nearly as catastrophic as the huge firestorms that swept the city as the result of broken gas lines.

The Hibernia Bank Building survived the earthquake fairly well but when the firestorms reached the intersection of Jones and McAllister streets, blistering hot temperatures caused the interior to spontaneously combust, consuming the interior's wood finishes, warping steel beams, and melting the glass windows and skylights. Fires pouring out from inside the building cracked and spalled the exterior granite cladding. Nonetheless, the contents of the vaults survived, though bank officials let them cool off for several weeks to prevent the contents from bursting into flames.

In 1907, the directors of the Hibernia Bank hired contractors to repair the exterior of the building, including the granite cladding, windows, and the installation of new skylights. The interior was also rebuilt using non-combustible materials, including marble floors and wall cladding, metal lath and plaster walls and ceilings, and metal doors, windows, and trim. Corrugated metal fire shutters were installed in the window openings to prevent fire from entering the building from outside. The work was completed in 1908, in time for the San Francisco County Clerk's office to move into the building. The City leased the building for a year while its temporary City Hall was constructed on Market Street. Hibernia Bank and the law firm of Tobin & Tobin moved back into the building in 1909 or 1910.



Figure 6: The mostly intact Hibernia Bank Building with the ruins of the City Hall in the background, April 1906

California banks were allowed to open branch banks after state banking laws were liberalized in 1921. Over the next few decades, Hibernia Bank grew to 21 branches, most of which were located in outlying parts of San Francisco or in nearby suburbs. Arthur Brown, Jr., another paragon of Beaux Arts architecture in the Bay Area designed several of the branch banks, including ones in the Mission, Excelsior, and Richmond districts. The Hibernia Bank Building remained the headquarters for the company for the next seven decades. Throughout this time not many changes were made to the building aside from the replacement of the bank tellers' counters in 1921, and the construction of a new penthouse in 1935. This penthouse, designed by Arthur Brown Jr., housed changing rooms, lockers, toilet rooms, and a lounge for female employees. An elevator was added around the same time. In the 1960s several interior partitions were installed and other minor alterations carried out inside the building.

The neighborhood surrounding the Hibernia Bank Building deteriorated during the 1960s and 1970s. In 1980, Hibernia Bank built a new high-rise headquarters in the Financial District, relegating the Hibernia Bank Building to a branch bank. Five years later, the Hibernia Bank closed its branch at 1 Jones Street. Thomas Yun Li purchased the Hibernia Bank Building in 1985. He leased the vacant building to the San Francisco Police Department in 1991, which used the building as its Central Station until 2000. From 2000 until 2008, it remained vacant. In September 2008, the Hibernia Bank was purchased by 1 Jones Street, LLC. The building is a designated City Landmark (landmark # 130) under Article 10 of the Planning Code, a contributor to the National Register listed Market Street Theater Loft Historic District and a category 1 (Significant) Building under Article 11 of the Planning Code.



The view of the Hibernia Bank Building from Market Street with Jones Street on the right (east) and McAllister Street to the left (west). Photo: June 2009

B. Existing Conditions

The Hibernia Bank Building is described extensively in the 2009 HSR. It is a two-story-over-basement, steel and iron-frame, masonry building with a flat roof. The Jones Street and McAllister Street façades are very similar, with a rusticated granite base, exterior walls built of brick and white granite, including columns, moldings, cornice, parapet, and balustrade. Both street façades, which merge at an open-air rotunda at the corner of Jones and McAllister streets, feature full-height colonnades composed of monolithic, fluted columns capped by Corinthian capitals. Located between the columns are large arched window openings. The corner bays are bracketed by smooth pilasters capped by Corinthian capitals. The capitals support gabled pediments containing figural sculpture work. The two façades are capped by a Corinthian order frieze, a bracketed cornice, granite balustrades, and a copper-clad dome above the rotunda. The west and north façades face internal alleys. Both clad in white granite, these two façades are simplified versions of the two street elevations. On the west façade, the first two bays are detailed the same as the adjoining McAllister Street façade. The remaining bays are simplified, without columns or a fully detailed cornice. The north façade is even simpler.



Figure 8: The Hibernia Bank Building, circa 1930

The Hibernia Bank contains four floor levels, including the basement, first floor, second floor, and penthouse/third floor. Aside for two vaults and the safe deposit viewing area, the basement contains no significant spaces or materials. It is also the most heavily altered part of the building's interior. The first floor level is the most significant part of the interior, containing the main banking hall, the main vault, customer waiting area, vestibules, as well as three bank offices in the south office wing. Most of these spaces are heavily ornamented and finished with expensive materials, including marble floors and

wall trim, decorative plaster walls and ceilings, and ornamental metal light fixtures, heater registers, and other detailing.

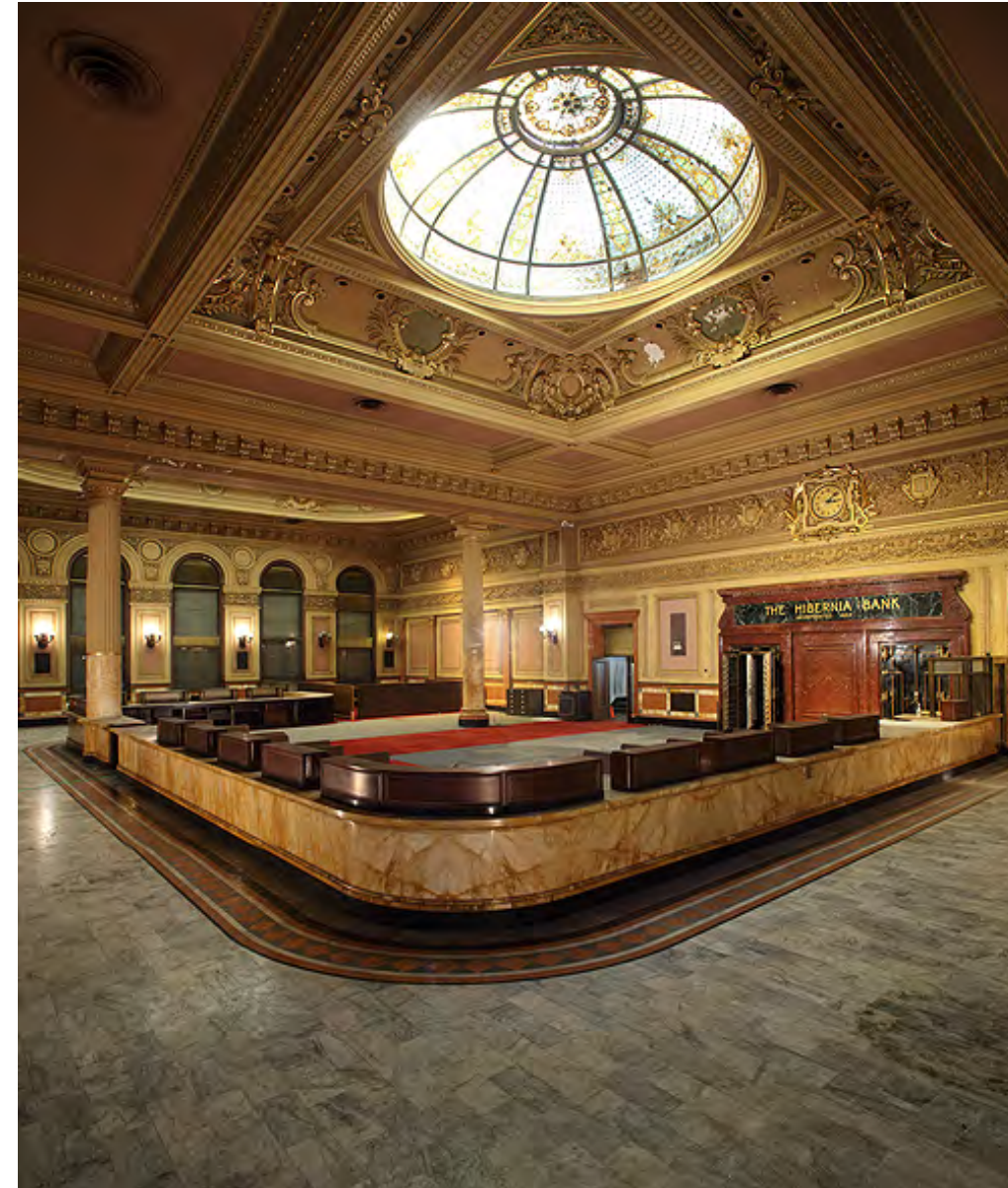


Figure 9: The Banking Hall looking northwest from the Rotunda Entry. The Main Vault is on the right of the photo. Photo: 2012

The banking hall is two-levels high, so the second floor occupies a relatively small section of the floorplate, including the south office wing and the narrow north wing behind the main banking vault. The second floor level of the office wing consists of an office suite that was for decades occupied by the law firm of Tobin & Tobin. This suite is characterized by marble floors and decorative plaster walls and ceilings that resemble the first floor offices. An elaborate stair connects the two floor levels. The entire interior of the office wing has decorative metal doors and casings and fireplaces made of exotic types of colored marble. The second floor level of the north wing is much more utilitarian because it was

historically used for storage. There is also a small mezzanine level in the north wing. The third floor consists of just two spaces: the dome room and the 1935 penthouse; both spaces are finished in utilitarian materials.

C. Proposed Project

The Project Sponsor has made several minor changes to the project approved in the 2012 Certificate of Appropriateness. These modifications, which primarily consist of code-mandated accessibility improvements, require review under Article 10 of the San Francisco Planning Code. However, all of the proposed modifications meet the standards of Article 10 of the San Francisco Planning Code as described in Sec. 1006.7 (a) and (b). The key elements are:

- Lower the floor of the east (Jones Street) lightwell for ADA access
- Lower the floor of the west alley for ADA access
- New ADA-compliant HC-lifts at both the east lightwell and the west alley
- Enlarge the roof deck at the penthouse
- Window changes to the penthouse

Each of the following five sections describes the changes to the proposed project in more depth:

1. Lower the Floor of the East (Jones Street) Lightwell for ADA access

There are two means of access to the basement level of the building, neither of which is presently ADA-compliant. On the east side along Jones Street, there is a lightwell that is accessed by a concrete stair that begins just north of the rotunda. The stair descends to a level that is approximately 1'-9" above the finished basement floor inside the building. There are five deeply inset bronze double-hung windows, each centered under the large arched windows of the banking hall above, on the west wall of the lightwell. The center bay contains a non-historic steel door that accesses the basement via three stairs inside of the door. There is no landing inside the door, which is a tripping hazard and not ADA-compliant (see drawing A-1).

To create a means for accessing the basement level that is ADA-compliant, a new HC-lift would be installed just to the north of the door in the center bay to connect the floor of the light well to the Jones Street sidewalk (see drawings A-11, A-14, A-15 and detail 2/A-21). To reach the basement floor level, a portion of the floor of the light well measuring 29'-0" long would be lowered by 1'-9" so that it is the same level as the basement floor inside the building. The existing concrete stairs at the interior would be removed. The existing non-historic door would be removed and replaced with a compatible steel and glass door that would be the same height as the existing door (see drawings A-14 and detail 5/A-20). A 1'-9"-high glass transom window would infill the gap above the door created by the lowered floor. The opening width of the door and the lintel would not be altered. This proposal is similar to the previously approved new exit doors in the north and west alleys, which remove the lower sash of the double-hung windows and replace them with a compatibly designed door. Three additional steps made of cast-in-place concrete would be built 5'-0" from the base of the existing steps to the light well floor to accommodate the increased depth (see: A-11 and detail 8/A-20).



Figure 10: The Jones Street light well is located beneath the arched windows along the east side of the building



Figure 11: The light well is accessed by a stair that is located just to the north of the Entry Rotunda stair along Jones Street. The door to the basement is to the right of this photo. The floor to the right of the window opening is to be lowered to align with basement floor.

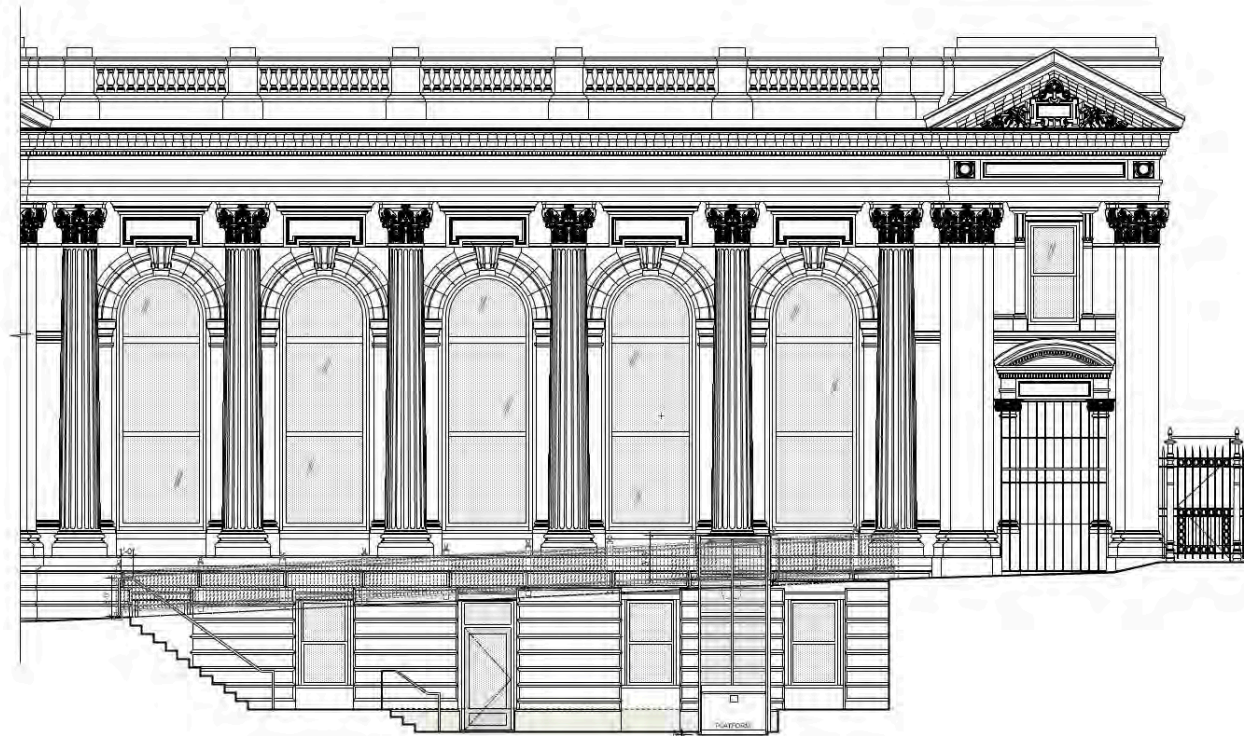


Figure 12: This section drawing shows the Jones Street (East) light well. The light well is accessed by a stair that is located just to the north of the Entry Rotunda (left in this drawing). The proposed change includes lowering the floor of the light well, adding 3 stairs, adding a new door and transom at the center bay and adding the HC-lift between the two northern-most basement windows.

At the area of excavation, the brick foundation would be exposed below the existing rusticated granite water table. One wythe of brick would be removed (approximately 3" in depth) and a new cast stone base would be installed. The design of the new base would be distinguished from the adjoining granite rustication with a simple top chamfer that would project out from the face of the granite, and a smooth face that would extend to the ground (see drawing detail 2/A-20). The finish would be compatible in surface texture and color to the adjoining granite water table.

Adequate space (6") would be provided between the face of the building and the HC-lift to allow for maintenance should any debris get into that space. Given the spacing between the belt course below the banking hall windows and the back of the lift (approximately 1" to 2") some rain may get down into the light well. The platform accessing the HC-lift at the sidewalk level would be an open metal grate that would allow light into the light well below. Given that the existing condition has the light well completely open to the sky and has floor drains, the new condition would significantly reduce the amount of rain and debris that could get into the light well. The depressed slab under the HC-lift would have a new drain, which would tie into the existing drain line beneath the light well floor.

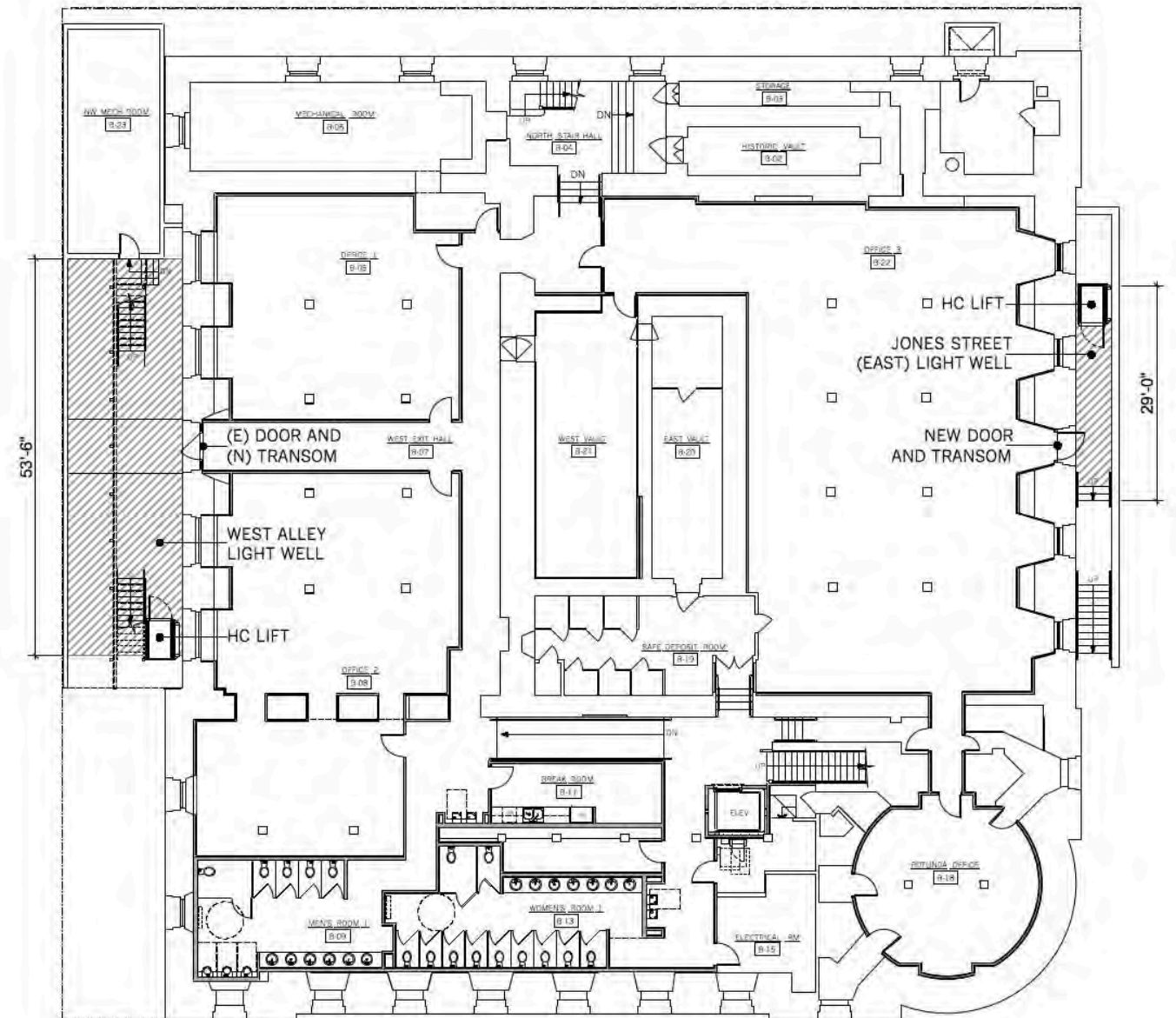


Figure 13: The basement plan locates the two light wells.

2. Lower the Floor of the West Alley for ADA access

Similar to the work described above for the east lightwell, at the west alley, the excavation would occur along the 53'-6" length of the existing depressed well area. The depth of excavation is approximately 2'-10" at its deepest point at the center, in front of the entrance door to the basement. The least amount of excavation would be at the south end of the well at 1'-11" (see drawings A-11 and A-16). The water table of the building is granite from the face at McAllister to the corner at the point where the south stairs descend to the well. From there to the northwest corner and along the north alley, the west wall of the basement level is stucco below the belt course that demarks the first floor. The length of the

west elevation at the area that would be affected by the excavation is made of stucco over the brick structure.

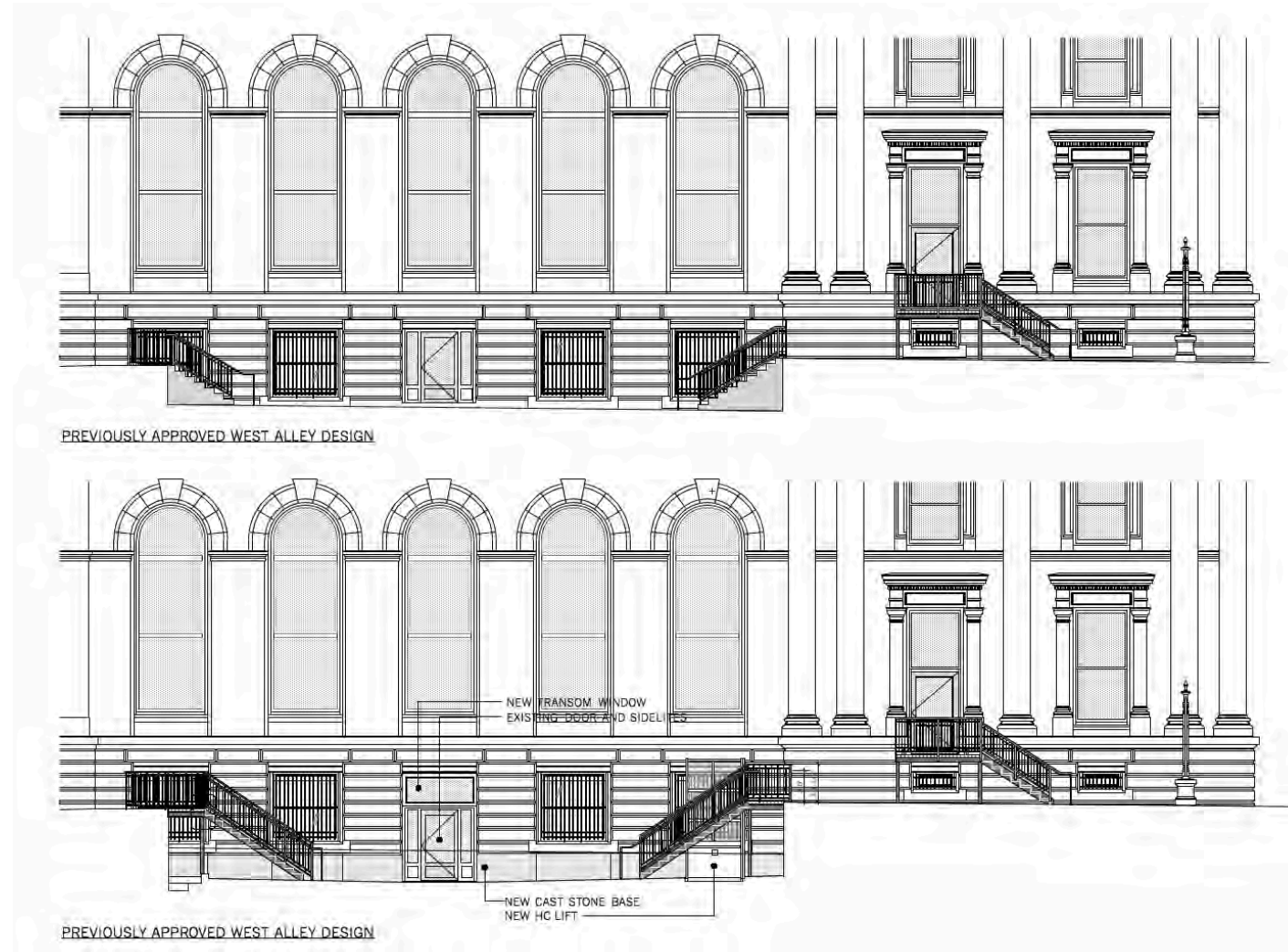


Figure 14: Approved and proposed elevations of the west alley. Changes proposed include: lowering the alley floor to the level of the basement, lowering the existing center door to the basement level and adding a transom window above, adding a new cast stone base and adding a HC-lift.



Figure 15: The west alley light well is sunken, but not to the basement floor level. The gate at the center is the access door to the basement and there are 6 steps down to the basement floor level (right). The material below the water table course is stucco over brick except for the lintels, which are granite (left).

As in the east light well, an ADA-compliant HC lift would be installed at the corner of the west alley that is just beyond the southwest corner of the banking hall. The lift would be adjacent to the new steel stair that will descend into the well of the west alley. This stair, as well as several other changes to the west alley, was approved in the 2012 Certificate of Appropriateness.

There is an existing door to the basement in the center bay of the west elevation. The door is bronze with a glass panel and sits below a large, smooth cut, granite lintel and has a granite sill stone. The project proposes to lower the sill stone and the door and infill the upper portion of the opening with a new transom window (see drawing A-16 and detail 7/A-20). The width of the opening and the lintel would not be altered. This part of the proposed project is similar to the previously approved new exit doors in the north and west alley, which would remove the lower sash of a double-hung window and replace it with a compatibly designed door.

The design of the proposed cast stone base in the west alley would be similar to the one in the east light well. Within the area of excavation, the brick foundation would be exposed below the rusticated base. One wythe of brick would be removed (approximately 3" in depth) and a new, cast stone base would be installed. The design of the new base would be distinguished from the adjoining granite rustication with a simple top chamfer that projects out from the face of the granite and a smooth face

that extends to the ground (see detail 2/A-20). The finish would be compatible in regard to surface texture and color.

Similar to the east lightwell, an adequate space (6") would be provided between the face of the building and the HC-lift to allow for maintenance should any debris get into that space. The depressed slab under the HC-lift would have a new French drain, which would tie into the new drain line that would be built under the new lower west alley floor.

3. ADA-compliant HC Lifts at the East Lightwell and West Alley

To provide independent access to the basement level of the building, ADA-compliant vertical platform lifts would be added to both the east and west sides of the building. Neither of these lifts would affect historic materials or character-defining features of the building, as they are self-supporting and not physically attached to the building. The design of the lift is simple with steel frames painted to match a grey color of the building's granite. The exterior will be structural glass. These lifts would clearly be a new element of the building and would, therefore, be differentiated from the building (see drawings A-15 and A-16)

To access the vertical platform lift from Jones Street, a hot-dipped galvanized grating platform would be installed between the wall of the north end of the east lightwell and the platform of the lift (see drawing A-14 and details 4,5,6/A-21). This grating is identical to the grating platform that has been approved in the 2012 Certificate of Appropriateness and the site permit at the north alley exit walkway.



Figure 16: Examples of the proposed HC-lift. These are for illustration only. Actual lift will have inboard steel with structural glass exterior. Steel frame will be painted to reference grey granite of the building. The final design will be reviewed by the planner prior to construction.

4. Enlarge the roof deck at the penthouse

In the original 2012 Certificate of Appropriateness, the roof deck south of the penthouse on the 3rd floor extended 20'-3" from the south face of the penthouse toward McAllister Street and 27'-4" west

from the east edge of the penthouse (see drawings A-5 and A-9). In this previously approved configuration, the new guardrail along the south edge of the deck would not be visible from public rights-of-way. As approved, the guardrail is to be painted metal with a design that is classic in character, compatible, yet differentiated from any railings in the building.

The amended project proposes to expand the deck length by 17'-10" along its south edge and retain the 20'-3" dimension south of the penthouse (see drawings A-13 and A-18). This north-south measurement aligns with the previously approved configuration and as such, it still would not be visible from any public rights-of-way. The guardrail would be the same materials and design as previously approved. This expansion of the deck would have no affect on any of the historic materials that characterize the property.

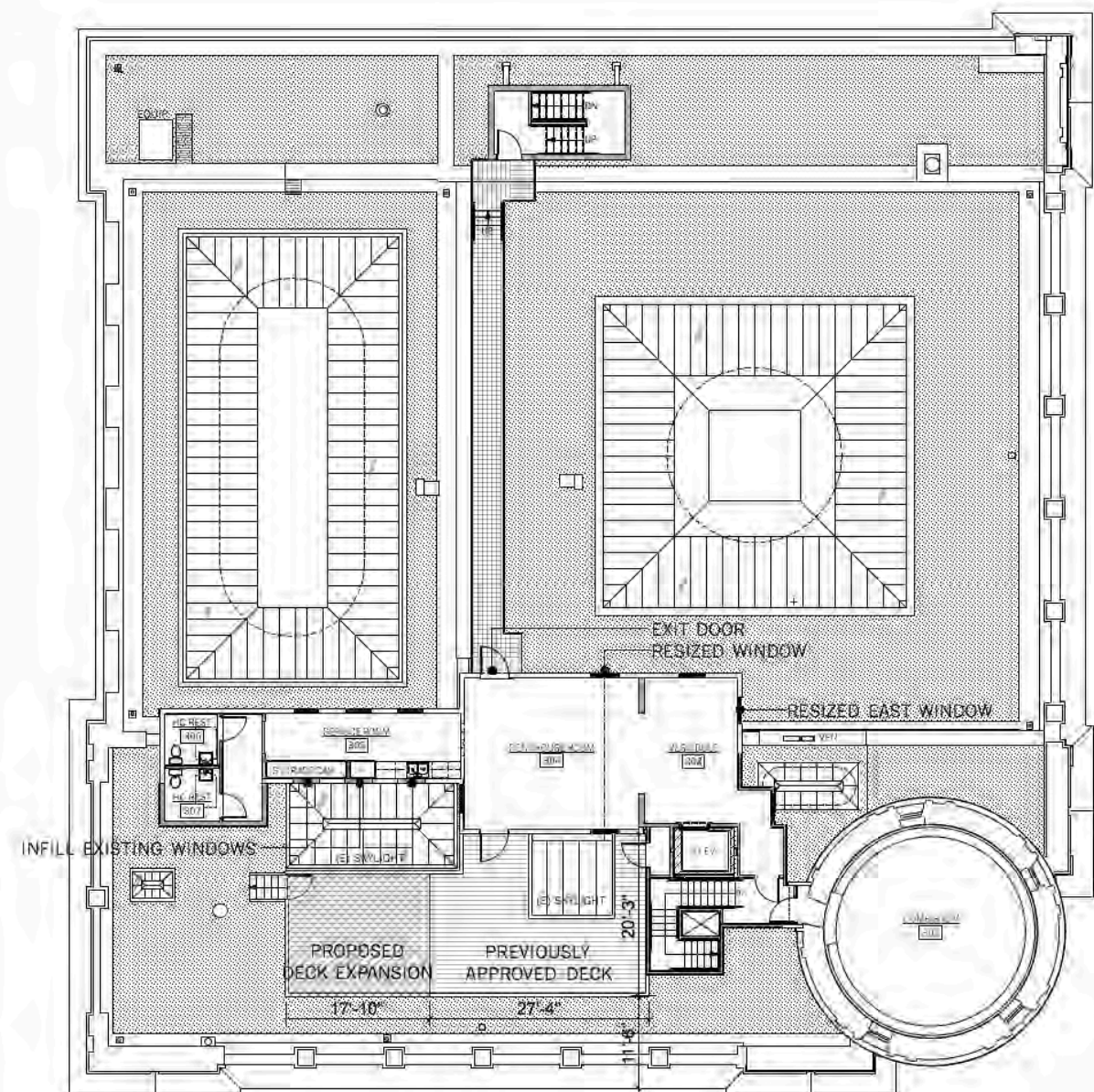


Figure 17: 3rd floor plan locates the proposed changes including: expanding the deck, resizing the northeast window in the Penthouse Room and infilling the three high windows in the service area.

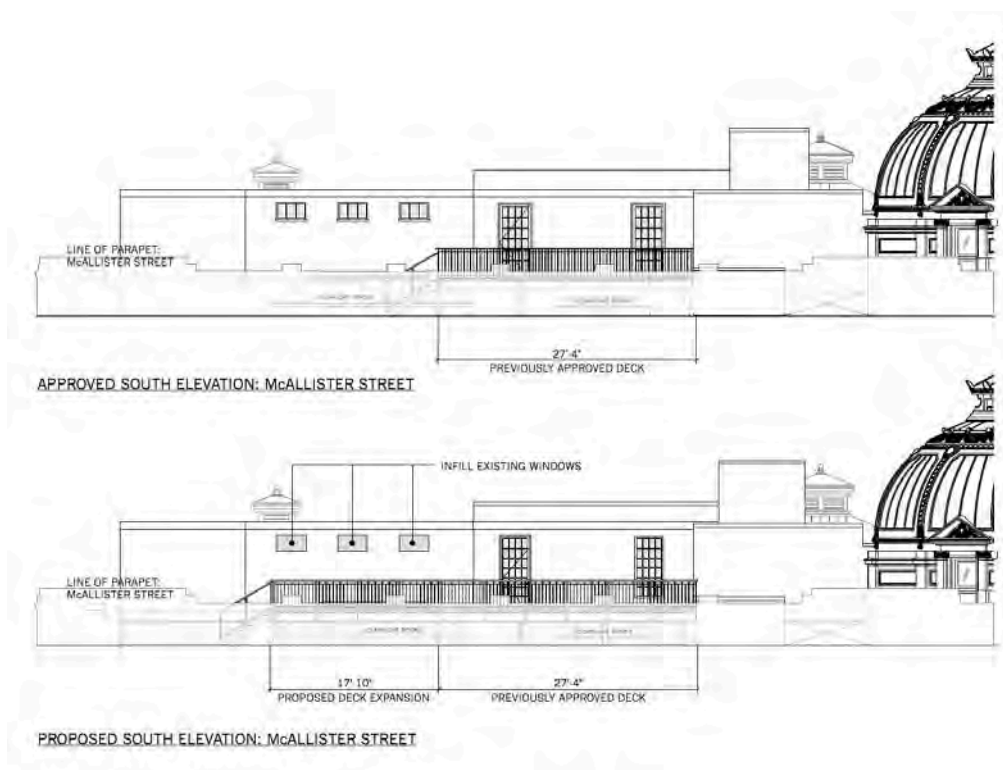


Figure 18: Previously approved deck and proposed expansion of the deck area.

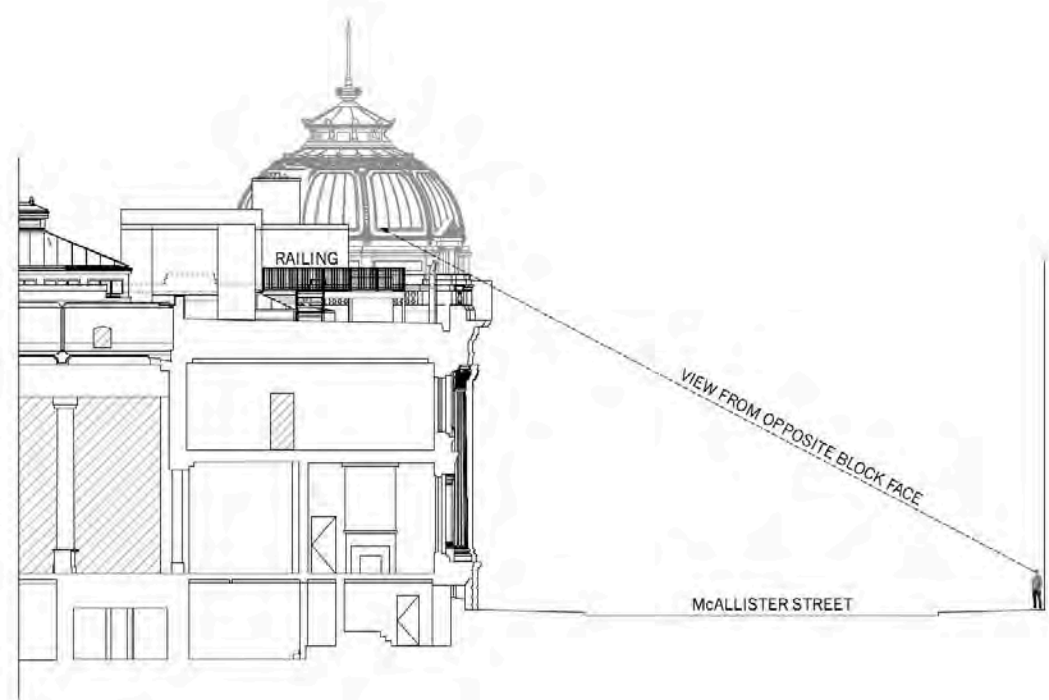


Figure 19: The railing, both the previously approved and the one on the proposed expanded deck area will not be seen from the McAllister Street right-of-way. For the railing to be seen, one would need to be over 420' away from the face of the Hibernia Bank Building.

5. Window changes to the 3rd floor and penthouse

As noted in previous documentation, the penthouse is a contributing feature to the building due to its association with its architect, Arthur Brown, Jr., and because it was built during the period of significance. It is not significant for its distinctive design, construction method, or materials. The materials of construction are utilitarian plaster over metal studs. None of the walls of the 3rd floor structure can be seen from the public rights-of-way. The changes in the amended project include:

- Enlarging the east window on the north elevation of the penthouse by removing the area below the sill and extending the window to the floor. As approved in the 2012 Certificate of Appropriateness (see drawing A-8), the other three windows of the penthouse room would also be changed to doors. The room is symmetrical so the enlargement of the window to match the others would retain the addition's symmetry without altering its form or size (see drawing A-17).
- Enlarging the window at the east elevation of the penthouse lobby by removing the wall area below the sill and extending the window to the floor. This window was a high window that was installed to provide light and ventilation to the small kitchen (see drawing A-10). This kitchen would be removed as part of the previously approved 2012 Certificate of Appropriateness and will now become part of the elevator lobby, which will access the penthouse room and the dome room at the 3rd floor level. The larger window would provide views of the northwest side of the dome, with its impressive carved stone base and highly ornamental copper roofing (see drawing A-19).
- Remove three small high windows in the service area and infill the resulting voids with materials to match adjacent surface and construction (see drawings A-9 and A-18). These windows would be located behind a new kitchen and storage area in the service hall. The matching windows on the north side would bring light and ventilation into this service area. (see drawings A-9 and A-18).

The existing steel doors and windows of the penthouse are severely deteriorated –in many places they are fully rusted through. As these are not considered to be significant historic materials, they will all be replaced in-kind. The replacement windows will be of steel construction with rail, stile and mullion profiles similar to the existing. New windows and doors would be painted or coated with an opaque, non-metallic color.



Figure 20: The tall window on the right (center of photo) becomes an exit door from the Penthouse Room as previously approved. The window on the left is proposed to be extended to the floor.



Figure 22: From the vent stack to the left is the area of the new East Hall that was approved in the earlier Certificate of Appropriateness. The window to the right is the one noted here.



Figure 21: Interior of the Penthouse Room looking North. The window on the left will become an exit door that matches the two doors on the South wall that lead to the exterior roof deck. The window on the right is to be replaced with a fixed window proposed to match the exit door.



Figure 23: Looking west from the Penthouse Room. The three windows include the one in the upper right of the picture and the two beyond the duct near the center of the photo.

HIBERNIA BANK RENOVATION

1 JONES STREET, SAN FRANCISCO, CA 94102



GLOSSARY

ABV.	ABOVE	MAX.	MAXIMUM
A.D.	AREA DRAIN	MED	MEDICINE CABINET
ADJ	ADJACENT	MECH	MECHANICAL
ACT	ACOUSTIC CEILING TILE	MIN.	MINIMUM
AFF	ABOVE FINISH FLOOR	MTL	METAL
ALUM	ALUMINUM	MV	MICROWAVE
BLKG	BLOCKING	(N)	NEW
BLDG	BUILDING	N.I.C.	NOT IN CONTRACT
BD	BOARD	NTS	NOT TO SCALE
CL	CENTERLINE	O.C.	ON CENTER
CLR	CLEAR	O/	OVER
CONC	CONCRETE	OD	OVERFLOW DRAIN
CONT	CONTINUOUS	O.H.	OPPOSITE HAND
CPT	CARPET		
CT	CERAMIC TILE	PLAM	PLASTIC LAMINATE
		PLY	PLYWOOD
		PTD	PAINTED
DIA	DIAMETER		
DIM.	DIMENSION		
DIMS.	DIMENSIONS	RAD	RADICAL
DN	DOWN	REF	REFRIGERATOR
DWG	DRAWING	REQ.	REQUIRED
		RB	RUBBER BASE
		RM	ROOM
(E), EX.	EXISTING	RO	ROUGH OPENING
EA.	EACH	RDWD	REDWOOD
EJ	EXPANSION JOINT		
ELEC	ELECTRIC		
EL., ELEV.	ELEVATION	SC	SOLID CORE
EMB.	EMBEDDED	SHTG	SHEETING
EQ	EQUAL	SHT	SHEET
EXT	EXTERIOR	SIM	SIMILAR
		SQ	SQUARE
		S.S.D.	SEE STRUCTURAL DWGS
FA	FIRE ALARM	STL	STEEL
FD	FLOOR DRAIN	ST. STL	STAINLESS STEEL
FF	FINISH FLOOR	STOR	STORAGE
FLR	FLOOR	STRL	STRUCTURAL
F.O.S.	FACE OF STUD	STV	SHEET VINYL
F.O.M.	FACE OF MASONRY		
GA	GAUGE	T&G	TONGUE AND GROOVE
GALV	GALVANIZED	T.C.	TOP OF CURB
GL	GLASS	TEL	TELEPHONE
GND	GROUND	T.O.S.	TOP OF STEEL
GSM	GALVANIZED SHEET METAL	T.O.W.	TOP OF WALL
GYP. BD.	GYP. BOARD	TYP.	TYPICAL
GWB	GYP. WALLBOARD		
		U.O.N.	UNLESS OTHERWISE NOTED
HB	HOSE BIB		
HC	HANDICAPPED	VCT	VINYL COMPOSITION TILE
HM	HOLLOW METAL	VERT.	VERTICAL
H.P.	HOUSE PANEL	V.I.F.	VERIFY IN FIELD
HT	HEIGHT		
		WD	WOOD
		W/D	WASHER AND DRYER
INS.	INSULATION	W/	WITH
INSUL.	INSULATION	WC	WATER CLOSET
INT	INTERIOR	WH	WATER HEATER
		WP	WATERPROOF
JAN	JANITOR CLOSET		
KIT	KITCHEN		
LAV	LAVATORY		
LT	LIGHT		

WALL TYPES

	EXISTING	NEW
NON-RATED WALL	=====	=====
1 HOUR RATED WALL	=====	=====
2 HOUR RATED WALL	=====	=====

	ELEVATION KEY
	DETAIL KEY
	SECTION KEY
	WALL TYPE KEY
	DOOR NUMBER KEY
	WINDOW TYPE KEY
	REVISION CLOUD & KEY

GENERAL NOTES

- THESE DRAWINGS CONSTITUTE A PORTION OF THE CONTRACT DOCUMENTS AS DEFINED IN AIA DOCUMENT A201, THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION. REFER TO PROJECT MANUAL.
- IN BEGINNING WORK, CONTRACTOR ACKNOWLEDGES THOROUGH FAMILIARITY WITH THE BUILDING SITE CONDITIONS, WITH THE DRAWINGS AND SPECIFICATIONS, WITH THE DELIVERY FACILITIES AND ALL OTHER MATTERS AND CONDITIONS WHICH MAY AFFECT THE OPERATIONS AND COMPLETION OF THE WORK AND ASSUMES ALL RISK. CONTRACTOR TO VERIFY SURVEY DIMENSIONS BEFORE COMMENCING WORK. CONTRACTOR SHALL REPORT, AT ONCE, TO THE ARCHITECT ANY ERROR, INCONSISTENCY OR OMISSION THAT MAY BE DISCOVERED AND CORRECT AS DIRECTED, IN WRITING, BY THE ARCHITECT.
- BY ACCEPTING AND USING THESE DRAWINGS, CONTRACTOR AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE SAFETY CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ARCHITECT HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF THE WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER, THE ARCHITECT OR ANY UNAUTHORIZED PERSON ON THE SITE WITHOUT PERMISSION OF THE CONTRACTOR.
- ARCHITECT AND OWNER WILL NOT BE RESPONSIBLE FOR ANY CHANGES IN PLANS, DETAILS OR SPECIFICATIONS UNLESS APPROVED IN WRITING IN ADVANCE OF CONSTRUCTION.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE MADE COMPLETELY RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS SHOWN AND A WRITTEN CHANGE ORDER REQUEST SHALL BE ISSUED BEFORE MAKING ANY CHANGES AT THE JOB SITE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ANY AND ALL EXISTING UNDERGROUND UTILITIES. ALL DAMAGE TO SUCH SHALL BE REPAIRED AT CONTRACTOR EXPENSE.
- CONTRACTOR TO PROVIDE BRACING AND SUPPORT AS REQUIRED TO MAINTAIN THE INTEGRITY AND SAFETY OF THE EXISTING STRUCTURE AND ADJACENT STRUCTURE(S) AS NECESSARY.
- ALL DIMENSIONS ARE TO FACE OF STUD, FACE OF CMU OR CENTERLINE OF STEEL, UNLESS OTHERWISE NOTED.
- ALL EXISTING WALLS, FLOORS AND CEILING AT REMOVED, NEW OR MODIFIED CONSTRUCTION SHALL BE PATCHED AS REQUIRED TO MAKE SURFACES WHOLE, SOUND AND TO MATCH EXISTING ADJACENT CONSTRUCTION, EXCEPT AS OTHERWISE NOTED.
- ALL WORK SHALL BE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL BUILDING CODES AND SAFETY ORDINANCES IN EFFECT AT THE PLACE OF BUILDING.
- ALL DRAWINGS, SPECIFICATIONS AND COPIES THEREOF FURNISHED BY THE ARCHITECT ARE COPYRIGHTED DOCUMENTS AND SHALL REMAIN THE PROPERTY OF ELEVATION ARCHITECTS. THESE DOCUMENTS ARE THE INSTRUMENTS OF SERVICE AND AS SUCH, SHALL REMAIN THE PROPERTY OF ELEVATION ARCHITECTS WHETHER THE PROJECT FOR WHICH THEY ARE INTENDED IS EXECUTED OR NOT. THESE DOCUMENTS SHALL NOT BE USED BY ANYONE FOR OTHER PROJECTS, ADDITIONS TO THIS PROJECT OR FOR COMPLETION OF THIS PROJECT BY OTHERS EXCEPT AS AGREED IN WRITING BY ELEVATION ARCHITECTS AND WITH APPROPRIATE COMPENSATION.

SUBMISSION OR DISTRIBUTION TO MEET OFFICIAL REGULATORY REQUIREMENTS OR FOR OTHER PURPOSES IN CONNECTION WITH THE PROJECT IS NOT TO BE CONSTRUED AS PUBLICATION IN DEROGATION OF THE ARCHITECT'S COMMON LAW COPYRIGHT OR OTHER RESERVED RIGHTS.

12. THE CONTRACTOR SHALL TAKE APPROPRIATE STEPS THROUGHOUT THE EXECUTION OF THE PROJECT TO PREVENT AIRBORNE DUST DUE TO THE WORK. MAINTAIN WORK AREAS CLEAN AND FREE FROM UNDUE ENCUMBRANCES AND REMOVE SURPLUS MATERIALS AND WASTE AS THE WORK PROGRESSES.

13. IT IS THE INTENT OF THESE DOCUMENTS TO FULLY COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND TITLE 24 OF THE CALIFORNIA CODE OF REGULATIONS. WHERE A REQUIREMENT IS IN CONFLICT, THE MORE STRINGENT REQUIREMENT SHALL GOVERN. WHERE DIMENSIONS, SLOPE GRADIENTS AND OTHER CRITICAL CRITERIA ARE NOTED, THEY ARE TO BE ADHERED TO EXACTLY, UNLESS NOTED AS APPROXIMATE. CONTRACTOR'S FAILURE TO COMPLY WITH ANY PROVISION DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS RELATED TO THESE ACCESSIBILITY LAWS AND CODES WILL REQUIRE CORRECTION, AT CONTRACTOR'S EXPENSE. WHERE MAXIMUM DIMENSIONS AND SLOPE GRADIENTS ARE NOTED, NO EXCEPTION WILL BE MADE FOR EXCEEDING THESE REQUIREMENTS.

PLANNING DEPARTMENT NOTES

PROJECT LOCATION: 1 JONES STREET
 BLOCK/LOT: 0349/003
 ZONING: C-3-G DOWNTOWN GENERAL
 HEIGHT/BULK: 80-120'-T
 LOT AREA: 18,906 SF
 EXISTING USE: BANK & OFFICE
 PROPOSED USE: ASSEMBLY & OFFICE
 SETBACKS: EXISTING
 FRONT (EAST): 0'-0"
 FRONT (SOUTH): 0'-0"
 SIDE (WEST): 13'-9"
 SIDE (NORTH): 6'-6"
 HEIGHT LIMIT: 105'-0"
 (E) BUILDING HEIGHT: 65'-0" TO TOP OF DOME
 PARKING: NONE

BUILDING DEPARTMENT NOTES

EXISTING OCCUPANCY: B
 OCCUPANCY CLASSIFICATION: MIXED USE OCCUPANCY
 SEC. 303.1: ASSEMBLY GROUP A-2
 SEC. 304.1: BUSINESS GROUP B

OCCUPANCY SEPARATION: TABLE 508.4: 1-HOUR BETWEEN A AND B WITH AUTOMATIC SPRINKLER SYSTEM, SEPARATION NOT REQUIRED: SEE A.0.2 FOR PRE-APPLICATION NOTES.

CONSTRUCTION TYPE : IIIB

EXISTING BUILDING: 65 FT/3 STORIES OVER BASEMENT

MAXIMUM HEIGHT/STORIES: TABLE 503
 GROUP A-2: 55 FT/2 STORIES
 GROUP B: 55 FT/3 STORIES

SECTION 504.2: AUTOMATIC SPRINKLER SYSTEM INCREASE:
 1 STORY AND 20 FEET
 GROUP A-2: 75 FT/3 STORIES
 GROUP B: 75 FT/4 STORIES

ALLOWABLE AREA BY OCCUPANCY: TABLE 503
 GROUP A-2: 9,500 SF
 GROUP B: 19,000 SF

SECTION 506: BUILDING AREA MODIFICATIONS
 SEC. 506.1: EQUATION 5-1
 SEC. 506.2: EQUATION 5-2 FRONTAGE INCREASE: 0.25
 SEC. 506.3: AUTOMATIC SPRINKLER INCREASE: 200 PERCENT
 GROUP A-2: 30,875 SF
 GROUP B: 61,750 SF

TOTAL ALLOWABLE AREA:
 SEC. 506.5 MIXED OCCUPANCY AREA DETERMINATION
 SEC. 506.5.2 MORE THAN ONE STORY ABOVE GRADE PLANE

SECTION 508.4.2: MIXED OCCUPANCY EQUATION
 FIRST FLOOR: 2,545 SF (GROUP B)/19,000 SF = .13
 7,922 SF (GROUP A-2)/9,500 SF = .83
 .13 + .83 = .96 < 1

TOTAL FLOOR AREA: MEASURED TO GLASS LINE
 BASEMENT: 15,373 SF
 1ST FLOOR: 13,914 SF
 MEZZANINE: 1,646 SF
 2ND FLOOR: 6,210 SF
 3RD FLOOR: 2,187 SF

TOTAL: 39,330 SF

EXITING REQUIREMENTS:

SEC. 1004 OCCUPANT LOAD
 GROUP A-2: ASSEMBLY W/O FIXED SEATS: STANDING SPACE: 5 SF
 GROUP A-2: ASSEMBLY W/O FIXED SEATS: UNCONCENTRATED: 15 SF
 GROUP B: BUSINESS AREAS: 100SF

SEC. 1005.1 MINIMUM REQUIRED EGRESS WIDTH:
 STAIRS: 0.3 IN/OCCUPANT
 DOORS: 0.2 IN/OCCUPANT

SEC. 1014.3 COMMON PATH OF EGRESS TRAVEL
 GROUP A-2: NOT TO EXCEED 75'-0"
 GROUP B: NOT TO EXCEED 100'-0"

TABLE 1016.1 EXIT ACCESS TRAVEL DISTANCE
 GROUP A-2: NOT TO EXCEED 250'-0"
 GROUP B: NOT TO EXCEED 300'-0"

NOTE:
 SEC. 303.1: EXCEPTION 3:
 A ROOM OR SPACE USED FOR ASSEMBLY PURPOSES THAT IS LESS THAN 750 SQUARE FEET IN AREA AND IS ACCESSORY TO ANOTHER OCCUPANCY SHALL BE CLASSIFIED AS A GROUP B OCCUPANCY OR AS PART OF THAT OCCUPANCY

SEC. 1021.1: NUMBER OF EXITS
 MINIMUM NUMBER OF EXITS FOR OCCUPANT LOAD PER STORY: MORE THAN 1,000: 4 EXITS REQUIRED

PROJECT TEAM

Project Sponsor:
 Dolmen Property Group
 1452 Broadway Street
 San Francisco, CA 94109
 Contact: Seamus Naughton
 (415) 559.1227
 seamus@dolmenpropertygroup.com

Building Architect:
 Elevation Architects
 1159 Green Street, Suite 4
 San Francisco, CA 94109
 Contact: Jonathan Pearlman
 (415) 537.1125 x101
 jonathan@elevationarchitects.com

TABLE OF CONTENTS

Existing Approved Reference Drawings

- A-1 Basement
- A-2 1st Floor
- A-3 Mezzanine Level (No change)
- A-4 2nd Floor (No Change)
- A-5 3rd Floor
- A-6 (E) Approved Jones Street Lightwell
- A-7 (E) Approved West Exit Alley Plan & Section/Elevation
- A-8 (E) Approved 3rd Floor Elevation: North
- A-9 (E) Approved 3rd Floor Elevation: South & West
- A-10 (E) Approved 3rd Floor Elevation: East

Proposed Drawings

- A-11 Proposed Basement
- A-12 Proposed 1st Floor
- A-13 Proposed 3rd Floor
- A-14 Proposed Jones Street Lightwell Plans
- A-15 Proposed Jones Street Lightwell Section/Elevation
- A-16 Proposed West Exit Alley Plan & Section/Elevation
- A-17 Proposed 3rd Floor Elevation: North
- A-18 Proposed 3rd Floor Elevation: South & West
- A-19 Proposed 3rd Floor Elevation: East
- A-20 Details
- A-21 Details
- A-22 Details

PERMITS

ADDENDUM 7: ADDITIONAL ARCHITECTURAL DETAILS TO ADDENDA 3 AND 4

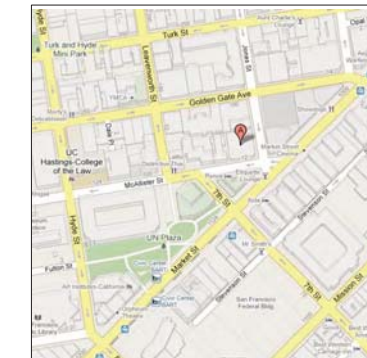
APPLICABLE CODES

BUILDING: 2010 CBC
 MECHANICAL: 2010 CMC
 PLUMBING: 2010 CPC
 ELECTRICAL: 2010 CEC
 FIRE: 2007 CFC
 ENERGY: 2010 CEC (TITLE 24, PART 6)
 WITH SAN FRANCISCO BUILDING CODE AMENDMENTS

SCOPE OF WORK

- ADDENDA OF PROJECT WITH MULTIPLE PREVIOUS APPROVALS:
- CERTIFICATE OF APPROPRIATENESS: DECEMBER 19, 2011
- ADDENDUM 1: DEMOLITION AND SALVAGE: MAY 21, 2013
- ADDENDUM 2: STRUCTURAL SEISMIC PKG: JULY 8, 2013
- ADDENDUM 3: ARCHITECTURAL & IMPROVEMENTS: FEB. 5, 2015
- ADDENDUM 4: ADDITIONAL ARCHITECTURAL AND STRUCTURAL BUILDING PERMIT: IN PROCESS

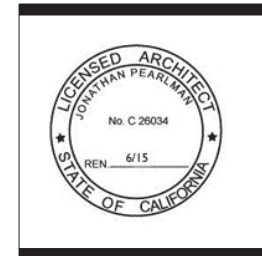
VICINITY MAP



ELEVATIONarchitects

1159 Green Street, Suite 4
 San Francisco, CA 94109

415.537.1125 v
 www.elevationarchitects.com w



Renovation
HIBERNIA BANK
 1 Jones Street
 San Francisco, CA 94102

#	date	issue
	04.22.15	ADDENDUM 7

Cover Sheet

project: 09.03
 drawn by: KC
 checked by:
 date: 04.22.15
 scale:

A-0



ELEVATIONarchitects
1159 Green Street, Suite 4
San Francisco, CA 94109

415.537.1125 :v
www.elevationarchitects.com :w



Jonathan Pearlman

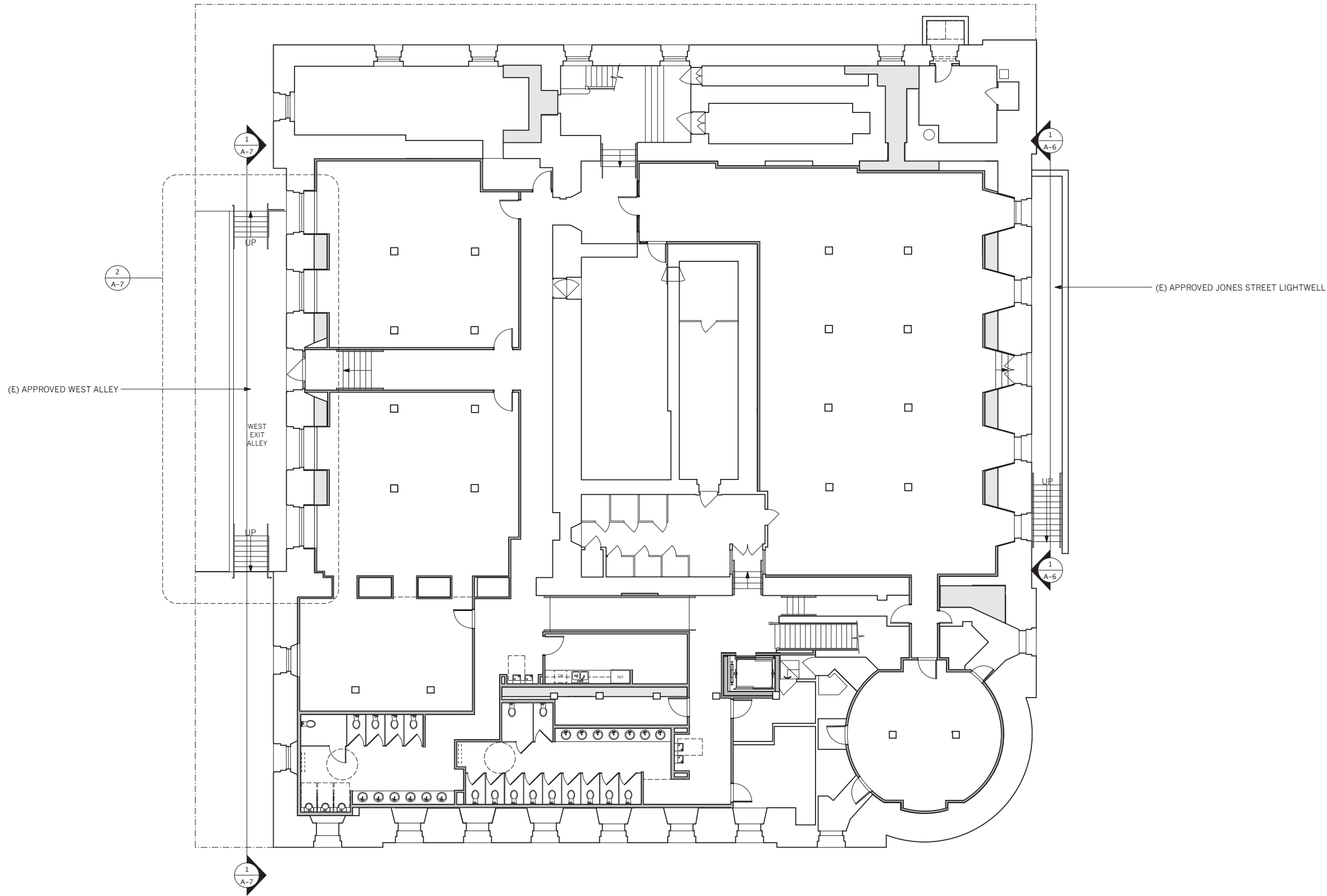
Renovation
HIBERNIA BANK
1 Jones Street
San Francisco, CA 94102

date issue

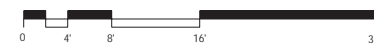
(E) Approved
Basement Plan

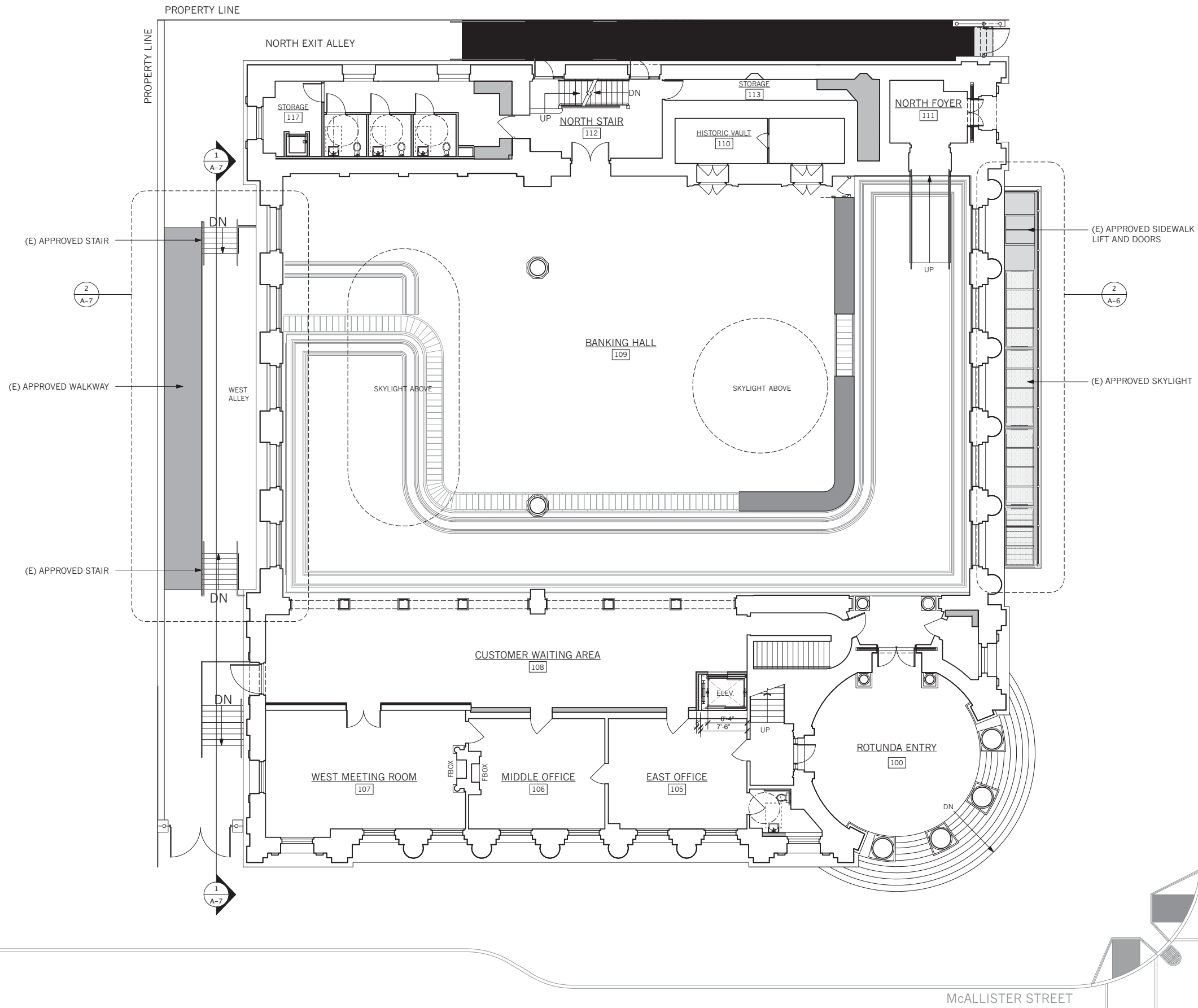
project: 09.03
 drawn by: JP
 checked by:
 date: 04.20.15
 scale:

A-1

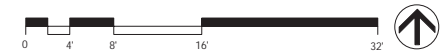


1 EXISTING APPROVED BASEMENT PLAN
Scale: 1/8" = 1'-0"





1 EXISTING 1ST FLOOR PLAN
Scale: 1/8" = 1'-0"



ELEVATIONarchitects
1159 Green Street, Suite 4
San Francisco, CA 94109
415.537.1125 :v
www.elevationarchitects.com :w



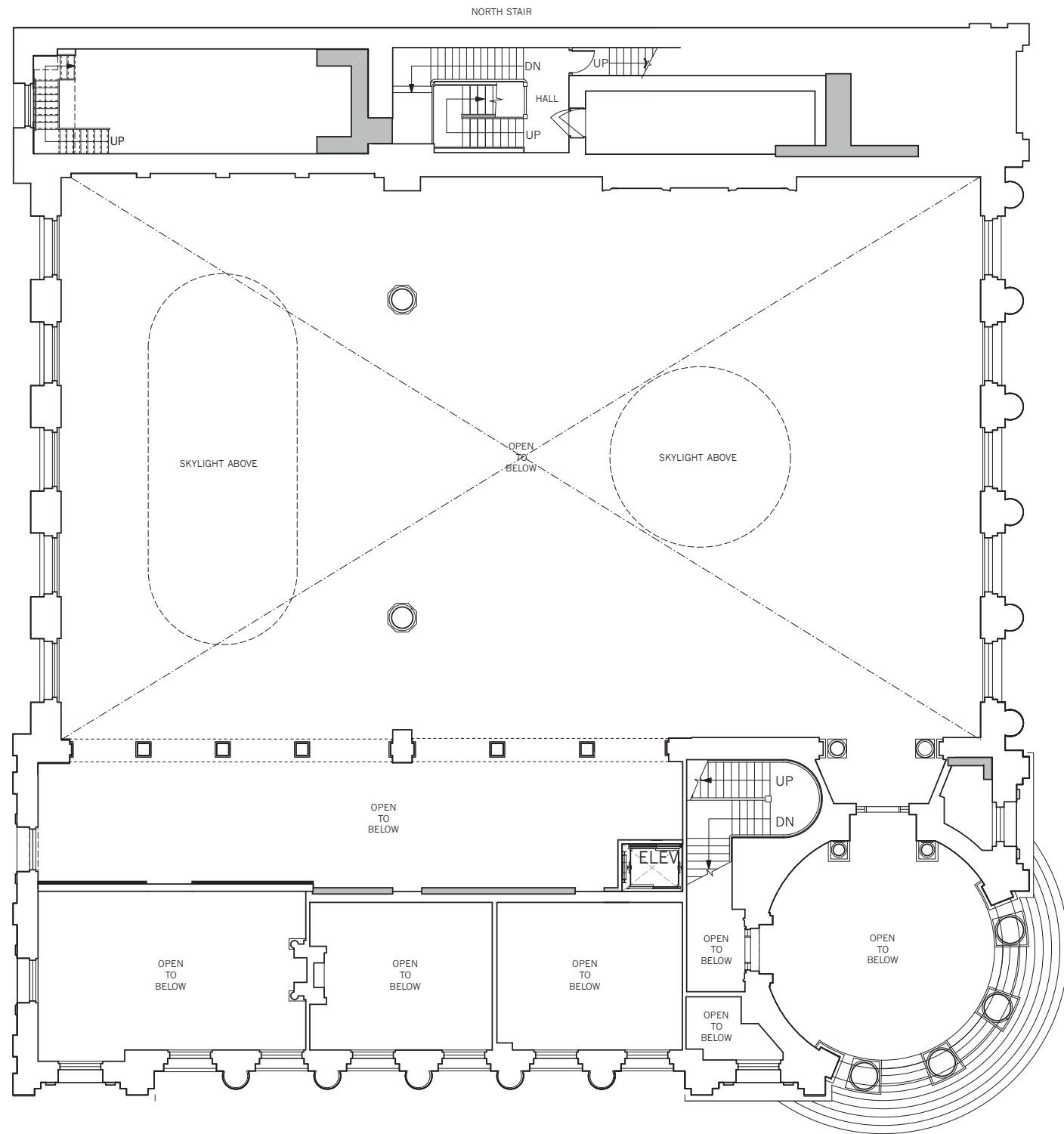
Renovation
HIBERNIA BANK
1 Jones Street
San Francisco, CA 94102

#	date	issue

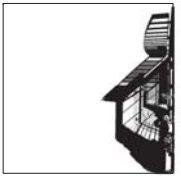
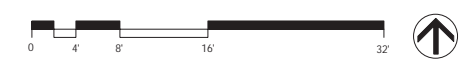
(E) Approved
1st Floor Plan

project:	09.03
drawn by:	JP
checked by:	
date:	04.20.15
scale:	

A-2



1 EXISTING APPROVED MEZZANINE PLAN (NO CHANGE)
Scale: 1/8" = 1'-0"



ELEVATIONarchitects
1159 Green Street, Suite 4
San Francisco, CA 94109
415.537.1125 :v
www.elevationarchitects.com :w

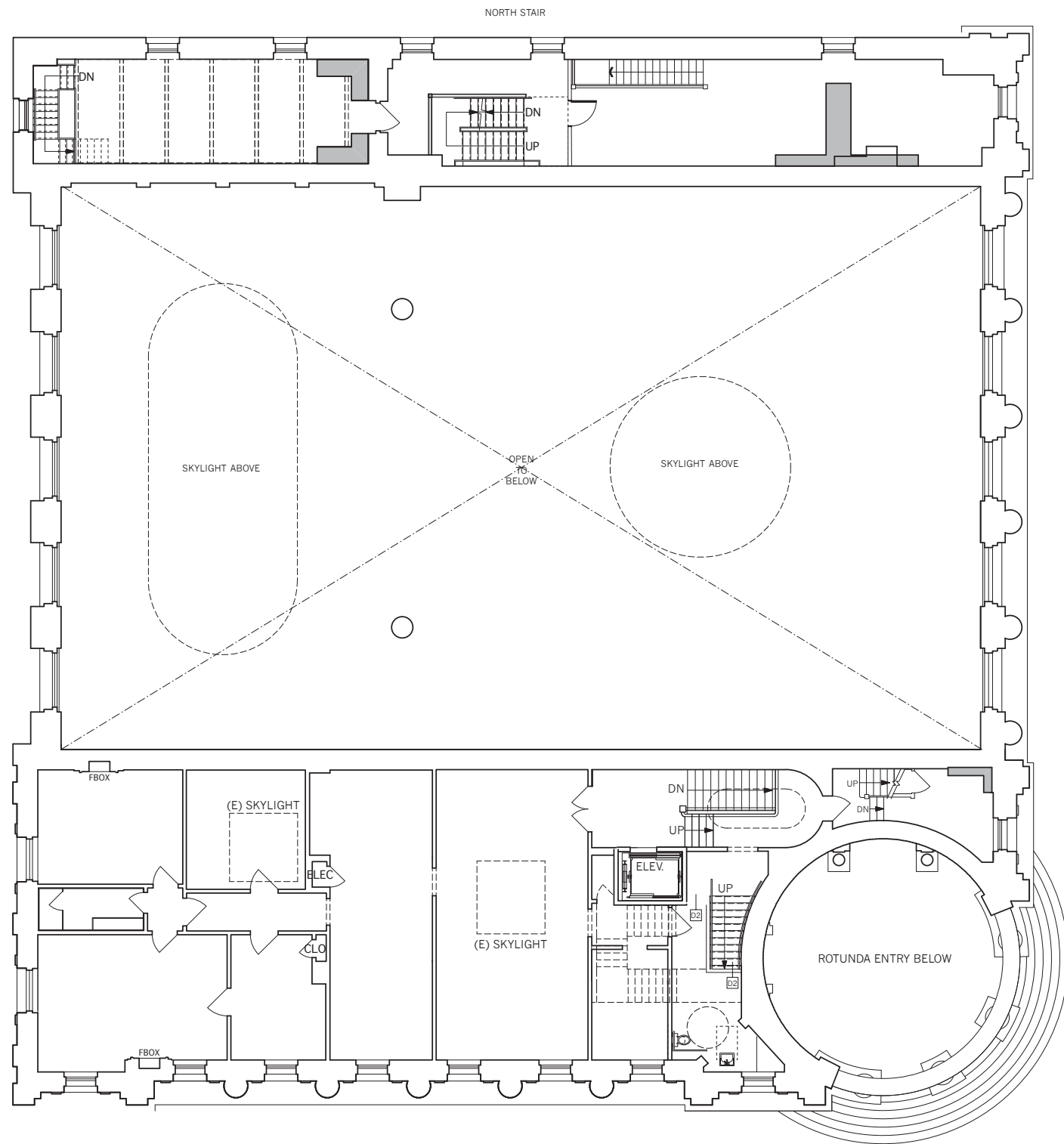


Renovation
HIBERNIA BANK
1 Jones Street
San Francisco, CA 94102

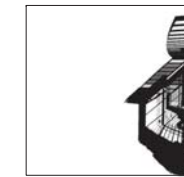
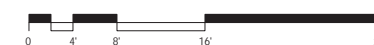
#	date	issue

(E) Approved Mezzanine Plan

project: 09.03
drawn by: JP
checked by:
date: 04.20.15
scale:



1 EXISTING APPROVED 2ND FLOOR PLAN (NO CHANGE)
Scale: 1/8" = 1'-0"



ELEVATIONarchitects

1159 Green Street, Suite 4
San Francisco, CA 94109

415.537.1125 :v
www.elevationarchitects.com :w



Renovation
HIBERNIA BANK
1 Jones Street
San Francisco, CA 94102

#	date	issue

(E) Approved
2nd Floor Plan

project: 09.03

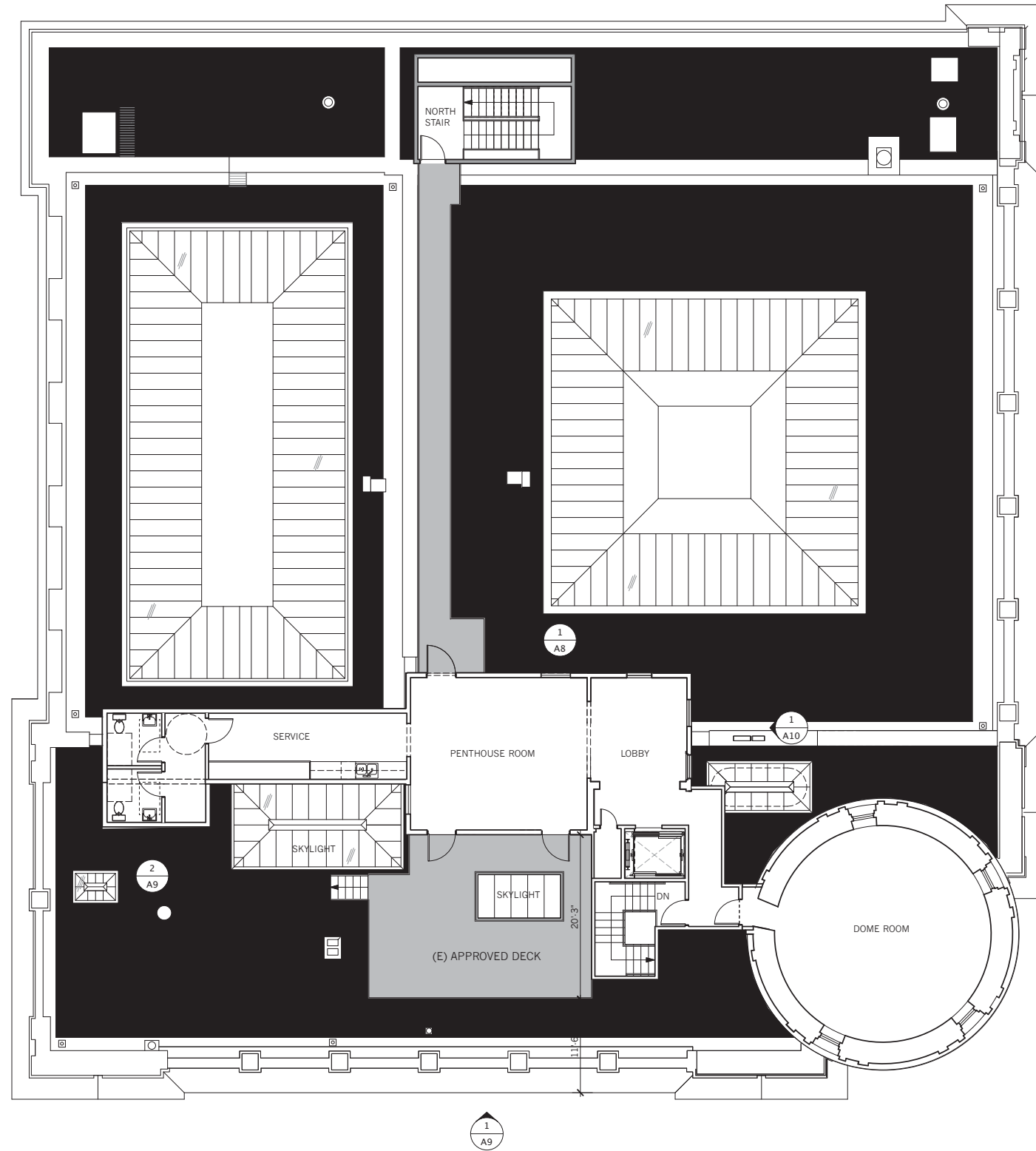
drawn by: JP

checked by:

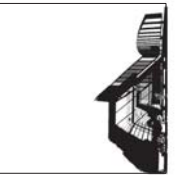
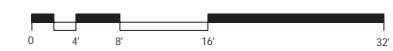
date: 04.20.15

scale:

A-4



1 EXISTING APPROVED PENTHOUSE PLAN
 Scale: 1/8" = 1'-0"



ELEVATIONarchitects
 1159 Green Street, Suite 4
 San Francisco, CA 94109

415.537.1125 :v
 www.elevationarchitects.com :w



Renovation
HIBERNIA BANK
 1 Jones Street
 San Francisco, CA 94102

#	date	issue

(E) Approved:
 Penthouse Plan

project: 09.03

drawn by: JP

checked by:

date: 04.20.15

scale:

A-5



ELEVATIONArchitects
 1159 Green Street, Suite 4
 San Francisco, CA 94109

415.537.1125 :v
 www.elevationarchitects.com :w



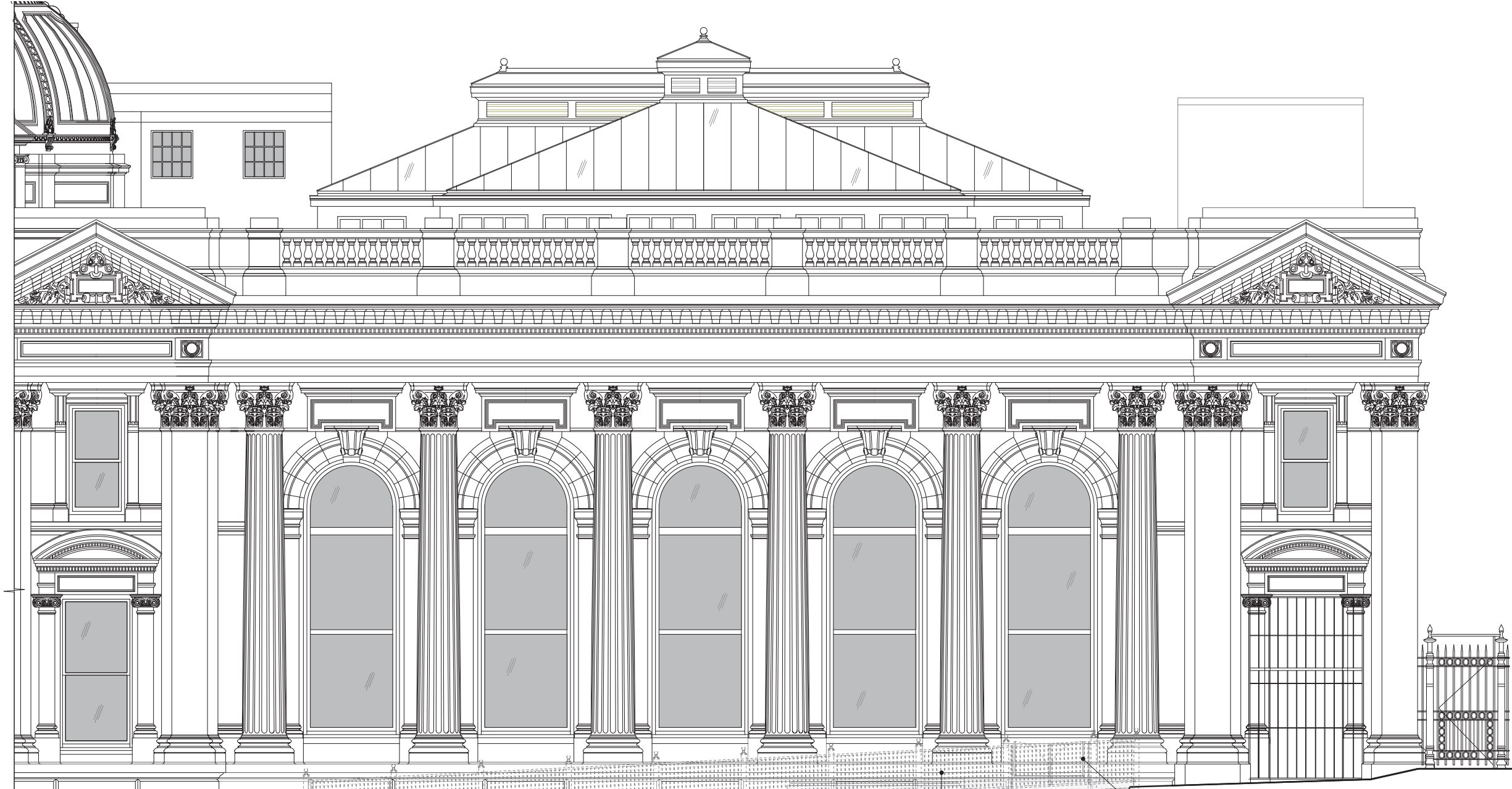
Renovation
HIBERNIA BANK
 1 Jones Street
 San Francisco, CA 94102

#	date	issue

(E) Approved:
 Enlarged Plan /Section,
 Jones St. Lightwell

project: 09.03
 drawn by: JP
 checked by:
 date: 04.20.15
 scale:

A-6

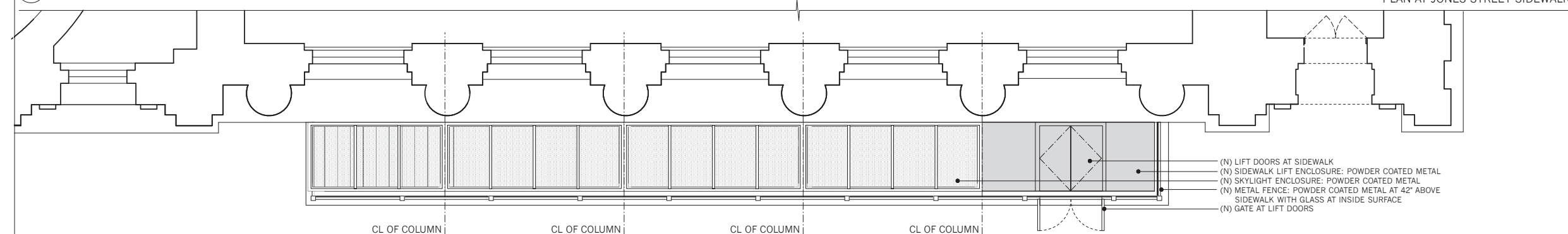


JONES STREET ELEVATION

- (E) LIFT DOORS AT SIDEWALK
- (E) SIDEWALK LIFT
- (E) DOOR INTO BASEMENT
- (E) SKYLIGHT ENCLOSURE: POWDER COATED METAL
- (E) METAL FENCE IN FOREGROUND: POWDER COATED METAL AT 42" ABOVE SIDEWALK WITH GLASS AT INSIDE SURFACE

LINE OF BASEMENT FLOOR

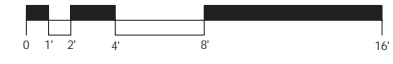
1 (E) APPROVED LIGHTWELL SECTION/ELEVATION
 Scale: 1/4" = 1'-0"



PLAN AT JONES STREET SIDEWALK

- (N) LIFT DOORS AT SIDEWALK
- (N) SIDEWALK LIFT ENCLOSURE: POWDER COATED METAL
- (N) SKYLIGHT ENCLOSURE: POWDER COATED METAL
- (N) METAL FENCE: POWDER COATED METAL AT 42" ABOVE SIDEWALK WITH GLASS AT INSIDE SURFACE
- (N) GATE AT LIFT DOORS

2 (E) APPROVED SKYLIGHT AND LIFT PLAN
 Scale: 1/4" = 1'-0"





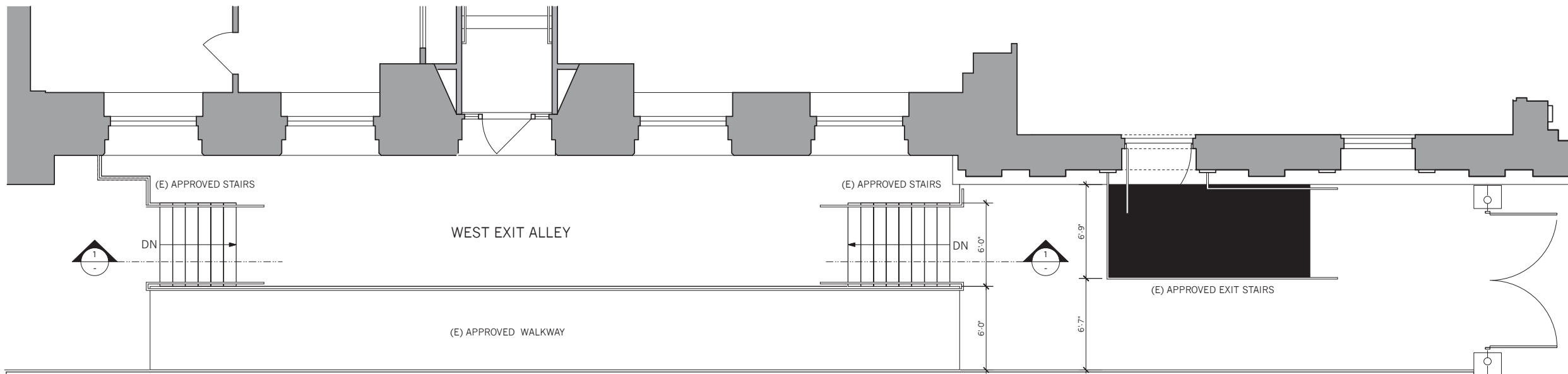
1 (E) APPROVED PARTIAL WEST ELEVATION
Scale: 1/4" = 1'-0"

(E) APPROVED METAL LANDING AND EXIT STAIRS ON STEEL FRAME.

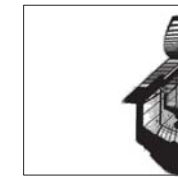
(E) APPROVED EXIT DOOR.

LINE OF (E) APPROVED LEVEL WALKWAY SPANNING THE LENGTH OF THE DEPRESSED LOWER WALKWAY AREA. IN FRONT OF SECTION CUT

(E) APPROVED CODE COMPLIANT STAIRS



2 (E) APPROVED PARTIAL PLAN
Scale: 1/4" = 1'-0"



ELEVATIONarchitects

1159 Green Street, Suite 4
San Francisco, CA 94109

415.537.1125 :v
www.elevationarchitects.com :w



Renovation
HIBERNIA BANK
1 Jones Street
San Francisco, CA 94102

#	date	issue

West Elxit Alley
Elevation

project: 09.03

drawn by: JP

checked by:

date: 04.20.15

scale:

A-7



ELEVATIONarchitects
 1159 Green Street, Suite 4
 San Francisco, CA 94109
 415.537.1125 :v
 www.elevationarchitects.com :w



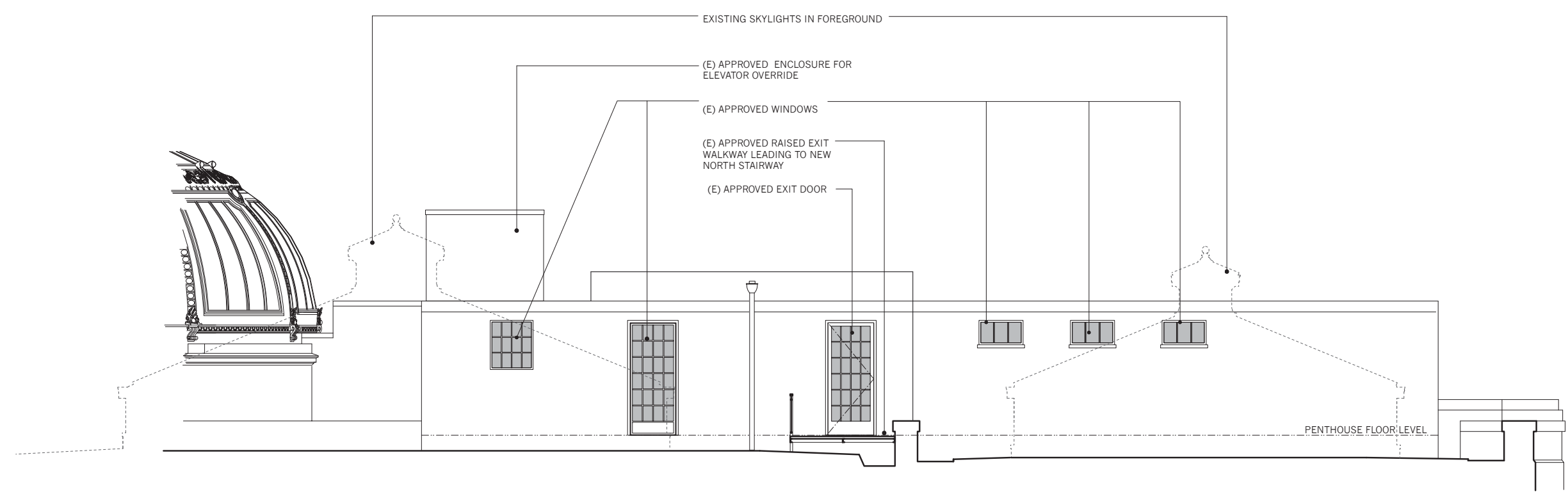
Renovation
HIBERNIA BANK
 1 Jones Street
 San Francisco, CA 94102

#	date	issue

(E) Approved Penthouse Elevations North

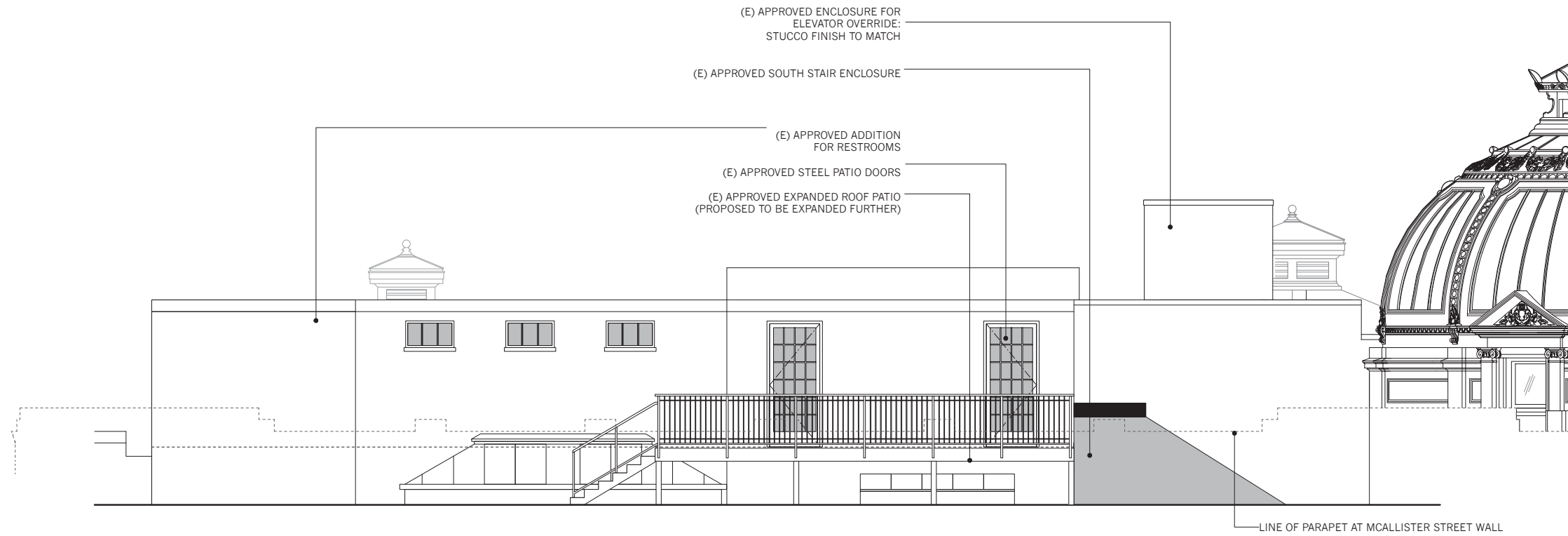
project: 09.03
 drawn by: JP
 checked by:
 date: 04.20.15
 scale:

A-8

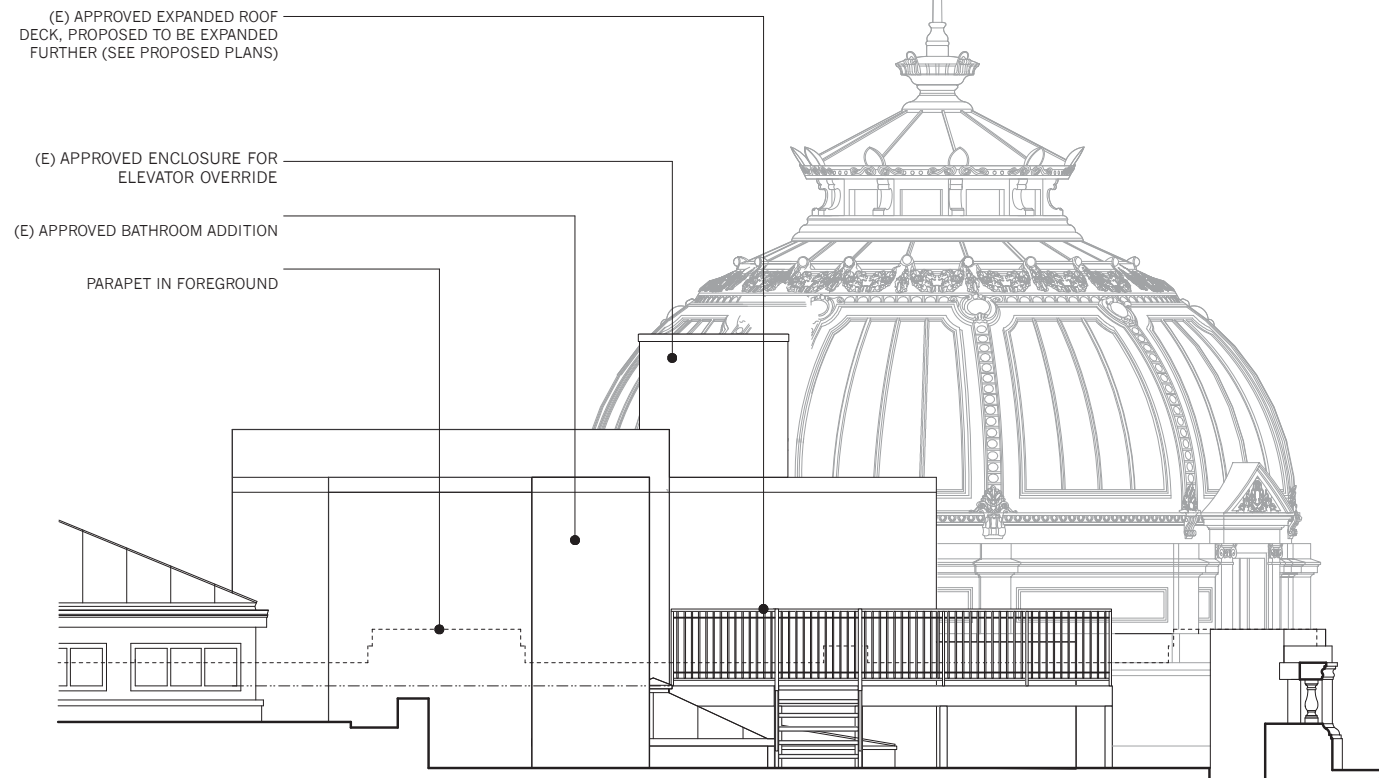
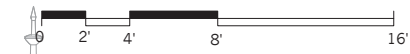


2 (E) APPROVED PENTHOUSE ELEVATION NORTH
 - Scale: 1/4" = 1'-0"





1 (E) APPROVED PENTHOUSE ELEVATION SOUTH
 - Scale: 1/4" = 1'-0"



2 (E) APPROVED PENTHOUSE ELEVATION WEST
 - Scale: 1/4" = 1'-0"



ELEVATIONarchitects
 1159 Green Street, Suite 4
 San Francisco, CA 94109
 415.537.1125 :v
 www.elevationarchitects.com :w

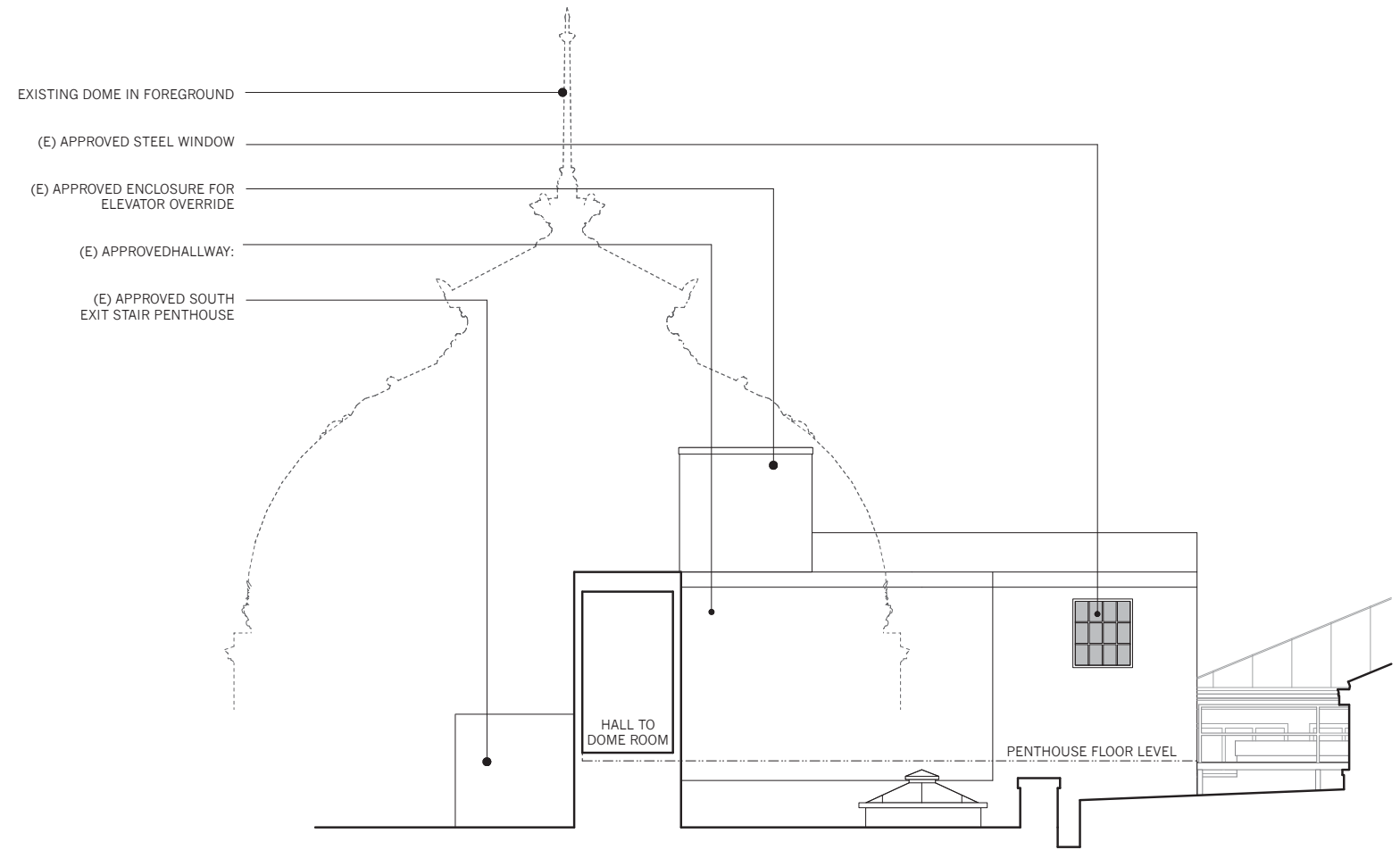


Renovation
HIBERNIA BANK
 1 Jones Street
 San Francisco, CA 94102

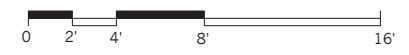
#	date	issue

(E) Approved Penthouse Elevations South & West

project: 09.03
 drawn by: JP
 checked by:
 date: 04.20.15
 scale:



2 PROPOSED PENTHOUSE ELEVATION EAST
 Scale: 1/4" = 1'-0"



ELEVATIONarchitects
 1159 Green Street, Suite 4
 San Francisco, CA 94109
 415.537.1125 :v
 www.elevationarchitects.com :w



Renovation
HIBERNIA BANK
 1 Jones Street
 San Francisco, CA 94102

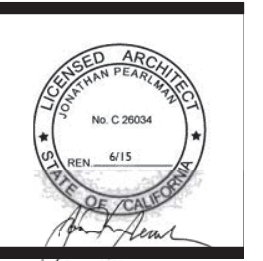
#	date	issue

(E) Approved East Penthouse Elevations, East

project: 09.03
 drawn by: JP
 checked by:
 date: 04.20.15
 scale:



ELEVATIONarchitects
 1159 Green Street, Suite 4
 San Francisco, CA 94109
 415.537.1125 :v
 www.elevationarchitects.com :w



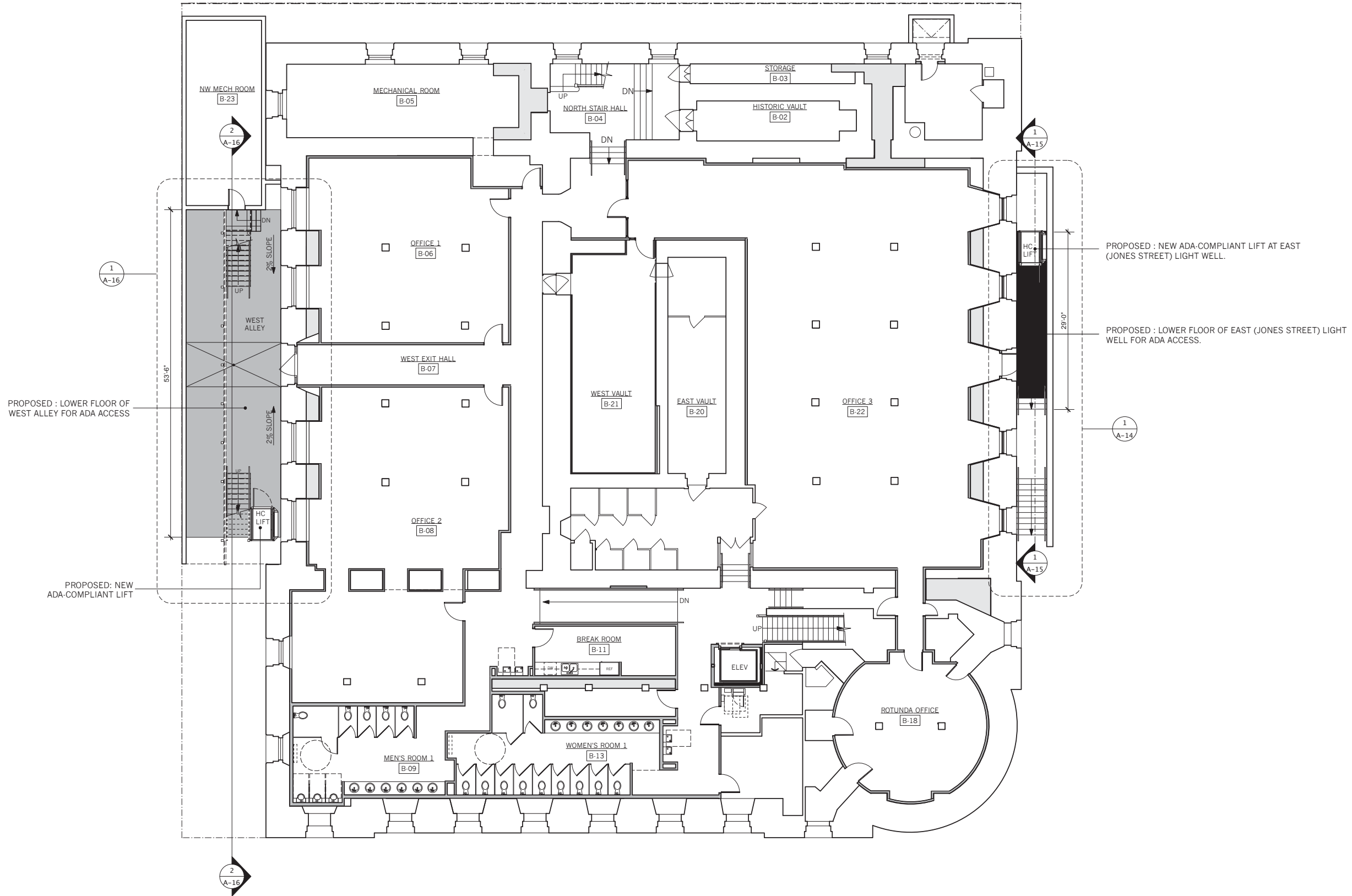
Renovation
HIBERNIA BANK
 1 Jones Street
 San Francisco, CA 94102

date issue

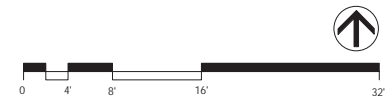
**Proposed
 Basement Plan**

project: 09.03
 drawn by: KC
 checked by:
 date: 04.20.15
 scale:

A-11

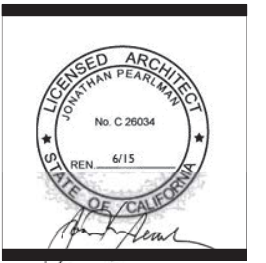


1 BASEMENT PLAN
 Scale: 1/8" = 1'-0"





ELEVATIONarchitects
 1159 Green Street, Suite 4
 San Francisco, CA 94109
 415.537.1125 :v
 www.elevationarchitects.com :w



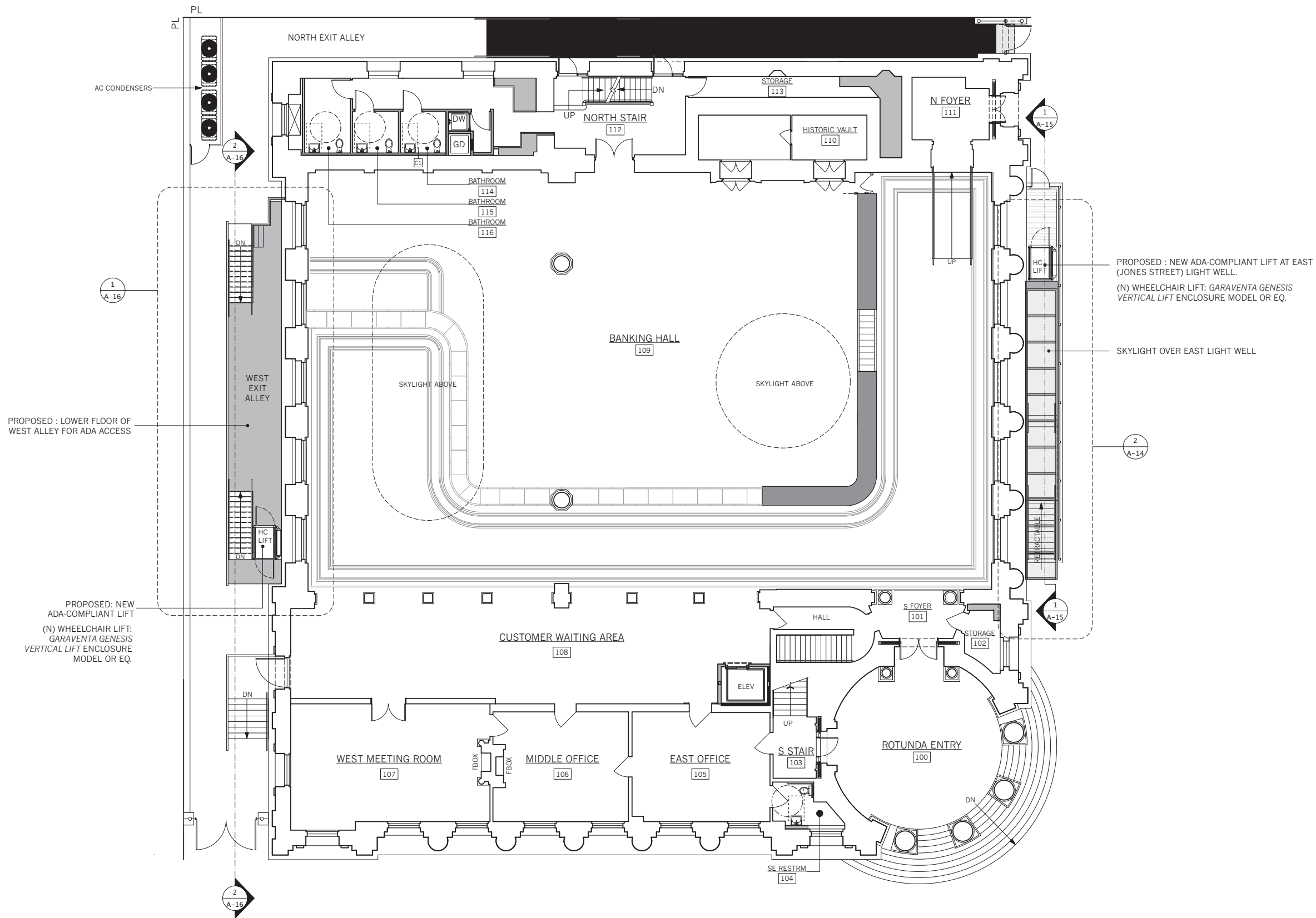
Renovation
HIBERNIA BANK
 1 Jones Street
 San Francisco, CA 94102

date issue

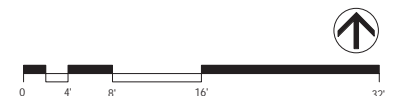
**Proposed
 1st Floor Plan**

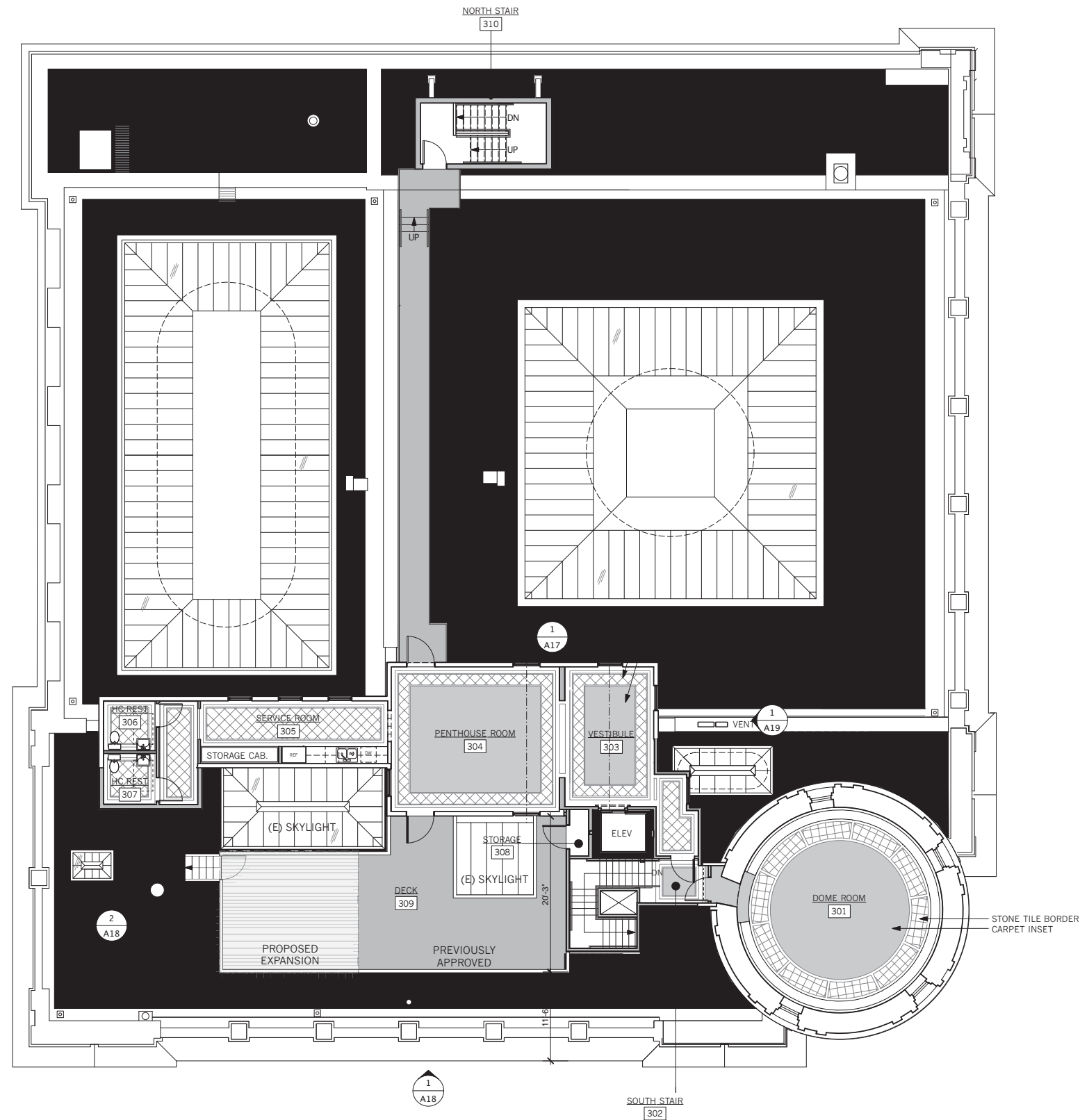
project: 09.03
 drawn by: KC
 checked by:
 date: 04.20.15
 scale:

A-12

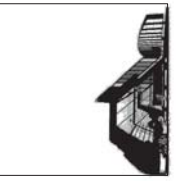
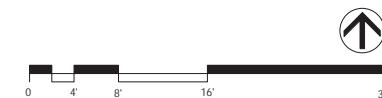


1 1ST FLOOR PLAN
 Scale: 1/8" = 1'-0"





1 3RD FLOOR PLAN
Scale: 1/8" = 1'-0"



ELEVATIONarchitects
1159 Green Street, Suite 4
San Francisco, CA 94109
415.537.1125 :v
www.elevationarchitects.com :w



Renovation
HIBERNIA BANK
1 Jones Street
San Francisco, CA 94102

date issue

Proposed
3rd Floor Plan

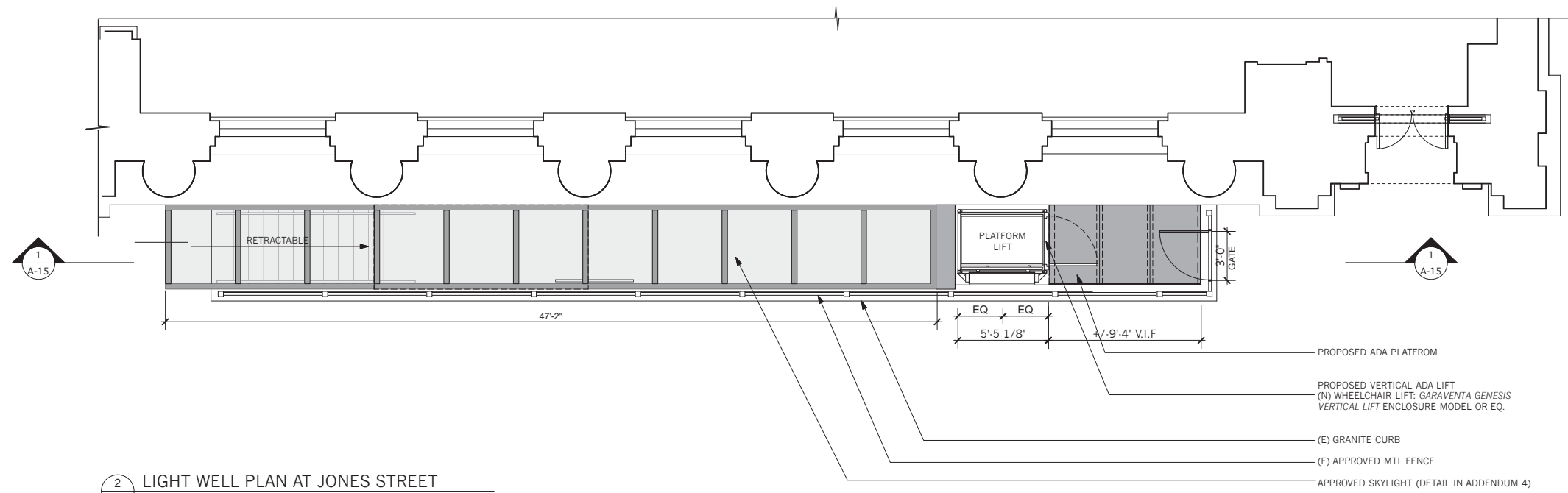
project: 09.03
drawn by: KC
checked by:
date: 04.20.15
scale:

A-13



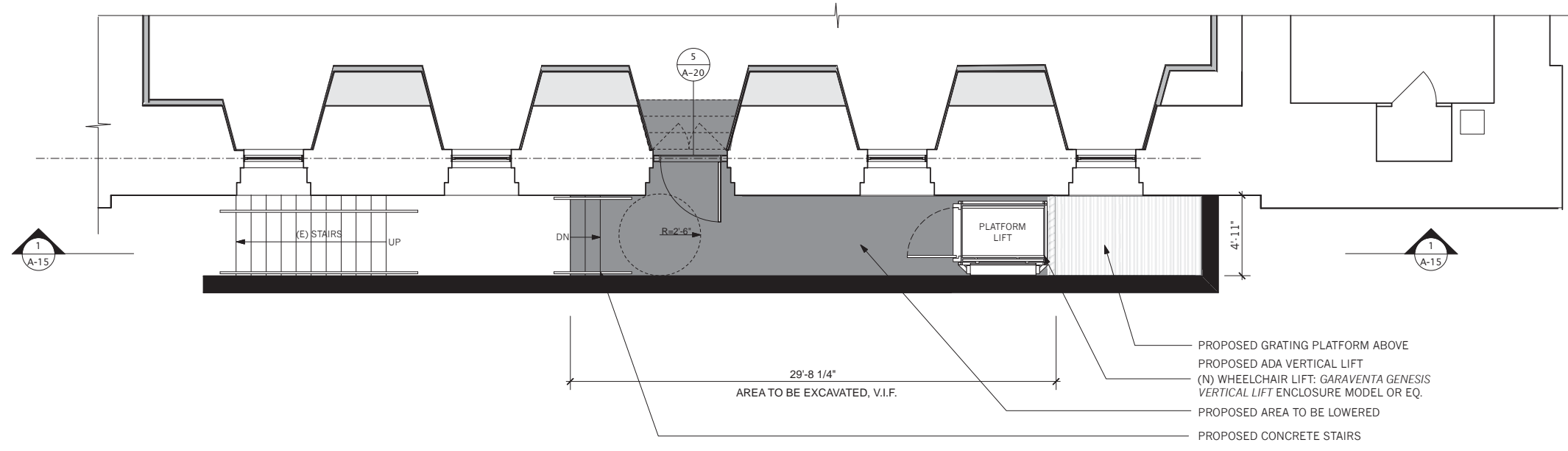
ELEVATIONarchitects
 1159 Green Street, Suite 4
 San Francisco, CA 94109

415.537.1125 :v
 www.elevationarchitects.com :w



2 LIGHT WELL PLAN AT JONES STREET
 Scale: 1/4" = 1'-0"

- PROPOSED ADA PLATFORM
- PROPOSED VERTICAL ADA LIFT
 (N) WHEELCHAIR LIFT: GARAVENTA GENESIS
 VERTICAL LIFT ENCLOSURE MODEL OR EQ.
- (E) GRANITE CURB
- (E) APPROVED MTL FENCE
- APPROVED SKYLIGHT (DETAIL IN ADDENDUM 4)



1 LIGHT WELL PLAN AT BASEMENT
 Scale: 1/4" = 1'-0"

- PROPOSED GRATING PLATFORM ABOVE
 PROPOSED ADA VERTICAL LIFT
 (N) WHEELCHAIR LIFT: GARAVENTA GENESIS
 VERTICAL LIFT ENCLOSURE MODEL OR EQ.
- PROPOSED AREA TO BE LOWERED
- PROPOSED CONCRETE STAIRS

Renovation
HIBERNIA BANK
 1 Jones Street
 San Francisco, CA 94102

#	date	issue

Proposed East (Jones) Light Well

project: 09.03
 drawn by: JP
 checked by:
 date: 04.20.15
 scale:





ELEVATIONArchitects
 1159 Green Street, Suite 4
 San Francisco, CA 94109

415.537.1125 :v
 www.elevationarchitects.com :w



Jonathan Pearlman

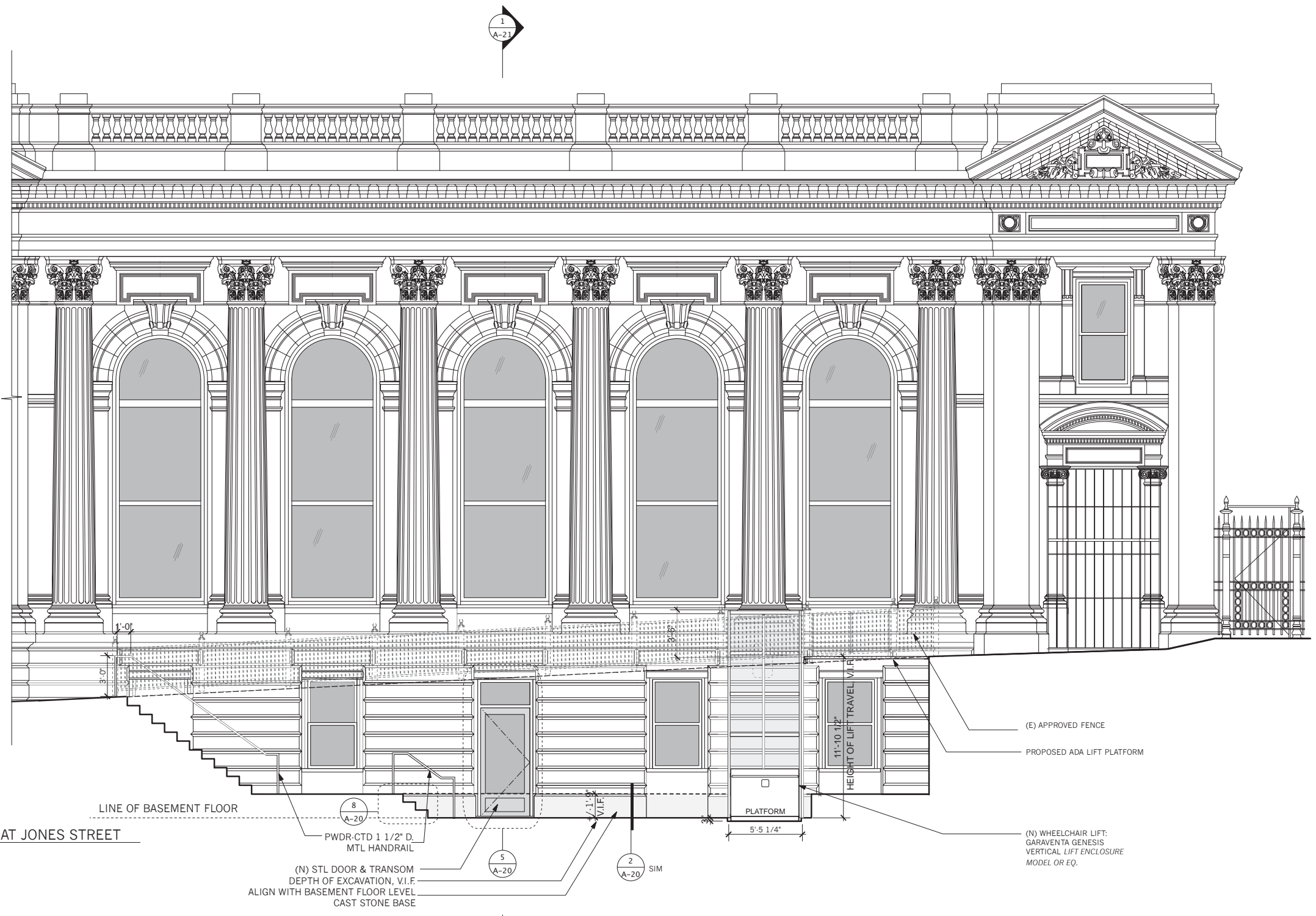
Renovation
HIBERNIA BANK
 1 Jones Street
 San Francisco, CA 94102

#	date	issue

Proposed East (Jones) Light Well

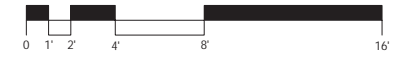
project: 09.03
 drawn by: JP
 checked by:
 date: 04.20.15
 scale:

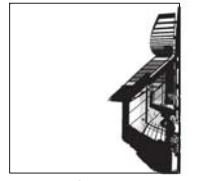
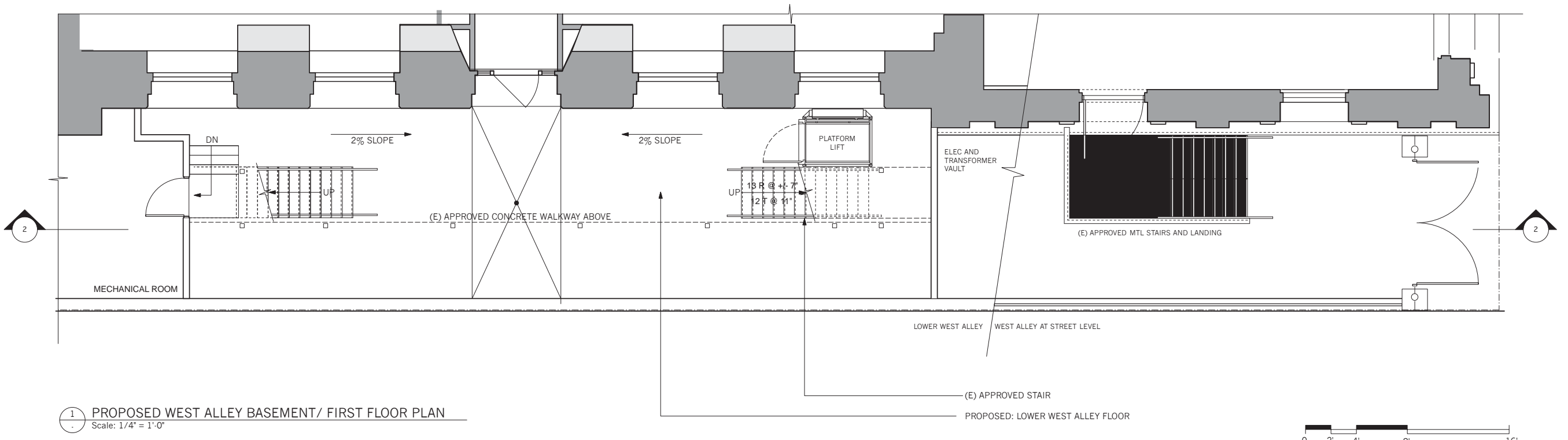
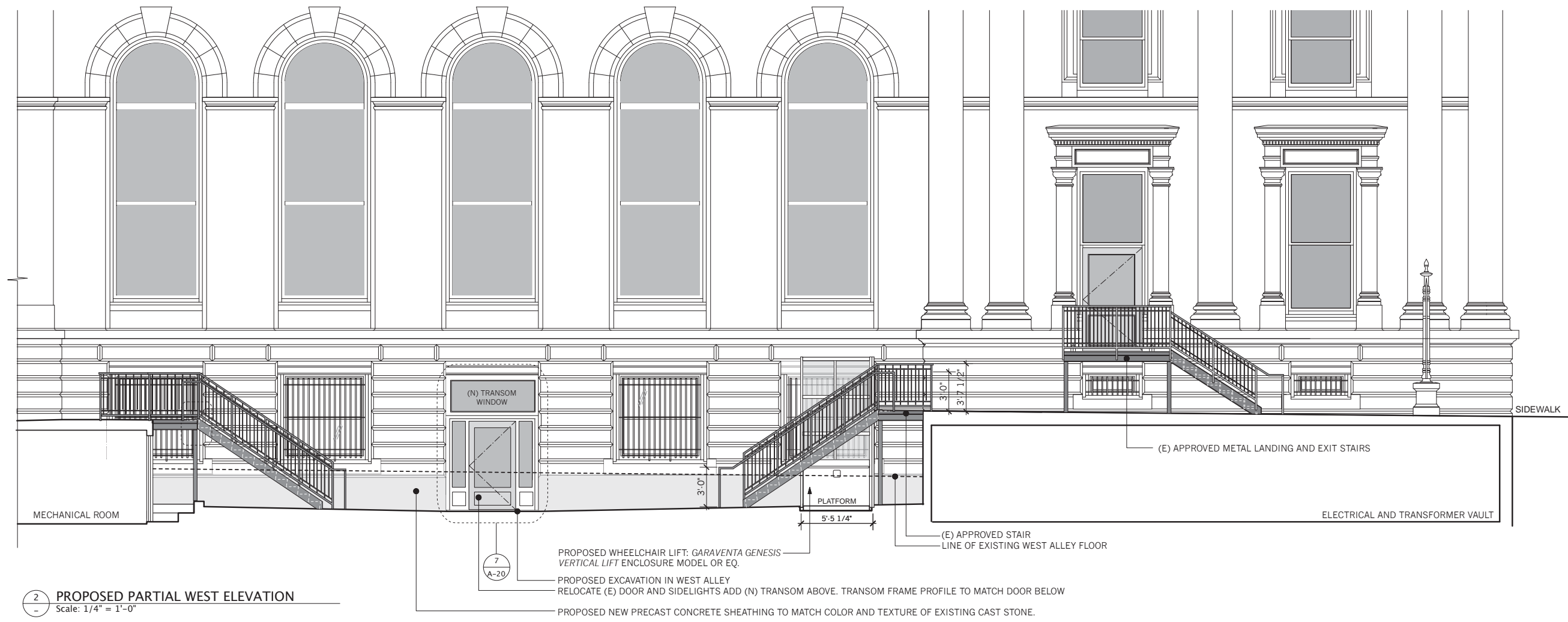
A-15



1 ELEVATION / SECTION AT JONES STREET
 Scale: 1/4" = 1'-0"

- 8 A-20 PWDR-CTD 1 1/2" D. MTL HANDRAIL
- 5 A-20 (N) STL DOOR & TRANSOM DEPTH OF EXCAVATION, V.I.F. ALIGN WITH BASEMENT FLOOR LEVEL CAST STONE BASE
- 2 A-20 SIM
- PLATFOM 5'-5 1/4"
- HEIGHT OF LIFT TRAVEL V.I.F. 11'-10 1/2"
- (E) APPROVED FENCE
- PROPOSED ADA LIFT PLATFORM
- (N) WHEELCHAIR LIFT: GARAVENTA GENESIS VERTICAL LIFT ENCLOSURE MODEL OR EQ.





ELEVATIONarchitects
 1159 Green Street, Suite 4
 San Francisco, CA 94109
 415.537.1125 :v
 www.elevationarchitects.com :w



Renovation
HIBERNIA BANK
 1 Jones Street
 San Francisco, CA 94102

#	date	issue

Proposed West Exit Alley

project: 09.03
 drawn by: JP
 checked by:
 date: 04.20.15
 scale:

A-16



ELEVATIONarchitects

1099 - 23rd Street
Suite 18
San Francisco, CA 94107

415.537.1125 :v
www.elevationarchitects.com :w



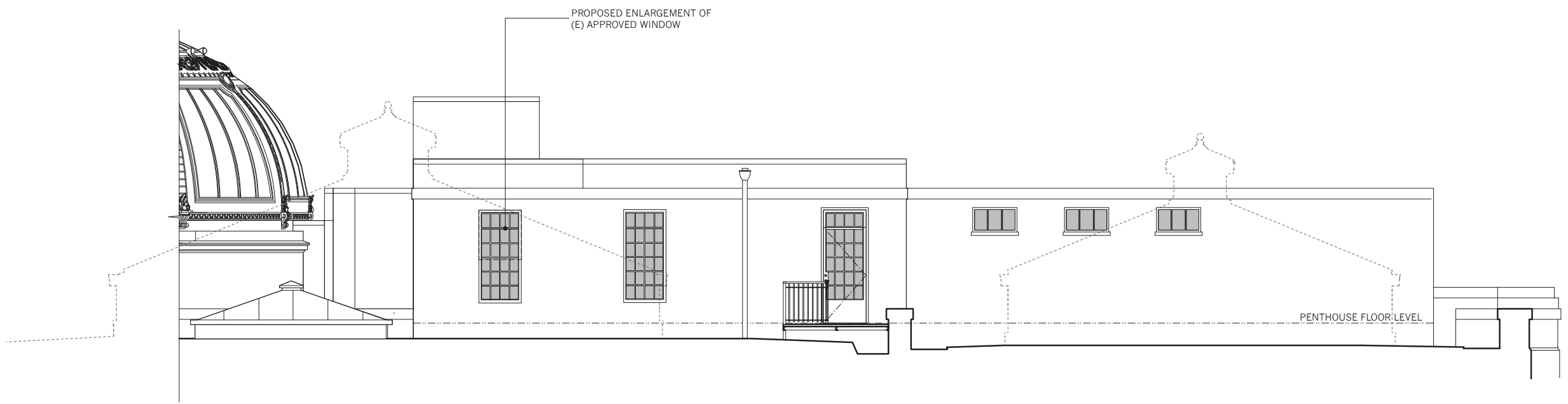
Renovation
HIBERNIA BANK
1 Jones Street
San Francisco, CA 94102

#	date	issue

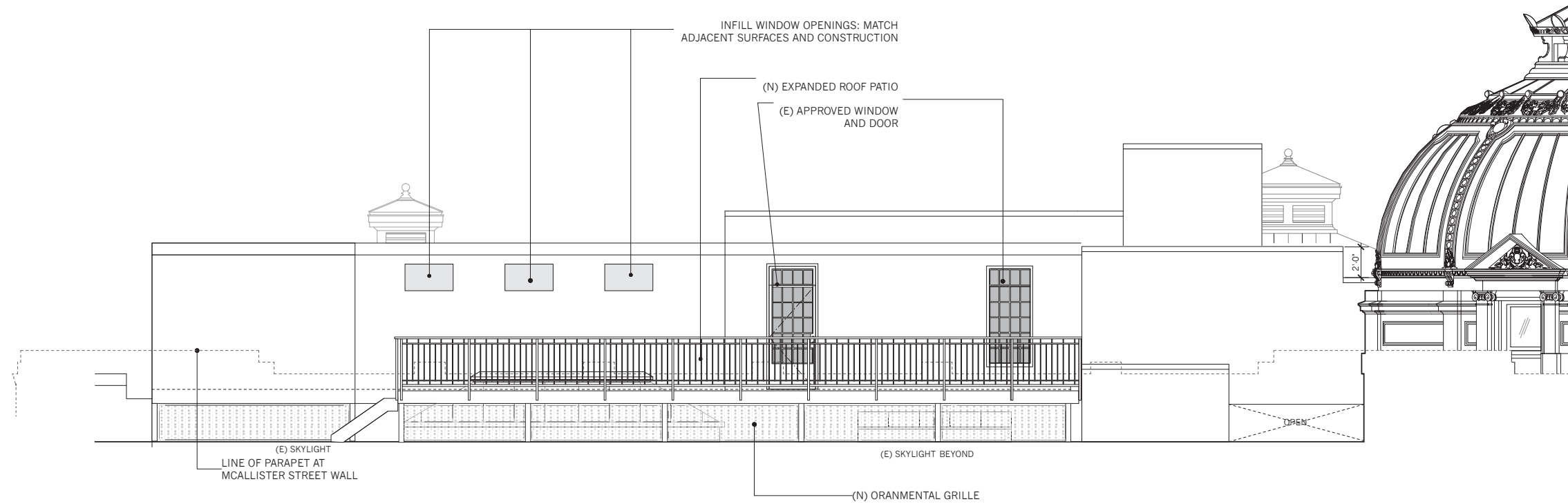
**Proposed North
3rd Floor Elevation**

project: 09.03
 drawn by: JP
 checked by:
 date: 04.20.15
 scale:

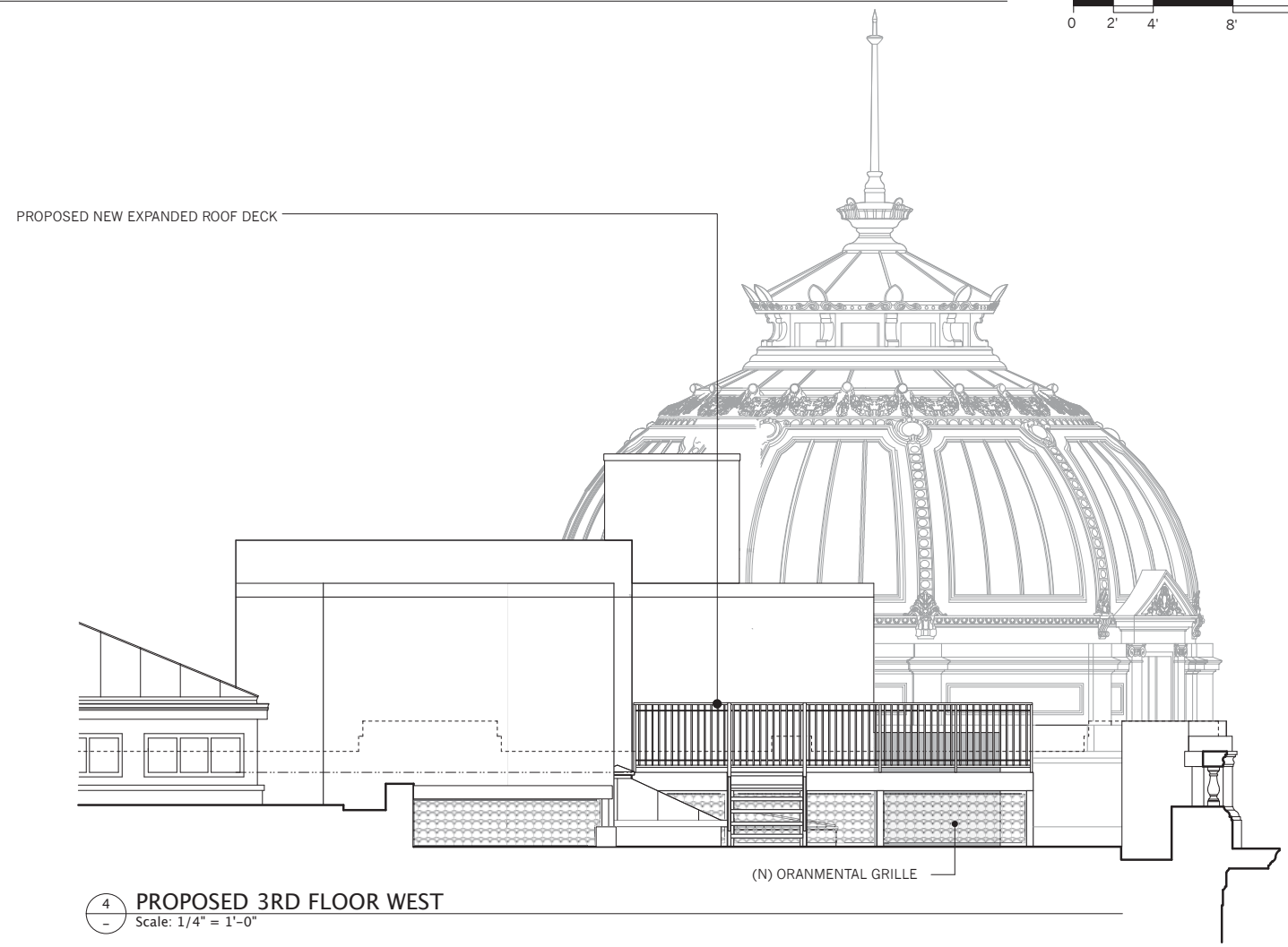
A-17



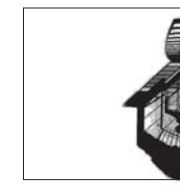
2 PROPOSED PENTHOUSE ELEVATION NORTH
Scale: 1/4" = 1'-0"



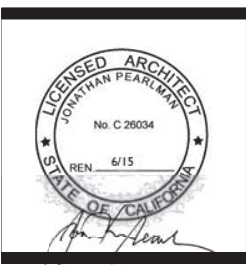
2 PROPOSED PENTHOUSE ELEVATION SOUTH
Scale: 1/4" = 1'-0"



4 PROPOSED 3RD FLOOR WEST
Scale: 1/4" = 1'-0"



ELEVATIONarchitects
1099 - 23rd Street
Suite 18
San Francisco, CA 94107
415.537.1125 :v
www.elevationarchitects.com :w



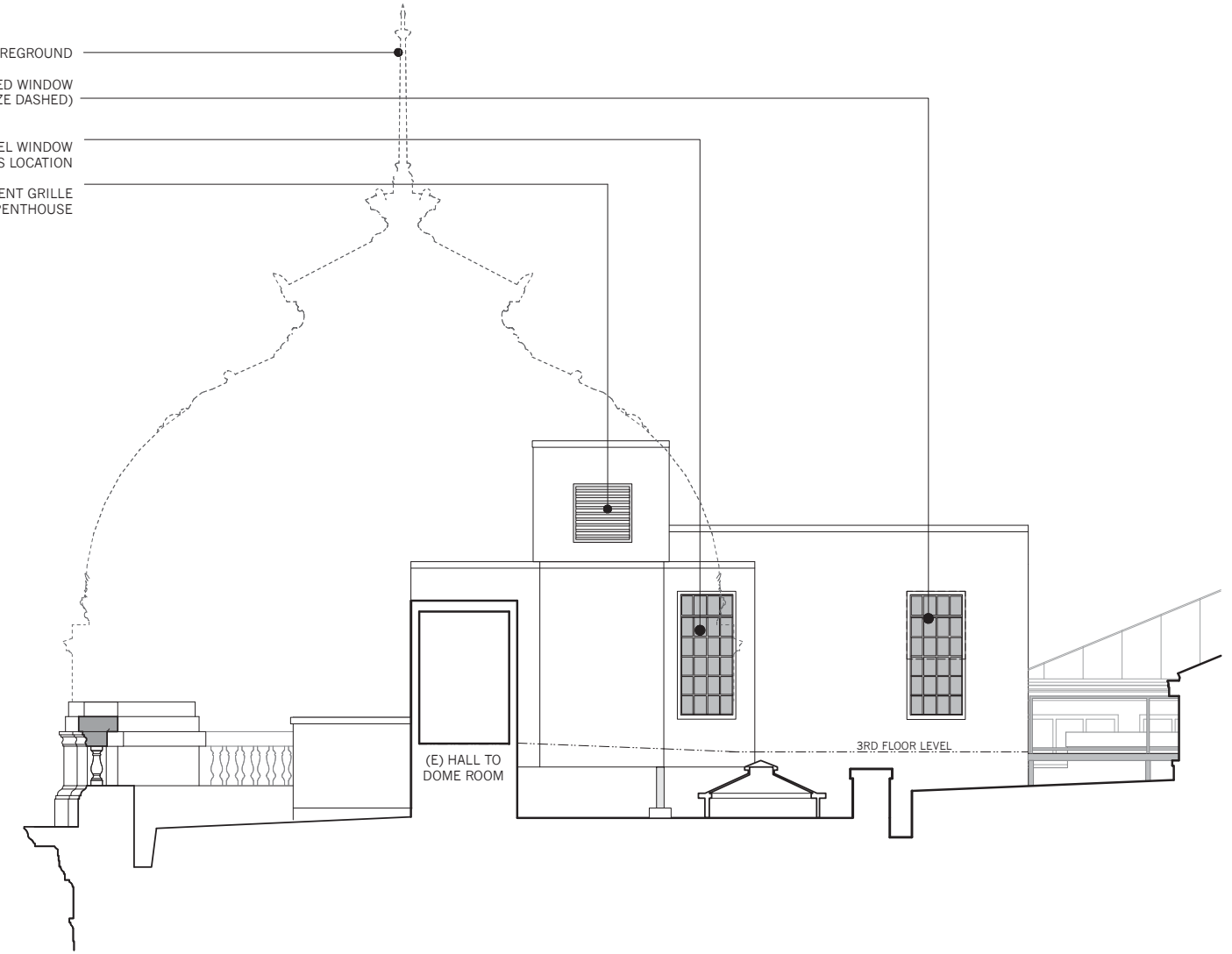
Renovation
HIBERNIA BANK
1 Jones Street
San Francisco, CA 94102

#	date	issue

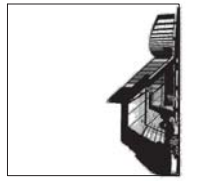
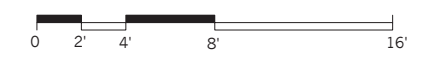
Proposed 3rd Floor Elevations, West & South

project: 09.03
drawn by: JP
checked by:
date: 04.20.15
scale:

EXISTING DOME IN FOREGROUND
 PROPOSED ENLARGED WINDOW
 (APPROVED WINDOW SIZE DASHED)
 PROPOSED NEW STEEL WINDOW
 AT THIS LOCATION
 PROPOSED POWDER COATED VENT GRILLE
 @ ELEVATOR PENTHOUSE



2 PROPOSED 3RD FLOOR ELEVATION EAST
 - Scale: 1/4" = 1'-0"



ELEVATIONarchitects
 1099 - 23rd Street
 Suite 18
 San Francisco, CA 94107
 415.537.1125 :v
 www.elevationarchitects.com :w

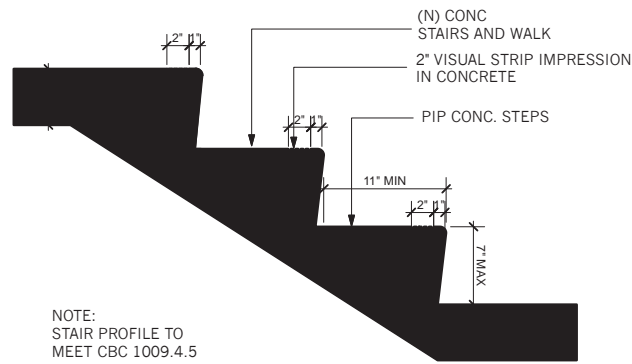


Renovation
HIBERNIA BANK
 1 Jones Street
 San Francisco, CA 94102

#	date	issue

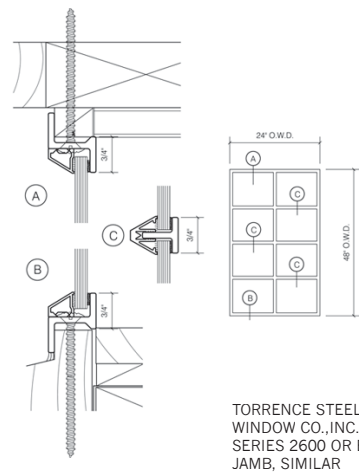
**Proposed East
 3rd Floor Elevation**

project: 09.03
 drawn by: JP
 checked by:
 date: 04.20.15
 scale:

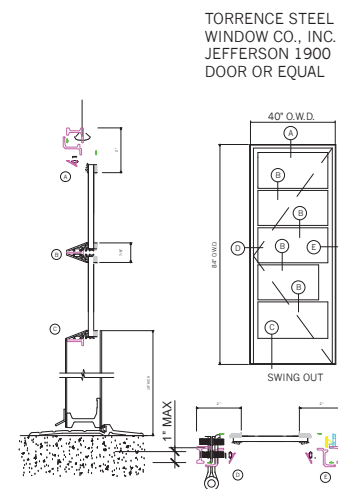


NOTE:
STAIR PROFILE TO
MEET CBC 1009.4.5

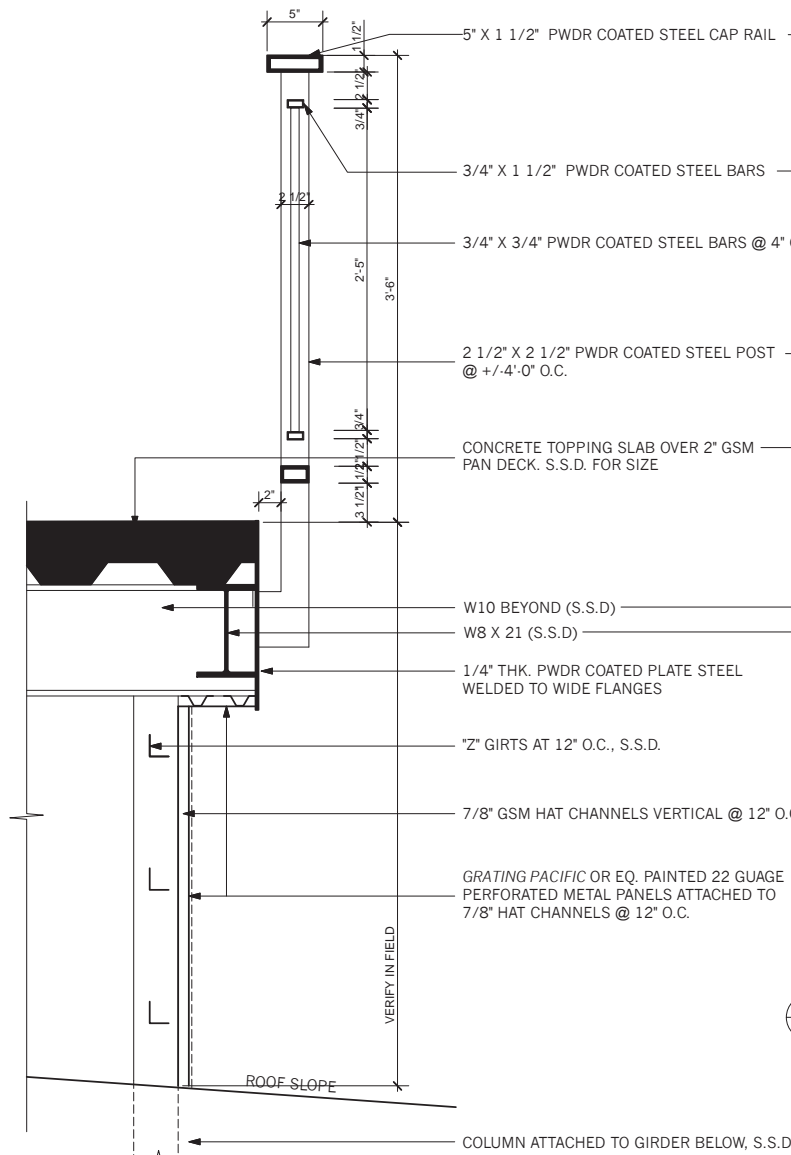
8 (N) STAIR IN EAST LIGHT WELL
Scale: 1 1/2" = 1'-0"



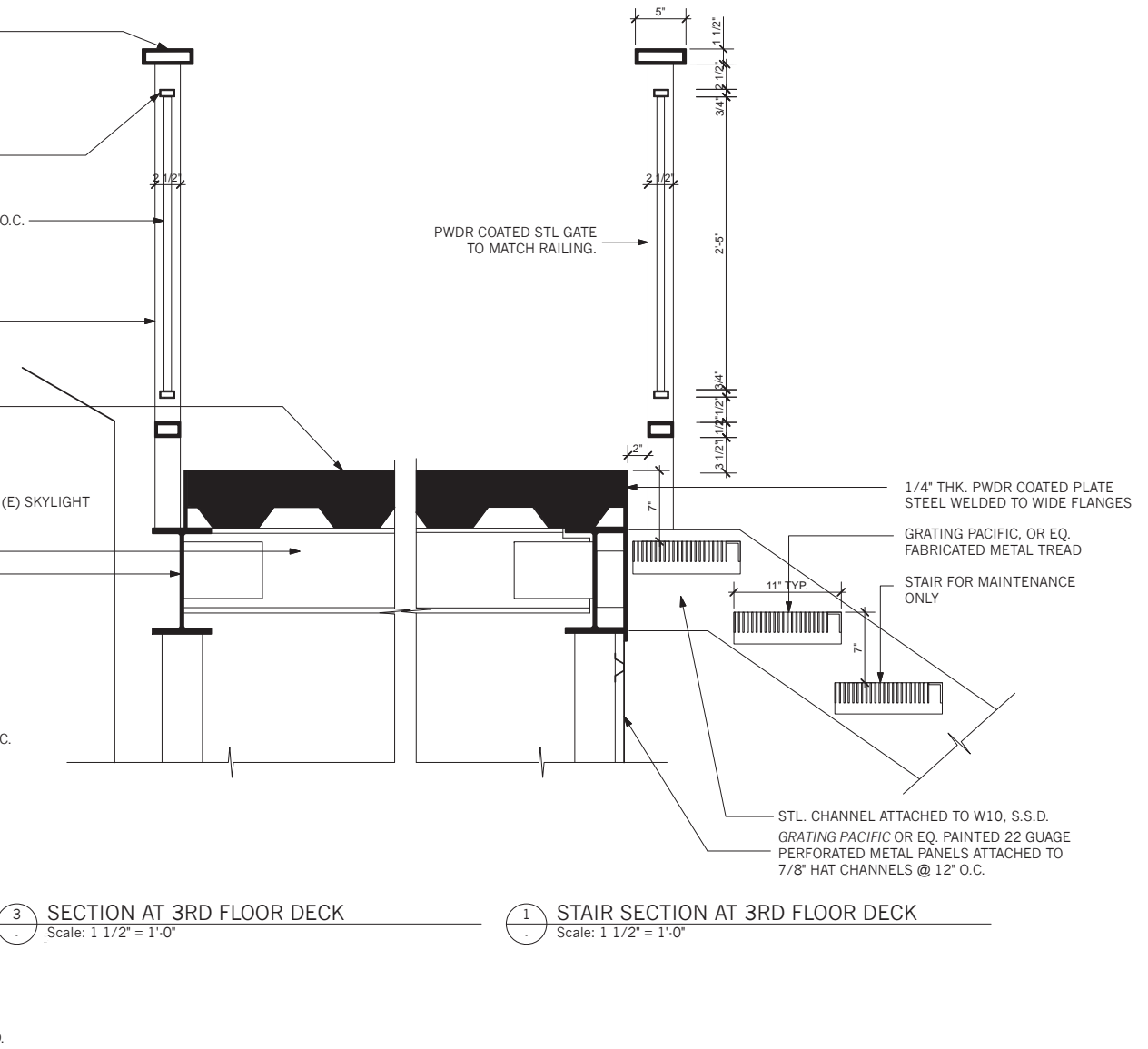
9 STEEL WINDOW HEAD, SILL, TYP.
Scale: N.T.S.



10 STEEL DOOR: HEAD, JAMB, SILL, TYP.
Scale: N.T.S.

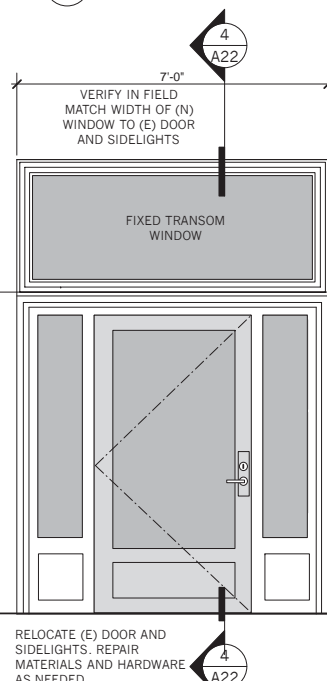


6 TYP. SECTION AT 3RD FLOOR DECK
Scale: 1 1/2" = 1'-0"

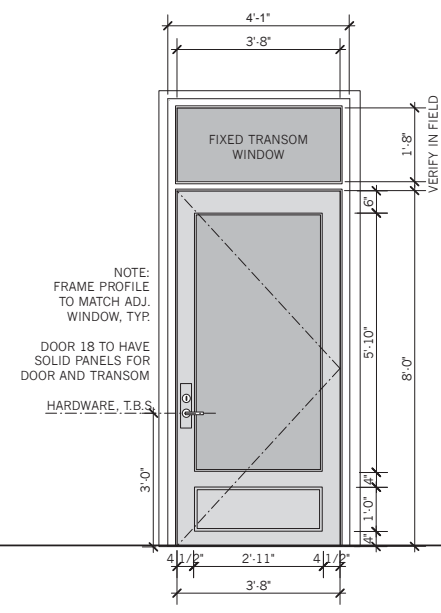


3 SECTION AT 3RD FLOOR DECK
Scale: 1 1/2" = 1'-0"

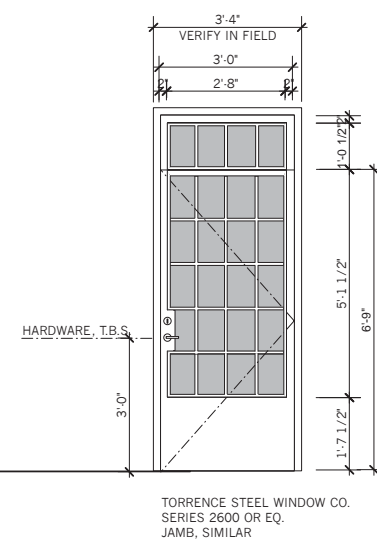
1 STAIR SECTION AT 3RD FLOOR DECK
Scale: 1 1/2" = 1'-0"



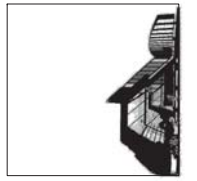
7 DOOR AT WEST ALLEY
Scale: 1/2" = 1'-0"



5 DOOR AT EAST LIGHT WELL
Scale: 1/2" = 1'-0"



4 DOOR AT 3RD FLOOR
Scale: 1/2" = 1'-0"



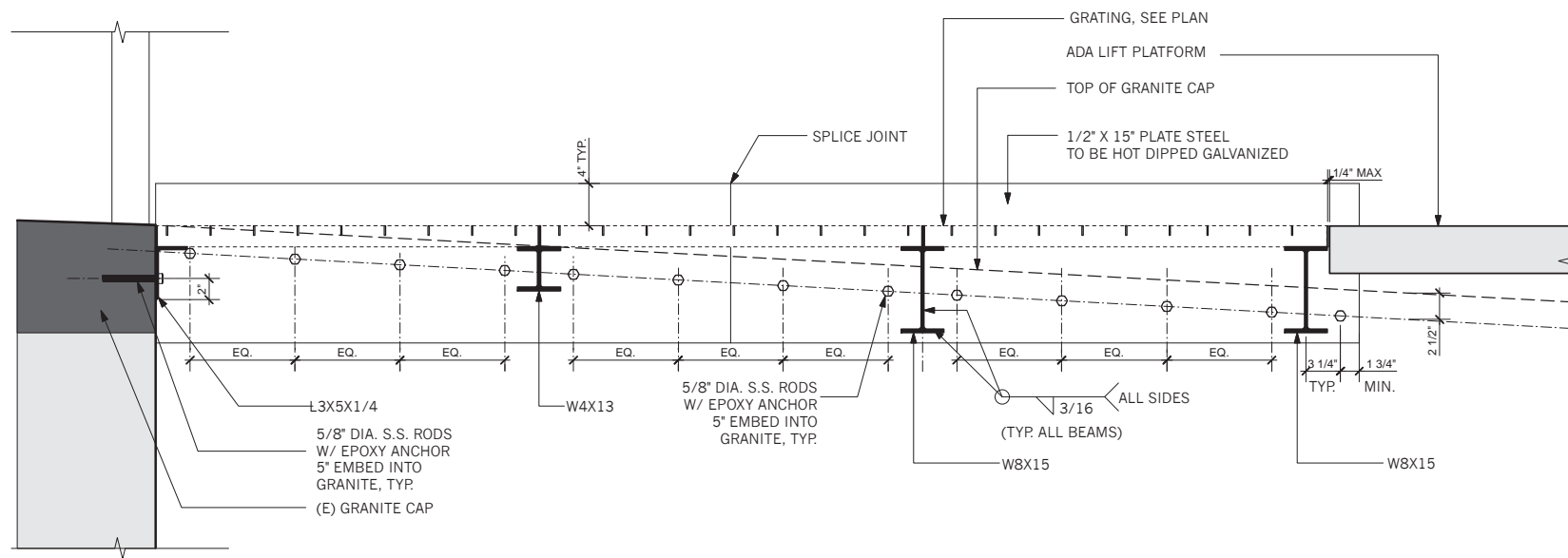
ELEVATIONarchitects
1159 Green Street, Suite 4
San Francisco, CA 94109
415.537.1125
www.elevationarchitects.com



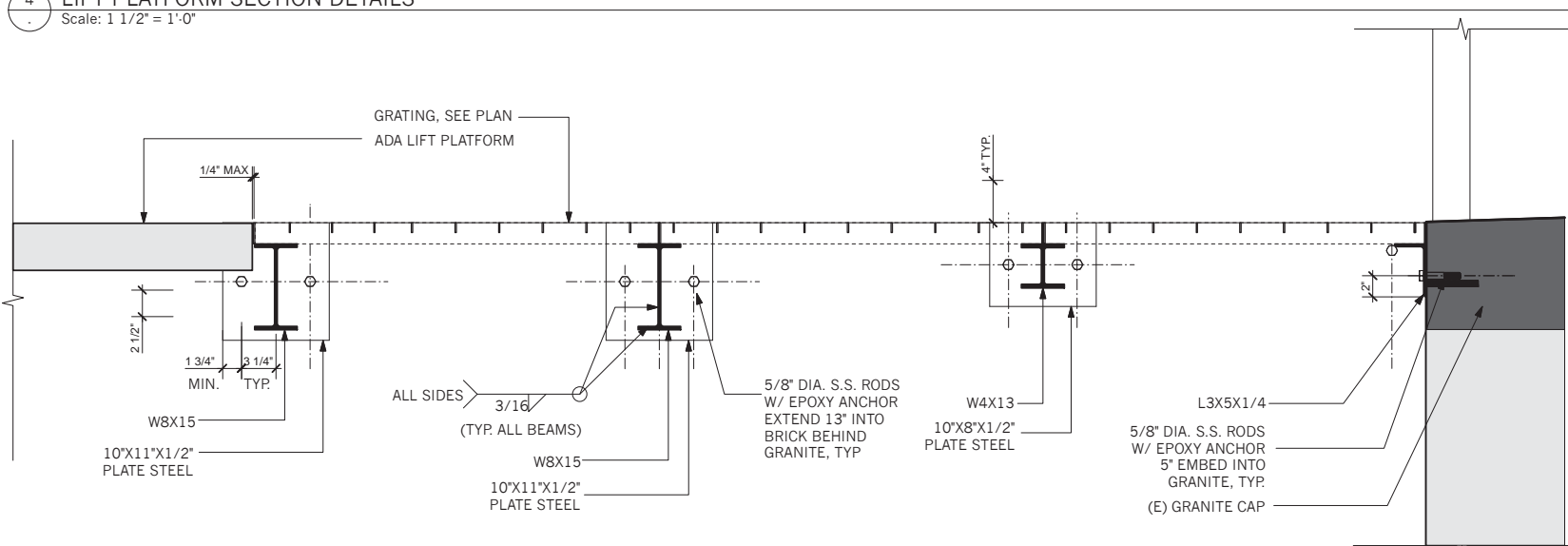
Renovation
HIBERNIA BANK
1 Jones Street
San Francisco, CA 94102

#	date	issue

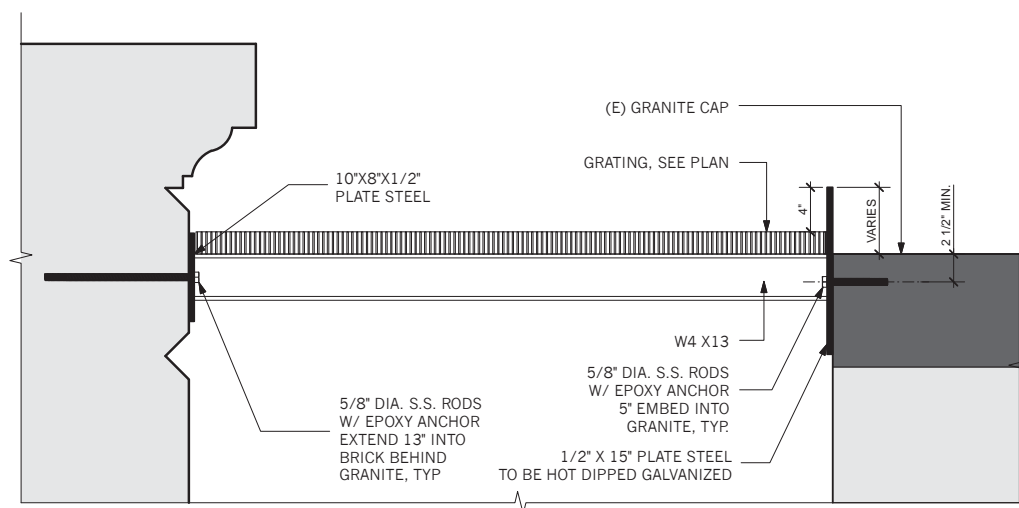
Wall Types
project: 09.03
drawn by: JP
checked by:
date: 04.20.15
scale:



4 LIFT PLATFORM SECTION DETAILS
Scale: 1 1/2" = 1'-0"

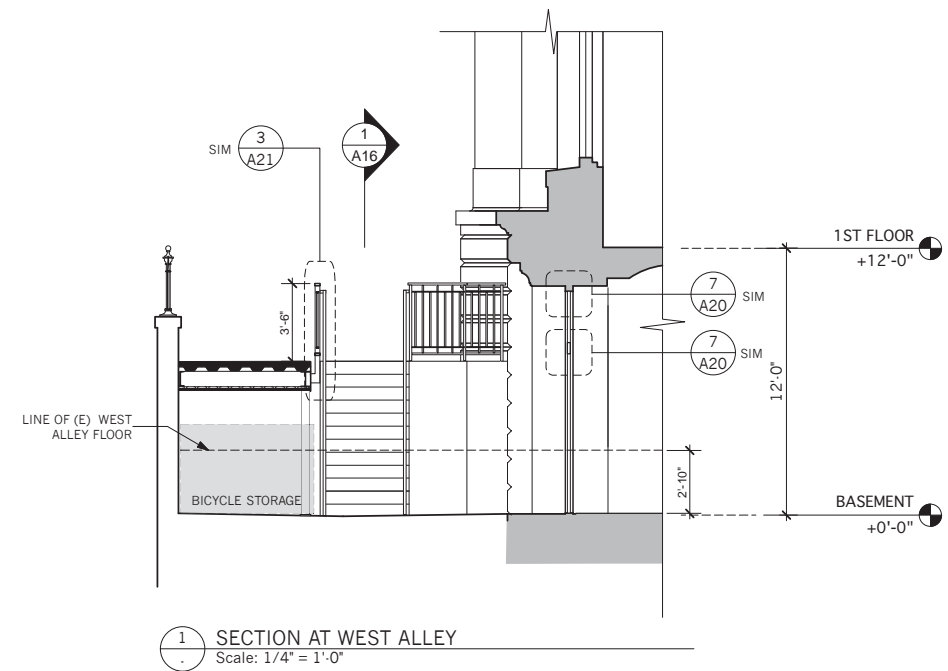


5 LIFT PLATFORM SECTION DETAILS
Scale: 1 1/2" = 1'-0"

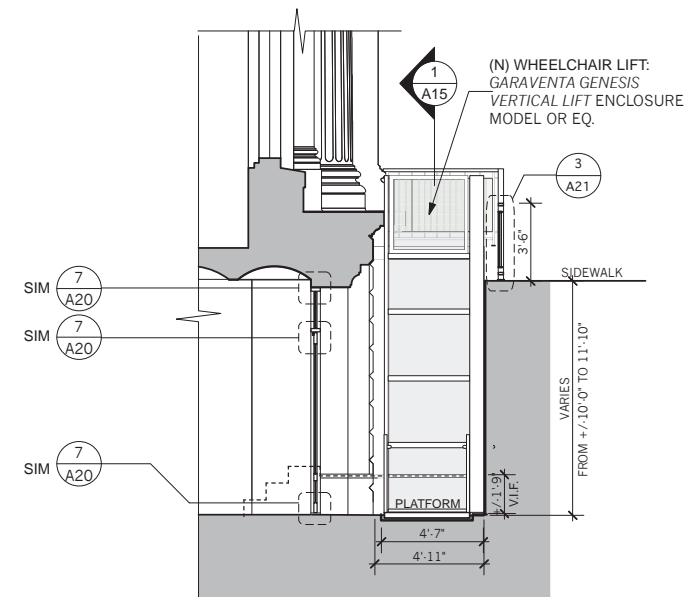


6 LIFT PLATFORM SECTION DETAILS
Scale: 1 1/2" = 1'-0"

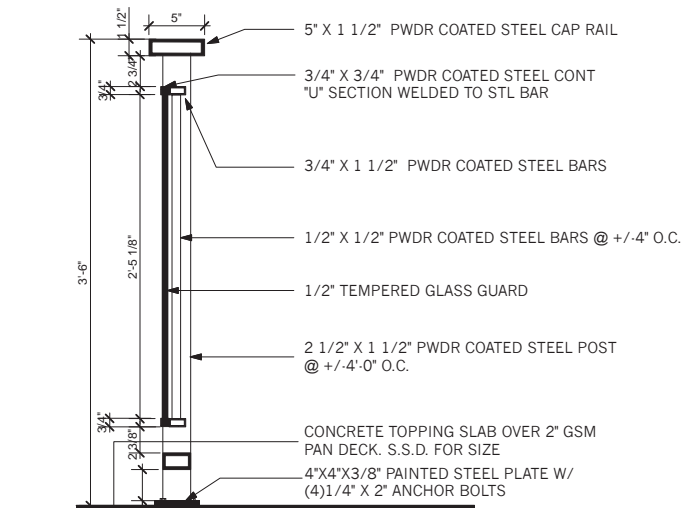
NOTE:
GRATING PACIFIC OR EQ. STEEL, DOVETAIL PRESSURE LOCKED GRATING (7-DT-4). W/ 2" X 1/8" BEARING BARS @ 7/16" O.C. AND CROSS BARS @ 4" O.C. ALL GRATING TO HAVE ALGRIP SURFACE, STANDARD TRIM BANDING AND TO BE HOT-DIPPED GALVANIZED (PER ASTM A-123). GRATING TO BE FASTENED TO SUPPORT WITH SADDLE CLIPS PER MFR. RECOMMENDATIONS.



1 SECTION AT WEST ALLEY
Scale: 1/4" = 1'-0"



2 SECTION AT EAST LIGHT WELL
Scale: 1/4" = 1'-0"



3 RAILING DETAIL AT JONES STREET LIGHT WELL
Scale: 1 1/2" = 1'-0"



ELEVATIONarchitects
1159 Green Street, Suite 4
San Francisco, CA 94109
415.537.1125 :v
www.elevationarchitects.com :w



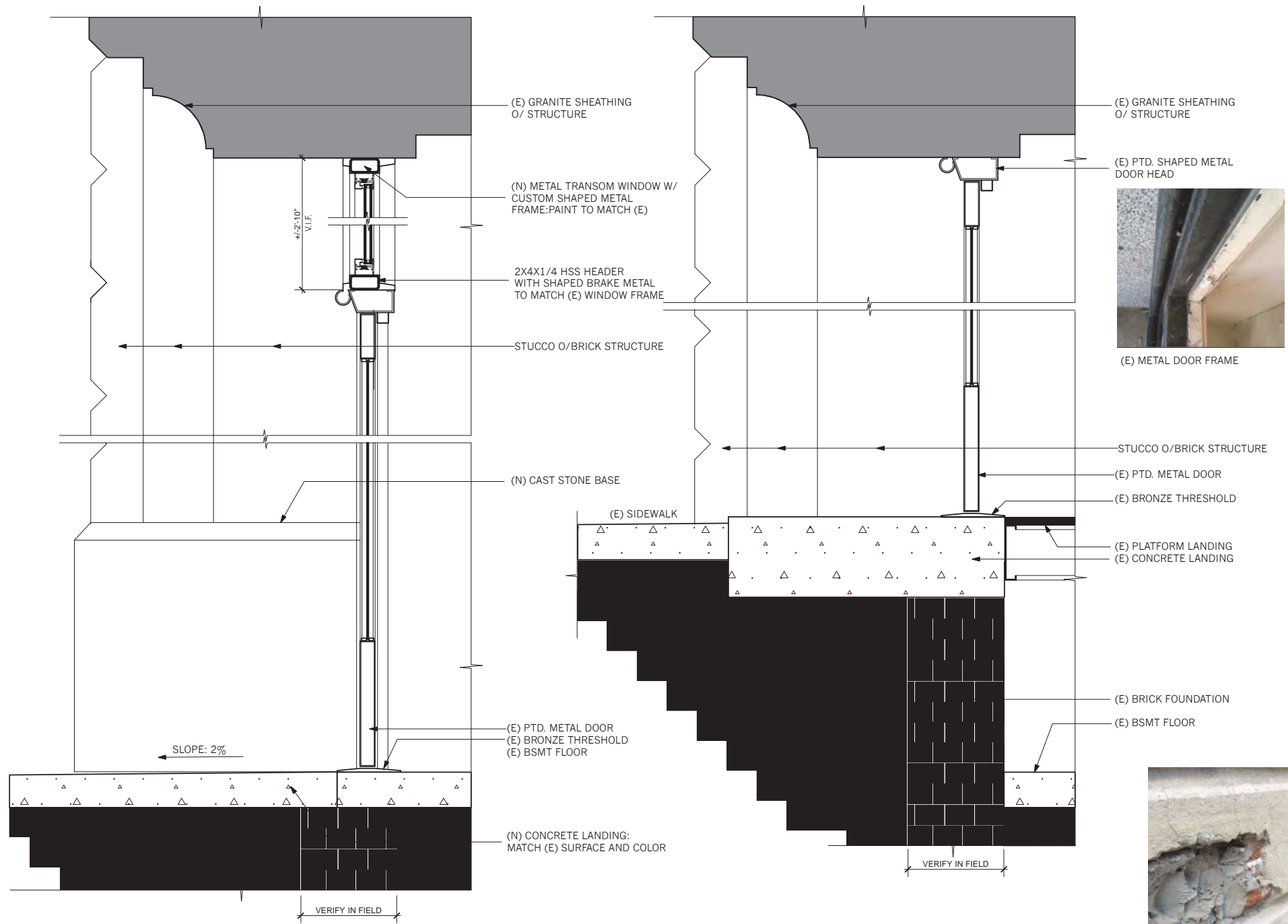
Renovation
HIBERNIA BANK
1 Jones Street
San Francisco, CA 94102

#	date	issue

Details

project: 09.03
drawn by: JP
checked by:
date: 04.20.15
scale:

A-21



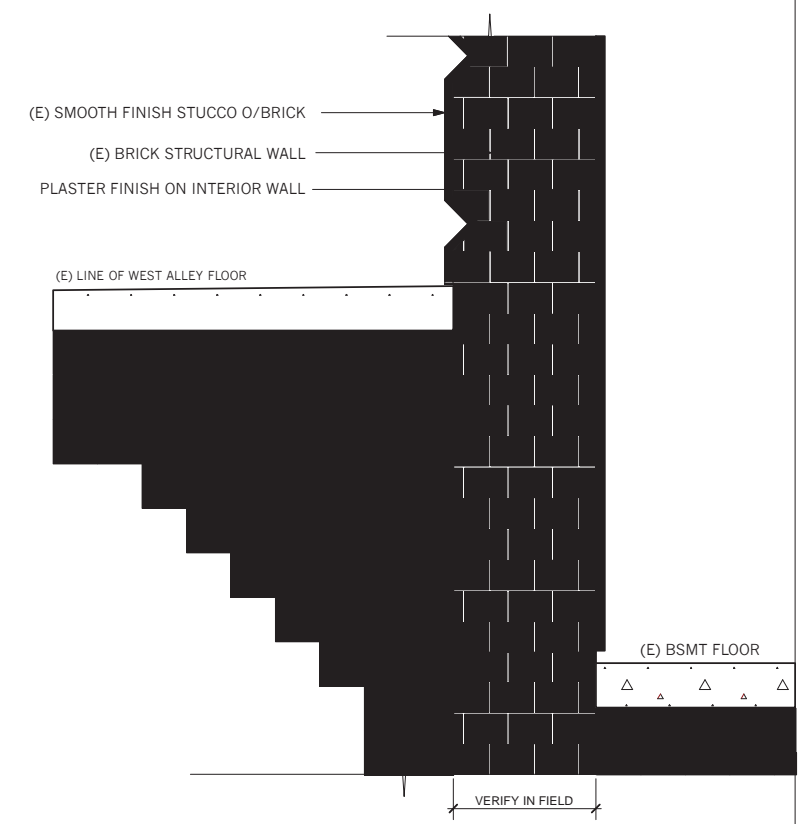
(E) METAL DOOR FRAME



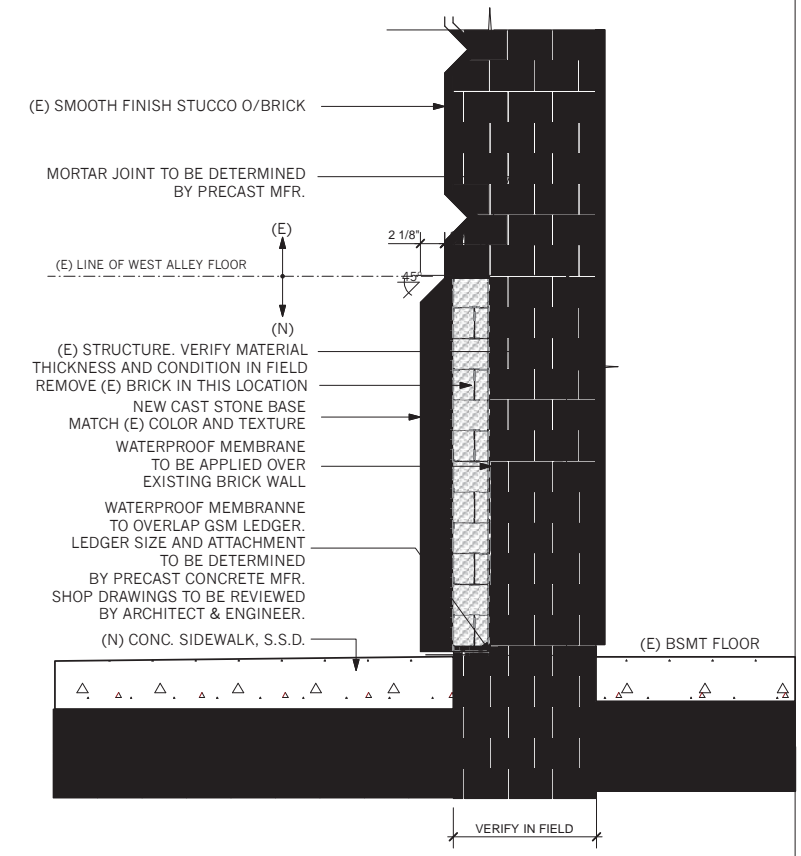
TYPICAL CONDITION OF BASEMENT WALL AT WEST ALLEY: 1" SMOOTH STUCCO OVER BRICK W/GRANITE DETAILS (LOWER CORNER)

4 PROPOSED SECTION AT WEST ALLEY DOOR
Scale: 1 1/2" = 1'-0"

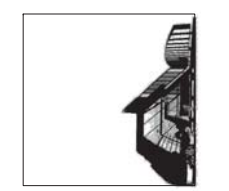
3 EXISTING SECTION AT WEST ALLEY DOOR
Scale: 1 1/2" = 1'-0"



1 (E) WEST ALLEY FLOOR
Scale: 1 1/2" = 1'-0" NOTE: DETAIL FOR BASE AT EAST LIGHT WELL IS SIMILAR



2 (N) CAST STONE BASE@ WEST ALLEY
Scale: 1 1/2" = 1'-0" NOTE: DETAIL FOR BASE AT EAST LIGHT WELL IS SIMILAR



ELEVATIONarchitects
1159 Green Street, Suite 4
San Francisco, CA 94109
415.537.1125
www.elevationarchitects.com



Renovation
HIBERNIA BANK
1 Jones Street
San Francisco, CA 94102

#	date	issue

Details

project:	09.03
drawn by:	JP
checked by:	
date:	04.20.15
scale:	



SAN FRANCISCO PLANNING DEPARTMENT

Historic Preservation Commission Motion No. 0180

HEARING DATE: DECEMBER 5, 2012

Filing Date: November 16, 2011
Case No.: **2011.0617A**
Project Address: **1 JONES STREET**
Historic Landmark: Landmark #130: Hibernia Bank
Zoning: C-3-G (Downtown General Commercial) District
80-120-T Height and Bulk District
Block/Lot: 0349/003
Applicant: Alice Barkley
555 Fourth Street, #105
San Francisco, CA 94107
Staff Contact: Pilar LaValley - (415) 575-9084
pilar.lavalley@sfgov.org
Reviewed By: Tim Frye - (415) 575-6822
tim.frye@sfgov.org

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

ADOPTING FINDINGS FOR A CERTIFICATE OF APPROPRIATENESS FOR PROPOSED WORK DETERMINED TO BE APPROPRIATE FOR AND CONSISTENT WITH THE PURPOSES OF ARTICLE 10, TO MEET THE STANDARDS OF ARTICLE 10 AND TO MEET THE SECRETARY OF INTERIOR'S STANDARDS FOR REHABILITATION, FOR THE PROPERTY LOCATED ON LOT 003 IN ASSESSOR'S BLOCK 0349, WITHIN A C-3-G (DOWNTOWN GENERAL COMMERCIAL) ZONING DISTRICT AND A 80-120-T HEIGHT AND BULK DISTRICT.

PREAMBLE

WHEREAS, on November 16, 2011, Alice Barkley on behalf of the property owner ("Project Sponsor") filed an application with the San Francisco Planning Department ("Department") for a Certificate of Appropriateness to make seismic, fire/life-safety, and accessibility upgrades associated with a potential new "assembly" use of the building, at the subject property located on Lot 003 in Assessor's Block 0349 within a C-3-G (Downtown General Commercial) Zoning District and a 80-120-T Height and Bulk District.

WHEREAS, the Project was determined to be exempt from the California Environmental Quality Act ("CEQA") as a Class 31 Categorical Exemption under CEQA as described in the determination contained in the Planning Department files for this Project. The Historic Preservation Commission ("Commission") has reviewed and concurs with said determination.

WHEREAS, on December 5, 2012, the Commission conducted a duly noticed public hearing on the current project, Case No. 2011.0617A ("Project") for its appropriateness.

WHEREAS, in reviewing the Application, the Commission has had available for its review and consideration case reports, plans, and other materials pertaining to the Project contained in the Department's case files, has reviewed and heard testimony and received materials from interested parties during the public hearing on the Project.

MOVED, that the Historic Preservation Commission hereby **APPROVES WITH CONDITIONS** the Certificate of Appropriateness, in conformance with the architectural plans dated October 15, 2012 and November 5, 2012 and labeled Exhibit A on file in the docket for Case No. 2011.0617A based on the following findings:

CONDITIONS OF APPROVAL

1. Construction details including section drawings that indicate all exterior profiles and dimensions of new exit doors at north and west elevations shall be provided, and are subject to review prior to approval of the Architectural Addendum by Planning Department staff.
2. Construction and attachment details for the new walkways at north and west elevations shall be provided, and are subject to review prior to approval of the Architectural Addendum by Planning Department staff.
3. Construction details including section drawings that indicate all exterior profiles and dimensions for new roof adjacent to dome shall be provided, and are subject to review prior to approval of the Architectural Addendum by Planning Department staff.
4. Construction details for penthouse lobby where it projects over an existing skylight that indicate all dimensions and clearances necessary to protect and maintain the existing skylight shall be provided, and are subject to review prior to approval of the Architectural Addendum by Planning Department staff.
5. All treatments for historic features and materials, including granite, marble, ornamental plaster, and Art Glass skylights shall be undertaken in accordance with specifications prepared by a qualified preservation firm.
6. Project sponsor will prepare mock ups of exterior cleaning of various exterior materials for review and approval by Planning Department staff. Test locations and mock ups shall be reviewed and approved by staff.
7. Project sponsor will evaluate condition of existing neon sign and of original incised sign underneath the neon sign, and will develop an approach to: 1) rehabilitate the existing neon sign; 2) salvage the neon sign and rehabilitate the original incised sign; or 3) identify another option and return to the Historic Preservation Commission with this proposal.

FINDINGS

Having reviewed all the materials identified in the recitals above and having heard oral testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and also constitute findings of the Commission.
2. Findings pursuant to Article 10:

The Historical Preservation Commission has determined that the proposed work is compatible with the exterior character-defining features of the subject building and meets the requirements of Article 10 of the Planning Code:

- That the proposal respects the character-defining features of the subject building;
- That the architectural character of the subject building will be maintained;
- All architectural elements and cladding will be repaired where possible in order to retain historic fabric;
- All architectural elements will be cleaned using the gentlest means possible and repaired only as necessary per specifications prepared by a qualified preservation firm;
- That the integrity of distinctive stylistic features and examples of skilled craftsmanship that characterize the building shall be preserved; and,
- The proposed project meets the following *Secretary of the Interior's Standards for Rehabilitation*:

Standard 1.

A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

Standard 2.

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

Standard 3.

Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

Standard 5.

Distinctive features, finishes, and construction techniques or examples of fine craftsmanship that characterize a property will be preserved.

Standard 7.

Chemical and physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

Standard 9.

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Standard 10.

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

3. **General Plan Compliance.** The proposed Certificate of Appropriateness is, on balance, consistent with the following Objectives and Policies of the General Plan:

I. URBAN DESIGN ELEMENT

THE URBAN DESIGN ELEMENT CONCERNS THE PHYSICAL CHARACTER AND ORDER OF THE CITY, AND THE RELATIONSHIP BETWEEN PEOPLE AND THEIR ENVIRONMENT.

GOALS

The Urban Design Element is concerned both with development and with preservation. It is a concerted effort to recognize the positive attributes of the city, to enhance and conserve those attributes, and to improve the living environment where it is less than satisfactory. The Plan is a definition of quality, a definition based upon human needs.

OBJECTIVE 1

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

POLICY 1.3

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

OBJECTIVE 2

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

POLICY 2.4

Preserve notable landmarks and areas of historic, architectural or aesthetic value, and promote the preservation of other buildings and features that provide continuity with past development.

POLICY 2.5

Use care in remodeling of older buildings, in order to enhance rather than weaken the original character of such buildings.

POLICY 2.7

Recognize and protect outstanding and unique areas that contribute in an extraordinary degree to San Francisco's visual form and character.

The goal of a Certificate of Appropriateness is to provide additional oversight for buildings and districts that are architecturally or culturally significant to the City in order to protect the qualities that are associated with that significance.

The proposed project qualifies for a Certificate of Appropriateness and therefore furthers these policies and objectives by maintaining and preserving the character-defining features of the landmark building for the future enjoyment and education of San Francisco residents and visitors.

4. The proposed project is generally consistent with the eight General Plan priority policies set forth in Section 101.1 in that:

- A) The existing neighborhood-serving retail uses will be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses will be enhanced:

The proposed project will not have any impact on neighborhood serving retail uses.

- B) The existing housing and neighborhood character will be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods:

The proposed project will strengthen neighborhood character by respecting the character-defining features of the landmark building in conformance with the Secretary of the Interior's Standards for Rehabilitation.

- C) The City's supply of affordable housing will be preserved and enhanced:

The project will not have any impact on the City's supply of affordable housing.

- D) The commuter traffic will not impede MUNI transit service or overburden our streets or neighborhood parking:

The proposed project will not result in commuter traffic impeding MUNI transit service or overburdening the streets or neighborhood parking. It will provide sufficient off-street parking for the proposed dwelling units.

- E) A diverse economic base will be maintained by protecting our industrial and service sectors from displacement due to commercial office development. And future opportunities for resident employment and ownership in these sectors will be enhanced:

The proposed project will not have any impact on industrial and service sector jobs.

- F) The City will achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake:

Preparedness against injury and loss of life in an earthquake is improved by the proposed work. The work will eliminate unsafe conditions at the site and all construction will be executed in compliance with all applicable construction and safety measures.

G) That landmark and historic buildings will be preserved:

The proposed project is in conformance with Article 10 of the Planning Code and the Secretary of the Interior's Standards for Rehabilitation.

H) Parks and open space and their access to sunlight and vistas will be protected from development:

The proposed project will not impact the access to sunlight or vistas for the parks and open space.

5. For these reasons, the proposal overall, is appropriate for and consistent with the purposes of Article 10, meets the standards of Article 10, and the *Secretary of Interior's Standards for Rehabilitation*, General Plan and Prop M findings of the Planning Code.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **GRANTS WITH CONDITIONS a Certificate of Appropriateness** for the property located at Lot 003 in Assessor's Block 0349 for proposed work in conformance with the architectural plans dated October 15, 2012 and November 5, 2012 and labeled Exhibit A on file in the docket for Case No. 2011.0617A.

APPEAL AND EFFECTIVE DATE OF MOTION: The Commission's decision on a Certificate of Appropriateness shall be final unless appealed within thirty (30) days. Any appeal shall be made to the Board of Appeals, unless the proposed project requires Board of Supervisors approval or is appealed to the Board of Supervisors as a conditional use, in which case any appeal shall be made to the Board of Supervisors (see Charter Section 4.135).

Duration of this Certificate of Appropriateness: This Certificate of Appropriateness is issued pursuant to Article 10 of the Planning Code and is valid for a period of three (3) years from the effective date of approval by the Historic Preservation Commission. The authorization and right vested by virtue of this action shall be deemed void and canceled if, within 3 years of the date of this Motion, a site permit or building permit for the Project has not been secured by Project Sponsor.

THIS IS NOT A PERMIT TO COMMENCE ANY WORK OR CHANGE OF OCCUPANCY UNLESS NO BUILDING PERMIT IS REQUIRED. PERMITS FROM THE DEPARTMENT OF BUILDING INSPECTION (and any other appropriate agencies) MUST BE SECURED BEFORE WORK IS STARTED OR OCCUPANCY IS CHANGED.

I hereby certify that the Historical Preservation Commission ADOPTED the foregoing Motion on December 5, 2012.

Jonas P. Ionin
Acting Commission Secretary

AYES: Commissioners Chase, Damkroger, Hasz, Johns, and Martinez

NAYS: None

ABSENT: Commissioners Matsuda and Wolfram

ADOPTED: December 5, 2012