



SAN FRANCISCO PLANNING DEPARTMENT

Executive Summary Conditional Use Authorization and Office Allocation

HEARING DATE: SEPTEMBER 27, 2018

Case No.: 2017-016476PRJ
Project Address: 420 Taylor Street
Zoning: C-3-G (Downtown General Commercial) Zoning District
225-S Height and Bulk District
Block/Lot: 0316/010
Project Sponsor: Chris Cundall, Perkins + Will
2 Bryant Street, Suite 300
San Francisco, CA 94105
Staff Contact: Nicholas Foster – (415) 575-9167
nicholas.foster@sfgov.org
Recommendation: **Approval with Conditions**

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PROJECT DESCRIPTION

The proposed project ("Project") would convert 34,910 square feet of the existing public parking garage at the basement and ground floors to general office, with a small area dedicated to retail use at the ground floor. The Project proposes interior and exterior tenant improvements that include new building entrances and windows within the three existing garage entrances, as well as the construction of a new 5,000 square foot mezzanine floor. The subject building is listed as an Article 11, Category IV contributory building within the Kearny-Market-Mason-Sutter Conservation District.

REQUIRED COMMISSION ACTION BASIS FOR RECOMMENDATION

In order for the Project to proceed, the Commission must grant: 1) a Conditional Use Authorization, pursuant to Planning Code Sections 210.2 and 303 to establish a Non-Retail Sales and Service Use (General Office Use) at the ground and basement floors; and 2) an Office Allocation from the Office Development Annual Limit, authorizing 38,791 square feet of General Office Use, pursuant to Planning Code Sections 321 and 322.

ISSUES AND OTHER CONSIDERATIONS

- **Conditional Use Authorization.** Pursuant to Planning Code Section 210.2, a Conditional Use Authorization is required to establish a Non-Retail Sales and Service Use (General Office) at the basement and ground floors ground floor within the C-3-G Zoning District. The existing building is an Article 11, Category IV contributory building that is not well suited to retail activity due to a lack of openings at the ground-floor. The conversion to Office Use at the basement and ground floors would create additional office jobs in a location that is well served by transit, and the introduction of a small retail space at the corner of the building will help to

activate the street frontage. The conversion to office would not create a substantive change to the public realm given the existing building's configuration and lack of openings to the exterior. Additionally, the elimination of the existing curb cuts will help create a more pedestrian-friendly environment along both street frontages.

- **Office Development Authorization.** The proposed Project includes the construction of a new, approximately 5,000 gross square foot mezzanine and a change in use of 34,910 gross square feet from public parking garage to general office use and therefore requires an Office Development Allocation of 38,791 gross square feet. As of June 26, 2018, 918,329 gross square feet of "Small Cap" Office Development was available under the Section 321 office allocation program. If the Project is approved, approximately 879,538 square feet of space will remain in the Small Cap pool.
- **Public Comment & Outreach.** The Department has received one letter of support regarding the proposed Project.

BASIS FOR RECOMMENDATION

The Department finds that the Project is, on balance, consistent with the Objectives and Policies of the General Plan. The Department also finds the project to be necessary, desirable, and compatible with the surrounding neighborhood, and not to be detrimental to persons or adjacent properties in the vicinity. The Project will create additional office space in a building already containing office uses, bolstering employment in area well-served by transit. Further, the Project will activate the subject building's two street frontages, by replacing garage entrances with new storefront and building entrances, as well as the introduction of a 925 square-foot ground-floor retail space. The elimination of the three garage entrances and adjacent curb cuts will reduce vehicle-pedestrian conflicts, helping improve pedestrian safety along both street frontages.

ATTACHMENTS:

Draft Motions – Conditional Use Authorization; Office Allocation
Exhibit A – Conditions of Approval
Exhibit B – Plans and Renderings
Exhibit C – Environmental Determination
Exhibit D – Land Use Data
Exhibit E – Maps and Context Photos
Exhibit F - Public Correspondence
Exhibit G - Project Sponsor Brief



SAN FRANCISCO PLANNING DEPARTMENT

Planning Commission Draft Motion

HEARING DATE: SEPTEMBER 27, 2018

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Case No.: **2017-016476CUA**
Project Address: **420 Taylor Street**
Zoning: C-3-G (Downtown General Commercial) Zoning District
225-S Height and Bulk District
Block/Lot: 0316/010
Project Sponsor: Chris Cundall, Perkins + Will
2 Bryant Street, Suite 300
San Francisco, CA 94105
Property Owner: Ray Falack
1407 Broadway, 30th Floor
New York, NY 10018
Staff Contact: Nicholas Foster – (415) 575-9167
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ADOPTING FINDINGS RELATED TO THE APPROVAL OF A CONDITIONAL USE AUTHORIZATION PURSUANT TO SECTIONS 210.2 AND 303 OF THE PLANNING CODE TO ALLOW THE ESTABLISHMENT OF A NON-RETAIL SALES AND SERVICE USE (GENERAL OFFICE USE) AT THE GROUND AND BASEMENT FLOORS WITHIN THE C-3-G (DOWNTOWN GENERAL COMMERCIAL) ZONING DISTRICT AND A 225-S HEIGHT AND BULK DISTRICT, AND ADOPTING FINDINGS UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.

PREAMBLE

On December 14, 2017, Gerry Tierney of Perkins + Will, on behalf of Ray Falack (hereinafter "Project Sponsor") filed an application with the Planning Department (hereinafter "Department") for a Minor Permit to Alter for tenant improvements associated with establishment of Office Use (Non-Retail Sales and Service Use) at the ground and basement floors within the C-3-G Zoning District and a 225-S Height and Bulk District. The application packet was accepted on December 27, 2017 and assigned Case No. 2017-016476PTA.

On February 27, 2018, the Project Sponsor filed an application with the Department for Conditional Use Authorization (Case No. 2017-016476CUA) under Planning Code Sections 210.2 and 303 to allow the establishment of Office Use (Non-Retail Sales and Service Use) at the ground and basement floors within the C-3-G Zoning District.

On March 2, 2018, the Project Sponsor filed an application with the Department for an Office Allocation under Planning Code Sections 321 and 322 to authorize up to 35,654 square feet of Office Use (Case No. 2017-016476OFA).

On May 23, 2018, the Project Sponsor submitted an Environmental Evaluation Application Case No. 2017-016476ENV).

On July 3, 2018, the Department issued a Notification of Project Receiving Environmental Review to owners and occupants of properties within a 300 foot radius of the project site, and other interested parties.

On July 26, 2018, before hearing the item, the Commission received a request from the Project Sponsor to continue the hearing to September 27, 2018. The Commission voted 6-0 (Commissioner Hillis was absent) to continue the item to the September 27, 2018 Commission hearing date.

On August 9, 2018, the Project was issued a Categorical Exemption, Class 32 under the California Environmental Quality Act (CEQA) Guidelines Section 15322. Approval of the Conditional Use Authorization by the Planning Commission is the Approval Action for the project. The Approval Action date establishes the start of the 30-day appeal period for this CEQA exemption determination pursuant to Section 31.04(h) of the San Francisco Administrative Code.

On August 29, 2018, the Project Sponsor filed an updated application with the Department for Office Allocation under Planning Code Sections 321 and 322 to authorize up to 38,791 square feet of Office Use.

On September 4, 2018, a Minor Permit to Alter was issued by Department staff on behalf of the Historic Preservation Commission, per HPC Motion No. 0289 and in accordance with Article 11, Sec. 1111.1 of the San Francisco Planning Code.

On September 27, 2018, the San Francisco Planning Commission (hereinafter "Commission") conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Application No. 2017-016476CUAOF.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

MOVED, that the Commission hereby authorizes the Conditional Use requested in Application No. 2017-016476CUAOF, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.
2. **Project Description.** The proposed project ("Project") would convert 34,910 square feet of the existing public parking garage at the basement and ground floors to general office, with a small area dedicated to Retail Sales and Service Use at the ground floor. The Project proposes interior and exterior tenant improvements that include new building entrances and windows within the

three existing garage entrances, as well as the construction of a new 5,000 square foot mezzanine floor. The subject building is listed as an Article 11, Category IV contributory building within the Kearny-Market-Mason-Sutter Conservation District.

3. **Site Description and Present Use.** The 18,905-square-foot project site ("Site") (Assessors Block 0316, Lots 010) (District 3) is located on the block bounded by Taylor Street to the west, Geary Street to the north, Mason Street to the east, and O'Farrell Street to the south. The Site is located within the C-3-G Zoning District, and the 225-S Height and Bulk District. The site is a partially upsloping lot (as measured from O'Farrell Street) and contains 137'-5" feet of street frontage along both Taylor and O'Farrell Streets. The Site is developed with a four-story-over-basement building constructed in 1940. The building, known as the "NBC Radio City" building, housed NBC KPO/KGO radio studios in the 1940s and contained a substantial 81-foot-tall tower atop the building's northeast corner. After the departure of the radio station in the late 1950s, the basement and ground levels were converted to a Public Parking Garage containing 185 parking spaces, with Office Use on floors two through four.
4. **Surrounding Properties and Neighborhood.** The Project Site is located within the eastern half of the Downtown/Civic Center neighborhood, within an area proliferated with hotels and retail sales and services uses catering to tourists that visit Union Square, located two blocks east of the site. The area around the site includes a mix of institutional, residential, hotel, and office uses. The neighborhood is mixed with regard to land uses and bulk/height; with several large 20-40+ story towers containing Hotel Uses, 6-12+ story mixed-use buildings containing Residential Uses above ground-floor Retail Sales and Service Uses, and several 2-4 story commercial buildings containing a mix of Retail Sales and Service Uses, Institutional Uses, and Automotive Uses (Vehicle Storage Garage). Located on the same lot are the Clift Hotel, American Conservatory Theater, Curran Theatre, and the Mason O'Farrell Public Parking Garage containing 970 parking spaces. The site is located three blocks northwest of the Powell Street BART/MUNI station.
5. **Public Outreach and Comments.** The Department has received one letter of support regarding the proposed Project.
6. **Planning Code Compliance.** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:
 - A. **Use (Sections 102, 210.2).** The Planning Code lists general office use as a Non-Retail Sales and Service Use. Non-Retail Sales and Service Uses are principally permitted above the ground floor, whereas a Conditional Use Authorization is required to establish a Non-Retail Sales and Service Use at or below the ground floor.

The proposed Project would convert 34,910 square feet of the existing public parking garage at the basement and ground floors to general office, with 925 square feet devoted to Retail Sales and Service Use at the ground floor. With the addition of a new 5,000 gross square foot mezzanine, 38,791 gross square feet of general office use would be allocated at the subject property. See Section 7, below, for Section 303 Conditional Use findings.

- B. **Off-Street Freight Loading (Sections 210.2, 152).** The Planning Code requires 0.1 space per 10,000 square feet of Occupied Floor Area for Non-Retail and Service Uses.

The site currently has 82,383 square feet of office use which would require 1 loading spaces. The site is currently non-conforming for off-street loading. The project would add 5,000 square feet of new office, which does not need additional loading spaces. Therefore, the project complies with Sections 188, 210.2 and 152.

- C. **Bicycle Parking (Section 155.1).** The Planning Code requires bicycle parking for Office Use in the following amounts: one Class 1 bicycle parking space for every 5,000 square feet of Occupied Floor Area; and one Class 2 bicycle parking space for every 50,000 square feet of Occupied Floor Area (minimum two spaces).

The existing building contained 82,383 square feet of Occupied Floor Area, with two existing Class 2 spaces provided, but no Class 1 spaces provided. Per Code Section 155.2(a)(4), bicycle parking would be required when a "change of occupancy or increase in intensity of use which would increase the number of total required bicycle parking spaces (inclusive of Class 1 and 2 spaces in aggregate) by 15 percent." The proposed Project involves the allocation of 38,791 gross square feet of Office Use that would require bicycle parking. As a result, the proposed Project would add Class 1 and Class 2 bicycle parking spaces in the amounts required per Code, with at least 15 Class 1 bicycle parking spaces and at least 4 Class 2 bicycle parking spaces. Therefore, the proposed Project conforms with Planning Code Section 155.1.

- D. **Shower Facilities and Lockers (Section 155.4).** The Planning Code requires shower facilities and lockers for Non-Retail Sales and Service Uses in the following amounts: two showers and 12 clothes lockers where the Occupied Floor Area exceeds 20,000 square feet but is no greater than 50,000 square feet, and four showers and 24 clothes lockers are required where the Occupied Floor Area exceeds 50,000 square feet.

The proposed Project involves the allocation of 38,791 gross square feet of Office Use that would require shower facilities and lockers. As a result, the proposed Project would add showers and clothes lockers Class in the amounts required per Code, with at least four showers and 24 clothes lockers. Therefore, the proposed Project conforms with Planning Code Section 155.4.

- E. **Transportation Demand Management (TDM) Plan (Section 169).** Pursuant to TDM Program Standards (as outlined in Planning Code Section 169), the Project shall finalize a TDM Plan prior Planning Department approval of the first Building Permit or Site Permit.

The Project Sponsor submitted a completed Development Application or Environmental Evaluation Application prior to May 23, 2018. Therefore, the Project must achieve 100% of the point target established in the TDM Program Standards, resulting in a required target of thirteen (13) points. As currently proposed, the Project will achieve thirteen (13) points through the following TDM measures:

- *Parking Supply (Option K): 11 points;*
- *Bicycle Parking (Option A): 1 points;*
- *Showers and Lockers: 1 point*

Therefore the Project is in compliance with Code Section 169.

7. **Conditional Use Findings.** Planning Code Section 303 establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use authorization. On balance, the project complies with said criteria in that:

- A. The proposed new uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.

The proposed Project involves a change in use from public parking garage to general office at the basement and ground floors. The subject building has been identified as an historic resource and the Project proposes an adaptive re-use of the basement and ground floors, introducing new storefront and building entrances located within the three, existing garage openings, with no expansion of the building's envelope. The conversion to general office use at the basement and ground floors would create additional office jobs in a location that is well served by transit, and the introduction of a small retail space at the corner of the building will help to activate the street frontage. The conversion to office would not create a substantive change to the public realm given the existing building's configuration and lack of openings to the exterior. Additionally, the elimination of the existing curb cuts will help create a more pedestrian-friendly environment along both street frontages. On balance, the new Office Use will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.

- B. The proposed project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the project that could be detrimental to the health, safety or convenience of those residing or working the area, in that:

- i. Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

The proposed Project involves interior and exterior tenant improvements to the existing, building. These improvements will help activate the ground-floor by providing a Retail Sales and Service Use located at the corner of the building, with a new storefront and building entrances located within the building's existing parking entrances. There will be no changes to the size or shape of the existing building; its height and bulk will remain the same.

- ii. The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

The existing building contains three parking entrances and adjacent curb cuts, accessing the public parking garage. The Project would eliminate all three parking entrances and adjacent curb cuts, reducing potential vehicle-pedestrian conflicts, thereby helping improve overall pedestrian safety along both street frontages. Future building tenants will benefit from the addition of Class 1 and 2 bicycle parking where no Class 1 spaces existed before, while the Site itself is located with a transit-rich location, well-served by MUNI, and within walking distance to the Powell Street BART/MUNI transit station. Both future building tenants and

Union Square patrons necessitating off-street parking would still have access to numerous public parking facilities within the immediate vicinity, including the 950-space Mason O'Farrell Public Parking Garage, located immediately adjacent to the Project Site.

- iii. The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

The proposed Project includes interior tenant alterations to an existing building. The Project will not include any uses that would emit noxious or offensive emissions such as noise, glare, dust and odor, and will provide proper venting for the space in compliance with the San Francisco Building Code standards.

- iv. Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

The proposed Project includes interior and exterior tenant improvements, adding a new retail storefront and building entrances located within the building's existing parking entrances. These improvements will help improve the overall pedestrian experience along both street frontages, through the introduction of new building entrances that are both human-scaled and contextually-designed. The new retail storefront and building entrances will include significant amounts of glazing to promote transparency into the building at the ground-floor, thereby helping active the street frontages.

- C. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

The Project complies with all relevant requirements and standards of the Planning Code and is consistent with objectives and policies of the General Plan as detailed below.

- D. That the use as proposed would provide development that is in conformity with the purpose of the applicable Use District.

The proposed Project is consistent with the stated purpose of the C-3-G Zoning District, which, is composed of a variety of uses: Retail, offices, hotels, entertainment, clubs and institutions, and high-density residential.

- 8. **General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

DOWNTOWN PLAN AREA Objectives and Policies

OBJECTIVE 2:

MAINTAIN AND IMPROVE SAN FRANCISCO'S POSITION AS A PRIME LOCATION FOR FINANCIAL, ADMINISTRATIVE, CORPORATE AND PROFESSIONAL ACTIVITY.

Policy 2.1:

Encourage prime downtown office activities to grow as long as undesirable consequences of such growth can be controlled.

Policy 2.2:

Guide location of office development to maintain a compact downtown core and minimize displacement of other uses.

COMMERCE AND INDUSTRY ELEMENT

GENERAL/CITYWIDE

Objectives and Policies

OBJECTIVE 1:

MANAGE ECONOMIC GROWTH AND CHANGE TO ENSURE ENHANCEMENT OF THE TOTAL CITY LIVING AND WORKING ENVIRONMENT.

Policy 1.1:

Encourage development which provides substantial net benefits and minimizes undesirable consequences. Discourage development that has substantial undesirable consequences that cannot be mitigated.

Policy 1.2:

Assure that all commercial and industrial uses meet minimum, reasonable performance standards.

Policy 1.3:

Locate commercial and industrial activities according to a generalized commercial and industrial land use plan.

OBJECTIVE 2:

MAINTAIN AND ENHANCE A SOUND AND DIVERSE ECONOMIC BASE AND FISCAL STRUCTURE FOR THE CITY.

Policy 2.1:

Seek to retain existing commercial and industrial activity and to attract new such activity to the City.

OBJECTIVE 3:

PROVIDE EXPANDED EMPLOYMENT OPPORTUNITIES FOR CITY RESIDENTS, PARTICULARLY THE UNEMPLOYED AND ECONOMICALLY DISADVANTAGED.

Policy 3.1:

Promote the attraction, retention and expansion of commercial and industrial firms which provide employment improvement opportunities for unskilled and semi-skilled workers.

TRANSPORTATION ELEMENT

Objectives and Policies

OBJECTIVE 2:

USE THE TRANSPORTATION SYSTEM AS A MEANS FOR GUIDING DEVELOPMENT AND IMPROVING THE ENVIRONMENT.

Policy 2.1:

Use rapid transit and other transportation improvements in the city and region as the catalyst for desirable development and coordinate new facilities with public and private development.

URBAN DESIGN ELEMENT

Objectives and Policies

OBJECTIVE 1:

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

Policy 1.3

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

Policy 1.6:

Make centers of activity more prominent through design of street features and by other means.

The Project would convert 38,791 square feet of public parking garage at the basement and ground floors into general office use and construct a new, approximately 5,000 square foot mezzanine level within an existing building that is not well suited to retail activity. The conversion to office use will create additional office space in a building already containing office uses, bolstering employment in area well-served by transit

The Project will help activate the subject building's two street frontages, by replacing vehicular parking entrances with new storefront and building entrances, as well as the introduction of a 925 square feet of ground-floor retail space. The elimination of the three parking entrances and adjacent curb cuts will reduce vehicle-pedestrian conflicts, helping improve pedestrian safety along both street frontages. On balance, the Project is consistent with the Objectives and Policies of the General Plan.

9. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project complies with said policies in that:
 - A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

The Project would retain the general office use on the upper floors, converting the basement and ground-floors to general office use, with neighborhood-serving retail space located at the corner of the building on the ground-floor.

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

The subject building has been identified as an historic resource and the Project proposes an adaptive re-use of the basement and ground floors, introducing new storefront and building entrances located within the three, existing garage openings, with no expansion of the building's envelope, helping to preserve neighborhood character.

- C. That the City's supply of affordable housing be preserved and enhanced,

The existing building contained only non-residential uses and the proposed Project would maintain only non-residential uses. As such, the Project will have no effect on the City's supply of affordable housing.

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

The Project would not result in commuter traffic impeding MUNI transit service or overburdening the streets or neighborhood parking. The Project Site is located within walking distance to the Powell Street BART/MUNI transit station and is well-served by public transit.

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

The Project will convert a public parking garage at the basement and ground floors into Office Use (Non-Retail Sales and Service Use). Given the extensive availability of public parking facilities within the immediate vicinity, the Project is anticipated to create office jobs, which, in turn, would lead to greater patronage of local retail sales and service uses, thereby supporting a broad economic base.

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The Project will conform to all structural and seismic requirements of the San Francisco Building Code, and thus meet this requirement.

- G. That landmarks and historic buildings be preserved.

The existing 4-story-over-basement building is an Article 11, Category IV contributory building within the Kearny-Market-Mason-Sutter Conservation District. The Project preserves the existing building and has been thoroughly reviewed by Historic Preservation staff. The Department has

determined that the proposed Project would not cause a substantial adverse change in the significance of the historical resource.

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

The Project does not involve any expansion of the existing building and will therefore have no effect on parks or open space, or their access to sunlight and views.

10. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
11. The Commission hereby finds that approval of the Conditional Use Authorization would promote the health, safety and welfare of the City.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Authorization Application No. 2017-016476CUA** subject to the following conditions attached hereto as "EXHIBIT A" in general conformance with plans on file, dated August 29, 2018, and stamped "EXHIBIT B", which is incorporated herein by reference as though fully set forth.

APPEAL AND EFFECTIVE DATE OF MOTION: Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion. The effective date of this Motion shall be the date of this Motion if not appealed (after the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

Protest of Fee or Exaction: You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development.

If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission's adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator's Variance Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives **NOTICE** that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period.

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on September 27, 2018.

Jonas P. Ionin
Commission Secretary

AYES:

NAYS:

ABSENT:

ADOPTED: September 27, 2018

EXHIBIT A

AUTHORIZATION

This authorization is for a conditional use to establish a non-residential (Office Use) at or below the ground floor, located at 420 Taylor Street, Block 0316 and Lot 010, pursuant to Planning Code Sections 210.2 and 303 within the C-3-G Zoning District and a 225-S Height and Bulk District; in general conformance with plans, dated **August 29, 2018**, and stamped "EXHIBIT B" included in the docket for Record No. **2017-016476CUA** and subject to conditions of approval reviewed and approved by the Commission on **September 27, 2018** under Motion No **XXXXXX**. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

RECORDATION OF CONDITIONS OF APPROVAL

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on **XXXXXX** under Motion No **XXXXXX**.

PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. **XXXXXX** shall be reproduced on the Index Sheet of construction plans submitted with the site or building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

SEVERABILITY

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use authorization.

Conditions of Approval, Compliance, Monitoring, and Reporting

PERFORMANCE

1. **Validity.** The authorization and right vested by virtue of this action is valid for three (3) years from the effective date of the Motion. The Department of Building Inspection shall have issued a Building Permit or Site Permit to construct the project and/or commence the approved use within this three-year period.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

2. **Expiration and Renewal.** Should a Building or Site Permit be sought after the three (3) year period has lapsed, the project sponsor must seek a renewal of this Authorization by filing an application for an amendment to the original Authorization or a new application for Authorization. Should the project sponsor decline to so file, and decline to withdraw the permit application, the Commission shall conduct a public hearing in order to consider the revocation of the Authorization. Should the Commission not revoke the Authorization following the closure of the public hearing, the Commission shall determine the extension of time for the continued validity of the Authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

3. **Diligent pursuit.** Once a site or Building Permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. Failure to do so shall be grounds for the Commission to consider revoking the approval if more than three (3) years have passed since this Authorization was approved.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

4. **Extension.** All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

5. **Conformity with Current Law.** No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

6. **Expiration and Renewal.** Should a Building or Site Permit be sought after the three (3) year period has lapsed, the project sponsor must seek a renewal of this Authorization by filing an application for an amendment to the original Authorization or a new application for Authorization. Should the project sponsor decline to so file, and decline to withdraw the permit

application, the Commission shall conduct a public hearing in order to consider the revocation of the Authorization. Should the Commission not revoke the Authorization following the closure of the public hearing, the Commission shall determine the extension of time for the continued validity of the Authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

7. **Diligent Pursuit.** Once a site or Building Permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. Failure to do so shall be grounds for the Commission to consider revoking the approval if more than three (3) years have passed since the date that the Planning Code text amendment(s) and/or Zoning Map amendment(s) became effective.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

8. **Extension.** All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

9. **Conformity with Current Law.** No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

10. **Additional Project Authorization.** The Project Sponsor must obtain an Office Development Authorization from the Planning Commission, pursuant to Planning Code Sections 321 and 322, for establishment of 38,791 square feet of Office Use, and satisfy all the conditions thereof. The conditions set forth below are additional conditions required in connection with the Project. If these conditions overlap with any other requirement imposed on the Project, the more restrictive or protective condition or requirement, as determined by the Zoning Administrator, shall apply.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

DESIGN – COMPLIANCE AT PLAN STAGE

11. **Final Materials.** The Project Sponsor shall continue to work with Planning Department on the building design. Final materials, glazing, color, texture, landscaping, and detailing shall be subject to Department staff review and approval. The architectural addenda shall be reviewed and approved by the Planning Department prior to issuance.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

12. **Garbage, composting and recycling storage.** Space for the collection and storage of garbage, composting, and recycling shall be provided within enclosed areas on the property and clearly labeled and illustrated on the building permit plans. Space for the collection and storage of recyclable and compostable materials that meets the size, location, accessibility and other standards specified by the San Francisco Recycling Program shall be provided at the ground level of the buildings.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

13. **Transformer Vault.** The location of individual project PG&E Transformer Vault installations has significant effects to San Francisco streetscapes when improperly located. However, they may not have any impact if they are installed in preferred locations. Therefore, the Planning Department recommends the following preference schedule in locating new transformer vaults, in order of most to least desirable:

- a. On-site, in a basement area accessed via a garage or other access point without use of separate doors on a ground floor façade facing a public right-of-way;
- b. On-site, in a driveway, underground;
- c. On-site, above ground, screened from view, other than a ground floor façade facing a public right-of-way;
- d. Public right-of-way, underground, under sidewalks with a minimum width of 12 feet, avoiding effects on streetscape elements, such as street trees; and based on Better Streets Plan guidelines;
- e. Public right-of-way, underground; and based on Better Streets Plan guidelines;
- f. Public right-of-way, above ground, screened from view; and based on Better Streets Plan guidelines;
- g. On-site, in a ground floor façade (the least desirable location).

Unless otherwise specified by the Planning Department, Department of Public Work's Bureau of Street Use and Mapping (DPW BSM) should use this preference schedule for all new transformer vault installation requests.

For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works at 415-554-5810, <http://sfdpw.org>

14. **Noise.** Plans submitted with the building permit application for the approved project shall incorporate acoustical insulation and other sound proofing measures to control noise.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

15. **Odor Control Unit.** In order to ensure any significant noxious or offensive odors are prevented from escaping the premises once the project is operational, the building permit application to implement the project shall include air cleaning or odor control equipment details and manufacturer specifications on the plans. Odor control ducting shall not be applied to the primary façade of the building.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

PARKING AND TRAFFIC

16. **Transportation Demand Management (TDM) Program.** Pursuant to Planning Code Section 169, the Project shall finalize a TDM Plan prior to the issuance of the first Building Permit or Site Permit to construct the project and/or commence the approved uses. The Property Owner, and all successors, shall ensure ongoing compliance with the TDM Program for the life of the Project, which may include providing a TDM Coordinator, providing access to City staff for site inspections, submitting appropriate documentation, paying application fees associated with required monitoring and reporting, and other actions.

Prior to the issuance of the first Building Permit or Site Permit, the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property to document compliance with the TDM Program. This Notice shall provide the finalized TDM Plan for the Project, including the relevant details associated with each TDM measure included in the Plan, as well as associated monitoring, reporting, and compliance requirements.

For information about compliance, contact the TDM Performance Manager at tdm@sfgov.org or 415-558-6377, www.sf-planning.org.

17. **Bicycle Parking.** Pursuant to Planning Code Sections 155.1 and 155.4, the Project shall provide no fewer than **15** Class 1 and **4** Class 2 bicycle parking spaces. SFMTA has final authority on the type, placement and number of Class 2 bicycle racks within the public ROW. Prior to issuance of first architectural addenda, the project sponsor shall contact the SFMTA Bike Parking Program at bikeparking@sfmta.com to coordinate the installation of on-street bicycle racks and ensure that the proposed bicycle racks meet the SFMTA's bicycle parking guidelines. Depending on local site conditions and anticipated demand, SFMTA may request the project sponsor pay an in-lieu fee for Class II bike racks required by the Planning Code.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

18. **Showers and Clothes Lockers.** Pursuant to Planning Code Section 155.3, the Project shall provide no fewer than **4** showers and **24** clothes lockers.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

19. **Managing Traffic During Construction.** The Project Sponsor and construction contractor(s) shall coordinate with the Traffic Engineering and Transit Divisions of the San Francisco Municipal Transportation Agency (SFMTA), the Police Department, the Fire Department, the Planning Department, and other construction contractor(s) for any concurrent nearby Projects to manage traffic congestion and pedestrian circulation effects during construction of the Project.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

PROVISIONS

20. **First Source Hiring.** The Project shall adhere to the requirements of the First Source Hiring Construction and End-Use Employment Program approved by the First Source Hiring Administrator, pursuant to Section 83.4(m) of the Administrative Code. The Project Sponsor shall comply with the requirements of this Program regarding construction work and on-going employment required for the Project.

For information about compliance, contact the First Source Hiring Manager at 415-581-2335, www.onestopSF.org

21. **Transportation Sustainability Fee.** The Project is subject to the Transportation Sustainability Fee (TSF), as applicable, pursuant to Planning Code Section 411A.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

22. **Downtown Park Fee - C-3 District.** The Project is subject to the Downtown Park Fee, as applicable, pursuant to Planning Code Section 412.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

23. **Jobs Housing Linkage.** The Project is subject to the Jobs Housing Linkage Fee, as applicable, pursuant to Planning Code Section 413.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

24. **Childcare Requirements - Office and Hotel Development.** The Project is subject to the Childcare Fee for Office and Hotel Development Projects, as applicable, pursuant to Planning Code Section 414.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

MONITORING - AFTER ENTITLEMENT

25. **Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

26. **Revocation due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning

Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

OPERATION

27. **Eating and Drinking Uses.** As defined in Planning Code Section 202.2, Eating and Drinking Uses, as defined in Section [102](#), shall be subject to the following conditions:

A. The business operator shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Street and Sidewalk Maintenance Standards. In addition, the operator shall be responsible for daily monitoring of the sidewalk within a one-block radius of the subject business to maintain the sidewalk free of paper or other litter associated with the business during business hours, in accordance with Article 1, Section [34](#) of the San Francisco Police Code.

For information about compliance, contact the Bureau of Street Use and Mapping, Department of Public Works at 415-554-5810, <http://sfdpw.org>.

B. When located within an enclosed space, the premises shall be adequately soundproofed or insulated for noise and operated so that incidental noise shall not be audible beyond the premises or in other sections of the building, and fixed-source equipment noise shall not exceed the decibel levels specified in the San Francisco Noise Control Ordinance.

For information about compliance of fixed mechanical objects such as rooftop air conditioning, restaurant ventilation systems, and motors and compressors with acceptable noise levels, contact the Environmental Health Section, Department of Public Health at (415) 252-3800, www.sfdph.org.

For information about compliance with construction noise requirements, contact the Department of Building Inspection at 415-558-6570, www.sfdbi.org.

For information about compliance with the requirements for amplified sound, including music and television, contact the Police Department at 415-553-0123, www.sf-police.org.

C. While it is inevitable that some low level of odor may be detectable to nearby residents and passersby, appropriate odor control equipment shall be installed in conformance with the approved plans and maintained to prevent any significant noxious or offensive odors from escaping the premises.

For information about compliance with odor or other chemical air pollutants standards, contact the Bay Area Air Quality Management District, (BAAQMD), 1-800-334-ODOR (6367), www.baaqmd.gov and Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

D. Garbage, recycling, and compost containers shall be kept within the premises and hidden from public view, and placed outside only when being serviced by the disposal company.

Trash shall be contained and disposed of pursuant to garbage and recycling receptacles guidelines set forth by the Department of Public Works.

For information about compliance, contact the Bureau of Street Use and Mapping, Department of Public Works at 415-554-5810, <http://sfdpw.org>.

28. **Sidewalk Maintenance.** The Project Sponsor shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Streets and Sidewalk Maintenance Standards.

For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works, 415-695-2017, <http://sfdpw.org>

29. **Community Liaison.** Prior to issuance of a building permit to construct the project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator and all registered neighborhood groups for the area with written notice of the name, business address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator and registered neighborhood groups shall be made aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

30. **Lighting.** All Project lighting shall be directed onto the Project site and immediately surrounding sidewalk area only, and designed and managed so as not to be a nuisance to adjacent residents. Nighttime lighting shall be the minimum necessary to ensure safety, but shall in no case be directed so as to constitute a nuisance to any surrounding property.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org



SAN FRANCISCO PLANNING DEPARTMENT

Planning Commission Draft Motion

HEARING DATE: SEPTEMBER 27, 2018

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Case No.: **2017-016476OFA**
Project Address: **420 Taylor Street**
Zoning: C-3-G (Downtown General Commercial) Zoning District
225-S Height and Bulk District
Block/Lot: 0316/010
Project Sponsor: Chris Cundall, Perkins + Will
2 Bryant Street, Suite 300
San Francisco, CA 94105
Property Owner: Ray Falack
1407 Broadway, 30th Floor
New York, NY 10018
Staff Contact: Nicholas Foster – (415) 575-9167
nicholas.foster@sfgov.org

ADOPTING FINDINGS RELATED TO AN ALLOCATION OF OFFICE SQUARE FOOTAGE UNDER THE 2017 – 2018 ANNUAL OFFICE DEVELOPMENT LIMITATION PROGRAM PURSUANT TO PLANNING CODE SECTIONS 320 THROUGH 325 THAT WOULD AUTHORIZE UP TO 38,791 GROSS SQUARE FEET OF NON-RETAIL SALES AND SERVICE USE (GENERAL OFFICE USE) AT THE BASEMENT AND GROUND FLOORS WITHIN THE BUILDING LOCATED AT 420 TAYLOR STREET, LOT 010 IN ASSESSOR'S BLOCK 0316, WITHIN THE C-3-G (DOWNTOWN GENERAL COMMERCIAL) ZONING DISTRICT AND A 225-S HEIGHT AND BULK DISTRICT.

PREAMBLE

On December 14, 2017, Gerry Tierney of Perkins + Will, on behalf of Ray Falack (hereinafter "Project Sponsor") filed an application with the Planning Department (hereinafter "Department") for a Minor Permit to Alter for tenant improvements associated with establishment of Office Use (Non-Retail Sales and Service Use) at the ground and basement floors within the C-3-G Zoning District and a 225-S Height and Bulk District. The application packet was accepted on December 27, 2017 and assigned Case No. 2017-016476PTA.

On February 27, 2018, the Project Sponsor filed an application with the Department for Conditional Use Authorization (Case No. 2017-016476CUA) under Planning Code Sections 210.2 and 303 to allow the establishment of Office Use (Non-Retail Sales and Service Use) at the ground and basement floors within the C-3-G Zoning District.

On March 2, 2018, the Project Sponsor filed an application with the Department for an Office Allocation under Planning Code Sections 321 and 322 to authorize up to 35,654 square feet of Office Use (Case No. 2017-016476OFA).

On May 23, 2018, the Project Sponsor submitted an Environmental Evaluation Application Case No. 2017-016476ENV).

On July 3, 2018, the Department issued a Notification of Project Receiving Environmental Review to owners and occupants of properties within a 300 foot radius of the project site, and other interested parties.

On July 26, 2018, before hearing the item, the Commission received a request from the Project Sponsor to continue the hearing to September 27, 2018. The Commission voted 6-0 (Commissioner Hillis was absent) to continue the item to the September 27, 2018 Commission hearing date.

On August 9, 2018, the Project was issued a Categorical Exemption, Class 32 under the California Environmental Quality Act (CEQA) Guidelines Section 15322. Approval of the Conditional Use Authorization by the Planning Commission is the Approval Action for the project. The Approval Action date establishes the start of the 30-day appeal period for this CEQA exemption determination pursuant to Section 31.04(h) of the San Francisco Administrative Code.

On August 29, 2018, the Project Sponsor filed an updated application with the Department for Office Allocation under Planning Code Sections 321 and 322 to authorize up to 38,791 square feet of Office Use.

On September 4, 2018, a Minor Permit to Alter was issued by Department staff on behalf of the Historic Preservation Commission, per HPC Motion No. 0289 and in accordance with Article 11, Sec. 1111.1 of the San Francisco Planning Code.

On September 27, 2018, the San Francisco Planning Commission (hereinafter "Commission") conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Application No. 2017-016476CUAOFA.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

MOVED, that the Commission hereby authorizes the Conditional Use requested in Application No. 2017-016476CUAOFA, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.
2. **Project Description.** The proposed project ("Project") would convert 34,910 square feet of the existing public parking garage at the basement and ground floors to general office, with a small area dedicated to Retail Sales and Service Use at the ground floor. The Project proposes interior

and exterior tenant improvements that include new building entrances and windows within the three existing garage entrances, as well as the construction of a new 5,000 square foot mezzanine floor. The subject building is listed as an Article 11, Category IV contributory building within the Kearny-Market-Mason-Sutter Conservation District.

3. **Site Description and Present Use.** The 18,905-square-foot project site ("Site") (Assessors Block 0316, Lots 010) (District 3) is located on the block bounded by Taylor Street to the west, Geary Street to the north, Mason Street to the east, and O'Farrell Street to the south. The Site is located within the C-3-G Zoning District, and the 225-S Height and Bulk District. The site is a partially upsloping lot (as measured from O'Farrell Street) and contains 137'-5" feet of street frontage along both Taylor and O'Farrell Streets. The Site is developed with a four-story-over-basement building constructed in 1940. The building, known as the "NBC Radio City" building, housed NBC KPO/KGO radio studios in the 1940s and contained a substantial 81-foot-tall tower atop the building's northeast corner. After the departure of the radio station in the late 1950s, the basement and ground levels were converted to a Public Parking Garage containing 185 parking spaces, with Office Use on floors two through four.
4. **Surrounding Properties and Neighborhood.** The Project Site is located within the eastern half of the Downtown/Civic Center neighborhood, within an area proliferated with hotels and retail sales and services uses catering to tourists that visit Union Square, located two blocks east of the site. The area around the site includes a mix of institutional, residential, hotel, and office uses. The neighborhood is mixed with regard to land uses and bulk/height; with several large 20-40+ story towers containing Hotel Uses, 6-12+ story mixed-use buildings containing Residential Uses above ground-floor Retail Sales and Service Uses, and several 2-4 story commercial buildings containing a mix of Retail Sales and Service Uses, Institutional Uses, and Automotive Uses (Vehicle Storage Garage). Located on the same lot are the Clift Hotel, American Conservatory Theater, Curran Theatre, and the Mason O'Farrell Public Parking Garage containing 970 parking spaces. The site is located three blocks northwest of the Powell Street BART/MUNI station.
5. **Public Outreach and Comments.** The Department has received one letter of support regarding the proposed Project.
6. **Planning Code Compliance.** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:
 - A. **Use (Sections 102, 210.2).** The Planning Code lists general office use as a Non-Retail Sales and Service Use. Non-Retail Sales and Service Uses are principally permitted above the ground floor, whereas a Conditional Use Authorization is required to establish a Non-Retail Sales and Service Use at or below the ground floor.

The proposed Project would convert 34,910 square feet of the existing public parking garage at the basement and ground floors to general office, with 925 square feet devoted to Retail Sales and Service Use at the ground floor. With the addition of a new 5,000 gross square foot mezzanine, 38,791 gross square feet of general office use would be allocated at the subject property. See Section 7, below, for Section 303 Conditional Use findings.

7. **Office Development Authorization.** Planning Code Section 321 establishes standards for San Francisco's Office Development Annual Limit. In determining if the proposed Project would promote the public welfare, convenience and necessity, the Commission considered the seven criteria established by Code Section 321(b)(3), and finds as follows:

I. APPORTIONMENT OF OFFICE SPACE OVER THE COURSE OF THE APPROVAL PERIOD IN ORDER TO MAINTAIN A BALANCE BETWEEN ECONOMIC GROWTH ON THE ONE HAND, AND HOUSING, TRANSPORTATION AND PUBLIC SERVICES, ON THE OTHER.

As of June 26, 2018, 918,329 gross square feet of "Small Cap" Office Development was available under the Section 321 office allocation program. The Project is seeking an allocation of up to 38,791 square feet, or, approximately 4 percent of the available Small Cap pool. If the Project is approved, approximately 879,538 square feet of space will remain in the Small Cap pool. The Project is located within close proximity to many public transportation options, including a number of Muni and transit lines. Therefore, the Project will help maintain the balance between economic growth, housing, transportation and public services.

II. THE CONTRIBUTION OF THE OFFICE DEVELOPMENT TO, AND ITS EFFECTS ON, THE OBJECTIVES AND POLICIES OF THE GENERAL PLAN.

The Project is consistent with the General Plan (see Section 8, below).

III. THE QUALITY OF THE DESIGN OF THE PROPOSED OFFICE DEVELOPMENT.

The Project offers high quality design within a historic building for the proposed office development, which is consistent and compatible with the neighborhood's overall massing and form. The proposed exterior alterations were extensively reviewed by Department Staff and a Minor Permit to Alter preservation entitlement was issued on September 4, 2018

IV. THE SUITABILITY OF THE PROPOSED OFFICE DEVELOPMENT FOR ITS LOCATION, AND ANY EFFECTS OF THE PROPOSED OFFICE DEVELOPMENT SPECIFIC TO THAT LOCATION.

- a) Use. *The Project is located within the C-3-G (Downtown General Commercial) Zoning District, which principally permits office use above the ground-floor, pursuant to Planning Code Section 201.2. The subject lot is located in an area primarily characterized by commercial and mixed-use development. There are several office use buildings on the subject block, within the immediate vicinity.*
- b) Transit Accessibility. *The area is well-served by a variety of transit options. The Project Site is within a quarter-mile of various MUNI routes, and is within walking distance to the Powell Street BART/MUNI station.*
- c) Open Space Accessibility. *The Project provides a code-complying roof deck to address the non-residential open space requirement. In addition, the project site is located within three blocks of open space at Union Square.*

- d) Urban Design. *The Project reinforces the surrounding neighborhood character by adaptively reusing Public Parking Garage (Retail Automotive Use) located at the basement and ground floor into Office Use. The change of use does not impact the historic character of the subject property, as noted in the Minor Permit to Alter preservation entitlement, issued on September 4, 2018.*
- e) Seismic Safety. *The Project would be designed in conformance with current seismic and life safety codes as mandated by the Department of Building Inspection.*

V. THE ANTICIPATED USES OF THE PROPOSED OFFICE DEVELOPMENT IN LIGHT OF EMPLOYMENT OPPORTUNITIES TO BE PROVIDED, NEEDS OF EXISTING BUSINESSES, AND THE AVAILABLE SUPPLY OF SPACE SUITABLE FOR SUCH ANTICIPATED USES.

- a) Anticipated Employment Opportunities. *The Project includes a total of 38,791 square feet of new office space. As noted by the Project Sponsor, the additional office square footage will create new office jobs for the building's existing primary tenant (d.b.a. "Reddit"), an information technology company.*
- b) Needs of Existing Businesses. *The Project will supply office space in the Downtown/Civic Center area, which allows office use within C-3-G Zoning District. The Project will provide office space with high ceilings and large floor plates, which are characteristics desired by emerging technology businesses. This building type offers flexibility for new businesses to further grow in the future. In addition, the Project adds 925 square feet new retail use on the ground floor, which would complement both the tenants of the subject building, but help to active two street frontages (Taylor and O'Farrell).*
- c) Availability of Space Suitable for Anticipated Uses. *The Project will provide large open floor plates, which will allow for quality office space that is suitable for a variety of office uses and sizes. Currently, the surrounding neighborhood has a high demand for office space.*

VI. THE EXTENT TO WHICH THE PROPOSED DEVELOPMENT WILL BE OWNED OR OCCUPIED BY A SINGLE ENTITY.

The Project Sponsor indicates that the entire building (both existing Office Use and proposed converted Office Use) would be occupied by a single tenant (d.b.a. "Reddit"). The Project also accommodates a ground floor retail use. The Project is anticipated to create approximately 100-200 new jobs at the Project Site.

VII. THE USE, IF ANY, OF TRANSFERABLE DEVELOPMENT RIGHTS ("TDR's") BY THE PROJECT SPONSOR.

The Project does not include any Transfer of Development Rights.

- 8. **General Plan Compliance.** *The Project is, on balance, consistent with the following Objectives and Policies of the General Plan; for the reasons set forth in the findings in the Conditional Use Authorization, Motion No. XXXXXX, which are incorporated by reference as though fully set forth herein.*

9. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project complies with said policies for the reasons set forth in the findings in the Conditional Use Authorization, Motion No. **XXXXXX**, which are incorporated by reference as though fully set forth herein.
10. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
11. The Commission hereby finds that granting the Office Development Authorization would promote the public welfare, convenience and necessity of the City for the reasons set forth above.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Office Allocation Application No. 2017-016476OFA** subject to the following conditions attached hereto as "EXHIBIT A" in general conformance with plans on file, dated August 29, 2018, and stamped "EXHIBIT B", which is incorporated herein by reference as though fully set forth.

APPEAL AND EFFECTIVE DATE OF MOTION: Any aggrieved person may appeal this Section 321 Office Allocation to the Board of Appeals within fifteen (15) days after the date of this Motion. The effective date of this Motion shall be the date of adoption of this Motion if not appealed (after the 15-day period has expired) OR the date of the decision of the Board of Appeals if appealed to the Board of Appeals. For further information, please contact the Board of Appeals at (415) 575-6880, 1660 Mission, Room 3036, San Francisco, CA 94103.

Protest of Fee or Exaction: You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development.

If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission's adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator's Variance Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives **NOTICE** that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period.

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on September 27, 2018.

Jonas P. Ionin
Commission Secretary

AYES:

NAYS:

ABSENT:

ADOPTED: September 27, 2018

EXHIBIT A

AUTHORIZATION

This authorization is for a conditional use to authorize up to 38,791 gross square feet of Office Use located at or below the ground floor, located at 420 Taylor Street, Block 0316 and Lot 010, pursuant to Planning Code Sections 321 and 322 within the C-3-G Zoning District and a 225-S Height and Bulk District; in general conformance with plans, dated **August 29, 2018**, and stamped "EXHIBIT B" included in the docket for Record No. **2017-016476OFA** and subject to conditions of approval reviewed and approved by the Commission on **September 27, 2018** under Motion No **XXXXXX**. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

RECORDATION OF CONDITIONS OF APPROVAL

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on **XXXXXX** under Motion No **XXXXXX**.

PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. **XXXXXX** shall be reproduced on the Index Sheet of construction plans submitted with the site or building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

SEVERABILITY

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use authorization.

Conditions of Approval, Compliance, Monitoring, and Reporting

PERFORMANCE

1. **Validity.** The authorization and right vested by virtue of this action is valid for three (3) years from the effective date of the Motion. The Department of Building Inspection shall have issued a Building Permit or Site Permit to construct the project and/or commence the approved use within this three-year period.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

2. **Expiration and Renewal.** Should a Building or Site Permit be sought after the three (3) year period has lapsed, the project sponsor must seek a renewal of this Authorization by filing an application for an amendment to the original Authorization or a new application for Authorization. Should the project sponsor decline to so file, and decline to withdraw the permit application, the Commission shall conduct a public hearing in order to consider the revocation of the Authorization. Should the Commission not revoke the Authorization following the closure of the public hearing, the Commission shall determine the extension of time for the continued validity of the Authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

3. **Diligent pursuit.** Once a site or Building Permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. Failure to do so shall be grounds for the Commission to consider revoking the approval if more than three (3) years have passed since this Authorization was approved.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

4. **Extension.** All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

5. **Conformity with Current Law.** No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

6. **Expiration and Renewal.** Should a Building or Site Permit be sought after the three (3) year period has lapsed, the project sponsor must seek a renewal of this Authorization by filing an application for an amendment to the original Authorization or a new application for Authorization. Should the project sponsor decline to so file, and decline to withdraw the permit

application, the Commission shall conduct a public hearing in order to consider the revocation of the Authorization. Should the Commission not revoke the Authorization following the closure of the public hearing, the Commission shall determine the extension of time for the continued validity of the Authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

7. **Diligent Pursuit.** Once a site or Building Permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. Failure to do so shall be grounds for the Commission to consider revoking the approval if more than three (3) years have passed since the date that the Planning Code text amendment(s) and/or Zoning Map amendment(s) became effective.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

8. **Extension.** All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

9. **Conformity with Current Law.** No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

10. **Additional Project Authorization.** The Project Sponsor must obtain Conditional Use Authorization from the Planning Commission, pursuant to Planning Code Sections 210.2 and 303, to establish Office Use (Non-Retail Sales and Service Use) at the basement and ground floors ground floor within the C-3-G Zoning District, and satisfy all the conditions thereof. The conditions set forth below are additional conditions required in connection with the Project. If these conditions overlap with any other requirement imposed on the Project, the more restrictive or protective condition or requirement, as determined by the Zoning Administrator, shall apply.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

11. **Development Timeline - Office.** Pursuant to Planning Code Section 321(d) (2), construction of the office development project shall commence within 18 months of the effective date of this Motion. Failure to begin work within that period or to carry out the development diligently thereafter to completion, shall be grounds to revoke approval of the office development under this office development authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

MONITORING - AFTER ENTITLEMENT

12. **Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org
13. **Revocation due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

EXHIBIT C:
ENVIRONMENTAL DETERMINATION



SAN FRANCISCO PLANNING DEPARTMENT

CEQA Categorical Exemption Determination

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address		Block/Lot(s)
420 TAYLOR ST		0316010
Case No.		Permit No.
2017-016476ENV		
<input checked="" type="checkbox"/> Addition/ Alteration	<input type="checkbox"/> Demolition (requires HRE for Category B Building)	<input type="checkbox"/> New Construction
Project description for Planning Department approval. The project site is located on the corner of Taylor and O'Farrell streets in the Tenderloin/Downtown/Civic Center neighborhood, in the Radio City building, built in 1940, which is listed as an Article 11, Category IV contributory building within the Kearny-Market-Mason-Sutter Conservation District. The proposed project would involve both interior and exterior tenant improvements to the existing four-story-over-garage building and remodeling of the basement, with no expansion of the existing building envelope. The proposed project would involve a change of use of approximately 32,600 square feet of space in the building which is currently used as a public parking garage into office use at the basement and ground floors, with the addition of an approximately 5,000 square foot mezzanine level with office uses and approximately 1,000 square feet of retail use on the ground floor. The proposed project would also raise the ground floor slab to provide adequate ceiling heights for the basement area and provide stairs and a limited-use elevator to link the new ground floor with the basement and mezzanine. Project construction would be expected to require excavation to a depth of 3 feet over the approximately 17,900 square foot site, resulting in excavation of 1,985 cubic yards of soil for ground floor slab improvements. The CONTINUED ON ADDITIONAL PAGE		

STEP 1: EXEMPTION CLASS

Note: If neither class applies, an <i>Environmental Evaluation Application</i> is required.	
<input type="checkbox"/>	Class 1 - Existing Facilities. Interior and exterior alterations; additions under 10,000 sq. ft.
<input type="checkbox"/>	Class 3 - New Construction. Up to three new single-family residences or six dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input checked="" type="checkbox"/>	Class 32 - In-Fill Development. New Construction of seven or more units or additions greater than 10,000 sq. ft. and meets the conditions described below: (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations. (b) The proposed development occurs within city limits on a project site of no more than 5 acres substantially surrounded by urban uses. (c) The project site has no value as habitat for endangered rare or threatened species. (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality. (e) The site can be adequately served by all required utilities and public services. FOR ENVIRONMENTAL PLANNING USE ONLY
<input type="checkbox"/>	Class ____

STEP 2: CEQA IMPACTS

TO BE COMPLETED BY PROJECT PLANNER

If any box is checked below, an *Environmental Evaluation Application* is required.

<input type="checkbox"/>	Air Quality: Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g., backup diesel generators, heavy industry, diesel trucks, etc.)? (refer to EP_ArcMap > CEQA Catex Determination Layers > Air Pollution Exposure Zone)
<input type="checkbox"/>	Hazardous Materials: If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential? If yes, this box must be checked and the project applicant must submit an Environmental Application with a Phase I Environmental Site Assessment. <i>Exceptions: do not check box if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Maher program, a DPH waiver from the Maher program, or other documentation from Environmental Planning staff that hazardous material effects would be less than significant (refer to EP_ArcMap > Maher layer).</i>
<input type="checkbox"/>	Transportation: Does the project create six (6) or more net new parking spaces or residential units? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?
<input type="checkbox"/>	Archeological Resources: Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non -archeological sensitive area? (refer to EP_ArcMap > CEQA Catex Determination Layers > Archeological Sensitive Area)
<input type="checkbox"/>	Subdivision/Lot Line Adjustment: Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography)
<input type="checkbox"/>	Slope = or > 20%: Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography) If box is checked, a geotechnical report is required.
<input type="checkbox"/>	Seismic: Landslide Zone: Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report is required.
<input type="checkbox"/>	Seismic: Liquefaction Zone: Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report will likely be required.

If no boxes are checked above, GO TO STEP 3. If one or more boxes are checked above, an *Environmental Evaluation Application* is required, unless reviewed by an Environmental Planner.

Comments and Planner Signature (optional):

-Transportation Study Determination completed 7/5/18, no TIS required
 -SB 743 checklist completed 7/16/18
 -Maher enrollment submitted on 7/9/18
 -Geotechnical Report: Giles Engineering, 400 Taylor Street, April 27, 2017.
 -Phase I ESA: AEI Consultants, Phase I ESA, 420 Taylor Street, July 2016.

STEP 3: PROPERTY STATUS - HISTORIC RESOURCE
TO BE COMPLETED BY PROJECT PLANNER

PROPERTY IS ONE OF THE FOLLOWING: (refer to Parcel Information Map)	
<input checked="" type="checkbox"/>	Category A: Known Historical Resource. GO TO STEP 5.
<input type="checkbox"/>	Category B: Potential Historical Resource (over 45 years of age). GO TO STEP 4.
<input type="checkbox"/>	Category C: Not a Historical Resource or Not Age Eligible (under 45 years of age). GO TO STEP 6.

STEP 4: PROPOSED WORK CHECKLIST
TO BE COMPLETED BY PROJECT PLANNER

Check all that apply to the project.	
<input checked="" type="checkbox"/>	1. Change of use and new construction. Tenant improvements not included.
<input type="checkbox"/>	2. Regular maintenance or repair to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	3. Window replacement that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. Garage work. A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input checked="" type="checkbox"/>	5. Deck, terrace construction, or fences not visible from any immediately adjacent public right-of-way.
<input checked="" type="checkbox"/>	6. Mechanical equipment installation that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. Dormer installation that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input checked="" type="checkbox"/>	8. Addition(s) that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
Note: Project Planner must check box below before proceeding.	
<input type="checkbox"/>	Project is not listed. GO TO STEP 5.
<input type="checkbox"/>	Project does not conform to the scopes of work. GO TO STEP 5.
<input checked="" type="checkbox"/>	Project involves four or more work descriptions. GO TO STEP 5.
<input type="checkbox"/>	Project involves less than four work descriptions. GO TO STEP 6.

STEP 5: CEQA IMPACTS - ADVANCED HISTORICAL REVIEW
TO BE COMPLETED BY PROJECT PLANNER

Check all that apply to the project.	
<input type="checkbox"/>	1. Project involves a known historical resource (CEQA Category A) as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	2. Interior alterations to publicly accessible spaces.
<input type="checkbox"/>	3. Window replacement of original/historic windows that are not "in-kind" but are consistent with existing historic character.
<input checked="" type="checkbox"/>	4. Façade/storefront alterations that do not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	5. Raising the building in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	6. Restoration based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.

<input type="checkbox"/>	7. Addition(s) , including mechanical equipment that are minimally visible from a public right-of-way and meet the <i>Secretary of the Interior's Standards for Rehabilitation</i> .
<input checked="" type="checkbox"/>	8. Other work consistent with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (specify or add comments): Façade redesign of a non-contributory 1974 building in the KMMS Conservation District; New design is compatible with, and will not affect the integrity of the character-defining features of the district.
<input type="checkbox"/>	9. Other work that would not materially impair a historic district (specify or add comments): (Requires approval by Senior Preservation Planner/Preservation Coordinator)
<input type="checkbox"/>	10. Reclassification of property status. (Requires approval by Senior Preservation Planner/Preservation <div style="display: flex; justify-content: space-between; margin-top: 10px;"> <div style="width: 45%;"> <input type="checkbox"/> Reclassify to Category A a. Per HRER dated 04/11/2018 b. Other (specify): </div> <div style="width: 45%;"> <input type="checkbox"/> Reclassify to Category C (attach HRER) </div> </div>
Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST check one box below.	
<input type="checkbox"/>	Further environmental review required. Based on the information provided, the project requires an <i>Environmental Evaluation Application</i> to be submitted. GO TO STEP 6.
<input checked="" type="checkbox"/>	Project can proceed with categorical exemption review. The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. GO TO STEP 6.
Comments (optional):	
Preservation Planner Signature: Eiliesh Tuffy	

STEP 6: CATEGORICAL EXEMPTION DETERMINATION
TO BE COMPLETED BY PROJECT PLANNER

<input type="checkbox"/>	Further environmental review required. Proposed project does not meet scopes of work in either (check all that apply): <input type="checkbox"/> Step 2 - CEQA Impacts <input type="checkbox"/> Step 5 - Advanced Historical Review STOP! Must file an <i>Environmental Evaluation Application</i>.	
<input checked="" type="checkbox"/>	No further environmental review is required. The project is categorically exempt under CEQA. There are no unusual circumstances that would result in a reasonable possibility of a significant effect.	
	Project Approval Action: Commission Hearing If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.	Signature: Joshua Pollak 08/09/2018
	Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code. In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the first approval action. Please note that other approval actions may be required for the project. Please contact the assigned planner for these approvals.	

Full Project Description

The project site is located on the corner of Taylor and O'Farrell streets in the Tenderloin/Downtown/Civic Center neighborhood, in the Radio City building, built in 1940, which is listed as an Article 11, Category IV contributory building within the Kearny-Market-Mason-Sutter Conservation District. The proposed project would involve both interior and exterior tenant improvements to the existing four-story-over-garage building and remodeling of the basement, with no expansion of the existing building envelope. The proposed project would involve a change of use of approximately 32,600 square feet of space in the building which is currently used as a public parking garage into office use at the basement and ground floors, with the addition of an approximately 5,000 square foot mezzanine level with office uses and approximately 1,000 square feet of retail use on the ground floor. The proposed project would also raise the ground floor slab to provide adequate ceiling heights for the basement area and provide stairs and a limited-use elevator to link the new ground floor with the basement and mezzanine. Project construction would be expected to require excavation to a depth of 3 feet over the approximately 17,900 square foot site, resulting in excavation of 1,985 cubic yards of soil for ground floor slab improvements. The proposed project would also infill the three existing parking entrances onto the street with new windows and doors, eliminate the three existing curb cuts and 185 parking spaces, and add 7 Class I bicycle parking spaces. The project sponsor would apply to SFMTA for a 44 foot-long passenger loading zone at the main building entrance on Taylor Street. No vehicle parking is proposed.

STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT

TO BE COMPLETED BY PROJECT PLANNER

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be subject to additional environmental review pursuant to CEQA.

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address (If different than front page)		Block/Lot(s) (If different than front page)
420 TAYLOR ST		0316/010
Case No.	Previous Building Permit No.	New Building Permit No.
2017-016476PRJ		
Plans Dated	Previous Approval Action	New Approval Action
	Commission Hearing	
Modified Project Description:		

DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project:	
<input type="checkbox"/>	Result in expansion of the building envelope, as defined in the Planning Code;
<input type="checkbox"/>	Result in the change of use that would require public notice under Planning Code Sections 311 or 312;
<input type="checkbox"/>	Result in demolition as defined under Planning Code Section 317 or 19005(f)?
<input type="checkbox"/>	Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption?
If at least one of the above boxes is checked, further environmental review is required.	

DETERMINATION OF NO SUBSTANTIAL MODIFICATION

<input type="checkbox"/>	The proposed modification would not result in any of the above changes.
If this box is checked, the proposed modifications are categorically exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice.	
Planner Name:	Signature or Stamp:

EXHIBIT D:
LAND USE DATA



SAN FRANCISCO PLANNING DEPARTMENT

Land Use Information

PROJECT ADDRESS: 420 TAYLOR ST
RECORD NO.: 2017-016476CUA/OFA/ENX/PTA

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

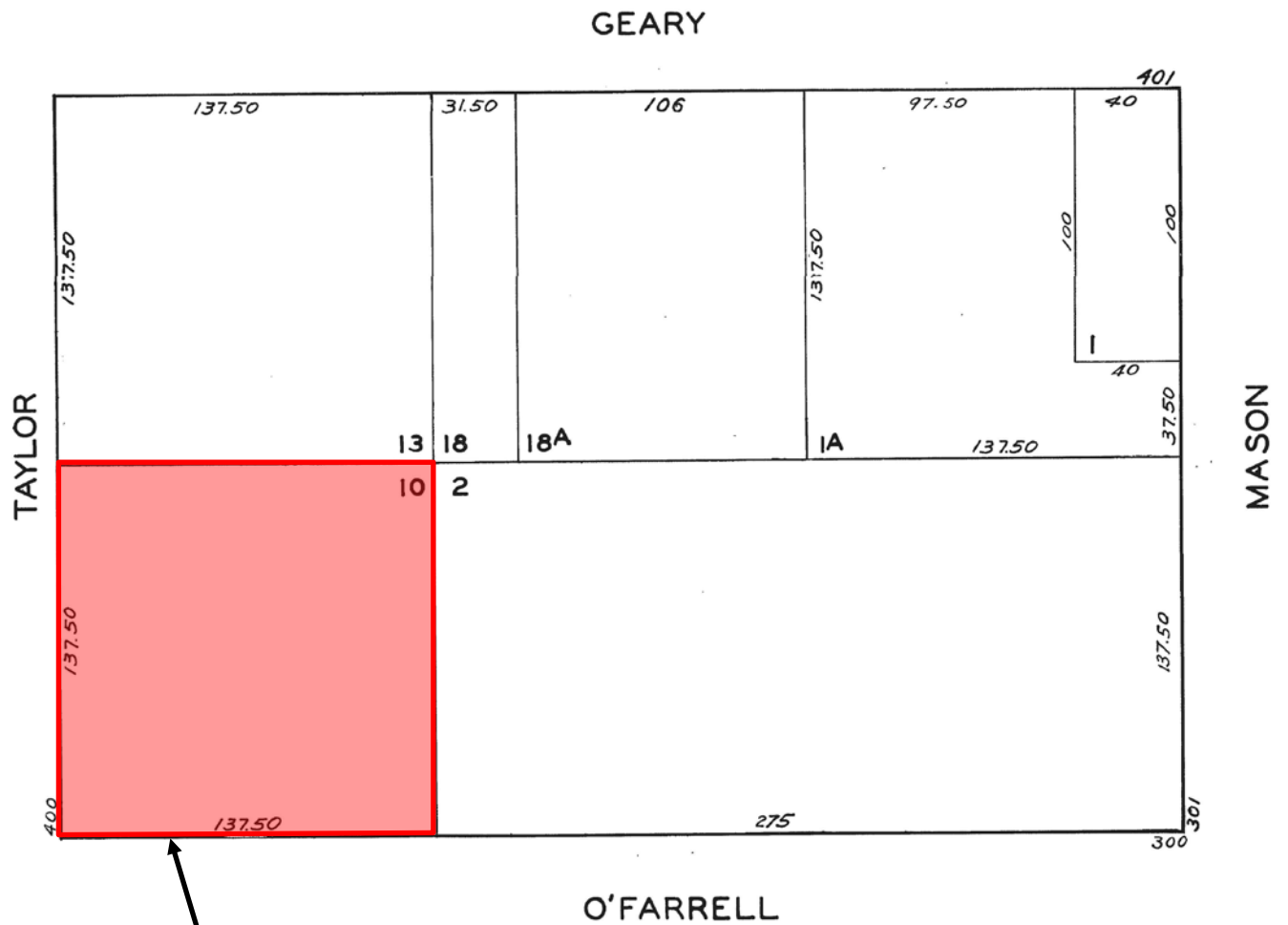
	EXISTING	PROPOSED	NET NEW
GROSS SQUARE FOOTAGE (GSF)			
Lot Area	18,905	No change as part of this project	
Residential	N/A	No change as part of this project	
Commercial/Retail	0	925	925
Office	47,473	86,444	38,791
Parking	34,910	0	0
Industrial/PDR <i>Production, Distribution, & Repair</i>	N/A	No change as part of this project	
Usable Open Space	No change as part of this project		
Public Open Space	No change as part of this project		
TOTAL GSF	82,383	87,369	39,716
	EXISTING	NET NEW	TOTALS
PROJECT FEATURES (Units or Amounts)			
Dwelling Units - Market Rate	N/A	No change as part of this project	
Dwelling Units - Affordable	N/A	No change as part of this project	
Hotel Rooms	N/A	No change as part of this project	
Parking Spaces	185	0	-185
Loading Spaces	0	No change as part of this project	
Car Share Spaces	0	No change as part of this project	
Bicycle Spaces	2	21	19
Number of Buildings	1	No change as part of this project	
Number of Stories	4	No change as part of this project	
Height of Building(s)	85'-6"	No change as part of this project	
Other ()			

EXHIBIT E:
MAPS AND CONTEXT PHOTOS

Exhibits

- **Block Book Map**
- **Sanborn Map**
- **Zoning Map**
- **Height & Bulk Map**
- **Aerial Photographs**
- **Site Photos**

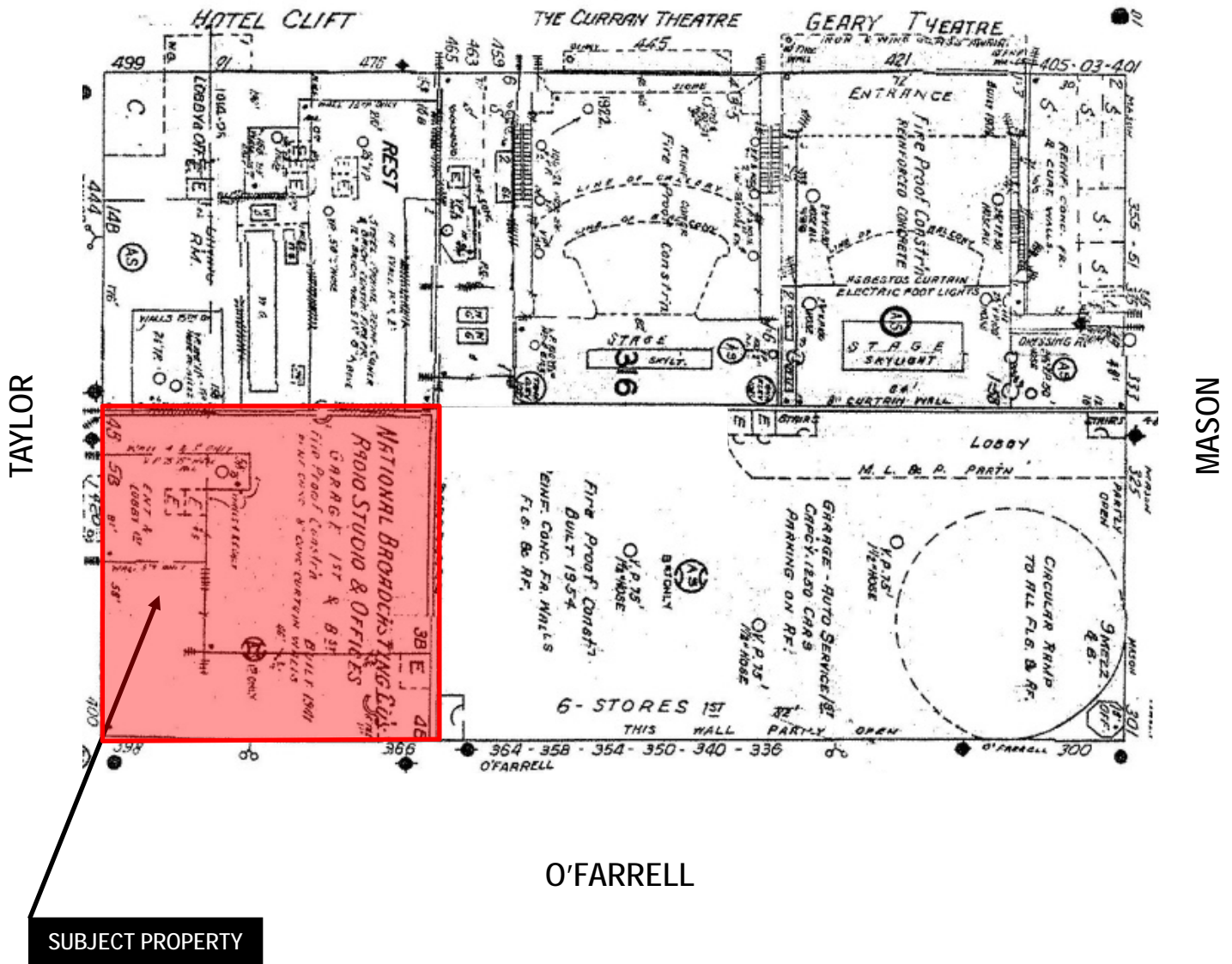
Parcel Map



Case Number 2017-016476CUAOF
420 Taylor Street

Sanborn Map*

GEARY



O'FARRELL

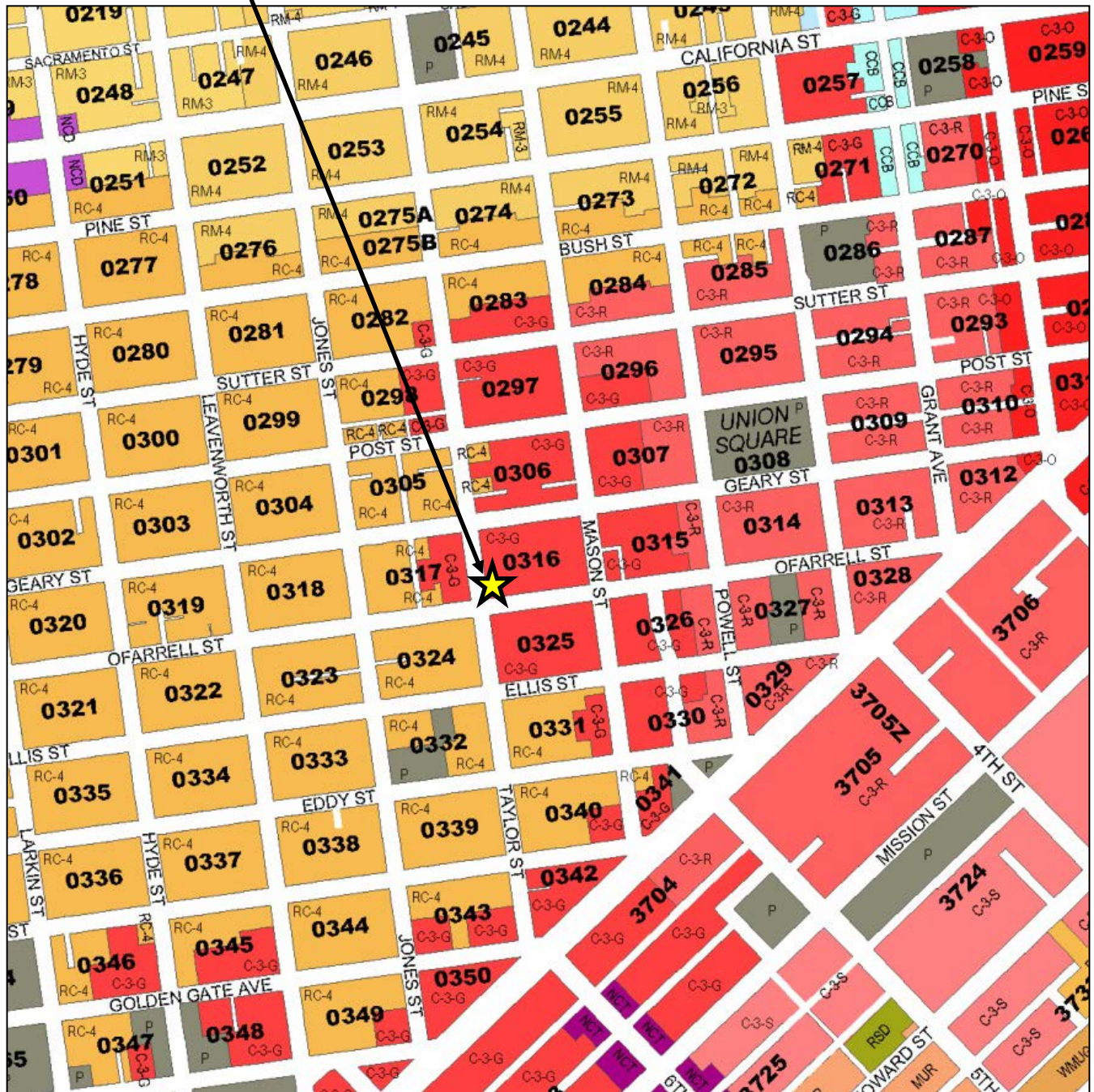
*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Case Number 2017-016476CUAOF
420 Taylor Street

Zoning Map

SUBJECT PROPERTY



Case Number 2017-016476CUAOF
420 Taylor Street

Height & Bulk Map

SUBJECT PROPERTY



Case Number 2017-016476CUAOFA
420 Taylor Street

Aerial Photo



SUBJECT PROPERTY

Aerial view of 420 Taylor Street.



Case Number 2017-016476CUAOF
420 Taylor Street

Site Photo

SUBJECT PROPERTY



Street View of 420 Taylor Street
(view from corner of Taylor & O'Farrell Streets).

Case Number 2017-016476CUAOFA
420 Taylor Street

Site Photo

SUBJECT PROPERTY

PROPOSED RETAIL SPACE /
BUILDING ENTRANCE.



Street View of 420 Taylor Street
(view from corner of Taylor Street).

Case Number 2017-016476CUAOFA
420 Taylor Street

Site Photo

PROPOSED RETAIL SPACE.

SUBJECT PROPERTY



O'FARRELL

Street View of 420 Taylor Street
(view from corner of O'Farrell Street).

PROPOSED NEW
GLAZING.

Case Number 2017-016476CUAOFA
420 Taylor Street

PROJECT APPLICATIONS + DOCUMENTS

APPLICATION FOR Conditional Use Authorization

1. Owner/Applicant Information

PROPERTY OWNER'S NAME:	
Ray Falack	
PROPERTY OWNER'S ADDRESS:	TELEPHONE:
1407 Broadway, 30th Floor	(212) 695-9401
New York, NY	EMAIL:
	ray.falack@sevenequity.com

APPLICANT'S NAME:	
Chris Cundall / Gerry Tierney / Emily Kuo	
Same as Above <input type="checkbox"/>	
APPLICANT'S ADDRESS:	TELEPHONE:
Perkins+Will	(415) 856-3027 / 302-3020
2 Bryant Street #300	EMAIL:
San Francisco, CA 94105	chris.cundall@perkinswill.com

CONTACT FOR PROJECT INFORMATION:	
Same as Above <input checked="" type="checkbox"/>	
ADDRESS:	TELEPHONE:
	()
	EMAIL:

COMMUNITY LIAISON FOR PROJECT (PLEASE REPORT CHANGES TO THE ZONING ADMINISTRATOR):	
Same as Above <input checked="" type="checkbox"/>	
ADDRESS:	TELEPHONE:
	()
	EMAIL:

2. Location and Classification

STREET ADDRESS OF PROJECT:	ZIP CODE:
420 Taylor Street	94102
CROSS STREETS:	
O'Farrell Street / Taylor Street	

ASSESSORS BLOCK/LOT:	LOT DIMENSIONS:	LOT AREA (SQ FT):	ZONING DISTRICT:	HEIGHT/BULK DISTRICT:
0316 / 010	137.5x137.5	18,905	C-3-G	225-S

3. Project Description

(Please check all that apply)		PRESENT OR PREVIOUS USE:	
<input checked="" type="checkbox"/> Change of Use	ADDITIONS TO BUILDING:	Parking Garage	
<input type="checkbox"/> Change of Hours	<input type="checkbox"/> Rear	PROPOSED USE:	
<input type="checkbox"/> New Construction	<input type="checkbox"/> Front	Commercial and Retail	
<input checked="" type="checkbox"/> Alterations	<input type="checkbox"/> Height	BUILDING APPLICATION PERMIT NO.:	
<input checked="" type="checkbox"/> Demolition	<input type="checkbox"/> Side Yard	DATE FILED:	
<input type="checkbox"/> Other Please clarify:		2017-016476PTA	01/22/2018

4. Project Summary Table

If you are not sure of the eventual size of the project, provide the maximum estimates.

	EXISTING USES:	EXISTING USES TO BE RETAINED:	NET NEW CONSTRUCTION AND/OR ADDITION:	PROJECT TOTALS:
PROJECT FEATURES				
Dwelling Units	0	0	0	0
Hotel Rooms	0	0	0	0
Parking Spaces	185	0	0	0
Loading Spaces	0	0	0	0
Number of Buildings	1	1	0	1
Height of Building(s)	85'	85'	0	85'
Number of Stories	4 + Basement	4 + Basement	0	4 + Basement
Bicycle Spaces	0	0	0	0
GROSS SQUARE FOOTAGE (GSF)				
Residential	0	0	0	0
Retail	0	0	925	925
Office	47,473	47,473	38,791	86,444
Industrial/PDR <i>Production, Distribution, & Repair</i>	0	0	0	0
Parking	34,910	0	0	0
Other (Specify Use)	0	0	0	0
TOTAL GSF	82,383	47,473	39,716	87,369

Please describe any additional project features that are not included in this table:
(Attach a separate sheet if more space is needed)

5. Action(s) Requested (Include Planning Code Section which authorizes action)

+Conditional Use Authorization-Including (PUD (303 & 304) / 210.2 / Office Allocation (321)

+Minor Permit to Alter

Conditional Use Findings

Pursuant to Planning Code Section 303(c), before approving a conditional use authorization, the Planning Commission needs to find that the facts presented are such to establish the findings stated below. In the space below and on separate paper, if necessary, please present facts sufficient to establish each finding.

1. That the proposed use or feature, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable for, and compatible with, the neighborhood or the community; and
2. That such use or feature as proposed will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity, or injurious to property, improvements or potential development in the vicinity, with respect to aspects including but not limited to the following:
 - (a) The nature of the proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;
 - (b) The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;
 - (c) The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;
 - (d) Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs; and
3. That such use or feature as proposed will comply with the applicable provisions of this Code and will not adversely affect the Master Plan.

See Additional Responses Attached (2c/2d/3):

1. The proposed use and size of the project is compatible and beneficial to the community by establishing retail activity to an area that is currently experiencing inactivity due to lack of any existing ground floor activation, excess homeless dwelling areas and lack of pedestrian vibrancy. Retail and commercial will tie to existing like uses that currently exists within the district and along O'Farrell Street.

2a. The nature of the proposed site including its size and shape will not be detrimental to health, safety, convenience or general welfare because it will remain true to the existing building and inherit structure. The size, shape, and appearance will remain as is currently.

2b. The accessibility and traffic patterns will not be affected because of the availability of additional parking in the lot adjacent to the current structure. Loading will be minimal at most due to the size of the proposed retail at the corner of Taylor and O'Farrell streets.

Priority General Plan Policies Findings

Proposition M was adopted by the voters on November 4, 1986. It requires that the City shall find that proposed projects and demolitions are consistent with eight priority policies set forth in Section 101.1 of the City Planning Code. These eight policies are listed below. Please state how the project is consistent or inconsistent with each policy. Each statement should refer to specific circumstances or conditions applicable to the property. Each policy must have a response. IF A GIVEN POLICY DOES NOT APPLY TO YOUR PROJECT, EXPLAIN WHY IT DOES NOT.

1. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses enhanced;

The existing neighborhood-serving retail uses will be preserved and enhanced with the allocation of the proposed retail component of the project at the corner of Taylor and O'Farrell street. Future opportunities that do not currently exist in the area will be added to the district with the proposed project.

2. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods;

The existing housing and neighborhood character will be conserved and protected in order to preserve the cultural and economic diversity of the neighborhood because the project does not propose to add or change the existing condition related to neighborhood or housing character.

3. That the City's supply of affordable housing be preserved and enhanced;

This is not applicable to the project as it does not alter the cities supply of affordable housing. The project does not propose or eliminate housing within its scope.

4. That commuter traffic not impede Muni transit service or overburden our streets or neighborhood parking;

Commuter traffic will not impede upon Muni transit service or overburden the streets or neighbor parking as the change in parking will be able to be accommodated in adjacent facilities.

5. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced;

The project will support a diverse economic base by maintaining various uses within the existing structure.

Future opportunities for resident employment are inherent with the addition of retail at the ground level of the project.

6. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake;

The project scope will comply/upgrade internal structure based on current structural requirements required by the city in order to achieve the greatest possible preparedness to project against injury and loss of life in the event of an earthquake. Life safety code will be met as the current code requires.

7. That landmarks and historic buildings be preserved; and

The status of the building as a Category IV (article 11 classification) will remain unaltered under the minor permit to alter status. The project aims to work closely with the assigned SF planner (Rebecca Salgado) to develop a storefront detail that replicates the existing aesthetic of the building in an effort to preserve all character and feel of the openings along Taylor and O'Farrell streets.

8. That our parks and open space and their access to sunlight and vistas be protected from development.

The project will not impede or change the quality of the parks or open spaces within the area, as the proposal does not alter the massing or orientation, which would affect access to sunlight, or vistas within the area.

Estimated Construction Costs

TYPE OF APPLICATION:	
Conditional Use Authorization / Office Allocation (321) / Minor Permit To Alter	
OCCUPANCY CLASSIFICATION:	
Type B	
BUILDING TYPE:	
Type 1A	
TOTAL GROSS SQUARE FEET OF CONSTRUCTION:	BY PROPOSED USES:
39,716 sq/ft	Retail = 925 sq/ft
	Commercial = 38,791 sq/ft
ESTIMATED CONSTRUCTION COST:	
\$2,000,000.00	
ESTIMATE PREPARED BY:	
Building Owner (Ray Falack)	
FEE ESTABLISHED:	

Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: The other information or applications may be required.

Signature: Chris Cundall

Date: 02/27/2018

Print name, and indicate whether owner, or authorized agent:

Chris Cundall (Perkins+Will)

Owner / Authorized Agent (circle one)

Application Submittal Checklist

Applications listed below submitted to the Planning Department must be accompanied by this checklist and all required materials. The checklist is to be completed and **signed by the applicant or authorized agent and a department staff person.**

APPLICATION MATERIALS	CHECKLIST
Application, with all blanks completed	<input type="checkbox"/>
300-foot radius map, if applicable	<input type="checkbox"/>
Address labels (original), if applicable	<input type="checkbox"/>
Address labels (copy of the above), if applicable	<input type="checkbox"/>
Site Plan	<input type="checkbox"/>
Floor Plan	<input type="checkbox"/>
Elevations	<input type="checkbox"/>
Section 303 Requirements	<input type="checkbox"/>
Prop. M Findings	<input type="checkbox"/>
Historic photographs (if possible), and current photographs	<input type="checkbox"/>
Check payable to Planning Dept.	<input type="checkbox"/>
Original Application signed by owner or agent	<input type="checkbox"/>
Letter of authorization for agent	<input type="checkbox"/>
Other: Section Plan, Detail drawings (ie. windows, door entries, trim), Specifications (for cleaning, repair, etc.) and/or Product cut sheets for new elements (ie. windows, doors)	<input type="checkbox"/>

NOTES:

- ☐ Required Material. Write "N/A" if you believe the item is not applicable, (e.g. letter of authorization is not required if application is signed by property owner.)
- ☒ Typically would not apply. Nevertheless, in a specific case, staff may require the item.
- ☐ Two sets of original labels and one copy of addresses of adjacent property owners and owners of property across street.

After your case is assigned to a planner, you will be contacted and asked to provide an electronic version of this application including associated photos and drawings.

Some applications will require additional materials not listed above. The above checklist does not include material needed for Planning review of a building permit. The "Application Packet" for Building Permit Applications lists those materials.

No application will be accepted by the Department unless the appropriate column on this form is completed. Receipt of this checklist, the accompanying application, and required materials by the Department serves to open a Planning file for the proposed project. After the file is established it will be assigned to a planner. At that time, the planner assigned will review the application to determine whether it is complete or whether additional information is required in order for the Department to make a decision on the proposal.

For Department Use Only

Application received by Planning Department:

By: _____

Date: _____

Conditional Use Findings Cont'd (Page 9):

2c. Safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor will be decreased compared to current state. The parking garage and inherent onsite vehicular pollution will be eliminated with the execution of the proposed project.

2d. Lighting and signage will be fully compliant with city requirements, landscaping will be limited to replicate what the existing conditions were intended to be. The only landscaping present is the exterior planter boxes located on the roof level, at the perimeter of the building along O'Farrell and Taylor streets.

3. The proposed feature complies with and will not adversely effect the closest Master Plan project in the area (Case no 2017-004557PPA for 550 O'Farrell Street) by helping to eliminate the crossing of vehicular and pedestrian traffic by closing entry of vehicles into the building. The addition of retail at ground level will encourage human interaction and connection to the building that is previously nonexistent.

PERKINS+WILL

December 12, 2017

Tom C. Hui, S.E., Director
Department of Building Inspection
Technical Services Division
1660 Mission Street
San Francisco, CA 94103

Re: 420 Taylor Street – Minor Permit to Alter Application

Dear Mr. Hui

As the property owner of 420 Taylor Street, San Francisco, CA I hereby give authorization to Perkins+Will to act as my agent in filing an application for a Minor Permit to Alter the referenced property.

Sincerely,



Ray Falack, Principal
420 Taylor Ventures, LLC

APPLICATION FOR Office Allocation

1. Owner/Applicant Information

PROPERTY OWNER'S NAME:	
Ray Falack	
PROPERTY OWNER'S ADDRESS:	TELEPHONE:
1407 Broadway, 30th Floor	(212) 695-9401
New York, NY	EMAIL:
	ray.falack@sevenequity.com

APPLICANT'S NAME:	
Chris Cundall / Gerry Tierney / Emily Kuo	
Same as Above <input type="checkbox"/>	
APPLICANT'S ADDRESS:	TELEPHONE:
Perkins+Will	(415) 856-3027/ 302-3020
2 Bryant Street #300	EMAIL:
San Francisco, CA 94105	chris.cundall@perkinswill.com

CONTACT FOR PROJECT INFORMATION:	
Same as Above <input checked="" type="checkbox"/>	
ADDRESS:	TELEPHONE:
	()
	EMAIL:

COMMUNITY LIAISON FOR PROJECT (PLEASE REPORT ANY CHANGES BEFORE OR AFTER APPROVAL TO THE ZONING ADMINISTRATOR):	
Same as Above <input type="checkbox"/>	
ADDRESS:	TELEPHONE:
	()
	EMAIL:

2. Location and Classification

STREET ADDRESS OF PROJECT:	ZIP CODE:
420 Taylor Street	94102
CROSS STREETS:	
O'Farrell Street / Taylor Street	

ASSESSORS BLOCK/LOT:	LOT DIMENSIONS:	LOT AREA (SQ FT):
0316 / 010	137.5x137.5	18,905
ZONING DISTRICT:	HEIGHT / BULK DISTRICT:	
C-3-G	225-S	

3. Project Description

(Please check all that apply) <input checked="" type="checkbox"/> Change of Use <input type="checkbox"/> Change of Hours <input type="checkbox"/> New Construction <input checked="" type="checkbox"/> Alterations <input type="checkbox"/> Demolition <input type="checkbox"/> Other Please clarify:		ADDITIONS TO BUILDING: <input type="checkbox"/> Rear <input type="checkbox"/> Front <input type="checkbox"/> Height <input type="checkbox"/> Side Yard	PRESENT OR PREVIOUS USE: Parking Garage PROPOSED USE: Commercial and Retail BUILDING APPLICATION PERMIT NO.: 2017-016476PTA DATE FILED: 01/22/2018
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4. Project Summary Table

If you are not sure of the eventual size of the project, provide the maximum estimates.

	EXISTING USES:	EXISTING USES TO BE RETAINED:	NET NEW CONSTRUCTION AND/OR ADDITION:	PROJECT TOTALS:
PROJECT FEATURES				
Dwelling Units	0	0	0	0
Hotel Rooms	0	0	0	0
Parking Spaces	185	0	0	0
Loading Spaces	0	0	0	0
Number of Buildings	1	1	0	1
Height of Building(s)	85'	85'	0	85'
Number of Stories	4 + Basement	4 + Basement	0	4 + Basement
Bicycle Spaces	0	0	21	21
GROSS SQUARE FOOTAGE (GSF)				
Residential	0	0	0	0
Retail	0	0	925	925
Office	47,473	47,473	38,791	86,444
Industrial/PDR <i>Production, Distribution, & Repair</i>	0	0	0	0
Parking	34,910	0	0	0
Other (Specify Use)	0	0	0	0
TOTAL GSF	82,383	47,473	39,716	87,369

Please describe any additional project features that are not included in this table:
 (Attach a separate sheet if more space is needed)

Office Allocation Guidelines

Pursuant to Planning Code Section 321, the Planning Commission shall approve only those office developments which promote the public welfare, convenience and necessity. The following guidelines shall be considered by the Planning Commission during the approval process. Please respond to each guideline on this sheet or use another sheet if necessary.

1. Apportionment of office space over the course of the approval period in order to maintain a balance between economic growth, on the one hand, and housing, transportation and public services, on the other;
2. The contribution of the office development to, and its effects on, the objectives and policies of the Master Plan;
3. The quality of the design of the proposed office development;
4. The suitability of the proposed office development for its location, and any effects of the proposed office development specific to that location;
5. The anticipated uses of the proposed office development, in light of employment opportunities to be provided, needs of existing businesses, and the available supply of space suitable for such anticipated uses;
6. The extent to which the proposed development will be owned or occupied by a single entity;
7. The use, if any, of TDR by the project sponsor.

See Additional Responses Attached (6&7)

1. Due to the project paired appointment of office space and retail, the project will be able to maintain a balance between economic growth, housing, public transportation, and public services. When offices are closed the retail component will be open to the public and help balance the development of the neighborhood over the course of the approval period.

2. The office development will enable a tie and concentrated effort to support the closest Mast Plan project in the area (Case no 2017-004557PPA for 550 O'Farrell Street) by helping to consolidate vehicular traffic and catalyze human interaction that is current void on the site.

3. The quality of design for the proposed office development will be paired with a deep understanding of the buildings history and close analysis of existing conditions and context. The project aims to meet current need while honoring the historic fabric of the past.

4. Currently, commercial space exist in the building making it a great match for proposed retail and additional office square footage. The building had already proven that it is suitable for office use and the proposed project will only solidify its presence as a place for people, not cars.

5. As leaseable office space becomes more and more desirable in a rapidly demanding society, it is important to allot dedicated space for such need. The only existing business that would be impacted is the parking lot company who would be replaced by the existing office tenant (upper floors) and a future retail provider (proposed on corner of Taylor and O'Farrell).

Priority General Plan Policies Findings

Proposition M was adopted by the voters on November 4, 1986. It requires that the City shall find that proposed projects and demolitions are consistent with eight priority policies set forth in Section 101.1 of the Planning Code. These eight policies are listed below. Please state how the project is consistent or inconsistent with each policy. Each statement should refer to specific circumstances or conditions applicable to the property. Each policy must have a response. IF A GIVEN POLICY DOES NOT APPLY TO YOUR PROJECT, EXPLAIN WHY IT DOES NOT.

1. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses enhanced;

The existing neighborhood-serving retail uses will be preserved and enhanced with the allocation of the proposed retail component of the project at the corner of Taylor and O'Farrell Street/ Future opportunities that do not currently exist in the area will be added to the district with the proposed project.

2. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods;

The existing housing and neighborhood character will be conserved and protected in order to preserve the cultural and economic diversity of the neighborhood because the project does not propose to add or change the existing condition related to neighborhood or housing character.

3. That the City's supply of affordable housing be preserved and enhanced;

This is not applicable to the project as it does not alter the city's supply of affordable housing. The project does not propose or eliminate housing within its scope.

4. That commuter traffic not impede Muni transit service or overburden our streets or neighborhood parking;

Commuter traffic will not be impeded upon Muni transit service or overburden the street or neighborhood parking as the change in parking will be able to be accommodated in adjacent facilities.

5. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced;

The project will support a diverse economic base by maintaining various uses within the existing structure.

Future opportunities for resident employment are inherent with the addition of retail at the ground level of the project.

6. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake;

The project scope will comply/upgrade internal structure based on current structural requirements required by the city in order to achieve the greatest possible preparedness to project against injury and loss of life in the event of an earthquake. Life safety code will be met as the current code requires.

7. That landmarks and historic buildings be preserved; and

The status of the building as a Category IV (article 11 classification) will remain unaltered under the minor permit to alter status. The project aims to work closely with the assigned SF planner (Rebecca Salgado) to develop a storefront detail that replicates the existing aesthetic of the building in an effort to preserve all character and feel of the openings along Taylor and O'Farrell streets.

8. That our parks and open space and their access to sunlight and vistas be protected from development.

The project will not impeded or change the quality of the parks or open spaces withing the area, as the proposal does not alter the massing or orientation which would affect access to sunlight, or vistas within the area.

Estimated Construction Costs

TYPE OF APPLICATION:	
Conditional Use Authorization / Office Allocation (321) / Minor Permit to Alter	
OCCUPANCY CLASSIFICATION:	
Type B	
BUILDING TYPE:	
Type 1A	
TOTAL GROSS SQUARE FEET OF CONSTRUCTION:	BY PROPOSED USES:
39,716 sq/ft	Retail = 925 sq/ft
	Commercial = 38,791 sq/ft
ESTIMATED CONSTRUCTION COST:	
\$2,000,000	
ESTIMATE PREPARED BY:	
Building Owner (Ray Falack)	
FEE ESTABLISHED:	

Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: The other information or applications may be required.

Signature: Chris Cundall

Date: 02/27/2018

Print name, and indicate whether owner, or authorized agent:

Chris Cundall (Perkins+Will)

Owner / Authorized Agent (circle one)

Application Submittal Checklist

Applications listed below submitted to the Planning Department must be accompanied by this checklist and all required materials. The checklist is to be completed and **signed by the applicant or authorized agent and a department staff person.**

APPLICATION MATERIALS	CHECKLIST
Application, with all blanks completed	<input type="checkbox"/>
300-foot radius map, if applicable	<input type="checkbox"/>
Address labels (original), if applicable	<input type="checkbox"/>
Address labels (copy of the above), if applicable	<input type="checkbox"/>
Site Plan	<input type="checkbox"/>
Floor Plan	<input type="checkbox"/>
Elevations	<input type="checkbox"/>
Section 321 Requirements	<input type="checkbox"/>
Priority General Plan Findings	<input type="checkbox"/>
Historic photographs (if possible), and current photographs	<input type="checkbox"/>
Check payable to Planning Dept.	<input type="checkbox"/>
Original Application signed by owner or agent	<input type="checkbox"/>
Letter of authorization for agent	<input type="checkbox"/>
Other: Section Plan, Detail drawings (i.e. windows, door entries, trim), Specifications (for cleaning, repair, etc.) and/or Product cut sheets for new elements (i.e. windows, doors)	<input type="checkbox"/>

NOTES:

- ☐ Required Material. Write "N/A" if you believe the item is not applicable, (e.g. letter of authorization is not required if application is signed by property owner.)
- ☒ Typically would not apply. Nevertheless, in a specific case, staff may require the item.
- ☐ Two sets of original labels and one copy of addresses of adjacent property owners and owners of property across street.

After your case is assigned to a planner, you will be contacted and asked to provide an electronic version of this application including associated photos and drawings.

Some applications will require additional materials not listed above. The above checklist does not include material needed for Planning review of a building permit. The "Application Packet" for Building Permit Applications lists those materials.

No application will be accepted by the Department unless the appropriate column on this form is completed. Receipt of this checklist, the accompanying application, and required materials by the Department serves to open a Planning file for the proposed project. After the file is established it will be assigned to a planner. At that time, the planner assigned will review the application to determine whether it is complete or whether additional information is required in order for the Department to make a decision on the proposal.

For Department Use Only

Application received by Planning Department:

By: _____

Date: _____

Office Allocation Guidelines (Page 9):

6. There is one sole owner of the building who would be leasing space to a tenant who currently occupies floors 2-4 of the existing building. That tenant would be able to expand to the ground and basement levels and would be accompanied by a new retail tenant who would act as an anchor on the corner of Taylor and O'Farrell streets.
7. Based on a statement of eligibility of TDR from August 11, 2014, there are 48,223 units available for transfer. A TDR Preservation, Rehabilitation, and Maintenance Plan was approved by Planner Carly Grob at that time. These TDR's will likely not needed to be transferred in order to complete the proposed project.

PERKINS+WILL

December 12, 2017

Tom C. Hui, S.E., Director
Department of Building Inspection
Technical Services Division
1660 Mission Street
San Francisco, CA 94103

Re: 420 Taylor Street – Minor Permit to Alter Application

Dear Mr. Hui

As the property owner of 420 Taylor Street, San Francisco, CA I hereby give authorization to Perkins+Will to act as my agent in filing an application for a Minor Permit to Alter the referenced property.

Sincerely,



Ray Falack, Principal
420 Taylor Ventures, LLC



SAN FRANCISCO
PLANNING
DEPARTMENT

AFFIDAVIT FOR FIRST SOURCE HIRING PROGRAM

Administrative Code

Chapter 83

1650 Mission Street, Suite 400 • San Francisco CA 94103-2479 • 415.558.6378 • <http://www.sfplanning.org>

Section 1: Project Information

PROJECT ADDRESS		BLOCK/LOT(S)	
420 Taylor Street		0316/010	
BUILDING PERMIT APPLICATION NO.	CASE NO. (IF APPLICABLE)	MOTION NO. (IF APPLICABLE)	
2017.12.14.6457	2017-016476	n/a	
PROJECT SPONSOR	MAIN CONTACT	PHONE	
Ray Falack	Chris Cundall	415-856-3027	
ADDRESS			
1407 Broadway, 30th Floor			
CITY, STATE, ZIP		EMAIL	
NY, NY		chris.cundall@perkinswill.com	
ESTIMATED RESIDENTIAL UNITS	ESTIMATED SQ FT COMMERCIAL SPACE	ESTIMATED HEIGHT/FLOORS	ESTIMATED CONSTRUCTION COST
0	38,791 sf	85 ft/4 floors	\$2,000,000
ANTICIPATED START DATE			
Early 2019			

Section 2: First Source Hiring Program Verification

CHECK ALL BOXES APPLICABLE TO THIS PROJECT	
<input type="checkbox"/>	Project is wholly Residential
<input checked="" type="checkbox"/>	Project is wholly Commercial
<input type="checkbox"/>	Project is Mixed Use
<input type="checkbox"/>	A: The project consists of ten (10) or more residential units;
<input checked="" type="checkbox"/>	B: The project consists of 25,000 square feet or more gross commercial floor area.
<input type="checkbox"/>	C: Neither 1A nor 1B apply.
NOTES:	
<ul style="list-style-type: none">If you checked C, this project is <u>NOT</u> subject to the First Source Hiring Program. Sign Section 4: Declaration of Sponsor of Project and submit to the Planning Department.If you checked A or B, your project <u>IS</u> subject to the First Source Hiring Program. Please complete the reverse of this document, sign, and submit to the Planning Department prior to any Planning Commission hearing. If principally permitted, Planning Department approval of the Site Permit is required for all projects subject to Administrative Code Chapter 83.For questions, please contact OEWD's CityBuild program at CityBuild@sfgov.org or (415) 701-4848. For more information about the First Source Hiring Program visit www.workforcedevelopmentsf.orgIf the project is subject to the First Source Hiring Program, you are required to execute a Memorandum of Understanding (MOU) with OEWD's CityBuild program prior to receiving construction permits from Department of Building Inspection.	

Continued...

Section 3: First Source Hiring Program – Workforce Projection

Per Section 83.11 of Administrative Code Chapter 83, it is the developer's responsibility to complete the following information to the best of their knowledge.

Provide the estimated number of employees from each construction trade to be used on the project, indicating how many are entry and/or apprentice level as well as the anticipated wage for these positions.

Check the anticipated trade(s) and provide accompanying information (Select all that apply):

TRADE/CRAFT	ANTICIPATED JOURNEYMAN WAGE	# APPRENTICE POSITIONS	# TOTAL POSITIONS	TRADE/CRAFT	ANTICIPATED JOURNEYMAN WAGE	# APPRENTICE POSITIONS	# TOTAL POSITIONS
Abatement Laborer	TBD	TBD	TBD	Laborer	TBD	TBD	10
Boilermaker	TBD	TBD	TBD	Operating Engineer	TBD	TBD	2
Bricklayer	TBD	TBD	TBD	Painter	TBD	TBD	4
Carpenter	TBD	TBD	4	Pile Driver	TBD	TBD	TBD
Cement Mason	TBD	TBD	6	Plasterer	TBD	TBD	TBD
Drywall/Latherer	TBD	TBD	TBD	Plumber and Pipefitter	TBD	TBD	3
Electrician	TBD	TBD	4	Roofer/Water proofer	TBD	TBD	4
Elevator Constructor	TBD	TBD	4	Sheet Metal Worker	TBD	TBD	2
Floor Coverer	TBD	TBD	2	Sprinkler Fitter	TBD	TBD	4
Glazier	TBD	TBD	3	Taper	TBD	TBD	3
Heat & Frost Insulator	TBD	TBD	2	Tile Layer/ Finisher	TBD	TBD	3
Ironworker	TBD	TBD	5	Other:	TBD	TBD	TBD
TOTAL:			30	TOTAL:			35

1. Will the anticipated employee compensation by trade be consistent with area Prevailing Wage?

YES NO
☐ ☐

2. Will the awarded contractor(s) participate in an apprenticeship program approved by the State of California's Department of Industrial Relations?

☐ ☐


3. Will hiring and retention goals for apprentices be established?

☐ ☐

4. What is the estimated number of local residents to be hired?

Response to above items 1-4: TBD, general contractor is signatory to laborers of carpenters union only.

Section 4: Declaration of Sponsor of Principal Project

PRINT NAME AND TITLE OF AUTHORIZED REPRESENTATIVE	EMAIL	PHONE NUMBER
Chris Cundall	chris.cundall@perkinswill.com	See above
I HEREBY DECLARE THAT THE INFORMATION PROVIDED HEREIN IS ACCURATE TO THE BEST OF MY KNOWLEDGE AND THAT I COORDINATED WITH OEWD'S CITYBUILD PROGRAM TO SATISFY THE REQUIREMENTS OF ADMINISTRATIVE CODE CHAPTER 83.		
 (SIGNATURE OF AUTHORIZED REPRESENTATIVE)		09/11/2018 (DATE)

FOR PLANNING DEPARTMENT STAFF ONLY: PLEASE EMAIL AN ELECTRONIC COPY OF THE COMPLETED AFFIDAVIT FOR FIRST SOURCE HIRING PROGRAM TO OEWD'S CITYBUILD PROGRAM AT CITYBUILD@SFGOV.ORG

Cc: Office of Economic and Workforce Development, CityBuild
 Address: 1 South Van Ness 5th Floor San Francisco, CA 94103 Phone: 415-701-4848
 Website: www.workforcedevelopmentsf.org Email: CityBuild@sfgov.org

EXHIBIT F:
PUBLIC CORRESPONDENCE

THE CLIFT

ROYAL SONESTA HOTEL

Nicholas Foster, AICP, LEED GA, Senior Planner
Northeast Team, Current Planning Division
San Francisco Planning Department
1650 Mission Street, Suite 400
San Francisco, CA 94103

September 7, 2018

RE: 420 Taylor Street Permit to Alter

Dear Mr. Foster,

As the adjacent neighbor to 420 Taylor Street, the Clift Hotel would like to offer our full support of the conversion of the ground floor and lower-level parking garage to office and retail use.

We believe the enhanced use will vastly improve the streetscape and feel of the block and will make the immediate area more pedestrian friendly and walkable. This is a very good thing for the hotels surrounding union square and for the theatre district as well.

We believe this will improve the neighborhood while not detracting from the original design or character of the building as the only changes to the outside of the building will be new storefronts with all other changes occurring inside the building.

We have had a good relationship with the owners of 420 Taylor for the last several years and they have been caring neighbors, helpful, friendly and respectful. We fully support this project.

Sincerely,

Michael Pace, Area General Manager

CC: Ray Falack
Seven Equity Group
1407 Broadway, 30th Floor
New York, NY 10018

EXHIBIT G:
PROJECT SPONSOR BRIEF

REUBEN, JUNIUS & ROSE, LLP

September 17, 2018

President Rich Hillis
San Francisco Planning Commission
1650 Mission Street, Suite 400
San Francisco, CA 94103

Re: 420 Taylor Street
Planning Case No. 2017-061476CUAOFA
Hearing Date: September 27, 2018
Our File No.: 10417.01

Dear President Hillis and Commissioners:

This office represents 420 Taylor Ventures LLC, the Project Sponsor of a proposed renovation and modernization of the existing office/public parking building at 420 Taylor Street (the “Property” or “Project Site”). The Property is located in the Union Square area. The Project Sponsor proposes a conversion of the 185-space public parking garage on the ground and basement floors into office space with a new retail space. The existing ground floor frontage of the building is completely opaque with the exception of the public parking garage entrances, and the Project will create significantly more transparency to improve the pedestrian experience. The Project will result in a building that eliminates a public parking garage and will create a new, pedestrian friendly frontage in this heavily-walked neighborhood.

The Project Sponsor respectfully requests that the Planning Commission approve the Project.

A. Existing Building

The existing mixed-use building is a 4-story building consists of 46,000 square feet of office space on the upper 3 floors, with 185 spaces of public parking on the ground floor and basement. The garage is accessed by three entrances on both the Taylor and O’Farrell Street frontages. The building is an historic resource in the Moderne style.

B. Project Description

The Project aims to renovate and modernize the existing building. No exterior expansion is proposed. The Project proposes the following:

- Conversion of the 185-space public parking garage on the first and basement floors to ~39,000 square feet of office with a 925 square foot retail space;

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- Eliminating three garage access points and replacement with transparent façade (to the full degree possible allowed by the existing structure).

C. Increased Consistency with Current City Policies

The Project will bring the existing building more in-line with current city policy, including:

Elimination of Parking. The Project Site is located in a neighborhood that is highly-served by public transit, including BART, Muni Metro and Muni bus lines. There is still more than enough public parking to serve this popular neighborhood, with seven garages located within three blocks of the Property including the largest public parking garage in San Francisco (Mason O'Farrell Garage -1,100 stalls) located immediately next door as well as another large garage directly across the street at 415 Taylor.

Creation of Neighborhood-Serving Retail Space. The Project will create a modest-sized retail space on the ground floor of existing building. Due to its size of ~925 square feet, the space is expected to be neighborhood serving and more affordable than most retail spaces in the Union Square neighborhood.

The Project Sponsor did explore the potential for a larger retail space on the ground floor. Several factors led to the conclusion that this would be infeasible. First, due to the existing structural systems in the building, the Project can only provide transparency within the existing garage entries. While there are three entries, it still does not provide a consistent storefront necessary for larger retailers. The Project is also located on the outskirts of Union Square on the border with the Tenderloin. Larger retailers are not common here and the proposed 925-square-foot, neighborhood-serving space is consistent with the character of nearby retail. Finally, the Project Sponsor simply could not identify any retail tenants that would want a larger space here. The Project Sponsor purchased the building just under two years ago, and has marketed the space with a national brokerage firm (JLL) for 18 months. At the conclusion of the marketing there were zero offers. The reality is that the demand for the larger space is not there. The Project Site is just 0.3 miles from the 6x6 development, which evidences the weakness of the retail market in this neighborhood. Ultimately, the upstairs office tenant was in need of additional floor area so the expansion of office into the ground floor and basement was a good fit for them.

Improves Street Frontage on Taylor and O'Farrell Streets. Eliminating the public parking use provides a great opportunity to improve the pedestrian experience around the Project Site. All three garage entries are being eliminated, to be replaced with transparency.

D. Conclusion

The Project would sensitively renovate and modernize an existing historic building built in the 1940s. It eliminates a public parking use and replaces it with significantly improved street frontage. For these reasons, we urge you to support this Project.

Very truly yours,

REUBEN, JUNIUS & ROSE, LLP



John Kevlin

cc: Vice-President Myrna Melgar
Commissioner Rodney Fong
Commissioner Milicent Johnson
Commissioner Joel Koppel
Commissioner Kathrin Moore
Commissioner Dennis Richards
Jonas P. Ionin – Commission Secretary
Nick Foster – Project Planner

EXHIBIT B:
PLANS

PERKINS
+ WILL

420 TAYLOR

420 TAYLOR VENTURES, LLC

MINOR PERMIT TO ALTER

AUGUST 29 2018



420 TAYLOR - SHEET INDEX						
SHEET NUMBER	SHEET NAME	MINOR PERMIT TO ALTER 12.14.2017	MINOR PERMIT TO ALTER 02.01.2018	MINOR PERMIT TO ALTER 05.16.2018	MINOR PERMIT TO ALTER 06.27.2018	MINOR PERMIT TO ALTER 07.09.2018
01-GENERAL						
020-01	ABBREVIATIONS AND LEGENDS	X	X	X		X
020-02	ALTA / NSPS LAND TITLE SURVEY	X	X	X		X
020-04	PROPOSED - ARCHITECTURAL SITE PLAN			X		X
02-EXISTING						
A02-00	EXISTING - BASEMENT	X	X		X	X
A02-01	EXISTING - LEVEL 01	X	X		X	X
A02-02	EXISTING - LEVEL 02			X	X	X
A02-03	EXISTING ELEVATIONS	X	X	X	X	X
A02-04	EXISTING SECTIONS	X	X	X	X	X
03-DEMOLITION						
A03-00	DEMOLITION - BASEMENT	X	X	X	X	X
A03-01	DEMOLITION - LEVEL 01	X	X	X	X	X
A03-02	DEMOLITION - LEVEL 02			X	X	X
04-PROPOSED						
A04-00	PROPOSED - BASEMENT	X	X	X	X	X
A04-01	PROPOSED - LEVEL 01	X	X	X	X	X
A04-01M	PROPOSED - MEZZANINE	X	X	X	X	X
A04-02	PROPOSED - LEVEL 02	X	X	X	X	X
A04-05	PROPOSED ELEVATIONS	X	X	X	X	X
A04-06	PROPOSED SECTIONS	X	X	X	X	X
A04-07	STOREFRONT DETAILS	X	X	X	X	X
A04-08	STOREFRONT DETAILS - CONT'D	X	X	X	X	X

LAND USE TABLE (EXISTING vs PROPOSED)				
EXISTING			PROPOSED	
FLOOR	USE	AREA (SQ/FT)	FLOOR	USE
BASEMENT	PARKING	17,635	BASEMENT	OFFICE
LEVEL 01	PARKING	17,275	LEVEL 01	OFFICE/RETAIL
MEZZANINE	N/A	N/A	MEZZANINE	OFFICE
LEVEL 02	OFFICE	18,851	LEVEL 02	OFFICE
LEVEL 03	OFFICE	18,851	LEVEL 03	OFFICE
LEVEL 04	OFFICE	9,868	LEVEL 04	OFFICE

DEMOLITION CALCULTIONS TABLE				
REMOVAL OF ELEMENTS	SECTION 1005 LIMITS	PROPOSED PROJECT	PROPOSED PROJECT TOTAL	MEETS PLANNING CODE
Vertical Envelope Elements (s.f. of surface area) [front, side, back exterior walls]	50% or more [function as external walls] OR	0	0	Yes
External walls (used for external or internal wall functions)	25% or more OR	0	0	Yes
Horizontal Elements [roof area, floor plates except at/below grade]	75% or more	4%	12%	Yes
Internal Structural Framework [interior partitions, etc.]	(combined internal structural frame work or floor plates)	19%		

EXISTING WALL CALCULATION			DEMOLISHED WALL CALCULATION		
LEVEL	WALL AREA	WALL VOLUME	LEVEL	WALL AREA	WALL VOLUME
BASEMENT (E)	16791.41 SF	15675.33 CF	BASEMENT (E)	2271.55 SF	973.24 CF
LEVEL 01 (E)	23232.74 SF	12766.02 CF	LEVEL 01 (E)	8513.95 SF	4130.36 CF
	40024.15 SF	28341.35 CF		10785.49 SF	5103.60 CF

D

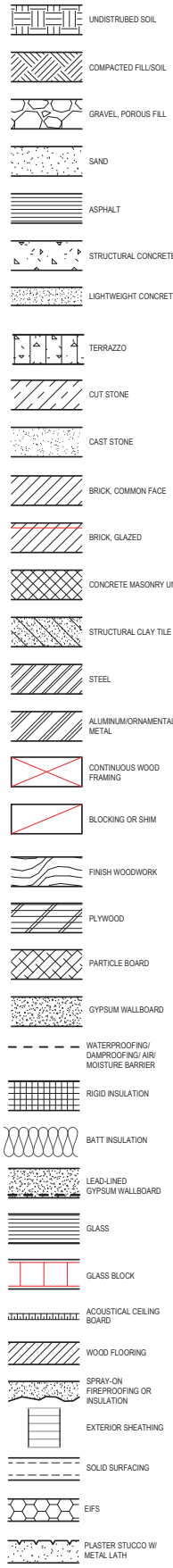
C

B

A

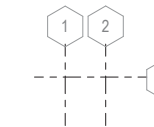
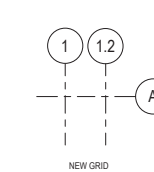
ABBREVIATIONS LEGEND			
NOTE 1: ABBREVIATIONS WHEN USED IN COMPOSITION MAY INCLUDE PERIODS FOR CLARIFICATION NOTE 2: ABBREVIATIONS MAY BE DIFFERENT WHEN A PART OF A LEGEND			
A/C ACST AD ADA ADJ AFC AFF AFG AGOR AHJ ALT ALUM ANOD APC APPROX ARCH ASPH ATC AUTO AWT TREATMENT	AIR CONDITIONING(ED) ACCESSIBLE ACOUSTICAL AREA DRAIN AMERICANS WITH DISABILITIES ADJUSTED ADJACENT ABOVE FINISHED FLOOR ABOVE FINISHED GRADE AGGREGATE AIR HANDLING UNIT ALTERNATE ALUMINUM ANODIZED ACOUSTICAL PANEL CEILING ARCHITECTURAL, ARCHITECT ASPHALT ACOUSTICAL TILE CEILING ACOUSTICAL WALL	GA GALV GEN GFRG GL GL BLK GLU LAM GR LN GRF GSB GREASE TRAP GYP BD GYP PLAS	GAGE GALVANIZED GENERAL GLASS FIBER REINFORCED GYPSUM GLASS GLASS BLOCK GLUED LAMINATED WOOD GRADE LINE GROUND FLOOR GYPSUM SHEATHING BOARD GREASE TRAP GYPSUM BOARD GYPSUM PLASTER
B/B BC BD BITUM BLDG BM BOT BSMT BUR	BACK TO BACK BACK OF CURB BOARD BITUMENOUS BUILDING BEAM BENCHMARK BOTTOM OF BASEMENT BUILT-UP ROOFING	H HB HC HDW HOWD HMI HORIZ HPT HSPG HT H/VAC HW	HIGH HOSE BIBB HOLLOW CORE HARDWARE HARDWOOD HOLLOW METAL HORIZONTAL HIGH POINT HOUSEKEEPING HEIGHT HEATING, VENTILATION, AIR CONDITIONING HOT WATER
CAB CB CCTV CEMENT CF/CI CF/CI CFM CFM/F	CABINET CATCH BASIN CLOSED CIRCUIT TELEVISION CEMENT CONTRACTOR FURNISHED, CONTRACTOR FURNISHED, OWNER INSTALLED CUBIC FEET PER MINUTE COLD-FORMED METAL FRAMING	JAN CLO KIT L LAM LAU LAV LB LF LH LIB LIR LL LONG LOC LPT LT LVR	JANITOR'S CLOSET KITCHEN LONG, LENGTH LAMINATED(I) LAUNDRY LAVATORY POUND(S) LINEAR FOOT, (FEET) LEFT HAND LIBRARY LOCKER LIVE LOAD LONGITUDINAL LOCATION LOW POINT LIGHT LOUVER
CO COL CONC CONF COORD CORR CP CPT CT CTR CU CW	CLEANOUT COLUMN CONCRETE CONFERENCE COORDINATE CORRIDOR CARPET CARPET TILES CERAMIC TILE CENTER/CONTOUR CUBIC COLD WATER PIPING/ CHEMICAL WASTELINE	M MACH MAINT MATL MAX MECH MEMB MEP	METER MACHINE MAINTENANCE MATERIAL MAXIMUM MECHANICAL MEMBRANE MECHANICAL, ELECTRICAL, PLUMBING & FIRE
D DBL DEC DEMO DEPT DF DIA DIAG DIFF	DEEP, DEPTH, PENNY (NAIL) DOUBLE DEGREE DEMOLISH, DEMOLITION DEPARTMENT DRAWING FOUNTAIN DIAMETER (EXTERIOR) DIAGONAL DIFFUSION DIFFERENCE	PROTECTION MEZZ MFR MH MHO MIN MISC MKS BD MM MO MTL	MEZZANINE MANUFACTURER MANHOLE MAGNETIC HOLD OPEN MINIMUM MISCELLANEOUS MARKER BOARD MILLIMETER MASONRY OPENING METAL
DIM DISP DIV DL DR DS DW DWG	DIMENSION DISPENSER DIVISION DEAD LOAD DOOR DRAIN DOWNSPOUT DISHWASHER DRAWINGS	N NIC NO NOM NTS	NORTH NOT IN CONTRACT NUMBER NOMINAL NOT TO SCALE
E EA EFS EJ EL ELAST ELEC ELEV EMER EMER SHR	EAST EACH EXTERIOR INSULATION AND FINISH SYSTEM EXPANSION JOINT ELEVATION ELASTOMERIC ELECTRICAL ELEVATOR EMERGENCY EMERGENCY SHOWER	OIO OC OD OF/CI OF/CI OFF OPH OPNG OPP ORD	OUT TO OUT ON CENTER OUTSIDE DIAMETER OWNER FURNISHED, CONTRACTOR INSTALLED OWNER FURNISHED, OWNER INSTALLED OFFICE OPPOSITE HAND OPENING OPPOSITE OVERFLOW ROOF DRAIN
ENR ENTR EO EOS EP EQ EQUIP ETC EW EWC EZH EXIST EXP EXT	ENGINEER ENTRANCE ELECTRIC OUTLET EDGE OF SLAB ELECTRICAL PANEL EQUAL EQUIPMENT ET CETERA EACH WAY ELECTRIC WATER COOLER EXHAUST EXISTING EXPANSION EXTERIOR, EXTERNAL	PA PAR PCC PERF PERP PLAM PLAS PLBG PLYWD PNT POL PR PRFAB PROJ PROP PSF PSI PT PTD PTD PVC PVG	PUBLIC ADDRESS PARALLEL, PARALLEL PRE-CAST CONCRETE PERFORATED PERPENDICULAR PLASTIC LAMINATE PLASTER PLUMBING PLYWOOD PAINT POLISHED PAIR PRE-FABRICATED(I) PROJECT PROPERTY POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH POINT/ PRESSURE TREATED PAPER TOWEL PARTITION POLYVINYL CHLORIDE PAVING
FE FED FF FH FHD FIN FF EL FLR FLUOR FO FOC FOF FOM FOS FP FIREPROOF FRTW	FACE TO FACE FLOOR CLEANOUT FLOOR DRAIN FIRE DEPARTMENT CONNECTION FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FINISH FACE FIRE HYDRANT FIRE HOSE CABINET FINISHED FINISHED FLOOR ELEVATION FLOOR FLUORESCENT FINISHED OPENING FACE OF CURB FACE OF FINISH FACE OF MASONRY FACE OF SLAB/ FACE OF STUD FIRE PROTECTION FIRE RETARDANT TREATED WOOD FOOT (FEET) FIRE TREATED FOOTING FURNISH, FURNITURE FUTURE FIELD VERIFY	R RB RC RCP RCP/IN RD REC REF REINF REQD RESIL REV RH RM RO ROW RTF RVL	RUBBER RESISTANCE, RADIUS, RISER RUBBER BASE REFLECTED CEILING PLAN RECEPTION ROOF DRAIN RECESSED REFRIGERATOR REINFORCE, REINFORCING REQUIRE, REQUIRED RESILIENT REVISION RIGHT HAND ROOM ROUGH OPENING RIGHT OF WAY RUBBER TILE FLOOR REVEAL
SYMBOLS			
& ANGLE AT BY (LOWERCASE) CENTER LINE CHANNEL DEGREE DIAMETER DOUBLE ANGLE NUMBER, POUNDS PROPERTY LINE PLUS OR MINUS SQUARE FEET ZEE COLUMN, TUBE DIVIDED BY MAXIMUM MINIMUM RANGE			

MATERIALS AT LARGE SCALES

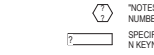


SYMBOLS LEGEND

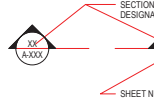
COLUMN GRID DESIGNATION



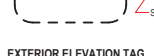
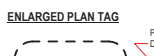
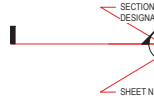
NOTE TAGS



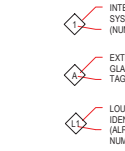
BUILDING SECTION TAG



WALL / DETAIL SECTION TAGS



WINDOW TYPE SYMBOL



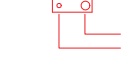
PARTITION TAG



FLOOR DRAIN



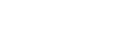
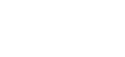
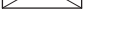
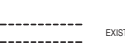
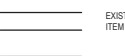
ROOF DRAIN AND OVERFLOW DRAIN



GLAZING TAG



ARCHITECTURAL WOODWORK



GENERAL PROJECT NOTES

- REFER TO COMPLETE SET OF ISSUED CONTRACT DOCUMENTS FOR APPLICABLE NOTES, ABBREVIATIONS, AND SYMBOLS.
- DO NOT SCALE THE DRAWING. IF DIMENSIONS ARE IN QUESTION, OBTAIN CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING.
- DIMENSIONS SHOWN ON THE FLOOR PLANS FOR NEW CONSTRUCTION ARE TO THE FACE OF FINISH OF INTERIOR WALLS, TO CENTER LINE OF COLUMNS AND TO FACE OF CONCRETE OR MASONRY WALLS, UNLESS OTHERWISE INDICATED. DIMENSIONS IN RENOVATED AREAS ARE FROM FINISH FACE OF EXISTING WALLS AND TO FINISH FACE OF NEW STUD WALLS, UNLESS OTHERWISE INDICATED.
- FIELD MEASURE AND CONFIRM DIMENSIONS FOR OWNER PROVIDED EQUIPMENT AND FURNISHINGS. COORDINATE WITH THE OWNER ON DELIVERY AND INSTALLATION OF OPG EQUIPMENT. MINIMUM REQUIRED OPENINGS AND ACCESSIBLE ROUTES TO THE INSTALLATION AREA SHALL BE COORDINATED WITH THE SUPPLIER.
- FINISH FLOOR ELEVATIONS ARE TO TOP OF CONCRETE SLAB UNLESS OTHERWISE NOTED.
- COORDINATE EXACT SIZE AND PLACEMENT OF EQUIPMENT BASE AND HOUSEKEEPING PADS WITH EQUIPMENT TO BE PROVIDED.
- WHERE NEW GYPSUM BOARD PARTITIONS ARE A CONTINUATION OF AN EXISTING PARTITION OR COLUMN ENCASEMENT, THE FACE OF THE NEW GYPSUM BOARD SHALL BE ALIGNED WITH THE FACE OF THE EXISTING SURFACE. WHERE A ONE HOUR PARTITION IS SHOWN AS A CONTINUATION OF A TWO-HOUR PARTITION OR COLUMN ENCASEMENT, THE FACE OF THE GYPSUM BOARD SHALL BE OFFSET AS REQUIRED TO PROVIDE FACE ALIGNMENT OF GYPSUM BOARD ON BOTH SIDES.
- LEVEL FLOORS SO THAT THEY DO NOT EXCEED A 1/2" VARIANCE IN A 10'-0" RADIUS.
- PIPING LOCATED ABOVE GRADE AND INSIDE THE BUILDING SHALL BE CONCEALED IN FURRED SPACES WITH THE EXCEPTION OF PIPING IN STARWAYS, EQUIPMENT ROOMS AND POWERHOUSE. COORDINATE WITH OTHER TRADES TO PROVIDE FURRING FOR PIPING INSTALLED IN FINISHED AREAS.
- ALL EXTERIOR STEEL HANDRAILS, GUARDRAILS, AND BOLLARDS SHALL BE GALVANIZED AND PAINTED UNLESS OTHERWISE NOTED.
- PARTITION TYPES AND FIRE RESISTIVE RATINGS INDICATED ON A WALL ARE TO BE CONTINUOUS FOR THE LENGTH AND HEIGHT OF A PARTITION.
- APPROVE FLOOR OUTLET LOCATIONS WITH ARCHITECT AND BUILDING MANAGEMENT PRIOR TO CORE DRILLING.
- OPENINGS IN A RATED WALL, FLOOR, CEILING AND ROOF ASSEMBLIES SHALL BE SEALED WITH A FIRE RESISTANT JOINT SYSTEMS OR PROTECTED WITH A FIRE RATED CHASE.
- EXIT SIGNS AND SMOKE DETECTORS LOCATED IN CEILINGS SHALL BE POSITIONED AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION.
- WHERE MATERIALS ARE APPLIED TO, OR ARE IN DIRECT CONTACT WITH WORK, INSTALLED BY ANOTHER SUBCONTRACTOR, COMMENCEMENT OF WORK IMPLIES ACCEPTANCE OF THE SUBSTRATE AS SUITABLE FOR THE APPLICATION INTENDED.
- ISOLATE DISSIMILAR METALS TO PREVENT GALVANIC CORROSION.
- SEALANTS EXPOSED TO VIEW SHALL BE CUSTOM COLOR AS SELECTED BY THE ARCHITECT.
- COORDINATE LOCATION OF SEALANT AND COMPATIBILITY OF SEALANTS WITH ADJACENT WORK, INCLUDING MATERIALS AND OTHER CONTIGUOUS SEALANTS.
- CAULK AT JUNCTURE OF INTERIOR FACES OF DOOR FRAMES, VIEW WINDOW FRAMES, EXTERIOR WINDOW FRAMES, AND CABINET WORK WITH ADJACENT MATERIALS. MAINTAIN THE FIRE RATING OF CONSTRUCTION AROUND CABINETS, PANELS, AND BOXES RECESSED IN FIRE RATED WALL, FLOOR, AND CEILING ASSEMBLIES RE: DETAIL W/AV-01.
- ACCESSORIES SUCH AS GRAB BARS, TOWEL BARS, PAPER DISPENSERS AND SOAP DISHES INSTALLED WITHIN 2' OF A URINAL, WATER CLOSET, SINK OR LAVATORY SHALL BE OUSTURE SEALED.
- DO NOT HANG (SUPPORT) ANY ITEMS FROM METAL ROOF DECK. IT IS ACCEPTABLE TO ATTACH, I.E. CEILING SYSTEM WIRE HANGERS FROM JOISTS AND/ OR BEAMS. IF NO JOIST OR BEAM, PROVIDE A STEEL STRIP.

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MEP
PAE
48 Golden Gate Avenue
San Francisco, CA 94102

OWNER
Ray Falack, 420 Taylor Ventures, LLC
1407 Broadway, 30th Floor
New York, NY 10018

CONTRACTOR
TBD

PROJECT

420 TAYLOR STREET,
SAN FRANCISCO,
CALIFORNIA 94102

420 Taylor Street
San Francisco, CA
94105

KEYPLAN



ISSUE CHART

NO.	ISSUE	DATE
Job Number	491632.000	
Drawn	Author	
Checked	Checker	
Approved	Approver	

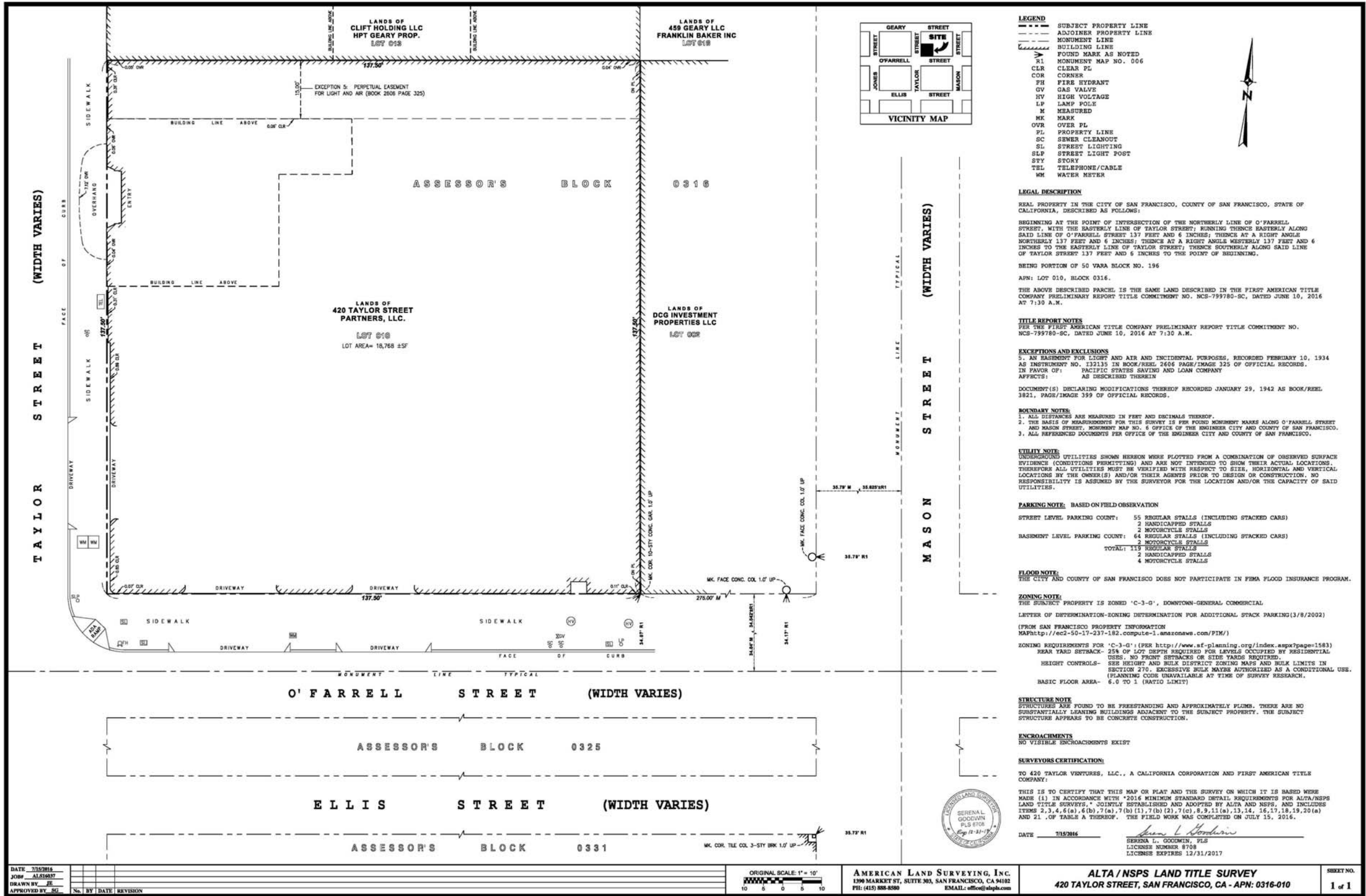
TITLE

ABBREVIATIONS, LEGENDS AND GENERAL NOTES

SHEET NUMBER

G00-01

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NOTE: FOR REFERENCE ONLY

PROJECT

420 TAYLOR STREET,
SAN FRANCISCO,
CALIFORNIA 94102
420 Taylor Street
San Francisco, CA
94105

420 Taylor Ventures
LLC

KEYPLAN

ISSUE CHART

DATE	ISSUE	DATE
Job Number	491832.000	
Drawn	Author	
Checked	Checker	
Approved	Approver	
TITLE		

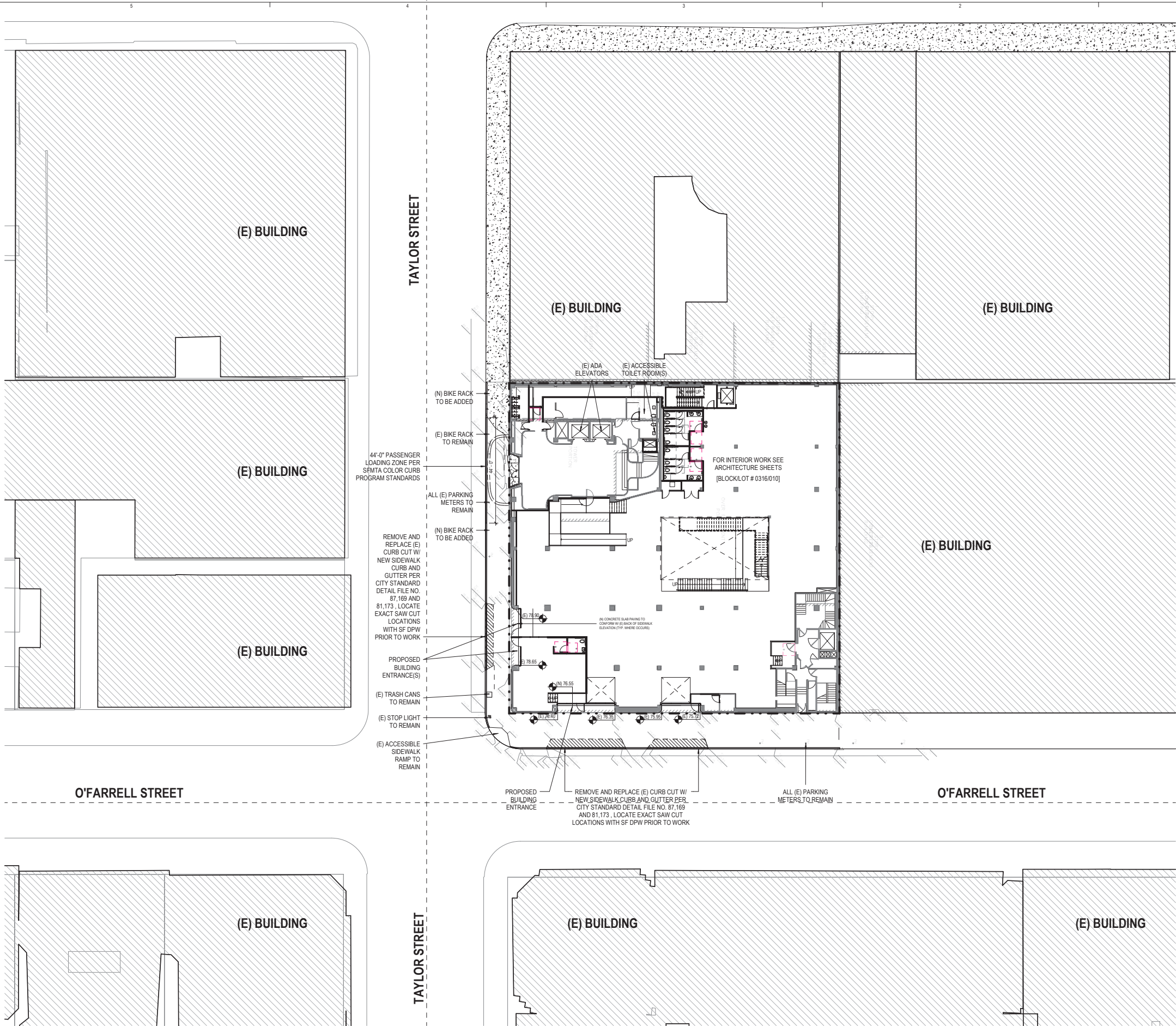
ALTA / NSPS LAND
TITLE SURVEY

SHEET NUMBER

G00-02

1 ALTA / NSPS LAND TITLE SURVEY
1/8" = 1'-0"

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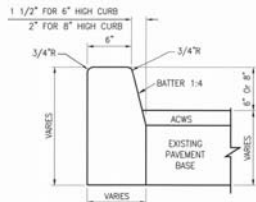
1 ARCHITECTURAL SITE PLAN
1/16" = 1'-0"

ARCHITECTURAL SITE PLAN GENERAL NOTES

1. ARCHITECTURAL SITE PLAN IS ISSUED FOR REFERENCE ONLY.
2. RE: CIVIL DRAWINGS FOR ALL SITE CONSTRUCTION INFORMATION INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
 - SITE GEOMETRY AND DIMENSIONAL CONTROL
 - SITE UTILITIES
 - SITE GRADING AND DRAINAGE
 - ASPHALT/CONCRETE PAVING DETAILS
 - PAVING MARKERS
 - CONCRETE SIDEWALK, CURB, AND GUTTER DETAILS
 - PARKING BUMPERS
 - TRAFFIC SIGNAGE
 - PAVING STRIPING AND CURB MARKINGS
3. RE: ELECTRICAL DRAWINGS FOR SITE INFORMATION INCLUDING, BUT NOT LIMITED TO THE FOLLOWING:
 - SITE LIGHT STANDARD LOCATIONS AND SIZES
 - ELECTRICAL SLEEVING LOCATIONS AND SIZES
 - TELEPHONE AND CABLE T.V. PULL BOX LOCATIONS
 - ELECTRICAL MANHOLE LOCATIONS AND DETAILS
 - PULL BOX LOCATIONS AND SIZES FOR VARIOUS SITE LIGHTING ELEMENTS
 - EXTERIOR BUILDING ILLUMINATION AND UTILITY COORDINATION
4. REFER TO ALTA SURVEY FOR ADDITIONAL EXISTING SITE CONDITIONS AND ELEVATION POINTS
5. REMOVE AND REPLACE (E) CURB CUT W/ NEW SIDEWALK CURB AND GUTTER PER CITY STANDARD DETAIL FILE NO. 87,169 AND 81,173. LOCATE EXACT SAW CUT LOCATIONS WITH SF DPW PRIOR TO WORK

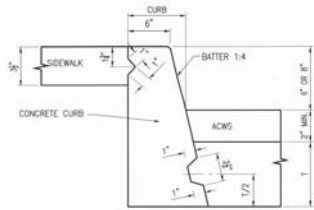
ARCHITECTURAL SITE PLAN LEGEND

- NEW CONCRETE SIDEWALK OR PAVING
- NEW ASPHALT PAVING
- PROPERTY LINE
- STREET CENTERLINE



6-INCH OR 8-INCH HIGH CONCRETE CURB
(OPTIONAL SECTION)

2 DPW - FILE NO 87,169
1 1/2" = 1'-0"



LONGITUDINAL CONSTRUCTION JOINTS
FOR CONCRETE CURB

3 DPW - FILE NO 87,173
1 1/2" = 1'-0"

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Holmes Structures
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San Francisco, CA 94104
MEP
PAE
48 Golden Gate Avenue
San Francisco, CA 94102

OWNER

Ray Falack, 420 Taylor Ventures, LLC
1407 Broadway, 30th Floor
New York, NY 10018

CONTRACTOR

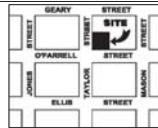
TBD

PROJECT

420 TAYLOR STREET,
SAN FRANCISCO,
CALIFORNIA 94102
420 Taylor Street
San Francisco, CA
94105

420 Taylor Ventures
LLC

KEYPLAN



ISSUE CHART

NO.	ISSUE	DATE
1		491632.000
Drawn	Author	
Checked	Checker	
Approved	Approver	

TITLE

ARCHITECTURAL SITE
PLAN

SHEET NUMBER

G00-04

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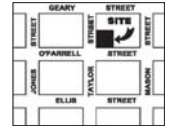
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PROJECT

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San Francisco, CA
94105

420 Taylor Ventures
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KEYPLAN



ISSUE CHART

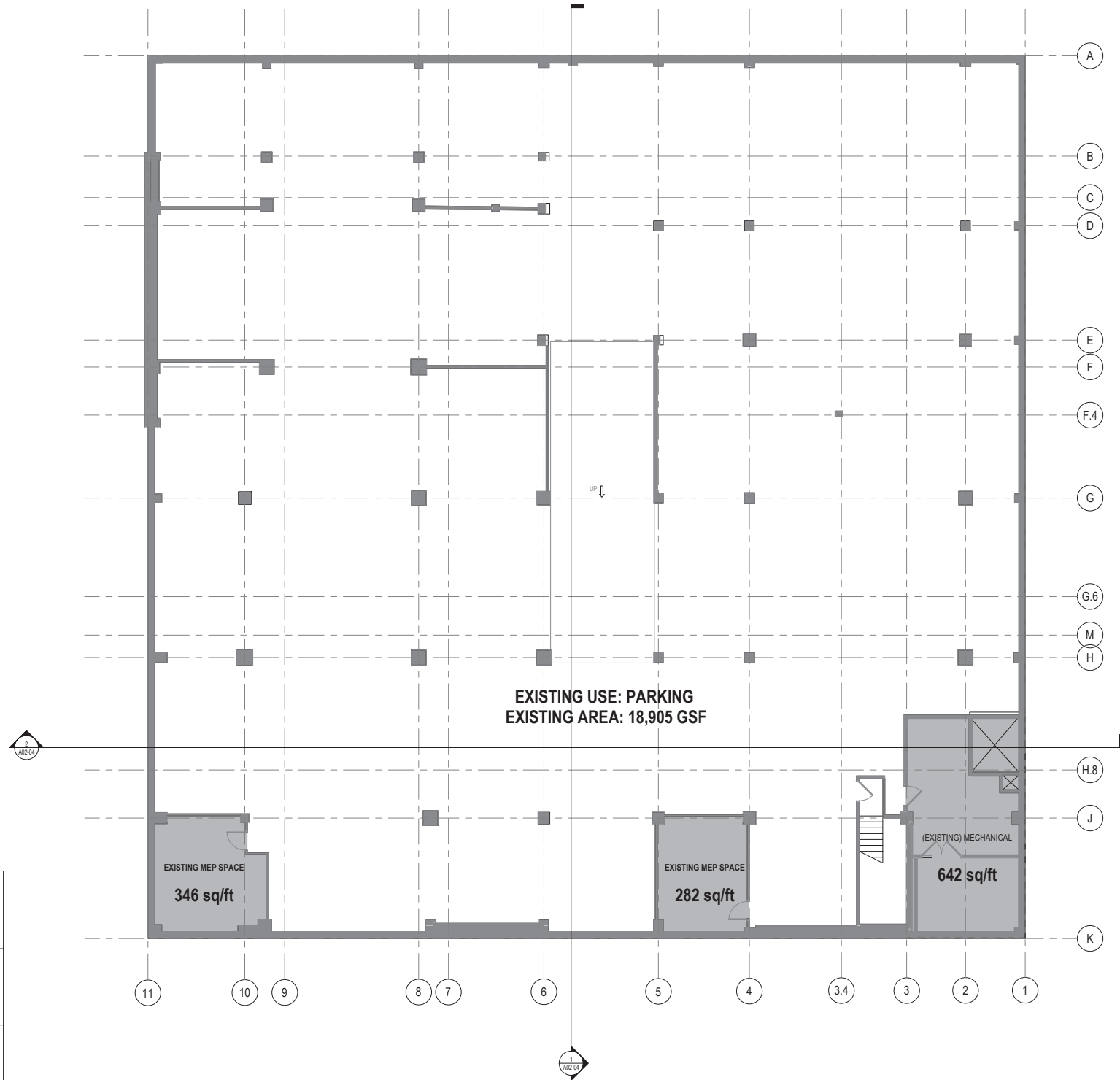
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Approved	Approver	
TITLE		

EXISTING - BASEMENT

SHEET NUMBER

A02-00

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	AREA INCLUDED IN GFA 17,635 SQ/FT
	AREA EXCLUDED IN GFA 1,270 SQ/FT
TOTAL AREA = 18,905 SQ/FT	

1 EXISTING - BASEMENT - FLOOR PLAN
1/8" = 1'-0"

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New York, NY 10018

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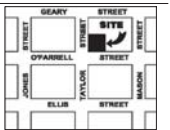
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PROJECT

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CALIFORNIA 94102
420 Taylor Street
San Francisco, CA
94105

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4	Checked	Checker
5	Approved	Approver
TITLE		

EXISTING - LEVEL 01

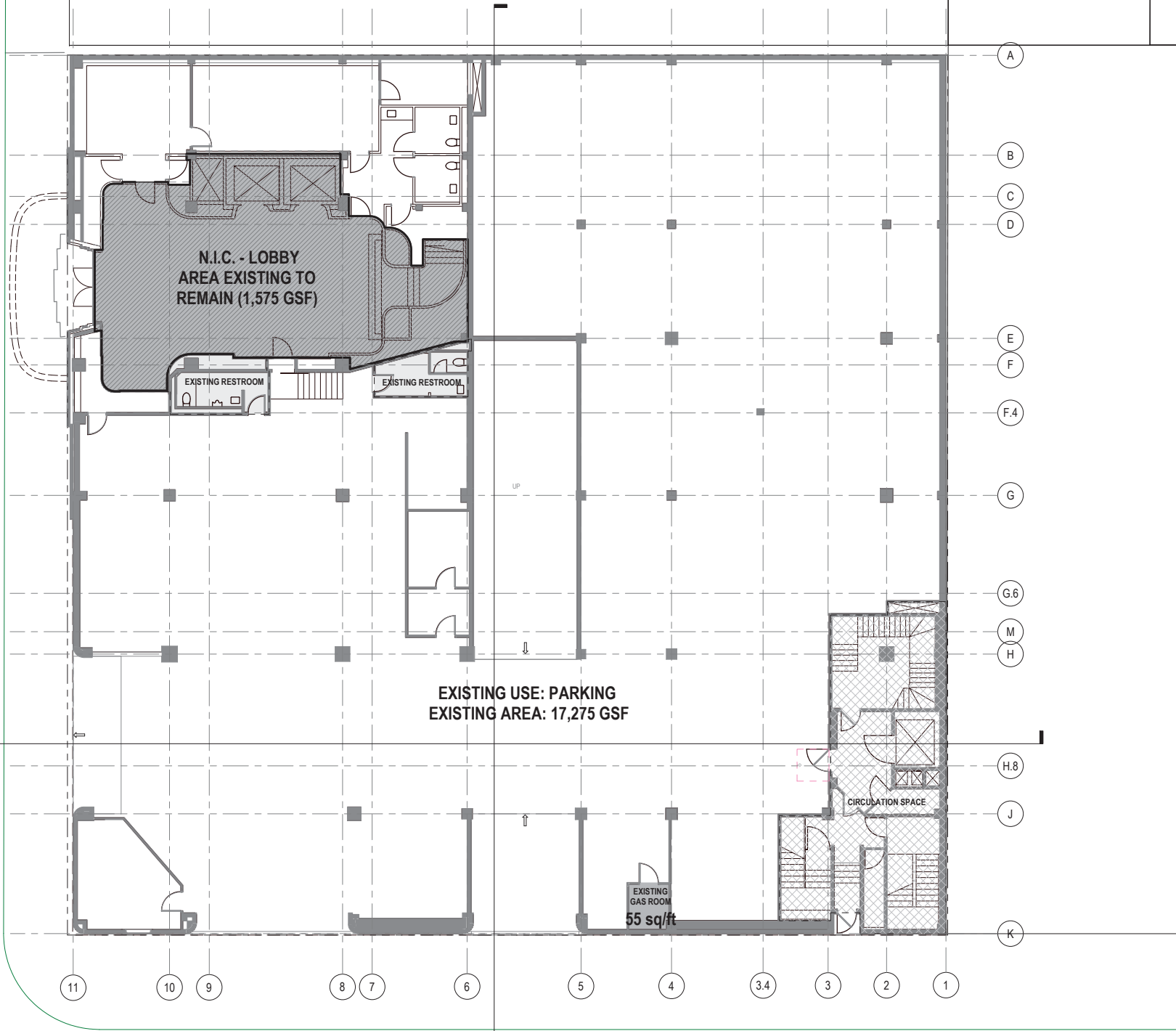
SHEET NUMBER

A02-01

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AREA INCLUDED IN GFA 17,275 SQ/FT
AREA EXCLUDED IN GFA 1,630 SQ/FT
TOTAL AREA = 18,905 SQ/FT

1 EXISTING - LEVEL 01 - FLOOR PLAN
1/8" = 1'-0"



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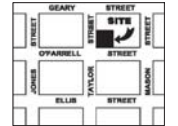
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San Francisco, CA
94105

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KEYPLAN



ISSUE CHART

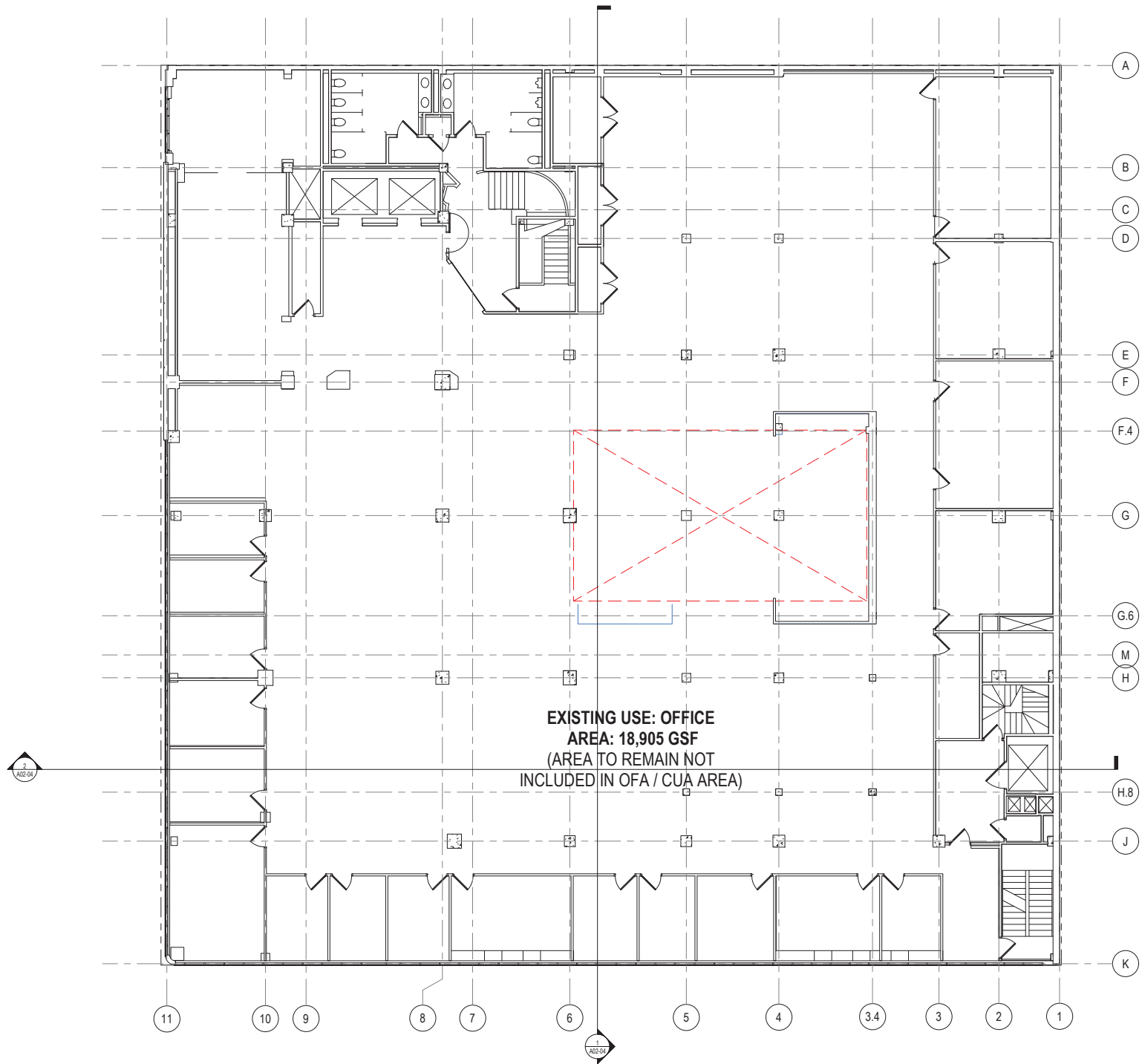
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EXISTING - LEVEL 02

SHEET NUMBER

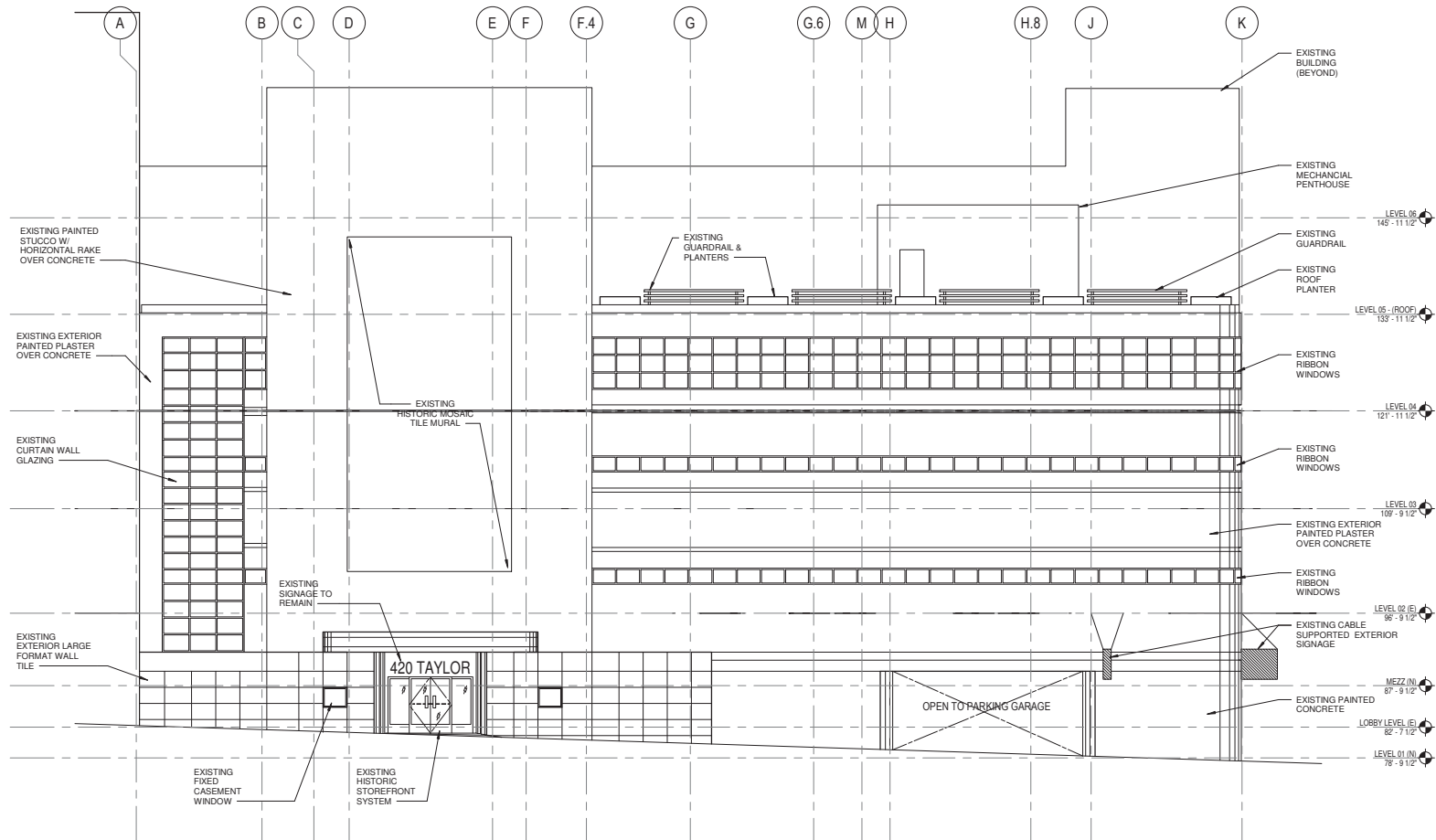
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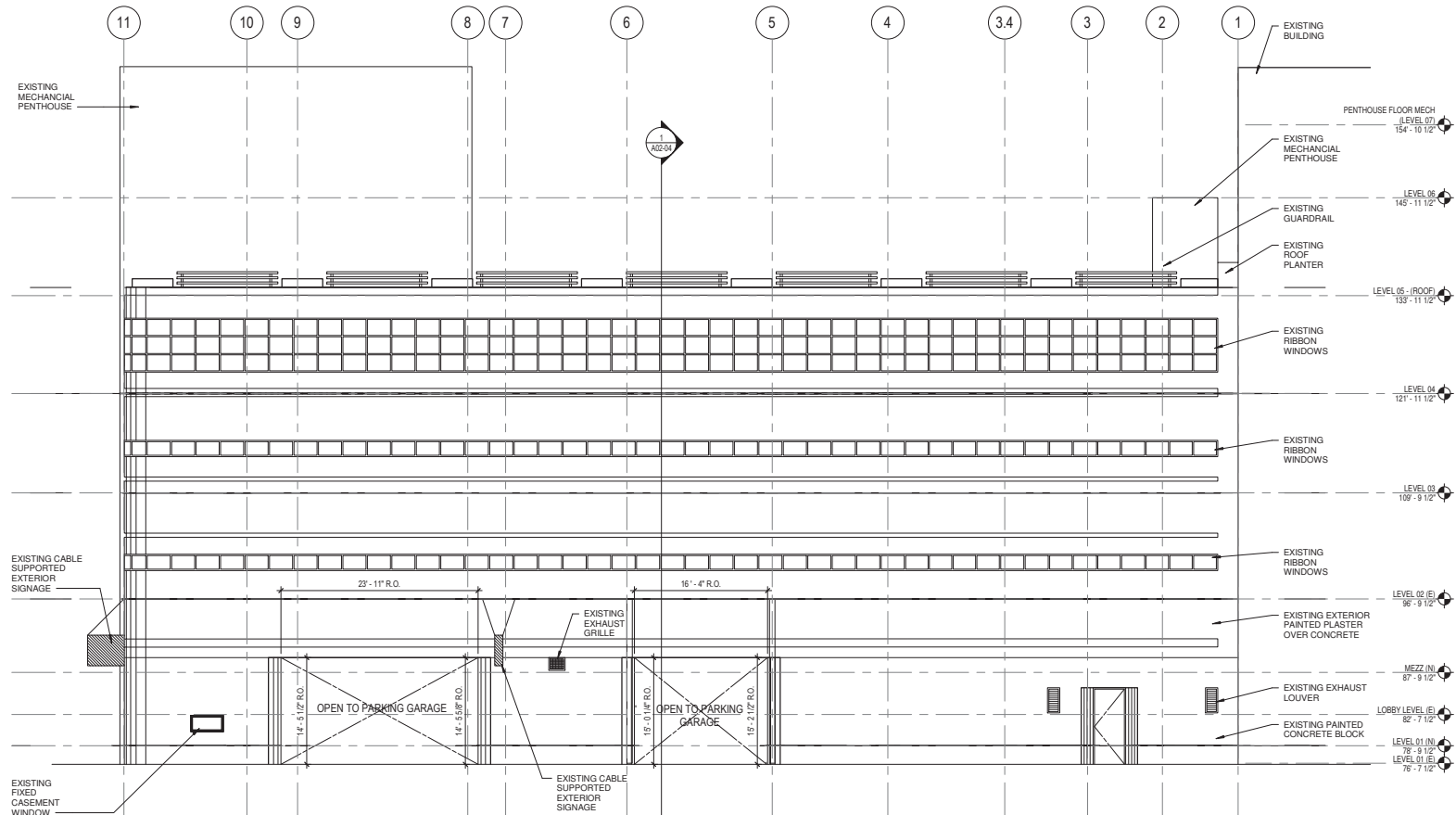


1 EXISTING - LEVEL 02- FLOOR PLAN
1/8" = 1'-0"

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2 EXISTING - TAYLOR ST. ELEVATION
1/8" = 1'-0"



1 EXISTING - O'FARRELL ST. ELEVATION
1/8" = 1'-0"

EXTERIOR ELEVATION GENERAL NOTES

- ALL EXISTING EXTERIOR GLAZING SYSTEMS, STOREFRONT, WINDOWS, CLADDING, FINISH SYSTEMS AND PAINT TO REMAIN, NO CHANGE.
- ALL EXISTING DOORWAYS AND ROUGH OPENING (R.O.) SIZES ARE TO REMAIN, NO CHANGE.
- ALL EXISTING SIGNAGE, GUARDRAILS AND DECORATIVE METALS ARE TO REMAIN, NO CHANGE.

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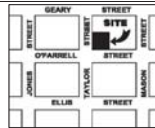
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CALIFORNIA 94102
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San Francisco, CA
94105

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ISSUE CHART

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4	Approved	Approver

TITLE

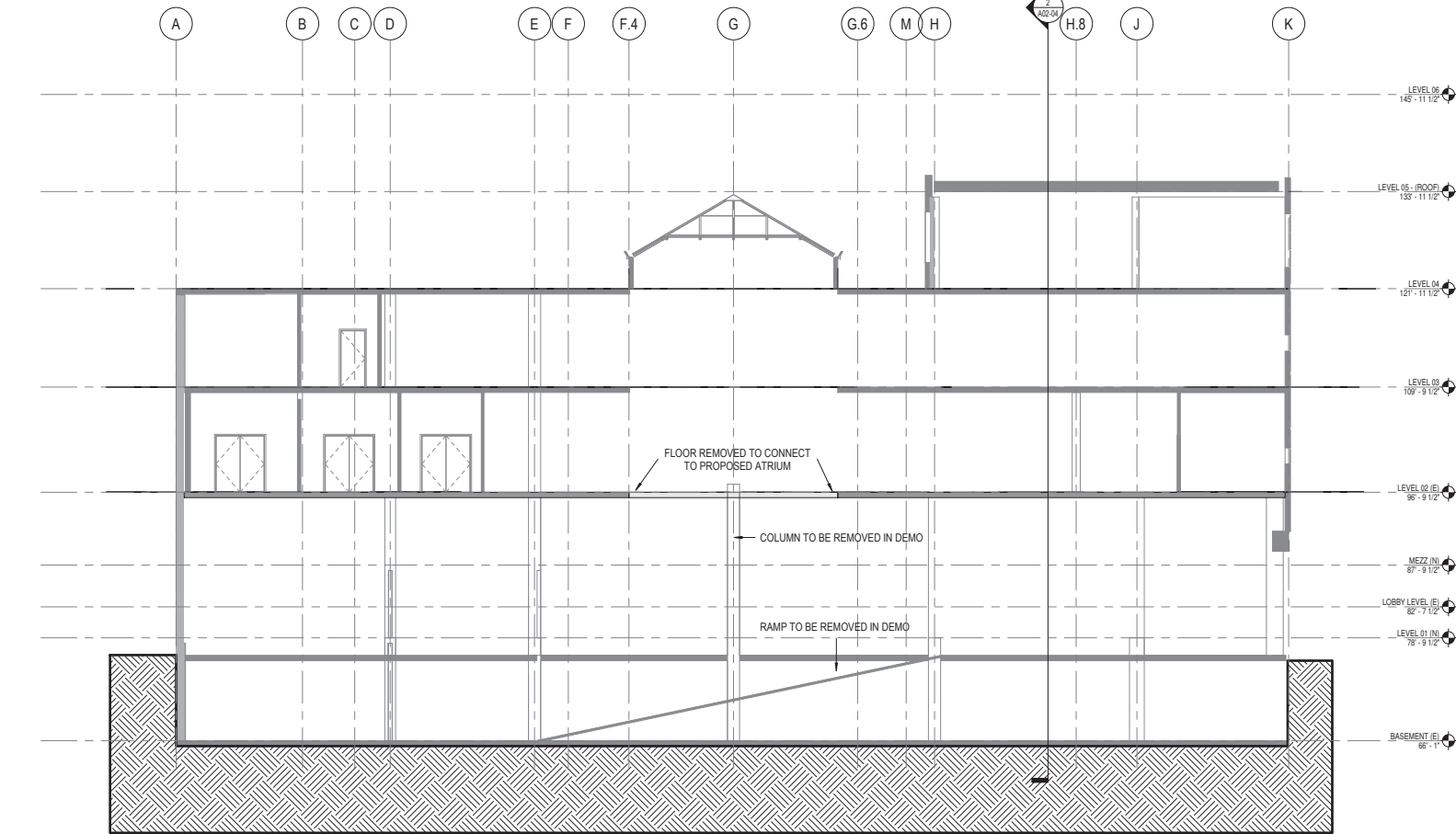
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ELEVATIONS

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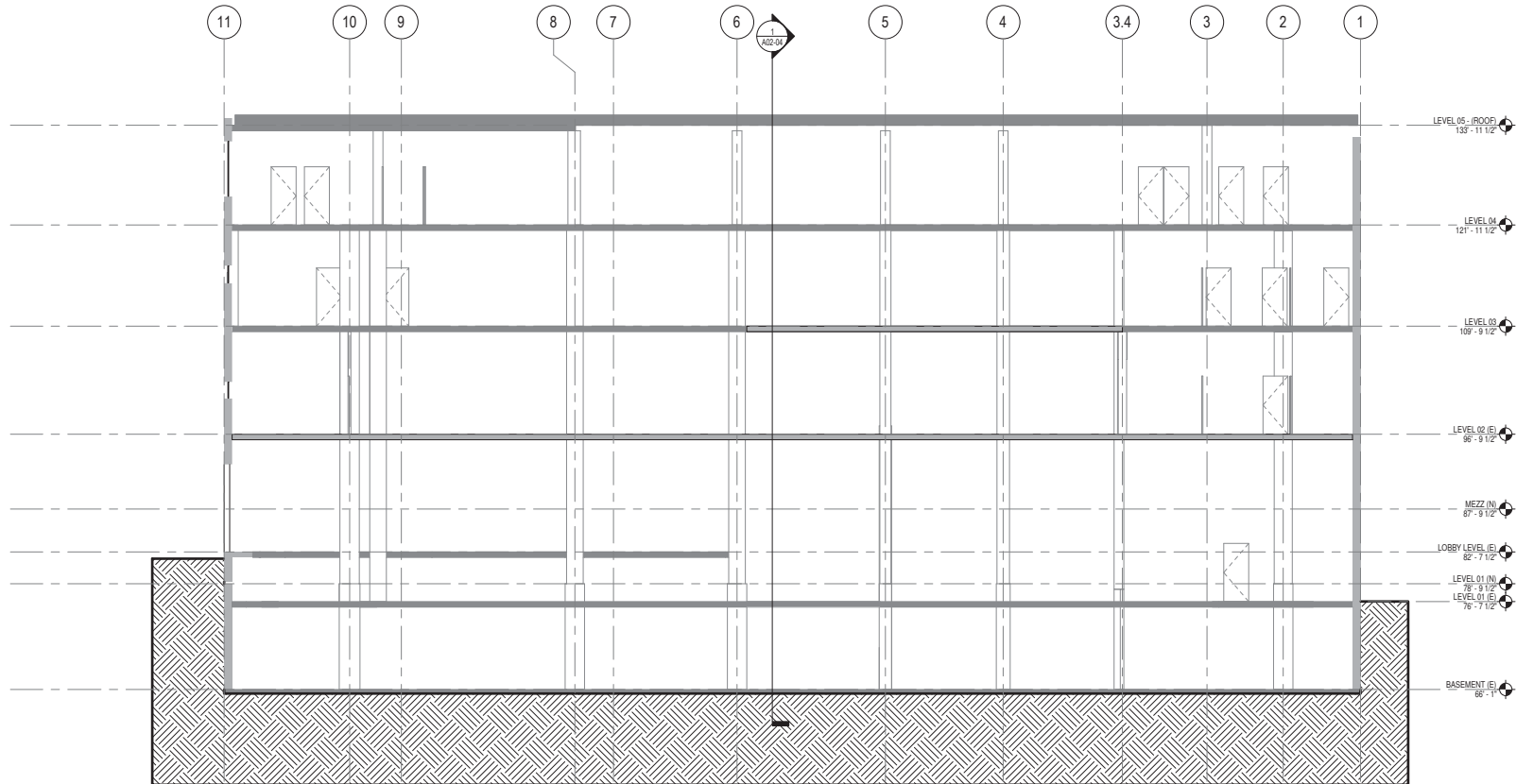
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1 EXISTING - EAST WEST SECTION
1/8" = 1'-0"



2 EXISTING - NORTH SOUTH SECTION
1/8" = 1'-0"

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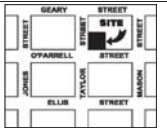
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PROJECT

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ISSUE CHART

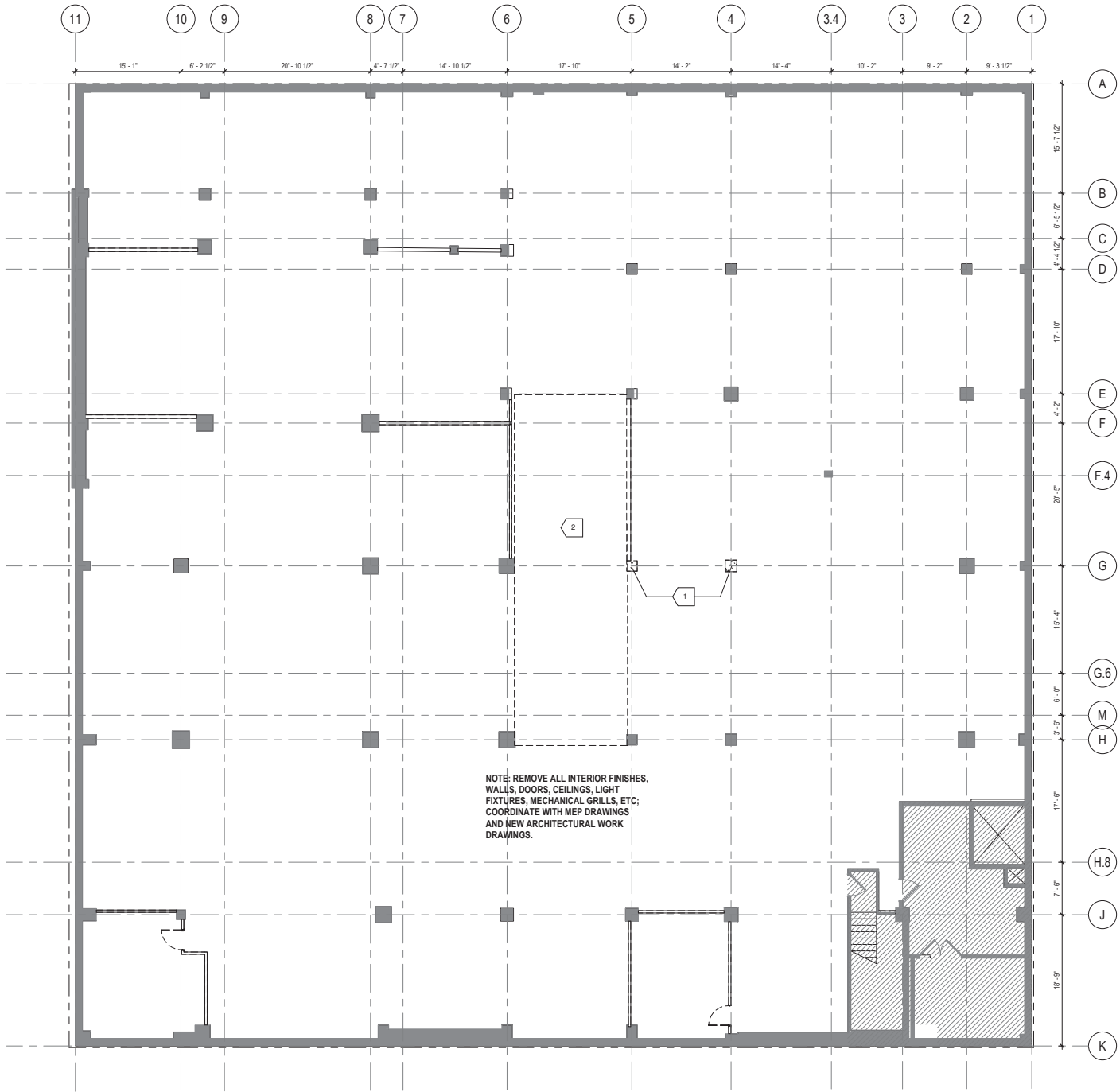
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TITLE		

EXISTING SECTIONS

SHEET NUMBER

A02-04

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1 DEMOLITION PLAN - BASEMENT
1/8" = 1'-0"

DEMOLITION GENERAL NOTES

- REFER TO SPECIFICATIONS FOR INTERIM LIFE SAFETY MEASURES.
- CONSTRUCT TEMPORARY PARTITIONS AS REQUIRED BY PHASING TO MINIMIZE THE SPREAD OF DUST AND NOISE.
- THESE DRAWINGS HAVE BEEN DEVELOPED FROM EXISTING DRAWINGS WHICH MAY NOT REFLECT ACTUAL FIELD CONDITIONS. VERIFY THESE DRAWINGS WITH EXISTING FIELD CONDITIONS AND NOTIFY THE ARCHITECT IMMEDIATELY OF INCONSISTENCIES BETWEEN THEM AND ACTUAL CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION.
- REPAIR ANY DAMAGED FIRE-RATED ASSEMBLIES TO THEIR ORIGINAL SPECIFICATION, UNO.
- REMOVE CONSTRUCTION AS INDICATED. TYPICAL WALL REMOVAL INCLUDES FINISHES AND MECHANICAL PLUMBING AND ELECTRICAL SYSTEMS CONTAINED THEREIN. REMOVE DOORS, CASEWORK, WINDOWS, FRAMES, AND OTHER FIXTURES AS REQUIRED. AFTER REMOVAL OF PIPE CHASES, PATCH HOLES IN FLOORS OR WALLS TO REPAIR TO MEET ORIGINAL FIRE PROTECTION AND STRUCTURAL REQUIREMENTS. PATCH ADJOINING WALLS, FLOORS AND DECK, AND PREPARE SURFACES TO RECEIVE NEW FINISHES PER FINISH SCHEDULE OR PER INTERIOR FINISH PLANS.
- WHERE NEW FINISHES ARE TO BE INSTALLED ON TO REMAIN SURFACES, REMOVE THE EXISTING FINISH AND PREPARE THE EXISTING SURFACE TO RECEIVE THE NEW FINISH.
- COORDINATE WITH THE OWNER ANY ITEMS TO BE STORED AND/OR RELOCATED.
- SEE CIVIL, MECHANICAL, PLUMBING, AND/OR ELECTRICAL DRAWINGS FOR DEMOLITION OF UTILITIES.
- FOR EXTENT AND LOCATION OF CHANNELING OF FLOOR SLABS, REFER TO MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS. IF PIPING OR CONDUIT WORK (OTHER THAN THE DESIRED CONNECTION) IS ENCOUNTERED WHILE CHANNELING, NOTIFY THE ARCHITECT BEFORE CONTINUING.
- VERIFY THAT CONSTRUCTION OF WALLS WITHIN THE AREA OF RENOVATION (SMOKE COMPARTMENT) MEETS THE FIRE PROTECTION RATINGS DESIGNATED ON THE LIFE SAFETY PLANS. MAKE ANY REPAIRS OR MODIFICATIONS NECESSARY TO BRING WALLS, DOORS, DUCTS, ETC. UP TO THE PROPER FIRE PROTECTION RATING. DOORS AND/OR FRAMES SHALL HAVE THE PROPER LABELING.
- VERIFY THAT EXIT EGRESS IS MAINTAINED FOR ALL OCCUPIED AREAS OF THE BUILDING THROUGHOUT CONSTRUCTION.
- DEMOLITION WORK SHALL BE EXECUTED IN CONFORMANCE WITH ALL CODES AND AS SET FORTH BY ALL GOVERNING AUTHORITIES.
- BRACE ALL STRUCTURES OR STRUCTURAL ELEMENTS AS NECESSARY DURING DEMOLITION.
- DO NOT CUT ANY STRUCTURAL WORK WITHOUT PRIOR APPROVAL FROM THE STRUCTURAL ENGINEER.
- THE BUILDING ENVELOPE SHALL BE MAINTAINED IN A WATER TIGHT CONDITION AT ALL TIMES.
- REPLACE OR REPAIR ANY TO REMAIN FINISHES WHICH ARE DAMAGED DURING DEMOLITION (I.E. - CEILING GRID, CEILING TILE, WALL COVERING, FLOOR COVERINGS, ETC.)
- WHEREVER POSSIBLE, RETAIN REMOVED BRICK, TO BE USED TO FILL EXTERIOR WALL OPENINGS.
- NOTIFY THE ARCHITECT IMMEDIATELY IF THE REMOVAL OF MECHANICAL, ELECTRICAL, PLUMBING SYSTEMS OR COMPONENTS WILL ADVERSELY AFFECT THE OPERATION OF MEP SYSTEMS OUTSIDE THE LIMIT OF DEMOLITION.
- SCHEDULE ALL DEMOLITION WITH THE OWNER.

DEMOLITION LEGEND

- EXISTING TO REMAIN
- TO BE DEMOLISHED
- AREA OUT OF ARCHITECTURAL SCOPE BUT REFER TO MEP AND STRUCTURAL DEMOLITION DOCUMENTS FOR ADDITIONAL WORK IF REQUIRED
- EXISTING SLAB TO BE REMOVED. REF. STRUCTURAL DRAWINGS FOR MORE INFORMATION

DEMOLITION KEYNOTES

- (E) COLUMN(S) TO BE REMOVED, REFER TO STRUCTURAL DEMO
- (E) RAMP TO BE REMOVED
- REMOVE (E) DOOR AND INFILL OPENING TO MATCH EXISTING
- REMOVE (E) SLIDING DOOR AND STAIR ON LOBBY SIDE OF OPENING
- REMOVE (E) TOILET AND ASSOCIATED FIXTURES

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OWNER

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CONTRACTOR

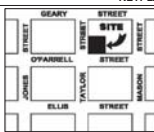
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PROJECT

420 TAYLOR STREET,
SAN FRANCISCO,
CALIFORNIA 94102
420 Taylor Street
San Francisco, CA
94105

420 Taylor Ventures
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KEYPLAN



ISSUE CHART

ISSUE	DATE
1	491532.000
Job Number	CC
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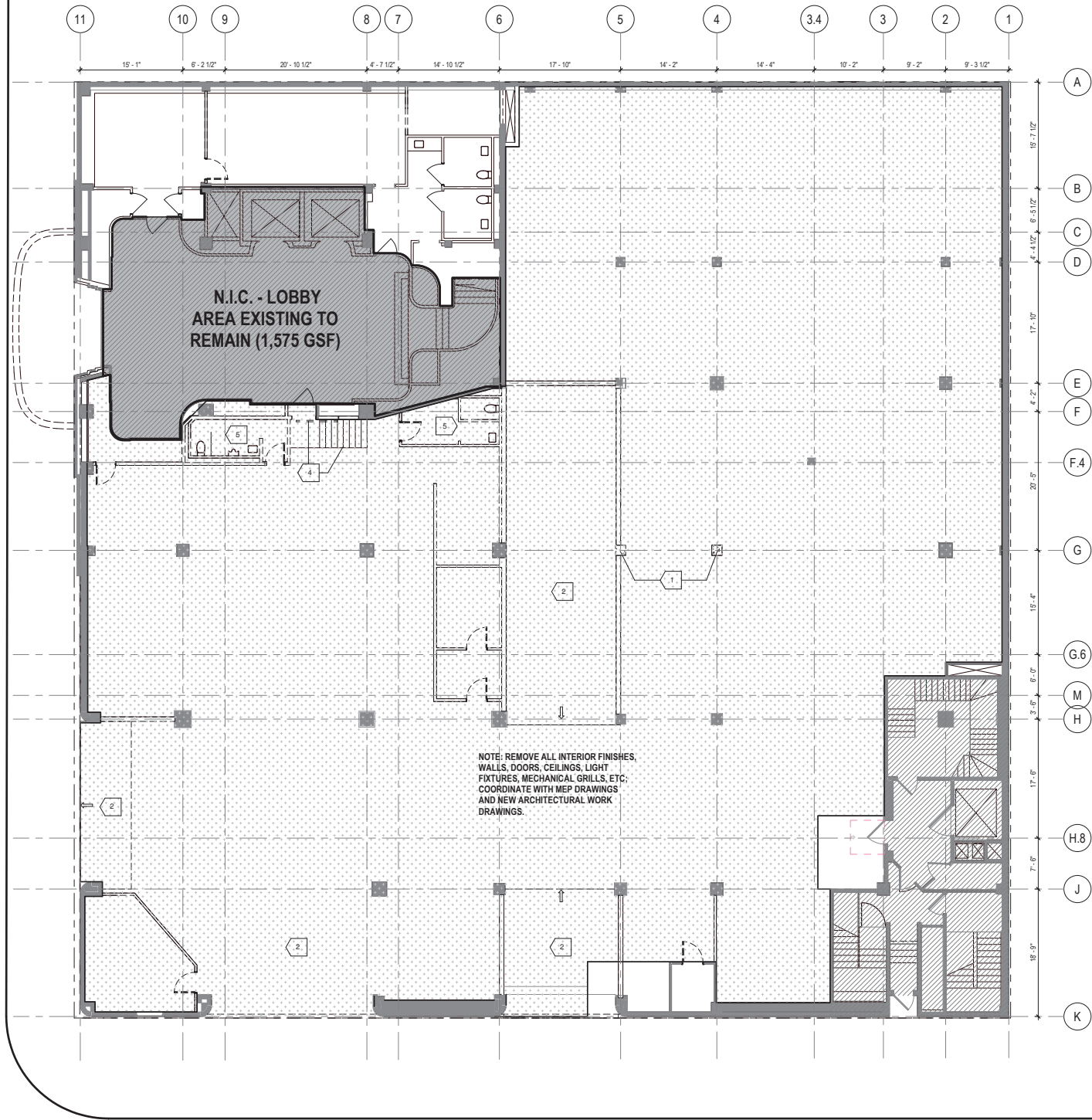
DEMOLITION -
BASEMENT

SHEET NUMBER

A03-00

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TAYLOR STREET



O'FARRELL STREET

1 DEMOLITION PLAN - LEVEL 01
1/8" = 1'-0"

DEMOLITION GENERAL NOTES

1. REFER TO SPECIFICATIONS FOR INTERIM LIFE SAFETY MEASURES.
2. CONSTRUCT TEMPORARY PARTITIONS AS REQUIRED BY PHASING TO MINIMIZE THE SPREAD OF DUST AND NOISE.
3. THESE DRAWINGS HAVE BEEN DEVELOPED FROM EXISTING DRAWINGS WHICH MAY NOT REFLECT ACTUAL FIELD CONDITIONS. VERIFY THESE DRAWINGS WITH EXISTING FIELD CONDITIONS AND NOTIFY THE ARCHITECT IMMEDIATELY OF INCONSISTENCIES BETWEEN THEM AND ACTUAL CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION.
4. REPAIR ANY DAMAGED FIRE-RATED ASSEMBLIES TO THEIR ORIGINAL SPECIFICATION, UNO.
5. REMOVE CONSTRUCTION AS INDICATED. TYPICAL WALL REMOVAL INCLUDES FINISHES AND MECHANICAL PLUMBING AND ELECTRICAL SYSTEMS CONTAINED THEREIN. REMOVE DOORS, CASEWORK, WINDOWS, FRAMES, AND OTHER FIXTURES AS REQUIRED. AFTER REMOVAL OF PIPE CHASES, PATCH HOLES IN FLOORS OR WALLS TO REPAIR TO MEET ORIGINAL FIRE PROTECTION AND STRUCTURAL REQUIREMENTS. PATCH ADJOINING WALLS, FLOORS AND DECK, AND PREPARE SURFACES TO RECEIVE NEW FINISHES PER FINISH SCHEDULE OR PER INTERIOR FINISH PLANS.
6. WHERE NEW FINISHES ARE TO BE INSTALLED ON TO REMAIN SURFACES, REMOVE THE EXISTING FINISH AND PREPARE THE EXISTING SURFACE TO RECEIVE THE NEW FINISH.
7. COORDINATE WITH THE OWNER ANY ITEMS TO BE STORED AND/OR RELOCATED.
8. SEE CIVIL, MECHANICAL, PLUMBING, AND/OR ELECTRICAL DRAWINGS FOR DEMOLITION OF UTILITIES.
9. FOR EXTENT AND LOCATION OF CHANNELING OF FLOOR SLABS, REFER TO MECHANICAL PLUMBING, AND ELECTRICAL DRAWINGS. IF PIPING OR CONDUIT WORK (OTHER THAN THE DESIRED CONNECTION) IS ENCOUNTERED WHILE CHANNELING, NOTIFY THE ARCHITECT BEFORE CONTINUING.
10. VERIFY THAT CONSTRUCTION OF WALLS WITHIN THE AREA OF RENOVATION (SMOKE COMPARTMENT) MEETS THE FIRE PROTECTION RATINGS DESIGNATED ON THE LIFE SAFETY PLANS. MAKE ANY REPAIRS OR MODIFICATIONS NECESSARY TO BRING WALLS, DOORS, DUCTS, ETC. UP TO THE PROPER FIRE PROTECTION RATING. DOORS AND/OR FRAMES SHALL HAVE THE PROPER LABELING.
11. VERIFY THAT EXIT EGRESS IS MAINTAINED FOR ALL OCCUPIED AREAS OF THE BUILDING THROUGHOUT CONSTRUCTION.
12. DEMOLITION WORK SHALL BE EXECUTED IN CONFORMANCE WITH ALL CODES AND AS SET FORTH BY ALL GOVERNING AUTHORITIES.
13. BRACE ALL STRUCTURES OR STRUCTURAL ELEMENTS AS NECESSARY DURING DEMOLITION.
14. DO NOT CUT ANY STRUCTURAL WORK WITHOUT PRIOR APPROVAL FROM THE STRUCTURAL ENGINEER.
15. THE BUILDING ENVELOPE SHALL BE MAINTAINED IN A WATER TIGHT CONDITION AT ALL TIMES.
16. REPLACE OR REPAIR ANY TO REMAIN FINISHES WHICH ARE DAMAGED DURING DEMOLITION (I.E. - CEILING GRID, CEILING TILE, WALL COVERING, FLOOR COVERINGS, ETC.).
17. WHEREVER POSSIBLE, RETAIN REMOVED BRICK, TO BE USED TO FILL EXTERIOR WALL OPENINGS.
18. NOTIFY THE ARCHITECT IMMEDIATELY IF THE REMOVAL OF MECHANICAL, ELECTRICAL, PLUMBING SYSTEMS OR COMPONENTS WILL ADVERSELY AFFECT THE OPERATION OF MEP SYSTEMS OUTSIDE THE LIMIT OF DEMOLITION.
19. SCHEDULE ALL DEMOLITION WITH THE OWNER.

DEMOLITION LEGEND

- EXISTING TO REMAIN
- TO BE DEMOLISHED
- AREA OUT OF ARCHITECTURAL SCOPE BUT REFER TO MEP AND STRUCTURAL DEMOLITION DOCUMENTS FOR ADDITIONAL WORK IF REQUIRED
- EXISTING SLAB TO BE REMOVED, REF. STRUCTURAL DRAWINGS FOR MORE INFORMATION

DEMOLITION KEYNOTES

- (E) COLUMN(S) TO BE REMOVED, REFER TO STRUCTURAL DEMO
- (E) RAMP TO BE REMOVED
- REMOVE (E) DOOR AND INFILL OPENING TO MATCH EXISTING
- REMOVE (E) SLIDING DOOR AND STAIR ON LOBBY SIDE OF OPENING
- REMOVE (E) TOILET AND ASSOCIATED FIXTURES

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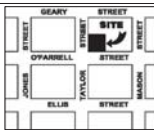
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PROJECT

420 TAYLOR STREET,
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94105

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KEYPLAN



ISSUE CHART

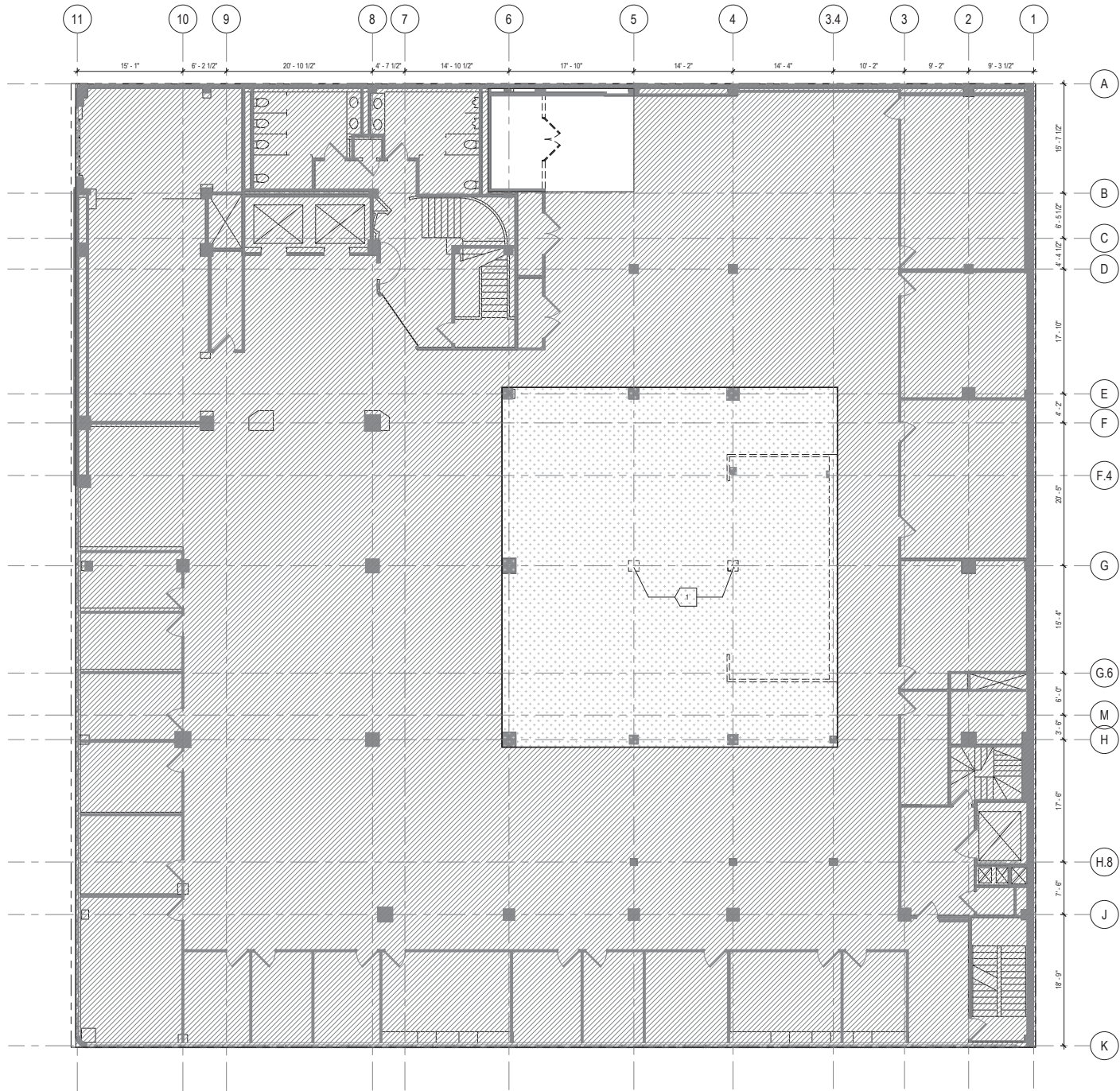
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1	Job Number	491532.000
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	Approved	Approver
		TITLE

DEMOLITION - LEVEL
01

SHEET NUMBER

A03-01

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1 DEMOLITION PLAN - LEVEL 02
1/8" = 1'-0"

DEMOLITION GENERAL NOTES

1. REFER TO SPECIFICATIONS FOR INTERIM LIFE SAFETY MEASURES.
2. CONSTRUCT TEMPORARY PARTITIONS AS REQUIRED BY PHASING TO MINIMIZE THE SPREAD OF DUST AND NOISE.
3. THESE DRAWINGS HAVE BEEN DEVELOPED FROM EXISTING DRAWINGS WHICH MAY NOT REFLECT ACTUAL FIELD CONDITIONS. VERIFY THESE DRAWINGS WITH EXISTING FIELD CONDITIONS AND NOTIFY THE ARCHITECT IMMEDIATELY OF INCONSISTENCIES BETWEEN THEM AND ACTUAL CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION.
4. REPAIR ANY DAMAGED FIRE-RATED ASSEMBLIES TO THEIR ORIGINAL SPECIFICATION, UNO.
5. REMOVE CONSTRUCTION AS INDICATED. TYPICAL WALL REMOVAL INCLUDES FINISHES AND MECHANICAL PLUMBING AND ELECTRICAL SYSTEMS CONTAINED THEREIN. REMOVE DOORS, CASEWORK, WINDOWS, FRAMES, AND OTHER FIXTURES AS REQUIRED. AFTER REMOVAL OF PIPE CHASES, PATCH HOLES IN FLOORS OR WALLS TO REPAIR TO MEET ORIGINAL FIRE PROTECTION AND STRUCTURAL REQUIREMENTS. PATCH ADJOINING WALLS, FLOORS AND DECK, AND PREPARE SURFACES TO RECEIVE NEW FINISHES PER FINISH SCHEDULE OR PER INTERIOR FINISH PLANS.
6. WHERE NEW FINISHES ARE TO BE INSTALLED ON TO REMAIN SURFACES, REMOVE THE EXISTING FINISH AND PREPARE THE EXISTING SURFACE TO RECEIVE THE NEW FINISH.
7. COORDINATE WITH THE OWNER ANY ITEMS TO BE STORED AND/OR RELOCATED.
8. SEE CIVIL, MECHANICAL, PLUMBING, AND/OR ELECTRICAL DRAWINGS FOR DEMOLITION OF UTILITIES.
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10. VERIFY THAT CONSTRUCTION OF WALLS WITHIN THE AREA OF RENOVATION (SMOKE COMPARTMENT) MEETS THE FIRE PROTECTION RATINGS DESIGNATED ON THE LIFE SAFETY PLANS. MAKE ANY REPAIRS OR MODIFICATIONS NECESSARY TO BRING WALLS, DOORS, DUCTS, ETC. UP TO THE PROPER FIRE PROTECTION RATING. DOORS AND/OR FRAMES SHALL HAVE THE PROPER LABELING.
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17. WHEREVER POSSIBLE, RETAIN REMOVED BRICK, TO BE USED TO FILL EXTERIOR WALL OPENINGS.
18. NOTIFY THE ARCHITECT IMMEDIATELY IF THE REMOVAL OF MECHANICAL, ELECTRICAL, PLUMBING SYSTEMS OR COMPONENTS WILL ADVERSELY AFFECT THE OPERATION OF MEP SYSTEMS OUTSIDE THE LIMIT OF DEMOLITION.
19. SCHEDULE ALL DEMOLITION WITH THE OWNER.

DEMOLITION LEGEND

- EXISTING TO REMAIN
- TO BE DEMOLISHED
- AREA OUT OF ARCHITECTURAL SCOPE BUT REFER TO MEP AND STRUCTURAL DEMOLITION DOCUMENTS FOR ADDITIONAL WORK IF REQUIRED
- EXISTING SLAB TO BE REMOVED, REF. STRUCTURAL DRAWINGS FOR MORE INFORMATION

DEMOLITION KEYNOTES

- 1 (E) COLUMN(S) TO BE REMOVED, REFER TO STRUCTURAL DEMO
- 2 (E) RAMP TO BE REMOVED
- 3 REMOVE (E) DOOR AND INFILL OPENING TO MATCH EXISTING
- 4 REMOVE (E) SLIDING DOOR AND STAIR ON LOBBY SIDE OF OPENING
- 5 REMOVE (E) TOILET AND ASSOCIATED FIXTURES

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STRUCTURAL
Holmes Structures
235 Montgomery Street
Suite 1250
San Francisco, CA 94104
MEP
48 Golden Gate Avenue
San Francisco, CA 94102

OWNER

Ray Falack, 420 Taylor Ventures, LLC
1407 Broadway, 30th Floor
New York, NY 10018

CONTRACTOR

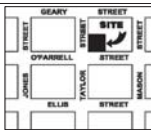
TBD

PROJECT

420 TAYLOR STREET,
SAN FRANCISCO,
CALIFORNIA 94102
420 Taylor Street
San Francisco, CA
94105

420 Taylor Ventures
LLC

KEYPLAN



ISSUE CHART

NO.	ISSUE	DATE
1		
Job Number	491632.000	
Drawn	CC	
Checked	LK	
Approved	Approver	
	TITLE	



DEMOLITION - LEVEL
02

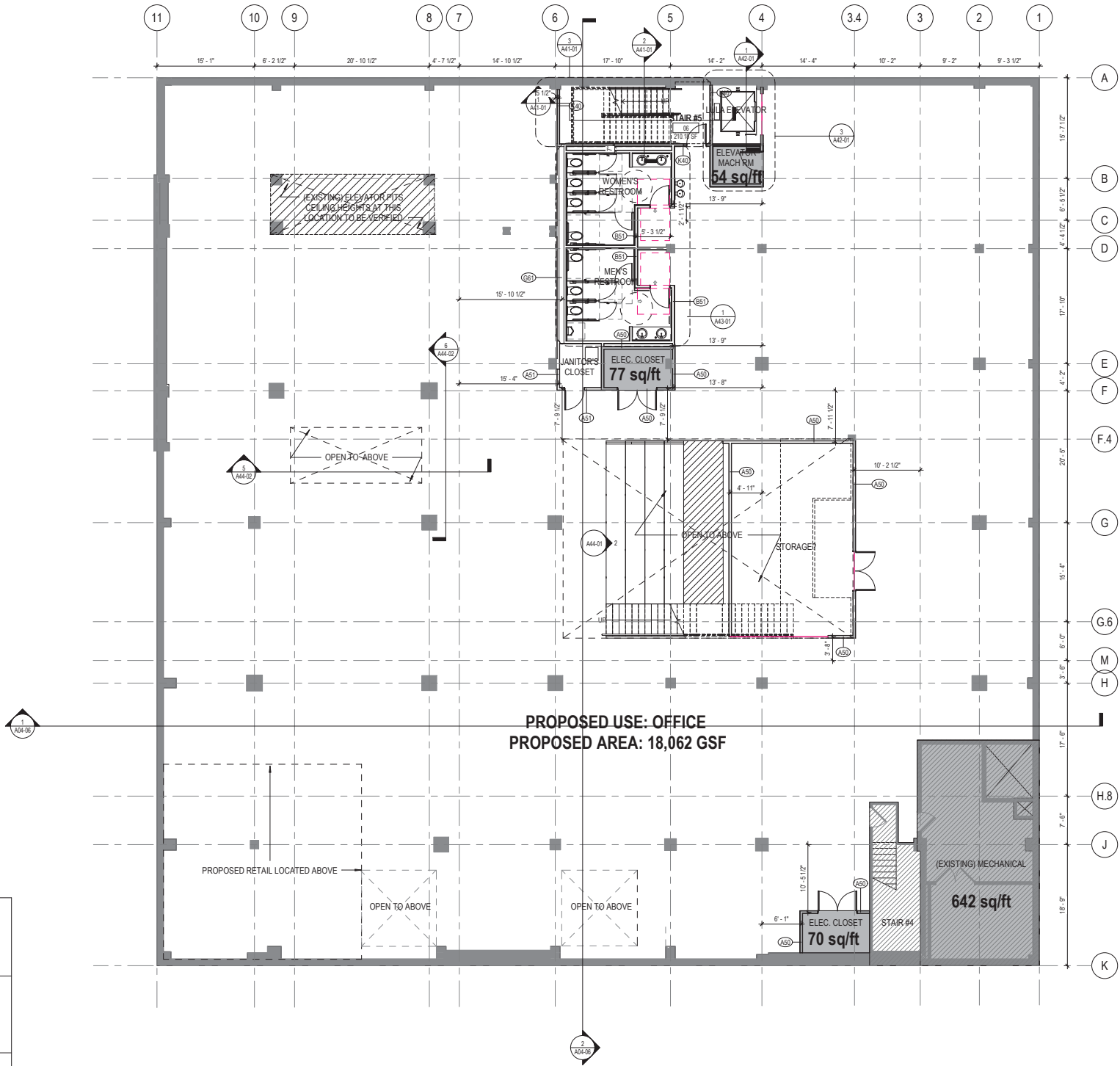
SHEET NUMBER

A03-02

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	AREA INCLUDED IN GFA 18,062 SQ/FT
	AREA EXCLUDED IN GFA 843 SQ/FT
TOTAL AREA = 18,905 SQ/FT	



1 PROPOSED - BASEMENT - FLOOR PLAN
1/8" = 1'-0"

FLOOR PLAN GENERAL NOTES

1. PARTITION TYPES ARE SCHEDULED IN THE A61 SERIES. RE: A61 SERIES "CODE COMPLIANCE PLANS" FOR GRAPHIC EXTENT OF FIRE RATED PARTITIONS. REFER TO PARTITION TYPE SCHEDULE FOR LOCATION OF SOUND ATTENUATION BLANKETS.
2. REFER TO SHEET A00-01 FOR ADDITIONAL GENERAL NOTES.
3. ALL PARTITIONS ARE TYPE "A17" UNLESS OTHERWISE NOTED.
4. DIMENSIONS SHOWN ON THE FLOOR PLANS FOR NEW CONSTRUCTION ARE TO THE FACE OF FINISH OF INTERIOR WALLS, TO CENTER LINE OF COLUMNS AND TO FACE OF CONCRETE OR MASONRY WALLS, UNLESS OTHERWISE INDICATED. DIMENSIONS IN RENOVATED AREAS ARE FROM FINISH FACE OF EXISTING WALLS TO FINISH FACE OF NEW STUD WALLS, UNLESS OTHERWISE INDICATED.
5. WHERE NEW GYPSUM BOARD PARTITIONS ARE A CONTINUATION OF AN EXISTING PARTITION OR COLUMN ENCASEMENT, THE FACE OF THE NEW GYPSUM BOARD SHALL BE ALIGNED WITH THE FACE OF THE EXISTING SURFACE. WHERE A ONE HOUR PARTITION IS SHOWN AS A CONTINUATION OF A TWO-HOUR PARTITION OR COLUMN ENCASEMENT, THE FACE OF THE GYPSUM BOARD SHALL BE ALIGNED. STUDS SHALL BE OFFSET AND ADDITIONAL LAYERS OF GYPSUM BOARD SHALL BE PROVIDED AS REQUIRED TO PROVIDE FACE ALIGNMENT OF GYPSUM BOARD.
6. CLINICAL SINKS SHALL BE MOUNTED SO THAT THE CENTERLINE OF THE SINK IS 1'-8" MINIMUM TO THE FACE OF THE ADJACENT FIXED EQUIPMENT, SIDE WALL, CASEWORK, ETC.
7. ALL PATIENT CORRIDORS AND PASSAGEWAYS SHALL BE 8'-0" MINIMUM CLEAR WIDTH.
8. SEE A43-01, PLUMBING LAYOUTS FOR TYPICAL MOUNTING HEIGHTS OF PLUMBING FIXTURES AND TOILET ACCESSORIES.
9. LAVATORIES AND SINKS SHALL BE ACCOMPANIED BY A PAPER TOWEL DISPENSER "TAS" AND SOAP DISPENSER "TAS" UNLESS OTHERWISE NOTED ON THE FLOOR PLANS.
10. SEE A43-XX FOR ENLARGED PLAN AT A TYPICAL DRINKING FOUNTAIN ALCOVE.
11. REFER TO A62 SERIES FOR MISCELLANEOUS DETAILS.
12. PROVIDE MINIMUM 1'-0" CLEAR FLOOR SPACE AT THE PUSH SIDE OF EVERY DOOR WITH A CLOSER. PROVIDE MINIMUM 1'-6" CLEAR AT THE PULL SIDE OF EVERY DOOR (EXCLUDING PATIENT BEDROOMS), UNLESS SPECIFICALLY DIMENSIONED, NOTED OR SHOWN OTHERWISE.
13. PROVIDE A 1'-4" WIDE CHASE BEHIND SINGLE SIDED TOILETS, AND A 1'-8" WIDE CHASE BETWEEN BACK TO BACK TOILETS, FOR WALL HUNG FIXTURES. FOR FLOOR MOUNTED FIXTURES PROVIDE A 6" STUD, MINIMUM.
14. ALL LAVATORIES AND SINKS SHALL BE MOUNTED A MINIMUM OF 1'-3" FROM THE CENTERLINE OF THE FIXTURE TO THE FINISHED FACE OF THE ADJACENT PARTITION.
15. SEE OWNER FURNISHED 777, 777, 777 VENDOR DRAWINGS FOR CRITICAL DIMENSIONS IN THESE SPACES. REFERENCE INDEX SHEET FOR LOCATION OF VENDOR DRAWINGS IN SET.
16. REFER TO THE A17 SERIES, "EQUIPMENT PLANS" FOR WALL PROTECTION LOCATIONS.

FLOOR PLAN LEGEND

- EXPANSION JOINT
- EXISTING PARTITION TO REMAIN
- NEW PARTITION
- EXISTING COLUMN TO REMAIN
- EXTERIOR ELEVATION TAG
- WALL SECTION TAG
- BUILDING SECTION TAG
- FV
- (ALPHA)
- (NUMERICAL)
- SETA
- DOOR TAG REF: A62-0X SERIES FOR DOOR SCHEDULE.
- PARTITION TAG REF: A61-0X SERIES FOR CHARTS
- FLOOR DRAIN
- STRUCTURAL BRACING
- ENLARGED PLAN TAG
- EXISTING TO REMAIN. REFERENCE ENTIRE DOCUMENTS FOR ADDITIONAL WORK IN THIS AREA
- CONTRACTOR FURNISHED EQUIPMENT/ ITEM
- OWNER FURNISHED EQUIPMENT/ ITEM

FLOOR PLAN NOTES BY NUMBER

PERKINS + WILL

2 Bryant Street
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San Francisco, CA 94105
415.566.3000
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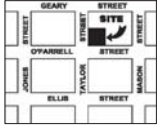
TBD

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KEYPLAN



ISSUE CHART



NO.	ISSUE	DATE
1	Job Number	491832.000
2	Drawn	Author
3	Checked	Checker
4	Approved	Approver
TITLE		

PROPOSED -
BASEMENT

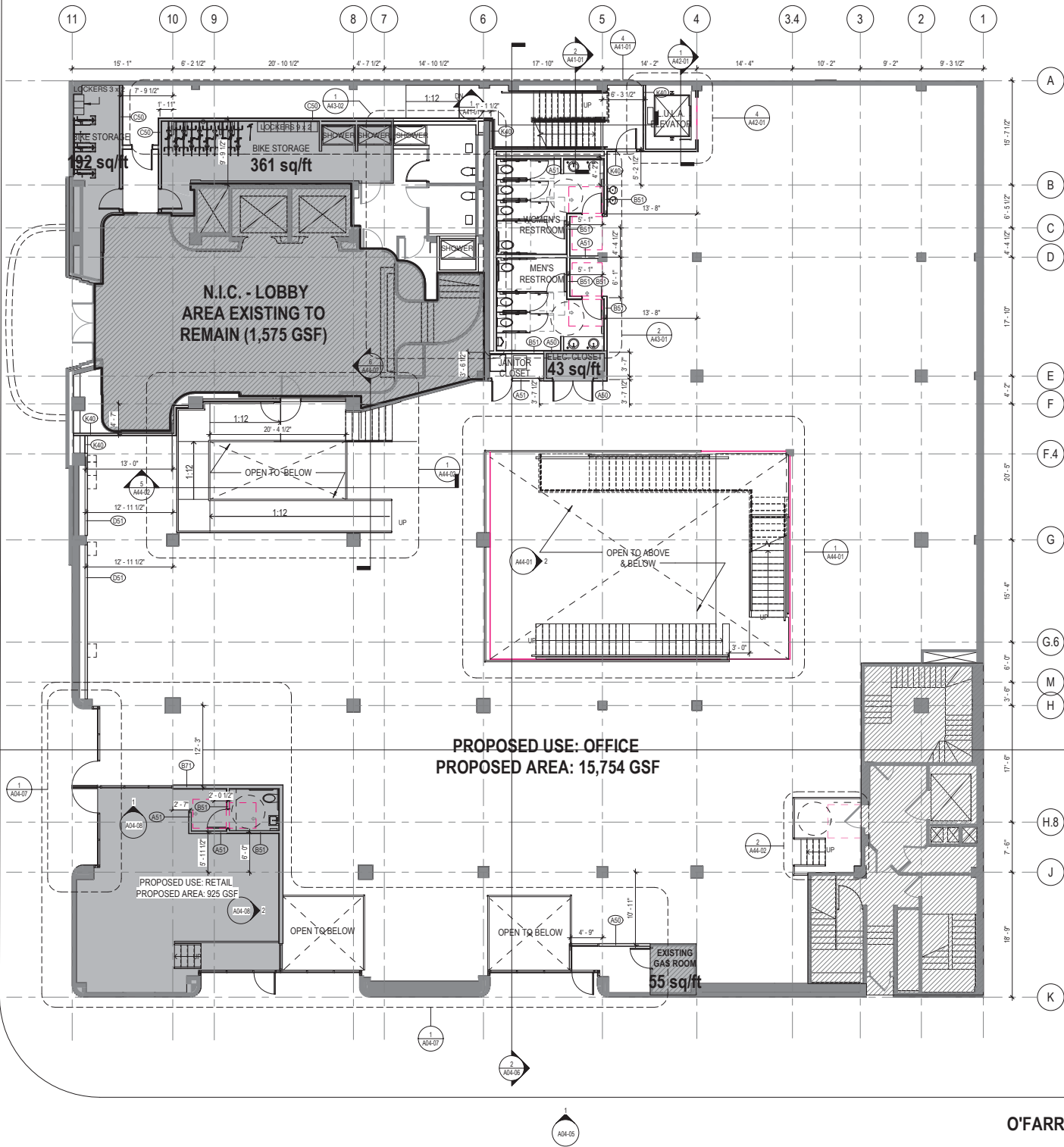
SHEET NUMBER

A04-00

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	AREA INCLUDED IN GFA 15,754 SQ/FT
	AREA EXCLUDED IN GFA 3,151 SQ/FT
TOTAL AREA = 18,905 SQ/FT	

TAYLOR STREET



O'FARRELL STREET

FLOOR PLAN GENERAL NOTES

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2. REFER TO SHEET A00-01 FOR ADDITIONAL GENERAL NOTES.
3. ALL PARTITIONS ARE TYPE "A77" UNLESS OTHERWISE NOTED.
4. DIMENSIONS SHOWN ON THE FLOOR PLANS FOR NEW CONSTRUCTION ARE TO THE FACE OF FINISH OF INTERIOR WALLS, TO CENTER LINE OF COLUMNS AND TO FACE OF CONCRETE OR MASONRY WALLS, UNLESS OTHERWISE INDICATED. DIMENSIONS IN RENOVATED AREAS ARE FROM FINISH FACE OF EXISTING WALLS TO FINISH FACE OF NEW STUD WALLS, UNLESS OTHERWISE INDICATED.
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- EXISTING PARTITION TO REMAIN
- NEW PARTITION
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- DOOR TAG REF: A62-0X SERIES FOR DOOR SCHEDULE
- PARTITION TAG REF: A61-0X SERIES FOR CHARTS
- FLOOR DRAIN
- STRUCTURAL BRACING
- ENLARGED PLAN TAG
- EXISTING TO REMAIN. REFERENCE ENTIRE DOCUMENTS FOR ADDITIONAL WORK IN THIS AREA
- CONTRACTOR FURNISHED EQUIPMENT/ ITEM
- OWNER FURNISHED EQUIPMENT/ ITEM

FLOOR PLAN NOTES BY NUMBER

PERKINS + WILL

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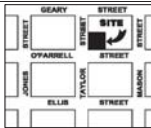
TBD

PROJECT

420 TAYLOR STREET,
SAN FRANCISCO,
CALIFORNIA 94102
420 Taylor Street
San Francisco, CA
94105

420 Taylor Ventures
LLC

KEYPLAN



ISSUE CHART

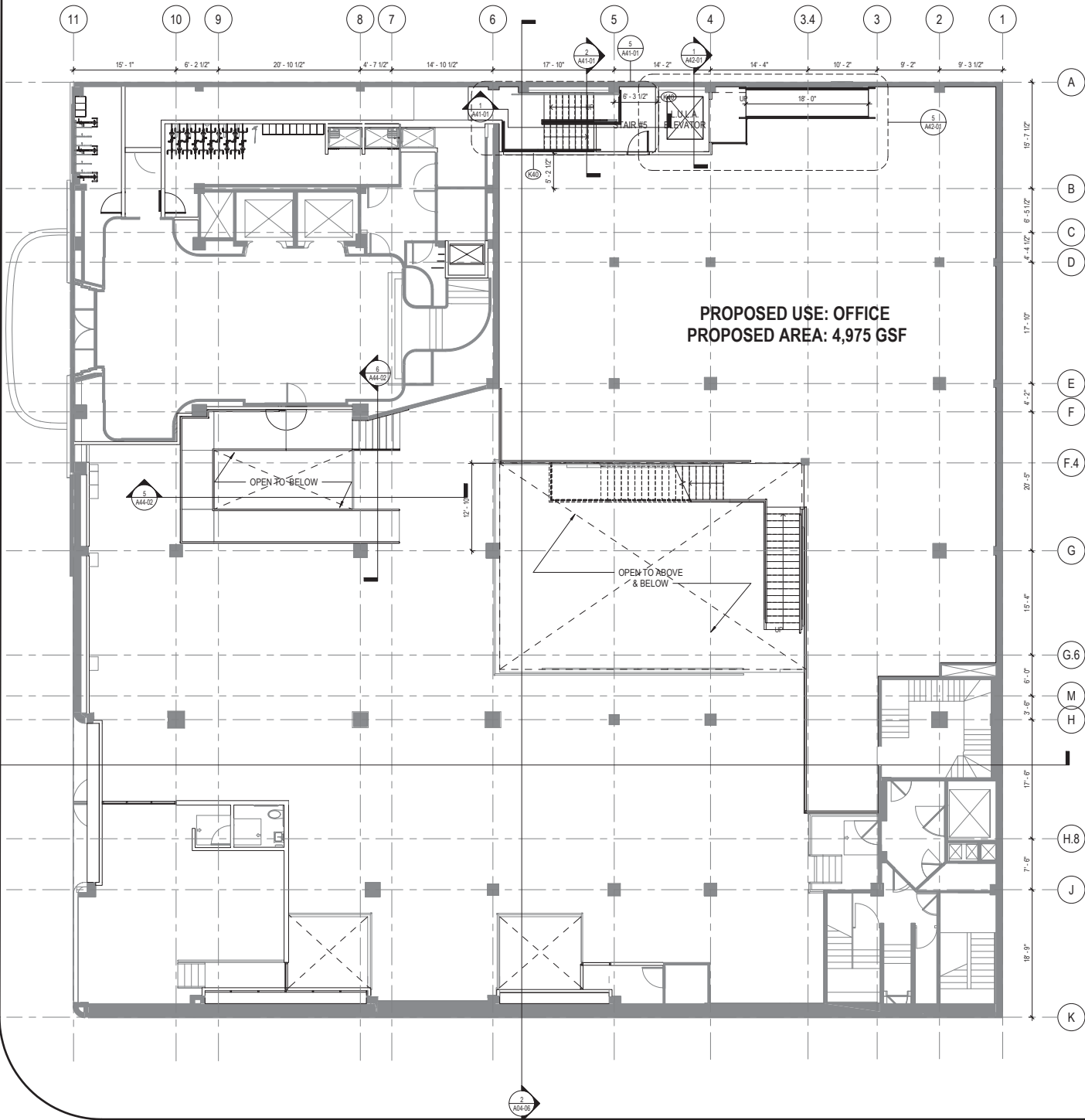
NO.	ISSUE	DATE
1	Job Number	491832.000
Drawn	Author	
Checked	Checker	
Approved	Approver	
TITLE		

PROPOSED - LEVEL 01

SHEET NUMBER

A04-01

TAYLOR STREET



<div></div>	AREA INCLUDED IN GFA 4,975 SQ/FT
<div></div>	AREA EXCLUDED IN GFA N/A
TOTAL AREA = 4,975 SQ/FT	

1 PROPOSED - MEZZANINE - FLOOR PLAN
1/8" = 1'-0"

FLOOR PLAN GENERAL NOTES

1. PARTITION TYPES ARE SCHEDULED IN THE A61 SERIES. RE: A01 SERIES "CODE COMPLIANCE PLANS" FOR GRAPHIC EXTENT OF FIRE RATED PARTITIONS. REFER TO PARTITION TYPE SCHEDULE FOR LOCATION OF SOUND ATTENUATION BLANKETS.
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FLOOR PLAN LEGEND

- EXPANSION JOINT
- EXISTING PARTITION TO REMAIN
- NEW PARTITION
- EXISTING COLUMN TO REMAIN
- EXTERIOR ELEVATION TAG
- WALL SECTION TAG
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FLOOR PLAN NOTES BY NUMBER

PERKINS
+ WILL

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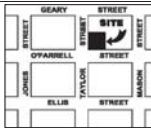
TBD

PROJECT

420 TAYLOR STREET,
SAN FRANCISCO,
CALIFORNIA 94102
420 Taylor Street
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94105

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KEYPLAN



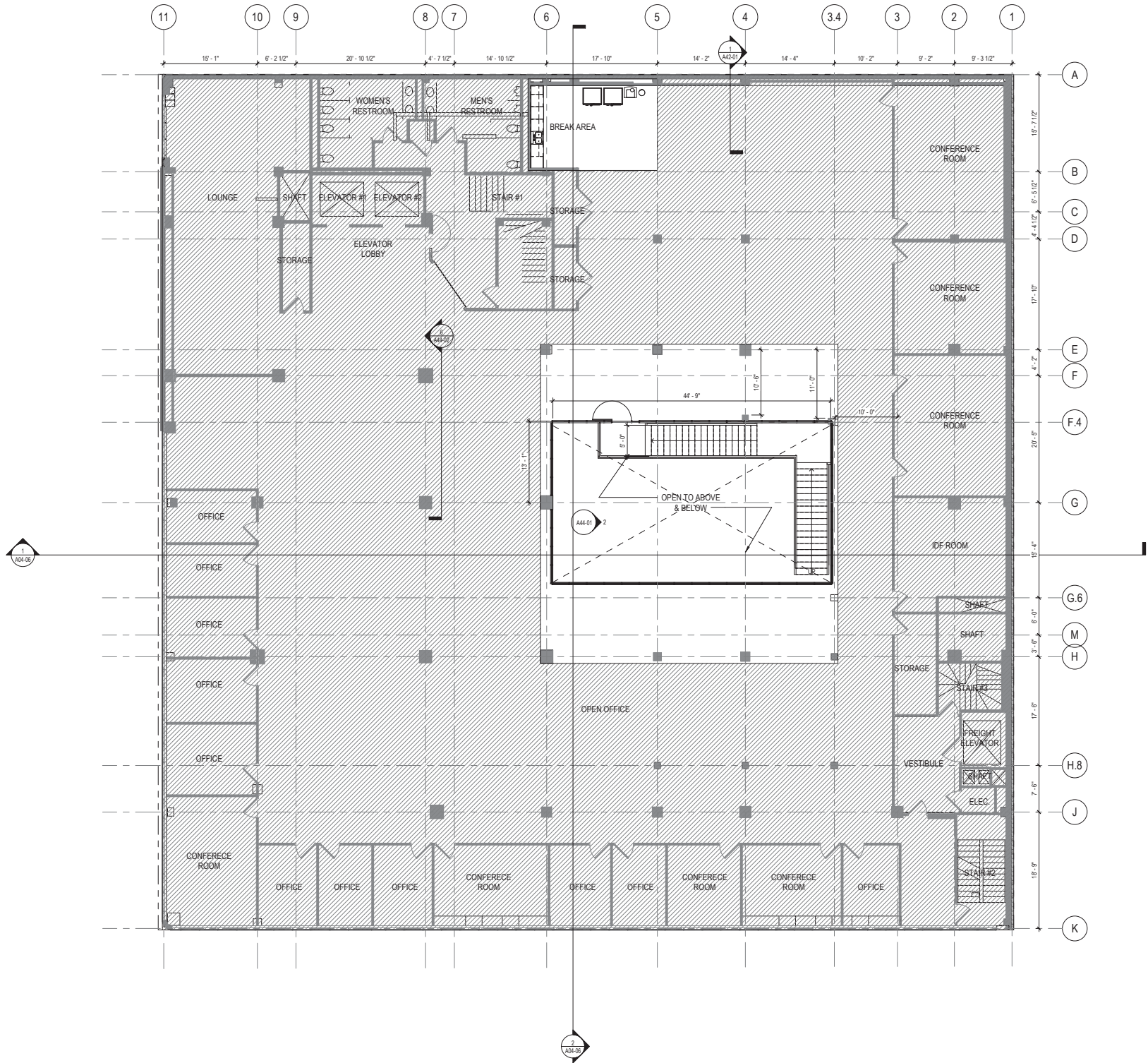
ISSUE CHART

DATE	ISSUE	DATE
2	Job Number	491632.000
Drawn	Author	
Checked	Checker	
Approved	Approver	
TITLE		

PROPOSED -
MEZZANINE

SHEET NUMBER

A04-01M



1 PROPOSED - LEVEL 02 - FLOOR PLAN
1/8" = 1'-0"

FLOOR PLAN GENERAL NOTES

1. PARTITION TYPES ARE SCHEDULED IN THE A61 SERIES. RE: A01 SERIES "CODE COMPLIANCE PLANS" FOR GRAPHIC EXTENT OF FIRE RATED PARTITIONS. REFER TO PARTITION TYPE SCHEDULE FOR LOCATION OF SOUND ATTENUATION BLANKETS.
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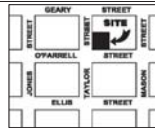
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ISSUE CHART

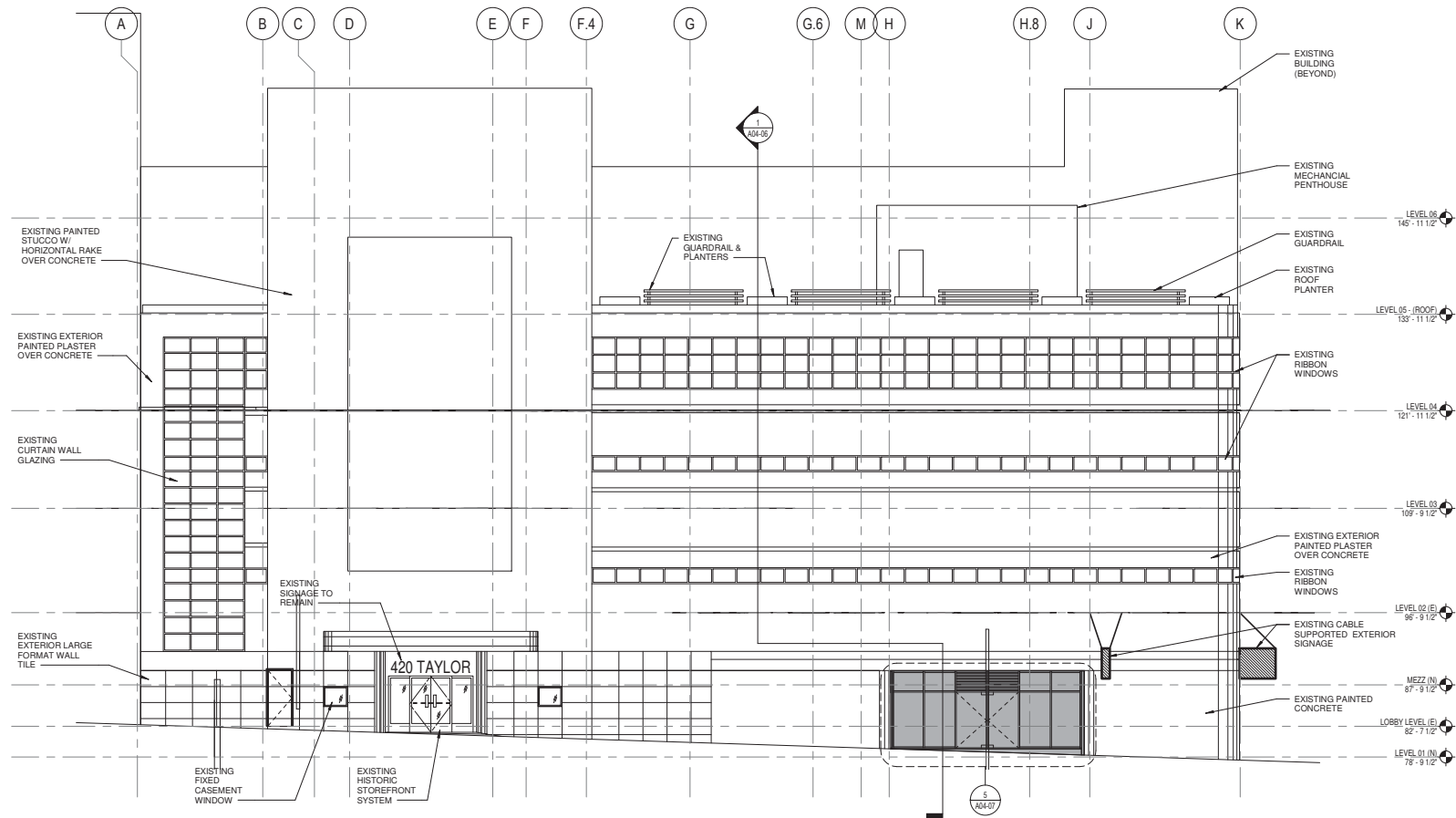
NO.	ISSUE	DATE
1	Job Number	491632.000
Drawn	Author	
Checked	Checker	
Approved	Approver	
TITLE		

PROPOSED - LEVEL 02

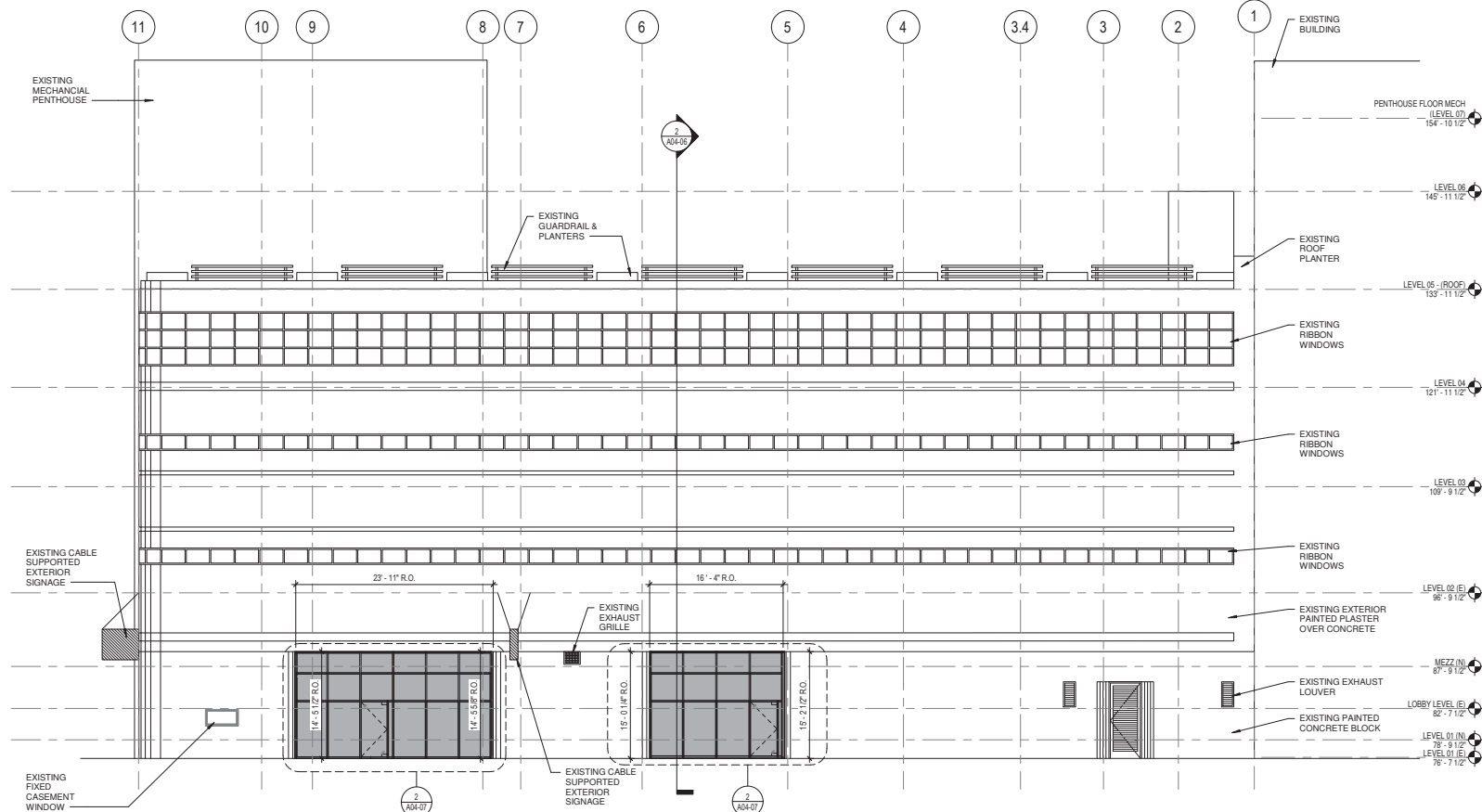
SHEET NUMBER

A04-02

8/29/2018 3:10:39 PM C:\Temp\451632_420Taylor_PLANNING_PW_Curds&Cort



2 PROPOSED - TAYLOR ST. ELEVATION
1/8" = 1'-0"



1 PROPOSED - O'FARRELL ST. ELEVATION
1/8" = 1'-0"

EXTERIOR ELEVATION GENERAL NOTES

1. ALL EXISTING EXTERIOR GLAZING SYSTEMS, STOREFRONT, WINDOWS, CLADDING, FINISH SYSTEMS AND PAINT TO REMAIN, NO CHANGE.
2. ALL EXISTING DOORWAYS AND ROUGH OPENING (R.O.) SIZES ARE TO REMAIN, NO CHANGE.
3. ALL EXISTING SIGNAGE, GUARDRAILS AND DECORATIVE METALS ARE TO REMAIN, NO CHANGE.

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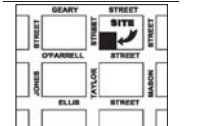
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Drawn	Author	
Checked	Checker	
Approved	Approver	

TITLE

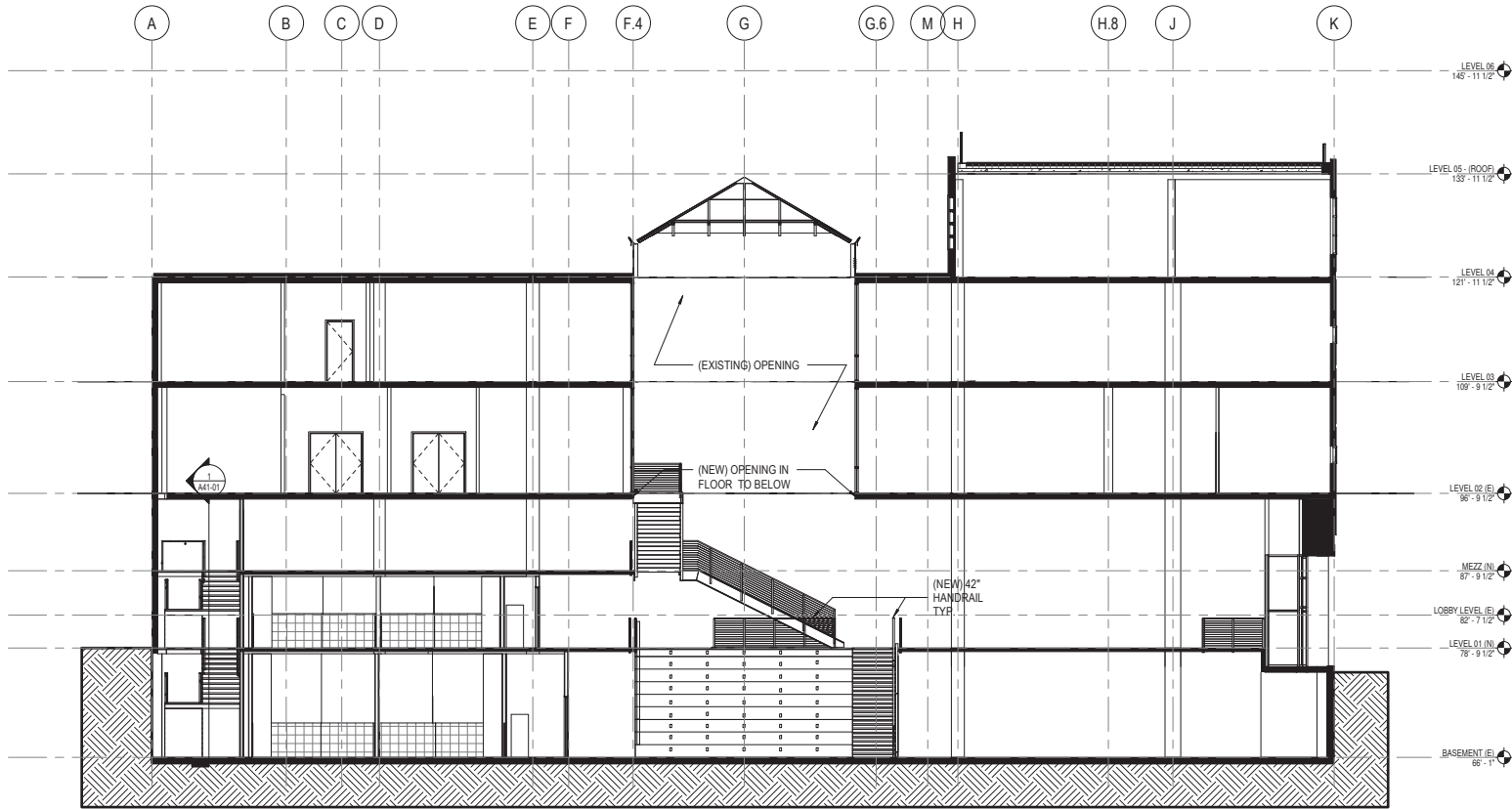
PROPOSED
ELEVATIONS

SHEET NUMBER

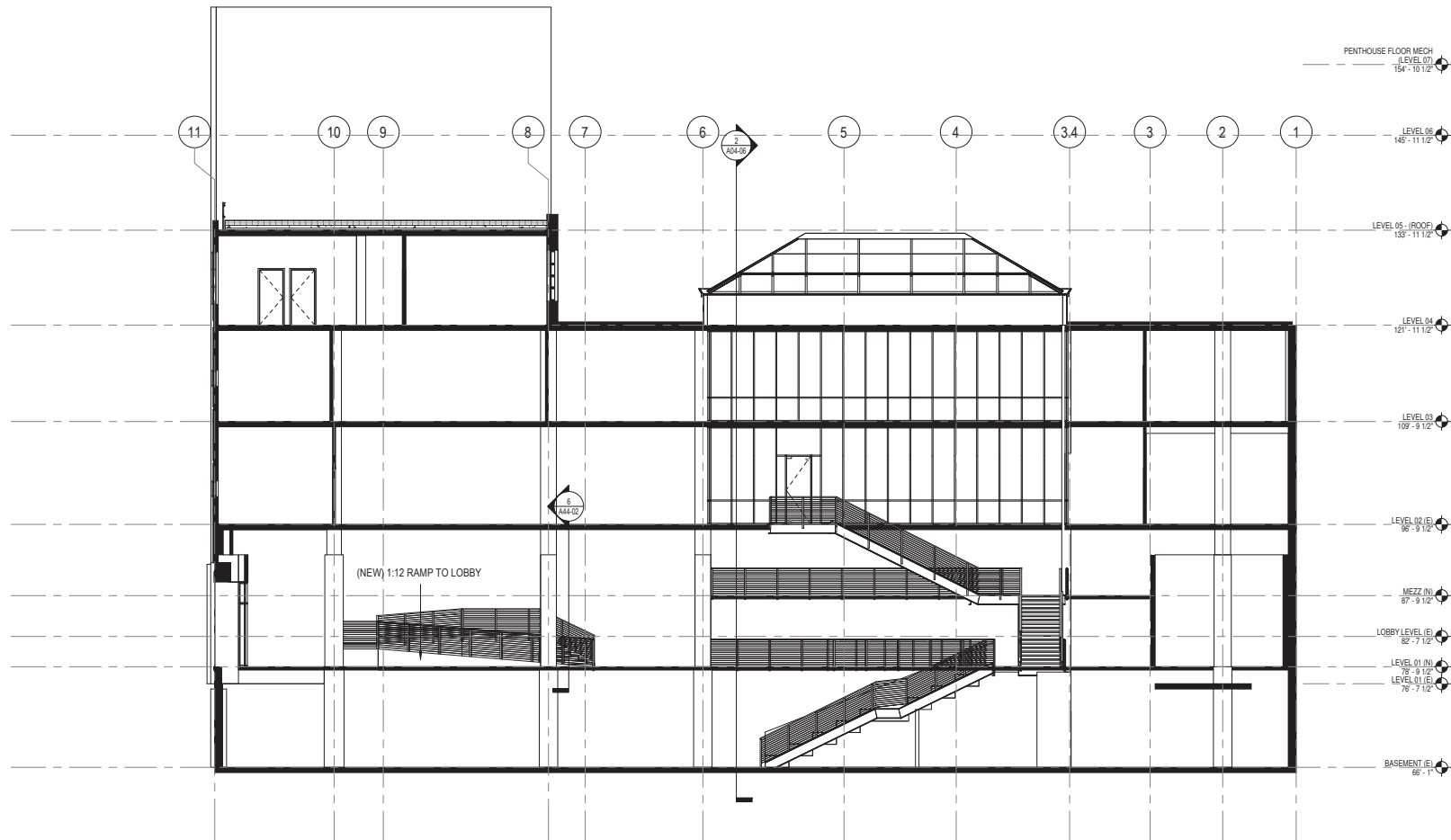
A04-05

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2 PROPOSED NORTH SOUTH SECTION
1/8" = 1'-0"



1 PROPOSED - EAST WEST SECTION
1/8" = 1'-0"

PERKINS + WILL

2 Bryant Street
Suite 300
San Francisco, CA 94105
415.556.3000
415.556.3001
www.perkinswill.com

CONSULTANTS

STRUCTURAL

Holmes Structures
235 Montgomery Street
Suite 1250
San Francisco, CA 94104

MEP

PAE
48 Golden Gate Avenue
San Francisco, CA 94102

OWNER

Ray Falack, 420 Taylor Ventures, LLC
1407 Broadway, 30th Floor
New York, NY 10018

CONTRACTOR

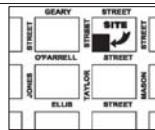
TBD

PROJECT

420 TAYLOR STREET,
SAN FRANCISCO,
CALIFORNIA 94102
420 Taylor Street
San Francisco, CA
94105

420 Taylor Ventures
LLC

KEYPLAN



ISSUE CHART

NO.	ISSUE	DATE
1	Job Number	491832.000
2	Drawn	Author
3	Checked	Checker
4	Approved	Approver

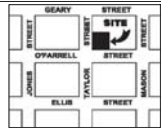
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PROPOSED SECTIONS

SHEET NUMBER

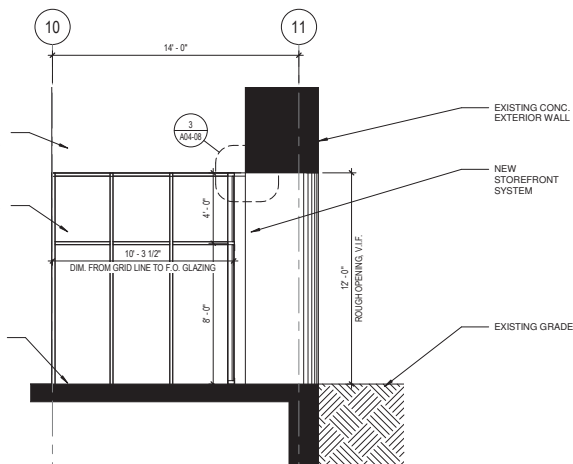
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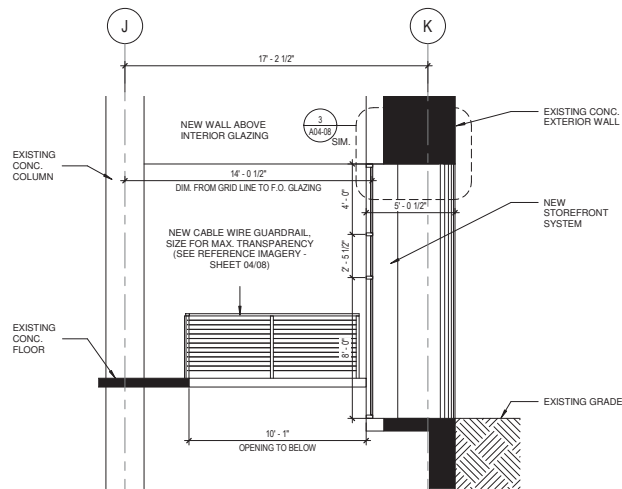


DATE	ISSUE	DATE
2	Job Number	491532.000
Drawn	Author	
Checked	Checker	
Approved	Approver	

5 NEW STOREFRONT ON TAYLOR STREET
1/4" = 1'-0"

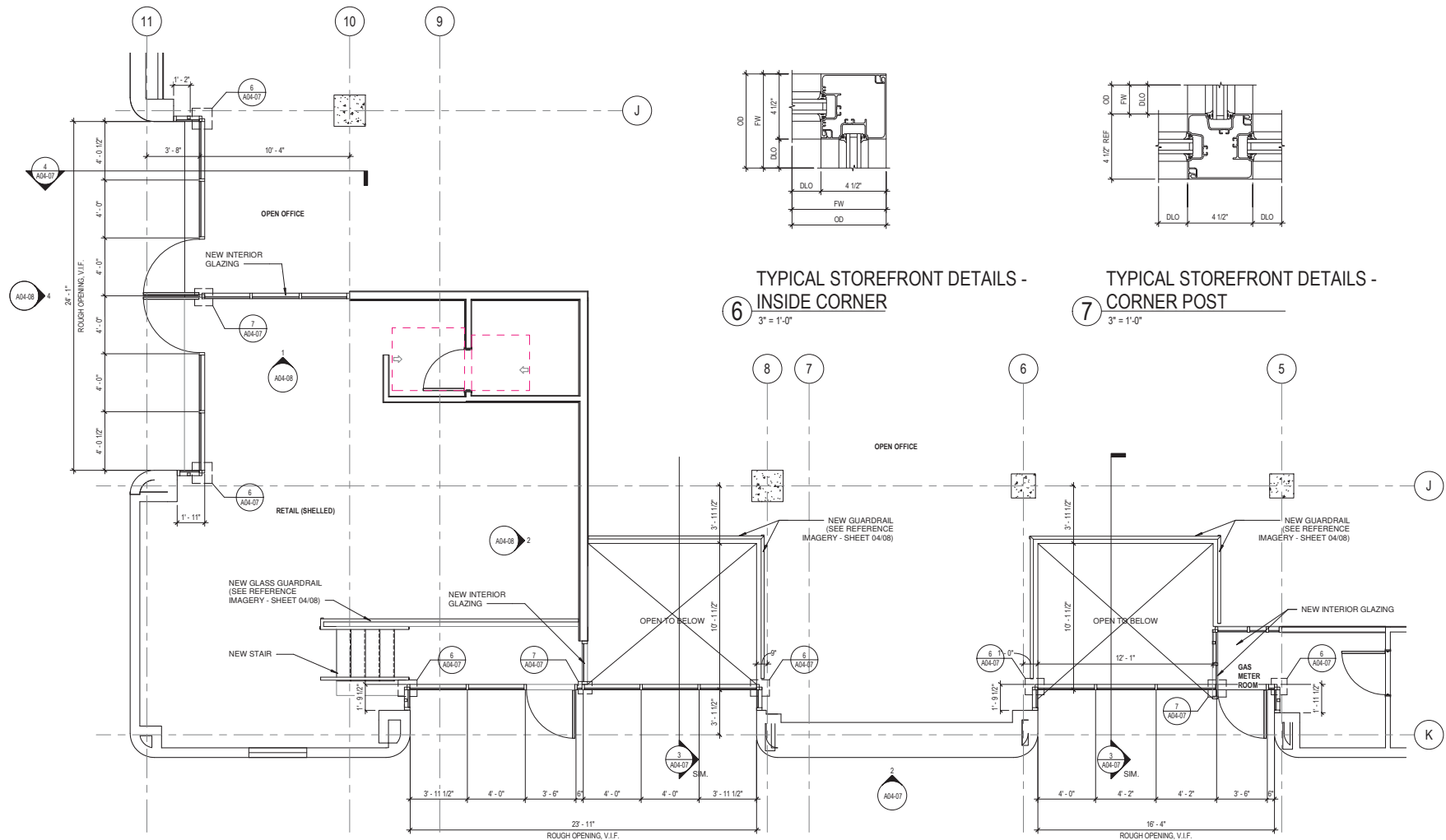


4 NEW STOREFRONT @ TAYLOR STREET
- SECTION
1/4" = 1'-0"



3 NEW STOREFRONT @ O'FARRELL
STREET - SECTION
1/4" = 1'-0"

2 NEW STOREFRONTS ON O'FARRELL STREET
1/4" = 1'-0"



1 NEW STOREFRONTS - PLAN
1/4" = 1'-0"



15 FLUSH LOUVER IN CEILING RETURN
6" = 1'-0"



11 FLUSH LOUVER DETAIL IN SOFFIT
6" = 1'-0"



7 CURTAIN WALL REFERENCE "C"
6" = 1'-0"



4 TYP. STOREFRONT - FINISH COLOR
1/8" = 1'-0"



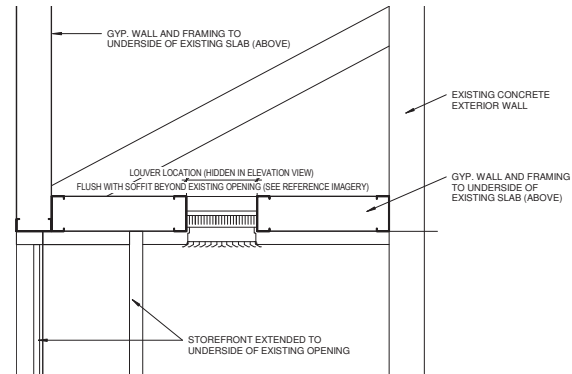
14 GLASS GUARDRAIL REFERENCE "C"
6" = 1'-0"



10 CABLE GUARDRAIL REFERENCE "C"
6" = 1'-0"



6 CURTAIN WALL REFERENCE "B"
6" = 1'-0"



3 CEILING HUNG LOUVER DETAIL
@ NEW STOREFRONT (TYP.)
1" = 1'-0"



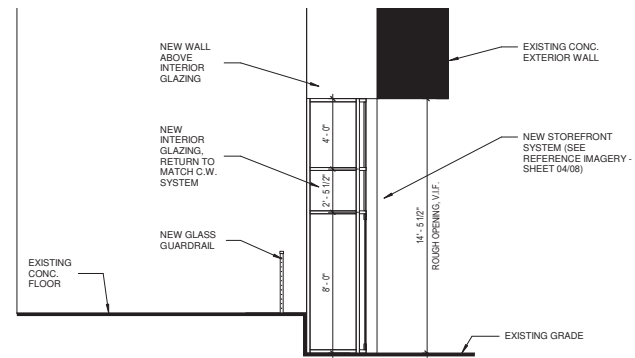
13 GLASS GUARDRAIL REFERENCE "B"
6" = 1'-0"



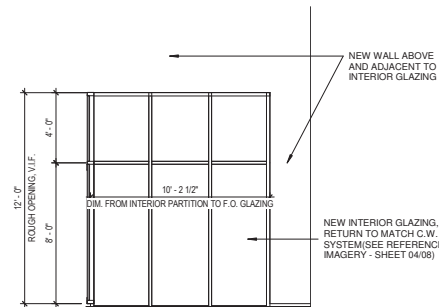
9 CABLE GUARDRAIL REFERENCE "B"
6" = 1'-0"



5 CURTAIN WALL REFERENCE "A"
6" = 1'-0"



2 RETAIL ELEVATION - WEST
1/4" = 1'-0"



1 RETAIL ELEVATION - NORTH
1/4" = 1'-0"



12 GLASS GUARDRAIL REFERENCE "A"
6" = 1'-0"



8 CABLE GUARDRAIL REFERENCE "A"
6" = 1'-0"

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CONSULTANTS

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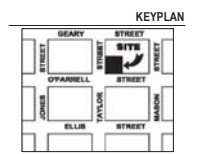
OWNER
Ray Falack, 420 Taylor Ventures, LLC
1407 Broadway, 30th Floor
New York, NY 10018

CONTRACTOR
TBD

PROJECT

420 TAYLOR STREET,
SAN FRANCISCO,
CALIFORNIA 94102
420 Taylor Street
San Francisco, CA
94105

420 Taylor Ventures
LLC



ISSUE	DATE
1	4/15/2018
2	4/15/2018
3	4/15/2018
4	4/15/2018
5	4/15/2018
6	4/15/2018
7	4/15/2018
8	4/15/2018
9	4/15/2018
10	4/15/2018
11	4/15/2018
12	4/15/2018
13	4/15/2018
14	4/15/2018
15	4/15/2018

STOREFRONT
DETAILS - Cont'd

SHEET NUMBER

A04-08

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420 TAYLOR - EXISTING CONDITIONS



EXISTING LOBBY



EXISTING LOBBY



EXISTING LOBBY



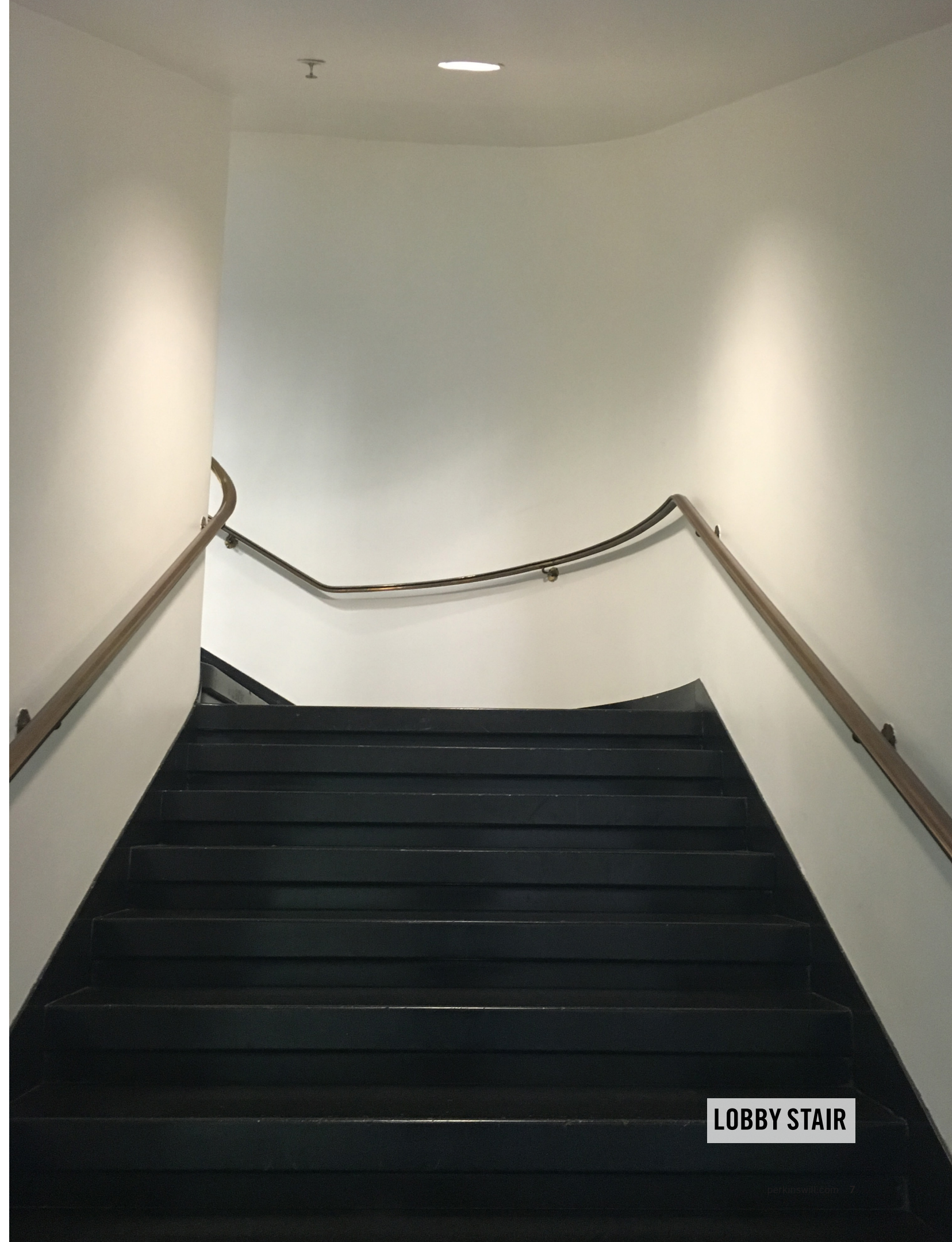
EXISTING LOBBY



EXISTING LOBBY



RECEPTION



LOBBY STAIR

LOBBY ELEVATOR





LIGHT WELL

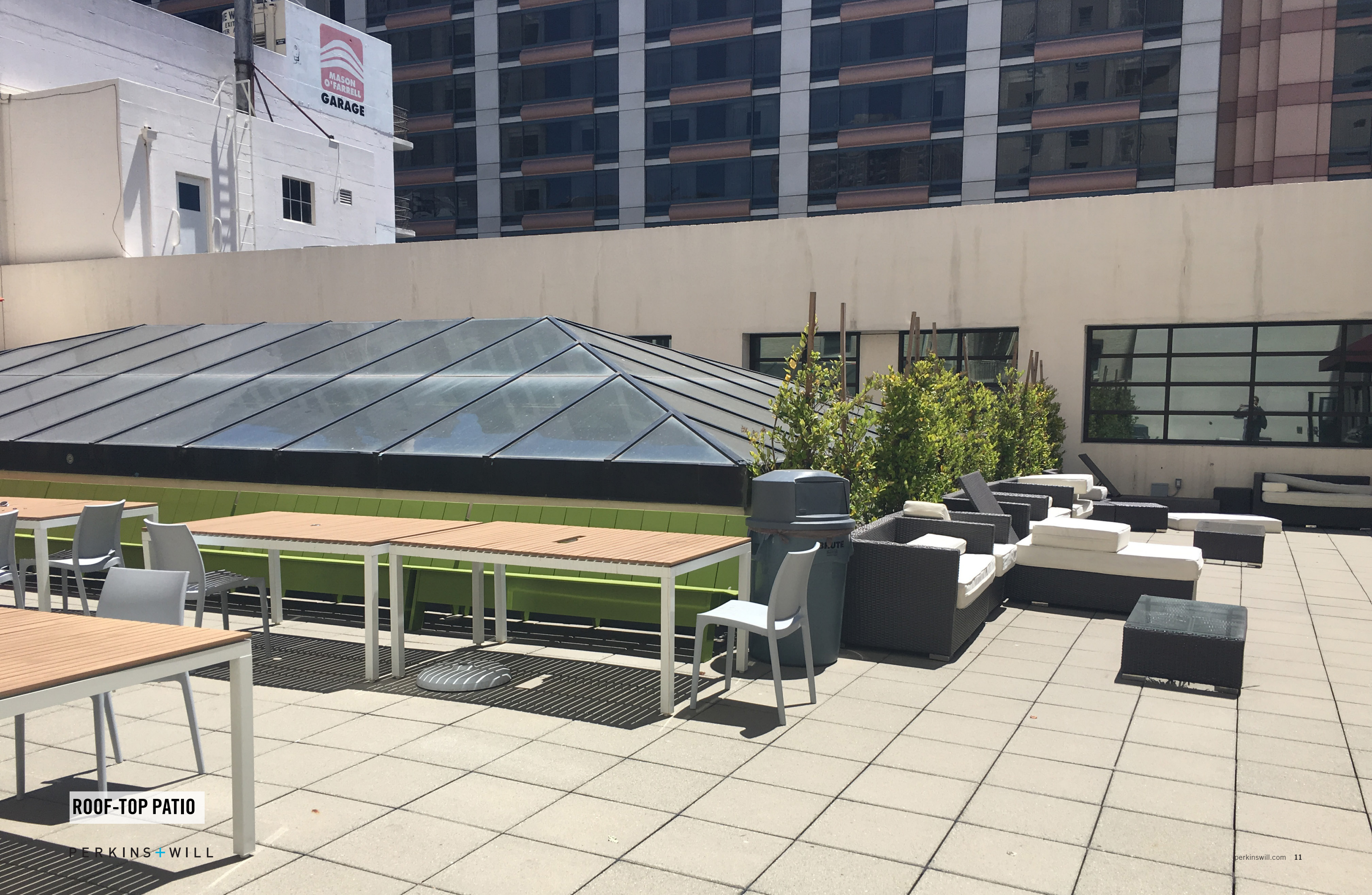
PERKINS+WILL



GARAGE - LEVEL 01



GARAGE - LEVEL 01



MASON
O'FARRELL
GARAGE

ROOF-TOP PATIO

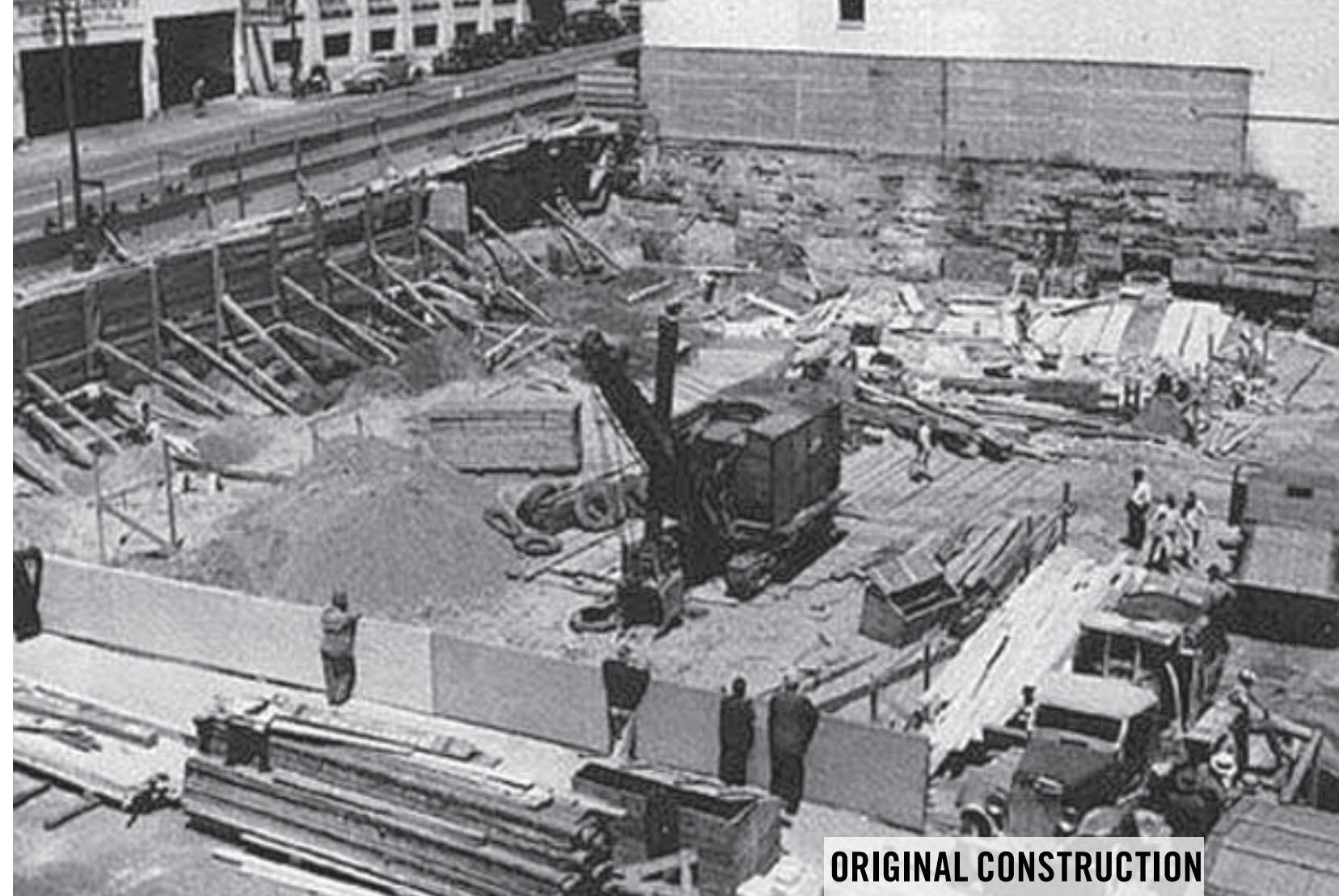


HISTORIC IMAGERY

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HISTORIC MURAL



ORIGINAL CONSTRUCTION



HISTORIC LOBBY



HISTORIC LOBBY

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