



SAN FRANCISCO PLANNING DEPARTMENT

Executive Summary Conditional Use

HEARING DATE: 10/04/2018

Date: September 28, 2018
Record No.: 2017-015669CUA
Project Address: 733 Taraval Street
Zoning: NC-2 (Neighborhood Commercial, Small Scale)
TARAVAL STREET RESTAURANT SUBDISTRICT
40-X Height and Bulk District
Block/Lot: 2408/044
Applicant: Kam Li
351 Chadborne Ave
Millbrae, CA 94030
Staff Contact: Cathleen Campbell – (415) 575-8732
cathleen.campbell@sfgov.org
Recommendation: **Approval with Conditions**

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

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415.558.6377

PROJECT DESCRIPTION

The proposal is a Conditional Use Authorization request to amend the Conditions of Approval No. 3, under Motion No. 11895, which restricts the hours open to the public to between 7:00 a.m. and 9:00 p.m. Specifically, the proposal is to remove the conditioned hours of operation to allow the principally permitted hours of operation within the NC-2 Zoning District and Taraval Street Restaurant Subdistrict of 6:00 am – 2:00 am.

The full-service restaurant use was originally approved by the Planning Commission on March 15, 1990 (Case No. No. 89.643C), pursuant to the California Environmental Quality Act, in Motion No. 11895. The amendment involves no changes to the design or use size as originally approved.

REQUIRED COMMISSION ACTION

Under Planning Code 303(e), authorization of a change in any condition previously imposed in the authorization of a conditional use shall be subject to the same procedures as a new conditional use. In order for the project to proceed, the Commission must grant conditional use authorization under Planning Code Section 303(e) to amend a condition of approval in Case Number 1989.643C, Planning Commission Motion 11895 to eliminate the condition of approval #3, hours open to the public shall be limited to between 7:00 a.m. and 9:00 p.m.

ISSUES AND OTHER CONSIDERATIONS

- The proposed use is an independent, locally-owned use, which has been encouraged throughout San Francisco. This is not a Formula Retail use and would serve the immediate neighborhood, as well as clientele from outside the neighborhood.
- Taraval Street Restaurant Subdistrict does not regulate hours of operation.
- The principally permitted hours within the NC-2 Zoning District are 6:00 am – 2:00 am.

BASIS FOR RECOMMENDATION

- The existing building is not an historic resource or landmark.
- The proposed project meets all applicable requirements of the Planning Code.
- The project promotes small-business ownership and the viability of an existing small-business establishment.
- The project is a neighborhood-serving use. Alcoholic beverages would be served only in association with meals.
- The project would not expand the existing restaurant or displace storefronts that provide convenience goods and services to the neighborhood.

ATTACHMENTS:

Draft Motion – Conditional Use Authorization

Exhibit A – Conditions of Approval

Exhibit B – Plans and Renderings

Exhibit C – Environmental Determination

Exhibit D – Maps and Context Photos

Exhibit E – Conditional Use Application

Exhibit F - Public Correspondence



SAN FRANCISCO PLANNING DEPARTMENT

Subject to: (Select only if applicable)

- Affordable Housing (Sec. 415)
- Jobs Housing Linkage Program (Sec. 413)
- Downtown Park Fee (Sec. 412)
- First Source Hiring (Admin. Code)
- Child Care Requirement (Sec. 414)
- Other

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Planning Commission Motion No. XXXXX HEARING DATE: OCTOBER 4, 2018

Date: September 21, 2018
Case No.: 2017-015669CUA
Project Address: 733 Taraval Street
Zoning: NC-2 (Neighborhood Commercial, Small Scale
TARAVAL STREET RESTAURANT SUBDISTRICT
40-X Height and Bulk District
Block/Lot: 2408/044
Project Sponsor: Kam Li
351 Chadborne Ave
Millbrae, CA 94030
Staff Contact: Cathleen Campbell – (415) 575-8732
cathleen.campbell@sfgov.org

ADOPTING FINDINGS RELATING TO THE APPROVAL OF A CONDITIONAL USE AUTHORIZATION PURSUANT TO PLANNING CODE SECTIONS 303 (E), 711, AND 781.1 TO AMEND THE CONDITIONS OF APPROVAL FOR PLANNING COMMISSION MOTION NO. 11895 TO ELIMINATE THE CONDITION OF APPROVAL #3, HOURS OPEN TO THE PUBLIC SHALL BE LIMITED TO BETWEEN 7:00 A.M. AND 9:00 P.M. THE PROJECT AT 733 TARAVAL STREET ON ASSESSOR’S BLOCK 2408, LOTS 044 IN THE NC-2 ZONING DISTRICT AND TARAVAL STREET RESTAURANT SUBDISTRICT A 40-X HEIGHT AND BULK DISTRICT AND ADOPTING FINDINGS UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.

PREAMBLE

On December 1, 1989, Peter Gong, filed application for Conditional Use for the property at 733 Taraval Street; Lot 44 in Assessor’s Block 2408, (hereinafter "Subject Property,") to establish a full-service restaurant, with a seating capacity of up to 65 persons in floor area of approximately 1,700 square feet in general conformity with plans filed with the Application and dated December 1, 1989 within the Taraval Street Restaurant Subdistrict of an NC-2 (Small-Scale Neighborhood Commercial) District.

On March 1 and 15, 1990, the San Francisco Planning Commission (“Planning Commission”) adopted Motion No. 11895 (Case No. 1989.643C), , granting authorization to permit a full-service restaurant use under; Planning Code Section 303 (E), 711, and 781.1.

On December 7, 2017, Kam Li, acting on behalf of the property owner ("Project Sponsor"), submitted a request (Case No. 2017-015669CUA) with the City and County of San Francisco Planning Department ("Department") for Conditional Use Authorization under Planning Code Section 303(E) to modify a condition of approval of Planning Commission Motion No. 11895 to amend the restricted hours of operation under Condition No. 3 to the principally permitted hours of operation within the NC-2 Zoning District and Taraval Street Restaurant Subdistrict of 6:00 am – 2:00 am.

On September 9, 2018 the Project was determined to be exempt from the California Environmental Quality Act ("CEQA") as a Class 1 Categorical Exemption under CEQA as described in the determination contained in the Planning Department files for this Project;

On October 4, 2018, the San Francisco Planning Commission ("Commission") conducted a duly noticed public hearing at a regularly scheduled meeting on Application No. 2017-015669CUA.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

MOVED, that the Commission hereby authorizes the Conditional Use requested in Application No. 2017-015669CUA, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.
2. **Project Description.** The proposal is a Conditional Use Authorization request to amend the Conditions of Approval No. 3, under Motion No. 11895, which restricts the hours open to the public to between 7:00 a.m. and 9:00 p.m. Specifically, the proposal is to remove the conditioned hours of operation to allow the principally permitted hours of operation within the NC-2 Zoning District and Taraval Street Restaurant Subdistrict of 6:00 am – 2:00 am.

The full-service restaurant use was originally approved by the Planning Commission on March 15, 1990 (Case No. No. 89.643C), pursuant to the California Environmental Quality Act, in Motion No. 11895. The amendment involves no changes to the design or use size as originally approved.

3. **Site Description and Present Use.** The proposed project is located at 733 Taraval Street, at the southeastern side of Taraval Street between 17th and 18th Street, Block 2408, Lot 044. The property is located within the Taraval Street RUSD (Restaurant Sub-District) and NC-2 (Small-Scale Neighborhood Commercial District) with a 40-X height and bulk district. The property is 100-feet deep and 25-feet wide. The property is currently developed with a three story mixed-use

building which includes an approximately 1,700 square foot full-service restaurant (D.B.A Odumak Korean Cuisine) and three dwelling units.

4. **Surrounding Properties and Neighborhood.** The Project site is located in the Taraval Street NC-2 (Small-Scale Neighborhood Commercial) District and Taraval Street RUSD (Restaurant Sub-District), as defined in Section 711.1 of the Planning Code. The Taraval Street NC-2 District is bordered by 36th Avenue to the west and 12th Avenue to the east runs approximately 1.4 miles in length, and has approximately 10,923 feet of total commercial street frontage.

The subject block located at the southeast side of Taraval Street between 17th and 18th Street, and contains various neighborhood-serving business. To the east of the Subject Property are three mixed-use buildings, with ground floor businesses including Victor's bakery, Super Hair Cuts, Perfect Foot Massage. and Sunny Cleaners. To the west of the Subject Property are several other mixed-use buildings, with ground floor businesses including Sunny Cleaners General Dentistry office, and Stop & Save Liquors. Directly across the street at 733 Taraval Street is the Safeway grocery store. The surrounding residential properties on 17th and 18th Avenues are zoned RH-1 (Residential, House, One-Family).

The Project Site is located in an NC-2 District, which is intended to serve as the City's Small-Scale Neighborhood Commercial District. These districts are linear shopping streets which provide convenience goods and services to the surrounding neighborhoods as well as limited comparison shopping goods for a wider market. The range of comparison goods and services offered is varied and often includes specialty retail stores, restaurants, and neighborhood-serving offices. NC-2 Districts are commonly located along both collector and arterial streets which have transit routes. Buildings typically range in height from two to four stories with occasional one-story commercial buildings.

Most new commercial development is permitted at the ground and second stories. Neighborhood-serving businesses are strongly encouraged. Eating and drinking and entertainment uses, however, are confined to the ground story. The second story may be used by some retail stores, personal services and medical, business and professional offices. Limits on late-night activity, drive-up facilities, and other automobile uses protect the livability within and around the district, and promote continuous retail frontage.

5. **Public Comment.** To date, Department has received three letters in support of the project. There is no known opposition to the project.
6. **Planning Code Compliance:** The Planning Code Compliance Findings set forth in Motion No. 11895 Case No. 89.643C (Conditional Use Authorization, pursuant to Planning Code Section 303 (E), 711, and 781.1 apply to this Motion, and are incorporated herein as though fully set forth.

In addition, the Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:

- A. **Hours of Operation.** Planning Code Section 711 principally permits the hours of operation between 6a.m. to 2a.m. are permitted as of right. Hours of operation are not restricted under Planning Code Section 781.1.

Conditions of Approval No. 3, under Motion No. 11895, restricts the hours open to the public to between 7:00 a.m. and 9:00 p.m. The proposal is to amend the conditioned hours of operation to allow the principally permitted hours of operation within the NC-2 Zoning District and Taraval Street Restaurant Subdistrict.

- B. **Street Frontage in Neighborhood Commercial Districts.** Section 145.1 of the Planning Code requires that within NC Districts, space for active uses shall be provided within the first 25 feet of building depth on the ground floor and 15 feet on floors above from any facade facing a street at least 30 feet in width. In addition, the floors of street-fronting interior spaces housing non-residential active uses and lobbies shall be as close as possible to the level of the adjacent sidewalk at the principal entrance to these spaces. Frontages with active uses that must be fenestrated with transparent windows and doorways for no less than 60 percent of the street frontage at the ground level and allow visibility to the inside of the building. The use of dark or mirrored glass shall not count towards the required transparent area. Any decorative railings or grillwork, other than wire mesh, which is placed in front of or behind ground floor windows, shall be at least 75 percent open to perpendicular view. Rolling or sliding security gates shall consist of open grillwork rather than solid material, so as to provide visual interest to pedestrians when the gates are closed, and to permit light to pass through mostly unobstructed. Gates, when both open and folded or rolled as well as the gate mechanism, shall be recessed within, or laid flush with, the building facade.

The windows are clear and unobstructed. There are no changes proposed to the commercial frontage.

- C. **Signage.** Currently, there is not a proposed sign program on file with the Planning Department. Any proposed signage will be subject to the review and approval of the Planning Department.
7. **Planning Code Section 303** establishes criteria for the Commission to consider when reviewing applications for Conditional Use Authorization. The Conditional Use Authorization Findings set forth in Motion No. 11895, Case No. 89.643C (Conditional Use Authorization, pursuant to Planning Code Section 303 (E), 711, and 781.1) apply to this Motion, and are incorporated herein as though fully set forth.

In addition, the Commission finds that the Project On balance, the project does comply with said criteria in that:

- A. The proposed new uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.

The restaurant use was established in 1990 under Motion No. 11895, Case No. 89.643C, with conditions on the operation hours. The proposal expands upon the operation hours of the existing use which has been in place at this location for approximately twenty-eight years. The modification to Condition of Approval No. 3, to permit hours of operation between the hours of 6:00 am and 2:00 am, will allow the current business operator to better serve the existing customer base.

- B. The proposed project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the project that could be detrimental to the health, safety or convenience of those residing or working the area, in that:

- i. Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

The amendment proposes no change to the project site or the size, shape and arrangement of structures.

- ii. The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

With regard to the treatment and impact to the traffic, parking transit, loading, the amendment to Condition of Approval No. 3, to permit hours of operation between the hours of 6:00 am and 2:00 am, will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. The proposed operations amendment is designed to meet the needs of the immediate neighborhood.

- iii. The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

The amendment involves no other intensification of use as originally approved. The proposal to permit hours of operation between the hours of 6:00 am and 2:00 am will not change existing measures implemented by the restaurant operator to prevent noxious or offensive emissions such as noise, glare, dust and odor.

- vi. Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

The amendment proposes no change to the project site or the size, shape and arrangement of structures including landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs.

- C. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

The Project complies with all relevant requirements and standards of the Planning Code and is consistent with objectives and policies of the General Plan as detailed below.

- D. That the use as proposed would provide development that is in conformity with the purpose of the applicable RH-2 District.

The proposed project is consistent with the stated purposes of NC-2 Districts in that the intended use is located at the ground floor, will provide a compatible convenience service for the immediately surrounding neighborhoods during daytime and evening hours.

8. **General Plan Compliance.** The General Plan Consistency Findings set forth in Motion No. 11895, Case No. 89.643C (Conditional Use Authorization, pursuant to Planning Code Section 303 (E), 711, and 781.1) apply to this Motion, and are incorporated herein as though fully set forth.

NEIGHBORHOOD COMMERCE OBJECTIVES AND POLICIES

OBJECTIVE 1:

MANAGE ECONOMIC GROWTH AND CHANGE TO ENSURE ENHANCEMENT OF THE TOTAL CITY LIVING AND WORKING ENVIRONMENT.

Policy 1.1:

Encourage development which provides substantial net benefits and minimizes undesirable consequences. Discourage development that has substantial undesirable consequences that cannot be mitigated.

Policy 1.2

Assure that all commercial and industrial uses meet minimum, reasonable performance standards.

Policy 1.3

Locate commercial and industrial activities according to a generalized commercial and industrial land use plan.

The project site is located within a Neighborhood Commercial District and is consistent with activities in the commercial land use plan.

OBJECTIVE 2:

MAINTAIN AND ENHANCE A SOUND AND DIVERSE ECONOMIC BASE AND FISCAL STRUCTURE FOR THE CITY.

Policy 2.1:

Seek to retain existing commercial and industrial activity and to attract new such activity to the City.

The project would enhance the existing use, an existing neighborhood-serving use, by attracting customers seeking a late night dinner option.

OBJECTIVE 6:

MAINTAIN AND STRENGTHEN VIABLE NEIGHBORHOOD COMMERCIAL AREAS EASILY ACCESSIBLE TO CITY RESIDENTS.

Policy 6.1:

Ensure and encourage the retention and provision of neighborhood-serving goods and services in the city's neighborhood commercial districts, while recognizing and encouraging diversity among the districts.

No commercial tenant would be displaced and the project would not prevent the district from achieving optimal diversity in the types of goods and services available in the neighborhood.

Policy 6.2:

Promote economically vital neighborhood commercial districts which foster small business enterprises and entrepreneurship and which are responsive to the economic and technological innovation in the marketplace and society.

An existing restaurant is independently owned.

9. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project does comply with said policies in that:

- A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

The amendment would provide a small-business owner an opportunity to enhance an existing business that currently provides job opportunities to the City.

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

The amendment would preserve and enhance the cultural and economic diversity of the neighborhood by helping to retain an existing business in the area. Existing housing would not be affected by this project.

- C. That the City's supply of affordable housing be preserved and enhanced,

The amendment would not displace any affordable housing.

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

The amendment would not significantly increase traffic congestion or the availability of parking in the neighborhood.

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

The amendment would not displace or affect any service or industry establishment. Ownership of industrial or service sector businesses would not be affected by this project.

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The amendment will have no effect on the property's ability to withstand an earthquake.

- G. That landmarks and historic buildings be preserved.

A landmark or historic building does not occupy the project site.

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

The amendment would not affect any city-owned parks or open space.

- 10. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
- 11. The Commission hereby finds that approval of the Conditional Use authorization would promote the health, safety and welfare of the City.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby APPROVES Conditional Use Application No. 2017-015669CUA subject to the following conditions attached hereto as "EXHIBIT A," and subject to the Conditions of Approval of Planning Commission Motion No. XXXX, as amended by this approval to eliminate the Condition No. 3 restricting the hours open to the public shall be limited to between 7:00 a.m. and 9:00 p.m.

APPEAL AND EFFECTIVE DATE OF MOTION: Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion No. 17820. The effective date of this Motion shall be the date of this Motion if not appealed (After the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94012.

Protest of Fee or Exaction: You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development.

If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission's adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator's Variance Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives **NOTICE** that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period.

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on March 1, 2018.

Jonas P. Ionin
Commission Secretary

AYES:

NAYS:

ABSENT:

RECUSED:

ADOPTED: June 21, 2018

EXHIBIT A

AUTHORIZATION

This is a Conditional Use Authorization pursuant to Planning Code Section 303(e), 711, and 781.1 to amend the conditions of approval for Planning Commission Motion No. 11895 to eliminate the Condition of Approval #3, hours open to the public shall be limited to between 7:00 a.m and 9:00 p.m, at 733 Taraval Street, Lot 044 in Assessor's Block 2408 within the NC-2, Taraval Street Restaurant Subdistrict, a 40-X Height And Bulk District; subject to conditions of approval reviewed and approved by the Commission on March 15, 1990, under Motion No. 11895, as amended by the Commission on October 4, 2018 under Motion No. XXXXXX, in general conformance with plans, dated December 5, 2017, and stamped "EXHIBIT B" included in the docket for Case No. 2017-015669CUA. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

RECORDATION OF CONDITIONS OF APPROVAL

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on **October 4, 2018** under Motion No **XXXXXX**.

PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. **XXXXXX** shall be reproduced on the Index Sheet of construction plans submitted with the Site or Building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

SEVERABILITY

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use authorization.

Conditions of Approval, Compliance, Monitoring, and Reporting

PERFORMANCE

1. **Validity.** The authorization and right vested by virtue of this action is valid for three (3) years from the effective date of the Motion. The Department of Building Inspection shall have issued a Building Permit or Site Permit to construct the project and/or commence the approved use within this three-year period. *For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org*
2. **Extension.** All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay. *For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org*
3. **Conformity with Current Law.** No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval. *For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org*

DESIGN

19. **Garbage, composting and recycling storage.** Space for the collection and storage of garbage, composting, and recycling shall be provided within enclosed areas on the property and clearly labeled and illustrated on the architectural addenda. Space for the collection and storage of recyclable and compostable materials that meets the size, location, accessibility and other standards specified by the San Francisco Recycling Program shall be provided at the ground level of the buildings.
For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org.
20. **Noise Control.** The premises shall be adequately soundproofed or insulated for noise and operated so that incidental noise shall not be audible beyond the premises or in other sections of the building and fixed-source equipment noise shall not exceed the decibel levels specified in the San Francisco Noise Control Ordinance.

For information about compliance with the fixed mechanical objects such as rooftop air conditioning, restaurant ventilation systems, and motors and compressors with acceptable noise levels, contact the Environmental Health Section, Department of Public Health at (415) 252-3800, www.sfdph.org

For information about compliance with the construction noise, contact the Department of Building Inspection, 415-558-6570, www.sfdbi.org

For information about compliance with the amplified sound including music and television contact the Police Department at 415-553-0123, www.sf-police.org

21. **Odor Control Unit.** In order to ensure any significant noxious or offensive odors are prevented from escaping the premises once the project is operational, the building permit application to implement the project shall include air cleaning or odor control equipment details and manufacturer specifications on the plans if applicable as determined by the project planner. Odor control ducting shall not be applied to the primary façade of the building.
For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

OPERATION

4. **Garbage, Recycling, and Composting Receptacles.** Garbage, recycling, and compost containers shall be kept within the premises and hidden from public view, and placed outside only when being serviced by the disposal company. Trash shall be contained and disposed of pursuant to garbage and recycling receptacles guidelines set forth by the Department of Public Works.
For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works at 415-554-5810, <http://sfdpw.org>
5. **Sidewalk Maintenance.** The Project Sponsor shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Streets and Sidewalk Maintenance Standards. Further the Project Sponsor shall ensure that e-cigarette and other Tobacco Paraphernalia is not tasted on the sidewalk outside the establishment and that there is no loitering outside the establishment in relation to the subject business.
For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works, 415-695-2017, <http://sfdpw.org>
6. **Odor Control.** While it is inevitable that some low level of odor may be detectable to nearby residents and passersby, appropriate odor control equipment shall be installed in conformance with the approved plans and maintained to prevent any significant noxious or offensive odors from escaping the premises.
For information about compliance with odor or other chemical air pollutants standards, contact the Bay Area Air Quality Management District, (BAAQMD), 1-800-334-ODOR (6367), www.baaqmd.gov and Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org
7. **Community Liaison.** Prior to issuance of a building permit to construct the project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Community Liaison is Yong (Blake) He, at a business address of 1963 Ocean Avenue, San Francisco, CA 94127, and phone number 415-513-2620. Should the contact information change, the Zoning Administrator shall be made aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

MONITORING - AFTER ENTITLEMENT

8. **Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

9. **Revocation due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

10. **Sidewalk Maintenance.** The Project Sponsor shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Streets and Sidewalk Maintenance Standards.

For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works, 415-695-2017, <http://sfdpw.org>

733 TARAVAL STREET NEIGHBORHOOD COMMERCIAL

SAN FRANCISCO

CALIFORNIA

ETERNAL GREEN
PROPERTIES, LLC

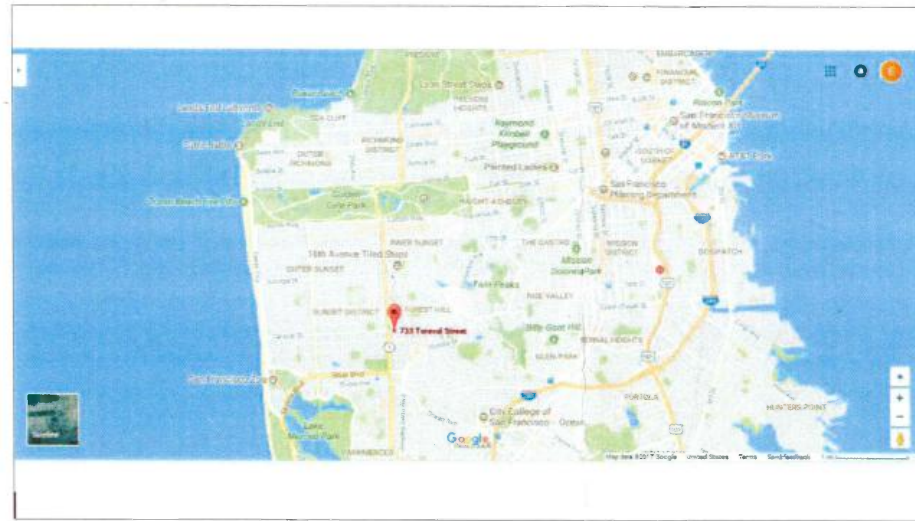
29566 AMADOR STREET
HAYWARD, CA 94541
TELEPHONE NO.: 415-202-3405
FAX NO.: 510-608-0567
EMAIL: constructionpermzone@gmail.com

ABBREVIATIONS AND SYMBOLS

∠	Angle	KIT	Kitchen	PLAN, SECTION DETAIL NUMBER SHEET ON WHICH IT OCCURS
⊙	Centerline	K.P.	Kick Plate	SECTION CUT, DETAIL NUMBER SHEET ON WHICH IT OCCURS
⊥	Diameter or Round	L.C.B.	Linen Closet	EXTERIOR ELEVATION NUMBER SHEET ON WHICH IT OCCURS
⊥	Perpendicular	LAB	Laboratory	INTERIOR ELEVATION NUMBER SHEET ON WHICH IT OCCURS
⊥	Round or Number	LAM	Laminate	REVISION NUMBER
(E)	Ending	LAV	Lavatory	DOOR NUMBER SEE RESPECTIVE SCHEDULE
---	Property Line	LCK	Locker	WINDOW NUMBER SEE RESPECTIVE SCHEDULE
AB	Anchor Bolt	LT	Light	GRID LINE IDENTIFICATION
AC	Air Conditioning	LT WGT	Light Weight	WASHER
ACCUS	Acoustical	MAX	Maximum	DRYER
AD	Area Drain	M.C.	Medicine Cabinet	HEAT PUMP
ADJ	Adjustable or Adjoint	MECH	Mechanical	WATER HEATER
AFF	Above Finished Floor	MEMB	Membrane	ELECTRICAL PANEL BOARD
AGGR	Aggregate	MFR	Manufacturer	MEDICINE CABINET
AL	Aluminum	MH	Manhole	FLOOR DRAIN
ANOD.	Anodized	MIS	Miscellaneous	SHOWER HEAD
APPROX	Approximate	MDG	Moulding	SMOKE DETECTOR
ARCH	Architectural	M.O.	Masonry Opening	THERMISTAT
ASB	Asbestos	MNT	Mounted	DATUM ELEVATION
ASPH	Asphalt	ML	Metal	EARTH
BD	Board	MLL	Mullion	AGGREGATE BASE
BLDG	Building	N	North	SAW/ MORTAR PLASTER
BLK	Block	N.C.	Not in Contrast	CONCRETE
BLKG	Blocking	NO CR#	Number	CONCRETE MASONRY UNITS - CMU
BM	Beam	NOM	Nominal	BRICK MASONRY
BT	Bottom	N.R.	Non-Raised	ROUGH WOOD - CONTINUOUS
BU	Bulk-Up	N.S.F.	Net Square Feet	ROUGH WOOD - BLOCKING
C	Compact Car Parking	N.T.S.	Not To Scale	INSULATION - BATT
CAB	Cabinet	O.A.	Overall	INSULATION - RIGID
C.B	Catch Basin	O.C.	On Center	PLASTER
CER	Ceramic	O.D.	Outside Diameter or Dimension	CONCRETE
C.G.	Corner Guard	OFF	Office	BRICK MASONRY
C.G.	Ceiling	OPNG	Opening	ROUGH WOOD - CONTINUOUS
CLMG	Cladding	OPP	Opposite	ROUGH WOOD - BLOCKING
CLR	Clear	P	Pole	INSULATION - BATT
CMU	Concrete Masonry Unit	P.B.	Parade Board	INSULATION - RIGID
COL	Column	PL	Plate	PLASTER
CONC	Concrete	PL	Property Line	CONCRETE
CONN	Connection	PLAM	Plastic Laminate	CONCRETE MASONRY UNITS - CMU
CONSTR	Construction	PLAS	Plaster	BRICK MASONRY
CONT	Continuous	PLWVD	PLYWOOD	ROUGH WOOD - CONTINUOUS
CTR	Center	PL	Plaster	ROUGH WOOD - BLOCKING
D	Dryer	PRCST	Pre-Cast	INSULATION - BATT
DBL	Double	PT	Point	INSULATION - RIGID
DEPT	Department	PT	Point	PLASTER
DET	Detail	P.T.	Post Tensioned	CONCRETE
DF	Drinking Fountain	P.T.D.	Paper Towel Dispenser	CONCRETE MASONRY UNITS - CMU
DIA	Diameter	PTN	Partition	BRICK MASONRY
DIM	Dimension	P.W.	Plumbing Wall	ROUGH WOOD - CONTINUOUS
DMPFG	Damp-proofing	QT	Quarry Tile	ROUGH WOOD - BLOCKING
DN	Down	R	Radius	INSULATION - BATT
DR	Door	RAD	Radius	INSULATION - RIGID
DS	Downsout	R.D.	Roof Drain	PLASTER
D.S.P.	Dry Standpipe	REF	Reference	CONCRETE
DW	Ductweaver	REFR	Refrigerator	CONCRETE MASONRY UNITS - CMU
DWG	Drawing	REFR	Refrigerator	BRICK MASONRY
DWR	Drawer	REQ	Required	ROUGH WOOD - CONTINUOUS
E	East	RESIL	Resilient	ROUGH WOOD - BLOCKING
EA	Each	REV	Revision or Reverse	INSULATION - BATT
EJ	Expansion Joint	R.F.	Resilient Flooring	INSULATION - RIGID
EL	Elevation	RA	Room	PLASTER
ELEC	Electrical	R.O.	Rough Opening	CONCRETE
ELEV	Elevator	R.S.	Roof & Shelf	CONCRETE MASONRY UNITS - CMU
EMER	Emergency	R.W.L.	Rain Water Leader	BRICK MASONRY
ENCL	Enclosure	S	South or Shelf	ROUGH WOOD - CONTINUOUS
ENG	Engineer	S.B.	Splash Board	ROUGH WOOD - BLOCKING
EP	Electrical Panel board	S.C.	Solid Core	INSULATION - BATT
EQ	Equal	SCHED	Schedule	INSULATION - RIGID
EQPT	Equipment	SD	Soap Dispenser or Smoke Detector	PLASTER
E.W.C.	Electric Water Cooler	SECT	Section	CONCRETE
EXP	Expansion	SH	Shower	CONCRETE MASONRY UNITS - CMU
EXPO	Exposed	SHR	Shower	BRICK MASONRY
EXT	Existing	SHT	Sheathing	ROUGH WOOD - CONTINUOUS
EXT	Exterior	SHTG	Sheathing	ROUGH WOOD - BLOCKING
F.A.	File Alarm	SM	Similar	INSULATION - BATT
F.A.U.	Forest Air Unit	SLDR	Sliding	INSULATION - RIGID
F.D.	Floor Drain	S.N.D.	Sanitary Napkin Dispenser	PLASTER
FDN	Foundation	S.P.	Sump Pump	CONCRETE
F.E.	Fire Extinguisher	SPEC	Specification	CONCRETE MASONRY UNITS - CMU
F.E.C.	Fire Extinguisher Cab.	SQ	Square	BRICK MASONRY
F.C.L.	Fired Glass	STD	Standard	ROUGH WOOD - CONTINUOUS
F.F.	Finished Floor	STL	Steel	ROUGH WOOD - BLOCKING
F.H.C.	Fire Hose Cabinet	STOR	Storage	INSULATION - BATT
FN	Finish	STR	Structural	INSULATION - RIGID
FL	Floor	SUSP	Suspended	PLASTER
FLASH	Flashing	SYM	Symmetrical	CONCRETE
FLOOR	Fluorescent	SW	Shear Wall	CONCRETE MASONRY UNITS - CMU
F.O.C.	Face of Concrete	T	Tile, Top or Tread	BRICK MASONRY
F.O.F.	Face of Finish	T & G	Tongue and Groove	ROUGH WOOD - CONTINUOUS
F.O.S.	Face of Studs or Structure	T&G	Tongue and Groove	ROUGH WOOD - BLOCKING
FRF	Fireproofing	T.C.	Top of Curb	INSULATION - BATT
FT	Foot or Feet	T.C.	Top of Curb	INSULATION - RIGID
FTG	Footing	TEL	Telephone	PLASTER
FUR	Furring	TER	Terraza	CONCRETE
G	Gas	T.H.	Town House	CONCRETE MASONRY UNITS - CMU
GA	Gage	TRK	Track	BRICK MASONRY
GALV	Galvanized	T.H.	Threshold	ROUGH WOOD - CONTINUOUS
G.B.	Grab Bar	T.P.	Top of Pavement	ROUGH WOOD - BLOCKING
G.D.	Garbage Disposal	T.P.D.	Toilet Paper Dispenser	INSULATION - BATT
GL	Glass	TRANS	Transom	INSULATION - RIGID
GL	Glass	T.V.	Television	PLASTER
GND	Ground	T.W.	Top of Wall	CONCRETE
GR	Grate	TP	Typical	CONCRETE MASONRY UNITS - CMU
G.S.F.	Glass Square Feet	UPF	Unfinished	BRICK MASONRY
G.S.M.	Gypsum Sheet Metal Gypsum Board	U.D.H.	Unless Otherwise Noted	ROUGH WOOD - CONTINUOUS
H	Handicap Parking	VERT	Vertical	ROUGH WOOD - BLOCKING
H.B.	Hose Box	VST	Ventilate	INSULATION - BATT
H.C.	Hollow Core or Hose Cabinet	VIF	Verify in Field	INSULATION - RIGID
HDWG	Hardware	W	West, Washer or Water	PLASTER
HDR	Hardware	W	With	CONCRETE
HT	Height	W.C.	Water Closet	CONCRETE MASONRY UNITS - CMU
H.H.	Hollow Metal	WD	Wood	BRICK MASONRY
H.P.	Heat Pump	WH	Water Heater	ROUGH WOOD - CONTINUOUS
HORIZ	Horizontal	W.H.	Width By Height	ROUGH WOOD - BLOCKING
H.R.	Hand/Rail	W.H.	Water Heater	INSULATION - BATT
HR	Hour	W.H.	Width By Height	INSULATION - RIGID
I	Inside Diameter or Dimension	WP	Waterproof	PLASTER
INSUL	Insulation	WR	Water Resistant	CONCRETE
INT	Interior	W.R.	Water Resistant	CONCRETE MASONRY UNITS - CMU
JAN	Janitor	WSC	Whimscot	BRICK MASONRY
JT	Joint	WSP	Weld Stand Pipe	ROUGH WOOD - CONTINUOUS
		WTF	Welded Wire Fabric	ROUGH WOOD - BLOCKING

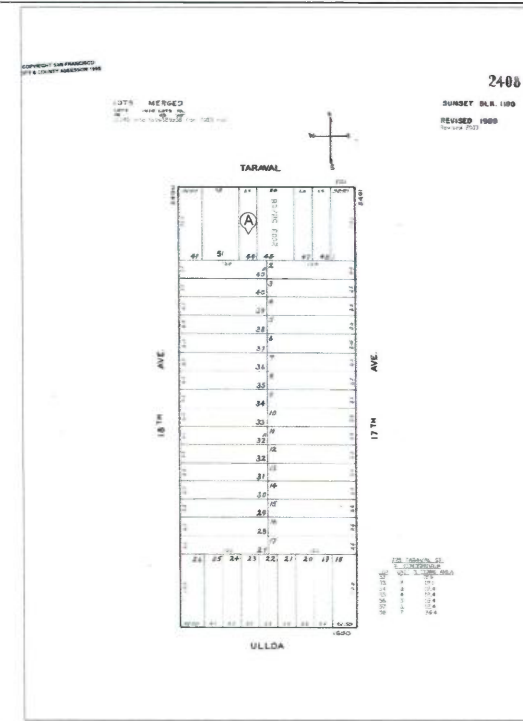
VICINITY MAP

PROJECT ADDRESS: 733 TARAVAL STREET,
SAN FRANCISCO, CA 94116
PARCEL NUMBER: 2408 / 044



Ⓐ SUBJECT PROPERTY

PARCEL MAP



PROJECT DIRECTORY

OWNER: ODUMAK KOREAN CUISINE (415) 430-5280
DESIGNER: KENNY YIP (415) 202-3405

CODE REQUIREMENTS

2016 CALIFORNIA BUILDING CODE
2016 CALIFORNIA MECHANICAL CODE
2016 CALIFORNIA ELECTRICAL CODE
2016 CALIFORNIA ENERGY CODE
2016 CALIFORNIA PLUMBING CODE
2016 CALIFORNIA FIRE CODE
2016 CALIFORNIA GREEN BUILDING CODE
CITY OF SAN FRANCISCO ORDINANCE

DRAWING INDEX

A1.0 COVER SHEET
A2.0 EXISTING SITE PLAN & FLOOR PLAN

PROJECT INFORMATION

PROPERTY INFORMATION:
PARCEL NUMBER: 2408 / 044
ZONING: NC-2
GROUP OF OCCUPANCY:
TYPE OF CONSTRUCTION: VB
LOT SIZE: 2,500 SQ. FT.

SCOPE OF WORK:

THREE-STORY NEIGHBORHOOD COMMERCIAL / GROUND LEVEL
KOREAN RESTAURANT'S (ODUMAK KOREAN CUISINE) OPERATION
HOURS EXTENSION.

APPLICATION PLANS
SUBMITTED ON: 12/7/17
APPLICATION NO.: 2017-015669CUA

REVISIONS DATE

PROJECT TITLE:
ODUMAK KOREAN CUISINE
OPERATION HOURS EXTENSION
ADDRESS: 733 TARAVAL STREET,
SAN FRANCISCO, CA 94116

PROJECT NUMBER:
PLAN #: 2017C1102

DRAWING TITLE:
COVER SHEET

DESIGNED BY: KENNY YIP
DRAWN BY: KENNY YIP
CHECKED BY: KENNY YIP

SCALE:
AS SHOWN
24 x 36d

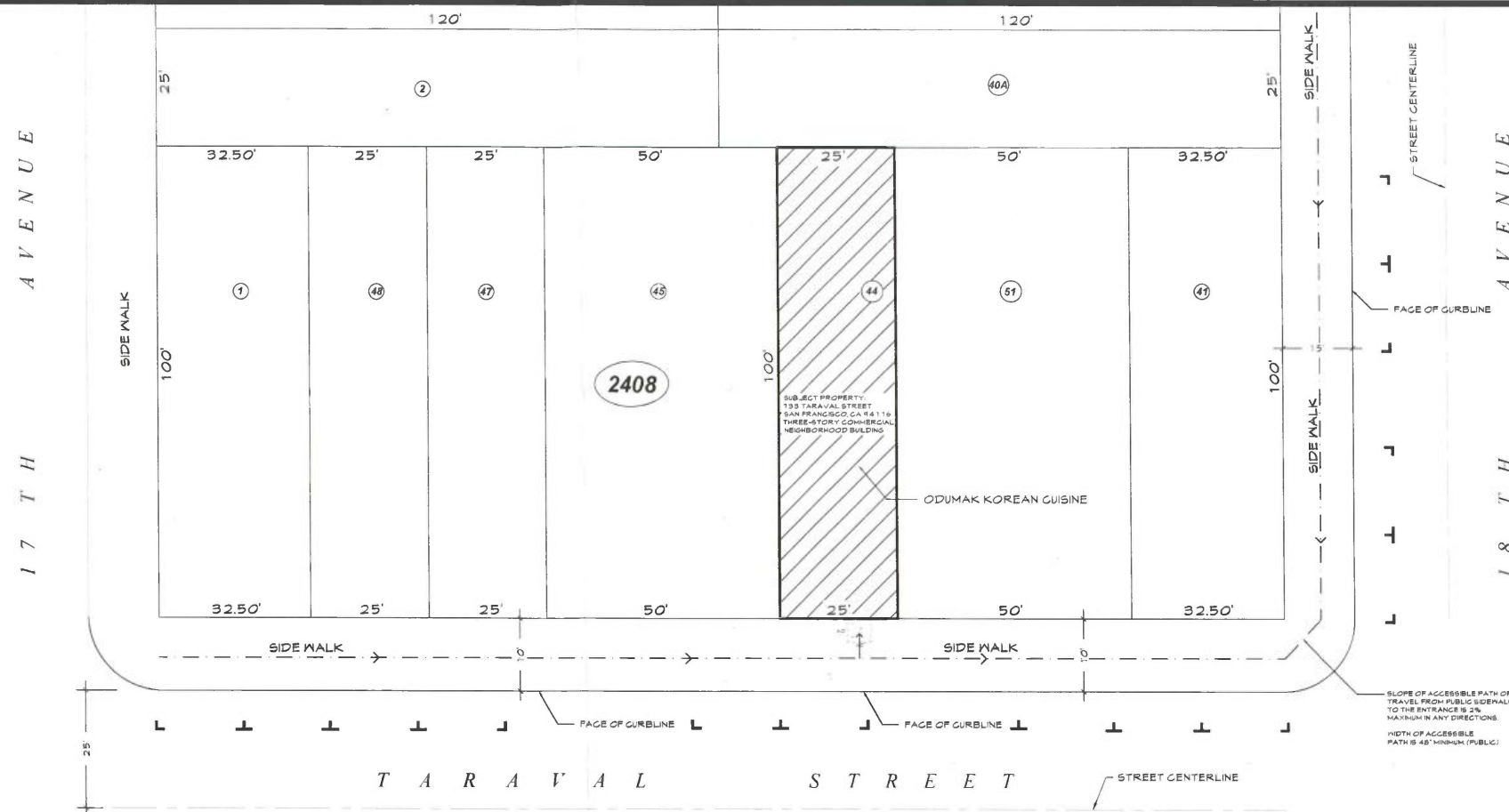
PLOT DATE:
12.05.2017

SHEET NUMBER:

A1.0

GENERAL NOTES:

1. ALL WORKS SHALL COMPLY WITH THE CURRENT CALIFORNIA BUILDING CODE AND ALL CURRENT LOCAL GOVERNING CODES, REGULATIONS AND ORDINANCES.
2. CONTRACTOR SHALL BE LICENSED, FULLY INSURED AND EXPERIENCED IN LOCAL CONSTRUCTION PRACTICES, CODES AND REGULATIONS.
3. CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS AND DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. NO WORK SHALL BE STARTED UNTIL ALL QUESTIONS AND DISCREPANCIES ARE RESOLVED.
4. CONTRACTOR SHALL EXAMINE ALL RELEVANT PLANS, SPECIFICATIONS AND OTHER CONSTRUCTION DOCUMENTS PRIOR TO COMMENCEMENT OF WORK. ANY OMISSIONS OR DISCREPANCIES IN ANY PART OF THE CONSTRUCTION DOCUMENTS SHALL BE REPORTED TO OWNER PRIOR TO COMMENCEMENT OF WORK. SCALE SHALL NOT BE USED FOR DETERMINING THE EXACT DIMENSIONS.
5. WORK SHALL BE DONE IN ACCORDANCE WITH PLANS STAMPED BY DEPARTMENT OF BUILDING INSPECTION. OWNER SHALL BE INFORMED IMMEDIATELY IF DIFFERENT SOLUTION IS NECESSARY. FAILURE TO DO SO SHALL PUT ENTIRE RESPONSIBILITY ONTO CONTRACTOR.
6. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFETY OF PEOPLE AND PROPERTY ON THE PROJECT SITE. CONTRACTOR SHALL CAREFULLY CHECK THE STABILITY OF ALL EXISTING ELEMENTS PRIOR TO CONSTRUCTION. ALL WORK SHALL BE DONE IN ACCORDANCE WITH CAL/OSHA REQUIREMENTS. ALL POWER EQUIPMENT SHALL BE OPERATED ONLY UNDER THE APPROVAL OF THE GOVERNING AGENCIES. FIRE EXTINGUISHER SHALL BE PROVIDED AND MAINTAINED DURING CONSTRUCTION.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING AT HIS/HER OWN EXPENSE, ANY DAMAGE TO ANY PUBLIC OR PRIVATE PROPERTY THAT IS CAUSED BY HIS/HER WORK.
8. ALL MATERIALS, FIXTURES, EQUIPMENT SHALL BE NEW AND UNUSED. NO SUBSTITUTION SHALL BE MADE WITHOUT OWNER'S AUTHORIZATION. ITEMS WHICH ARE NOT SPECIFIED BY TYPE OR MANUFACTURER SHALL BE OF AVERAGE QUALITY UNLESS APPROVED BY OWNER.
9. CONSTRUCTION AND DEMOLITION DEBRIS: 100% OF MIXED DEBRIS MUST BE TRANSPORTED BY A REGISTERED HAULER TO A REGISTERED FACILITY AND BE PROCESSED FOR RECYCLING, IN COMPLIANCE WITH THE CITY OF SAN FRANCISCO CONSTRUCTION & DEMOLITION DEBRIS ORDINANCE.
10. RECYCLING BY OCCUPANTS: PROVIDE ADEQUATE SPACE AND EQUAL ACCESS FOR STORAGE, COLLECTION AND LOADING OF COMPOST-ABLE, RECYCLABLE AND LANDFILL MATERIALS.
- SEE ADMINISTRATIVE BULLETIN 088.



SITE PLAN
SCALE: 1/8" = 1'-0"

ETERNAL GREEN PROPERTIES, LLC
22858 AMADOR STREET
HAYWARD, CA 94541
TELEPHONE NO.: 415-202-3405
FAX NO.: 510-608-0567
EMAIL: constructionpermitzone@gmail.com

REVISIONS	DATE

PROJECT TITLE:
ODUMAK KOREAN CUISINE
OPERATION HOURS EXTENSION
ADDRESS: 733 TARAVAL STREET,
SAN FRANCISCO, CA 94116

PROJECT NUMBER:
PLAN #: 2017C1102

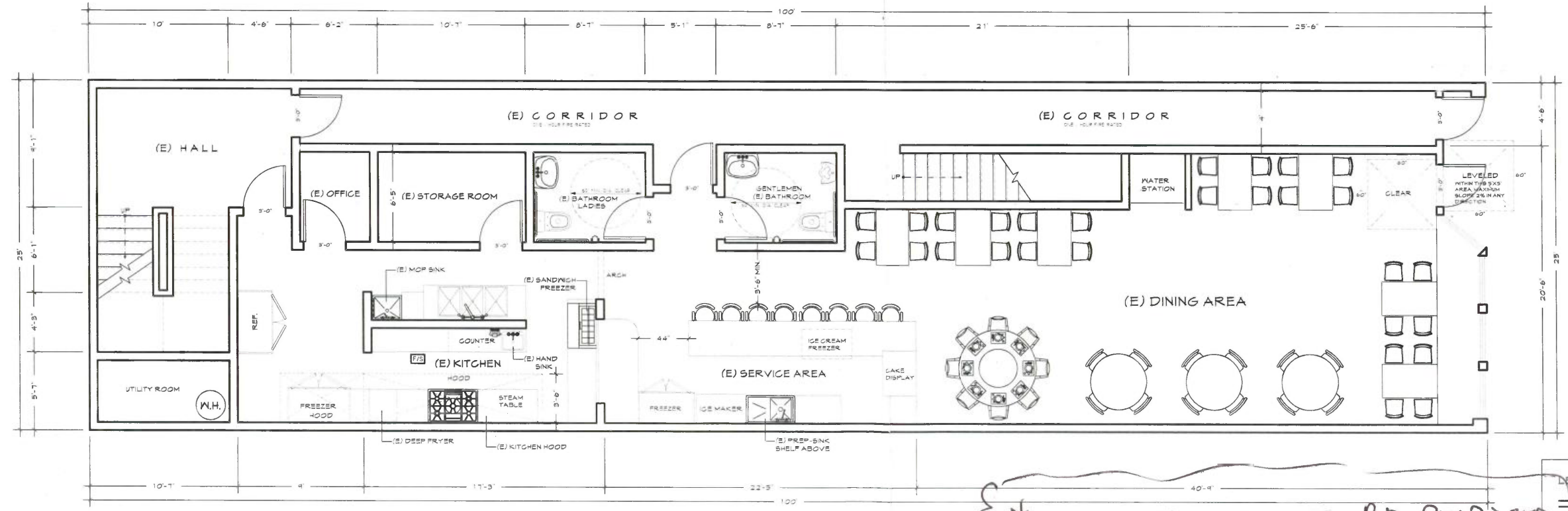
DRAWING TITLE:
EXISTING
SITE PLAN &
FLOOR PLAN

Designed By: KENNY YIP
Drawn By: KENNY YIP
Checked By: KENNY YIP

SCALE:
AS SHOWN
24 x 36"

PLOT DATE:
12.05.2018

SHEET NUMBER:
A2.0



(E) GROUND FL FLOOR PLAN
SCALE: 1/8" = 1'-0"

** NO CHANGES TO BE PROPOSED*

LEGEND

	(E) 2x6 WALL TO REMAIN
	(N) 2x6 WALL



SAN FRANCISCO PLANNING DEPARTMENT

CEQA Categorical Exemption Determination

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address		Block/Lot(s)
733 TARAVAL ST		2408044
Case No.		Permit No.
2017-015669PRJ		
<input checked="" type="checkbox"/> Addition/ Alteration	<input type="checkbox"/> Demolition (requires HRE for Category B Building)	<input type="checkbox"/> New Construction
<p>Project description for Planning Department approval. Conditional Use Authorization to permit change of hours (6:00am-2:00am) for an existing restaurant.</p>		

STEP 1: EXEMPTION CLASS

Note: If neither class applies, an <i>Environmental Evaluation Application</i> is required.	
<input checked="" type="checkbox"/>	Class 1 - Existing Facilities. Interior and exterior alterations; additions under 10,000 sq. ft.
<input type="checkbox"/>	Class 3 - New Construction. Up to three new single-family residences or six dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input type="checkbox"/>	<p>Class 32 - In-Fill Development. New Construction of seven or more units or additions greater than 10,000 sq. ft. and meets the conditions described below:</p> <p>(a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.</p> <p>(b) The proposed development occurs within city limits on a project site of no more than 5 acres substantially surrounded by urban uses.</p> <p>(c) The project site has no value as habitat for endangered rare or threatened species.</p> <p>(d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.</p> <p>(e) The site can be adequately served by all required utilities and public services.</p> <p>FOR ENVIRONMENTAL PLANNING USE ONLY</p>
<input type="checkbox"/>	Class ____ CU Hours of operation, non-project

STEP 2: CEQA IMPACTS
TO BE COMPLETED BY PROJECT PLANNER

<p>If any box is checked below, an <i>Environmental Evaluation Application</i> is required.</p>	
<input type="checkbox"/>	<p>Air Quality: Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g., backup diesel generators, heavy industry, diesel trucks, etc.)? (refer to EP_ArcMap > CEQA Catex Determination Layers > Air Pollution Exposure Zone)</p>
<input type="checkbox"/>	<p>Hazardous Materials: If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential? If yes, this box must be checked and the project applicant must submit an Environmental Application with a Phase I Environmental Site Assessment. <i>Exceptions: do not check box if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Maher program, a DPH waiver from the Maher program, or other documentation from Environmental Planning staff that hazardous material effects would be less than significant (refer to EP_ArcMap > Maher layer).</i></p>
<input type="checkbox"/>	<p>Transportation: Does the project create six (6) or more net new parking spaces or residential units? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?</p>
<input type="checkbox"/>	<p>Archeological Resources: Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non -archeological sensitive area? (refer to EP_ArcMap > CEQA Catex Determination Layers > Archeological Sensitive Area)</p>
<input type="checkbox"/>	<p>Subdivision/Lot Line Adjustment: Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography)</p>
<input type="checkbox"/>	<p>Slope = or > 20%: Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography) If box is checked, a geotechnical report is required.</p>
<input type="checkbox"/>	<p>Seismic: Landslide Zone: Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report is required.</p>
<input type="checkbox"/>	<p>Seismic: Liquefaction Zone: Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report will likely be required.</p>
<p>If no boxes are checked above, GO TO STEP 3. If one or more boxes are checked above, an <i>Environmental Evaluation Application</i> is required, unless reviewed by an Environmental Planner.</p>	
<p>Comments and Planner Signature (optional):</p> 	

**STEP 3: PROPERTY STATUS - HISTORIC RESOURCE
TO BE COMPLETED BY PROJECT PLANNER**

PROPERTY IS ONE OF THE FOLLOWING: (refer to Parcel Information Map)	
<input type="checkbox"/>	Category A: Known Historical Resource. GO TO STEP 5.
<input type="checkbox"/>	Category B: Potential Historical Resource (over 45 years of age). GO TO STEP 4.
<input checked="" type="checkbox"/>	Category C: Not a Historical Resource or Not Age Eligible (under 45 years of age). GO TO STEP 6.

**STEP 4: PROPOSED WORK CHECKLIST
TO BE COMPLETED BY PROJECT PLANNER**

Check all that apply to the project.	
<input type="checkbox"/>	1. Change of use and new construction. Tenant improvements not included.
<input type="checkbox"/>	2. Regular maintenance or repair to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	3. Window replacement that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. Garage work. A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	5. Deck, terrace construction, or fences not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. Mechanical equipment installation that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. Dormer installation that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	8. Addition(s) that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
Note: Project Planner must check box below before proceeding.	
<input checked="" type="checkbox"/>	Project is not listed. GO TO STEP 5.
<input type="checkbox"/>	Project does not conform to the scopes of work. GO TO STEP 5.
<input type="checkbox"/>	Project involves four or more work descriptions. GO TO STEP 5.
<input type="checkbox"/>	Project involves less than four work descriptions. GO TO STEP 6.

**STEP 5: CEQA IMPACTS - ADVANCED HISTORICAL REVIEW
TO BE COMPLETED BY PROJECT PLANNER**

Check all that apply to the project.	
<input type="checkbox"/>	1. Project involves a known historical resource (CEQA Category A) as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	2. Interior alterations to publicly accessible spaces.
<input type="checkbox"/>	3. Window replacement of original/historic windows that are not "in-kind" but are consistent with existing historic character.
<input type="checkbox"/>	4. Façade/storefront alterations that do not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	5. Raising the building in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	6. Restoration based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.

<input type="checkbox"/>	7. Addition(s) , including mechanical equipment that are minimally visible from a public right-of-way and meet the <i>Secretary of the Interior's Standards for Rehabilitation</i> .
<input type="checkbox"/>	8. Other work consistent with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (specify or add comments):
<input type="checkbox"/>	9. Other work that would not materially impair a historic district (specify or add comments): (Requires approval by Senior Preservation Planner/Preservation Coordinator)
<input type="checkbox"/>	10. Reclassification of property status. (Requires approval by Senior Preservation Planner/Preservation <input type="checkbox"/> Reclassify to Category A <input type="checkbox"/> Reclassify to Category C a. Per HRER dated (attach HRER) b. Other (specify):
Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST check one box below.	
<input type="checkbox"/>	Further environmental review required. Based on the information provided, the project requires an <i>Environmental Evaluation Application</i> to be submitted. GO TO STEP 6.
<input type="checkbox"/>	Project can proceed with categorical exemption review. The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. GO TO STEP 6.
Comments (optional):	
Preservation Planner Signature: Cathleen Campbell	

**STEP 6: CATEGORICAL EXEMPTION DETERMINATION
TO BE COMPLETED BY PROJECT PLANNER**

<input type="checkbox"/>	Further environmental review required. Proposed project does not meet scopes of work in either (check all that apply): <input type="checkbox"/> Step 2 - CEQA Impacts <input type="checkbox"/> Step 5 - Advanced Historical Review STOP! Must file an <i>Environmental Evaluation Application</i>.	
<input checked="" type="checkbox"/>	No further environmental review is required. The project is categorically exempt under CEQA. There are no unusual circumstances that would result in a reasonable possibility of a significant effect.	
	Project Approval Action: Commission Hearing	Signature: Cathleen Campbell
	If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.	09/07/2018
	Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code. In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the first approval action. Please note that other approval actions may be required for the project. Please contact the assigned planner for these approvals.	

STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT

TO BE COMPLETED BY PROJECT PLANNER

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a “substantial modification” and, therefore, be subject to additional environmental review pursuant to CEQA.

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address (If different than front page)		Block/Lot(s) (If different than front page)
733 TARAVAL ST		2408/044
Case No.	Previous Building Permit No.	New Building Permit No.
2017-015669PRJ		
Plans Dated	Previous Approval Action	New Approval Action
	Commission Hearing	
Modified Project Description:		

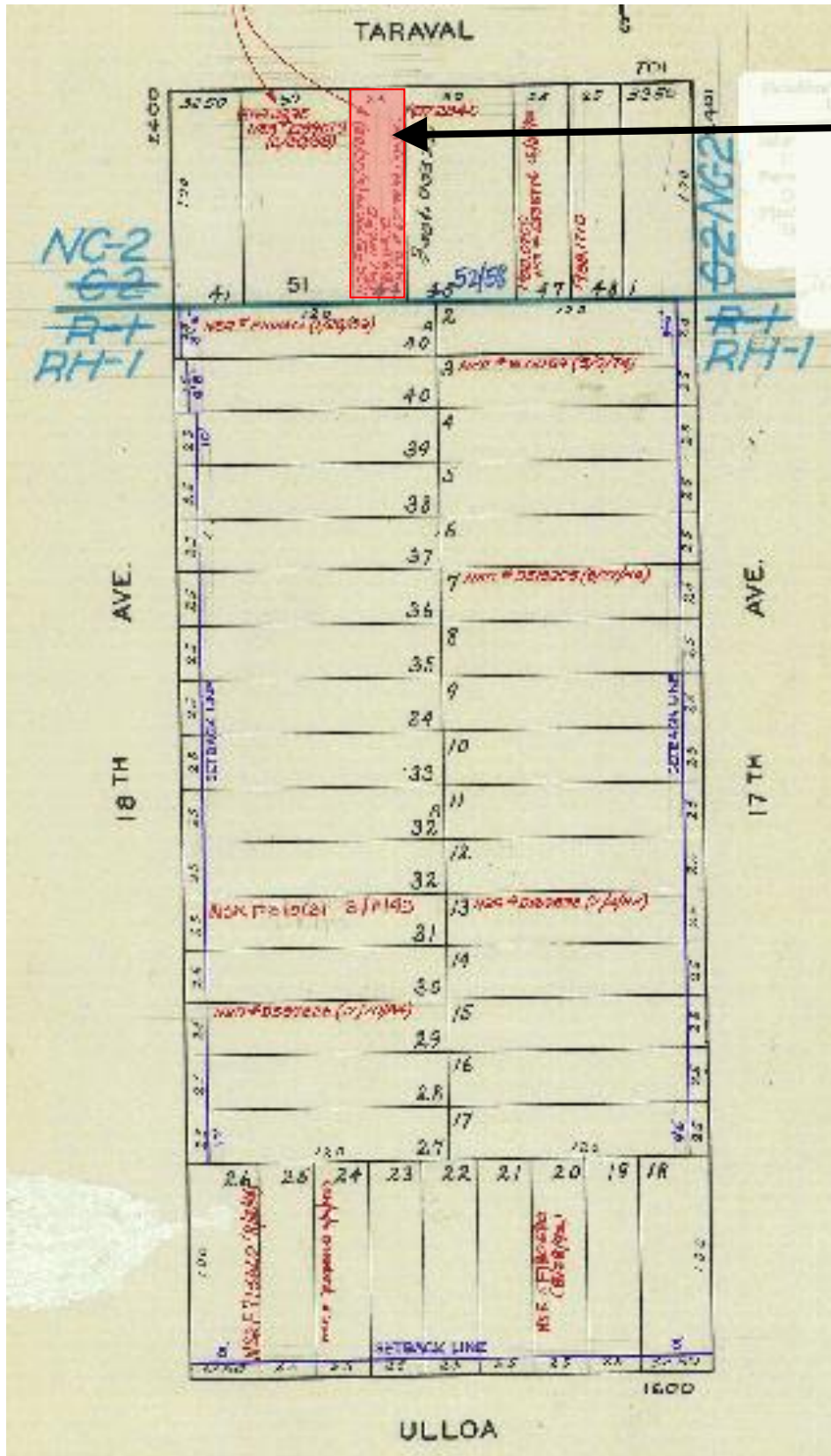
DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project:	
<input type="checkbox"/>	Result in expansion of the building envelope, as defined in the Planning Code;
<input type="checkbox"/>	Result in the change of use that would require public notice under Planning Code Sections 311 or 312;
<input type="checkbox"/>	Result in demolition as defined under Planning Code Section 317 or 19005(f)?
<input type="checkbox"/>	Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption?
If at least one of the above boxes is checked, further environmental review is required.	

DETERMINATION OF NO SUBSTANTIAL MODIFICATION

<input type="checkbox"/>	The proposed modification would not result in any of the above changes.
If this box is checked, the proposed modifications are categorically exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice.	
Planner Name:	Signature or Stamp:

Parcel Map

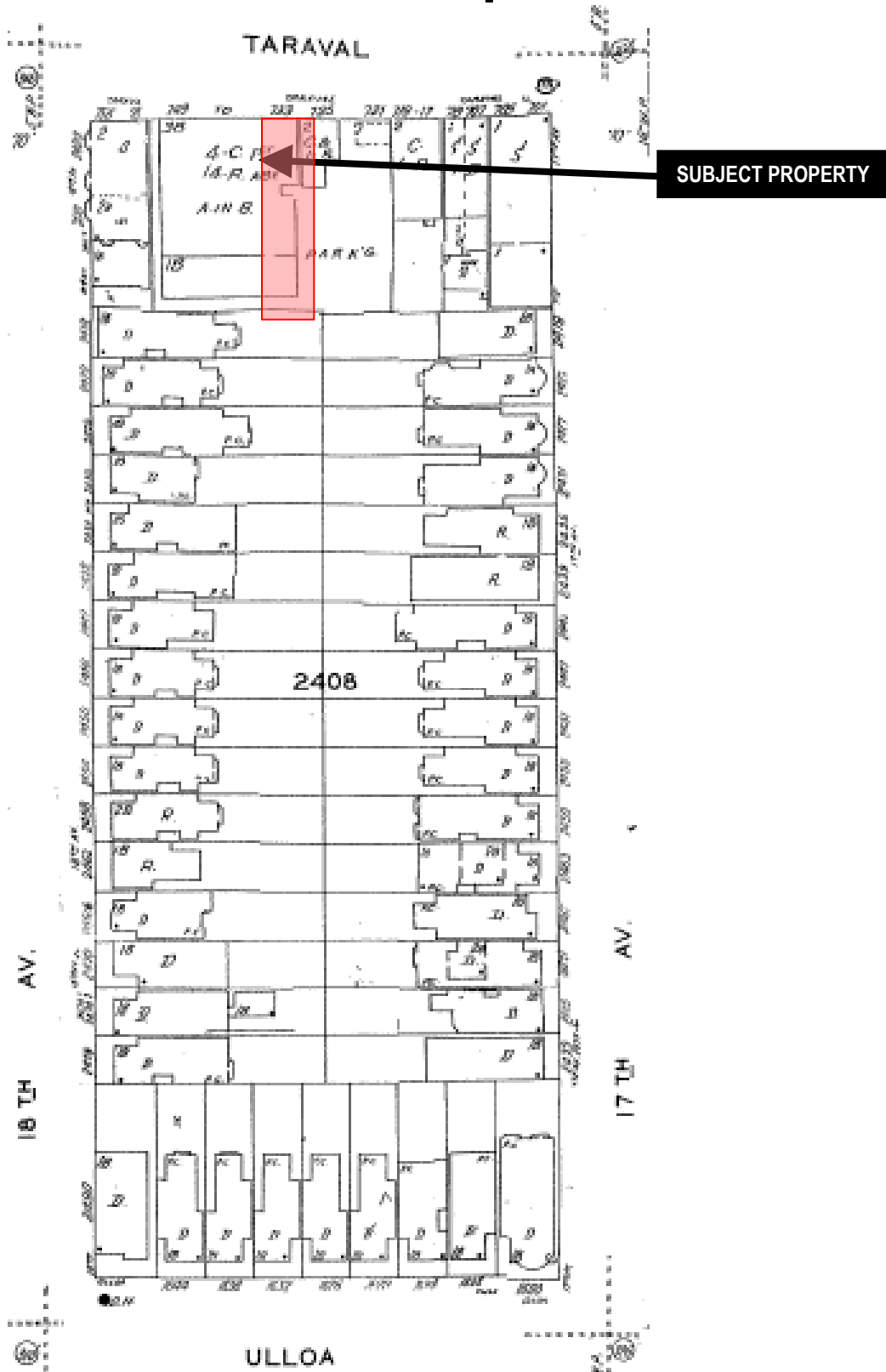


SUBJECT PROPERTY

CONDITIONAL USE
 Case Number 2017-015669CUA
 723 Taraval Street



Sanborn Map

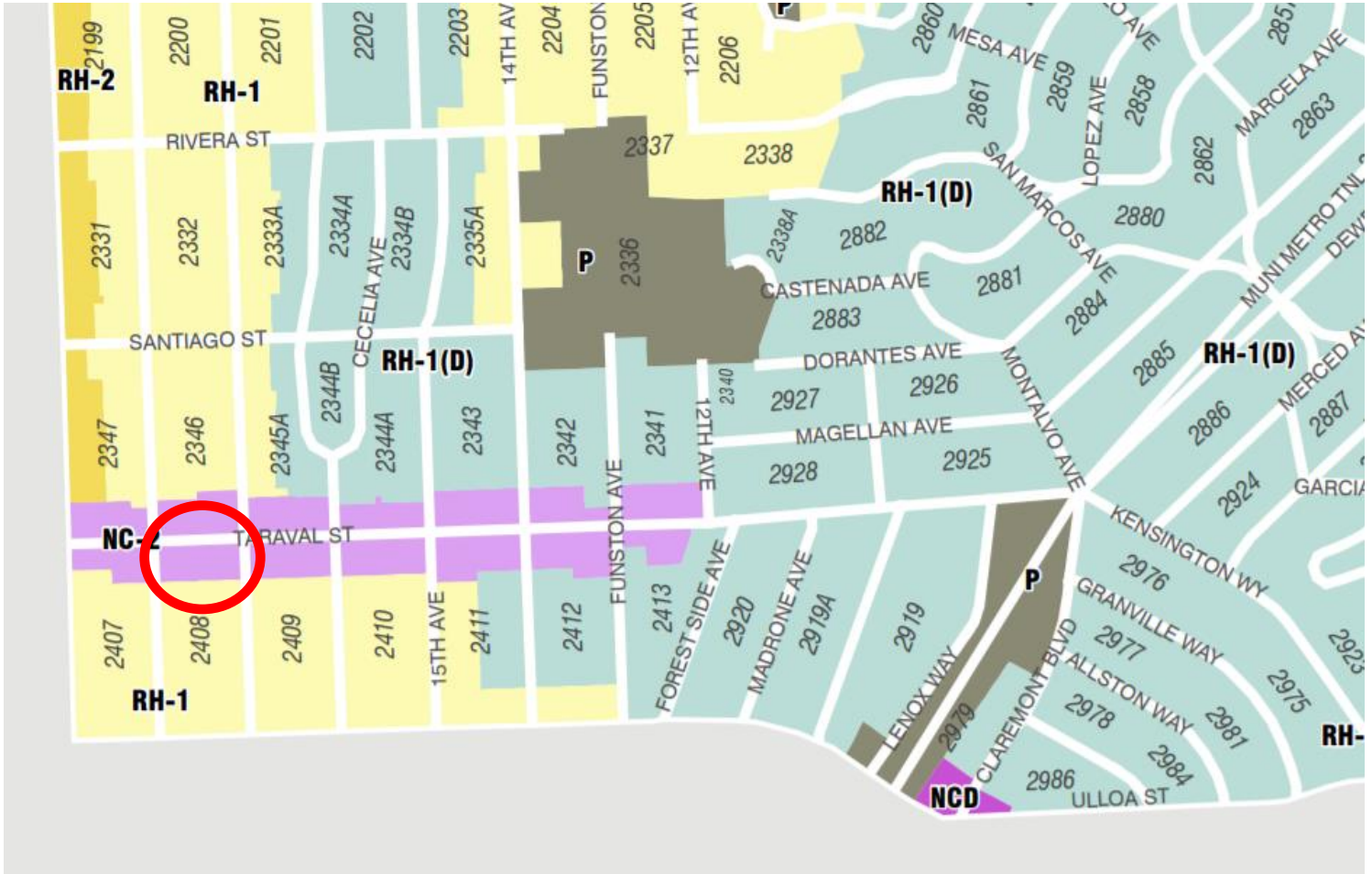


**The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.*



CONDITIONAL USE
Case Number 2017-015669CUA
723 Taraval Street

Zoning Map



CONDITIONAL USE
Case Number 2017-015669CUA
723 Taraval Street



Aerial Photos

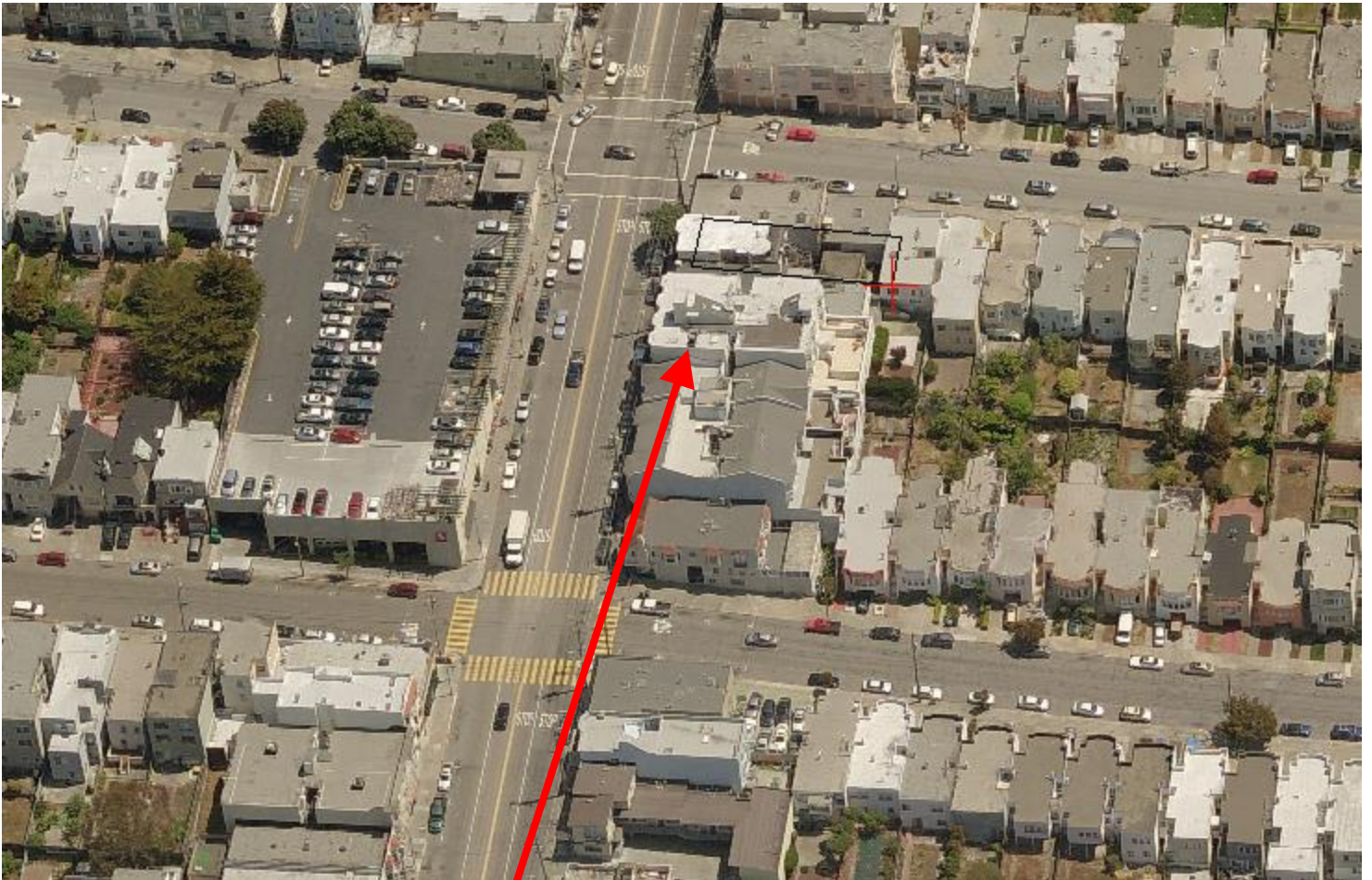


SUBJECT PROPERTY



CONDITIONAL USE
Case Number 2017-015669CUA
723 Taraval Street

Aerial Photos



SUBJECT PROPERTY



CONDITIONAL USE
Case Number 2017-015669CUA
723 Taraval Street

Aerial Photos

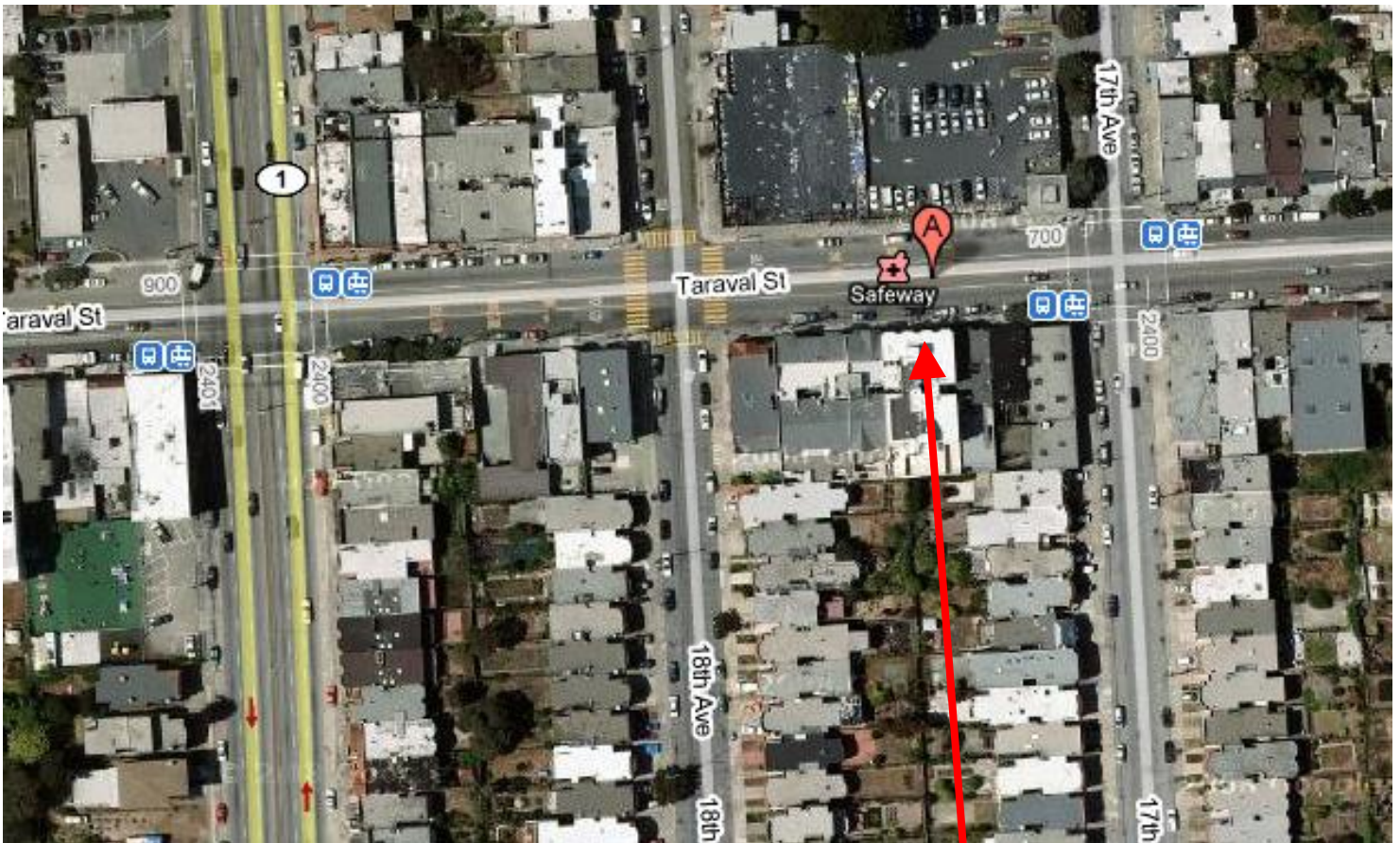


SUBJECT PROPERTY



CONDITIONAL USE
Case Number 2017-015669CUA
723 Taraval Street

Aerial Photos



SUBJECT PROPERTY

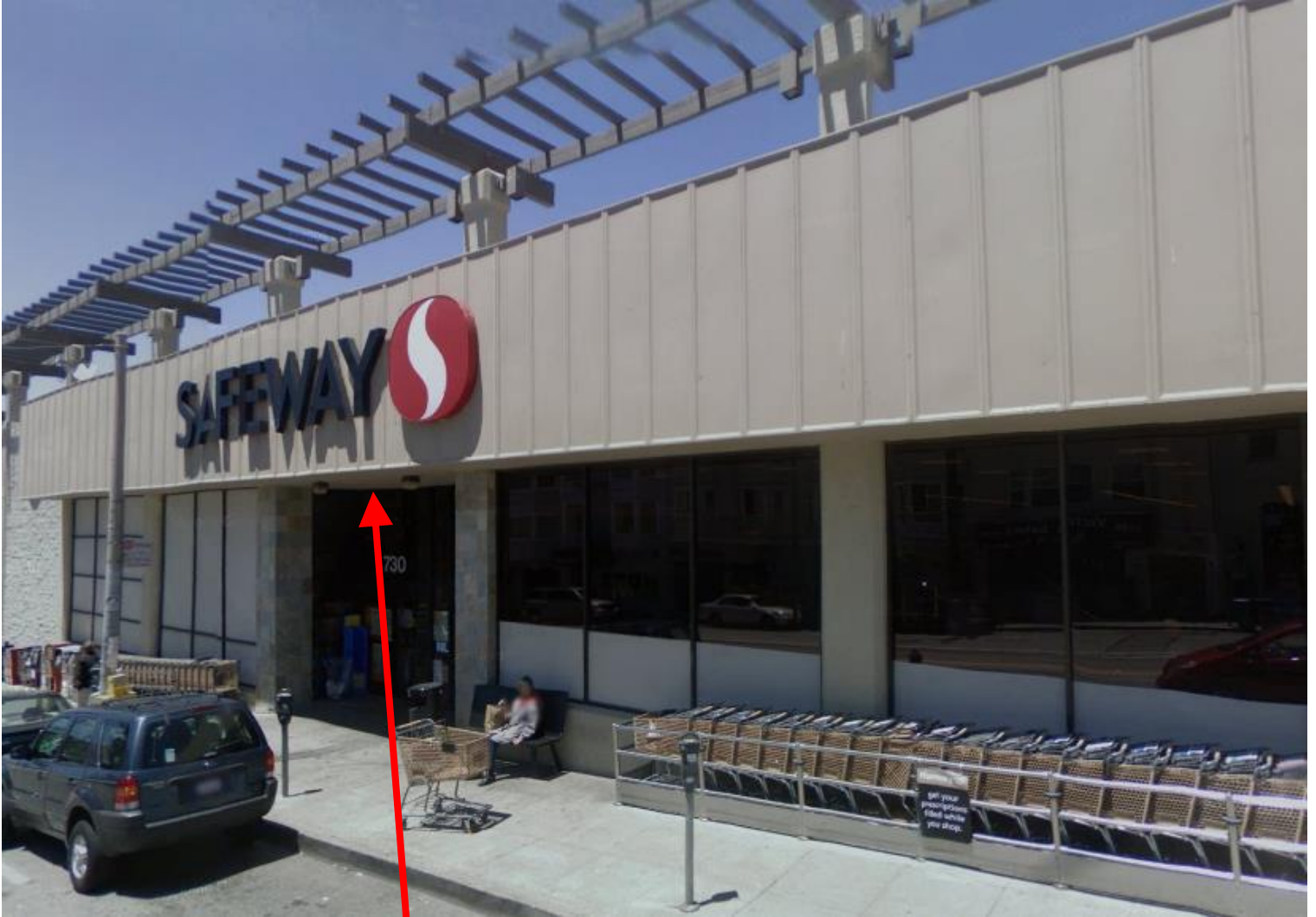


CONDITIONAL USE
Case Number 2017-015669CUA
723 Taraval Street

Context Photos



Context Photos



ACROSS THE STREET
FROM SUBJECT
PROPERTY

CONDITIONAL USE
Case Number 2017-015669CUA
723 Taraval Street



Jun 10 , 2018

Dear Sir/Madam,

I like this restraint and would recommend it to my friends. We also have meetings here more often these days and invite others to join. The atmosphere is nice to have conversations with meal.

It has many interesting dishes including Korean style fried chicken, Kimchi Fried Rice, Rice Cakes with spice sauce. They also come with variety of side dishes and many of them are unique to Korean cuisine.

The owner and staff are kind and keep the place enjoyable any time of the day or into late evenings. I would like to see this place open longer hours so I may have enough time to enjoy when I get together with my friends.

Thanks.

Jake Chan Yoo

Jake Chan Yoo

325 walnut Avenue

Walnut creek ca 94598

Jun 5, 2018

Dear City Officers,

I enjoy coming to Odumak Korean fusion restaurant at 733 Taraval Street. I highly recommend this place to my friends.

It is conveniently located on the main street with many shops and other businesses. There are always steady flow of customers from the nearby residents as well late into the evenings. This is a nice place for evening gathering with family or friends, and at the same time experience culturally diverse atmospheres with diverse flavors of food and drinks. I also recommend trying various chicken dishes which is crispy or spicy. They go well with the other Korean food and drinks. You have to try them!

Regards,

Jennie Park

Jennie park
1228 toyon dr
Millbrae ca 94030

San Francisco Planning Department

1650 Mission Street

San Francisco CA 94103

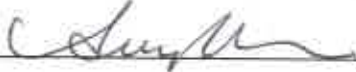
Letter of Support the Business Hour Extension for Odumak Korean Restaurant at 733 Taraval St

Dear Sir,

As a neighborhood resident near the above mentioned applicant. I would like to join the others neighbors around this area to support the business hour extension to 2:00am for the following reason:

For many years, this neighborhood are lack of late night food option to provide a convenience foot traffic place to enjoy the relaxing time of gathering with friends, the approval of business time extension will enhance the convenience and good quality services to the surrounding neighborhood. We believe this restaurant will continue to provide an entertainment services consistence with that purpose.

If there is any question, please feel free to contact me.

Name: Suzanne Yee
Address: 2351 21st AVE, San Francisco CA 94116
Phone No.: (415) 706-7068
Signature: 
Date: 7-25-18

San Francisco Planning Department

1650 Mission Street

San Francisco CA 94103

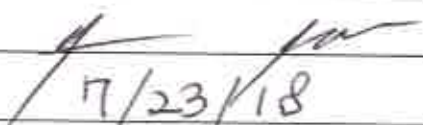
Letter of Support the Business Hour Extension for Odumak Korean Restaurant at 733 Taraval St

Dear Sir,

As a neighborhood resident near the above mentioned applicant, I would like to join the others neighbors around this area to support the business hour extension to 2:00am for the following reason:

For many years, this neighborhood are lack of late night food option to provide a convenience foot traffic place to enjoy the relaxing time of gathering with friends, the approval of business time extension will enhance the convenience and good quality services to the surrounding neighborhood. We believe this restaurant will continue to provide an entertainment services consistence with that purpose.

If there is any question, please feel free to contact me.

Name: Jennie Park
Address: 1228 Toyon DR Millbrae CA 94030
Phone No. : (650) 773-7152
Signature: 
Date: 7/23/18

Support the business time Extension for Odumak Korean Cuisine Restaurant at 733 Taraval.

To Whom it May concern,

This street is really lacking late-night food options. The existing business closing time of this restaurant is 9:30-10:00pm. I would like to support the time extension to 2:00am then it could benefit the neighborhood in providing a late night entertainment place.

Supporter name: Jennie Park

Email: Jennieparkwing@gmail.com

Phone #: (650) 473-9152

APPLICATION FOR Conditional Use Authorization

1. Owner/Applicant Information

PROPERTY OWNER'S NAME:

WANG CAROL W

PROPERTY OWNER'S ADDRESS:

733 Taraval Street Street San Francisco CA 94116

TELEPHONE:

()

EMAIL:

APPLICANT'S NAME:

Kam Li

Same as Above

APPLICANT'S ADDRESS:

351 Chadbourne Ave Millbrae CA 94030

TELEPHONE:

(415) 6326188

EMAIL:

kamli2k@gmail.com

CONTACT FOR PROJECT INFORMATION:

Same as Above

ADDRESS:

TELEPHONE:

()

EMAIL:

COMMUNITY LIAISON FOR PROJECT (PLEASE REPORT CHANGES TO THE ZONING ADMINISTRATOR):

Same as Above

ADDRESS:

TELEPHONE:

()

EMAIL:

2. Location and Classification

STREET ADDRESS OF PROJECT:

733 Taraval Street

ZIP CODE:

94116

CROSS STREETS:

18th Avenue

ASSESSORS BLOCK/LOT:

2408 / 044

LOT DIMENSIONS:

25' x 100'

LOT AREA (SQ FT):

2500

ZONING DISTRICT:

NC-2

HEIGHT/BULK DISTRICT:

40X

5. Action(s) Requested (Include Planning Code Section which authorizes action)

To modify the existing conditions Case No. 89.643C, Motion No. 11895 to remove conditions #3 allowing the existing restaurant to operate during the same business hours (6:00am – 2:00am) as the rest of the NC-2 zoning district.

Conditional Use Findings

Pursuant to Planning Code Section 303(c), before approving a conditional use authorization, the Planning Commission needs to find that the facts presented are such to establish the findings stated below. In the space below and on separate paper, if necessary, please present facts sufficient to establish each finding.

1. That the proposed use or feature, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable for, and compatible with, the neighborhood or the community; and
2. That such use or feature as proposed will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity, or injurious to property, improvements or potential development in the vicinity, with respect to aspects including but not limited to the following:
 - (a) The nature of the proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;
 - (b) The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;
 - (c) The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;
 - (d) Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs; and
3. That such use or feature as proposed will comply with the applicable provisions of this Code and will not adversely affect the Master Plan.

The business is an existing Restaurant use (d.b.a. Odumak Korean Cuisin) that seeks to modify existing conditions of Motion No. 11895 (case no. 89.643C) – specifically to remove conditions #3 to operate during the same business hours as the rest of the zoning district, respectively. The subject business is located in one storefront within a two-story over ground-floor commercial building, situated at the south side of Taraval Street and 18th Avenue, within the NC-2 district. Commercial uses in the Zoning district permitted operating hours are between 6 a.m. and 2 a.m. daily. The proposal will comply the provision of this code and will not adversely affect the Master plan.

5. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced;

Since the subject building is located on the area where is very low density commercial area. The diverse economic base sure be maintained.

6. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake;

The City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake;

7. That landmarks and historic buildings be preserved; and

The landmarks and historic buildings be sure preserved.

8. That our parks and open space and their access to sunlight and vistas be protected from development.

The parks and open space and their access to sunlight and vistas be sure protected from Development;