



SAN FRANCISCO PLANNING DEPARTMENT

Discretionary Review Abbreviated Analysis HEARING DATE: DECEMBER 20, 2018

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Date: December 7, 2018
Case No.: **2017-010924DRP**
Project Addresses: **10-12 Aladdin Terrace**
Permit Applications: 2017.1103.3069
Zoning: RM-1[Residential Mixed, Low Density]
40-X Height and Bulk District
Area Plan: N/A
Block/Lot: 0100/034A, 035A
Project Sponsor: Eric Dumican
Dumican Mosey Architects
128 10th St. 3rd floor
San Francisco, CA 94103
Staff Contact: David Winslow – (415) 575-9159
David.Winslow@sfgov.org
Recommendation: **Do Not Take DR and Approve**

PROJECT DESCRIPTION

The project consists of construction of a one-story vertical addition to a 3 story, two-family dwelling. Extensive changes to the front, rear and side facades are proposed.

SITE DESCRIPTION AND PRESENT USE

The project site consists of 2 lots situated the end of Aladdin Terrace, a narrow (7'wide) alley that terminates in the middle of the block. Lot 34A is 23' wide x 58'-9" deep and has an existing 3-story, 2,164 s.f two-unit building built in 1907 and expanded in the 1920s. Lot 35A, to the east, is 23' wide x 35.5' deep and will remain vacant as rear yard open space with the exception of a permitted garden structure.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

This block of Aladdin Terrace consists of 3- and 4-story buildings of varying styles. The mid-block open space is extremely constrained and consists of the collection of rear yards of 10 lots including the project sponsors' and the DR requestors.

BUILDING PERMIT NOTIFICATION

TYPE	REQUIRED PERIOD	NOTIFICATION DATES	DR FILE DATE	DR HEARING DATE	FILING TO HEARING TIME
311 Notice	30 days	August 27, 2018 – September 26, 2018	09.25. 2018	12.20.2018	87 days

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Posted Notice	10 days	December 10, 2018	December 10, 2018	10 days
Mailed Notice	10 days	December 10, 2018	December 10, 2018	10 days

PUBLIC COMMENT

	SUPPORT	OPPOSED	NO POSITION
Adjacent neighbors	12	0	0
Other neighbors	0	0	0
Neighborhood groups	0	0	0

DR REQUESTORS

Judy and Hakan Hervall of 34 Kent St. on behalf of the 28-34 Kent St. Homeowners Association, neighbors approximately 90' to the East.

DR REQUESTORS' CONCERNS AND PROPOSED ALTERNATIVES

1. Size and extent of windows will contribute to the loss of privacy, unnecessary glare, and night time illumination; they are incompatible with the scale and pattern of the context at the mid-block open space.
2. Proposed exterior materials are incompatible with those found in the context.

Alternative: Request relating the size and proportions of windows to better align with those found on the neighboring buildings; and require a neutral tone non-reflective finish for aluminum panels.

See attached *Discretionary Review Application*, dated September 25, 2018

PROJECT SPONSOR'S RESPONSE TO DR APPLICATION

The sponsor has complied with the Residential Design Guidelines in relation to building articulation related to issues of privacy.

See attached *Response to Discretionary Review*, dated December 5, 2018.

ENVIRONMENTAL REVIEW

The Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15301 (Class One - Minor Alteration of Existing Facility, (e) Additions to existing structures provided that the addition will not result in an increase of more than 10,000 square feet).

RESIDENTIAL DESIGN TEAM REVIEW

1. The overall window to solid wall ratio seems on the whole balanced. Issues of privacy, glare, and nighttime illumination do not seem exceptional or extraordinary with a distance separating the two properties in excess of 90'.
2. The primary façade materials are stained wood and stucco.

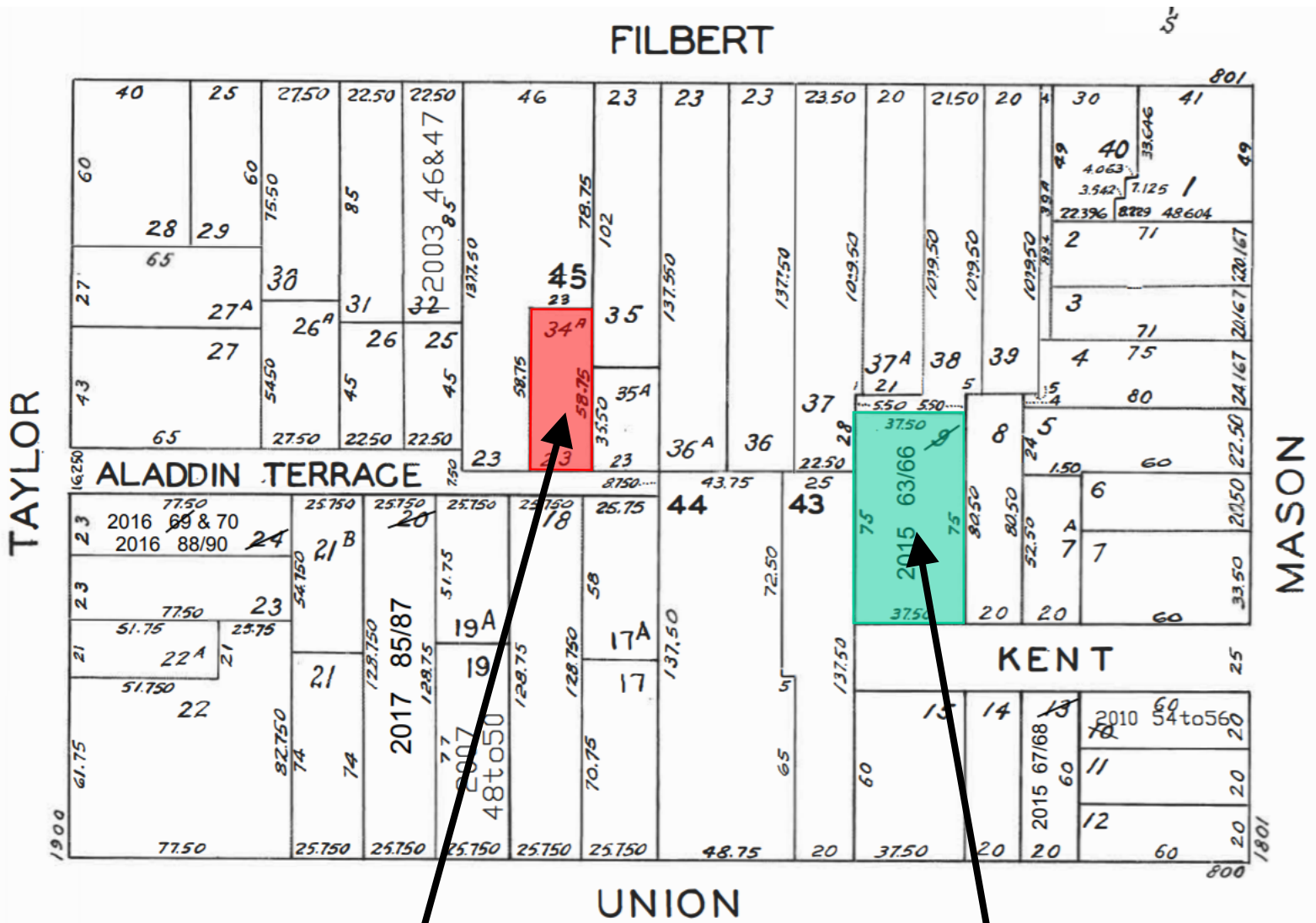
RECOMMENDATION: Do Not Take DR and approve
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Attachments:

Block Book Map
Sanborn Map
Zoning Map
Aerial Photographs
Context Photographs
Section 311 Notice
CEQA Determination
DR Application
Response to DR Application dated December 5, 2018
Letter of support
Reduced Plans

Exhibits

Parcel Map



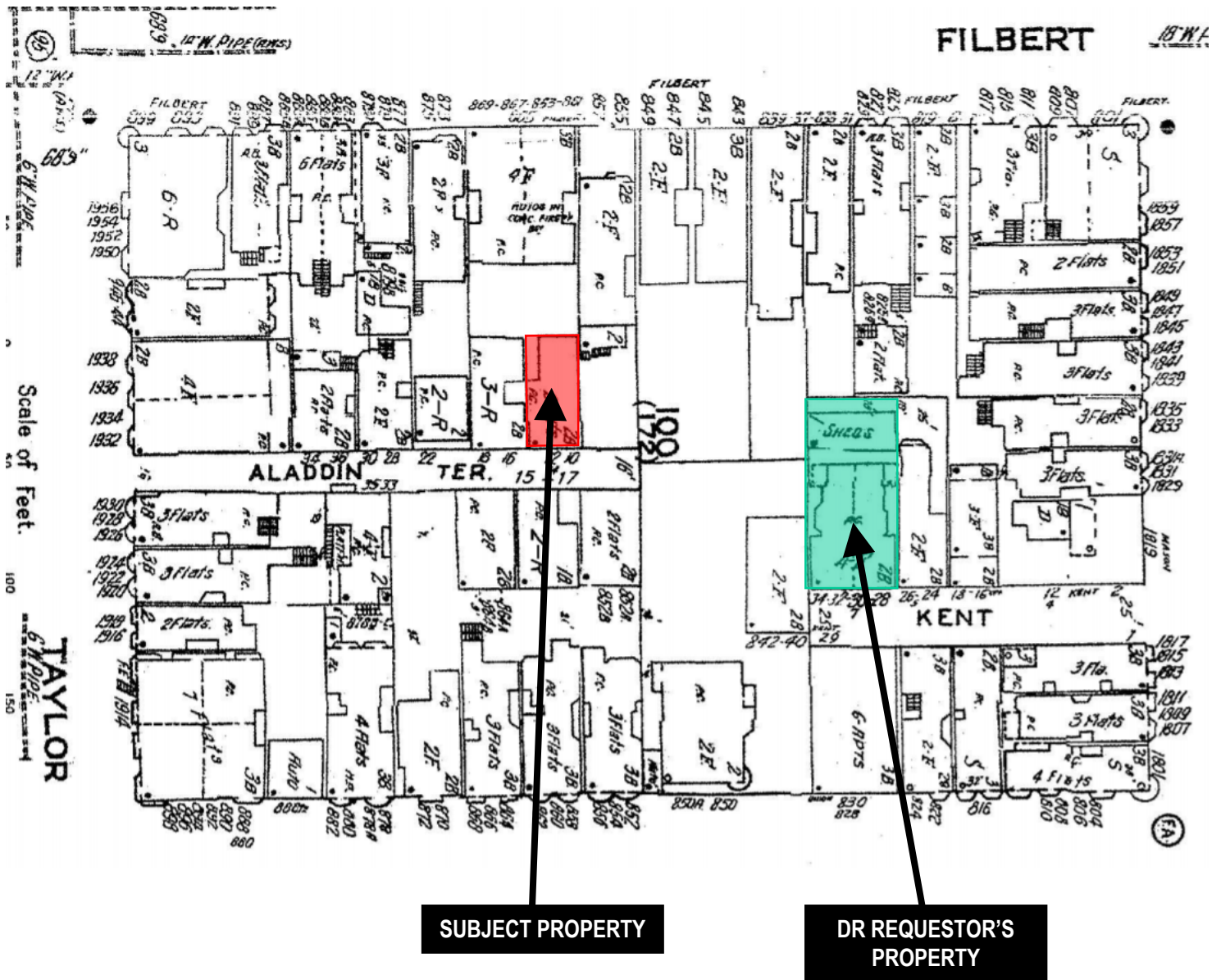
SUBJECT PROPERTY

DR REQUESTOR'S PROPERTY



Discretionary Review Hearing
 Case Number 2017-010924DRP
 10 Aladdin Terrace

Sanborn Map*

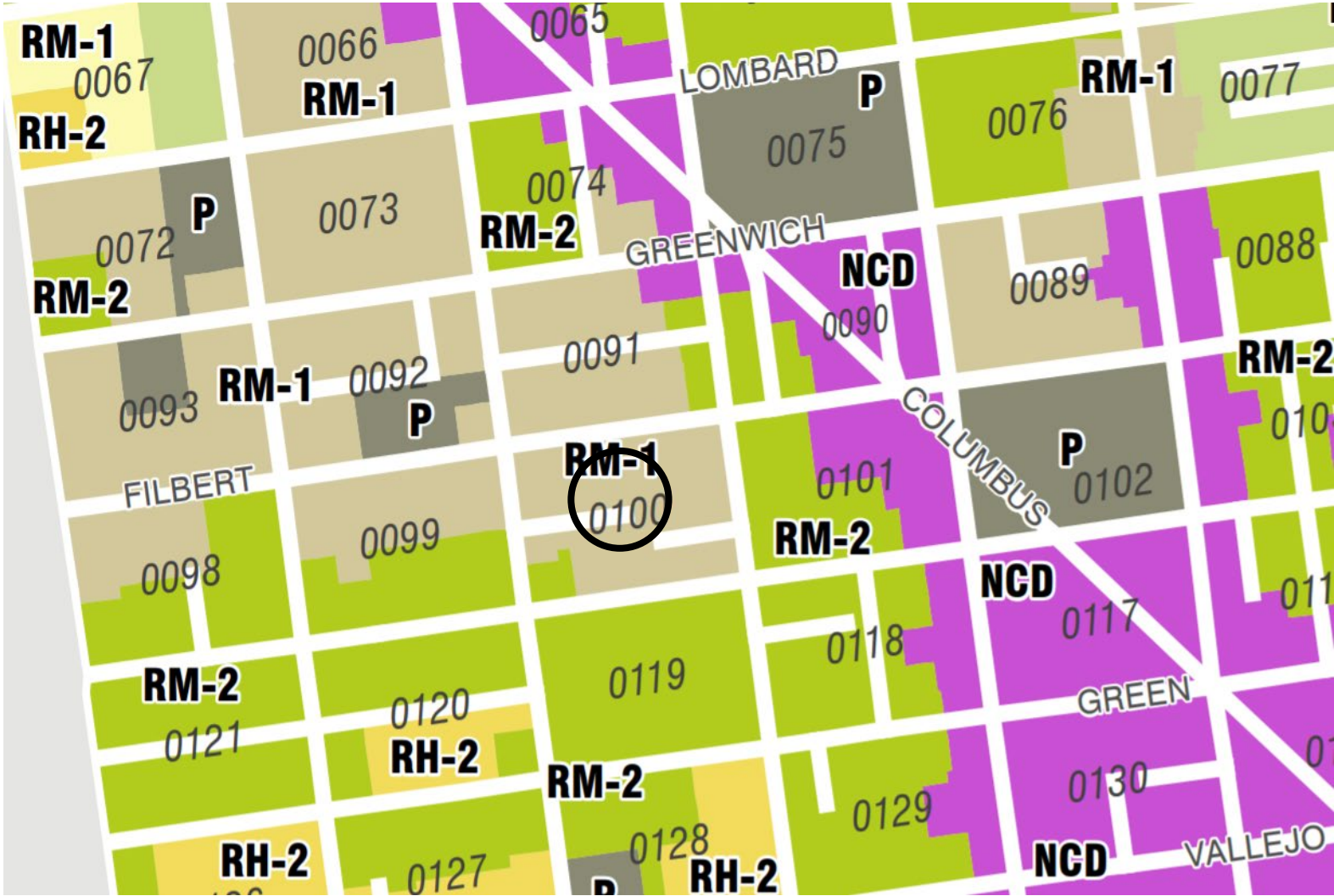


*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Discretionary Review Hearing
Case Number 2017-010924DRP
10 Aladdin Terrace

Zoning Map



Discretionary Review Hearing
Case Number 2017-010924DRP
10 Aladdin Terrace

Aerial Photo



SUBJECT PROPERTY

**DR REQUESTOR'S
PROPERTY**



Discretionary Review Hearing
Case Number 2017-010924DRP
10 Aladdin Terrace

Aerial Photo

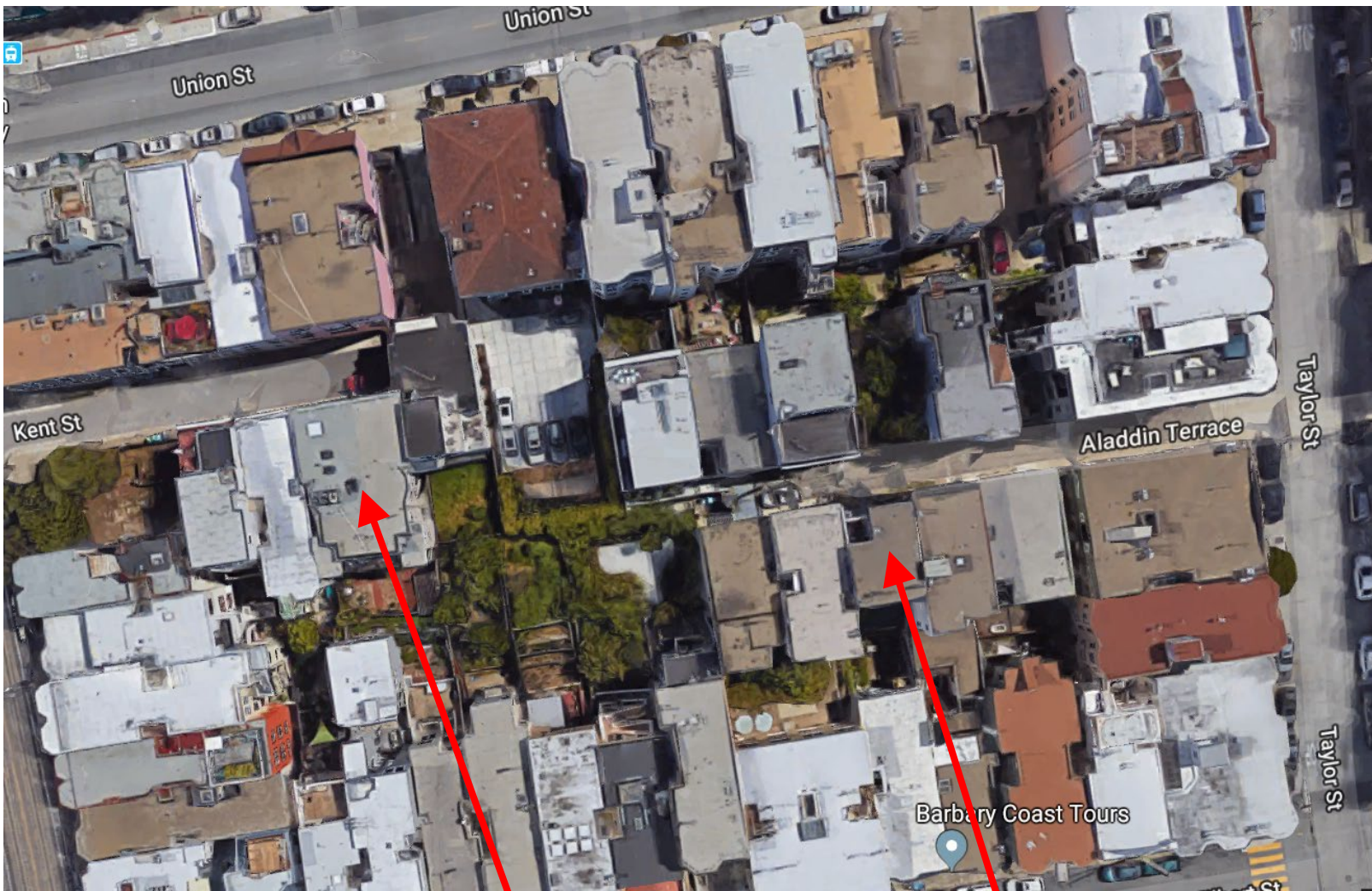


**DR REQUESTOR'S
PROPERTY**

SUBJECT PROPERTY



Aerial Photo



**DR REQUESTOR'S
PROPERTY**

SUBJECT PROPERTY



Discretionary Review Hearing
Case Number 2017-010924DRP
10 Aladdin Terrace

Aerial Photo



**DR REQUESTOR'S
PROPERTY**

SUBJECT PROPERTY



Discretionary Review Hearing
Case Number 2017-010924DRP
10 Aladdin Terrace

Site Photo



SUBJECT PROPERTY

Discretionary Review Hearing
Case Number 2017-010924DRP
10 Aladdin Terrace



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311)

On **November 3, 2017**, the Applicant named below filed Building Permit Application No. **2017.11.03.3069** with the City and County of San Francisco.

PROJECT INFORMATION		APPLICANT INFORMATION	
Project Address:	10-12 + 2 Aladdin Terrace	Applicant:	Dumican Mosey Architects
Cross Street(s):	Taylor Street	Address:	128 10th Street, 3rd Floor
Block/Lot No.:	0100/034A,035A	City, State:	San Francisco, CA 94103
Zoning District(s):	RM-1 / 40-X	Telephone:	(415) 495-9322
Record No.:	2017-010924PRJ	Email:	edumican@dumicanmosey.com

You are receiving this notice as a property owner or resident within 150 feet of the proposed project. You are not required to take any action. For more information about the proposed project, or to express concerns about the project, please contact the Applicant listed above or the Planner named below as soon as possible. If you believe that there are exceptional or extraordinary circumstances associated with the project, you may request the Planning Commission to use its discretionary powers to review this application at a public hearing. Applications requesting a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown below, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

PROJECT SCOPE		
<input type="checkbox"/> Demolition	<input type="checkbox"/> New Construction	<input type="checkbox"/> Alteration
<input type="checkbox"/> Change of Use	<input checked="" type="checkbox"/> Façade Alteration(s)	<input type="checkbox"/> Front Addition
<input type="checkbox"/> Rear Addition	<input type="checkbox"/> Side Addition	<input checked="" type="checkbox"/> Vertical Addition
PROJECT FEATURES	EXISTING	PROPOSED
Building Use	Two-Family Dwelling	No Change
Front Setback	None	No Change
Side Setbacks	None	No Change
Building Depth	55 feet – 5 inches	No Change
Rear Yard	3 feet – 4 inches	No Change
Building Height	20 feet – 7 inches	30 feet
Number of Stories	3	4
Number of Dwelling Units	2	No Change
Number of Parking Spaces	0	No Change
PROJECT DESCRIPTION		
<p>The project is a vertical addition on an existing two-family dwelling unit building. It also includes extensive remodeling of the interior and several changes to the exterior. The Project includes an accessory structure measuring no more than 100 square feet in the side yard. There are no proposed changes to the building length or width.</p> <p>The issuance of the building permit by the Department of Building Inspection or the Planning Commission project approval at a discretionary review hearing would constitute as the Approval Action for the project for the purposes of CEQA, pursuant to Section 31.04(h) of the San Francisco Administrative Code.</p>		

For more information, please contact Planning Department staff:

Planner: Seema Adina
 Telephone: (415) 575-8722
 E-mail: seema.adina@sfgov.org

Notice Date: 8/27/2018
 Expiration Date: 9/26/2018

GENERAL INFORMATION ABOUT PROCEDURES

Reduced copies of the proposed project plans have been included in this mailing for your information. If you have questions about the plans, please contact the project Applicant listed on the front of this notice. You may wish to discuss the plans with your neighbors or neighborhood association, as they may already be aware of the project. If you have general questions about the Planning Department's review process, please contact the Planning Information Center at 1660 Mission Street, 1st Floor (415/ 558-6377) between 8:00am - 5:00pm Monday-Friday. If you have specific questions about the proposed project, you should contact the planner listed on the front of this notice.

If you believe that the impact on you from the proposed project is significant and you wish to seek to change the project, there are several procedures you may use. **We strongly urge that steps 1 and 2 be taken.**

1. Request a meeting with the project Applicant to get more information and to explain the project's impact on you.
2. Contact the nonprofit organization Community Boards at (415) 920-3820, or online at www.communityboards.org for a facilitated discussion in a safe and collaborative environment. Community Boards acts as a neutral third party and has, on many occasions, helped reach mutually agreeable solutions.
3. Where you have attempted, through the use of the above steps or other means, to address potential problems without success, please contact the planner listed on the front of this notice to discuss your concerns.

If, after exhausting the procedures outlined above, you still believe that exceptional and extraordinary circumstances exist, you have the option to request that the Planning Commission exercise its discretionary powers to review the project. These powers are reserved for use in exceptional and extraordinary circumstances for projects which generally conflict with the City's General Plan and the Priority Policies of the Planning Code; therefore the Commission exercises its discretion with utmost restraint. This procedure is called Discretionary Review. If you believe the project warrants Discretionary Review by the Planning Commission, **you must file a Discretionary Review application prior to the Expiration Date shown on the front of this notice.** Discretionary Review applications are available at the Planning Information Center (PIC), 1660 Mission Street, 1st Floor, or online at www.sfplanning.org. You must submit the application in person at the Planning Information Center (PIC) between 8:00am - 5:00pm Monday-Friday, with all required materials and a check payable to the Planning Department. To determine the fee for a Discretionary Review, please refer to the Planning Department Fee Schedule available at www.sfplanning.org. If the project includes multiple building permits, i.e. demolition and new construction, a **separate request for Discretionary Review must be submitted, with all required materials and fee, for each permit that you feel will have an impact on you.**

Incomplete applications will not be accepted.

If no Discretionary Review Applications have been filed within the Notification Period, the Planning Department will approve the application and forward it to the Department of Building Inspection for its review.

BOARD OF APPEALS

An appeal of the Planning Commission's decision on a Discretionary Review case may be made to the **Board of Appeals within 15 calendar days after the building permit is issued** (or denied) by the Department of Building Inspection. Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

ENVIRONMENTAL REVIEW

This project has undergone preliminary review pursuant to California Environmental Quality Act (CEQA). If, as part of this process, the Department's Environmental Review Officer has deemed this project to be exempt from further environmental review, an exemption determination has been prepared and can be obtained through the Exemption Map, on-line, at www.sfplanning.org. An appeal of the decision **to exempt the proposed project from CEQA may be made to the Board of Supervisors within 30 calendar days** after the project approval action identified on the determination. The procedures for filing an appeal of an exemption determination are available from the Clerk of the Board at City Hall, Room 244, or by calling (415) 554-5184.

Under CEQA, in a later court challenge, a litigant may be limited to raising only those issues previously raised at a hearing on the project or in written correspondence delivered to the Board of Supervisors, Planning Commission, Planning Department or other City board, commission or department at, or prior to, such hearing, or as part of the appeal hearing process on the CEQA decision.



SAN FRANCISCO PLANNING DEPARTMENT

CEQA Categorical Exemption Determination

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address		Block/Lot(s)
10-12 & 2 Aladdin Terrace		0100034A
Case No.		Permit No.
2017-010924ENV		
<input checked="" type="checkbox"/> Addition/ Alteration	<input type="checkbox"/> Demolition (requires HRE for Category B Building)	<input type="checkbox"/> New Construction
<p>Project description for Planning Department approval. Remodel, alterations, and addition to an existing 3-story, 2-unit residential building, and includes the following: fourth floor vertical addition, extensive remodeling of the interior and several changes to the exterior, an accessory structure in the side yard.</p>		

STEP 1: EXEMPTION CLASS

Note: If neither class applies, an <i>Environmental Evaluation Application</i> is required.	
<input checked="" type="checkbox"/>	Class 1 - Existing Facilities. Interior and exterior alterations; additions under 10,000 sq. ft.
<input type="checkbox"/>	Class 3 - New Construction. Up to three new single-family residences or six dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input type="checkbox"/>	<p>Class 32 - In-Fill Development. New Construction of seven or more units or additions greater than 10,000 sq. ft. and meets the conditions described below:</p> <p>(a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.</p> <p>(b) The proposed development occurs within city limits on a project site of no more than 5 acres substantially surrounded by urban uses.</p> <p>(c) The project site has no value as habitat for endangered rare or threatened species.</p> <p>(d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.</p> <p>(e) The site can be adequately served by all required utilities and public services.</p> <p>FOR ENVIRONMENTAL PLANNING USE ONLY</p>
<input type="checkbox"/>	Class _____

STEP 2: CEQA IMPACTS
TO BE COMPLETED BY PROJECT PLANNER

<p>If any box is checked below, an <i>Environmental Evaluation Application</i> is required.</p>	
<input type="checkbox"/>	<p>Air Quality: Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g., backup diesel generators, heavy industry, diesel trucks, etc.)? (refer to EP_ArcMap > CEQA Catex Determination Layers > Air Pollution Exposure Zone)</p>
<input type="checkbox"/>	<p>Hazardous Materials: If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential? If yes, this box must be checked and the project applicant must submit an Environmental Application with a Phase I Environmental Site Assessment. <i>Exceptions: do not check box if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Maher program, a DPH waiver from the Maher program, or other documentation from Environmental Planning staff that hazardous material effects would be less than significant (refer to EP_ArcMap > Maher layer).</i></p>
<input type="checkbox"/>	<p>Transportation: Does the project create six (6) or more net new parking spaces or residential units? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?</p>
<input type="checkbox"/>	<p>Archeological Resources: Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non -archeological sensitive area? (refer to EP_ArcMap > CEQA Catex Determination Layers > Archeological Sensitive Area)</p>
<input type="checkbox"/>	<p>Subdivision/Lot Line Adjustment: Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography)</p>
<input type="checkbox"/>	<p>Slope = or > 20%: Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography) If box is checked, a geotechnical report is required.</p>
<input type="checkbox"/>	<p>Seismic: Landslide Zone: Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report is required.</p>
<input type="checkbox"/>	<p>Seismic: Liquefaction Zone: Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report will likely be required.</p>
<p>If no boxes are checked above, GO TO STEP 3. If one or more boxes are checked above, an <i>Environmental Evaluation Application</i> is required, unless reviewed by an Environmental Planner.</p>	
<p>Comments and Planner Signature (optional):</p> 	

STEP 3: PROPERTY STATUS - HISTORIC RESOURCE
TO BE COMPLETED BY PROJECT PLANNER

PROPERTY IS ONE OF THE FOLLOWING: <i>(refer to Parcel Information Map)</i>	
<input type="checkbox"/>	Category A: Known Historical Resource. GO TO STEP 5.
<input checked="" type="checkbox"/>	Category B: Potential Historical Resource (over 45 years of age). GO TO STEP 4.
<input type="checkbox"/>	Category C: Not a Historical Resource or Not Age Eligible (under 45 years of age). GO TO STEP 6.

STEP 4: PROPOSED WORK CHECKLIST
TO BE COMPLETED BY PROJECT PLANNER

Check all that apply to the project.	
<input type="checkbox"/>	1. Change of use and new construction. Tenant improvements not included.
<input type="checkbox"/>	2. Regular maintenance or repair to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	3. Window replacement that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. Garage work. A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	5. Deck, terrace construction, or fences not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. Mechanical equipment installation that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. Dormer installation that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	8. Addition(s) that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
Note: Project Planner must check box below before proceeding.	
<input checked="" type="checkbox"/>	Project is not listed. GO TO STEP 5.
<input type="checkbox"/>	Project does not conform to the scopes of work. GO TO STEP 5.
<input type="checkbox"/>	Project involves four or more work descriptions. GO TO STEP 5.
<input type="checkbox"/>	Project involves less than four work descriptions. GO TO STEP 6.

STEP 5: CEQA IMPACTS - ADVANCED HISTORICAL REVIEW
TO BE COMPLETED BY PROJECT PLANNER

Check all that apply to the project.	
<input type="checkbox"/>	1. Project involves a known historical resource (CEQA Category A) as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	2. Interior alterations to publicly accessible spaces.
<input type="checkbox"/>	3. Window replacement of original/historic windows that are not "in-kind" but are consistent with existing historic character.
<input type="checkbox"/>	4. Façade/storefront alterations that do not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	5. Raising the building in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	6. Restoration based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.

<input type="checkbox"/>	7. Addition(s) , including mechanical equipment that are minimally visible from a public right-of-way and meet the <i>Secretary of the Interior's Standards for Rehabilitation</i> .
<input type="checkbox"/>	8. Other work consistent with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (specify or add comments):
<input type="checkbox"/>	9. Other work that would not materially impair a historic district (specify or add comments): (Requires approval by Senior Preservation Planner/Preservation Coordinator)
<input checked="" type="checkbox"/>	10. Reclassification of property status. (Requires approval by Senior Preservation Planner/Preservation <input type="checkbox"/> Reclassify to Category A <input checked="" type="checkbox"/> Reclassify to Category C a. Per HRER dated 08/14/2018 (attach HRER) b. Other (specify):
Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST check one box below.	
<input checked="" type="checkbox"/>	Further environmental review required. Based on the information provided, the project requires an <i>Environmental Evaluation Application</i> to be submitted. GO TO STEP 6.
<input type="checkbox"/>	Project can proceed with categorical exemption review. The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. GO TO STEP 6.
Comments (optional):	
Preservation Planner Signature: Eiliesh Tuffy	

**STEP 6: CATEGORICAL EXEMPTION DETERMINATION
TO BE COMPLETED BY PROJECT PLANNER**

<input type="checkbox"/>	Further environmental review required. Proposed project does not meet scopes of work in either (check all that apply): <input type="checkbox"/> Step 2 - CEQA Impacts <input type="checkbox"/> Step 5 - Advanced Historical Review STOP! Must file an <i>Environmental Evaluation Application</i>.	
<input checked="" type="checkbox"/>	No further environmental review is required. The project is categorically exempt under CEQA. There are no unusual circumstances that would result in a reasonable possibility of a significant effect.	
	Project Approval Action: Environmental Evaluation Application If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.	Signature: Eiliesh Tuffy 08/15/2018
	Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code. In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the first approval action. Please note that other approval actions may be required for the project. Please contact the assigned planner for these approvals.	

STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT

TO BE COMPLETED BY PROJECT PLANNER

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be subject to additional environmental review pursuant to CEQA.

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address (If different than front page)		Block/Lot(s) (If different than front page)
10-12 & 2 Aladdin Terrace		0100/034A
Case No.	Previous Building Permit No.	New Building Permit No.
2017-010924PRJ		
Plans Dated	Previous Approval Action	New Approval Action
	Other (please specify)	
Modified Project Description:		

DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project:	
<input type="checkbox"/>	Result in expansion of the building envelope, as defined in the Planning Code;
<input type="checkbox"/>	Result in the change of use that would require public notice under Planning Code Sections 311 or 312;
<input type="checkbox"/>	Result in demolition as defined under Planning Code Section 317 or 19005(f)?
<input type="checkbox"/>	Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption?
If at least one of the above boxes is checked, further environmental review is required.	

DETERMINATION OF NO SUBSTANTIAL MODIFICATION

<input type="checkbox"/>	The proposed modification would not result in any of the above changes.
If this box is checked, the proposed modifications are categorically exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice.	
Planner Name:	Signature or Stamp:



SAN FRANCISCO PLANNING DEPARTMENT

PRESERVATION TEAM REVIEW FORM

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Preservation Team Meeting Date:		Date of Form Completion	8/6/2018
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PROJECT INFORMATION:		
Planner:	Address:	
E. Tuffy	10-12 Aladdin Terrace	
Block/Lot:	Cross Streets:	
0100/034A	Btwn. Hyde & Leavenworth streets	
CEQA Category:	Art. 10/11:	BPA/Case No.:
B		2017-010924E1V

PURPOSE OF REVIEW:		PROJECT DESCRIPTION:		
<input checked="" type="radio"/> CEQA	<input type="radio"/> Article 10/11	<input type="radio"/> Preliminary/PIC	<input checked="" type="radio"/> Alteration	<input type="radio"/> Demo/New Construction

DATE OF PLANS UNDER REVIEW:	7/31/2017
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PROJECT ISSUES:	
<input type="checkbox"/>	Is the subject Property an eligible historic resource?
<input type="checkbox"/>	If so, are the proposed changes a significant impact?
Additional Notes:	
Submitted: Historic Resource Evaluation submitted by Page & Turnbull (dated June 22, 2017). Proposed Project: Remodel and expansion of an existing 2-dwelling unit residential building, to include a 1-story vertical addition and excavation at the building's lower level.	

PRESERVATION TEAM REVIEW:			
Category:	<input type="radio"/> A	<input type="radio"/> B	<input checked="" type="radio"/> C
Individual		Historic District/Context	
Property is individually eligible for inclusion in a California Register under one or more of the following Criteria:		Property is in an eligible California Register Historic District/Context under one or more of the following Criteria:	
Criterion 1 - Event:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 1 - Event:	<input type="radio"/> Yes <input checked="" type="radio"/> No
Criterion 2 - Persons:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 2 - Persons:	<input type="radio"/> Yes <input checked="" type="radio"/> No
Criterion 3 - Architecture:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 3 - Architecture:	<input type="radio"/> Yes <input checked="" type="radio"/> No
Criterion 4 - Info. Potential:	<input type="radio"/> Yes <input type="radio"/> No	Criterion 4 - Info. Potential:	<input type="radio"/> Yes <input checked="" type="radio"/> No
Period of Significance:	n/a	Period of Significance:	n/a
		<input type="radio"/> Contributor <input type="radio"/> Non-Contributor	

Complies with the Secretary's Standards/Art 10/Art 11:	<input type="radio"/> Yes	<input type="radio"/> No	<input checked="" type="radio"/> N/A
CEQA Material Impairment to the individual historic resource:	<input type="radio"/> Yes	<input checked="" type="radio"/> No	
CEQA Material Impairment to the historic district:	<input type="radio"/> Yes	<input checked="" type="radio"/> No	
Requires Design Revisions:	<input type="radio"/> Yes	<input type="radio"/> No	
Defer to Residential Design Team:	<input checked="" type="radio"/> Yes	<input type="radio"/> No	

PRESERVATION TEAM COMMENTS:

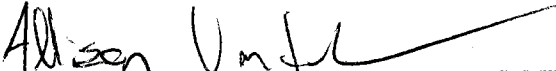
The subject property is a down-sloping lot with an existing residential building that is two stories in height facing Aladdin Terrace, and three stories in height at the rear of the building due to the change in grade. The building is at the east end of Aladdin Terrace, a dead-end street in the Russian Hill neighborhood. The subject lot is zoned RM-1 (Residential - Mixed, Low Density) and is in a 40-X Height district.

Based on historic research conducted by Page & Turnbull, the existing building dates to approximately 1907 and was constructed in the wave of building that occurred following the widespread destruction caused by the 1906 earthquake and fire. Sanborn maps and permit history show the building was expanded, likely in the 1920s, and that subsequent alterations were made to the building's fenestration and siding materials. While the age of the building dates it to the post-earthquake reconstruction period, its altered condition no longer conveys that association. Therefore the building is not eligible under Criterion 1 (Events). Research on past owners and occupants did not reveal eligibility under Criterion 2 (Persons). And in their evaluation of the building's existing condition and integrity of the original design, materials, workmanship and feeling, the report found that alterations render the building ineligible under Criterion 3 (Architecture).

Based upon a review of information in the Departments records, the subject building is not significant under Criterion 4 since this significance criterion typically applies to rare construction types when involving the built environment. The subject building is not an example of a rare construction type. Assessment of archeological sensitivity is undertaken through the Department's Preliminary Archeological Review process and is outside the scope of this review.

With the exception of a William Wurster-designed building at 22 Aladdin Terrace, which was constructed 20 years later than most buildings on the street, most buildings no longer convey integrity of their original design. The Page & Turnbull report, as well as an earlier Historic Resource Evaluation Report (Case #2016-012089ENV), studied the immediate area and found that Aladdin Terrace does not rise to the level of eligibility as an historic district due to the low degree of integrity exhibited in the buildings' existing conditions.

Therefore, the subject property does not appear to be eligible as either an individual historic resource or as a contributor to an historic district.

Signature of a Senior Preservation Planner / Preservation Coordinator:	Date:
	8/14/2018



10-12 Aladdin Terrace, primary façade (Google street view image)



San Francisco Planning

PLANNING APPLICATION RECORD NUMBER

2017-010924 DRP

DISCRETIONARY REVIEW APPLICATION

Property Owner's Information

Name: Rene Bihan & Ginny Fang c/o Eric Dumican, Dumican Mosey Architecture

Address: 128 10th Street, 3rd Floor San Francisco CA 94103 Email Address: edumican@dumicanmosey.com

Telephone: 415-495-9322

Applicant Information (if applicable)

Name: Judy Hervall and Hakan Hervall Same as above

Company/Organization: 28 - 34 Kent Street Home Owners Association

Address: 34 Kent Street San Francisco CA 94133 Email Address: judyhervall@gmail.com hhervall@skytours.com

Telephone: 415-847-7961 / 415-847-5199

Please Select Billing Contact: Owner Applicant Other (see below for details)

Name: Hakan Hervall Email: hhervall@skytours.com Phone: 415-847-5199

Please Select Primary Project Contact: Owner Applicant Billing

Property Information

Project Address: 10-12 + 2 Aladdin Terrace, San Francisco Block/Lot(s): 0100/034A,035A

Plan Area: _____

Project Description:

Please provide a narrative project description that summarizes the project and its purpose.

The project proposes vertical additions to an existing three story, two-unit over basement building. The floor elevation of the existing basement (storage / mechanical) will be lowered by several feet in order to incorporate it as additional living space for the lower unit; a fourth floor will be added for an additional level of living space for the upper unit. The project includes a complete remodeling of the interior, significant changes to the exterior, and a new accessory structure in the side yard.

Project Details:

- Change of Use New Construction Demolition Facade Alterations ROW Improvements
 Additions Legislative/Zoning Changes Lot Line Adjustment-Subdivision Other Vertical Addition

Estimated Construction Cost: _____

- Residential:** Special Needs Senior Housing 100% Affordable Student Housing Dwelling Unit Legalization
 Inclusionary Housing Required State Density Bonus Accessory Dwelling Unit

- Non-Residential:** Formula Retail Medical Cannabis Dispensary Tobacco Paraphernalia Establishment
 Financial Service Massage Establishment Other: _____

Related Building Permits Applications

Building Permit Applications No(s): 2017.11.03.3069

ACTIONS PRIOR TO A DISCRETIONARY REVIEW REQUEST

In reviewing applications for Certificate of Appropriateness the Historic Preservation Commission, Department staff, Board of Appeals and/or Board of Supervisors, and the Planning Commission shall be governed by *The Secretary of the Interior's Standards for the Treatment of Historic Properties* pursuant to Section 1006.6 of the Planning Code. Please respond to each statement completely (Note: Attach continuation sheets, if necessary). Give reasons as to *how* and *why* the project meets the ten Standards rather than merely concluding that it does so. IF A GIVEN REQUIREMENT DOES NOT APPLY TO YOUR PROJECT, EXPLAIN WHY IT DOES NOT.

PRIOR ACTION	YES	NO
Have you discussed this project with the permit applicant?		✓
Did you discuss the project with the Planning Department permit review planner?		✓
Did you participate in outside mediation on this case? (including Community Boards)		✓

CHANGES MADE TO THE PROJECT AS A RESULT OF MEDIATION

If you have discussed the project with the applicant, planning staff or gone through mediation, please attach a summary of the result, including any changes that were made to the proposed project.

DISCRETIONARY REVIEW REQUEST

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the standards of the Planning Code and the Residential Design Guidelines. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and cite specific sections of the Residential Design Guidelines.

Please see Attachment to Request for Discretionary Review.

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be unreasonably affected, please state who would be affected, and how.

Please see Attachment to Request for Discretionary Review.

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

Please see Attachment to Request for Discretionary Review.

APPLICANT'S AFFIDAVIT

Under penalty of perjury the following declarations are made:

- a) The undersigned is the owner or authorized agent of the owner of this property.
- b) The information presented is true and correct to the best of my knowledge.
- c) Other information or applications may be required.

Judy R Herval
Signature

Owner

415-847-5199

Relationship to Project
(i.e. Owner, Architect, etc.)

Phone

Judy R Herval
Name (Printed)

hherval@skytours.com

Email

APPLICANT'S SITE VISIT CONSENT FORM

I hereby authorize City and County of San Francisco Planning staff to conduct a site visit of this property, making all portions of the interior and exterior accessible.

Judy R Herval
Signature

Date

9/25/18

Judy R Herval
Name (Printed)

For Department Use Only

Application received by Planning Department:

By: _____

Date: _____

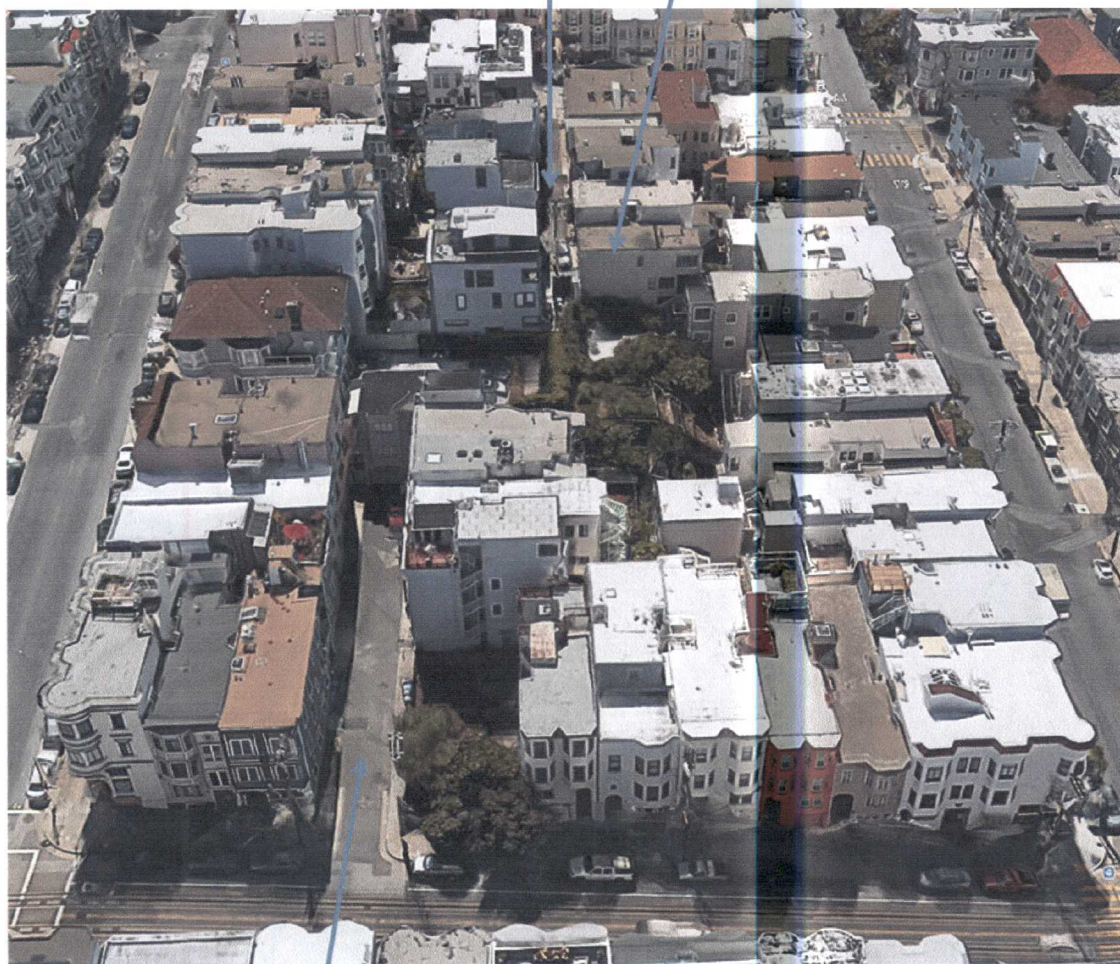
Attachment to Request for Discretionary Review
Building Permit Application No 2017.11.03.3069 / Property Address: 10 - 12 + 2 Aladdin Terrace

- 1. What are the reasons for requesting Discretionary Review? The project meets the standards of the Planning Code and the Residential Design Guidelines. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City’s General Plan or the Planning Codes Priority Policies or Residential Design Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.**

We are very concerned about the negative impact resulting from the vast size and extent of the windows proposed for the project located at 10 and 12 Aladdin Terrace. When compared to the pattern of windows at other buildings throughout the neighborhood, as seen in the image below, the proportions and combined area of the proposed floor-to-ceiling aluminum framed windows and aluminum panels will be aggressively oversizedmore like a commercial exhibition space than a family home. If this project proceeds as planned, nearby residents will experience a loss of privacy and disruptive, negative impacts to the enjoyment their homes.

Aladdin Terrace

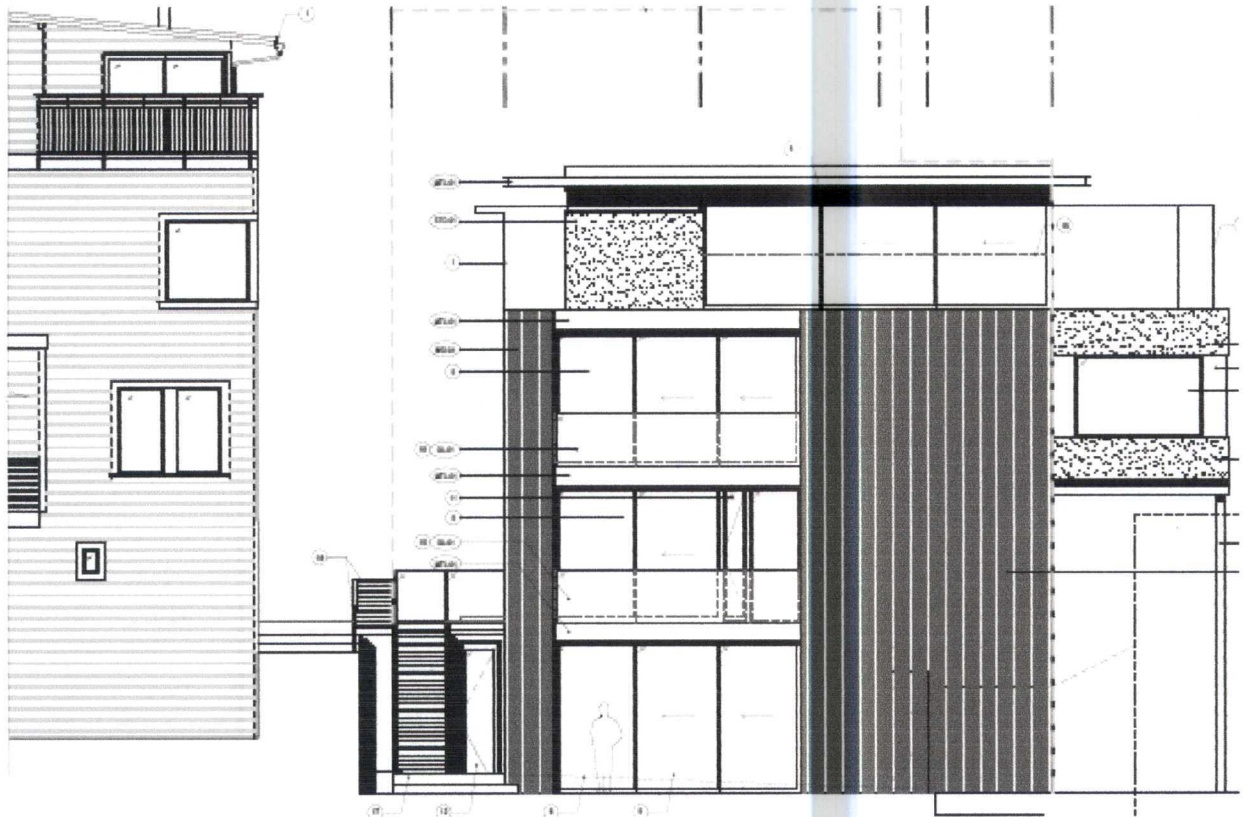
Subject Property at
10 – 12 Aladdin Terrace



Kent Street

Attachment to Request for Discretionary Review
Building Permit Application No 2017.11.03.3069 / Property Address: 10 - 12 + 2 Aladdin Terrace

The drawing below shows an image of the proposed windows at 10 – 12 Aladdin on the right, and existing windows on the building at 1 – 3 Aladdin to the left, on the south side of Aladdin directly across from the subject property. This image illustrates the extreme discrepancy between what has been proposed and typical conditions in the surrounding area.



Existing Building, 1 – 3 Aladdin

Proposed Building, 10 – 12 Aladdin

In addition, the proposed finish materials do not relate well to the other buildings on the block. These windows would occupy a far greater percentage of the surface area than windows at the buildings in the neighborhood. The majority of buildings feature either painted stucco or painted horizontal wood or some sort of composite siding, and many of the ground floors are clad with brick or masonry. The proposed materials: stained vertical wood slats, huge panes of glass with minimal aluminum frames, aluminum panels, and glass guardrails will result in an incongruous and disruptive presence in a very prominent location overlooking the middle of the block at the end the cul-de-sac alley.

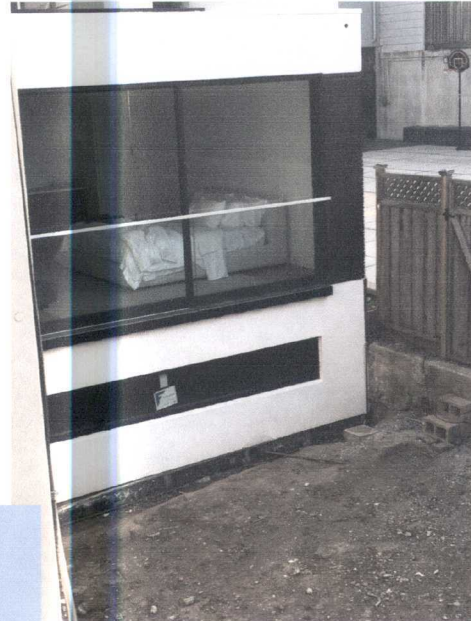
Attachment to Request for Discretionary Review

Building Permit Application No 2017.11.03.3069 / Property Address: 10 - 12 + 2 Aladdin Terrace

Unfortunately, there is already an example of this sort of design on the block, located at 840 Union Street and designed by the same architect who is responsible for the project at 10-12 Aladdin Terrace. Had we understood what the "glazing" was intended to be, how much can be seen inside, and the design discrepancies between it and other buildings in the surrounding neighborhood we would have questioned it for sure. In fact one owner did ask once it was understood the size of proposed windows. He was told the windows would be one way and non-reflective. Had we been aware of the truth of these windows we would have absolutely filed a DR and worked against this becoming a reality for this neighborhood.

840 Union, Bedroom view. You can see from window to the end of the room for two bedrooms, living areas, etc. You can see these windows from Mason Street looking down Kent St.

840 Union, west elevation



We believe that, taken as a whole, the issues discussed above represent the "extraordinary and unusual circumstances that justify Discretionary Review of the project." We looked into the **Residential Design Guidelines** and found many sections that bear specifically upon our DR Request, as noted below.

WHY DO WE HAVE RESIDENTIAL DESIGN GUIDELINES?

The Residential Design Guidelines (Guidelines) articulate expectations regarding the character of the built environment and are intended to promote design that will protect neighborhood character, enhancing the attractiveness and quality of life in the City. The Guidelines address basic principles of urban design that will result in residential development that maintains cohesive neighborhood identity, preserve historic resources, and enhances the unique setting and character of the City and its residential neighborhoods.

SECTION II: NEIGHBORHOOD CHARACTER

DESIGN PRINCIPLE: Design buildings to be responsive to the overall neighborhood context, in order to preserve the existing visual character.

Page 7, NEIGHBORHOOD CONTEXT; Though each building will have its own unique features, proposed projects must be responsive to the overall neighborhood context. A sudden change in the building pattern can be visually disruptive. Development must build on the common rhythms and elements of architectural expression found in a neighborhood. In evaluating a project's compatibility with neighborhood character, the buildings on the same block face are analyzed. However, depending on the issues relevant to a particular project, it may be appropriate to consider a larger context.

Page 10, MIXED VISUAL CHARACTER, GUIDELINE: In areas with a mixed visual character, design buildings to help define, unify and contribute positively to the existing visual context.)

SECTION VI, BUILDING DETAILS,

DESIGN PRINCIPLE: Use architectural details to establish and define a building's character and to visually unify a neighborhood.

Page 43, ARCHITECTURAL DETAILS, GUIDELINE; Design the placement and scale of architectural details to be compatible with the building and the surrounding area.

Page 44, WINDOWS, GUIDELINE: Use windows that contribute to the architectural character of the building and the neighborhood.

Page 45, WINDOW SIZE, GUIDELINE; Relate the proportion and size of windows to that of existing buildings in the neighborhood.

Page 45, WINDOW FEATURES, GUIDELINE; Design window features to be compatible with the building's architectural character, as well as other buildings in the neighborhood.

Page 46, WINDOW MATERIALS, GUIDELINE; Use window materials that are compatible with those found on surrounding buildings, especially on facades visible from the street.

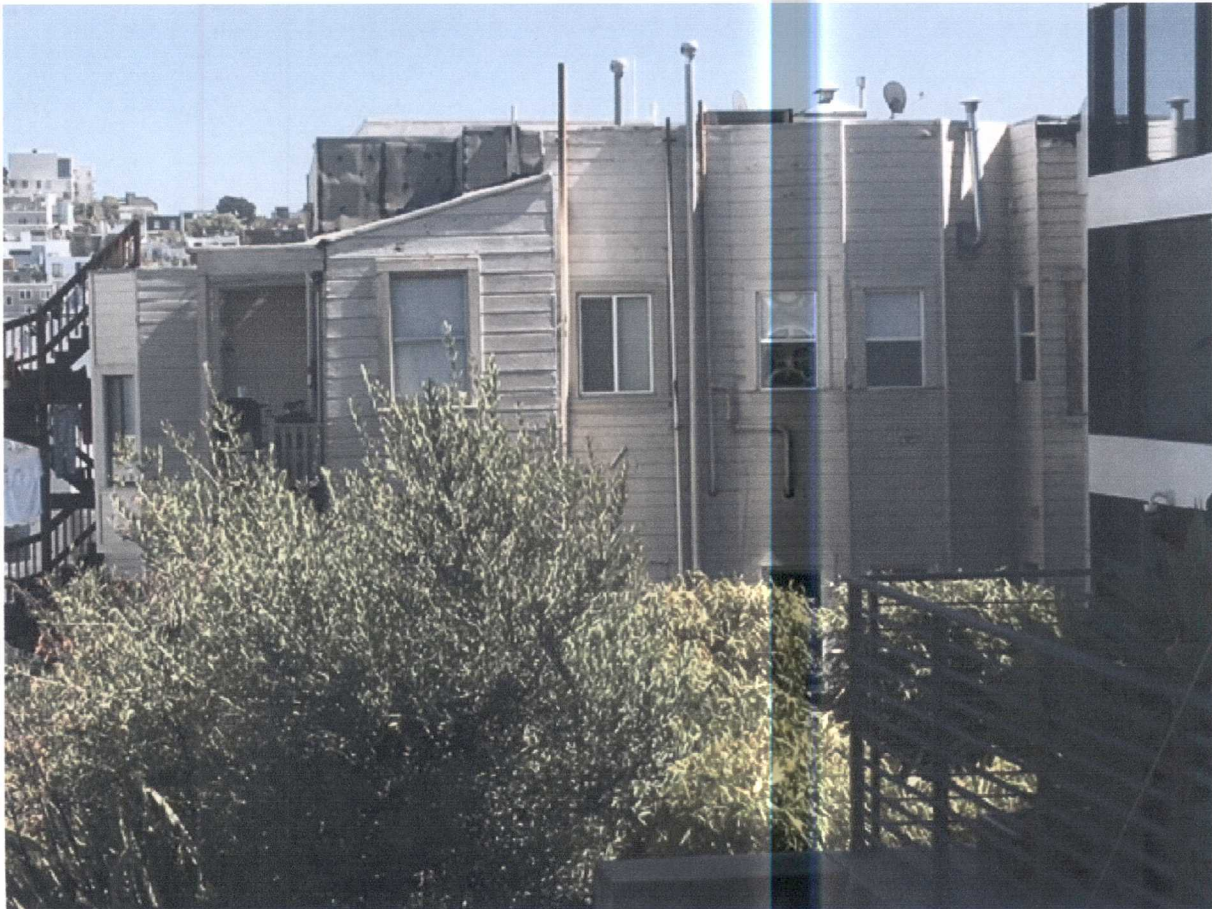
Page 47, EXTERIOR MATERIALS, GUIDELINE; The type, finish, and quality of a building's materials must be compatible with those used in the surrounding area.

Attachment to Request for Discretionary Review

Building Permit Application No 2017.11.03.3069 / Property Address: 10 - 12 + 2 Aladdin Terrace

- 2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be unreasonably affected, please state who would be affected.**

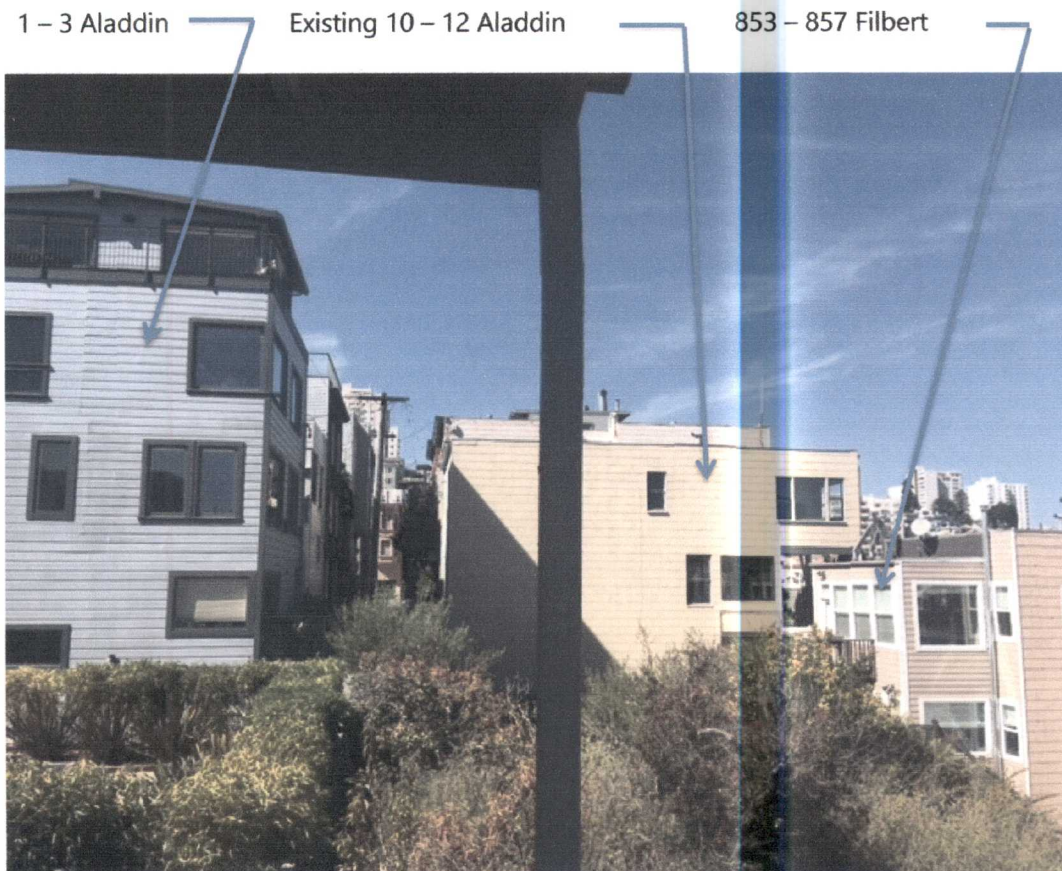
The rear exterior balconies 28 – 34 Kent Street and west facing interior spaces at 28 - 32 Kent Street will have a direct view of the proposed windows on the east side of the project. We are very concerned about feeling voyeuristic and being forced to view the 10 – 12 Aladdin bedrooms, living room, and people, at all times of the day and especially in the evening. They can choose when they want privacy by closing blinds, however, we cannot choose when we don't want to see them. Installation of this type of window should not be allowed. Nearby residents will experience a loss of privacy and negative impacts to the enjoyment our homes and the ability to freely use our deck spaces without being constantly aware of the intrusive windows at 10-12 Aladdin. In addition, the likelihood of reflected sunlight from the extremely large expanse of windows, glass guardrails, and aluminum panels shining into our homes and onto our decks is a serious concern.



West facing elevation of 28 – 34 Kent Street, viewed from street level at 10 – 12 Aladdin Terrace. These windows shown have a direct view at the proposed windows.

Attachment to Request for Discretionary Review
Building Permit Application No 2017.11.03.3069 / Property Address: 10 - 12 + 2 Aladdin Terrace

3. **What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?**



East facing elevations at 1 -3 Aladdin, 10-12 Aladdin, and 853 - 857 Filbert Street,
viewed from Kent Street rear balcony

- a. Require a reduction of the overall area of the proposed windows at 10 - 12 Aladdin, in order to bring them into closer relationship to the size and proportions of existing windows at adjacent building at 1 - 3 Aladdin to the south and 853 - 857 Filbert Street to the north, as shown above.
- b. Require glass to be installed with an anti-glare, non-reflective coating.
- c. Require a neutral tone, non-reflective finish for the proposed aluminum panels.

September 26, 2018

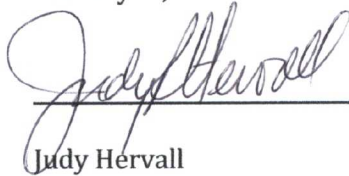
San Francisco Planning Department
City and County of San Francisco
1650 Mission Street, Suite 400
San Francisco, CA 94103

Re: Authorization to file an Application for Discretionary Review for 10- 12 Aladdin Terrace
Building Permit Application No. 2017.11.03.3069

We are the owners of 34 Kent Street and are representing the four owners living there (28, 30, 32 and 34 Kent Street). We are not able to submit our Request for Discretionary Review in person and accordingly, by this letter, we hereby authorize our son/tenant, **Erik Hervall**, to be our agent and submit a Request for Discretionary Review on our behalf.

We have communicated with the owners (email and telephone) and architect (email). It is unfortunate that we did not realize the scope and size of the windows and overly modern design of this building until very recently. Therefore we have had to file this DR and will do our best to work with the owner and architect and neighbors to find a solution prior to a hearing being required.

Thank you,



Judy Hervall



Hakan Hervall

On behalf of 28-34 Kent Street Homeowners' Association

REUBEN, JUNIUS & ROSE, LLP

James Reuben
jreuben@reubenlaw.com

December 5, 2018

Delivered Via Messenger

President Rich Hillis
San Francisco Planning Commission
1650 Mission Street, Suite 400
San Francisco, CA 94103

Re: 10-12 Aladdin Terrace (0100/034A, 035A)
Brief in Opposition to a DR Request
Planning Department Case No. 2017-010924DRP
Hearing Date: December 20, 2018
Our File No.: 8754.02

Dear President Hillis and Commissioners:

Our office represents Ginny Fang and Rene Bihan, the owners (the “**Owners**”) of the property located at 10-12 Aladdin Terrace (“**Property**”). They propose to update their two-unit building to more comfortably house themselves and their three young children, as well as to improve the second unit in the building, which will be shared by the children’s grandparents. The project will renovate and upgrade the existing structure through the construction of a modest vertical and horizontal addition, façade alterations, and interior modifications (“the “**Project**”). The Property is located at the end of Aladdin Terrace, which terminates in the middle of a densely developed block between Taylor and Mason Streets.

A Discretionary Review (“**DR**”) request was filed by the owners of a 4-story multi-unit building that is 100 feet to the east of the Property at 34 Kent Street (the “**DR Requestor**”).

The DR Requestor does not identify any exceptional or extraordinary circumstances that justify taking discretionary review or making modifications to the Project. The DR request should be denied and the Project approved as designed for the following reasons:

- **Privacy.** The DR Requestor claims that the amount of glazing on the eastern façade (facing the DR Requestor’s property) creates a loss of privacy to their units, thus reducing the “ability to freely use [their] deck spaces” (DR application, pg. 5). The Property is over 100 feet away from the DR Requestor and there are at least six other properties with direct views into the DR Requestors property, all of which are closer in distance than the subject Property. Further, this argument is disingenuous. The north façade on DR Requestor’s property contains a large

amount of floor-to-ceiling windows and doors which lead directly to their deck spaces (see photo of north façade in **Exhibit A**). It is readily acknowledged in the Residential Design Guidelines (“**RDG**”) that there will be “some loss of privacy to existing neighboring buildings” due to building expansions and alterations (RDT Guidelines, pg. 17). The Project will not create or contribute to the loss of privacy to the DR Requestor. **See Exhibit B for helpful graphics.**

- **Compatibility with Residential Design Guidelines.** The Project is compatible with the surrounding neighborhood and is consistent with the RDG. The focus and intent of the RDG is with the character of the block face and streetscape facades that are visible from the public right of way. Where there is a mixed visual character, as is present on the subject block, the RDG allows for greater flexibility and opportunity in design (RDG, pgs. 9-10), particularly on nonvisible facades. Here, the façade that the DR Requestor has issue with faces the midblock open space, which is eclectic in building design and materiality. The design is contemporary in nature and draws from the immediately adjacent context, specifically the scale, massing, finishes/materials, and fenestration pattern of 1-3 Aladdin Terrace. This underscores the general policy of allowing more light and air into homes, while acknowledging the mixed nature that often characterizes the design at the rear and interior portions of blocks.
- **Neighborhood Outreach & Support.** The owners have been proactive with outreach to the neighbors, as is evidenced by the 12 letters of support of the Project (see neighbor support map and letters in **Exhibit C**). There were seven meetings with the community and/or members (in addition to the required Pre-Application meeting) and the Project was carefully designed to minimize any potential effects on the adjacent properties. At no time did the DR Requestor contact the owners, architect, or Planning Department staff to discuss their concerns (see acknowledgement in DR Requestor application, attached as **Exhibit D**). The overwhelming support of the Project as designed is evidence of a thoughtful, proactive, and successful outreach process by the owners.

For all of these reasons, no exceptional or extraordinary circumstances have been established that would justify the exercise of discretionary review and modification of the Project. We respectfully request that you approve the Project as proposed.

A. Property Description & Context

The Property is located on the north side of Aladdin Terrace between Taylor and Mason Streets, a block-and-half to the west from Washington Square Park in the North Beach neighborhood. Aladdin Terrace is accessed from Taylor Street and is a 16-foot wide “street” that narrows to 8.5 feet approximately halfway into the block. Aladdin Terrace terminates down to a deeply sloping open area which is the rear yards of adjacent properties and serves as the open space for the block.



This block is densely developed, with the majority of the buildings on the block rising 3 to 4 stories high, including the DR Requestor’s property. The block is composed of lots with irregular shapes and sizes. There are two small ‘streets’ – Aladdin Terrace and Kent Street – both of which have properties that create irregular-shaped lots in the midblock area. Many buildings are multi-unit residential structures, there is a large parking pad/hardscape area to the southeast of the Property.



The Property consists of two small lots located at the end of Aladdin Terrace, both of which abut properties facing Filbert Street. The lots are 23 by 58.75 feet (1,350 s/f; lot 034A) and 23 by 35.6 feet (814 s/f; lot 035A) respectively, and will be merged into one parcel. The western lot (034A) is improved with a three-story, 2,578 gross square foot two unit home that was constructed in 1907 and is 55-feet 5-inches deep. The structure is setback approximately 7'-6" from the front property line and has a stairs leading down to the lower unit and second lot. The eastern lot (035A) has a small garden structure in the northeast corner; the remainder is open space with landscaping.

B. Project Description

The Project will renovate and upgrade the existing structure through the construction of a modest vertical and horizontal addition, façade alterations, and interior modifications. The two units will be expanded, each consisting multiple floors, with the upper unit being altered into a larger family-sized unit. There will be a net increase of one bedroom and additional flex room to accommodate the owners' family. The updated open floorplan will create a cohesive space that can accommodate the family.

The Project proposes to horizontally expand the northern side of the existing structure, resulting in a regularized building envelope at the rear, as well as the construction of a partial fourth floor vertical addition. The primary façade will be renovated with new vertical wood siding and black anodized aluminum windows. The front setback will be landscaped and feature a new platform and stairway down to the second unit and side yard. There will be a 535 s/f fourth floor addition clad in stucco with black anodized aluminum windows. The rear and side (eastern) facades feature horizontal siding and black anodized aluminum windows.

In terms of massing, there will be no change in height at the front façade along Aladdin Terrace (20'-6" tall). The fourth floor addition is 9'-4" in height, for a total of 29.9' in height from the curb on Aladdin Terrace. The fourth floor will be setback 4 feet from the front façade (11'-6" from the property line on Aladdin Terrace), in keeping with the pattern of upper story setbacks in the neighborhood. Note that the lower level floor will extend 11' below the curb level (which is downslope). The fourth floor addition will also provide a 7' by 3' light well that substantially mirrors the western neighbor's light well. The merged lot/new side-yard fronting the mid-block open space will be renovated into usable open space. There will be a one-story, 100-square foot studio structure constructed in the northeast corner of the lower lot. The remainder of the Property will remain open space. All of these features will significantly increase the amount of functional open space that can be utilized by the owners of the Property.

C. Neighborhood Outreach & Design Modifications

The Owners have spent a considerable amount of time and effort meeting with the neighbors to listen to any concerns and modify the Project based on their concerns. In addition to the required Pre-Application meeting, they conducted over seven meetings with the immediate neighbors, as well as had meetings and follow up correspondence with representatives from the Russian Hill Community Association. Based on the feedback provided, the Project was revised to

eliminate a proposed large roof deck on the fourth floor. Importantly, the Project was revised so that it was Code-complying and would not require any variances. Below is an itemized list of meetings the owners held with the neighbors and community:

- August 4, 2017: Meeting with Chris Bigelow (22 Aladdin)
- August 30, 2017: Meeting with Russ Taplin (1 Aladdin) & Riaz Taplin (1930 Taylor)
- October 16, 2017: Formal Pre-Application Meeting
- November 15, 2017: Email/Telephone call with Patrick McKenna (1926 Taylor Street)
- November 16, 2017: Meeting with Steve & Babette Pinsky (17 Aladdin)
- November 22, 2017: Email/Telephone call with Danny Merchant (870 Union)
- December 5, 2017: Meeting with Chris Bigelow (22 Aladdin)
- September 14, 2018: Meeting with Ken Tataro (864 Union) & Chris Bigelow (22 Aladdin)
- September 24, 2018: Meeting with Chris Bigelow (22 Aladdin)
- October 19, 2018: Meeting with DR requestor Kathleen Courtney & David Winslow, Planning staff

Throughout this process, the Owners have continued to communicate with the neighbors, providing answers to individual questions and agreeing to additional meetings. The development of the Project design demonstrates the Owners willingness to be flexible and work with the neighborhood.

D. Reponses to DR Requestor Concerns

The DR Requestor raised two concerns about the Project, both of which are discussed below.

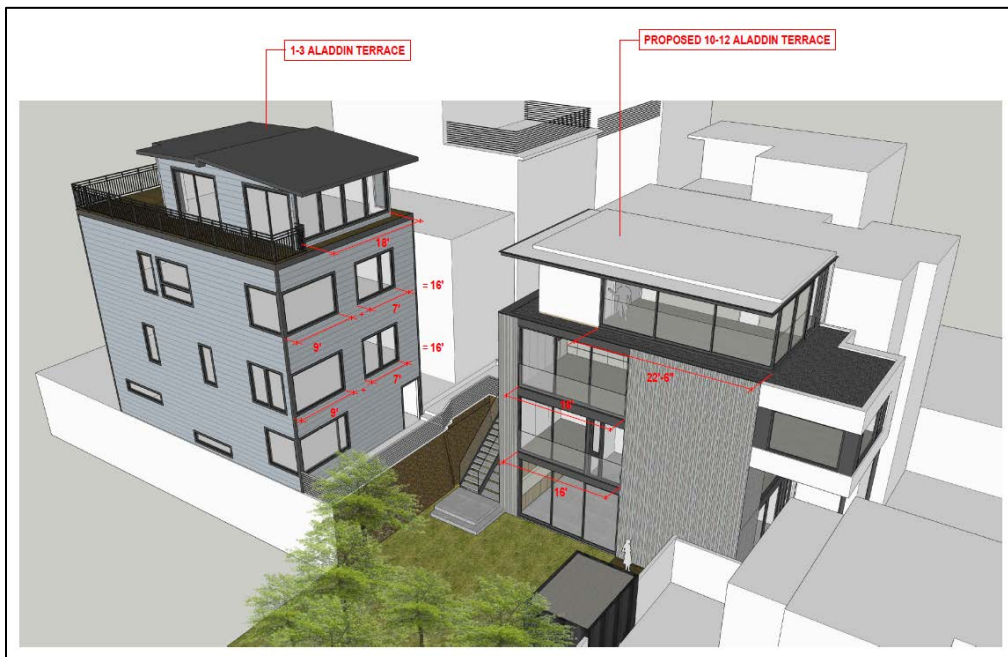
1. *The eastern façade's window openings and materials do not fit with the neighborhood context*

The DR Requestor asserts that the Project's eastern façade – the one facing the DR Requestor's property – features window openings and finish materials that are not compatible with the neighborhood. The DR Requestor singles out one façade – facing their property – and does

not take into account the true nature of the surrounding context, including the large windows on their building.

The Project is compatible with the surrounding neighborhood and is consistent with the RDG. The focus and intent of the RDG is with the character of the block face and streetscape facades that are visible from the public right of way. Where there is a mixed visual character, as is present on the subject block, the RDG allows for greater flexibility and opportunity in design (RDG, pgs. 9-10). On facades that are not visible from the public right of way (i.e., side and rear facades), the RDG does look to make sure the massing and open spaces are consistent.

Here, the façade that the DR Requestor has issue with faces the midblock open space. The facades of other buildings that face the mid-block open space do not have a strong or consistent character – it is highly varied. With that in mind, the proposed design still endeavors to draw heavily from the best of the immediately adjacent context, specifically, the scale, massing, proportions, finishes/materials, tonal qualities, and window openings and sizes of 1-3 Aladdin Terrace, which is directly across from the Property. The image below shows how the Project relates to the adjacent fenestration pattern at 1-3 Aladdin Terrace:



The window openings at 1-3 Aladdin Terrace measure (+/-) 16'-0" at the second floor, (+/-) 16'-0" at the third floor and (+/-) 18'-0" at the fourth floor. The Project itself features window openings that are 16 feet wide on the first through third floor, and 22 feet on the recessed fourth floor.

Ironically, the DR Requestors northern façade directly facing the mid-block open space consists of eight glass slider/French doors measuring (+/-) 24'-0", each of which extend floor to ceiling:



It is understood and generally accepted that in an urban environment the façade facing the mid-block open space is often the most appropriate location for additional and/or larger windows, as this the most appropriate location for bringing in much needed light to the interior environment. The Property in particular has a specific need for greater natural light at the eastern elevation facing the mid-block open space, as the front façade faces Aladdin Terrace, which narrows to seven feet in front of the Property. Further, the properties that abut the Property at the rear (facing Filbert Street), in particular 853-857 Filbert, extend along the northern side of the Property, blocking light and air. The eastern façade provides the only opportunity to allow a significant amount of light and air into the building. Despite this, the window openings have been reduced to a size that minimizes impacts to the neighbors while allowing light into the home.



There are many examples of rear additions and modifications to residential structures throughout the City where contemporary design has been approved, many with large window openings. **Exhibit E** provides examples of approved (and constructed) additions and/or modifications at the rear of residences that have large windows, many of which are bigger than what is proposed with the Project. This underscores the general policy of allowing more light and air into homes, while acknowledging the mixed nature that often characterizes the design at the rear and interior portions of blocks.

Lastly, the DR Requestor states that the materials, in particular, the aluminum panels, are not compatible with the materials found on other buildings. The DR Requestor states that the “majority of buildings feature either painted stucco or painted horizontal wood or some sort of composite siding” (DR application, pg. 2). A review of the materials to be used at the Project shows that the predominant material used is wood siding. It is not horizontally clad but will be vertically clad. The aluminum panels are used as headers between the three floors and only in discrete areas where the window openings are located. Other materials include stucco siding, which will be on the fourth floor addition. The Project has been purposefully designed to be contemporary in nature, while incorporating the existing fenestration patterns, massing, and materials that are present on the older buildings. The RDG encourages the use of details and features that have a “common theme” in the neighborhood (RDG, pg. 43), which the Project does.

The Project as proposed will allow light and air into the home. It has been sensitively designed to take into account the conditions of the adjacent properties and context. More importantly, it is compatible with the surrounding neighborhood and is consistent with the RDG.

2. There will be a lack of privacy from the window openings on the eastern facade

The DR Requestor claims that the amount of glazing on the eastern façade – facing the DR Requestor’s property – creates a loss of privacy to their units, thus reducing the “ability to freely use [their] deck spaces” (DR application, pg. 5). The Property is over 100 feet away from the DR

Requestor and there are at least six other properties with direct views into the DR Requestors property, all of which are closer in distance than the subject Property.



There are no direct sightlines between the DR Requestor and the DR Requestor's northern façade.

Further, this argument is disingenuous. The north façade on DR Requestor's property contains a large amount of floor-to-ceiling windows and doors which lead directly to their deck spaces (see image of north façade above). It is readily acknowledged in the RDG that there will be "some loss of privacy to existing neighboring buildings" due to building expansions and alterations (RDT Guidelines, pg. 17). The Project will not create or contribute to the loss of privacy to the DR Requestor.

E. Conclusion

The DR Requestor has failed to establish exceptional or extraordinary circumstances that would justify the exercise of discretionary review and further modification of the Project. The Owners have demonstrated their willingness to work with the neighbors to design a project that is compatible with the existing neighborhood. The current design is sensitive to the surrounding context, including access to light and air, privacy, massing, and the effect on the midblock open space. Because the DR Requestor has not established any exceptional or extraordinary

circumstances, we respectfully ask that the Planning Commission deny the request for discretionary review and approve the Project as proposed. Thank you for your consideration.

Very truly yours,

REUBEN, JUNIUS & ROSE, LLP



James Reuben

Enclosures

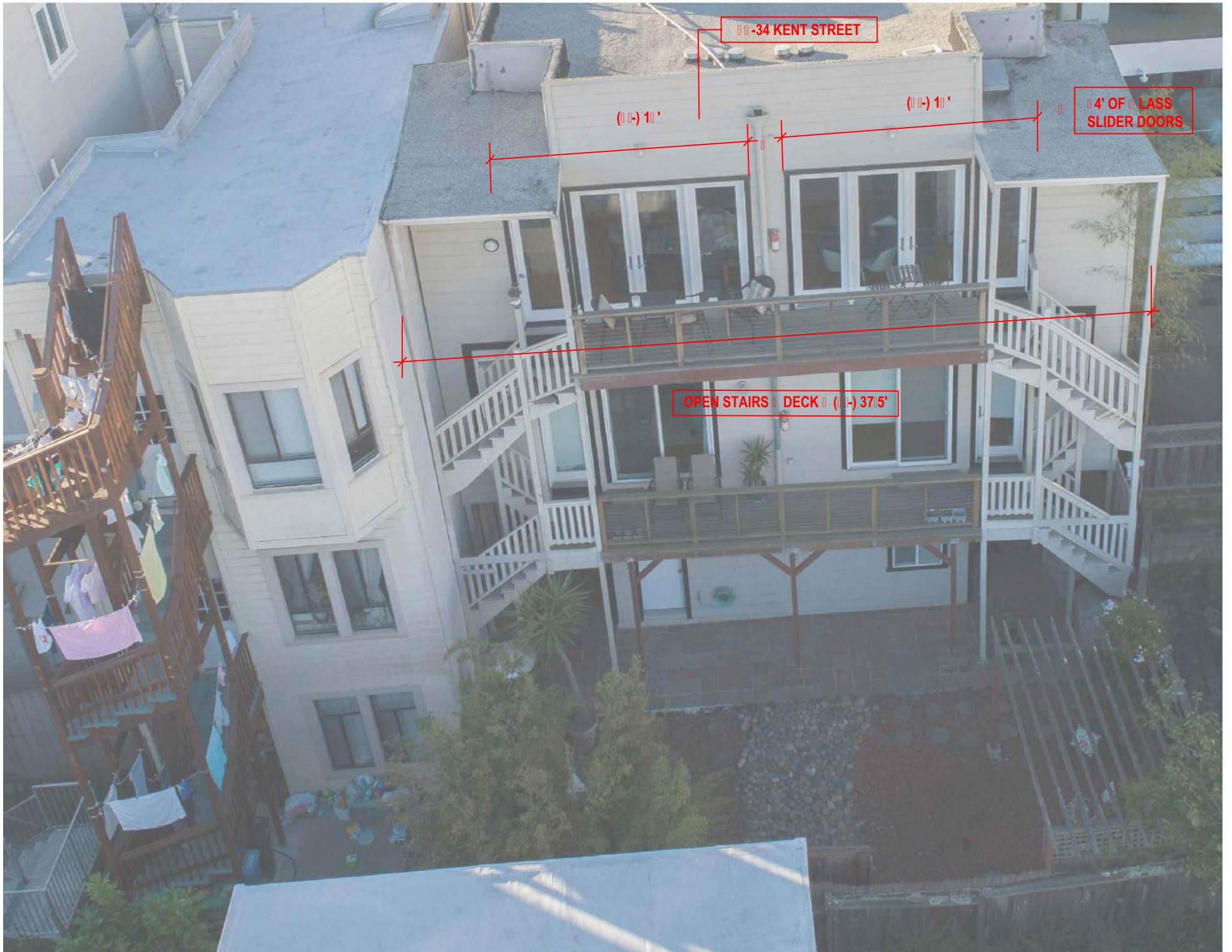
cc: Vice President Myrna Melgar
Commissioner Rodney Fong
Commissioner Milicent Johnson
Commissioner Joel Koppel
Commissioner Kathrin Moore
Commissioner Dennis Richards
John Rahaim – Planning Director
Jonas Ionin – Commission Secretary
David Winslow – DR Planner

List of Exhibits

10-12 ALADDIN TERRACE: DR OPPOSITION BRIEF

- Exhibit A.....Photograph of Northern Façade of DR Requestor’s Property
- Exhibit B..... Sightline & Proximity Images from Subject Property to DR Requestor’s Property
- Exhibit C.....Locational Map and Letter of Support
- Exhibit D..... DR Application, page 4
- Exhibit E..... Examples of Rear Building Designs in San Francisco

Exhibit A



-34 KENT STREET

(11-) 10'

(11-) 10'

4' OF GLASS SLIDER DOORS

OPEN STAIRS DECK (11-) 37.5'

Exhibit B



Site Proposed 10-10 Addition

MID-BLOCK OPEN SPACE

(0-0) 115'

(0-0) 100'

9 (0-0)

PRIMAR OUTLINED

PRIMAR OUTLINED

DRR 34 K Street



Secondary Project 10-1 Address Title

DRR 34 K Street

Primary Outline

Primary Outline



DR R... n 34 K... S...

PRIMAR... OUTLINE

S... Pr... 10-1... A... T...

PRIMAR... OUTLINE



DR R...

S...

PRIMAR...

PRIMAR...

Exhibit C



FILBERT STREET

855-857 Filbert (1 letter of support)

847-849 Filbert (1 letter of support)

MID-BLOCK OPEN SPACE

Subject Property: 10-12 + 2 Aladdin Terrace

15-17 Aladdin (1 letter of support)

870-874 Union (4 letters of support)

33-35 Aladdin (1 letter of support)

ALADDIN TERRACE

KENT STREET

DR Requestor: 34 Kent Street

840 Union (1 letter of support)

1-3 Aladdin (1 letter of support)

1926-1930 Taylor (2 letters of support)

UNION STREET

- - Subject Property: 10-12 Aladdin Terrace - - DR Requestor: 34 Kent Street - - Mid-Block Open Space

15 October 2018

San Francisco Planning Department
City and County of San Francisco
1650 Mission Street, Suite 400
San Francisco, CA 94103

Subject: 10-12 Aladdin Terrace & 2 Aladdin Terrace – Proposed Project

Dear Planning Department,

The purpose of this letter is to formally voice my support for the proposed project located at 10-12 Aladdin Terrace & 2 Aladdin Terrace, based on the Site Permit/311 Notification Set of Drawings created by Dumican Mosey Architects, dated 13 June 2018. I feel that the Owner and Architect have done a very good job of developing a high quality project on a challenging property, in a modern yet contextually compatible manner. This project will be a significant improvement to the neighborhood.

To reiterate, I am in full support of the proposed project.

Sincerely,

A handwritten signature in black ink, appearing to read 'Brent Gullixson', written over a light blue horizontal line.

Brent Gullixson
Owner
840 Union Street
San Francisco, CA 94133

15 October 2018

San Francisco Planning Department
City and County of San Francisco
1650 Mission Street, Suite 400
San Francisco, CA 94103

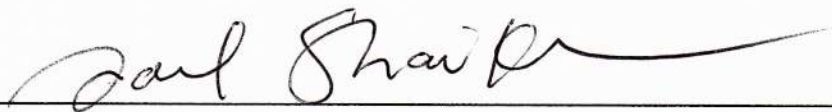
Subject: 10-12 Aladdin Terrace & 2 Aladdin Terrace - Proposed Project

Dear Planning Department,

The purpose of this letter is to formally voice my support for the proposed project located at 10-12 Aladdin Terrace & 2 Aladdin Terrace, based on the Site Permit/311 Notification Set of Drawings created by Dumican Mosey Architects, dated 13 June 2018. I feel that the Owner and Architect have done a very good job of developing a high quality project on a challenging property, in a modern yet contextually compatible manner. This project will be a significant improvement to the neighborhood.

To reiterate, I am in full support of the proposed project.

Sincerely,



Signature:

Adil Shaikh

10/16/2018

(Print) Name:

Date:

847-849 Filbert Street

(Print) Address:

1 September 2017

San Francisco Planning Department
City and County of San Francisco
1650 Mission Street, Suite 400
San Francisco, CA 94103


Subject: 10-12 Aladdin Terrace & 2 Aladdin Terrace – Proposed Project

Dear Planning Department,

The purpose of this letter is to formally voice my support for the proposed project located at 10-12 Aladdin Terrace & 2 Aladdin Terrace, based on the Environmental Evaluation Set of Drawings created by Dumican Mosey Architects, dated 31 July 2017. I feel that the Owner and Architect have done a very good job of developing a high quality project on a challenging property, in a modern yet contextually compatible manner. This project will be a significant improvement to the neighborhood.

To reiterate, I am in full support of the proposed project.

Sincerely,

DocuSigned by:

597A928051D045F...

Signature:

Riaz Taplin

(Print) Name:

Date: 9/1/2017

1930 Taylor Street

(Print) Address:

1 September 2017

San Francisco Planning Department
City and County of San Francisco
1650 Mission Street, Suite 400
San Francisco, CA 94103

Subject: 10-12 Aladdin Terrace & 2 Aladdin Terrace – Proposed Project

Dear Planning Department,

The purpose of this letter is to formally voice my support for the proposed project located at 10-12 Aladdin Terrace & 2 Aladdin Terrace, based on the Environmental Evaluation Set of Drawings created by Dumican Mosey Architects, dated 31 July 2017. I feel that the Owner and Architect have done a very good job of developing a high quality project on a challenging property, in a modern yet contextually compatible manner. This project will be a significant improvement to the neighborhood.

To reiterate, I am in full support of the proposed project.


Sincerely,

Signature:

Russ Taplin

(Print) Name:

Date: 9/1/2017

1-3 Aladdin Terrace

(Print) Address:

3 November 2017

San Francisco Planning Department
City and County of San Francisco
1650 Mission Street, Suite 400
San Francisco, CA 94103

Subject: 10-12 Aladdin Terrace & 2 Aladdin Terrace – Proposed Project

Dear Planning Department,

The purpose of this letter is to formally voice my support for the proposed project located at 10-12 Aladdin Terrace & 2 Aladdin Terrace, based on the Pre-Application/Community Outreach Set of Drawings created by Dumican Mosey Architects, dated 16 October 2017. I feel that the Owner and Architect have done a very good job of developing a high quality project on a challenging property, in a modern yet contextually compatible manner. This project will be a significant improvement to the neighborhood.

To reiterate, I am in full support of the proposed project.

Sincerely,



Signature:

Patrick McKenna

November 3, 2017

(Print) Name:

Date:

1926 Taylor Street, San Francisco CA 94133

(Print) Address:

17 November 2017

San Francisco Planning Department
City and County of San Francisco
1650 Mission Street, Suite 400
San Francisco, CA 94103

Subject: 10-12 Aladdin Terrace & 2 Aladdin Terrace – Proposed Project

Dear Planning Department,

The purpose of this letter is to formally voice my support for the proposed project located at 10-12 Aladdin Terrace & 2 Aladdin Terrace, based on the Pre-Application/Community Outreach Set of Drawings created by Dumican Mosey Architects, dated 16 October 2017. I feel that the Owner and Architect have done a very good job of developing a high quality project on a challenging property, in a modern yet contextually compatible manner. This project will be a significant improvement to the neighborhood.

To reiterate, I am in full support of the proposed project.

Sincerely,

DocuSigned by:

B75559380FBA442...

Signature:

Steven Pinsky

1/9/2018

(Print) Name:

Date:

17 Aladdin Terrace San Francisco, CA 94133

(Print) Address:

22 September 2017

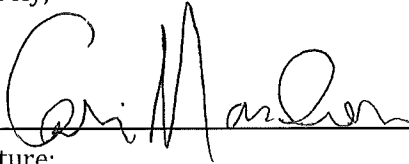
San Francisco Planning Department
City and County of San Francisco
1650 Mission Street, Suite 400
San Francisco, CA 94103

Subject: 10-12 Aladdin Terrace & 2 Aladdin Terrace – Proposed Project

Dear Planning Department,

- 1 The purpose of this letter is to formally voice my support for the proposed project located at 10-12 Aladdin Terrace & 2 Aladdin Terrace, based on the Pre-Application/Community Outreach Set of Drawings created by Dumican Mosey Architects, dated 16 October 2017. I feel that the Owner and Architect have done a very good job of developing a high quality project on a challenging property, in a modern yet contextually compatible manner. This project will be a significant improvement to the neighborhood.
- 2
- 3
- 4 To reiterate, I am in full support of the proposed project.

Sincerely,



Signature:

COLIN MARZOCCHI

(Print) Name:

10/9/17

Date:

872A UNION ST. (ENTRANCE ON ALADDIN)

(Print) Address:

17 November 2017

San Francisco Planning Department
City and County of San Francisco
1650 Mission Street, Suite 400
San Francisco, CA 94103

Subject: 10-12 Aladdin Terrace & 2 Aladdin Terrace – Proposed Project

To the Planning Department,

The purpose of this letter is to formally voice our support for the proposed project located at 10-12 Aladdin Terrace & 2 Aladdin Terrace, based on the Pre-Application/Community Outreach Set of Drawings created by Dumican Mosey Architects, dated 16 October 2017. We feel that the Owner and Architect have done a very good job of developing a high quality project on a challenging property, in a modern yet contextually compatible manner. This project will be a significant improvement to the neighborhood.

To reiterate, we are in full support of the proposed project.

Sincerely,



Signature:

Andrew Astor and Lisa Bayne Astor
(Print) Name:

11/17/17
Date:

33-35 Aladdin Terrace, San Francisco, CA 94133
(Print) Address:

22 September 2017

San Francisco Planning Department
City and County of San Francisco
1650 Mission Street, Suite 400
San Francisco, CA 94103

Subject: 10-12 Aladdin Terrace & 2 Aladdin Terrace - Proposed Project

Dear Planning Department,

- 1 The purpose of this letter is to formally voice my support for the proposed project located at 10-12 Aladdin Terrace & 2 Aladdin Terrace, based on the Pre-Application/Community Outreach Set of Drawings created by Dumican Mosey Architects, dated 16 October 2017. I feel that the Owner and Architect have done a very good job of developing a high quality project on a challenging property, in a modern yet contextually compatible manner. This project will be a significant improvement to the neighborhood.

2

3

- 4 To reiterate, I am in full support of the proposed project.

Sincerely,



Signature:

BRENT TAM

(Print) Name:

10/9/17

Date:

870 UNION ST. SAN FRANCISCO, CA 94133

(Print) Address:

22 September 2017

San Francisco Planning Department
City and County of San Francisco
1650 Mission Street, Suite 400
San Francisco, CA 94103

Subject: 10-12 Aladdin Terrace & 2 Aladdin Terrace - Proposed Project

Dear Planning Department,

- 1 The purpose of this letter is to formally voice my support for the proposed project located at 10-12 Aladdin Terrace & 2 Aladdin Terrace, based on the Pre-Application/Community Outreach Set of Drawings created by Dumican Mosey Architects, dated 16 October 2017. I feel that the Owner and Architect have done a very good job of developing a high quality project on a challenging property, in a modern yet contextually compatible manner. This project will be a significant improvement to the neighborhood.

2

3

- 4 To reiterate, I am in full support of the proposed project.

Sincerely,



Signature:

Daniel Merchant

(Print) Name:

10/7/17

Date:

872 Union St. San Francisco, CA 94133

(Print) Address:

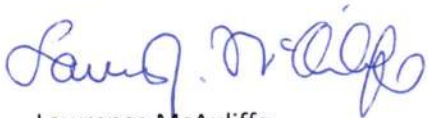
December 18, 2017

San Francisco Planning Department
City and County of San Francisco
1650 Mission St, Suite 400
San Francisco, CA 94103

To Whom It May Concern,

I am one of the owners of 855 and 857 Filbert St. 2 Aladdin Terrace is adjacent to our rear yard. I support the proposed project at 10-12 Aladdin Terrace and 2 Aladdin Terrace, based on the Pre-Application/Community Outreach Set of Drawings by Dumican Mosey Architects, dated 16 October 2017.

Sincerely,



Lawrence McAuliffe

22 September 2017

San Francisco Planning Department
City and County of San Francisco
1650 Mission Street, Suite 400
San Francisco, CA 94103

Subject: 10-12 Aladdin Terrace & 2 Aladdin Terrace - Proposed Project

Dear Planning Department,

- 1 The purpose of this letter is to formally voice my support for the proposed project located at 10-12 Aladdin Terrace & 2 Aladdin Terrace, based on the Pre-Application/Community Outreach Set of Drawings created by Dumican Mosey Architects, dated 16 October 2017. I feel that the Owner and Architect have done a very good job of developing a high quality project on a challenging property, in a modern yet contextually compatible manner. This project will be a significant improvement to the neighborhood.
- 2
- 3
- 4 To reiterate, I am in full support of the proposed project.

Sincerely,


Signature:

KATHRYN SIMPSON
(Print) Name:

10/9/17
Date:

870 UNION STREET, SAN FRANCISCO CA
(Print) Address:

Exhibit D

ACTIONS PRIOR TO A DISCRETIONARY REVIEW REQUEST

In reviewing applications for Certificate of Appropriateness the Historic Preservation Commission, Department staff, Board of Appeals and/or Board of Supervisors, and the Planning Commission shall be governed by *The Secretary of the Interior's Standards for the Treatment of Historic Properties* pursuant to Section 1006.6 of the Planning Code. Please respond to each statement completely (Note: Attach continuation sheets, if necessary). Give reasons as to *how* and *why* the project meets the ten Standards rather than merely concluding that it does so. IF A GIVEN REQUIREMENT DOES NOT APPLY TO YOUR PROJECT, EXPLAIN WHY IT DOES NOT.

PRIOR ACTION	YES	NO
<u>Have you discussed this project with the permit applicant?</u>		<input checked="" type="checkbox"/>
<u>Did you discuss the project with the Planning Department permit review planner?</u>		<input checked="" type="checkbox"/>
<u>Did you participate in outside mediation on this case? (including Community Boards)</u>		<input checked="" type="checkbox"/>

CHANGES MADE TO THE PROJECT AS A RESULT OF MEDIATION

If you have discussed the project with the applicant, planning staff or gone through mediation, please attach a summary of the result, including any changes that were made to the proposed project.

Exhibit E



ALAMO SQUARE



HAIGHT - ASHBURY



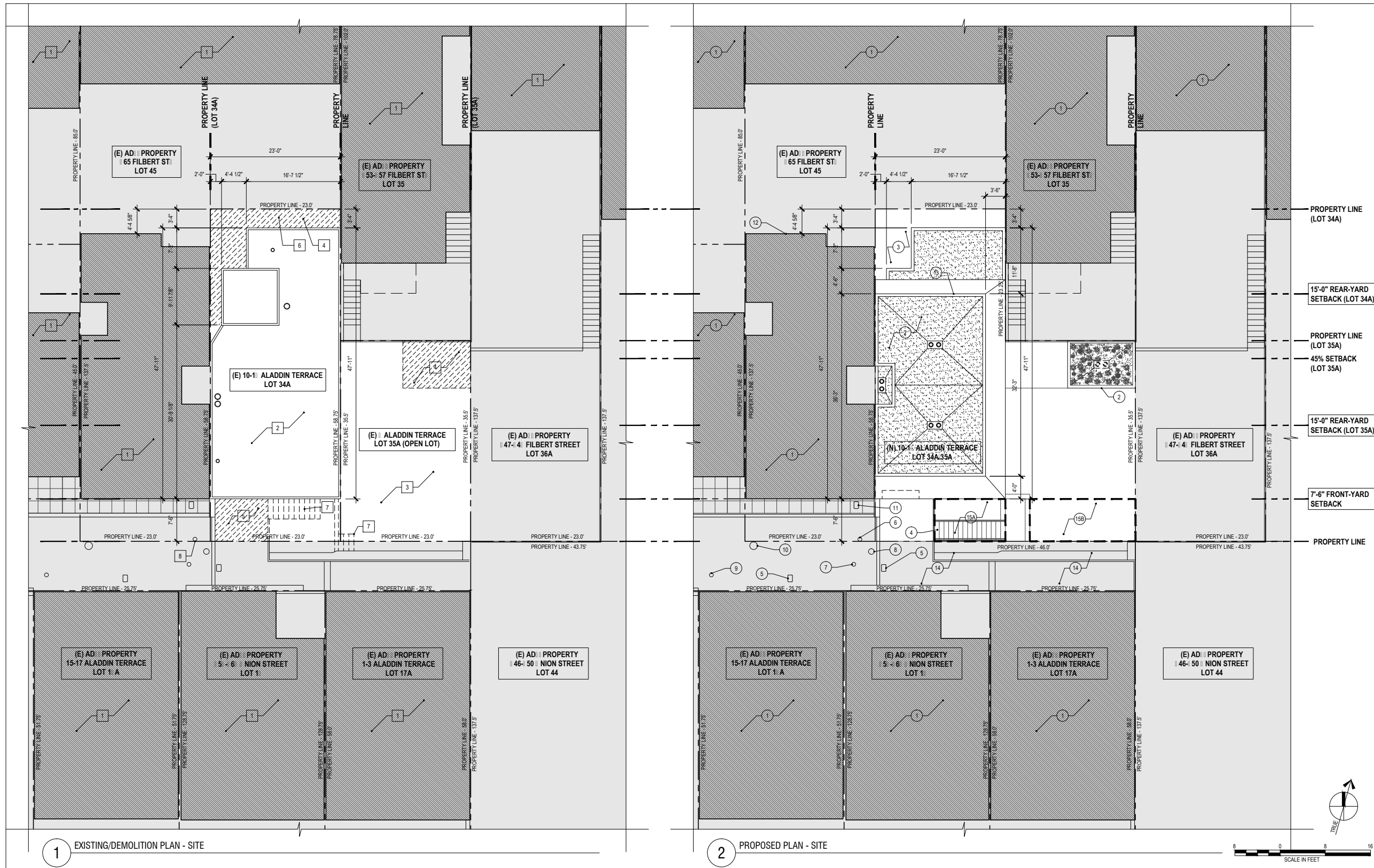
NOE VALLEY



COW HOLLOW



RUSSIAN HILL



10-12 + 2 ALADDIN TERRACE

SAN FRANCISCO, CA 94133

DUMICAN MOSEY
ARCHITECTS

128 10th street, 3rd floor
san francisco, california 94103
t: 415.495.9322 f: 415.651.9290

Issue	Date
ENVIRONMENTAL EVALUATION SET	07.31.17
PRE-APPLICATION REVIEW SET	08.14.17
PRE-APPLICATION / COMMUNITY OUTREACH	10.16.17
SITE PERMIT / 311 NOTIFICATION SET	10.17.17
1 SITE PERMIT / 311 NOTIFICATION SET	12.20.17
2 SITE PERMIT / 311 SET NODPR#1 RESPONSES	03.12.18
3 SITE PERMIT / 311 SET REVISIONS	06.13.18

Drawing Title

GENERAL NOTES - EXISTING & PROPOSED SITE PLAN	SHEET NOTES - DEMOLITION SITE PLAN	SHEET NOTES - PROPOSED SITE PLAN	SHEET NOTES - PROPOSED SITE PLAN
<p>1. NOT ALL KEY NOTES ARE USED ON EVERY SHEET</p> <p>2. DIMENSIONS ARE FACE OF FINISH TO FACE OF FINISH, TYP. U.O.N.</p> <p>3. REFER TO ADDITIONAL SHEETS FOR PLANNING CODE 317 DEMOLITION CALCULATIONS</p> <p>4. THIS SITE PLAN IS GRAPHIC IN-NATURE AND DOES NOT REPRESENT A SURVEY</p>	<p>1 ADJACENT BUILDING, SHOWN FOR REFERENCE ONLY.</p> <p>2 (E) BUILDING, REFER TO DEMOLITION PLANS & ELEVATIONS FOR DEMOLITION SCOPE OF WORK.</p> <p>3 (E) ADJACENT VACANT LOT; REFER TO PROPOSED PLANS FOR SCOPE OF WORK.</p> <p>4 (E) GRADE TO BE REMOVED; EXCAVATE AS REQUIRED TO ACHIEVE PROPOSED DESIGN. REFER TO SHEET A2 FOR ADDL INFO.</p> <p>5 (E) CONCRETE DECK WITHIN PROPERTY; REMOVE & REPLACE AS REQUIRED TO ACHIEVE PROPOSED DESIGN FROM PROPERTY LINE. REFER TO PROPOSED SITE PLAN, FIRST FLOOR PLAN FOR ADDL INFO.</p>	<p>6 REFER TO SHEET A2 FOR ADDL DEMOLITION SCOPE OF WORK AT REAR YARD</p> <p>7 REMOVE (E) EXTERIOR STAIRS; REFER TO DEMOLITION PLANS FOR ADDL INFO.</p> <p>8 (E) SITE UTILITIES TO REMAIN U.O.N.; REFER TO PROPOSED SITE PLAN A1 FOR ADDL INFO.</p>	<p>1 ADJACENT BUILDING, SHOWN FOR REFERENCE ONLY.</p> <p>2 PROPOSED BUILDING; REFER TO PROPOSED PLANS, ELEVATIONS FOR SCOPE OF WORK.</p> <p>3 REFER TO SHEET A2 FOR ADDL PROPOSED SCOPE OF WORK AT REAR YARD</p> <p>4 (N) OPEN RISER EXTERIOR STAIRS; REFER TO PROPOSED N PLANS FOR ADDL INFO.</p> <p>5 (E) WATER METER</p> <p>6 (E) GAS VALVE</p> <p>7 (E) WATER VALVE</p> <p>8 (E) UTILITY POLE</p> <p>9 (E) SANITARY SEWER CLEAN-OUT</p> <p>10 (E) SANITARY SEWER MANHOLE</p> <p>11 (E) TELEPHONE BOX</p> <p>12 BASIS OF REAR YARD SETBACK AVERAGE - EXISTING 20' HIGH WALL OR TWO STORIES, WHICHEVER IS LESS, AND IS 50% OF LOT WIDTH</p> <p>13 LINE INDICATES STEP IN ROOF + BUILDING MASS BELOW</p> <p>14 (E) ACCESS PATH, SITE WALL, & GUARDRAIL ASSEMBLIES TO REMAIN</p> <p>15 (N) PERMEABLE SURFACE WITHIN FRONT YARD SETBACK (50% OF 345 SF FRONT YARD SETBACK AREA = 172.5 SF MINIMUM PERMEABLE AREA REQUIRED; 20% OF 345 SF FRONT YARD SETBACK AREA = 69 SF MINIMUM LANDSCAPED AREA REQUIRED)</p> <p>15A DASHED LINE INDICATES (N) PERMEABLE PAVERS AT WALKWAY AND STAIR 7'-6" x 12'-6" = 93.75 SF SHOWN</p> <p>15B DASHED LINE INDICATES (N) PERMEABLE LANDSCAPING 7'-6" x 18'-8" = 140 SF SHOWN.</p>

EXISTING/DEMOLITION & PROPOSED SITE PLANS

Sheet Number

A1

10-12 + 2 ALADDIN TERRACE

SAN FRANCISCO, CA 94133

DUMICAN MOSEY
ARCHITECTS

128 10th street, 3rd floor
san francisco, california 94103
t: 415.495.9322 f: 415.651.9290

Issue	Date
ENVIRONMENTAL EVALUATION SET	07.31.17
PRE-APPLICATION REVIEW SET	08.14.17
PRE-APPLICATION / COMMUNITY OUTREACH	10.16.17
SITE PERMIT / 311 NOTIFICATION SET	10.17.17
SITE PERMIT / 311 NOTIFICATION SET	12.20.17
SITE PERMIT / 311 SET NODPR#1 RESPONSES	03.12.18
SITE PERMIT / 311 SET REVISIONS	06.13.18

Drawing Title

EXISTING/DEMOLITION & PROPOSED PLANS FLOOR 1

Sheet Number

A2

GENERAL NOTES - EXISTING/DEMOLITION & PROPOSED PLANS

- REF. S-SERIES FOR STRUCTURAL INFO. TYP.
- NOT ALL KEY NOTES ARE USED ON EVERY SHEET
- ALL DIMENSIONS ARE TO F.O. FINISH; TYP.; U.O.N.

PLAN LEGEND

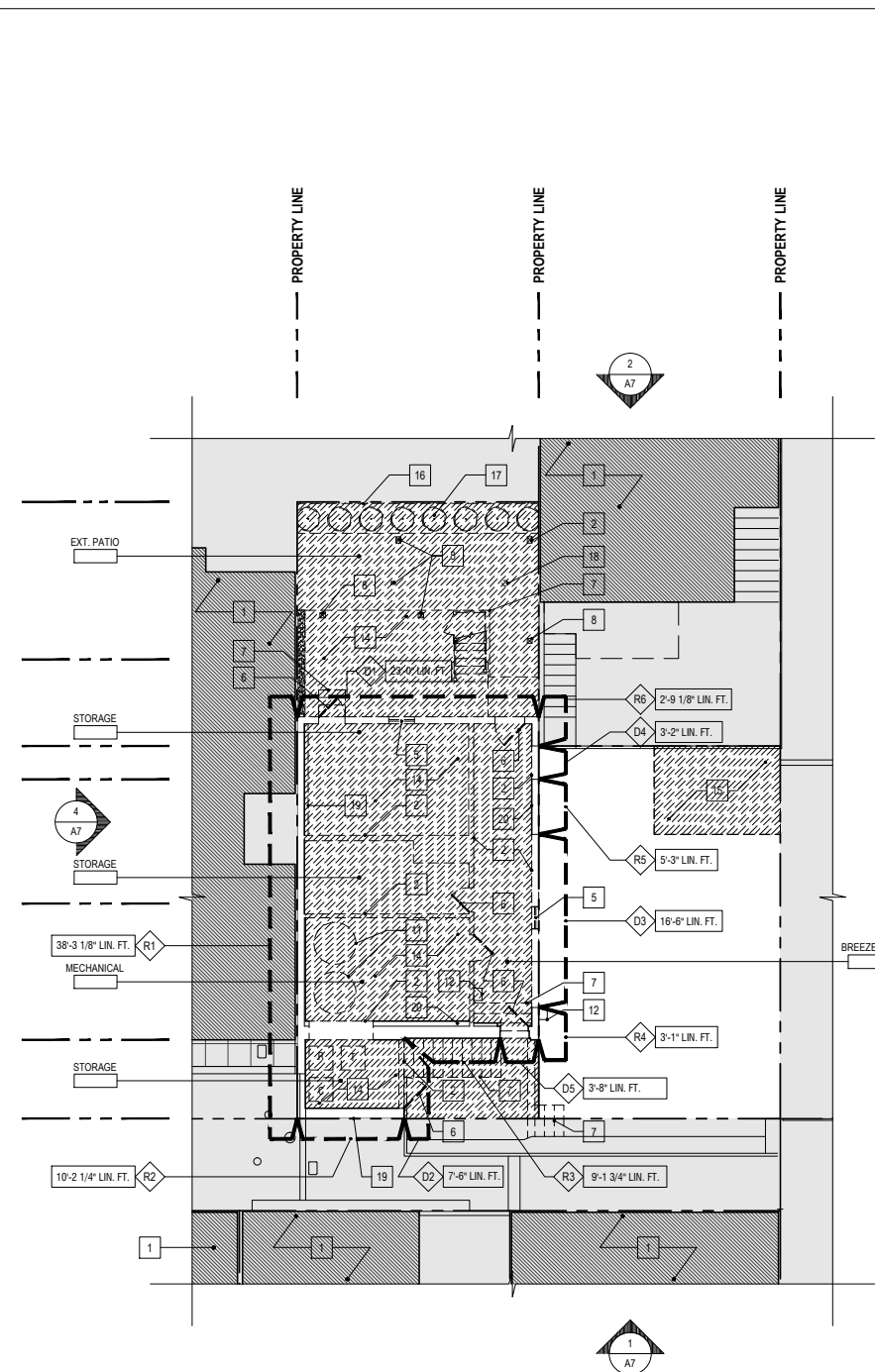
- 1-HOUR FIRE-RATED CONSTRUCTION
- NEW PARTITION
- EXISTING PARTITION TO REMAIN
- (E) CONSTRUCTION TO BE REMOVED
- (E) ASSEMBLY TO BE REMOVED

SHEET NOTES - DEMOLITION PLAN

- OUTLINE OF ADJACENT BUILDING. SHOWN FOR REFERENCE ONLY. REFER TO A1 FOR ADD'L INFO.
- REMOVE (E) WALL ASSEMBLY; TYP. U.O.N.
- REMOVE (E) ROOF ASSEMBLY WHERE INDICATED
- REMOVE (E) FLOOR ASSEMBLY AS REQUIRED TO ACHIEVE (N) DESIGN
- REMOVE (E) EXISTING WINDOW ASSEMBLY; TYP.
- REMOVE (E) DOOR AND FRAME ASSEMBLY; TYP.
- REMOVE (E) STAIRCASE ASSEMBLY; TYP.
- REMOVE (E) POST & FOOTING ASSEMBLY; TYP.
- REMOVE (E) PLUMBING FIXTURES; TYP.
- NOT USED
- REMOVE (E) MECHANICAL EQUIPMENT; REPLACE AS REQUIRED TO ACHIEVE PROPOSED MEP DESIGN
- REMOVE (E) METER / PANEL; REPLACE AS REQUIRED TO ACHIEVE PROPOSED MEP DESIGN
- REMOVE (E) FIREPLACE ASSEMBLY
- REMOVE (E) CONCRETE SLAB; TYP. EXCAVATE AS REQUIRED TO ACHIEVE PROPOSED DESIGN. REFER TO PROPOSED FLOOR PLANS & ELEVATIONS FOR ADD'L INFO.
- REMOVE (E) GRADE; EXCAVATE AS REQUIRED TO ACHIEVE PROPOSED DESIGN. REFER TO PROPOSED FLOOR PLANS & ELEVATIONS FOR ADD'L INFO.
- REMOVE (E) SITE FENCE
- REMOVE (E) LANDSCAPING ELEMENTS & ASSOCIATED ASSEMBLIES
- REMOVE (E) SITE DRAIN & ASSOCIATED DRAINAGE ASSEMBLIES AS REQUIRED; TYP. REPLACE WITH (N) AS INDICATED IN MEP SERIES.
- (E) EXTERIOR WALL AND EXTERIOR FINISH TO REMAIN AS INDICATED ON PLAN; PATCH & REPAIR AS REQ'D. PROVIDE (N) FINISH SURFACES AT INTERIOR AS INDICATED BY PROPOSED PLANS.
- (E) EXTERIOR WALL FRAMING TO REMAIN. VERIFY PRESENCE & CONDITION OF (E) SHEATHING. PATCH AND REPAIR AS REQ'D. REFER TO S-SERIES FOR ADD'L SHEATHING REQUIREMENTS. PROVIDE (N) FINISH SURFACES AS INDICATED BY PROPOSED PLANS.
- (E) FLOOR FRAMING & DIAPHRAGM TO REMAIN AS INDICATED ON PLAN; PATCH, REPAIR & LEVEL AS REQ'D. REFER TO S-SERIES FOR ADD'L INFO. PROVIDE (N) FINISH SURFACES AS INDICATED BY PROPOSED PLANS.
- (E) EXTERIOR ROOF FRAMING & DIAPHRAGM TO REMAIN AS INDICATED ON PLAN; PATCH, REPAIR & LEVEL AS REQ'D. REFER TO S-SERIES FOR ADD'L INFO. PROVIDE (N) FINISH SURFACES AS INDICATED BY PROPOSED PLANS.

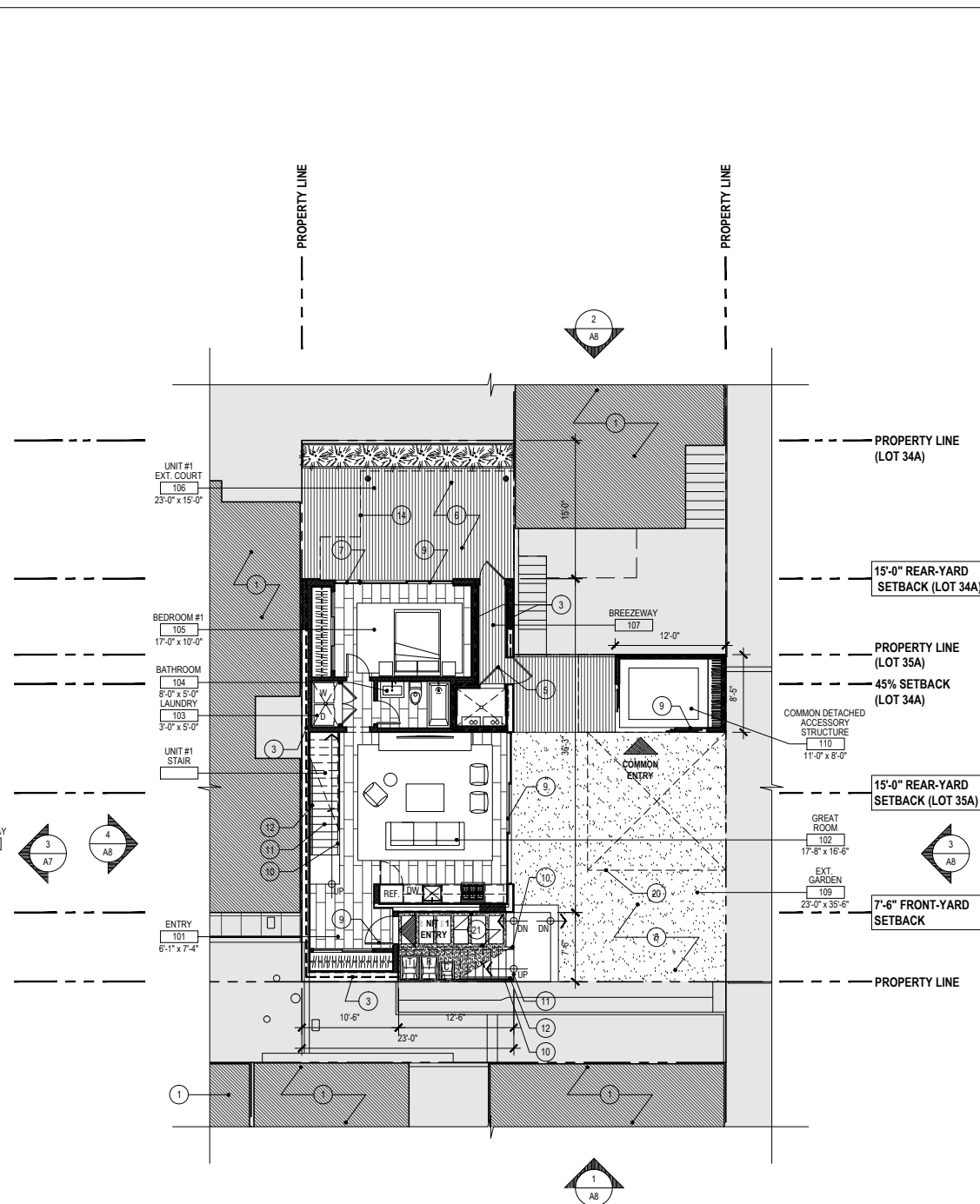
SHEET NOTES - PROPOSED PLAN

- (E) ADJACENT BUILDING SHOWN FOR REFERENCE ONLY; REFER TO SITE PLAN FOR ADD'L INFO.
- DASHED LINE INDICATES APPROXIMATE LOCATION OF (E) NEIGHBORING WINDOW
- 1HR FIRE-RESISTANCE RATED EXTERIOR WALL ASSEMBLY
- 1HR FIRE-RESISTANCE RATED INTERIOR UNIT SEPARATION PARTITION
- 1HR FIRE-RESISTANCE RATED EXTERIOR DOOR ASSEMBLY
- (N) LANDSCAPE PLANTINGS, SOFTSCAPE, & PAVERS TBD.
- (N) EXTERIOR ALUMINUM WINDOW ASSEMBLY W/ TEMPERED GLAZING
- (N) EXTERIOR ALUMINUM EMERGENCY EGRESS WINDOW ASSEMBLY W/ TEMPERED GLAZING
- (N) EXTERIOR ALUMINUM DOOR ASSEMBLY W/ TEMPERED GLAZING
- 1/2" CLEAR TEMPERED GLASS GUARDRAIL @ 42" H. A.F.F. WITH CONTINUOUS BASE SHOE SUPPORT. GUARDRAIL TO COMPLY WITH CBC SECTION 1607.8 FOR LATERAL LOAD RESISTANCE.
- (N) STAIR 10" MIN. TREAD; 7 3/4" MAX. RISER; TYP.
- (N) 1 1/2" HANDRAIL @ 2'-10" A.F.F.
- NOT USED
- DASHED LINE INDICATES (E) BUILDING OVERHANG ABOVE TO REMAIN
- (E) ADJACENT SITE ELEMENTS TO REMAIN - PROTECT FROM DAMAGE AS REQ'D. TYP.; REFER TO SITE PLAN FOR ADD'L INFO.
- NOT USED
- (N) 1HR FIRE-RESISTANCE RATED CLASS A MEMBRANE ROOF ASSEMBLY. SLOPE 1/2" PER 1'-0" MIN.
- DASHED LINE INDICATES ROOF ABOVE
- NOT USED
- DASHED LINE INDICATES 15'-0" x 15'-0" MINIMUM AREA FOR COMMON USEABLE OPEN SPACE PER SF PLANNING CODE SECTION 135(g)
- (N) PERMEABLE PAVERS SET IN PERMEABLE GRAVEL BED; TYP.
- DASHED LINE INDICATES 2'-0" x 6'-0" CLASS 1 BICYCLE PARKING SPACE PER SF PLANNING CODE SECTION 155.2 & 2A BULLETIN #9

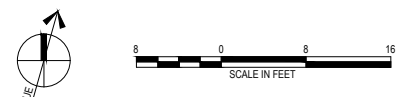


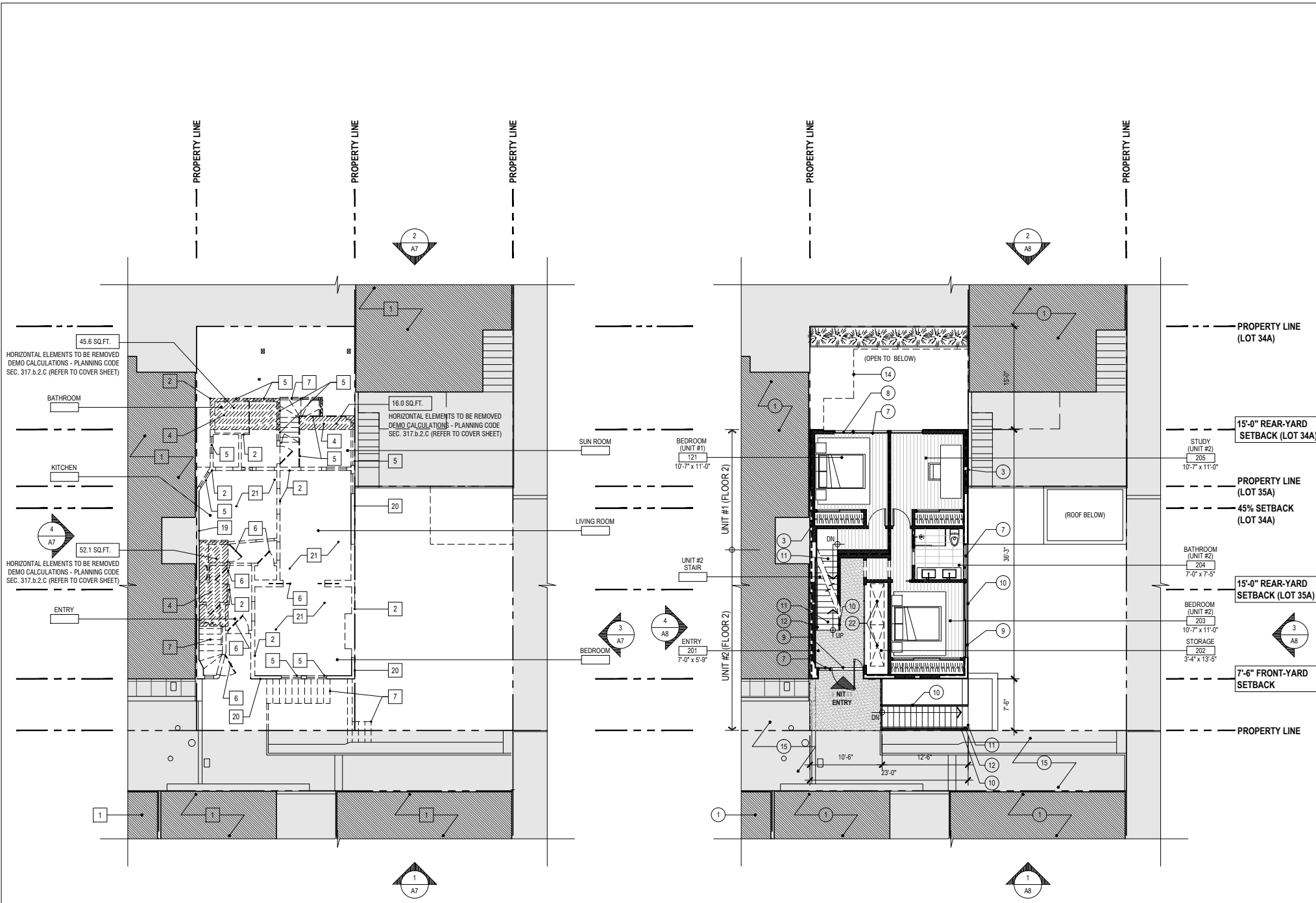
1 EXISTING/DEMOLITION PLAN - FLOOR 01 - (MECHANICAL + STORAGE)

DEMOLITION CALCULATIONS - PLANNING CODE SEC. 317.b.2.B													
LINEAR FEET OF WALL (MEASURED AT FDTN.)	R = REMAIN						D = DEMOLISHED					TOTAL R	TOTAL D
	R1	R2	R3	R4	R5	R6	D1	D2	D3	D4	D5		
TOTAL FRONT AND REAR FAÇADE = (+/-) 53'-6"													
FRONT FAÇADE - (E) TO REMAIN	10'-2 1/4"	9'-1 3/4"										19'-4"	(63%)
FRONT FAÇADE - (E) TO BE REMOVED							7'-6"				3'-8"	11'-2"	(37%)
REAR FAÇADE - (E) TO REMAIN													
REAR FAÇADE - (E) TO BE REMOVED							23'-0"					23'-0"	(100%)
TOTAL EXISTING WALL PERIMETER = (+/-) 122'-6 1/2"													
FDTN. LEVEL / FLR. 1 (E) TO REMAIN	88'-3 1/2"	10'-2 1/4"	9'-1 3/4"	3'-1"	5'-3"	2'-9 1/4"						88'-8 1/4"	(56%)
FDTN. LEVEL / FLR. 1 (E) TO BE REMOVED							23'-0"	7'-6"	16'-6"	3'-2"	3'-8"	53'-10"	(44%)



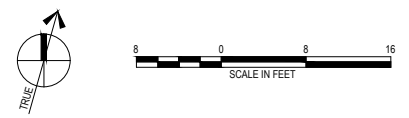
2 PROPOSED PLAN - FLOOR 01 (UNIT #1)





1 EXISTING/DEMOLITION PLAN - FLOOR 02 - (UNIT #1)

2 PROPOSED PLAN - FLOOR 02 (UNIT #1 & UNIT #2)



GENERAL NOTES - EXISTING/DEMOLITION & PROPOSED PLANS

1. REF. S-SERIES FOR STRUCTURAL INFO. TYP.
2. NOT ALL KEY NOTES ARE USED ON EVERY SHEET
3. ALL DIMENSIONS ARE TO F.O. FINISH; TYP.; U.O.N.

PLAN LEGEND

- 1-HOUR FIRE-RATED CONSTRUCTION
- ▬ NEW PARTITION
- ▬ EXISTING PARTITION TO REMAIN
- - - (E) CONSTRUCTION TO BE REMOVED
- ▨ (E) ASSEMBLY TO BE REMOVED

SHEET NOTES - DEMOLITION PLAN

- 1 OUTLINE OF ADJACENT BUILDING. SHOWN FOR REFERENCE ONLY. REFER TO A1 FOR ADDL INFO
- 2 REMOVE (E) WALL ASSEMBLY; TYP. U.O.N.
- 3 REMOVE (E) ROOF ASSEMBLY WHERE INDICATED
- 4 REMOVE (E) FLOOR ASSEMBLY AS REQUIRED TO ACHIEVE (N) DESIGN
- 5 REMOVE (E) EXISTING WINDOW ASSEMBLY; TYP.
- 6 REMOVE (E) DOOR AND FRAME ASSEMBLY; TYP.
- 7 REMOVE (E) STAIRCASE ASSEMBLY; TYP.
- 8 REMOVE (E) POST & FOOTING ASSEMBLY; TYP.
- 9 REMOVE (E) PLUMBING FIXTURES; TYP.
- 10 NOT USED
- 11 REMOVE (E) MECHANICAL EQUIPMENT; REPLACE AS REQUIRED TO ACHIEVE PROPOSED MEP DESIGN
- 12 REMOVE (E) METER / PANEL; REPLACE AS REQUIRED TO ACHIEVE PROPOSED MEP DESIGN
- 13 REMOVE (E) FIREPLACE ASSEMBLY
- 14 REMOVE (E) CONCRETE SLAB; TYP. EXCAVATE AS REQUIRED TO ACHIEVE PROPOSED DESIGN. REFER TO PROPOSED FLOOR PLANS & ELEVATIONS FOR ADDL INFO.
- 15 REMOVE (E) GRADE; EXCAVATE AS REQUIRED TO ACHIEVE PROPOSED DESIGN. REFER TO PROPOSED FLOOR PLANS & ELEVATIONS FOR ADDL INFO
- 16 REMOVE (E) SITE FENCE
- 17 REMOVE (E) LANDSCAPING ELEMENTS & ASSOCIATED ASSEMBLIES
- 18 REMOVE (E) SITE DRAIN & ASSOCIATED DRAINAGE ASSEMBLIES AS REQUIRED; TYP. REPLACE WITH (N) AS INDICATED IN MEP SERIES.
- 19 (E) EXTERIOR WALL AND EXTERIOR FINISH TO REMAIN AS INDICATED ON PLAN. PATCH & REPAIR AS REQD. PROVIDE (N) FINISH SURFACES AT INTERIOR AS INDICATED BY PROPOSED PLANS.
- 20 (E) EXTERIOR WALL FRAMING TO REMAIN. VERIFY PRESENCE & CONDITION OF (E) SHEATHING. PATCH AND REPAIR AS REQD. REFER TO S-SERIES FOR ADDL SHEATHING REQUIREMENTS. PROVIDE (N) FINISH SURFACES AS INDICATED BY PROPOSED PLANS
- 21 (E) FLOOR FRAMING & DIAPHRAGM TO REMAIN AS INDICATED ON PLAN; PATCH, REPAIR & LEVEL AS REQD. REFER TO S-SERIES FOR ADDL INFO. PROVIDE (N) FINISH SURFACES AS INDICATED BY PROPOSED PLANS.
- 22 (E) EXTERIOR ROOF FRAMING & DIAPHRAGM TO REMAIN AS INDICATED ON PLAN; PATCH, REPAIR & LEVEL AS REQD. REFER TO S-SERIES FOR ADDL INFO. PROVIDE (N) FINISH SURFACES AS INDICATED BY PROPOSED PLANS.

SHEET NOTES - PROPOSED PLAN

- 1 (E) ADJACENT BUILDING SHOWN FOR REFERENCE ONLY; REFER TO SITE PLAN FOR ADDL INFO.
- 2 DASHED LINE INDICATES APPROXIMATE LOCATION OF (E) NEIGHBORING WINDOW
- 3 1HR FIRE-RESISTANCE RATED EXTERIOR WALL ASSEMBLY
- 4 1HR FIRE-RESISTANCE RATED INTERIOR UNIT SEPARATION PARTITION
- 5 1HR FIRE-RESISTANCE RATED EXTERIOR DOOR ASSEMBLY
- 6 (N) LANDSCAPE PLANTINGS, SOFTSCAPE, & PAVERS TBD.
- 7 (N) EXTERIOR ALUMINUM WINDOW ASSEMBLY W/ TEMPERED GLAZING
- 8 (N) EXTERIOR ALUMINUM EMERGENCY EGRESS WINDOW ASSEMBLY W/ TEMPERED GLAZING
- 9 (N) EXTERIOR ALUMINUM DOOR ASSEMBLY W/ TEMPERED GLAZING
- 10 1/2" CLEAR TEMPERED GLASS GUARDRAIL @ 42" H. A.F.F. WITH CONTINUOUS BASE SHOE SUPPORT. GUARDRAIL TO COMPLY WITH CBC SECTION 1607.8 FOR LATERAL LOAD RESISTANCE.
- 11 (N) STAIR 10" MIN. TREAD, 7 3/4" MAX. RISER, TYP.
- 12 (N) 1 1/2" HANDRAIL @ 2'-10" A.F.F.
- 13 NOT USED
- 14 DASHED LINE INDICATES (E) BUILDING OVERHANG ABOVE TO REMAIN
- 15 (E) ADJACENT SITE ELEMENTS TO REMAIN - PROTECT FROM DAMAGE AS REQD. TYP.; REFER TO SITE PLAN FOR ADDL INFO.
- 16 NOT USED
- 17 (N) 1HR FIRE-RESISTANCE RATED CLASS A MEMBRANE ROOF ASSEMBLY. SLOPE 1/2" PER 1'-0" MIN.
- 18 DASHED LINE INDICATES ROOF ABOVE
- 19 NOT USED
- 20 DASHED LINE INDICATES 15'-0" x 15'-0" MINIMUM AREA FOR COMMON USEABLE OPEN SPACE PER SF PLANNING CODE SECTION 135(g)
- 21 (N) PERMEABLE PAVERS SET IN PERMEABLE GRAVEL BED, TYP.
- 22 DASHED LINE INDICATES 2'-0" x 6'-0" CLASS 1 BICYCLE PARKING SPACE PER SF PLANNING CODE SECTION 155.2 & ZA BULLETIN #9

10-12 + 2 ALADDIN TERRACE
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Job No.	17102
Issue	Date
ENVIRONMENTAL EVALUATION SET	07.31.17
PRE-APPLICATION REVIEW SET	08.14.17
PRE-APPLICATION / COMMUNITY OUTREACH	10.16.17
SITE PERMIT / 311 NOTIFICATION SET	10.17.17
SITE PERMIT / 311 NOTIFICATION SET	12.20.17
SITE PERMIT / 311 SET NODPR#1 RESPONSES	03.12.18
SITE PERMIT / 311 SET REVISIONS	06.13.18

Drawing Title
EXISTING/DEMOLITION & PROPOSED PLANS FLOOR 2

Sheet Number
A3

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SITE PERMIT / 311 SET NODPR#1 RESPONSES	03.12.18
SITE PERMIT / 311 SET REVISIONS	06.13.18

Drawing Title

EXISTING/DEMOLITION & PROPOSED PLANS FLOOR 3

Sheet Number

A4

GENERAL NOTES - EXISTING/DEMOLITION & PROPOSED PLANS

- REF. S-SERIES FOR STRUCTURAL INFO. TYP.
- NOT ALL KEY NOTES ARE USED ON EVERY SHEET
- ALL DIMENSIONS ARE TO F.O. FINISH; TYP.; U.O.N.

PLAN LEGEND

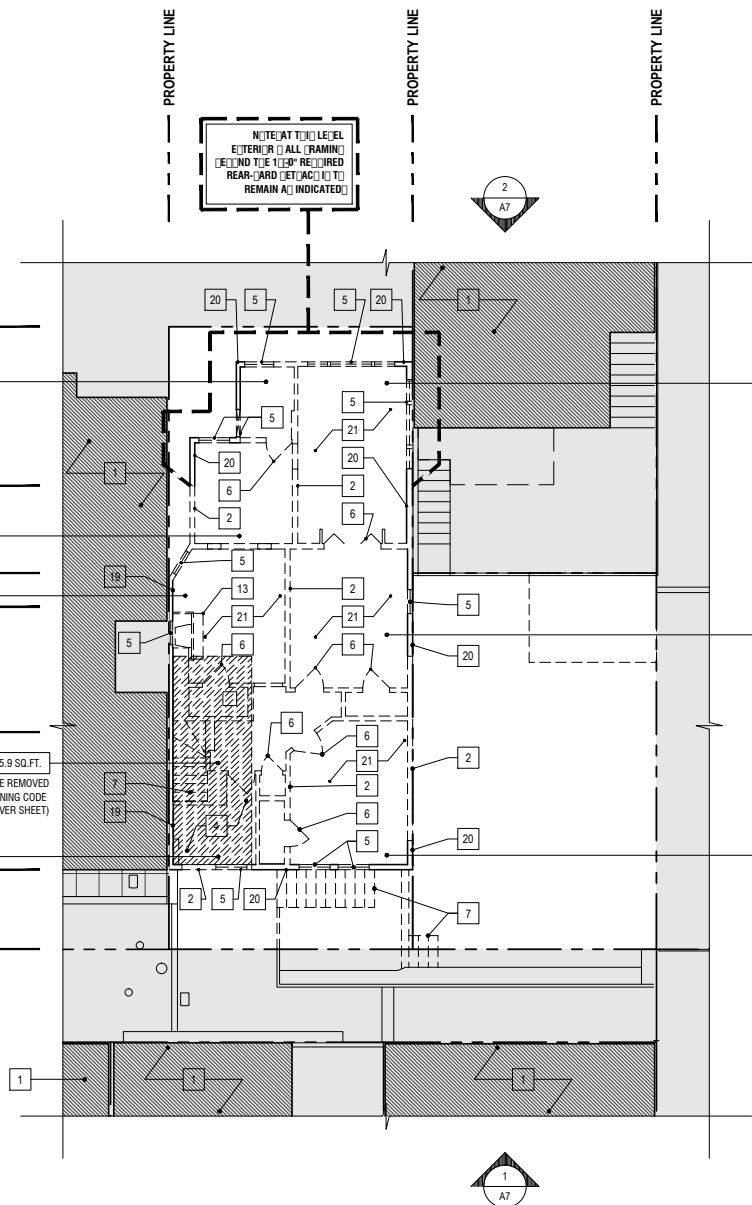
- 1-HOUR FIRE-RATED CONSTRUCTION
- NEW PARTITION
- EXISTING PARTITION TO REMAIN
- (E) CONSTRUCTION TO BE REMOVED
- (E) ASSEMBLY TO BE REMOVED

SHEET NOTES - DEMOLITION PLAN

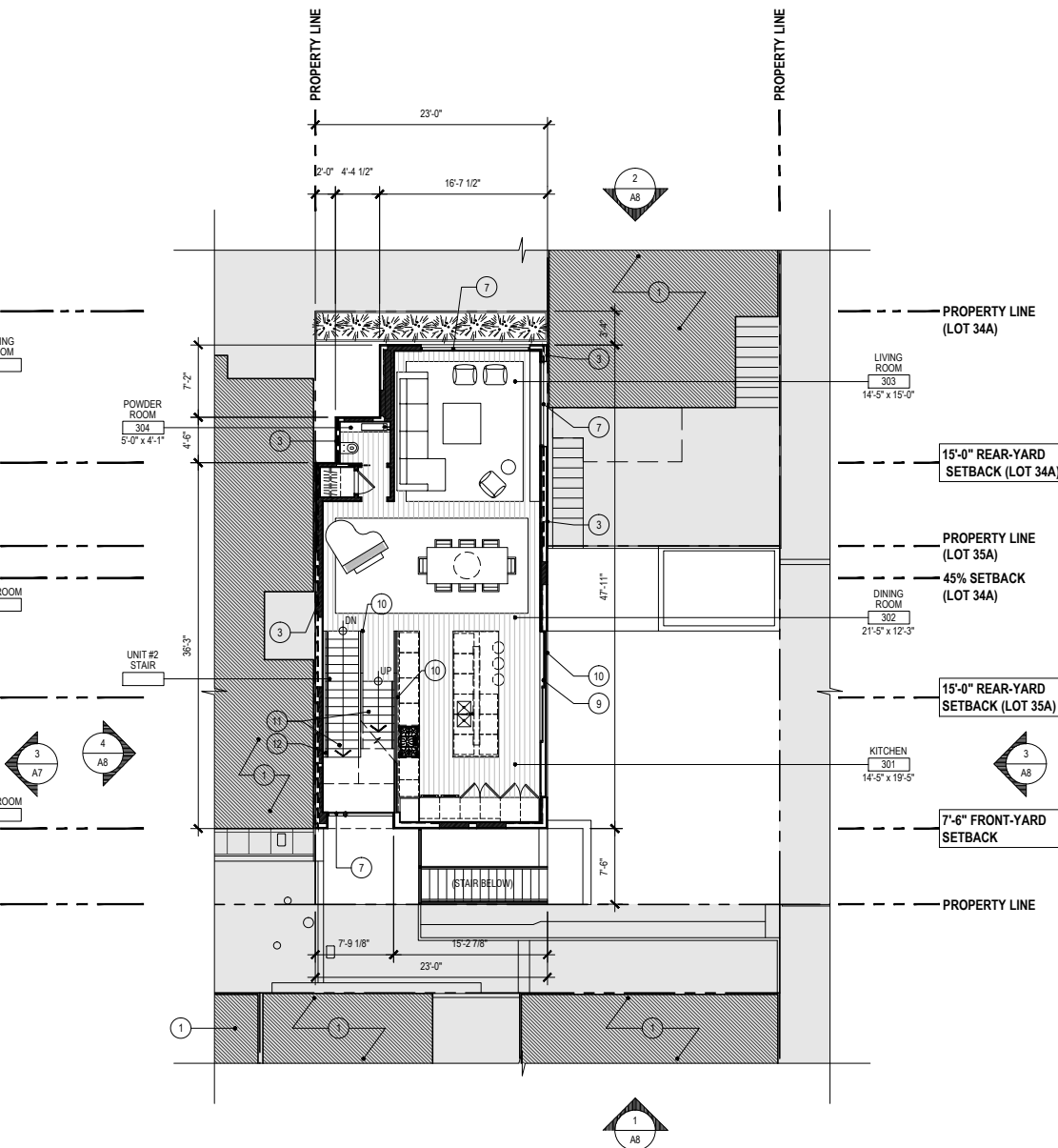
- OUTLINE OF ADJACENT BUILDING. SHOWN FOR REFERENCE ONLY. REFER TO A1 FOR ADD'L INFO
- REMOVE (E) WALL ASSEMBLY; TYP. U.O.N.
- REMOVE (E) ROOF ASSEMBLY WHERE INDICATED
- REMOVE (E) FLOOR ASSEMBLY AS REQUIRED TO ACHIEVE (N) DESIGN
- REMOVE (E) EXISTING WINDOW ASSEMBLY; TYP.
- REMOVE (E) DOOR AND FRAME ASSEMBLY; TYP.
- REMOVE (E) STAIRCASE ASSEMBLY; TYP.
- REMOVE (E) POST & FOOTING ASSEMBLY; TYP.
- REMOVE (E) PLUMBING FIXTURES; TYP.
- NOT USED
- REMOVE (E) MECHANICAL EQUIPMENT; REPLACE AS REQUIRED TO ACHIEVE PROPOSED MEP DESIGN
- REMOVE (E) METER / PANEL; REPLACE AS REQUIRED TO ACHIEVE PROPOSED MEP DESIGN
- REMOVE (E) FIRE-RATED ASSEMBLY
- REMOVE (E) CONCRETE SLAB; TYP. EXCAVATE AS REQUIRED TO ACHIEVE PROPOSED DESIGN. REFER TO PROPOSED FLOOR PLANS & ELEVATIONS FOR ADD'L INFO.
- REMOVE (E) GRADE; EXCAVATE AS REQUIRED TO ACHIEVE PROPOSED DESIGN. REFER TO PROPOSED FLOOR PLANS & ELEVATIONS FOR ADD'L INFO
- REMOVE (E) SITE FENCE
- REMOVE (E) LANDSCAPING ELEMENTS & ASSOCIATED ASSEMBLIES
- REMOVE (E) SITE DRAIN & ASSOCIATED DRAINAGE ASSEMBLIES AS REQUIRED; TYP. REPLACE WITH (N) AS INDICATED IN MEP SERIES.
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- (E) EXTERIOR WALL FRAMING TO REMAIN. VERIFY PRESENCE & CONDITION OF (E) SHEATHING. PATCH AND REPAIR AS RECD. REFER TO S-SERIES FOR ADD'L SHEATHING REQUIREMENTS. PROVIDE (N) FINISH SURFACES AS INDICATED BY PROPOSED PLANS
- (E) FLOOR FRAMING & DIAPHRAGM TO REMAIN AS INDICATED ON PLAN; PATCH, REPAIR & LEVEL AS RECD. REFER TO S-SERIES FOR ADD'L INFO. PROVIDE (N) FINISH SURFACES AS INDICATED BY PROPOSED PLANS.
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SHEET NOTES - PROPOSED PLAN

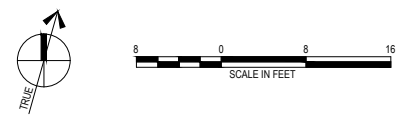
- (E) ADJACENT BUILDING SHOWN FOR REFERENCE ONLY; REFER TO SITE PLAN FOR ADD'L INFO.
- DASHED LINE INDICATES APPROXIMATE LOCATION OF (E) NEIGHBORING WINDOW
- 1HR FIRE-RESISTANCE RATED EXTERIOR WALL ASSEMBLY
- 1HR FIRE-RESISTANCE RATED INTERIOR UNIT SEPARATION PARTITION
- 1HR FIRE-RESISTANCE RATED EXTERIOR DOOR ASSEMBLY
- (N) LANDSCAPE PLANTINGS, SOFTSCAPE, & PAVERS TBD.
- (N) EXTERIOR ALUMINUM WINDOW ASSEMBLY W/ TEMPERED GLAZING
- (N) EXTERIOR ALUMINUM EMERGENCY EGRESS WINDOW ASSEMBLY W/ TEMPERED GLAZING
- (N) EXTERIOR ALUMINUM DOOR ASSEMBLY W/ TEMPERED GLAZING
- 1/2" CLEAR TEMPERED GLASS GUARDRAIL @ 42" H. A.F.F. WITH CONTINUOUS BASE SHOE SUPPORT. GUARDRAIL TO COMPLY WITH CBC SECTION 1607.8 FOR LATERAL LOAD RESISTANCE.
- (N) STAIR 10" MIN. TREAD; 7 3/4" MAX. RISER; TYP.
- (N) 1 1/2" HANDRAIL @ 2'-10" A.F.F.
- NOT USED
- DASHED LINE INDICATES (E) BUILDING OVERHANG ABOVE TO REMAIN
- (E) ADJACENT SITE ELEMENTS TO REMAIN - PROTECT FROM DAMAGE AS RECD. TYP.; REFER TO SITE PLAN FOR ADD'L INFO.
- NOT USED
- (N) 1HR FIRE-RESISTANCE RATED CLASS A MEMBRANE ROOF ASSEMBLY. SLOPE 1/2" PER 1'-0" MIN.
- DASHED LINE INDICATES ROOF ABOVE
- NOT USED
- DASHED LINE INDICATES 15'-0" x 15'-0" MINIMUM AREA FOR COMMON USEABLE OPEN SPACE PER SF PLANNING CODE SECTION 135(g)
- (N) PERMEABLE PAVERS SET IN PERMEABLE GRAVEL BED; TYP.
- DASHED LINE INDICATES 2'-0" x 6'-0" CLASS 1 BICYCLE PARKING SPACE PER SF PLANNING CODE SECTION 155.2 & ZA BULLETIN #9



1 EXISTING/DEMOLITION PLAN - FLOOR 03 - (UNIT #2)



2 PROPOSED PLAN - FLOOR 03 (UNIT #2)



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SITE PERMIT / 311 NOTIFICATION SET	12.20.17
SITE PERMIT / 311 SET	03.12.18
SITE PERMIT / 311 SET	06.13.18

EXISTING/DEMOLITION
ROOF & PROPOSED PLAN
FLOOR 4

A5

GENERAL NOTES - EXISTING/DEMOLITION & PROPOSED PLANS

- REF. S-SERIES FOR STRUCTURAL INFO. TYP.
- NOT ALL KEY NOTES ARE USED ON EVERY SHEET
- ALL DIMENSIONS ARE TO F.O. FINISH; TYP.; U.O.N.

PLAN LEGEND

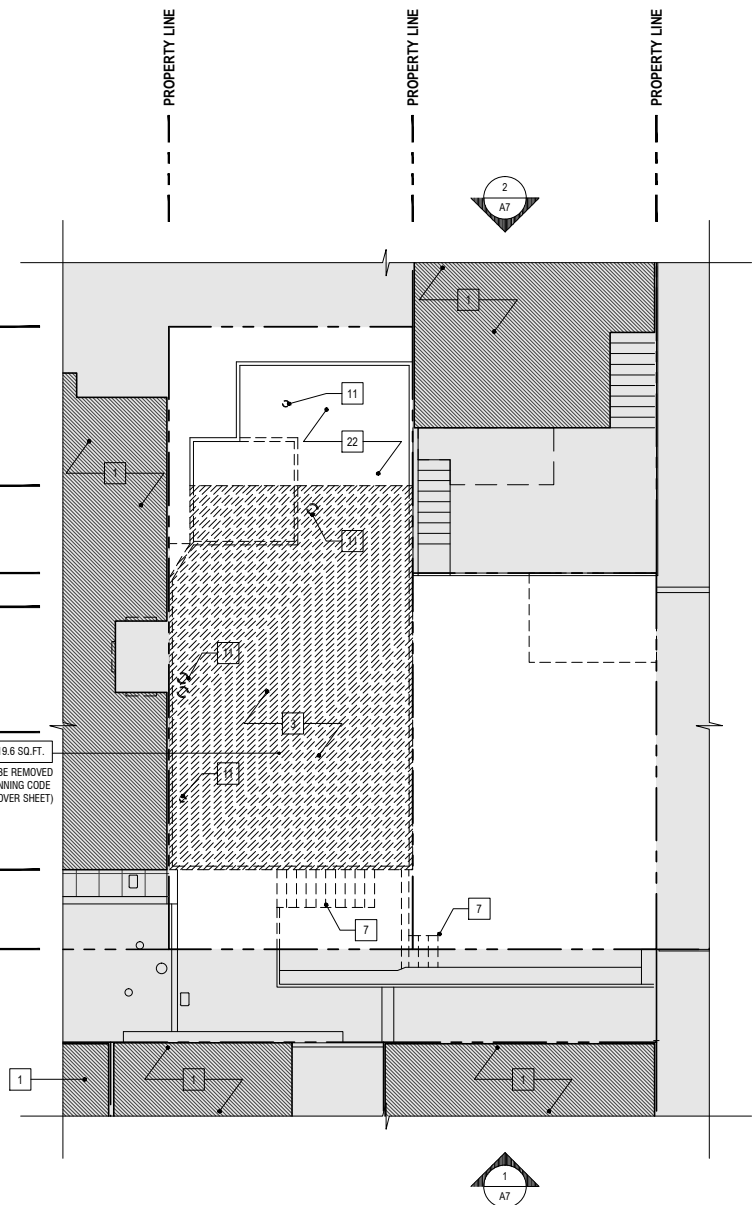
- 1-HOUR FIRE-RATED CONSTRUCTION
- NEW PARTITION
- EXISTING PARTITION TO REMAIN
- (E) CONSTRUCTION TO BE REMOVED
- (E) ASSEMBLY TO BE REMOVED

SHEET NOTES - DEMOLITION PLAN

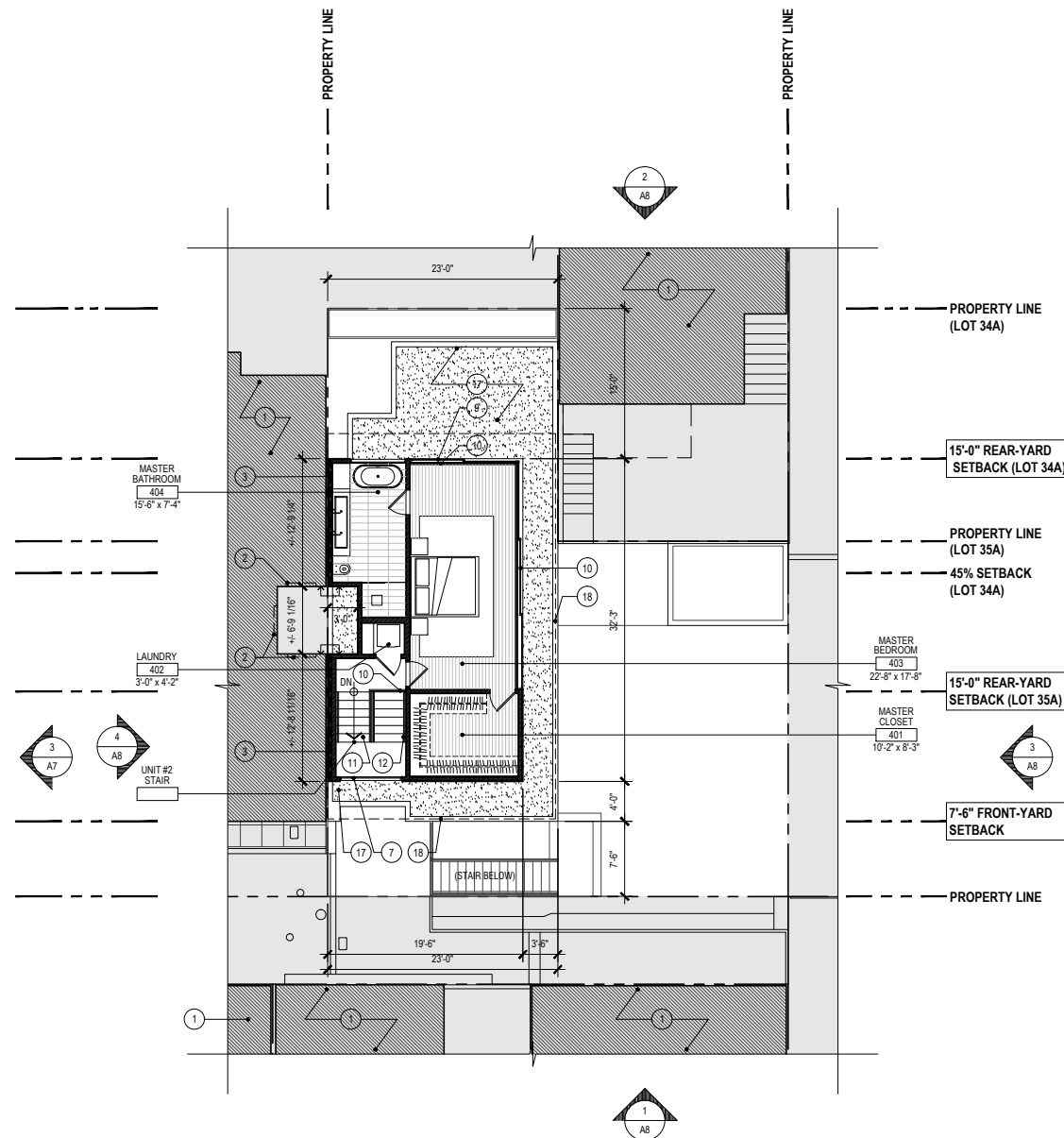
- OUTLINE OF ADJACENT BUILDING. SHOWN FOR REFERENCE ONLY. REFER TO A1 FOR ADD'L INFO.
- REMOVE (E) WALL ASSEMBLY; TYP. U.O.N.
- REMOVE (E) ROOF ASSEMBLY WHERE INDICATED
- REMOVE (E) FLOOR ASSEMBLY AS REQUIRED TO ACHIEVE (N) DESIGN
- REMOVE (E) EXISTING WINDOW ASSEMBLY; TYP.
- REMOVE (E) DOOR AND FRAME ASSEMBLY; TYP.
- REMOVE (E) STAIRCASE ASSEMBLY; TYP.
- REMOVE (E) POST & FOOTING ASSEMBLY; TYP.
- REMOVE (E) PLUMBING FIXTURES; TYP.
- NOT USED
- REMOVE (E) MECHANICAL EQUIPMENT; REPLACE AS REQUIRED TO ACHIEVE PROPOSED MEP DESIGN
- REMOVE (E) METER / PANEL; REPLACE AS REQUIRED TO ACHIEVE PROPOSED MEP DESIGN
- REMOVE (E) FIRE-RATED ASSEMBLY
- REMOVE (E) CONCRETE SLAB; TYP. EXCAVATE AS REQUIRED TO ACHIEVE PROPOSED DESIGN. REFER TO PROPOSED FLOOR PLANS & ELEVATIONS FOR ADD'L INFO.
- REMOVE (E) GRADE; EXCAVATE AS REQUIRED TO ACHIEVE PROPOSED DESIGN. REFER TO PROPOSED FLOOR PLANS & ELEVATIONS FOR ADD'L INFO.
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SHEET NOTES - PROPOSED PLAN

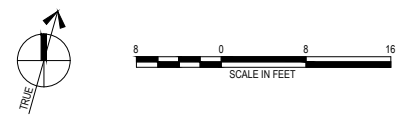
- (E) ADJACENT BUILDING SHOWN FOR REFERENCE ONLY; REFER TO SITE PLAN FOR ADD'L INFO.
- DASHED LINE INDICATES APPROXIMATE LOCATION OF (E) NEIGHBORING WINDOW
- 1HR FIRE-RESISTANCE RATED EXTERIOR WALL ASSEMBLY
- 1HR FIRE-RESISTANCE RATED INTERIOR UNIT SEPARATION PARTITION
- 1HR FIRE-RESISTANCE RATED EXTERIOR DOOR ASSEMBLY
- (N) LANDSCAPE PLANTINGS, SOFTSCAPE, & PAVERS TBD.
- (N) EXTERIOR ALUMINUM WINDOW ASSEMBLY W/ TEMPERED GLAZING
- (N) EXTERIOR ALUMINUM EMERGENCY EGRESS WINDOW ASSEMBLY W/ TEMPERED GLAZING
- (N) EXTERIOR ALUMINUM DOOR ASSEMBLY W/ TEMPERED GLAZING
- 1/2" CLEAR TEMPERED GLASS GUARDRAIL @ 42" H. A.F.F. WITH CONTINUOUS BASE SHOE SUPPORT. GUARDRAIL TO COMPLY WITH CBC SECTION 1607.8 FOR LATERAL LOAD RESISTANCE.
- (N) STAIR 10" MIN. TREAD, 7 3/4" MAX. RISER, TYP.
- (N) 1 1/2" HANDRAIL @ 2'-10" A.F.F.
- NOT USED
- DASHED LINE INDICATES (E) BUILDING OVERHANG ABOVE TO REMAIN
- (E) ADJACENT SITE ELEMENTS TO REMAIN - PROTECT FROM DAMAGE AS REQD. TYP.; REFER TO SITE PLAN FOR ADD'L INFO.
- NOT USED
- (N) 1HR FIRE-RESISTANCE RATED CLASS A MEMBRANE ROOF ASSEMBLY. SLOPE 1/2" PER 1'-0" MIN.
- DASHED LINE INDICATES ROOF ABOVE
- NOT USED
- DASHED LINE INDICATES 15'-0" x 15'-0" MINIMUM AREA FOR COMMON USEABLE OPEN SPACE PER SF PLANNING CODE SECTION 135(g)
- (N) PERMEABLE PAVERS SET IN PERMEABLE GRAVEL BED, TYP.
- DASHED LINE INDICATES 2'-0" x 6'-0" CLASS 1 BICYCLE PARKING SPACE PER SF PLANNING CODE SECTION 155.2 & ZA BULLETIN #9

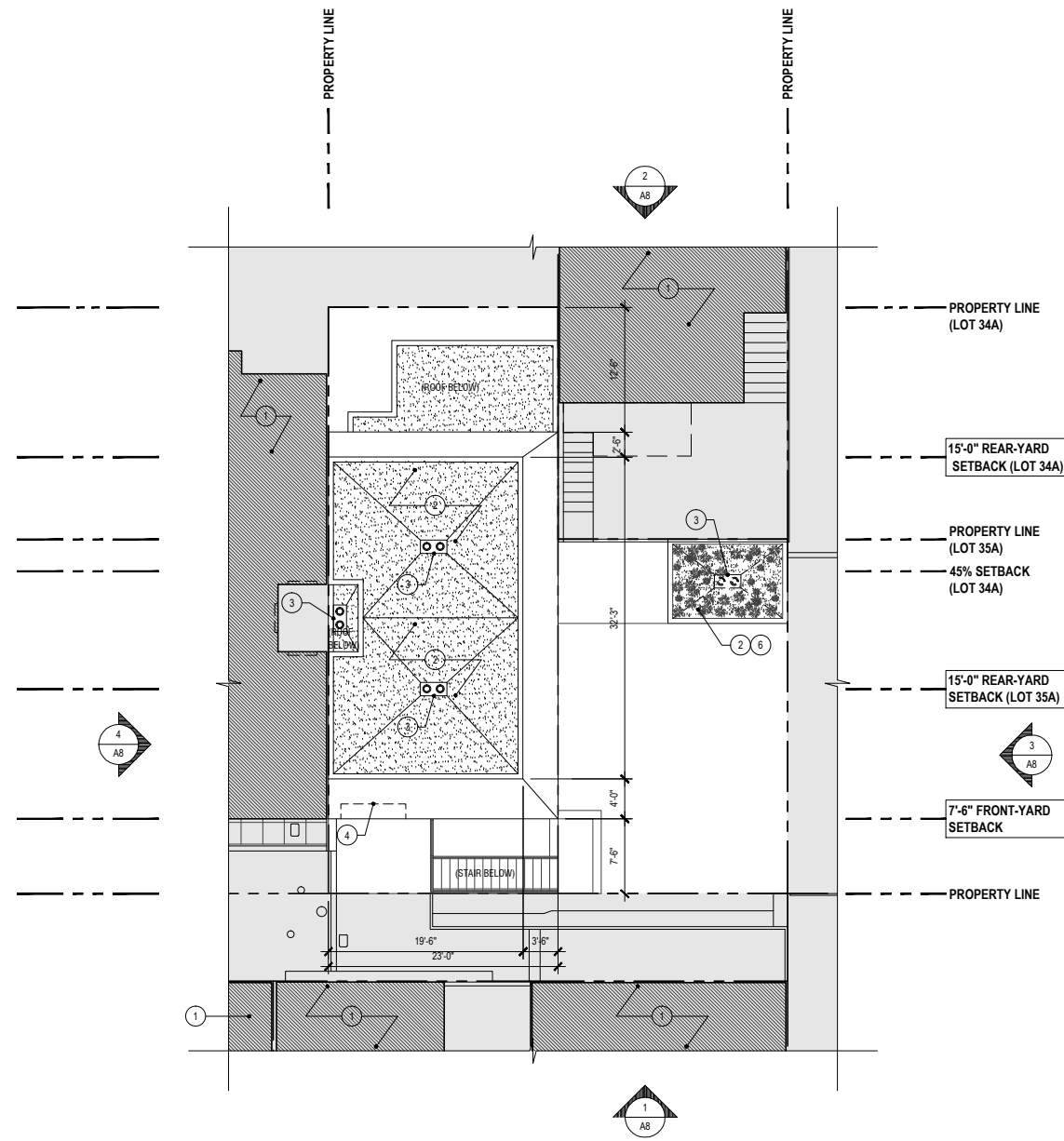


1 EXISTING/DEMOLITION PLAN - ROOF

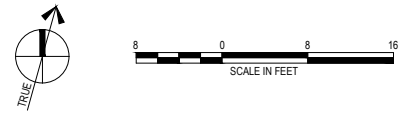


2 PROPOSED PLAN - FLOOR 04 (UNIT #2)





1 PROPOSED PLAN - ROOF



GENERAL NOTES - PROPOSED ROOF PLAN

1. REF. S-SERIES FOR STRUCTURAL INFO; TYP.
2. NOT ALL KEY NOTES ARE USED ON EVERY SHEET
3. ALL DIMENSIONS ARE TO F.O. FINISH; TYP.; U.O.N.

SHEET NOTES - PROPOSED ROOF PLAN

- 1 (E) ADJACENT BUILDING SHOWN FOR REFERENCE ONLY; REFER TO SITE PLAN FOR ADDL INFO.
- 2 (N) 1HR FIRE-RESISTANCE RATED CLASS A MEMBRANE ROOF ASSEMBLY. SLOPE 1/2" PER 1'-0" MIN.
- 3 (N) ROOF DRAIN (RD) W/ INDEPENDENTLY PIPED OVERFLOW (OD), OVERFLOW DRAIN INLET SHALL BE 2" MIN. ABOVE ROOF SURFACE. CONNECT TO SOLID DRAIN LINE. DAYLIGHT OVERFLOW AT VISIBLE LOCATION.
- 4 DASHED LINE INDICATES BUILDING MASS BELOW; REFER TO FLOOR PLANS FOR ADDL INFO.
- 5 NOT USED
- 6 (N) LANDSCAPED PERMEABLE GREEN ROOF ASSEMBLY w/ ROOF MEMBRANE

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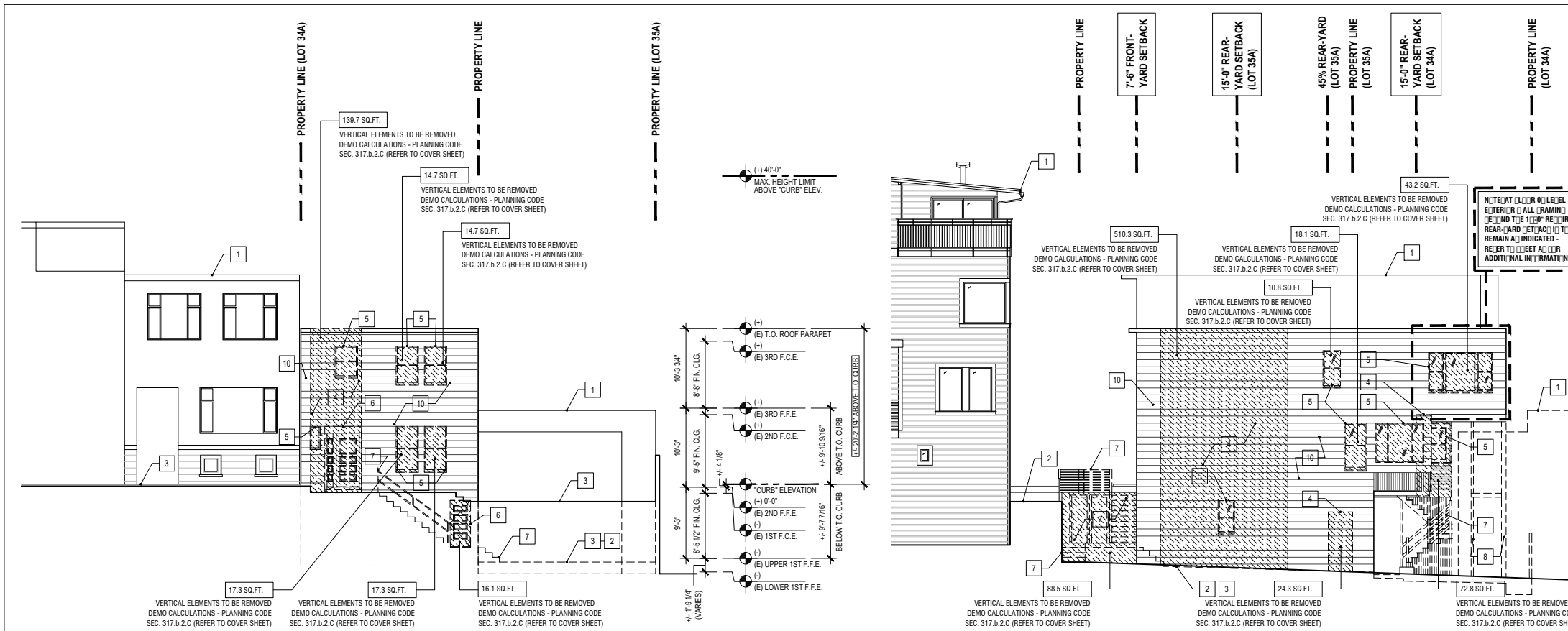
Issue	Date
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PRE-APPLICATION / COMMUNITY OUTREACH	10.16.17
SITE PERMIT / 311 NOTIFICATION SET	10.17.17
1 SITE PERMIT / 311 NOTIFICATION SET	12.20.17
2 SITE PERMIT / 311 SET NODR#1 RESPONSES	03.12.18
3 SITE PERMIT / 311 SET REVISIONS	06.13.18

Drawing Title

PROPOSED PLAN
ROOF

Sheet Number

A6



GENERAL NOTES - DEMOLITION ELEVATION

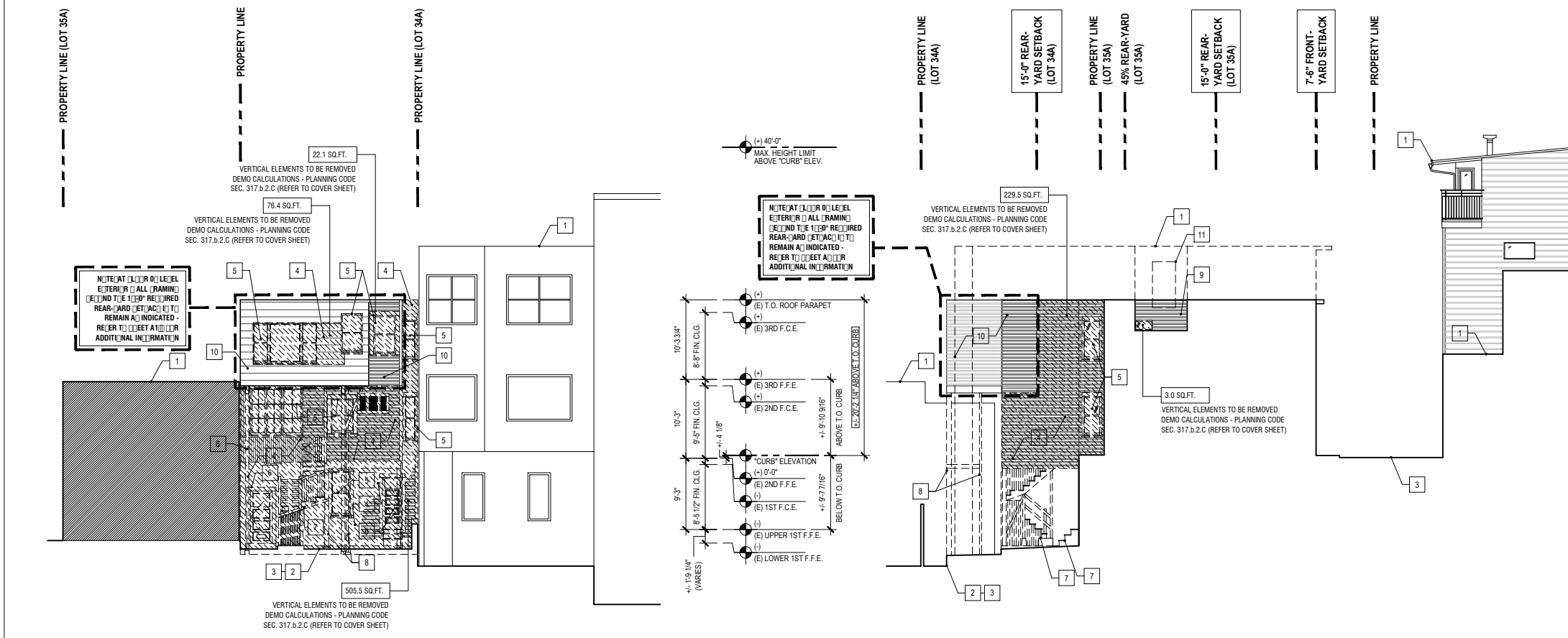
- NOT ALL KEY NOTES ARE USED ON EVERY SHEET
- DIMENSIONS ARE FACE OF FINISH, TYP. U.O.N.
- REFER TO COVER SHEET FOR PLANNING CODE 317 DEMOLITION CALCULATIONS

SHEET NOTES - DEMOLITION ELEVATION

- OUTLINE OF ADJACENT BUILDING. SHOWN FOR REFERENCE ONLY. REFER TO A1 FOR ADJL INFO
- REFER TO DEMOLITION PLAN @ A2 FOR DEMOLITION SCOPE OF WORK @ YARD, TYP.
- APPROXIMATE LINE OF (E) GRADE FOR REFERENCE. REFER TO PROPOSED PLANS, ELEVATIONS & SECTIONS FOR PROPOSED SCOPE OF WORK.
- REMOVE (E) WALL ASSEMBLY; REFER TO DEMOLITION PLANS FOR ADJL INFO
- REMOVE (E) EXISTING WINDOW ASSEMBLY; TYP.
- REMOVE (E) DOOR AND FRAME ASSEMBLY
- REMOVE (E) EXTERIOR STAIRCASE & STAIRCASE ENCLOSURE ASSEMBLY
- REMOVE (E) POST & FOOTING ASSEMBLY; TYP.
- (E) EXTERIOR WALL AND EXTERIOR FINISH TO REMAIN AS INDICATED ON PLAN, PATCH & REPAIR AS REQ'D. REFER TO DEMOLITION PLANS FOR ADJL INFO.
- (E) EXTERIOR WALL FRAMING TO REMAIN. VERIFY PRESENCE & CONDITION OF (E) SHEATHING, PATCH AND REPAIR AS REQ'D. REFER TO S-SERIES FOR ADJL SHEATHING REQUIREMENTS. PROVIDE (N) FINISH SURFACES AS INDICATED BY PROPOSED PLANS
- DASHED LINE INDICATES APPROXIMATE LOCATION OF EXISTING NEIGHBORING WINDOW AT 865 FILBERT STREET IN FOREGROUND FACING SUBJECT PROPERTY

1 EXISTING / DEMOLITION EXTERIOR ELEVATION - SOUTH (FRONT)

3 EXISTING / DEMOLITION EXTERIOR ELEVATION - EAST (SIDE)



2 EXISTING / DEMOLITION EXTERIOR ELEVATION - NORTH (REAR)

4 EXISTING / DEMOLITION EXTERIOR ELEVATION - WEST (SIDE)

10-12 + 2 ALADDIN TERRACE

SAN FRANCISCO, CA 94133

DUMICAN MOSEY ARCHITECTS

128 10th street, 3rd floor
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Job No.	17102
Issue	Date
ENVIRONMENTAL EVALUATION SET	07.31.17
PRE-APPLICATION REVIEW SET	08.14.17
PRE-APPLICATION / COMMUNITY OUTREACH	10.16.17
SITE PERMIT / 311 NOTIFICATION SET	10.17.17
1 SITE PERMIT / 311 NOTIFICATION SET	12.20.17
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3 SITE PERMIT / 311 SET REVISIONS	06.13.18

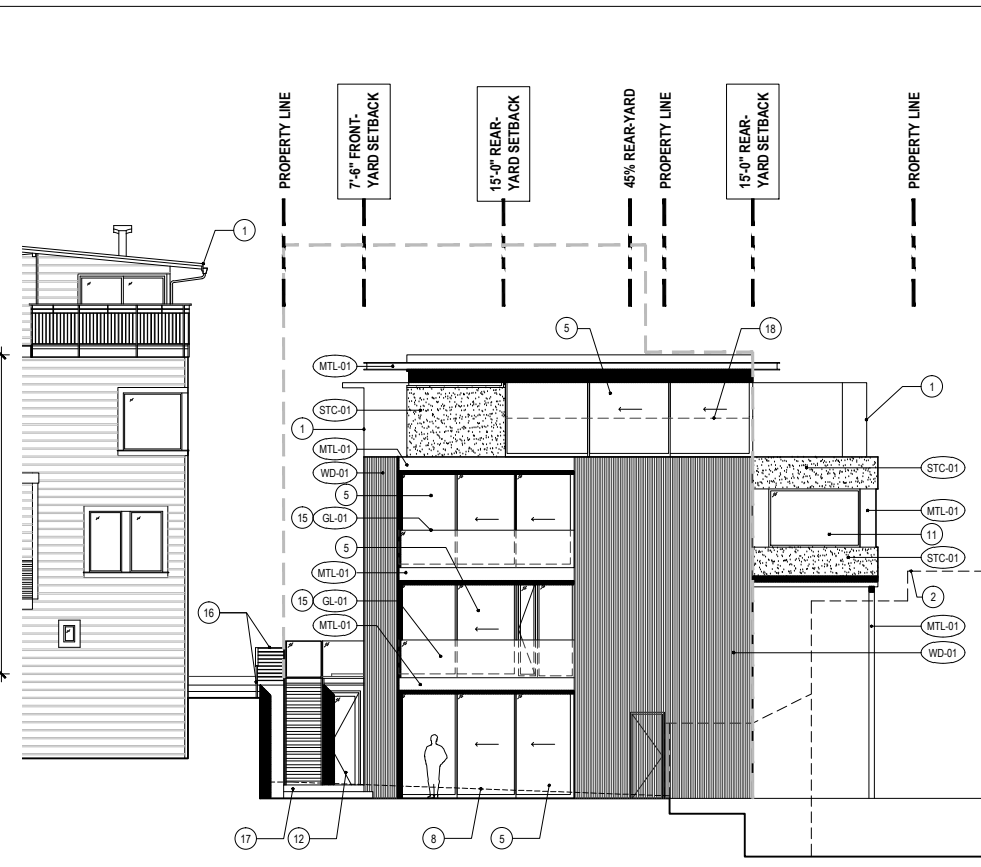
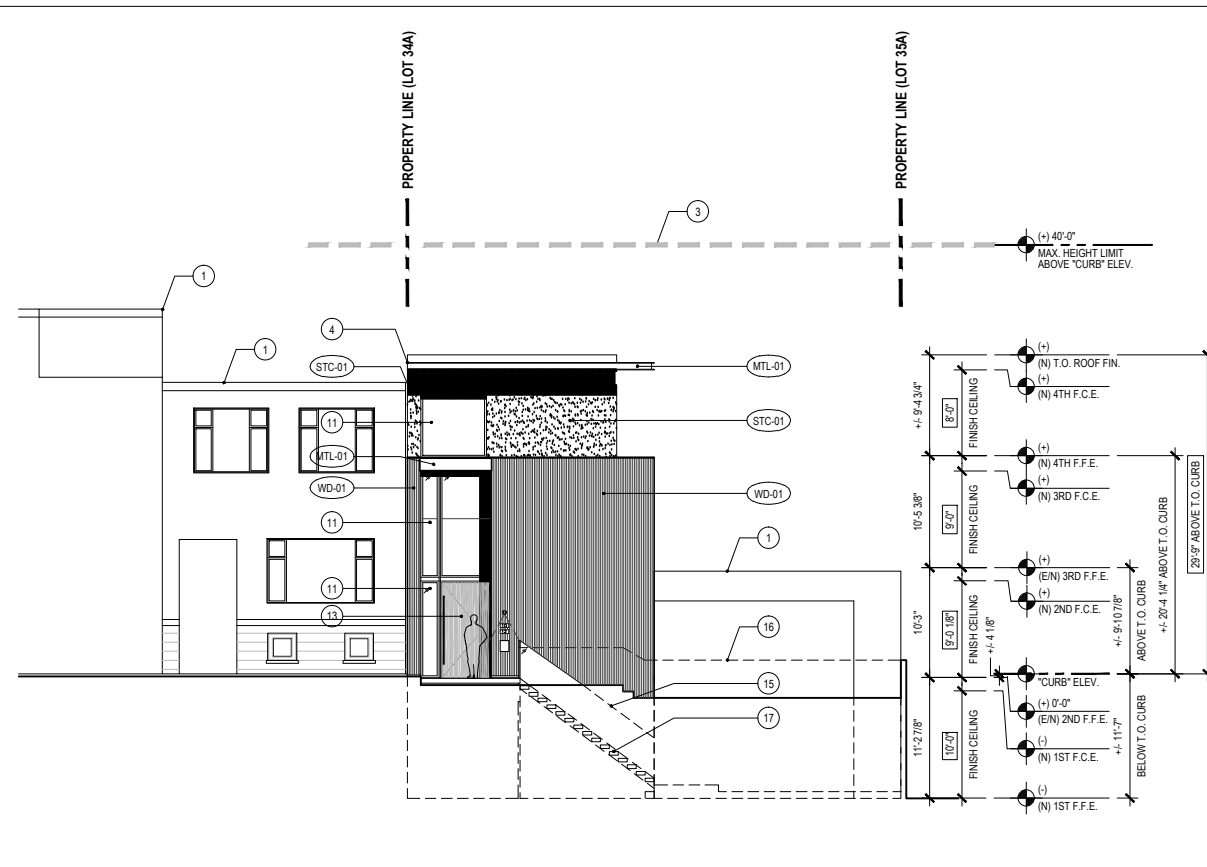
Drawing Title

EXISTING / DEMOLITION EXTERIOR ELEVATIONS

Sheet Number

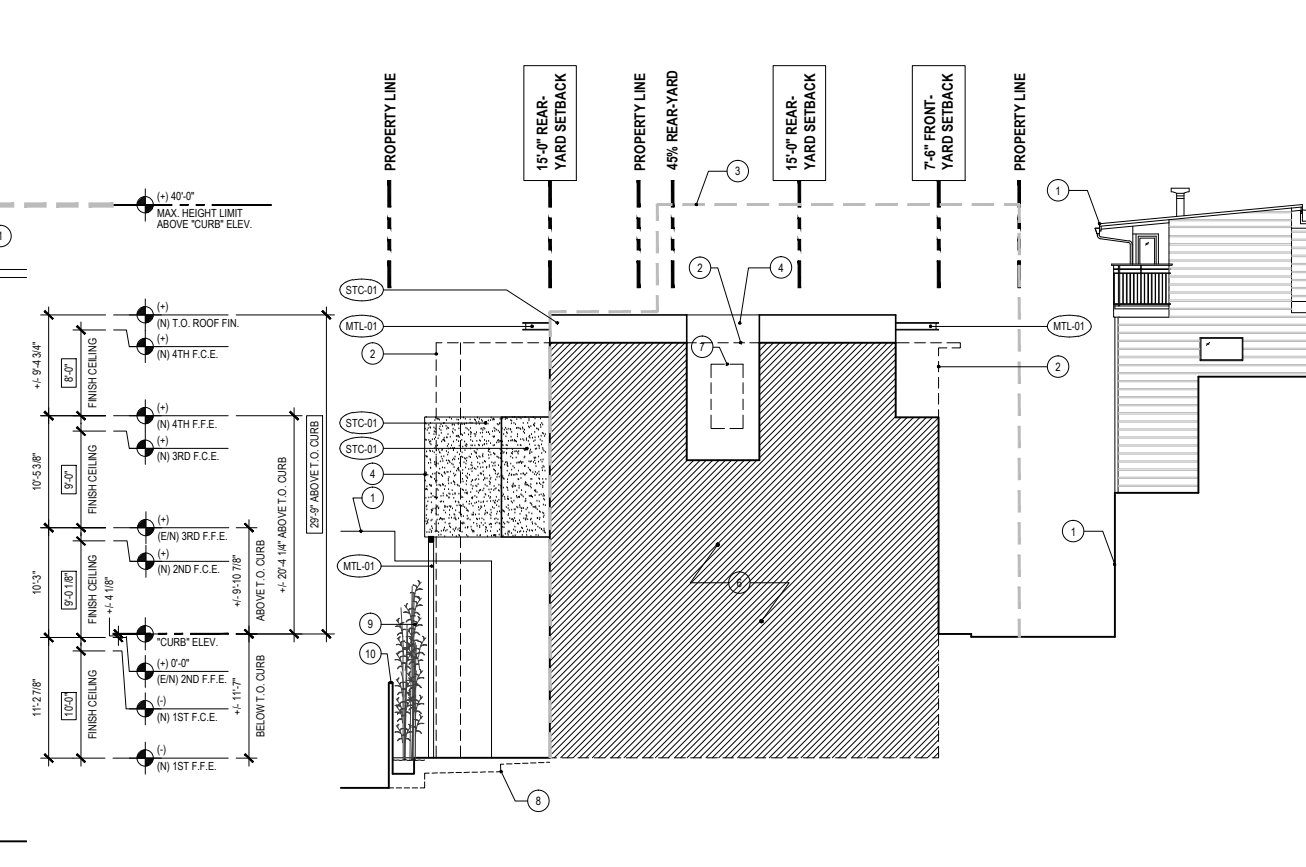
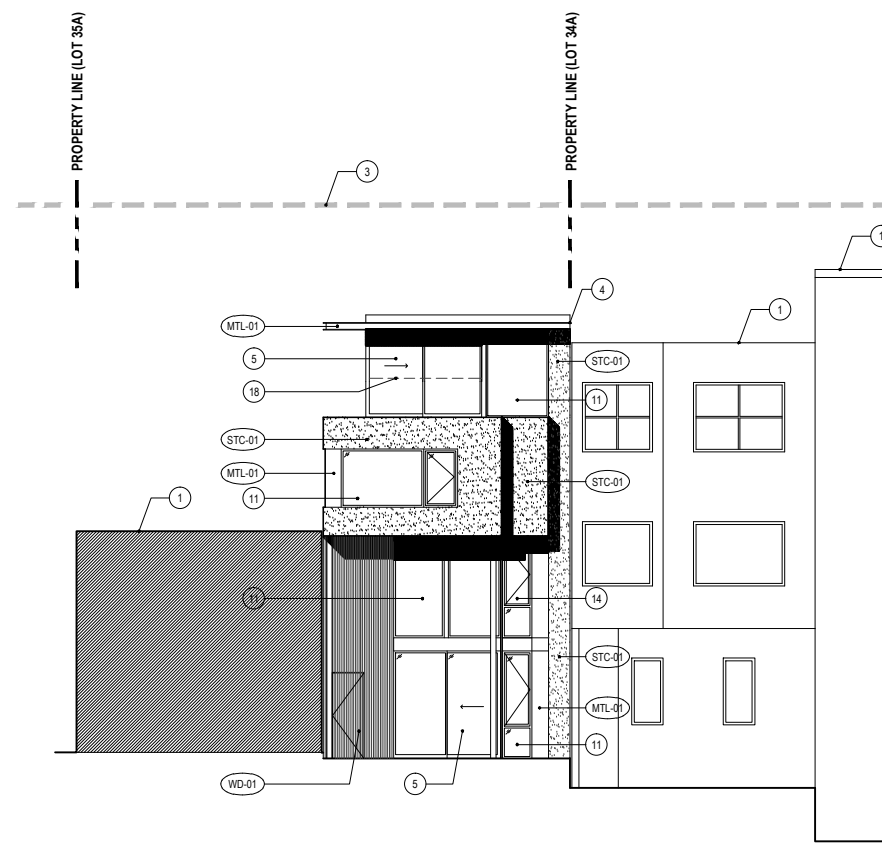


A7



1 PROPOSED EXTERIOR ELEVATION - SOUTH (FRONT)

3 PROPOSED EXTERIOR ELEVATION - EAST (SIDE)



2 PROPOSED EXTERIOR ELEVATION - NORTH (REAR)

4 PROPOSED EXTERIOR ELEVATION - WEST (SIDE)

GENERAL NOTES - PROPOSED ELEVATION

- NOT ALL KEY NOTES ARE USED ON EVERY SHEET
- ALL DIMENSIONS ARE TO F.O. FINISH TYP. U.O.N.

SHEET NOTES - PROPOSED ELEVATION

- ADJACENT BUILDING, SHOWN FOR REFERENCE ONLY. REFER TO A1 FOR ADDL. INFO
- DASHED LINE INDICATES ADJACENT BUILDING IN FOREGROUND, SHOWN FOR REFERENCE ONLY; REFER TO A1 FOR ADDL. INFO.
- DASHED LINE INDICATES ALLOWED BUILDABLE AREA PER SF PLANNING CODE SECTION 241(b)
- OUTLINE OF PROPOSED (N) 10-12 ALADDIN TERRACE
- ALUMINUM SLIDING DOOR ASSEMBLY
- HATCH INDICATES APPROXIMATE PROPERTY LINE BLIND WALL ASSEMBLY BETWEEN 10-12 ALADDIN TERRACE AND ADJACENT NEIGHBORING PROPERTY
- DASHED LINE INDICATES APPROXIMATE LOCATION OF EXISTING NEIGHBORING WINDOW AT 865 FILBERT STREET IN FOREGROUND FACING SUBJECT PROPERTY
- LINE INDICATES APPROXIMATE (E) LINE OF GRADE AT SUBJECT PROPERTY; EXCAVATE AS REQ'D TO ACHIEVE PROPOSED DESIGN. REFER TO A3 SERIES FOR ADDL. INFO
- (N) PROPOSED LANDSCAPING TBD.
- (N) EXTERIOR SITE FENCE, 7'-0" (H) ABOVE GRADE. MAX.
- (N) ALUMINUM WINDOW ASSEMBLY
- UNIT #1 EXTERIOR ENTRY DOOR
- UNIT #2 EXTERIOR ENTRY DOOR
- (N) ALUMINUM EGRESS WINDOW ASSEMBLY
- (N) EXTERIOR 1/2" CLEAR TEMPERED GLASS GUARDRAIL @ 42" H. A.F.F. GUARDRAIL TO COMPLY WITH CBC SECTION 1607.8 FOR LATERAL LOAD RESISTANCE.
- LINE INDICATES (E) GUARDRAIL TO REMAIN; REFER TO PLANS FOR ADDL. INFO
- (N) SITE STAIR TO SIDE YARD & UNIT #1 ENTRY; REFER TO PLANS FOR ADDL. INFO
- DASHED LINE INDICATES (N) INTERIOR 1/2" CLEAR TEMPERED GLASS GUARDRAIL @ 42" H. A.F.F. GUARDRAIL BEHIND SLIDING DOOR - GUARDRAIL TO COMPLY WITH CBC SECTION 1607.8 FOR LATERAL LOAD RESISTANCE.

SHEET NOTES - PROPOSED FINISH LEGEND

- (STC-01) EXTERIOR STUCCO (PORTLAND CEMENT PLASTER); COLOR TBD
- (WD-01) EXTERIOR HARDWOOD STAIN GRADE SIDING, COLOR TBD.
- (MTL-01) EXTERIOR ALUMINUM (ANODIZED OR POWDERCOATED); FINISH TBD
- (GL-01) CLEAR TEMPERED GLASS



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Job No.	17102
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Drawing Title

PROPOSED EXTERIOR ELEVATIONS

Sheet Number

A8