



SAN FRANCISCO PLANNING DEPARTMENT

Executive Summary Conditional Use Authorization

HEARING DATE: 03/07/2019
CONSENT

Record No.: 2017-008875COA/CUA
Project Address: 920 NORTH POINT STREET
Zoning: C-2 (Community Business District)
40-X Height and Bulk District
Block/Lot: 0452/002
Applicant: Eric Jacobs
201 Noe Street
San Francisco, CA 94114
Staff Contact: Rebecca Salgado – (415) 575-9101
rebecca.salgado@sfgov.org
Recommendation: **Approval with Conditions**

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Information:
415.558.6377

PROJECT DESCRIPTION

The proposed project involves reconstructing an existing 19-foot-tall illuminated, painted sheet-metal rooftop sign in kind. The new sign will be installed on the existing structural steel armature. The subject property is part of the larger site historically known as Ghirardelli Square, San Francisco Landmark No. 30. The Ghirardelli sign spans the roofs of two adjacent contributing buildings in Ghirardelli Square: the Cocoa Building and the Mustard Building. The rooftop Ghirardelli sign was constructed in 1915, and restored in 1964 as part of the adaptive reuse of the property by architects Wurster, Bernardi, & Emmons and landscape architect Lawrence Halprin.

REQUIRED COMMISSION ACTION

In order for the Project to proceed, the Commission must grant a Conditional Use Authorization pursuant to Planning Code Section 303 and 608.14, to designate and reconstruct a vintage sign.

BASIS FOR RECOMMENDATION

The Department finds that the Project is consistent with the Objectives and Policies of the General Plan. The designation and reconstruction of the Vintage Sign will help to preserve the character of the neighborhood and the landmark site. The Department also finds the project to be necessary, desirable, and compatible with the surrounding neighborhood, and not to be detrimental to persons or adjacent properties in the vicinity. The Historic Preservation Commission (HPC) granted a Certificate of Appropriateness to the project at a duly noticed public hearing held on January 16, 2019.

ATTACHMENTS:

Draft Motion – Conditional Use Authorization

Exhibit A – HPC Motion No. 0366

Exhibit B – Conditions of Approval

Exhibit C – Environmental Determination

Exhibit D - Project Sponsor Submittal, including:

- Site Map
- Historic and Existing Conditions Photographs
- Reduced Plans and Renderings
- Combined Conditions Assessment Report from Page & Turnbull and Arrow Sign Company



SAN FRANCISCO PLANNING DEPARTMENT

Planning Commission Draft Motion

HEARING DATE: MARCH 7, 2019

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Record No.: 2017-008875COA/CUA
Project Address: 920 NORTH POINT STREET
Zoning: C-2 (Community Business District)
40-X Height and Bulk District
Block/Lot: 0452/002
Applicant: Eric Jacobs, GBA SF
201 Noe Street
San Francisco, CA 94114
Property Owner: Jamestown Premier GHRSQ LP
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Staff Contact: Rebecca Salgado – (415) 575-9101
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ADOPTING FINDINGS RELATING TO THE APPROVAL OF CONDITIONAL USE AUTHORIZATION PURSUANT TO PLANNING CODE SECTIONS 303 AND 608.14 TO DESIGNATE AND RECONSTRUCT A VINTAGE SIGN WITHIN A C-2 (COMMUNITY BUSINESS) ZONING DISTRICT, AND A 40-X HEIGHT AND BULK DISTRICT, AND ADOPTING FINDINGS UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.

PREAMBLE

On September 18, 2018, Eric Jacobs of GBA SF (hereinafter "Project Sponsor") filed Application No. 2017-008875CUA (hereinafter "Application") with the Planning Department (hereinafter "Department") for a Conditional Use Authorization to reconstruct an existing 19-foot-tall illuminated, painted sheet-metal rooftop sign in kind (hereinafter "Project") at 920 North Point Street, Block 0452 Lot 002 (hereinafter "Project Site").

The Planning Department Commission Secretary is the custodian of records; the File for Record No. 2017-008875CUA is located at 1650 Mission Street, Suite 400, San Francisco, California.

On January 16, 2019, the San Francisco Historic Preservation Commission conducted a duly noticed public hearing at a regularly scheduled meeting on the associated Certificate of Appropriateness Application No. 2017-008875COA. The Commission hereby granted the Certificate of Appropriateness for Case No. 2017-008875COA based on the following Conditions of Approval:

1. As part of the Building Permit, the project sponsor will provide Planning staff with a thorough documentation package for the existing sign, to include photo documentation and additional documentation of the three-dimensional scan prepared by the project team.

2. As part of the Building Permit, the project sponsor will prepare a mock-up of the proposed signage illumination, for comparison against the existing signage illumination.

On March 7, 2019, the San Francisco Planning Commission (hereinafter "Commission") conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Authorization Application No. 2017-008875CUA.

The Planning Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15301 (Class One-Minor Alteration of Existing facility) because the project is a minor alteration of an existing structure and meets the *Secretary of the Interior's Standards*.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

MOVED, that the Commission hereby authorizes the Conditional Use Authorization as requested in Application No. 2017-008875CUA, subject to the conditions contained in "EXHIBIT B" of this motion, based on the following findings:

FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.
2. **Project Description.** The proposed project involves reconstructing an existing 19-foot-tall illuminated, painted sheet-metal rooftop sign in kind. The new sign will be installed on the existing structural steel armature.
3. **Site Description and Present Use.** The Project is located on the north side of North Point Street between Polk Street and Larkin Street, on Assessor's Block 0452, Lot 002. The subject property is part of the larger site historically known as Ghirardelli Square, San Francisco Landmark No. 30. The work proposed for this project consists of replacing the Ghirardelli sign that spans the roofs of two adjacent contributing buildings in Ghirardelli Square: the Cocoa Building and the Mustard Building. The rooftop Ghirardelli sign was constructed in 1915, and restored in 1964 as part of the adaptive reuse of the property by architects Wurster, Bernardi, & Emmons and landscape architect Lawrence Halprin.
4. **Surrounding Properties and Neighborhood.** The Project Site is located within a C-2 Zoning Districts in the Northeast Waterfront Area Plan. The immediate context is mixed in character with residential, commercial, and recreational uses. The immediate neighborhood includes an 18-story residential development to the west across Polk Street, a series of one-to-three-story

commercial properties to the south across North Point Street, a series of one-to-four-story residential and commercial properties to the east across Larkin Street, and a portion of the larger San Francisco Maritime National Historical Park to the north. The project site is located within the boundaries of the Waterfront 2 Special Use District. Other zoning districts in the vicinity of the project site include: NC-1 (Neighborhood Commercial-Cluster), RM-4 (Residential-Mixed, High Density), P (Public), RM-3 (Residential-Mixed, Medium Density), and RH-3 (Residential-House, Three Family).

5. **Public Outreach and Comments.** The Department has not received any public comment regarding the proposed project.
6. **Planning Code Compliance.** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:
 - A. **Conditional Use Authorization.** Planning Code Section 608.14(a) states that Conditional Use Authorization may be sought to restore and maintain a vintage sign provided that: (a) the vintage sign to be restored, reconstructed or technologically improved depicts a use, person, place, thing, cultural icon or other valued character or characteristics of the City or a City neighborhood that, at the time of the vintage sign authorization, is at least 40 years old; (b) at least 50 percent of the area of the sign remains legible, (c) the sign does not visually obstruct or significantly impair or detract from, by glare or any other means, a City landmark or public vista; (d) the sign is not larger than the sign that existed prior to the vintage sign authorization and does not appear to be more visually prominent than the sign that existed prior to the vintage sign authorization; and (e) the sign is maintained in good condition, repair and working order.
 - B. **Vintage Signs.** Planning Code Section 608.14(b) requires: (1) the sign proposed for vintage sign authorization is at least 40 years old; and (2) the sign is a cultural artifact that depicts a particular residential, business, cultural, economic, recreational, or other valued resource of the past that contributes to the visual identity and character of a City neighborhood or the City as a whole.

The Project proposes to reconstruct the existing Ghirardelli rooftop sign in kind at the subject property as part of the Conditional Use Authorization. This rooftop sign is a character-defining feature of the landmark Ghirardelli Square site, which is an important cultural, historical, and architectural resource that is known worldwide. The sign was initially installed at the site in 1915, when the site served as a chocolate manufacturing facility for the D. Ghirardelli Company. The sign was restored in 1964 as part of the larger redevelopment of the site, and has been maintained as an important feature of the site since that time. The sign in its current form is fully legible, and does not visually obstruct or significantly impair or distract from a City landmark or public vista. The conditions assessment reports prepared for the existing sign indicate that the individual letters of the sign are deteriorated and have received numerous repairs of varying types over the years. The reports have also determined that repair of the existing letters would only temporarily extend their service life, and that the act of

preparing the existing letters for repairs may damage them beyond repair. The existing sign will be replaced with a new sign matching the historic sign in terms of its material, dimensions, and overall appearance. This cultural artifact contributes to the visual identity and character of the neighborhood by linking the community to another time in the neighborhood's history. Planning Code Section 303 findings are provided below.

7. **Conditional Use Findings.** Planning Code Section 303 establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use authorization. On balance, the project complies with said criteria in that:

- A. The proposed new uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.

The reconstruction and maintenance of the vintage sign is desirable and compatible with the neighborhood and offers the community an opportunity to recollect and/or commemorate a different time in the neighborhood's past.

- B. The proposed project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the project that could be detrimental to the health, safety or convenience of those residing or working the area, in that:

- (1) Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

The height and bulk of the existing building will remain the same and approving the vintage sign will not alter the existing structure.

- (2) The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

Traffic will not be affected by the proposed vintage sign.

- (3) The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

The vintage sign will have none of the above effects on the neighborhood.

- (4) Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

The vintage sign has no impact on landscaping, screening, open space, parking and loading and service areas. It is appropriate for this illuminated sign to be reconstructed in kind at this location because it has existed at the same rooftop location on the landmark Ghirardelli Square site since 1914.

- C. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

The Project complies with all relevant requirements and standards of the Planning Code and is consistent with objectives and policies of the General Plan as detailed below.

- D. That the use as proposed would provide development that is in conformity with the purpose of the applicable Neighborhood Commercial District.

The proposed vintage sign is not located in a Neighborhood Commercial District.

8. **General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

URBAN DESIGN ELEMENT

Objectives and Policies

OBJECTIVE 2:

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

Policy 2.4

Preserve notable landmarks and areas of historic, architectural or aesthetic value, and promote the preservation of other buildings and features that provide continuity with past development.

Policy 2.7

Recognize and protect outstanding and unique areas that contribute in an extraordinary degree to San Francisco's visual form and character.

Allowing this vintage sign to be reconstructed and maintained contributes to the visual character of this neighborhood. The proposed vintage sign will help promote the preservation of features within this neighborhood that provide continuity with past development.

9. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project complies with said policies in that:

- A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

The proposed vintage sign will not have an impact on neighborhood serving retail uses and will not impact opportunities for resident employment in and ownership of neighborhood-serving retail.

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

The proposed vintage sign will contribute to preserving the neighborhood character while having no impact cultural and economic diversity of this neighborhood. The proposed vintage sign will not impact existing housing.

- C. That the City's supply of affordable housing be preserved and enhanced,

The City's affordable housing supply is not affected by this proposal.

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

The vintage sign will create no new traffic in the neighborhood.

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

The proposed vintage sign will not displace any service or industry establishment or adversely affect industrial or service sector uses or related employment opportunities.

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The Project will be designed and will be constructed to conform to the structural and seismic safety requirements of the Building Code. This proposal will not impact the property's ability to withstand an earthquake.

- G. That landmarks and historic buildings be preserved.

The Project, which is located within San Francisco Landmark No. 30, aka Ghirardelli Square, will contribute to the preservation of the landmark site.

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

The proposed vintage sign has no impact on open spaces.

10. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
11. The Commission hereby finds that approval of the Conditional Use Authorization would promote the health, safety and welfare of the City.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Authorization Application No. 2017-008875CUA** subject to the following conditions attached hereto as "EXHIBIT B" in general conformance with plans on file, dated September 8, 2018, and stamped "EXHIBIT D", which is incorporated herein by reference as though fully set forth.

Protest of Fee or Exaction: You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development.

If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission's adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator's Variance Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives **NOTICE** that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period.

I hereby certify that the Planning Commission **ADOPTED** the foregoing Motion on March 7, 2019.

Jonas P. Ionin
Commission Secretary

AYES:

NAYS:

ABSENT:

ADOPTED: March 7, 2019



SAN FRANCISCO PLANNING DEPARTMENT

Historic Preservation Commission Motion No. 0366

HEARING DATE: JANUARY 16, 2019

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San Francisco,
CA 94103-2479

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Planning
Information:
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Case No.: 2017-008875COA
Project Address: 920 NORTH POINT STREET
Historic Landmark: No. 30 – Ghirardelli Square
Zoning: C-2 (Community Business)
40-X Height and Bulk District
Block/Lot: 0452 / 002
Applicant: Elisa Skaggs
Page & Turnbull
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Staff Contact: Rebecca Salgado – (415) 575-9101
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Reviewed by: Tim Frye – (415) 575-6822
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ADOPTING FINDINGS FOR A CERTIFICATE OF APPROPRIATENESS FOR PROPOSED WORK DETERMINED TO BE APPROPRIATE FOR AND CONSISTENT WITH THE PURPOSES OF ARTICLE 10, TO MEET THE STANDARDS OF ARTICLE 10 AND TO MEET THE SECRETARY OF INTERIOR'S STANDARDS FOR REHABILITATION, FOR THE PROPERTY LOCATED ON LOT 002 IN ASSESSOR'S BLOCK 0452, WITHIN A C-2 (COMMUNITY BUSINESS) ZONING DISTRICT AND A 40-X HEIGHT AND BULK DISTRICT.

PREAMBLE

WHEREAS, on July 12, 2017, Elisa Skaggs of Page & Turnbull (Project Sponsor) filed an application with the San Francisco Planning Department (hereinafter "Department") for a Certificate of Appropriateness for work at the subject property located on lot 002 in Assessor's Block 0452. Specifically, the proposal called for replacing the existing 19-foot-tall illuminated, painted sheet-metal sign with a new illuminated metal sign matching the dimensions and appearance of the existing sign. The new sign will be installed on the existing structural steel armature.

WHEREAS, the Project was determined by the Department to be categorically exempt from environmental review. The Historic Preservation Commission (hereinafter "Commission") has reviewed and concurs with said determination.

WHEREAS, on January 16, 2019, the Commission conducted a duly noticed public hearing on the current project, Case No. 2017-008875COA ("Project") for its appropriateness.

WHEREAS, in reviewing the Application, the Commission has had available for its review and consideration case reports, plans, and other materials pertaining to the Project contained in the Department's case files, has reviewed and heard testimony and received materials from interested parties during the public hearing on the Project.

MOVED, that the Commission hereby grants the Certificate of Appropriateness, in conformance with the architectural plans dated September 8, 2018, and labeled Exhibit A on file in the docket for Case No. 2017-008875COA based on the following findings:

CONDITIONS OF APPROVAL

1. As part of the Building Permit, the project sponsor will provide Planning staff with a thorough documentation package for the existing sign, to include photo documentation and additional documentation of the three-dimensional scan prepared by the project team.
2. As part of the Building Permit, the project sponsor will prepare a mock-up of the proposed signage illumination, for comparison against the existing signage illumination.

FINDINGS

Having reviewed all the materials identified in the recitals above and having heard oral testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and also constitute findings of the Commission.
2. Findings pursuant to Article 10:

The Historical Preservation Commission has determined that the proposed work is compatible with the character of the landmark as described in the designation report dated April 8, 1970.

- The proposed project is compatible with Ghirardelli Square, Landmark Number 30, since the project does not negatively affect the mass and form of the landmark site.
- While the proposed project involves the replacement of the character-defining Ghirardelli rooftop sign, the conditions assessment reports prepared for the existing sign indicate that the individual letters of the sign have received numerous repairs of varying types over the years, and that further repair of the sign would only temporarily prolong its service life.
- The physical materials and construction techniques of the rooftop sign—consisting of painted, galvanized sheet metal letters anchored to painted steel angles—do not present examples of fine craftsmanship. Because the construction methods used for the historic sign are not especially distinctive, it will be possible for the new sign to be fabricated in a way that closely approximates the appearance of the existing sign.
- The proposed project would use extensive documentation of the existing sign to allow the new sign to match the overall dimensions, materials, and appearance of the existing sign.

- The proposed work consists solely of replacing the existing rooftop sign in kind, and does not involve any new additions or alterations that would destroy historic materials, features, and spatial relationships that characterize the property. The most notable difference between the existing sign and the replacement sign is that the replacement sign will have LED lighting with a slightly different bulb shape than the existing sign, with the ability to change the illumination color. Although the proposed bulb type is slightly different than the existing method of illumination, the overall character of the sign and its illumination will be maintained.
- The proposed project meets the requirements of Article 10.
- The proposed project meets the following Secretary of the Interior's Standards for Rehabilitation:

Standard 1.

A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

Standard 2.

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

Standard 3.

Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

Standard 4.

Changes to a property that have acquired historic significance in their own right will be retained and preserved.

Standard 5.

Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.

Standard 9.

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Standard 10.

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

3. **General Plan Compliance.** The proposed Certificate of Appropriateness is, on balance, consistent with the following Objectives and Policies of the General Plan:

I. URBAN DESIGN ELEMENT

THE URBAN DESIGN ELEMENT CONCERNS THE PHYSICAL CHARACTER AND ORDER OF THE CITY, AND THE RELATIONSHIP BETWEEN PEOPLE AND THEIR ENVIRONMENT.

GOALS

The Urban Design Element is concerned both with development and with preservation. It is a concerted effort to recognize the positive attributes of the city, to enhance and conserve those attributes, and to improve the living environment where it is less than satisfactory. The Plan is a definition of quality, a definition based upon human needs.

OBJECTIVE 1

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

POLICY 1.3

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

OBJECTIVE 2

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

POLICY 2.4

Preserve notable landmarks and areas of historic, architectural or aesthetic value, and promote the preservation of other buildings and features that provide continuity with past development.

POLICY 2.5

Use care in remodeling of older buildings, in order to enhance rather than weaken the original character of such buildings.

POLICY 2.7

Recognize and protect outstanding and unique areas that contribute in an extraordinary degree to San Francisco's visual form and character.

The goal of a Certificate of Appropriateness is to provide additional oversight for buildings and districts that are architecturally or culturally significant to the City in order to protect the qualities that are associated with that significance.

The proposed project qualifies for a Certificate of Appropriateness and therefore furthers these policies and objectives by maintaining and preserving the character-defining features of the landmark site for the future enjoyment and education of San Francisco residents and visitors.

4. The proposed project is generally consistent with the eight General Plan priority policies set forth in Section 101.1 in that:

- A) The existing neighborhood-serving retail uses will be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses will be enhanced:

The proposed project will not have any impact on neighborhood serving retail uses.

- B) The existing housing and neighborhood character will be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods:

The proposed project will strengthen neighborhood character by respecting the character-defining features of the landmark in conformance with the Secretary of the Interior's Standards.

- C) The City's supply of affordable housing will be preserved and enhanced:

The project will not reduce the affordable housing supply as the use of the property is non-residential.

- D) The commuter traffic will not impede MUNI transit service or overburden our streets or neighborhood parking:

The proposed project will not result in commuter traffic impeding MUNI transit service or overburdening the streets or neighborhood parking.

- E) A diverse economic base will be maintained by protecting our industrial and service sectors from displacement due to commercial office development. And future opportunities for resident employment and ownership in these sectors will be enhanced:

The proposed will not have any impact on industrial and service sector jobs.

- F) The City will achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

Preparedness against injury and loss of life in an earthquake is improved by the proposed work. The work will eliminate unsafe conditions at the site and all construction will be executed in compliance with all applicable construction and safety measures.

- G) That landmark and historic buildings will be preserved:

The proposed project is in conformance with Article 10 of the Planning Code and the Secretary of the Interior's Standards.

- H) Parks and open space and their access to sunlight and vistas will be protected from development:

The proposed project will not impact the access to sunlight or vistas for the parks and open space.

5. For these reasons, the proposal overall, is appropriate for and consistent with the purposes of Article 10, meets the standards of Article 10, and the Secretary of Interior's Standards for Rehabilitation, General Plan and Prop M findings of the Planning Code.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES a Certificate of Appropriateness** for the property located at Lot 002 in Assessor's Block 0452 for proposed work in conformance with the renderings and architectural sketches dated September 8, 2017, and labeled Exhibit A on file in the docket for Case No. 2017-008875COA.

APPEAL AND EFFECTIVE DATE OF MOTION: The Commission's decision on a Certificate of Appropriateness shall be final unless appealed within thirty (30) days. Any appeal shall be made to the Board of Appeals, unless the proposed project requires Board of Supervisors approval or is appealed to the Board of Supervisors as a conditional use, in which case any appeal shall be made to the Board of Supervisors (see Charter Section 4.135).

Duration of this Certificate of Appropriateness: This Certificate of Appropriateness is issued pursuant to Article 10 of the Planning Code and is valid for a period of three (3) years from the effective date of approval by the Historic Preservation Commission. The authorization and right vested by virtue of this action shall be deemed void and canceled if, within 3 years of the date of this Motion, a site permit or building permit for the Project has not been secured by Project Sponsor.

THIS IS NOT A PERMIT TO COMMENCE ANY WORK OR CHANGE OF OCCUPANCY UNLESS NO BUILDING PERMIT IS REQUIRED. PERMITS FROM THE DEPARTMENT OF BUILDING INSPECTION (and any other appropriate agencies) MUST BE SECURED BEFORE WORK IS STARTED OR OCCUPANCY IS CHANGED.

I hereby certify that the Historical Preservation Commission APPROVES the foregoing Motion on January 16, 2019.

Jonas P. Ionin
Commission Secretary

AYES: Black, Hyland, Johnck, Johns, Matsuda, Pearlman

NAYS: None

ABSENT: None

RECUSED: Wolfram

ADOPTED: January 16, 2019

EXHIBIT B

AUTHORIZATION

This authorization is for a conditional use to allow authorization of a vintage sign (d.b.a. **Ghirardelli Square**) located at 920 North Point Street (Block 0452, Lot 002) pursuant to Planning Code Section(s) **303 and 608.14** within the **C-2 (Community Business)** District and a **40-X** Height and Bulk District; in general conformance with plans, dated **September 8, 2018**, and stamped "EXHIBIT D" included in the docket for Record No. **2017-008875CUA** and subject to conditions of approval reviewed and approved by the Commission on **March 7, 2019**, under Motion No **XXXXXX**. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator, and wholly incorporate the conditions of approval outlined in HPC Motion No. 0366, to complete the following:

1. As part of the Building Permit, the project sponsor will provide Planning staff with a thorough documentation package for the existing sign, to include photo documentation and additional documentation of the three-dimensional scan prepared by the project team.
2. As part of the Building Permit, the project sponsor will prepare a mock-up of the proposed signage illumination, for comparison against the existing signage illumination.

RECORDATION OF CONDITIONS OF APPROVAL

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on **March 7, 2019**, under Motion No **XXXXXX**.

PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The conditions of approval under the 'Exhibit B' of this Planning Commission Motion No. **XXXXXX** shall be reproduced on the Index Sheet of construction plans submitted with the site or building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

SEVERABILITY

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use authorization.

Conditions of Approval, Compliance, Monitoring, and Reporting

PERFORMANCE

1. **Validity.** The authorization and right vested by virtue of this action is valid for three (3) years from the effective date of the Motion. The Department of Building Inspection shall have issued a Building Permit or Site Permit to construct the project and/or commence the approved use within this three-year period.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

2. **Expiration and Renewal.** Should a Building or Site Permit be sought after the three (3) year period has lapsed, the project sponsor must seek a renewal of this Authorization by filing an application for an amendment to the original Authorization or a new application for Authorization. Should the project sponsor decline to so file, and decline to withdraw the permit application, the Commission shall conduct a public hearing in order to consider the revocation of the Authorization. Should the Commission not revoke the Authorization following the closure of the public hearing, the Commission shall determine the extension of time for the continued validity of the Authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

3. **Diligent pursuit.** Once a site or Building Permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. Failure to do so shall be grounds for the Commission to consider revoking the approval if more than three (3) years have passed since this Authorization was approved.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

4. **Extension.** All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

5. **Conformity with Current Law.** No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

MONITORING - AFTER ENTITLEMENT

6. **Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

7. **Revocation due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit B of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

OPERATION

8. **Community Liaison.** Prior to issuance of a building permit to construct the project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator and all registered neighborhood groups for the area with written notice of the name, business address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator and registered neighborhood groups shall be made aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org



SAN FRANCISCO PLANNING DEPARTMENT

CEQA Categorical Exemption Determination

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address		Block/Lot(s)
920 NORTH POINT ST		0452002
Case No.		Permit No.
2017-008875PRJ		
<input checked="" type="checkbox"/> Addition/ Alteration	<input type="checkbox"/> Demolition (requires HRE for Category B Building)	<input type="checkbox"/> New Construction
<p>Project description for Planning Department approval.</p> <p>The proposed project consists of replacing severe corroded and patching sheet steel letters. The proposed new aluminum letters will match the existing in size, height, depth and shape. The new letters will incorporate new LED lighting with a bulb count that matches the existing.</p>		

STEP 1: EXEMPTION CLASS

Note: If neither class applies, an <i>Environmental Evaluation Application</i> is required.	
<input checked="" type="checkbox"/>	Class 1 - Existing Facilities. Interior and exterior alterations; additions under 10,000 sq. ft.
<input type="checkbox"/>	Class 3 - New Construction. Up to three new single-family residences or six dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input type="checkbox"/>	<p>Class 32 - In-Fill Development. New Construction of seven or more units or additions greater than 10,000 sq. ft. and meets the conditions described below:</p> <p>(a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.</p> <p>(b) The proposed development occurs within city limits on a project site of no more than 5 acres substantially surrounded by urban uses.</p> <p>(c) The project site has no value as habitat for endangered rare or threatened species.</p> <p>(d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.</p> <p>(e) The site can be adequately served by all required utilities and public services.</p> <p>FOR ENVIRONMENTAL PLANNING USE ONLY</p>
<input type="checkbox"/>	Class _____

STEP 2: CEQA IMPACTS
TO BE COMPLETED BY PROJECT PLANNER

<p>If any box is checked below, an <i>Environmental Evaluation Application</i> is required.</p>	
<input type="checkbox"/>	<p>Air Quality: Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g., backup diesel generators, heavy industry, diesel trucks, etc.)? (refer to EP_ArcMap > CEQA Catex Determination Layers > Air Pollution Exposure Zone)</p>
<input type="checkbox"/>	<p>Hazardous Materials: If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential? If yes, this box must be checked and the project applicant must submit an Environmental Application with a Phase I Environmental Site Assessment. <i>Exceptions: do not check box if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Maher program, a DPH waiver from the Maher program, or other documentation from Environmental Planning staff that hazardous material effects would be less than significant (refer to EP_ArcMap > Maher layer).</i></p>
<input type="checkbox"/>	<p>Transportation: Does the project create six (6) or more net new parking spaces or residential units? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?</p>
<input type="checkbox"/>	<p>Archeological Resources: Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non -archeological sensitive area? (refer to EP_ArcMap > CEQA Catex Determination Layers > Archeological Sensitive Area)</p>
<input type="checkbox"/>	<p>Subdivision/Lot Line Adjustment: Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography)</p>
<input type="checkbox"/>	<p>Slope = or > 20%: Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography) If box is checked, a geotechnical report is required.</p>
<input type="checkbox"/>	<p>Seismic: Landslide Zone: Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report is required.</p>
<input type="checkbox"/>	<p>Seismic: Liquefaction Zone: Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report will likely be required.</p>
<p>If no boxes are checked above, GO TO STEP 3. If one or more boxes are checked above, an <i>Environmental Evaluation Application</i> is required, unless reviewed by an Environmental Planner.</p>	
<p>Comments and Planner Signature (optional):</p> 	

**STEP 3: PROPERTY STATUS - HISTORIC RESOURCE
TO BE COMPLETED BY PROJECT PLANNER**

PROPERTY IS ONE OF THE FOLLOWING: (refer to Parcel Information Map)	
<input checked="" type="checkbox"/>	Category A: Known Historical Resource. GO TO STEP 5.
<input type="checkbox"/>	Category B: Potential Historical Resource (over 45 years of age). GO TO STEP 4.
<input type="checkbox"/>	Category C: Not a Historical Resource or Not Age Eligible (under 45 years of age). GO TO STEP 6.

**STEP 4: PROPOSED WORK CHECKLIST
TO BE COMPLETED BY PROJECT PLANNER**

Check all that apply to the project.	
<input type="checkbox"/>	1. Change of use and new construction. Tenant improvements not included.
<input type="checkbox"/>	2. Regular maintenance or repair to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	3. Window replacement that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. Garage work. A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	5. Deck, terrace construction, or fences not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. Mechanical equipment installation that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. Dormer installation that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	8. Addition(s) that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
Note: Project Planner must check box below before proceeding.	
<input type="checkbox"/>	Project is not listed. GO TO STEP 5.
<input type="checkbox"/>	Project does not conform to the scopes of work. GO TO STEP 5.
<input type="checkbox"/>	Project involves four or more work descriptions. GO TO STEP 5.
<input type="checkbox"/>	Project involves less than four work descriptions. GO TO STEP 6.

**STEP 5: CEQA IMPACTS - ADVANCED HISTORICAL REVIEW
TO BE COMPLETED BY PROJECT PLANNER**

Check all that apply to the project.	
<input type="checkbox"/>	1. Project involves a known historical resource (CEQA Category A) as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	2. Interior alterations to publicly accessible spaces.
<input type="checkbox"/>	3. Window replacement of original/historic windows that are not "in-kind" but are consistent with existing historic character.
<input type="checkbox"/>	4. Façade/storefront alterations that do not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	5. Raising the building in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	6. Restoration based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.

<input type="checkbox"/>	7. Addition(s) , including mechanical equipment that are minimally visible from a public right-of-way and meet the <i>Secretary of the Interior's Standards for Rehabilitation</i> .
<input checked="" type="checkbox"/>	8. Other work consistent with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (specify or add comments): See project description
<input type="checkbox"/>	9. Other work that would not materially impair a historic district (specify or add comments): (Requires approval by Senior Preservation Planner/Preservation Coordinator)
<input type="checkbox"/>	10. Reclassification of property status. (Requires approval by Senior Preservation Planner/Preservation <input type="checkbox"/> Reclassify to Category A <input type="checkbox"/> Reclassify to Category C a. Per HRER dated (attach HRER) b. Other (specify):
Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST check one box below.	
<input type="checkbox"/>	Further environmental review required. Based on the information provided, the project requires an <i>Environmental Evaluation Application</i> to be submitted. GO TO STEP 6.
<input checked="" type="checkbox"/>	Project can proceed with categorical exemption review. The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. GO TO STEP 6.
Comments (optional):	
Preservation Planner Signature: Rebecca Salgado	

**STEP 6: CATEGORICAL EXEMPTION DETERMINATION
TO BE COMPLETED BY PROJECT PLANNER**

<input type="checkbox"/>	Further environmental review required. Proposed project does not meet scopes of work in either (check all that apply): <input type="checkbox"/> Step 2 - CEQA Impacts <input type="checkbox"/> Step 5 - Advanced Historical Review STOP! Must file an <i>Environmental Evaluation Application</i>.	
<input checked="" type="checkbox"/>	No further environmental review is required. The project is categorically exempt under CEQA. There are no unusual circumstances that would result in a reasonable possibility of a significant effect.	
	Project Approval Action: Commission Hearing	Signature: Rebecca Salgado
	If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.	02/07/2019
	Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code. In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the first approval action. Please note that other approval actions may be required for the project. Please contact the assigned planner for these approvals.	

STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT

TO BE COMPLETED BY PROJECT PLANNER

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be subject to additional environmental review pursuant to CEQA.

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address (If different than front page)		Block/Lot(s) (If different than front page)
920 NORTH POINT ST		0452/002
Case No.	Previous Building Permit No.	New Building Permit No.
2017-008875PRJ		
Plans Dated	Previous Approval Action	New Approval Action
	Commission Hearing	
Modified Project Description:		

DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project:	
<input type="checkbox"/>	Result in expansion of the building envelope, as defined in the Planning Code;
<input type="checkbox"/>	Result in the change of use that would require public notice under Planning Code Sections 311 or 312;
<input type="checkbox"/>	Result in demolition as defined under Planning Code Section 317 or 19005(f)?
<input type="checkbox"/>	Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption?
If at least one of the above boxes is checked, further environmental review is required.	

DETERMINATION OF NO SUBSTANTIAL MODIFICATION

<input type="checkbox"/>	The proposed modification would not result in any of the above changes.
If this box is checked, the proposed modifications are categorically exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice.	
Planner Name:	Date:



GHIRARDELLI SQUARE
SAN FRANCISCO, CALIFORNIA

CERTIFICATE OF APPROPRIATENESS: APPENDIX
RECONSTRUCTION OF THE GHIRARDELLI SIGN



PAGE & TURNBULL

imagining change in historic environments through design, research, and technology

JULY 10, 2017
(UPDATED SEPTEMBER 8, 2017)

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GHIRARDELLI SQUARE OVERVIEW AND PROJECT SUMMARY

SITE HISTORY

Ghirardelli Square is one of San Francisco's most prominent cultural, historical and architecturally significant landmarks. Its significance dates from 1858 when the Woolen Mill, one of the first factories in California, was constructed. Between 1893 and 1919, when the D. Ghirardelli Company developed the site with several new buildings, the complex became notable for the distinctive buildings designed by William S. Mooser, Sr. for industrial uses. The period between 1962 and 1968 includes a third significant phase for the site when the property was developed by William M. Roth and his mother, Mrs. William P. Roth. The property was adaptively reused as a festival marketplace and rebranded as Ghirardelli Square. Architects Wurster, Bernardi, & Emmons along with landscape architect Lawrence Halprin were the designers of the Square. Their work was notable for the rehabilitation of the existing buildings and the design of new buildings and landscape that are compatible with the existing. The landscape plan successfully integrated new and old while addressing the slope in the topography with informally located terraces.

HISTORIC STATUS

Ghirardelli Square was landmarked in 1970, a mere two years after Phase II of the rehabilitation was completed, and is San Francisco landmark #30. The site is also listed on the California and National registers.

Character-Defining Features for the buildings constructed between 1868 and 1920 include:

- Red brick
- Crenelated parapets
- White-painted cast concrete quoins, string courses, lintels, and voussoirs
- Regular fenestration pattern
- Steel windows – of types that include double hung, pivot, casement, and multi-lite industrial
- Electric Rooftop Sign

Character-Defining Features for the 1960s buildings and site:

- Red sand mold brick
- Simple, metal-framed storefronts
- Board-formed concrete retaining walls
- Mermaid Fountain

PROJECT SUMMARY

The Ghirardelli sign on the roof of the Mustard Building at Ghirardelli Square was constructed in 1912 and restored in 1964. The sign was originally double-sided; however, when the sign was restored, the letters facing the City were removed. The original lights have also been replaced.

Two separate conditions assessments of the sign were conducted, both revealing that the sheet steel letters exhibit severe corrosion while the steel frame that supports the letters is in fair condition. The proposed project includes the reconstruction of the letters and repair of the steel frame that supports the letters.



HISTORIC IMAGES



1. North Point facade, 1919 (Calisphere)



2. View along North Point, 1919 (Online Archive of California)



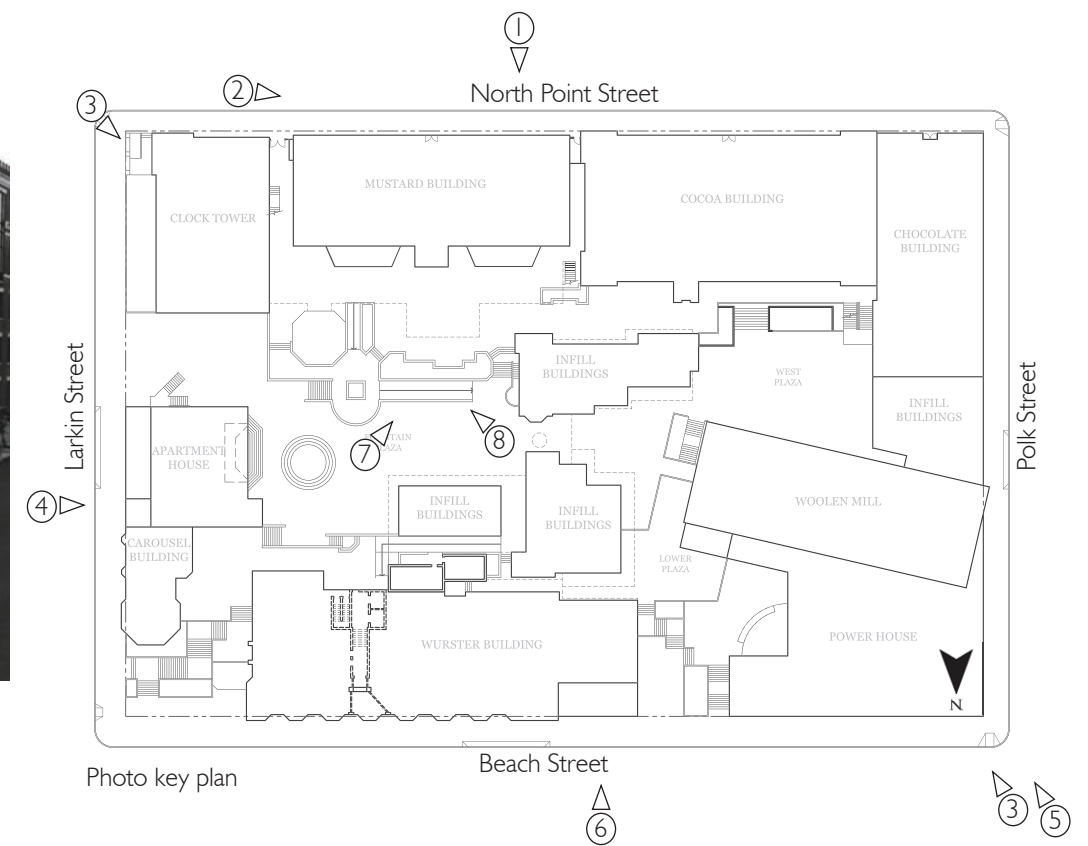
3. View from San Francisco Bay looking southeast, circa 1920 (Ghirardelli Square archives)



4. View on Larkin Street looking west into courtyard of factory complex, circa 1920 (Ghirardelli Square archives)



5. View of Beach Street and Polk Street facades, looking northwest, circa 1975 (Ghirardelli Square archives)



CURRENT IMAGES



6. View of Ghirardelli Square from Aquatic Pier, looking south (JMA Ventures)

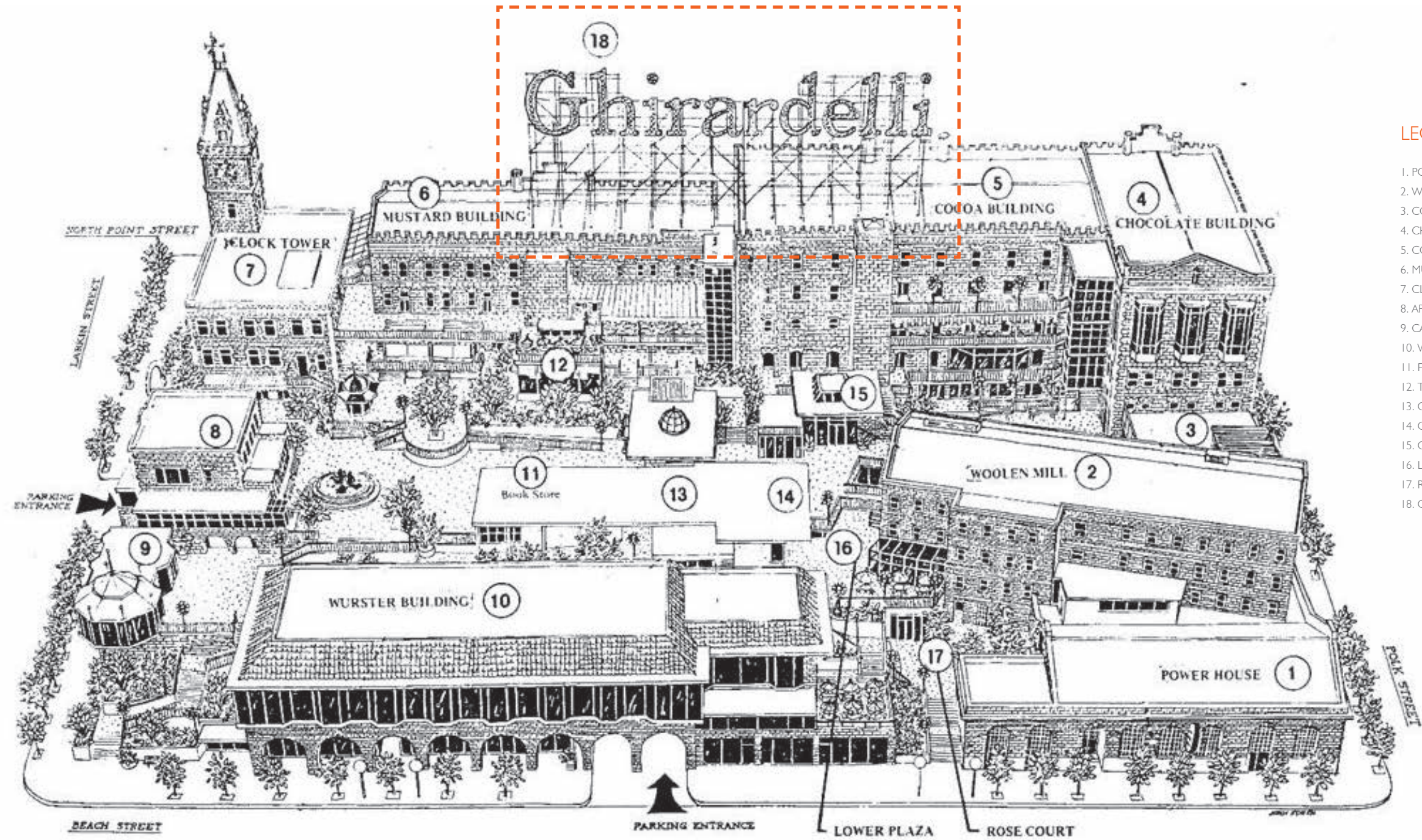


7. View of Ghirardelli Square facade along Polk Street, from the southwest corner of Polk and North Point Streets.



8. View of Ghirardelli Square facade along Polk Street from southeast corner of Polk and Beach Streets, looking south.

SITE PLAN

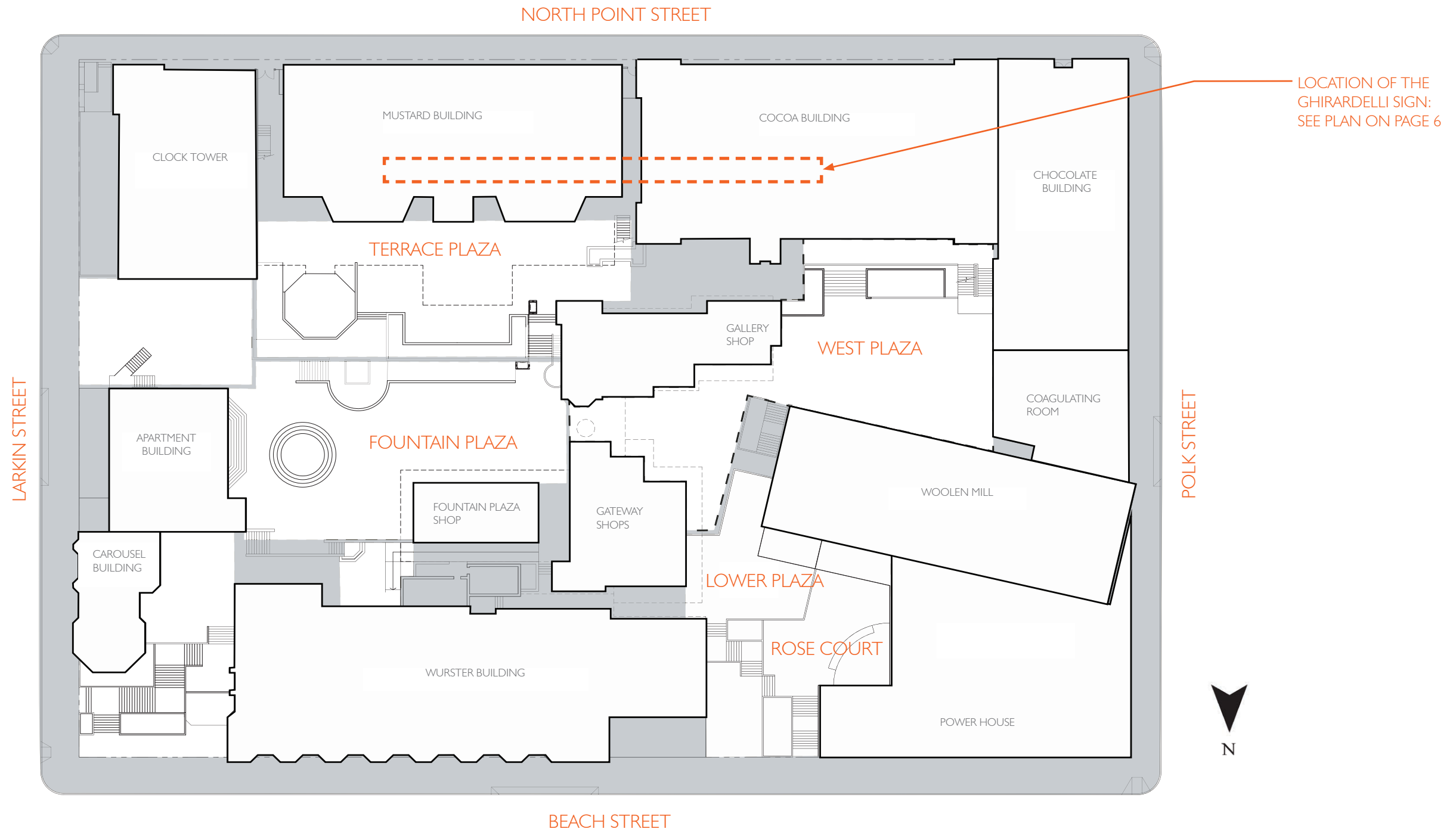


LEGEND

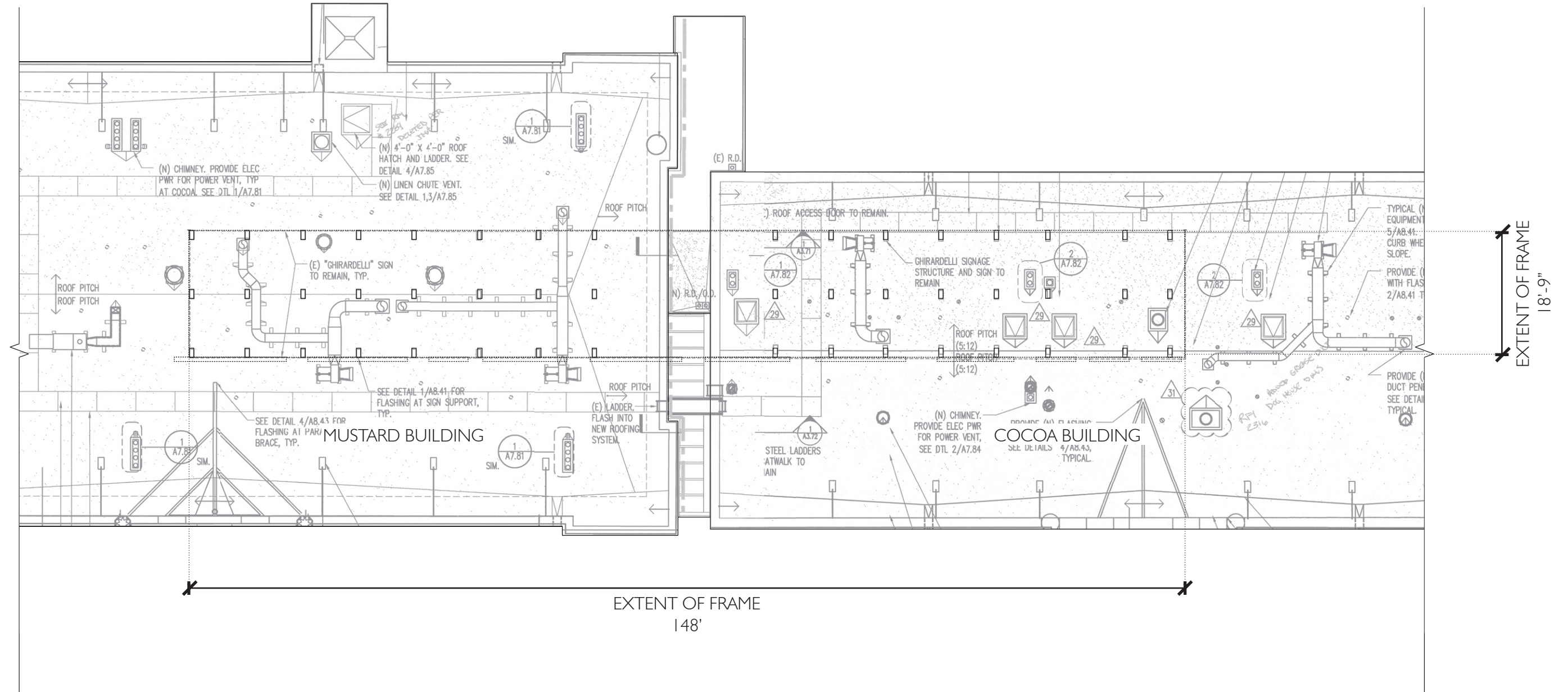
1. POWER HOUSE
2. WOOLEN MILL
3. COAGULATING ROOM
4. CHOCOLATE BUILDING
5. COCOA BUILDING
6. MUSTARD BUILDING
7. CLOCK TOWER
8. APARTMENT BUILDING
9. CAROUSEL BUILDING
10. WURSTER BUILDING
11. FOUNTAIN PLAZA SHOP
12. TERRACE PLAZA
13. GATEWAY SHOPS
14. GATEWAY SHOPS
15. GALLERY SHOP
16. LOWER PLAZA
17. ROSE COURT
18. GHIRARDELLI SIGN

1960s Rendering of Ghirardelli Square

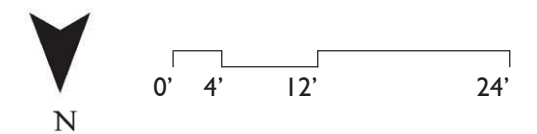
SITE PLAN



PLAN



Roof Plan of Mustard and Cocoa Buildings (Scale: 1/16" = 1'-0")



GHIRARDELLI SIGN

PROPOSED PROJECT

The Ghirardelli sign that sits above the Mustard and Cocoa buildings at Ghirardelli Square was constructed of sheet steel and installed in 1915. It consists of letters that spell out Ghirardelli and was originally double-sided with letters that faced both the bay and the City. The sign can be seen as one approaches San Francisco from the bay and has become the primary identification marker for Ghirardelli Square.

The sign has been repaired numerous times to address corrosion likely caused by the marine environment. A restoration completed in 1964 included the removal of the letters that faced the city. The original lights around the perimeter of the letters were replaced with more efficient LED lights. The frame that supports the letters has also been repaired and repainted over time.

The condition of the letters and frame was recently assessed. While the frame appears to be in fair condition, the letters exhibit varying degrees of deterioration. Most letters have areas that are deteriorated beyond repair. All letters exhibit patches from previous repairs and from when the original lights were replaced.

All the letters on the Ghirardelli have patch repairs and a couple of them exhibit an excessive amount of patching. While portions of the letters appear to be in fair condition, each letter has portions that require repair. Two approaches that address deterioration of the letters have been considered.

One approach would include removal of the letters to conduct repairs in a workshop where the letters can be properly examined. This approach includes risks to the letters involving the removal, transportation of the letters to and from a repair workshop, and reinstallation. This approach will include cutting and splicing of the letters as well as more patching. The approach will also require a rigorous maintenance plan.

A second approach is to replace the letters in kind. This approach is consistent with the Secretary of the interior's Standards for Rehabilitation, Standard 6:

Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

Because of the potential risks involved in the repair approach and the possibility of an inferior result (more patches), an in-kind replacement of the letters appears to be the superior and more practical option. The Ghirardelli sign is a significant feature not only to Ghirardelli Square but also to the San Francisco skyline. This approach extends the life of the sign, meets the Standards, and provides a superior product. The replacement option should be accompanied by a maintenance plan, which would outline appropriate measures intended to prevent deferred maintenance and minimize deterioration in the future.



View of Ghirardelli sign, looking southeast



View of Ghirardelli sign, looking southwest

PRECEDENT

The "HOLLYWOOD" sign underwent a similar successful replacement. It was replaced in 1978 and repaired and repainted in 2005 and 2013.



View of Hollywood sign (Frederic J. Brown/AFP/Getty Images, via LA Times)

GHIRARDELLI SIGN

DETAIL PHOTOGRAPHS OF EXISTING CONDITION



Back side of the letter 'h' showing corrosion at the bottom of the letter and numerous patches.



Close up of back side of letter showing corrosion at the bottom of the letter



Close up of front side of letter showing corrosion and missing glass bulbs



Photo of back side of the letter "i" showing corrosion at back face of letter.



Photo of corrosion at bottom of the letter, at the front and back, and missing glass bulbs



View of Ghirardelli sign, looking west



View of letter "i" mounted to steel truss frame, with scaffolding



Photo of typical connection in the steel truss frame, showing corrosion and loss of paint



Photo of typical connections and members in the steel truss frame, showing corrosion and loss of paint

DOCUMENTATION OF EXISTING SIGN

A photogrammetric survey of the existing sign was carried out by EpicScan during December 2016. The resulting 3D point cloud will be used to ensure that the dimensions of the proposed replacement letters exactly match the existing letters.



View of photogrammetric 3D point cloud created by Epic Scan



View of photogrammetric 3D point cloud created by Epic Scan



View of photogrammetric 3D point cloud created by Epic Scan

PROPOSED PROJECT

The letters of the Ghirardelli sign are proposed to be replaced. The letters have been laser scanned to obtain accurate measurements. The letters will be reconstructed out of aluminum and will match the existing height, width, depth, and shape. New lights will be installed and the bulb quantity and location will match the existing sign. A paint color analysis was conducted and the letters will be painted with a high-performance paint that matches the original color of the letters.

The existing steel frame will be retained and repaired. The frame will be reused to support the new letters.

Shape of letter and bulb quantity and location will be replicated from existing sign

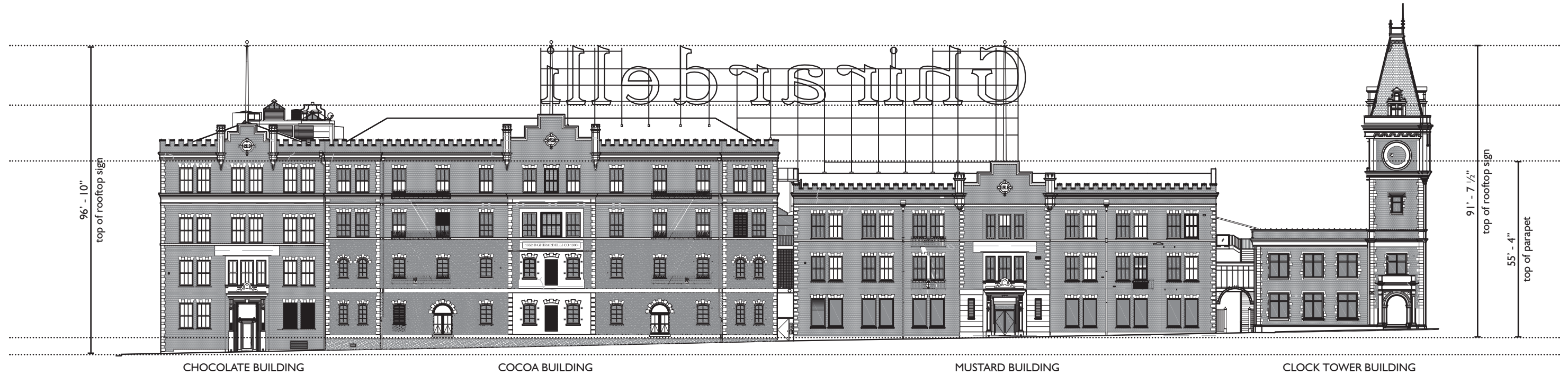
Ghirardelli



A SIGN ELEVATION

SCALE: 1/16" = 1'-0"

ELEVATION



SOUTH ELEVATION [NORTH POINT STREET]
 SCALE: 1/32" = 1' - 0"

Height from North Point Street to Top of Ghirardelli Sign: 96'-10"
 *the above measurement is taken from the lowest point of Ghirardelli Square on North Point Street (the west corner of the Chocolate Building)

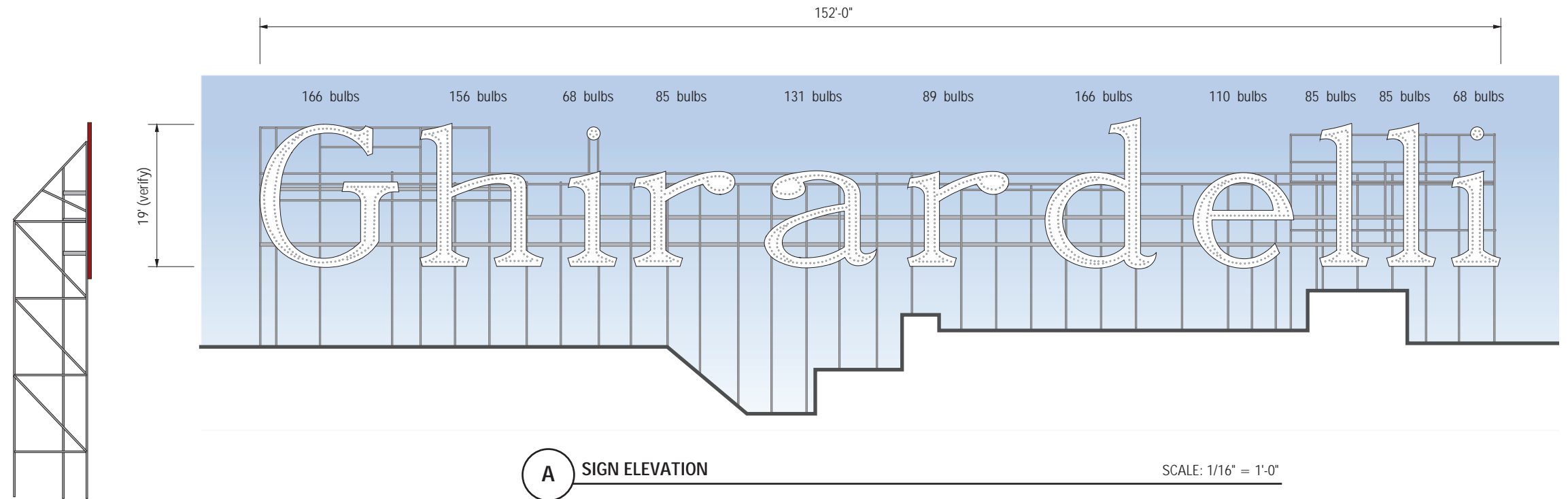
Overall Height of Mustard Building, to Top of Parapet: 55'-4"
 Overall Height of Mustard Building, to Top of Ghirardelli Sign: 91'-7 1/2"
 *the above measurements are taken from the sidewalk at the midpoint of the front entry of the Mustard Building



RENDERING



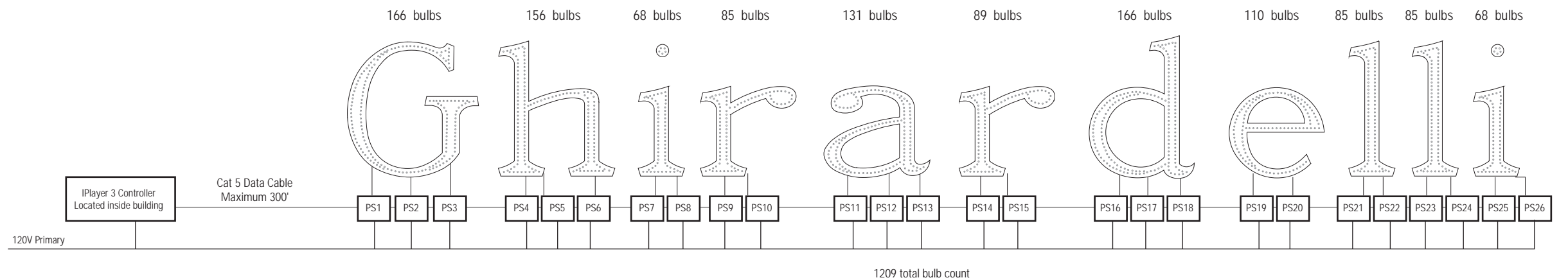
SPECIFICATIONS



A SIGN ELEVATION SCALE: 1/16" = 1'-0"

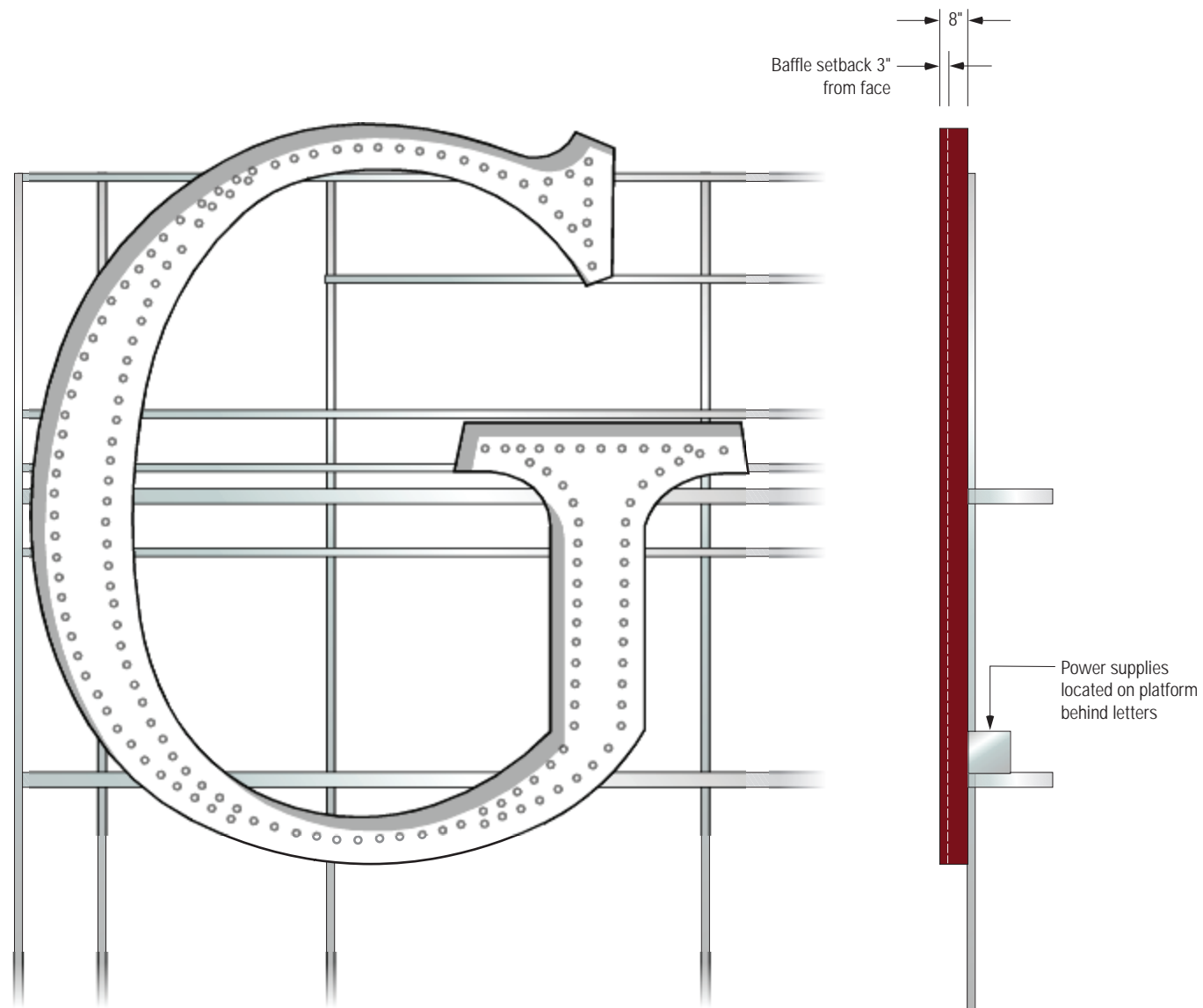
Manufacture and install new letters with exposed LED modules as shown

ITEM	DESCRIPTION	VENDOR	SPECIFICATION
Letters	Aluminum	Matthews	Outside of returns painted dark red, color to be determined. Inside face painted white #282-202, satin
Illumination	LED	Color Kinetics	iColor Flex LMX gen2, with semi transparent marquee lens



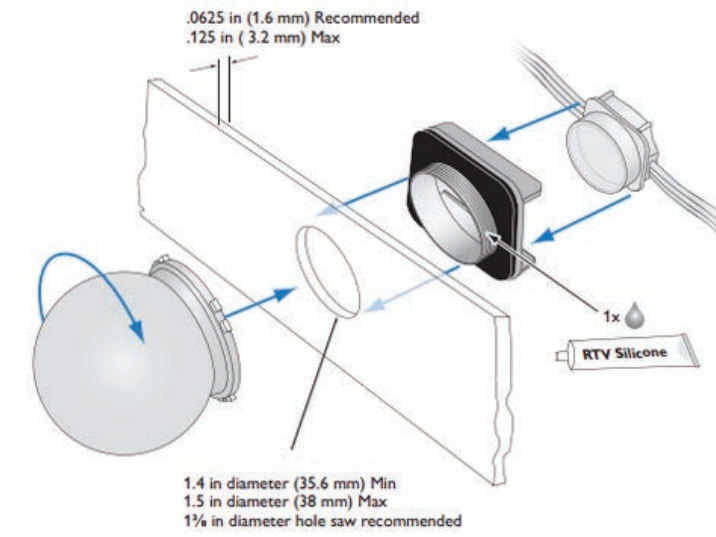
A WIRING DIAGRAM SCALE: 1/16" = 1'-0"

DETAILS



A LETTER DETAIL

SCALE: 1/4" = 1'-0"



NODE DETAIL



SEMI FROSTED MARQUEE LENS ACCESSORY

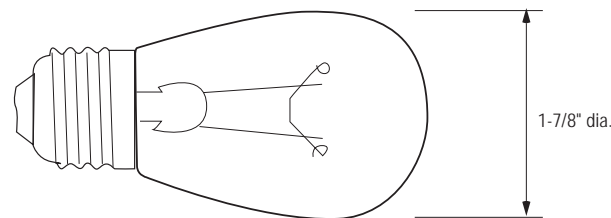
LIGHTING

Original Lighting



Incandescent clear S14 lamps

Original bulbs were traditional incandescent clear S14 lamps. Incandescent bulbs lose their efficiency to heat requiring 11 watts and have a short lamp life of 5,000 hours requiring frequent maintenance.



Power Consumption

1,209 bulbs x 11 watts each = 13,299 watts
12 hours per day, 352 days per year
13,299 watts x .15kph (estimate of power rate)

Annual Cost for power = \$8,713

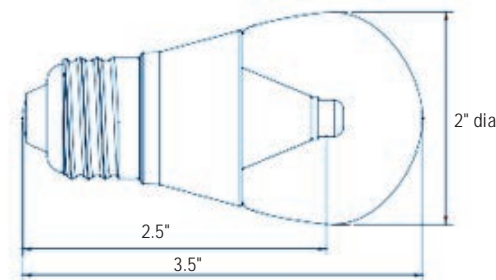
Existing Lighting



Socket Base LED Bulbs - CAO Lighting

Original bulbs were replaced with socket based LED bulbs installed in existing letters and wiring. Socket based LED lamps incorporate LED driver inside each bulb. Bulbs are changed manually to achieve a different color.

Existing bulbs have failed as epoxy coating at base of bulb has deteriorated allowing glass lens to separate and detach from lamp base



Power Consumption

1,209 bulbs x 2.6 watts each = 3,143 watts
12 hours per day, 352 days per year
3,143 watts x .15kph (estimate of power rate)

Annual Cost for power = \$2,059

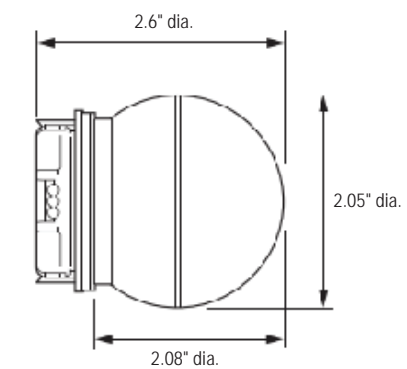
Proposed Lighting



**Color Kinetics iColor Flex LMX gen2
24 Volt LED RGB Lighting**

iColor Flex LMX gen2 are flexible strands of large, high-intensity, full-color LED nodes designed for extraordinary effects and expansive installations. Each power supply powers up to 50 LED nodes providing a much more reliable long term service. Lights have full color changing capability from a remote controller.

Color Kinetics / Phillips is the leader in the color changing LED industry and has been specified for many large scale lighting applications including "Lights of the Bay"



Power Consumption

1,209 bulbs x 1 watt each = 1,209 watts
12 hours per day, 352 days per year
1,209 watts x .15kph (estimate of power rate)

Annual Cost for power = \$792

APPENDICES:
CONDITIONS ASSESSMENTS AND RECOMMENDATIONS

- A. CONDITIONS ASSESSMENT BY PAGE & TURNBULL
- B. CONDITIONS ASSESSMENT BY ARROW SIGN COMPANY
- C. PAGE & TURNBULL MEMORANDUM DATED MARCH 3, 2017
- D. PAINT COLOR ANALYSIS BY JABLONSKI

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GHIRARDELLI SQUARE
COMPILATION OF THE "GHIRARDELLI" SIGN
CONDITIONS ASSESSMENTS
BY PAGE & TURNBULL AND ARROW SIGN COMPANY
SAN FRANCISCO, CALIFORNIA
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PAGE & TURNBULL

imagining change in historic environments through design, research, and technology

DECEMBER 2018

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I. EXECUTIVE SUMMARY

PURPOSE

As part of the Vision Plan for Ghirardelli Square, Jamestown Premier GHRSQ, L.P., the owner, plans to address the deterioration of the Ghirardelli sign and upgrade the existing lights on the sign. The Vision Plan, which included a plan to replace the sign in-kind, was submitted to the Planning Department February 2016 for review and comment. In response, the Planning Department requested that a conditions assessment of the sign be conducted and submitted to the Planning Department to determine if the sign is deteriorated beyond repair. Page & Turnbull prepared a conditions assessment of the “Ghirardelli” sign for Jamestown in September 2016, and Arrow Sign Company prepared a second conditions assessment in December 2016. (Arrow Sign Company was founded in 1952 as Arrow Neon Sign Company. While they progressed into other areas within the industry, they continued maintaining and servicing their commercial signage. They have restored several iconic Bay Area signs throughout the years.) The conditions assessments prepared by both were submitted to the Planning Department for their review. The Planning Department has requested a combined assessment document for presentation to the Historic Preservation Commission. While both reports remain valid, this report distills the two into a single report as requested.

Conceptual drawings of the Ghirardelli sign were provided to Jamestown (and made available to Page & Turnbull) that include new lighting equipment for the sign. These lights were selected because their size and light output is similar to the original. This analysis includes a section on the lighting upgrade.

Figure 1 - Sign, from the northwest



Summary

The investigation found large areas of the letters that are in fair and potentially repairable condition, however, other areas were noted where severe corrosion has resulted in either a complete or partial loss of sheet metal. All letters exhibit both conditions, and the back side of the letters exhibit numerous patches. The extant lights are not original and are in poor condition, with many lights that no longer function properly and several lights that are broken or missing. The lighting uses outdated technology and is not energy efficient. Review of repair logistics further shed light on the feasibility and practicality of repairing the sign, including requirement to saw cut the letters from the frame in order to repair the letters in the shop. Removal of the letters for repair includes its own potential for damage during cutting, as well as the potential for buckling (stress wrinkling) during removal, hoisting, transportation, and reinstallation. There is also potential for damage when the metal seams are unrolled for repair, as well as during removal of spot welds and rivets.

Due to the level of deferred maintenance and required means, methods, and risks for repair, as well as the potential for an inferior result (more required patching in the future), Page & Turnbull recommends an in-kind replacement of the letters, which appears to be the superior and more practical solution. The in-kind replacement is consistent with the Secretary of the Interior's Standards for Rehabilitation, Standard 6.

Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

This approach extends the life of the sign and provides a superior product. The replacement option should be accompanied by a maintenance plan, which would outline appropriate measures intended to prevent deferred maintenance and minimize deterioration in the future.

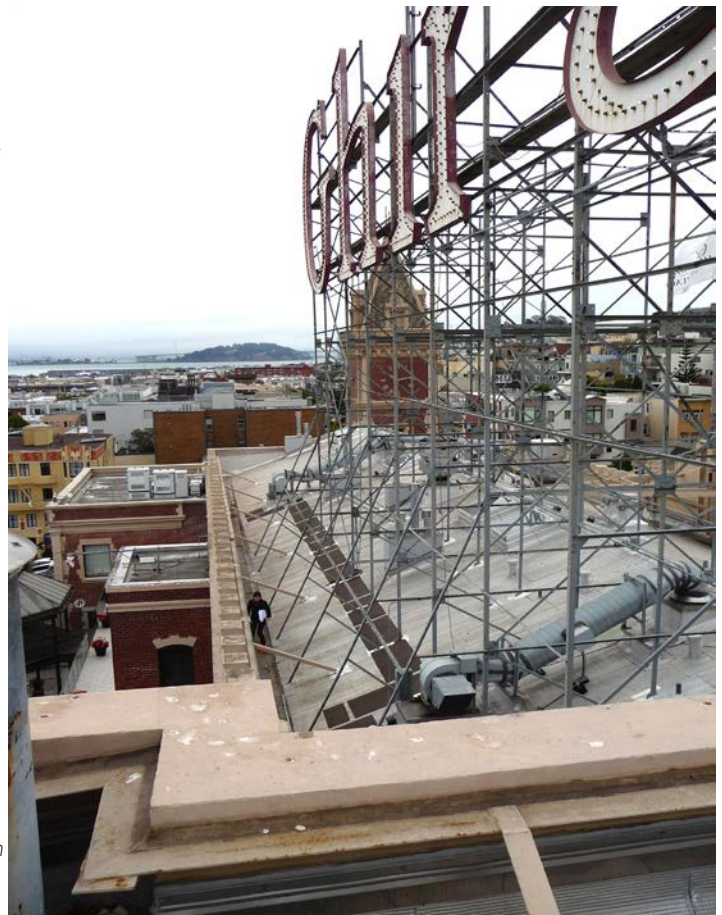
GENERAL DESCRIPTION AND CONDITION

The Ghirardelli sign dates from 1915 and was restored in 1964. The letters are approximately 19 feet in height, as per conceptual drawings provided by Arrow Sign Company, and originally had letters that faced both the bay and the city. The sign spans from the Mustard Building to the Cocoa Building. The letters facing the city were removed in 1964 when the property was rehabilitated.

Today the sign houses retrofit LED lights in small glass globes. Many of the lights are missing, not functioning properly, or have globes that are missing, broken, or filled with condensation.

The condition of the letters varies. Large portions of the letters are in fair condition; however, all letters exhibit areas that are rusted through, with a complete or partial loss of section. Paint is exfoliating from many surfaces. Areas of pitting or surface corrosion were noted where lights are located. Rust staining at the face of the letters was also observed at the holes where the lights are located. Evidence of past patching is visible.

Figure 2 - The eastern half of the sign is much higher above the adjacent rooftop than the western half. Close-range access to this half of the roof was not possible for Page & Turnbull, and visual survey was conducted from afar and from zoomed high resolution photography. Arrow's photographs and close-range survey supplement for this area.



METHODOLOGY

Page & Turnbull Methodology

Page & Turnbull staff visited the sign on August 22, 2016 to evaluate the condition. Measurements were recorded using tape measures and laser rulers (a “disto”). Conditions were noted using pen and paper and translated to digital CAD drawings. Images were taken on digital cameras that utilize 10x optical zoom. Visual access from below the letters was available from the roof level on both sides of the sign. At the west end of the sign, where the roof line is much closer to the letters, close range assessment was possible from the catwalks installed behind the letters. Boatswain chairs or other rope access were not used for survey, and access to the top surfaces of the letters was not possible.

Paint samples were taken using an X-acto blade through all layers down to the base galvanized steel. Samples were sent to Jablonski Building Conservation, Inc. where they were set in resin, cut, polished, and all paint layers identified. See the Paint Analysis section for additional information.

Page & Turnbull has reviewed the drawings provided by Arrow, a sign fabricator, whose drawings call for complete replacement of the letters and new lighting. An evaluation of the potential adaptation of the existing letters to accommodate new lights is also enclosed. This evaluation was used to inform the rehabilitation considerations.

LIMITATIONS

Access to the sign was limited, and the survey was primarily visual. The findings are based upon professional judgment and on the observations from this limited access.

Arrow Methodology

Arrow physically inspected each of the letters by climbing the framework and inspecting the sign elements at close-range. Personnel also opened service doors and took photos into the interior of the letters.

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II. CONDITIONS ASSESSMENT

The letters and the armature of the Ghirardelli sign were assessed for their condition. Marked-up drawings with specific notes for each letter are available in the Appendix.

LETTERS

The letters consist of localized areas with severe deterioration mixed in with large areas that are in fair to good condition. Similar typical conditions were noted, with two particular letters, the "h" and the last "i", the poorest condition.

All letters appear well anchored to the armature frame, as far as could be determined from the available access.

The paint on the letters is flaking in many locations. Some letters have large areas of paint loss, exposing the galvanized steel substrate. Paint loss is typically associated with areas where the steel is corroding or pitting. The loss is less on the south (back) side of the sign that faces toward the city.

Corrosion varies across the surfaces of the letters. Pitting and surface corrosion is concentrated near the edges of the sheet metal or near holes. Major damage such as pack rust (rust exfoliation that causes rust jacking/deformation) or tears and rust-through occurs where there are horizontal surfaces in the letters, typically near the base of the letter. All letters have or had small holes in the base of the letter to allow water that may have entered the letter to escape. On some letters, these holes have widened or the base piece of the letter is heavily corroded or missing.

Previous patches or access doors/panels appear on the south (back) side of some but not all of the letters. All letters exhibit a small, patched opening at the base, presumably where electrical issues were addressed, lighting was serviced, or where the current iteration was installed. These areas will require new material with properly installed and sealed access doors, as they provide the potential for water intrusion.

Birds use the letters as perches. Birds were noted perching on the topside of the letters and upper armature during this survey. The presence of guano, however, does not appear to have dramatically deteriorated the letters; locations where birds were seen do not have excessive holes or rust (no more so than in other locations at the letters).

Lights

The lights on the letters are in fair, operable condition. All of the electrical components however, including internal wiring, sockets, and exterior junctions, are not compliant with the current code. There are multiple areas where the internal electrical components are exposed to the elements due to the large rust holes, requiring replacement of 100% of the electrical wiring and components. Many lights have lost the glass globes over the light source, have broken globes that are still attached, or are missing completely.

Typical conditions are illustrated below and on the following pages.

Figure 3 - (left) Large areas of paint loss are evident, however few areas like this exist. Notably, the galvanized sheet steel behind is in good condition, suggesting these areas have not been exposed long.



Figure 4 - (right) Typical paint loss: exfoliation of layers due to corrosion or pitting of the sheet steel behind.





Figure 5 - Weep holes are drilled into the base of the letters. They exist in various conditions as shown in the three images below.



Figure 6 - Still operable weep hole with little deterioration



Figure 7 - Moderate deterioration at this weep hole in the form of corrosion with associated paint deterioration.



Figure 8 - Extensive deterioration at the base of a letter due to water intrusion and/or ponding. The base here has sheared away at its edges.



Figure 9 - Corrosion at the front face of this letter has resulted in the front piece of sheet steel pushing out. Note the various states of the lights: condensation within the globes, missing globes, or missing lights/lamps.



Figure 10 - Birds use the tops of the letters as perches



Figure 11 - The pieces of sheet steel that comprise the letters are separating or pulling away from each other at various joints, most typically where the face steel is pulling away from the sides or backing. Here the perimeter wall pieces become separated from where they previously have overlapped slightly.



Figure 12 - Patches are visible at the back of the letters. The "h" letter exhibits the most patching, including open or edges of the patches which are open to the inside of the letter.

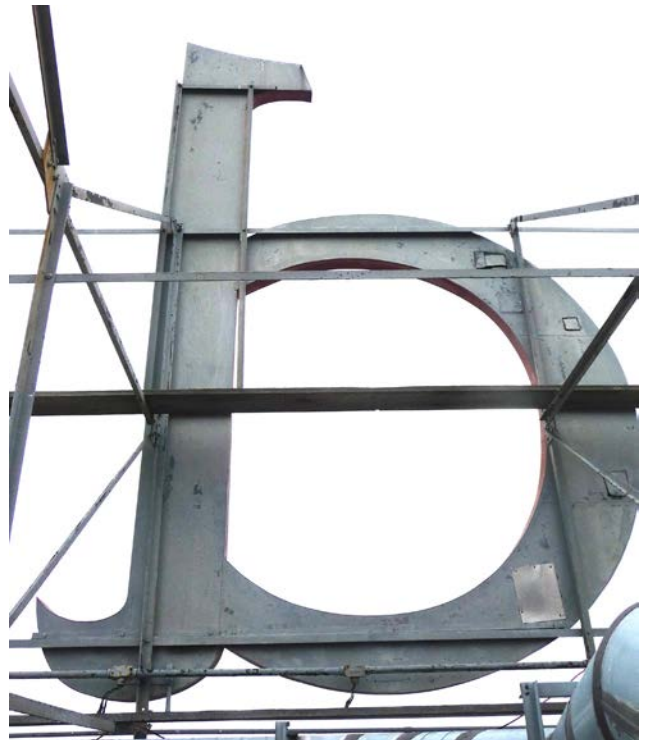
All letters have a small patch at the center of the back of the letter, presumably to cover a previous opening for electrical component access.

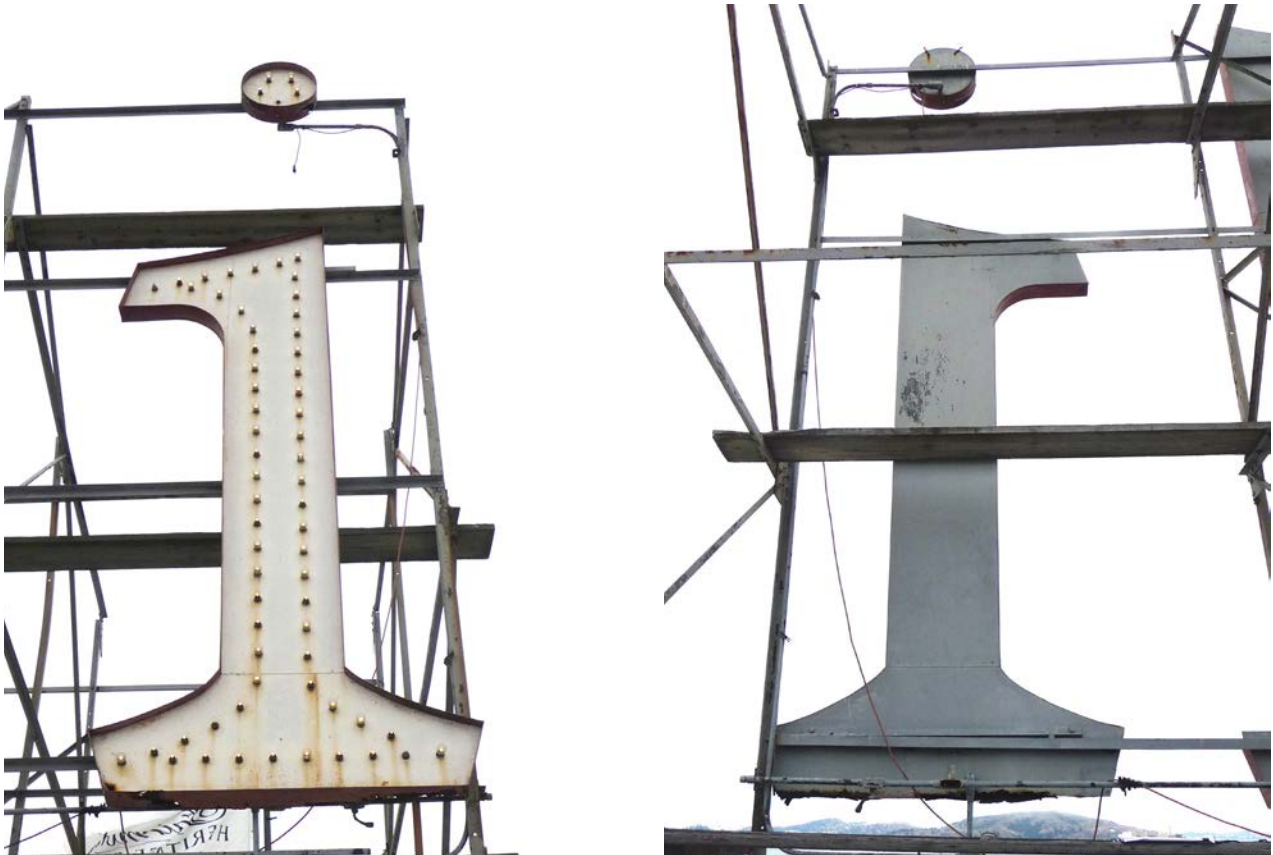
DOCUMENTATION OF ALL LETTERS














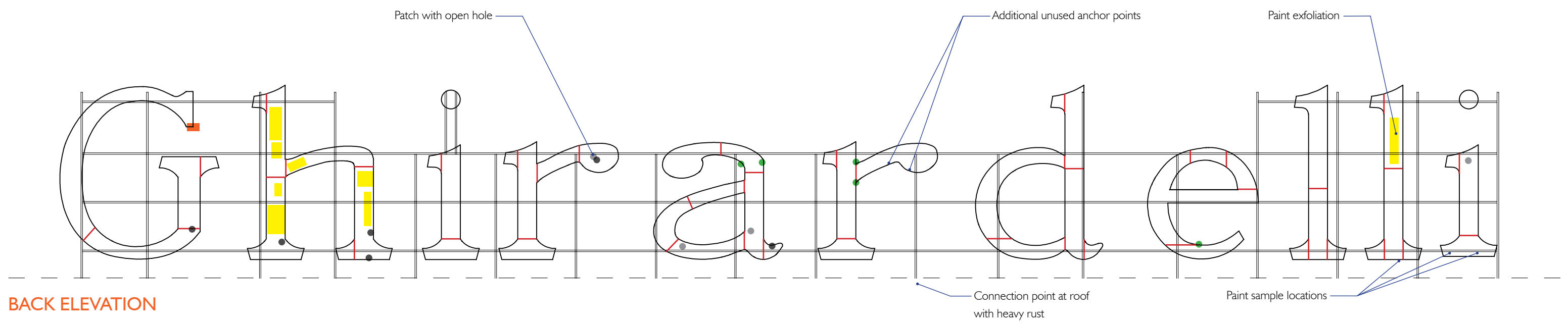
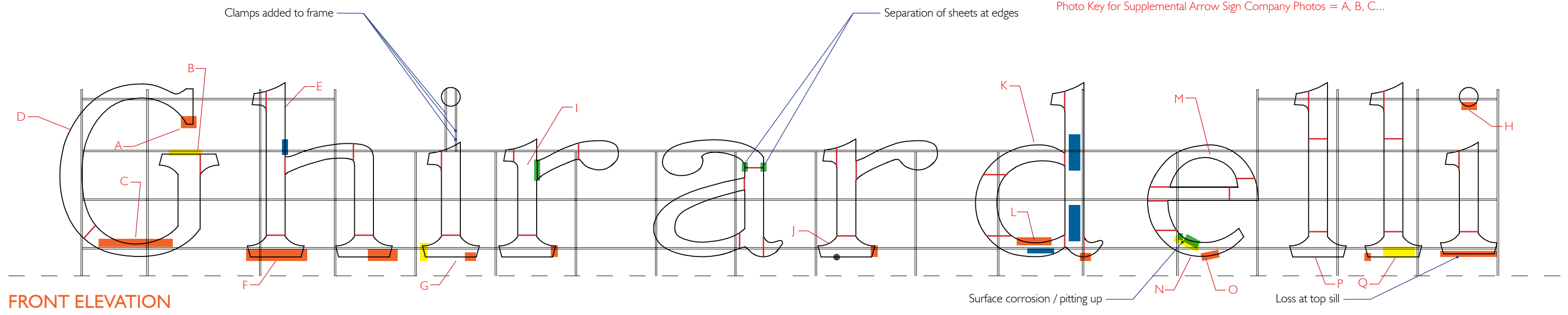




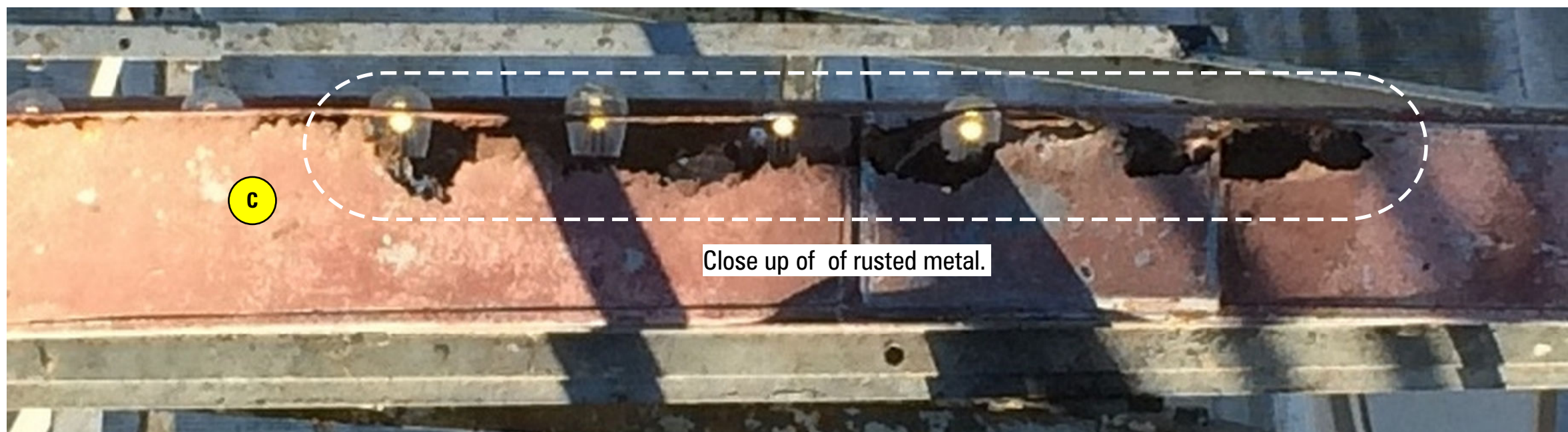
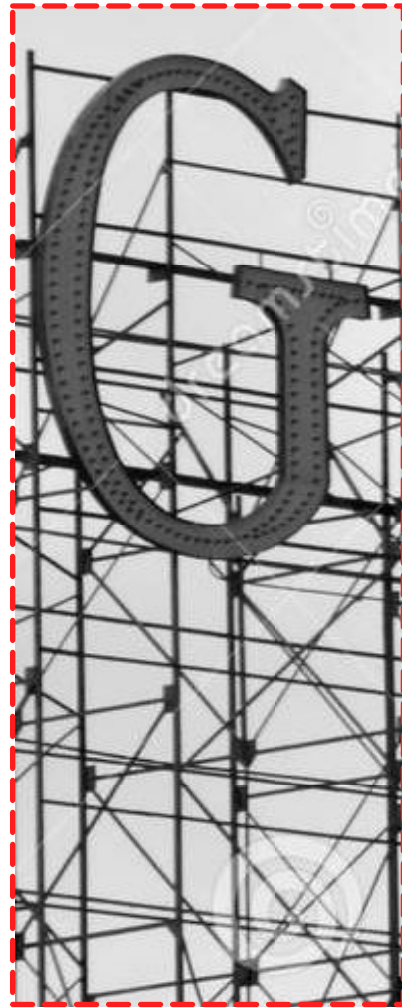
“GHIRARDELLI” SIGN CONDITIONS ASSESSMENT DRAWING

Note: For the purposes of this report which combines Page & Turnbull’s assessment with Arrow Sign Company’s assessment, the original Page & Turnbull condition drawing below has been updated to incorporate information from Arrow’s closer-access survey. Photo keys below (letters) indicate additional photos within the body of this report from Arrow’s close-range survey.

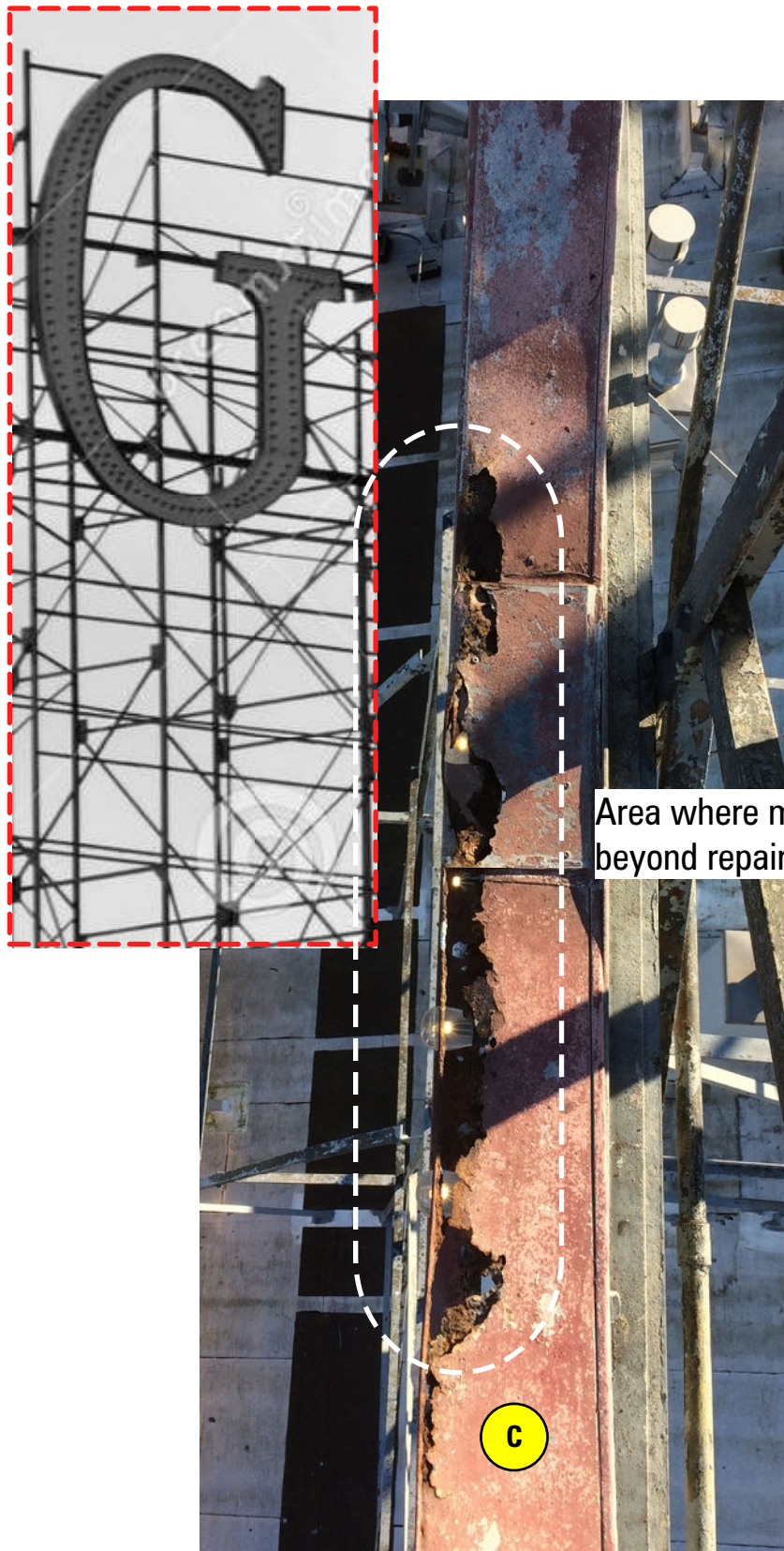
LEGEND					
	Sheet metal breakpoints / where riveted		Large, flaking paint loss		Open hole
	Rust: major / loss of section		Rust: minor / surface		Patch
			Pulling up of edge		



PHOTOS FROM ARROW'S CLOSER-RANGE SURVEY
SEE PHOTO KEY ON CONDITIONS ASSESSMENT DRAWING



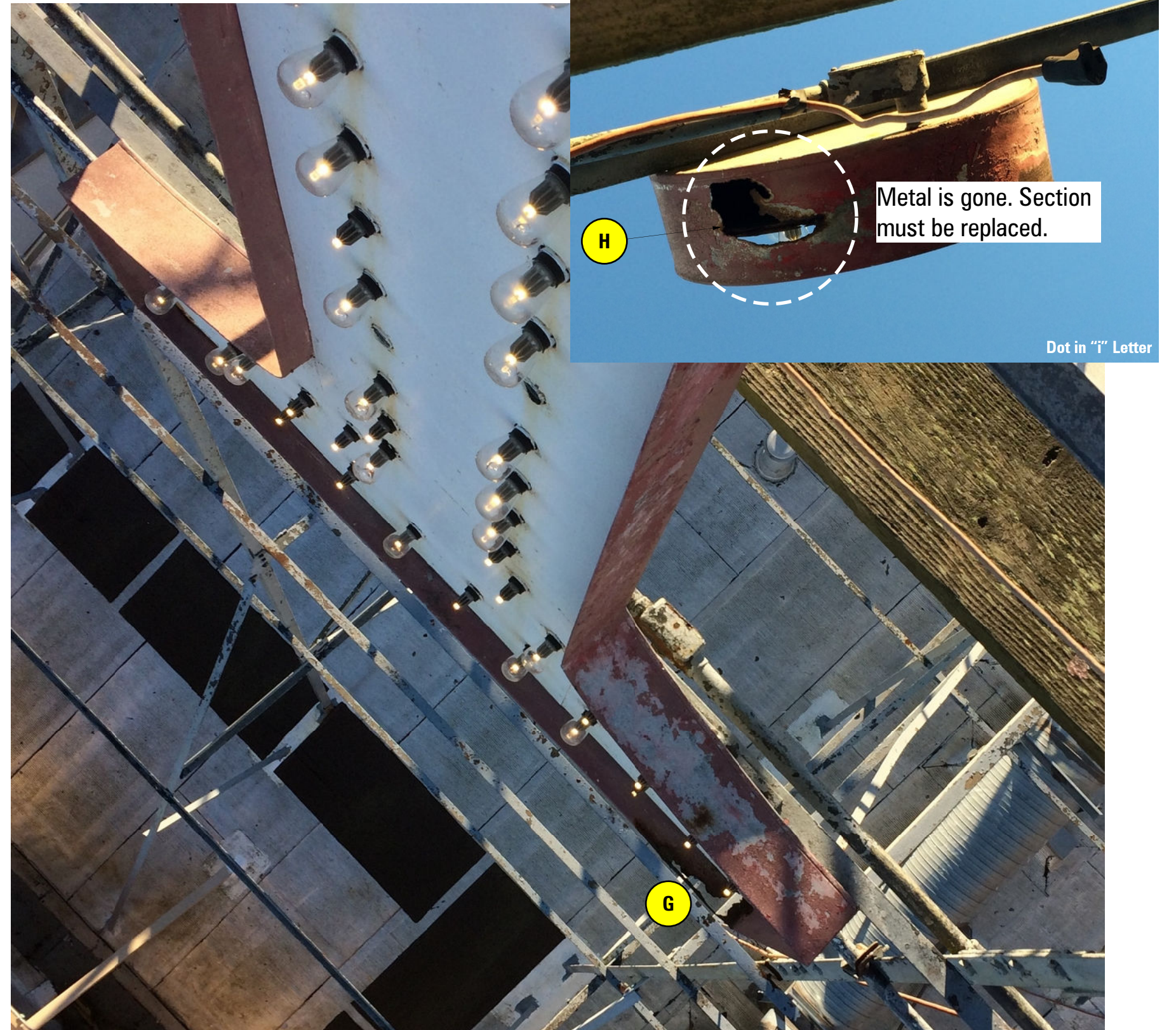
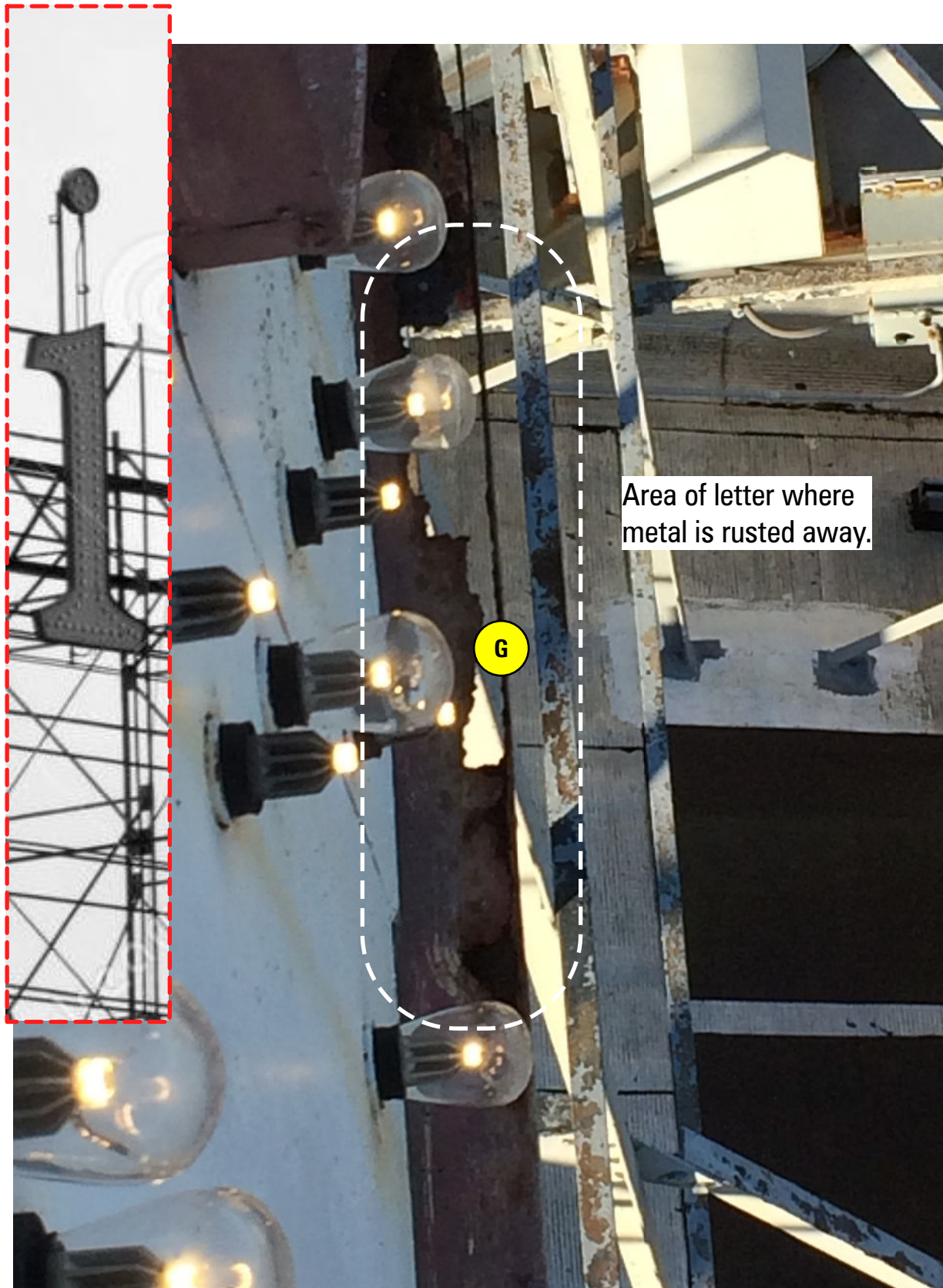
PHOTOS FROM ARROW'S CLOSER-RANGE SURVEY
SEE PHOTO KEY ON CONDITIONS ASSESSMENT DRAWING



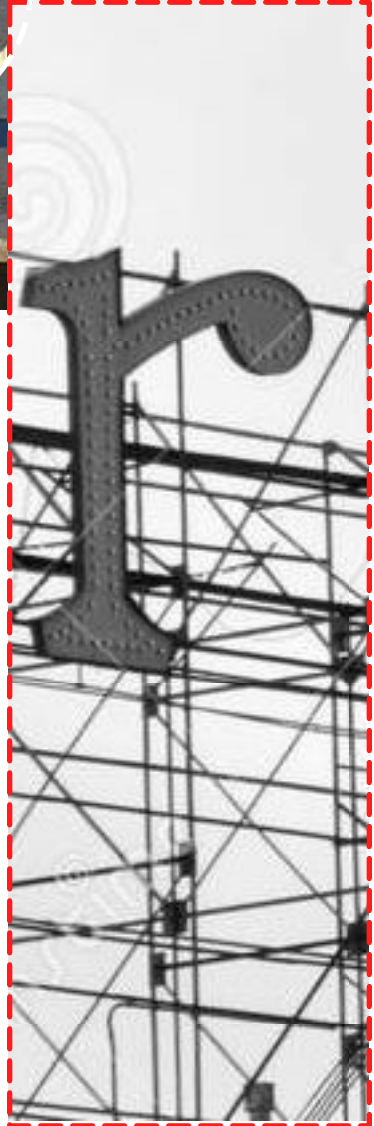
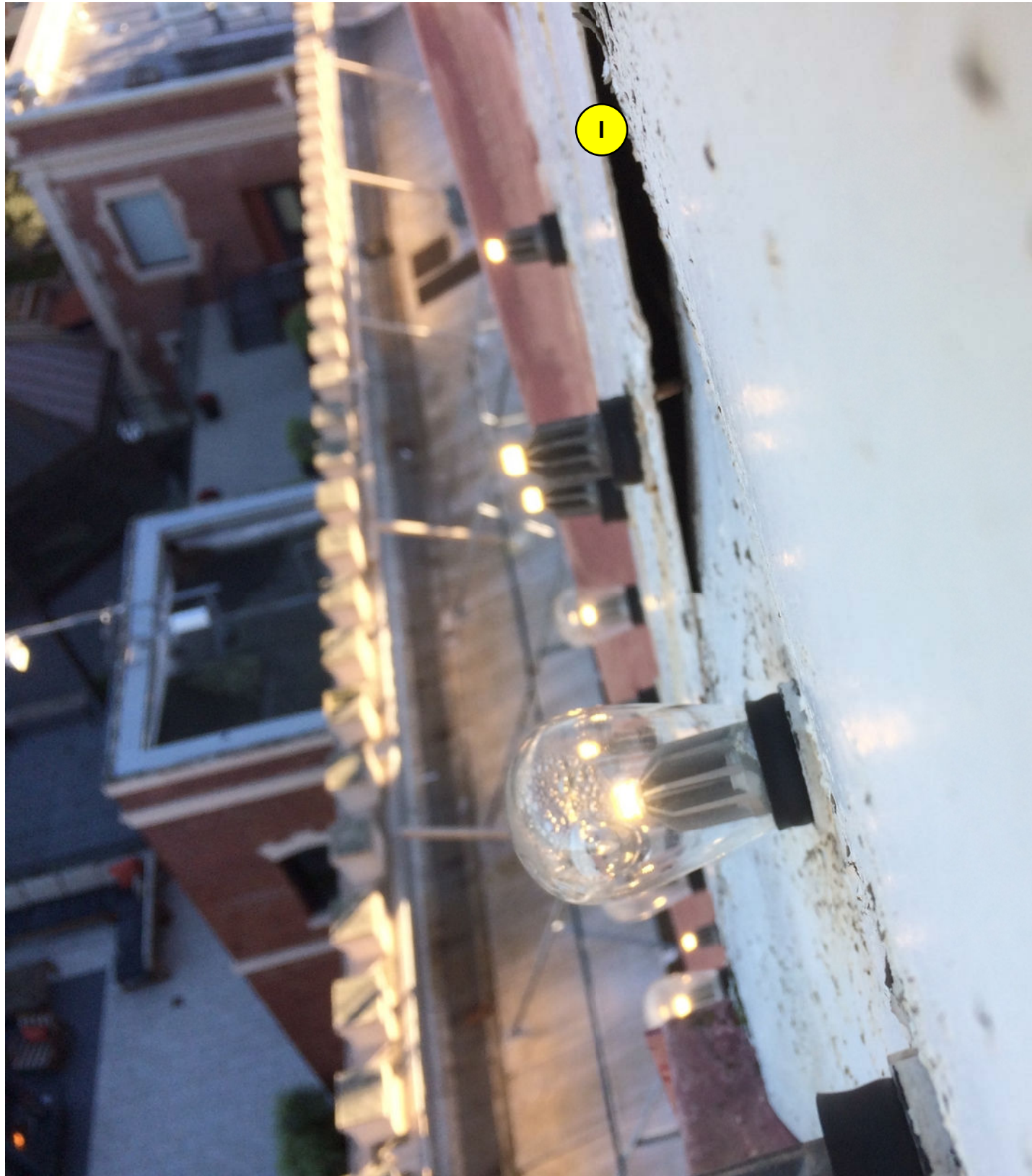
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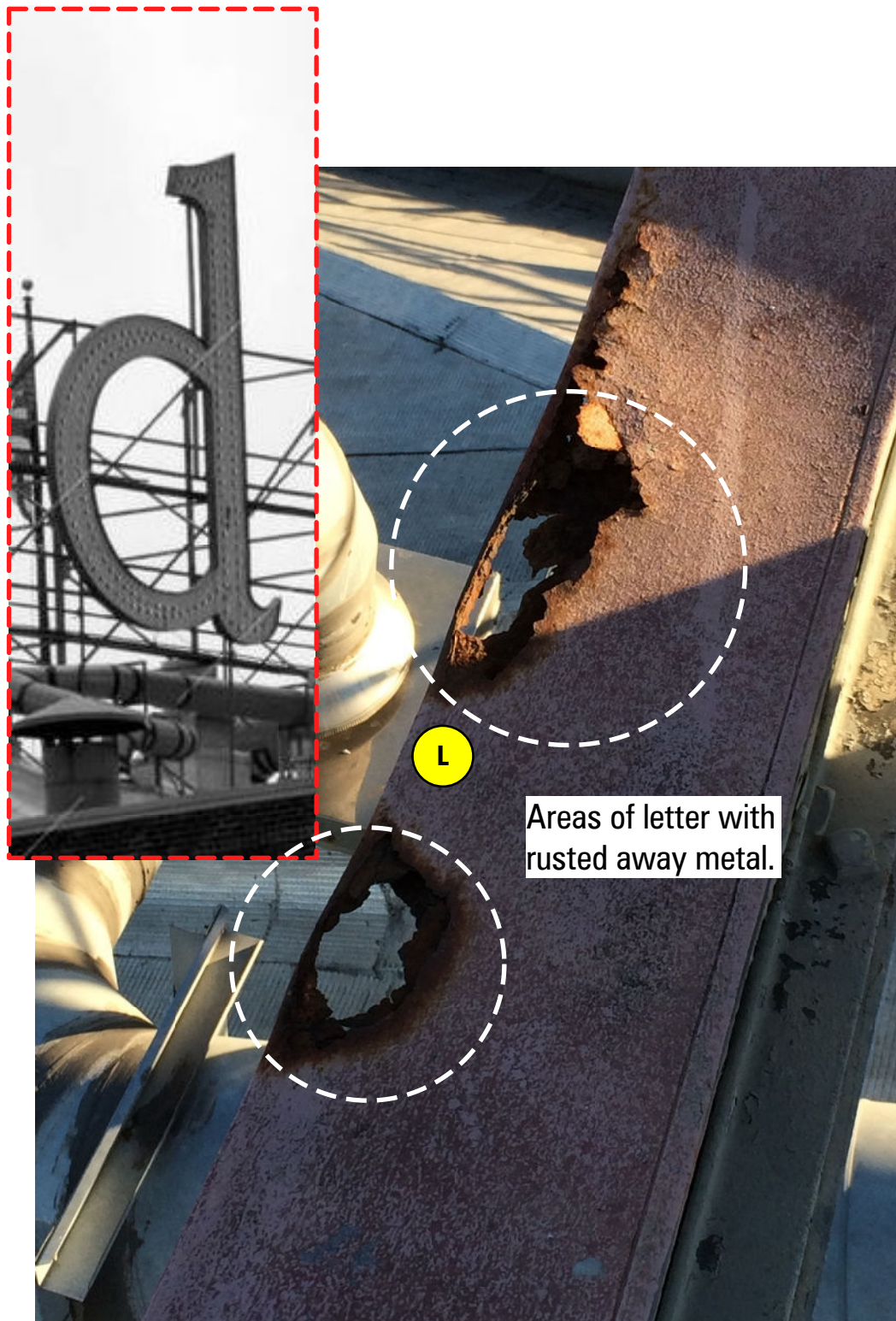
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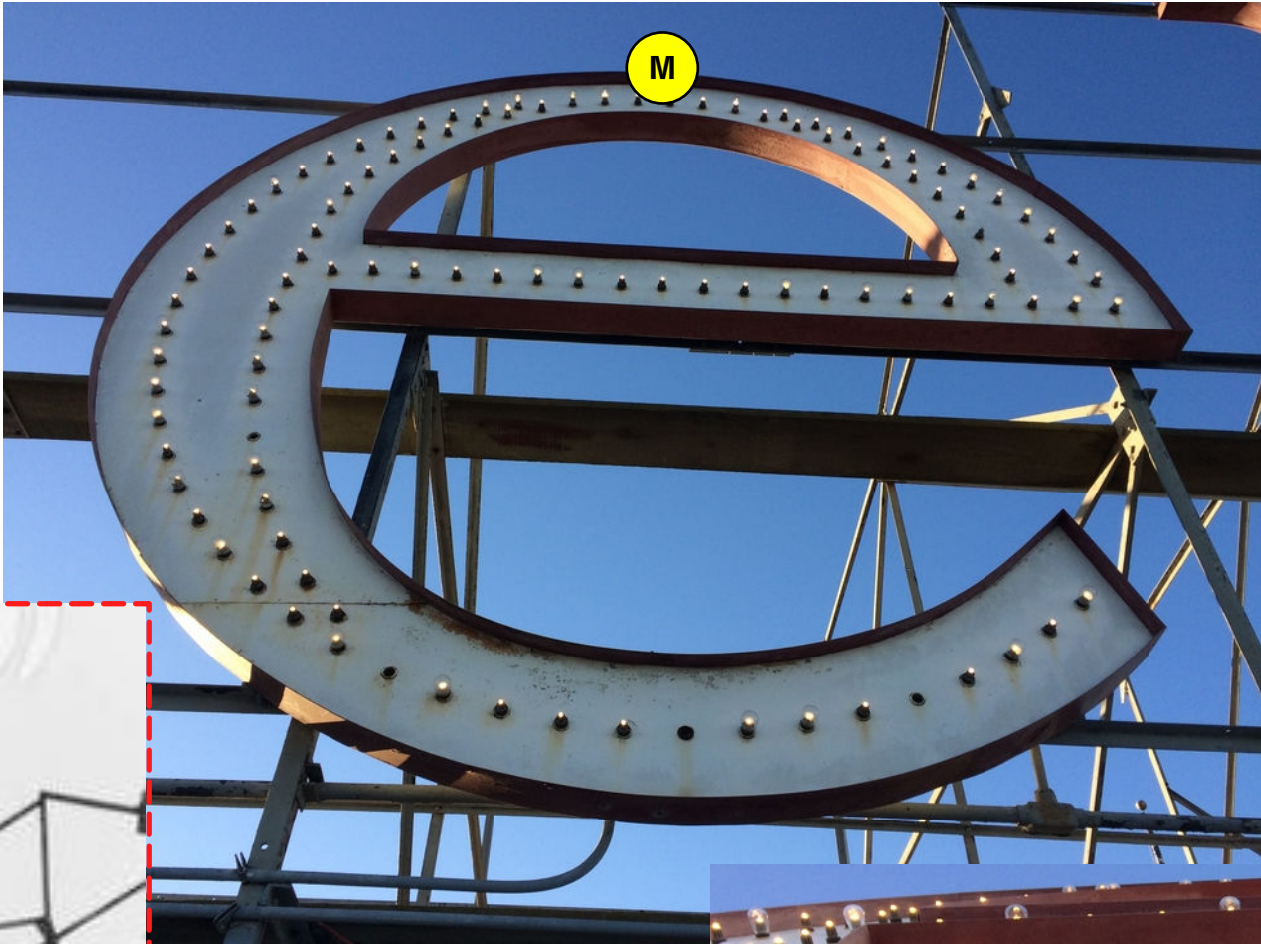
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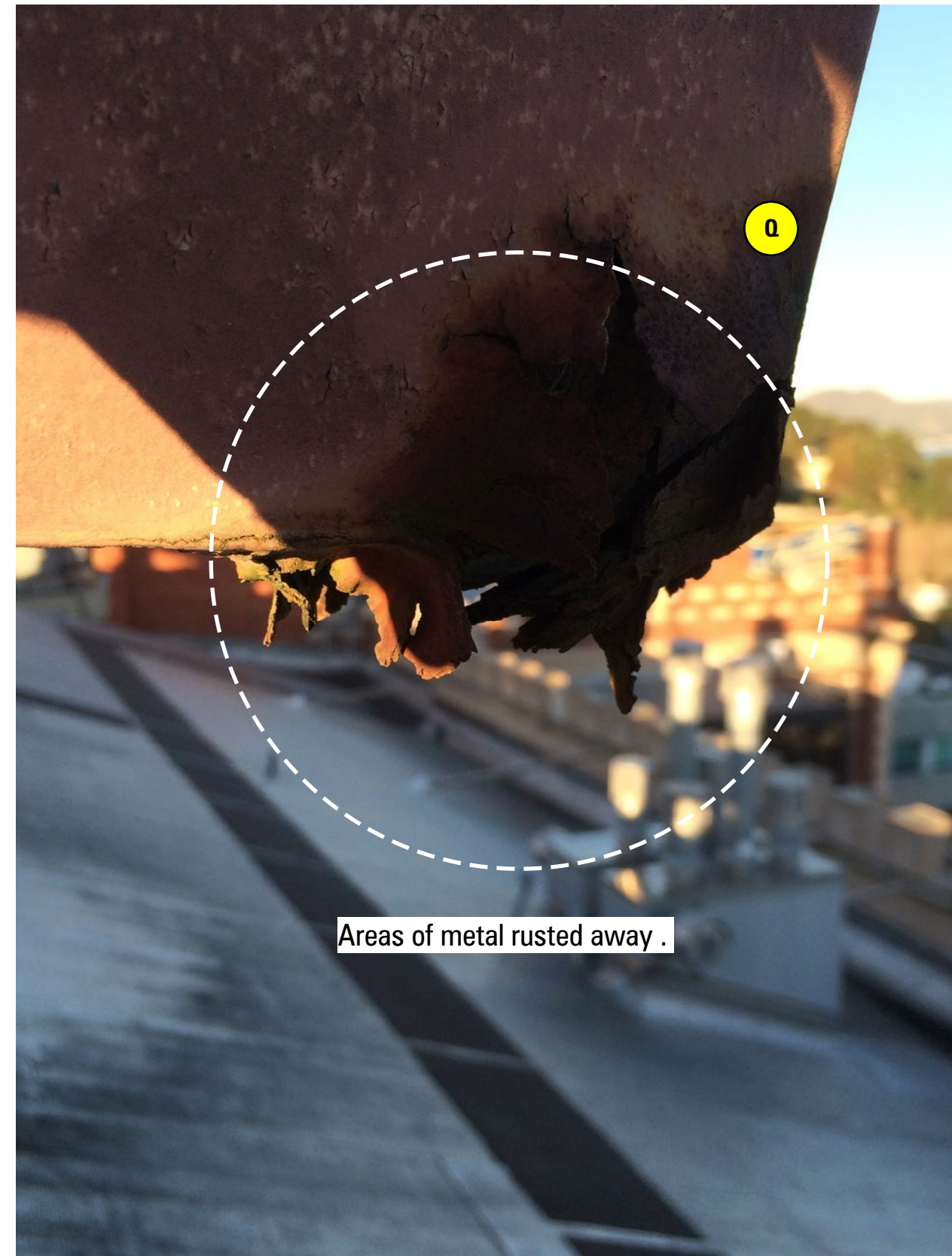
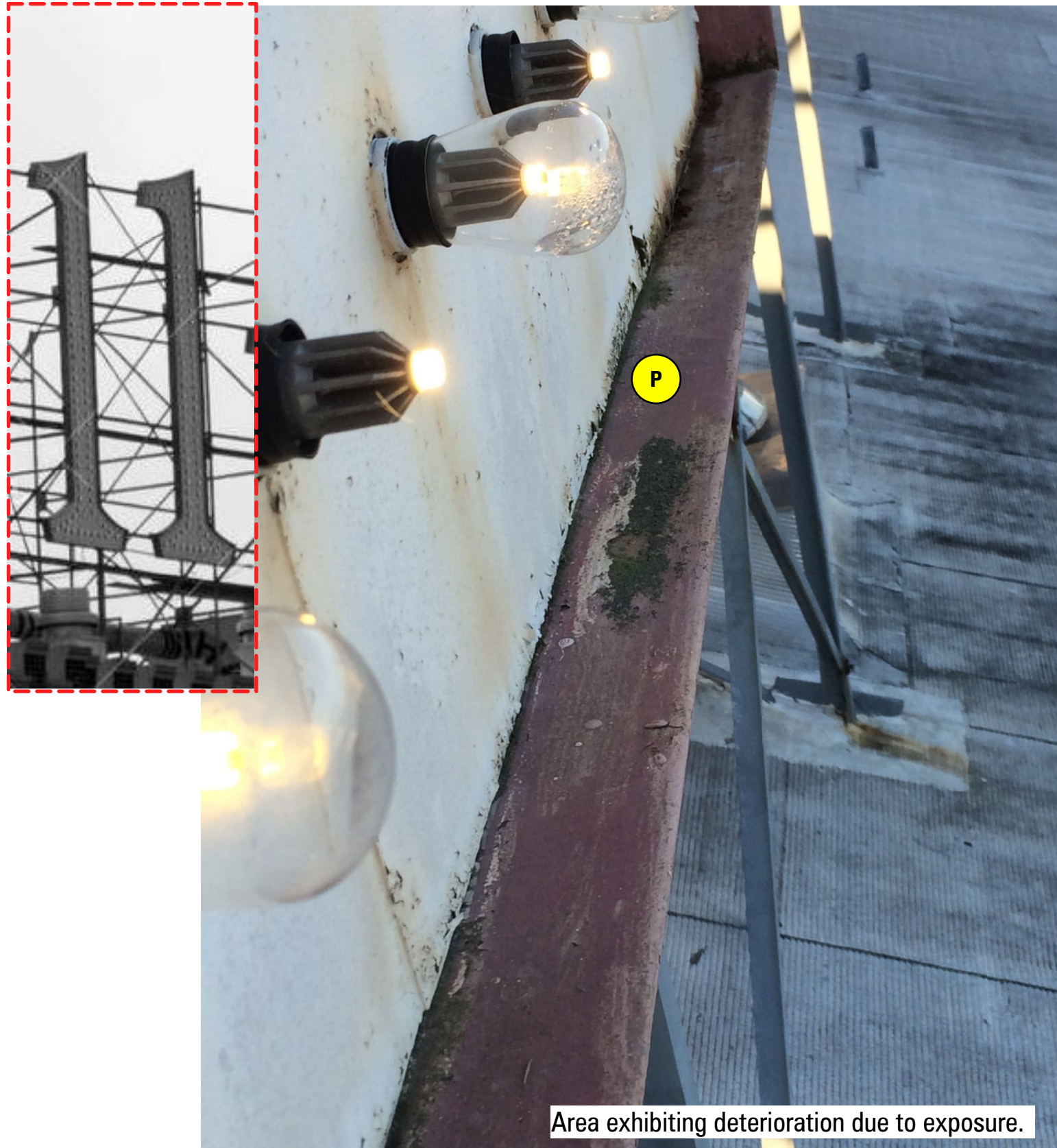
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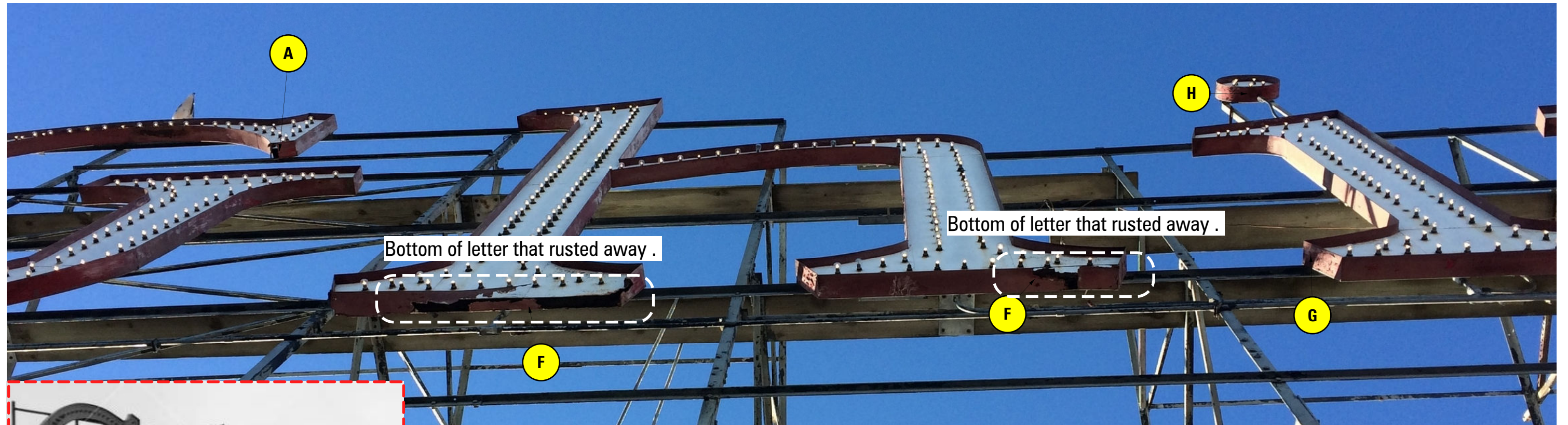
PHOTOS FROM ARROW'S CLOSER-RANGE SURVEY
SEE PHOTO KEY ON CONDITIONS ASSESSMENT DRAWING



PHOTOS FROM ARROW'S CLOSER-RANGE SURVEY
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PHOTOS FROM ARROW'S CLOSER-RANGE SURVEY
SEE PHOTO KEY ON CONDITIONS ASSESSMENT DRAWING



PHOTOS FROM ARROW'S CLOSER-RANGE SURVEY
SEE PHOTO KEY ON CONDITIONS ASSESSMENT DRAWING

Example of internal seams and connections that will need to be disassembled in order to inspect for rust.



ARMATURE

The letters are attached to a structural frame built from steel angle iron. Steel angles are bolted to the back of the letters. These angles are then bolted to an angle that is part of the steel frame. Spacers are used to shim the letters into their aligned position. The steel angles are connected using a bolt and square nut or a welded connection. The steel angle frame/armature is in good to fair condition. The frame is painted, however, there are some angles where the paint is delaminating. More recent paint layers are evident on the frame at the connections to the roof.

Rust is bleeding through the paint in some locations, typically at bolts. The frame is bolted to the roof parapet where the sign crosses over from one building to the other. At this location, the angle anchored to the parapet is in a more rusted state with some pack rust exfoliating and bleed-through at the paint.

Arrow Sign Company noted that due to rusted bolts and paint build-up, removal of the letters for shop work or replacement will require a torch or saw and will likely cause some damage to the letters. Although great care would be taken during removal, they believe additional damage to the letters is almost certain during the removal for hoisting, loading, transport, and unloading due to their age and condition.

The existing electrical conduits on the armature near the letters are no longer in service. Presumably, this conduit fed electricity to a former iteration of lighting in the letters.

Figure 13 - Example of good condition connections at the roof, which have been waterproofed and painted more recently. These are common on the lower roof below the eastern half of "Ghirardelli"



Figure 14 - The connection point to the roof parapet at the higher roof (Cocoa Building) where the worst of the conditions at the armature occur.

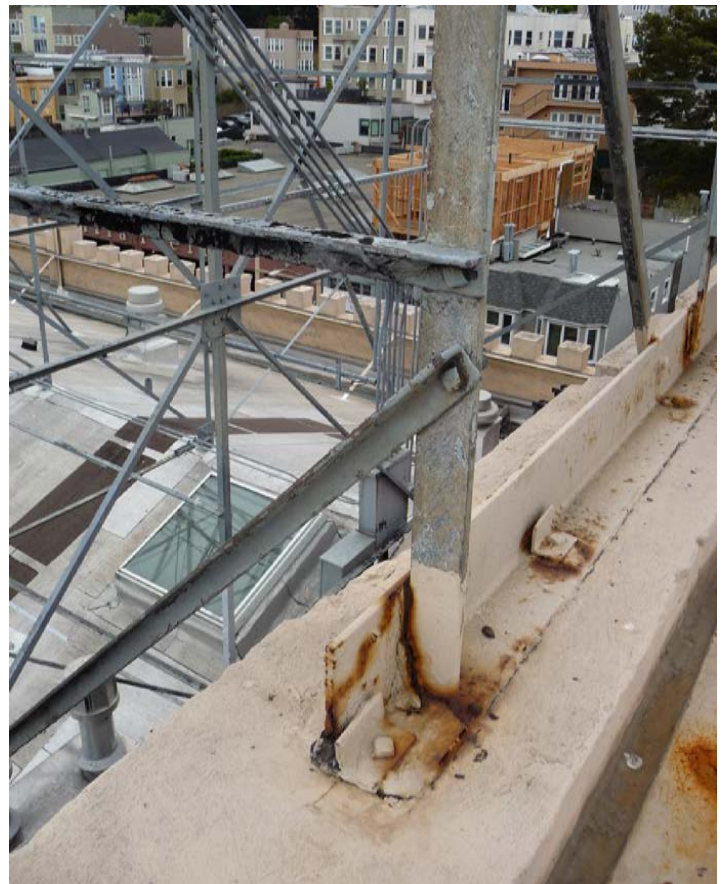




Figure 15 - A typical "good" condition connection of the armature, on the lower roof (Mustard Building), within easy arm's reach



Figure 16 - A typical "fair" condition connection of the armature, on the lower roof (Mustard Building), above arm's reach

III. SIGN CONSTRUCTION

CONSTRUCTION ANALYSIS

The Ghirardelli sign consists of painted, galvanized sheet steel letters anchored to painted steel angles, which are then bolted to a steel armature, also constructed of bolted, painted steel angles.

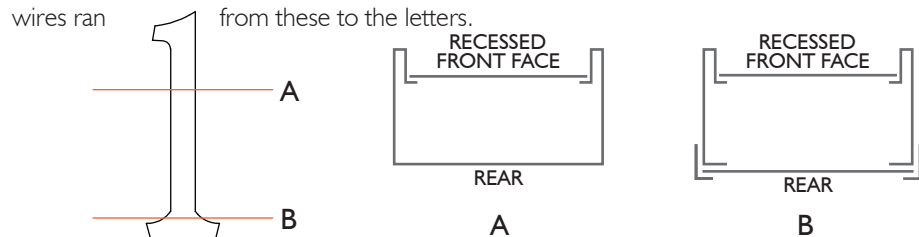
LETTER CONSTRUCTION

The letters were not manufactured with an internal frame, however strips of folded galvanized sheet metal stiffeners attached to the interior of the sheet metal faces provide for additional stability of the letters. The construction is a combination of interlocking rolled seams and a notched and tabbed method with a series of spot welds and pop rivets. The white, front faces of the letters are constructed of sheet steel sections that slightly overlap each other and are recessed within the perimeter of the letters. This front face is riveted at the edges where it overlaps the front ledge of the perimeter wall. Seams in the sheet metal are visible on both the front and back of the letters, and a diagram (Figure 17) of the lapping sheet metal construction accompanies the condition drawings in the Conditions Assessment section.

Straight sections of the letters appear to have a slightly different construction detail than the curved part of the letters. At the straight sections, the face ledge, perimeter, and rear wall, and perimeter walls are a continuous single piece of sheet metal. At curved sections, multiple sheets of galvanized steel are used and joined at the edges, where the perimeter wall meets the rear face.

The current lights project through holes cut into the sheet steel face of the letters. Electrical wiring is completely contained within the letters. The means by which each letter is powered was not evident during this survey. Previous conduit runs were present, but no wires ran from these to the letters.

Figure 17 - Two cross-sectional diagrams illustrate the construction of the letters: Diagram A illustrates the construction along a typical straight section, and B illustrates the condition at a typical bent/curved section.



IV. TREATMENT OPTIONS

There are two potential treatment options that were considered that would meet the Secretary of the Interior's Standards: Rehabilitation and Replacement in-kind.

REHABILITATION MEANS AND METHODS

Jamestown initially requested a conditions assessment from Page & Turnbull with a followup request to Arrow in order to have more insight from an experienced contractor with signage restoration experience about means and methods as well as feasibility of repair versus replacement from the contractor's perspective. The following discussion is broken down by firm as included in each firm's report findings. As contractor, Arrow Sign Company's discussion of means and methods issues reflects their experience construction means and methods issues.

Page & Turnbull

The following describes steps that would likely be part of a rehabilitation after the wiring/lighting is upgraded. The letters would need to be removed, dismantled, and salvaged from the armature prior to any upgrade work.



Figure 18 - Detail photo of a rivet that anchors the face sheet steel to the rest of the letter.

Given that the front face of the letters appears to fit into the side walls of the letter and is attached with rivets, the faces of each letter would need to be removed to allow access into the existing letters for rewiring and the introduction of new lights. This removal would expose the interior structure of each letter, which could be cleaned, replaced, reinforced, or patched as needed. Ideally, the faces would be cleaned of corrosion and reused for the new lights. If, however, removal damages the face too dramatically, replacing the material in kind would be acceptable to accommodate the larger light casing proposed by Arrow.

Arrow Sign Company

Arrow's discussion of a potential refurbishment process is as follows:

- After saw cutting or torching the rusted bolt connections, the letters will need to be hoisted over the top of the frame, across the roof and down to street level. During this transition, the letters may twist causing additional damage to occur. Because the existing letters do not have an internal structure, a lifting brace would need to be built and installed on portions of the letters that cannot be disassembled into manageable pieces. These braces will reduce the risk of the letters folding or crumpling when in motion. This will protect the crew, ensure public safety and protect against property damage.
- Due to the condition of the letters, there is some risk for additional damage during the transportation to our production facility in Stockton, CA. A rack system will need to be fabricated to support the letters.
- The interlocking seam would need to be rolled back. The spot welds and rivets will need to be drilled out where accessible or cut with an air chisel. Great care will be taken, however the letters were not designed to be taken apart, and the disassembly process will result in some additional damage. The seamed areas may not be salvageable in all locations. Additional rust areas will likely be exposed after disassembly. When the light sockets are removed there is a chance for additional damage to occur. It is possible that certain letters will be found to not be reasonably salvageable at which point a replacement process will need to be undertaken.
- Each metal piece would then be evaluated. Sections that are rusted and no longer viable will be cut away and replaced with new material. Letter sections deemed salvageable will be sanded and prepared for new paint. Fabrication of replacement sections will be done with the same material as existing – galvanized sheet steel.
- Now that we have had an opportunity to evaluate the current condition and potential removal challenges, we feel the total duration (including removal and installation) will be 35 – 40 weeks.
- The sign will be off of the building significantly longer during refurbishment process compared to replacement. Duration of downtime during refurbishment: 25 – 30 weeks. It is difficult to determine the additional lifespan that refurbishment will provide.

REPLACEMENT CONSIDERATION

Page & Turnbull

Replacement of the sign due to its severity of deterioration should also be considered. The replacement option would need to follow Standard 6 of the Secretary of the Interior's Standards, where the replacement sign should match the historic in design, color, texture, appearance, profiles, location/placement, and where possible, materials.

Arrow Sign Company

Arrow's discussion of a potential replacement process is as follows:

- In the event the conditions assessment justifies replacement due to safety concerns and deterioration, the new letters will be authentic with respect to each of the following: Height, width, depth, section and lamp placement.
- The shape of each letter and the letter spacing will be true to the existing sign as confirmed by the laser scan data provided by Epic Scan LTD. The paint colors will be per color authentication performed by Page & Turnbull.
- Field work impacts to the site and surrounding neighborhood will be reduced considerably. This will benefit the local street and school traffic. Phase One will include the removal of the existing Ghirardelli Letters completely. Any unforeseen structural support / painting will immediately follow the removal. Once the structure work is complete, the installation of the new sign will begin.
- The anticipated time line is one week for the removal, one week for any repairs, and two weeks of installation of the new letters.
- The lifespan of the new sign is estimated to be 20 years without maintenance (other than lighting maintenance) and with regular maintenance program that ownership has committed to, it could remain in service indefinitely.

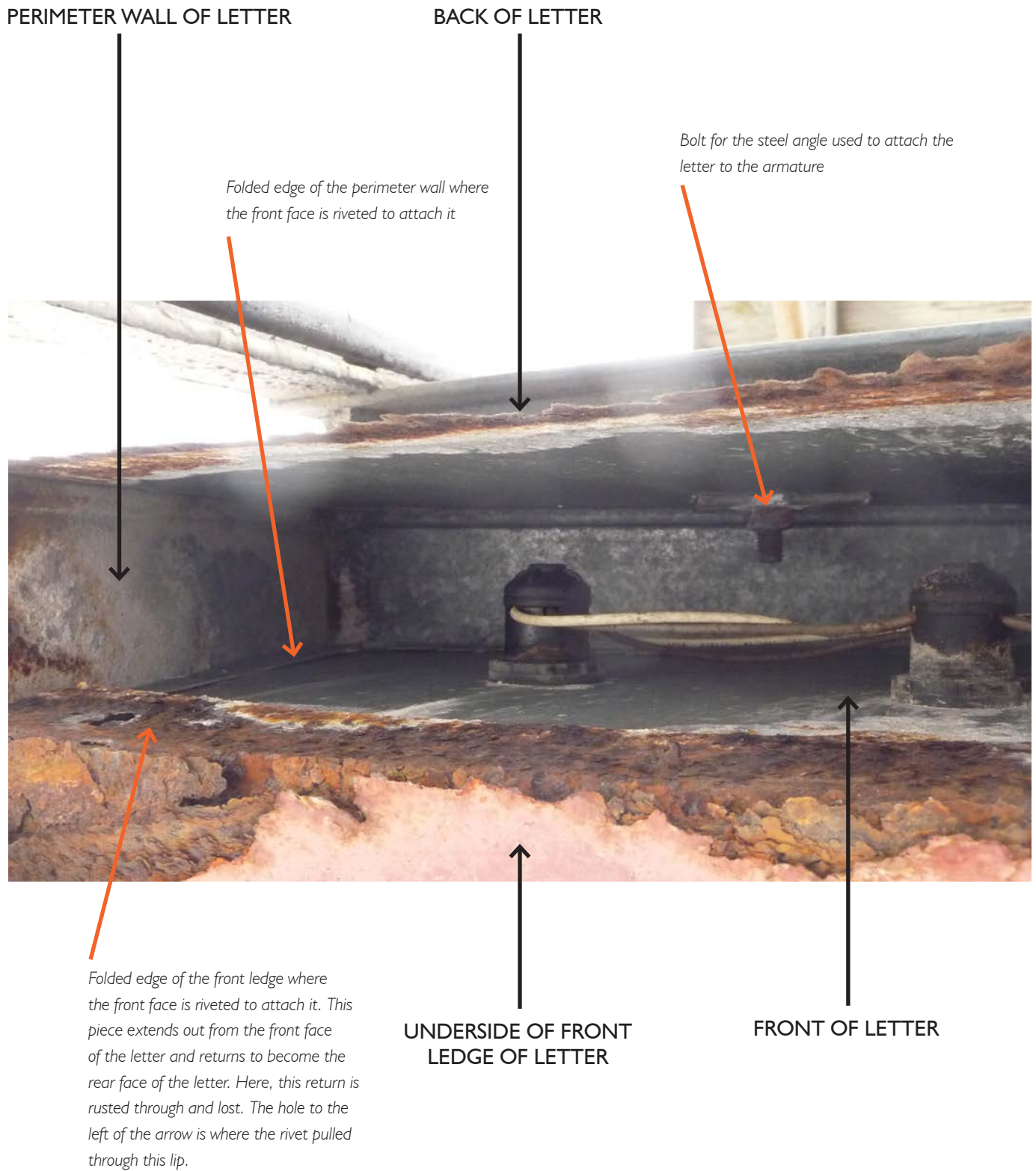


Figure 19 - The deterioration of the base of the last "i" in Ghirardelli afforded a view into the interior and the construction of the letter.



Figure 20 - A steel angle is bolted into the rear of each letter. This angle is then bolted to another steel angle which is bolted to the armature.



Figure 21 - Spacers are used between the angle to shim the letters into a level position.



Figure 22 - Interior supports installed for stability are evident on the front face of the letter.

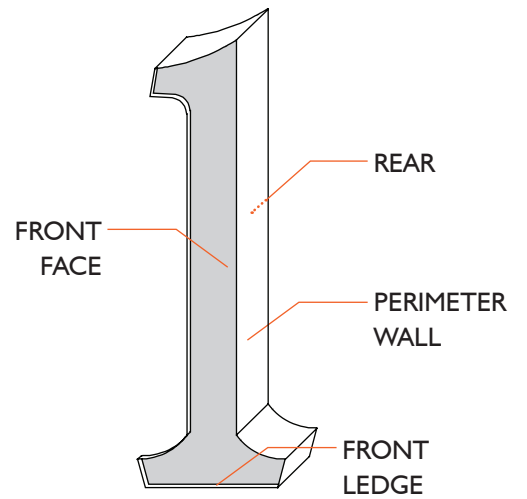


Figure 23 - Key diagram

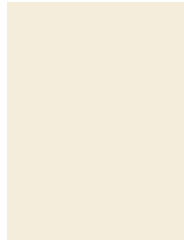
V. PAINT ANALYSIS

Paint analysis was conducted for three faces of the letters: the front face (white today), the side wall (red), and the back face (grey). A full stratigraphy for the paint samples is available in the Appendix. Sample locations are photographed on the next page.

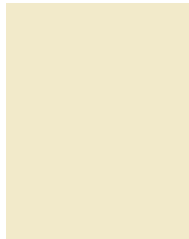
ORIGINAL COLORS

The original color for the front face of the letters is:

Pale Yellowish White, Benjamin Moore BM OC-97



The original color for the back of the letters is one of the following (3) colors:



Light Yellow, Benjamin Moore BM OC-106

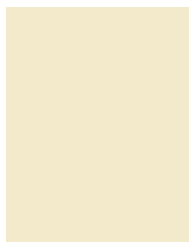


Black



Gray, Benjamin Moore I602

The original color for the side wall of the letters is one of the following (3) colors:



Light Yellow, Benjamin Moore BM OC-106



Black



Gray, Benjamin Moore I602

OTHER COLORS

In addition to light yellow at the sides and backs, other colors including black, gray, and red are among the colors present on the letters. Due to the level of corrosion in the samples, discerning the original finish color as opposed to the primer color was difficult. While the black is listed at a paint finish, the analysis states that it is unclear if the gray or the light yellow were primers or finishes. A full detail of the matched colors is available in the Appendix.



Figure 24 - The paint sample for the face was scraped from a rivet at the base of the last "i"



Figure 25 - The paint sample for the back of the letter came from the armature connection point at the rear of the last "i"



Figure 26 - The paint sample for the perimeter walls came from the base of the last "l" in Ghirardelli.

VI. SUMMARY AND RECOMMENDATIONS

Page & Turnbull Assessment

As the report notes, the investigation found large areas of the letters that are in fair and potentially repairable condition. However, other areas were noted where severe corrosion has resulted in either a complete or partial loss of sheet metal section. All letters exhibit both conditions. Two letters (“h” and one of the “i’s”) were noted to exhibit a significant amount of deterioration. The Page & Turnbull assessment also noted that the backside of the letters exhibit numerous patches.

The extant lights of the sign are not the original and are in poor condition. The lights no longer function properly, and several individual lights are broken or missing. The sign lighting uses outdated technology and is not energy efficient.

Arrow Sign Company Assessment

Arrow Sign Company conducted a second assessment that includes repair logistics that shed further light on the feasibility and practicality of repairing the sign. The Arrow assessment had closer access to the letters and found more deterioration than Page & Turnbull's. Their report recommends that if the letters are to be repaired that repairs take place in their workshop rather than in the field. Arrow outlined repair procedures which include saw cutting the letters from the frame and hoisting them over the roof to transport the letters to their workshop. Their report points out risks that may be encountered as the letters are repaired. The risks include:

- Potential damage to the sheet metal when the letters are saw cut from the frame
- Buckling (stress wrinkling) of the sheet metal during removal, transportation, and reinstallation
- Damage to the sheet metal when the seams are unrolled during the repair process
- Removal of spot welds and rivets as part of the repair process

Recommendations

The Ghirardelli Sign suffers from deferred maintenance. Past repairs consist primarily of patching and repainting. As noted above, all the letters have patch repairs and a couple of them exhibit an excessive amount of patching. While portions of the letters appear to be in fair condition, each letter has portions that require repair. Page & Turnbull agrees that if the letters are to be properly repaired, the repairs should be conducted in a workshop where the letters can be properly examined. The Arrow assessment notes that the repair of the original letters include the risks noted above as well as cutting, splicing, and more patching. This approach will also come with a rigorous maintenance plan.

The second approach is to replace the letters in kind. This approach is consistent with the Secretary of the Interior's Standards for Rehabilitation, Standard 6:

Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

Because of the potential risks involved in the repair approach and the possibility of an inferior result (more patches), an in-kind replacement of the letters appears to be the superior and more practical option. The Ghirardelli sign is a significant feature not only to Ghirardelli Square but also to the San Francisco skyline. The “HOLLYWOOD” sign in Los Angeles underwent a similar successful replacement. It was replaced in 1978 and repaired and repainted in 2005 and 2013. This approach extends the life of the sign, meets the Standards, and provides a superior product. Page & Turnbull recommends the replacement option. The replacement option should be accompanied by a maintenance plan, which would outline appropriate measures intended to prevent deferred maintenance and minimize deterioration in the future.

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APPENDIX

PAINT ANALYSIS REPORT

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PAINT ANALYSIS REPORT

**SELECTIVE FINISH INVESTIGATION
GHIRARDELLI SIGN
900 NORTH POINT STREET
SAN FRANCISCO, CA**



Prepared for:
Page & Turnbull
417 Montgomery Street, 8th Floor
San Francisco, CA 94104

Prepared by:
Jablonski Building Conservation
40 West 27th Street, Suite 1201
New York, NY 10001

September 15, 2016

INTRODUCTION

Jablonski Building Conservation, Inc. (JBC) was retained by Page & Turnbull to perform a selective paint color investigation of the Ghirardelli sign located at Ghirardelli Square 900 North Point Street in San Francisco, CA. The purpose of this investigation was to determine the earliest known finish layers. Three paint samples from the sign were removed and provided to JBC by the client.

METHODOLOGY

In the laboratory, the samples were broken to reveal fresh cross-sections. Each sample was mounted in a clear resin and examined in reflected light under illumination conditions that simulate daylight (fiber optic illuminator) for the purpose of color-corrected stratigraphy identification. The samples were examined microscopically during the investigation using a Motic Stereo Zoom microscope with 10X - 63X magnification and a Zeiss Axioskop 40 polarizing light microscope with ultraviolet illuminator.

All layers have been recorded using a descriptive color name rather than a standardized color notation system. This was done to document the seriation of the samples for comparative purposes prior to the identification of early layers using both a standardized universal color system (Munsell) and a commercial paint color system (Benjamin Moore, Pittsburgh Paints, Sherwin-Williams). Each paint layer was identified as a primer, base coat, glaze, or finish coat. While primers did not usually affect the color of the finish coat, they were important for the opacity and richness of the finish.

Under illumination conditions that simulate natural daylight, the original finish layers were matched to a commercially available paint system. A color designation and a representative color swatch from this system have been provided in the Summary section of this report. A chromochronology and photomicrograph of each sample is included in Appendix A of this report.

PAINT SAMPLE LOCATIONS

<u>Sample #</u>	<u>Description</u>
GSign-01	Front of Letters
GSign-02	Back of Letters
GSign-03	Side of Letters

BRIEF HISTORY AND DESCRIPTION

Domenico Ghirardelli, born in 1817 in Rapallo, Italy, was apprenticed to a candy maker at an early age. At the age of twenty, he sailed to Uruguay with his bride to establish himself in the South American chocolate trade. A year later, he sailed around Cape Horn to Lima where he opened a confectionery store next to a cabinet shop owned by James Lick.

In 1847, Lick left Lima to seek his fortune in San Francisco. He carried with him six hundred pounds of Ghirardelli's chocolate. Two years later, enticed by gold at Sutter's Mill, Ghirardelli sailed for California, leaving his second wife behind. He became a merchant in the Mother Lode foothills of the Sierra Nevada selling supplies and confections to miners. Soon he opened his first store in San Francisco at Broadway and Battery.

Ghirardelli's San Francisco store was burned by the 1851 fire which destroyed some fifteen hundred buildings. In 1852 he opened Ghirardelli & Girard on the corner of Kearny and Washington. A year later, he moved his successful operation to 415 Jackson Street.

The company purchased the Pioneer Woolen Mill in 1893 and moved operations to the current site of Ghirardelli Square. A year later, Domenico died in Italy while visiting Rapallo.¹

The Pioneer Woolen Mill, built in 1862, was designed by Swiss-born architect William Sebastian Mooser and is one of San Francisco's oldest buildings. Uniforms for Union soldiers were manufactured here during the Civil War. The existing brick building replaced the original wood frame mill which was built in 1858 but soon destroyed by fire.²

In 1900, the company built the Cocoa Building and sold its coffee and spice business to concentrate on chocolate and mustard. All buildings survived the 1906 Earthquake and Fire undamaged and with only a few days business interruption. A decade later, three new buildings were added to the complex: the Power House, the Apartment Building, and the Clock Tower, the latter inspired by Chateau de Blois in France. In 1923, the Cocoa Building acquired two more floors and the fifteen-foot Ghirardelli sign familiar to all who sail the San Francisco Bay.

In the 1960's, the buildings were converted for use as retail stores, restaurants and offices. Manufacturing operations moved to San Leandro, California.³

FINDINGS

Summary

There are two possibilities for the original paint scheme for the Ghirardelli sign. The front of the letters was painted a pale yellowish white, while the sides and back of the letters were either light yellow, or dark (gray or black). The samples removed from the side and back of the letters were heavily corroded and the early layers were difficult to discern.

Front of Letters (Sample GSign-01)

The earliest finish retained on the sample from the front of the letters is a pale yellowish white (Munsell 10YR 9/1) colored paint matching Benjamin Moore OC-97 "Cream Froth". Three additional finishes are retained on the sample including white, red, and white.



Earliest Finish
Front of Letters

Benjamin Moore
Color #OC-97
Cream Froth

10YR 9/1

¹ "San Francisco Landmark #30, Ghirardelli Square, North Point Street at Larkin, Aquatic Park," *National Register of Historic Places in San Francisco*, <http://noehill.com/sf/landmarks/sf030.asp>. Accessed September 15, 2016.

² "National Register #82002249, Pioneer Woolen Mills and D. Ghirardelli Company, 900 North Point Street, Built 1862", *National Register of Historic Places in San Francisco*, <http://noehill.com/sf/landmarks/nat1982002249.asp> Accessed September 15, 2016.

³ "San Francisco Landmark #30"

Back of Letters (Sample GSign-02) and Side of Letters (Sample GSign-03)

The earliest finish retained on the samples from the back and the side of the letters is difficult to discern due to the corrosion of the metal substrates and deterioration of the samples. On both samples, there is a gray, resinous coating (Munsell N4.75/) matching Benjamin Moore 1602 “Gunmetal” and a light yellow coating (Munsell 5Y 9/2) matching Benjamin Moore OC-106 “Man on the Moon” mixed in with the metal corrosion. It is unclear if these are primers or finishes. The samples are then coated with a black paint (Munsell N0.5/) matching Benjamin Moore “Black”.

The sample from the back of the letters retains two additional finishes--white and gray. Four additional finishes are retained on the sample from the side of the letters including red, white, grayish white, and red.



Earliest Possible Finish
Back and Side of Letters

Benjamin Moore
Color #1602
Gunmetal
N4.75/



Earliest Possible Finish
Back and Side of Letters

Benjamin Moore
Color #OC-106
Man on the Moon
5Y 9/2



Earliest Possible Finish
Back and Side of Letters

Benjamin Moore
Black
N0.5/

A p p e n d i x A
P a i n t C h r o m o c h r o n o l o g i e s

G h i r a r d e l l i S i g n

TYPICAL PAINT CHROMOCHRONOLOGY AND COLOR MATCH

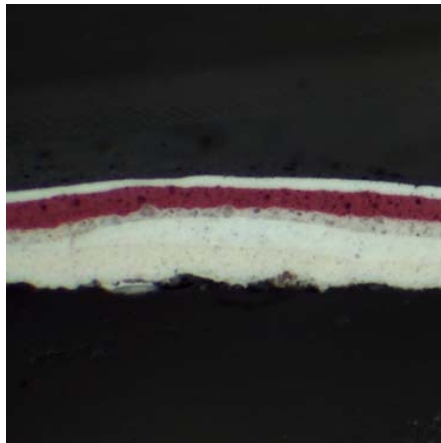
SAMPLE NUMBERS AND LOCATIONS GSign01: Front of Letters

SUBSTRATE: Steel

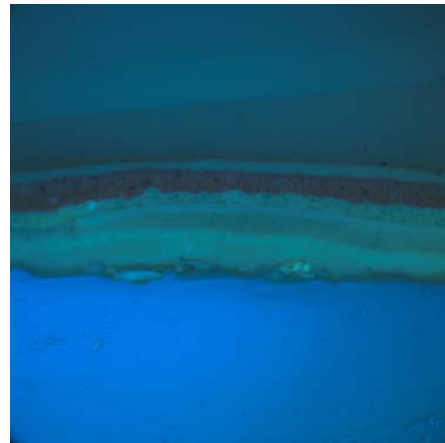
CHROMOCHRONOLOGY	PRIMER/ FINISH	COMMERCIAL MATCH	MUNSELL MATCH
1. Pale yellowish white	Primer		
2. Pale yellowish white	Finish	BM OC-97	10YR 9/1
3. White	Primer		
4. White	Finish		
5. White	Primer		
6. Red	Base		
7. Red	Finish		
8. White	Primer		
9. White	Finish		

Notes:

No substrate was included with the sample.



Sample GSign-01 Simulated Daylight



Sample GSign-01 Ultraviolet Light

TYPICAL PAINT CHROMOCHRONOLOGY AND COLOR MATCH

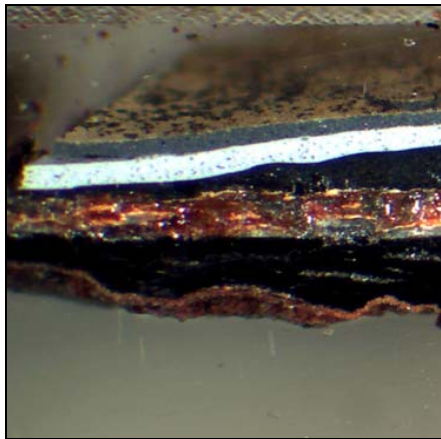
SAMPLE NUMBERS AND LOCATIONS GSign02: Back of Letters

SUBSTRATE: Steel

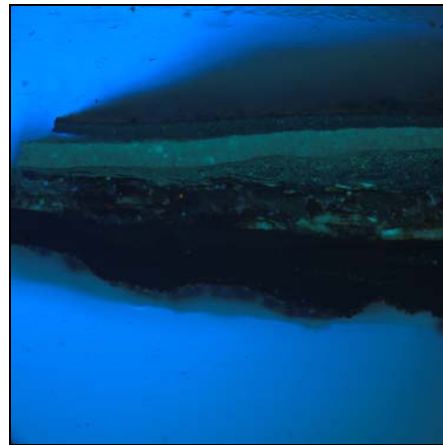
CHROMOCHRONOLOGY	PRIMER/ FINISH	COMMERCIAL MATCH	MUNSELL MATCH
1. Gray	Primer	BM 1602	N4.5/
2. Light yellow	Finish	BM OC-106	5Y 9/2
3. Black	Finish	BM Black	N0.5/
4. White	Primer		
5. White	Finish		
6. Gray	Primer		
7. Gray	Finish		

Notes:

Earliest layers are difficult to discern. Gray and pale yellowish white layers are interspersed among the corrosion product.



Sample GSign-02 Simulated Daylight



Sample GSign-02 Ultraviolet Light

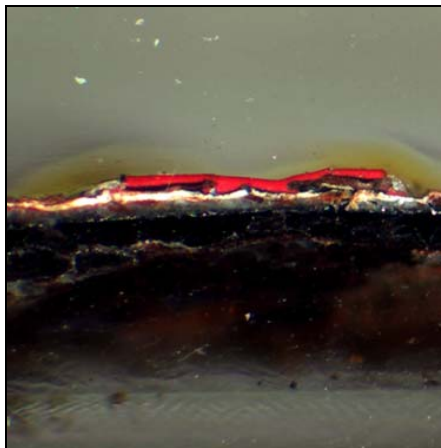
TYPICAL PAINT CHROMOCHRONOLOGY AND COLOR MATCH

SAMPLE NUMBERS AND LOCATIONS GSign03: Side of Letters

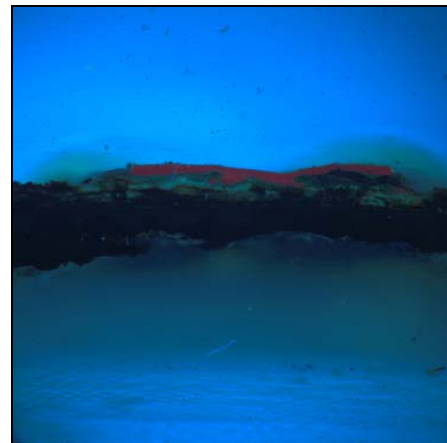
SUBSTRATE: Steel

CHROMOCHRONOLOGY	PRIMER/ FINISH	COMMERCIAL MATCH	MUNSELL MATCH
1. Gray	Primer	BM 1602	N4.5/
2. Light yellow	Finish	BM OC-106	5Y 9/2
3. Black	Finish	BM Black	N0.5/
4. Red	Finish		
5. White	Finish		
6. Grayish white	Primer		
7. Grayish white	Finish		
8. White	Primer		
9. Red	Finish		

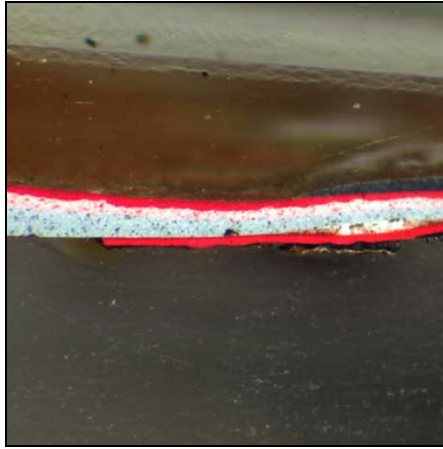
Notes:
 Earliest layers are difficult to discern.



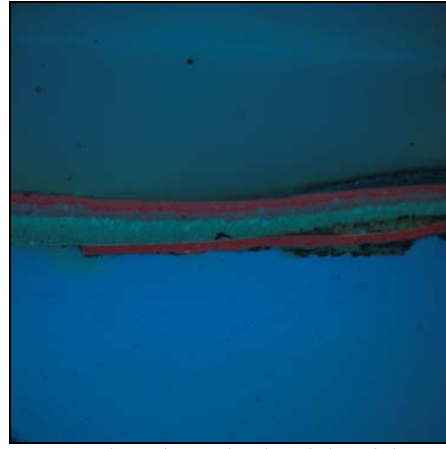
Sample GSign-03a Simulated Daylight



Sample GSign-03a Ultraviolet Light



Sample GSign-03b Simulated Daylight



Sample GSign-03b Ultraviolet Light

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