



SAN FRANCISCO PLANNING DEPARTMENT

Planning Commission Project Summary and Draft Motion

COMMUNITY BUSINESS PRIORITY PROCESSING PROGRAM

HEARING DATE: AUGUST 24, 2017

Date Prepared: August 14, 2017
Case No.: **2017-003848CUA**
Project Address: **1123 Taraval Street**
Zoning: NCD (Taraval Street Neighborhood Commercial District)
Taraval Street Restaurant Subdistrict Special Use District
65-A Height and Bulk District
Block/Lot: 2404/001
Project Sponsor: Jorge Carbonell
605 Mississippi Street
San Francisco, CA 94107
Staff Contact: Gabriela Pantoja- (415) 575-8741
Gabriela.pantoja@sfgov.org

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415.558.6377

PROJECT DESCRIPTION

The project sponsor seeks a Conditional Use Authorization, pursuant to Planning Code Section 741.43, 781.2, and 303, to establish a Limited Restaurant Use (d.b.a. Dumpling Kitchen) at an existing 444 square-foot tenant space at the ground floor of an existing one-story commercial building, previously occupied by a nail salon (d.b.a. Taraval Nails). This project was reviewed under the Community Business Priority Processing Program (CB3P).

REQUIRED COMMISSION ACTION

In the [Taraval Street NCD](#) (Neighborhood Commercial District) Zoning District and the Taraval Street Restaurant Subdistrict, pursuant to Planning Code Section 741.43 and 781.2, a change of use to a Limited Restaurant Use requires a Conditional Use Authorization.

DECISION

Based upon information set forth in application materials submitted by the project sponsor and available in the case file (which is incorporated herein by reference as though fully set forth) and based upon the CB3P Checklist and findings below, the Commission hereby **APPROVES Conditional Use Application No. 2017-003848CUA** subject to conditions contained in the attached "EXHIBIT A" and in general conformance with plans on file, dated May 31, 2017, and stamped "EXHIBIT B."

CB3P CHECKLIST

	Required Criteria			Comments (if any)
	Complete & adequate	Incomplete and/or inadequate	Not required and/or not applicable	
Project Sponsor's application	X			
CB3P eligibility checklist	X			
Planning Code §101.1 findings	X			See application for findings.
Planning Code §303(c) findings	X			See application for findings.
Planning Code §303(o) findings for Eating and Drinking Uses	X			Commercial frontage: existing concentration is higher than the recommended 25% threshold, increase by < 1.3%.
Photographs of the site and/or context	X			
Scaled and/or dimensioned plans	X			
Clearance under California Environmental Quality Act ("CEQA")	X			

Additional Information	
Notification Period	8/4/2017-8/24/2017 (20 days mailing; 20 days newspaper; 20 days posted)
Number and nature of public comments received	The Department has not received any correspondence in opposition to the project.
Number of days between filing and hearing	134. However, only 85 days since the application considered complete on 5/31/2017.

Generalized Basis for Approval (max. one paragraph)
The project is necessary, desirable for, and compatible with the surrounding neighborhood as follows, and as set forth in the Section 101.1 and 303(c) findings submitted as part of the application. The proposed Limited Restaurant Use (d.b.a. Dumpling Kitchen) would continue to activate a 444 square-foot tenant space, with a 14.66 linear feet of street frontage, that was previously occupied by a nail salon (d.b.a. Taraval Nails). A recent field study estimated that approximately 45.5% of commercial frontage is zoned Taraval Street NCD and within 300 linear feet of the subject property is devoted to eating and drinking uses. The proposal would bring this percentage to approximately 46.8%, which is above the threshold of 25% stated in Section 303(o), but represents only an increase of 1.3%. The increase in percentage does not suggest it would prevent the District from achieving an optimal balance of goods and services. Additionally, the percentage, as calculated under the Code, does not factor in McCoppin Square's frontage within 300 feet of the subject property. Staff recommends approval with conditions.

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on August 24, 2017.

AYES:

NAYS:

ABSENT:

ADOPTED: August 24, 2017

Jonas P. Ionin
Commission Secretary

APPEAL AND EFFECTIVE DATE OF MOTION: Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion. The effective date of this Motion shall be the date of this Motion if not appealed (after the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors.

PROTEST OF FEE OR EXACTION: You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development. If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission's adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator's Variance Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives NOTICE that the 90-day protest

period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period.

EXHIBIT A

AUTHORIZATION

This authorization is for a **Conditional Use Authorization** pursuant to Planning Code Sections 741.43, 781.2, and 303 to authorize a Limited Restaurant Use (d.b.a. Dumpling Kitchen) at an existing 444 square-foot tenant space at the ground floor of an existing one-story commercial building, within the Taraval NCD (Neighborhood Commercial District) Zoning District and 65-A Height and Bulk District; in general conformance with plans, dated **May 31, 2017**, and stamped "EXHIBIT B" included in the docket for Record No. **2017-003848CUA** and subject to conditions of approval reviewed and approved by the Commission on August 24, 2017 under Motion No. **XXXXX**. This authorization and the conditions contained herein run with property and not with a particular Project Sponsor, business, or operator.

RECORDATION OF CONDITIONS OF APPROVAL

Prior to the issuance of the building permit or commencement of use for the Project, the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the Project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on **August 24, 2017** under Motion No. **XXXXX**.

PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. **XXXXX** shall be reproduced on the Index Sheet of construction plans submitted with the site or Building Permit Application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

SEVERABILITY

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a Building Permit. "Project Sponsor" shall include any subsequent responsible party.

CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use Authorization.

Conditions of Approval, Compliance, Monitoring, and Reporting

PERFORMANCE

1. **Validity.** The authorization and right vested by virtue of this action is valid for three (3) years from the effective date of the Motion. The Department of Building Inspection shall have issued a Building Permit or Site Permit to construct the project and/or commence the approved use within this three-year period.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

2. **Expiration and Renewal.** Should a Building or Site Permit be sought after the three (3) year period has lapsed, the project sponsor must seek a renewal of this Authorization by filing an application for an amendment to the original Authorization or a new application for Authorization. Should the project sponsor decline to so file, and decline to withdraw the permit application, the Commission shall conduct a public hearing in order to consider the revocation of the Authorization. Should the Commission not revoke the Authorization following the closure of the public hearing, the Commission shall determine the extension of time for the continued validity of the Authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

3. **Diligent pursuit.** Once a site or Building Permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. Failure to do so shall be grounds for the Commission to consider revoking the approval if more than three (3) years have passed since this Authorization was approved.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

4. **Extension.** All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

5. **Conformity with Current Law.** No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

DESIGN – COMPLIANCE AT PLAN STAGE

6. **Final Materials.** The Project Sponsor shall continue to work with Planning Department on the design, including signs and awnings. Final materials, glazing, color, texture, landscaping, and detailing shall be subject to Department staff review and approval.
For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org
7. **Garbage, composting and recycling storage.** Space for the collection and storage of garbage, composting, and recycling shall be provided within enclosed areas on the property and clearly labeled and illustrated on the Building Permit plans. Space for the collection and storage of recyclable and compostable materials that meets the size, location, accessibility and other standards specified by the San Francisco Recycling Program shall be provided at the ground level of the buildings.
For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org
8. **Signs and Awnings.** Any signs on the property must have a sign permit and shall comply with the requirements of Article 6 of the Planning Code. Any awnings or canopies must have a permit and shall comply with the requirements of Planning Code Section [136.1](#) and be reviewed by the Department's historic preservation staff for consistency with the [Secretary of the Interior's Standards for the Treatment of Historic Properties](#).
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org
9. **Rooftop Mechanical Equipment.** Pursuant to Planning Code 141, the Project Sponsor shall submit a roof plan to the Planning Department prior to Planning approval of the Building Permit Application if any rooftop mechanical equipment is proposed as part of the Project. Any such equipment is required to be screened so as not to be visible from any point at or below the roof level of the subject building.
For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org
10. **Odor Control Unit.** In order to ensure any significant noxious or offensive odors are prevented from escaping the premises once the Project is operational, the Building Permit Application to implement the project shall include air cleaning or odor control equipment details and manufacturer specifications on the plans. Odor control ducting shall not be applied to the primary façade of the building.
For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

MONITORING - AFTER ENTITLEMENT

11. **Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org
12. **Revocation due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

OPERATION

13. **Garbage, Recycling, and Composting Receptacles.** Garbage, recycling, and compost containers shall be kept within the premises and hidden from public view, and placed outside only when being serviced by the disposal company. Trash shall be contained and disposed of pursuant to garbage and recycling receptacles guidelines set forth by the Department of Public Works.
For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works at 415-554-.5810, <http://sfdpw.org>
14. **Sidewalk Maintenance.** The Project Sponsor shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Streets and Sidewalk Maintenance Standards.
For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works, 415-695-2017, <http://sfdpw.org>
15. **Community Liaison.** Prior to issuance of a building permit to construct the project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator with written notice of the name, business address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator shall be made aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

16. **Noise Control.** The premises shall be adequately soundproofed or insulated for noise and operated so that incidental noise shall not be audible beyond the premises or in other sections of the building and fixed-source equipment noise shall not exceed the decibel levels specified in the San Francisco Noise Control Ordinance.

For information about compliance with the fixed mechanical objects such as rooftop air conditioning, restaurant ventilation systems, and motors and compressors with acceptable noise levels, contact the Environmental Health Section, Department of Public Health at (415) 252-3800, www.sfdph.org

For information about compliance with the construction noise, contact the Department of Building Inspection, 415-558-6570, www.sfdbi.org

For information about compliance with the amplified sound including music and television contact the Police Department at 415-553-0123, www.sf-police.org

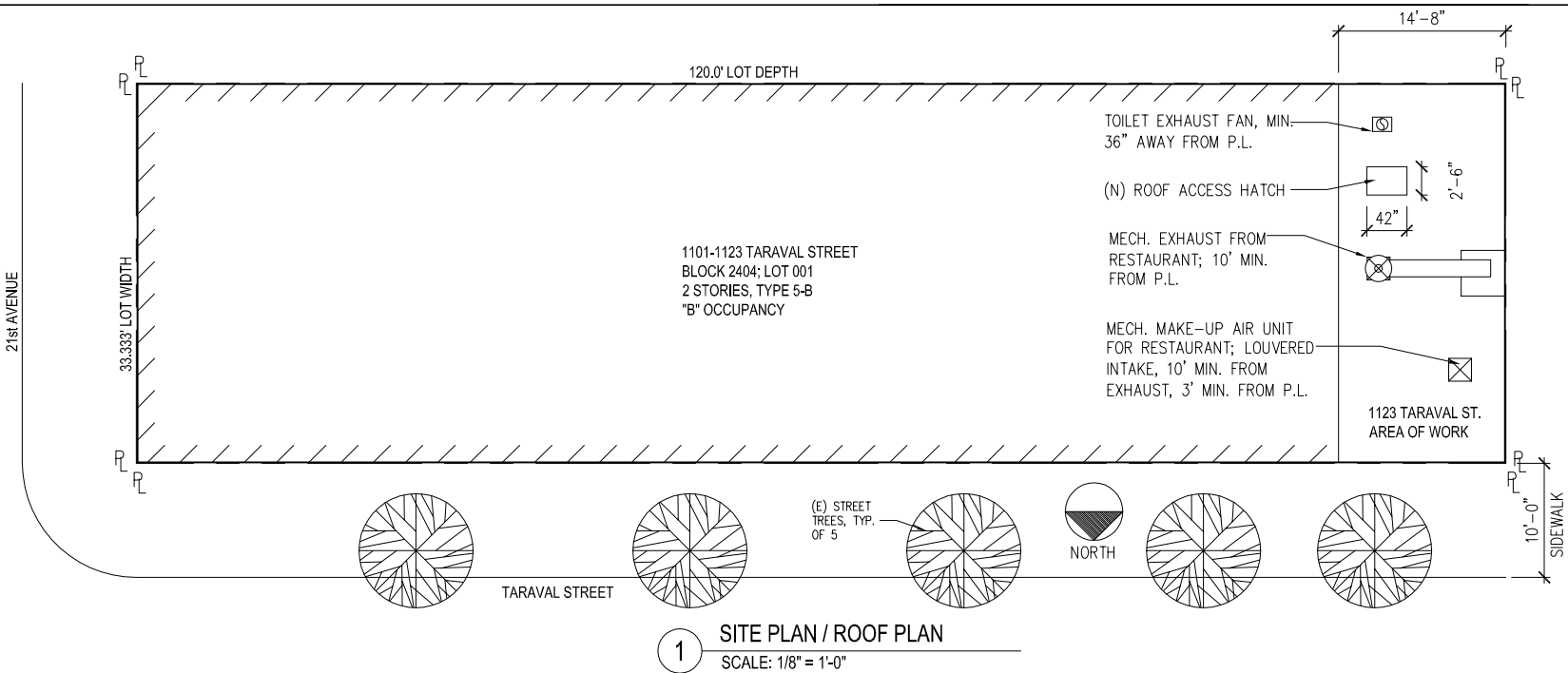
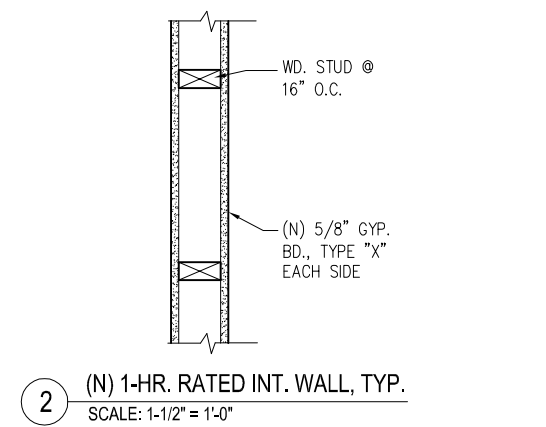
17. **Odor Control.** While it is inevitable that some low level of odor may be detectable to nearby residents and passersby, appropriate odor control equipment shall be installed in conformance with the approved plans and maintained to prevent any significant noxious or offensive odors from escaping the premises.

For information about compliance with odor or other chemical air pollutants standards, contact the Bay Area Air Quality Management District, (BAAQMD), 1-800-334-ODOR (6367), www.baaqmd.gov and Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

18. **Lighting.** All Project lighting shall be directed onto the Project site and immediately surrounding sidewalk area only, and designed and managed so as not to be a nuisance to adjacent residents. Nighttime lighting shall be the minimum necessary to ensure safety, but shall in no case be directed so as to constitute a nuisance to any surrounding property.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

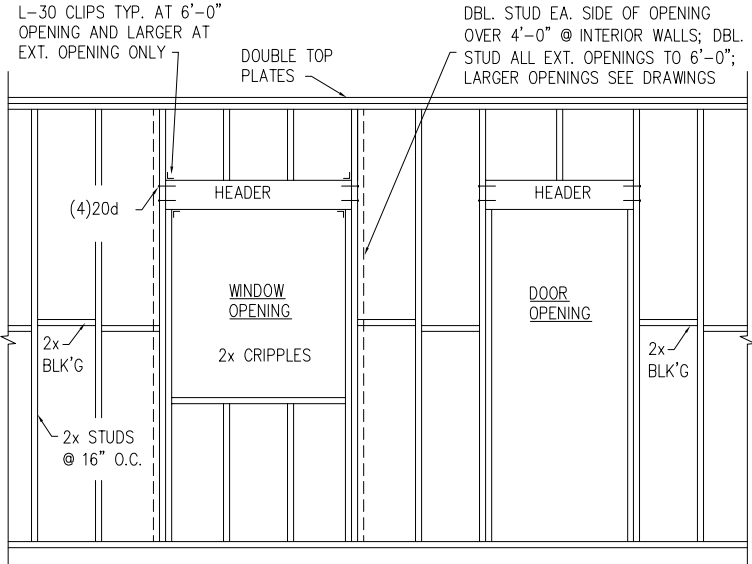
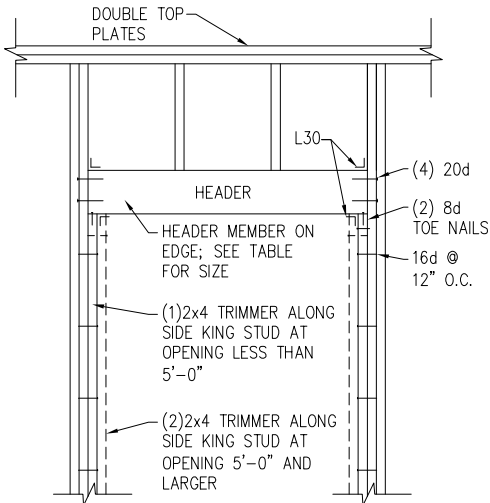
EXHIBIT B



NOTES & SPECIFICATIONS

- WOOD
- a. FRAMING LUMBER SHALL BE DOUGLASS FIR LARCH WITH A MAXIMUM MOISTURE CONTENT OF 19% AT TIME OF PLACEMENT. HEADERS, PLATES, JOISTS: NO. 1
POSTS AND BEAMS: NO. 1
STUDS AND BLOCKING: NO. 2
- b. SILLS OR LEDGERS IN CONTACT WITH CONCRETE OR MASONRY, AND ANY WOOD EXPOSED TO WEATHER SHALL BE PRESSURE TREATED DOUGLASS FIR OR CALIFORNIA REDWOOD. NEWLY EXPOSED SURFACES RESULTING FROM FIELD CUTTING, BORING OR HANDLING SHALL BE FIELD TREATED. ALL NAILS AND BOLTS INTO PRESSURE TREATED FRAMING TO BE HOT-DIPPED GALVANIZED. ALL HARDWARE AND HANGERS IN CONTACT WITH PRESSURE TREATED FRAMING TO BE TRIPLE ZINC COATED OR GALVANIZED.

HEADER SCHEDULE		
NON BEARING WALL		
SPAN		NOM. SIZE
TO 4'-0"	2-2x4 OR 4x4	
TO 6'-0"	2-2x6 OR 4x6	
TO 8'-0"	2-2x8 OR 4x8	
BEARING WALL		
SPAN		NOM. SIZE
TO 4'-0"	2-2x8 OR 4x8	
> 4'-0"	SEE STRUCT. PLAN	



SCOPE OF WORK

- 1- CHANGE OF USE FROM (E) NAIL SALON TO (N) LIMITED RESTAURANT – TAKE OUT ONLY.
- 2- NEW COMMERCIAL KITCHEN, EXHAUST HOOD, FOOD PREP & DISHWASHING AREA
- 3- NEW ACCESSIBLE RESTROOM
- 4- NEW ENTRY DOOR FACING SACRAMENTO STREET
- 5- NEW LIGHTING THROUGHOUT

PROJECT DIRECTORY

OWNER: REBECCA YU
1935 TARAVAL ST, SAN FRANCISCO, CA, 94116
RY16883@YAHOO.COM; 415-694-9354

ARCHITECT: JORGE CARBONELL
JORGE CARBONELL ARCHITECTURE + INTERIORS
605 MISSISSIPPI STREET, SAN FRANCISCO, CA, 94107
JORGE@CARBONELLARCHITECTURE.COM; 415-336-3278

BUILDING INFORMATION

BUILDING DESCRIPTION: COMMERCIAL BUILDING
(E) # STORIES: 1
CONST.. TYPE 5-B
OCCUPANCY: B

APPLICABLE CODES:
CALIFORNIA BUILDING CODE; 2016 EDITION
CALIFORNIA ELECTRICAL CODE; 2016 EDITION
CALIFORNIA MECHANICAL CODE; 2016 EDITION
CALIFORNIA PLUMBING CODE; 2016 EDITION
CALIFORNIA RESIDENTIAL CODE; 2016 EDITION
CALIFORNIA ENERGY CODE; 2016 EDITION
CALIFORNIA FIRE CODE; 2016 EDITION
CALIFORNIA GREEN BUILDING CODE; 2016 EDITION

WITH SAN FRANCISCO AMENDMENTS

DRAWING INDEX

- A0.0 COVER SHEET & SITE PLAN
A0.1 GENERAL REQUIREMENTS
A0.2 DISABLED ACCESS CHECKLIST
A0.3 ACCESSIBILITY DETAILS
A0.4 ENERGY REQUIREMENTS
A0.5 ENERGY REQUIREMENTS
A0.6 ENERGY REQUIREMENTS
A0.7 ENERGY REQUIREMENTS
A0.8 ENERGY REQUIREMENTS
A2.1 FLOOR PLANS
A2.2 CEILING PLAN & DUCT DETAILS
H1 HOOD DRAWINGS & CALCS.
H2 HOOD DRAWINGS & CALCS
H3 HOOD DRAWINGS & CALCS

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PROJECT:
TENANT IMPROVEMENT

ADDRESS:
1123 TARAVAL ST.
SAN FRANCISCO
CA, 94116

LOT / BLOCK:
2404 / 001

ISSUED DATE

PERMIT 03.02.2017

DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF PROFESSIONAL SERVICES, ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT.

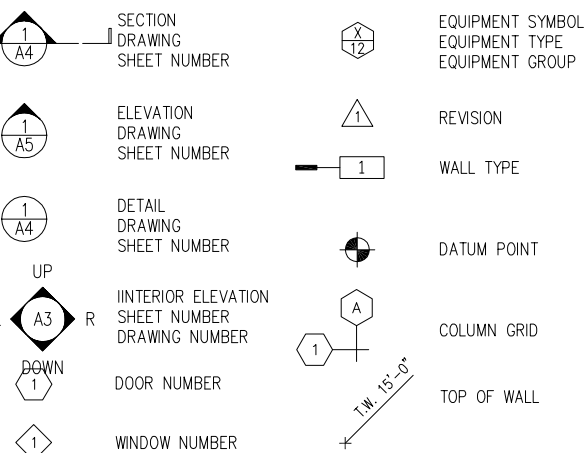
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SHEET DESCRIPTION
COVER SHEET &
SITE PLAN

A0.0

SYMBOLS



GENERAL NOTES

1. CONTRACTOR SHALL ADHERE TO ALL CODES, RULES, AND REGULATIONS GOVERNING CONSTRUCTION, BUILDING ACCESS AND THE USE OF FACILITIES AS SET BY LOCAL BUILDING DEPARTMENT AGENCY AND THE BUILDING OWNERS. TITLE 24 C.A.C ESPECIALLY THOSE ABSTRACTS DEALING WITH ENERGY AND HANDICAPPED ACCESS REQUIREMENTS. ANYTHING SHOWN ON THESE DRAWINGS, NOT IN ACCORDANCE WITH THESE RULES AND REGULATIONS, SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER BEFORE PROCEEDING WITH ANY WORK.
2. ALL DIMENSIONS RELATING TO THE EXISTING CONDITIONS SHALL BE VERIFIED IN THE FIELD. DRAWINGS SHALL NOT BE SCALED FOR DIMENSIONAL INFORMATION.
3. THE CONTRACTOR AND SUBCONTRACTORS SHALL VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNER OF ANY CONFLICTS OR DISCREPANCIES HEREIN, EITHER APPARENT OR OBVIOUS PRIOR TO START OF WORK ON THAT ITEM
4. THE CONTRACTOR SHALL REVIEW PLANS AND THE AREA OF CONSTRUCTION CAREFULLY TO INSURE FULL UNDERSTANDING OF EXACT SCOPE OF WORK. THE ARCHITECT WILL BE AVAILABLE TO RESOLVE ANY UNCLEAR ITEMS
5. THE CONTRACTOR SHALL SUBMIT TO THE ARCHITECT ALL FABRICATION SHOP DWGS. AND FIXTURE CUTS FOR APPROVAL AFTER HAVING CHECKED AND APPROVED THEM FIRST, WHERE APPLICABLE.
6. ALL MATERIALS AND INSTALLATIONS SHALL BE IN ACCORDANCE WITH MANUFACTURER'S LATEST PRINTED SPECIFICATIONS AND WITH CODE REQUIREMENTS

ABBREVIATIONS

&	AND	DET.	DETAIL	FT.	FOOT OR FEET	OPNG.	OPENING	SO.	SQUARE
ADJ.	ADJUSTABLE	DIA.	DIAMETER	FTG.	FOOTING	OPP.	OPPOSITE	S.S.D.	SEE STRUCTURAL
AL	ALUMINUM	DN.	DOWN	GA.	Gauge	OSCI	OWNER SUPPLIED	S.T.	STAINLESS STEEL
APPROX.	APPROXIMATE	DR.	DOOR	GALV.	GALVANIZED		CONTRACTOR	STA.	STATION
ARCH.	ARCHITECTURAL	DS.	DOWNSPOUT	G.B.	GRAB BAR	PL.	INSTALLED	STD.	STANDARD
ASPH.	ASPHALT	D.S.P	DRY STANDPIPE	GYP.	GYP SUM	PLYWD.	PLYWOOD	STL	STEEL
BD.	BOARD	DWG.	DRAWING	H.B.	HOSE BIBB	PT.	POINT	STOR.	STORAGE
BITUM.	BITUMINOUS	E.	EAST	HDWD.	HARDWOOD	Q.T.	QUARRY TILE	STR.	STRUCTURAL
BLDG.	BUILDING	EA.	EACH	HORIZ.	HORIZONTAL	R.	RISER	SUSP.	SUSPENDED
BLK.	BLOCKING	EL.	ELEVATION	HT.	HEIGHT	PL.	PLATE	SYM.	SYMMETRICAL
BLKG.	BLOCKING	ELEC.	ELECTRICAL	INSUL.	INSULATION	PLYWD.	PLYWOOD	T.C.	TOP OF CURB
BM.	BEAM	ELEV.	ELEVATOR	INT.	INTERIOR	PT.	POINT	TEL.	TELEPHONE
BOT.	BOTTOM	EMER.	EMERGENCY	JOINT.	JOINT	Q.T.	QUARRY TILE	T.&G.	TONGUE AND GROOVE
CAB.	CABINET	ENCL.	ENCLOSURE	LAM.	LAMINATE	R.	RISER	THK.	THICK
CEM.	CEMENT	EQ.	EQUAL	LT.	LIGHT	R.D.	ROOF DRAIN	T.W.	TOP OF WALL
CLG.	CEILING	EQPT.	EQUIPMENT	MAX.	MAXIMUM	REF.	REFERENCE	TYP.	TYPICAL
CLKG.	CAULKING	(E)	EXISTING	MECH.	MECHANICAL	REFR.	REFRIGERATOR	UNF.	UNFINISHED
CLO.	CLOSET	EXT.	EXTERIOR	MEMB.	MEMBRANE	REIN.	REINFORCED	U.O.N.	UNLESS OTHERWISE
CLR.	CLEAR	F.A.	FIRE ALARM	MTL.	METAL	REQD.	REQUIRED		
COL.	COLUMN	F.B.	FLAT BAR	MFR.	MANUFACTURER	RM.	ROOM		
CONC.	CONCRETE	F.D.	FLOOR DRAIN	MIN.	MINIMUM	R.O.	ROUGH OPENING		
CONSTR.	CONSTRUCTION	FDN.	FOUNDATION	MISC.	MISCELLANEOUS	R.W.L.	RAIN WATER LEADER	VERT.	VERTICAL
CONT.	CONTINUOUS	F.E.	FIRE EXTINGUISHER	(N)	NEW	S.	SOUTH	VEST.	VESTIBULE
C.T.R.	CENTER	FIN.	FINISH	N.	NORTH	SCHED.	SCHEDULE	W.	WEST
DBL.	DOUBLE	FL.	FLOOR	N.I.C.	NOT IN CONTRACT	SECT.	SECTION	W.C.	WATER CLOSET
DEPT.	DEPARTMENT	FLUOR.	FLUORESCENT	NO./#	NUMBER	SHR.	SHOWER	WD.	WOOD
		F.O.C.	FACE OF CONCRETE	NOM.	NOMINAL	SHT.	SHEET	W/O	WITHOUT
		F.O.F.	FACE OF FINISH	N.T.S.	NOT TO SCALE	SIM.	SIMILAR	WP.	WATERPROOF
		F.O.S.	FACE OF STUDS	O.C.	ON CENTER	SPEC.	SPECIFICATION	WT.	WEIGHT

4 BUILDING SECTION
SCALE: 3/16" = 1'-0"

5 ELEVATION
SCALE: 3/16" = 1'-0"

1 FLOOR PLAN - EXISTING W/ DEMO.
SCALE: 1/4" = 1'-0"

2 FLOOR PLAN - PROPOSED
SCALE: 1/4" = 1'-0"

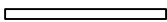
3 ATTIC PLAN - PROPOSED
SCALE: 1/4" = 1'-0"

DEMOLITION NOTES

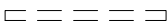
- ① DEMOLITION WORK SHOWN ON THESE DRAWINGS IS NOT THE COMPLETE DEMOLITION REQUIRED TO ACCOMMODATE NEW WORK. THE INTENT OF THE DRAWING IS TO GENERALLY SHOW THE SCOPE OF THE WORK EXPECTED OF THE CONTRACTOR. THE CONTRACTOR WILL BE RESPONSIBLE TO COORDINATE THE ADDITIONAL WORK REQUIRED BUT NOT SHOWN IN ORDER TO ACCOMMODATE THE NEW WORK.
- ② WHERE NECESSARY, THE CONTRACTOR WILL COORDINATE THE CAPPING AND PATCHING OF THE EXISTING PLUMBING, ELECTRICAL & MECHANICAL FIXTURES, SYSTEM AND ASSOCIATED DEVICES TO BE REMOVED, WITH THE REST OF THE EXISTING SYSTEMS TO REMAIN. THE CONTRACTOR WILL VERIFY THE WORK REQUIRED TO INSTALL AND PATCH NEW PLUMBING, ELECTRICAL AND MECHANICAL FIXTURES AND RELATED EQUIPMENT, AS SHOWN IN THE NEW WORK PLANS, INTO THE REMAINING EXISTING SYSTEM.
- ③ WHERE NECESSARY, THE CONTRACTOR WILL PROTECT EXISTING WOOD FINISH FLOORS AND CARPETS WITH AT LEAST ONE LAYER OF HEAVY KRAFT PAPER AND ONE LAYER OF MASONITE. PROTECTIVE LAYERS SHOULD BE TAPED TO EACH OTHER TO MINIMIZE MOVEMENT & INTRUSIONS.
- ④ THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL SHORING OF THE EXISTING SUBJECT BUILDING AND OF ANY ADJACENT STRUCTURES ASSOCIATED WITH THE DEMOLITION WORK INDICATED IN THESE DRAWINGS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR PROCURING PROFESSIONAL SERVICES, SUCH AS A STRUCTURAL ENGINEER, TO DETERMINE IF SHORING DESIGN IS NEEDED. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR OBTAINING ADDITIONAL PERMITS, ENGINEERING, AND CONSTRUCTION DOCUMENTS RELATED TO THIS WORK.

- 5) THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING WHICH LAWS PERTAINING TO SAFETY OF PERSONS, PROPERTY AND ENVIRONMENTAL PROTECTION ARE APPLICABLE TO THIS PROJECT. CONTRACTOR SHALL COMPLY WITH ALL SUCH APPLICABLE LAWS. THIS INCLUDES, BUT IS NOT LIMITED TO, REMOVAL OF TOXIC MATERIALS (SUCH AS ASBESTOS OR LEAD) AND WORKPLACE SAFETY REQUIREMENTS (SUCH AS CAL-OSHA CERTIFICATES)
- 6) REMOVE AND LEGALLY DISPOSE ALL ABANDONED HVAC EQUIPMENT, INCLUDING DUCTWORK; ABANDONED ELECTRICAL, TELEPHONE AND DATA CABLING AND DEVICES; ABANDONED WATER PIPES, GAS LINES & SEWER LINES.
- 7) 100% OF MIXED DEBRIS MUST BE TRANSPORTED BY A REGISTERED HAULER TO A REGISTERED FACILITY, IN COMPLIANCE WITH THE SAN FRANCISCO CONSTRUCTION & DEMOLITION DEBRIS ORDINANCE.
- 8) EXISTING DUCT OPENINGS AND OTHER AIR DISTRIBUTION COMPONENTS OPENINGS SHALL REMAIN COVERED DURING ALL PHASES OF CONSTRUCTION WITH TAPE, PLASTIC, SHEETMETAL, OR OTHER ACCEPTABLE METHOD TO REDUCE THE AMOUNT OF DUST, WATER AND DEBRIS ENTERING THE SYSTEM.

LEGEND:



(E) WALL TO REMAIN



(E) WALL TO BE REMOVED



(N) WALL

HEALTH CODE SHEET NOTES:

1. PROVIDE APPROVED FLOOR AND COVING MATERIAL (MIN. 4") AT THE FLOOR-WALL JUNCTIONS AND TOE KICKS OF CABINETS IN THE KITCHEN, FOOD PREPARATION AND SERVICE AREAS (FOOD & BEVERAGE ZONES & FOOD STORAGE AREAS), UTENSIL WASHING, WAITER STATION, TOILET ROOM, AND BAR AREAS. (I.E. QUARRY TILE, CERAMIC TILE)
2. PROVIDE SMOOTH, WASHABLE, LIGHT COLORED WALL AND CEILING SURFACES WITH 70% OR GREATER REFLECTIVE VALUE AT AREAS MENTIONED IN NOTE #1. (I.E.: F.R.P. PANELS, STAINLESS STEEL PANELS, TILE)
3. SUBMIT SAMPLE OF FLOOR BASE, WALL AND CEILING FINISHES TO S.F. DEPT. OF PUBLIC HEALTH FOR APPROVAL PRIOR TO INSTALLATION OR PAINTING.
4. PROVIDE FLOOR DRAIN ALONG COOKING LINE WHERE TYPE I HOOD MAY BE LOCATED.
5. PROVIDE ALL NSF APPROVED EQUIPMENT OR EQUIVALENT.
6. PROVIDE DRAINAGE (MIN. 1" AIR GAP) TO THE SEWER LINE VIA FLOOR SINK FOR REFRIGERATORS, ICE MACHINES, STEAM TABLES, OR SIMILAR EQUIPMENT DISCHARGING LIQUID WASTES AND FOR FOOD EQUIPMENT WITH LIQUID WASTE.
7. COMPLY WITH S.F. NOISE ORDINANCE FOR MECHANICAL EQUIPMENT INSTALLED ON EXTERIOR OF BUILDING.
8. PROVIDE ADEQUATE FOOD PROTECTION / SNEEZE GUARDS WHERE REQUIRED.

9. DESIGNATE CHANGE AREA WITH EMPLOYEE LOCKERS.
10. PROVIDE APPROVED FOOD STORAGE FACILITIES.
11. PROVIDE APPROVED GARBAGE STORAGE AREA.
12. ANY OPERABLE WINDOWS SHALL HAVE A SELF-CLOSING DEVICE. SCREENING SHALL BE MIN. 16 MESH / SQUARE INCH.
13. AT 3-COMPARTMENT SINK, EACH COMPARTMENT SHALL BE LARGE ENOUGH TO ACCOMMODATE THE SUBMERSION OF THE LARGEST UTENSIL / EQUIPMENT TO BE WASHED.

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PROJECT:
TENANT IMPROVEMENT

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CA, 94116

LOT / BLOCK:
2404 / 001

ISSUED	DATE
PERMIT	03.02.2017

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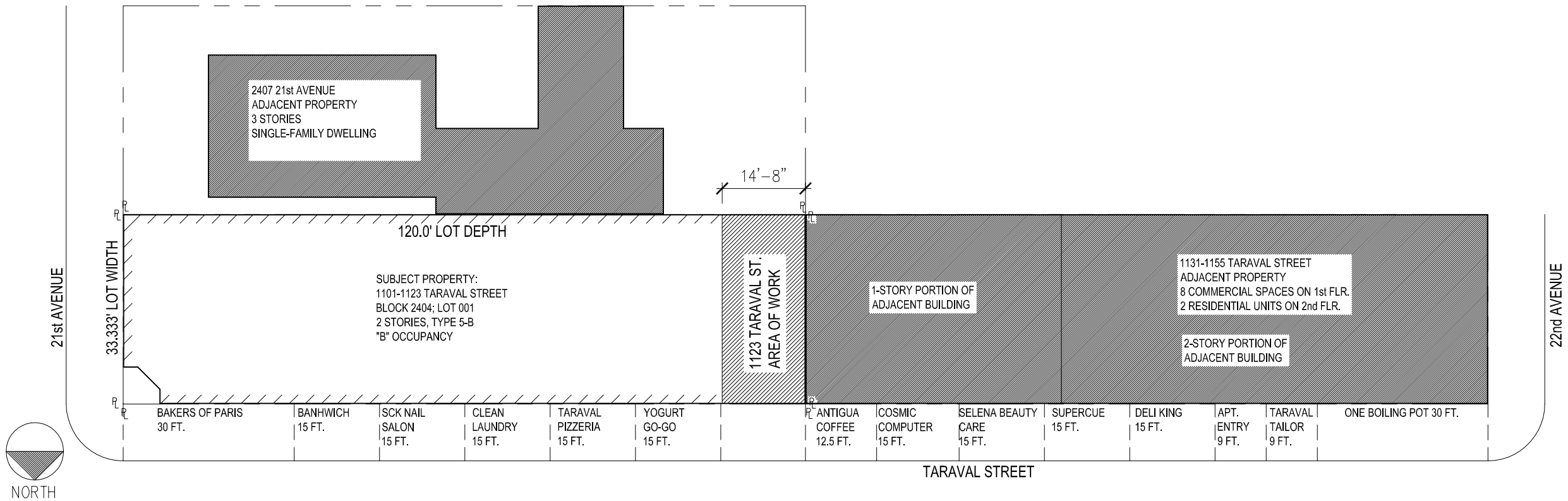
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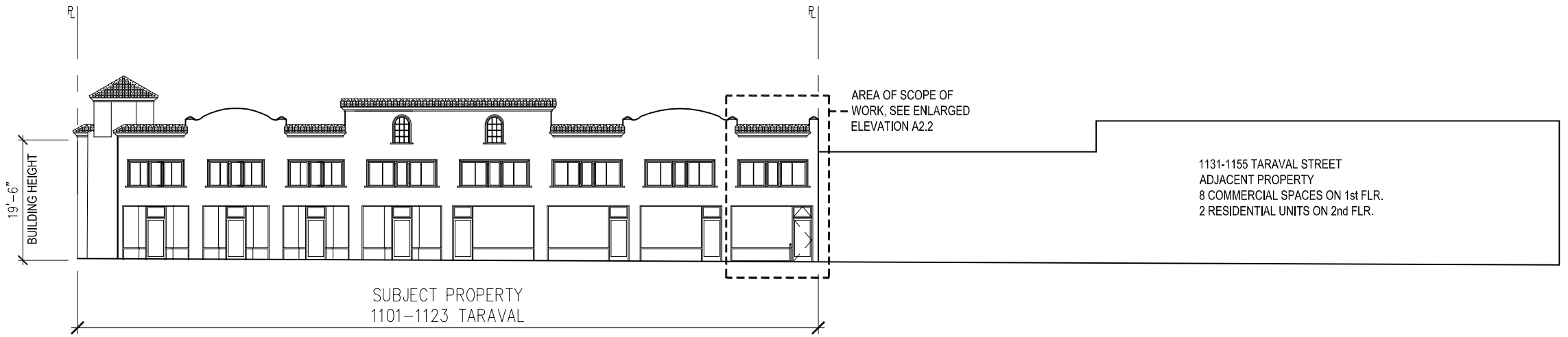
SHEET DESCRIPTION

FLOOR PLANS

A2.1



1 SITE PLAN WITH ADJACENT LOTS
SCALE: 3/32" = 1'-0"



2 NORTH ELEVATION
SCALE: 3/32" = 1'-0"

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ISSUED	DATE
PERMIT	05.31.2017

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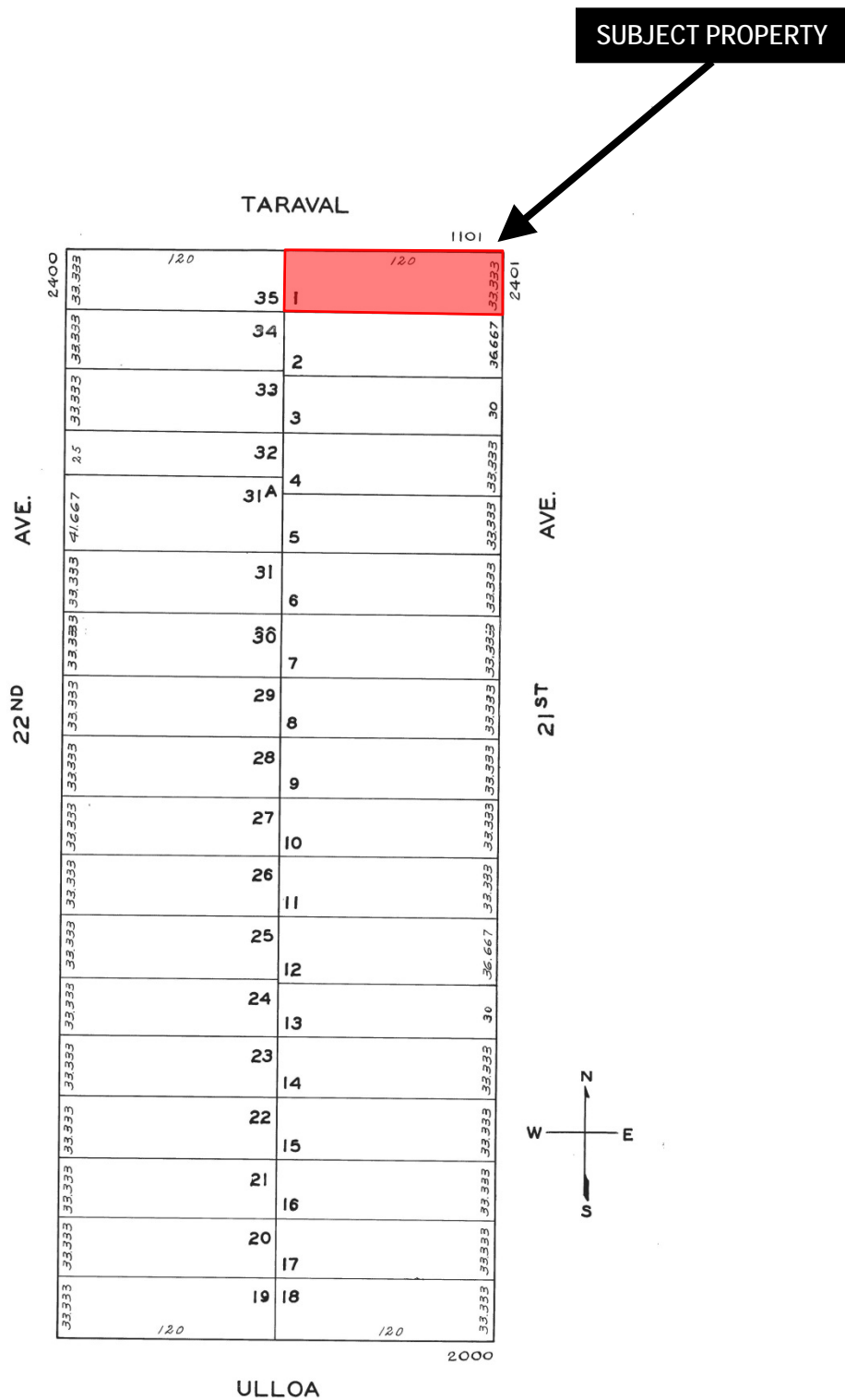
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SHEET DESCRIPTION
NEIGHBORHOOD PLAN /
BUILDING ELEVATION

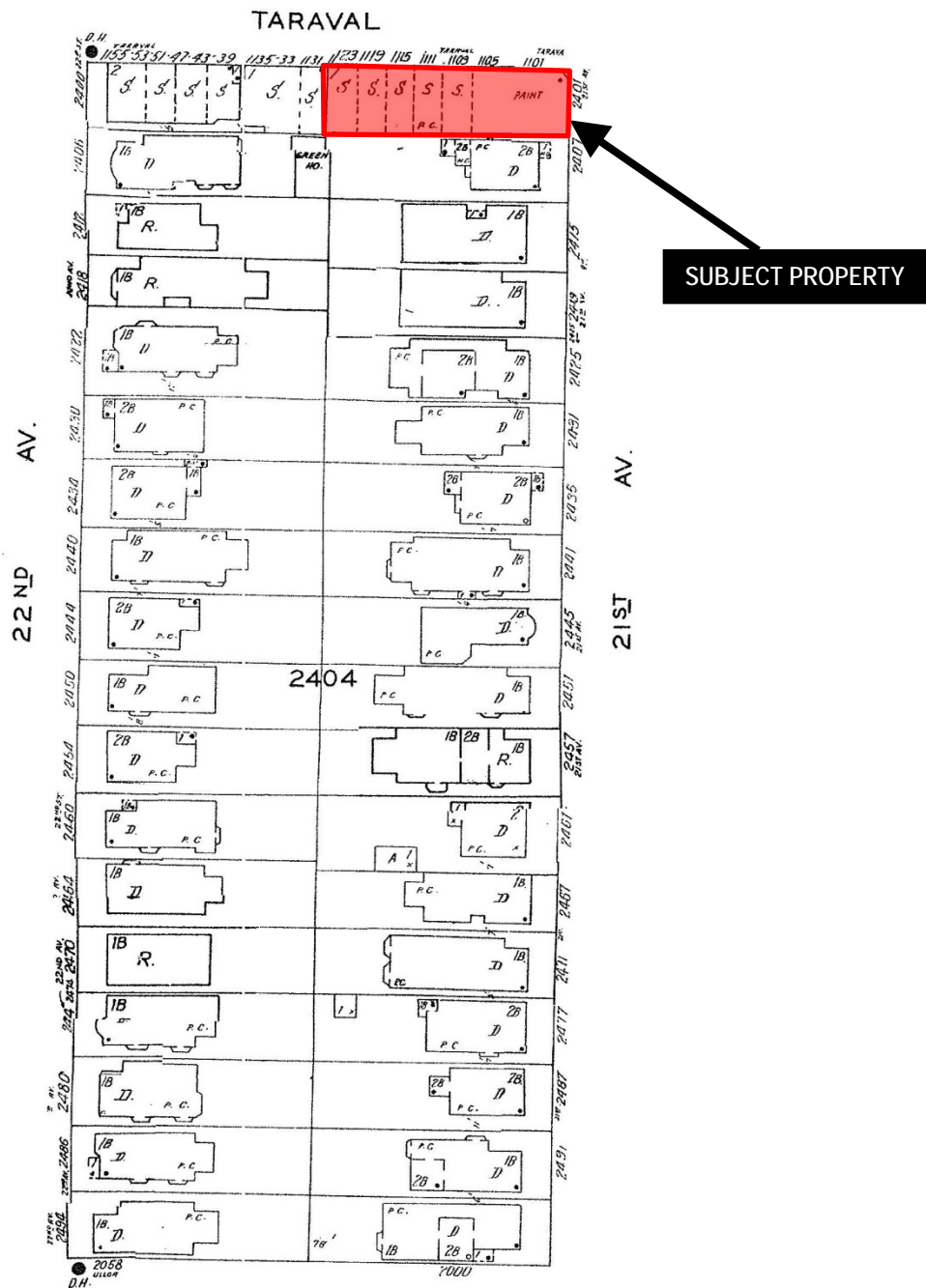
A2.3

Parcel Map



Conditional Use Authorization
Case No. 2017-003848CUA
1123 Taraval Street

Sanborn Map*



*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Conditional Use Authorization
Case No. 2017-003848CUA
1123 Taraval Street

Aerial Photo

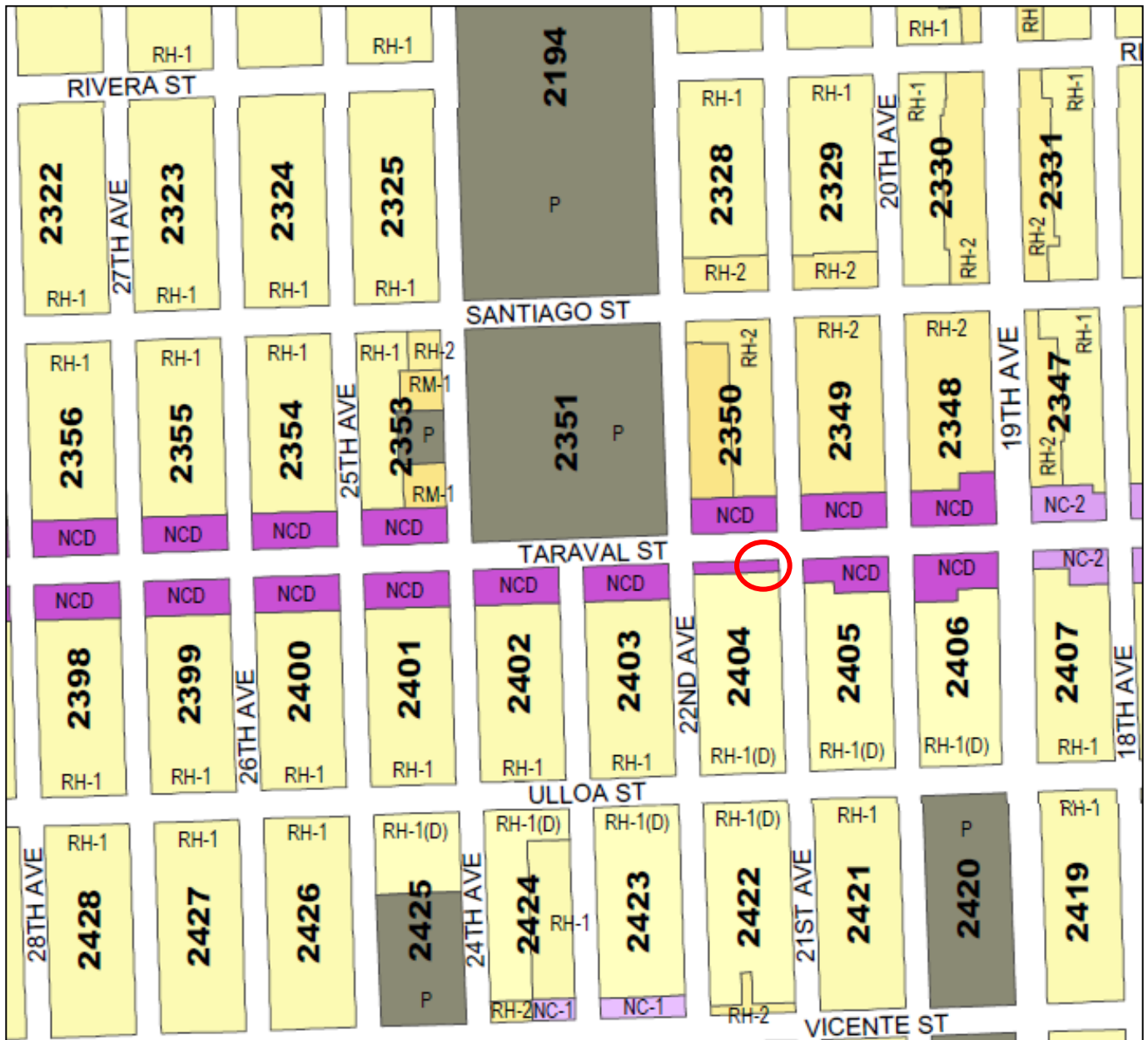


SUBJECT PROPERTY



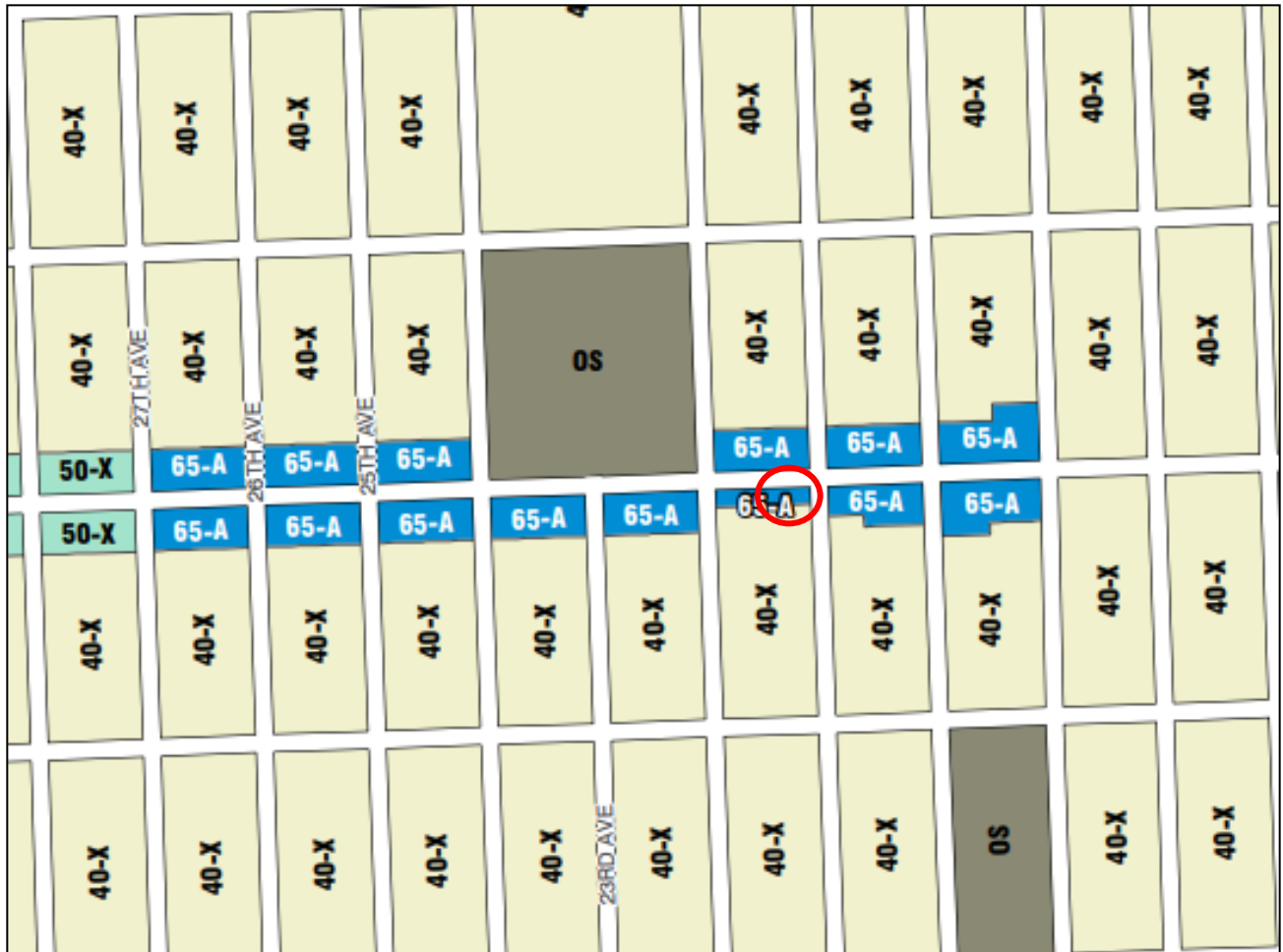
Conditional Use Authorization
Case No. 2017-003848CUA
1123 Taraval Street

Zoning Map



Conditional Use Authorization
Case No. 2017-003848CUA
1123 Taraval Street

Height and Bulk Map



Conditional Use Authorization
Case No. 2017-003848CUA
1123 Taraval Street

Site Photo



Conditional Use Authorization
Case No. 2017-003848CUA
1123 Taraval Street

Correspondence #1

From: Dennis Hong
To: [Pantoja, Gabriela \(CPC\)](#)
Cc: [Gibson, Lisa \(CPC\)](#); [Tang, Katy \(BOS\)](#); [YeeStaff, \(BOS\)](#)
Subject: Case 2017-00348CUA - 1123 Taraval - Dumpling Kitchen
Date: Friday, August 11, 2017 4:31:53 PM

Hello, Miss Gabriela Pantoja, thanks for following up with me on this most exciting Project, Case#2017-003848CA at 1123 Taraval -Dumpling Kitchen. My name is Dennis Hong and I'm a long time resident and property owner here in San Francisco, seventy plus years, District 7. I'm a retired professional Construction Project Manager. I am also an avid foodie. First, I'm writing to express my strong support for this proposed project. It fills another missing void along Taraval Street. If needed I will also replay with comments to the Planning Commissioners as needed.

This new business will add value to this Taraval corridor and fits in exceptionally well with the existing environment. I often shop here and it's a great place to hang out. This unique restaurant will be a plus.

I. **In conclusion:** 1). Given San Francisco's desire to retain and add these new business' I believe this project meets if not exceeds these requirements.

II). **Given today's climate**, especially with the minimum wages, rent and the cost of doing business in our city, it amazes me that we are still able to keep these business' and that want to stay in our city. 3). Given a new guidelines/process - CB3P and the Planning Departments Resolution Number 19323. Hopefully this can be another test to see if this new process works. Together, lets prove that this process works.

III. **This document** shows that Miss Pantoja, the Planner, the owner and the Planning Department have done a wonderful job on this document. I have reviewed this document and it covers all that is needed and professionally done.

IV. **I'm a bit aware of this CB3P permit process.** I'm confident that this process will help the new owners with their new restaurant. We just need to help expedite this process and get them up and running as quick as possible and with everyone's we can have another small wonderful business in the Taraval District. By the way, for several months now, I have walked by the job site and each time I ask, "when are they going to do something with all these vacant store fronts. I'm sorry for my unusual correspondence and trust this email helps with my support for this Project.

V. **Finally**, if you have any questions on this matter please do not hesitate to contact me at dennisj.gov88@yahoo.com . I hear they will have some wonderful dumplings too, just another reason to get them up and running. I hope this rambling email helps.

Best, Dennis