



SAN FRANCISCO PLANNING DEPARTMENT

Executive Summary Conditional Use

HEARING DATE: JULY 13, 2017

Date: July 6, 2017
Case No.: 2016-004985CUA
Project Address: 53-57 Potomac Street
Zoning: RH-2 (Residential-House, Two Family)
40-X Height and Bulk District
Duboce Park Historic District
Block/Lot: 0865 / 009
Project Sponsor: Frances Schreiber
353 Vallejo Street
San Francisco, CA 94133
Staff Contact: David Weissglass – (415) 575-9177
david.weissglass@sfgov.org
Recommendation: Approval with Conditions

1650 Mission St.
Suite 400
San Francisco,
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Reception:
415.558.6378

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415.558.6409

Planning
Information:
415.558.6377

PROJECT DESCRIPTION

The Project Sponsor seeks to merge two dwelling units in a three-story-over-garage 5-unit residential building. The Project would merge the one-bedroom, one-bathroom unit at the front of the top story (Unit 4) with the one-bedroom, one-bathroom unit at the rear of the top story (Unit 5). The Project would remove a door currently separating the two units as well as the kitchen of the rear unit to create a single two-bedroom two-bathroom unit occupying the entire top story. Minor landscaping and permeability alterations are proposed within the front setback area to comply with Planning Code Sections 132(g) and 132(h). These alterations were administratively approved by the Historic Preservation Commission through an Administrative Certificate of Appropriateness on June 12, 2017.

SITE DESCRIPTION AND PRESENT USE

The project site is located on the west side of Potomac Street between Waller Street and Duboce Park on Lot 009 in Assessor's Block 0865. The project site currently contains a 4-story residential building constructed circa 1905. While the original use of the building is unknown, it is believed that the original configuration was a three-unit residential building with one flat per floor above a basement which is now occupied by a garage. The structure was subsequently converted into a five-unit building, with a rear unit added behind the garage and the top story divided into two units. The subject lot is rectangular in shape and measures approximately 90 feet deep by 25 feet wide. The building is a contributor to the Duboce Park Historic District.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

The project site is within an RH-2 (Residential-House, Two Family) Zoning District and a 40-X Height and Bulk district. Uses in the immediate vicinity are a mix of single- and multi-family residential buildings. The adjacent building to the north is a 2-story-over-garage 1-unit residential building. The adjacent building to the south is a 3-story-over-garage condominium with 3 units. The subject property is two lots to the north of the northern border of Duboce Park.

ENVIRONMENTAL REVIEW

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 Categorical exemption.

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Classified News Ad	20 days	June 23, 2017	June 23, 2017	20 days
Posted Notice	20 days	June 23, 2017	June 23, 2017	20 days
Mailed Notice	20 days	June 23, 2017	June 23, 2017	20 days

PUBLIC COMMENT

- To date, the Department has not received any correspondence related to the project.

ISSUES AND OTHER CONSIDERATIONS

- Conditional Use Authorization: Per Planning Code Section 303 and 317, the Project requires Conditional Use Authorization to merge two dwelling units on the top story into one dwelling unit. In addition to the Conditional Use Authorization findings, the Commission must consider separate criteria outlined in Section 317(g)(2). The Project is eliminating owner-occupied housing that is not considered affordable; however, with the residential merger, the Project eliminates a viable residential unit from the market. The Project would merge two existing one-bedroom, one-bathroom units and create one unit that will be occupied by the project sponsor's daughter and her family. No alterations to the exterior of the structure are proposed, but the Project does involve minor landscaping and permeability alterations within the front setback to comply with the requirements of Planning Code Sections 132(g) and 132(h). These alterations were administratively approved by the Historic Preservation Commission through an Administrative Certificate of Appropriateness on June 12, 2017.

REQUIRED COMMISSION ACTION

In order for the project to proceed, the Commission must grant Conditional Use Authorization to allow the merging of the two top story units into a single flat, pursuant to Planning Code Sections 303 and 317.

BASIS FOR RECOMMENDATION

- The Project would create one unit occupying the entire top story, returning this portion of the building to its original configuration.
- While the Project will result in a net loss of one dwelling unit, the dwelling unit created as a result of the Project will be a larger family-sized unit. The two dwelling units to be merged are one-bedroom units, whereas the dwelling unit created will have two bedrooms.
- The proposed improvements to the front setback have been approved by the Historic Preservation Commission via an Administrative Certificate of Appropriateness.
- As the Zoning District is RH-2, the Project will bring the structure closer into conformance with the prescribed zoning by reducing the total number of dwelling units from five to four.
- The proposed Project meets all applicable requirements of the Planning Code and the General Plan.

RECOMMENDATION: Approval with Conditions
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Attachments:

Block Book Map
Sanborn Map
Zoning Map
Height & Bulk Maps
Aerial Photographs
Site Photographs
Letter from Project Sponsor
Reduced Plans

Attachment Checklist

- | | |
|---|---|
| <input checked="" type="checkbox"/> Executive Summary | <input checked="" type="checkbox"/> Project sponsor submittal |
| <input checked="" type="checkbox"/> Draft Motion | Drawings: <u>Existing Conditions</u> |
| <input type="checkbox"/> Environmental Determination | <input checked="" type="checkbox"/> Check for legibility |
| <input checked="" type="checkbox"/> Zoning District Map | Drawings: <u>Proposed Project</u> |
| <input checked="" type="checkbox"/> Height & Bulk Map | <input checked="" type="checkbox"/> Check for legibility |
| <input checked="" type="checkbox"/> Context Photos | 3-D Renderings (new construction or significant addition) |
| <input checked="" type="checkbox"/> Site Photos | <input type="checkbox"/> Check for legibility |
| <input checked="" type="checkbox"/> Parcel Map | <input type="checkbox"/> Health Dept. review of RF levels |
| <input checked="" type="checkbox"/> Sanborn Map | <input type="checkbox"/> RF Report |
| <input checked="" type="checkbox"/> Aerial Photo | <input type="checkbox"/> Community Meeting Notice |
| | <input type="checkbox"/> Environmental Determination |

Exhibits above marked with an "X" are included in this packet

DNW

Planner's Initials



SAN FRANCISCO PLANNING DEPARTMENT

Subject to: (Select only if applicable)

- Affordable Housing (Sec. 415)
- Jobs Housing Linkage Program (Sec. 413)
- Downtown Park Fee (Sec. 412)
- First Source Hiring (Admin. Code)
- Child Care Requirement (Sec. 414)
- Other

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Planning Commission Motion No. XXXXX

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ADOPTING FINDINGS RELATING TO THE APPROVAL OF CONDITIONAL USE AUTHORIZATION PURSUANT TO PLANNING CODE SECTIONS 303 AND 317 REQUIRING CONDITIONAL USE AUTHORIZATION FOR THE MERGER OF TWO DWELLING UNITS AT THE TOP STORY OF A THREE-STORY-OVER-GARAGE RESIDENTIAL BUILDING WITHIN AN RH-2 (RESIDENTIAL – HOUSE, TWO FAMILY) ZONING DISTRICT, A 40-X HEIGHT AND BULK DISTRICT, AND THE DUBOCE PARK HISTORIC DISTRICT.

PREAMBLE

On May 2, 2016, Frances Schreiber (Project Sponsor) filed an application with the Planning Department (hereinafter “Department”) for Conditional Use Authorization under Planning Code Sections 303 and 317 to merge two dwelling units on the top story of a three-story-over-garage residential building within an RH-2 (Residential, House, Two-Family) District, a 40-X Height and Bulk District, and the Duboce Park Historic District.

On July 13, 2017, the San Francisco Planning Commission (hereinafter “Commission”) conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Application No. 2016-004985CUA.

On June 12, 2017, landscaping and permeability alterations proposed within the front setback area to comply with Planning Code Sections 132(g) and 132(h) were administratively approved the Historic Preservation Commission through an Administrative Certificate of Appropriateness.

On January 20, 2016, the Project was determined by the Department to be categorically exempt from environmental review under Case No. 2015-000123ENV. The Commission has reviewed and concurs with said determination.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

MOVED, that the Commission hereby authorizes the Conditional Use requested in Application No. 2016-004985CUA, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.
2. **Project Description.** The Project Sponsor seeks to merge two dwelling units in a three-story-over-garage 5-unit residential building. The Project would merge the one-bedroom, one-bathroom unit at the front of the top story (Unit 4) with the one-bedroom, one-bathroom unit at the rear of the top story (Unit 5). The Project would remove a door currently separating the two units as well as the kitchen of the rear unit to create a single two-bedroom two-bathroom unit occupying the entire top story. Minor landscaping and permeability alterations are proposed within the front setback area to comply with Planning Code Sections 132(g) and 132 (h). These alterations were administratively approved by the Historic Preservation Commission through an Administrative Certificate of Appropriateness on June 12, 2017.
3. **Site Description and Present Use.** The project site is located on the west side of Potomac Street between Waller Street and Duboce Park on Lot 009 in Assessor's Block 0865. The project site currently contains a 4-story residential building constructed circa 1905. While the original use of the building is unknown, it is believed that the original configuration was a three-unit residential building with one flat per floor above a basement which is now occupied by a garage. The structure was subsequently converted into a five-unit building, with a rear unit added behind the garage and the top story divided into two units. The subject lot is rectangular in shape and measures approximately 90 feet deep by 25 feet wide. The building is a contributor to the Duboce Park Historic District.
4. **Surrounding Properties and Neighborhood.** The project site is within an RH-2 (Residential-House, Two Family) Zoning District and a 40-X Height and Bulk district. Uses in the immediate vicinity are a mix of single- and multi-family residential buildings. The adjacent building to the north is a 2-story-over-garage 1-unit residential building. The adjacent building to the south is a 3-story-over-garage condominium with 3 units. The subject property is two lots to the north of the northern border of Duboce Park.

5. **Public Comment.** The Department has not received any correspondence related to the project.
6. **Planning Code Compliance:** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:

- A. **Section 317:** Pursuant to Planning Code Section 317, Conditional Use Authorization is required for applications proposing to merge Residential Units. This Code Section establishes a checklist of criteria that delineate the relevant General Plan Policies and Objectives.

As the project requires Conditional Use Authorization per the requirements of the Section 317, the additional criteria specified under Section 317 have been incorporated as findings a part of this Motion. See Item 8. "Additional Findings pursuant to Section 317" below.

- B. **Rear Yard Requirement.** Planning Code Section 134 requires, in RH-2 Districts, a rear yard measuring 45 percent of the total depth.

The existing building extends into the required rear yard and is therefore legally nonconforming with respect to Section 134. However, the Project does not propose any exterior alterations to the subject building. The subject building will maintain its legally nonconforming status.

- C. **Parking.** Planning Code Section 151 requires one parking space for each dwelling unit.

The existing building has 2 parking spaces and is therefore legally nonconforming with respect to Section 151. However, the Project does not propose any changes to the number of parking spaces available. The subject building will maintain its legally nonconforming status.

- D. **Height.** Planning Code Section 260 requires that all structures be no taller than the height prescribed in the subject height and bulk district. The proposed Project is located in a 40-X Height and Bulk District, with a 40-foot height limit.

The Project doesn't propose any vertical expansion. The height of the building will remain compliant at approximately 40 feet in height above grade.

7. **Planning Code Section 303** establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use approval. On balance, the project does comply with said criteria in that:

- A. The proposed new uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.

The use and size of the proposed project is compatible with the immediate neighborhood. While the project proposes removal of existing housing, the merger of the two dwelling units at the top story will make the building more compatible with the neighborhood. According to information provided by the Project Sponsor, there is only one other building on Potomac Street with more than 4 units. Further,

the two dwelling units to be merged are both one-bedroom units, too small for a family with children. The resulting unit will be a family-sized unit with two bedrooms.

- B. The proposed project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the project that could be detrimental to the health, safety or convenience of those residing or working the area, in that:

- i. Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

The Project does not propose any exterior alterations to the existing building. The only visible modification to the subject property would be the front setback landscaping and permeability alterations which have been approved by the Historic Preservation Commission.

- ii. The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

The Planning Code requires one parking space per dwelling unit. Two spaces are existing and no additional spaces are proposed. As such, this building will maintain its noncompliant status.

- iii. The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

As the proposed project is residential in nature, unlike commercial or industrial uses, the proposed residential use is not considered to have the potential to produce noxious or offensive emissions.

- iv. Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

Landscaping and permeability improvements within the front setback area have been approved by the Historic Preservation Commission and will be compatible with the surrounding neighborhood.

- C. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

The Project complies with all relevant requirements and standards of the Planning Code and is consistent with objectives and policies of the General Plan as detailed below.

- D. That the use as proposed would provide development that is in conformity with the purpose of the applicable RH-2 District.

The proposed project would bring the building closer to conformity with the stated purpose of the RH-2 Zoning District, as the resulting building will have four residential units rather than five.

8. **Additional Findings pursuant to Section 317** establishes criteria for the Planning Commission to consider when reviewing applications to demolish or convert Residential Buildings. On balance, the Project does comply with said criteria in that:

- i. Whether the removal of the unit(s) would eliminate only owner occupied housing, and if so, for how long the unit(s) proposed to be removed have been owner occupied;

The property owner's daughter and her husband currently occupy the top story's rear unit while the front unit is occupied by another married couple who plans to move out. As the couple occupying the front unit plans to move out regardless, no residents will be evicted or forced out of their unit as a result of this Project.

- ii. Whether removal of the unit(s) and the merger with another is intended for owner occupancy;

The unit to be created as a result of this merger is to be occupied by the property owner's daughter and her family.

- iii. Whether removal of the unit(s) will remove an affordable housing unit as defined in Section 401 of this Code or housing subject to the Residential Rent Stabilization and Arbitration Ordinance;

The building was constructed circa 1905 as a multi-family building. It is the Planning Department's position to assume that every unit is subject to the Residential Rent Stabilization and Arbitration Ordinance unless we receive a finding from an appropriate agency or body to the contrary. Although Planning Staff does not have the authority to make a determination on the rent control status of a property, it is to be assumed that the units to be merged are subject to the Residential Rent Stabilization and Arbitration Ordinance.

- iv. If removal of the unit(s) removes an affordable housing unit as defined in Section 401 of this Code or units subject to the Residential Rent Stabilization and Arbitration Ordinance, whether replacement housing will be provided which is equal or greater in size, number of bedrooms, affordability, and suitability to households with children to the units being removed

The building was constructed circa 1905 as a multi-family unit. Although Planning Staff does not have the authority to make the final determination, it is to be assumed that the units to be merged are subject to the Residential Rent Stabilization and Arbitration Ordinance. If so, the new unit would also be subject to the Residential Rent Stabilization and Arbitration Ordinance. Further, the new unit will provide two bedrooms and will be more suitable to families with children than either unit proposed to be merged.

- v. How recently the unit being removed was occupied by a tenant or tenants;

Both units to be merged are currently occupied by tenants. However, the tenants in the front unit plan to move out soon regardless of the Planning Commission's action on this proposal. The

property owner's daughter and her family, currently occupying the rear unit, plan to live in the merged unit.

- vi. Whether the number of bedrooms provided in the merged unit will be equal to or greater than the number of bedrooms in the separate units;

The merged unit will provide a greater number of bedrooms than both units to be merged. The merged unit will have two bedrooms whereas both units to be merged only have one unit.

- vii. Whether the removal of the unit(s) is necessary to correct design or functional deficiencies that cannot be corrected through interior alterations;

The merger of the two units on the top story will bring the building closer to its layout when originally constructed circa 1905, with one unit per story. However, there are no exceptional circumstances that necessitate the removal of one of the units to correct a situation that creates uninhabitable space.

- 9. **General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan.

HOUSING ELEMENT

OBJECTIVE 2:

RETAIN EXISTING HOUSING UNITS, AND PROMOTE SAFETY AND MAINTENANCE STANDARDS, WITHOUT JEOPARDIZING AFFORDABILITY.

Policy 2.2:

Retain existing housing by controlling the merger of residential units, except where a merger clearly creates new family housing.

The Project proposes the merger of two dwelling units which do not provide adequate space or amenities to raise a family in the City. The proposed merger will allow the occupants of the rear unit to remain in the community in a unit that can accommodate a family.

OBJECTIVE 4:

FOSTER A HOUSING STOCK THAT MEETS THE NEEDS OF ALL RESIDENTS ACROSS LIFECYCLES

Policy 4.1

Develop new housing, and encourage the remodeling of existing housing, for families with children.

While the Project will remove one rental unit from the City's housing stock, neither of the units proposed to be merged are able to support a family with children. The unit resulting from the merger will create a rental unit that is adequate to meet the needs of a family with children.

10. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project does comply with said policies in that:

- A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

Existing neighborhood-serving retail uses would not be displaced or otherwise adversely affected by the proposal, as the building has no retail space.

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

While one dwelling unit will be lost in the merger, the top floor will be restored to a single-floor flat that can accommodate the needs of a family with children. The addition of a family-sized unit to a family-friendly neighborhood will preserve and enhance the character of the neighborhood. There will be no significant detrimental effects on cultural or economic diversity.

- C. That the City's supply of affordable housing be preserved and enhanced,

The units proposed to be merged are not affordable housing units as defined by the Planning code, and therefore the Project will have no significant effect on the City's supply of affordable housing.

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

The Project would not have a significant adverse effect on automobile traffic congestion or create parking problems in the neighborhood. No changes to the building's supply of off-street parking are proposed.

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

The Project is a residential project in an RH-2 District; therefore the Project would not affect industrial or service sector uses or related employment opportunities. Ownership of industrial or service sector businesses would not be affected by the Project.

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The Project will not have any effect on earthquake preparedness.

- G. That landmarks and historic buildings be preserved.

The Project site falls within the Duboce Park Historic District. Minor alterations to the front façade were administratively approved by the Historic Preservation Commission through an Administrative Certificate of Appropriateness on June 12, 2017.

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

As the Project does not propose any exterior alterations or expansions, the Project will not have any impact on open space or access to sunlight and vistas.

11. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
12. The Commission hereby finds that approval of the Conditional Use authorization would promote the health, safety and welfare of the City.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Application No. 2016-004985CUA** subject to the following conditions attached hereto as "EXHIBIT A" which is incorporated herein by reference as though fully set forth.

APPEAL AND EFFECTIVE DATE OF MOTION: Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion No. 17820. The effective date of this Motion shall be the date of this Motion if not appealed (After the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94012.

Protest of Fee or Exaction: You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development.

If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission's adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator's Variance Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives **NOTICE** that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period.

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on July 13, 2017.

Jonas P. Ionin
Commission Secretary

AYES:

NAYS:

ABSENT:

ADOPTED: July 13, 2017

EXHIBIT A

AUTHORIZATION

This authorization is for a conditional use to allow a residential merger of two units on the top story of the residential building located at [Insert Address, Block, and Lot] pursuant to Planning Code Section(s) 303 and 317 within the **RH-2 (Residential-House, Two Family) Zoning District** and a **40-X** Height and Bulk District; in general conformance with plans, dated **April 28, 2017**, and stamped "EXHIBIT B" included in the docket for Case No. **2016-004985CUA** and subject to conditions of approval reviewed and approved by the Commission on **July 13, 2017** under Motion No **XXXXXX**. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

RECORDATION OF CONDITIONS OF APPROVAL

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on **July 13, 2017** under Motion No **XXXXXX**.

PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. **XXXXXX** shall be reproduced on the Index Sheet of construction plans submitted with the Site or Building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

SEVERABILITY

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use authorization.

Conditions of Approval, Compliance, Monitoring, and Reporting

PERFORMANCE

1. **Validity and Expiration.** The authorization and right vested by virtue of this action is valid for three years from the effective date of the Motion. A building permit from the Department of Building Inspection to construct the project and/or commence the approved use must be issued as this Conditional Use authorization is only an approval of the proposed project and conveys no independent right to construct the project or to commence the approved use. The Planning Commission may, in a public hearing, consider the revocation of the approvals granted if a site or building permit has not been obtained within three (3) years of the date of the Motion approving the Project. Once a site or building permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. The Commission may also consider revoking the approvals if a permit for the Project has been issued but is allowed to expire and more than three (3) years have passed since the Motion was approved.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

DESIGN

2. **Garbage, composting and recycling storage.** Space for the collection and storage of garbage, composting, and recycling shall be provided within enclosed areas on the property and clearly labeled and illustrated on the architectural addenda. Space for the collection and storage of recyclable and compostable materials that meets the size, location, accessibility and other standards specified by the San Francisco Recycling Program shall be provided at the ground level of the buildings.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org.

MONITORING

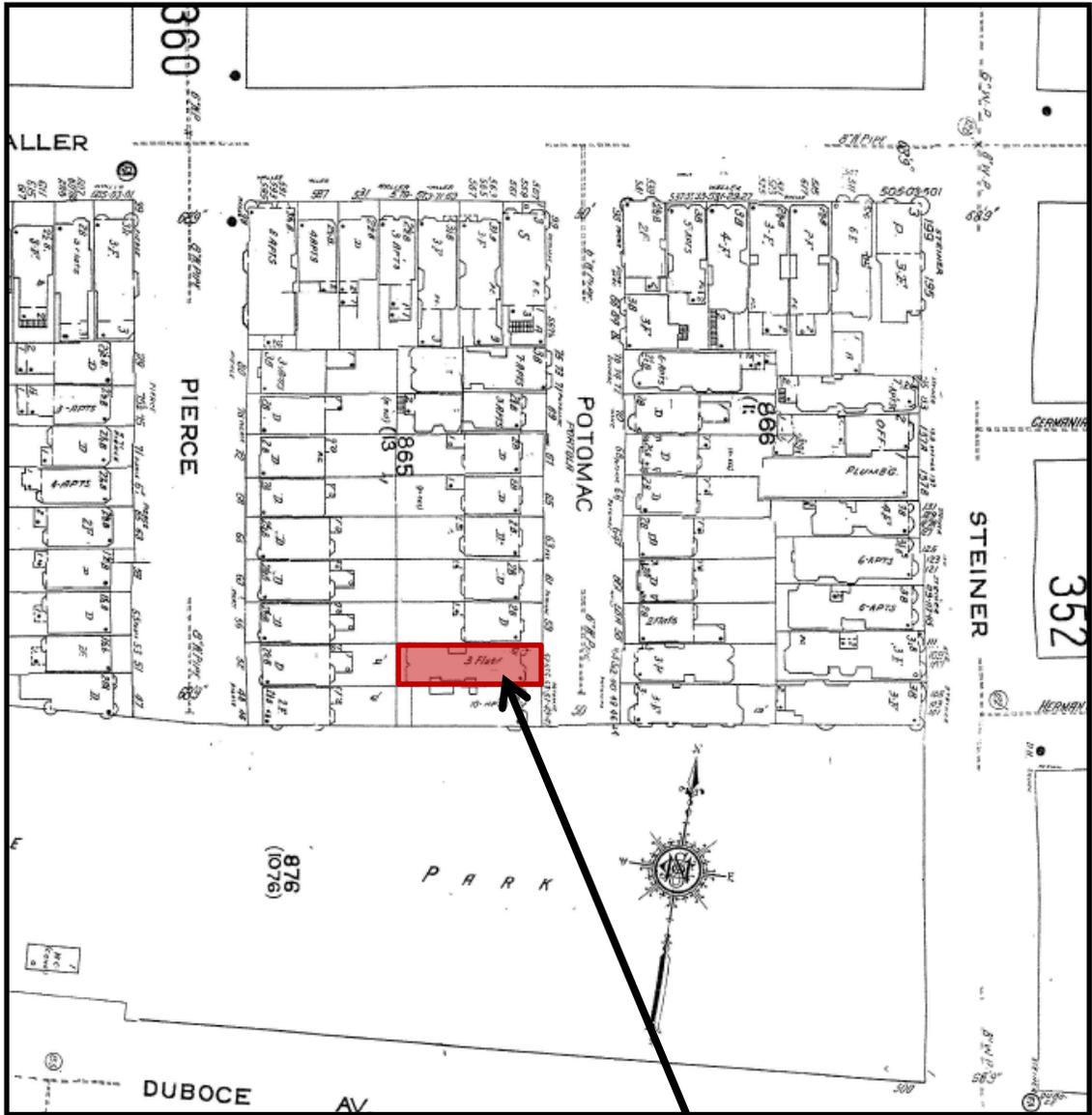
3. **Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

OPERATION

4. **Sidewalk Maintenance.** The Project Sponsor shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Streets and Sidewalk Maintenance Standards. *For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works, 415-695-2017, <http://sfdpw.org>*

Sanborn Map



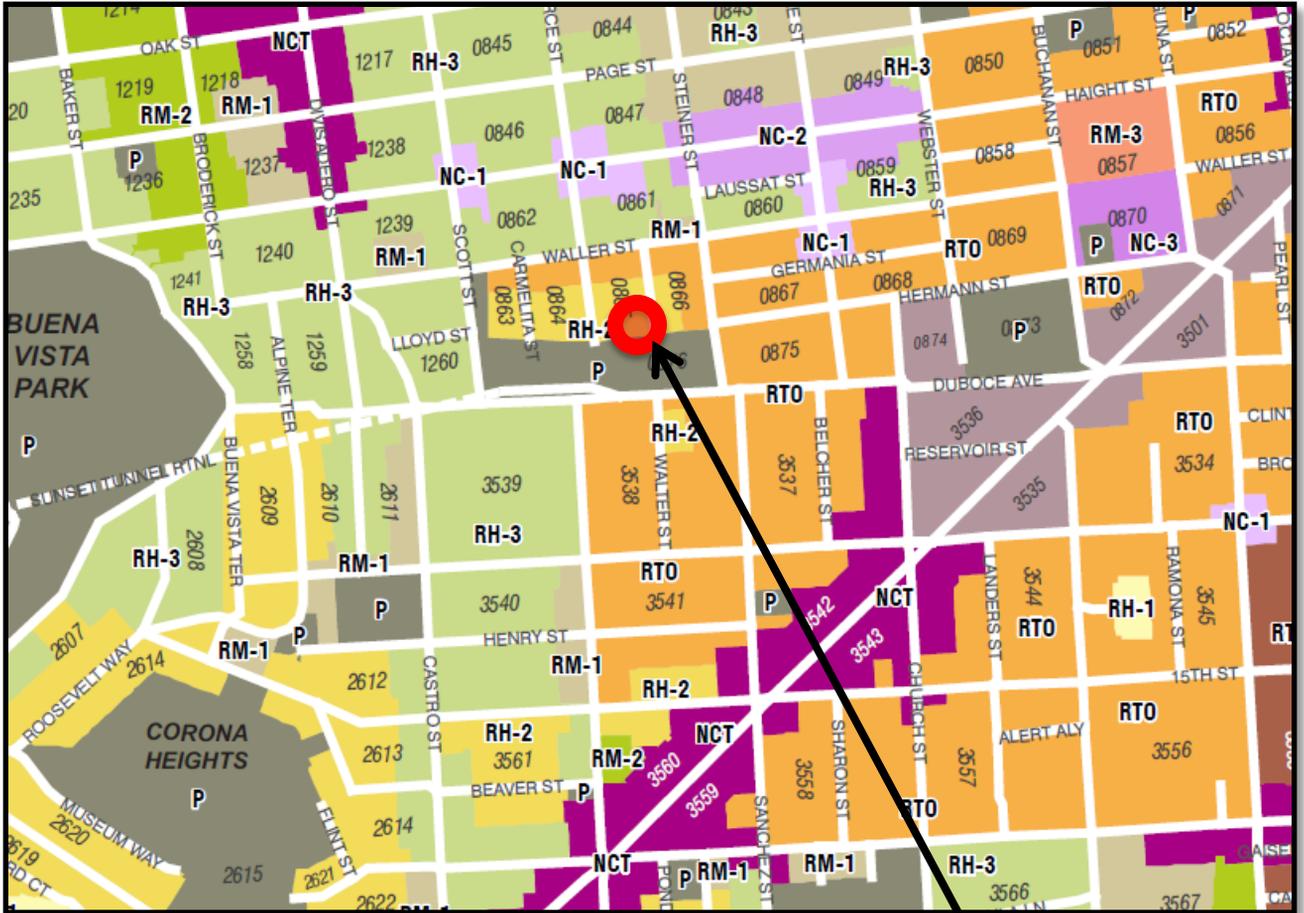
SUBJECT PROPERTY

SAN FRANCISCO
PLANNING DEPARTMENT



Conditional Use Hearing
Case Number 2016-004985CUA
53-57 Potomac Street
Block 0865 Lot 009

Zoning Map



SUBJECT PROPERTY

SAN FRANCISCO
PLANNING DEPARTMENT



Conditional Use Hearing
Case Number 2016-004985CUA
53-57 Potomac Street
Block 0865 Lot 009

Height and Bulk Map



SUBJECT PROPERTY

SAN FRANCISCO
PLANNING DEPARTMENT



Conditional Use Hearing
Case Number 2016-004985CUA
53-57 Potomac Street
Block 0865 Lot 009

Aerial Photo



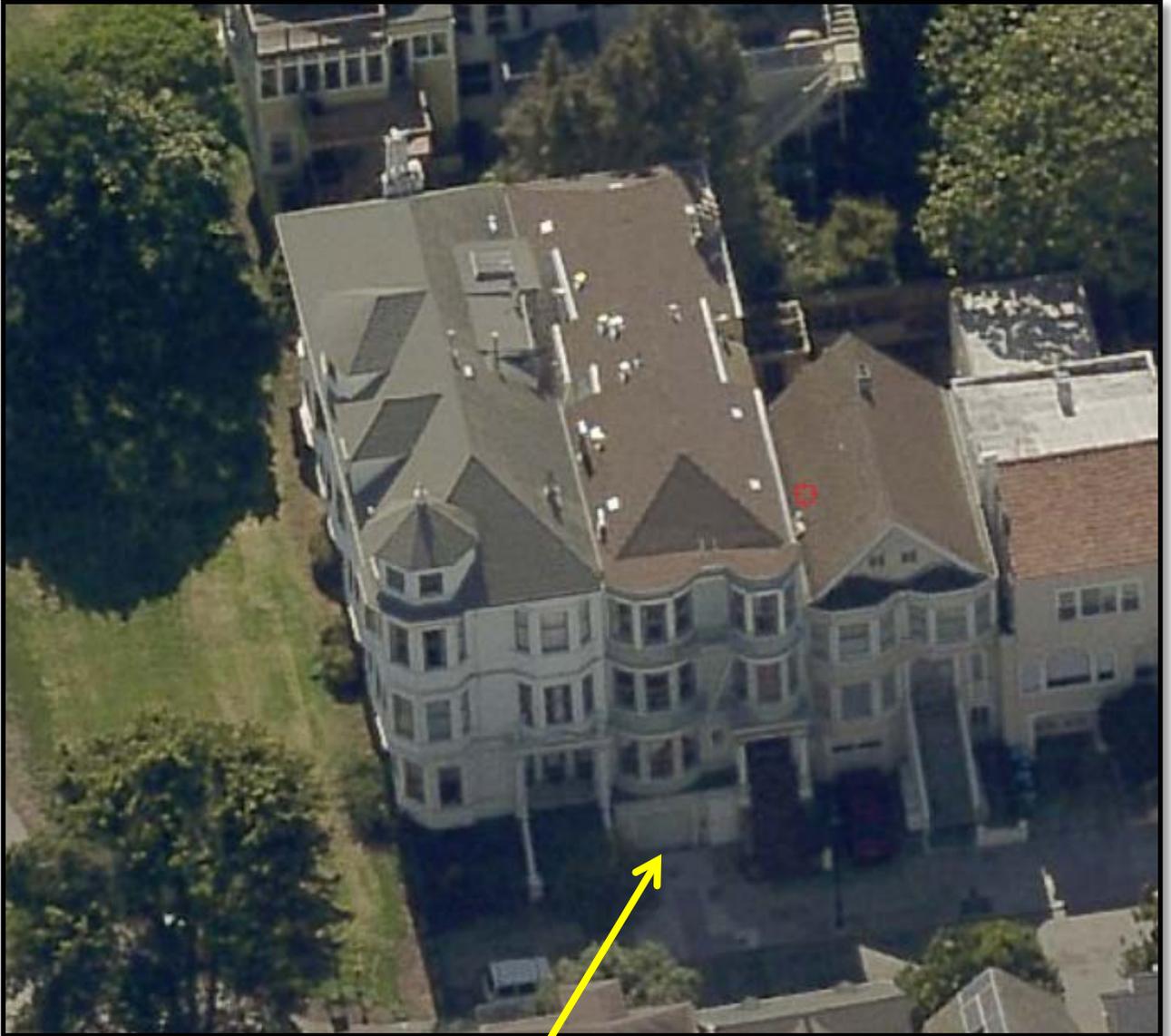
SUBJECT PROPERTY

SAN FRANCISCO
PLANNING DEPARTMENT



Conditional Use Hearing
Case Number 2016-004985CUA
53-57 Potomac Street
Block 0865 Lot 009

Aerial Photo



SUBJECT PROPERTY

SAN FRANCISCO
PLANNING DEPARTMENT



Conditional Use Hearing
Case Number 2016-004985CUA
53-57 Potomac Street
Block 0865 Lot 009

Aerial Photo



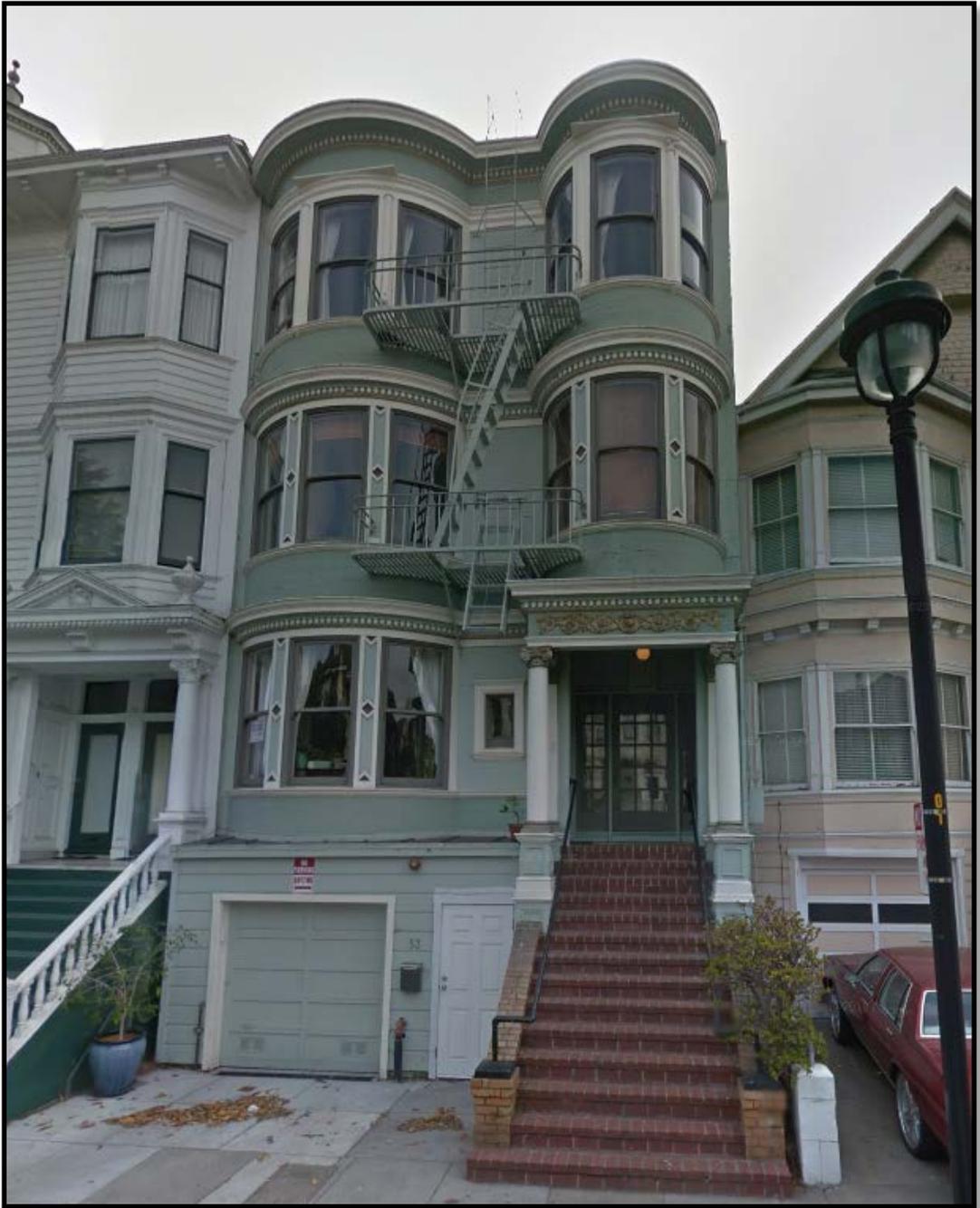
SUBJECT PROPERTY

SAN FRANCISCO
PLANNING DEPARTMENT



Conditional Use Hearing
Case Number 2016-004985CUA
53-57 Potomac Street
Block 0865 Lot 009

Site Photo



SAN FRANCISCO
PLANNING DEPARTMENT



Conditional Use Hearing
Case Number 2016-004985CUA
53-57 Potomac Street
Block 0865 Lot 009

Frances C. Schreiber

353 Vallejo Street
San Francisco, CA 94133
(510) 333-9907 (cell)
fschreiber@kazanlaw.com

June 1, 2017

San Francisco Planning Commission
1650 Mission Street, Suite 400
San Francisco, CA 94103

Re: Application to Merge Dwelling Units – Building Permit Application # 20170428 5246 in conjunction with 2016-004-985 CUA – 53-57 Potomac Street – San Francisco – Block 0865 Lot 009

To Whom It May Concern,

Please accept this statement to supplement my application for a Dwelling Unit Merger.

It gives me great joy to think that my daughter, a native San Franciscan, and her husband, whose father was born and raised in San Francisco, have the opportunity to build their lives in this wonderful city. As my daughter Rachael and her husband Blake start their family, they will ultimately need to expand their home to accommodate the children they hope to have. And I will be able to live in that same city with them and my grandchildren.

Their current home on Potomac Street is an ideal place for them to raise their children. The street is currently home to many families with small children (rare for San Francisco), next to Duboce Park, the Harvey Milk Community Center, and two blocks from McKinley elementary school.

We understand the Commission is generally reluctant to grant Dwelling Unit Mergers, fearing the displacement of residents. But by denying this merger, my family will ultimately have to move from their small one bedroom apartment and find a larger home in which to raise their children, probably outside San Francisco. This move will make it more difficult for me to see my grandchildren and to continue my close regular relationship with my daughter and her husband. I was very lucky that Rachael returned to the city after graduating Cornell's Architecture program; it allowed me to spend time with her, watch her grow in her career, and fall in love and get married.

We do not intend to displace Sophie and Alex, the couple who live across the hall in the unit which will be merged with Rachael and Blake's unit. The couples are close friends. The two women stood up for each other in their respective weddings, have lived together as roommates in other apartments in San Francisco, and want now to share more common space. They currently share the laundry room which is accessible through Rachael and Blake's apartment, share the garage, and share many meals and activities. Sophie and Alex are also trying to start a family and plan to move to a larger home in the next few years.

San Francisco Planning Commission

June 1, 2017

page 2

As the owner of a property in San Francisco, I'm obviously fortunate to be able to help my daughter and son-in-law raise their children as I brought up my daughter Rachael – with roots in San Francisco and the culture that it holds. I've been a regular subscriber to several theater programs in San Francisco and began taking Rachael with me when she was in middle school. We continue this tradition to this day and I know she will continue it with her children. We attend jazz and other music concerts, are members together of several of the art museums, and members of Congregation Sherith Israel.

Originally from Cincinnati, Ohio, I moved to Berkeley after graduating law school and to San Francisco in 1976, ultimately purchasing my current home in North Beach in 1980. My work on behalf of unions and working people, including work with the California state legislature to improve workplace safety standards for all Californians, has been meaningful for me, but most fulfilling is having raised an amazing daughter in this city as a single parent.

Rachael graduated high school in 2002 and left our home for college. Returning to the city in 2007, she lived with different groups of friends, including Sophie and Alex, in various places in the Lower Haight / Duboce Triangle neighborhood, a neighborhood she loves. Because Rachael and her roommates were asked by the owners in 2012 to leave the home they were renting on Laussat Street, she began searching for a new place to live. The rental market was extremely tight at that time and so we decided to look simultaneously for a place that could be purchased and in which she could live, one that had a vacant unit. We discovered the Potomac Street property which I was fortunate enough to purchase in an estate sale by re-mortgaging my own home on Vallejo Street which had finally been paid off after 30 years.

This letter hopefully distinguishes our petition for the Dwelling Unit Merger from others who seek to displace folks from their San Francisco units. We are not intending to flip this property. My daughter and husband plan to raise a family here and I want to spend time with them and my future grandchildren when I retire – all things which optimistically will occur relatively soon.

If there is any further information we can provide to support this application, please let us know.

Sincerely,

Frances C. Schreiber

SHEET INDEX	
T0.00	COVER SHEET
A1.00	SITE PLAN
A2.00	EXISTING, DEMO, NEW - THIRD FLOOR PLAN
A2.01	ENLARGED SETBACK PLAN & ELEVATION
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A3.01	NEW LONGITUDINAL BUILDING SECTION
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A-4	FOR REFERENCE ONLY - SECOND & THIRD FLOOR PLANS
A-5	FOR REFERENCE ONLY - DETAILS
E-1	FOR REFERENCE ONLY - ELECTRICAL & HVAC FLOOR PLANS & NOTES

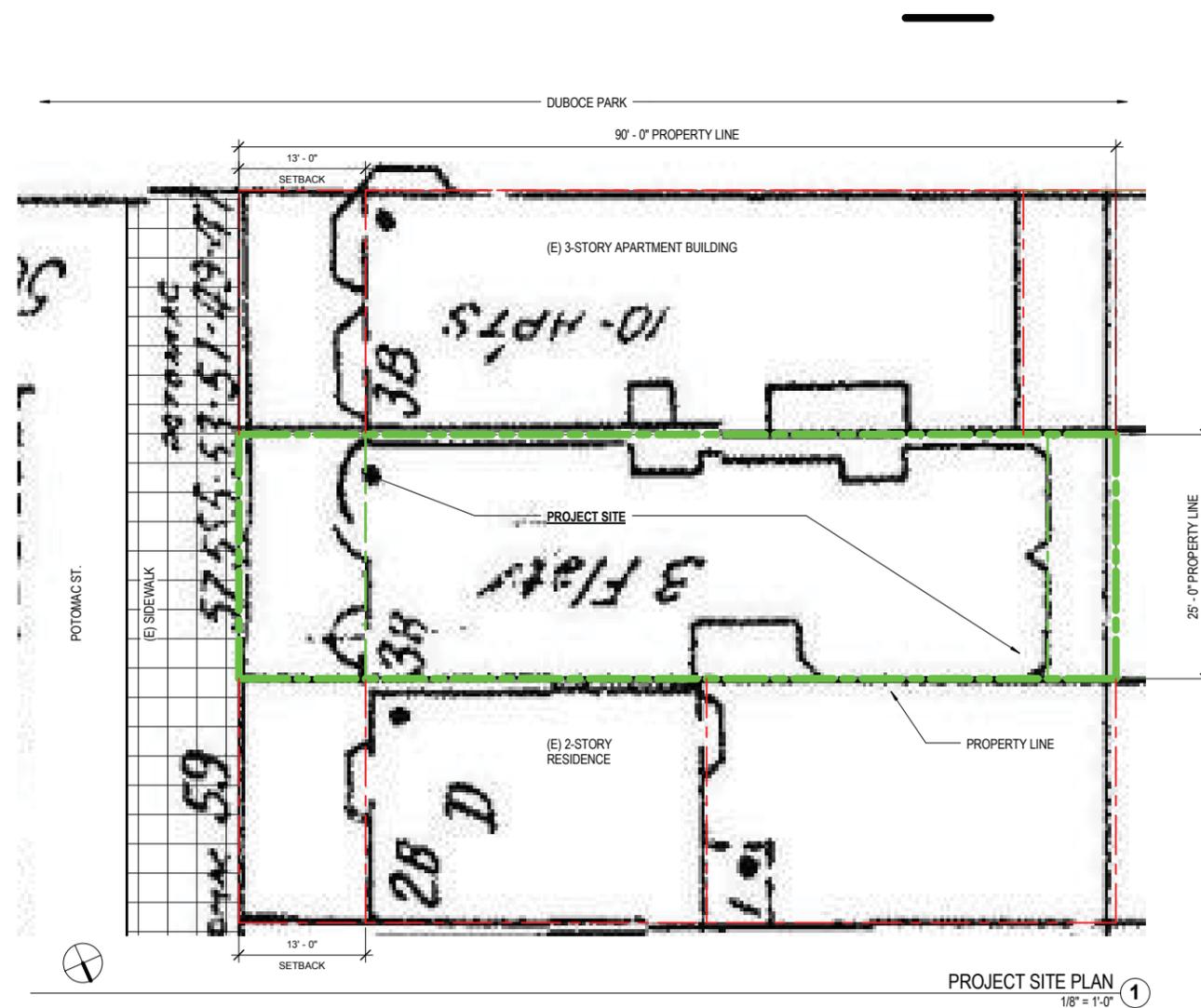
SCOPE OF WORK
 Remove two existing Unit Entry Doors at 4th floor interior hallway to merge Unit 4 & Unit 5. Remove existing concrete flatwork in front setback and replace with permeable concrete and landscaping per San Francisco Planning Code Sec. 132.g. No changes to the building area. No changes to Units 1, 2, 3.

Conditional Use Application Reference #: 2016-004-985-CUA

SITE DATA
 PARCELS (Block/Lot): 0865/009

Building Information:
 A.P.N.: Block: 0865 Lot: 009
 Zoning: RH-2
 Building Height: 40-X
 Occupancy:
 Existing Five Family Dwelling R1
 New Four Family Dwelling R1
 Construction Type: VN
 Building Area: 4,800 sq ft
 Parcel Area: 2,247 sq ft
 Units: 5
 Stories: 4 (3 Stories over garage)

Applicable Codes:
 2015 International Building Code
 2015 International Residential Code
 2016 California Building Code
 San Francisco Amendments to the above model codes



53, 55, 57 POTOMAC ST UNIT MERGER

57 POTOMAC ST. SAN FRANCISCO, CA 94117

Client:
FRANCES SCHREIBERG

353 VALLEJO ST
 SAN FRANCISCO, CA 94133

Stamp:

Job Number: 2016-004-985-CUA
 Drawn by: Author
 Checked by: Checker
 Date: APR 28, 2017
 Scale: 1/8" = 1'-0"

Title
 COVER SHEET

Sheet

T0.00

53, 55, 57 POTOMAC ST UNIT MERGER

57 POTOMAC ST. SAN FRANCISCO, CA 94117

Client:
FRANCES SCHREIBERG

353 VALLEJO ST
SAN FRANCISCO, CA 94133

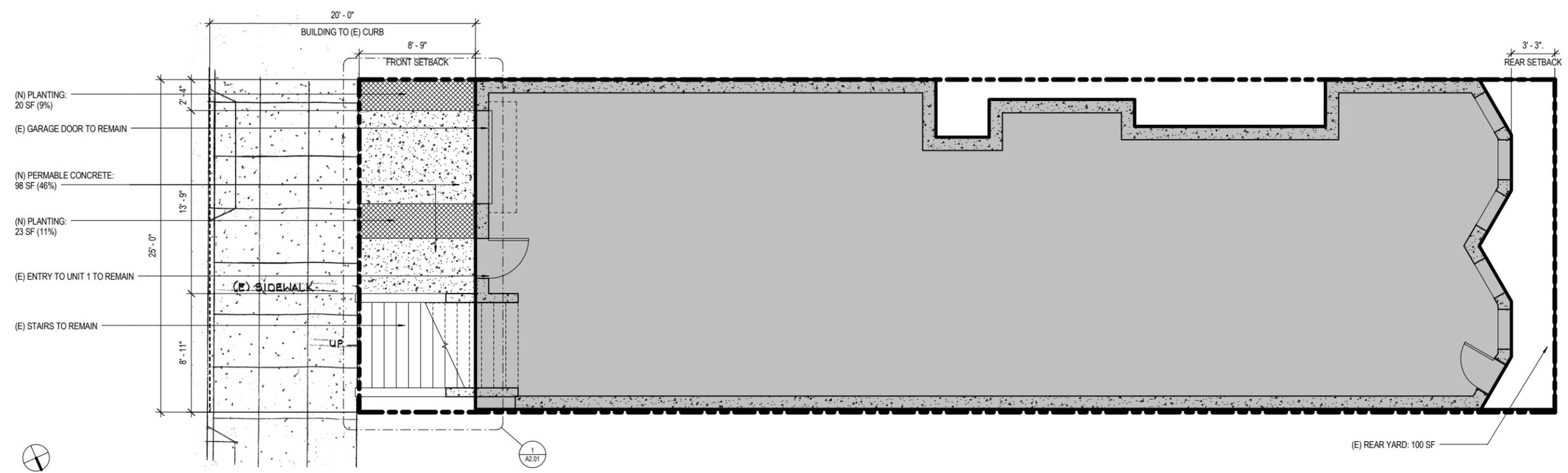
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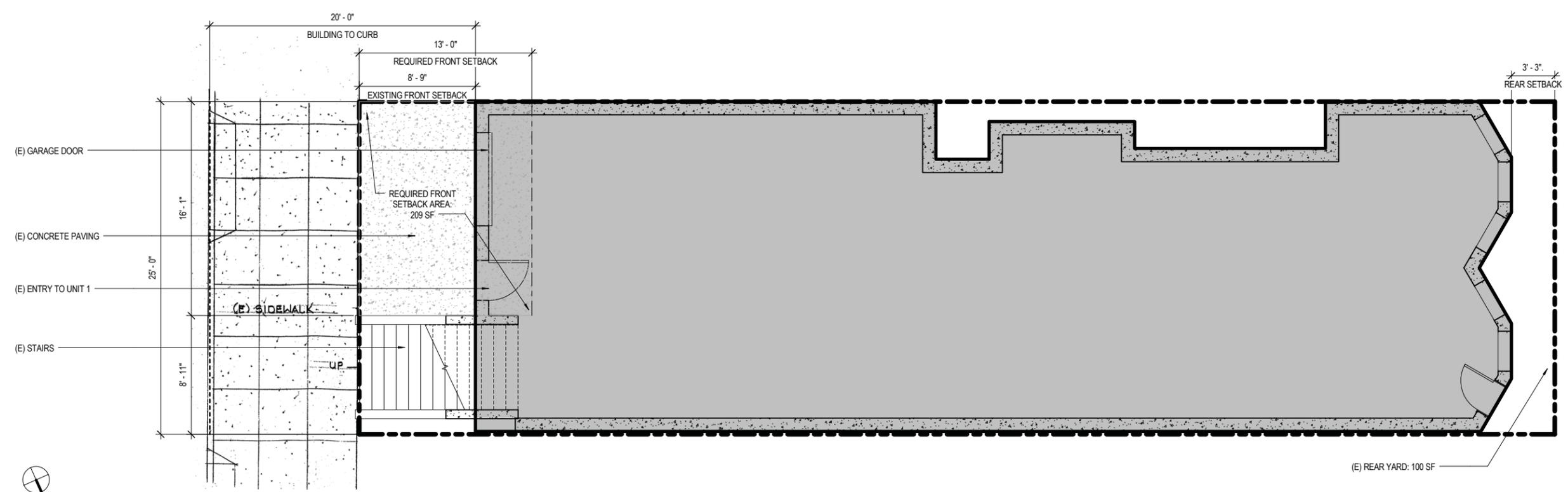
Title
SITE PLAN

Sheet

A1.00



(N) SITE PLAN 2
1/4" = 1'-0"



(E) SITE PLAN 1
1/4" = 1'-0"

53, 55, 57 POTOMAC ST UNIT MERGER

57 POTOMAC ST. SAN FRANCISCO, CA 94117

Client:
FRANCES SCHREIBERG

353 VALLEJO ST
SAN FRANCISCO, CA 94133

Revision Schedule		
Rev. No.	Issue	Date

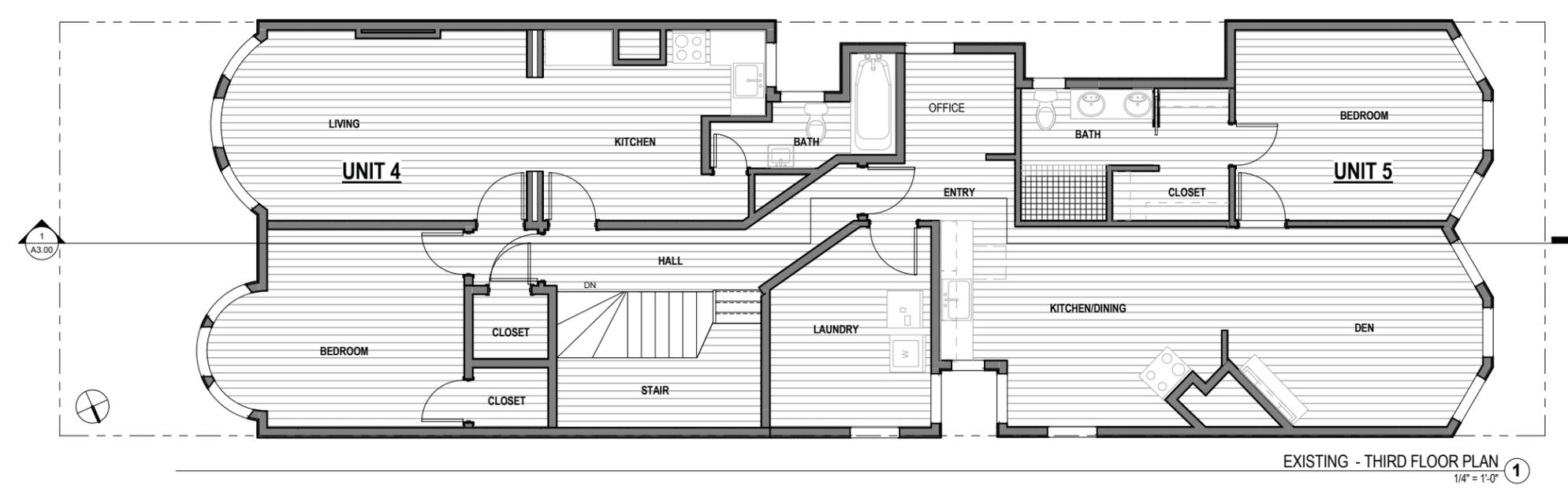
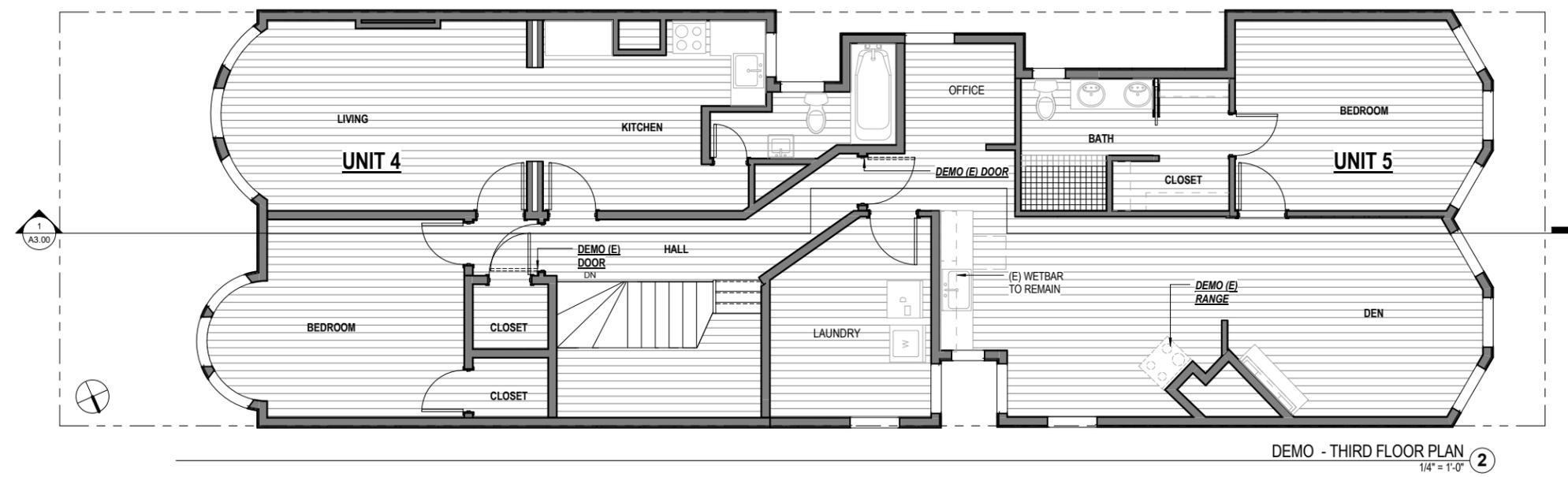
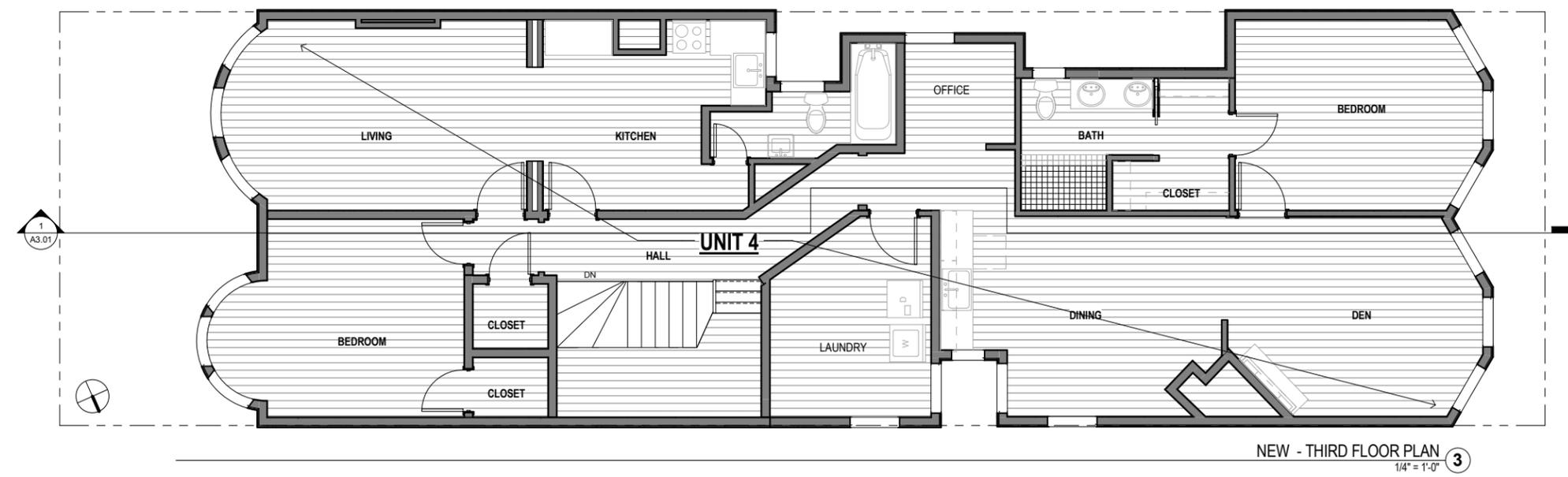
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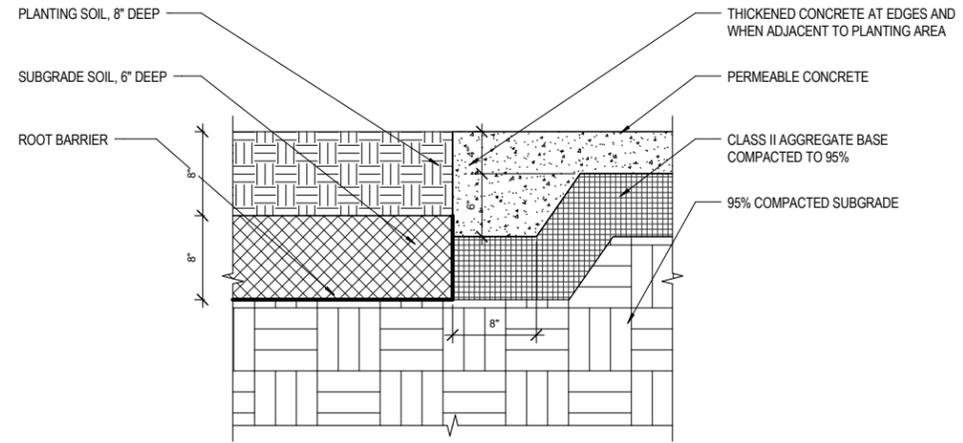
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Title
EXISTING, DEMO, NEW - THIRD FLOOR PLAN

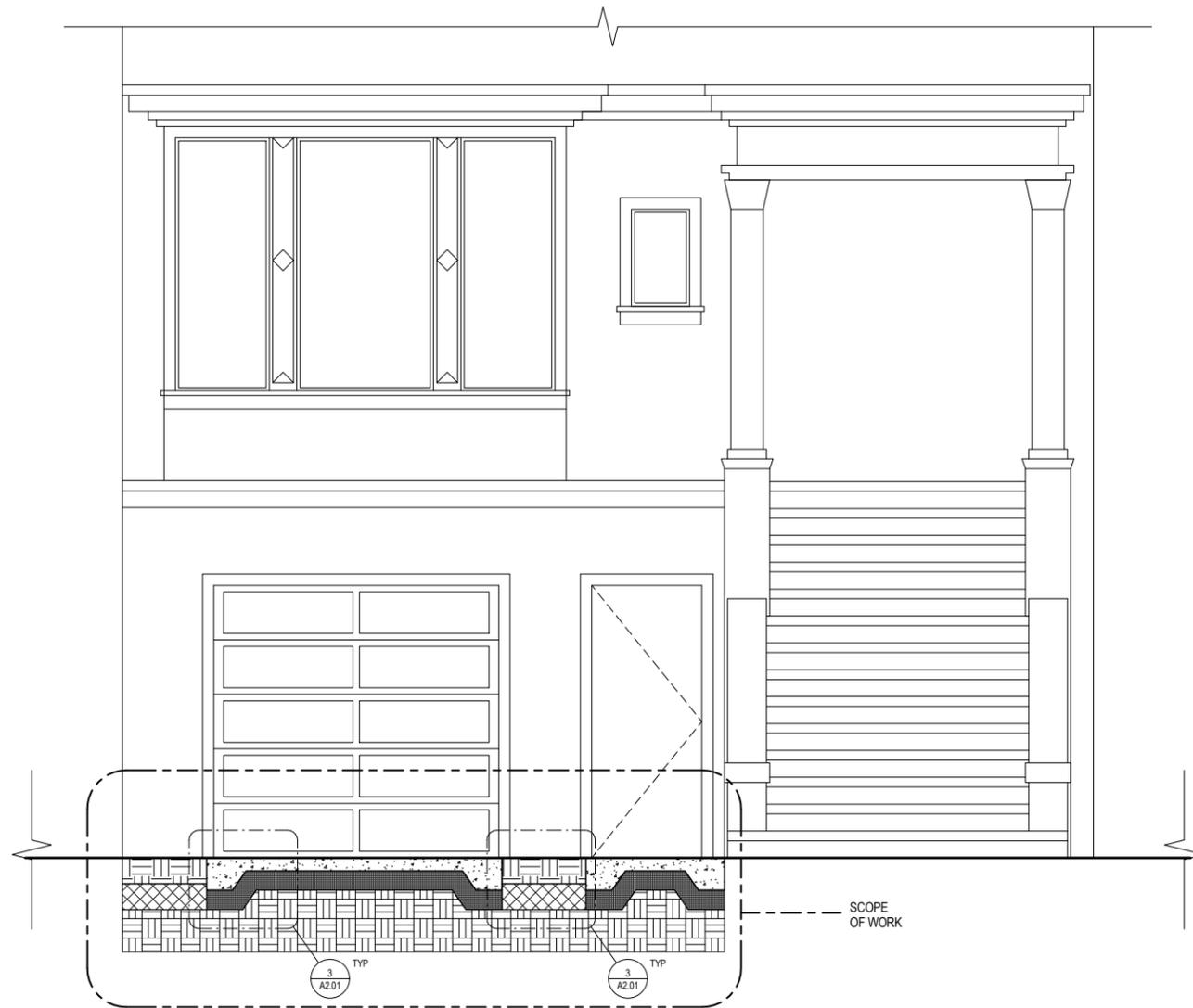
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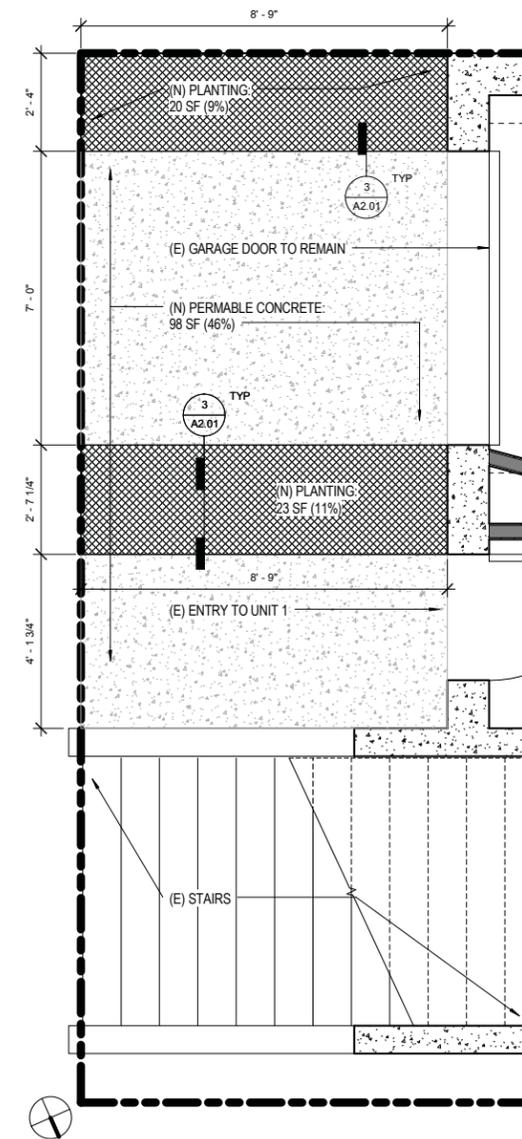




PLANTER CONCRETE DETAIL 3
1 1/2" = 1'-0"



ENLARGED SETBACK ELEVATION 2
1/2" = 1'-0"



ENLARGED SETBACK PLAN 1
1/2" = 1'-0"

53, 55, 57 POTOMAC ST
UNIT MERGER

57 POTOMAC ST. SAN FRANCISCO, CA 94117

Client:
FRANCES SCHREIBERG

353 VALLEJO ST
SAN FRANCISCO, CA 94133

Stamp:

Job Number: 2016-004-985-CUA
 Drawn by: Author
 Checked by: Checker
 Date: APR 28, 2017
 Scale: As indicated

Title
ENLARGED SETBACK PLAN & ELEVATION

Sheet

A2.01

**53, 55, 57 POTOMAC ST
UNIT MERGER**

57 POTOMAC ST. SAN FRANCISCO, CA 94117

Client:
FRANCES SCHREIBERG

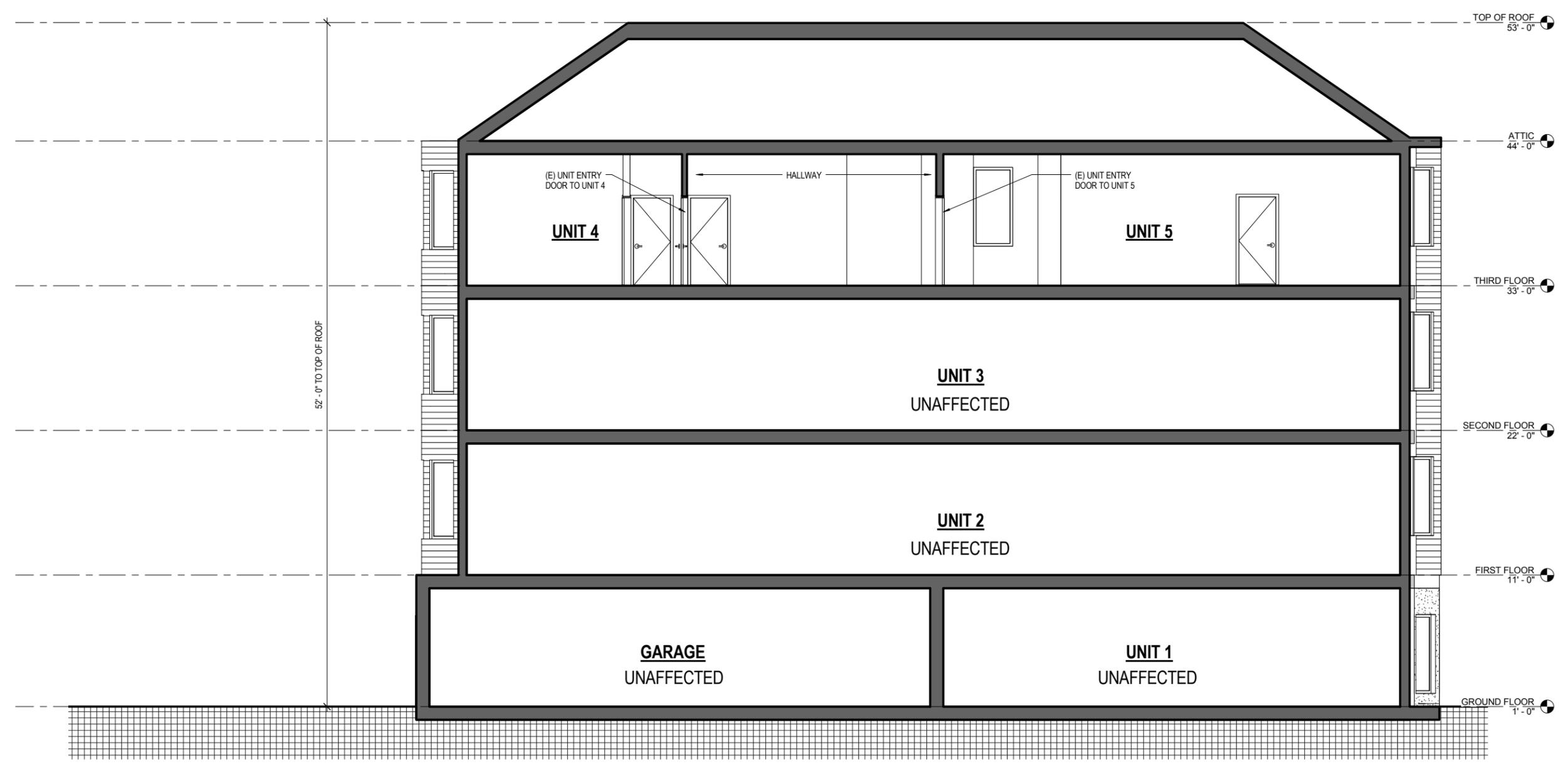
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SAN FRANCISCO, CA 94133

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 Date: APR 28, 2017
 Scale: 1/4" = 1'-0"

Title
EXISTING LONGITUDINAL BUILDING SECTION

Sheet
A3.00



EXISTING LONGITUDINAL BUILDING SECTION 1
1/4" = 1'-0"

**53, 55, 57 POTOMAC ST
UNIT MERGER**

57 POTOMAC ST. SAN FRANCISCO, CA 94117

Client:
FRANCES SCHREIBERG

353 VALLEJO ST
SAN FRANCISCO, CA 94133

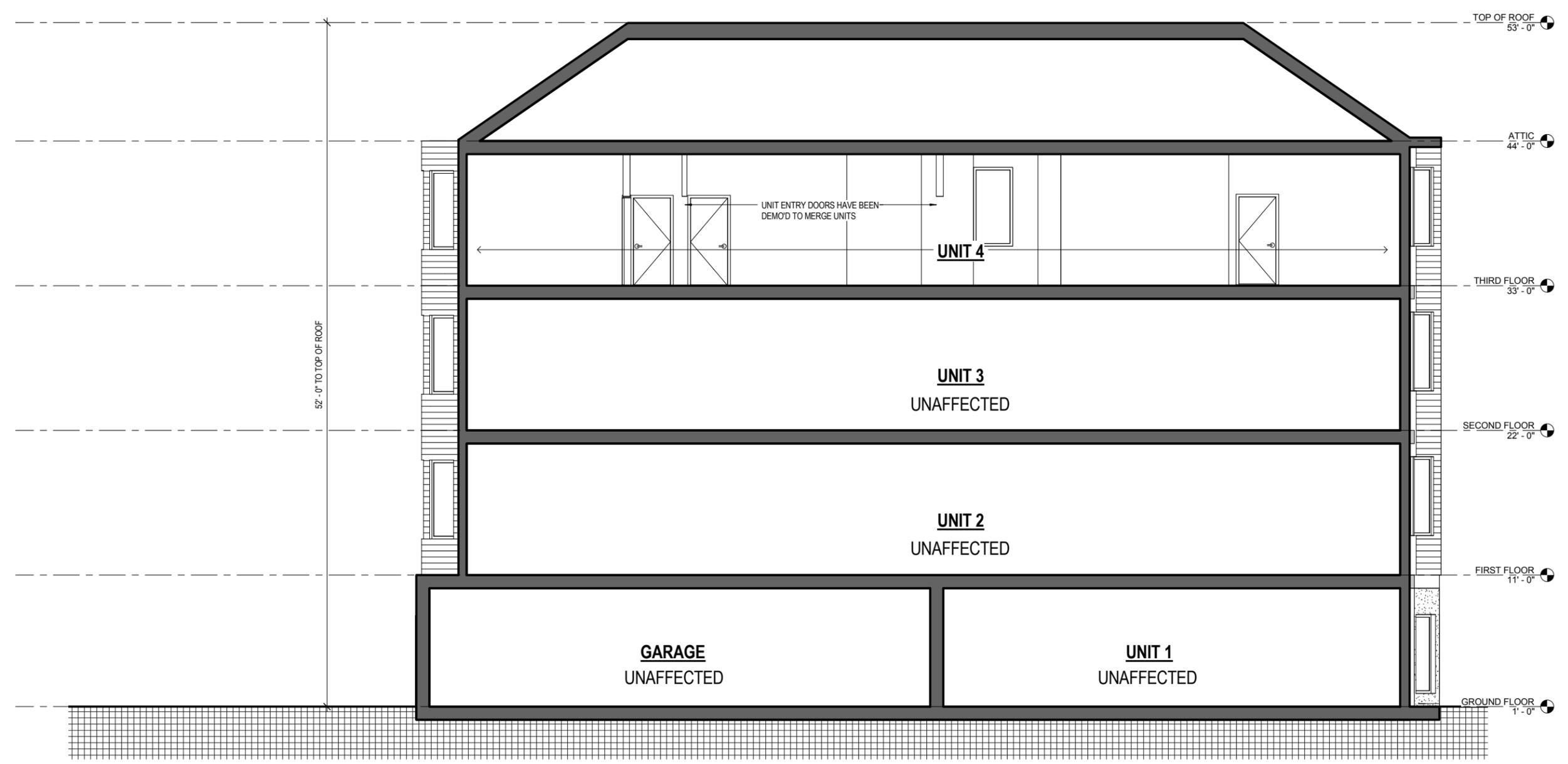
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 Drawn by: Author
 Checked by: Checker
 Date: APR 28, 2017
 Scale: 1/4" = 1'-0"

Title
NEW LONGITUDINAL BUILDING SECTION

Sheet

A3.01



NEW LONGITUDINAL BUILDING SECTION
1/4" = 1'-0" 1

GENERAL REQUIREMENTS

Examination of Site: The contractor shall thoroughly examine site and satisfy himself as to the conditions under which the work is to be performed. The contractor shall verify at the site all measurements affecting his work and shall be responsible for the correctness of same. No extra compensation will be allowed to the contractor for the expenses due to his neglect to examine or failure to discover conditions which affect his work.

Continuing Operations: It is necessary that the owner continue present residency during the renovation work. The contractor shall, after consulting with the owner, schedule the work, so as not to interfere unduly with normal household operations. He shall allow dust by approved means and minimize noise as much as is practicable. In no case shall the work interfere with existing street, driveways, walks, passageways, pedestrian traffic and the like.

Limits of Renovation Work: Renovation work zone limits are established on the drawings. All renovation work contractors and tradesmen shall coordinate their work with one another within the established limits.

Sequence of Renovation Work: In the event any special sequencing of the work is required by the owner, the contractor shall arrange a conference before any such work is begun.

Demolition Work: Entirely demolish on the site any structure or portion thereof indicated to be removed. Do not remove either as whole or substantially as a whole. With the exception of any salvageable items, as directed to be retained by the owner, all removed structures and materials shall become the property of the contractor who shall promptly remove them from the premises. No such items shall be stored or accumulated on the premises.

Salvage: All items deemed salvageable by the owner will either have been indicated on the drawings, removed prior to start of demolition, or will be directed by the owner to be stored by the contractor and shall remain the property of the owner. Items to be relocated will have been indicated on the drawings.

Measurements: Verify all dimensions shown on drawings by taking field measurements; Proper fit and attachment of all parts is required. Before commencing work, check all lines and levels indicated and such other work as has been completed. Should there be any discrepancies, immediately report in writing to the architect/designer for correction or adjustment. In event of failure to do so the contractor shall be responsible for correction of any errors.

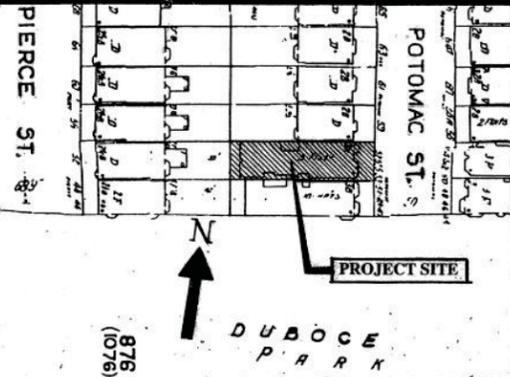
Plumbing and Electrical:
Examination of Existing Plumbing & Electrical: In any case where a new line may tie into and extend an existing line within the limits of the renovation work, the contractor shall examine the entire existing line and determine whether the new work will be adversely affected by it, and notify the owner of any such defect before tying in.

Rules and Regulations: All work and materials shall be in full accordance with the latest rules and regulations of the national board of the fire underwriters, the state fire marshal, the safety orders of the division of industrial safety, department of industrial regulations of the state of California, and any applicable state or local laws and ordinances. Nothing on these drawings is to be construed to permit work not conforming to these codes.

APPROVAL OF THIS APPLICATION APPLIES ONLY TO SPECIFIC WORK AND DOES NOT CONSTITUTE APPROVAL OF A CHANGE IN WORK OR DOES NOT CONSTITUTE APPROVAL OF THIS STRUCTURE. THE LEGALLY PERMITTED USE OR CHARACTER OF THIS STRUCTURE IS BASED UPON INFORMATION SUPPLIED BY THE APPLICANT WHICH HAS NOT BEEN VERIFIED.

BEDROOM EGRESS WINDOWS
clear 20 in. wide minimum
clear 24 in. height minimum
5.7 sq.ft. net clear opening
Window sill within 44 in. of floor
SFBC 310.4

MAINTAIN EXITING PER CHAPTER 10, SFBC
MAINTAIN FIRE PROTECTION SYSTEMS PER CHAPTER 9, SFBC
INTERIOR WALL AND CEILING FINISH PER CHAPTER 8, SFBC
FIRE-RESISTIVE RELATIONSHIP, AND REQUIREMENTS PER CHAPTER 6 AND TABLE NO. 6A, SFBC



LOCATION MAP

DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT
SECTION 1003.3.1.8, S.F.B.C.

PROVIDE SMOKE DETECTOR(S) PER SFBC SEC. 310.2.1

REVISION RECEIVED

FEB - 1 2007

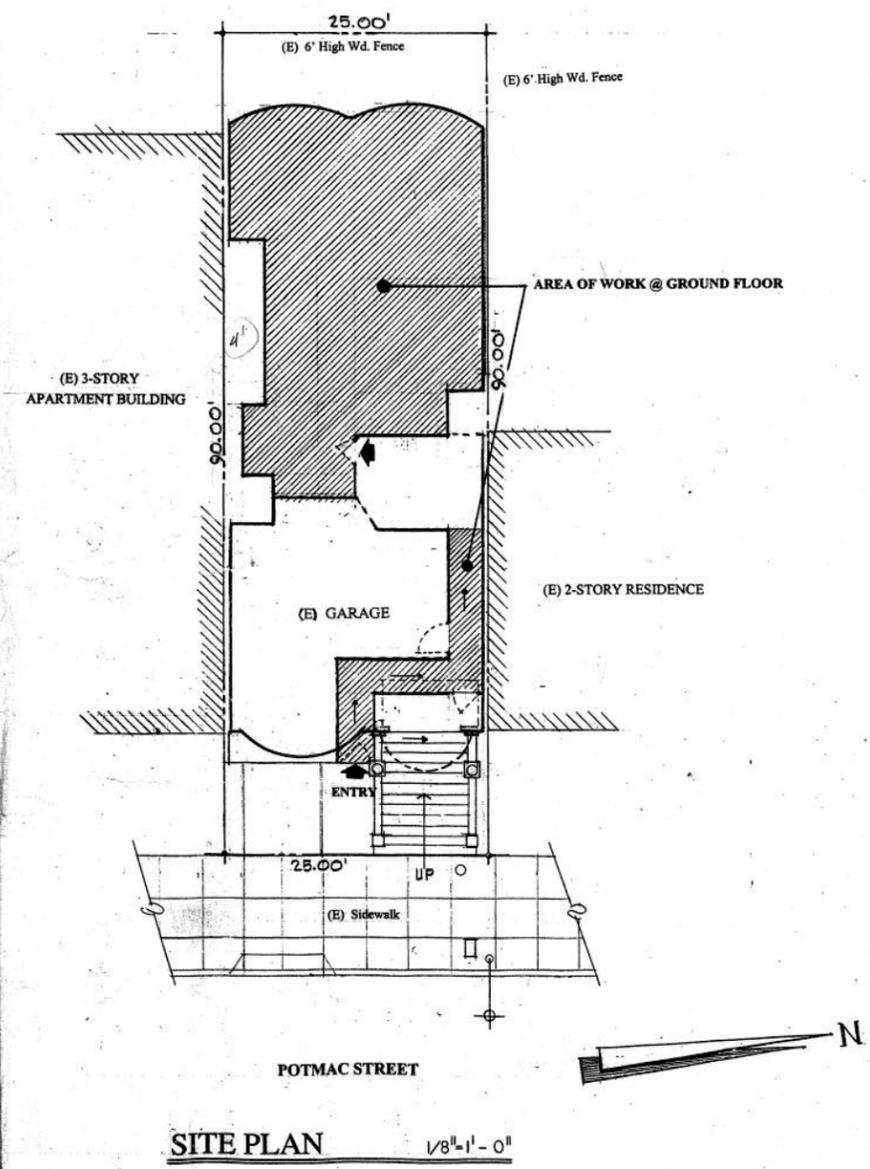
DEPT. OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY STANDARD FOR MICROFILMING ACCEPT

REVISIONS	BY
REVISOR SITS DATA	

James R. Lindsey
DESIGN SERVICE
James R. Lindsey 02/11/07
P.O. Box 213 Palo Alto CA 94302
Tel: 650.328.6611

SITE PLAN, GEN. REQ'MT.
FOR
INTERIOR MODIFICATIONS/ALTERATIONS
MR. REGINALD B. SMITH
APARTMENT BUILDING
BLOCK 0865 LOT 009
53, Potomac Street, San Francisco, CA, 94117

DRAWN	
CHECKED	
DATE	12/28/06
SCALE	AS NOTED
JOB NO.	32606
SHEET	A-1
OF	6 SHEETS



SITE PLAN 1/8" = 1'-0"

FLOOR PLAN NOTES:

ALL WORK IS NEW. WHERE EXISTING WORK IS DISTURBED BY THE NEW WORK, IT SHALL BE RESTORED TO ORIGINAL CONDITION.
DO ALL WORK IN ACCORDANCE WITH ALL STATE AND LOCAL BUILDING CODES IN EFFECT AT AREA OF CONSTRUCTION.
VERIFY ALL DIMENSIONS OF EXISTING CONSTRUCTION BEFORE FABRICATION.
DO NOT SCALE DRAWINGS, DIMENSIONS TAKE PRECEDENCE OVER DRAWINGS. IF DETAILS OR DIMENSIONS ARE NOT CLEAR OR A DISCREPANCY EXISTS, CONTACT THE DESIGNER AND/OR ENGINEER UPON DISCOVERY.
ALL DIMENSIONS ARE FROM FACE OF STUDS TO FACE OF STUDS (F.O.S.), FACE OF CONCRETE (F.O.C.), UNLESS OTHERWISE NOTED TO CENTERLINE.
ALL INTERIOR FINISHES - TO BE SELECTED BY OWNER.
KITCHEN APPLIANCES, CABINETS, VANITY & COUNTERTOP, SELECTED BY OWNER.
ALL SLIDING GLASS DOORS, SHOWER DOORS AND/OR SHOWER ENCLOSURE, SHALL BE TEMPERED GLAZING.
PLUMBING FIXTURES - TO BE SELECTED BY OWNER AND INSTALLED BY THE GENERAL CONTRACTOR. CONNECT NEW PLUMBING TO EXISTING PLUMBING.
BATHROOM & FIXTURES: SHOWER & TUB-SHOWERS COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE-BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE. THE SHOWER HEAD SHALL BE A MAXIMUM OF 2.5 GPM.
WATER CLOSETS: SHALL HAVE 1.6 GALS PER FLUSH.
ELECTRICAL: ALL LIGHTING FIXTURES TO BE SELECTED BY OWNER AND INSTALLED BY THE GENERAL CONTRACTOR. CONNECT ALL NEW ELECTRICAL, OUTLETS, LIGHTING FIXTURES, ETC., TO EXISTING LIGHTING PANELS.
HVAC: DESIGN BUILT BY A DESIGN BUILD CONTRACTOR AND SHALL CONFORM TO ALL TITLE 24 REQUIREMENTS AND APPLICABLE CODES.
GENERAL: ALL WORK SHALL CONFORM TO ALL APPLICABLE CODES IN EFFECT AT THE AREA OF CONSTRUCTION.

WALL LEGEND:

- NEW STUD WALLS, OR REPAIR EXISTING WALLS. (SEE PLANS FOR STUD SIZES.)
- EXISTING WALLS TO REMAIN.

NOTE:

1999 NEC and 2005 California T-24 Energy Codes applies to this Project.

NOTES:

Designer/Structural Engineer Is To Be Notified immediately of any Discrepancies between Field Conditions, Drawings, Specifications, or Other Contract Documents. The Contract Shall Assume Full Responsibility for Correcting any Work in which Work was Knowingly Commenced without A Resolution Being Obtained from Owner, Designer and/or Structural Engineer.

General Contractor shall supervise and direct the work and be responsible for all construction methods, techniques, sequences, procedures and coordination of all works, any work not covered by sub-contractors shall be the responsibility of the General Contractor

MEASUREMENTS:

Verify all Dimensions shown on Drawings In Field Prior to Commencing Work.

Contact the district building inspector at the start of work call 558-6096. For plumbing inspection scheduling call 558-6054, for electrical inspection scheduling call 558-6030. This application is approved without site inspection, detailed plumbing or electrical plan review and does not constitute an approval of the building. Work authorized must be done in strict accordance with all applicable codes. Any electrical or plumbing work shall require appropriate separate permits.

SITE DATA:

LOT SIZE:	(See site plan)	2250 SF.
A.P.N.:	Block 0865 Lot 009	
ZONING:		RH-2
BUILDING HEIGHT:		40-X
OCCUPANCY:		
	(Existing) Five Family Dwelling	R1
	(New) (5) Family Dwelling (SEE PLANS)	R1
CONSTRUCTION TYPE:		VN
CODES:	1997 UBC, 2001 CBC, and Local codes	
FLOOR ZONE:		N/A

BUILDING: (Living Area) 3-Story over Garage (5) Family Dwellings	
(E) Ground Floor (Existing Storage Area) at rear of Bldg	755 SF.
(P) Ground Floor UNIT-1 (See Floor Plan)	755 SF.
(E) First Floor over Garage (Flat) UNIT-2	1,296 SF.
(P) First Floor over Garage (Flat) UNIT-2	NO CHANGE
(E) Second Floor UNITS 3 & 4	1,246 SF.
(P) Second Floor UNIT-3 (Flat) (Converted to A Single Unit)	1,246 SF.
(E) Third Floor UNITS 5 & 6	1,246 SF.
(P) Third Floor UNITS 5 & 6	NO CHANGE
Total Living Areas:	4543 SF.

DRAWING INDEX:

- ARCHITECTURAL:**
A-1 SITE PLAN, GEN. REQ'MT. & FLOOR PLAN NOTES
A-2 GENERAL NOTES, TITLE 24 COMPLIANCE
A-3 GARAGE & GROUND FLOOR & FIRST FLOOR PLANS
A-4 SECOND & THIRD FLOOR PLANS
A-5 DETAILS

- ELECTRICAL:**
E-1 ELECTRICAL & HVAC FLOOR PLANS & NOTES

NOTE:
Mechanical, plumbing and electrical drawing are not part of these drawings. They are under separate contracts.

APPROVED
PER PLANS AND APPLICATION
4/9/07
PLANNING DEPARTMENT

SFUSD, 546 SF.

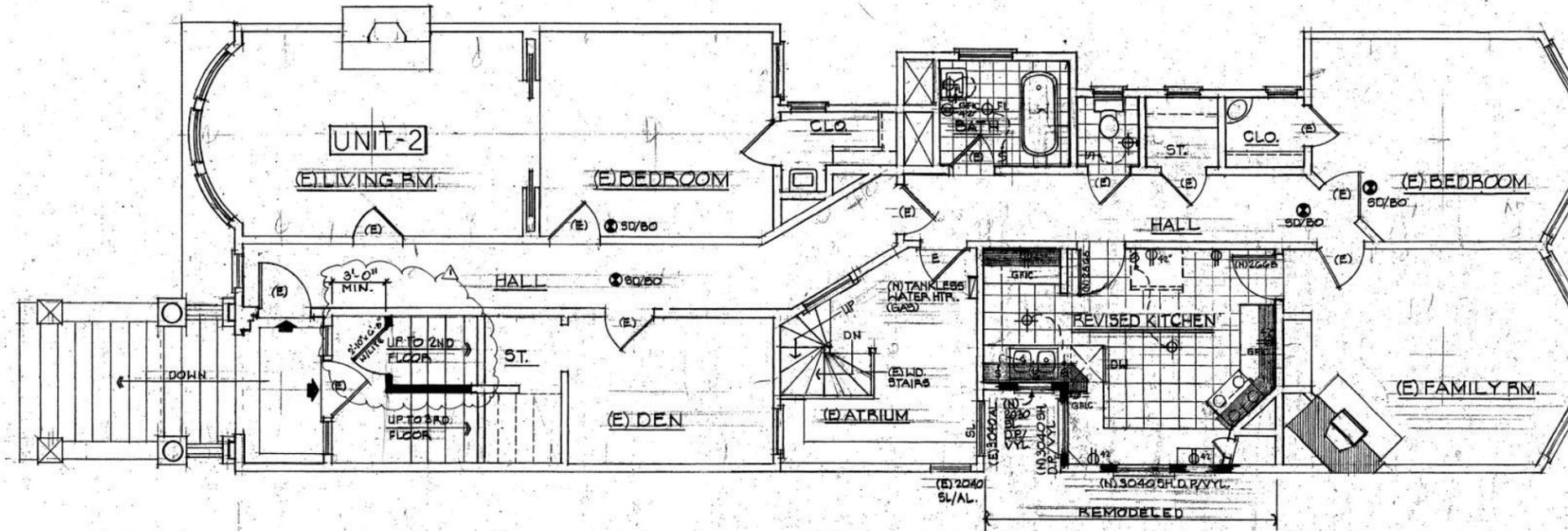
AS BUILT DRAWINGS FOR REFERENCE ONLY

NOTE:
All work shall be in compliance with the City of SAN FRANCISCO Municipal Code and the 2004 Editions of: The California Building Code, California Mechanical Code, California Plumbing Code and The California Electrical Code.



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AS BUILT DRAWINGS FOR REFERENCE ONLY



FIRST FLOOR OVER GARAGE

- NOTES:**
1. See sheet A-1 for Floor Plan Notes.
 2. See sheet E-1 for Electrical Plan & Notes

- NOTES:**
1. ALL WINDOWS COMPLETE WITH WEATHER STRIPPING, SCREENS AND HARDWARE.
 2. MANUFACTURER, MATERIAL, COLOR TO BE SELECTED BY OWNER.

WINDOW SIZE, TYPE (EXAMPLE)		HEIGHT
3040	3'-0"	4'-0"

TYPES:	GLAZING:	MATERIAL:
SL= SLIDER	T.G.= TEMPERED	WD= WOOD
SH= SINGLE HUNG	OBS= OBSCURED	AL= ALUMINUM
DH= DOUBLE HUNG	DP= DOUBLE PANE	VYL= VINYL
CMT= CASEMENT	R= REFLECTED (Exterior only)	STL= STEEL
FIX= FIXED		CLD= CLAD
RT= ROUNDED TOP		
GW= GARDEN WINDOW		

KEYNOTES FOR UNIT - 1

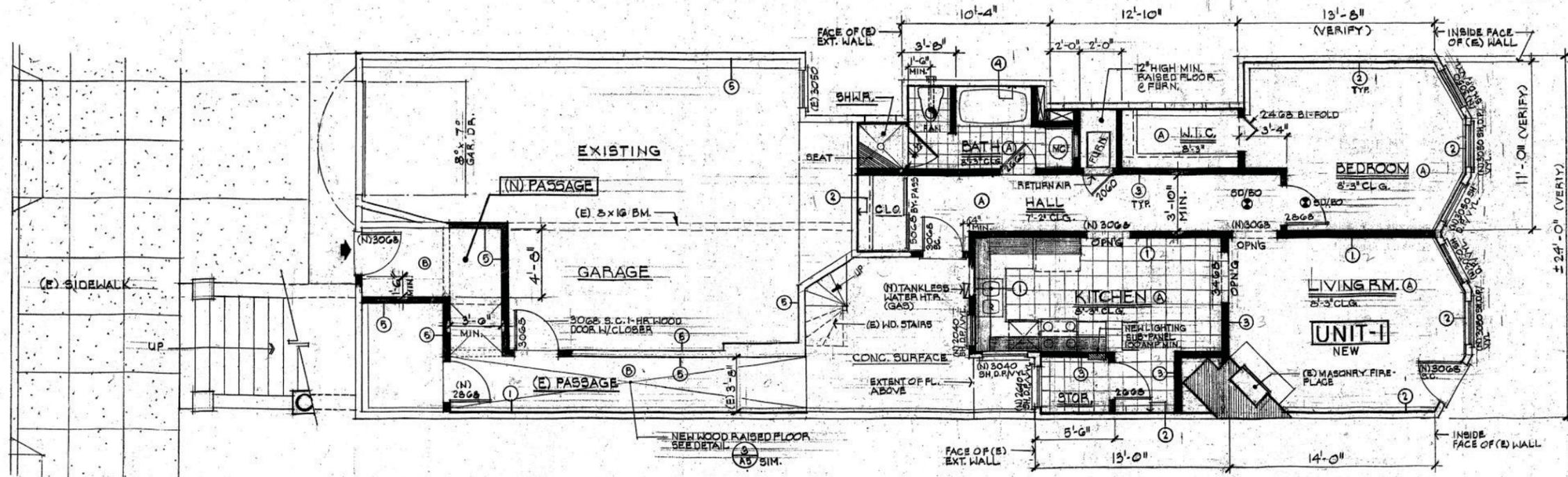
1. EXISTING 3x6 STUDS @ 16" O.C. (Verify) w/ New 5/8" GYP. BD. BOTH SIDE. - See Detail (A5)
2. EXISTING EXTERIOR 3x6 STUDS @ 16" O.C. (Verify) w/ New 5/8" Type "X" GYP. BD. AT INTERIOR SIDE. TYP. PROVIDE Min. R13 INSULATION - See Detail (A5)
3. NEW 2x4 STUDS @ 16" O.C. w/ 1/2" GYP. BD. BOTH SIDE.
4. EXISTING 3x6 STUDS w/ WATER RESISTANCE GYP. BD. TYP. AT ALL WET WALLS.
5. 1-HOUR WALLS - See Details (A5)
6. ALL EXISTING WOOD WINDOWS TO BE REPLACED WITH (NEW) VINYL FRAMED U.O.N. DOUBLE PANE WINDOWS. See FLOOR PLAN FOR SIZES & TYPE.
7. SHOWER DOOR, TUB ENCLOSURE SHALL BE TEMPERED OR SAFTY GLASS.
8. PROVIDE NEW ELECTRICAL METER FOR UNIT - 1. PROVIDE NEW RECESSED LIGHTING SUB-PANEL 100 AMP. MIN. See FLOOR PLAN.

FLOORS:

- A. FLOORS @ LIVING AREAS: 2x6 FT. FLOOR JOISTS over Existing CONCRETE SLAB @ 16" O.C. w/ 5/8" T&G FLOOR PLY. PROVIDE Min. R13 INSULATION & 6 MIL. VAPOR BARRIER. See Detail (A5)
- B. FLOOR @ EXTERIOR PASSAGE: 2x4 FT. FLOOR JOISTS @ 16" O.C. w/ 5/8" FLOOR PLY. (No Insulation).

CEILING:

- PROVIDE (NEW) 5/8" TYPE "X" GYP. BD. AT EXISTING CEILING JOISTS, TYP.



GARAGE & GROUND FLOOR NEW INTERIOR IMPROVEMENTS UNIT - THIS UNIT TO BE EQUIPPED WITH SPRINKLER SYSTEM. 1/4" = 1'-0"

- NOTES:**
1. See sheet A-1 for Floor Plan Notes.
 2. See sheet E-1 for Electrical Plan & Notes

REVISION RECEIVED
APR 03 2007
DEPT. OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY
STANDARD FOR MICROFILMING
ACCEPT

APPROVED
PER PLANS AND APPLICATION
Jm 4/9/07
PLANNING DEPARTMENT

REVISIONS	BY
PER PLAN CHECK 3/6/07	JL
NEW ENTRY TO 3RD FLOOR AS REQUESTED BY PLANNING DEPT.	JL

James R. Lindsey
DESIGN SERVICE
James R. Lindsey 4/3/07
P.O. Box 213 Palo Alto CA 94302



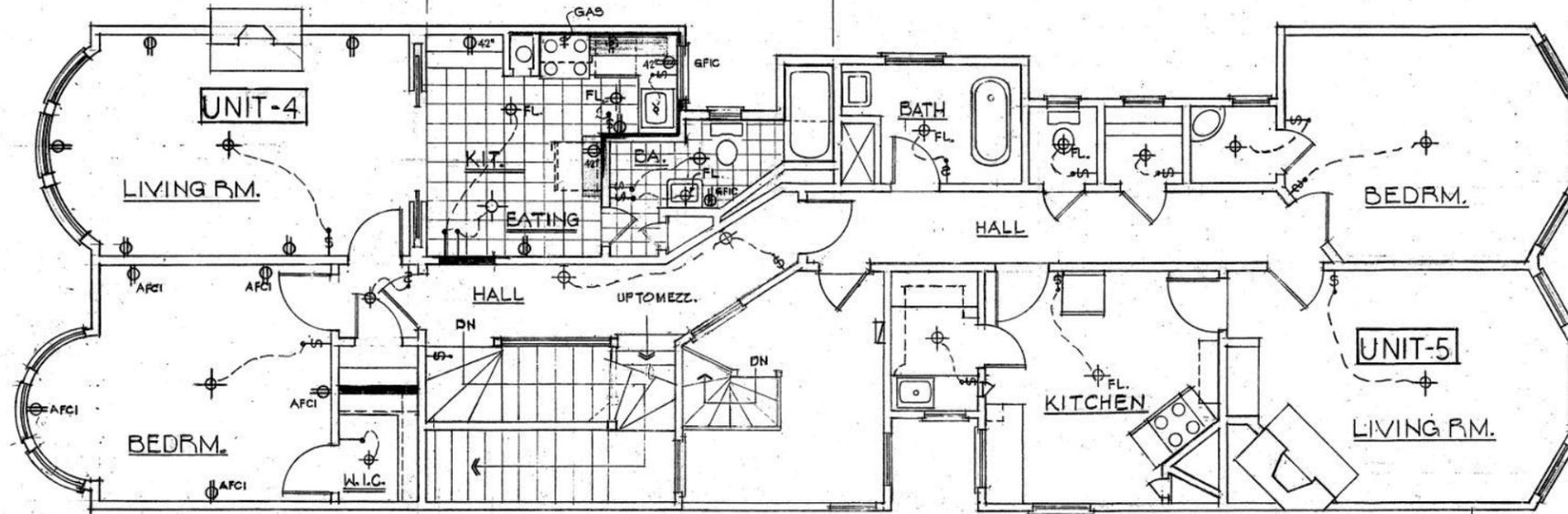
GARAGE & GROUND FLOOR PLANS
INTERIOR MODIFICATIONS/ALTERATIONS
FOR
MR. REGINALD B. SMITH
APARTMENT BUILDING
BLOCK 0865 LOT 009
31 Poona Street San Francisco CA 94117

DRAWN	DATE	SCALE	JOB NO.	SHEET
JL	12/28/06	A9NOTED	32606	

A-3
OF 6 SHEETS

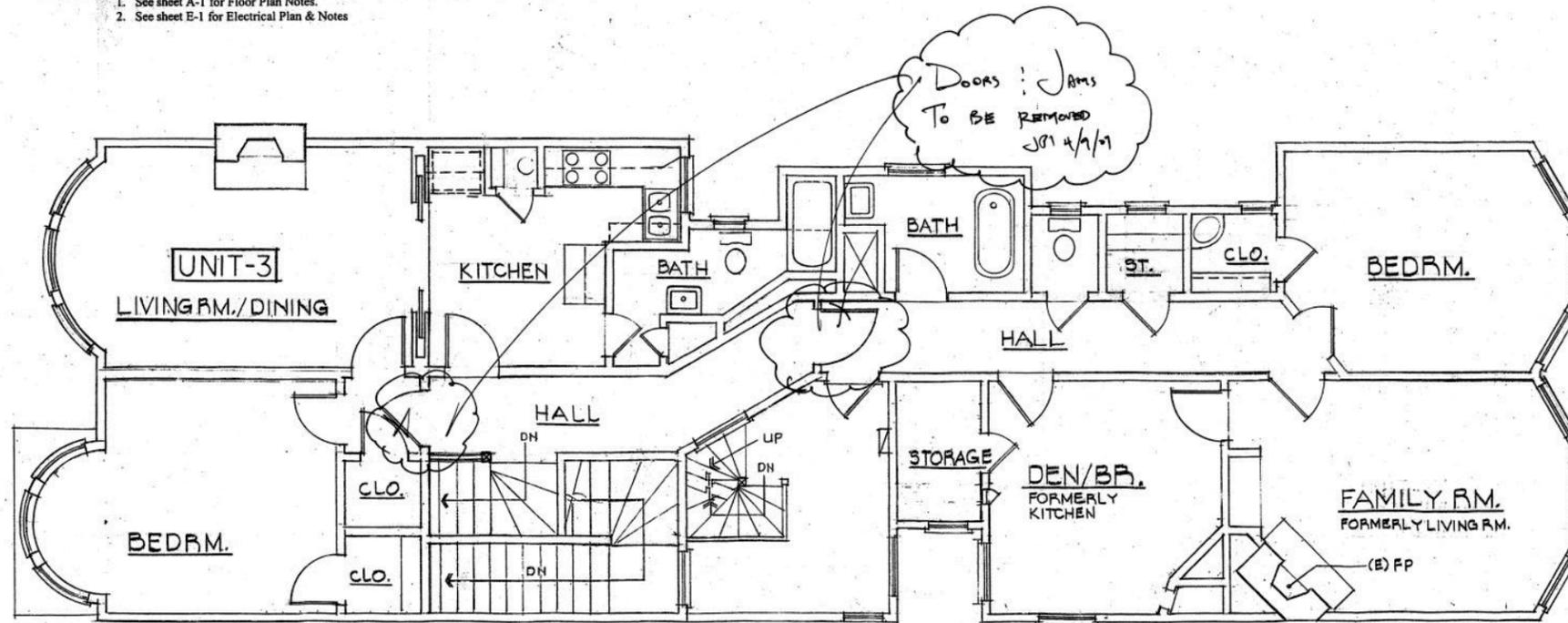
JRL-Design Service expressly reserves its common law copyright and other property rights in these plans. These plans are not to be reproduced, altered, or copied in any form or manner whatsoever, nor are they to be assigned to a third party without first obtaining the written permission and consent of JRL-Design Service. In the event of unauthorized reuse of these plans by a third party, JRL-Design Service shall be held harmless.

AS BUILT DRAWINGS FOR REFERENCE ONLY



THIRD FLOOR (REVISED KITCHEN & BATH) 1/4"=1'-0"

- NOTES:
1. See sheet A-1 for Floor Plan Notes.
 2. See sheet E-1 for Electrical Plan & Notes



SECOND FLOOR 1/4"=1'-0"

APPROVED
Dept. of Building Insp.
AUG 3 7 2007

APPROVED
DISTRICT CHIEF BUILDING & SAFETY
DEPT. OF BUILDING INSPECTION

REVISION RECEIVED
FEB - 1 2007
DEPT. OF BUILDING INSPECTION
THIS PLAN SHEETS THE QUALITY
STANDARD FOR MICROFILMING
ACCEPT

APPROVED
PER PLANS AND APPLICATION
J01 4/1/07
PLANNING DEPARTMENT

REVISIONS	BY
REVISD 2ND FLOOR	

James R. Lindsey
DESIGN SERVICE
James R. Lindsey 02/1/07
P.O. Box 213 PEBB-BUNG CA 94302

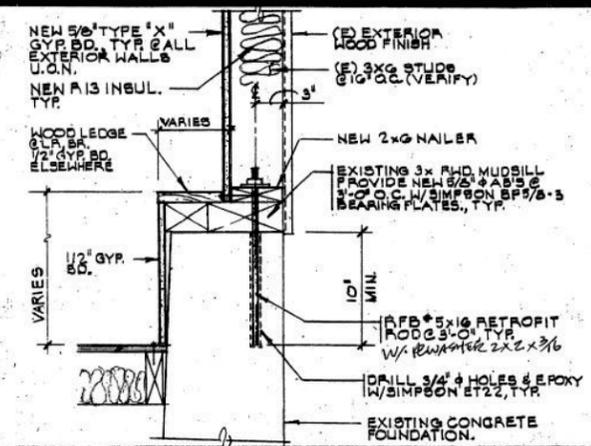


SECOND & THIRD FLOOR PLANS
INTERIOR MODIFICATIONS/ALTERATIONS
FOR
MR. REGINALD B. SMITH
APARTMENT BUILDING
BLOCK 0865 LOT 009
53 Poinsett Street, San Francisco, CA 94117

DRAWN	CHECKED	DATE	SCALE	JOB NO.	SHEET
		12/28/06	AS NOTED	32606	A-4

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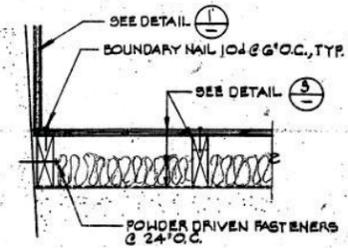
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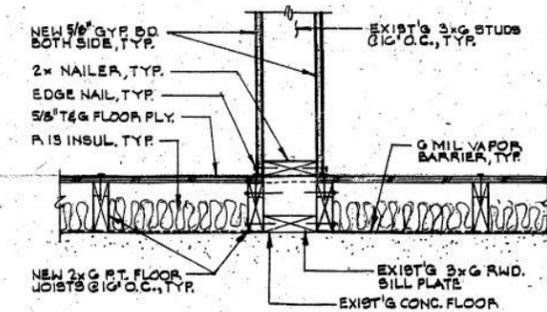
1 DETAIL

APPROVED
Dept. of Building Insp.
AUG 17 2007

REGINALD B. SMITH
DIRECTOR OF BUILDING INSPECTION
DEPT. OF BUILDING INSPECTION

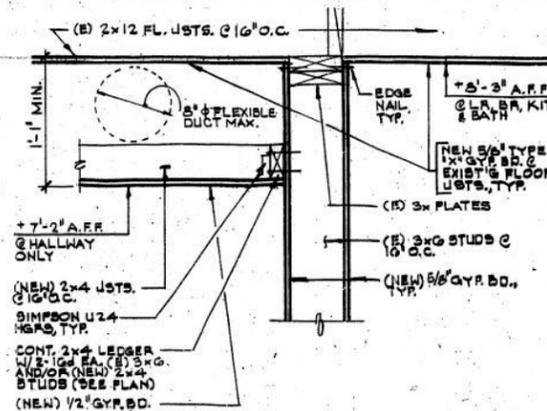


2 DETAIL

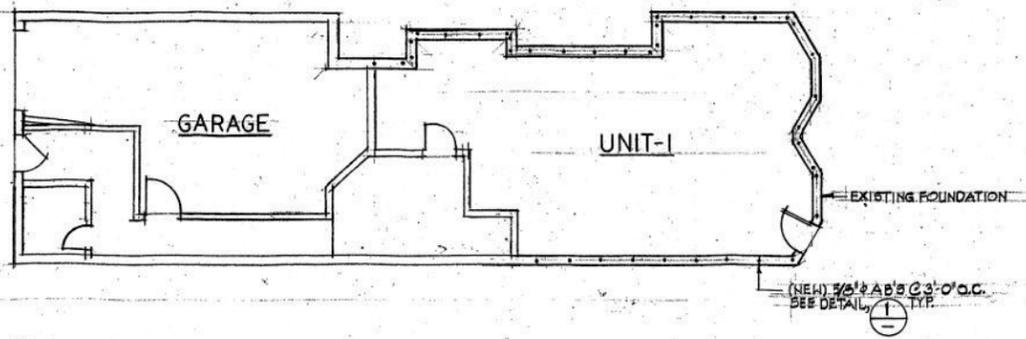


3 DETAIL

RECEIVED
DEC 29 2006
DEPT. OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY
STANDARD FOR MICROFILMING
ACCEPT



4 DETAIL



16 ANCHOR BOLTS LOCATION (APPROX.)

1/8" = 1'-0"

James R. Lindsey
DESIGN SERVICE

P.O. Box 213 Palo Alto CA 94302

DETAILS FOR
MR. REGINALD B. SMITH
APARTMENT BUILDING
BLOCK 0865 LOT 009

53 Potrero Street San Francisco CA, 94117

DRAWN
CHECKED
DATE 12/28/06
SCALE AS NOTED
JOB NO. 32606
SHEET

A-5

OF 67 SHEETS

T-24 Energy Compliance:

- AT LEAST 50% OF KITCHENS CONNECTED LIGHTING WATTAGE SHALL BE FLOURESANT 4 pin FIXTURES.
- EXTERIOR LIGHTING, AND LIGHTING IN BATHROOMS, GARAGES, LAUNDRY ROOMS AND UTILITY ROOM SHALL BE 4 pin FLOURESANT FIXTURES, OR MAY BE INCANDESANT FIXTURE WITH OCCUPANCY SENSORS CONTROLS.
- PRESCRIPTIVE COMPLIANCE FOR ADDITIONS LIMITS GLAZING AREA TO 20% OF THE ADDED CONDITIONED FLOOR AREA. MAXIMUM U-VALUE 0.67. MAY USE U-VALUE OF 0.42 AS A SUBSTITUTION FOR DUCTED CEILING.
- ADDITIONS SHALL HAVE A MINIMUM OF R-6 DUCT INSULATION, AND REQUIRED DUCT SEALING TAPE.
- MINIMUM WATER HEATER EFFICIENCY IS 058.

**California Title 24 Residential Lighting Standards
Summary Table of 2005 Residential Lighting Standards**

Kitchen	Electronic Ballasts for all lamps rated 13 Watts or greater	Alternate option: Up to 50% of reballasting rated WATTAGE can be other than high efficacy. Alternate option: Manual-on occupant sensor
Bathroom	Recessed luminaires in all insulated ceilings approved for zero-clearance insulation cover (IC) and certified airtight	Alternate options: Manual-on occupant sensor, or dimmer
Garage - Laundry Room Utility Room	Switch all high efficacy lighting separate from low efficacy lighting	Alternate option: Motion sensor plus photo control
All other interior rooms (i.e. Hallway, Dining Room, Bedroom)	Must meet 2005 Nonresidential Building Standards	Alternate option: Occupant sensor
Outdoor lighting attached to buildings		
Common Areas of low-rise residential buildings with 4 or more dwelling units		
Residential parking lots and garages for 8 or more vehicles		

ELECTRICAL NOTES:

- ALL ELECTRICAL WORK SHALL CONFORM TO 2001 UBC, 1999 N.E.C. THIS INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING:
- PROVIDED G.F.C.I. IN KITCHEN, BATHROOMS AND LAUNDRY AREAS, LAUNDRY AREAS, GARAGES AND ALL EXTERIOR RECEPTACLES.
 - PROVIDE ARC-FAULT INTERRUPTER CIRCUITS (AFCI) AT ALL RECEPTACLE OUTLETS IN ALL BEDROOMS.
 - ELECTRICAL AS SHOWN IS SCHEMATIC ONLY. CONTRACTOR SHALL BE RESPONSIBLE FOR SYSTEM, DESIGN AND ADEQUACY OF THE SAME.
 - ALL LIGHTING FIXTURES INSTALLED IN DAMP LOCATION MUST BE MANUFACTURER APPROVED.
 - ALL LIGHTING FIXTURES TO BE SELECTED BY OWNER/AGENT AND INSTALLED BY THE GENERAL CONTRACTOR. CONNECT ALL NEW ELECTRICAL LIGHTING, OUTLETS, FIXTURES ETC. TO EXISTING LIGHTING PANEL.
 - CAN LIGHTS RECESSED INTO INSULATED ATTIC OR FLOOR SPACES ARE TO BE I.C. RATED.
 - GENERAL LIGHTING IN KITCHENS AND BATHROOMS SHALL BE A 40 LUMENS PER WATT (FLORESCENT).
 - SMOKE DETECTORS - PER UBC, SEC. 310.1.3.
 - ALL ELECTRICAL WIRING SHALL BE IN FLEXIBLE METALLIC CONDUIT (FMC)
 - ALL CEILING LIGHTS LOCATIONS TO BE COORDINATED WITH JOIST LOCATIONS INFIELD PRIOR TO COMMENCING TO INSTALLATION.
 - ALL WORK SHALL CONFORM TO ALL APPLICABLE CODES IN EFFECT AT THE AREA OF CONSTRUCTION.
 - VERIFY EXISTING CONDITIONS AT MAIN DISCONNECT AND INSTALL NEW CIRCUIT BREAKERS AS REQUIRED.

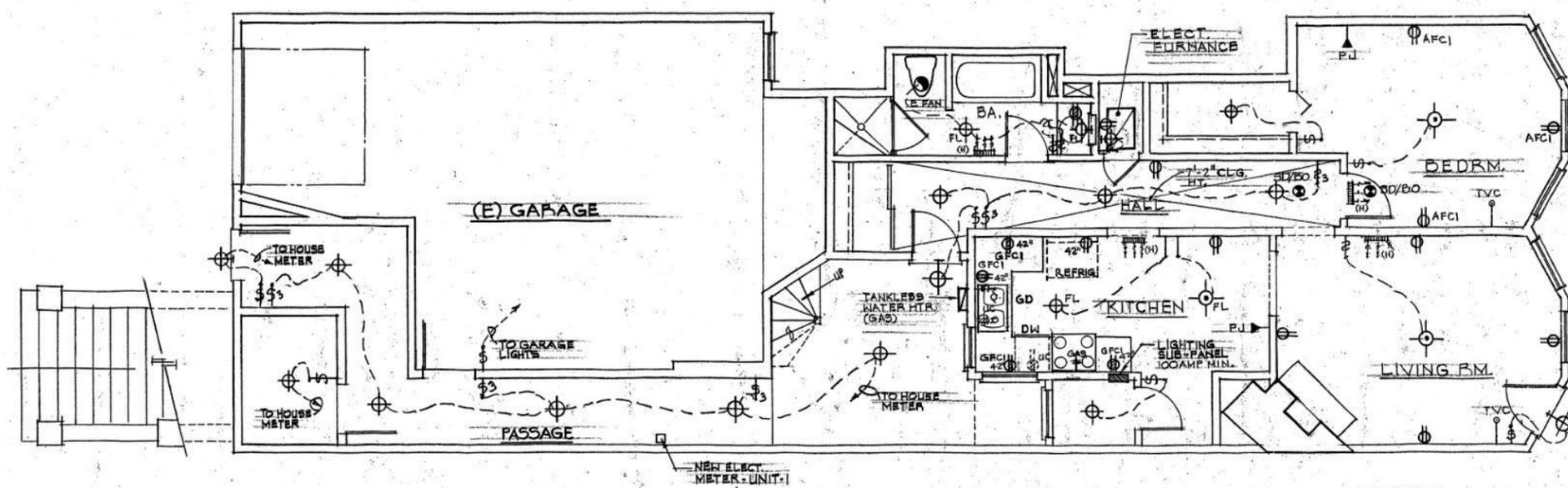
ELECTRICAL SYMBOLS:

- (NOT ALL SYMBOLS ARE USED IN THE SCOPE OF THIS PROJECT)
- ⊖ DUPLEX RECEPTACLE OUTLET
 - ⊖ DUPLEX OUTLET (Split wired)
 - ⊖ DUPLEX OUTLET (Waterproof Receptacle)
 - ⊖ GROUND-FAULT CIRCUIT-INTERRUPTER DUPLEX
 - ⊖ RANGE OUTLET
 - ⊖ SPECIAL PURPOSE RECEPTACLE OUTLET (See Plans)
 - ⊖ FLOOR OUTLET
 - ⊖ SINGLE POLE SWITCH
 - ⊖ 3-WAY SWITCH / 4-WAY SWITCH
 - ⊖ DIMMER SWITCH
 - ⊖ DOOR BELL (Push Button)
 - ⊖ CEILING MOUNTED LIGHT FIXTURE
 - ⊖ CEILING FLUSH MOUNTED LIGHT FIXTURE
 - ⊖ CEILING HUNG LIGHT FIXTURE
 - ⊖ SURFACE MOUNTED FIXTURE/LIGHT OUTLET FOR VANITY LIGHTING
 - ⊖ SURFACE MOUNTED FIXTURE / WALL BRACKET LIGHT
 - ⊖ RECESSED DOWN / CAN LIGHT FIXTURE (F.O. FIBER OPTIC LIGHTING)
 - ⊖ WALL SCONCE OR WALL BRACKET LIGHT FIXTURE
 - ⊖ FLOURESCENT LIGHT FIXTURE (See plan for size)
 - ⊖ UNDER CABINET/STEPS/COVERSTEP LIGHTING - LENGTH TO BE DETERMINED BY CABINET SIZE, (See Plan)
 - ⊖ CEILING FAN
 - ⊖ CEILING FAN / LIGHT
 - ⊖ EXHAUST FAN
 - ⊖ EXHAUST FAN / LIGHT
 - ⊖ WALL EXHAUST FAN
 - ⊖ HEAT LAMP / LIGHT
 - ⊖ HEAT LAMP
 - ⊖ SMOKE DETECTOR (WIRED WHATTERY BACK-UP OPERATOR)
 - ⊖ TV CABLE
 - ⊖ TVC
 - ⊖ PHONE JACK
 - ⊖ CHIMNEY/DOOR BELL
 - ⊖ THERMOSTAT
 - ⊖ FLOURESCENT LIGHT FIXTURE
 - ⊖ FLUSH MOUNTED LIGHTING PANEL
 - ⊖ SURFACE MOUNTED LIGHTING PANEL
 - ⊖ POWER PANEL - / SURFACE MOUNTED
 - ⊖ ELECTRICAL METER
 - ⊖ GAS METER

APPROVED
Dept. of Building Insp.
AUG 31 2007
SANDRA HAWKINS
DIRECTOR OF BUILDING INSPECTION

AS BUILT DRAWINGS FOR REFERENCE ONLY

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DEC 29 2006
DEPT. OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY STANDARD FOR MICROFILMING ACCEPT



UNIT-1 ELECTRICAL & HV/AC FLOOR PLAN 1/4" = 1'-0"

- HV/AC NOTES:**
- HV/AC DESIGN BUILT BY 'X' DESIGN/BUILD CONTRACTOR AND SHALL CONFORM TO ALL TITLE 24 REQUIREMENTS AND APPLICABLE CODES.
 - HEATING & A.C. SHOWN IS SCHEMATIC DRAWN ONLY. HVAC CONTRACTOR SHALL BE RESPONSIBLE FOR SYSTEM, DESIGN AND ADEQUACY OF SAME.
 - HV/AC CONTRACTOR SHALL COORDINATE WITH STRUCTURAL DRAWINGS FOR DIRECTION OF FLOOR, A CEILING JOIST FRAMING.

- HV/AC SYMBOLS:**
- ⊖ FLOOR REGISTER
 - ⊖ CEILING REGISTER
 - ⊖ CEILING REGISTER
 - ⊖ SURFACE REGISTER
 - ⊖ EXHAUST, RETURN OR
 - ⊖ OUTSIDE AIR
 - ⊖ THERMOSTAT
 - ⊖ GAS OUTLET
 - ⊖ GAS METER

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FLOOR ELECTRICAL & HV/AC PLAN
INTERIOR MODIFICATIONS/ALTERATIONS
FOR
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APARTMENT BUILDING
BLOCK 0865 LOT 009
53 Potrero Street San Francisco CA. 94117

DRAWN	JRL
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SHEET	7

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