



# SAN FRANCISCO PLANNING DEPARTMENT

## Discretionary Review Abbreviated Analysis HEARING DATE: OCTOBER 4, 2018

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**

*Date:* September 20, 2018  
*Case No.:* **2015-014892DRP**  
*Project Address:* **345 Rivera St.**  
*Permit Application:* 2016.1024.1031  
*Zoning:* RH-1 [Residential House, One-Family]  
40-X Height and Bulk District  
*Block/Lot:* 2336/026A  
*Project Sponsor:* Tim Young  
436 Rozzi Place  
South San Francisco, CA 94080  
*Staff Contact:* David Winslow – (415) 575-9159  
[David.Winslow@sfgov.org](mailto:David.Winslow@sfgov.org)  
*Recommendation:* **Do not take DR and approve as proposed**

### PROJECT DESCRIPTION

The project consists of a 1,192 s.f. vertical and horizontal addition to the side and rear of a 2,962 square foot 2-story single-family house with an unauthorized second unit, built in 1936.

### SITE DESCRIPTION AND PRESENT USE

The site is a 25' wide x 100' deep steeply lateral sloping lot immediately adjacent to Hawk Hill to the East, a publicly owned open space owned by the San Francisco Recreation and Parks Department.

### SURROUNDING PROPERTIES AND NEIGHBORHOOD

The buildings surrounding 345 Rivera consist of 3-story stucco-clad single-family dwellings with front setbacks.

### BUILDING PERMIT NOTIFICATION

| TYPE       | REQUIRED PERIOD | NOTIFICATION DATES           | DR FILE DATE | DR HEARING DATE | FILING TO HEARING TIME |
|------------|-----------------|------------------------------|--------------|-----------------|------------------------|
| 311 Notice | 30 days         | May 29, 2018 – June 28, 2018 | 06.21. 2018  | 10.04. 2018     | 105 days               |

## HEARING NOTIFICATION

| TYPE          | REQUIRED PERIOD | REQUIRED NOTICE DATE | ACTUAL NOTICE DATE | ACTUAL PERIOD |
|---------------|-----------------|----------------------|--------------------|---------------|
| Posted Notice | 10 days         | September 24, 2018   | September 24, 2018 | 10 days       |
| Mailed Notice | 10 days         | September 24, 2018   | September 24, 2018 | 10 days       |

## PUBLIC COMMENT

|  | SUPPORT | OPPOSED | NO POSITION |
|--|---------|---------|-------------|
| Adjacent neighbor(s)                                       | 0       | 0       | 0           |
| Other neighbors on the block or directly across the street | 0       | 0       | 0           |
| Neighborhood groups  | 0       | 0       | 0           |

## DR REQUESTOR

Ellen Hepburn of 353 Rivera Street, the downhill adjacent neighbor to the South of the proposed project.

## DR REQUESTOR'S CONCERNS AND PROPOSED ALTERNATIVES

1. The third story addition disrupts the visual character and is out of scale with existing neighborhood and it should be eliminated.
2. Façade is not compatible with the neighborhood.
3. The addition will impose a serious threat to 353 Rivera in the event of an earthquake.
4. The project will involve excessive cutback of a tree which is a bird refuge for Hawk Hill.
5. The roof deck and additional glazing on side windows will invade privacy to DR requestor's living spaces.
6. Increasing the living capacity will cause inconveniences and parking shortage in this neighborhood.
7. Noise from construction will be disruptive to neighbor's health and well-being.

See attached *Discretionary Review Application*, dated June 26, 2018.

## PROJECT SPONSOR'S RESPONSE TO DR APPLICATION

See attached *Response to Discretionary Review*, dated July 18, 2018.

## ENVIRONMENTAL REVIEW

The Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15301 (Class One - Minor Alteration of Existing Facility, (e) Additions to existing structures provided that the addition will not result in an increase of more than 10,000 square feet).

## RESIDENTIAL DESIGN TEAM REVIEW

1. In light of the facts that the surrounding context consists of 3-story (and taller) buildings; the building is adjacent to a large upslope hill; and the proposed addition is setback from the front and side of the adjacent downhill neighbor, RDAT finds the massing and scale of the building compatible with the surroundings. RDAT recommended the sponsor reduce the upper floor-to-floor height from 12' to 10', (which they did.)
2. The surrounding buildings are mixed in character. While the façade could be enhanced with better window proportions and detailing, but overall the composition complies with the guidelines.
3. Engineering is regulated by DBI, and not a Planning issue.
4. No representation about cutback of tree has been made and is not under the Planning Department's purview.
5. The roof deck is set back from adjacent neighbor's property line and building edges to address privacy issues. To address privacy from the side windows at the rear that face the neighbor's rear yard, RDAT recommends reducing the size of the window and locating it in a manner that prevents direct views into the adjacent property.
6. Speculation on size of dwelling and how it will be used in the future is speculative, specifically with respect to parking.
7. Construction noise is not regulated by The Planning Department.

|  |
|--|
| <b>RECOMMENDATION:</b> <b>Do not take DR and approve project as proposed</b> |
|--|

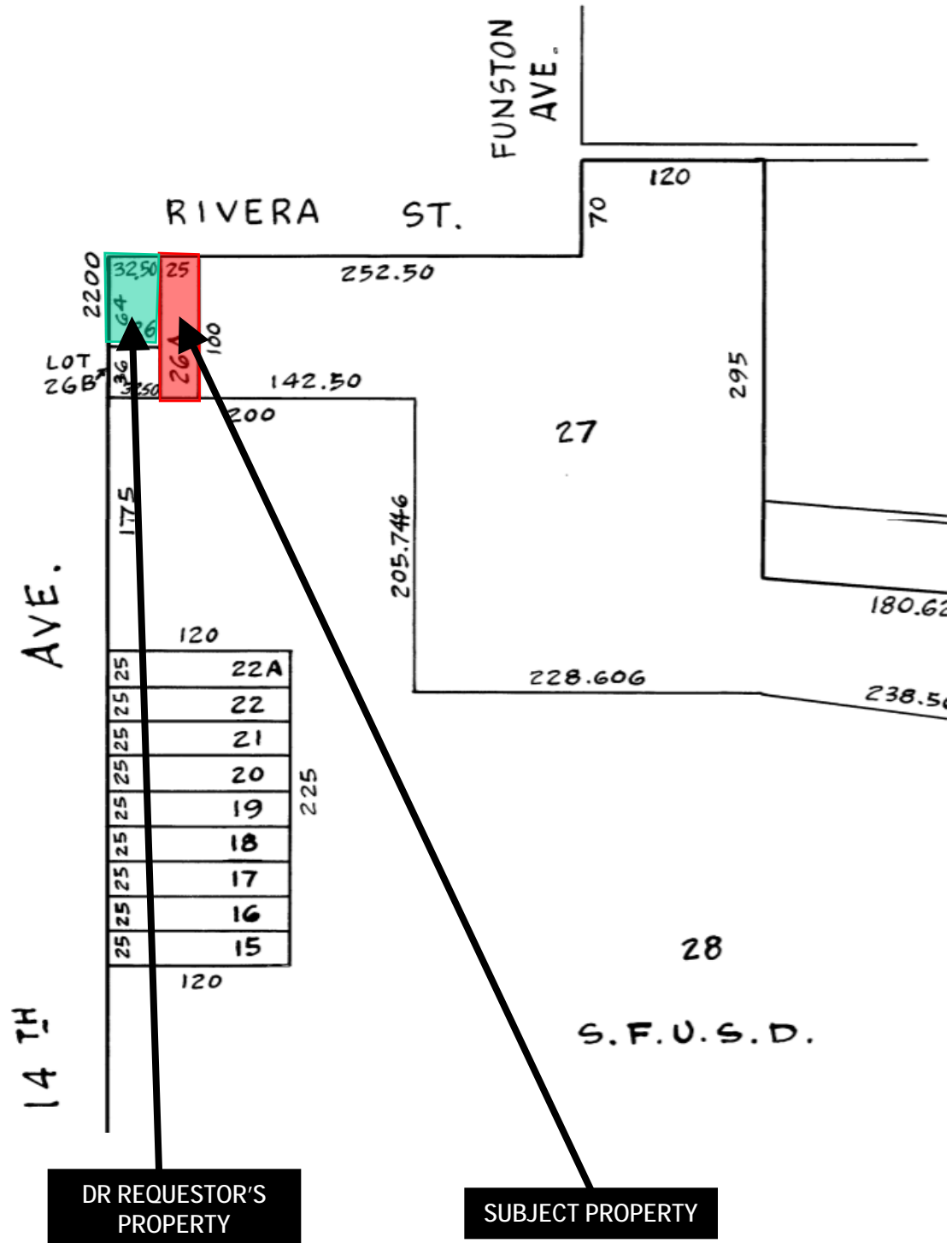
### Attachments:

Block Book Map  
Sanborn Map  
Zoning Map  
Aerial Photographs  
Context Photographs  
Section 311 Notice  
CEQA Determination  
DR Application  
Response to DR Application dated July 18, 2018  
Reduced Plans  
3-dimesnional representations

# Exhibits

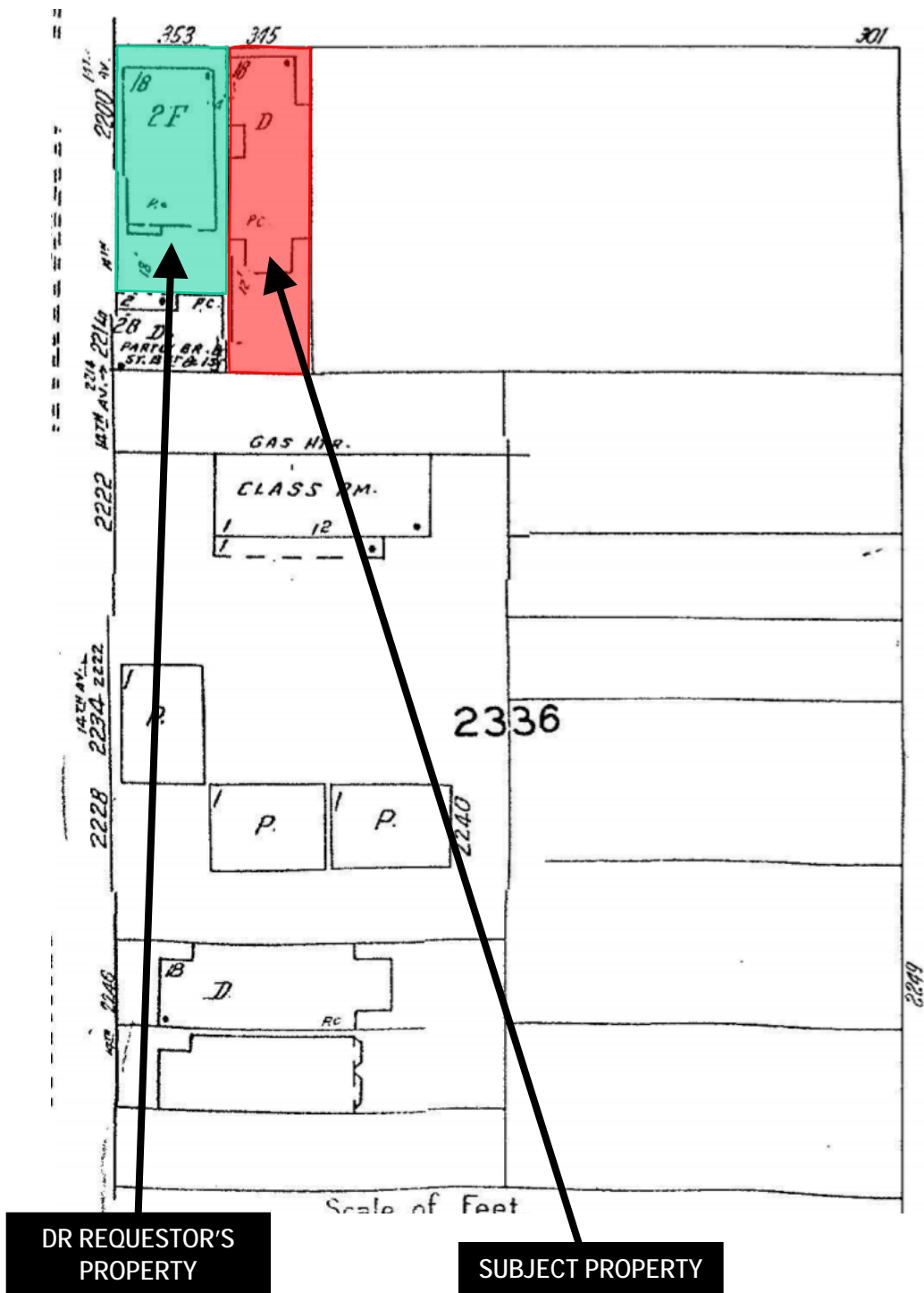


# Parcel Map



Discretionary Review Hearing  
Case Number 2015-014892DRP  
345 Rivera Street

# Sanborn Map\*

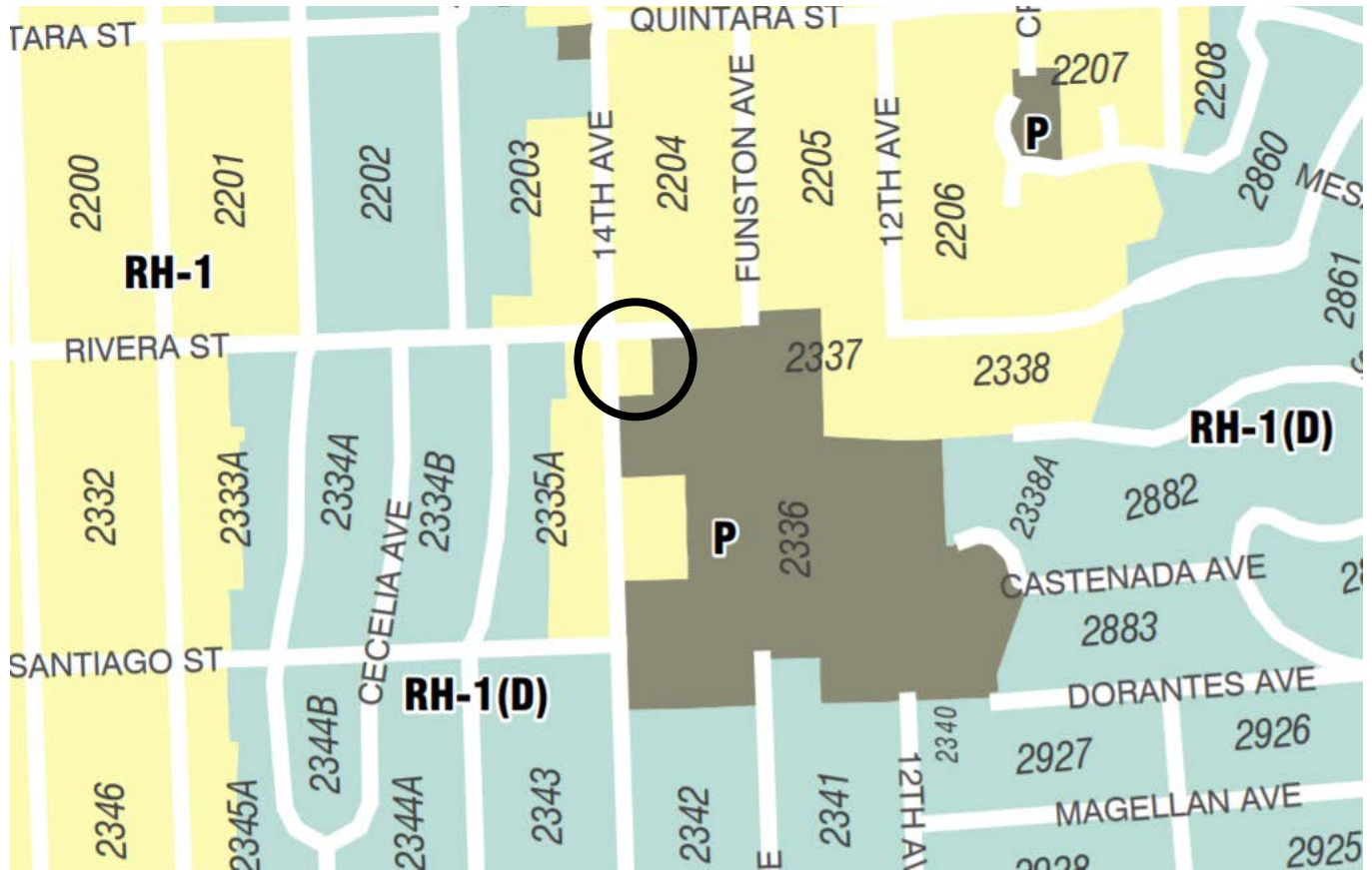


*\*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.*



Discretionary Review Hearing  
**Case Number 2015-014892DRP**  
 345 Rivera Street

# Zoning Map



Discretionary Review Hearing  
Case Number 2015-014892DRP  
345 Rivera Street

# Aerial Photo



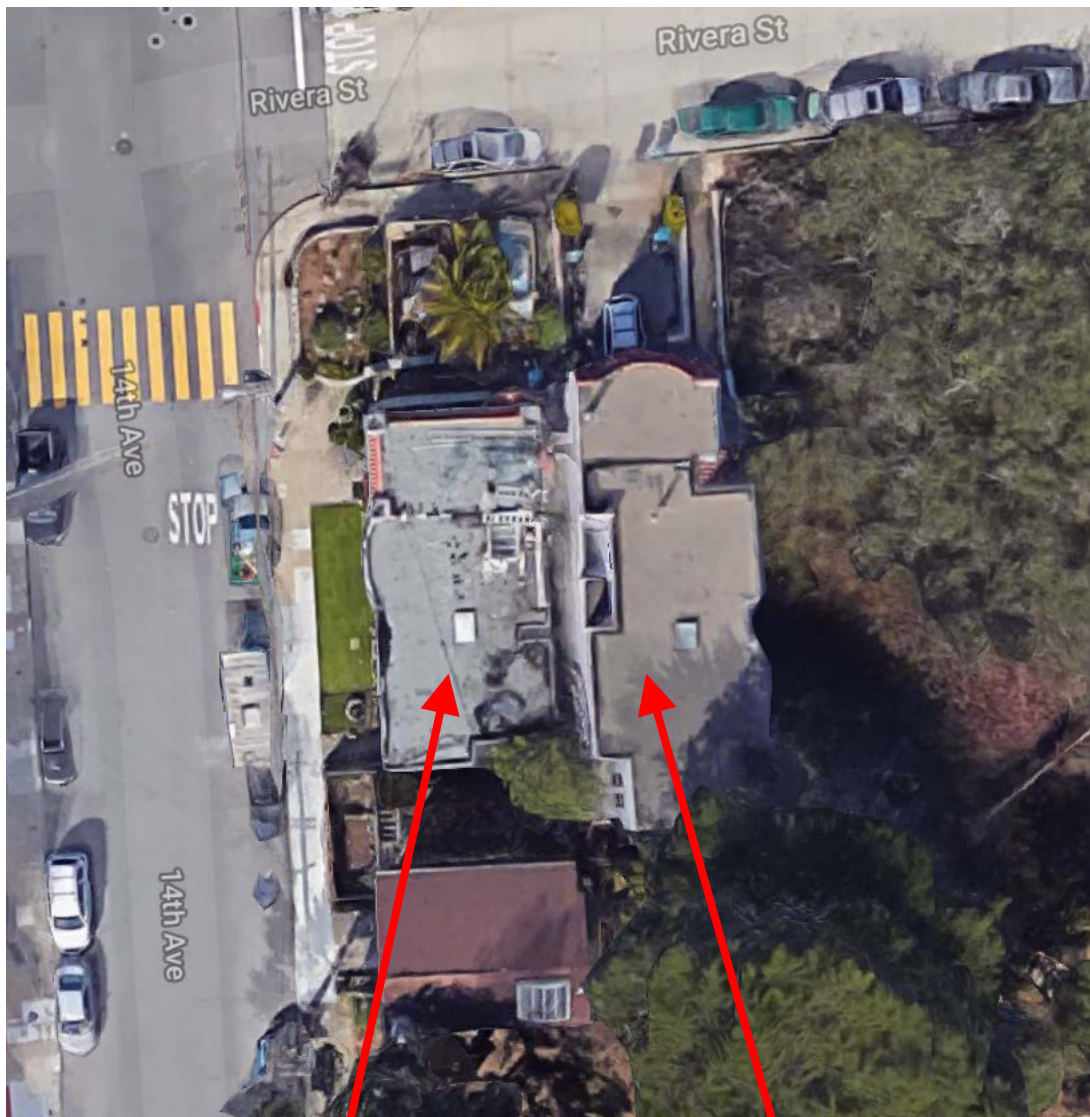
SUBJECT PROPERTY

DR REQUESTOR'S  
PROPERTY



Discretionary Review Hearing  
Case Number 2015-014892DRP  
345 Rivera Street

# Aerial Photo



DR REQUESTOR'S  
PROPERTY

SUBJECT PROPERTY



Discretionary Review Hearing  
Case Number 2015-014892DRP  
345 Rivera Street



# Aerial Photo



DR REQUESTOR'S  
PROPERTY

SUBJECT PROPERTY



Discretionary Review Hearing  
Case Number 2015-014892DRP  
345 Rivera Street

# Aerial Photo



SUBJECT PROPERTY

DR REQUESTOR'S  
PROPERTY



Discretionary Review Hearing  
Case Number 2015-014892DRP  
345 Rivera Street



# Site Photo



SUBJECT PROPERTY

Discretionary Review Hearing  
Case Number 2015-014892DRP  
345 Rivera Street





# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

## NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311)

On **October 24, 2016**, the Applicant named below filed Building Permit Application No. **2016.10.24.1031** with the City and County of San Francisco.

| PROJECT INFORMATION |                               | APPLICANT INFORMATION |  |
|---------------------|-------------------------------|-----------------------|--|
| Project Address:    | <b>345 Rivera Street</b>      | Applicant:            | <b>Tim Young</b>   |
| Cross Street(s):    | <b>14<sup>th</sup> Avenue</b> | Address:              | <b>436 Rozzi Place</b>   |
| Block/Lot No.:      | <b>2336/026A</b>              | City, State:          | <b>South San Francisco, CA 94080</b>                             |
| Zoning District(s): | <b>RH-1 / 40-X</b>            | Telephone:            | <b>(415) 819-8952</b>  |
| Record No.:         | <b>2015-014892PRJ</b>         | Email:                | <a href="mailto:tim@hcdesignbuild.com">tim@hcdesignbuild.com</a> |

You are receiving this notice as a property owner or resident within 150 feet of the proposed project. You are not required to take any action. For more information about the proposed project, or to express concerns about the project, please contact the Applicant listed above or the Planner named below as soon as possible. If you believe that there are exceptional or extraordinary circumstances associated with the project, you may request the Planning Commission to use its discretionary powers to review this application at a public hearing. Applications requesting a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown below, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

| PROJECT SCOPE   |  |   |
|---|--|---|
| <input type="checkbox"/> Demolition   | <input type="checkbox"/> New Construction                | <input checked="" type="checkbox"/> Alteration        |
| <input type="checkbox"/> Change of Use  | <input checked="" type="checkbox"/> Façade Alteration(s) | <input type="checkbox"/> Front Addition               |
| <input checked="" type="checkbox"/> Rear Addition   | <input type="checkbox"/> Side Addition                   | <input checked="" type="checkbox"/> Vertical Addition |
| PROJECT FEATURES  | EXISTING   | PROPOSED  |
| Building Use  | Residential  | No Change   |
| Front Setback   | 2 feet 10 ¾ inches                                       | 3 feet 5 inches                                       |
| Side Setbacks   | None   | No Change   |
| Building Depth  | 67 feet ¼ inch   | 66 feet 10 ¾ inches                                   |
| Rear Yard   | 30 feet 1 ¼ inch   | No Change   |
| Building Height   | 19 feet 7 inches   | 33 feet 7 inches                                      |
| Number of Stories   | Two  | Three   |
| Number of Dwelling Units  | One  | No Change   |
| Number of Parking Spaces  | One  | No Change   |
| PROJECT DESCRIPTION   |  |   |
| <p>The proposal includes a vertical addition to an existing two-story single family residence. Additionally, the proposal includes horizontal additions on the existing structure to square off the building. The proposal also includes a roof deck, rear deck, façade alterations, and repairing the railings on the existing rear deck. The ground floor unit is to be legalized under a separate permit.</p> <p>The issuance of the building permit by the Department of Building Inspection or the Planning Commission project approval at a discretionary review hearing would constitute as the Approval Action for the project for the purposes of CEQA, pursuant to Section 31.04(h) of the San Francisco Administrative Code.</p> |  |   |

**For more information, please contact Planning Department staff:**

Planner: Veronica Flores  
Telephone: (415) 575-9173  
E-mail: [veronica.flores@sfgov.org](mailto:veronica.flores@sfgov.org)

Notice Date: 5/29/18  
Expiration Date: 6/28/18



# SAN FRANCISCO PLANNING DEPARTMENT

## CEQA Categorical Exemption Determination

### PROPERTY INFORMATION/PROJECT DESCRIPTION

|  |   |  |   |
|--|---|--|---|
| Project Address  |   | Block/Lot(s)                                 |   |
| 345 Rivera Street  |   | 2336/026A                                    |   |
| Case No.   | Permit No.  | Plans Dated                                  |   |
| 2015-014892ENV   |   | 08/07/2015                                   |   |
| <input checked="" type="checkbox"/> Addition/<br>Alteration  | <input type="checkbox"/> Demolition<br>(requires HRER if over 45 years old) | <input type="checkbox"/> New<br>Construction | <input type="checkbox"/> Project Modification<br>(GO TO STEP 7) |
| Project description for Planning Department approval.<br>Proposed vertical addition to add (N) 3rd story to (E) 3-unit dwelling. Addition of (N) rooftop patio/deck at 3rd level. Renovation & remodel of (E) levels and front facade. |   |  |   |

### STEP 1: EXEMPTION CLASS

TO BE COMPLETED BY PROJECT PLANNER

|   |  |
|---|--|
| <b>Note: If neither Class 1 or 3 applies, an <i>Environmental Evaluation Application</i> is required.</b> |  |
| <input checked="" type="checkbox"/>   | <b>Class 1 – Existing Facilities.</b> Interior and exterior alterations; additions under 10,000 sq. ft.  |
| <input type="checkbox"/>  | <b>Class 3 – New Construction/ Conversion of Small Structures.</b> Up to three (3) new single-family residences or six (6) dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU. |
| <input type="checkbox"/>  | Class__  |

### STEP 2: CEQA IMPACTS

TO BE COMPLETED BY PROJECT PLANNER

|   |   |
|---|---|
| <b>If any box is checked below, an <i>Environmental Evaluation Application</i> is required.</b> |   |
| <input type="checkbox"/>  | <b>Air Quality:</b> Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities) within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g., backup diesel generators, heavy industry, diesel trucks)? <i>Exceptions: do not check box if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Article 38 program and the project would not have the potential to emit substantial pollutant concentrations. (refer to EP_ArcMap &gt; CEQA Catex Determination Layers &gt; Air Pollutant Exposure Zone)</i> |
| <input type="checkbox"/>  | <b>Hazardous Materials:</b> If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential? If yes, this box must be checked and the project applicant must submit an Environmental Application with a Phase I  |

|   |  |
|---|--|
|   | Environmental Site Assessment. <i>Exceptions: do not check box if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Maher program, a DPH waiver from the Maher program, or other documentation from Environmental Planning staff that hazardous material effects would be less than significant (refer to EP_ArcMap &gt; Maher layer).</i> |
| <input type="checkbox"/>  | <b>Transportation:</b> Does the project create six (6) or more net new parking spaces or residential units? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?   |
| <input type="checkbox"/>  | <b>Archeological Resources:</b> Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non-archeological sensitive area? (refer to EP_ArcMap > CEQA Catex Determination Layers > Archeological Sensitive Area)  |
| <input type="checkbox"/>  | <b>Noise:</b> Does the project include new noise-sensitive receptors (schools, day care facilities, hospitals, residential dwellings, and senior-care facilities) fronting roadways located in the noise mitigation area? (refer to EP_ArcMap > CEQA Catex Determination Layers > Noise Mitigation Area)   |
| <input type="checkbox"/>  | <b>Subdivision/Lot Line Adjustment:</b> Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography)   |
| <input type="checkbox"/>  | <b>Slope = or &gt; 20%:</b> Does the project involve excavation of 50 cubic yards of soil or more, new construction, or square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography) <b>If box is checked, a geotechnical report is required.</b>   |
| <input type="checkbox"/>  | <b>Seismic: Landslide Zone:</b> Does the project involve excavation of 50 cubic yards of soil or more, new construction, or square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) <b>If box is checked, a geotechnical report is required.</b>                             |
| <input type="checkbox"/>  | <b>Seismic: Liquefaction Zone:</b> Does the project involve excavation of 50 cubic yards of soil or more, new construction, or square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) <b>If box is checked, a geotechnical report will likely be required.</b>              |
| <b>If no boxes are checked above, GO TO STEP 3. If one or more boxes are checked above, an <i>Environmental Evaluation Application</i> is required, unless reviewed by an Environmental Planner.</b>  |  |
| <input type="checkbox"/>  | Project can proceed with categorical exemption review. The project does not trigger any of the CEQA impacts listed above.  |
| <b>Comments and Planner Signature (optional):</b> Jean Poling <div style="float: right; font-size: small;"> Digitally signed by Jean Poling<br/> DN: cn=Jean Poling, o=San Francisco Department of Public Health, ou=Environmental Planning, email=Jean.Poling@sfph.org, c=US<br/> Date: 2015.02.27 10:35:11 -0800 </div> |  |

### STEP 3: PROPERTY STATUS – HISTORIC RESOURCE TO BE COMPLETED BY PROJECT PLANNER

|  |  |
|--|--|
| <b>PROPERTY IS ONE OF THE FOLLOWING:</b> (refer to Parcel Information Map) |  |
| <input type="checkbox"/>   | <b>Category A:</b> Known Historical Resource. <b>GO TO STEP 5.</b>   |
| <input checked="" type="checkbox"/>  | <b>Category B:</b> Potential Historical Resource (over 45 years of age). <b>GO TO STEP 4.</b>                  |
| <input type="checkbox"/>   | <b>Category C:</b> Not a Historical Resource or Not Age Eligible (under 45 years of age). <b>GO TO STEP 6.</b> |

**STEP 4: PROPOSED WORK CHECKLIST**  
TO BE COMPLETED BY PROJECT PLANNER

|  |  |
|--|--|
| Check all that apply to the project.                                 |  |
| <input type="checkbox"/>   | 1. <b>Change of use and new construction.</b> Tenant improvements not included.  |
| <input type="checkbox"/>   | 2. <b>Regular maintenance or repair</b> to correct or repair deterioration, decay, or damage to building.  |
| <input type="checkbox"/>   | 3. <b>Window replacement</b> that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.   |
| <input type="checkbox"/>   | 4. <b>Garage work.</b> A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.  |
| <input type="checkbox"/>   | 5. <b>Deck, terrace construction, or fences</b> not visible from any immediately adjacent public right-of-way.   |
| <input type="checkbox"/>   | 6. <b>Mechanical equipment installation</b> that is not visible from any immediately adjacent public right-of-way.   |
| <input type="checkbox"/>   | 7. <b>Dormer installation</b> that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .  |
| <input type="checkbox"/>   | 8. <b>Addition(s)</b> that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features. |
| <b>Note: Project Planner must check box below before proceeding.</b> |  |
| <input checked="" type="checkbox"/>                                  | Project is not listed. <b>GO TO STEP 5.</b>  |
| <input type="checkbox"/>   | Project <b>does not conform</b> to the scopes of work. <b>GO TO STEP 5.</b>  |
| <input type="checkbox"/>   | Project involves <b>four or more</b> work descriptions. <b>GO TO STEP 5.</b>   |
| <input type="checkbox"/>   | Project involves <b>less than four</b> work descriptions. <b>GO TO STEP 6.</b>   |

**STEP 5: CEQA IMPACTS – ADVANCED HISTORICAL REVIEW**  
TO BE COMPLETED BY PRESERVATION PLANNER

|                                      |   |
|--------------------------------------|---|
| Check all that apply to the project. |   |
| <input type="checkbox"/>             | 1. Project involves a <b>known historical resource (CEQA Category A)</b> as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.                                |
| <input type="checkbox"/>             | 2. <b>Interior alterations to publicly accessible spaces.</b>   |
| <input type="checkbox"/>             | 3. <b>Window replacement</b> of original/historic windows that are not "in-kind" but are consistent with existing historic character.   |
| <input type="checkbox"/>             | 4. <b>Façade/storefront alterations</b> that do not remove, alter, or obscure character-defining features.  |
| <input type="checkbox"/>             | 5. <b>Raising the building</b> in a manner that does not remove, alter, or obscure character-defining features.   |
| <input type="checkbox"/>             | 6. <b>Restoration</b> based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.                      |
| <input type="checkbox"/>             | 7. <b>Addition(s)</b> , including mechanical equipment that are minimally visible from a public right-of-way and meet the <i>Secretary of the Interior's Standards for Rehabilitation</i> . |

|   |  |
|---|--|
| <input type="checkbox"/>  | 8. <b>Other work consistent</b> with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (specify or add comments):  |
| <input type="checkbox"/>  | 9. <b>Other work</b> that would not materially impair a historic district (specify or add comments):<br><br>(Requires approval by Senior Preservation Planner/Preservation Coordinator) _____  |
| <input checked="" type="checkbox"/>   | 10. <b>Reclassification of property status</b> to Category C. (Requires approval by Senior Preservation Planner/Preservation Coordinator)<br>a. Per HRER dated: _____ (attach HRER)<br>b. Other (specify): Per PTR form signed on 4/21/2016. |
| <b>Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST check one box below.</b>  |  |
| <input type="checkbox"/>  | <b>Further environmental review required.</b> Based on the information provided, the project requires an <i>Environmental Evaluation Application</i> to be submitted. <b>GO TO STEP 6.</b>   |
| <input checked="" type="checkbox"/>   | <b>Project can proceed with categorical exemption review.</b> The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. <b>GO TO STEP 6.</b>  |
| Comments (optional):  |  |
| Preservation Planner Signature: Stephanie Cisneros <small>Digitally signed by Stephanie Cisneros<br/>DN: cn=Stephanie Cisneros, o=City Planning, ou=City Planning, email=Stephanie.Cisneros@sfgov.org<br/>Date: 2016.04.22 08:56:14 -0700</small> |  |

**STEP 6: CATEGORICAL EXEMPTION DETERMINATION**  
TO BE COMPLETED BY PROJECT PLANNER

|  |  |   |
|--|--|---|
| <input type="checkbox"/>   | Further environmental review required. Proposed project does not meet scopes of work in either (check all that apply):<br><input type="checkbox"/> Step 2 – CEQA Impacts<br><input type="checkbox"/> Step 5 – Advanced Historical Review<br><b>STOP! Must file an <i>Environmental Evaluation Application</i>.</b> |   |
| <input checked="" type="checkbox"/>  | No further environmental review is required. The project is categorically exempt under CEQA.   |   |
|  | Planner Name: Stephanie A. Cisneros  | Signature:<br><br>Stephanie Cisneros <small>Digitally signed by Stephanie Cisneros<br/>DN: dc=org, dc=sfgov, dc=cityplanning, ou=CityPlanning, ou=Current Planning, cn=Stephanie Cisneros, email=Stephanie.Cisneros@sfgov.org<br/>Date: 2016.04.22 08:56:14 -0700</small> |
|  | Project Approval Action:<br><b>Building Permit</b><br>If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.  |   |
| Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code.<br>In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the first approval action. |  |   |

**STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT****TO BE COMPLETED BY PROJECT PLANNER**

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be subject to additional environmental review pursuant to CEQA.

**PROPERTY INFORMATION/PROJECT DESCRIPTION**

|  |                              |   |
|--|------------------------------|---|
| Project Address (If different than front page) |                              | Block/Lot(s) (If different than front page) |
|  |                              |   |
| Case No.                                       | Previous Building Permit No. | New Building Permit No.                     |
|  |                              |   |
| Plans Dated                                    | Previous Approval Action     | New Approval Action                         |
|  |                              |   |
| Modified Project Description:                  |                              |   |
|  |                              |   |

**DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION**

|   |  |
|---|--|
| Compared to the approved project, would the modified project:   |  |
| <input type="checkbox"/>  | Result in expansion of the building envelope, as defined in the Planning Code;   |
| <input type="checkbox"/>  | Result in the change of use that would require public notice under Planning Code Sections 311 or 312;  |
| <input type="checkbox"/>  | Result in demolition as defined under Planning Code Section 317 or 19005(f)?   |
| <input type="checkbox"/>  | Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption? |
| If at least one of the above boxes is checked, further environmental review is required <b>CATEX FORM</b> |  |

**DETERMINATION OF NO SUBSTANTIAL MODIFICATION**

|  |   |
|--|---|
| <input type="checkbox"/>   | The proposed modification would not result in any of the above changes. |
| If this box is checked, the proposed modifications are categorically exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice. |   |
| Planner Name:  | Signature or Stamp:   |
|  |   |



# SAN FRANCISCO PLANNING DEPARTMENT

## PRESERVATION TEAM REVIEW FORM

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**

|  |  |                                |           |
|--|--|--------------------------------|-----------|
| <b>Preservation Team Meeting Date:</b> |  | <b>Date of Form Completion</b> | 3/30/2016 |
|--|--|--------------------------------|-----------|

| PROJECT INFORMATION:  |                       |                      |
|-----------------------|-----------------------|----------------------|
| <b>Planner:</b>       | <b>Address:</b>       |                      |
| Stephanie Cisneros    | 345 Rivera Street     |                      |
| <b>Block/Lot:</b>     | <b>Cross Streets:</b> |                      |
| 2336/026A             | 14th Street           |                      |
| <b>CEQA Category:</b> | <b>Art. 10/11:</b>    | <b>BPA/Case No.:</b> |
| B                     | N/A                   | 2015-014892ENV       |

| PURPOSE OF REVIEW:                    |                                     | PROJECT DESCRIPTION:                        |   |
|---------------------------------------|-------------------------------------|---|---|
| <input checked="" type="radio"/> CEQA | <input type="radio"/> Article 10/11 | <input type="radio"/> Preliminary/PIC       | <input checked="" type="radio"/> Alteration |
|                                       |                                     | <input type="radio"/> Demo/New Construction |   |

|                                    |            |
|------------------------------------|------------|
| <b>DATE OF PLANS UNDER REVIEW:</b> | 08/07/2015 |
|------------------------------------|------------|

| PROJECT ISSUES:   |  |
|---|--|
| <input checked="" type="checkbox"/>   | Is the subject Property an eligible historic resource? |
| <input type="checkbox"/>  | If so, are the proposed changes a significant impact?  |
| Additional Notes:   |  |
| Submitted: Supplemental Information for Historic Resource Determination prepared by Charles Cheng (dated 12/14/2015).   |  |
| Proposed Project: Proposed vertical addition to add (N) 3rd story to (E) 3-unit dwelling. Addition of (N) rooftop patio/deck at 3rd level. Renovation & remodel of (E) levels and front facade. |  |

| PRESERVATION TEAM REVIEW:   |   |   |   |
|---|---|---|---|
| Historic Resource Present   |   | <input type="radio"/> Yes   | <input checked="" type="radio"/> No *                         |
|   |   | <input type="radio"/> N/A   |   |
| Individual  |   | Historic District/Context   |   |
| Property is individually eligible for inclusion in a California Register under one or more of the following Criteria: |   | Property is in an eligible California Register Historic District/Context under one or more of the following Criteria: |   |
| Criterion 1 - Event:  | <input type="radio"/> Yes <input checked="" type="radio"/> No | Criterion 1 - Event:  | <input type="radio"/> Yes <input checked="" type="radio"/> No |
| Criterion 2 -Persons:   | <input type="radio"/> Yes <input checked="" type="radio"/> No | Criterion 2 -Persons:   | <input type="radio"/> Yes <input checked="" type="radio"/> No |
| Criterion 3 - Architecture:   | <input type="radio"/> Yes <input checked="" type="radio"/> No | Criterion 3 - Architecture:   | <input type="radio"/> Yes <input checked="" type="radio"/> No |
| Criterion 4 - Info. Potential:  | <input type="radio"/> Yes <input checked="" type="radio"/> No | Criterion 4 - Info. Potential:  | <input type="radio"/> Yes <input checked="" type="radio"/> No |
| Period of Significance:   | <input type="text"/>  | Period of Significance:   | <input type="text"/>  |
|   |   | <input type="radio"/> Contributor <input type="radio"/> Non-Contributor   |   |

|  |                                      |                                     |                                      |
|--|--------------------------------------|-------------------------------------|--------------------------------------|
| Complies with the Secretary's Standards/Art 10/Art 11: | <input type="radio"/> Yes            | <input type="radio"/> No            | <input checked="" type="radio"/> N/A |
| CEQA Material Impairment:                              | <input type="radio"/> Yes            | <input checked="" type="radio"/> No |                                      |
| Needs More Information:                                | <input type="radio"/> Yes            | <input checked="" type="radio"/> No |                                      |
| Requires Design Revisions:                             | <input type="radio"/> Yes            | <input checked="" type="radio"/> No |                                      |
| Defer to Residential Design Team:                      | <input checked="" type="radio"/> Yes | <input type="radio"/> No            |                                      |

\* If No is selected for Historic Resource per CEQA, a signature from Senior Preservation Planner or Preservation Coordinator is required.

| PRESERVATION TEAM COMMENTS:   |
|---|
| <p>According to the Supplemental Information for Historic Resource Determination prepared by Charles Cheng (dated 12/14/2015) and information found in the Planning Department files, the subject property at 345 Rivera Street contains a one-story-over-garage, wood-frame, single family residence constructed in 1926 (source: building permit/Assessor's Record). The subject property was designed by Charles Strothoff in the Marina architectural style. Nels P. Hansen, a piano mechanic, and his wife Daisy, were the original owners and lived in the house until 1944. Known exterior alterations include: bringing the footing up to grade and driveway (1974); installing framing under sunroom and installing new bathroom (1975); installation of one aluminum window in the living room (1979); and replacing four front windows with aluminum windows (1989).</p> <p>No known historic events occurred at the subject property (Criterion 1). Although Strothoff appears to have played a prominent role in the design of residences in the Westwood Highlands and Monterey Heights neighborhoods, he has not been identified as a significant architect in the Sunset, Parkside or West of Twin Peaks districts. None of the owners or occupants have been identified as important to history (Criterion 2). The subject property is not a outstanding representation of Strothoff's designs and is not architecturally distinct such that it would qualify individually for listing in the California Register under Criterion 3.</p> <p>The subject property is not located within the boundaries of any identified historic district. The subject property is located in the Forest Hill neighborhood of the West of Twin Peaks district in an area that exhibits a variety of architectural styles and construction dates ranging from the 1920s to the 1970s. Together, the area does not comprise a significant concentration of historically or aesthetically unified buildings.</p> <p>Therefore, the subject property is not eligible for listing in the California Register under any criteria individually or as part of a historic district.</p> |

|   |           |
|---|-----------|
| Signature of a Senior Preservation Planner / Preservation Coordinator:              | Date:     |
|  | 4-21-2016 |





## DISCRETIONARY REVIEW APPLICATION

### Property Owner's Information

Name: \_\_\_\_\_  
Address: \_\_\_\_\_ Email Address: \_\_\_\_\_  
Telephone: \_\_\_\_\_

### Applicant Information (if applicable)

Name: Ellen Hepburn Same as above ☐  
Company/Organization: \_\_\_\_\_  
Address: 353 Rivera Street Email Address: llnhepburn@yahoo.com  
Telephone: 415 564 2999

#### Please Select Billing Contact:

☐ Owner ☐ Applicant ☐ Other (see below for details)

Name: \_\_\_\_\_ Email: \_\_\_\_\_ Phone: \_\_\_\_\_

#### Please Select Primary Project Contact:

☐ Owner ☒ Applicant ☐ Billing

### Property Information

Project Address: 345 Rivera Street Block/Lot(s): 2336/026A  
Plan Area: RH-1

### Project Description:

Please provide a narrative project description that summarizes the project and its purpose.

The proposal includes a vertical addition by 74% (19'7" to 33'7") to an existing two-story single family residence. Additionally, the proposal includes horizontal additions on the existing structure, a roof deck, rear deck and façade alterations.

**Project Details:**

- ☐ Change of Use    ☐ New Construction    ☐ Demolition    ☒ Facade Alterations    ☐ ROW Improvements  
☒ Additions    ☐ Legislative/Zoning Changes    ☐ Lot Line Adjustment-Subdivision    ☐ Other \_\_\_\_\_

**Estimated Construction Cost:** \_\_\_\_\_

- Residential:**    ☐ Special Needs    ☐ Senior Housing    ☐ 100% Affordable    ☐ Student Housing    ☐ Dwelling Unit Legalization  
☐ Inclusionary Housing Required    ☐ State Density Bonus    ☐ Accessory Dwelling Unit

- Non-Residential:**    ☐ Formula Retail    ☐ Medical Cannabis Dispensary    ☐ Tobacco Paraphernalia Establishment  
☐ Financial Service    ☐ Massage Establishment    ☐ Other: \_\_\_\_\_

**Related Building Permits Applications**

Building Permit Applications No(s):    2016.10.24.1031

### ACTIONS PRIOR TO A DISCRETIONARY REVIEW REQUEST

In reviewing applications for Certificate of Appropriateness the Historic Preservation Commission, Department staff, Board of Appeals and/or Board of Supervisors, and the Planning Commission shall be governed by *The Secretary of the Interior's Standards for the Treatment of Historic Properties* pursuant to Section 1006.6 of the Planning Code. Please respond to each statement completely (Note: Attach continuation sheets, if necessary). Give reasons as to *how* and *why* the project meets the ten Standards rather than merely concluding that it does so. IF A GIVEN REQUIREMENT DOES NOT APPLY TO YOUR PROJECT, EXPLAIN WHY IT DOES NOT.

| PRIOR ACTION  | YES                                 | NO                                  |
|---|-------------------------------------|-------------------------------------|
| Have you discussed this project with the permit applicant?                          | <input checked="" type="checkbox"/> |                                     |
| Did you discuss the project with the Planning Department permit review planner?     | <input checked="" type="checkbox"/> |                                     |
| Did you participate in outside mediation on this case? (including Community Boards) |                                     | <input checked="" type="checkbox"/> |

### CHANGES MADE TO THE PROJECT AS A RESULT OF MEDIATION

If you have discussed the project with the applicant, planning staff or gone through mediation, please attach a summary of the result, including any changes that were made to the proposed project.

No change has been made.

## DISCRETIONARY REVIEW REQUEST

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the standards of the Planning Code and the Residential Design Guidelines. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.

(1) The vertical addition by 74% is a terrible disruption to the neighborhood character, conflicting with Residential Design Guidelines section II and IV: neighborhood visual character and building scale (details in attached page 1-3).

(2) In conflict with the Planning Code's Priority Policies:

--The vertical addition will impose serious threat to 353 Rivera in case of an earthquake (page 4).

--The proposed project will involve excessive cutback of a tree, which is crucial for the bird refuge in Hawk Hill Park Open Space. The proposed roof deck is also a disturbance to the bird refuge (page 5).

- 
2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be unreasonably affected, please state who would be affected, and how.

(1) The proposed Right and Rear side of the project will unreasonably invade on privacy to neighboring interior living spaces (page 6-7).

(2) Doubling the accommodation capacity will cause inconveniences of this long-established, quiet, and collegial neighborhood community. It will cause parking space shortage in the neighborhood (page 8).

(3) Mrs. Ellen Hepburn, living in the adjacent house only 4'7" from the project property, is 88-year-old with serious medical condition. The noise and hour limitations set forth by the Police Code will not be enough to protect her well-being.

- 
3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

(1) Eliminate the proposed Third-floor addition and rear Roof Deck.

(2) The façade alternation should be compatible with the current neighborhood visual character.

(3) Keep the existing window layout on Right(west) and Rear (south) side of the house.

(4) Special conditions on construction noise and hour limitations.



## APPLICANT'S AFFIDAVIT

Under penalty of perjury the following declarations are made:

- a) The undersigned is the owner or authorized agent of the owner of this property.
- b) The information presented is true and correct to the best of my knowledge.
- c) Other information or applications may be required.

Ellen Hepburn  
Signature

Ellen Hepburn  
Name (Printed)

Neighbor  
Relationship to Project  
(i.e. Owner, Architect, etc.)

415-564-2999  
Phone

11khepburn@yahoo.com  
Email

## APPLICANT'S SITE VISIT CONSENT FORM

I hereby authorize City and County of San Francisco Planning staff to conduct a site visit of this property, making all portions of the interior and exterior accessible.

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Name (Printed)

\_\_\_\_\_  
Date

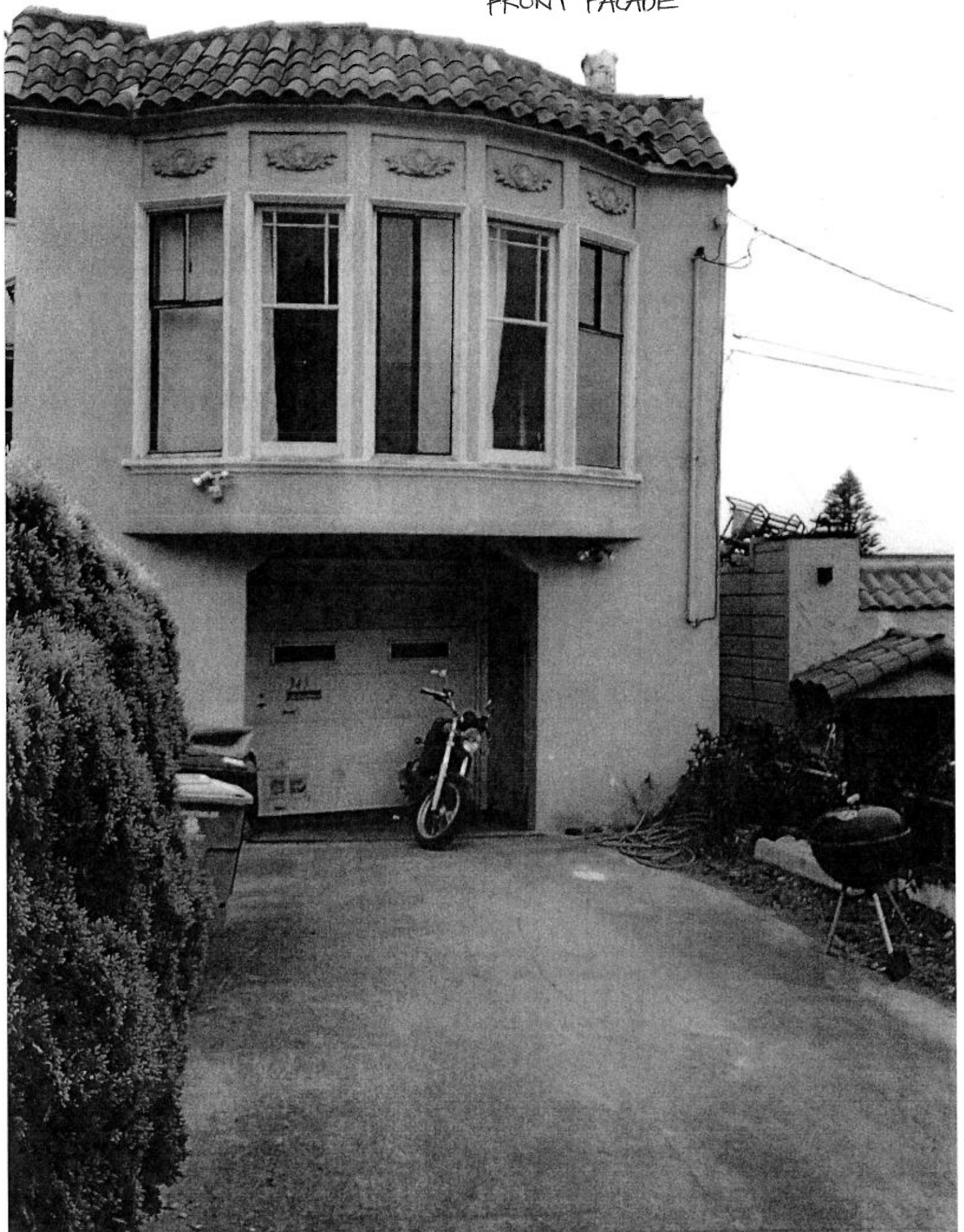
For Department Use Only

Application received by Planning Department:

By: \_\_\_\_\_

Date: \_\_\_\_\_

FRONT FACADE



The proposed project goes strongly against the DESIGN PRINCIPLE: *Design buildings to be responsive to the overall neighborhood context, in order to preserve the existing visual character.*

### **Conflict with Residential Design Guidelines Section II: Neighborhood Character**

The photo is from Google Map street view. This group of three houses, against the backdrop of the Hawk Hill, has been a beautiful view in the neighborhood since 1930s. These houses closely gather around the tiny side yard of 2214 14<sup>th</sup> Ave in a nice unique block pattern. Especially, the two houses on the Rivera St (345 and 353), have unified architectural features, so harmoniously beautiful.

The proposed project is visually disruptive, out of scale, and completely changes the beautiful visual character of this long-established neighborhood. The façade of a similar designed 3-story house, with hand-drawn side, is added to the original photo to illustrate the result.



The ratio of added house is adjusted according to the data from the blueprint of the proposed property: 75% of the house is above the adjacent house.



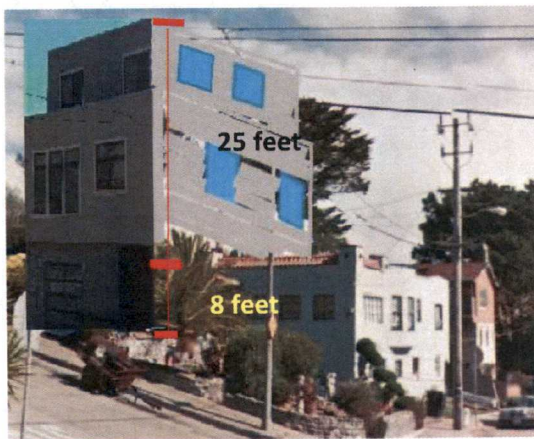
The proposed project goes strongly against the DESIGN GUIDELINE: *Design the height and depth of the building to be compatible with the existing building scale at the street.*

**Conflict with Residential Design Guidelines Section IV: Building Scale**



The existing building scale at the street is so harmoniously designed (see the red lines in the photo). 353 Rivera is the center. It intercepts 345 Rivera at exactly between 1<sup>st</sup> and 2<sup>nd</sup> floor. It levels with the base of the tilted roof of 2214 14<sup>th</sup> Ave.

The proposed project will completely destroy the existing building scale. It will raise the house height by 74% (from 19'7" to 33'7"). The blueprint (attached next page) shows that the proposed project will make the house 25 feet taller than the adjacent 353 Rivera Street, and over 20 feet taller than 2214 14<sup>th</sup> Ave. The scale of the proposed project is completely incompatible with the current beautiful surroundings. Even with the setbacks, the third-floor addition makes the house looming over the other two houses in an overwhelmingly aggressive way. It is outrageous even compared to the bad example in Residential Design Guidelines.



Subject building Residential Design Guidelines  
Page 23





Architectural drawings of the front (north) elevation of a two-story building. The drawings include a main elevation and a smaller adjacent building elevation. The main elevation shows a two-story structure with a central entrance, a large window, and a driveway. The adjacent building is a single-story structure with a central entrance and three large windows. The drawings include various annotations such as 'SUBJECT PROPERTY', 'ADJACENT BUILDING', 'FRONT (NORTH) ELEVATION', and 'Scale: 1/4"=1'-0"'. The drawings are dated 10/1/01 and are labeled '10/1/01'.

### **Conflict with the Planning Code's Priority Policies (1)**

*"That the City to achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake"*

I understand the foundation problem of an existing house is not the concern of the Planning Department. However, a proposed project, involving a 74% vertical addition on the existing structure with major foundation problems, is a serious threat to public safety in case of an earthquake, especially when the neighboring house (353 Rivera) is 4'7" directly downhill from the project property on a slope 20% or greater. The project should be prevented before anything disastrous happens.

I recently contacted the previous owner to confirm the major foundation issues of the project property. The previous owner couldn't afford the suggested \$100,000 to fix the problem, so he sold the house in 2012 at the price much lower than the market price.

Here is a summary of factors that will lead to the injury and loss of life in an earthquake because of the proposed project:

- A structure with major foundation problems.
- Vertical addition by 74% proposed on the existing structure.
- 4'7" directly uphill to the property (353 Rivera) on a slope 20% or greater
- The proposed vertical addition will make the project property 25 feet taller than the adjacent house
- In case of an earthquake, the consequence of fragments of that structure striking right through the roof of 353 Rivera is disastrous.



353 Rivera St



### Conflict with the Planning Code's Priority Policies (2)

*"That our parks and open space and their access to sunlight and vistas be protected from development"*

The photo shows that, by adding the third-floor, the tree limbs in the red circle have to be excessively cut back. The Hawk Hill open space is a possible urban bird refuge according to the Zoning map. During the last couple of years, there has been a significantly increasing number of birds making their nests here. Excessive cutback of the tree will not only hurt the tree but also disturb the bird refuge.

The proposed Roof Deck on the south side (See the red arrows in photos) will be a disturbance to the bird refuge: the noise, smoking, and BBQ smoke... (Especially if the tenants are college students as some of the former tenants.)





### Unreasonable Adverse Impact on the Neighboring Properties

*The proposed Right (west) and Rear (south) sides of the project will unreasonably invade on privacy to neighboring interior living spaces.*

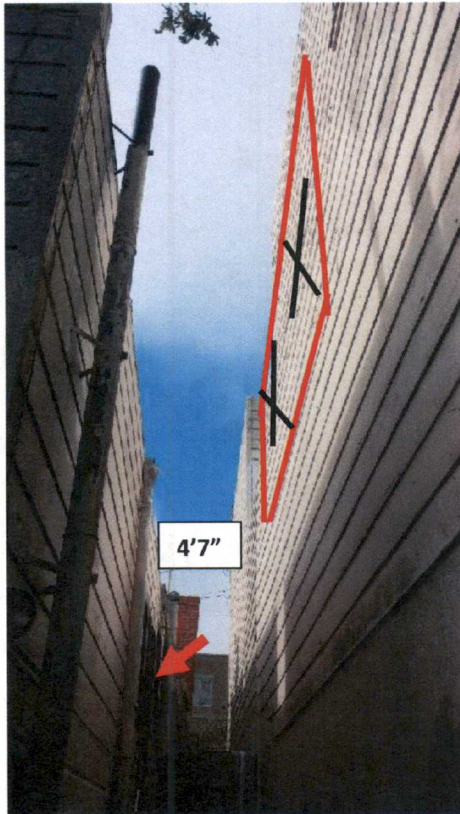
353 Rivera St

345 Rivera (the project property)

2214 14<sup>th</sup> Ave



The photo shows how closely the 3 houses gather around together. The current window layout has been at lowest threshold to protect the privacy of interior living spaces. Any change to the current situation will inevitably pose adverse impact to other two neighbors.



The west side wall of the project property is exactly where its property line is. Any change will have immediate impact on neighbors.

On the right, it's the west side of project property. 353 Rivera (on the left) was built before the project property. The current design respected the privacy of the neighbor. There are two windows on the second floor facing west, but with a 5-foot setback.

By contrast, the proposed project is going to add two big windows (see the red box) looking over directly into the door and window of 353 Rivera (the red arrow in photo). Two houses are only 4'7" apart. This is an intolerable invasion of privacy.



The proposed roof deck.



Taken from the inside of neighbor 2214 14<sup>th</sup> Ave.



Taken from the balcony of neighbor 2214 14<sup>th</sup> Ave.

The proposed roof deck is about 10' horizontally, and 10' vertically from the neighbor. Noises, smoking, and BBQ smoke are the usual suspects of a roof deck. All these disturbances are going to happen literally right above the neighbor's head. Especially if the tenants are college students (as some of the former tenants), one can imagine what a suffering neighbors have to endure.

**Unreasonable adverse impact on the neighborhood**

*Doubling the accommodation capacity will cause negative impact on the neighborhood.*

The current owner never takes residence here from the time of the purchase in 2012. Since then, the house has turned into a rental property, sometimes with multiple tenancies by our observations. We understand the housing crisis in San Francisco, so we put up with problems caused by some renters, while the owner is not a collegial neighbor at all. The proposed project will double the accommodation capacity, and it will inevitably cause inconveniences of this long-established, quiet, and collegial neighborhood community.

With only one-car garage but doubled accommodation capacity, the project property will cause parking space shortage in the neighborhood. There is 2-hr parking limit on 14<sup>th</sup> Ave, plus the no parking zone from 7:30am-4:30pm because of the Hoover middle school on the same street. Most of the residents on the 14<sup>th</sup> Ave (2201, 2207, 2211, 2215, 2219, 2214, and 2200) and Rivera St (353, 345, 330, and 324) have only one-car garage but multiple cars. So the parking on the 14<sup>th</sup> Ave and Rivera Street has already been at its full capacity now. The potential parking shortage caused by the proposed property will adversely affect the neighborhood.



June 22, 2018

San Francisco Planning Dept.  
1650 Mission St Suite 400  
San Francisco, Ca 94103

RECEIVED

JUN 22 2018

CITY & COUNTY OF S.F.  
DEPT. OF CITY PLANNING  
RECEPTION

Re: refused bldg permit  
for 345 Rivera St -  
San Francisco Ca 94116  
Permit app # 2016.10.21.1031

ATTN. Ms Flores,

My name is Ellen Hopleum (Pugh) and  
am the owner of the adjacent property  
to 345 Rivera St -

I have many concerns related to this  
project. First be made aware that on  
the cover letter it states my bldg is a single  
family residence. Not so!! I have two units  
below that were grandfathered in the  
"70's" - legal! (not rented presently)  
Second They state that they will have  
one parking space - parking is at present  
grant extremely difficult



I have lived here since December '1953

I feel very strongly about the owner  
renting out the present residence to a  
group of young men - (all nice & respectful)  
for over six years and then to improve  
by bldg - by legalizing an apt and bldg  
an extra floor - The owner lives out of  
the country and wants financial gain  
regardless of present neighbors -

Sincerely

Ellen Thompson

Phone 415-564-2999  
cell 415-385-6585



**RESPONSE TO**  
**DISCRETIONARY  
REVIEW (DRP)**



**San Francisco  
Planning**

SAN FRANCISCO PLANNING DEPARTMENT  
1650 MISSION STREET, SUITE 400  
SAN FRANCISCO, CA 94103-2479  
MAIN: (415) 558-6378 SFPLANNING.ORG

**Project Information**

Property Address: 345 Rivera Street

Zip Code: 94116

Building Permit Application(s): 2016.10.24.1031

Record Number: 2015-014892DRP

Assigned Planner: Veronica Flores

**Project Sponsor**

Name: *Tim Young*

Phone: *(415) 819-8952*

Email: *tim@hcdesignbuild.com*

**Required Questions**

1. Given the concerns of the DR requester and other concerned parties, why do you feel your proposed project should be approved? (If you are not aware of the issues of concern to the DR requester, please meet the DR requester in addition to reviewing the attached DR application.)

*See attached*

2. What alternatives or changes to the proposed project are you willing to make in order to address the concerns of the DR requester and other concerned parties? If you have already changed the project to meet neighborhood concerns, please explain those changes and indicate whether they were made before or after filing your application with the City.

*//*

3. If you are not willing to change the proposed project or pursue other alternatives, please state why you feel that your project would not have any adverse effect on the surrounding properties. Include an explanation of your needs for space or other personal requirements that prevent you from making the changes requested by the DR requester.


*//*

## Project Features

Please provide the following information about the project for both the existing and proposed features. Please attach an additional sheet with project features that are not included in this table.

|  | EXISTING  | PROPOSED         |
|--|-----------|------------------|
| Dwelling Units (only one kitchen per unit - additional kitchens count as additional units) | 1         | 2                |
| Occupied Stories (all levels with habitable rooms)   | 2         | 3                |
| Basement Levels (may include garage or windowless storage rooms)                           | 0         | 0                |
| Parking Spaces (Off-Street)  | 2         | 1 + bike parking |
| Bedrooms   | 4         | 4                |
| Height   | 19'7"     | 33'7 1/2"        |
| Building Depth   | 67'       | 66'5"            |
| Rental Value (monthly)   | \$5K/mo   | \$6.5K/mo        |
| Property Value   | \$1.6 mil | \$2.4 mil        |

I attest that the above information is true to the best of my knowledge.

|   |   |
|---|---|
| Signature:  | Date: 7/18/18   |
| Printed Name: Tim Young   | <input type="checkbox"/> Property Owner<br><input checked="" type="checkbox"/> Authorized Agent |

If you have any additional information that is not covered by this application, please feel free to attach additional sheets to this form.



- 1) Given the concerns of the DR requester and other parties, why do you feel your proposed project should be approved?

First and foremost, we have gone through a long and extensive process of getting this project approved by the San Francisco Planning Design Review process and comply with its Design Guidelines and the planning code itself. Because of the time and fees we have spent up to this point, we feel that any further delays as well as making revisions to the original design will jeopardize this project in its completion. The current property owner's family is planning to move in after the construction completion as their family is growing in size. This alone explains the third floor addition, while in-law apartment on the ground floor has been legalized as a secondary unit as it is currently used by renters and will be in the future as enforced by city's regulation to help improving the housing rental stock in San Francisco making building code legal and a safe unit for renters. It will only be stated once that this property will not be used as a short term rental and that the family intends to move in after the construction will be completed. They have been patient up to this point waiting for over three years for this project to gain speed. This DR, unfortunately will continue to slow this process down.

- 2) What alternatives or changes to the proposed project are you willing to make in order to address the concerns of the DR requester and other concerned parties? If you have already changed the project to meet neighborhood concerns, please explain those changes and indicate whether they were made before or after filing your application to the City.

To meet some of the concerns of the adjacent neighbors, we are only willing to consult with professional arborists and ornithologist (bird specialist) to confirm whether the tree in the rear yard is 1) a sanctuary and 2) to carefully prune and trim the tree to not disturb any bird's nest that occupy the tree. The said tree hasn't been pruned in decades so this needs to be done regardless.

- 3) If you are not willing to change the proposed project or pursue other alternatives, please state why you feel your project would not have any adverse effect on the surrounding

The design and construction of the proposed building is designed according to the current San Francisco Planning code and its local Design Guidelines, which as stated before, has gone through a review process and approved. Since the Planning Dept has approved this project is approved and the neighbors agree to the design, the project as you know, will need to be approved by the Building Department which will confirm whether the building complies with the California Building Code and the design of the structure will be confirmed by a professional licensed engineer. The concerns of the foundation will be addressed during this phase and rest assured that the current foundation will need to be replaced to support the weight of the new vertical third floor addition. In any vertical addition added to an existing home, any structural improvements to the existing foundation will be addressed to be able to support the weight and increased load to the foundation. This is part of the plan review for the Building Depts' review of the drawings and calculations. Secondly, the building will have seismic elements that will protect the building and the adjacent building in case of seismic activity. All aspects of the proposed design will be thoroughly reviewed by the San Francisco Department of Planning and Building Inspection to obtain approval for all permits.

In regards to the size and bulk of the proposed design, we specifically used the guidelines set forth and specifically adopted them to our design. Below are the design elements that were applied to address concerns of the neighbors:

In the San Francisco Residential Design Guidelines, Chapter IV "Building Scale and Form"

The current property can be seen from the intersection of 14<sup>th</sup> and Rivera st because of the drastic slope of the street itself. This condition has always made the corner house look smaller from this perspective. Saying this, adding a third story vertical addition doesn't necessarily make the proposed building stand out.

As far as the visual character of the neighborhood is concerned, the block itself has a mixed visual character. The houses across the street are ALL contemporary/modern designs. The properties of

both 345 Rivera and the adjacent 353 Rivera are Spanish revival/ traditional BUT there are only two homes on that side of the block. Changing the visual design of one of the two will not change the “uniform character” of the homes in that neighborhood.

In page 10 (Chp IV) states:

Mixed Visual Character

*GUIDELINE: In areas with a mixed visual character, design buildings to help define, unify and contribute positively to the existing visual context.*

*Some block faces do not have an apparent overriding visual character, or the character may be mixed or changing. When no clear pattern is evident on a block face, a designer has a greater opportunity and responsibility to help define, unify, and contribute positively to the existing visual context. Designs should draw on the best features of surrounding buildings. Existing incompatible or poorly designed buildings on the block face do not free the designer from the obligation to enhance the area through sensitive development.*

**We strongly feel that this is a mixed character neighborhood and will keep the modern façade of the proposed design.**

*In page 23 (Chp IV) states: “A building that is larger than its neighbors can still be in scale and be compatible with the smaller buildings in the area. It can often be made to look smaller by facade articulations and through setbacks to upper floors. In other cases, it may be necessary to reduce the height or depth of the building.”*

*In page 24*

*A fourth story setback and facade articulations make the building more compatible with the scale of surrounding buildings. See image below*



*If a proposed building is taller than surrounding buildings, or a new floor is being added to an existing building, it may be necessary to modify the building height or depth to maintain the existing scale at the street. By making these modifications, the visibility of the upper floor is limited from the street, and the upper floor appears subordinate to the primary facade. The key is to design a building that complements other buildings on the block and does not stand out, even while displaying an individual design.*

*A partial third-story setback provides a transitional height to the adjacent two-story building and maintains the scale of the buildings at the street level. See image below*





*In page 25 (Chp IV)*

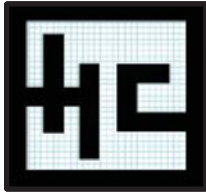
In modifying the height and depth of the building, consider the following measures; other measures may also be appropriate depending on the circumstances of a particular project:

- Set back the upper story. The recommended setback for additions is 15 feet from the front building wall.
- Eliminate the building parapet by using a fire-rated roof with a 6-inch curb.

Our third story vertical addition setback from the project property front wall is almost 16 feet from the front of the building, which is more than what is stated above.

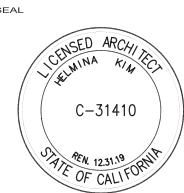
According to the San Francisco Planning Code and Design guideline, the view from private properties is not one of the rule that needs to be followed and property owner has the right to increase the building to not exceed 35 feet. Since the neighbors across street are also 3 stories, the proposed building can also have 3 stories. However, we do care about the concerns of the neighbors that were made during our initial neighborhood meeting a few years ago, the 3rd floor vertical addition has been designed with a 5 feet setback from the west side to minimize the blockage to the house from across street and shadow casting into building on the west. These setbacks are specifically designed to minimize the proposed 3rd floor vertical additions shadowing and sizing bulk of the building.

# 345 RIVERA STREET, SAN FRANCISCO, CA 94116



436 ROZZI PLACE, SOUTH  
SAN FRANCISCO, CA 94080  
TEL: 415-373-2999  
E-MAIL: charles@HCDesignbuild.com

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| NOTES/REVISIONS |                     |
|-----------------|---------------------|
| 1               | NOPDR #1 05.10.2017 |
| 2               | NOPDR #2 01.16.2018 |
| 3               | NOPDR #2 01.29.2018 |
| 4               | NOPDR #3 02.26.2018 |

| PROJECT                                 |  |
|---|--|
| YIP' RESIDENCE                          |  |
| 345 RIVERA STREET,<br>SAN FRANCISCO, CA |  |

| SHEET TITLE |  |
|-------------|--|
| COVER SHEET |  |

|                   |          |
|-------------------|----------|
| DATE              | JOB NO.  |
| November 12, 2016 | 15115    |
| SCALE             | DRAWN BY |
| AS SHOWN          | CC       |

|           |
|-----------|
| SHEET NO. |
| CS        |



GENERAL NOTES

GENERAL

- ALL WORK SHALL CONFORM TO THE 2013 CALIFORNIA BUILDING CODE, THE STATE OF CALIFORNIA AND ALL OTHER APPLICABLE CODES. GOVERNING AUTHORITIES AND CODES TAKE PRECEDENCE OVER DRAWINGS AND SPECIFICATIONS. REPORT DISCREPANCIES TO THIS OFFICE IMMEDIATELY.
- LOCATION OF PROPERTY LINE IS APPROXIMATE. PROPERTY LINE DIMENSION CONTAINED HEREIN, AS DESCRIBED BY PUBLIC RECORD.
- ALL DIMENSIONS ARE TO FACE OF CONCRETE AND STRUCTURAL FRAMING, UNLESS OTHERWISE NOTED. WRITTEN DIMENSIONS SHALL ALWAYS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- FOUNDATIONS ARE NOT SURVEYED.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT JOB SITE BEFORE COMMENCING WORK AND SHALL REPORT ANY DISCREPANCIES TO THIS OFFICE.
- DO NOT USE SCALED DIMENSIONS; USE WRITTEN DIMENSIONS.

LEGEND & SYMBOLS

|  |                            |                  |
|--|----------------------------|------------------|
|  | EXISTING WALL SHALL REMAIN |                  |
|  | REMOVE EXISTING WALL       |                  |
|  | EXISTING CONCRETE WALL     |                  |
|  | NEW WALL                   |                  |
|  | NEW ONE HOUR WALL ASSEMBLY |                  |
|  | DETAIL NUMBER              | DETAIL KEY       |
|  | SHEET WHERE IT OCCURS      |                  |
|  | SECTION NUMBER             | SECTION KEY      |
|  | SHEET WHERE IT OCCURS      |                  |
|  | COLUMN GRID LINE           | COLUMN GRID LINE |
|  | DOOR NUMBER                | DOOR SYMBOL      |
|  | SEE DOOR SCHEDULE          |                  |
|  | WINDOW TYPE                | WINDOW SYMBOL    |
|  | SEE WINDOW SCHEDULE        |                  |
|  | PROPERTY LINE              | SITE SYMBOL      |

ABBREVIATIONS

|        |                                       |        |                         |
|--------|---------------------------------------|--------|-------------------------|
| @      | AND                                   | RAD    | RADIUS                  |
| ABV    | AT                                    | REF    | REFERENCE               |
| ADJ    | ABOVE                                 | REFRIG | REFRIGERATOR            |
| A/C    | ADJACENT                              | REQ.   | REQUIRED                |
| ALT.   | AIR CONDITIONING                      |        |                         |
| APPROX | ALTERNATE                             | SCHED. | SCHEDULE                |
| ARCH.  | APPROXIMATE                           | SIM.   | SIMILAR                 |
|        | ARCHITECTURAL                         | SPEC.  | SPECIFICATION           |
|        |                                       | SO.    | SQUARE                  |
| BD.    | BOARD                                 | SSD    | SEE STRUCTURAL DRAWINGS |
| BUDG.  | BUILDING                              | STD.   | STANDARD                |
| BLKG.  | BLOCKING                              | STO    | STORAGE                 |
| BOT.   | BOTTOM                                | SYM.   | SYMMETRICAL             |
| B5MT   | BASEMENT                              |        |                         |
| CL     | CENTER LINE                           | TC     | TOP OF CURB             |
| CAB    | CABINET                               | T.O.C. | TOP OF CONCRETE         |
| CLG    | CEILING                               | TP     | TOP OF PAVEMENT         |
| CLR    | CLEAR                                 | TYP.   | TYPICAL                 |
| COL.   | COLUMN                                |        |                         |
| CONT.  | CONTINUOUS                            | U.O.N. | UNLESS OTHERWISE NOTED  |
|        |                                       |        |                         |
| DET.   | DETAIL                                | VB     | VAPOR BARRIER           |
| DIAG   | DIAGONAL                              | VG     | VERTICAL GRAIN          |
| DIA    | DIAMETER                              | V.I.F. | VERIFY IN FIELD         |
| DIM    | DIMENSION                             | VERT.  | VERTICAL                |
| DWG.   | DRAWING                               |        |                         |
|        |                                       | W/     | WITH                    |
| (E)    | EXISTING                              | W/O    | WITHOUT                 |
| EA.    | EACH                                  | WD     | WOOD                    |
| ELV.   | ELEVATION                             | WIN    | WINDOW                  |
| EXT.   | EXTERIOR                              | WP     | WATER PROOFING          |
| EW.    | EACH WAY                              |        |                         |
|        |                                       |        |                         |
| FND.   | FOUNDATION                            |        |                         |
| FIN.   | FINISH                                |        |                         |
| FLR.   | FLOOR                                 |        |                         |
| F.O.S. | FACE OF STUD                          |        |                         |
|        |                                       |        |                         |
| GALV   | GALVANIZED                            |        |                         |
| GYP BD | GYP SUM WALLBOARD                     |        |                         |
|        |                                       |        |                         |
| HORIZ. | HORIZONTAL                            |        |                         |
| HT     | HEIGHT                                |        |                         |
| HVAC   | HEATING/VENTILATION /AIR CONDITIONING |        |                         |
|        |                                       |        |                         |
| INSUL  | INSULATION                            |        |                         |
| INT    | INTERIOR                              |        |                         |
|        |                                       |        |                         |
| MAX.   | MAXIMUM                               |        |                         |
| MEMB   | MEMBRANE                              |        |                         |
| MECH   | MECHANICAL                            |        |                         |
| MIN.   | MINIMUM                               |        |                         |
| MISC.  | MISCELLANEOUS                         |        |                         |
| MIR    | MIRROR                                |        |                         |
|        |                                       |        |                         |
| (N)    | NEW                                   |        |                         |
| N.S.   | NEAR SIDE                             |        |                         |
| NTS.   | NOT TO SCALE                          |        |                         |
|        |                                       |        |                         |
| O.C.   | ON CENTER                             |        |                         |
| OPG.   | OPENING                               |        |                         |
| OPP.   | OPPOSITE                              |        |                         |
|        |                                       |        |                         |
| PL     | PLATE                                 |        |                         |
| PAR.   | PARALLEL                              |        |                         |
| PERP.  | PERPENDICULAR                         |        |                         |
| PLY.   | PLYWOOD                               |        |                         |
| PTN    | PARTITION                             |        |                         |

SCOPE OF WORK

REMODEL & VERTICAL ADDITION TO AN EXISTING 2 STORIES BUILDING WITH COMPLETED INTERIOR RENOVATION.

“UNAUTHORIZED UNIT AT 1ST FLOOR UNDER BPA 201708225544”

PROJECT DATA

ADDRESS: 345 RIVERA STREET  
SAN FRANCISCO, CA 94116  
BLOCK/LOT: 2336/026A  
ZONE: RH-1  
CONSTRUCTION TYPE: V-B (EXISTING 2 STORIES)  
(PROPOSED 3 STORIES)  
OCCUPANCY GROUP: R-3

| FLOOR AREA CALCULATION (GROSS): |           |             |
|---------------------------------|-----------|-------------|
|                                 | EXISTING  | PROPOSED    |
| GARAGE/ HALLWAY                 | 989 SQFT  | 895 SQFT    |
| 1ST FLOOR (UNIT#1)              | 566 SQFT  | 659 SQFT    |
| 2ND FLOOR (UNIT#2)              | 1407 SQFT | 1567 SQFT   |
| 3RD FLOOR (UNIT#2)              | 0 SQFT    | REUSED SQFT |
| TOTAL GROSS                     | 2962 SQFT | 4154 SQFT   |

APPLICABLE CODES:

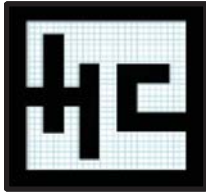
2013 CALIFORNIA BUILDING CODE  
2013 CALIFORNIA PLUMBING CODE  
2013 CALIFORNIA ELECTRICAL CODE  
2013 CALIFORNIA MECHANICAL CODE  
2013 CALIFORNIA ENERGY CODE  
CURRENT SAN FRANCISCO AMENDMENTS

PROJECT DIRECTORY & INFO.

OWNER: BENJAMIN YIP  
LOCATION: 345 RIVERA ST., SAN FRANCISCO, CA 94116  
DESIGNER: H.C. DESIGN  
2131 15TH AVE. SUITE 200  
SAN FRANCISCO, CA 94116

INDEX OF ARCH. DRAWINGS

CS COVER SHEET  
SV1 TOPOGRAPHIC SITE SURVEY MAP  
A0.1 INDEX SHEET & NOTES  
A0.2 CEQA CATEGORICAL EXEMPTION DETERMINATION  
A0.3 GREEN BUILDING- SITE PERMIT SUBMITTAL  
A1.0 EXISTING SITE PLAN  
A1.1 PROPOSED SITE PLAN  
A2.0 EXISTING 1ST FLOOR PLAN & PROPOSED 1ST FLOOR PLAN  
A2.1 EXISTING 2ND FLOOR PLAN & PROPOSED 2ND FLOOR PLAN  
A2.2 PROPOSED 3RD FLOOR PLAN & PROPOSED ROOF PLAN  
A3.0 EXISTING & PROPOSED FRONT ELEVATIONS  
A3.1 EXISTING & PROPOSED RIGHT ELEVATIONS  
A3.2 EXISTING & PROPOSED REAR & LEFT ELEVATIONS  
A4.0 EXISTING & PROPOSED TRANSVERSE SECTIONS  
A4.1 EXISTING & PROPOSED LONGITUDINAL SECTIONS



436 ROZZI PLACE, SOUTH  
SAN FRANCISCO, CA 94080  
TEL: 415-373-2999

E-MAIL: charles@HCDesignbuild.com

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SEAL



NOTES/REVISIONS

|  |         |            |
|--|---------|------------|
|  | NOPDR#1 | 05.10.2017 |
|  | NOPDR#2 | 01.16.2018 |
|  | NOPDR#2 | 01.29.2018 |
|  | NOPDR#3 | 02.26.2018 |

PROJECT

YIP' RESIDENCE

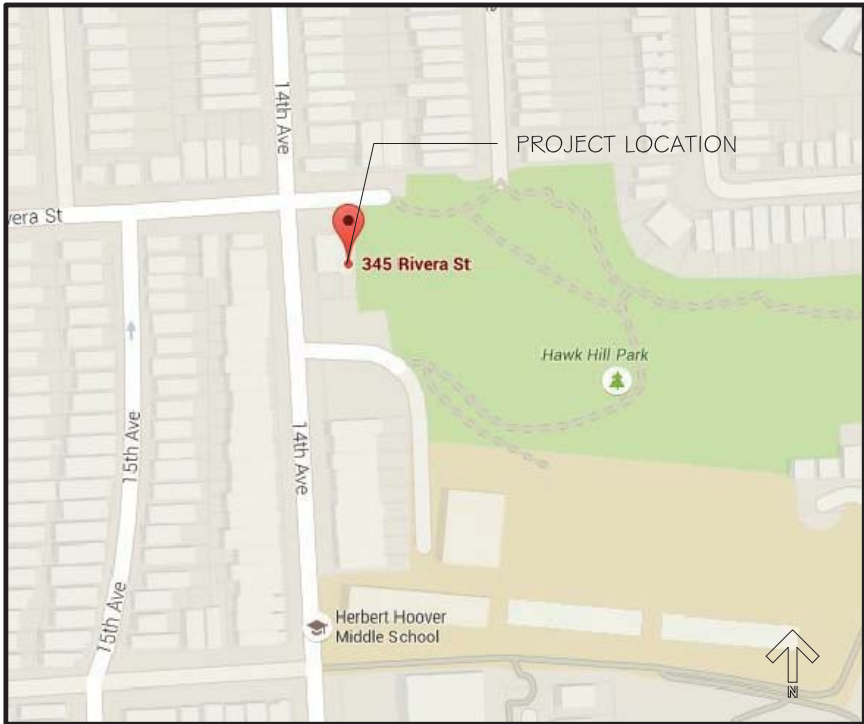
345 RIVERA STREET,  
SAN FRANCISCO, CA

SHEET TITLE

INDEX SHEET  
& NOTES

DATE: November 12, 2016  
JOB NO.: 15115  
SCALE: AS SHOWN  
DRAWN BY: CC  
SHEET NO.

A0.1



VICINITY MAP





# SAN FRANCISCO PLANNING DEPARTMENT

## CEQA Categorical Exemption Determination

### PROPERTY INFORMATION/PROJECT DESCRIPTION

|  |   |   |
|--|---|---|
| Project Address  |   | Block/Lot(s)  |
| 345 Rivera Street  |   | 2336/026A   |
| Case No.   | Permit No.  | Plans Dated   |
| 2015-014892ENV   |   | 08/07/2015  |
| <input checked="" type="checkbox"/> Addition/<br>Alteration  | <input type="checkbox"/> Demolition<br>(requires HRER if over 45 years old) | <input type="checkbox"/> New<br>Construction                    |
|  |   | <input type="checkbox"/> Project Modification<br>(GO TO STEP 7) |
| Project description for Planning Department approval.<br>Proposed vertical addition to add (N) 3rd story to (E) 3-unit dwelling. Addition of (N) rooftop patio/deck at 3rd level. Renovation & remodel of (E) levels and front facade. |   |   |

### STEP 1: EXEMPTION CLASS TO BE COMPLETED BY PROJECT PLANNER

Note: If neither Class 1 or 3 applies, an Environmental Evaluation Application is required.

|                                     |  |
|-------------------------------------|--|
| <input checked="" type="checkbox"/> | Class 1 - Existing Facilities. Interior and exterior alterations; additions under 10,000 sq. ft.   |
| <input type="checkbox"/>            | Class 3 - New Construction/ Conversion of Small Structures. Up to three (3) new single-family residences or six (6) dwelling units in one building commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU. |
| <input type="checkbox"/>            | Class  |

### STEP 2: CEQA IMPACTS TO BE COMPLETED BY PROJECT PLANNER

If any box is checked below, an Environmental Evaluation Application is required.

|                          |  |
|--------------------------|--|
| <input type="checkbox"/> | Air Quality: Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities) within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g., backup diesel generators, heavy industry, diesel trucks)? <i>Exceptions: do not check box if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Article 38 program and the project would not have the potential to emit substantial pollutant concentrations. (refer to EP_ArcMap &gt; CEQA CateX Determination Layers &gt; Air Pollution Exposure Zone)</i> |
| <input type="checkbox"/> | Hazardous Materials: If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential? If yes, this box must be checked and the project applicant must submit an Environmental Application with a Phase I  |

SAN FRANCISCO  
PLANNING DEPARTMENT 2/13/15

|   |   |
|---|---|
| <input type="checkbox"/>  | 8. Other work consistent with the Secretary of the Interior Standards for the Treatment of Historic Properties (specify or add comments):   |
| <input type="checkbox"/>  | 9. Other work that would not materially impair a historic district (specify or add comments):<br><br>(Requires approval by Senior Preservation Planner/Preservation Coordinator)  |
| <input checked="" type="checkbox"/>   | 10. Reclassification of property status to Category C. (Requires approval by Senior Preservation Planner/Preservation Coordinator)<br>a. Per HRER dated: (attach HRER)<br>b. Other (specify): Per PTR form signed on 4/21/2016. |
| Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST check one box below. |   |
| <input type="checkbox"/>  | Further environmental review required. Based on the information provided, the project requires an Environmental Evaluation Application to be submitted. GO TO STEP 6.   |
| <input checked="" type="checkbox"/>   | Project can proceed with categorical exemption review. The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. GO TO STEP 6.   |
| Comments (optional):  |   |
| Preservation Planner Signature: Stephanie Cisneros  |   |

### STEP 6: CATEGORICAL EXEMPTION DETERMINATION TO BE COMPLETED BY PROJECT PLANNER

|   |  |
|---|--|
| <input type="checkbox"/>  | Further environmental review required. Proposed project does not meet scopes of work in either (check all that apply):<br><input type="checkbox"/> Step 2 - CEQA Impacts<br><input type="checkbox"/> Step 5 - Advanced Historical Review<br>STOP! Must file an Environmental Evaluation Application. |
| <input checked="" type="checkbox"/>   | No further environmental review is required. The project is categorically exempt under CEQA.   |
| Planner Name: Stephanie A. Cisneros   | Signature: Stephanie Cisneros  |
| Project Approval Action:<br>Building Permit<br>In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the first approval action. |  |

SAN FRANCISCO  
PLANNING DEPARTMENT 2/13/15

|  |  |
|--|--|
| <input type="checkbox"/>   | Environmental Site Assessment. <i>Exceptions: do not check box if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Maher program, a DPH waiver from the Maher program, or other documentation from Environmental Planning staff that hazardous material effects would be less than significant (refer to EP_ArcMap &gt; Maher Layer).</i> |
| <input type="checkbox"/>   | Transportation: Does the project create six (6) or more net new parking spaces or residential units? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?  |
| <input type="checkbox"/>   | Archaeological Resources: Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archaeological sensitive area or eight (8) feet in a non-archaeological sensitive area? (refer to EP_ArcMap > CEQA CateX Determination Layers > Archaeological Sensitive Area)   |
| <input type="checkbox"/>   | Noise: Does the project include new noise-sensitive receptors (schools, day care facilities, hospitals, residential dwellings, and senior-care facilities) fronting roadways located in the noise mitigation area? (refer to EP_ArcMap > CEQA CateX Determination Layers > Noise Mitigation Area)  |
| <input type="checkbox"/>   | Subdivision/Lot Line Adjustment: Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? (refer to EP_ArcMap > CEQA CateX Determination Layers > Topography)  |
| <input type="checkbox"/>   | Slope = or > 20% Does the project involve excavation of 50 cubic yards of soil or more, new construction, or square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint? (refer to EP_ArcMap > CEQA CateX Determination Layers > Topography) If box is checked, a geotechnical report is required.   |
| <input type="checkbox"/>   | Seismic: Landslide Zone: Does the project involve excavation of 50 cubic yards of soil or more, new construction, or square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint? (refer to EP_ArcMap > CEQA CateX Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report is required.   |
| <input type="checkbox"/>   | Seismic: Liquefaction Zone: Does the project involve excavation of 50 cubic yards of soil or more, new construction, or square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint? (refer to EP_ArcMap > CEQA CateX Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report will likely be required.                            |
| If no boxes are checked above, GO TO STEP 3. If one or more boxes are checked above, an Environmental Evaluation Application is required, unless reviewed by an Environmental Planner. |  |
| <input type="checkbox"/>   | Project can proceed with categorical exemption review. The project does not trigger any of the CEQA impacts listed above.  |
| Comments and Planner Signature (optional): Jean Poling   |  |

### STEP 3: PROPERTY STATUS - HISTORIC RESOURCE TO BE COMPLETED BY PROJECT PLANNER

PROPERTY IS ONE OF THE FOLLOWING: (refer to Parcel Information Map)

|                                     |  |
|-------------------------------------|--|
| <input type="checkbox"/>            | Category A: Known Historical Resource. GO TO STEP 5.   |
| <input checked="" type="checkbox"/> | Category B: Potential Historical Resource (over 45 years of age). GO TO STEP 4.                  |
| <input type="checkbox"/>            | Category C: Not a Historical Resource or Not Age Eligible (under 45 years of age). GO TO STEP 6. |

SAN FRANCISCO  
PLANNING DEPARTMENT 2/13/15

### STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT TO BE COMPLETED BY PROJECT PLANNER

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be subject to additional environmental review pursuant to CEQA.

#### PROPERTY INFORMATION/PROJECT DESCRIPTION

|  |                              |   |
|--|------------------------------|---|
| Project Address (If different than front page) |                              | Block/Lot(s) (If different than front page) |
|  |                              |   |
| Case No.                                       | Previous Building Permit No. | New Building Permit No.                     |
|  |                              |   |
| Plans Dated                                    | Previous Approval Action     | New Approval Action                         |
|  |                              |   |
| Modified Project Description:                  |                              |   |

#### DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project:

|                          |  |
|--------------------------|--|
| <input type="checkbox"/> | Result in expansion of the building envelope, as defined in the Planning Code;   |
| <input type="checkbox"/> | Result in the change of use that would require public notice under Planning Code Sections 311 or 312;  |
| <input type="checkbox"/> | Result in demolition as defined under Planning Code Section 317 or 19005(f)?   |
| <input type="checkbox"/> | Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption? |

If at least one of the above boxes is checked, further environmental review is required. GO TO STEP 6.

#### DETERMINATION OF NO SUBSTANTIAL MODIFICATION

If this box is checked, the proposed modifications are categorically exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice.

|               |                     |
|---------------|---------------------|
| Planner Name: | Signature or Stamp: |
|---------------|---------------------|

SAN FRANCISCO  
PLANNING DEPARTMENT 2/13/15

### STEP 4: PROPOSED WORK CHECKLIST TO BE COMPLETED BY PROJECT PLANNER

Check all that apply to the project.

|                          |   |
|--------------------------|---|
| <input type="checkbox"/> | 1. Change of use and new construction. Tenant improvements not included.  |
| <input type="checkbox"/> | 2. Regular maintenance or repair to correct or repair deterioration, decay, or damage to building.  |
| <input type="checkbox"/> | 3. Window replacement that meets the Department's Window Replacement Standards. Does not include storefront window alterations.   |
| <input type="checkbox"/> | 4. Garage work. A new opening that meets the Guidelines for Adding Garages and Curb Cuts, and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.  |
| <input type="checkbox"/> | 5. Deck, terrace construction, or fences not visible from any immediately adjacent public right-of-way.   |
| <input type="checkbox"/> | 6. Mechanical equipment installation that is not visible from any immediately adjacent public right-of-way.   |
| <input type="checkbox"/> | 7. Dormer installation that meets the requirements for exemption from public notification under Zoning Administrator Bulletin No. 3: Dormer Windows.  |
| <input type="checkbox"/> | 8. Addition(s) that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features. |

Note: Project Planner must check box below before proceeding.

|                                     |  |
|-------------------------------------|--|
| <input checked="" type="checkbox"/> | Project is not listed. GO TO STEP 5.                             |
| <input type="checkbox"/>            | Project does not conform to the scopes of work. GO TO STEP 5.    |
| <input type="checkbox"/>            | Project involves four or more work descriptions. GO TO STEP 5.   |
| <input type="checkbox"/>            | Project involves less than four work descriptions. GO TO STEP 6. |

### STEP 5: CEQA IMPACTS - ADVANCED HISTORICAL REVIEW TO BE COMPLETED BY PRESERVATION PLANNER

Check all that apply to the project.

|                          |   |
|--------------------------|---|
| <input type="checkbox"/> | 1. Project involves a known historical resource (CEQA Category A) as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.                       |
| <input type="checkbox"/> | 2. Interior alterations to publicly accessible spaces.  |
| <input type="checkbox"/> | 3. Window replacement of original/historic windows that are not "in-kind" but are consistent with existing historic character.  |
| <input type="checkbox"/> | 4. Facade/storefront alterations that do not remove, alter, or obscure character-defining features.   |
| <input type="checkbox"/> | 5. Raising the building in a manner that does not remove, alter, or obscure character-defining features.  |
| <input type="checkbox"/> | 6. Restoration based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.             |
| <input type="checkbox"/> | 7. Addition(s), including mechanical equipment that are minimally visible from a public right-of-way and meet the Secretary of the Interior's Standards for Rehabilitation. |

SAN FRANCISCO  
PLANNING DEPARTMENT 2/13/15

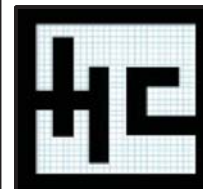


# SAN FRANCISCO PLANNING DEPARTMENT

## PRESERVATION TEAM REVIEW FORM

|   |   |
|---|---|
| Preservation Team Meeting Date:   | Form Completion: 3/30/2016  |
| PROJECT INFORMATION:  |   |
| Property:   | Address:  |
| Stephanie Cisneros  | 345 Rivera Street   |
| Block/Lot:  | City/Parcel:  |
| 2336/026A   | 14th Street   |
| Case No.:   | APR/Case No.:   |
| B   | N/A   |
| 2015-014892ENV  |   |
| PURPOSE OF REVIEW:  |   |
| <input checked="" type="checkbox"/> CEQA  | <input type="checkbox"/> Article 10/11  |
| <input type="checkbox"/> Preliminary/PIC  | <input type="checkbox"/> Alteration   |
| <input type="checkbox"/> Demo/New Construction  |   |
| DATE OF PLANS UNDER REVIEW: 08/07/2015  |   |
| PROJECT ISSUES:   |   |
| <input checked="" type="checkbox"/> Is the subject Property an eligible historic resource?  |   |
| <input type="checkbox"/> If so, are the proposed changes a significant impact?  |   |
| Additional Notes:   |   |
| Submitted: Supplemental Information for Historic Resource Determination prepared by Charles Cheng (dated 12/14/2015).   |   |
| Proposed Project: Proposed vertical addition to add (N) 3rd story to (E) 3-unit dwelling. Addition of (N) rooftop patio/deck at 3rd level. Renovation & remodel of (E) levels and front facade. |   |
| PRESERVATION TEAM REVIEW:   |   |
| Individual  | Historic District/Context   |
| Property is individually eligible for inclusion in a California Register under one or more of the following Criteria:   | Property is in an eligible California Register Historic District/Context under one or more of the following Criteria: |
| Criterion 1 - Event: <input type="radio"/> Yes <input checked="" type="radio"/> No  | Criterion 1 - Event: <input type="radio"/> Yes <input checked="" type="radio"/> No                                    |
| Criterion 2 - Persons: <input type="radio"/> Yes <input checked="" type="radio"/> No  | Criterion 2 - Persons: <input type="radio"/> Yes <input checked="" type="radio"/> No                                  |
| Criterion 3 - Architecture: <input type="radio"/> Yes <input checked="" type="radio"/> No   | Criterion 3 - Architecture: <input type="radio"/> Yes <input checked="" type="radio"/> No                             |
| Criterion 4 - Info. Potential: <input type="radio"/> Yes <input checked="" type="radio"/> No  | Criterion 4 - Info. Potential: <input type="radio"/> Yes <input checked="" type="radio"/> No                          |
| Period of Significance: _____   | Period of Significance: _____   |
| <input type="radio"/> Contributor   | <input type="radio"/> Non-Contributor   |

1800 Mission St.  
Suite 400  
San Francisco, CA 94103-3470  
Reception: 415.558.6378  
Fax: 415.558.6409  
Planning Information: 415.558.6377

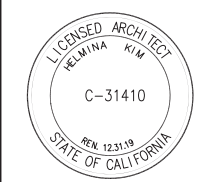


436 ROZZI PLACE, SOUTH  
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SEAL



NOTES/REVISIONS

△ NOPDR #1 05.10.2017  
△ NOPDR #2 01.16.2018

PROJECT

YIP' RESIDENCE

345 RIVERA STREET,  
SAN FRANCISCO, CA

SHEET TITLE

## CEQA CATEGORICAL EXEMPTION DETERMINATION

DATE: November 12, 2016  
JOB NO.: 15115  
SCALE: AS SHOWN  
DRAWN BY: CC  
SHEET NO.:

A0.2

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Green Building: Site Permit Submittal

BASIC INFORMATION:

These facts, plus the primary occupancy, determine which requirements apply. For details, see AB 093 Attachment A Table 1.

|  |   |                                |
|--|---|--------------------------------|
| Project Name<br>YIP RESIDENCE              | Block/Lot<br>2336 / 026A                    | Address<br>345 RIVERA STREET   |
| Gross Project Area<br>4,154                | Primary Occupancy<br>R-3 (2UNITS RESIDENCE) | Number of occupied floors<br>3 |
| Design Professional/Applicant: Sign & Date |   |                                |

| ALL PROJECTS, AS APPLICABLE  |   |
|--|---|
| Construction activity stormwater pollution prevention and site runoff controls: Provide a construction site Stormwater Pollution Prevention Plan and implement SFPUC Best Management Practices.  | ● |
| Stormwater Control Plan: Projects disturbing ≥5,000 sq ft in combined or separate sewer areas, or replacing ≥2,500 impervious sq ft in separate sewer area, must implement a Stormwater Control Plan meeting SFPUC Stormwater Management Requirements. | ● |
| NonPotable Water: New buildings ≥40,000 square feet must calculate a water budget. New buildings ≥250,000 sq ft must use available alternate water sources for toilet and urinal flushing and irrigation (SF Health Code 12C)                          | ● |
| Water Efficient Irrigation: Projects with ≥1,000 square feet of new or modified landscape must comply with the SFPUC Water Efficient Irrigation Ordinance.   | ● |
| Construction Waste Management – Comply with the San Francisco Construction & Demolition Debris Ordinance   | ● |
| Recycling by Occupants: Provide adequate space and equal access for storage, collection and loading of compostable, recyclable and landfill materials. See Administrative Bulletin 088 for details.  | ● |

| GREENPOINT RATED PROJECTS   |    |
|---|----|
| Proposing a GreenPoint Rated Project (Indicate at right by checking the box.)   |    |
| Base number of required Greenpoints:  | 75 |
| Adjustment for retention / demolition of historic features / building:  |    |
| Final number of required points (base number +/- adjustment)  |    |
| GreenPoint Rated (i.e. meets all prerequisites)   | ●  |
| Better Roofs: Buildings of 10 occupied floors or less must install photovoltaics or solar hot water systems in the 15% of roof area designated as Solar Ready per Title 24 Part 6 (2016). With Planning Department Approval, projects subject to SFPUC Stormwater Requirements may substitute living roof for all or a portion of solar energy systems. (See Planning Code Sec 149) | ●  |
| Energy Efficiency: Meet one GreenPoint Rated v7 energy compliance path. In homes with electric-only heating and water heating, installation of photovoltaics in compliance with San Francisco Better Roofs (above) may meet the All Electric path.  | ●  |
| Meet all California Green Building Standards Code requirements<br>CalGreen measures for residential projects have been integrated into the GreenPoint Rated system.   | ●  |

| LEED PROJECTS   |                                 |   |                               |                                      |   |                              |
|---|---------------------------------|---|-------------------------------|--------------------------------------|---|------------------------------|
|   | New Large Commercial            | New Low Rise Residential                    | New High Rise Residential     | Large First Time Commerical Interior | Commercial Major Alteration                 | Residential Major Alteration |
| Type of Project Proposed (Indicate at right)  |                                 |   |                               |                                      |   | X                            |
| Overall Requirements:   |                                 |   |                               |                                      |   |                              |
| LEED certification level (includes prerequisites):  | GOLD                            | SILVER                                      | SILVER                        | GOLD                                 | GOLD  | GOLD                         |
| Base number of required points:   | 60                              | 2   | 50                            | 60                                   | 60  | 60                           |
| Adjustment for retention / demolition of historic features / building:  |                                 |   |                               | n/a                                  |   |                              |
| Final number of required points (base number +/- adjustment)  |                                 |   |                               | 60                                   |   |                              |
| Specific Requirements: (n/r indicates a measure is not required)  |                                 |   |                               |                                      |   |                              |
| Construction Waste Management – 75% Diversion<br>AND comply with San Francisco Construction & Demolition Debris Ordinance - LEEDv4 MRc1, 2 points   | ●                               | ●   | ●                             | ●                                    | Meet C&D ordinance                          | ●                            |
| Energy Design<br>Comply with California Title-24 Part 6 (2016) and meet LEED minimum energy performance (LEEDv4 EA p2)  | ●                               | LEED prerequisite                           | ●                             | ●                                    | LEED prerequisite only                      |                              |
| Better Roofs: Buildings of 10 occupied floors or less must: Install photovoltaics or solar hot water systems in the 15% of roof area designated as Solar Ready Area per Title 24 Part 6 (2016). With Planning Department approval, projects subject to SFPUC Stormwater Requirements may substitute living roof for all or a portion of solar energy systems. (See Planning Code Sec 149) | ●                               | ●   | ●                             | n/r                                  | n/r   | n/r                          |
| Renewable Energy or Enhanced Energy Efficiency<br>Buildings of 11 or more occupied floors must: Generate renewable energy on-site ≥1% of total annual energy cost (LEEDv4 EA c5, 1 point), OR Demonstrate at least 10% energy use reduction compared to Title 24 Part 6 (2016), OR Purchase Green-E certified renewable energy credits for 50% of total electricity use (LEEDv4 EA c7).   | ●                               | n/r   | n/r                           | n/r                                  | n/r   | n/r                          |
| Enhanced Commissioning LEEDv4 EA c1   | ●                               | Meet LEED prerequisite                      |                               |                                      |   |                              |
| Water Use - 30% Reduction LEEDv4 WE c2, 2 points  | ●                               | Meet LEED prerequisite                      |                               |                                      |   |                              |
| Enhanced Refrigerant Management<br>CalGreen 5.508.1.2, may contribute to LEEDv4 EA c6   | CalGreen 5.508.1.2              | n/r   | n/r                           | CalGreen 5.508.1.2                   |   |                              |
| Indoor Air Quality Management Plan LEEDv4 IEQ c3  | ●                               | CalGreen 4.504.1                            | CalGreen 4.504.1              | CalGreen 5.504.3                     | CalGreen 5.504.3                            | CalGreen 4.504.1             |
| Low-Emitting Materials LEEDv4 IEQ c2, 3 points  | ●                               | ●   | ●                             | ●                                    | ●   | ●                            |
| Bicycle parking: Provide short-term and long-term bicycle parking for 5% of total motorized parking capacity each, or meet San Francisco Planning Code Sec 155, whichever is greater, or meet LEEDv4 LT c6.   | ●                               | See San Francisco Planning Code Section 155 |                               | ●                                    | See San Francisco Planning Code Section 155 |                              |
| Designated parking: Mark 8% of total parking stalls for low-emitting, fuel efficient, and carpool/van pool vehicles.  | ●                               |   |                               | ●                                    | n/r   | n/r                          |
| Wiring for Electric Vehicle Charging: Install electrical systems to provide power to EV chargers at number of spaces indicated. Installation of chargers is not required.   | 6% of spaces CalGreen 5.106.5.3 | 3% of spaces CalGreen 4.106.4               | 3% of spaces CalGreen 4.106.4 | 6% of spaces CalGreen 5.106.5.3      | n/r   | n/r                          |
| Water Meters: Provide submeters for spaces projected to consume more than 1,000 gal/day, or more than 100 gal/day if in building over 50,000 sq. ft.  | ●                               | n/r   | n/r                           | ●                                    | Addition only                               | n/r                          |
| Air Filtration: Provide at least MERV-8 filters in occupied spaces of mechanically ventilated buildings. LEEDv4 IEQ c3  | ●                               | n/r   | n/r                           | ●                                    | ●   | n/r                          |
| Air Filtration: Provide MERV-13 filters in residential buildings in air quality hot-spots. SF Health Code Article 38 and SF Building Code 1203.5.   | n/r                             | ●   | ●                             | n/r                                  | n/r   | ●                            |
| Acoustical Control: Wall and roof-ceilings STC 50, exterior windows STC 30, party walls and floor-ceilings STC 40.  | ●                               | See CBC 1207                                |                               | ●                                    | Envelope alteration & addition only         | n/r                          |

Instructions:

As part of application for site permit, this form acknowledges the specific green building requirements that apply to a project under San Francisco Green Building Code, California Title 24 Part 11, and related codes. Attachment GS2, GS3, GS4, or GS5 will be due with the applicable addendum. To use the form:

(a) Provide basic information about the project in the box at left. This info determines which green building requirements apply.

AND

(b) Indicate in one of the columns below which type of project is proposed. If applicable, fill in the blank lines below to identify the number of points the project must meet or exceed. A LEED or GreenPoint checklist is not required to be submitted with the site permit application, but using such tools as early as possible is strongly recommended.

Solid circles or code references indicate measures required by state and local codes. For projects applying LEED or GreenPoint Rated, prerequisites of those systems are mandatory. See relevant codes for details.

| OTHER APPLICABLE NON-RESIDENTIAL PROJECTS   |                           |  |
|---|---------------------------|--|
| Requirements below only apply when the measure is applicable to the project. Code references below are applicable to New Non-Residential buildings. Corresponding requirements for additions and alterations can be found in Title 24 Part 11, Division 5.7.  | Other New Non-Residential | Addition ≥1,000 sq ft OR Alteration ≥\$200,000 |
| Type of Project Proposed (Check box if applicable)  |                           |  |
| Energy: Comply with California Energy Code (Title 24 Part 6 2016)   | ●                         | ●  |
| Better Roofs: Buildings of 10 occupied floors or less must: Install photovoltaics or solar hot water systems in the 15% of roof area designated as Solar Ready Area per Title 24 Part 6 (2016). With Planning Department approval, projects subject to SFPUC Stormwater Requirements may substitute living roof for all or a portion of solar energy systems. (See Planning Code Sec 149)   | ●                         |  |
| Bicycle parking: Provide short- and long-term bicycle parking for 5% of motorized parking capacity, or San Francisco Planning Code Sec 155, whichever is greater.   | ●                         | ●  |
| Wiring for Electric Vehicle Charging: Prepare electrical systems for future installation of EV chargers at 6% of parking spaces. See CalGreen 5.106.5.3   | ●                         |  |
| Fuel efficient vehicle and carpool parking: Designate and mark 8% of parking stalls for low-emitting, fuel efficient, and carpool/van pool vehicles.  | ●                         | ●  |
| Water Meters: Provide submeters for spaces projected to consume >1,000 gal/day, or >100 gal/day if in buildings over 50,000 sq. ft.   | ●                         | Addition only                                  |
| Indoor Water Conservation: All water leaks must be repaired, and all plumbing fixtures not compliant with SFBC 13A must meet current California Plumbing Code.  | ●                         | ●  |
| Commissioning: For new buildings greater than 10,000 square feet, commissioning shall be included in the design and construction of the project to verify that the building systems and components meet the owner's project requirements.<br>OR for buildings less than 10,000 square feet, testing and adjusting of systems is required.   | ●                         | ●<br>(Testing & Balancing)                     |
| Protect duct openings and mechanical equipment during construction  | ●                         | ●  |
| Adhesives, sealants, and caulks: Comply with VOC limits in SCAQMD Rule 1168 VOC limits and California Code of Regulations Title 17 for aerosol adhesives.   | ●                         | ●  |
| Paints and coatings: Comply with VOC limits in the Air Resources Board Architectural Coatings Suggested Control Measure and California Code of Regulations Title 17 for aerosol paints.   | ●                         | ●  |
| Carpet: All carpet must meet one of the following:<br>1. Carpet and Rug Institute Green Label Plus Program,<br>2. California Department of Public Health Standard Practice for the testing of VOCs (Specification 01350),<br>3. NSF/ANSI 140 at the Gold level,<br>4. Scientific Certifications Systems Sustainable Choice, OR<br>5. California Collaborative for High Performance Schools EQ 2.2 and listed in the CHPS High Performance Product Database<br>AND carpet cushion must meet Carpet and Rug Institute Green Label, AND indoor carpet adhesive & carpet pad adhesive must not exceed 50 g/L VOC content. | ●                         | ●  |
| Composite wood: Meet CARB Air Toxics Control Measure for Composite Wood   | ●                         | ●  |
| Resilient flooring systems: For 80% of floor area receiving resilient flooring, install resilient flooring complying with the VOC-emission limits defined in the 2009 Collaborative for High Performance Schools (CHPS) criteria or certified under the Resilient Floor Covering Institute (RFCI) FloorScore program.   | ●                         | ●  |
| Environmental Tobacco Smoke: Prohibit smoking within 25 feet of building entries, outdoor air intakes, and operable windows.  | ●                         | ●  |
| Air Filtration: Provide at least MERV-8 filters in regularly occupied spaces of mechanically ventilated buildings.  | ●                         | ●  |
| Acoustical Control: Wall and roof-ceilings STC 50, exterior windows STC 30, party walls and floor-ceilings STC 40.  | ●                         | ●<br>(envelope alteration & addition only)     |
| CFCs and Halons: Do not install equipment that contains CFCs or Halons.   | ●                         | ●  |

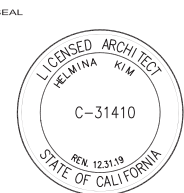
Notes

- 1) New residential projects of 4 or more occupied floors must use the "New Residential High-Rise" column. New residential with 3 or fewer occupied floors must use the "New Residential Low Rise" column.
- 2) LEED for Homes Mid-Rise projects must meet the "Silver" standard, including all prerequisites. The number of points required to achieve Silver depends on unit size. See LEED for Homes Mid-Rise Rating System to confirm the base number of points required.



436 ROZZI PLACE, SOUTH  
SAN FRANCISCO, CA 94080  
TEL: 415-373-2999  
E-MAIL: charles@HCDesignbuild.com

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NOTES/REVISIONS

- △ NOPDR #1 05.10.2017  
△ NOPDR #2 01.16.2018

PROJECT

YIP' RESIDENCE

345 RIVERA STREET,  
SAN FRANCISCO, CA

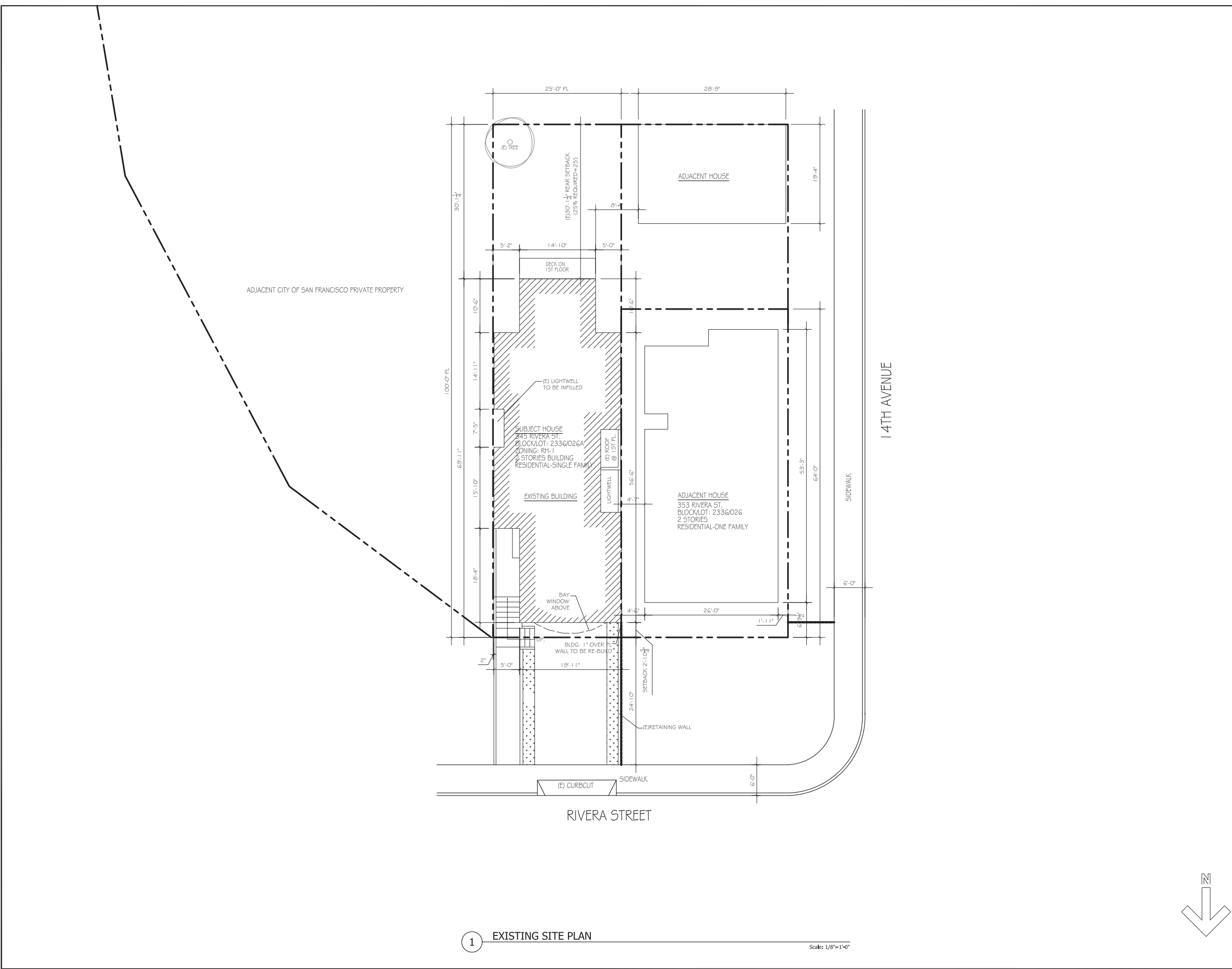
SHEET TITLE

GREEN BUILDING  
SITE PERMIT  
SUBMITTAL

DATE November 12, 2016  
SCALE AS SHOWN  
SHEET NO. CC

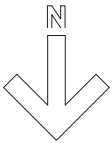
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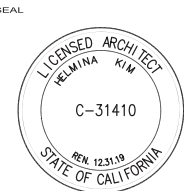
1 EXISTING SITE PLAN

Scale: 1/8"=1'-0"



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| NOTES/REVISIONS |                     |
|-----------------|---------------------|
| △               | NOPDR #1 05.10.2017 |
| △               | NOPDR #2 01.16.2018 |
| △               | NOPDR #2 01.29.2018 |
| △               | NOPDR #3 02.26.2018 |
|                 |                     |
|                 |                     |
|                 |                     |
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|                 |                     |
|                 |                     |

| PROJECT                                 |  |
|---|--|
| YIP' RESIDENCE                          |  |
| 345 RIVERA STREET,<br>SAN FRANCISCO, CA |  |

| SHEET TITLE           |  |
|-----------------------|--|
| EXISTING<br>SITE PLAN |  |

|                   |          |
|-------------------|----------|
| DATE              | JOB NO.  |
| November 12, 2016 | 15115    |
| SCALE             | DRAWN BY |
| AS SHOWN          | CC       |

SHEET NO.

A1.0

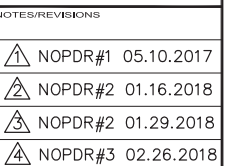
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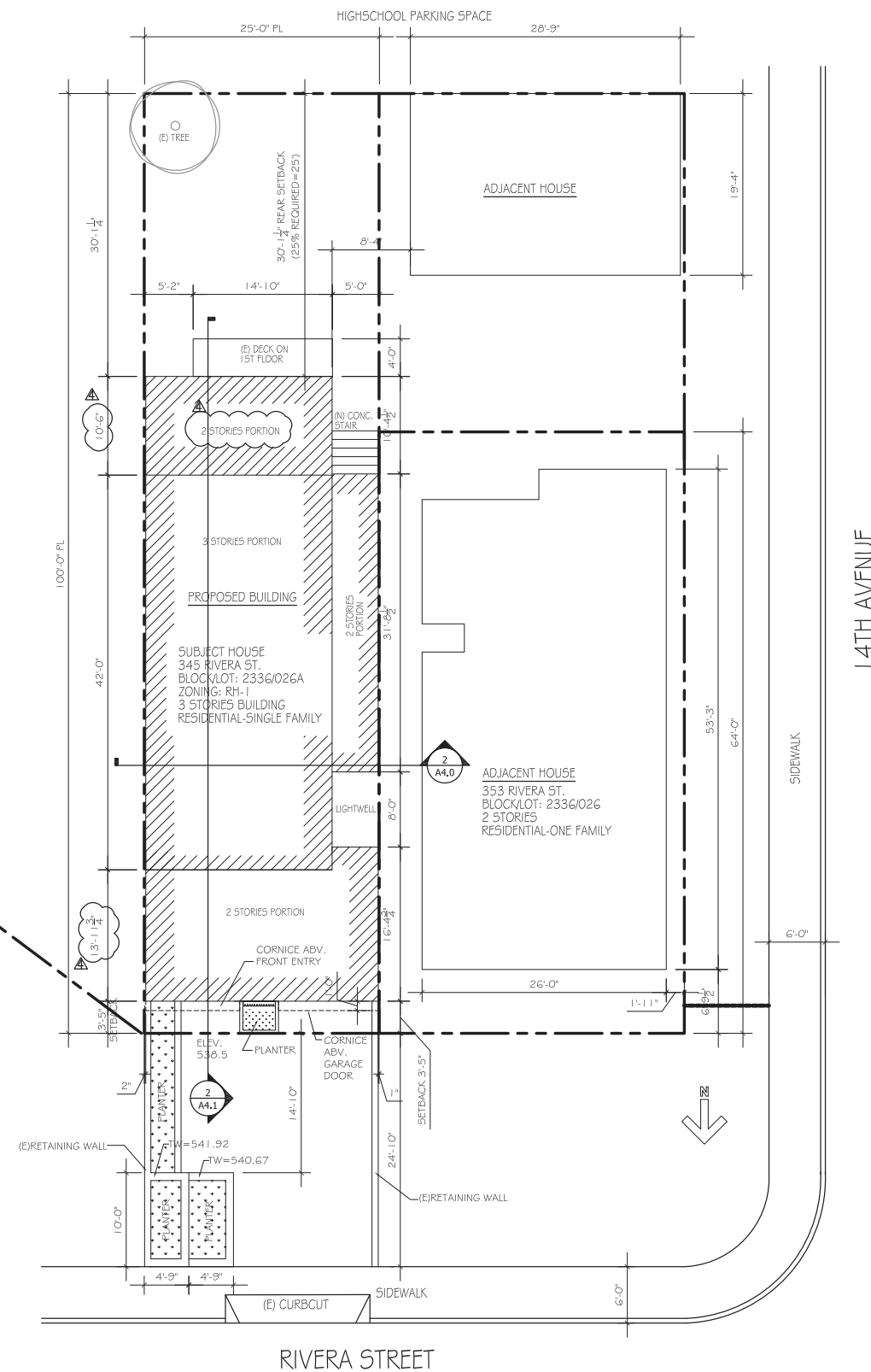
PROJECT  
YIP' RESIDENCE  
  
345 RIVERA STREET,  
SAN FRANCISCO, CA

SHEET TITLE

PROPOSED  
SITE PLAN

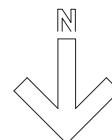
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|-------------------|----------|
| DATE              | JOB NO.  |
| November 12, 2016 | 15115    |
| SCALE             | DRAWN BY |
| AS SHOWN          | CC       |
| SHEET NO.         |          |

## A1.1

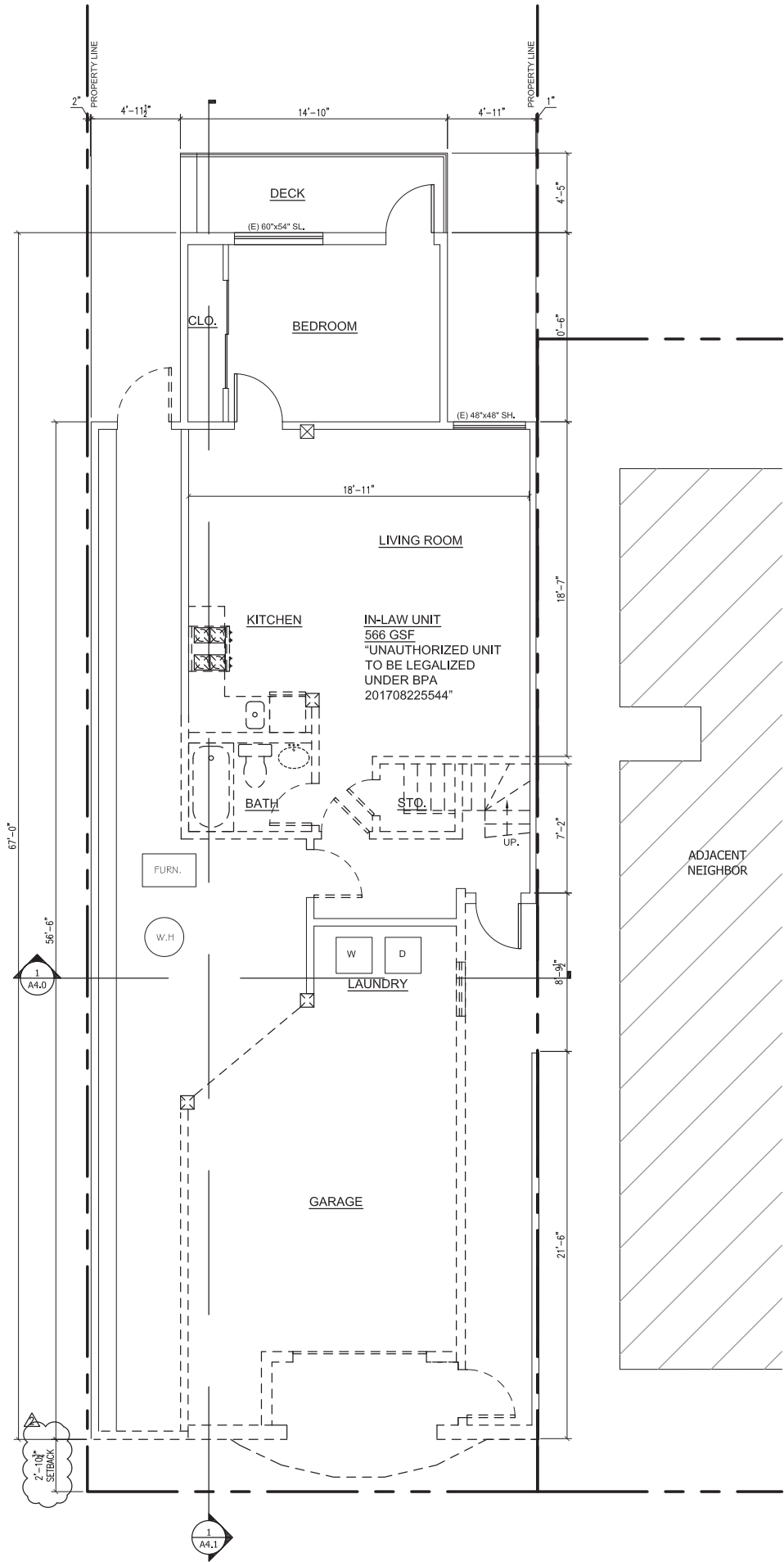


## 1 PROPOSED SITE PLAN

Scale: 1/8"=1'-0"

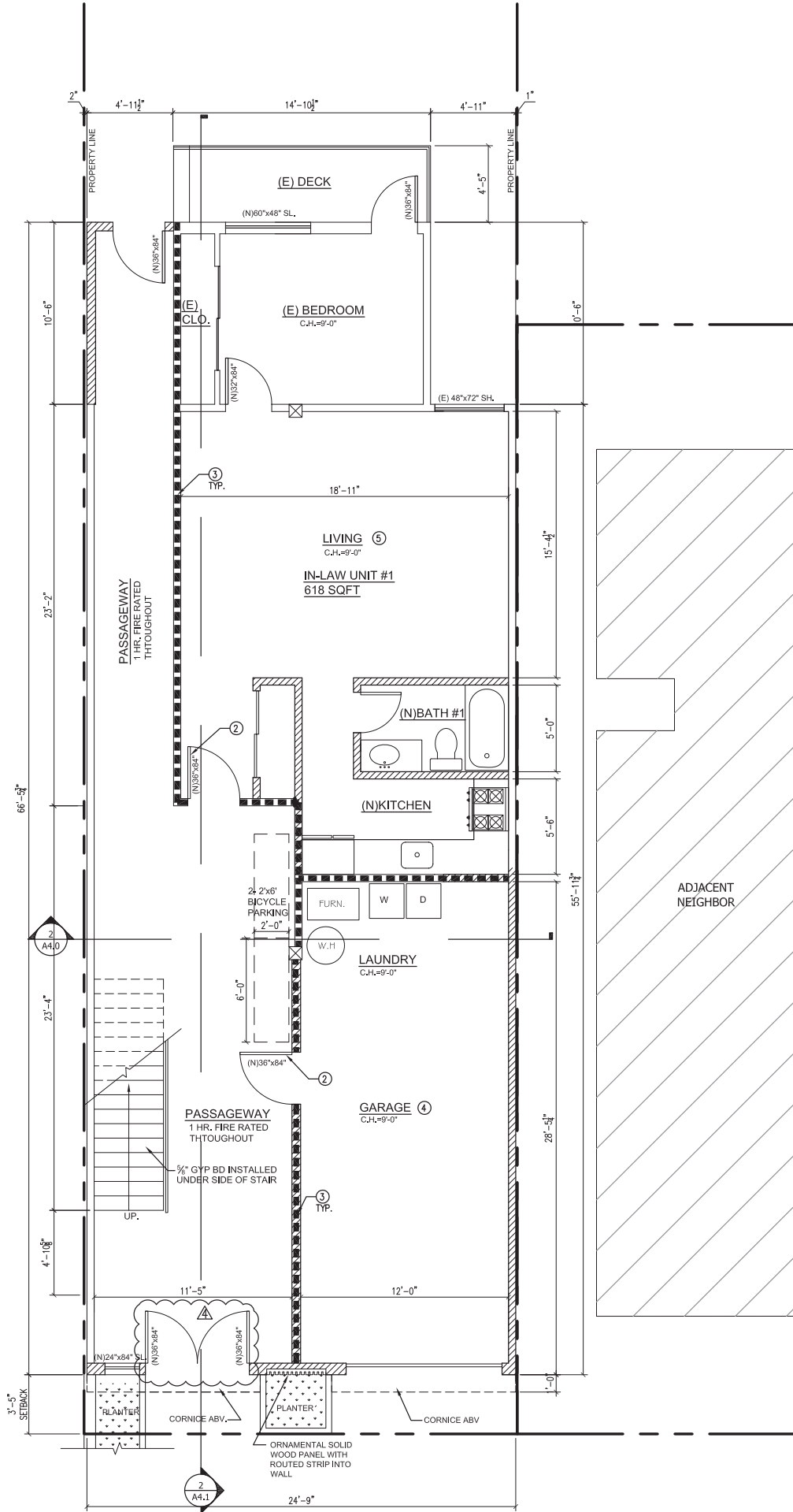






1 EXISTING 1ST FLOOR PLAN

Scale: 1/4"=1'-0"



2 PROPOSED 1ST FLOOR PLAN

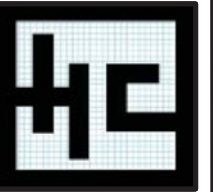
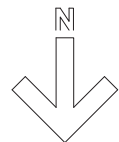
Scale: 1/4"=1'-0"

ARCHITECTURE KEY NOTE:

- 1 BEDROOM EGRESS WINDOWS MUST HAVE A MINIMUM CLEAR OPENING OF 5.7 SQUARE FEET AND HAVE A MINIMUM CLEAR OPERABLE WIDTH OF 20" AND A MINIMUM CLEAR OPERABLE HEIGHT OF 24". THE MAXIMUM SILL HEIGHT IS 44" FROM FLOOR TO WINDOW OPENING.
- 2 PROVIDE (N) 45 MIN. FIRE RATED, TIGHT-FITTING 1 3/8" SOLID CORE DOOR WITH A SELF-CLOSING AND SELF LATCHING,
- 3 PROVIDE 1 LAYER OF 5/8" TYPE "X" GYP. BD. ON EACH SIDE OF 2X WOOD STUD WALL PER 2016 CRC R302.6
- 4 PROVIDE 5/8" TYPE X GYP. BD. & R19 INSULATION ON GARAGE CEILING SEPARATE LIVING AREA
- 5 PROVIDE 1 HOUR FIRE RATED CEILING ASSEMBLY (2 LAYERS 5/8" TYPE X GYP. BD./ EQV.) & R19 INSULATION ON CEILING SEPARATION BETWEEN DWELLING UNITS.

LEGEND

- EXISTING WALL SHALL REMAIN
- REMOVE EXISTING WALL
- EXISTING CONCRETE WALL
- NEW WALL
- NEW ONE HOUR WALL ASSEMBLY



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SEAL



NOTES/REVISIONS

- |   |          |            |
|---|----------|------------|
| 1 | NOPDR #1 | 05.10.2017 |
| 2 | NOPDR #2 | 01.16.2018 |
| 3 | NOPDR #2 | 01.29.2018 |
| 4 | NOPDR #3 | 02.26.2018 |

PROJECT

YIP' RESIDENCE

345 RIVERA STREET,  
SAN FRANCISCO, CA

SHEET TITLE

EXISTING  
1ST FLOOR PLAN  
& PROPOSED  
1ST FLOOR PLAN

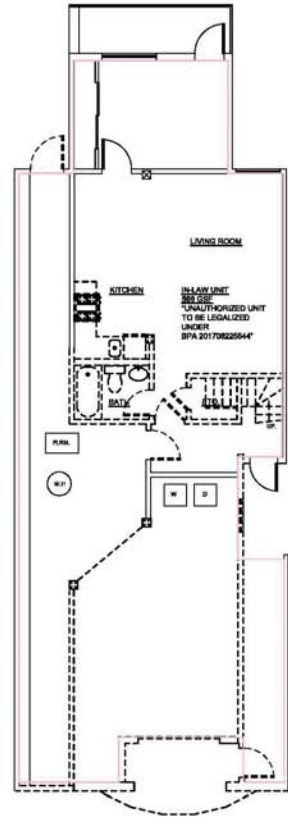
DATE November 12, 2016  
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JOB NO. 15115  
DRAWN BY CC

SHEET NO.

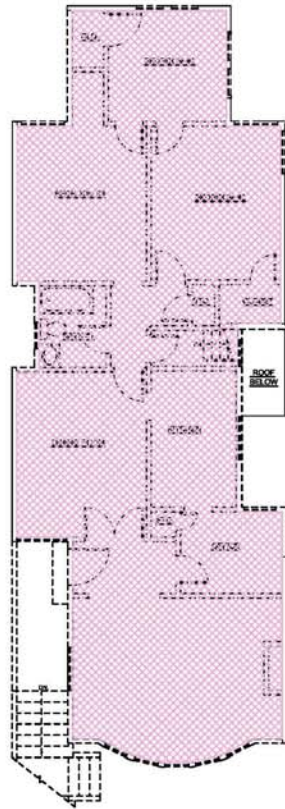
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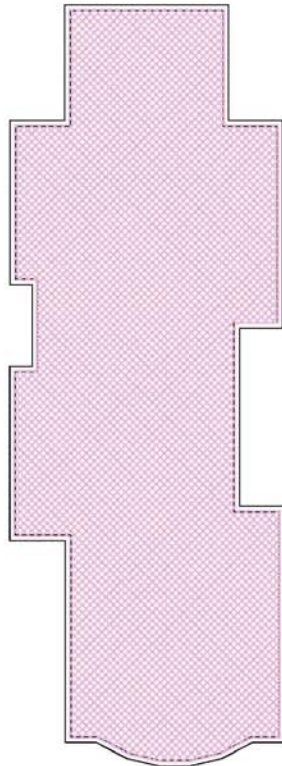




1 EXISTING / DEMO 1ST FLOOR PLAN  
Scale: 1/8"=1'-0"



2 EXISTING / DEMO 2ND FLOOR PLAN  
Scale: 1/8"=1'-0"



3 EXISTING / DEMO ROOF PLAN  
Scale: 1/8"=1'-0"

| WALL DEMOLITION CALCULATION (LINEAR FOOTAGE MEASUREMENT) |                |   |           |
|--|----------------|---|-----------|
| ELEMENT  | (E)LENGTH (LF) | WALL REMOVED (LF)<br>(MEASURED AT FOUNDATION LEVEL) | % REMOVED |
| FRONT FACADE   | 24'-9"         | 24'-9"  | 100%      |
| REAR FACADE  | 24'-9"         | 8'-0"   | 32.3%     |
| TOTALS FRONT & REAR                                      | 49'-6"         | 32'-9"  | 66%       |

TOTAL FRONT & REAR ELEMENTS TO BE REMOVED = 66% > 50%MAX ✓

|                    |         |             |       |
|--------------------|---------|-------------|-------|
| LEFT FACADE        | 67'-0"  | 11'-1 1/4"  | 16.5% |
| RIGHT FACADE       | 67'-0"  | 6'-1/4"     | 0.8%  |
| TOTAL LEFT & RIGHT | 134'-0" | 17'-1 1/2"  | 17.3% |
| TOTALS ALL SIDES   | 183'-6" | 49'-10 1/2" | 27%   |

TOTAL ALL SIDES ELEMENTS TO BE REMOVED = 27% < 65%MAX ✗

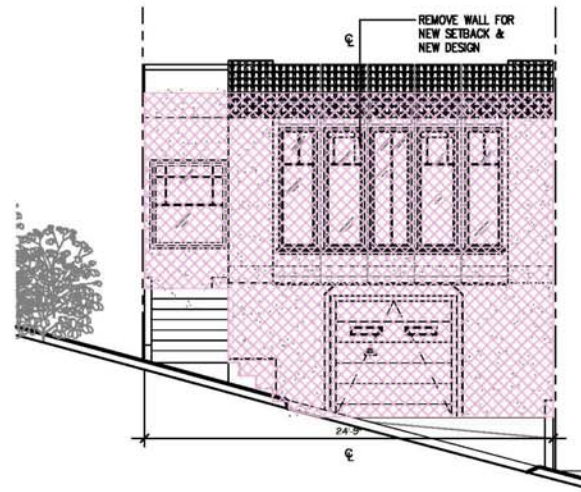
| WALL DEMOLITION CALCULATION (AREA MEASUREMENT) |             |                     |           |
|--|-------------|---------------------|-----------|
| VERTICAL ELEMENT                               | AREA (SQFT) | AREA REMOVED (SQFT) | % REMOVED |
| FRONT FACADE                                   | 438.3       | 438.3               | 100%      |
| REAR FACADE                                    | 487         | 198.5               | 40.7%     |
| LEFT FACADE                                    | 1264.6      | 477.3               | 37.7%     |
| RIGHT FACADE                                   | 1191.5      | 325.2               | 27.2%     |
| TOTALS   | 3381.4      | 1439.3              | 42.5%     |

TOTAL VERTICAL ELEMENTS TO BE REMOVED = 42.5% < 50%MAX ✗

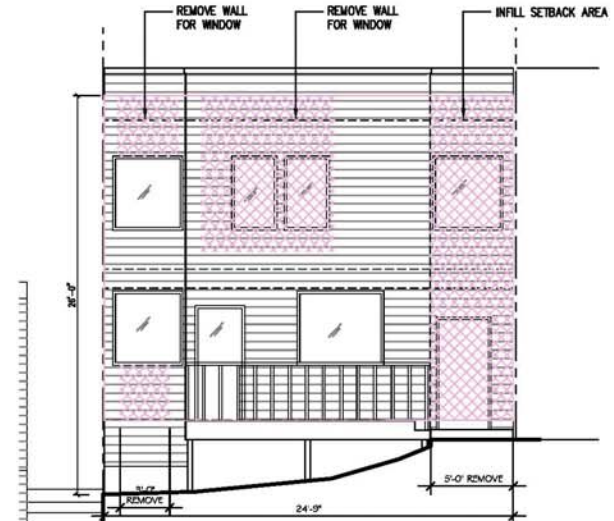
| FLOOR DEMOLITION CALCULATION (AREA MEASUREMENT) |                          |                     |           |
|---|--------------------------|---------------------|-----------|
| HORIZONTAL ELEMENT                              | AREA (SQFT)              | AREA REMOVED (SQFT) | % REMOVED |
| 1ST FLOOR                                       | GROUND FLOOR NOT COUNTED |                     |           |
| 2ND FLOOR                                       | 1327.1                   | 1327.1              | 100%      |
| ROOF  | 1327.1                   | 1327.1              | 100%      |
| TOTALS  | 2654.2                   | 2654.2              | 100%      |

TOTAL HORIZONTAL ELEMENTS TO BE REMOVED = 100% > 50%MAX ✓

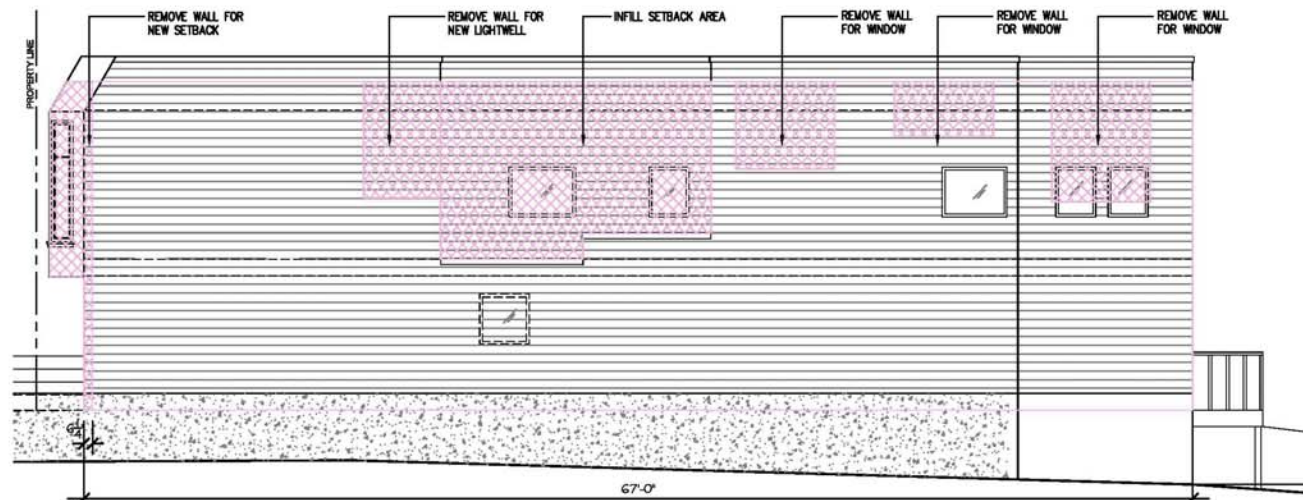
LEGEND



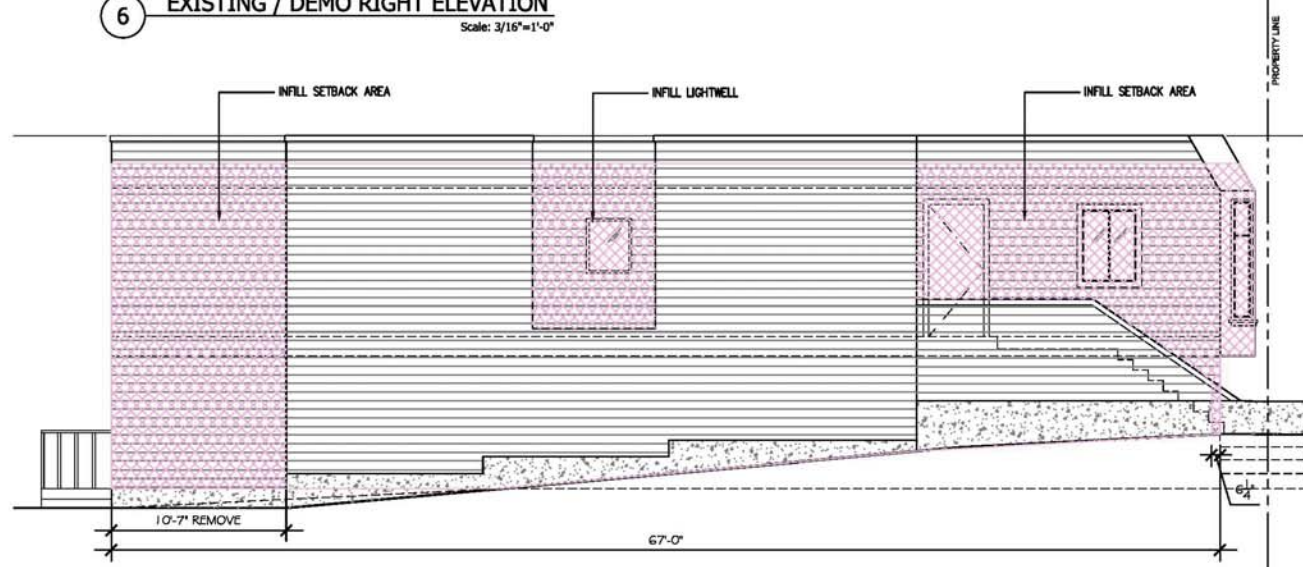
4 EXISTING / DEMO FRONT ELEVATION  
Scale: 3/16"=1'-0"



5 EXISTING / DEMO REAR ELEVATION  
Scale: 3/16"=1'-0"



6 EXISTING / DEMO RIGHT ELEVATION  
Scale: 3/16"=1'-0"



7 EXISTING / DEMO LEFT ELEVATION  
Scale: 3/16"=1'-0"



436 ROZZI PLACE, SOUTH  
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SEAL



NOTES/REVISIONS

- 1 NOPDR#1 05.10.2017
- 2 NOPDR#2 01.16.2018
- 3 NOPDR#2 01.29.2018

PROJECT

YIP' RESIDENCE

345 RIVERA STREET,  
SAN FRANCISCO, CA

SHEET TITLE

DEMOLITION  
CALCULATION &  
DIAGRAM

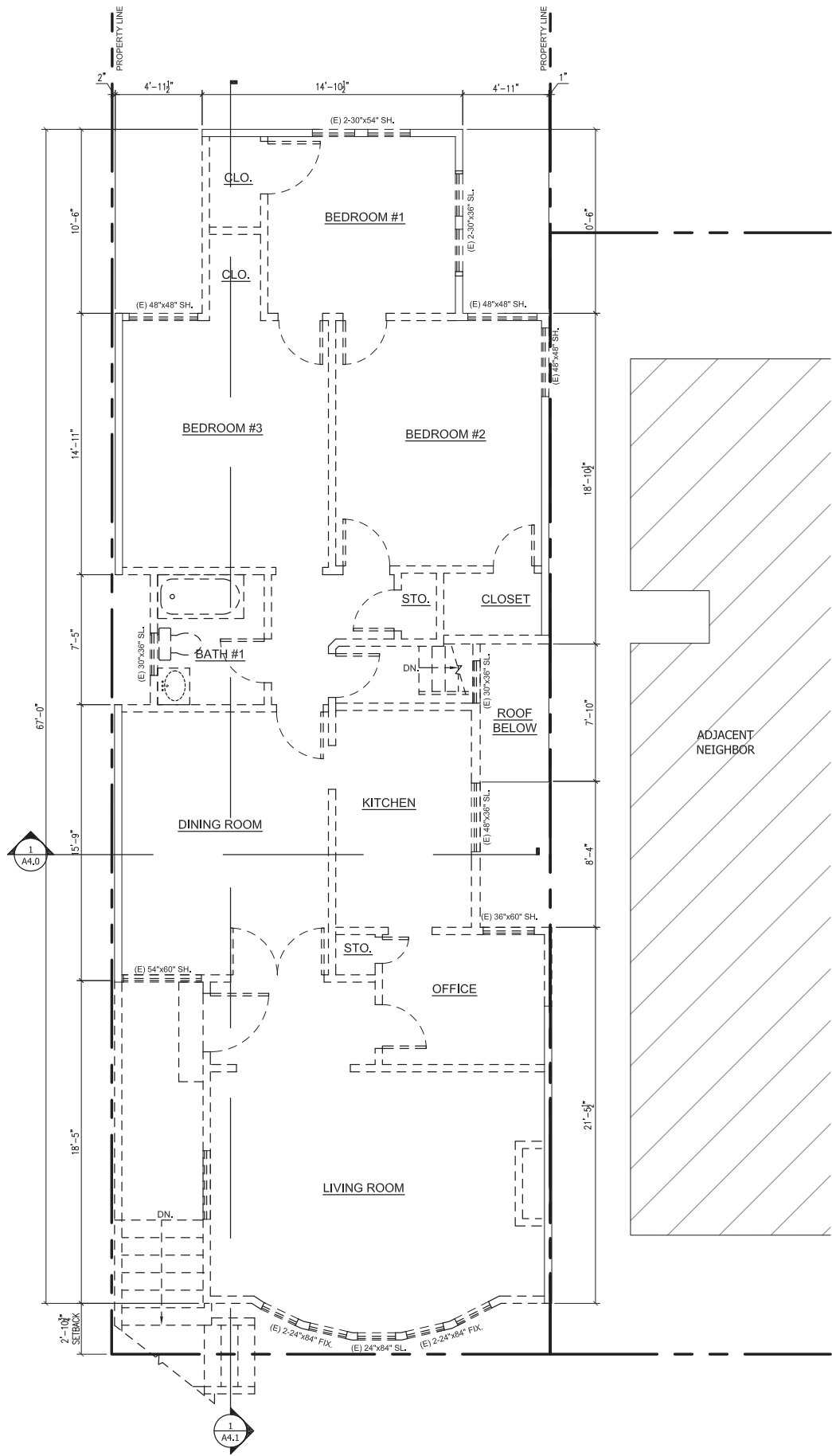
DATE: November 12, 2016 JOB NO: 15115

SCALE: AS SHOWN DRAWN BY: CC

SHEET NO.

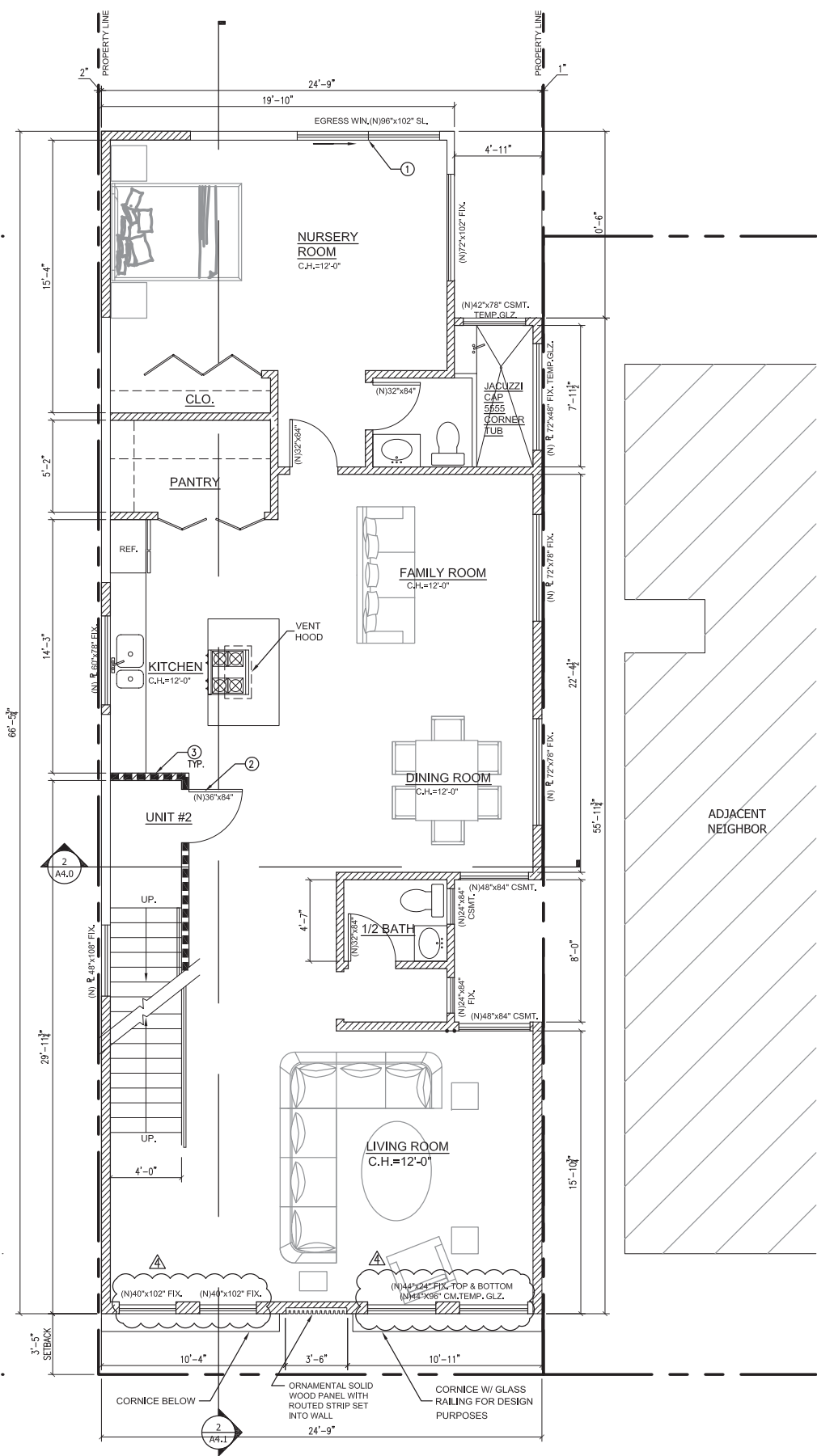
A1.2





1 EXISTING 2ND FLOOR PLAN

Scale: 1/4"=1'-0"



2 PROPOSED 2ND FLOOR PLAN

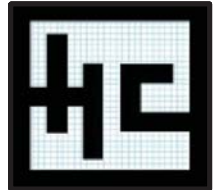
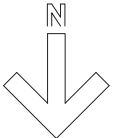
Scale: 1/4"=1'-0"

ARCHITECTURE KEY NOTE:

- BEDROOM EGRESS WINDOWS MUST HAVE A MINIMUM CLEAR OPENING OF 5.7 SQUARE FEET AND HAVE A MINIMUM CLEAR OPERABLE WIDTH OF 20" AND A MINIMUM CLEAR OPERABLE HEIGHT OF 24". THE MAXIMUM SILL HEIGHT IS 44" FROM FLOOR TO WINDOW OPENING.
- PROVIDE (N) 45 MIN. FIRE RATED, TIGHT-FITTING 1 3/8" SOLID CORE DOOR WITH A SELF-CLOSING AND SELF LATCHING,
- PROVIDE 1 LAYER OF 5/8" TYPE "X" GYP. BD. ON EACH SIDE OF 2X WOOD STUD WALL. PER 2016 CRC R302.6

LEGEND

- EXISTING WALL SHALL REMAIN
- REMOVE EXISTING WALL
- EXISTING CONCRETE WALL
- NEW WALL
- NEW ONE HOUR WALL ASSEMBLY



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| NOTES/REVISIONS |                     |
|-----------------|---------------------|
| 1               | NOPDR #1 05.10.2017 |
| 2               | NOPDR #2 01.16.2018 |
| 3               | NOPDR #2 01.29.2018 |
| 4               | NOPDR #3 02.26.2018 |

PROJECT  
YIP' RESIDENCE

345 RIVERA STREET,  
SAN FRANCISCO, CA

SHEET TITLE

EXISTING 2ND  
FLOOR PLAN &  
PROPOSED 2ND  
FLOOR PLAN

DATE: November 12, 2016  
SCALE: AS SHOWN  
JOB NO.: 15115  
DRAWN BY: CC

SHEET NO.

A2.1

IF THIS SHEET IS NOT 24"x36", IT IS A REDUCED PRINT - SCALE ACCORDINGLY

ARCHITECTURE KEY NOTE:

① BEDROOM EGRESS WINDOWS MUST HAVE A MINIMUM CLEAR OPENING OF 5.7 SQUARE FEET AND HAVE A MINIMUM CLEAR OPERABLE WIDTH OF 20" AND A MINIMUM CLEAR OPERABLE HEIGHT OF 24". THE MAXIMUM SILL HEIGHT IS 44" FROM FLOOR TO WINDOW OPENING.

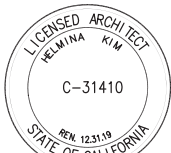


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SEAL



NOTES/REVISIONS

|   |          |            |
|---|----------|------------|
| △ | NOPDR #1 | 05.10.2017 |
| △ | NOPDR #2 | 01.16.2018 |
| △ | NOPDR #2 | 01.29.2018 |
| △ | NOPDR #3 | 02.26.2018 |

PROJECT

YIP' RESIDENCE

345 RIVERA STREET,  
SAN FRANCISCO, CA

SHEET TITLE

PROPOSED 3RD  
FLOOR PLAN &  
PROPOSED ROOF  
PLAN

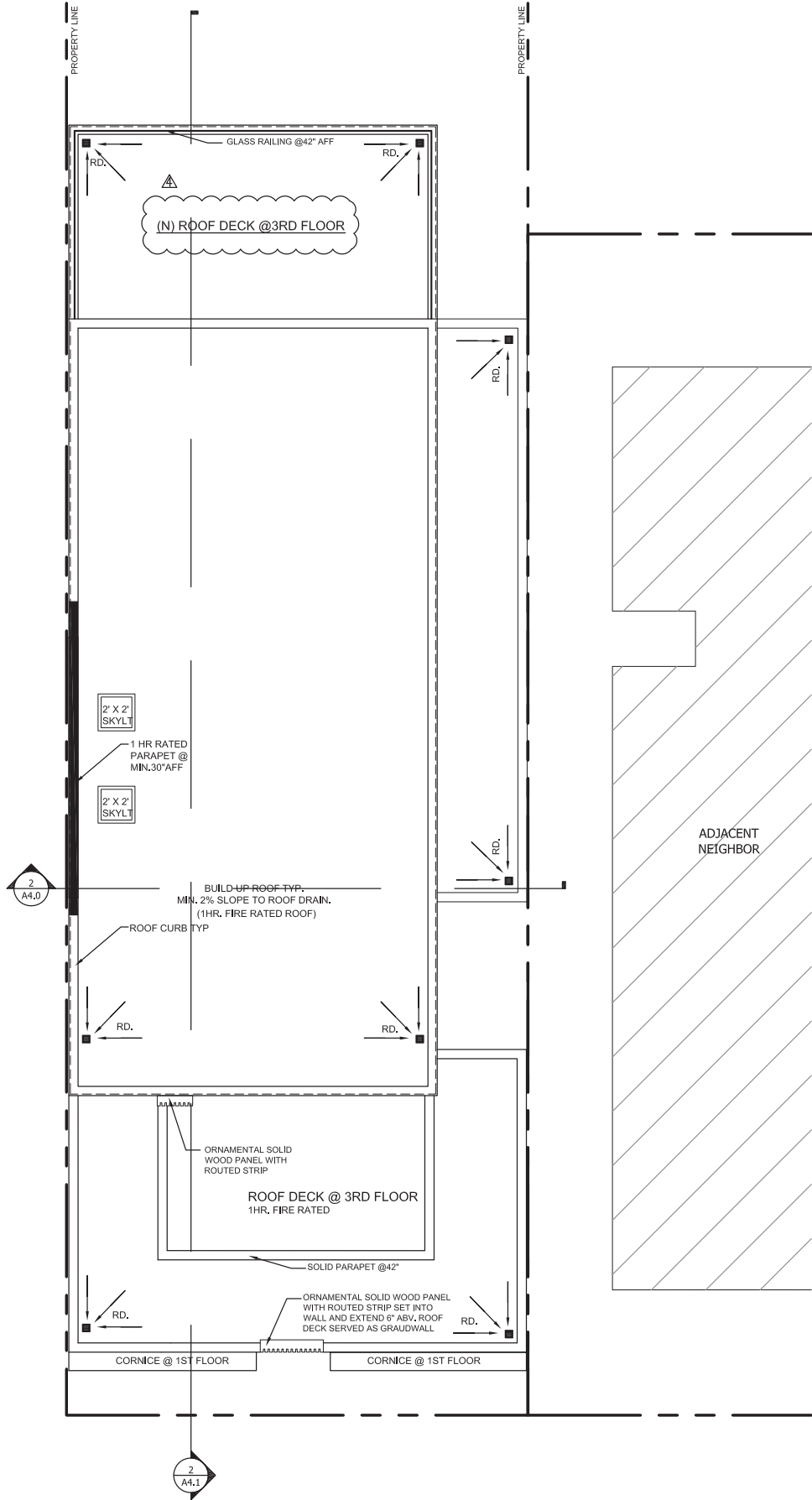
DATE: November 12, 2016  
SCALE: AS SHOWN  
JOB NO: 15115  
DRAWN BY: CC

SHEET NO.

A2.2

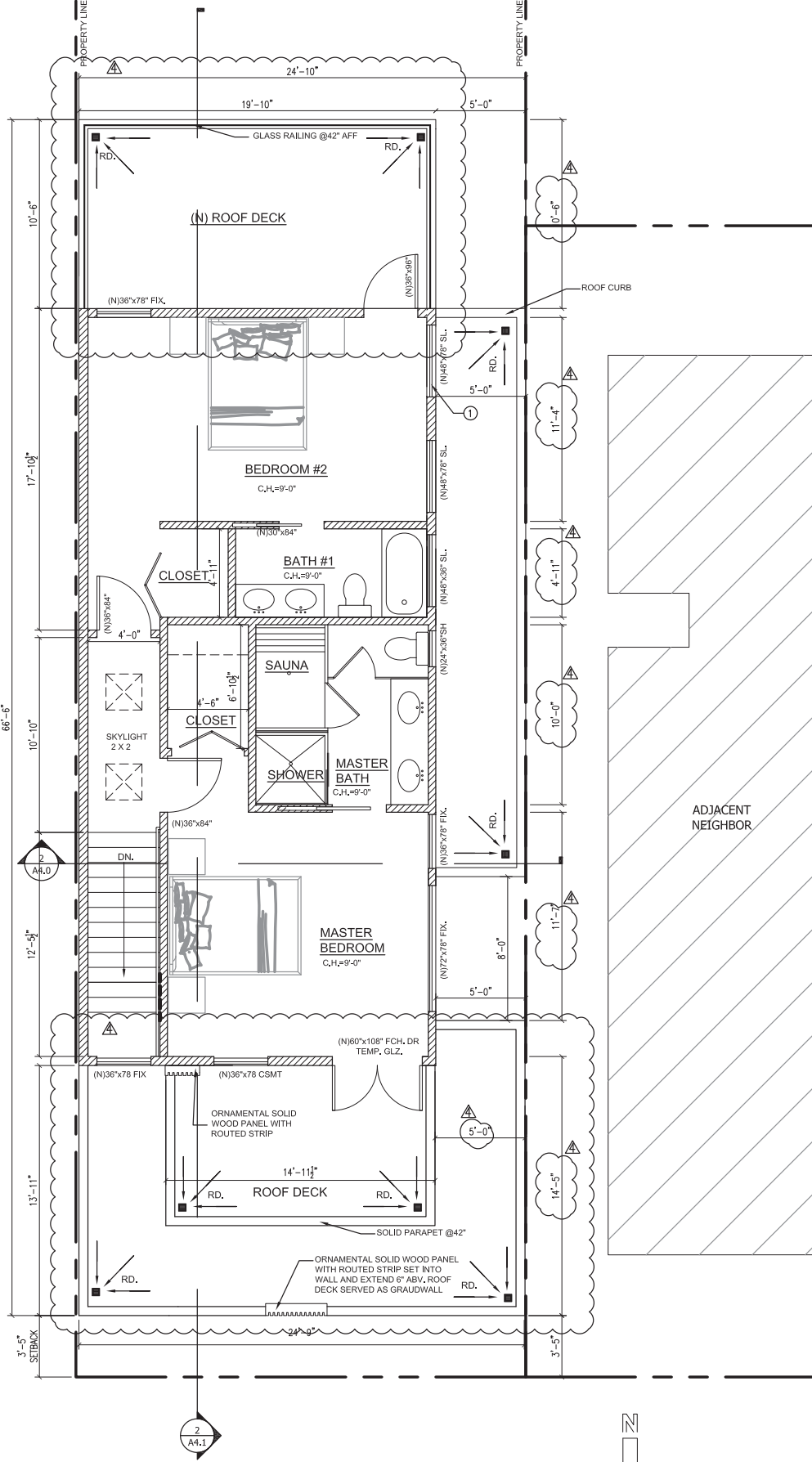
LEGEND

|  |                            |
|--|----------------------------|
|  | EXISTING WALL SHALL REMAIN |
|  | REMOVE EXISTING WALL       |
|  | EXISTING CONCRETE WALL     |
|  | NEW WALL                   |
|  | NEW ONE HOUR WALL ASSEMBLY |



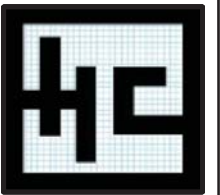
1 PROPOSED ROOF PLAN

Scale: 1/4"=1'-0"



2 PROPOSED 3RD FLOOR PLAN

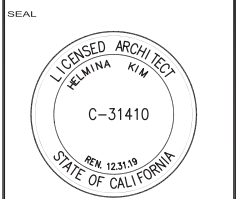
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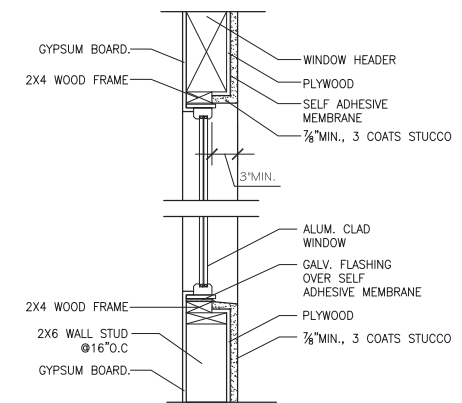
| NOTES/REVISIONS |                     |
|-----------------|---------------------|
| 1               | NOPDR #1 05.10.2017 |
| 2               | NOPDR #2 01.16.2018 |
| 3               | NOPDR #2 01.29.2018 |
| 4               | NOPDR #3 02.26.2018 |

PROJECT  
YIP' RESIDENCE  
  
345 RIVERA STREET,  
SAN FRANCISCO, CA

SHEET TITLE  
  
EXISTING &  
PROPOSED  
FRONT (NORTH)  
ELEVATIONS

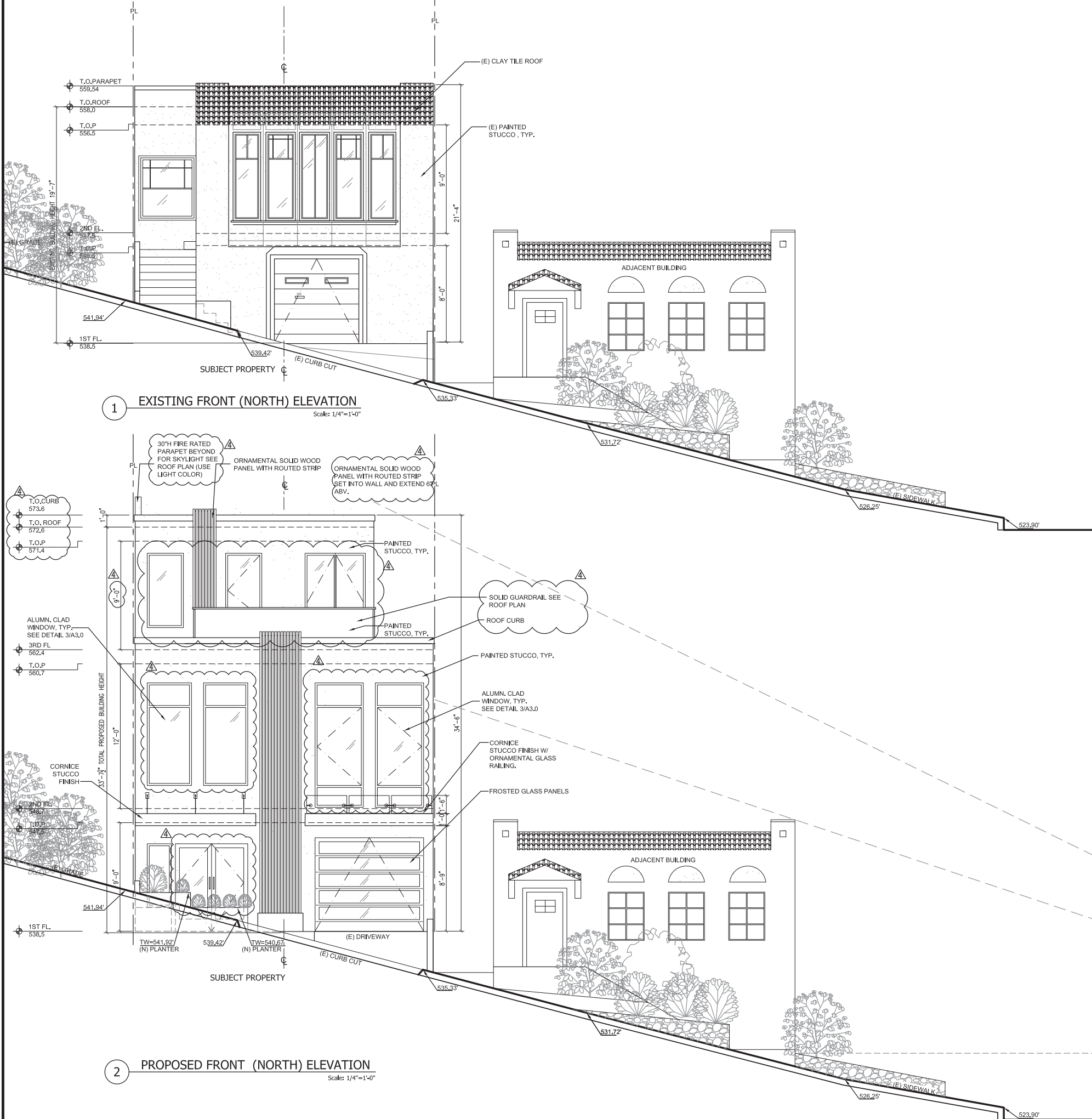
DATE: November 12, 2016  
SCALE: AS SHOWN  
JOB NO: 15115  
DRAWN BY: CC

A3.0



3 WINDOW DETAIL

Scale: 1/4"=1'-0"



1 EXISTING FRONT (NORTH) ELEVATION

Scale: 1/4"=1'-0"

2 PROPOSED FRONT (NORTH) ELEVATION

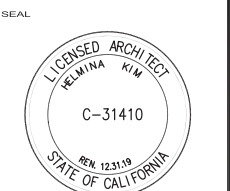
Scale: 1/4"=1'-0"

14TH AVE



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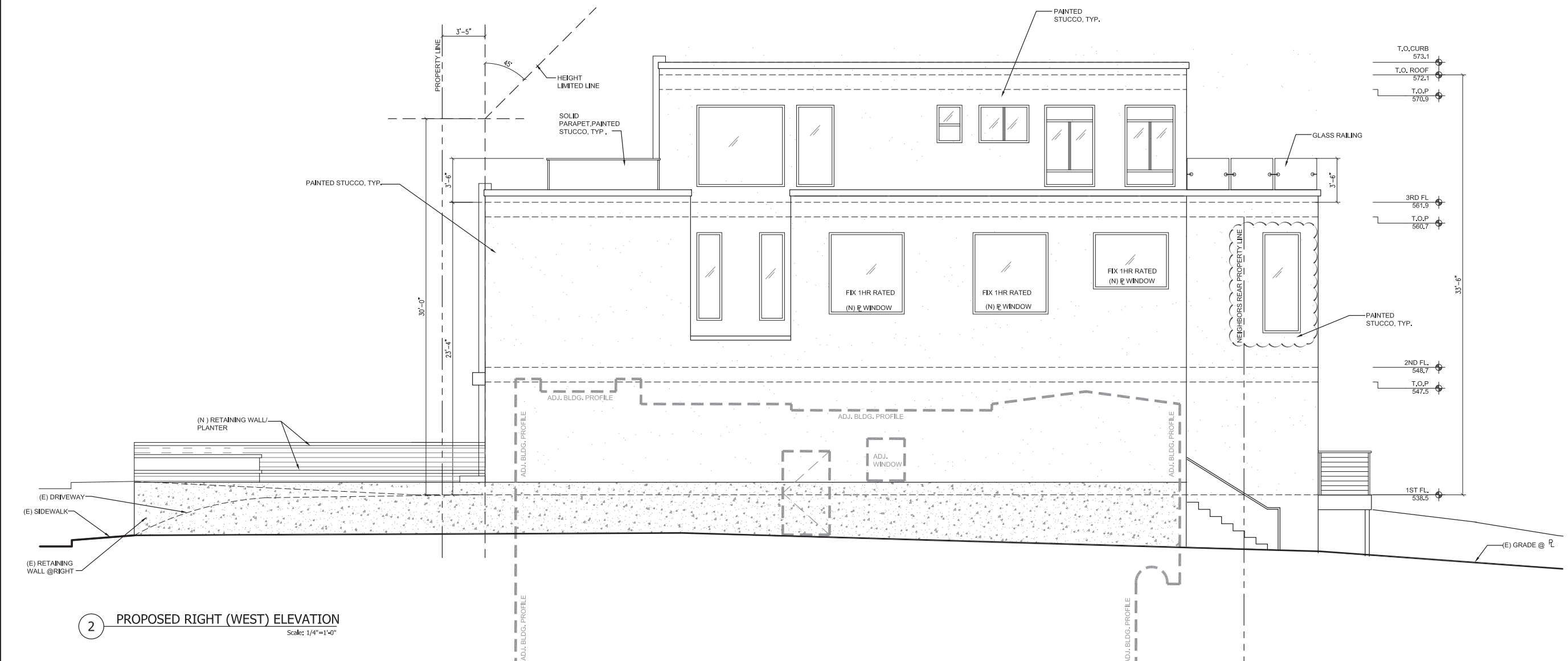
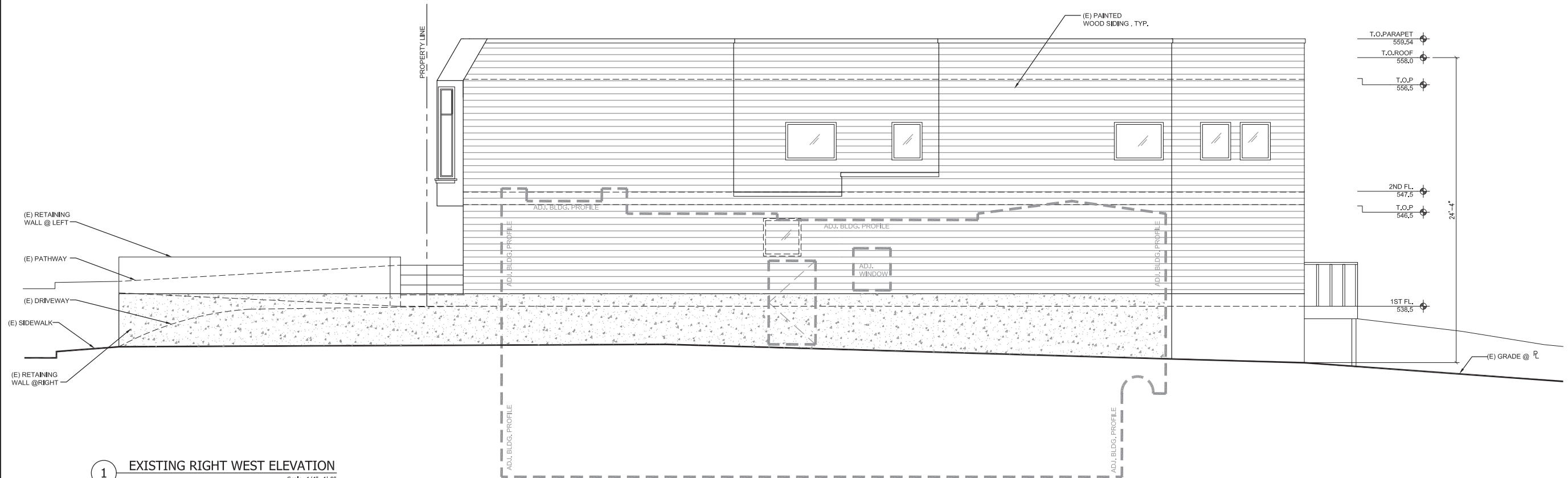
| NOTES/REVISIONS |                     |
|-----------------|---------------------|
| 1               | NOPDR #1 05.10.2017 |
| 2               | NOPDR #2 01.16.2018 |
| 3               | NOPDR #2 01.29.2018 |
| 4               | NOPDR #4 04.11.2018 |

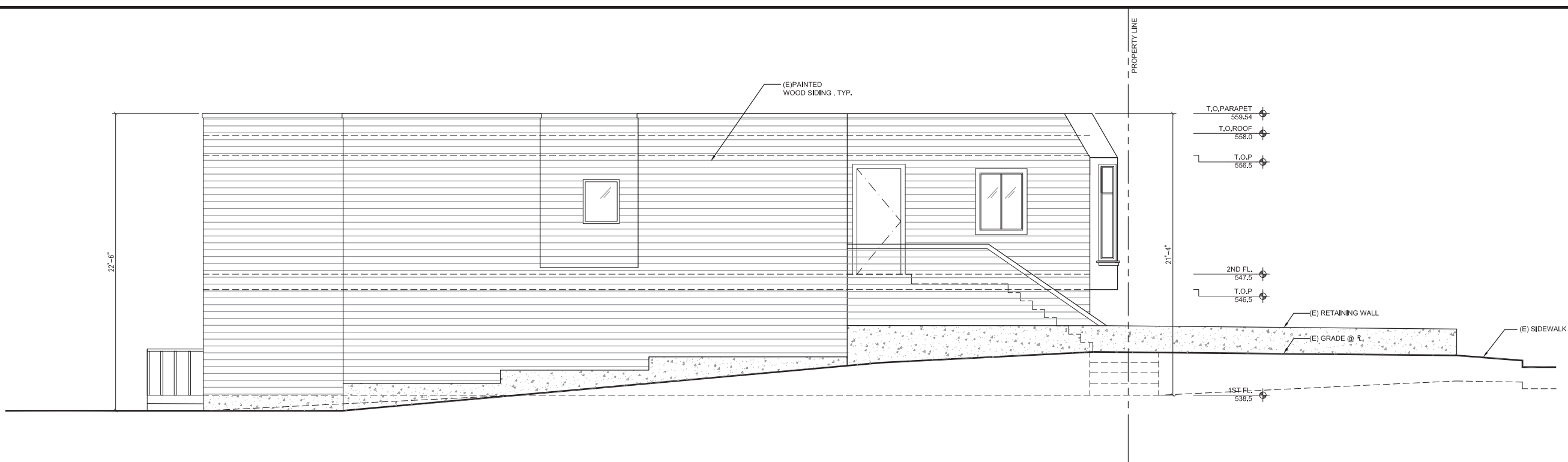
PROJECT  
YIP' RESIDENCE  
  
345 RIVERA STREET,  
SAN FRANCISCO, CA

SHEET TITLE  
  
EXISTING &  
PROPOSED  
RIGHT (WEST)  
ELEVATIONS

DATE November 12, 2016 JOB NO. 15115  
SCALE AS SHOWN DRAWN BY CC  
SHEET NO.

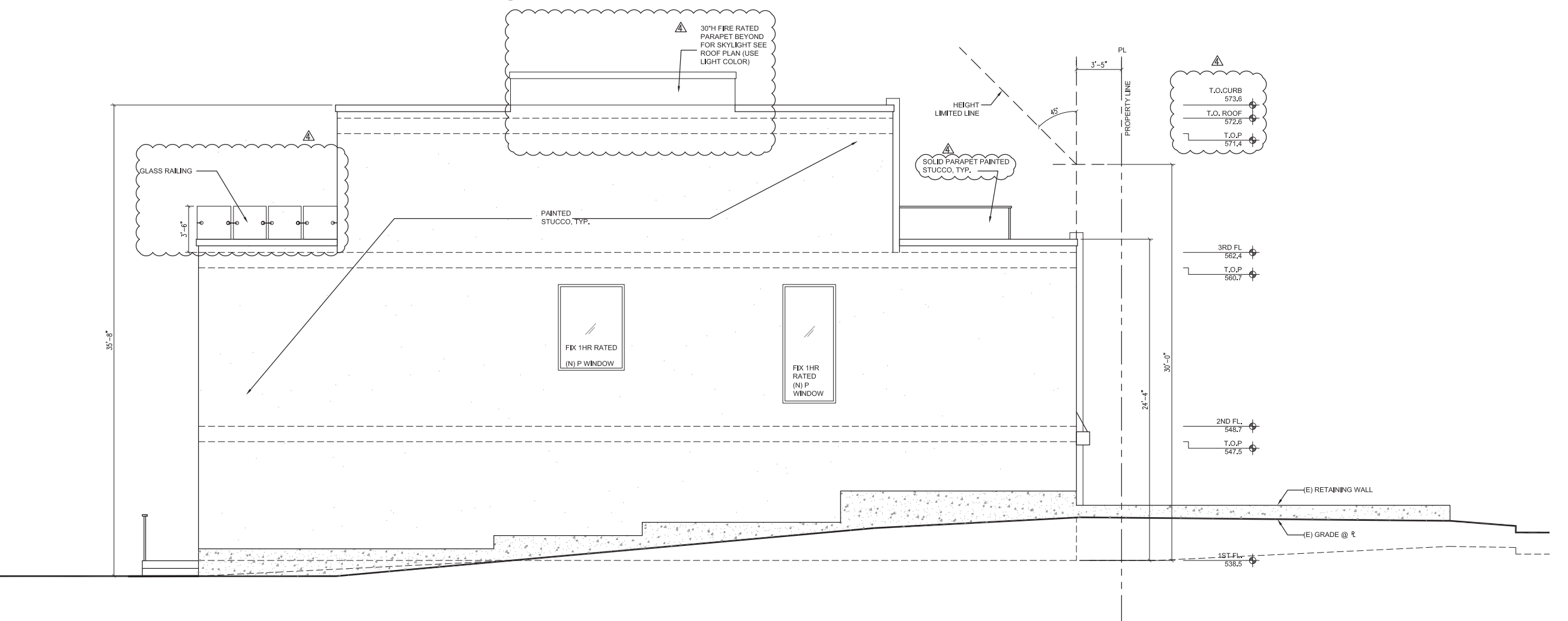
A3.1





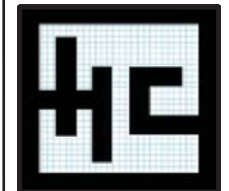
1 EXISTING LEFT ( EAST) ELEVATION

Scale: 1/4"=1'-0"



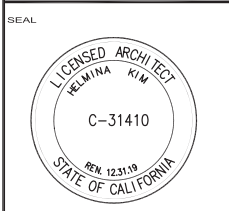
2 PROPOSED LEFT (EAST) ELEVATION

Scale: 1/4"=1'-0"



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SAN FRANCISCO, CA 94080  
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| NOTES/REVISIONS       |
|-----------------------|
| 1 NOPDR #1 05.10.2017 |
| 2 NOPDR #2 01.16.2018 |
| 3 NOPDR #2 01.29.2018 |
| 4 NOPDR #3 02.26.2018 |

PROJECT  
YIP' RESIDENCE  
  
345 RIVERA STREET,  
SAN FRANCISCO, CA

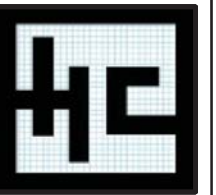
SHEET TITLE  
  
EXISTING &  
PROPOSED  
LEFT (EAST)  
ELEVATIONS

DATE: November 12, 2016  
JOB NO: 15115  
SCALE: AS SHOWN  
DRAWN BY: CC

SHEET NO.  
  
A3.2

IF THIS SHEET IS NOT 24"x36", IT IS A REDUCED PRINT - SCALE ACCORDINGLY

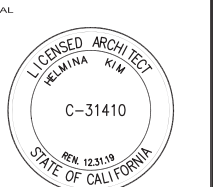




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| NOTES/REVISIONS |                     |
|-----------------|---------------------|
| 1               | NOPDR #1 05.10.2017 |
| 2               | NOPDR #2 01.16.2018 |
| 3               | NOPDR #2 01.29.2018 |
| 4               | NOPDR #3 02.26.2018 |

PROJECT  
YIP' RESIDENCE

345 RIVERA STREET,  
SAN FRANCISCO, CA

SHEET TITLE

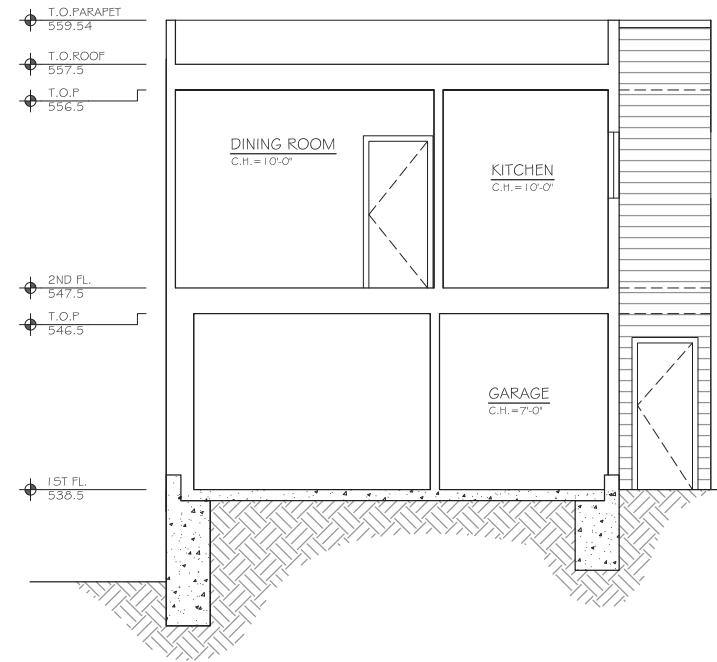
EXISTING &  
PROPOSED  
REAR (SOUTH)  
ELEVATIONS

DATE: November 12, 2016  
JOB NO.: 15115  
SCALE: AS SHOWN  
DRAWN BY: CC

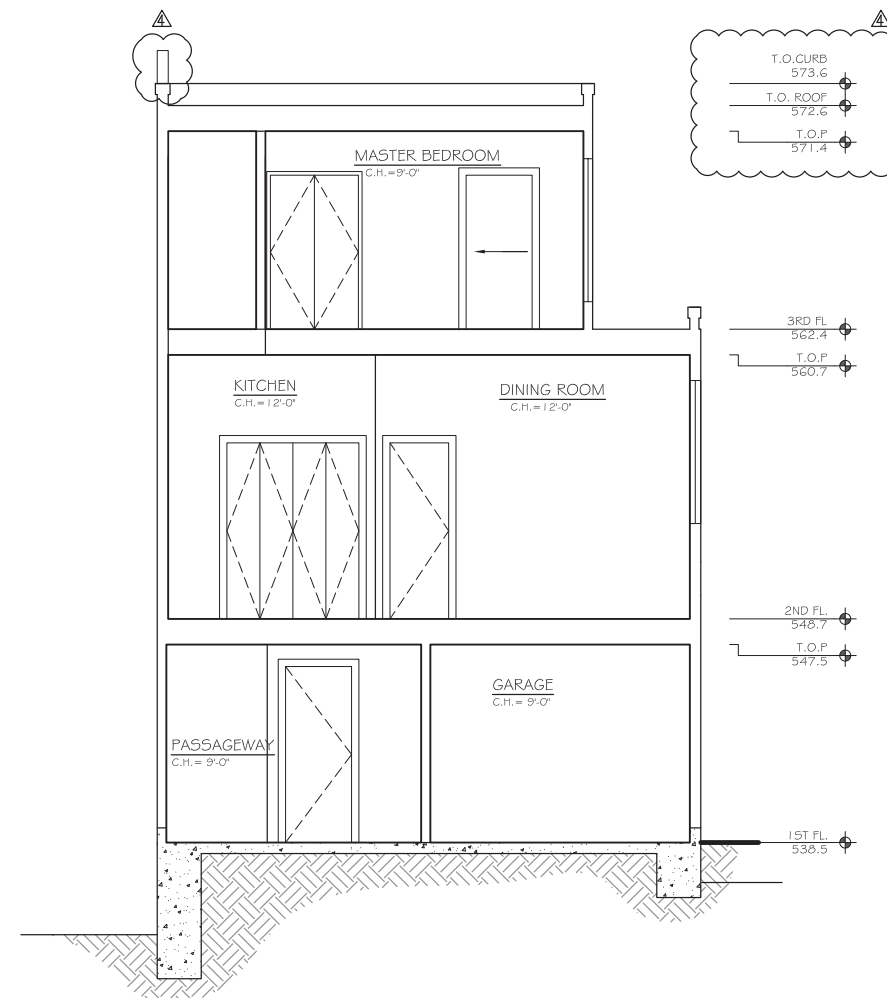
SHEET NO.

A3.3

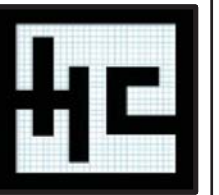




1 EXISTING TRANSVERSE SECTION  
Scale: 1/4"=1'-0"

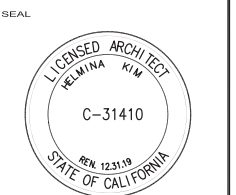


2 PROPOSED TRANSVERSE SECTION  
Scale: 1/4"=1'-0"



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| NOTES/REVISIONS |                     |
|-----------------|---------------------|
| 1               | NOPDR #1 05.10.2017 |
| 2               | NOPDR #2 01.16.2018 |
| 3               | NOPDR #2 01.29.2018 |
| 4               | NOPDR #3 02.26.2018 |

PROJECT  
YIP' RESIDENCE  
  
345 RIVERA STREET,  
SAN FRANCISCO, CA

SHEET TITLE  
  
EXISTING &  
PROPOSED  
TRANSVERSE  
SECTIONS

DATE: November 12, 2016  
JOB NO.: 15115  
SCALE: AS SHOWN  
DRAWN BY: CC  
SHEET NO.:

A4.0

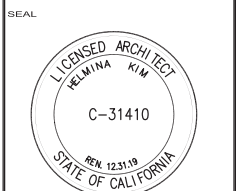
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| NOTES/REVISIONS |                     |
|-----------------|---------------------|
| 1               | NOPDR #1 05.10.2017 |
| 2               | NOPDR #2 01.16.2018 |
| 3               | NOPDR #2 01.29.2018 |
| 4               | NOPDR #3 02.26.2018 |

PROJECT  
YIP' RESIDENCE

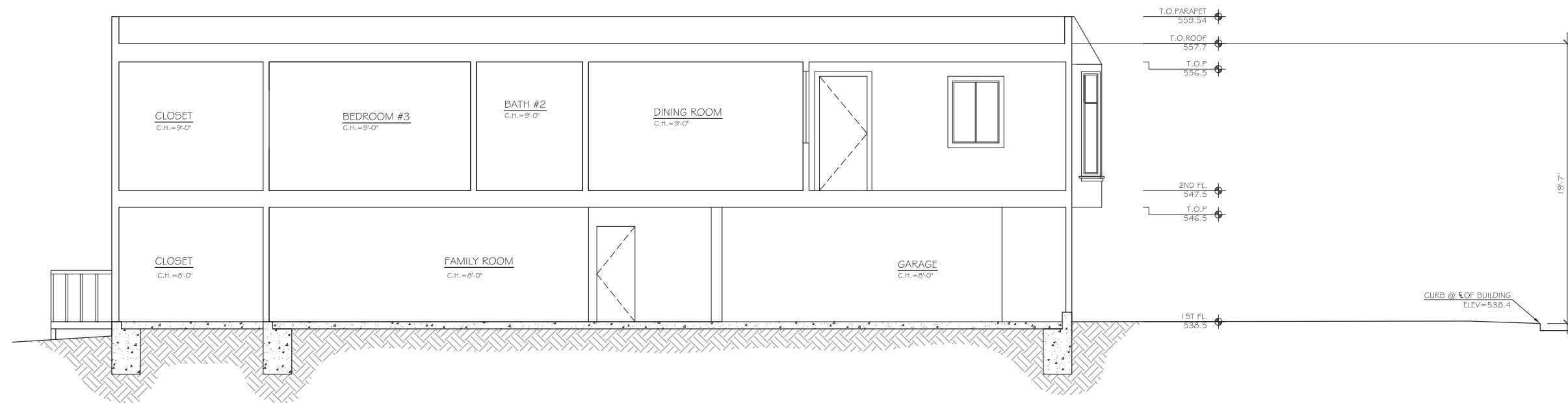
345 RIVERA STREET,  
SAN FRANCISCO, CA

SHEET TITLE  
EXISTING & PROPOSED  
LONGITUDINAL  
SECTIONS

DATE November 12, 2016  
SCALE AS SHOWN  
JOB NO. 15115  
DRAWN BY CC

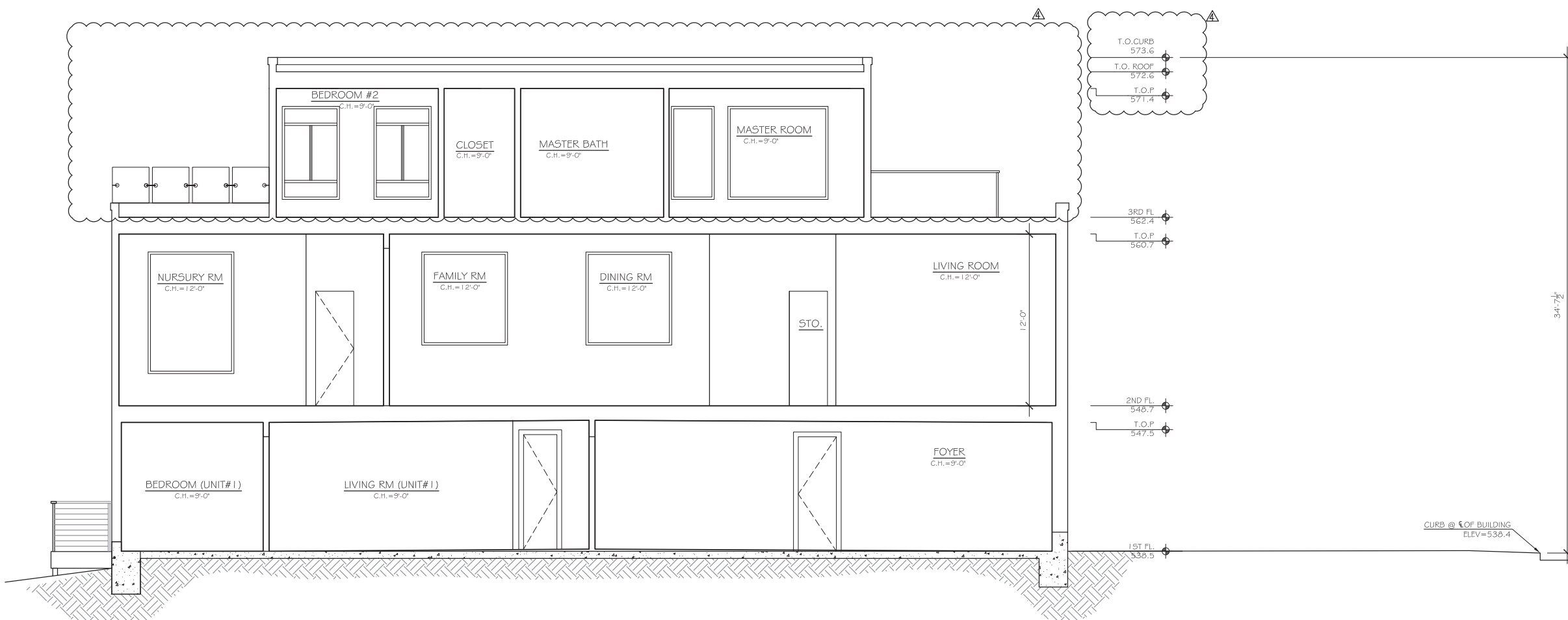
SHEET NO.

A4.1



1 EXISTING LONGITUDINAL SECTION

Scale: 1/4"=1'-0"



2 PROPOSED LONGITUDINAL SECTION

Scale: 1/4"=1'-0"



