



SAN FRANCISCO PLANNING DEPARTMENT

Discretionary Review Abbreviated Analysis HEARING DATE: MAY 4, 2017

Date: April 27, 2017
Case No.: 2015-014612DRP
Project Address: 4466 24TH STREET
Permit Application: 2016.03.29.3298
Zoning: RH-2 [Residential House, Two-Family]
40-X Height and Bulk District
Block/Lot: 2828/016A
Project Sponsor: Edward Morris
Kerman Morris Architects
139 Noe Street
San Francisco, CA 94114
Staff Contact: Natalia Kwiatkowska – (415) 575-9185
natalia.kwiatkowska@sfgov.org
Recommendation: **Do not take DR and approve as proposed**

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

PROJECT DESCRIPTION

The proposal includes a renovation and addition to an existing two-story, single-family building. The project consists of a two-story vertical addition with a roof deck, an expansion of the existing floors at the rear, front façade changes, and the addition of a second dwelling unit to a two-story, single-family dwelling. The existing building is two-stories and includes a two-story vertical addition resulting in a four-story building. The overall height will increase from approximately 24 feet to 36 feet, measured from the average grade. The existing building depth will increase from approximately 38 feet to 61 feet.

SITE DESCRIPTION AND PRESENT USE

The project site is located on the north side of 24th Street between Grand View and Hoffman Avenues in the Noe Valley neighborhood. The subject parcel measures 25.833 feet wide by 114 feet deep with an area of approximately 2,945 square feet. The property is located on an upsloping lot and the street is laterally sloping. The property is developed with a two-story, single-family dwelling constructed in 1956.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

This portion of the Noe Valley neighborhood is characterized by two- to four-story, single- and multi-family residential buildings. The adjacent properties to the north and east are also located within the RH-2 Zoning District. The adjacent properties to the south and west are located within the RM-1 Zoning District.

BUILDING PERMIT NOTIFICATION

TYPE	REQUIRED PERIOD	NOTIFICATION DATES	DR FILE DATE	DR HEARING DATE	FILING TO HEARING TIME
311 Notice	30 days	December 14, 2016 – January 13, 2017	January 12, 2017	May 4, 2017	112 days

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Posted Notice	10 days	April 24, 2017	April 24, 2017	10 days
Mailed Notice	10 days	April 24, 2017	April 24, 2017	10 days

PUBLIC COMMENT

	SUPPORT	OPPOSED	NO POSITION
Adjacent neighbor(s)	--	1 (DR requestor)	--
Other neighbors on the block or directly across the street	--	--	--
Neighborhood groups	--	--	--

No other neighborhood comments have been received regarding this project.

DR REQUESTORS

Fida Sleiman & Kristi Leach, owners of 4470-4472 24th Street, adjacent to the subject property.

DR REQUESTOR’S CONCERNS AND PROPOSED ALTERNATIVES

See attached *Discretionary Review Application*, dated January 12, 2017.

PROJECT SPONSOR’S RESPONSE TO DR APPLICATION

See attached *Response to Discretionary Review*, dated February 15, 2017.

ENVIRONMENTAL REVIEW

The Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15301 (Class One - Minor Alteration of Existing Facility, (e) Additions to existing structures provided that the addition will not result in an increase of more than 10,000 square feet).

DEPARTMENT REVIEW

The Department reviewed the proposal to ensure that the project is not tantamount to demolition. The proposal includes removing 43.4% of all exterior walls measured in lineal feet at the foundation level; and therefore does not meet the “and” clause for 317(b)(2)(B). Additionally, the proposal includes removing 33.7% of the vertical envelope elements measured in square feet of actual surface area; and therefore does not meet the “and” clause for 317(b)(2)(C). The proposed project does not meet the definition of demolition in Planning Code Section 317.

RESIDENTIAL DESIGN TEAM REVIEW

The Residential Design Team (RDT) reviewed the project prior to and following the submittal of the Request for Discretionary Review and found that the proposed project meets the standards of the Residential Design Guidelines (RDGs) and that the project does not present any exceptional or extraordinary circumstances for the following reasons:

1. The project’s scale and depth is in keeping with the surrounding buildings, particularly the buildings directly adjacent to the west (including the Requestor’s building) and also those structures found across the street, both which are tall 3-4 story structures.
2. The project helps to positively contribute to the existing visual context, as the massing of the project is shaped to address shorter structures to the east through the use of front, rear, and side setbacks at the upper floor.
3. The project fits within the streetscape and acts as a transitional building between the Requestor’s tall three-story building and the adjacent two-story building to the east. The project’s main façade reads as a three-story façade with a partial 4th floor that is subordinate to the main building mass. The project’s massing and façade expressions continue the stepped building pattern which is in keeping with the steep lateral slope of the block face and across the street.
4. Adequate access to light and air are preserved at the Requestor’s building as the upper floor of the project provides front and rear setbacks. The existing side setback at the Requestor’s property runs the full length of the property and is open to the street and rear yard.

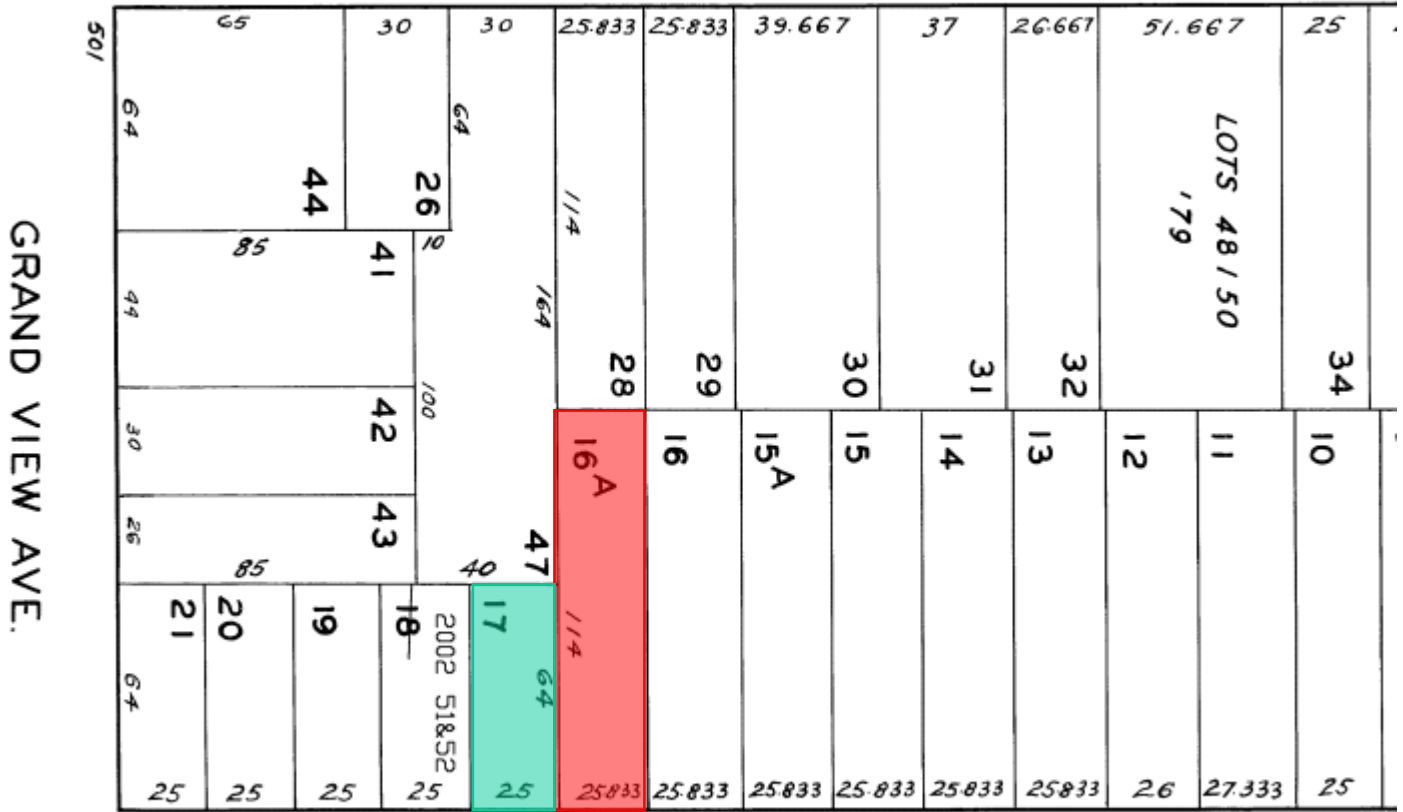
RECOMMENDATION: Do not take DR and approve project as proposed
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Attachments:

Block Book Map
Sanborn Map
Zoning Map
Aerial Photographs
Context Photograph
CEQA Determination
Section 311 Notice
DR Notice
DR Application
Response to DR Application dated February 15, 2017
Project Sponsor Submittal, including:
 - 3D Renderings
 - Reduced Plans

Parcel Map

ELIZABETH



24 TH

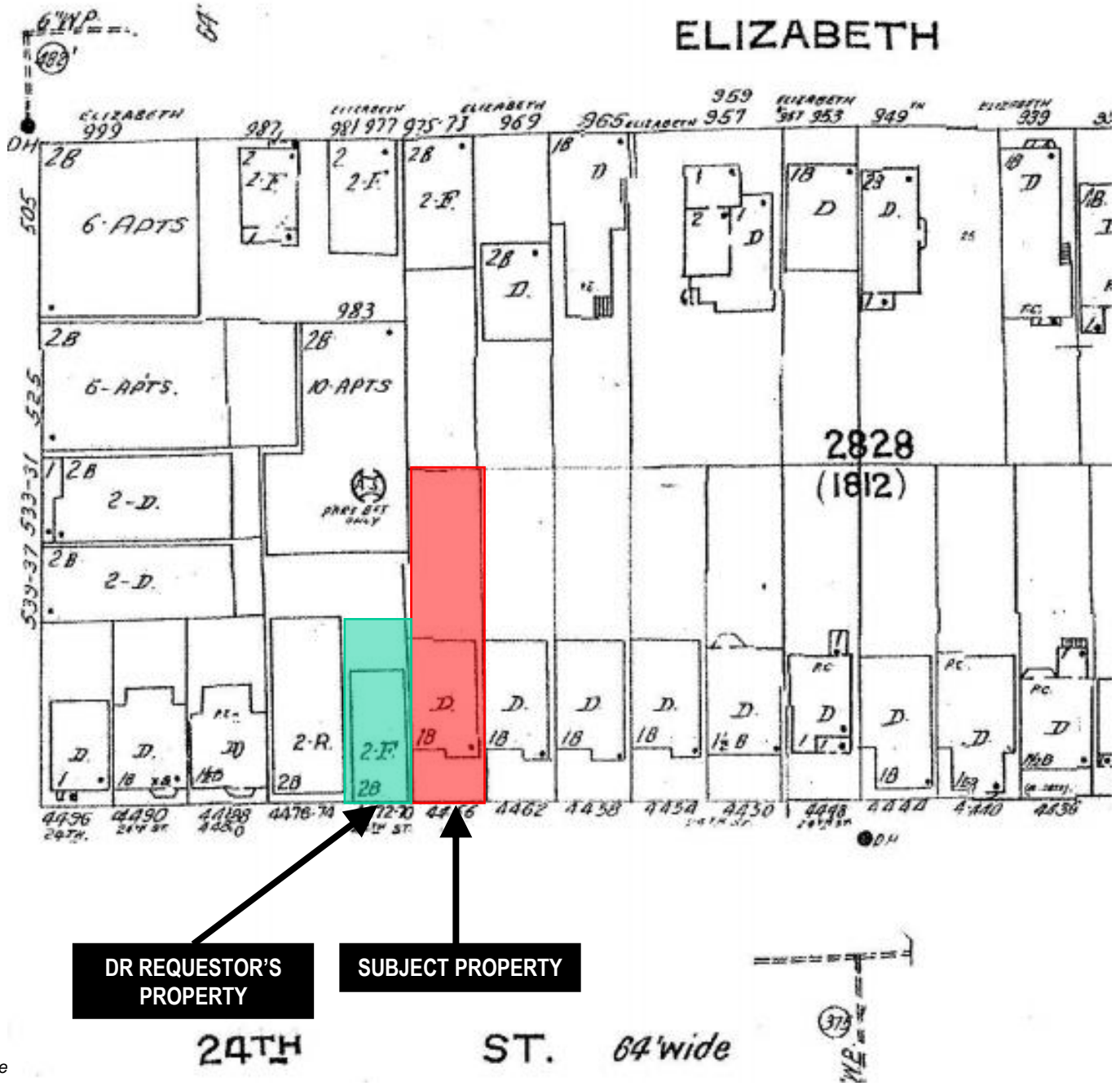
**DR REQUESTOR'S
PROPERTY**

SUBJECT PROPERTY



Discretionary Review Hearing
Case Number 2015-014612DRP
4466 24th Street

Sanborn Map*



DR REQUESTOR'S PROPERTY

SUBJECT PROPERTY

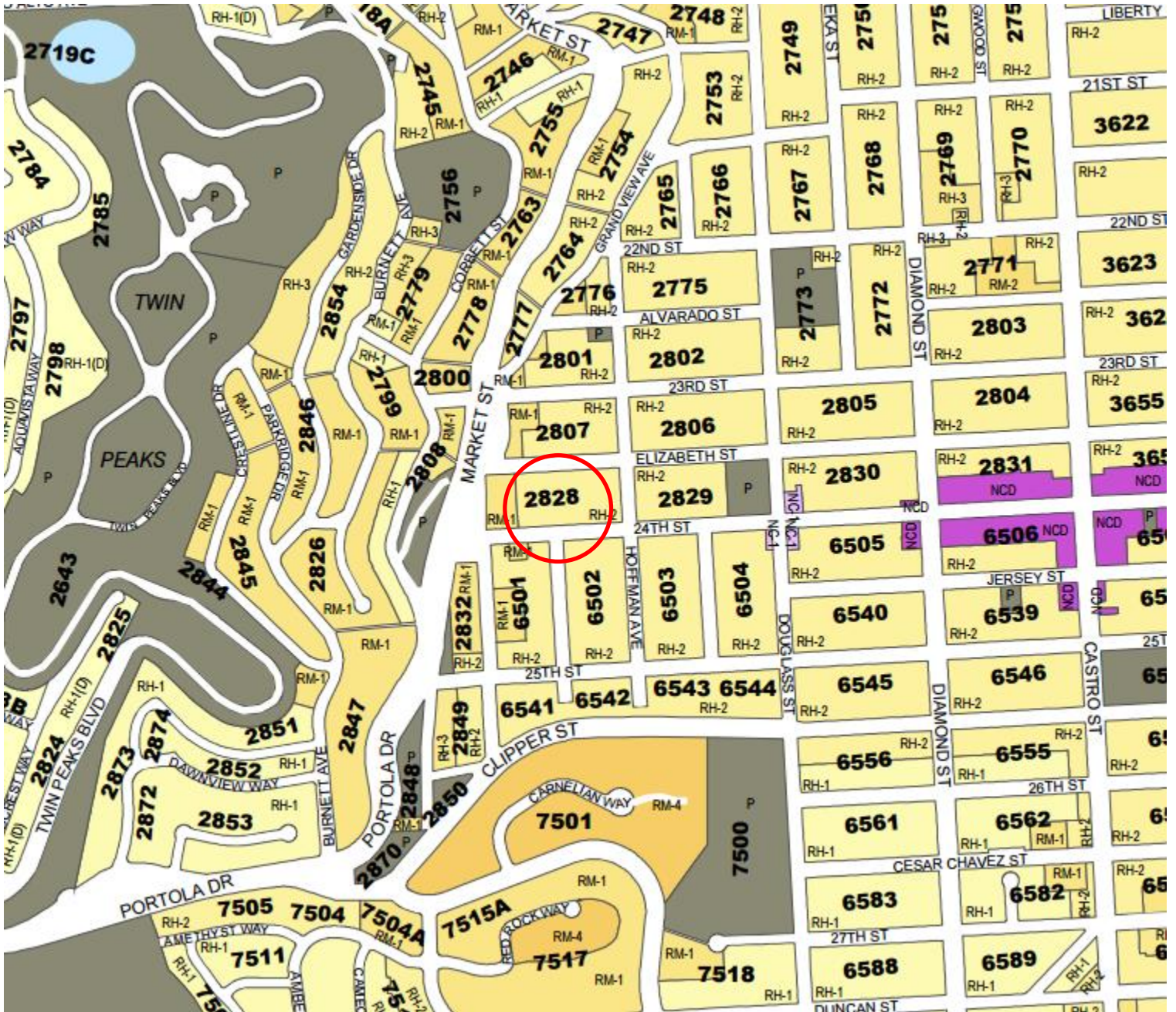
24TH ST. 64'wide

*The



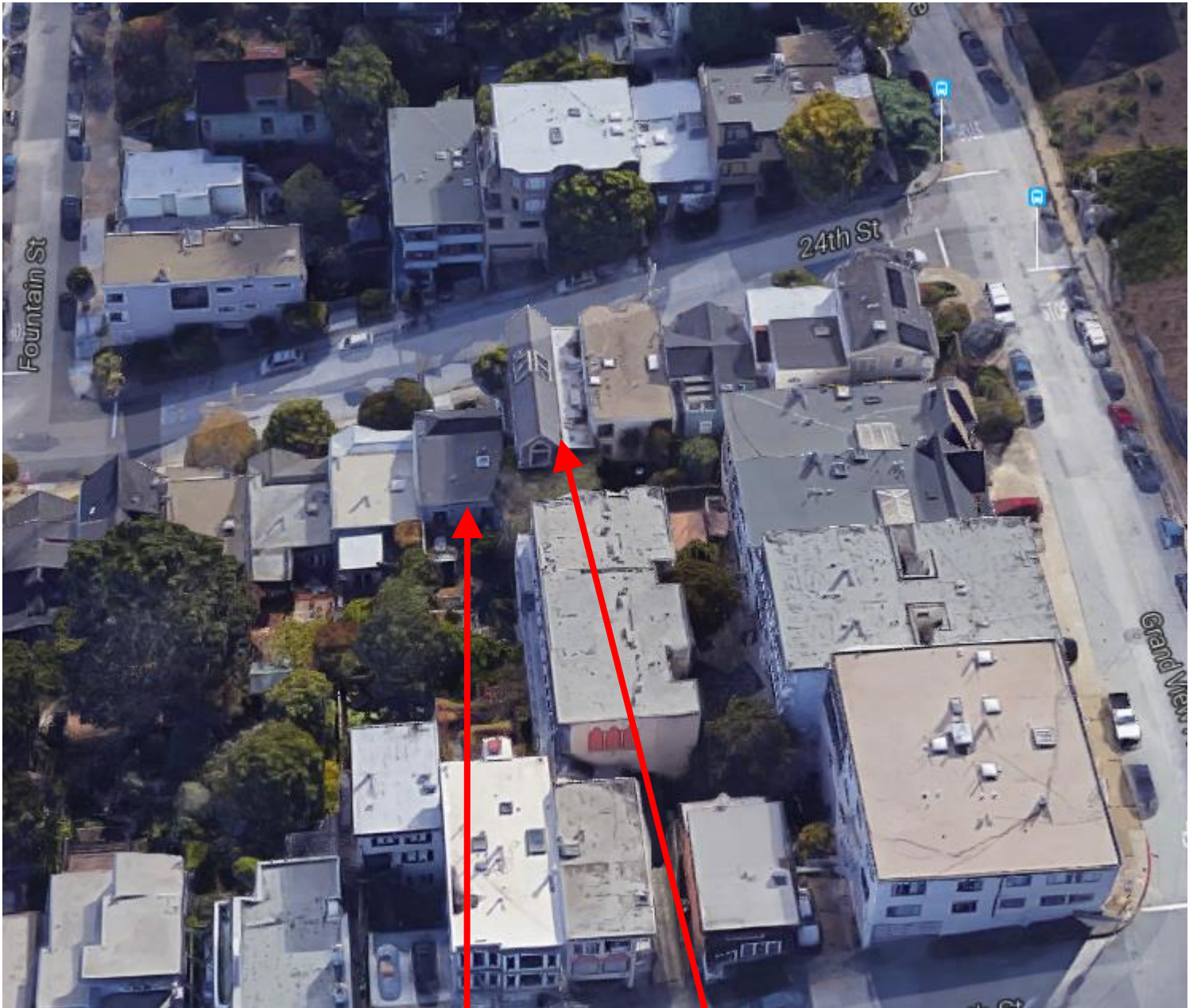
Discretionary Review Hearing
Case Number 2015-014612DRP
4466 24th Street

Zoning Map



Discretionary Review Hearing
Case Number 2015-014612DRP
4466 24th Street

Aerial Photo



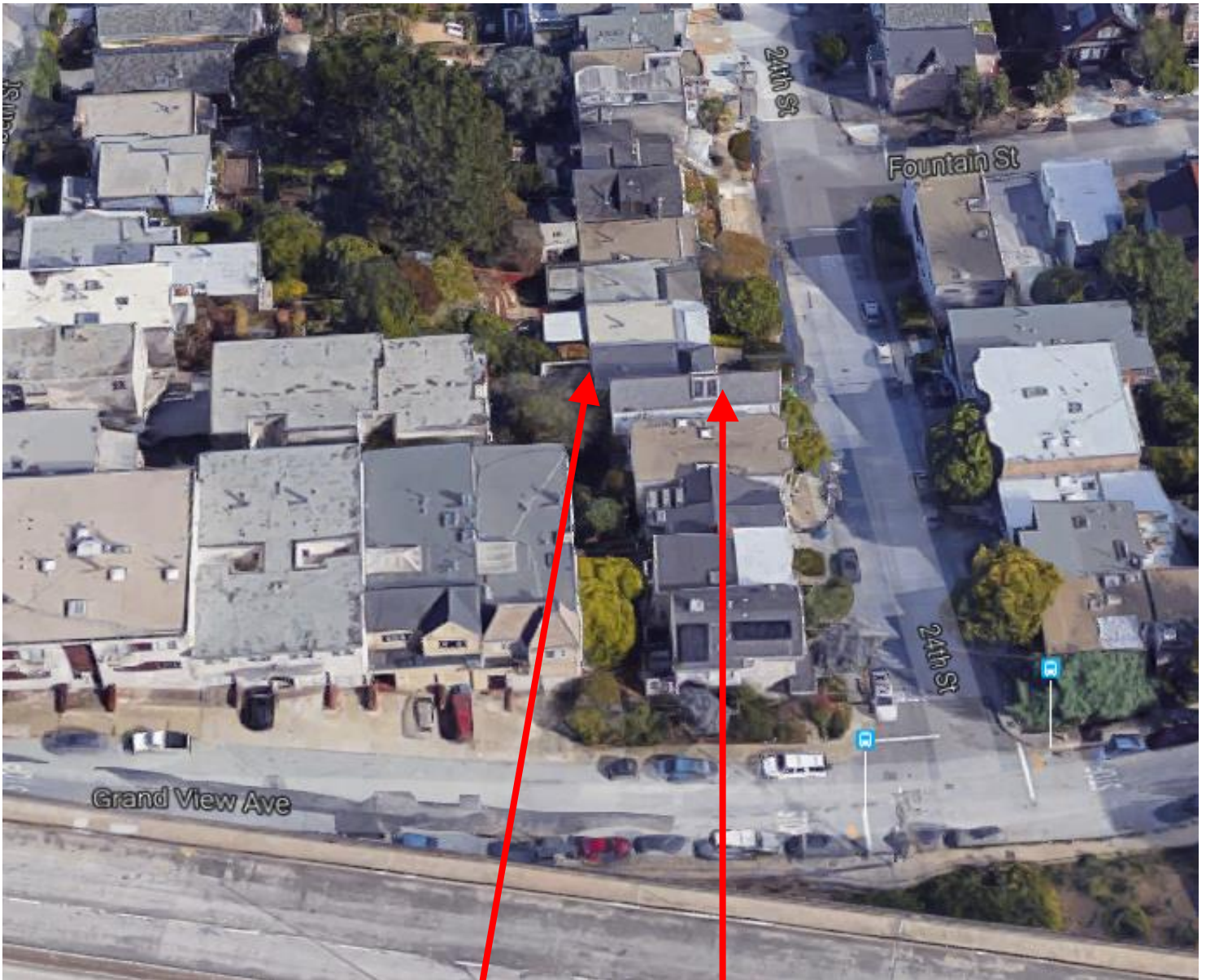
SUBJECT PROPERTY

DR REQUESTOR'S PROPERTY



Discretionary Review Hearing
Case Number 2015-014612DRP
4466 24th Street

Aerial Photo



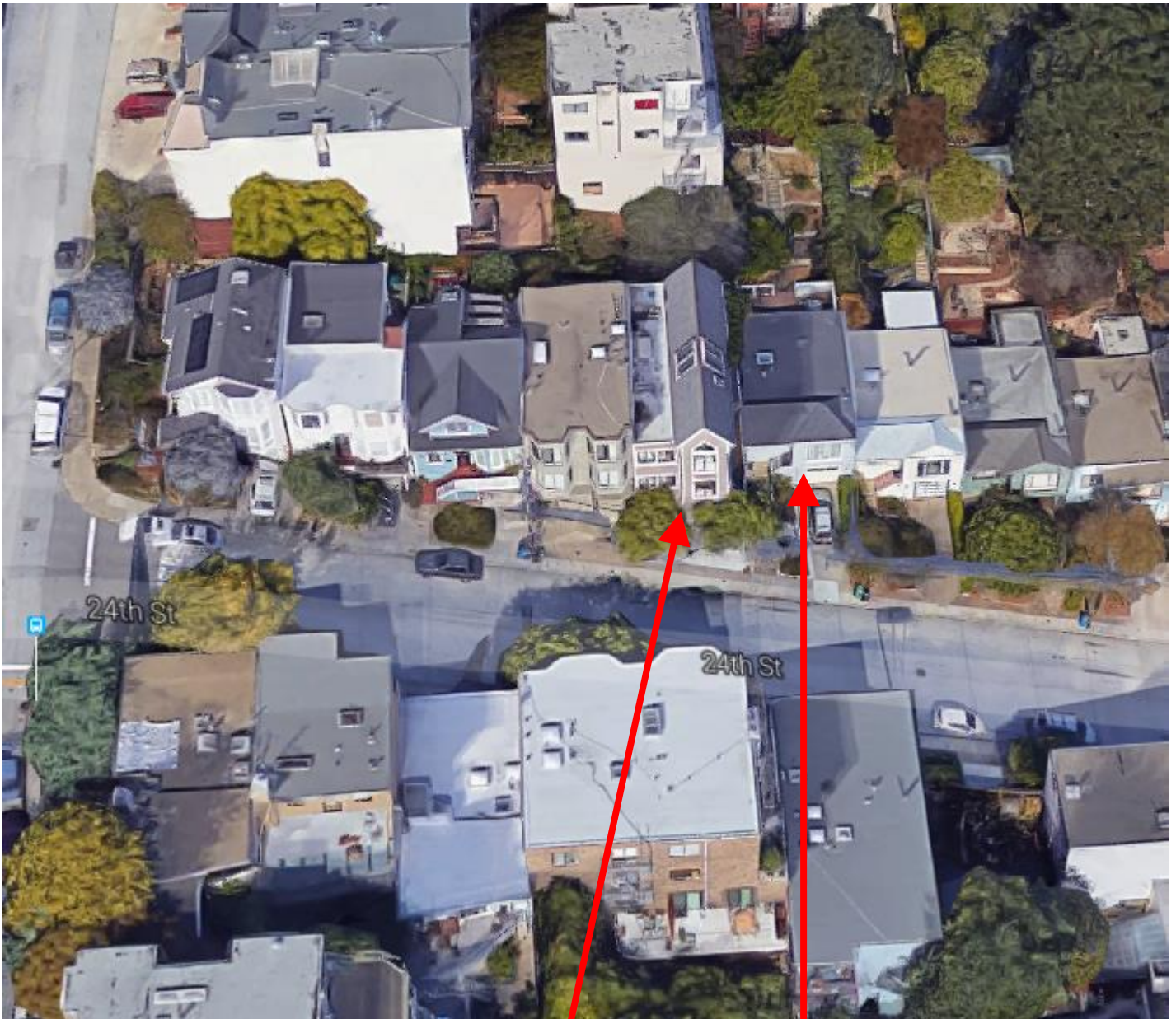
SUBJECT PROPERTY

**DR REQUESTOR'S
PROPERTY**



Discretionary Review Hearing
Case Number 2015-014612DRP
4466 24th Street

Aerial Photo



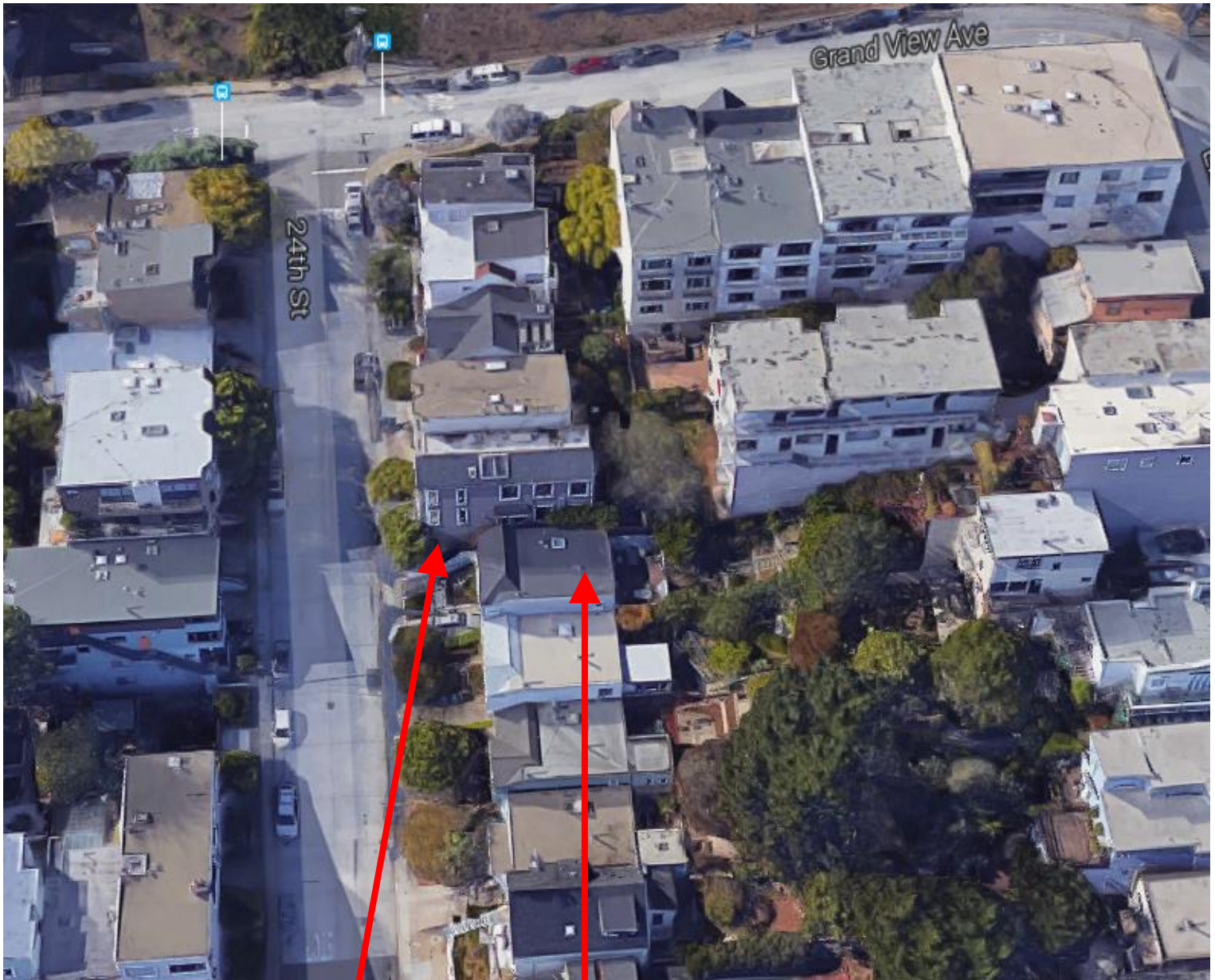
**DR REQUESTOR'S
PROPERTY**

SUBJECT PROPERTY



Discretionary Review Hearing
Case Number 2015-014612DRP
4466 24th Street

Aerial Photo



**DR REQUESTOR'S
PROPERTY**

SUBJECT PROPERTY



Site Photo



**DR REQUESTOR'S
PROPERTY**

SUBJECT PROPERTY

Discretionary Review Hearing
Case Number 2015-014612DRP
4466 24th Street



SAN FRANCISCO PLANNING DEPARTMENT

CEQA Categorical Exemption Determination

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address		Block/Lot(s)	
4466 24th Street		2828/016A	
Case No.	Permit No.	Plans Dated	
2015-014612ENV		10/13/2015	
<input checked="" type="checkbox"/> Addition/ Alteration	<input type="checkbox"/> Demolition (requires HRER if over 45 years old)	<input type="checkbox"/> New Construction	<input type="checkbox"/> Project Modification (GO TO STEP 7)
Project description for Planning Department approval.			
Addition/alteration to existing single-family home with one vehicle parking space. Two-level vertical addition, horizontal rear addition, addition of a roof deck, and alteration of existing front façade. Add one dwelling unit to create new two-unit dwelling with two vehicle parking spaces.			

STEP 1: EXEMPTION CLASS

TO BE COMPLETED BY PROJECT PLANNER

Note: If neither Class 1 or 3 applies, an <i>Environmental Evaluation Application</i> is required.	
<input checked="" type="checkbox"/>	Class 1 – Existing Facilities. Interior and exterior alterations; additions under 10,000 sq. ft.
<input checked="" type="checkbox"/>	Class 3 – New Construction/ Conversion of Small Structures. Up to three (3) new single-family residences or six (6) dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input type="checkbox"/>	Class __

STEP 2: CEQA IMPACTS

TO BE COMPLETED BY PROJECT PLANNER

If any box is checked below, an <i>Environmental Evaluation Application</i> is required.	
<input type="checkbox"/>	Air Quality: Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities) within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g., backup diesel generators, heavy industry, diesel trucks)? <i>Exceptions: do not check box if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Article 38 program and the project would not have the potential to emit substantial pollutant concentrations. (refer to EP_ArcMap > CEQA Catex Determination Layers > Air Pollutant Exposure Zone)</i>
<input type="checkbox"/>	Hazardous Materials: If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential? If yes, this box must be checked and the project applicant must submit an Environmental Application with a Phase I

	Environmental Site Assessment. <i>Exceptions: do not check box if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Maher program, a DPH waiver from the Maher program, or other documentation from Environmental Planning staff that hazardous material effects would be less than significant (refer to EP_ArcMap > Maher layer).</i>
<input type="checkbox"/>	Transportation: Does the project create six (6) or more net new parking spaces or residential units? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?
<input checked="" type="checkbox"/>	Archeological Resources: Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non-archeological sensitive area? <i>(refer to EP_ArcMap > CEQA Catex Determination Layers > Archeological Sensitive Area)</i>
<input type="checkbox"/>	Noise: Does the project include new noise-sensitive receptors (schools, day care facilities, hospitals, residential dwellings, and senior-care facilities) fronting roadways located in the noise mitigation area? <i>(refer to EP_ArcMap > CEQA Catex Determination Layers > Noise Mitigation Area)</i>
<input type="checkbox"/>	Subdivision/Lot Line Adjustment: Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? <i>(refer to EP_ArcMap > CEQA Catex Determination Layers > Topography)</i>
<input checked="" type="checkbox"/>	Slope = or > 20%: Does the project involve excavation of 50 cubic yards of soil or more, new construction, or square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint? <i>(refer to EP_ArcMap > CEQA Catex Determination Layers > Topography)</i> If box is checked, a geotechnical report is required.
<input type="checkbox"/>	Seismic: Landslide Zone: Does the project involve excavation of 50 cubic yards of soil or more, new construction, or square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint? <i>(refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones)</i> If box is checked, a geotechnical report is required.
<input type="checkbox"/>	Seismic: Liquefaction Zone: Does the project involve excavation of 50 cubic yards of soil or more, new construction, or square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint? <i>(refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones)</i> If box is checked, a geotechnical report will likely be required.
If no boxes are checked above, GO TO STEP 3. <u>If one or more boxes are checked above, an <i>Environmental Evaluation Application</i> is required, unless reviewed by an Environmental Planner.</u>	
<input checked="" type="checkbox"/>	Project can proceed with categorical exemption review. The project does not trigger any of the CEQA impacts listed above.
Comments and Planner Signature (<i>optional</i>): Jean Poling <small>Digitally signed by Jean Poling DN: cn=Jean Poling, o=San Francisco Planning Department, ou=Environmental Planning, email=jean.poling@sfdph.org, c=US</small>	
No archeological effects. Project will follow recommendations of 10/17/15 Kevin O'Connorr geotechnical report.	

**STEP 3: PROPERTY STATUS – HISTORIC RESOURCE
TO BE COMPLETED BY PROJECT PLANNER**

PROPERTY IS ONE OF THE FOLLOWING: <i>(refer to Parcel Information Map)</i>	
<input type="checkbox"/>	Category A: Known Historical Resource. GO TO STEP 5.
<input checked="" type="checkbox"/>	Category B: Potential Historical Resource (over 45 years of age). GO TO STEP 4.
<input type="checkbox"/>	Category C: Not a Historical Resource or Not Age Eligible (under 45 years of age). GO TO STEP 6.

STEP 4: PROPOSED WORK CHECKLIST
TO BE COMPLETED BY PROJECT PLANNER

Check all that apply to the project.	
<input type="checkbox"/>	1. Change of use and new construction. Tenant improvements not included.
<input type="checkbox"/>	2. Regular maintenance or repair to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	3. Window replacement that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. Garage work. A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	5. Deck, terrace construction, or fences not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. Mechanical equipment installation that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. Dormer installation that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	8. Addition(s) that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
Note: Project Planner must check box below before proceeding.	
<input checked="" type="checkbox"/>	Project is not listed. GO TO STEP 5.
<input type="checkbox"/>	Project does not conform to the scopes of work. GO TO STEP 5.
<input type="checkbox"/>	Project involves four or more work descriptions. GO TO STEP 5.
<input type="checkbox"/>	Project involves less than four work descriptions. GO TO STEP 6.

STEP 5: CEQA IMPACTS – ADVANCED HISTORICAL REVIEW
TO BE COMPLETED BY PRESERVATION PLANNER

Check all that apply to the project.	
<input type="checkbox"/>	1. Project involves a known historical resource (CEQA Category A) as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	2. Interior alterations to publicly accessible spaces.
<input type="checkbox"/>	3. Window replacement of original/historic windows that are not "in-kind" but are consistent with existing historic character.
<input type="checkbox"/>	4. Façade/storefront alterations that do not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	5. Raising the building in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	6. Restoration based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.
<input type="checkbox"/>	7. Addition(s) , including mechanical equipment that are minimally visible from a public right-of-way and meet the <i>Secretary of the Interior's Standards for Rehabilitation</i> .

<input type="checkbox"/>	8. Other work consistent with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (specify or add comments):
<input type="checkbox"/>	9. Other work that would not materially impair a historic district (specify or add comments): (Requires approval by Senior Preservation Planner/Preservation Coordinator) _____
<input checked="" type="checkbox"/>	10. Reclassification of property status to Category C. (Requires approval by Senior Preservation Planner/Preservation Coordinator) a. Per HRER dated: _____ (attach HRER) b. Other (specify): PTR form dated 12/21/15
Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST check one box below.	
<input type="checkbox"/>	Further environmental review required. Based on the information provided, the project requires an <i>Environmental Evaluation Application</i> to be submitted. GO TO STEP 6.
<input checked="" type="checkbox"/>	Project can proceed with categorical exemption review. The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. GO TO STEP 6.
Comments (optional):	
Preservation Planner Signature: Natalia Kwiatkowska <small>Digitally signed by Natalia Kwiatkowska DN: cn=Natalia Kwiatkowska, o=City Planning, ou=City Planning, ou=Current Planning, cn=Natalia Kwiatkowska, email=Natalia.Kwiatkowska@sfgov.org Date: 2015.12.22 09:53:37 -08'00'</small>	

STEP 6: CATEGORICAL EXEMPTION DETERMINATION
TO BE COMPLETED BY PROJECT PLANNER

<input type="checkbox"/>	Further environmental review required. Proposed project does not meet scopes of work in either (check all that apply): <input type="checkbox"/> Step 2 – CEQA Impacts <input type="checkbox"/> Step 5 – Advanced Historical Review STOP! Must file an <i>Environmental Evaluation Application</i>.	
<input checked="" type="checkbox"/>	No further environmental review is required. The project is categorically exempt under CEQA.	
	Planner Name: Natalia Kwiatkowska	Signature: Digitally signed by Natalia Kwiatkowska DN: dc=org, dc=sfgov, dc=cityplanning, ou=CityPlanning, ou=Current Planning, cn=Natalia Kwiatkowska, email=Natalia.Kwiatkowska@sfgov.org Date: 2015.12.22 09:53:37 -08'00'
	Project Approval Action: Building Permit If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.	
Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code. In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the first approval action.		

STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT

TO BE COMPLETED BY PROJECT PLANNER

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be subject to additional environmental review pursuant to CEQA.

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address (If different than front page)		Block/Lot(s) (If different than front page)
Case No.	Previous Building Permit No.	New Building Permit No.
Plans Dated	Previous Approval Action	New Approval Action
Modified Project Description:		

DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project:	
<input type="checkbox"/>	Result in expansion of the building envelope, as defined in the Planning Code;
<input type="checkbox"/>	Result in the change of use that would require public notice under Planning Code Sections 311 or 312;
<input type="checkbox"/>	Result in demolition as defined under Planning Code Section 317 or 19005(f)?
<input type="checkbox"/>	Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption?

If at least one of the above boxes is checked, further environmental review is required **CATEX FORM**

DETERMINATION OF NO SUBSTANTIAL MODIFICATION

<input type="checkbox"/>	The proposed modification would not result in any of the above changes.
If this box is checked, the proposed modifications are categorically exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice.	
Planner Name:	Signature or Stamp:



SAN FRANCISCO PLANNING DEPARTMENT

PRESERVATION TEAM REVIEW FORM

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Preservation Team Meeting Date:		Date of Form Completion	12/10/2015
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PROJECT INFORMATION:		
Planner:	Address:	
Natalia Kwiatkowska	4466 24th Street	
Block/Lot:	Cross Streets:	
2828/016A	Grand View Ave & Hoffman Ave	
CEQA Category:	Art. 10/11:	BPA/Case No.:
B	N/A	2015-014612ENV

PURPOSE OF REVIEW:			PROJECT DESCRIPTION:	
<input checked="" type="radio"/> CEQA	<input type="radio"/> Article 10/11	<input type="radio"/> Preliminary/PIC	<input checked="" type="radio"/> Alteration	<input type="radio"/> Demo/New Construction

DATE OF PLANS UNDER REVIEW:	10/13/15
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PROJECT ISSUES:	
<input checked="" type="checkbox"/>	Is the subject Property an eligible historic resource?
<input type="checkbox"/>	If so, are the proposed changes a significant impact?
Additional Notes:	
Submitted: Supplemental Information for Historic Resource Determination prepared by Tim Kelley Consulting (dated August 2015).	
Proposed Project: Change of Use from 1 to 2 dwelling units, 2-story vertical addition to existing 1-story-over-garage single-family dwelling, rear horizontal addition, and front facade alterations.	

PRESERVATION TEAM REVIEW:				
Historic Resource Present		<input type="radio"/> Yes	<input checked="" type="radio"/> No *	<input type="radio"/> N/A
Individual		Historic District/Context		
Property is individually eligible for inclusion in a California Register under one or more of the following Criteria:		Property is in an eligible California Register Historic District/Context under one or more of the following Criteria:		
Criterion 1 - Event:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 1 - Event:	<input type="radio"/> Yes <input checked="" type="radio"/> No	
Criterion 2 - Persons:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 2 - Persons:	<input type="radio"/> Yes <input checked="" type="radio"/> No	
Criterion 3 - Architecture:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 3 - Architecture:	<input type="radio"/> Yes <input checked="" type="radio"/> No	
Criterion 4 - Info. Potential:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 4 - Info. Potential:	<input type="radio"/> Yes <input checked="" type="radio"/> No	
Period of Significance:	N/A	Period of Significance:	N/A	
		<input type="radio"/> Contributor <input type="radio"/> Non-Contributor		

Complies with the Secretary's Standards/Art 10/Art 11:	<input type="radio"/> Yes	<input type="radio"/> No	<input checked="" type="radio"/> N/A
CEQA Material Impairment:	<input type="radio"/> Yes	<input checked="" type="radio"/> No	
Needs More Information:	<input type="radio"/> Yes	<input checked="" type="radio"/> No	
Requires Design Revisions:	<input type="radio"/> Yes	<input checked="" type="radio"/> No	
Defer to Residential Design Team:	<input checked="" type="radio"/> Yes	<input type="radio"/> No	

* If No is selected for Historic Resource per CEQA, a signature from Senior Preservation Planner or Preservation Coordinator is required.

PRESERVATION TEAM COMMENTS:	
<p>According to the Supplemental Information for Historic Resource Determination prepared by Tim Kelley Consulting (dated August 2015) and information found in the Planning Department files, the subject property at 4466 24th Street contains a one-story-over-garage, wood-frame, single-family dwelling designed in the Minimal Traditional style. The building was constructed in 1955 (source: original building permit) by Thomas McCormick, a general contractor. The original owner and occupant was Donald W. and Matea A. VanHorn, a manager and office secretary. Known exterior alterations to the property include the addition of a fireplace (1956), reroofing (1991), interior renovations (2009), new window opening and reworking existing deck (2009), expansion of deck into rear yard (2010) and reroofing (2012). Additional visual inspection reveals that the original windows were replaced sometime between 2009 and 2011.</p> <p>No known historic events occurred at the subject property (Criterion 1). None of the owners or occupants have been identified as important to history (Criterion 2). The VanHorn family has not been determined to be of any particular historic importance. The building is not architecturally distinct such that it would qualify individually for listing in the California Register under Criterion 3. The subject property is a nondescript example of a Minimal Traditional style single-family residence from the 1950s.</p> <p>The subject property is not located within the boundaries of any identified historic district. The subject property is located in the Noe Valley neighborhood on a block that exhibits a variety of architectural styles, construction dates, and later alterations to the earliest buildings. The subject building is part of a grouping of four buildings constructed in 1956, which together do not comprise significantly unified buildings. The area surrounding the subject property does not contain a significant concentration of historically or aesthetically unified buildings.</p> <p>Therefore, the subject property is not eligible for listing in the California Register under any criteria individually or as part of a historic district.</p>	

Signature of a Senior Preservation Planner / Preservation Coordinator:	Date:
	12-21-2015

Photographs of Subject Property



Primary façade, 4466 24th Street



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311)

On **April 4, 2016**, the Applicant named below filed Building Permit Application No. **2016.03.29.3298** with the City and County of San Francisco.

PROPERTY INFORMATION		APPLICANT INFORMATION	
Project Address:	4466 24th Street	Applicant:	Edward Morris
Cross Street(s):	Grand View & Hoffman Ave	Address:	139 Noe Street
Block/Lot No.:	2828 / 016A	City, State:	San Francisco, CA 94114
Zoning District(s):	RH-2 / 40-X	Telephone:	(415) 749-0302

You are receiving this notice as a property owner or resident within 150 feet of the proposed project. You are not required to take any action. For more information about the proposed project, or to express concerns about the project, please contact the Applicant listed above or the Planner named below as soon as possible. If you believe that there are exceptional or extraordinary circumstances associated with the project, you may request the Planning Commission to use its discretionary powers to review this application at a public hearing. Applications requesting a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown below, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

PROJECT SCOPE		
<input type="checkbox"/> Demolition	<input type="checkbox"/> New Construction	<input checked="" type="checkbox"/> Alteration
<input type="checkbox"/> Change of Use	<input checked="" type="checkbox"/> Façade Alteration(s)	<input type="checkbox"/> Front Addition
<input checked="" type="checkbox"/> Rear Addition	<input type="checkbox"/> Side Addition	<input checked="" type="checkbox"/> Vertical Addition
PROJECT FEATURES	EXISTING	PROPOSED
Building Use	Residential	No Change
Front Setback	+/- 14 feet	No Change
Side Setbacks	None	No Change
Building Depth (to building wall)	+/- 38 feet 3 inches	+/- 60 feet 9 inches
Building Depth (to deck)	+/- 54 feet 6 inches	+/- 72 feet 9 inches
Rear Yard (to building wall)	+/- 61 feet 3 inches	+/- 39 feet 3 inches
Rear Yard (to deck)	+/- 45 feet	+/- 27 feet 3 inches
Building Height	+/- 23 feet 9 inches	+/- 36 feet (from average grade)
Number of Stories	2	4
Number of Dwelling Units	1	2
Number of Parking Spaces	1	2
PROJECT DESCRIPTION		
The project includes a two-story vertical addition with a roof deck atop the existing two-story building, an expansion of the existing floors at the rear of the building, front façade changes, and the addition of a second dwelling unit.		
The issuance of the building permit by the Department of Building Inspection or the Planning Commission project approval at a discretionary review hearing would constitute as the Approval Action for the project for the purposes of CEQA, pursuant to Section 31.04(h) of the San Francisco Administrative Code.		

For more information, please contact Planning Department staff:

Planner: Natalia Kwiatkowska
 Telephone: (415) 575-9185
 E-mail: natalia.kwiatkowska@sfgov.org

Notice Date: **12/14/16**
 Expiration Date: **1/13/17**

GENERAL INFORMATION ABOUT PROCEDURES

Reduced copies of the proposed project plans have been included in this mailing for your information. If you have questions about the plans, please contact the project Applicant listed on the front of this notice. You may wish to discuss the plans with your neighbors or neighborhood association, as they may already be aware of the project. If you have general questions about the Planning Department's review process, please contact the Planning Information Center at 1660 Mission Street, 1st Floor (415/ 558-6377) between 8:00am - 5:00pm Monday-Friday. If you have specific questions about the proposed project, you should contact the planner listed on the front of this notice.

If you believe that the impact on you from the proposed project is significant and you wish to seek to change the project, there are several procedures you may use. **We strongly urge that steps 1 and 2 be taken.**

1. Request a meeting with the project Applicant to get more information and to explain the project's impact on you.
2. Contact the nonprofit organization Community Boards at (415) 920-3820, or online at www.communityboards.org for a facilitated discussion in a safe and collaborative environment. Community Boards acts as a neutral third party and has, on many occasions, helped reach mutually agreeable solutions.
3. Where you have attempted, through the use of the above steps or other means, to address potential problems without success, please contact the planner listed on the front of this notice to discuss your concerns.

If, after exhausting the procedures outlined above, you still believe that exceptional and extraordinary circumstances exist, you have the option to request that the Planning Commission exercise its discretionary powers to review the project. These powers are reserved for use in exceptional and extraordinary circumstances for projects which generally conflict with the City's General Plan and the Priority Policies of the Planning Code; therefore the Commission exercises its discretion with utmost restraint. This procedure is called Discretionary Review. If you believe the project warrants Discretionary Review by the Planning Commission, **you must file a Discretionary Review application prior to the Expiration Date shown on the front of this notice.** Discretionary Review applications are available at the Planning Information Center (PIC), 1660 Mission Street, 1st Floor, or online at www.sfplanning.org. You must submit the application in person at the Planning Information Center (PIC) between 8:00am - 5:00pm Monday-Friday, with all required materials and a check payable to the Planning Department. To determine the fee for a Discretionary Review, please refer to the Planning Department Fee Schedule available at www.sfplanning.org. If the project includes multiple building permits, i.e. demolition and new construction, a **separate request for Discretionary Review must be submitted, with all required materials and fee, for each permit that you feel will have an impact on you.**

Incomplete applications will not be accepted.

If no Discretionary Review Applications have been filed within the Notification Period, the Planning Department will approve the application and forward it to the Department of Building Inspection for its review.

BOARD OF APPEALS

An appeal of the Planning Commission's decision on a Discretionary Review case may be made to the **Board of Appeals within 15 calendar days after the building permit is issued** (or denied) by the Department of Building Inspection. Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

ENVIRONMENTAL REVIEW

This project has undergone preliminary review pursuant to California Environmental Quality Act (CEQA). If, as part of this process, the Department's Environmental Review Officer has deemed this project to be exempt from further environmental review, an exemption determination has been prepared and can be obtained through the Exemption Map, on-line, at www.sfplanning.org. An appeal of the decision **to exempt the proposed project from CEQA may be made to the Board of Supervisors within 30 calendar days** after the project approval action identified on the determination. The procedures for filing an appeal of an exemption determination are available from the Clerk of the Board at City Hall, Room 244, or by calling (415) 554-5184.

Under CEQA, in a later court challenge, a litigant may be limited to raising only those issues previously raised at a hearing on the project or in written correspondence delivered to the Board of Supervisors, Planning Commission, Planning Department or other City board, commission or department at, or prior to, such hearing, or as part of the appeal hearing process on the CEQA decision.



**SAN FRANCISCO
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Thursday, May 4, 2017**
 Time: **Not before 12:00 PM (noon)**
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 400**
 Case Type: **Discretionary Review**
 Hearing Body: **Planning Commission**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 4466 24th Street	Case No.: 2015-014612DRP
Cross Street(s): Grand View & Hoffman	Building Permit: 2016.03.29.3298
Block /Lot No.: 2828 / 016A	Applicant: Edward Morris
Zoning District(s): RH-2 / 40-X	Telephone: (415) 749-0302
Area Plan: N/A	E-Mail: toby@kermanmorris.com

PROJECT DESCRIPTION

The Request is a for a Discretionary Review of Building Permit Application No. 2016.03.29.3298 proposing construction of a two-story vertical addition with a roof deck atop the existing two-story building, horizontal expansion of the existing floors at the rear of the building, front façade changes, and the addition of a second dwelling unit to a two-story, single-family dwelling.

A Planning Commission approval at the public hearing would constitute the Approval Action for the project for the purposes of CEQA, pursuant to San Francisco Administrative Code Section 31.04(h).

ADDITIONAL INFORMATION

ARCHITECTURAL PLANS: If you are interested in viewing the plans for the proposed project please contact the planner listed below. The plans of the proposed project will also be available prior to the hearing through the Planning Commission agenda at: <http://www.sf-planning.org>

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department’s website or in other public documents.

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Natalia Kwiatkowska** Telephone: **(415) 575-9185** E-Mail: natalia.kwiatkowska@sfgov.org

GENERAL INFORMATION ABOUT PROCEDURES

HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident that is adjacent to the proposed project or are an interested party on record with the Planning Department. **You are not required to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Planning Commission at the public hearing.

APPEAL INFORMATION

An appeal of the approval (or denial) of a **building permit application** by the Planning Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection. Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

ENVIRONMENTAL REVIEW

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Under CEQA, in a later court challenge, a litigant may be limited to raising only those issues previously raised at a hearing on the project or in written correspondence delivered to the Board of Supervisors, Planning Commission, Planning Department or other City board, commission or department at, or prior to, such hearing, or as part of the appeal hearing process on the CEQA decision.

CITY & COUNTY OF S.F.
PLANNING DEPARTMENT
JAN 12 2017

Application for **Discretionary Review**

CASE NUMBER:
For Staff Use only

2015-014612DRP

APPLICATION FOR Discretionary Review

1. Owner/Applicant Information

DR APPLICANT'S NAME: Fida Sleiman and Kristi Leach		
DR APPLICANT'S ADDRESS: 4470-4472 24th Street, San Francisco, CA	ZIP CODE: 94114	TELEPHONE: (917)968-9372

PROPERTY OWNER WHO IS DOING THE PROJECT ON WHICH YOU ARE REQUESTING DISCRETIONARY REVIEW NAME: Maco Stewart and Michele Lee		
ADDRESS: 4466 24th Street, San Francisco, CA	ZIP CODE: 94114	TELEPHONE: ()

CONTACT FOR DR APPLICATION: Same as Above <input type="checkbox"/> Edward Morris		
ADDRESS: 139 Noe Street	ZIP CODE: 94114	TELEPHONE: (415) 749-0302
E-MAIL ADDRESS: toby@kermanmorris.com		

2. Location and Classification

STREET ADDRESS OF PROJECT: 4466 24th Street	ZIP CODE: 94114
CROSS STREETS: Grand View and Hoffman Ave.	

ASSESSORS BLOCK/LOT: 2828 /016A	LOT DIMENSIONS:	LOT AREA (SQ FT):	ZONING DISTRICT: RH-2 / 40-X	HEIGHT/BULK DISTRICT:
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3. Project Description

Please check all that apply

Change of Use Change of Hours New Construction Alterations Demolition Other

Additions to Building: Rear Front Height Side Yard

Present or Previous Use: single family home

Proposed Use: convert into a 2 unit building (4 stories)

Building Permit Application No. 2016.03.29.3298

Date Filed: 12/14/16

4. Actions Prior to a Discretionary Review Request

Prior Action	YES	NO
Have you discussed this project with the permit applicant?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you discuss the project with the Planning Department permit review planner?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you participate in outside mediation on this case?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

5. Changes Made to the Project as a Result of Mediation

If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes there were made to the proposed project.

We discussed our concerns with the scope of the project and had a meeting with the applicants, architect and city planner. The applicants were willing to discuss modifications to the project but did not agree on any of the ideas we proposed and did not offer any suggestions of their own. No changes to the project were made.

Discretionary Review Request

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.

The size and scale of the proposed project are excessive and are not compatible with the height and depth of surrounding buildings. It in no way helps define, unify, or contribute positively to the existing visual context.

The proposed structure does not fit within the existing streetscape, particularly on this block that has an extreme slope. We, as neighbors, have a right to light and privacy, and both are severely and negatively compromised with the scale of this proposed expansion. [continue on word doc number 1.]

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how:

The structure will obstruct the existing natural light and ventilation for both of our units on the east and north sides of the building. The setback of the top floor penthouse is a questionable solution addressing the issue of the excessive height affecting the natural progression of the skyline. However, the placement of the location of the penthouse is directly in front of all of our east facing living room windows and towers over our the height of our building, thus blocking all natural light coming in from all directions. [continue on word doc number 2.]

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

Removal of the penthouse floor and decks adjacent to and facing our building. Decrease the depth of the expansion into the rear yard.

Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: The other information or applications may be required.

Signature: Kristi Leach

Date: 1-12-17

Print name, and indicate whether owner, or authorized agent:

Kristi Leach
 Owner Authorized Agent (circle one)

Address- 4466. 24th St SF CA 94114

1. All of the points mentioned above are directly reflected in the design guidelines under these various sections:

II. NEIGHBORHOOD CHARACTER

Mixed Visual Character

GUIDELINE: In areas with a mixed visual character, design buildings to help define, unify and contribute positively to the existing visual context. Some block faces do not have an apparent overriding visual character, or the character may be mixed or changing. When no clear pattern is evident on a block face, a designer has a greater opportunity and responsibility to help define, unify, and contribute positively to the existing visual context. Designs should draw on the best features of surrounding buildings. Existing incompatible or poorly designed buildings on the block face do not free the designer from the obligation to enhance the area through sensitive development.

III. SITE DESIGN

TOPOGRAPHY

Guideline: Respect the topography of the site and the surrounding area. New buildings and additions to existing buildings cannot disregard or significantly alter the existing topography of a site. The surrounding context guides the manner in which new structures fit into the streetscape, particularly along slopes and hills. This can be achieved by designing the building so it follows the topography in a manner similar to surrounding buildings.

REAR YARD

GUIDELINE: Articulate the building to minimize impacts on light and privacy to adjacent properties. Rear yards are the open areas of land between the back of the building and the rear property line. When expanding a building into the rear yard, the impact of that expansion on light and privacy for abutting structures must be considered. This can be challenging given San Francisco's dense pattern of development, however, modifications to the building's design can help reduce these impacts and make a building compatible with the surrounding context.

IV. Building Scale And Form

BUILDING SCALE

GUIDELINE: Design the scale of the building to be compatible with the height and depth of surrounding buildings. The building scale is established primarily by its height and depth. It is essential for a building's scale to be compatible with that of surrounding buildings, in order to preserve the neighborhood character. Poorly scaled buildings will seem incompatible (too large or small) and inharmonious with their surroundings. A building that is larger than its neighbors can still be in scale and be compatible with the smaller buildings in the area. It can often be made to look smaller by facade articulations and through setbacks to upper floors. In other cases, it may be necessary to reduce the height or depth of the building

Proportions

GUIDELINE: Design the building's proportions to be compatible with those found on surrounding buildings. Proportions are the dimensional relationships among the building's features, and typically involve the relationship between the height and width of building features. A building's proportions are evident in the floor-to-floor heights of a building, the size and placement of windows and doors, and the scale of features such as porches, cornices and bay windows. Building features must be proportional not only to other features on the building, but also to the features found on surrounding buildings.

2. The front and back decks that surround the penthouse are close to and directly in front of all of our windows and negatively impacts our right to privacy. Anyone standing on those balconies will be directly facing all of the windows on both of our units. The new construction will likely have an impact on the integrity of our foundation.

PJE

CASE NUMBER:
For Staff Use only

Discretionary Review Application Submittal Checklist

Applications submitted to the Planning Department must be accompanied by this checklist and all required materials. The checklist is to be completed and **signed by the applicant or authorized agent.**

REQUIRED MATERIALS (please check correct column)	DR APPLICATION
Application, with all blanks completed	<input checked="" type="checkbox"/>
Address labels (original), if applicable	<input checked="" type="checkbox"/>
Address labels (copy of the above), if applicable	<input checked="" type="checkbox"/>
Photocopy of this completed application	<input checked="" type="checkbox"/>
Photographs that illustrate your concerns	<input checked="" type="checkbox"/>
Covenant or Deed Restrictions	<input type="checkbox"/>
Check payable to Planning Dept.	<input checked="" type="checkbox"/>
Letter of authorization for agent	<input type="checkbox"/>
Other: Section Plan, Detail drawings (i.e. windows, door entries, trim), Specifications (for cleaning, repair, etc.) and/or Product cut sheets for new elements (i.e. windows, doors)	<input type="checkbox"/>

NOTES:

Required Material.

Optional Material.

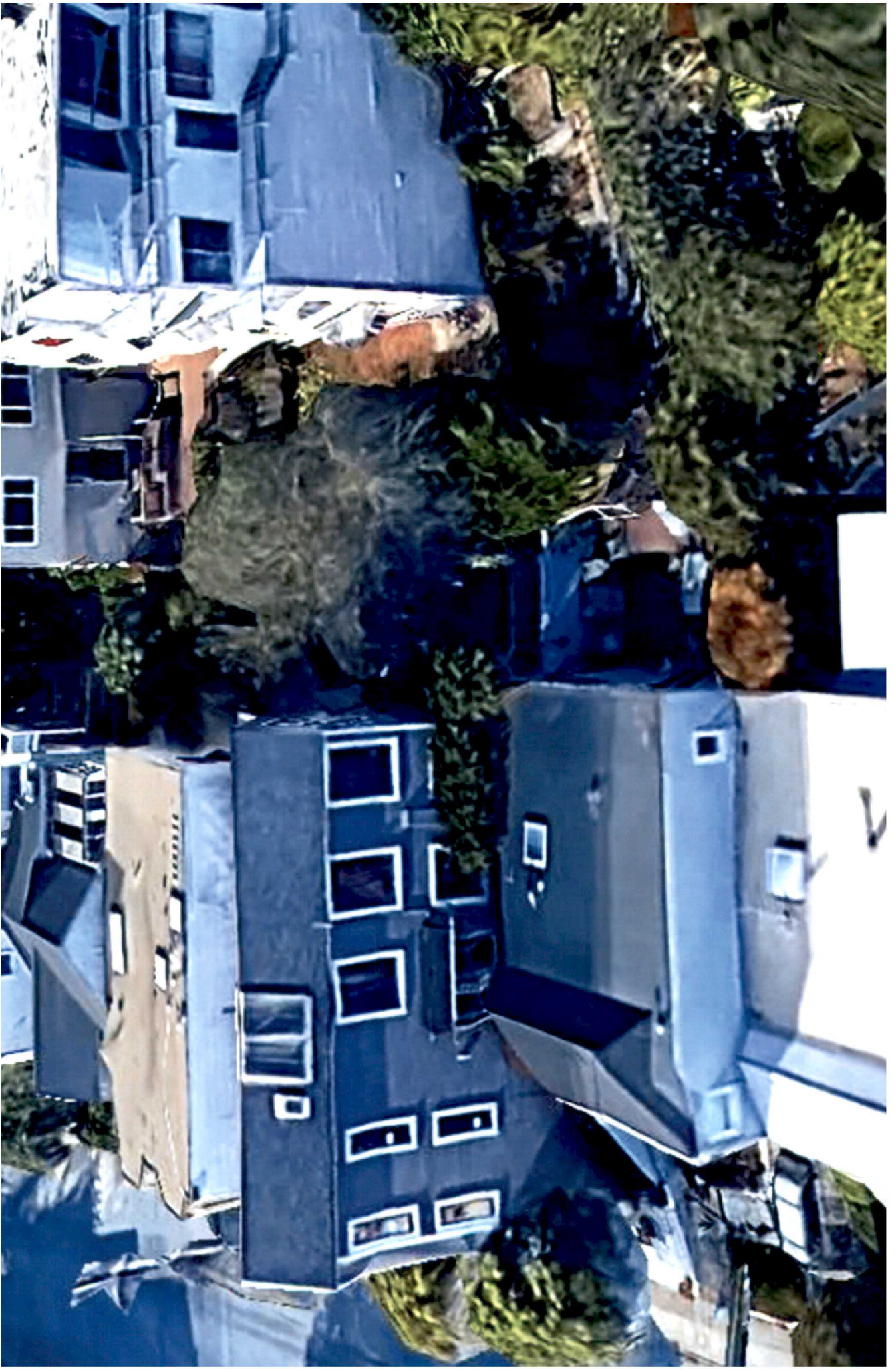
Two sets of original labels and one copy of addresses of adjacent property owners and owners of property across street.

For Department Use Only

Application received by Planning Department:

By: _____

Date: 1/12/17

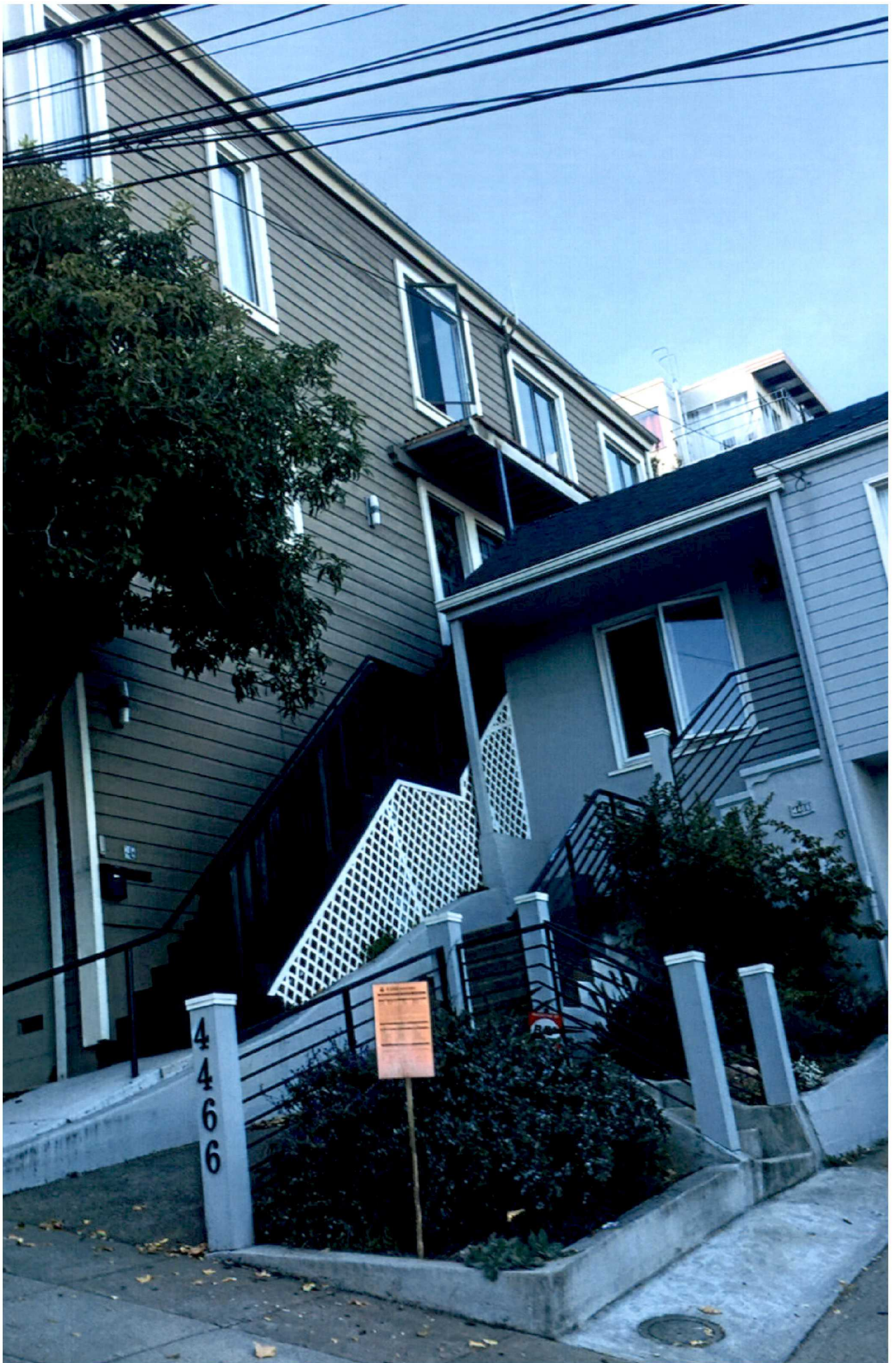










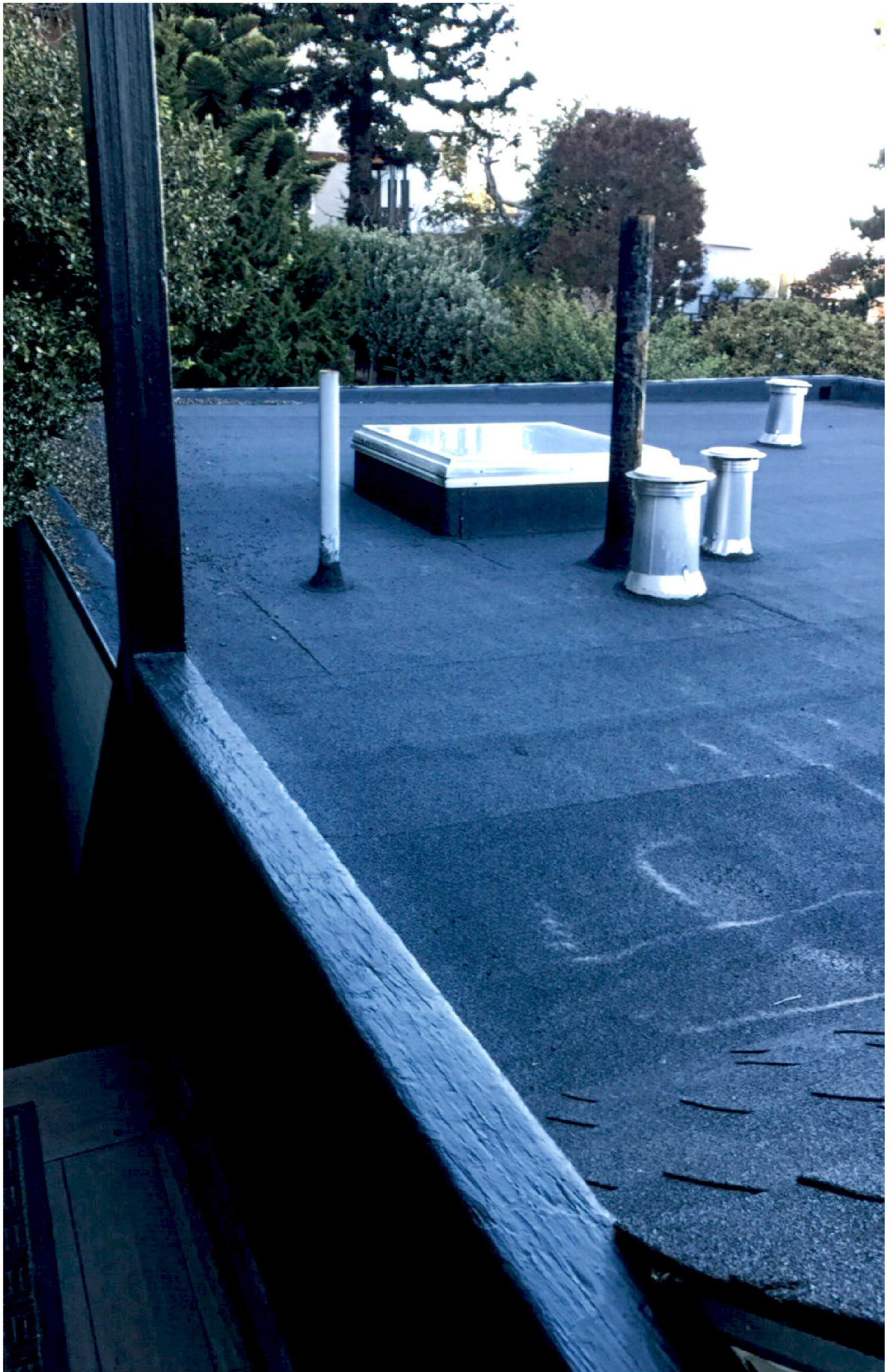
















RESPONSE TO
DISCRETIONARY
REVIEW (DRP)



SAN FRANCISCO PLANNING DEPARTMENT
1650 MISSION STREET, SUITE 400
SAN FRANCISCO, CA 94103-2479
MAIN: (415) 558-6378 SFPLANNING.ORG

Project Information

Property Address: _____ Zip Code: _____

Building Permit Application(s): _____

Record Number: _____ Assigned Planner: _____

Project Sponsor

Name: _____ Phone: _____

Email: _____

Required Questions

1. Given the concerns of the DR requester and other concerned parties, why do you feel your proposed project should be approved? (If you are not aware of the issues of concern to the DR requester, please meet the DR requester in addition to reviewing the attached DR application.)

2. What alternatives or changes to the proposed project are you willing to make in order to address the concerns of the DR requester and other concerned parties? If you have already changed the project to meet neighborhood concerns, please explain those changes and indicate whether they were made before or after filing your application with the City.

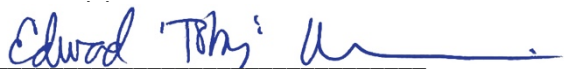
3. If you are not willing to change the proposed project or pursue other alternatives, please state why you feel that your project would not have any adverse effect on the surrounding properties. Include an explanation of your needs for space or other personal requirements that prevent you from making the changes requested by the DR requester.

Project Features

Please provide the following information about the project for both the existing and proposed features. **Please attach an additional sheet with project features that are not included in this table.**

	EXISTING	PROPOSED
Dwelling Units (only one kitchen per unit - additional kitchens count as additional units)		
Occupied Stories (all levels with habitable rooms)		
Basement Levels (may include garage or windowless storage rooms)		
Parking Spaces (Off-Street)		
Bedrooms		
Height		
Building Depth		
Rental Value (monthly)		
Property Value		

I attest that the above information is true to the best of my knowledge.

Signature: 	Date:
Printed Name:	<input type="checkbox"/> Property Owner <input type="checkbox"/> Authorized Agent

If you have any additional information that is not covered by this application, please feel free to attach additional sheets to this form.

See attached.

4466 24th Street - RESPONSE TO DISCRETIONARY REVIEW
BPA 2016.0329.3298; 2015-014612DRP
Answers to Required Questions 1-3
2/15/17 (Kerman Morris Architects LLP)

Question 1:

Given the concerns of the DR requester and other concerned parties, why do you feel your proposed project should be approved?

The proposed project should be approved because it is consistent with zoning (no variances required); it has undergone extensive revisions pursuant to RDT review and consistency with the Residential Design Guidelines; and it provides one more dwelling unit to this RH-2 lot.

Revisions made to improve proposal:

Since the 11/12/15 Pre-Application meeting (which the DR Applicant attended, and which preceded application with the City) the project sponsor has made the many changes reducing the height, depth, size and massing of the proposed additions to the subject property, each directly benefiting the DR Applicant:

At Rear:

- Pulled the top/third floor back (south) 9'-10 ½" (reduction of mass; improves DR Applicant's views of the Mid-Block Open Space),
- Removed the solid guardrails over the rear section 136(c)(25) pop-out and replaced them with glass rails (improves DR Applicant's views of the Mid-Block Open Space),

At the Roof:

- Removed the roof deck and stair penthouse over the 3rd floor (reduces building height and removes potential privacy concern for DR Applicant),

At the Front:

- Pulled back the top floor an additional 8' (for a total of 15' from the building's principal façade wall (restores views from 5 of the DR Applicant's east facing windows; and reduces perceived height of building as seen from street to 2 stories over garage, identical to DR Applicant's structure),

On the East Side:

- Pulled the top floor 5' away from the east property line (further reduces size/visibility of the top floor addition and is consistent with the topography of the site, with a diminutive 1 story over garage structure to the east and larger 2 ½ story over garage to the west),

Question 2:

What alternatives or changes to the proposed project are you willing to make in order to address the concerns of the DR requester and other concerned parties? If you have already changed the project to meet neighborhood concerns, please explain those changes and indicate whether they were made before or after filing your application with the City.

The DR Applicant requests the removal of the penthouse floor and decks (the subject property's proposed 3rd floor) facing the DR Applicant's building and to decrease the depth of the expansion into the rear yard; they are further concerned about their "right to light and privacy."

Removal of proposed top floor:

Given the reductions already made to benefit the DR Applicant (see above), the project sponsor is not able/willing to make additional reductions in the building massing. The 311 noticed minimal top floor addition enables the new unit to have 3 Bedrooms and private open space suitable for a modest family unit in a family neighborhood.

Preservation of Light:

While current views (not protected) from four (4) east facing windows of the DR Applicant's building will be blocked (they currently look over the diminutive 1 story over garage structure on the subject lot), "light" will be preserved. The DR Applicant's building has a 3'-6" side yard which will provide plenty of "light" and "air" (ventilation) to those windows. While direct sun rays will be diminished in the morning hours, these four windows will receive "light" from the sky.

- We propose to paint our property line wall (facing the DR Applicant's windows) a light color to increase light to them.

Privacy:

The DR Applicant is concerned with "privacy" and the degree to which the proposed front and rear facing decks on the subject property will provide views into the DR Applicant's windows. Both of these decks are at the master bedroom level of the subject project, where they are unlikely to see intensive use (the new unit has a rear yard facing deck directly off of its living room which will be its primary private open space).

- The Project Sponsors have repeatedly offered to consider additional changes or revisions in response to the DR Applicant's "privacy" concerns, but they have expressed unwillingness to consider anything other than removal of the top floor. They have an open invitation to the DR Applicant to discuss this.

DR Applicant's Foundation:

The DR Applicant is concerned with the possible "impact" construction at the subject property may have on the "integrity of their foundation." While this is not an issue subject to Planning Department review, it is a common concern among neighbors, with San Francisco's zero lot line construction and steep hillsides.

- The need to underpin the DR Applicant's foundations is unlikely given that their foundation is 3.5 feet away from the common side property line shared with the subject property. Regardless, should any underpinning or shoring be required to execute the alterations proposed at the subject property, it will be engineered to protect the integrity of the DR Applicant's foundations, and will be subject to permitting and inspections.

Question 3:

If you are not willing to change the proposed project or pursue other alternatives, please state why you feel that your project would not have any adverse effect on the surrounding properties. Include an explanation of your needs for space or other personal requirements that prevent you from making the changes requested by the DR requester

Not Applicable:

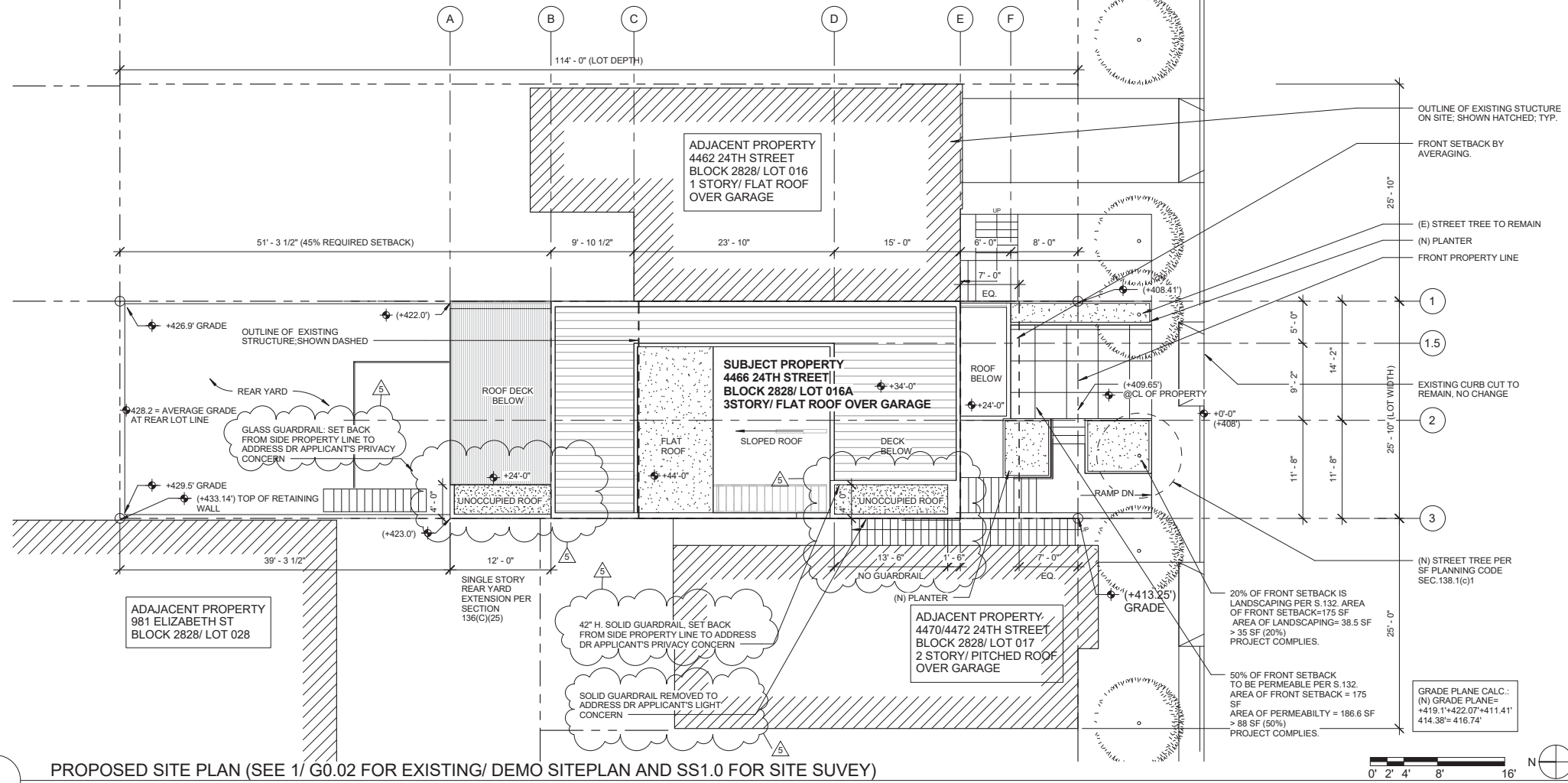
The project sponsor is willing to make additional changes noted above. Should the DR Applicant have other alternative modifications they would like to suggest (shy of removing/reducing the top floor and its decks) the project sponsor is willing to review and consider them.

Space needs and personal requirements:

The owners'/project sponsor's current home is 2-Bedrooms and 930 square feet. The project proposal will create a 3+ Bedroom family unit on the building's garage and 1st floor levels, suitable for their growing family. The development of a new dwelling unit at the structure's top two floors will enable the owners to pay for the expansion to their own home (while also creating one more much needed dwelling unit in the City of San Francisco).

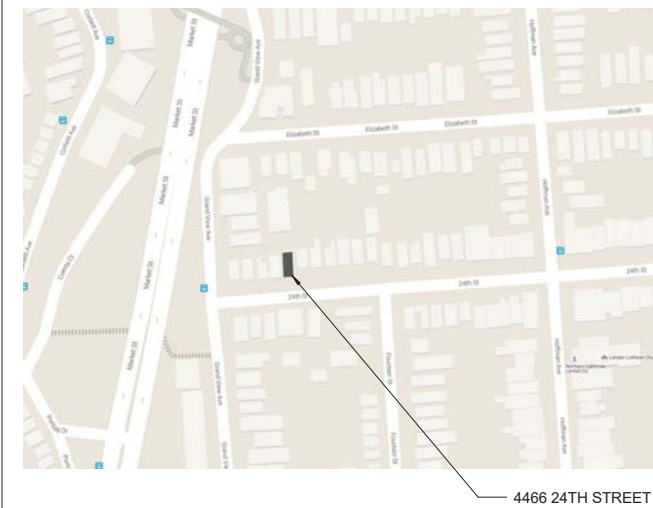
4466 24TH STREET

ADDITION & ALTERATIONS TO CONVERT SINGLE FAMILY HOME INTO 2-UNIT BUILDING



1 PROPOSED SITE PLAN (SEE 1/ G0.02 FOR EXISTING/ DEMO SITEPLAN AND SS1.0 FOR SITE SUVEY)
1/8" = 1'-0"

LOCATION MAP



Revisions	
5	R5 - 04/20/2017



4466 24TH STREET
ADDITION & ALTERATIONS TO CONVERT SINGLE FAMILY HOME INTO 2-UNIT BUILDING

BLOCK 2828 / LOT 044

NOTICE

These drawings and specifications are the property and copyright of Kerman Morris Architects and shall not be used on any other work except by written agreement with Kerman Morris Architects. The Contractor shall verify all existing conditions. Written dimensions take preference over scaled dimensions and shall be verified on the project site. Any discrepancy shall be brought to the attention of Kerman Morris Architects prior to the commencement of any work. These drawings are an industry standards builders set for building permit and to assist the contractor in construction. The drawings show limited and only representative typical details.

All attachments, connections, fastenings, etc., are to be properly secured in conformance with best practice, and the Contractor shall be responsible for providing and installing them.

COVER SHEET

DATE	04/20/2017
SCALE	AS NOTED
DRAWN BY	SN
CHECKED BY	CT
JOB NO.	1510

G0.01

TITLE 24 COMPLIANCE

Title-24 Mandatory Measures:
All work to comply with Title-24 Mandatory Measures including but not limited to: R-19 min. insulation in all new/rebuilt exterior walls; R-30 min. insulation in all new/rebuilt roofs; R-19 raised floor insulation in all new/rebuilt wood framed floors; double insulated doors and window products with certified U-value and infiltration certification; exterior doors and windows weather-stripped; all joints and penetrations caulked and sealed; 50% minimum high efficacy lighting in kitchens (separately switched); high efficacy lighting in bathrooms, garage, laundry room and utility rooms (or manual-on occupancy sensor); all other rooms, lighting to be high efficacy, manual-on occupancy sensor, or dimmer.
All recessed incandescent ceiling fixtures to be IC approved.

DESCRIPTION OF WORK

The project proposes converting an existing 1 story over garage single family residence to (2) unit residence. The work consists of renovation to existing building with both vertical and horizontal expansions within the allowable building/zoning envelope. The new building will consist of two units from basement to 3rd floors and one parking space for each unit on the basement/ garage level. The scope of work includes, removal of existing rear wall, horizontal expansion into the rear yard, vertical expansion of 2 stories as well as alteration to the existing facade.
All work to comply with current local and state codes including, but not limited to: the 2013 edition of the California Building Code, the California Plumbing Code, the California Mechanical Code, the California electrical Code and the California Fire Code, the current editions of the San Francisco Building and Planning Codes, title-24 Energy Standards, etc...

GROSS SQ.FT. AREA CALCULATION BY FLOOR

	EXISTING SQ. FT.	PROPOSED SQ. FT.
BASEMENT	520	1,560
FIRST FLOOR	930	1,620
SECOND FLOOR	—	1,258
THIRD FLOOR	—	497
TOTAL	1,450	4,935

GROSS SQ.FT. AREA CALCULATION BY UNIT

	UNIT 1	UNIT 2	COMMON AREA	TOTAL
BASEMENT	770 GSF	—	790 GSF	1,560 GSF
FIRST FLOOR	1,482 GSF	138 GSF	—	1,620 GSF
SECOND FLOOR	—	1,258 GSF	—	1,258 GSF
THIRD FLOOR	—	497 GSF	—	497 GSF
TOTAL	2,252 GSF	1,893 GSF	815 GSF	4,935 GSF

NET SQ.FT. AREA CALCULATION BY UNIT

	UNIT 1	UNIT 2	COMMON AREA
BASEMENT	622 NSF	—	744 NSF
FIRST FLOOR	1,400 NSF	90 NSF	—
SECOND FLOOR	—	1,169 NSF	—
THIRD FLOOR	—	456 NSF	—
TOTAL	2,022 NSF	1,715 NSF	744 NSF

INDEX

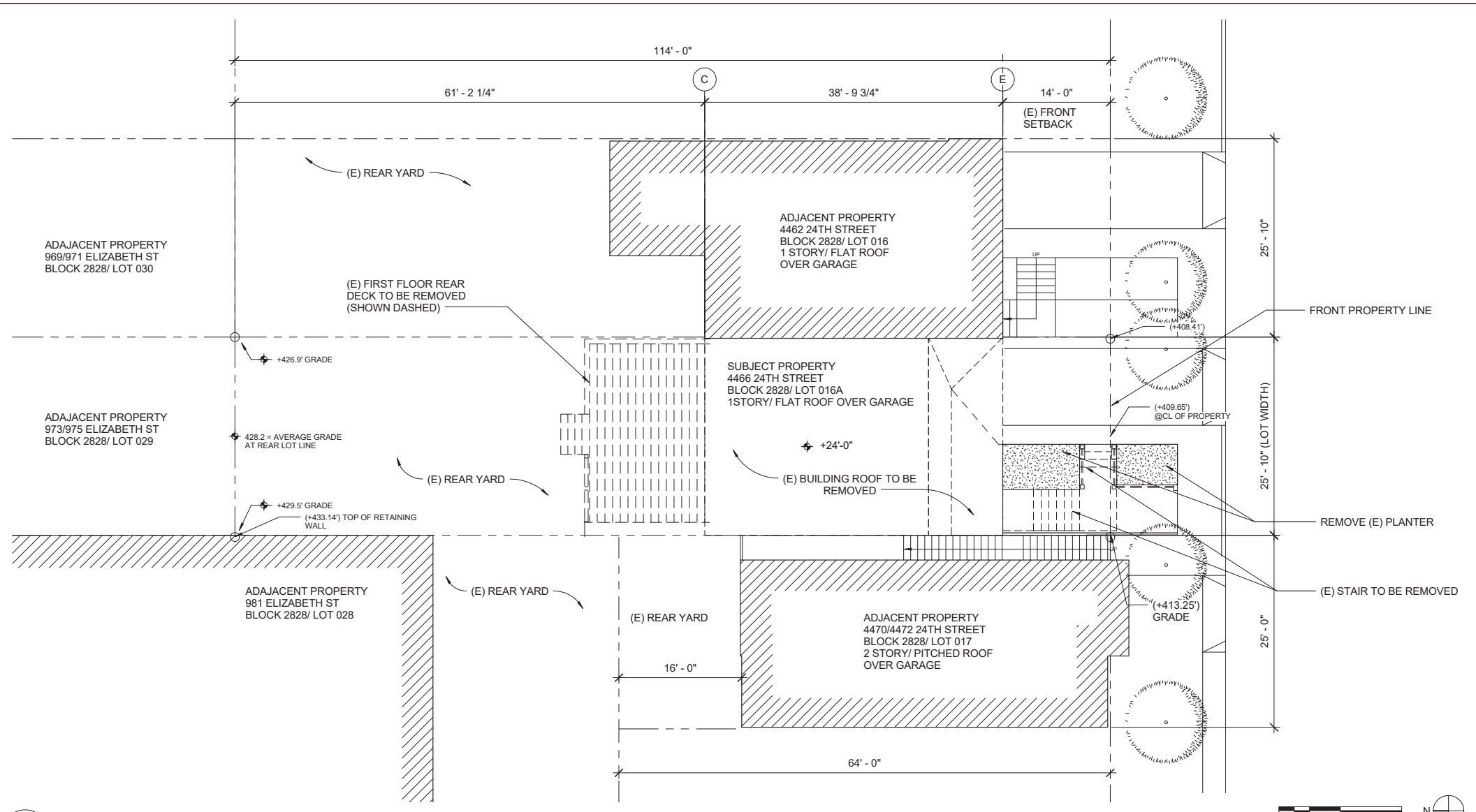
- G0.01 COVER SHEET
- G0.02 PROJECT INFORMATION
- G0.03 GENERAL NOTES, ABB, SYMBOLS
- G0.04 PRE APP FINDINGS
- G0.05 DEMO CALC VERTICAL ELEMENTS
- G0.06 DEMO CALC HORIZONTAL ELEMENTS
- G0.07 EXITING DIAGRAM
- SS1.0 SITE SURVEY
- A0.01 BASEMENT EXISTING/ DEMOLITION PLAN
- A0.02 FIRST FLOOR EXISTING/ DEMOLITION PLAN
- A0.03 EXISTING SOUTH (FRONT) ELEVATION
- A0.04 EXISTING EAST ELEVATION
- A0.05 EXISTING NORTH (REAR) ELEVATION
- A0.06 EXISTING WEST ELEVATION
- A0.07 EXISTING BUILDING SECTION
- A1.01 PROPOSED BASMENT PLAN
- A1.02 PROPOSED FIRST FLOOR PLAN
- A1.03 PROPOSED SECOND FLOOR PLAN
- A1.04 PROPOSED THIRD FLOOR PLAN
- A1.05 PROPOSED ROOF PLAN
- A2.01 PROPOSED SOUTH (FRONT) ELEVATION
- A2.02 PROPOSED WEST ELEVATION
- A2.03 PROPOSED NORTH (REAR) ELEVATION
- A2.04 PROPOSED EAST ELEVATION
- A3.01 PROPOSED BUILDING SECTION
- A3.02 PROPOSED BUILDING SECTION
- A7.01 PARTITION SCHEDULE

PROJECT DATA

OWNER:	MACO STEWART MICHELE LEE
PROJECT ADDRESS:	4466 24TH STREET SAN FRANCISCO, CA 94114
BLOCK/ LOT:	BLOCK 2828 / LOT 016A
ZONING DISTRICT:	RH-2/ 40X
LOT SIZE:	2,994 SQ FT
SFBC OCCUPANCY CLASS:	EXISTING R-3 SINGLE FAMILY HOME PROPOSED R-3 2 FAMILY RESIDENTIAL
CONSTRUCTION TYPE:	TYPE-VB (FULLY SPRINKLERED)
ARCHITECT:	KERMAN MORRIS ARCHITECTS 139 NOE STREET SAN FRANCISCO, CA 94114 T: (415) 749 0302

SITE PERMIT R5

04/ 20/ 2017



1 EXISTING/ DEMOLITION SITE PLAN
1/8" = 1'-0"

PLANNING DEPARTMENT NOTES:

Project location: 4466 24th Street, 2828/016A
 Zoning District: RH-2
 Building Height Limit: 40-X
 Height limit: 40 feet maximum
 Existing use: Single family home
 Proposed Building Use:
 2 Unit Multi-family Dwelling
 Historic Resource Status: B - Unknown/ Age eligible
 Article 1: General Zoning Provisions
 Height Definition
 Sec. 102. HEIGHT (OF A BUILDING OR STRUCTURE)
 Height (of a building or structure). The vertical distance by which a building or structure rises above a certain point of measurement. See Section 260 of this Code for how height is measured.
 Front Setback
 Sec. 132 FRONT SETBACKS
 Required. Based on average of adjacent properties or if subject property has a Legislated Setback. When front setback is based on adjacent properties, in no case shall be required setback greater than 15 feet. Proposed front setback is at 6' - 10'. Project complies with a greater front setback.
 Rear Yard
 Sec. 134 (a)(2) The minimum rear yard depth shall be equal to 45 percent of the total depth of the lot on which the building is situated;
 Sec. 134 (b) The minimum rear yard depth shall be equal to 45 percent of the total depth of the lot on which the building is situated;
 Sec. 134 (c) The rear yard requirement for RH-2 shall be reduced in the circumstances described in Subsection (c) to a 15-foot minimum, under no circumstances, shall the minimum rear yard be thus reduced to less than a depth equal to 25 percent of the total depth of the lot on which the building is situated, or to less than 15 feet, whichever is greater.
 Sec. 134(c)(1) Rear yard may be reduced to the average depth of the rear building walls of the two adjacent buildings; provided the last 10' of depth is limited to 30' in height.
 Averaging per Sec. 134(c) results in no smaller a setback than 45% rule. Rear setback is proposed at 45% line. Project complies.
 Residential Design Guidelines
 Sec. 311(c)(1) The construction of new residential buildings and alteration of existing residential buildings in RH-2 shall be consistent with the design policies and guidelines of the General Plan and with the "Residential Design Guidelines" as adopted and periodically amended for specific areas or conditions by the Planning Commission.
 Front Setback Landscaping and Permeability Requirements
 Sec. 132(g) all front setback areas required by this section shall be met when an addition of a new dwelling unit. All front setback areas required should be appropriately landscaped and no less than 20 percent of the required setback area shall be and remain unpaved and devoted to plant material. Project complies.
 Sec. 132(h) The front setback area shall be at least 50% permeable so as to increase stormwater infiltration. Project complies.
 Usable Open Space
 Sec. 135 Table 135 A
 In RH-2 districts, 125 S.F. private or 166 S.F. common open space is required per dwelling unit. 1015 sq feet of open space is provided for lower unit and 529.0 sq feet is provided for upper level. (complies)
 Parking requirements
 Sec. 151. Generally a minimum of one space for every dwelling unit required. 2 parking spaces are provided for the proposed two units. Project complies.
 Article 2.5: Height and Bulk Districts
 Height
 Sec. 261: HEIGHT LIMITS: MEASUREMENT
 Building shall be 40'-0" high
 (c) Height Limits Applicable to Front Portion of the Property. The following additional height limits shall apply to the front portion of properties containing dwellings in RH-2 Districts:
 (1) Basic Requirement. The height limit shall be 30 feet at the front lot line where the lot is subject to a legislated setback line or required front setback as described in Section 131 or Section 132 of this Code, then at such setback; and shall increase at an angle of 45 degrees from the horizontal toward the rear of the lot until the height limit prescribed by Subsection (b) above is reached.
 Sec.260 (C) For level or up sloping lot no portion of a dwelling in any RH-2 District shall exceed a height of 40 feet. Where the lot slopes upward from a street at the centerline of the building or building step, such point shall be taken at curb level for purposes of measuring the height of the closest part of the building within 10 feet of the property line of such street; at every other cross-section of the building, at right angles to the centerline of the building or building step, such point shall be taken as the average of the ground elevations at either side of the building or building step at that cross-section. The proposed building envelope situates within the property line defined by this section.



Revisions



4466 24TH STREET
 ADDITION & ALTERATIONS TO CONVERT SINGLE FAMILY HOME INTO 2-UNIT BUILDING
 BLOCK 2828 / LOT 044

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PROJECT INFORMATION

DATE	04/20/2017
SCALE	1/8" = 1'-0"
DRAWN BY	SN
CHECKED BY	CT
JOB NO.	1510

BUILDING DEPARTMENT NOTES:

(SEE SHEET G0.0X FOR ADDITIONAL DBI MEETING NOTES.)
 OCCUPANCY CLASSIFICATIONS: R-3 (2 family residential) over S2 (parking garage)
 CONSTRUCTION TYPE:
 Three stories over basement Type VB (Fully Sprinklered)
 Maximum Allowable Stories above Grade Plane: 4 (3 + 1 for Fully Sprinklered)
 NUMBER OF STORIES: 3 Stories over basement
 Allowable Building Height: Type VB- 60' (40' + 20' for Fully Sprinklered)
 Proposed Building Height: 40'-0"
 Maximum Allowable Area Per Floor: Type VB- UL
 Proposed Building Area: 5,478 SF

GENERAL BUILDING INFO:	EXISTING	PROPOSED
CONSTRUCTION TYPE (SPRINKLERED)	VB (NOT SPRINKLERED)	VB (FULLY SPRINKLERED)
NO. OF STORIES:	1	3
NO. OF BASEMENTS:	1	1
BUILDING SQ. FT. INFO:	EXISTING	PROPOSED
BASEMENT AREA:	521 SF	1,569 SF
FIRST FLOOR AREA:	930 SF	1,655 SF
SECOND FLOOR AREA:	0 SF	1,258 SF
THIRD FLOOR AREA:	0 SF	497 SF
TOTAL FLOOR AREA:	1,451 SF	4,935 SF

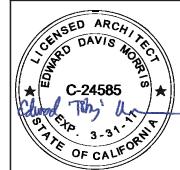
Note: Gross sq. ft. used for occupant load evaluation. (All exterior and interior walls included.)

PREVAILING CODES & REGULATIONS:

- 2013 California Building Code with San Francisco Amendments
- 2013 California Electrical Code with San Francisco Amendments
- 2013 California Mechanical Code with San Francisco Amendments
- 2013 California Plumbing Code with San Francisco Amendments
- 2013 Green Building Code with San Francisco Amendments
- 2013 California Energy Code

G0.02

Revisions



4466 24TH STREET

ADDITION & ALTERATIONS TO CONVERT SINGLE FAMILY HOME INTO 2-UNIT BUILDING

BLOCK 2828 / LOT 044

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DEMO CALC-VERTICAL ELEMENTS

DATE 04/20/2017

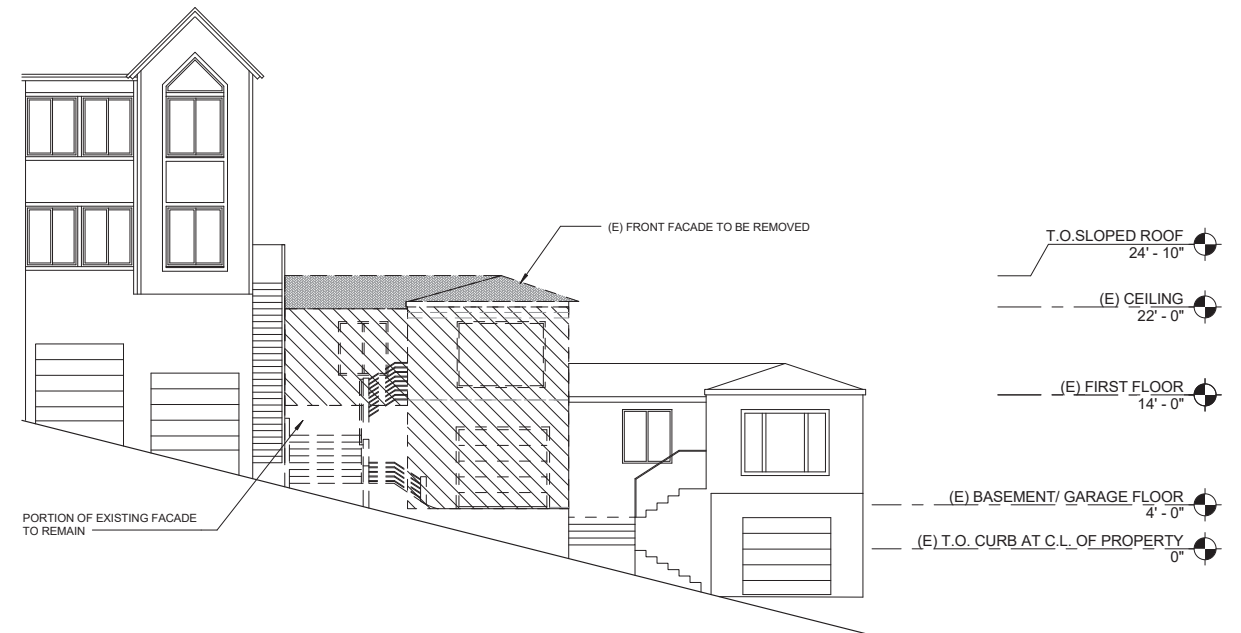
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DRAWN BY SN

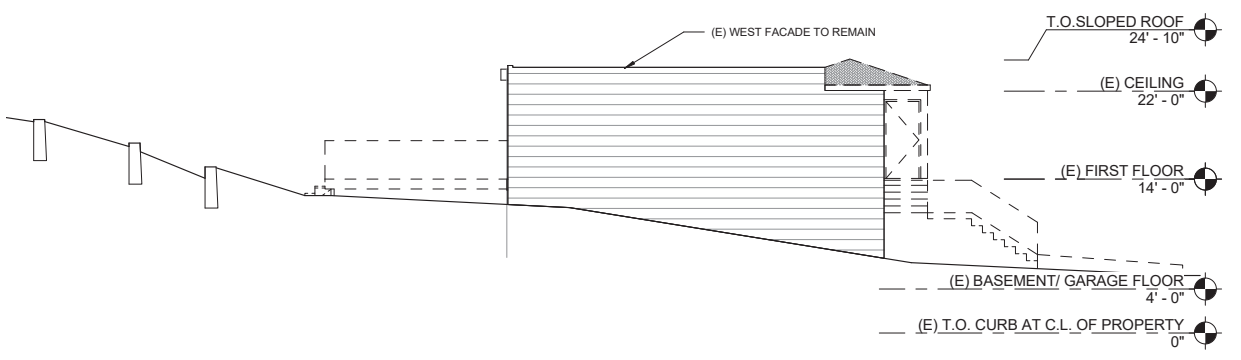
CHECKED BY CT

JOB NO. 1510

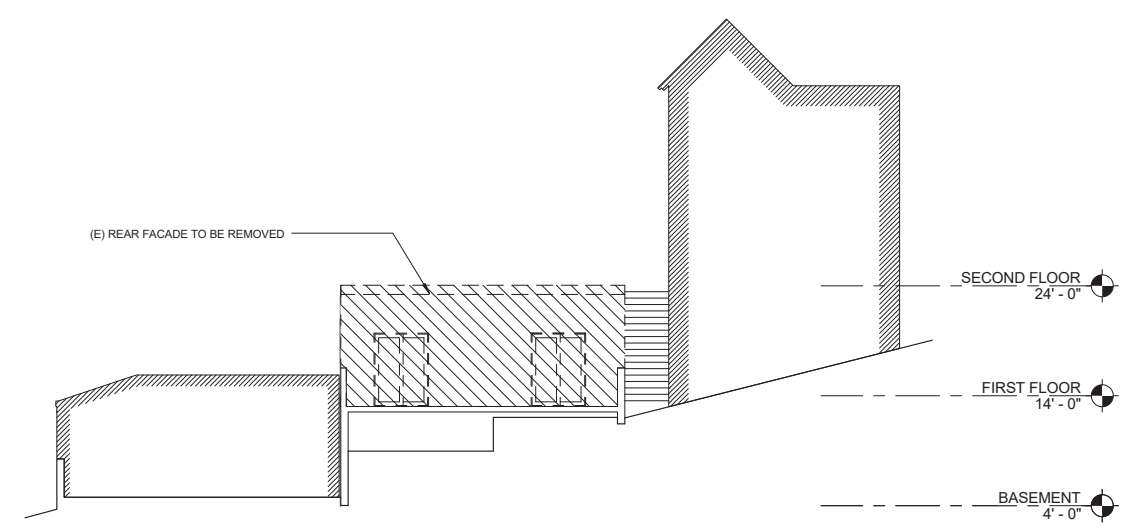
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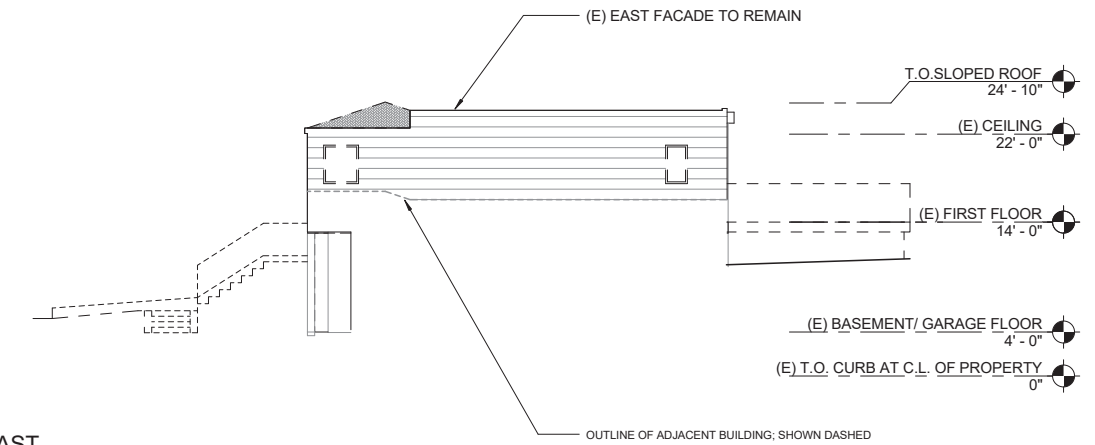
4 EXISTING FRONT (SOUTH)
1/8" = 1'-0"



3 EXISTING WEST
1/8" = 1'-0"



2 EXISTING NOTH (REAR)
1/8" = 1'-0"



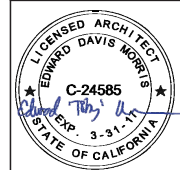
1 EXISTING EAST
1/8" = 1'-0"

DEMOLITION CALCULATION

(PER SF PLANNING CODE SECTION 317)

REMOVAL OF ELEMENTS	PROPOSED PROJECT	PROPOSED (TOTAL)	PLANNING LIMITS & COMPLIANCE	
REMOVAL OF FRONT FACADE AND REAR FACADE, MEASURED IN LINEAR FEET AT THE FOUNDATION LEVEL <u>AND</u>	S (25' - 10" / 25' - 10") N (25' - 10" / 25' - 10")	100% RE: G0.06	50% OR MORE	<u>YES</u>
REMOVAL OF ALL EXTERNAL WALLS, MEASURED IN LINEAR FEET AT THE FOUNDATION LEVEL	S (25' - 10" / 25' - 10") E (0 / 38' - 2") N (25' - 10" / 25' - 10") W (3' - 11" / 38' - 2")	43.4% RE: G0.06	65% OR MORE	
REMOVAL OF VERTICAL ENVELOPE ELEMENTS, MEASURED IN SQ. FEET OF ACTURAL SURFACE AREA <u>AND</u>	S (363.7 SF / 515.74 SF) E (0 / 746.43 SF) N (311.7 SF / 311.74 SF) W (32.28 SF / 523.02 SF)	33.7% RE: G0.05	50% OR MORE	<u>YES</u>
REMOVAL OF THE HORIZONTAL ELEMENTS, MEASURED IN SQ. FEET OF ACTUAL SURFACE AREA	BASE (N/A / N/A) 1ST (0 / 943 SF) ROOF (1001 SF / 1001 SF)	51.5% RE: G0.06	50% OR MORE	

Revisions



4466 24TH STREET
 ADDITION &
 ALTERATIONS TO
 CONVERT SINGLE
 FAMILY HOME INTO
 2-UNIT BUILDING

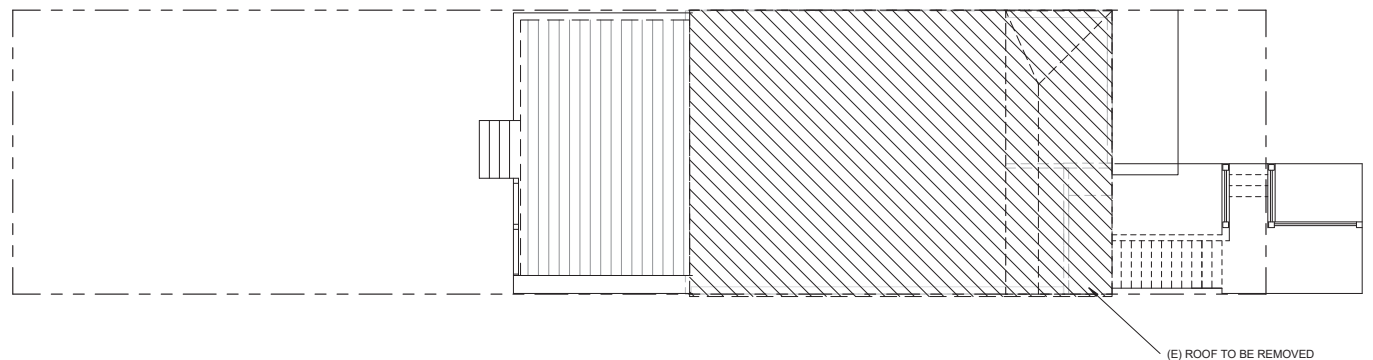
BLOCK 2828 / LOT 044

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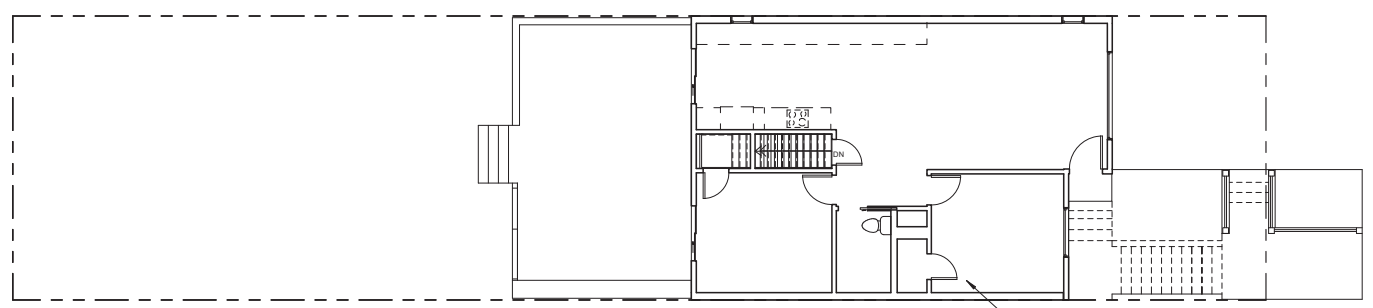
**DEMO CALC-
 HORIZONTAL
 ELEMENTS**

DATE 04/20/2017
 SCALE 1/8" = 1'-0"
 DRAWN BY SN
 CHECKED BY CT
 JOB NO. 1510

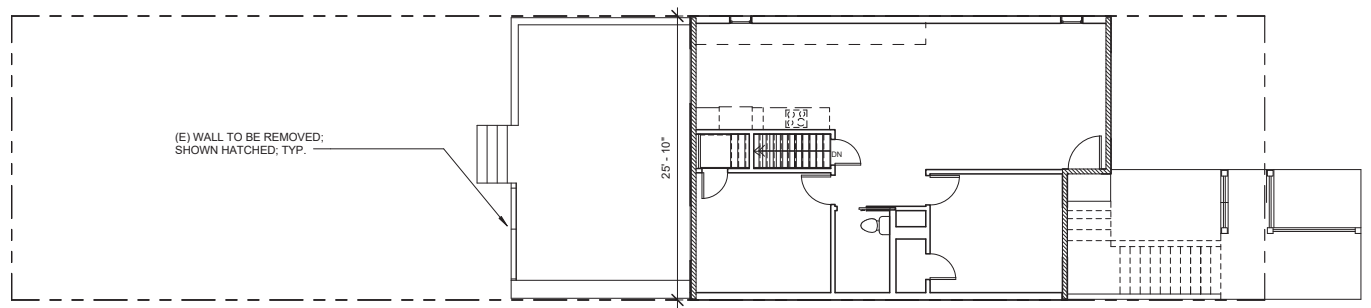
G0.06



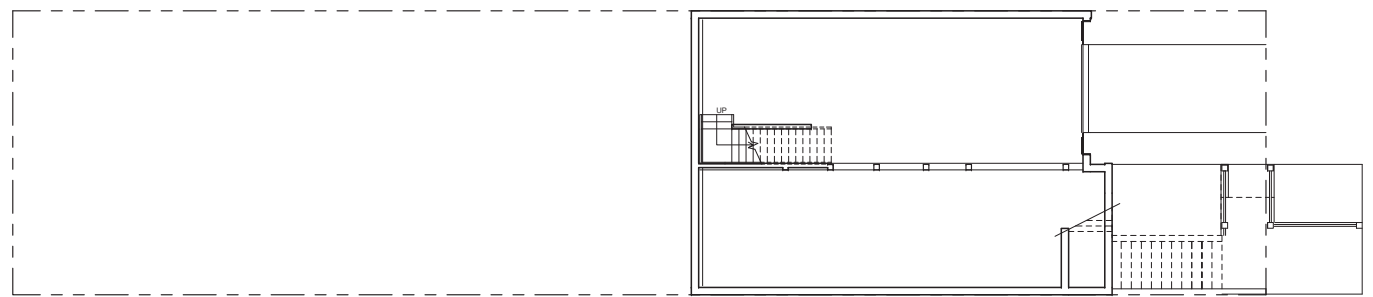
5 EXISTING ROOF (FLOOR DEMO CALC.)
 1/8" = 1'-0"



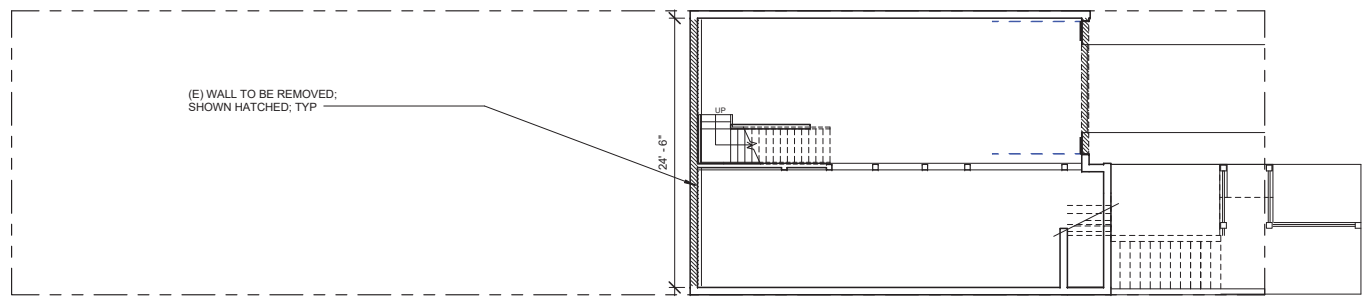
4 EXISTING FIRST FLOOR (FLOOR DEMO CLAC.)
 1/8" = 1'-0"



2 EXISTING FIRST FLOOR (WALL DEMO CLAC.)
 1/8" = 1'-0"



3 EXISTING BASEMENT PLAN (FLOOR DEMO CLAC.)
 1/8" = 1'-0"



1 EXISTING BASEMENT PLAN (WALL DEMO CLAC.)
 1/8" = 1'-0"

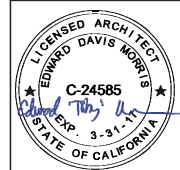
ACCORDING TO THE PLANNING CODE, SECTION 317(b)(2)(B) REQUIRES AN ALTERATION OF A RESIDENTIAL BUILDING THAT PROPOSES THE REMOVAL OF MORE THAN 50% OF THE SUM OF THE FRONT FACADE AND REAR FACADE AND ALSO PROPOSES THE REMOVAL OF MORE THAN 65% OF THE SUM OF ALL EXTERIOR WALLS, MEASURED IN LINEAL FEET AT THE FOUNDATION LEVEL TO BE CONSIDERED A DEMOLITION. IN THIS CASE, THE ALTERATION OF THE RESIDENTIAL BUILDING PROPOSES THE REMOVAL OF 43.4.0 % OF THE SUM OF ALL EXTERIOR WALLS AND 100% OF THE THE SUM OF THE FRONT FACADE AND REAR FACADE. THEREFORE **BUILDING COMPLIES**.

ACCORDING TO PLANNING CODE SEC.317(b)(2)(C) REQUIRES ALTERATION OF A RESIDENTIAL BUILDING THAT PROPOSES THE REMOVAL OF MORE THAN 50% OF THE VERTICAL ENVELOPE ELEMENTS AND MORE THAN 50% OF THE HORIZONTAL ELEMENTS OF THE EXISTING BUILDING, AS MEASURED IN SQUARE FEET OF ACTUAL SURFACE AREA TO BE CONSIDERED AS DEMOLITION. IN THIS CASE, THE ALTERATION OF THE RESIDENTIAL BUILDING PROPOSES THE REMOVAL OF 33.7% OF THE VERTICAL ENVELOPE ELEMENTS AND 51.5% OF THE HORIZONTAL ELEMENTS OF THE EXISTING BUILDING. ONLY HORIZONTAL ELEMENT EXCEED THE MAXIMUM AMOUNT OF REMOVAL, THEREFORE, **BUILDING COMPLIES**.

DEMOLITION CALCULATION
 (PER SF PLANNING CODE SECTION 317)

REMOVAL OF ELEMENTS	PROPOSED PROJECT	PROPOSED (TOTAL)	PLANNING LIMITS & COMPLIANCE
REMOVAL OF FRONT FACADE AND REAR FACADE, MEASURED IN LINEAL FEET AT THE FOUNDATION LEVEL AND	S (25' - 10" / 25' - 10") N (25' - 10" / 25' - 10")	100% RE: G0.06	50% OR MORE
REMOVAL OF ALL EXTERNAL WALLS, MEASURED IN LINEAL FEET AT THE FOUNDATION LEVEL	S (25' - 10" / 25' - 10") E (0 / 38' - 2") N (25' - 10" / 25' - 10") W (3' - 11" / 38' - 2")	43.4% RE: G0.06	65% OR MORE
REMOVAL OF VERTICAL ENVELOPE ELEMENTS, MEASURED IN SQ. FEET OF ACTURAL SURFACE AREA AND	S (363.7 SF / 515.74 SF) E (0 / 746.43 SF) N (311.7 SF / 311.74 SF) W (32.28 SF / 523.02 SF)	33.7% RE: G0.05	50% OR MORE
REMOVAL OF THE HORIZONTAL ELEMENTS, MEASURED IN SQ. FEET OF ACTUAL SURFACE AREA	BASE (N/A / N/A) 1ST (0 / 943 SF) ROOF (1001 SF / 1001 SF)	51.5% RE: G0.06	50% OR MORE

Revisions



4466 24TH STREET
 ADDITION &
 ALTERATIONS TO
 CONVERT SINGLE
 FAMILY HOME INTO
 2-UNIT BUILDING

BLOCK 2828 / LOT 044

NOTICE

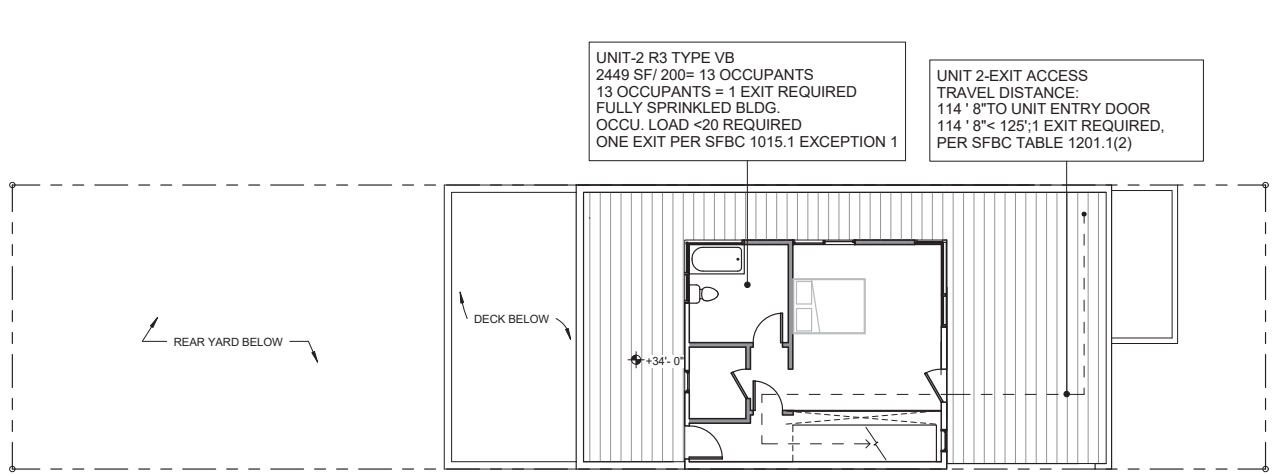
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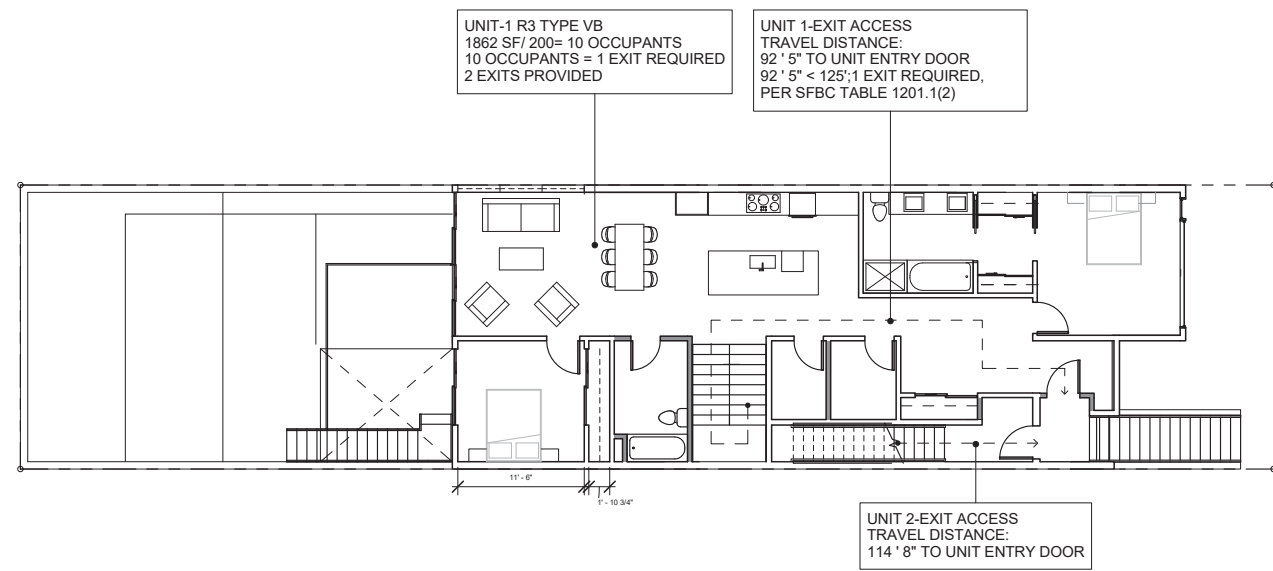
EXITING DIAGRAM

DATE	04/20/2017
SCALE	
DRAWN BY	SN
CHECKED BY	TM
JOB NO.	1510

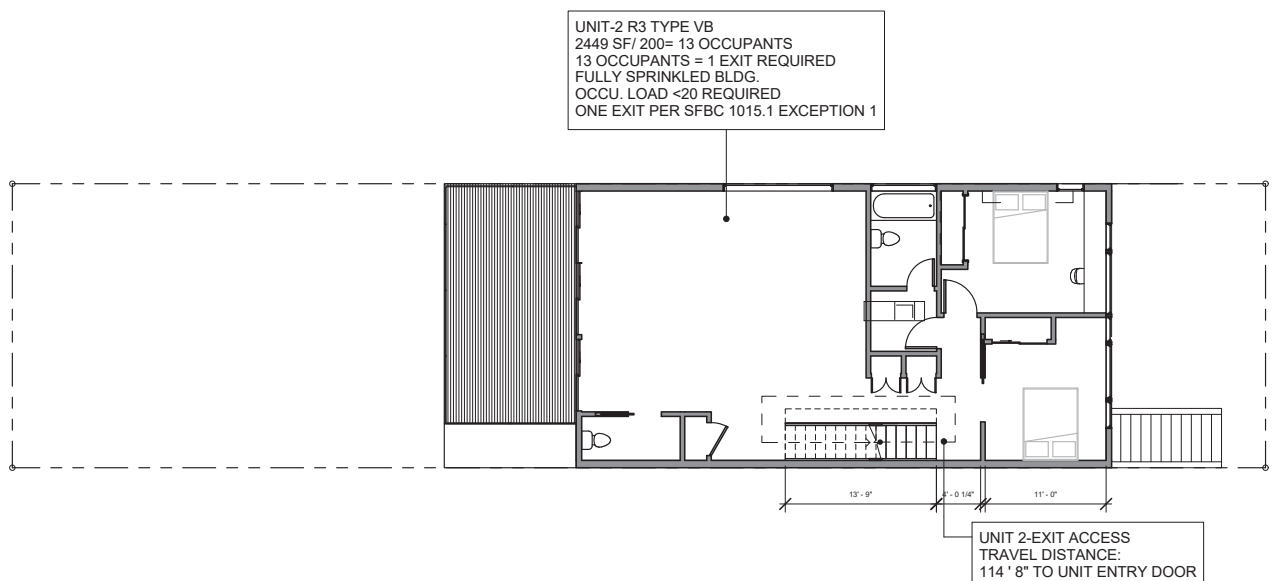
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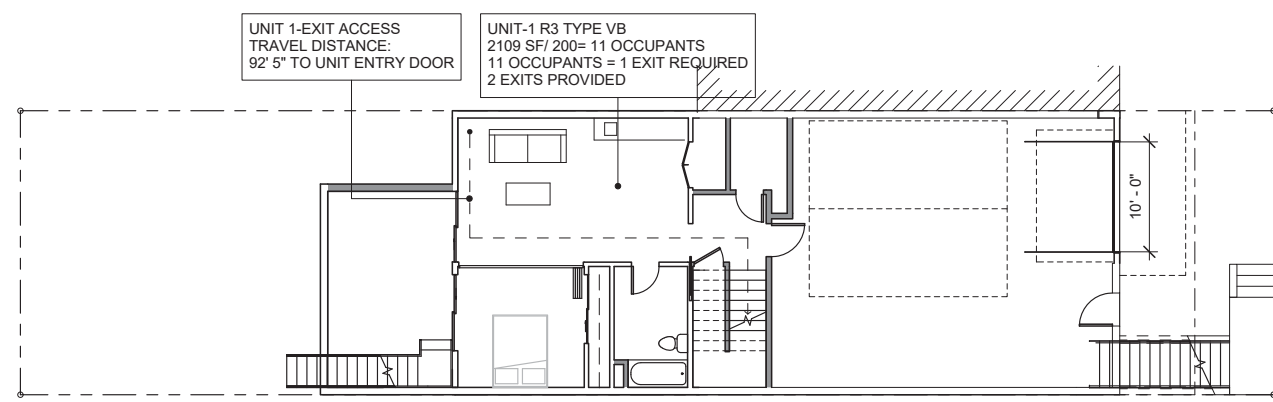
④ THIRD



② FIRST



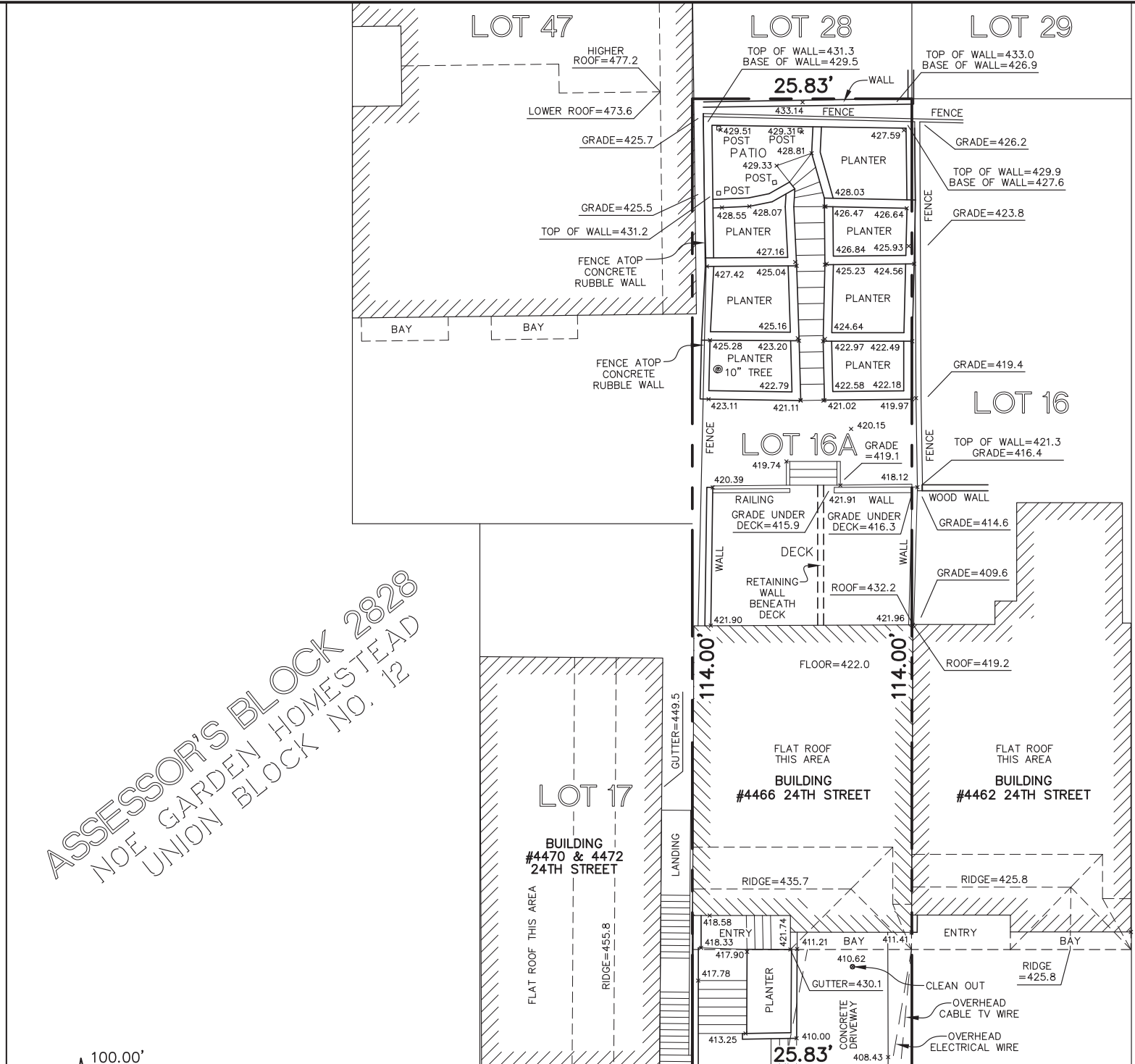
③ SECOND



① BASEMENT

GRAND VIEW AVENUE {60' WIDE}

ASSESSOR'S BLOCK 2828
NOE GARDEN HOMESTEAD
UNION BLOCK NO. 12

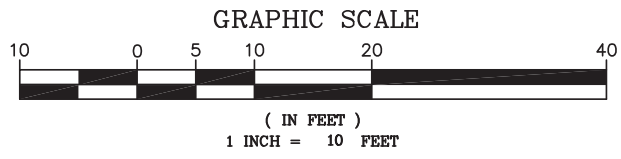


NOTES:

1. ALL DISTANCES ARE MEASURED IN FEET AND DECIMAL FEET.
 2. ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE NOTED.
 3. THE ELEVATIONS SHOWN ON THIS SURVEY ARE BASED ON CITY OF SAN FRANCISCO DATUM. THE BENCHMARK FOR THIS SURVEY IS THE PLUS CUT ON THE NORTH RIM OF THE BELL SYSTEM MANHOLE IN THE SIDEWALK 20' WEST AND SOUTH OF THE CENTERLINE INTERSECTION OF GRAND VIEW AVENUE AND 24TH STREET. ELEVATION = 455.175 FEET
- { } = RECORD/FILED INFORMATION SUCH AS STREET WIDTHS, DEED OR MAP INFORMATION SHOWN FOR REFERENCE.

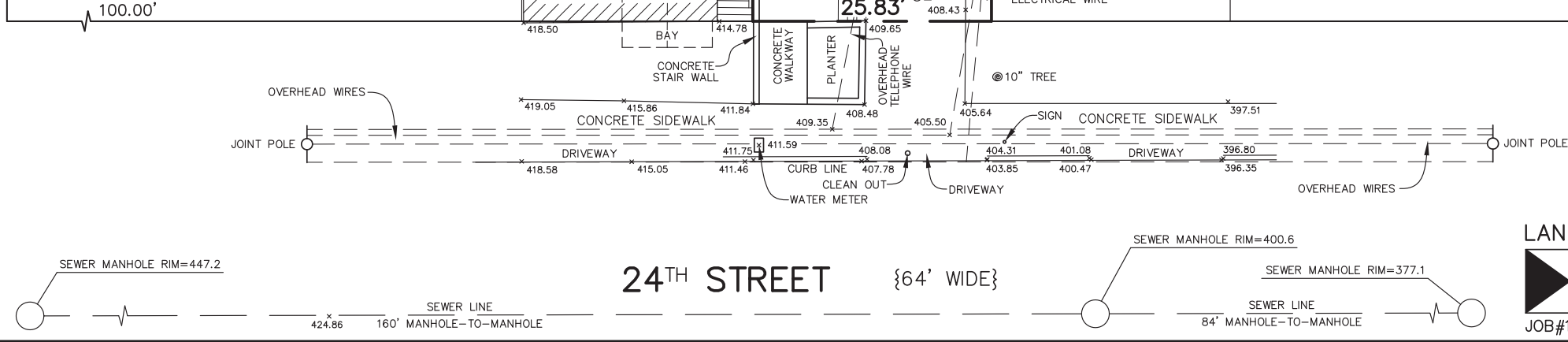


9/10/2015



SITE SURVEY

THE PROPERTY DESCRIBED IN THE DEED RECORDED ON APRIL 3, 2013 AS DOCUMENT 2013-J630588-00 IN THE OFFICIAL RECORDS OF THE CITY AND COUNTY OF SAN FRANCISCO, STATE OF CALIFORNIA BEING ASSESSOR'S LOT 16A OF BLOCK 2828 COMMONLY KNOWN AS 4466 24TH STREET
SAN FRANCISCO, CALIFORNIA
AUGUST 2015



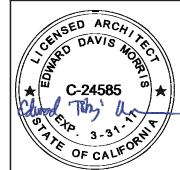
LANGFORD LAND SURVEYING
424 PRESTON COURT
LIVERMORE, CA 94551
PHONE (510) 530-5200
JOB#15-3291 DRAWING=3291ST24.DWG

KEY NOTES

- 1 (E) WALL TO BE REMOVED; SHOWN DASHED; TYP.
- 5 (E) STAIRS & RAILS TO BE REMOVED; SHOWN DASHED; TYP.
- 6 (E) COLUMN TO BE REMOVED; SHOWN DASHED; TYP.
- 7 (E) WATER HEATER TO BE REMOVED; SHOWN DASHED; TYP.
- 8 (E) FURNACE TO BE REMOVED; SHOWN DASHED; TYP.
- 11 (E) GARAGE DOOR TO BE REMOVED; SHOWN DASHED; TYP.



Revisions



4466 24TH STREET

ADDITION & ALTERATIONS TO CONVERT SINGLE FAMILY HOME INTO 2-UNIT BUILDING

BLOCK 2828 / LOT 044

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BASEMENT EXISTING/ DEMOLITION PLAN

DATE 04/20/2017

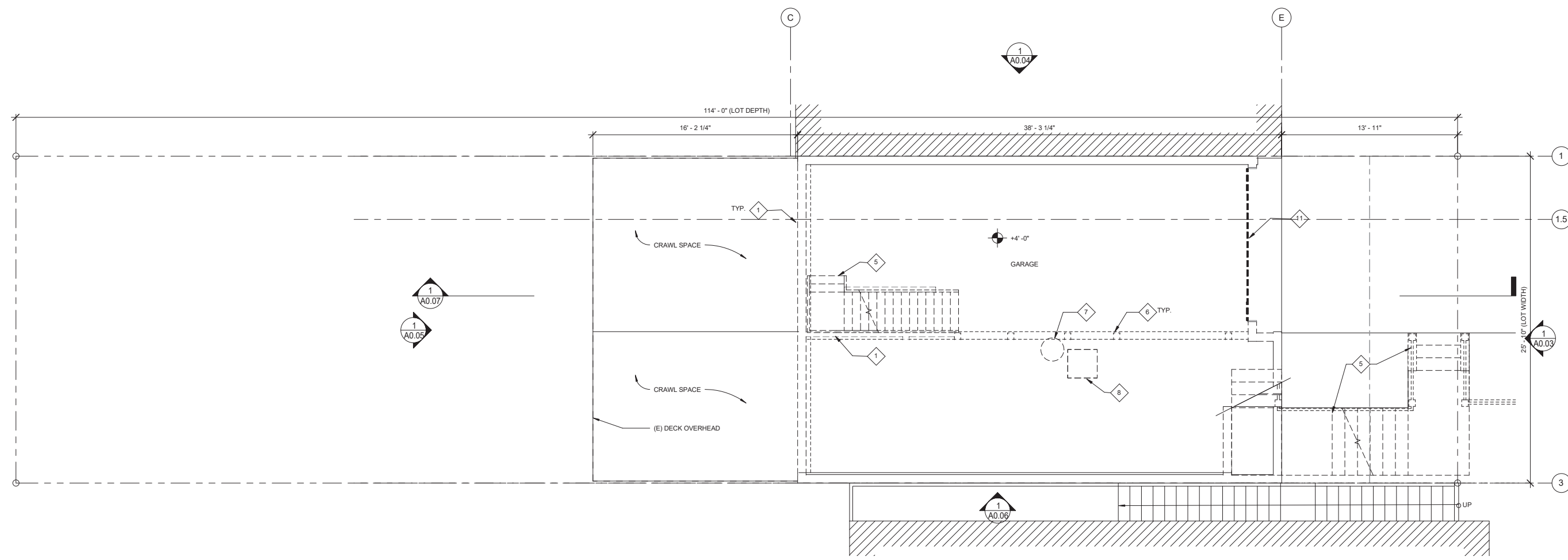
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DRAWN BY SN

CHECKED BY CT

JOB NO. 1510

A0.01



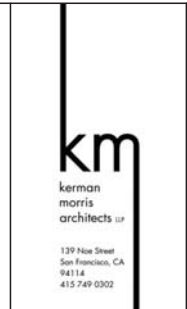
LEGEND

- WALL TO REMAIN
- NEW WALL
- WALL TO BE REMOVED
- 1-HR SEPERATION

1 GARAGE/ BASEMENT FLOOR EXISTING/ DEMOLITION PLAN
1/4" = 1'-0"

KEY NOTES

- 1 (E) WALL TO BE REMOVED; SHOWN DASHED; TYP.
- 2 (E) KITCHEN FIXTURE, CABINETS & APPLIANCE TO BE REMOVED; SHOWN DASHED; TYP.
- 3 (E) BATHROOM FIXTURE TO BE REMOVED; SHOWN DASHED; TYP.
- 4 (E) DOOR TO BE REMOVED; SHOWN DASHED; TYP.
- 5 (E) STAIRS & RAILS TO BE REMOVED; SHOWN DASHED; TYP.
- 9 (E) FIRE PLACE TO BE REMOVED; SHOWN DASHED; TYP.
- 10 (E) WINDOW TO BE REMOVED; SHOWN DASHED; TYP.
- 12 (E) DECK TO BE REMOVED; SHOWN DASHED; TYP.
- 39 P.L. WINDOW TO BE REMOVED



Revisions



4466 24TH STREET

ADDITION & ALTERATIONS TO CONVERT SINGLE FAMILY HOME INTO 2-UNIT BUILDING

BLOCK 2828 / LOT 044

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FIRST FLOOR EXISTING/ DEMOLITION PLAN

DATE 04/20/2017

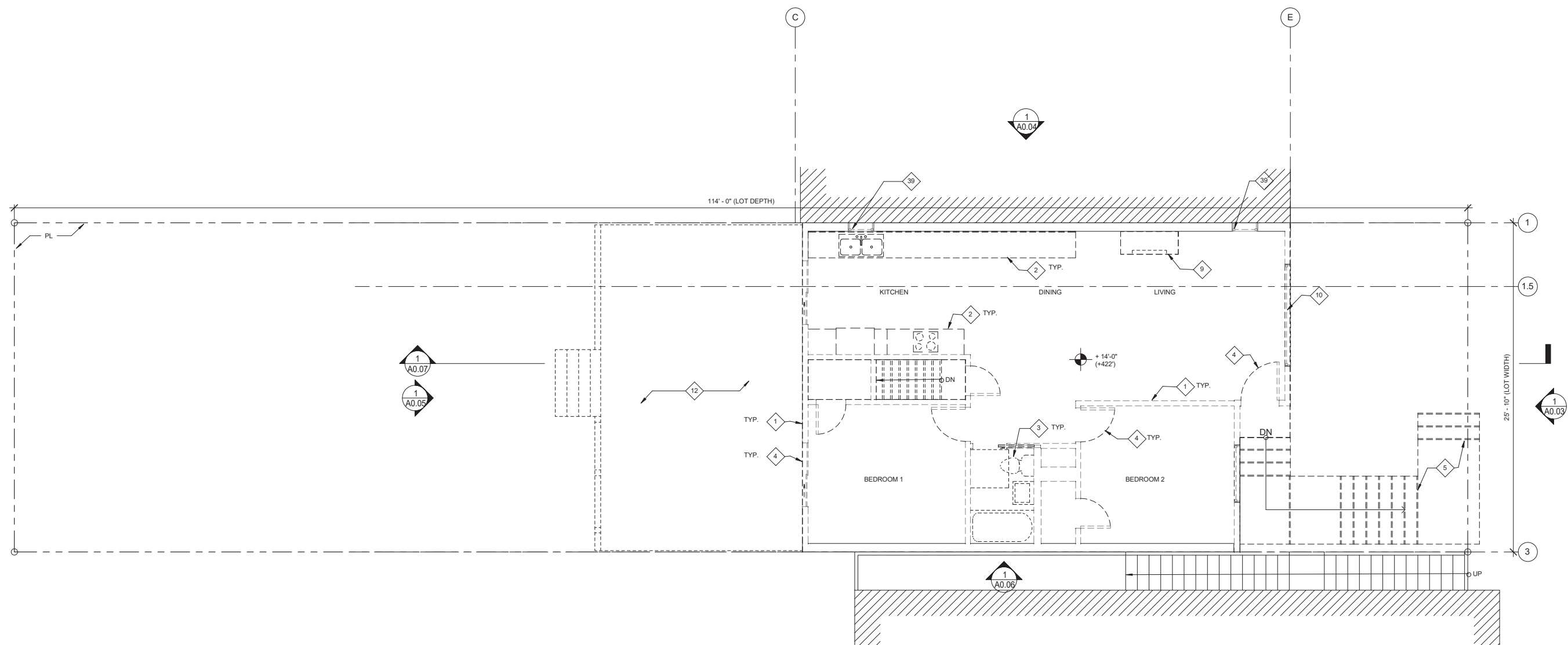
SCALE 1/4" = 1'-0"

DRAWN BY SN

CHECKED BY CT

JOB NO. 1510

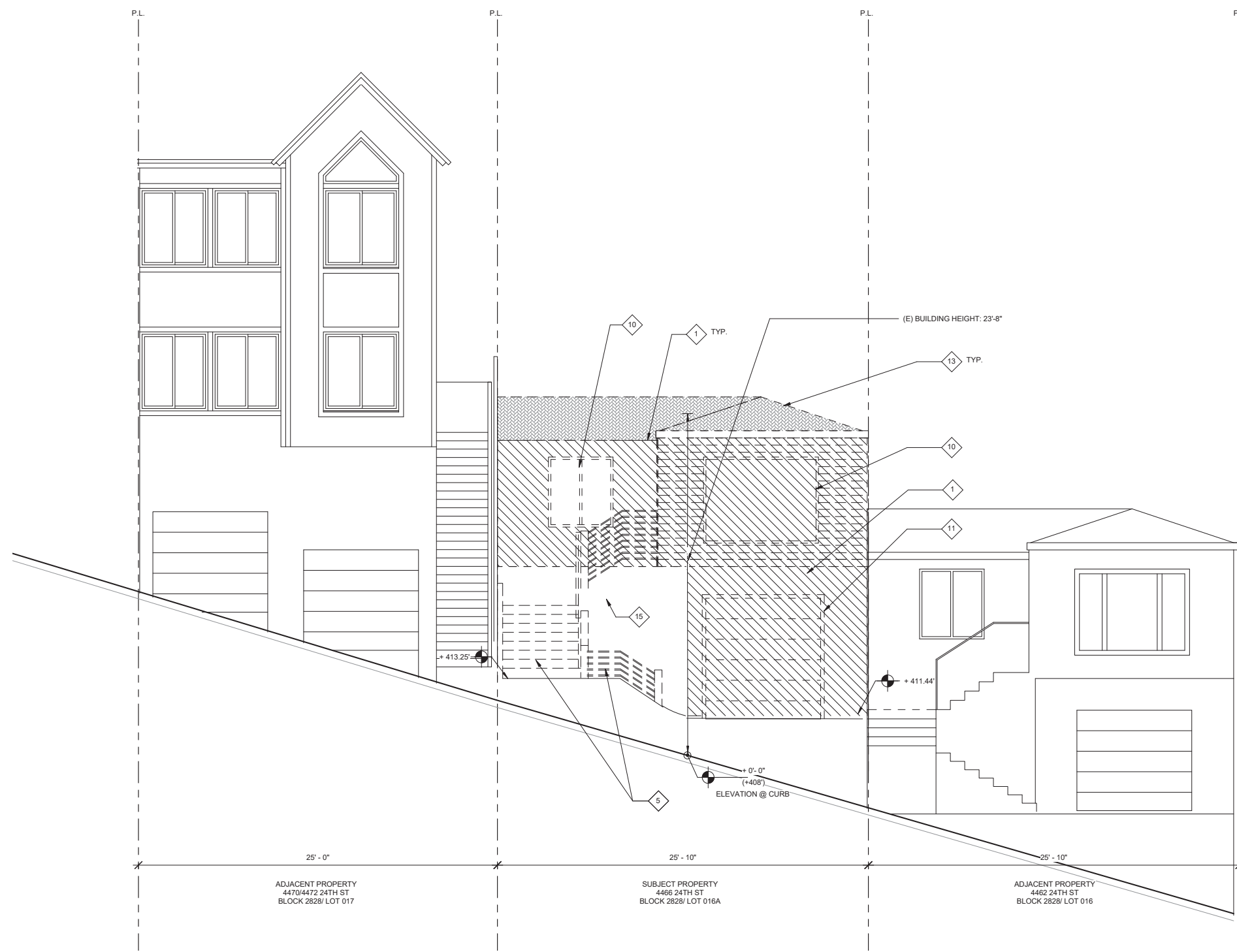
A0.02



LEGEND

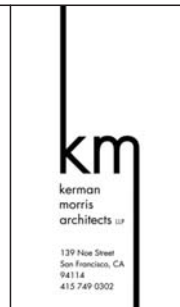
- WALL TO REMAIN
 - NEW WALL
 - - - WALL TO BE REMOVED
 - 1-HR SEPERATION
- 0' 2' 4' 8' N

1 FIRST FLOOR EXISTING/ DEMOLITION PLAN
1/4" = 1'-0"

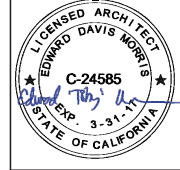


KEY NOTES

- 1 (E) WALL TO BE REMOVED; SHOWN DASHED; TYP.
- 5 (E) STAIRS & RAILS TO BE REMOVED; SHOWN DASHED; TYP.
- 10 (E) WINDOW TO BE REMOVED; SHOWN DASHED; TYP.
- 11 (E) GARAGE DOOR TO BE REMOVED; SHOWN DASHED; TYP.
- 13 (E) ROOF TO BE REMOVED; SHOWN DASHED; TYP.
- 15 (E) WALL TO REMAIN; PTD; TYP.



Revisions	



4466 24TH STREET

ADDITION & ALTERATIONS TO CONVERT SINGLE FAMILY HOME INTO 2-UNIT BUILDING

BLOCK 2828 / LOT 044

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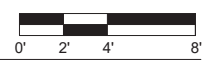
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EXISTING SOUTH (FRONT) ELEVATION

DATE	04/20/2017
SCALE	1/4" = 1'-0"
DRAWN BY	SN
CHECKED BY	CT
JOB NO.	1510

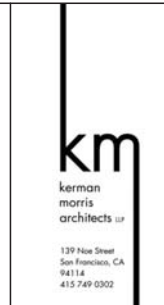
1 EXISTING SOUTH (FRONT) ELEVATION
1/4" = 1'-0"



A0.03

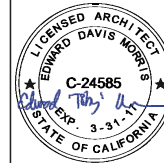
KEY NOTES

- 5 (E) STAIRS & RAILS TO BE REMOVED; SHOWN DASHED; TYP.
- 12 (E) DECK TO BE REMOVED; SHOWN DASHED; TYP.
- 13 (E) ROOF TO BE REMOVED; SHOWN DASHED; TYP.
- 39 P.L. WINDOW TO BE REMOVED
- 40 (E) WALL TO REMAN, HOR. SIDING TO BE REMOVED; SHOWN DASHED; TYP.



Revisions

NO.	DESCRIPTION



4466 24TH STREET

ADDITION & ALTERATIONS TO CONVERT SINGLE FAMILY HOME INTO 2-UNIT BUILDING

BLOCK 2828 / LOT 044

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EXISTING EAST ELEVATION

DATE 04/20/2017

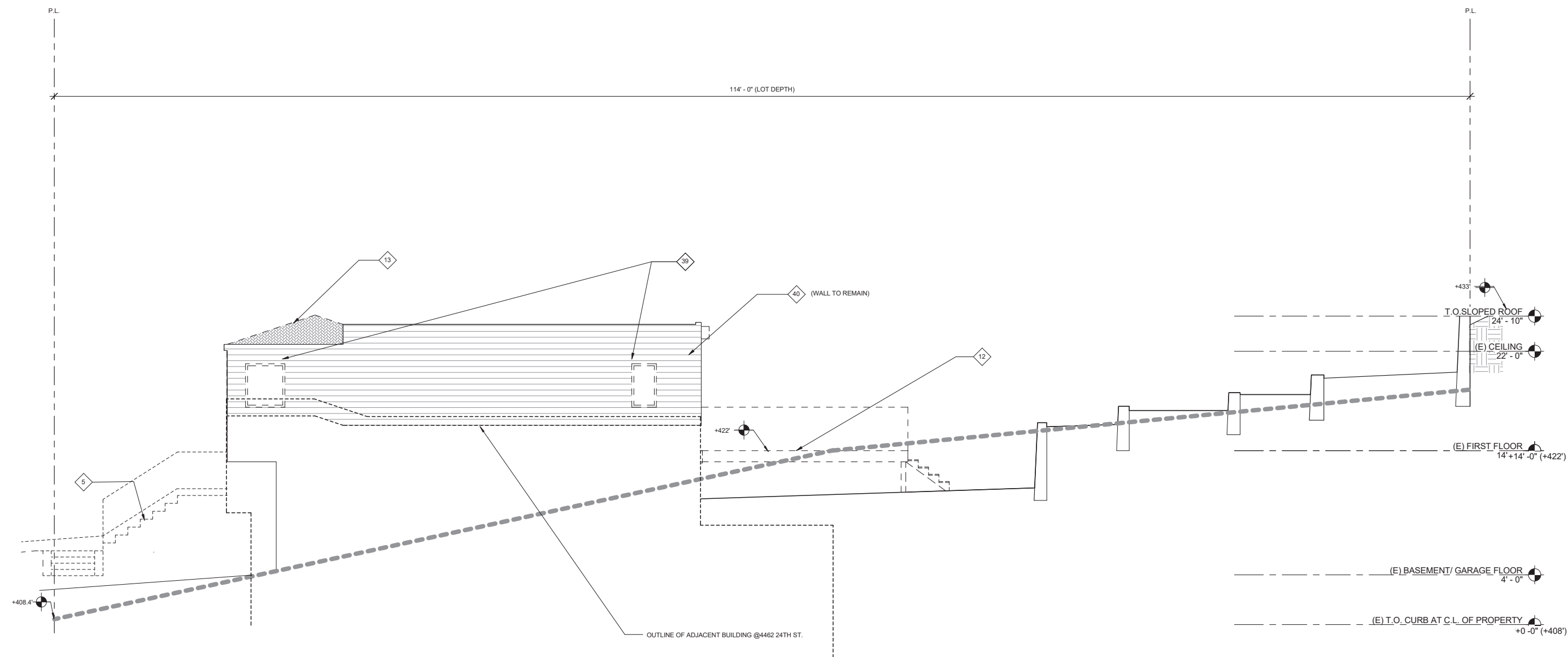
SCALE 1/4" = 1'-0"

DRAWN BY SN

CHECKED BY CT

JOB NO. 1510

A0.04

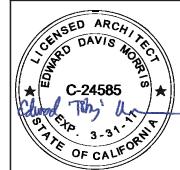
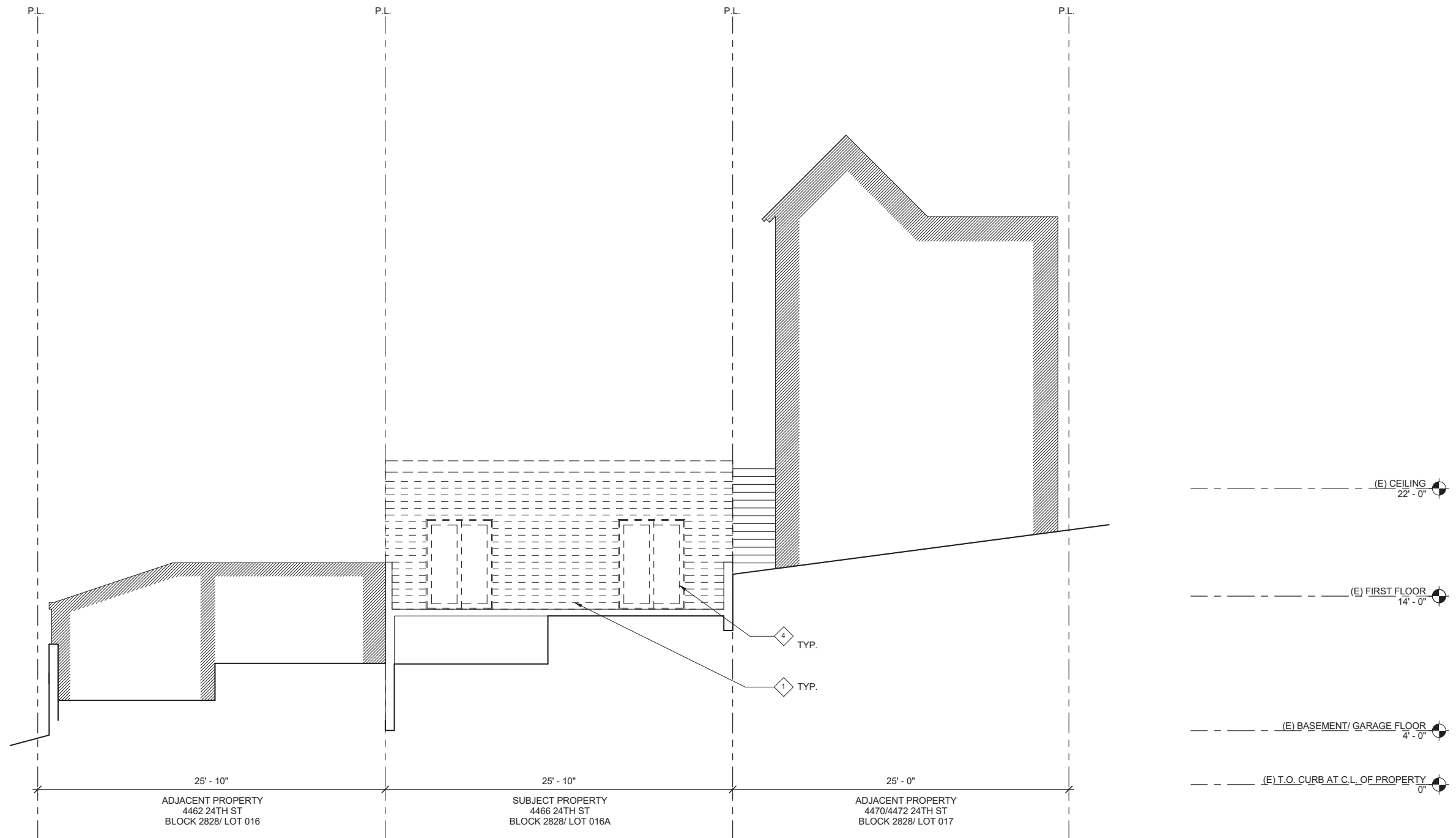


1 EXISTING EAST ELEVATION
1/4" = 1'-0"



KEY NOTES

- 1 (E) WALL TO BE REMOVED; SHOWN DASHED; TYP.
- 4 (E) DOOR TO BE REMOVED; SHOWN DASHED; TYP.



4466 24TH STREET

ADDITION & ALTERATIONS TO CONVERT SINGLE FAMILY HOME INTO 2-UNIT BUILDING

BLOCK 2828 / LOT 044

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EXISTING NORTH (REAR) ELEVATION

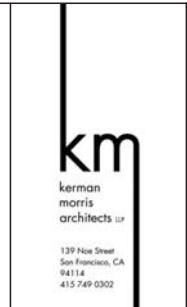
DATE	04/20/2017
SCALE	1/4" = 1'-0"
DRAWN BY	SN
CHECKED BY	CT
JOB NO.	1510

A0.05

1 EXISTING NORTH (REAR) ELEVATION
1/4" = 1'-0"

KEY NOTES

- 4 (E) DOOR TO BE REMOVED; SHOWN DASHED; TYP.
- 5 (E) STAIRS & RAILS TO BE REMOVED; SHOWN DASHED; TYP.
- 12 (E) DECK TO BE REMOVED; SHOWN DASHED; TYP.
- 13 (E) ROOF TO BE REMOVED; SHOWN DASHED; TYP.
- 40 (E) WALL TO REMAN, HOR. SIDING TO BE REMOVED; SHOWN DASHED; TYP.



Revisions	



4466 24TH STREET

ADDITION & ALTERATIONS TO CONVERT SINGLE FAMILY HOME INTO 2-UNIT BUILDING

BLOCK 2828 / LOT 044

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EXISTING WEST ELEVATION

DATE 04/20/2017

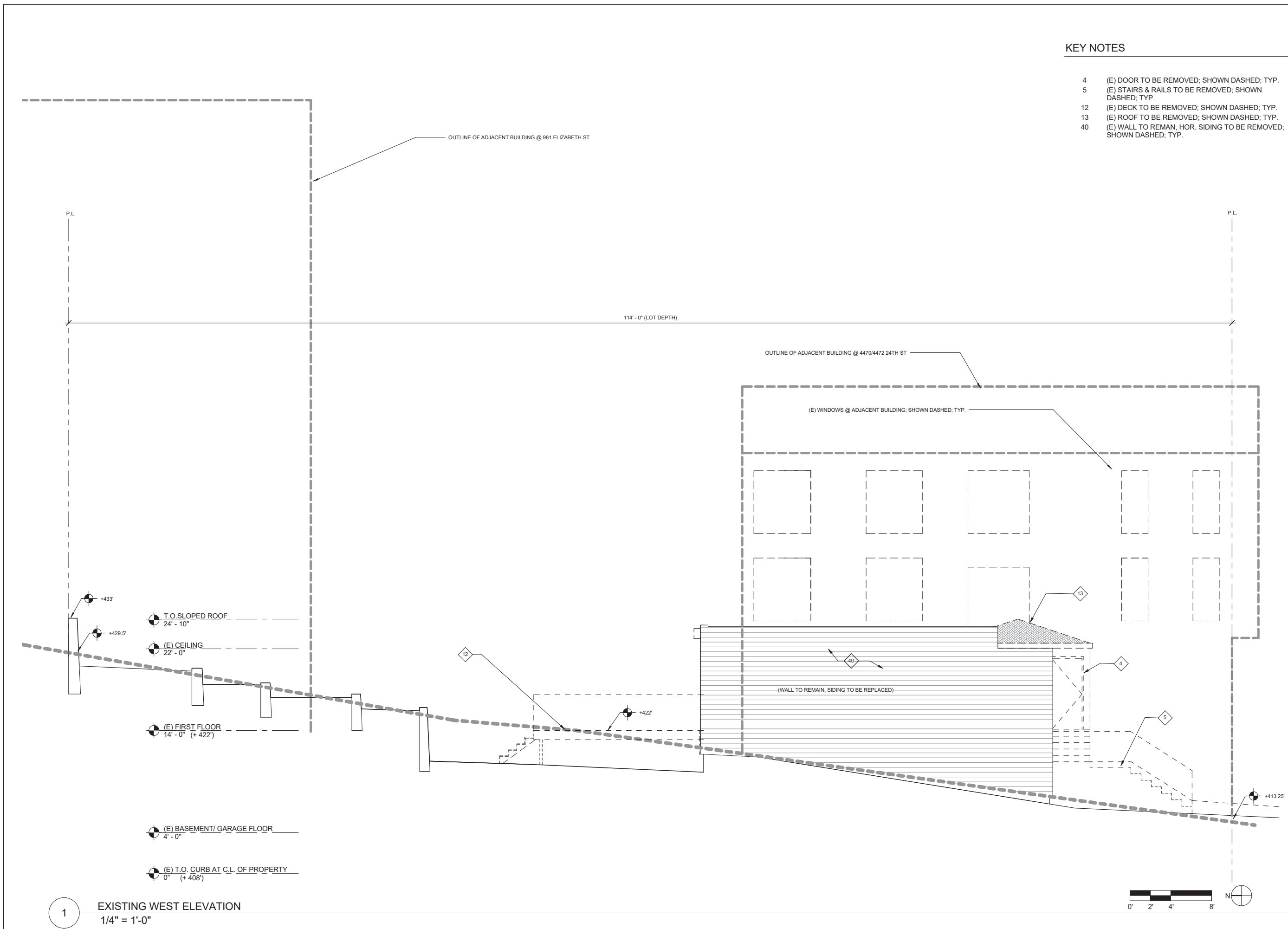
SCALE 1/4" = 1'-0"

DRAWN BY SN

CHECKED BY CT

JOB NO. 1510

A0.06



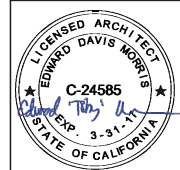
1 EXISTING WEST ELEVATION
1/4" = 1'-0"

KEY NOTES

- 1 (E) WALL TO BE REMOVED; SHOWN DASHED; TYP.
- 5 (E) STAIRS & RAILS TO BE REMOVED; SHOWN DASHED; TYP.
- 10 (E) WINDOW TO BE REMOVED; SHOWN DASHED; TYP.
- 11 (E) GARAGE DOOR TO BE REMOVED; SHOWN DASHED; TYP.
- 12 (E) DECK TO BE REMOVED; SHOWN DASHED; TYP.
- 13 (E) ROOF TO BE REMOVED; SHOWN DASHED; TYP.
- 16 (E) FLOOR TO REMAIN
- 17 (E) SLAB TO BE REMOVED; SHOWN DASHED; TYP.



Revisions



4466 24TH STREET

ADDITION & ALTERATIONS TO CONVERT SINGLE FAMILY HOME INTO 2-UNIT BUILDING

BLOCK 2828 / LOT 044

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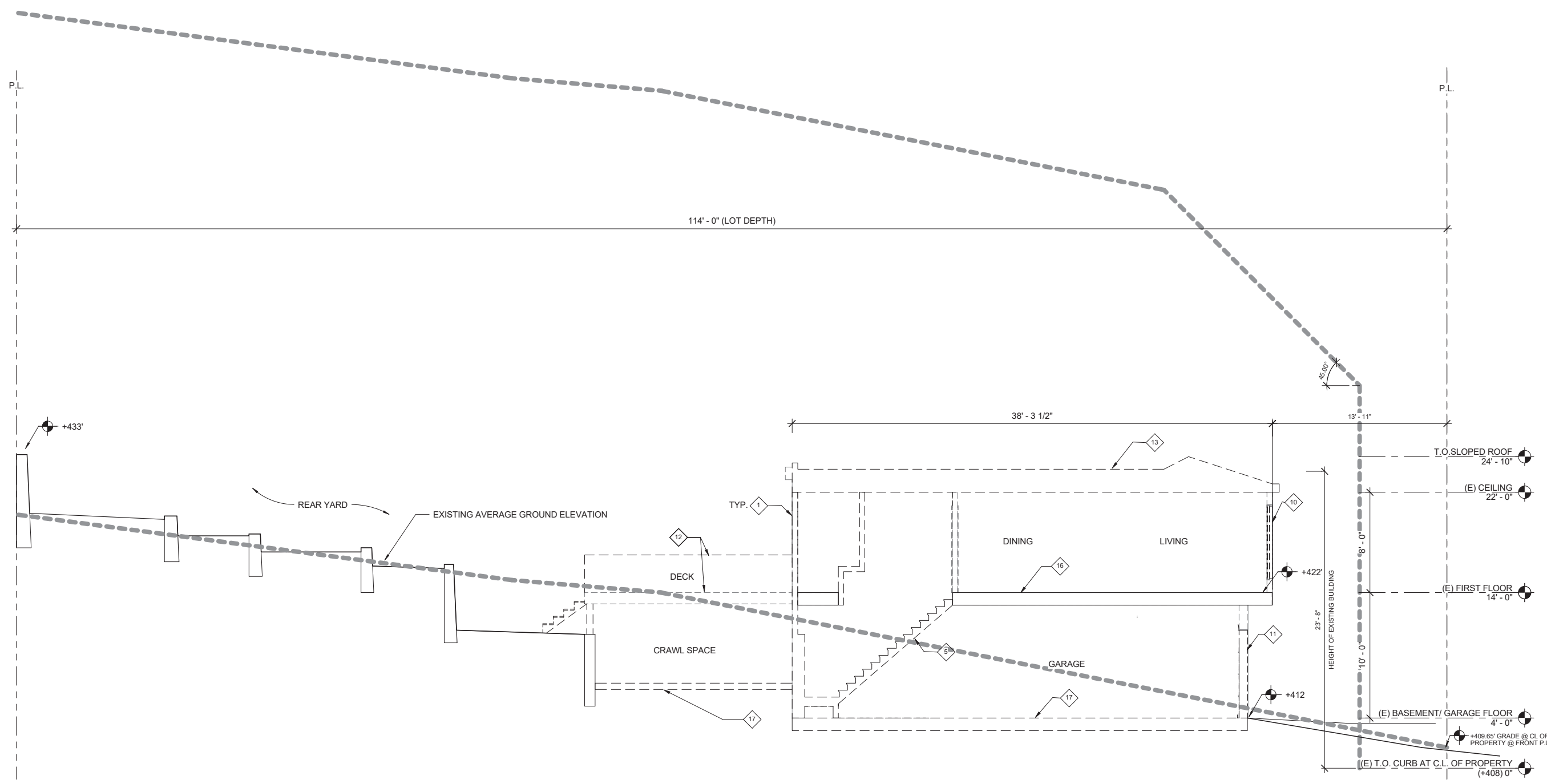
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EXISTING BUILDING SECTION

DATE	04/20/2017
SCALE	1/4" = 1'-0"
DRAWN BY	SN
CHECKED BY	CT
JOB NO.	1510

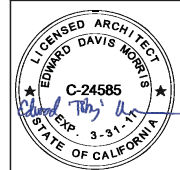
A0.07



1 EXISTING BUILDING SECTION
1/4" = 1'-0"

KEY NOTES

- 15 (E) WALL TO REMAIN; PTD; TYP.
- 18 CONC. STAIR W/MTL. GUARD RAIL
- 19 2-HR RATED ELEVATOR SHAFT ENCLOSURE
- 22 1-HR RATED WALL @ PROPERTY LINE; TYP.
- 23 PROVIDE 45-MIN RATED WINDOW @ P. L. WALL; TYP.
- 24 42" HT. GUARDRAIL; TYP.
- 25 42" HT. SOLID GUARDRAIL; TYP.



4466 24TH STREET
 ADDITION & ALTERATIONS TO CONVERT SINGLE FAMILY HOME INTO 2-UNIT BUILDING

BLOCK 2828 / LOT 044

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PROPOSED FIRST FLOOR PLAN

DATE 04/20/2017

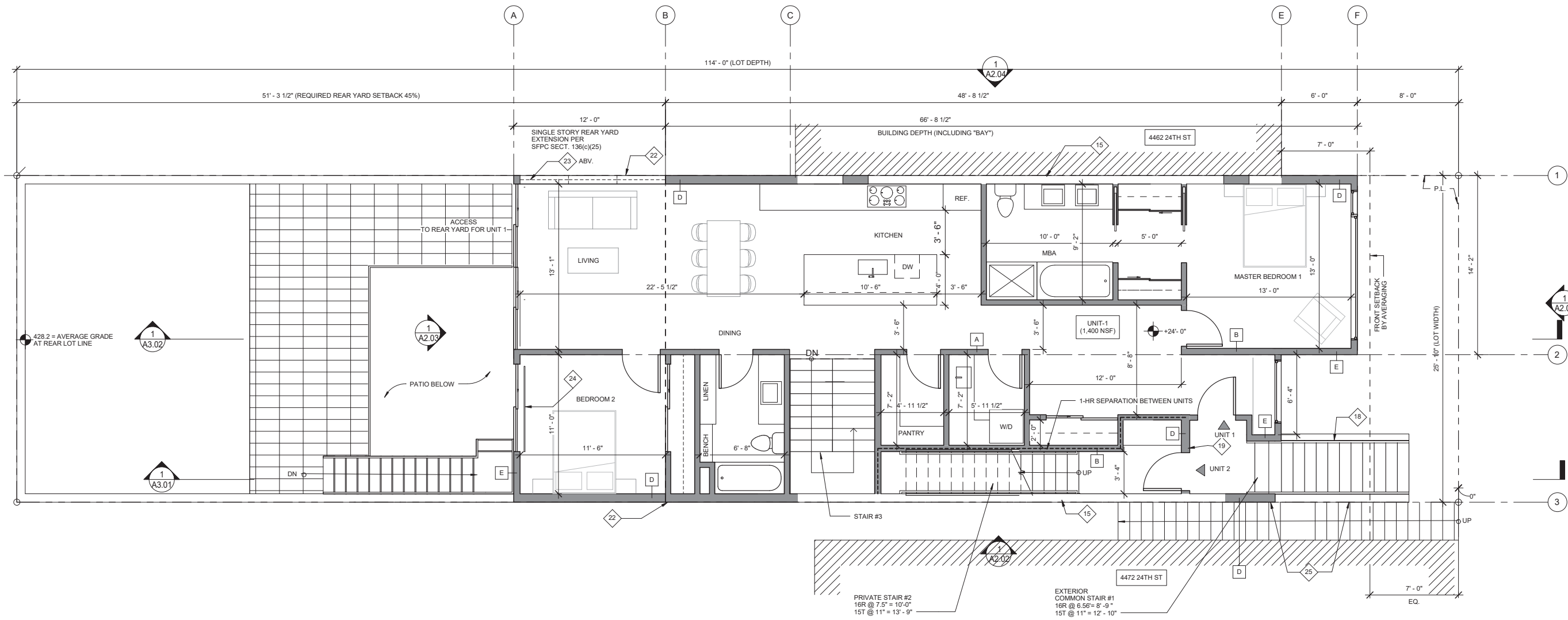
SCALE 1/4" = 1'-0"

DRAWN BY SN

CHECKED BY CT

JOB NO. 1510

A1.02



LEGEND

- WALL TO REMAIN
- ▬ NEW WALL
- - - - WALL TO BE REMOVED
- ▨ 1-HR SEPERATION

Scale: 0' 2' 4' 8'

North Arrow: N

1 PROPOSED FIRST FLOOR PLAN
 1/4" = 1'-0"

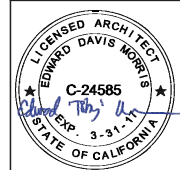
KEY NOTES

22 1-HR RATED WALL @ PROPERTY LINE, TYP.



Revisions

5	R5 - 04/20/2017



4466 24TH STREET

ADDITION & ALTERATIONS TO CONVERT SINGLE FAMILY HOME INTO 2-UNIT BUILDING

BLOCK 2828 / LOT 044

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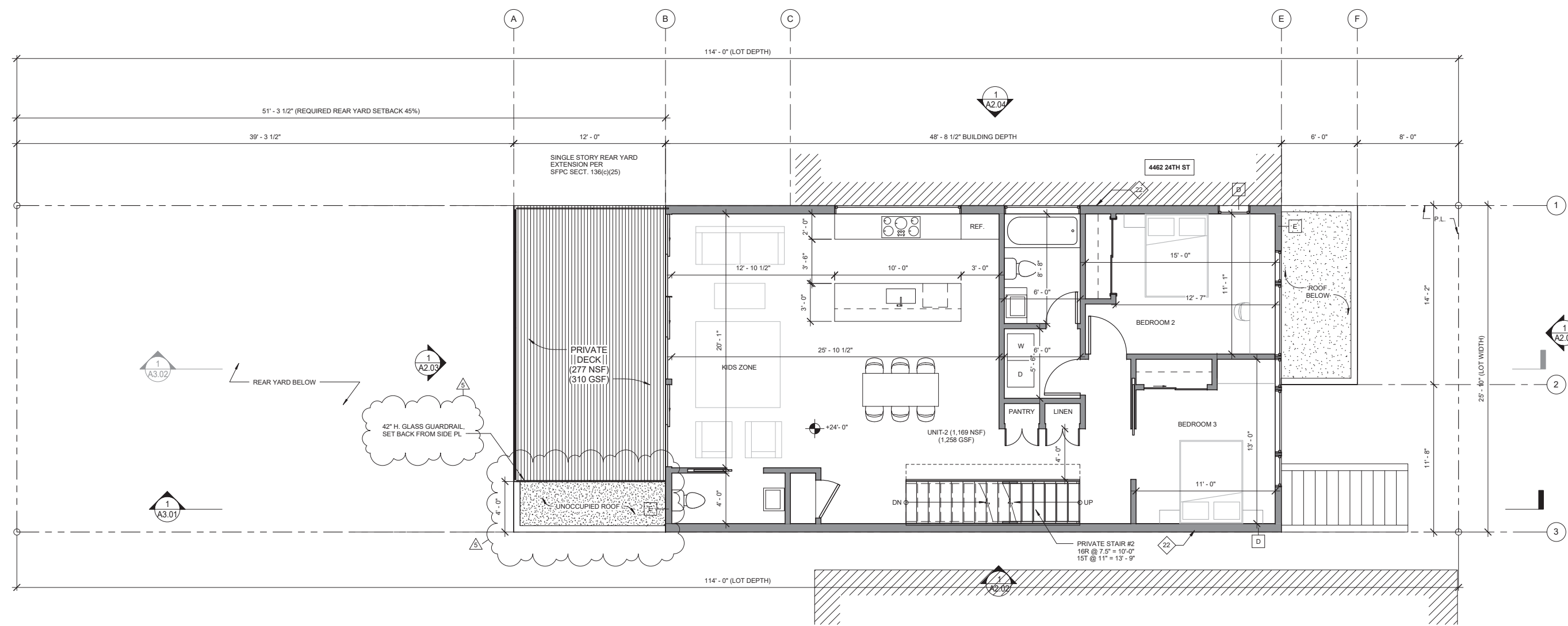
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PROPOSED SECOND FLOOR PLAN

DATE	04/20/2017
SCALE	1/4" = 1'-0"
DRAWN BY	SN
CHECKED BY	CT
JOB NO.	1510

A1.03



LEGEND

- WALL TO REMAIN
- NEW WALL
- WALL TO BE REMOVED
- 1-HR SEPERATION

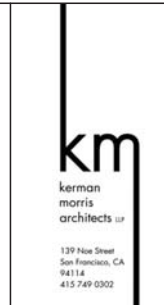
0' 2' 4' 8'

N

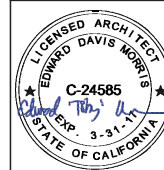
1 PROPOSED SECOND FLOOR PLAN
1/4" = 1'-0"

KEY NOTES

- 22 1-HR RATED WALL @ PROPERTY LINE; TYP.
- 25 42" HT. SOLID GUARDRAIL; TYP.
- 48 WALK IN CLOSET



Revisions	
5	R5 - 04/20/2017



4466 24TH STREET

ADDITION & ALTERATIONS TO CONVERT SINGLE FAMILY HOME INTO 2-UNIT BUILDING

BLOCK 2828 / LOT 044

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PROPOSED THIRD FLOOR PLAN

DATE 04/20/2017

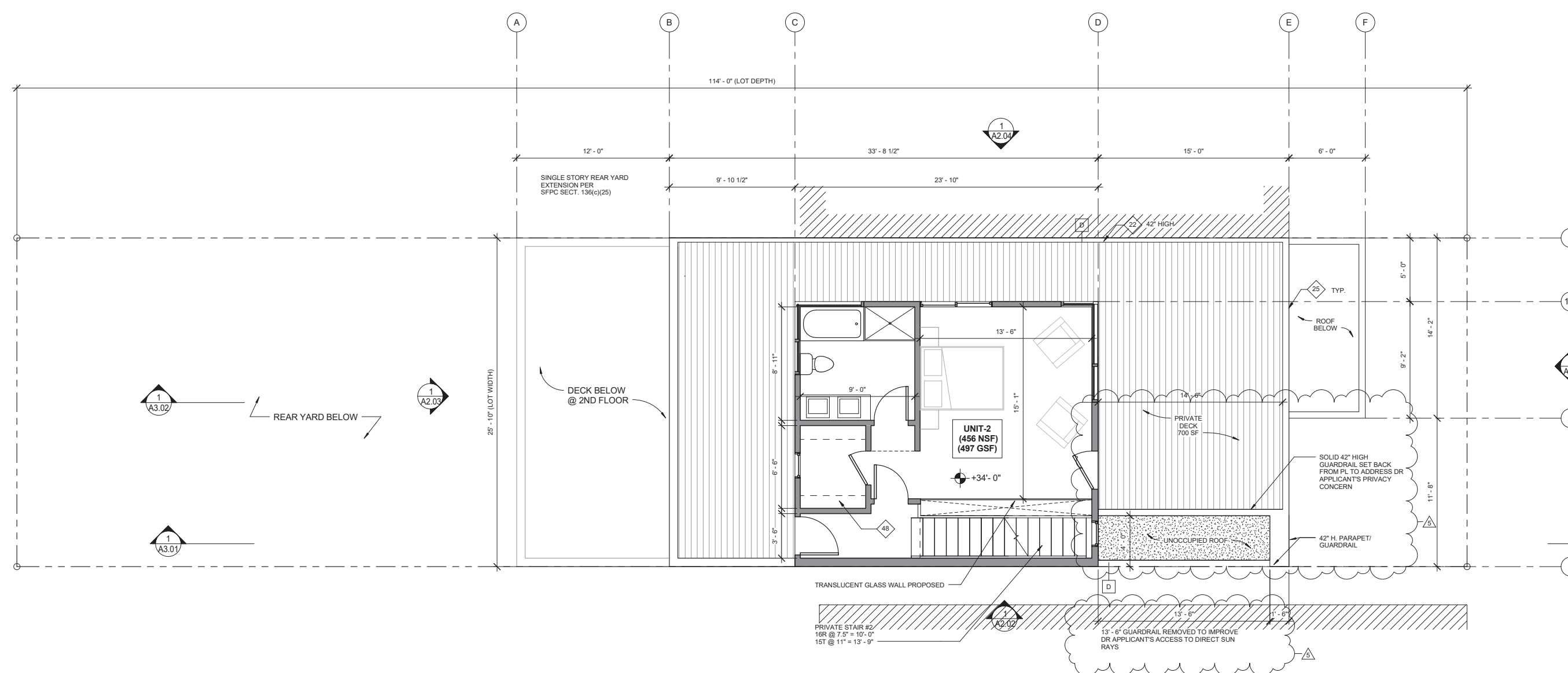
SCALE 1/4" = 1'-0"

DRAWN BY SN

CHECKED BY CT

JOB NO. 1510

A1.04



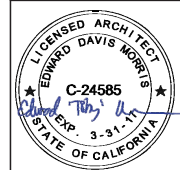
LEGEND

- WALL TO REMAIN
- NEW WALL
- WALL TO BE REMOVED
- 1-HR SEPERATION

0' 2' 4' 8' N

1 PROPOSED THIRD FLOOR PLAN
1/4" = 1'-0"

Revisions	
5	R5 - 04/20/2017



4466 24TH STREET

ADDITION & ALTERATIONS TO CONVERT SINGLE FAMILY HOME INTO 2-UNIT BUILDING

BLOCK 2828 / LOT 044

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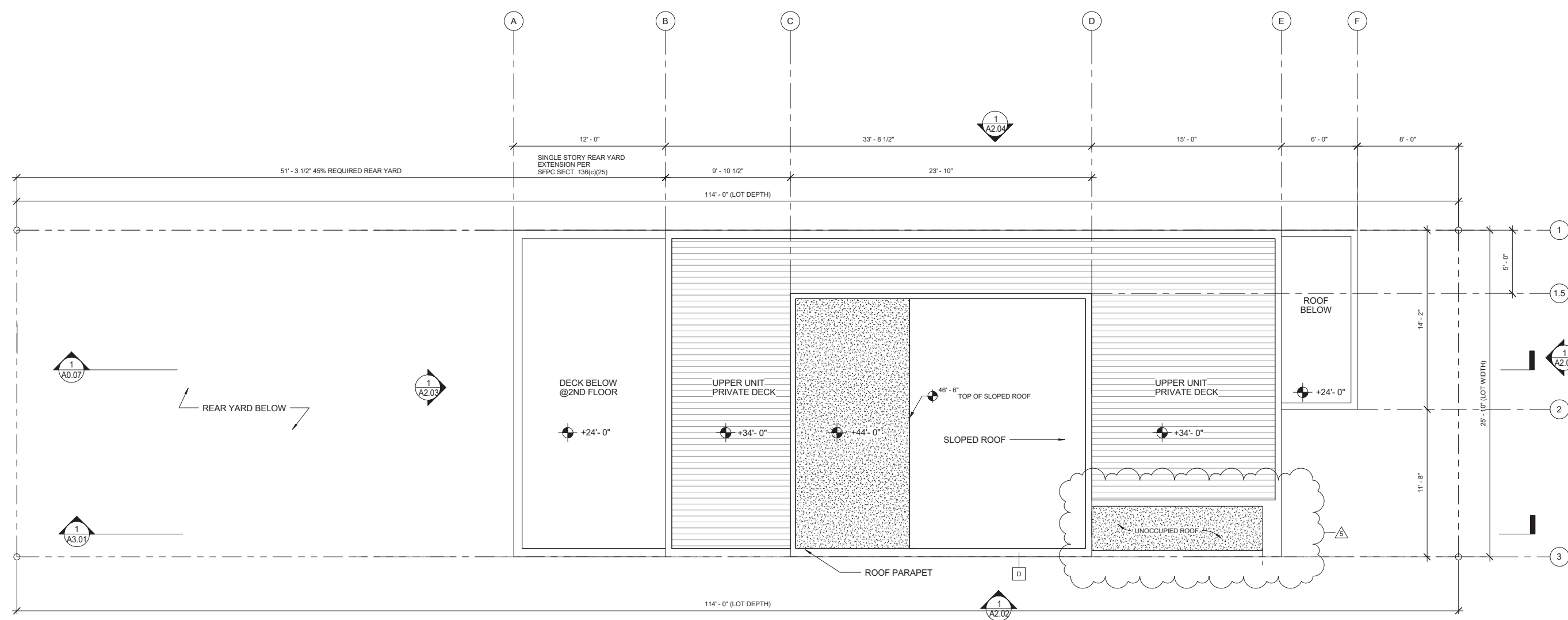
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PROPOSED ROOF PLAN

DATE	04/20/2017
SCALE	1/4" = 1'-0"
DRAWN BY	SN
CHECKED BY	CT
JOB NO.	1510

A1.05



LEGEND

- WALL TO REMAIN
- NEW WALL
- WALL TO BE REMOVED
- 1-HR SEPERATION

0' 2' 4' 8' N

1 PROPOSED ROOF PLAN
 1/4" = 1'-0"

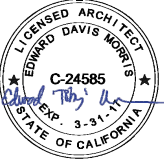
KEY NOTES

- 18 CONC. STAIR W/MTL. GUARD RAIL
- 25 42" HT. SOLID GUARDRAIL; TYP.
- 26 PAINTED SMOOTH EXTERIOR PLASTER; TYP.
- 28 BRONZE ANODIZED ALUMINIUM WINDOW
- 30 PTD. G.S.M. COPING; TYP.
- 31 GARAGE DOOR WITH STAINED CEDAR HORIZONTAL SIDING
- 34 EXT. CEMENT PLASTER @ 42" HT. SOLID GUARDRAIL
- 50 STAINED CEDAR HORIZONTAL SIDING AND PERSON DOOR FINISH TO MATCH GARAGE DOOR
- 51 STAINED CEDAR HORIZONTAL SIDING



Revisions

NO.	DESCRIPTION



4466 24TH STREET

ADDITION & ALTERATIONS TO CONVERT SINGLE FAMILY HOME INTO 2-UNIT BUILDING

BLOCK 2828 / LOT 044

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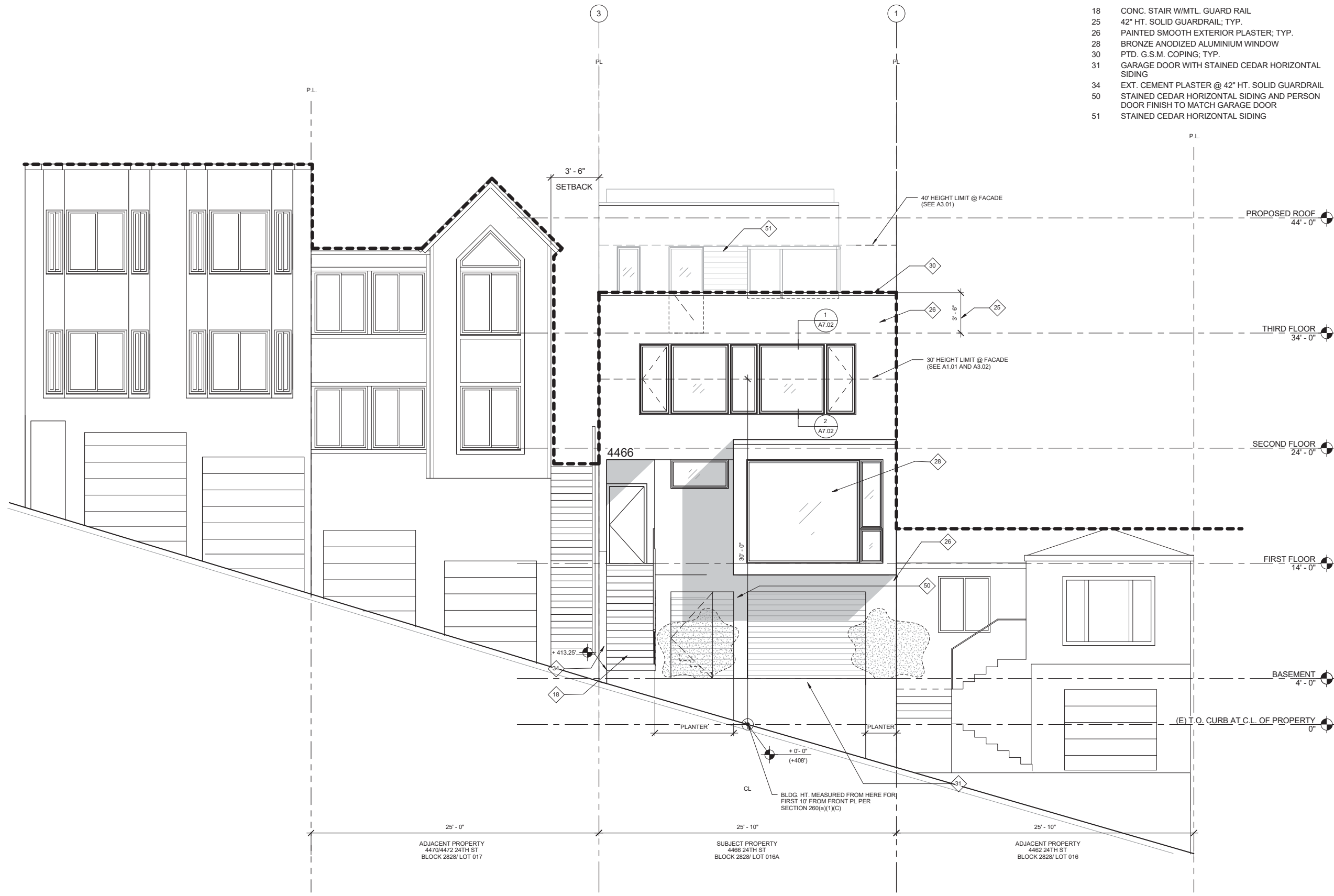
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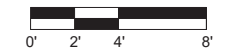
PROPOSED SOUTH (FRONT) ELEVATION

DATE	04/20/2017
SCALE	1/4" = 1'-0"
DRAWN BY	SN
CHECKED BY	CT
JOB NO.	1510

A2.01



1 PROPOSED SOUTH (FRONT) ELEVATION
1/4" = 1'-0"

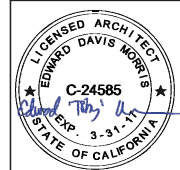


KEY NOTES



Revisions

5	R5 - 04/20/2017



4466 24TH STREET
 ADDITION & ALTERATIONS TO CONVERT SINGLE FAMILY HOME INTO 2-UNIT BUILDING

BLOCK 2828 / LOT 044

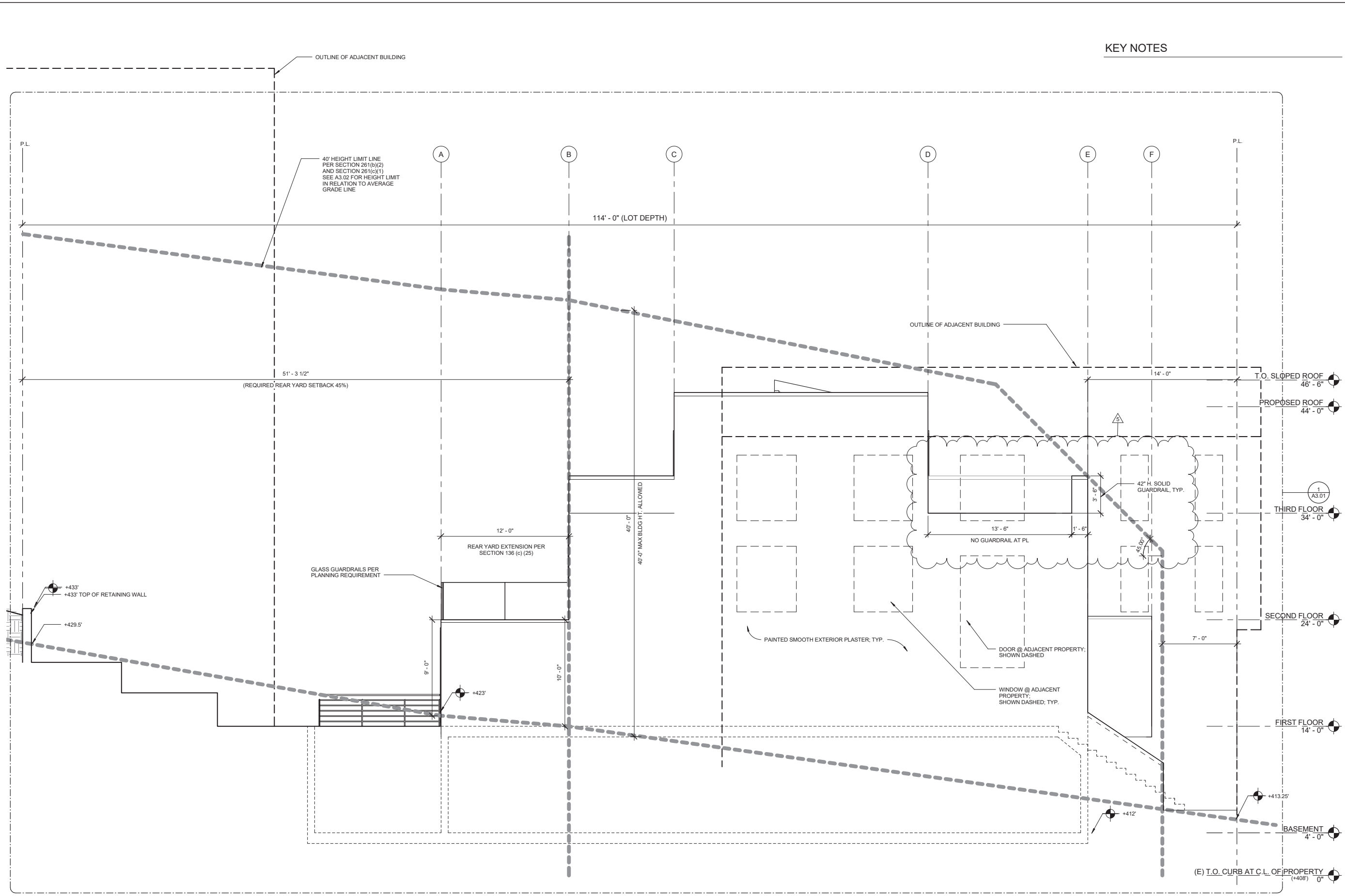
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PROPOSED WEST ELEVATION

DATE	04/20/2017
SCALE	1/4" = 1'-0"
DRAWN BY	SN
CHECKED BY	CT
JOB NO.	1510

A2.02



1 PROPOSED WEST ELEVATION
 1/4" = 1'-0"

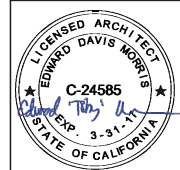


KEY NOTES

- 25 42" HT. SOLID GUARDRAIL; TYP.
- 26 PAINTED SMOOTH EXTERIOR PLASTER; TYP.
- 27 ALUM. SLIDING GLASS DOOR; BRONZE ANODIZED; TYP.
- 47 42" HT. GLASS GUARDRAIL



Revisions	
5	R5 - 04/20/2017



4466 24TH STREET

ADDITION & ALTERATIONS TO CONVERT SINGLE FAMILY HOME INTO 2-UNIT BUILDING

BLOCK 2828 / LOT 044

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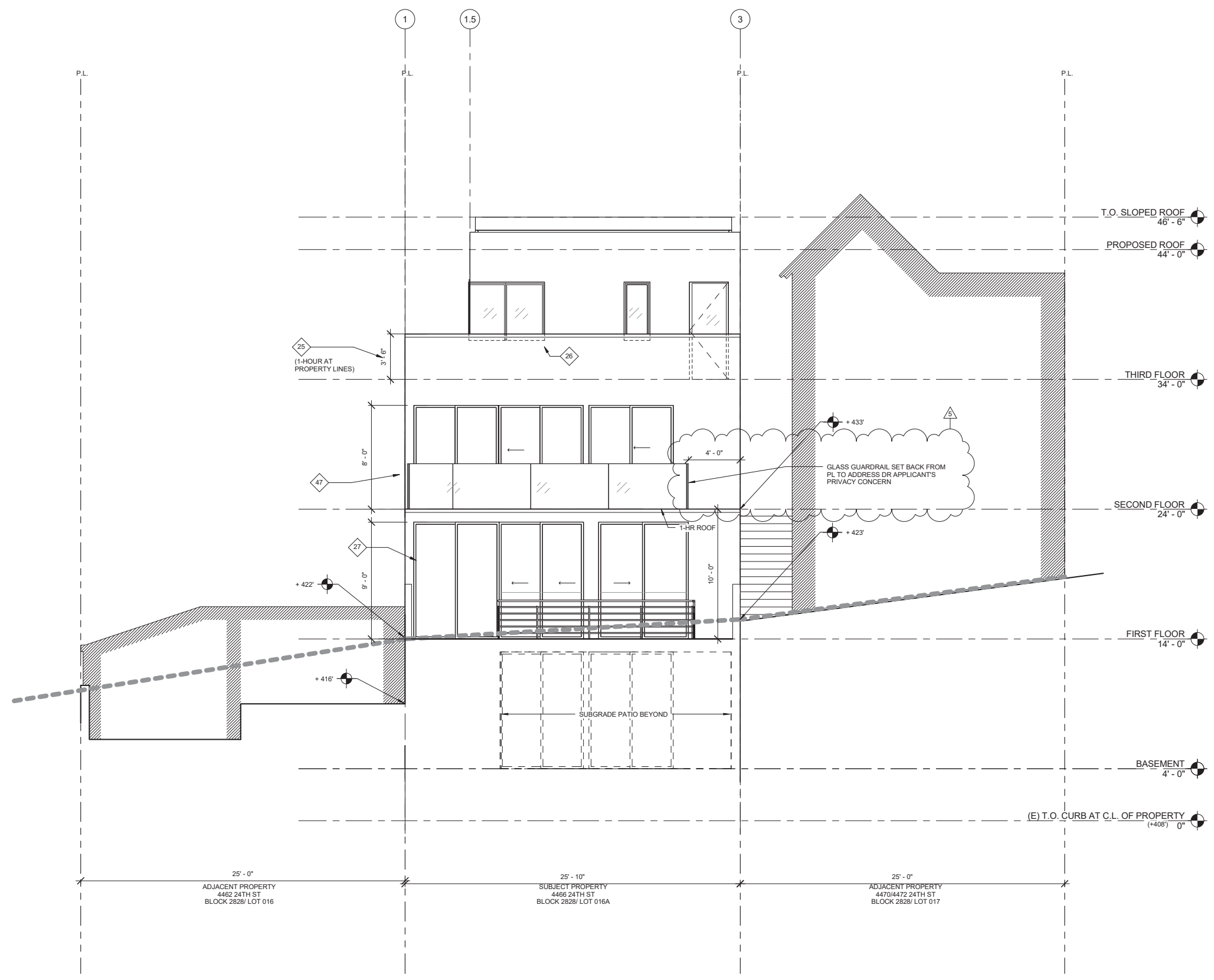
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PROPOSED NORTH (REAR) ELEVATION

DATE	04/20/2017
SCALE	1/4" = 1'-0"
DRAWN BY	SN
CHECKED BY	CT
JOB NO.	1510

A2.03



1 PROPOSED NORTH (REAR) ELEVATION
1/4" = 1'-0"

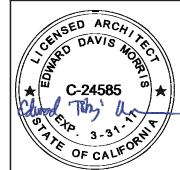


KEY NOTES

- 18 CONC. STAIR W/MTL. GUARD RAIL
- 24 42" HT. GUARDRAIL; TYP.
- 25 42" HT. SOLID GUARDRAIL; TYP.
- 47 42" HT. GLASS GUARDRAIL



Revisions



4466 24TH STREET
 ADDITION & ALTERATIONS TO CONVERT SINGLE FAMILY HOME INTO 2-UNIT BUILDING

BLOCK 2828 / LOT 044

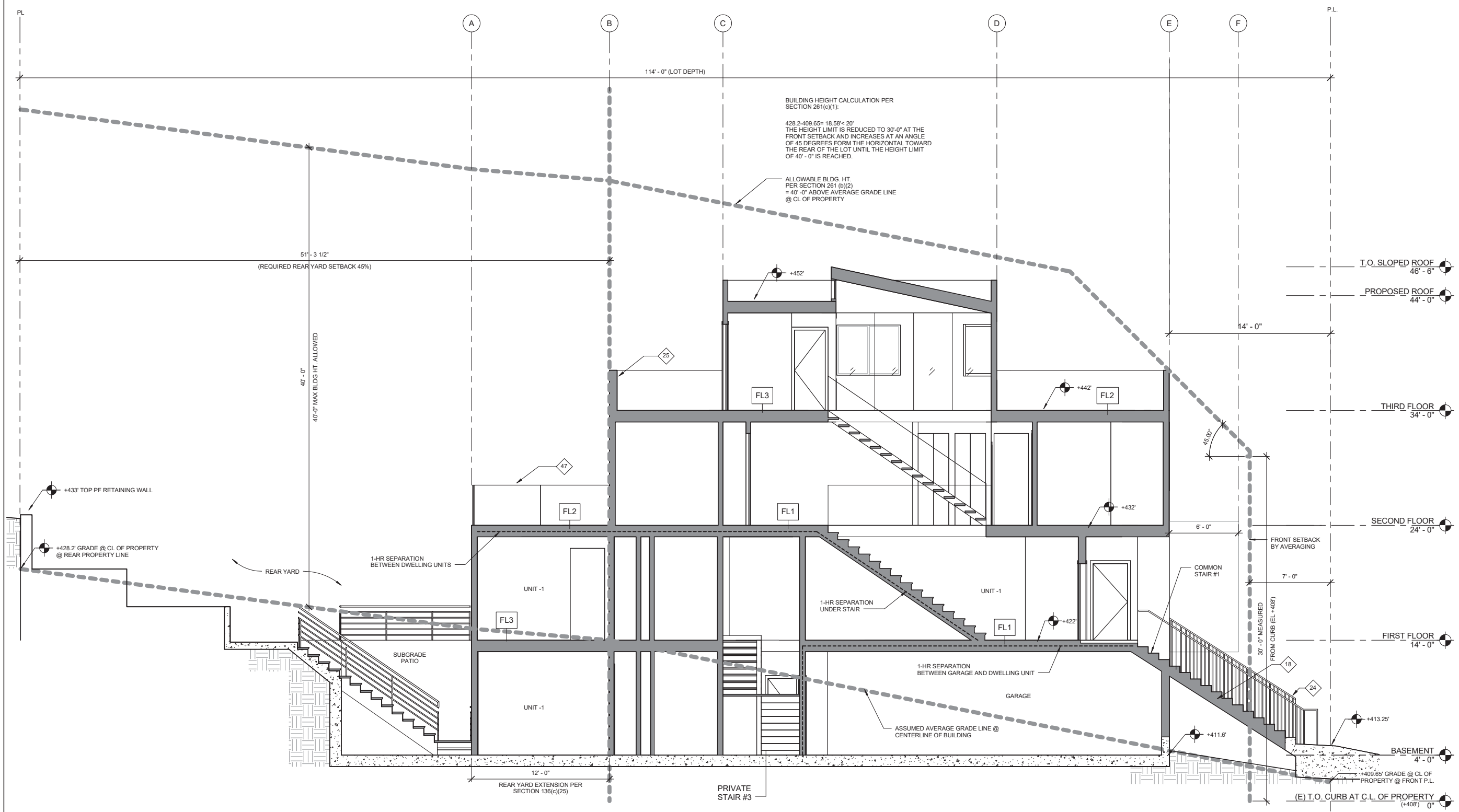
NOTICE

These drawings and specifications are the property and copyright of Kerman/Morris Architects and shall not be used on any other work except by written agreement with Kerman/Morris Architects.
 The Contractor shall verify all existing conditions. Written dimensions take preference over scaled dimensions and shall be verified on the project site. Any discrepancy shall be brought to the attention of Kerman/Morris Architects prior to the commencement of any work.
 These drawings are an industry standards builders set for building permit and to assist the contractor in construction. The drawings show limited and only representative typical details.
 All attachments, connections, fastenings, etc., are to be properly secured in conformance with best practice, and the Contractor shall be responsible for providing and installing them.

PROPOSED BUILDING SECTION

DATE	04/20/2017
SCALE	1/4" = 1'-0"
DRAWN BY	SN
CHECKED BY	CT
JOB NO.	1510

A3.01



- LEGEND
- WALL TO REMAIN
 - NEW WALL
 - - - - WALL TO BE REMOVED
 - ▨ 1-HR SEPERATION



1 PROPOSED BUILDING SECTION THROUGH STAIRS
 1/4" = 1'-0"



SUBJECT PROPERTY
4466 24TH STREET



SUBJECT PROPERTY SIDE OF THE STREET



OPPOSITE SIDE OF THE STREET



4466





**42" H. SOLID GUARDRAIL SET BACK 4'-0" FROM
PROPERTY LINE TO ADDRESS DR APPLICANT'S
PRIVACY AND SOLAR ACCESS CONCERNS**





**42" H. GLASS GUARDRAIL SET BACK 4'-0"
FROM PROPERTY LINE TO ADDRESS DR
APPLICANT'S PRIVACY CONCERN**