



# SAN FRANCISCO PLANNING DEPARTMENT

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## Executive Summary Conditional Use Authorization

HEARING DATE: APRIL 21, 2016

*Date:* April 11, 2016  
*Case No.:* **2015-014611CUA**  
*Project Address:* **1100 OCEAN AVENUE**  
*Zoning:* Ocean Avenue Neighborhood Commercial Transit District (NCT)  
55-X Height and Bulk District  
*Block/Lot:* 3180/005  
*Project Sponsor:* Jody Knight  
Reuben, Junius & Rose, LLP  
1 Bush Street, Suite 600  
San Francisco, CA 94104  
*Staff Contact:* Veronica Flores – (415) 575-9173  
[veronica.flores@sfgov.org](mailto:veronica.flores@sfgov.org)  
*Recommendation:* **Approval with Conditions**

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### PROJECT DESCRIPTION

The project sponsor proposes a new formula retail limited restaurant (d.b.a. Philz Coffee) in a currently vacant retail space at 1100 Ocean Avenue. The retail space measures approximately 2,346 gross square feet (gsf). There will be no exterior building expansion. The project also includes new signs.

Between the hours of 6:00AM to 10:00PM Mondays through Fridays and 7:00AM to 9:00PM Saturdays through Sundays, Philz Coffee will provide coffee, tea and spices, pastries, and other merchandise to its clientele.

### SITE DESCRIPTION AND PRESENT USE

The project is located on the north side of Ocean Avenue between Plymouth and Phelan Avenues, Block 3180, Lot 005. The subject property is located within the Ocean Avenue Neighborhood Commercial Transit District ("NCT") and the 55-X Height and Bulk District. The project site of 1100 Ocean Avenue is located on an irregular shaped lot (approximately 75 feet deep and 1,343 feet wide at the center of the property). The project involves a currently vacant retail space of approximately 2,346 gross square feet on the ground level of a mixed use building.

The building has 71 units of affordable rental housing located on the upper floors. The ground floor is comprised for four commercial spaces: 1) Poki-licious – a "limited restaurant" specializing in poke dishes, 2) Pakwan – a "limited restaurant" specializing in Indian-Pakistani food, and 3) the proposed project which will occupy two commercial spaces. This retail space is currently vacant and the project sponsor will be the first tenant in these commercial spaces.

## SURROUNDING PROPERTIES AND NEIGHBORHOOD

The area surrounding the project site is mixed-use in character. A variety of commercial establishments are located within ground floor storefronts in the Ocean Avenue NCT, including restaurants, apparel stores, convenience stores, and other types of retailers. Buildings in the vicinity typically range from two to four stories in height, most of which were constructed in the early 1900s. Upper floors of buildings are generally occupied by offices or residential units.

In the larger Ocean Avenue NCT, there are approximately 137 businesses, and approximately 17 businesses (12.4%) appear to qualify as formula retail. These include Quickly, Poki-licious, Pakwan, Whole Foods, McDonalds, Sherwin Williams, Bank of America, Walgreens, CVS Pharmacy, among other uses.

Table 1. Ocean Avenue NCT Ground Floor Frontage Breakdown per Land Use<sup>1</sup>

LAND USE TYPE	OCEAN AVE NCT FRONTAGE TOTAL (FT.)	OCEAN NCT %	¼ MILE VICINITY FRONTAGE TOTAL (FT.)	VICINITY %
Animal Hospital	53	1%	53	2%
Business / Professional	427	10%	328	15%
Financial	97	2%	26	1%
Institutional	183	4%	0	0%
Limited Restaurant / Restaurant	922	22%	667	30%
Medical	190	5%	26	1%
Other Retail	1502	36%	597	27%
Personal Service	566	14%	276	12%
Vacant	224	5%	265	12%
<b>Total</b>	<b>4164</b>	<b>100%</b>	<b>2238</b>	<b>100%</b>

The use mix is varied in the Ocean Avenue NCD. Other retail comprise 36% of the ground floor frontage, followed by eating establishments (limited restaurants and restaurants combined), comprising 22% of the ground floor frontage and personal services at 14%. These calculations do not include non-retail establishments, such as residences, institutions, parking, or public services.

## ENVIRONMENTAL REVIEW

The Project is not considered a project under CEQA Guidelines Sections 15060(c) and 15378 because there is no direct or indirect physical change in the environment.

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<sup>1</sup> The Ocean Avenue NCD Land Use table was developed using data collected by the project sponsor and reviewed by Planning Department Staff in 2016.

## HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Classified News Ad	20 days	April 1, 2016	April 1, 2016	20 days
Posted Notice	20 days	April 1, 2016	April 1, 2016	20 days
Mailed Notice	30 days	March 22, 2006	March 21, 2016	31 days

The proposal requires a Section 312-neighborhood notification, which was conducted in conjunction with the conditional use authorization process.

## PUBLIC COMMENT/COMMUNITY OUTREACH

- To date, the Department has received three communications in support of the proposal including the Ocean Avenue Association.
- The project sponsor hosted a community meeting at the project site on October 28, 2015. There were at least 10 attendees during this meeting.

## ISSUES AND OTHER CONSIDERATIONS

- The proposal will introduce a new daily-needs retail business to the Ocean Avenue NCD.
- The proposal will create new full- and part-time employment opportunities within the Ocean Avenue NCD.

## REQUIRED COMMISSION ACTION

In order for the project to proceed, the Commission must grant conditional use authorization to allow the change of use of a vacant retail space to a formula retail limited restaurant within the Ocean Avenue NCT, pursuant to Planning Code Sections 303.1, 703.3, and 703.4.

## BASIS FOR RECOMMENDATION

- The project introduces an established business in the area, and contributes to the viability of the overall Ocean Avenue NCT.
- The project would not displace an existing retail tenant providing convenience goods and services to the neighborhood.
- The project would not have a major impact on the concentration of Formula Retail services in the vicinity. The subject project would add an additional formula retail establishment to the district, and the concentration of formula retail establishments will increase from approximately 12.4% to approximately 13.1%.
- The project would introduce a new neighborhood-serving food-service in an area that currently has limited active retail uses.

- Although Philz is technically a formula retail use, it is a locally owned, home-grown business that contributes to the diversity of the City.
- The project meets all applicable requirements of the Planning Code.

<b>RECOMMENDATION:</b> <b>Approval with Conditions</b>
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**Attachments:**

Block Book Map

Sanborn Map

Aerial Photographs

Formula Retail Survey Map

Public Correspondence (see also Project Sponsor Submittal)

Project Sponsor Submittal, including:

-Application

-Photographs

-Reduced Plans



Attachment Checklist

- |   |  |
|---|--|
| <input checked="" type="checkbox"/> Executive Summary   | <input checked="" type="checkbox"/> Project sponsor submittal                              |
| <input checked="" type="checkbox"/> Draft Motion        | Drawings: <u>Existing Conditions</u>   |
| <input type="checkbox"/> Environmental Determination    | <input checked="" type="checkbox"/> Check for legibility                                   |
| <input checked="" type="checkbox"/> Zoning District Map | Drawings: <u>Proposed Project</u>  |
| <input checked="" type="checkbox"/> Height & Bulk Map   | <input checked="" type="checkbox"/> Check for legibility                                   |
| <input checked="" type="checkbox"/> Parcel Map          | 3-D Renderings (new construction or significant addition)                                  |
| <input checked="" type="checkbox"/> Sanborn Map         | <input type="checkbox"/> Check for legibility  |
| <input checked="" type="checkbox"/> Aerial Photo        | <input type="checkbox"/> Wireless Telecommunications Materials                             |
| <input checked="" type="checkbox"/> Context Photos      | <input type="checkbox"/> Health Dept. review of RF levels                                  |
| <input checked="" type="checkbox"/> Site Photos         | <input type="checkbox"/> RF Report   |
|   | <input type="checkbox"/> Community Meeting Notice  |
|   | <input type="checkbox"/> Housing Documents   |
|   | <input type="checkbox"/> Inclusionary Affordable Housing Program: Affidavit for Compliance |

Exhibits above marked with an "X" are included in this packet

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VAF  
Planner's Initials

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# SAN FRANCISCO PLANNING DEPARTMENT

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## Planning Commission Draft Motion

HEARING DATE: APRIL 21, 2016

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[veronica.flores@sfgov.org](mailto:veronica.flores@sfgov.org)  
*Recommendation:* **Approval with Conditions**

**ADOPTING FINDINGS RELATING TO THE APPROVAL OF CONDITIONAL USE AUTHORIZATION PURSUANT TO SECTIONS 303, 703.3, and 704.4 OF THE PLANNING CODE TO ALLOW A CHANGE OF USE FROM A VACANT RETAIL SPACE TO A FORMULA RETAIL LIMITED RESTAURANT (PHILZ COFFEE) WITHIN THE OCEAN AVENUE NEIGHBORHOOD COMMERCIAL TRANSIT DISTRICT (NCT) AND A 55-A HEIGHT AND BULK DISTRICT.**

### PREAMBLE

On November 3, 2015, Jody Knight (hereinafter "Project Sponsor") filed an application with the Planning Department (hereinafter "Department") for Conditional Use Authorization under Planning Code Sections 303.1, 703.3, and 703.4 to allow a change of use of a vacant retail space to a formula retail limited restaurant (d.b.a. Philz Coffee) within the Ocean Avenue Neighborhood Commercial Transit District and a 55-X Height and Bulk District.

On April 21, 2016, the San Francisco Planning Commission (hereinafter "Commission") conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Application No. 2015-0014611CUA.

The Project is not considered a project under CEQA Guidelines Sections 15060(c) and 15378 because there is no direct or indirect physical change in the environment.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

**MOVED**, that the Commission hereby authorizes the Conditional Use requested in Application No. 2015-014611CUA, subject to the conditions contained in “EXHIBIT A” of this motion, based on the following findings:

## FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.
2. **Site Description and Present Use.** The project is located on the north side of Ocean Avenue between Plymouth and Phelan Avenues, Block 3180, Lot 005. The subject property is located within the Ocean Avenue Neighborhood Commercial Transit District (“NCT”) and the 55-X Height and Bulk District. The project site of 1100 Ocean Avenue is located on an irregular shaped lot (approximately 75 feet deep and 1,343 feet wide at the center of the property). The project involves a currently vacant retail space of approximately 2,346 gross square feet on the ground level of a mixed use building.

The building has 71 units of affordable rental housing located on the upper floors. The ground floor is comprised for four commercial spaces: 1) Poki-licious – a “limited restaurant” specializing in poke dishes, 2) Pakwan – a “limited restaurant” specializing in Indian-Pakistani food, and 3) the proposed project which will occupy two commercial spaces. This retail space is currently vacant and the project sponsor will be the first tenant in these commercial spaces.

3. **Surrounding Properties and Neighborhood.** The area surrounding the project site is mixed-use in character. A variety of commercial establishments are located within ground floor storefronts in the Ocean Avenue NCT, including restaurants, apparel stores, convenience stores, and other types of retailers. Buildings in the vicinity typically range from two to four stories in height, most of which were constructed in the early 1900s. Upper floors of buildings are generally occupied by offices or residential units.
4. **Project Description.** The project sponsor proposes a new formula retail limited restaurant (d.b.a. Philz Coffee) in a currently vacant retail space at 1100 Ocean Avenue. The retail space measures approximately 2,346 gross square feet (gsf). There will be no exterior building expansion. The project also includes new signs.

Between the hours of 6:00AM to 10:00PM Mondays through Fridays and 7:00AM to 9:00PM Saturdays through Sundays, Philz Coffee will provide coffee, tea and spices, pastries, and other merchandise to its clientele.

The majority of these clients will likely get to the project site via public transit or by walking. The subject site is well served by public transit so that potential customers should not adversely affect the traffic flow.

The proposal requires a change of use and Section 312-neighborhood notification was conducted in conjunction with the Conditional Use Authorization process. The proposed use is a neighborhood-serving use.

5. **Public Comment/Community Outreach.** To date, the Department has received three communications in support of the proposal including the Ocean Avenue Association.

The project sponsor hosted a community meeting at the project site on October 28, 2015. There were at least 10 attendees during this meeting.

6. **Planning Code Compliance:** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:

- A. **Formula Retail.** Planning Code Section 703.3 provides additional criteria for the Planning Commission to consider when considering any discretionary review pursuant Section 703.3, Formula Retail Uses:

- a. The existing concentrations of formula retail uses within the district.

*Approximately 17 businesses (12.4%) out of 137 businesses appear to qualify as formula retail uses. These include Quickly, Poki-licious, Pakwan, Whole Foods, McDonalds, Sherwin Williams, Bank of America, Walgreens, CVS Pharmacy, among other uses. The subject project would add an additional formula retail establishment to the district, and the concentration of formula retail establishments will increase from approximately 12.4% to approximately 13.1%.*

- b. The availability of other similar retail uses within the district.

*Of the 137 businesses in the Ocean Avenue NCT, there are approximately 16 other limited restaurants, or about 12% of commercial establishments in the Ocean Avenue NCT. Of these 16 storefronts, approximately five businesses are primarily coffee houses or cafes, including Chasing Lions Café, Java on Ocean, Foglifter Café, Lucky Ocean, and Vikings Giant Submarines. These 6 storefronts comprise approximately 4% of the commercial establishments in the Ocean Avenue NCT*

- c. The compatibility of the proposed formula retail use with the existing architectural and aesthetic character of the district.

*The proposal does not include any exterior building expansion. Only new signage will be introduced. The subject property involves a newly constructed building that went through Planning review within the past five years.*

- d. The existing retail vacancy rates within the district.

*There are currently eight (8) vacant lots or approximately 8.8% of storefronts within the Ocean Avenue NCD. There are currently seven (7) vacant lots or approximately 15.2% within the ¼ mile vicinity.*

- e. The existing mix of Citywide-serving retail uses and neighborhood-serving retail uses within the district.

*Daily Needs: There are currently 33 daily needs-businesses within a ¼ mile vicinity of the subject property. This is approximately 72% of the number of storefronts in this same area. There are currently 68 daily needs-businesses within the Ocean Avenue NCD. This is approximately 75% of the number of storefronts in the Ocean Avenue NCD.*

*Citywide Services: There are currently 13 daily needs-businesses within a ¼ mile vicinity of the subject property. This is approximately 28% of the number of storefronts in this same area. There are currently 23 daily needs-businesses within the Ocean Avenue NCD. This is approximately 25% of the number of storefronts in the Ocean Avenue NCD.*

- f. Additional data and analysis set forth in the Performance-Based Design Guidelines adopted by the Planning Commission.

*In the larger Ocean Avenue NCT, there are approximately 137 businesses, and approximately 17 businesses (12.4%) appear to qualify as formula retail. These include Quickly, Poki-licious, Pakwan, Whole Foods, McDonalds, Sherwin Williams, Bank of America, Walgreens, CVS Pharmacy, among other uses. The subject project would add an additional formula retail establishment to the district, and the concentration of formula retail establishments will increase from approximately 12.4% to approximately 13.1%.*

**Table 1. Ocean Avenue NCT Ground Floor Frontage Breakdown per Land Use<sup>1</sup>**

LAND USE TYPE	OCEAN AVE NCT FRONTAGE TOTAL (FT.)	OCEAN NCT %	¼ MILE VICINITY FRONTAGE TOTAL (FT.)	VICINITY %
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<sup>1</sup> The Ocean Avenue NCD Land Use table was developed using data collected by the project sponsor and reviewed by Planning Department Staff in 2016.

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*The use mix is varied in the Ocean Avenue NCD. Other retail comprise 36% of the ground floor frontage, followed by eating establishments (limited restaurants and restaurants combined), comprising 22% of the ground floor frontage and personal services at 14%. These calculations do not include non-retail establishments, such as residences, institutions, parking, or public services.*

- g. For formula retail uses of 20,000 square feet or more, except for General or Specialty Grocery stores as defined in Articles 2, 7, 8 of this Code, the contents of an economic impact study prepared pursuant to Section 303(i) of the Planning Code.

*As the subject retail use is less than 20,000 square feet, an economic impact study is not required for this project.*

- B. **Use Size.** Planning Code Section 737.21 permits use sizes up to 3,999 square feet, with a Conditional Use Authorization required for use sizes of 4,000 square feet and above, as defined by Planning Code Section 790.130.

*The proposed use size of the limited service use is 2,346.*

- C. **Outdoor Activity.** Planning Code Section 737.24 permits Outdoor Activity Areas in front of building, with a Conditional Use Authorization required if located anywhere else, as defined by Planning Code Section 790.70.

*The Project Sponsor does not intend to establish an outdoor activity area.*

- D. **Hours of Operation.** Planning Code Section 737.27 permits hours of operation from 6:00AM to 2:00AM, with a Conditional Use Authorization required for maintaining hours of operation from 2:00AM to 6:00AM, as defined by Planning Code Section 790.48.

*The proposed hours of operation for the business are 6:00AM to 10:00PM Mondays through Fridays and 7:00AM to 9:00PM Saturdays through Sundays.*

- E. **Rear Yard Requirement in the Ocean Avenue NCT.** Planning Code Section 134 states that the minimum rear yard depth shall be equal to 25 percent of the total depth of a lot in which it is situated, but in no case less than 15 feet.

*The proposal does not include any structural expansion. The rear yard meets the Planning Code requirements.*

- F. **Parking.** Planning Code Section 737.22 does not require off-street parking for commercial uses if occupied floor area is less than 5,000 square feet.

*The Subject Property does not propose any off-street parking.*

- G. **Street Frontage in Neighborhood Commercial Districts.** Section 145.1 of the Planning Code requires that within NC Districts space for active uses shall be provided within the first 25 feet of building depth on the ground floor and 15 feet on floors above from any facade facing a street at least 30 feet in width. In addition, the floors of street-fronting interior spaces housing non-residential active uses and lobbies shall be as close as possible to the level of the adjacent sidewalk at the principal entrance to these spaces. Frontages with active uses that must be fenestrated with transparent windows and doorways for no less than 60 percent of the street frontage at the ground level and allow visibility to the inside of the building. The use of dark or mirrored glass shall not count towards the required transparent area. Any decorative railings or grillwork, other than wire mesh, which is placed in front of or behind ground floor windows, shall be at least 75 percent open to perpendicular view. Rolling or sliding security gates shall consist of open grillwork rather than solid material, so as to provide visual interest to pedestrians when the gates are closed, and to permit light to pass through mostly unobstructed. Gates, when both open and folded or rolled as well as the gate mechanism, shall be recessed within, or laid flush with, the building facade.

*The subject commercial space has approximately 65 feet of frontage on Ocean Avenue with almost 100% devoted to either the business entrance or window space. The windows are clear and unobstructed. The only proposed changes to the commercial frontage include new identifying business signs, which will be consistent with the Planning Code.*

- H. **Signage.** Any proposed signage will be subject to the review and approval of the Planning Department per Article 6 of the Planning Code.

*The proposal seeks to include new identifying business signs, which will be consistent with the Planning Code.*

7. **Planning Code Section 303** establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use approval. On balance, the project does comply with said criteria in that:

- A. The proposed new uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.

*The size of the proposed use is in keeping with other storefronts on the block face. The project adds a vibrant street-facing and pedestrian-focused use to a vacant commercial space on a block that currently has limited active retail uses. The proposed change of use will not impact traffic or parking in the District because the majority of employees and staff will access the facility via public transit or walking. This will complement the mix of goods and services currently available in the district and*

*contribute to the economic vitality of the neighborhood by removing a vacant storefront. The project site is adjacent to the City College of San Francisco, and it is anticipated that many students will patronize the business, in addition to local residents. Philz creates a community space without adding significant noise or traffic.*

- B. The proposed project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the project that could be detrimental to the health, safety or convenience of those residing or working the area, in that:

- i. Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

*The height and bulk of the existing building will remain the same and will not alter the existing appearance or character of the project vicinity. The proposed work will not affect the building envelope or any significant architectural features. The only proposed changes for the exterior of the building are identifying signs.*

- ii. The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

*The Planning Code does not require parking or loading for a 2,346 square feet retail use. The proposal relies on foot traffic and does not require off street parking and loading. The facility will have only minor incidental delivery of supplies delivered by small delivery vans. The Muni Ocean Avenue and Lee Street Station adjacent to the subject property, and is served by K-Ingleside/T-Third Street lines. Additionally, the project sight is within a half mile from the Balboa Park Bart Station, and also accessible by the 29 and 91 Muni bus lines. The proposed use is designed to meet the needs of the immediate neighborhood and should not generate significant amounts of vehicular trips from the immediate neighborhood or citywide. Many commuters are expected to stop for coffee before or after work. There is no parking at the site for the retail use, and no parking will be added by the project.*

- iii. The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

*The proposed will not result in any noxious or offensive emissions.*

- iv. Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

*The proposed project does not require additional exterior improvements, nor does the project require parking or new loading. Deliveries will be made six days a week and utilize the loading zone directly on the north end of Lee Avenue for about 30 minutes for each delivery. Service and existing areas on the side of the building will be well lit for safety through lighting built into the exterior of the building.*



- C. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

*The Project complies with all relevant requirements and standards of the Planning Code and is consistent with objectives and policies of the General Plan as detailed below.*

- D. That the use as proposed would provide development that is in conformity with the purpose of the applicable Neighborhood Commercial District.

*The proposed project is consistent with the stated purposes of the Ocean Avenue NCT in that the intended use is located at the ground floor, will provide a compatible convenience service for the immediately surrounding neighborhoods during daytime and early evening hours.*

8. **General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

## URBAN DESIGN

### Objectives and Policies

#### **OBJECTIVE 2:**

MODERATION OF MAJOR NEW DEVELOPMENT TO COMPLEMENT THE CITY PATTERN, THE RESOURCES TO BE CONSERVED, AND THE NEIGHBORHOOD ENVIRONMENT.

#### **Policy 3.2:**

Avoid extreme contrasts in color, shape and other characteristics which will cause new buildings to stand out in excess of their public importance.

## COMMERCE AND INDUSTRY

### Objectives and Policies

#### **OBJECTIVE 1:**

MANAGE ECONOMIC GROWTH AND CHANGE TO ENSURE ENHANCEMENT OF THE TOTAL CITY LIVING AND WORKING ENVIRONMENT.

#### **Policy 1.1:**

Encourage development which provides substantial net benefits and minimizes undesirable consequences. Discourage development that has substantial undesirable consequences that cannot be mitigated.

#### **Policy 1.2:**

Assure that all commercial and industrial uses meet minimum, reasonable performance standards.

**Policy 1.3:**

Locate commercial and industrial activities according to a generalized commercial and industrial land use plan.

*The proposed development will provide desirable goods and services to the neighborhood and will provide resident employment opportunities to those in the community. The conditions of approval will ensure that the use meets minimum, reasonable performance standards. Further, the Project Site is located within a Neighborhood Commercial Transit District and is thus consistent with activities in the commercial land use plan.*

**OBJECTIVE 2:**

MAINTAIN AND ENHANCE A SOUND AND DIVERSE ECONOMIC BASE AND FISCAL STRUCTURE FOR THE CITY.

**Policy 2.1:**

Seek to retain existing commercial and industrial activity and to attract new such activity to the City.

*The Project will provide a neighborhood-serving retail in a neighborhood that has limited active retail uses.*

**OBJECTIVE 3:**

PROVIDE EXPANDED EMPLOYMENT OPPORTUNITIES FOR CITY RESIDENTS, PARTICULARLY THE UNEMPLOYED AND ECONOMICALLY DISADVANTAGED.

**Policy 3.1:**

Promote the attraction, retention and expansion of commercial and industrial firms which provide employment improvement opportunities for unskilled and semi-skilled workers.

*The Project will support a home-grown business that employs numerous unskilled and semi-skilled workers in its coffee shops. Adding a new Philz location will also contribute to job growth by providing 30 new employment opportunities (15 full-time and 15 part-time).*

**OBJECTIVE 6:**

MAINTAIN AND STRENGTHEN VIABLE NEIGHBORHOOD COMMERCIAL AREAS EASILY ACCESSIBLE TO CITY RESIDENTS.

**Policy 6.1:**

Ensure and encourage the retention and provision of neighborhood-serving goods and services in the city's neighborhood commercial districts, while recognizing and encouraging diversity among the districts.

*No commercial tenant would be displaced and the project would not prevent the district from achieving optimal diversity in the types of goods and services available in the neighborhood. The project will provide the Ocean Avenue NCT with a neighborhood-serving food-service use an area in need of additional retail.*

*Although Philz is technically a formula retail use, it is a locally owned, home-grown business that contributes to the diversity of the City.*

**Policy 6.2:**

Promote economically vital neighborhood commercial districts which foster small business enterprises and entrepreneurship and which are responsive to the economic and technological innovation in the marketplace and society.

**Policy 6.7:**

Promote high quality urban design on commercial streets.

**Policy 6.10:**

Promote neighborhood commercial revitalization, including community-based and other economic development efforts where feasible.

9. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project does comply with said policies in that:

- A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

*The project contributes to the neighborhood-serving retail uses which are currently limited in the area. The proposal would enhance the district by activating a currently vacant retail space with a new limited restaurant. The business will create approximately 30 employment (15 full-time and 15 part-time) opportunities for the community, who would likely be existing San Francisco residents. The proposed alterations are within the existing building footprint and will not alter the building envelope.*

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

*The project serves the mixed-use character of the area by providing street-facing retail. Therefore, the project supports the cultural and economic diversity of our neighborhoods.*

- C. That the City's supply of affordable housing be preserved and enhanced,

*The project will not affect the City's affordable housing supply.*

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

*The site is on Ocean Avenue and is well served by transit. It is presumable that the employees and patrons would commute on foot or by transit thereby mitigating possible effects on street parking. The Muni Ocean Avenue and Lee Street Station adjacent to the subject property, and is served by K-Ingleside/T-Third Street lines. Additionally, the project sight is accessible by the 29 and 91 Muni bus*

*lines. The proposed use is designed to meet the needs of the immediate neighborhood and should not generate significant amounts of vehicular trips from the immediate neighborhood or citywide.*

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

*The Project will not displace any service or industry establishment including commercial office development. The project will not affect industrial or service sector uses or related employment opportunities. Ownership of industrial or service sector businesses will not be affected by this project. The project will serve to enhance a diverse economic base in that approximately 30 people will be employed to operate this seven-day-a-week limited restaurant operating approximately 16-hours days from 6:00AM to 10:00PM on weekdays and 14-hour days from 7:00AM to 9:00PM on the weekends.*

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

*The Project is designed and will be constructed to conform to the structural and seismic safety requirements of the City Building Code. This proposal will not impact the property's ability to withstand an earthquake.*

- G. That landmarks and historic buildings be preserved.

*There will be no negative impact on any landmarks or historic buildings.*

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

*The project will have no negative impact on existing parks and open spaces. The Project does not have an impact on open spaces.*

10. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
11. The Commission hereby finds that approval of the Conditional Use authorization would promote the health, safety and welfare of the City.

## DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Application No. 2015-014611CUA** subject to the following conditions attached hereto as "EXHIBIT A" in general conformance with plans on file, dated March 29, 2016, and stamped "EXHIBIT B", which is incorporated herein by reference as though fully set forth.

**APPEAL AND EFFECTIVE DATE OF MOTION:** Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion No. XXXXX. The effective date of this Motion shall be the date of this Motion if not appealed (After the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

**Protest of Fee or Exaction:** You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development.

If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission's adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator's Variance Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives **NOTICE** that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period.

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on April 21, 2016.

Jonas P. Ionin  
Commission Secretary

AYES:

NAYS:

ABSENT:

**Draft Motion**  
**April 21, 2016**

**CASE NO. 2015-014611CUA**  
**1100 Ocean Avenue**

ADOPTED: April 21, 2016

## EXHIBIT A

### AUTHORIZATION

This authorization is for a conditional use to allow a Formula Retail Limited Restaurant (d.b.a. **Philz Coffee**) located at 1100 Ocean Avenue, Block 3180, Lot 005 pursuant to Planning Code Sections **303.1, 703.3, and 703.4** within the **Ocean Avenue Neighborhood Commercial** Transit District and a **55-X** Height and Bulk District; in general conformance with plans, dated **March 29, 2016**, and stamped “EXHIBIT B” included in the docket for Case No. **2015-014611CUA** and subject to conditions of approval reviewed and approved by the Commission on **April 21, 2016** under Motion No **XXXXXX**. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

### RECORDATION OF CONDITIONS OF APPROVAL

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on **April 21, 2016** under Motion No **XXXXXX**.

### PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. **XXXXXX** shall be reproduced on the Index Sheet of construction plans submitted with the Site or Building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

### SEVERABILITY

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. “Project Sponsor” shall include any subsequent responsible party.

### CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use authorization.

## Conditions of Approval, Compliance, Monitoring, and Reporting PERFORMANCE

1. **Validity.** The authorization and right vested by virtue of this action is valid for three (3) years from the effective date of the Motion. The Department of Building Inspection shall have issued a Building Permit or Site Permit to construct the project and/or commence the approved use within this three-year period.  
*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*
2. **Expiration and Renewal.** Should a Building or Site Permit be sought after the three (3) year period has lapsed, the project sponsor must seek a renewal of this Authorization by filing an application for an amendment to the original Authorization or a new application for Authorization. Should the project sponsor decline to so file, and decline to withdraw the permit application, the Commission shall conduct a public hearing in order to consider the revocation of the Authorization. Should the Commission not revoke the Authorization following the closure of the public hearing, the Commission shall determine the extension of time for the continued validity of the Authorization.  
*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*
3. **Diligent pursuit.** Once a site or Building Permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. Failure to do so shall be grounds for the Commission to consider revoking the approval if more than three (3) years have passed since this Authorization was approved.  
*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*
4. **Extension.** All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.  
*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*
5. **Conformity with Current Law.** No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval.  
*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*



## DESIGN

6. **Garbage, composting and recycling storage.** Space for the collection and storage of garbage, composting, and recycling shall be provided within enclosed areas on the property and clearly labeled and illustrated on the architectural addenda. Space for the collection and storage of recyclable and compostable materials that meets the size, location, accessibility and other standards specified by the San Francisco Recycling Program shall be provided at the ground level of the buildings.

*For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, [www.sf-planning.org](http://www.sf-planning.org).*

## MONITORING

7. **Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

## OPERATION

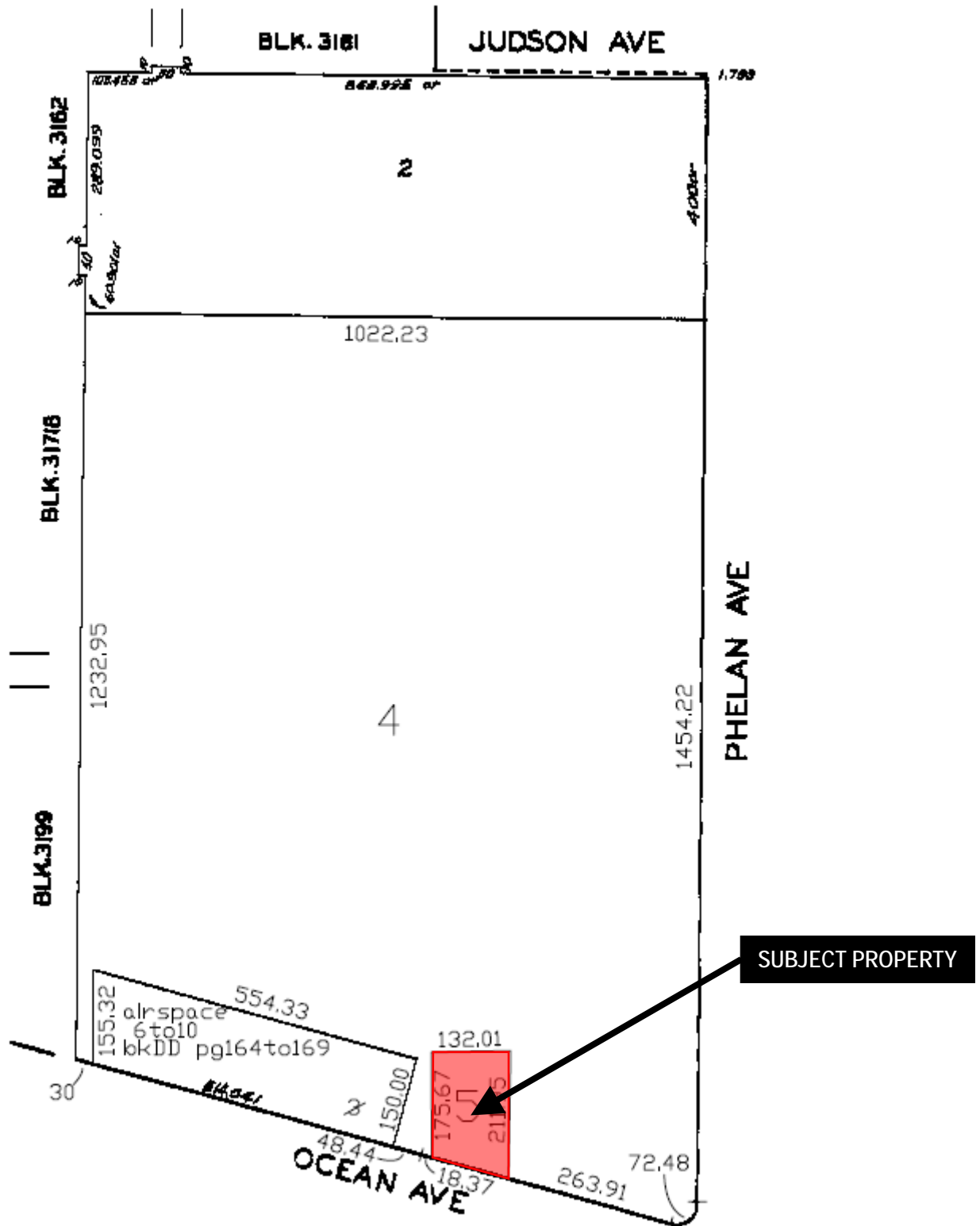
8. **Garbage, Recycling, and Composting Receptacles.** Garbage, recycling, and compost containers shall be kept within the premises and hidden from public view, and placed outside only when being serviced by the disposal company. Trash shall be contained and disposed of pursuant to garbage and recycling receptacles guidelines set forth by the Department of Public Works.

*For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works at 415-554-5810, <http://sfdpw.org>*

9. **Sidewalk Maintenance.** The Project Sponsor shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Streets and Sidewalk Maintenance Standards. *For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works, 415-695-2017, <http://sfdpw.org/>*

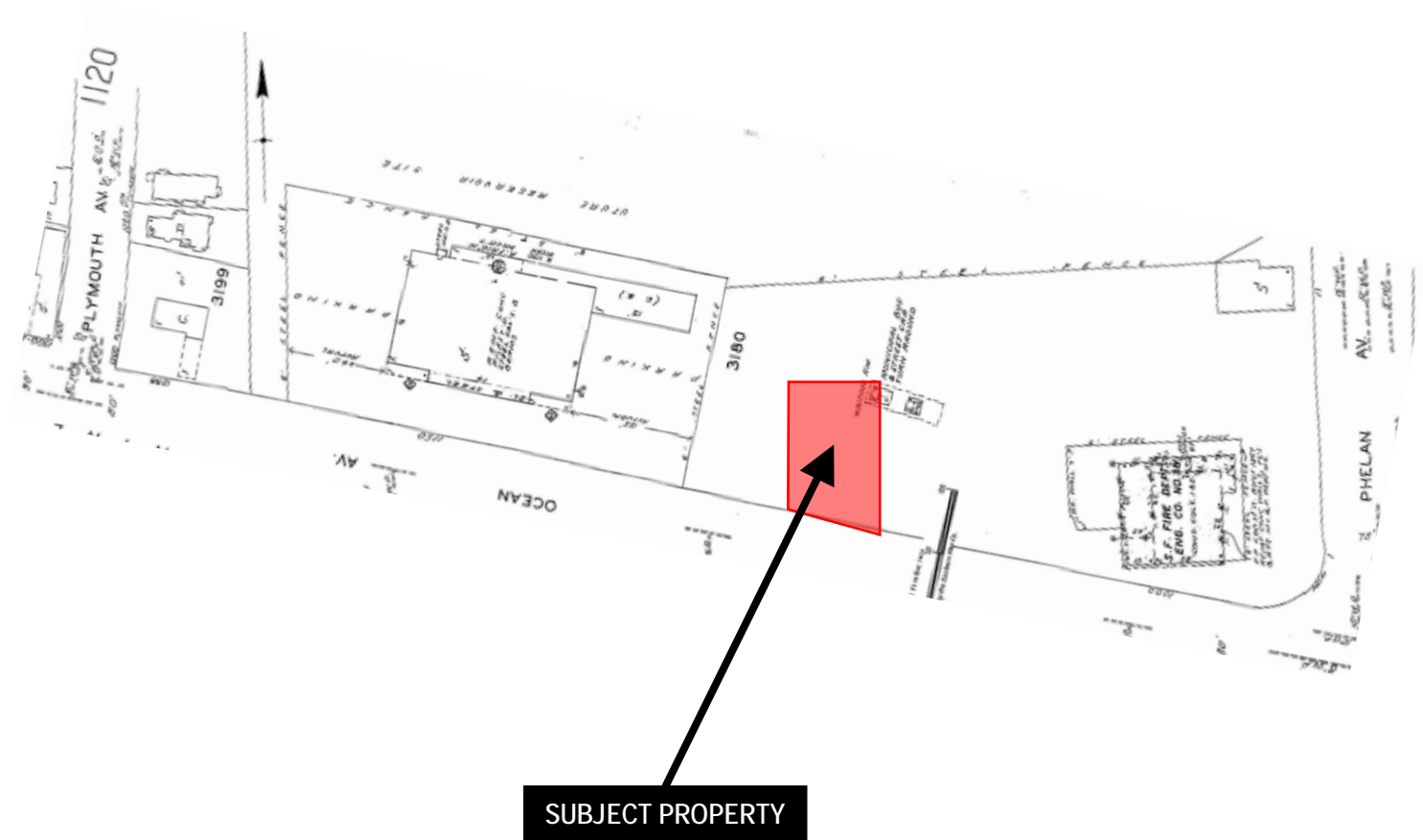
# Exhibits

# Parcel Map



Discretionary Review Hearing  
Case Number 2015-014611CUA  
1100 Ocean Avenue

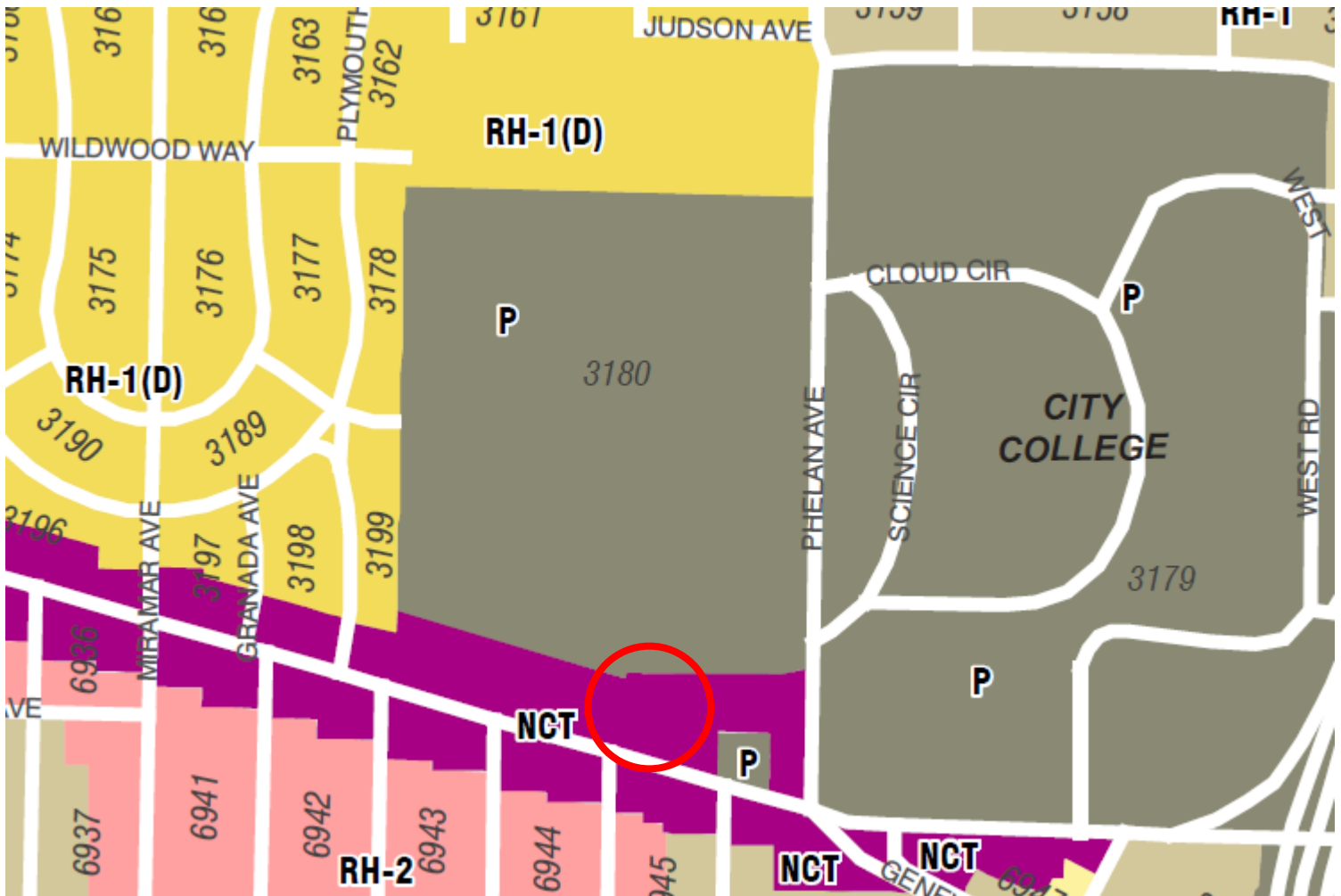
# Sanborn Map\*



*\*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.*

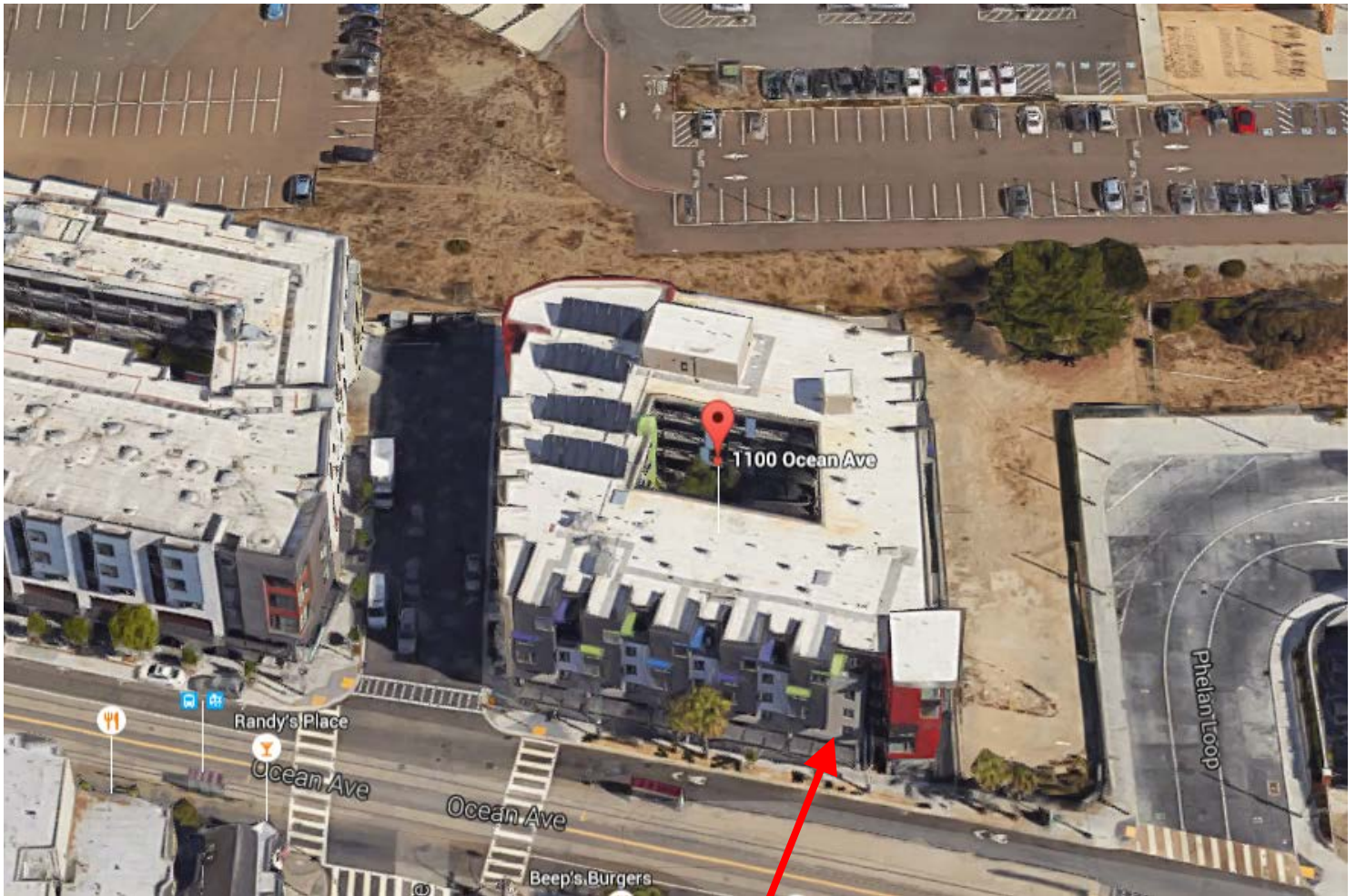


# Zoning Map



Discretionary Review Hearing  
Case Number 2015-014611CUA  
1100 Ocean Avenue

# Aerial Photo



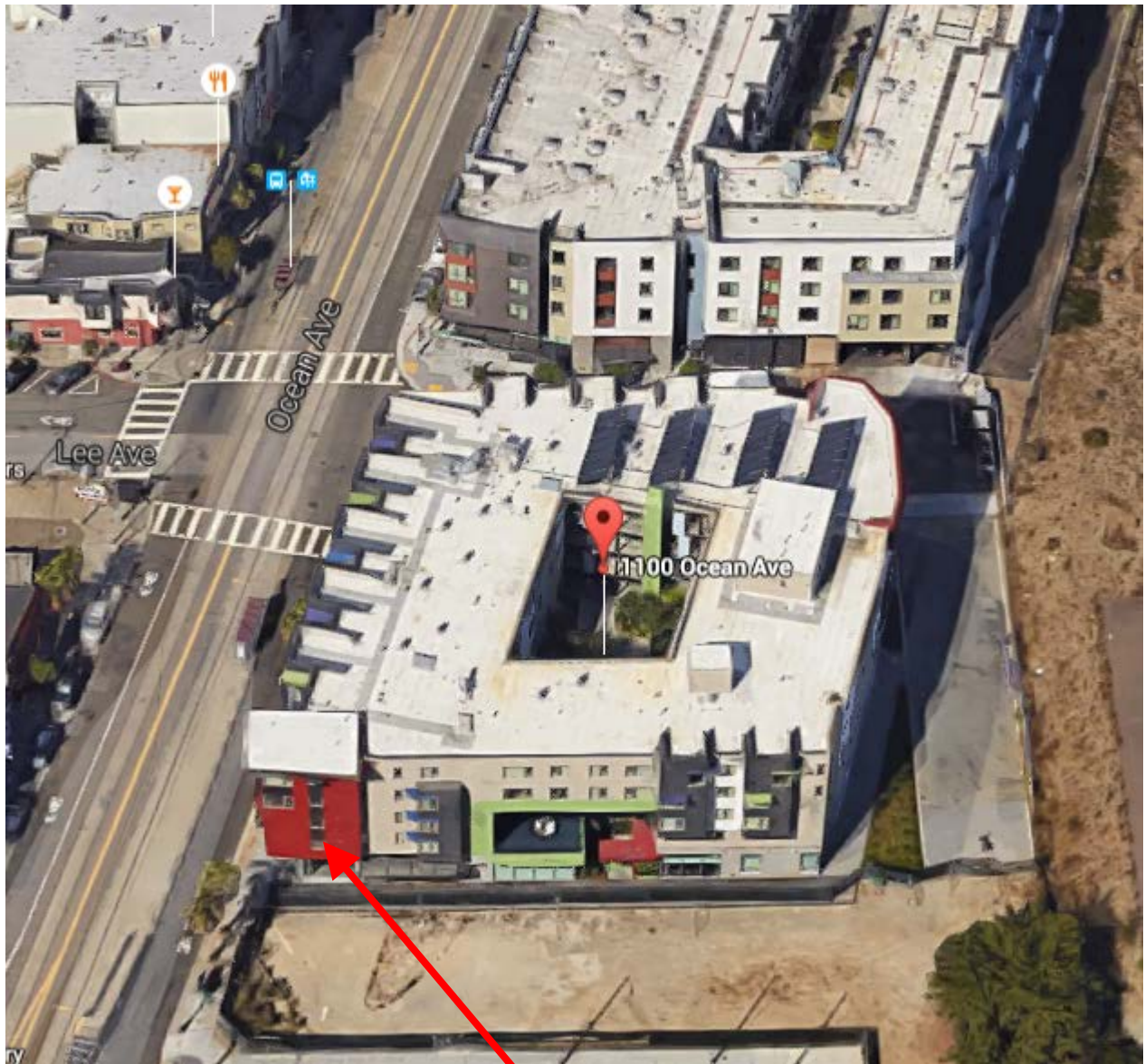
SUBJECT PROPERTY



Discretionary Review Hearing  
Case Number 2015-014611CUA  
1100 Ocean Avenue



# Aerial Photo

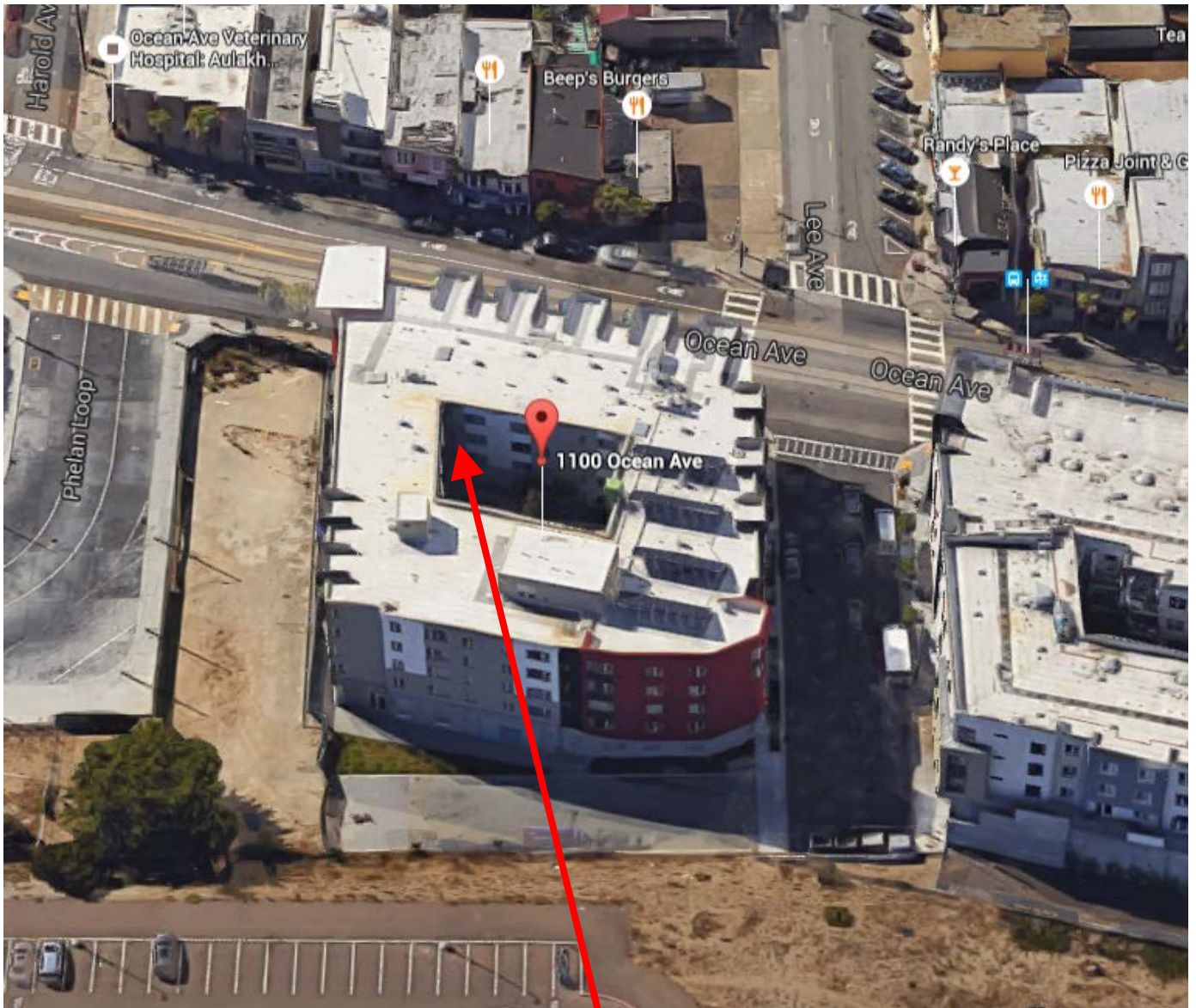


SUBJECT PROPERTY



Discretionary Review Hearing  
Case Number 2015-014611CUA  
1100 Ocean Avenue

# Aerial Photo



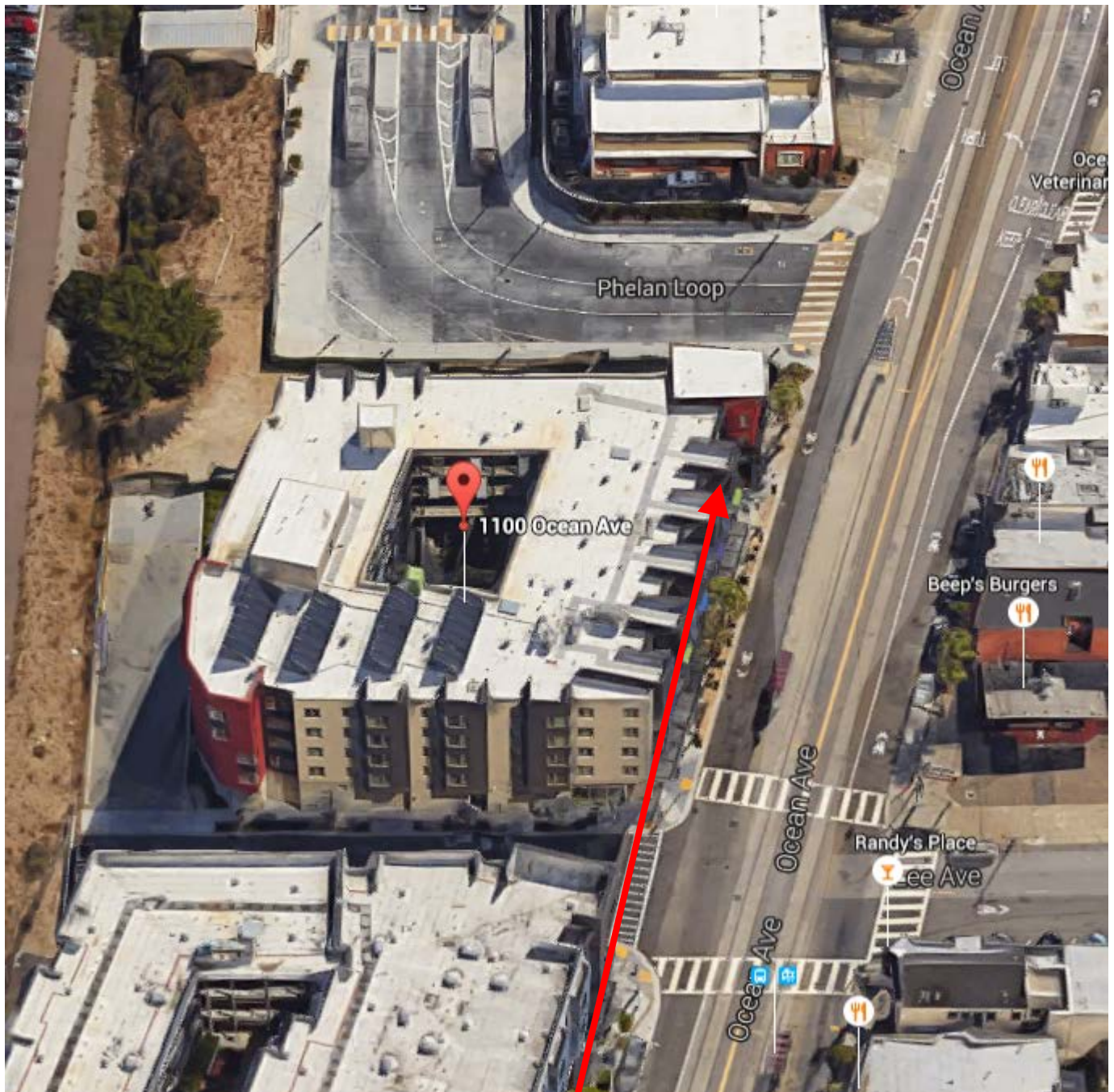
SUBJECT PROPERTY



Discretionary Review Hearing  
Case Number 2015-014611CUA  
1100 Ocean Avenue



# Aerial Photo

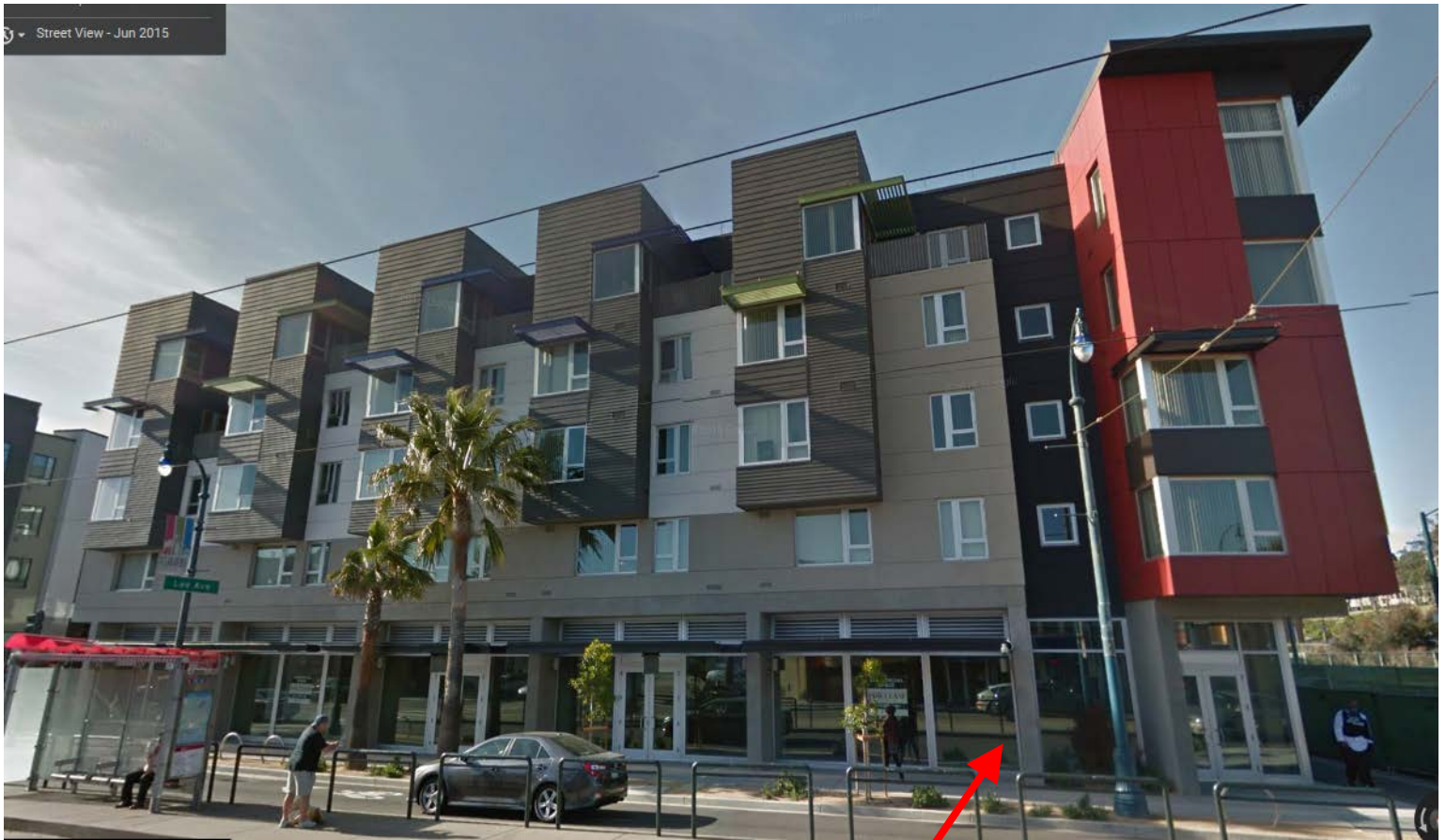


SUBJECT PROPERTY



Discretionary Review Hearing  
Case Number 2015-014611CUA  
1100 Ocean Avenue

# Site Photo

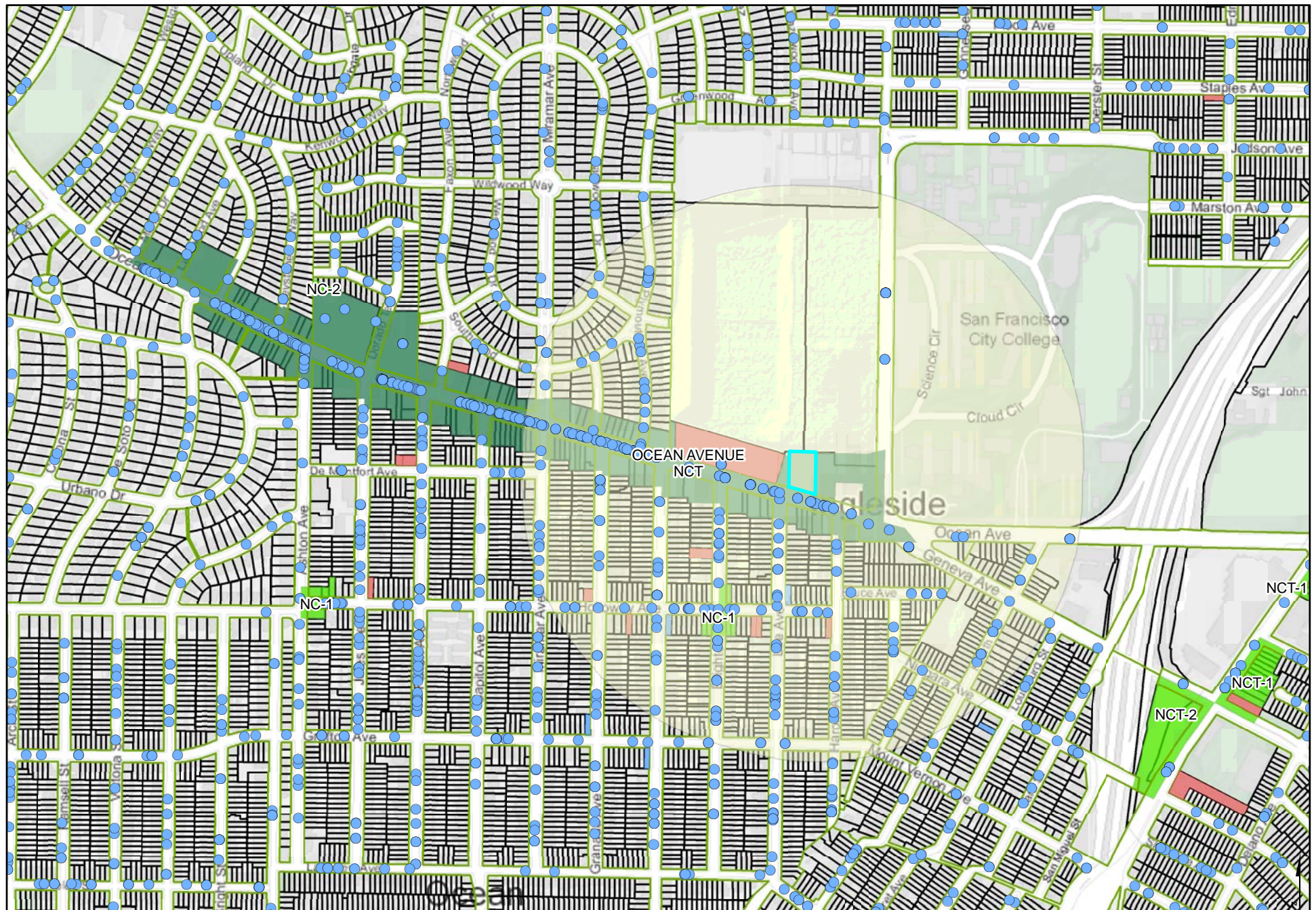


SUBJECT PROPERTY

Discretionary Review Hearing  
Case Number 2015-014611CUA  
1100 Ocean Avenue



# 1100 Ocean Avenue - Map of 1/4 mile vicinity and Ocean Avenue NCT



0 270 540 1,080 Feet

**Flores, Veronica (CPC)**

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**From:** Andrew Sparks <andysparks@hotmail.com>  
**Sent:** Friday, April 08, 2016 10:30 AM  
**To:** Flores, Veronica (CPC)  
**Subject:** Ocean Avenue Philz

Dear Veronica,

I live near Ocean Avenue and saw the Planning Department notice posted on Ocean Avenue near Phelan. I wanted to write in support of the project. This neighborhood very much needs new, high-quality businesses in the area. Ocean Avenue has historically been a neglected corridor by the City and by businesses, so this is a tremendous development for the neighborhood. Philz would provide a great community meeting place as well as a thriving business employing numerous workers. This neighborhood needs new businesses like Philz and I'm excited for them to open as soon as possible.

As a neighbor to this project, I appreciate you working to help expedite the opening of this Philz for the benefit of the entire neighborhood. Let me know if you have any questions or want to discuss.

Best,  
Andrew Sparks

# REUBEN, JUNIUS & ROSE, LLP

April 4, 2016

## **By Email**

President Rodney Fong and Commissioners  
San Francisco Planning Commission  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

**Re: Formula Retail Approval for Philz Coffee at 1110 Ocean Street**  
**Planning Case Number: 2015-014611CUA**  
**Hearing Date: April 21, 2016**  
**Our File No.: 8574.03**

Dear President Fong and Commissioners:

We represent Philz Coffee (“Philz”), which proposes to open a store at 1110 Ocean Street (the “Site”) at a currently vacant retail space in a mixed-use building in the West of Twin Peaks neighborhood (the “Project”). The Project requires conditional use authorization under Section 303.1 of the San Francisco Planning Code to authorize a formula retail use in the existing space.

## **A. Surrounding Neighborhood**

The Site is located on Ocean Avenue near Phelan Avenue where the West of Twin Peaks, Ocean View and Outer Mission neighborhoods meet. The location is a vacant retail space in a residential over commercial building. Ocean Avenue has many similar residential over commercial buildings, but numerous retail spaces remain vacant. South of Ocean Avenue is largely residential. North of Ocean Avenue, East and West of Phelan Avenue is the City College of San Francisco.

## **B. Project Description**

Philz Coffee proposes to open a new store on Ocean Avenue adjacent to the City College of San Francisco in a vacant space in a new mixed-use building. No new parking or exterior alterations of the building are proposed, other than installing Philz signage. Philz intends to install features that will make the location a welcoming community space, including comfortable seating and a community bulletin board.

James A. Reuben | Andrew J. Junius | Kevin H. Rose | Daniel A. Frattin | John Kevlin  
Jay F. Drake | Lindsay M. Petrone | Sheryl Reuben<sup>1</sup> | Tuija I. Catalano | Thomas Tunny  
David Silverman | Melinda A. Sarjapur | Mark H. Loper | Jody Knight | Stephanie L. Haughey  
Chloe V. Angelis | Louis J. Sarmiento | Jared Eigerman<sup>2,3</sup> | John McInerney III<sup>2</sup>

1. Also admitted in New York 2. Of Counsel 3. Also admitted in Massachusetts

One Bush Street, Suite 600  
San Francisco, CA 94104

tel: 415-567-9000  
fax: 415-399-9480

[www.reubenlaw.com](http://www.reubenlaw.com)



Philz Coffee began in 2003 when Phil Jaber opened the flagship location in the Mission at 24th Street and Folsom. Although technically a formula retail use under the Planning Code, Philz is a local, home-grown company. A new Philz at the Site would add a neighborhood-serving coffee shop to an area with a limited number of businesses that serve food or cater to pedestrians or neighborhood residents.

### C. Summary of Project Benefits

- **Supports the Growth of a Local San Francisco Business.** Although Philz is technically a formula retail use, it is a home-grown San Francisco business that employs numerous unskilled and semi-skilled workers in its coffee shops. Approval will allow Philz to continue its tradition of providing community spaces to neighborhoods throughout San Francisco by expanding to a new location in the West of Twin Peaks neighborhood. The new location is expected to have approximately 30 employees.
- **Adds a Vibrant Commercial Use to a Vacant Storefront.** The Project adds a vibrant street-facing and pedestrian-focused use in a commercial area that is accessible to both foot traffic and public transportation, but is lacking in retail, including neighborhood coffee shops.
- **Provides a Community Meeting Place to the Neighborhood.** Philz will make the location a community space, providing a neighborhood place to meet, sit, and post on the community bulletin board.
- **Increase Safety of the Area by Increasing Pedestrian Traffic.** The Philz location, which will be open 7 days a week from approximately 6 a.m. to 9 p.m. (actual hours to be determined), will increase pedestrian traffic in the area and therefore make it safer and more lively.

### D. Community Outreach

The pre-application meeting was held on October 13, 2015. There was public support expressed at the meeting and no opposition was voiced. Since the meeting, Philz has continued to reach out to the community, including area residents and businesses. David Grey attended a meeting of the Ocean Avenue Association's Street Life Committee and Board of Directors and discussed positive community impact. OAA then provided a support letter for the Project. We have also received support letters from Paul Sousa and Kat Favetti, and expect to have additional letters to share at the time of hearing. Philz values its ties with the community and will continue outreach efforts after project approval.

President Fong and Commissioners

April 4, 2016

Page 3

## **E. Conclusion**

Approval will allow Philz, a home-grown San Francisco company, to add a community coffee shop to an area with limited community-serving retail and restaurant establishments. Philz has successfully served the San Francisco community for many years and seeks to similarly serve the West of Twin Peaks neighborhood.

We look forward to presenting the Project to you on April 21, 2016, and respectfully request your support.

Very truly yours,

**REUBEN, JUNIUS & ROSE, LLP**



Jody Knight

cc: Dennis Richards, Commission Vice-President  
Michael J. Antonini, Commissioner  
Rich Hillis, Commissioner  
Christine D. Johnson, Commissioner  
Kathrin Moore, Commissioner  
Cindy Wu, Commissioner  
Veronica Flores, Project Planner

**LIST OF EXHIBITS**

- Exhibit A - Support Letter from Paul Sousa
- Exhibit B - Support Letter from Ocean Avenue Association
- Exhibit C - Support Letter from Kate Favetti



## **EXHIBIT A**


To: San Francisco Planning Department

Re: Conditional Use Permit for Philz, Ocean Avenue

To Whom It May Concern,

My name is Paulo (Paul) Sousa, and I'm an Ingleside homeowner. I reside at 621 Lakeview Avenue in San Francisco, just three blocks away from Ocean Avenue. I am writing to express my support for Philz being granted a conditional use permit to open a new location on Ocean Avenue. Philz is a much beloved San Francisco institution that was founded locally and offers a great cup of coffee. I believe having another retail coffee option - especially closer to City College - would be great for the neighborhood and community.

Best Regards,

  
Paul Sousa

Dated: December 10, 2015

## **EXHIBIT B**



March 29, 2016

San Francisco Planning Commission  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

Dear Commissioners,

The Ocean Avenue Association's Board has voted unanimously to support the CU application of Philz Coffee for the proposed site at 1100 Ocean Avenue.

Philz Coffee representatives visited OAA's Street Life Committee and Board of Directors to discuss their Ocean Avenue project. They explained how Philz works with neighborhood events where their stores are located. For Ocean Avenue we discussed the fact that their coffee shop will be located on the Unity Plaza public open space and how they could support community events on the plaza as well as other locations. We are confident that Philz Coffee will contribute to OAA's programs and events to market and promote the retail district and the Ocean Avenue community.

Please contact me if you have additional questions.

Sincerely,

A handwritten signature in black ink that reads "Daniel Weaver".

Daniel Weaver, Executive Director  
Ocean Avenue Association  
1728 Ocean Avenue, PMB 154  
San Francisco, CA 94112  
[Info.oacbd@gmail.com](mailto:Info.oacbd@gmail.com)  
650-273-6223 Google Message

## **EXHIBIT C**

April 1, 2016

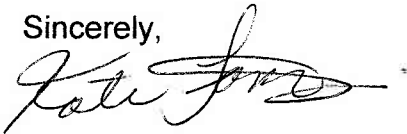
San Francisco Planning Commission  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

I am writing to express my support for approval of conditional use permit for Philz Coffee at 1110 Ocean Avenue. Philz Coffee is a local, San Francisco success story, having opened his first store in the Mission and expanded to be a successful brand.

Philz will be a welcome addition to the Ocean Avenue Retail Corridor particularly with the current and anticipated increase in population along the Ocean Avenue. And, the store will definitely be handy for City College students.

By way of reference, I have been a resident of Westwood Park for more than 38 years and active in the community. I am currently a member of the Ocean Avenue Association Street Life and Business Improvement Committees, the OMI Cultural Participation Project (Board member), Westwood Park Association (current President), Balboa Reservoir Community Advisory Board (Vice-Chair), and other organizations supporting the Ocean Avenue/Ingleside neighborhoods and retail corridor.

Sincerely,

A handwritten signature in black ink, appearing to read "Kate Favetti", with a stylized flourish at the end.

Kate Favetti

C: Dan Love, Construction Coordinator, Philz Coffee

**PROJECT SPONSOR'S SUBMITTAL FOR  
CONDITIONAL USE AUTHORIZATION  
FOR FORMULA RETAIL USE**

**(PLANNING CODE SECTION 303.1)**

**for**

**Property Located at 1100 Ocean Avenue  
Block 3180, Lot 005**

**Project Sponsor:  
Philz Coffee**

**Planning Department Case No. \_\_\_\_\_**

**Application Filed: November 3, 2015**

*Attorneys for Project Sponsor:*

---

**REUBEN, JUNIUS & ROSE, LLP**

One Bush Street, Suite 600 San Francisco, CA 94104  
t] 415 567 9000 f] 415 399 9480

# SECTION 303.1 APPLICATION – CONDITIONAL USE

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**A. INTRODUCTION AND BACKGROUND**

Philz Coffee proposes to open a formula retail store at 1100 Ocean Avenue (the “Site”) in a currently vacant retail space in the West of Twin Peaks neighborhood (the “Project”). Philz Coffee began in 2003 when Phil Jaber opened the flagship location in the Mission at 24th Street and Folsom. Although technically a formula retail use under the Planning Code, Philz is a local, home-grown company. A new Philz at the Site would add a neighborhood-serving coffee shop to an area with limited retail. The Project is adjacent City College of San Francisco and on the KT light rail line utilized by many residents of the area.

The proposed use requires conditional use authorization under Section 303.1 of the San Francisco Planning Code to authorize a formula retail use in the existing space.

**B. OWNER/PROJECT SPONSOR INFORMATION**

<b>Project Sponsor:</b>	Philz Coffee 1300 Potrero Avenue San Francisco, CA 94110 Attn: Ms. Tracy Chiao
<b>Owner:</b>	Mercy Commercial California
<b>Project Contact:</b>	Reuben, Junius & Rose, LLP One Bush Street, Suite 600 San Francisco, CA 94104 Tel: (415) 567-9000 Fax: (415) 399-9480 Email: jknight@reubenlaw.com Attn: Ms. Jody Knight

**C. SITE INFORMATION**

<b>Street Address:</b>	1100 Ocean Avenue
<b>Cross Streets:</b>	Phelan Avenue
<b>Assessor’s Block/Lot:</b>	Block 3180, Lot 005
<b>Zoning District:</b>	Ocean Avenue Neighborhood Commercial Transit District
<b>Height/Bulk District:</b>	55-X
<b>Commercial Unit Area:</b>	2,346 square feet

**D. EXISTING SITE AND SURROUNDING AREA CONDITIONS**

The Site is located on Ocean Avenue near Phelan Avenue where the West of Twin Peaks, Ocean View and Outer Mission neighborhoods meet. The location is a vacant retail space in a residential over commercial building. Ocean Avenue has many similar residential over commercial buildings, but numerous retail spaces remain vacant. South of Ocean Avenue is largely residential. North of Ocean Avenue, East and West of Phelan Avenue is the City College of San Francisco.

Current plans for the interior renovations of the property and signage changes, as well as a pamphlet showing photos of other Philz locations are attached as Exhibit A. Photographs of the subject and adjacent buildings are attached as Exhibit B.

**E. PROJECT SUMMARY**

<b>Present Use:</b>	Vacant
<b>Proposed use:</b>	Philz Coffee
<b>Use Size (existing):</b>	2,346 sq. ft.
<b>Use Size (proposed):</b>	2,346 sq. ft. (No Change)
<b>Parking Spaces (existing):</b>	None
<b>Parking Spaces (proposed):</b>	None (No change)
<b>No. of Levels (existing):</b>	1 (of retail)
<b>No. of Levels (proposed):</b>	1 (No change)
<b>Construction Cost:</b>	\$400,000

**F. PROJECT DESCRIPTION**

Philz Coffee proposes to open a new store on Ocean Avenue adjacent to the City College of San Francisco in a vacant space in a new mixed-use building. No new parking or exterior alterations of the building are proposed, other than installing Philz signage.

This project requires conditional use authorization for a new formula retail use. A completed formula retail checklist is attached as Exhibit C.

**G. PROJECT SUMMARY TABLE**

CHANGE OF USE	Yes	PRESENT OR PREVIOUS USE:
CHANGE OF HOURS	Yes	Vacant retail space
NEW CONSTRUCTION	No	
ALTERATIONS	Yes	PROPOSED USE:
DEMOLITION	No	Coffee shop (limited restaurant under Section 790.90)
ADDITIONS TO BUILDING	No	
▪ REAR	No	BUILDING PERMIT APPLICATION NUMBER
▪ FRONT	No	Not yet filed
▪ HEIGHT	No	DATE FILED
▪ SIDE YARD	No	N/A

	EXISTING USES	EXISTING USES RETAINED	NET NEW CONSTRUCTION	PROJECT TOTALS
PROJECT FEATURES				
DWELLING UNITS	0	0	0	0
HOTEL ROOMS	0	0	0	0
PARKING SPACES	0	0	0	0
LOADING SPACES	0	0	0	0
NUMBER OF BUILDINGS	1	1	0	1
HEIGHT OF BUILDINGS				
NUMBER OF STORIES	1 (of retail)	1	0	1

	EXISTING USES	EXISTING USES RETAINED	NET NEW CONSTRUCTION	PROJECT TOTALS
GROSS SQUARE FOOTAGE				
RESIDENTIAL	0	0	0	0
RETAIL	2,346	2,346	0	2,346
OFFICE	0	0	0	0

INDUSTRIAL/PDR	0	0	0	0
PARKING	0	0	0	0
OTHER	0	0	0	0
TOTAL GSF	2,346	2,346	0	2,346

## H. PRE-APPLICATION MEETING

On October 14, 2015, invitations to a pre-application meeting were sent to owners and occupants of adjacent properties and the West of Twin Peaks, Ocean View and Outer Mission neighborhood community groups on the Planning Department's roster. The pre-application meeting was held at 6:00 p.m. on October 28, 2015 at 1100 Ocean Avenue. **Exhibit D** contains (a) the mailing list of invitees; (b) copies of the invitation and proof of timely mailing; (c) sign-in sheet; (d) summary of public comments and responses; and (e) the pre-application meeting affidavit. At the meeting, the community expressed support for the Project.

## I. COMPLIANCE WITH CONDITIONAL USE CRITERIA (SECTION 303) FINDINGS)

Under Planning Code Section 303(c), the City Planning Commission shall approve the application and authorize a conditional use if the facts presented are such to establish the following:

### 1. Desirability and Compatibility of Project

Planning Code section 303(c)(1) requires that facts be established which demonstrate the following:

**That the proposed use or feature, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable for, and compatible with, the neighborhood or the community.**

The Project is necessary and desirable because it will add a pedestrian-focused use to an area which has few active retail uses. It will increase pedestrian traffic in the area and therefore make it safer and more lively. The Site is adjacent to the City College of San Francisco, and it is expected that many students will patronize the location, as well as residents of the area. Philz creates a community space without adding significant noise or traffic.

2. Effect of Project on Health, Safety, Convenience or General Welfare

Planning Code section 303(c)(2) requires that facts be established which demonstrate the following:

**That such use or feature as proposed will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity, or injurious to property, improvements or potential development in the vicinity, with respect to aspects including but not limited to the following:**

- (a) **The nature of the proposed site, including its size and shape, and the proposed size, shape and arrangement of the structure.**

The Project adds a vibrant street-facing and pedestrian-focused use to a vacant commercial space on a block that currently has limited active retail uses. There will be no changes to the size or shape of the building.

- (b) **The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading and of proposed alternatives to off-street parking, including provisions of car-share parking spaces, as defined in Section 166 of this Code.**

The Project is in an area accessible to pedestrian traffic from the neighborhood, and it is anticipated that most customers will be on foot, including those walking to and from the City College and the nearby neighborhood. The Site which is on the K light rail line and is half a mile from the Balboa Park Bart Station is also highly accessible by public transportation, and many commuters taking public transportation are expected to stop for coffee before or after work. There is no parking at the Site for the retail use, and no parking will be added by the Project. Therefore, traffic is not expected to be increased by the use.

- (c) **The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor.**

The Project will not entail renovation that will generate noxious or offensive emissions, and Philz Coffee will not create emissions.

- (d) **Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs.**

The Project will not modify the exterior of the building except for rebranding the building to a Philz Coffee.

3. Compliance with the General Plan.

Planning Code Section 303(c)(3) requires that facts be established that demonstrate that

such use or feature as proposed will comply with the applicable provisions of this code and will not adversely affect the General Plan.

The Project will affirmatively promote, is consistent with, and will not adversely affect the General Plan, and specifically the **Urban Design Element and Commerce Element of the General Plan**, as follows:

### **Urban Design Element**

**Policy 3.2**                    **Avoid extreme contrasts in color, shape and other characteristics which will cause new buildings to stand out in excess of their public importance.**

The Project will not modify the exterior of the building except for adding a Philz sign. The building fits in with the style of the mixed-use buildings in the area and will continue to do so after conversion to a Philz Coffee.

### **Commerce and Industry Element**

**OBJECTIVE 2**            **Maintain and enhance a sound and diverse economic base and fiscal structure for the city.**

**Policy 2.1**                **Seek to retain existing commercial and industrial activity and to attract new such activity to the city.**

The Project affirmatively supports these policies by allowing Philz to expand into a neighborhood that is in need of neighborhood-serving retail.

**Policy 3.1**                **Promote the attraction, retention and expansion of commercial and industrial firms which provide employment improvement opportunities for unskilled and semi-skilled workers.**

The Project would support this goal by supporting a home-grown business that employs numerous unskilled and semi-skilled workers in its coffee shops. Adding a new Philz location would contribute to job growth.

**OBJECTIVE 6**            **Maintain and strengthen viable neighborhood commercial areas easily accessible to city residents.**

**Policy 6.1**                **Ensure and encourage the retention and provision of neighborhood-serving goods and services in the city's neighborhood commercial districts, while recognizing and encouraging diversity among the districts.**

Allowing Philz to open a new location would support the growth of a neighborhood-serving food-service use in an area in need of additional

retail. Although Philz is technically a formula retail use, it is a local, home-grown business that contributes to the diversity of the City.

**J. COMPLIANCE WITH SECTION 303.1 – FORMULA RETAIL USE**

Projects that include formula retail uses must obtain Conditional Use authorization from the Planning Commission. Formula retail use is defined as a type of use that includes 11 or more establishments that maintain two or more of the following standardized features: array of merchandise, façade, décor and color scheme, uniform apparel, signage, trademark or servicemark. The Project proposes a Philz Coffee location which qualifies as a formula retail use.

Section 303.1 requires that, with respect to an application for Conditional Use authorization for a formula retail use, the Planning Commission shall consider the following:

- (1) The existing concentrations of formula retail uses within the District and within the vicinity of the project;**

The proposed Philz Coffee shop is located in an area with few formula retail uses. A more comprehensive analysis will follow.

- (2) The availability of other similar retail uses within the District and within the vicinity of the project;**

There are a few coffee shops along Ocean Avenue, but very few in the surrounding area. A more comprehensive analysis will follow.

- (3) The compatibility of the proposed formula retail use with the existing architectural and aesthetic character of the District;**

The District has a mixed-use character that includes many new buildings that have residential over commercial uses. The Site, which is on the ground floor of a mixed-use building, is compatible with the architectural and aesthetic character of the District.

- (4) The existing retail vacancy rates within the District and within the vicinity of the project; and**

Vacancy rates to follow.

- (5) The existing mix of Citywide-serving retail uses and neighborhood-serving retail uses within the District and within the vicinity of the project.**

The District is largely residential. Although there are some Citywide-serving retail uses and neighborhood-serving retail uses along Ocean Avenue, the selection of neighborhood-serving retail uses is limited. Although Philz Coffee is technically a formula retail use, it is a local homegrown company that focuses on service to the neighborhood. In addition, the Site is a

vacant retail space in a new mixed-use building. Therefore, the Project would not alter the historic mix of neighborhood-serving and citywide-serving uses.

#### **K. PRIORITY MASTER PLAN POLICIES FINDINGS**

Planning Code Section 101.1 establishes the following eight priority planning policies and requires review of permits for consistency with said policies. The Project and this Section 303 Application are consistent with each of these policies as follows:

**1. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses enhanced.**

Approval of the conditional use contributes to neighborhood-serving retail uses which currently are limited in the area. The Project would not displace any current neighborhood-serving retail uses as the Site is vacant. Therefore, the Project preserves and enhances resident employment and allows Philz to fill a need in the neighborhood.

**2. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.**

The Project serves the mixed-use character of the area by providing street-facing retail. Therefore, the Project supports the cultural and economic diversity of our neighborhoods.

**3. That the City's supply of affordable housing be preserved and enhanced.**

The Project would have no effect on affordable housing, other than serving those in the neighborhood living in affordable units who will have access to an additional food-service option.

**4. That commuter traffic not impede Muni transit service or overburden our streets or neighborhood parking.**

The Project will largely serve local residents and City College students whose use of Muni transit, streets and parking will not be significantly impacted. The majority of customers are expected to access the location on foot or by light rail. Therefore Philz will not burden neighborhood parking.

**5. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.**

The Project proposes no office use. The Project would contribute to a diverse economic base by adding an active street-facing use to a currently vacant space.



**6. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.**

The Project conforms to the structural and seismic requirements of the San Francisco Building Code, and thus meets this requirement.

**7. That landmarks and historic buildings be preserved.**

The Project would not alter the building or impact any historic landmark.

**8. That our parks and open space and their access to sunlight and vistas be protected from development.**

The Project does not propose any changes to the property that would impact on parks, open space or their access to sunlight or vistas.

**L. APPLICANT'S AFFIDAVIT**

Under penalty of perjury the following declarations are made: (a) the undersigned is the owner or authorized agent of the owner of this property; (b) the information presented is true and correct to the best of my knowledge; and (c) other information or applications may be required.

Respectfully submitted,

**REUBEN, JUNIUS & ROSE, LLP**  
Attorneys for Property Owner



Dated: November 3, 2015

By: \_\_\_\_\_

Jody Knight

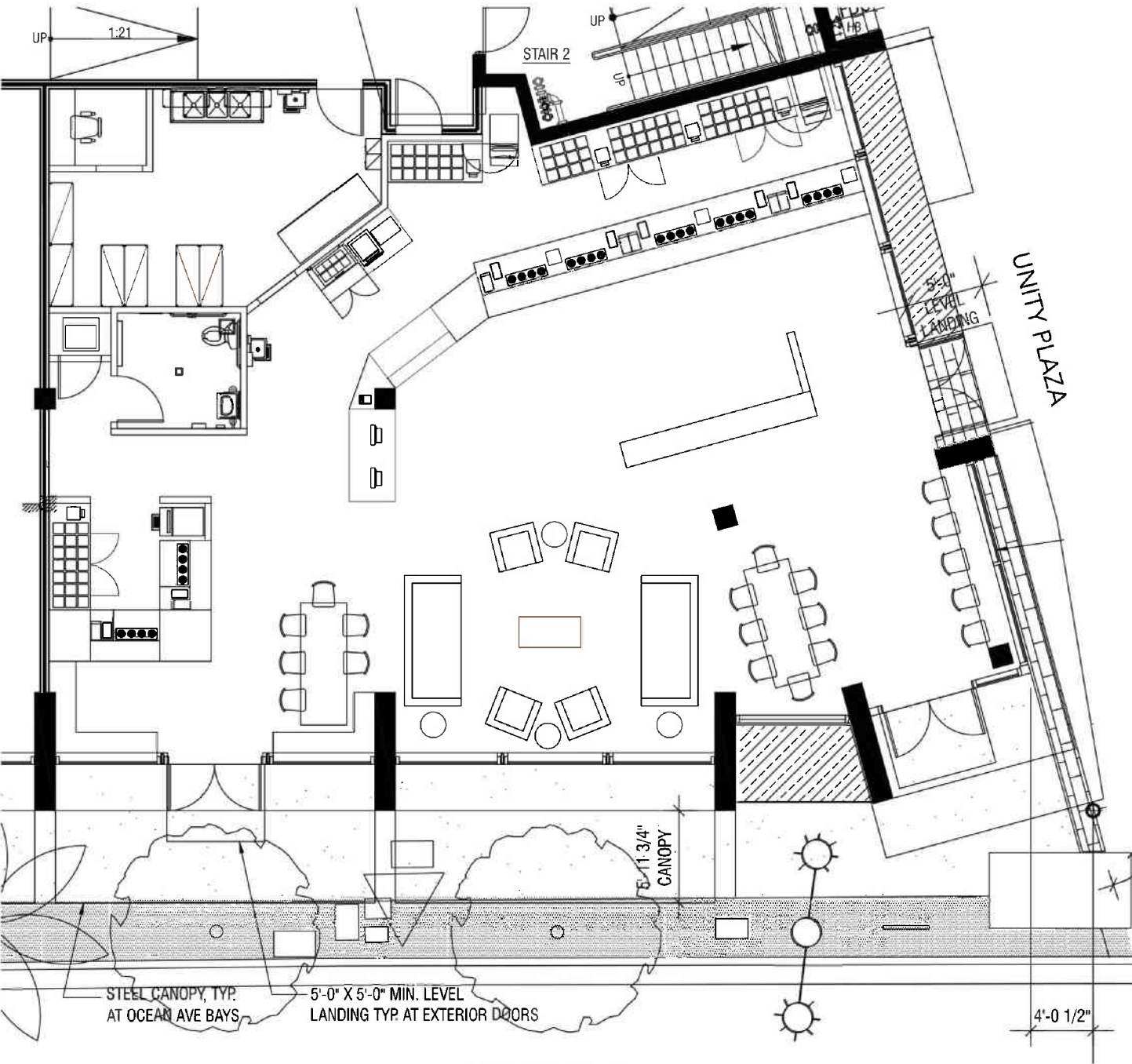
### **List of Exhibits**

- Exhibit A - Floor and Signage Plans; Pamphlet with photos of other Philz locations
- Exhibit B - Project Photos
- Exhibit C - Formula Retail Checklist
- Exhibit D - Mailing list of invitees; copies of the invitation and proof of timely mailing; sign-in sheet; summary of public comments and responses; and the pre-application meeting affidavit.
- Exhibit E - Authorization Letter

## **EXHIBIT A**

# PHILZ - 1100 OCEAN AVE

Initial Floorplan (Draft)



# PHILZ - 1100 OCEAN AVE

## Exterior Signage Concept







## PHILZ - 1100 OCEAN AVE

Philz has been a neighborhood favorite in San Francisco since Phil converted his corner grocery store on 24th and Folsom to a coffee shop in 2003. We have since expanded throughout the Bay Area and Los Angeles, yet over one third of our stores are still located in San Francisco. We are excited to join the Ocean Ave community and design a store that will fit the unique needs of this neighborhood.

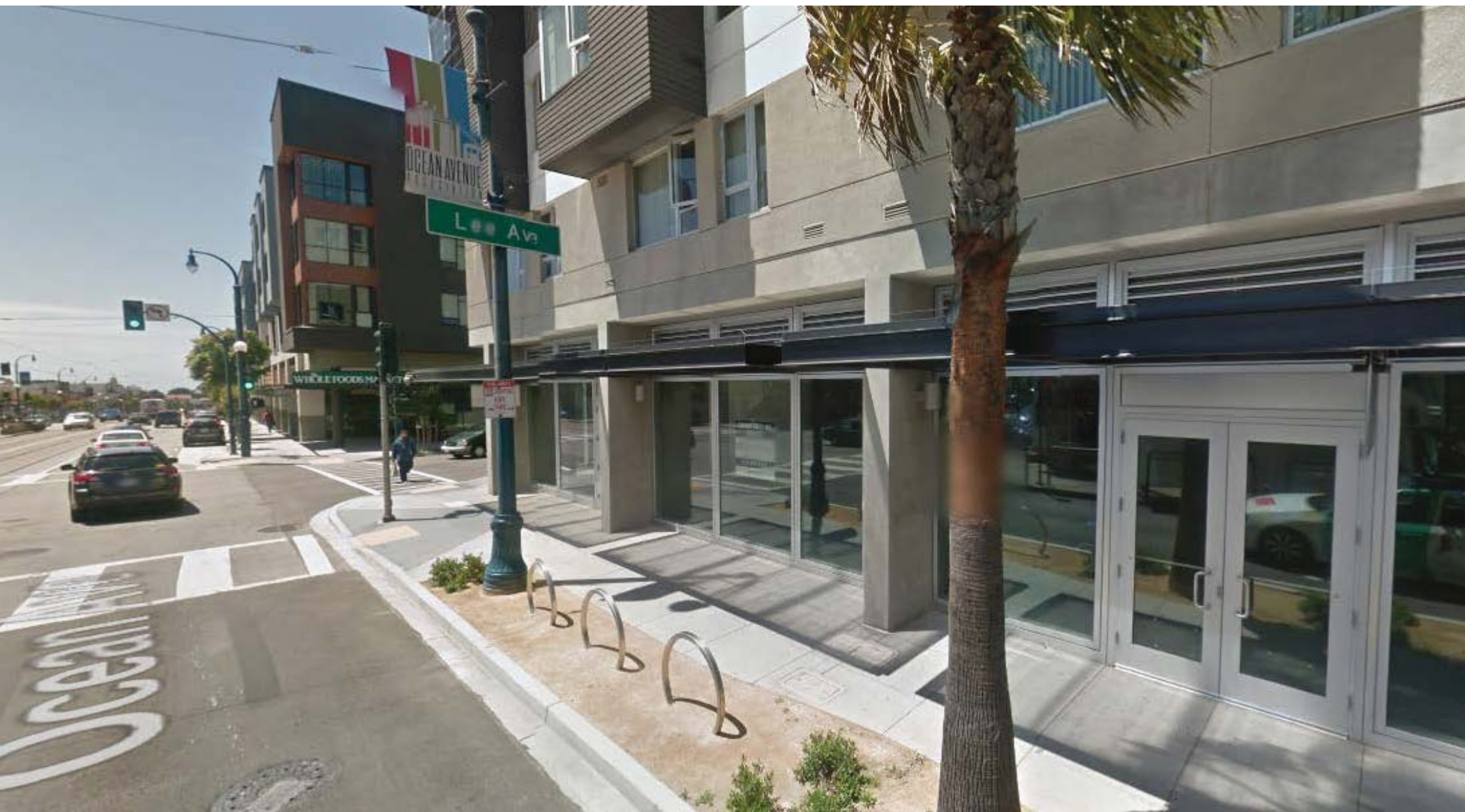


## **EXHIBIT B**











## **EXHIBIT C**



# AFFIDAVIT FOR Formula Retail Uses

## 1. Location and Classification

STREET ADDRESS OF PROJECT:		
1100 Ocean Avenue		
ASSESSORS BLOCK/LOT:	ZONING DISTRICT:	HEIGHT/BULK DISTRICT:
3180 / 005	Ocean Avenue NCT	55-X

## 2. Proposed Use Description

PROPOSED USE (USE CATEGORY PER ARTICLE 7 OR 8):
Coffee Shop (790.90)
PROPOSED BUSINESS NAME:
Philz Coffee
DESCRIPTION OF BUSINESS, INCLUDING PRODUCTS AND/OR SERVICES:
Coffee shop serving coffee and related food products.
BUILDING PERMIT APPLICATION NO.: (if applicable)
PLANNING DEPARTMENT CASE NO.: (if applicable)

## 3. Quantity of Retail Locations

	TOTAL
3.a How many retail locations of this business are there worldwide?	25
Please include any property for which a land use permit or entitlement has been granted.	9
3.b How many of the above total locations are in San Francisco?	

If the number entered on Line 3.a above is 11 or more, then the proposed use *may* be a Formula Retail Use. Continue to section 4 below.

If the number entered on Line 3.a above is 10 or fewer, no additional information is required. Proceed to section 5 on the next page and complete the Applicant's Affidavit.

## 4. Standardized Features

Will the proposed business use any of the following Standardized Features?

	FEATURES	YES	NO
A	Array of Merchandise	<input checked="" type="checkbox"/>	<input type="checkbox"/>
B	Trademark	<input checked="" type="checkbox"/>	<input type="checkbox"/>
C	Servicemark	<input type="checkbox"/>	<input checked="" type="checkbox"/>
D	Décor	<input type="checkbox"/>	<input checked="" type="checkbox"/>
E	Color Scheme	<input type="checkbox"/>	<input checked="" type="checkbox"/>
F	Façade	<input type="checkbox"/>	<input checked="" type="checkbox"/>
G	Uniform Apparel	<input type="checkbox"/>	<input checked="" type="checkbox"/>
H	Signage	<input checked="" type="checkbox"/>	<input type="checkbox"/>
TOTAL		3	

Enter the total number of Yes/No answers above.

If the total YES responses are **two (2) or more**, then the proposed use is a Formula Retail Use.

## 5. Applicant's Affidavit

NAME:	
Reuben, Junius & Rose, LLP Attn: Jody Knight	
<input type="checkbox"/> Property Owner	<input checked="" type="checkbox"/> Authorized Agent
MAILING ADDRESS: (STREET ADDRESS, CITY, STATE, ZIP)	
One Bush Street, Suite 600, San Francisco, CA 94104	
PHONE:	EMAIL:
( 415 ) 567-9000	jknight@reubenlaw.com

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: Other information or applications may be required.

Applicant's Signature:  Date: 11-02-15

### PLANNING DEPARTMENT USE ONLY

PLANNING CODE SECTION(S) APPLICABLE:

HOW IS THE PROPOSED USE REGULATED AT THIS LOCATION?

- ☐ Principally Permitted
- ☐ Principally Permitted, Neighborhood Notice Required (Section 311/312)
- ☐ Not Permitted
- ☐ Conditional Use Authorization Required

COMMENTS:

VERIFIED BY:

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Printed Name: \_\_\_\_\_ Phone: \_\_\_\_\_



#### FOR MORE INFORMATION: Call or visit the San Francisco Planning Department

**Central Reception**  
1650 Mission Street, Suite 400  
San Francisco CA 94103-2479

TEL: **415.558.6378**  
FAX: **415 558-6409**  
WEB: <http://www.sfplanning.org>

**Planning Information Center (PIC)**  
1660 Mission Street, First Floor  
San Francisco CA 94103-2479

TEL: **415.558.6377**

*Planning staff are available by phone and at the PIC counter.  
No appointment is necessary.*

## **EXHIBIT D**

# Notice of Pre-Application Meeting

October 13, 2015

Date

Dear Neighbor:

You are invited to a neighborhood Pre-Application meeting to review and discuss the development proposal at 1100 Ocean Avenue, cross street(s) Phelan Avenue (Block/Lot#: 3180/005); Zoning: Ocean Avenue NCT, in accordance with the San Francisco Planning Department's Pre-Application procedures. The Pre-Application meeting is intended as a way for the Project Sponsor(s) to discuss the project and review the proposed plans with adjacent neighbors and neighborhood organizations before the submittal of an application to the City. This provides neighbors an opportunity to raise questions and discuss any concerns about the impacts of the project before it is submitted for the Planning Department's review. Once a Building Permit has been submitted to the City, you may track its status at [www.sfgov.org/dbi](http://www.sfgov.org/dbi).

The Pre-Application process serves as the first step in the process prior to building permit application or entitlement submittal. Those contacted as a result of the Pre-Application process will also receive a formal entitlement notice or 311 or 312 notification after the project is submitted and reviewed by Planning Department staff.

A Pre-Application meeting is required because this project includes (check all that apply):

- ☐ New Construction;
- ☐ Any vertical addition of 7 feet or more;
- ☐ Any horizontal addition of 10 feet or more;
- ☐ Decks over 10 feet above grade or within the required rear yard;
- ☒ All Formula Retail uses subject to a Conditional Use Authorization;
- ☐ PDR-I-B, Section 313;
- ☐ Community Business Priority Processing Program (CB3P).

The development proposal is to: Permit formula retail use of a Philz Coffee at the site.

Existing # of dwelling units:	<u>N/A</u>	Proposed:	<u>N/A</u>	Permitted:	<u>N/A</u>
Existing bldg square footage:	<u>N/A</u>	Proposed:	<u>N/A</u>	Permitted:	<u>N/A</u>
Existing # of stories:	<u>1 (subject space)</u>	Proposed:	<u>1 (subject space)</u>	Permitted:	<u>N/A</u>
Existing bldg height:	<u>N/A</u>	Proposed:	<u>N/A</u>	Permitted:	<u>N/A</u>
Existing bldg depth:	<u>N/A</u>	Proposed:	<u>N/A</u>	Permitted:	<u>N/A</u>

## MEETING INFORMATION:

Property Owner(s) name(s): 1100 Ocean Avenue Limited Partnership  
 Project Sponsor(s): Philz Coffee  
 Contact information (email/phone): Jody Knight-Reuben, Junius & Rose, LLP/jknight@reubenlaw.com/(415) 567-9000  
 Meeting Address\*: 1100 Ocean Avenue Meeting Room  
 Date of meeting: October 28, 2015  
 Time of meeting\*\*: 6:00 PM

\*The meeting should be conducted at the project site or within a one-mile radius, unless the Project Sponsor has requested a Department Facilitated Pre-Application Meeting, in which case the meeting will be held at the Planning Department offices, at 1650 Mission Street, Suite 400.

\*\*Weeknight meetings shall occur between 6:00 p.m. - 9:00 p.m. Weekend meetings shall be between 10:00 a.m. - 9:00 p.m., unless the Project Sponsor has selected a Department Facilitated Pre-Application Meeting.

If you have questions about the San Francisco Planning Code, Residential Design Guidelines, or general development process in the City, please call the Public Information Center at 415-558-6378, or contact the Planning Department via email at [plc@sfgov.org](mailto:plc@sfgov.org). You may also find information about the San Francisco Planning Department and on-going planning efforts at [www.sfplanning.org](http://www.sfplanning.org).

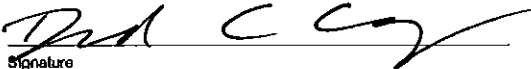
# Affidavit of Conducting a Pre-Application Meeting, Sign-in Sheet and Issues/Responses submittal

I, DAVID GREY, do hereby declare as follows:

1. I have conducted a Pre-Application Meeting for the proposed new construction, alteration or other activity prior to submitting any entitlement (Building Permit, Variance, Conditional Use, etc.) in accordance with Planning Commission Pre-Application Policy.
2. The meeting was conducted at 1100 OCEAN AVE. (location/address) on 10/28/15 (date) from 6:00-8:00 (time).
3. I have included the mailing list, meeting invitation and postmarked letter, sign-in sheet, issue/response summary, and reduced plans with the entitlement Application. I understand that I am responsible for the accuracy of this information and that erroneous information may lead to suspension or revocation of the permit.
4. I have prepared these materials in good faith and to the best of my ability.

I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct.

EXECUTED ON THIS DAY, NOVEMBER 2ND, 2015 IN SAN FRANCISCO.

  
Signature

DAVID GREY  
Name (type or print)

PHILZ COFFEE PROJECT MGR.  
Relationship to Project (e.g. Owner, Agent)  
(if Agent, give business name & profession)

1100 OCEAN AVE  
Project Address



## Pre-Application Meeting Sign-in Sheet

Meeting Date: 10/28/15Meeting Time: 6:00Meeting Address: 1100 OCEAN AVEProject Address: 1100 OCEAN AVEProperty Owner Name: MERCY COMMERCIAL CALIFORNIAProject Sponsor/Representative: PHILZ COFFEE

Please print your name below, state your address and/or affiliation with a neighborhood group, and provide your phone number. Providing your name below does not represent support or opposition to the project; it is for documentation purposes only.

	NAME/ORGANIZATION	ADDRESS	PHONE #	EMAIL	SEND PLANS
1.	<del>PHILZ</del> SEE ATTACHED				<input type="checkbox"/>
2.					<input type="checkbox"/>
3.					<input type="checkbox"/>
4.					<input type="checkbox"/>
5.					<input type="checkbox"/>
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16.					<input type="checkbox"/>
17.					<input type="checkbox"/>
18.					<input type="checkbox"/>

# Philz Coffee – 1100 Ocean

## 10/28/15 Community Meeting Sign-in

Name	Email
1. LORETTA PAYNE	LORETTA ROBINSON 3579
2.	YAHOO.COM
3. Nell Selander	Nell.selander@gmail.com
4. Luis Licea (OAA)	luis.oacbd@gmail.com
5. Barbare Crain	bcraib@mercyhousing.org
6. Aisha Forks	aforks@mercyhousing.org
7.	SVSIE COUVER
8. SVSIE @ archsupplies.com	WTRIO@MAC.COM
9. ROP ROBERLEK	luisnmon@hotmail.com
10. Monica Licea	
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## Summary of discussion from the Pre-Application Meeting

Meeting Date: 10/28/15

Meeting Time: 6:00

Meeting Address: 1100 OCEAN AVE

Project Address: 1100 OCEAN AVE

Property Owner Name: MERCY COMMERCIAL CALIFORNIA

Project Sponsor/Representative: PHILZ COFFEE

Please summarize the questions/comments and your response from the Pre-Application meeting in the space below. Please state if/how the project has been modified in response to any concerns.

Question/Concern #1 by (name of concerned neighbor/neighborhood group): WILL YOU BE HIRING FROM THE LOCAL COMMUNITY? (LORETTA PAYNE - BUILDING RESIDENT)

Project Sponsor Response: PHILZ ALWAYS PREFERENCES LOCAL WORKERS AND WILL BE ADVERTISING ON SITE TO FIND STORE STAFF.

Question/Concern #2: WHEN WILL THE STORE BE OPENING? (NELL SELANDER)

Project Sponsor Response: OUR GOAL IS TO OPEN SUMMER 2016.

Question/Concern #3: \_\_\_\_\_

Project Sponsor Response: \_\_\_\_\_

Question/Concern #4: \_\_\_\_\_

Project Sponsor Response: \_\_\_\_\_



1100 OCEAN AVENUE

# COMMUNITY MEETING

---

Philz Coffee is excited to become a part of your community.

Please join us to learn about our plans, ask questions,  
and enjoy a cup of your favorite Philz!

Wednesday, October 28th

6:00 - 8:00 PM

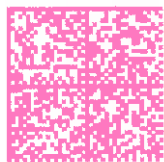
Meeting Room at 1100 Ocean Avenue, San Francisco, CA



*See you there!*

Reuben Junius & Rose  
One Bush St., #600  
San Francisco, CA 94104

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1100 OCEAN AVE / BLK: 3180 LOT: 005 / PRE APP NEIGHBORS GROUPS / OCTOBER 2015

<i>BLK/LOT</i>	<i>FIRST</i>	<i>LAST</i>	<i>TITLE</i>	<i>ORG</i>	<i>ADD</i>	<i>UNIT</i>	<i>CITY</i>	<i>ST</i>	<i>ZIP</i>
<b>1100 OCEAN AVE PRE APP NEIGHBORS:</b>									
3180 004	City Property				25 Van Ness Ave		San Francisco	CA	94102
3180 004	OCCUPANT				11 Phelan Ave		San Francisco	CA	94112
3180 005	1100 Ocean Avenue LP				1360 Mission St #3		San Francisco	CA	94103
3180 005	OCCUPANT				1100 Ocean Ave		San Francisco	CA	94112
3180 005	OCCUPANT				1110 Ocean Ave		San Francisco	CA	94112
3180 005	OCCUPANT				1120 Ocean Ave		San Francisco	CA	94112
3180 005	OCCUPANT				1130 Ocean Ave		San Francisco	CA	94112
3180 005	OCCUPANT				1140 Ocean Ave		San Francisco	CA	94112
3180 005	OCCUPANT				1100 Ocean Ave	#108	San Francisco	CA	94112
3180 005	OCCUPANT				1100 Ocean Ave	#201	San Francisco	CA	94112
3180 005	OCCUPANT				1100 Ocean Ave	#202	San Francisco	CA	94112
3180 005	OCCUPANT				1100 Ocean Ave	#203	San Francisco	CA	94112
3180 005	OCCUPANT				1100 Ocean Ave	#204	San Francisco	CA	94112
3180 005	OCCUPANT				1100 Ocean Ave	#205	San Francisco	CA	94112
3180 005	OCCUPANT				1100 Ocean Ave	#206	San Francisco	CA	94112
3180 005	OCCUPANT				1100 Ocean Ave	#207	San Francisco	CA	94112
3180 005	OCCUPANT				1100 Ocean Ave	#208	San Francisco	CA	94112
3180 005	OCCUPANT				1100 Ocean Ave	#209	San Francisco	CA	94112
3180 005	OCCUPANT				1100 Ocean Ave	#210	San Francisco	CA	94112
3180 005	OCCUPANT				1100 Ocean Ave	#211	San Francisco	CA	94112
3180 005	OCCUPANT				1100 Ocean Ave	#212	San Francisco	CA	94112
3180 005	OCCUPANT				1100 Ocean Ave	#213	San Francisco	CA	94112
3180 005	OCCUPANT				1100 Ocean Ave	#214	San Francisco	CA	94112
3180 005	OCCUPANT				1100 Ocean Ave	#215	San Francisco	CA	94112
3180 005	OCCUPANT				1100 Ocean Ave	#301	San Francisco	CA	94112
3180 005	OCCUPANT				1100 Ocean Ave	#302	San Francisco	CA	94112
3180 005	OCCUPANT				1100 Ocean Ave	#303	San Francisco	CA	94112
3180 005	OCCUPANT				1100 Ocean Ave	#304	San Francisco	CA	94112
3180 005	OCCUPANT				1100 Ocean Ave	#305	San Francisco	CA	94112
3180 005	OCCUPANT				1100 Ocean Ave	#306	San Francisco	CA	94112
3180 005	OCCUPANT				1100 Ocean Ave	#307	San Francisco	CA	94112
3180 005	OCCUPANT				1100 Ocean Ave	#308	San Francisco	CA	94112
3180 005	OCCUPANT				1100 Ocean Ave	#309	San Francisco	CA	94112
3180 005	OCCUPANT				1100 Ocean Ave	#310	San Francisco	CA	94112
3180 005	OCCUPANT				1100 Ocean Ave	#311	San Francisco	CA	94112
3180 005	OCCUPANT				1100 Ocean Ave	#312	San Francisco	CA	94112

1100 OCEAN AVE / BLK: 3180 LOT: 005 / PRE APP NEIGHBORS GROUPS / OCTOBER 2015

3180 005	OCCUPANT	1100 Ocean Ave	#313	San Francisco	CA	94112
3180 005	OCCUPANT	1100 Ocean Ave	#314	San Francisco	CA	94112
3180 005	OCCUPANT	1100 Ocean Ave	#315	San Francisco	CA	94112
3180 005	OCCUPANT	1100 Ocean Ave	#320	San Francisco	CA	94112
3180 005	OCCUPANT	1100 Ocean Ave	#321	San Francisco	CA	94112
3180 005	OCCUPANT	1100 Ocean Ave	#401	San Francisco	CA	94112
3180 005	OCCUPANT	1100 Ocean Ave	#402	San Francisco	CA	94112
3180 005	OCCUPANT	1100 Ocean Ave	#403	San Francisco	CA	94112
3180 005	OCCUPANT	1100 Ocean Ave	#404	San Francisco	CA	94112
3180 005	OCCUPANT	1100 Ocean Ave	#405	San Francisco	CA	94112
3180 005	OCCUPANT	1100 Ocean Ave	#406	San Francisco	CA	94112
3180 005	OCCUPANT	1100 Ocean Ave	#407	San Francisco	CA	94112
3180 005	OCCUPANT	1100 Ocean Ave	#408	San Francisco	CA	94112
3180 005	OCCUPANT	1100 Ocean Ave	#409	San Francisco	CA	94112
3180 005	OCCUPANT	1100 Ocean Ave	#410	San Francisco	CA	94112
3180 005	OCCUPANT	1100 Ocean Ave	#411	San Francisco	CA	94112
3180 005	OCCUPANT	1100 Ocean Ave	#412	San Francisco	CA	94112
3180 005	OCCUPANT	1100 Ocean Ave	#413	San Francisco	CA	94112
3180 005	OCCUPANT	1100 Ocean Ave	#414	San Francisco	CA	94112
3180 005	OCCUPANT	1100 Ocean Ave	#415	San Francisco	CA	94112
3180 005	OCCUPANT	1100 Ocean Ave	#420	San Francisco	CA	94112
3180 005	OCCUPANT	1100 Ocean Ave	#421	San Francisco	CA	94112
3180 005	OCCUPANT	1100 Ocean Ave	#422	San Francisco	CA	94112
3180 005	OCCUPANT	1100 Ocean Ave	#423	San Francisco	CA	94112
3180 005	OCCUPANT	1100 Ocean Ave	#501	San Francisco	CA	94112
3180 005	OCCUPANT	1100 Ocean Ave	#502	San Francisco	CA	94112
3180 005	OCCUPANT	1100 Ocean Ave	#503	San Francisco	CA	94112
3180 005	OCCUPANT	1100 Ocean Ave	#504	San Francisco	CA	94112
3180 005	OCCUPANT	1100 Ocean Ave	#505	San Francisco	CA	94112
3180 005	OCCUPANT	1100 Ocean Ave	#506	San Francisco	CA	94112
3180 005	OCCUPANT	1100 Ocean Ave	#507	San Francisco	CA	94112
3180 005	OCCUPANT	1100 Ocean Ave	#508	San Francisco	CA	94112
3180 005	OCCUPANT	1100 Ocean Ave	#509	San Francisco	CA	94112
3180 005	OCCUPANT	1100 Ocean Ave	#510	San Francisco	CA	94112
3180 005	OCCUPANT	1100 Ocean Ave	#511	San Francisco	CA	94112
3180 005	OCCUPANT	1100 Ocean Ave	#512	San Francisco	CA	94112
3180 005	OCCUPANT	1100 Ocean Ave	#513	San Francisco	CA	94112
3180 005	OCCUPANT	1100 Ocean Ave	#514	San Francisco	CA	94112



1100 OCEAN AVE / BLK: 3180 LOT: 005 / PRE APP NEIGHBORS GROUPS / OCTOBER 2015

3180 005	OCCUPANT	1100 Ocean Ave	#515	San Francisco	CA	94112
3180 005	OCCUPANT	1100 Ocean Ave	#521	San Francisco	CA	94112
3180 005	OCCUPANT	1100 Ocean Ave	#522	San Francisco	CA	94112
3180 005	OCCUPANT	1100 Ocean Ave	#523	San Francisco	CA	94112
3180 0193	OCCUPANT	1150 Ocean Ave		San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#201	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#202	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#203	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#204	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#205	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#206	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#207	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#208	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#209	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#210	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#211	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#212	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#213	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#214	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#215	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#216	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#217	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#218	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#219	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#220	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#221	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#222	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#223	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#224	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#225	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#226	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#227	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#228	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#229	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#301	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#302	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#303	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#304	San Francisco	CA	94112



1100 OCEAN AVE / BLK: 3180 LOT: 005 / PRE APP NEIGHBORS GROUPS / OCTOBER 2015

3180 0193	OCCUPANT	352 Brighton Ave	#305	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#306	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#307	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#308	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#309	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#310	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#311	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#312	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#313	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#314	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#315	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#316	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#317	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#318	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#319	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#320	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#321	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#322	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#323	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#324	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#325	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#326	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#327	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#328	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#329	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#401	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#402	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#403	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#404	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#405	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#406	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#407	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#408	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#409	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#410	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#411	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#412	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#413	San Francisco	CA	94112

1100 OCEAN AVE / BLK: 3180 LOT: 005 / PRE APP NEIGHBORS GROUPS / OCTOBER 2015

3180 0193	OCCUPANT	352 Brighton Ave	#414	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#415	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#416	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#417	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#418	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#419	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#420	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#421	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#422	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#423	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#424	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#425	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#426	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#427	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#428	San Francisco	CA	94112
3180 0193	OCCUPANT	352 Brighton Ave	#429	San Francisco	CA	94112
6945 034	Mildred E Pakeman-Rose 2008 Tr	112 Foerster St		San Francisco	CA	94112
6945 034	OCCUPANT	1037 Ocean Ave		San Francisco	CA	94112
6945 034	OCCUPANT	1037 Ocean Ave	#1	San Francisco	CA	94112
6945 034	OCCUPANT	1037 Ocean Ave	#2	San Francisco	CA	94112
6945 034	OCCUPANT	1039 Ocean Ave		San Francisco	CA	94112
6945 035	Sean & Linda Willie	1033 Ocean Ave		San Francisco	CA	94112
6945 035	OCCUPANT	1031 Ocean Ave		San Francisco	CA	94112
6945 036	Huey Lily	2975 20th Ave		San Francisco	CA	94132
6945 036	OCCUPANT	1025 Ocean Ave		San Francisco	CA	94112
6945 036	OCCUPANT	1027 Ocean Ave		San Francisco	CA	94112
6945 041	Ocean Investment Co	1193 Church St		San Francisco	CA	94114
6945 041	OCCUPANT	1015 Ocean Ave		San Francisco	CA	94112
6945 041	OCCUPANT	1019 Ocean Ave		San Francisco	CA	94112
6945 041	OCCUPANT	1017 Ocean Ave	#1	San Francisco	CA	94112
6945 041	OCCUPANT	1017 Ocean Ave	#2	San Francisco	CA	94112
6945 041	OCCUPANT	1017 Ocean Ave	#3	San Francisco	CA	94112
6945 041	OCCUPANT	1017 Ocean Ave	#4	San Francisco	CA	94112
6945 041	OCCUPANT	1017 Ocean Ave	#5	San Francisco	CA	94112
6945 041	OCCUPANT	1017 Ocean Ave	#6	San Francisco	CA	94112
6945 041	OCCUPANT	1017 Ocean Ave	#7	San Francisco	CA	94112
6945 041	OCCUPANT	1017 Ocean Ave	#8	San Francisco	CA	94112
6945 043	Una B Essaff	269 Castenada Dr		Millbrae	CA	94030

1100 OCEAN AVE / BLK: 3180 LOT: 005 / PRE APP NEIGHBORS GROUPS / OCTOBER 2015

6945 043	OCCUPANT			1051 Ocean Ave	San Francisco	CA	94112
6945 045	Shikher Singla			1001 Ocean Ave	San Francisco	CA	94112
6945 045	OCCUPANT			1001 Ocean Ave	San Francisco	CA	94112
<b>1100 OCEAN AVE PRE APP NEIGHBORHOOD GROUPS:</b>							
		President	Greater West Portal	P.O. Box 27116	San Francisco	CA	94127
		President	Lakeside Property	P.O. Box 27516	San Francisco	CA	94127
		Zoning &	Miraloma Park	350 O'Shaughnessy Blvd	San Francisco	CA	94127
Anita	Theoharis	Planning and	Westwood Park	P.O. Box 27901, No. 770	San Francisco	CA	94127
Bill	Chionsini	President	Lakeshore Acres	P.O. Box 320222	San Francisco	CA	94132-0222
Claudia	Chamberlain		Neighbors of	2690 16th Avenue	San Francisco	CA	94116-3052
David	Bisho	President	Westwood	120 Brentwood Avenue	San Francisco	CA	94127
Diana	Wara		Forest Hill	381 Magellan Avenue	San Francisco	CA	94116
Gary	Weiss	President	Corbett Heights	78 Mars Street	San Francisco	CA	94114
Gordon	Canepa	Association	St. Francis Homes	101 Santa Clara Ave.	San Francisco	CA	94127
Karen	Breslin		Miraloma Park	839 Foerster Street	San Francisco	CA	94127
Kimber	Blackburn	President	Monterey Heights	P.O. Box 27125	San Francisco	CA	94127-0125
Mark	Scardina	President	Ingleside Terraces	P.O. Box 27304	San Francisco	CA	94127-0304
Matt	Chamberlain	President	West of Twin Peaks	P.O. Box 27112	San Francisco	CA	94127
Norman	Yee	Supervisor,	Board of	1 Dr. Carlton B Goodlett Plc, Rm #244	San Francisco	CA	94102-4689
Roger	Ritter	President	Balboa Terrace	P.O. Box 27642	San Francisco	CA	94127
Sally	Stephens	President	Golden Gate	P.O. Box 27608	San Francisco	CA	94127
Tim	Armour		Miraloma Park	439 Myra Way	San Francisco	CA	94127

TITLE	ORGANIZATION	ADDRESS	CITY	STATE	ZIP	TELEPHONE	EMAIL	NEIGHBORHOOD OF INTEREST
President	Merced Extension Triangle Neighborhood Association (METNA)	60 Kempton Avenue	San Francisco	CA	94132-3221	415-585-2465	christensen.marc.metna@gmail.com; ragtime217@gmail.com	Lakeshore, Ocean View
President	Ingleside Terraces Homes Association	P.O. Box 27304	San Francisco	CA	94127-0304	415-469-9815	President@ithasf.org	Lakeshore, Ocean View, West of Twin Peaks
Supervisor, District 7	Board of Supervisors	1 Dr. Carlton B Goodlett Place, Room #244	San Francisco	CA	94102-4689	415-554-6516	Norman.Yee@sfgov.org; Matthias.Mormino@sfgov.org; Olivia.Scanlon@sfgov.org	Inner Sunset, Lakeshore, Ocean View, Parkside, Twin Peaks, West of Twin Peaks
	0 OMI Neighbors in Action	335 Shields Street	San Francisco	CA	94132		0 vaernetpeter@yahoo.com	Lakeshore, Ocean View

[illegible]

FIRST	LAST	TITLE	ORGANIZATION	ADDRESS	CITY	STATE	ZIP	TELEPHONE	EMAIL	NEIGHBORHOOD OF INTEREST
		President	Greater West Portal Neighborhood Assn.	P.O. Box 27116	San Francisco	CA	94127	415-501-0394	info@gwpna.org	Diamond Heights, Inner Sunset, Outer Sunset, Parkside, Twin Peaks, West of Twin Peaks
		President	Lakeside Property Owners Association	P.O. Box 27516	San Francisco	CA	94127	415-587-3218	lakeside@lakesidepoa.org	West of Twin Peaks
		Zoning & Planning	Miraloma Park Improvement Club	350 O'Shaughnessy Blvd	San Francisco	CA	94127			West of Twin Peaks
Anita	Theoharis	Planning and Zoning Chair	Westwood Park Association	P.O. Box 27901, No. 770	San Francisco	CA	94127	415-334-4373	atheoharis@sbcglobal.net	West of Twin Peaks
Bill	Chionsini	President	Lakeshore Acres Improvement Club	P.O. Box 320222	San Francisco	CA	94132-0222	415-664-7463	bill-barbara@sbcglobal.net	Lakeshore
Claudia	Chamberlain		Neighbors of Ardenwood	2690 16th Avenue	San Francisco	CA	94116-3052	415-753-0620	claudia@sfchamberlain.us	West of Twin Peaks
David	Bisho	President	Westwood Highlands Association	120 Brentwood Avenue	San Francisco	CA	94127	415-397-0767	bisho@bisho.com	West of Twin Peaks
Diana	Wara		Forest Hill Association	381 Magellan Avenue	San Francisco	CA	94116	415-664-0542	foresthillch@aol.com DianeW@foresthill-sf.org	West of Twin Peaks
Gary	Weiss	President	Corbett Heights Neighbors	78 Mars Street	San Francisco	CA	94114	415-279-5570	gary@corbettheights.org	Castro/Upper Market, Noe Valley, West of Twin Peaks
Gordon	Canepa	Association Manager	St. Francis Homes Association	101 Santa Clara Ave.	San Francisco	CA	94127	415-681-0493	stfrancishomes@gmail.com	West of Twin Peaks
Karen	Breslin		Miraloma Park Improvement Club	839 Foerster Street	San Francisco	CA	94127		0 kbsmail@sbcglobal.net	West of Twin Peaks
Kimber	Blackburn	President	Monterey Heights Homeowners Association	P.O. Box 27125	San Francisco	CA	94127-0125		0 info@montereyheights.org	West of Twin Peaks
Mark	Scardina	President	Ingleside Terraces Homes Association	P.O. Box 27304	San Francisco	CA	94127-0304	415-469-9815	President@ithasf.org	Lakeshore, Ocean View, West of Twin Peaks
Matt	Chamberlain	President	West of Twin Peaks Central Council	P.O. Box 27112	San Francisco	CA	94127		0 info@WestOfTwinPeaks.org President@WestOfTwinPeaks.org	Diamond Heights, Lakeshore, Parkside, Twin Peaks, West of Twin Peaks
Norman	Yee	Supervisor, District 7	Board of Supervisors	1 Dr. Carlton B Goodlett Place, Room #244	San Francisco	CA	94102-4689	415-554-6516	Norman.Yee@sfgov.org; Matthias.Mormino@sfgov.org; Olivia.Scanlon@sfgov.org	Inner Sunset, Lakeshore, Ocean View, Parkside, Twin Peaks, West of Twin Peaks
Roger	Ritter	President	Balboa Terrace Homes Association	P.O. Box 27642	San Francisco	CA	94127	415-566-6023	board@balboaterrace.org	West of Twin Peaks
Sally	Stephens	President	Golden Gate Heights Neighborhood Association	P.O. Box 27608	San Francisco	CA	94127	415-379-0577	president@goldengateheights.org	Inner Sunset, Parkside, West of Twin Peaks
Tim	Armour		Miraloma Park Improvement Club	439 Myra Way	San Francisco	CA	94127	415-841-9488	nocatim@sbcglobal.net	West of Twin Peaks

## **EXHIBIT E**

Department of City Planning  
City and County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, California 94103

**Re: Property Address: 1100 Ocean Avenue**  
**Block/Lot: 3180/005**  
**Owner: 1100 Ocean Avenue Limited Partnership, a California limited partnership**  
**Subject: Project Applications and Processing for Philz Coffee Formula Retail Use**

Dear Sir/Madam:

1100 Ocean Avenue Limited Partnership is the owner of the above-referenced property. We authorize Reuben, Junius & Rose, LLP and its constituent attorneys and consultants to take all necessary action, including, but not limited to, the signing of documents, filing and processing of land use entitlement applications for the leased commercial space located at 1110 Ocean Avenue.

Very truly yours,

**Mercy Housing California 51,  
a California public benefit corporation**

By: Mercy Housing Calwest

Its: Managing General Partner

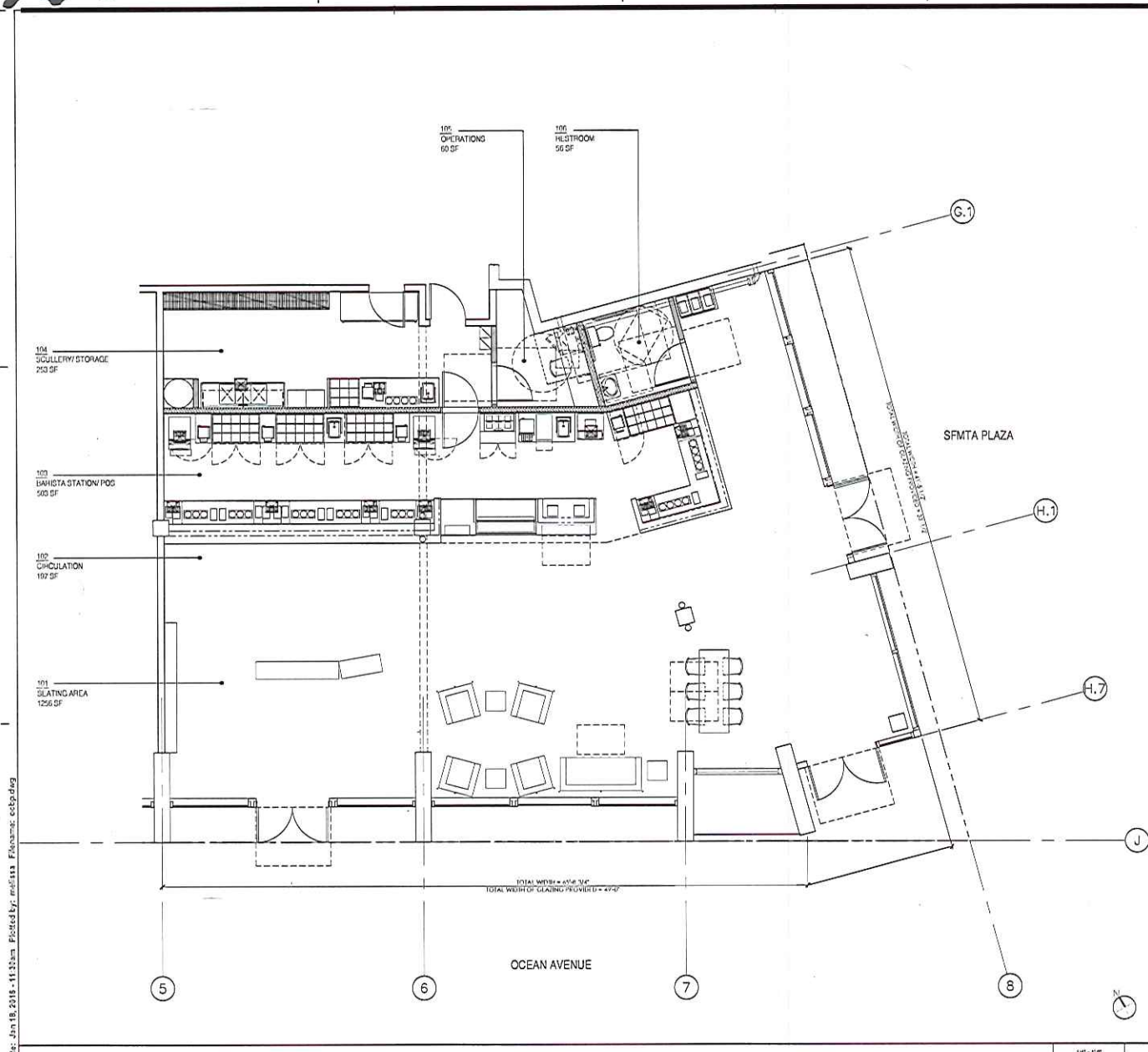
By: 

Name: Jennifer Dolin

Title: Vice President



#1



PLANNING CODE SECTION 145.1  
EXTERIOR FRONTAGE MUST BE FENESTRATED WITH TRANSPARENT WINDOWS AND DOORWAYS FOR NO LESS THAN 60% OF THE STREET FRONTAGE AT THE GROUND LEVEL TO ALLOW VISIBILITY TO THE INSIDE OF THE BUILDING.

(E) OCEAN AVENUE ELEVATION = 75% TRANSPARENCY PROVIDED

(E) SFMTA PLAZA ELEVATION = 81% TRANSPARENCY PROVIDED

SIGNAGE UNDER SEPARATE PERMIT.  
NO ADDITIONAL EXTERIOR WORK IS PROPOSED UNDER THE SCOPE OF WORK.

NOTES	1/4" = 1'-0"	9
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**McCall**  
McCall Design Group  
1500 Market Street, Suite 100  
San Francisco, CA 94102  
Tel: 415.269.8100  
Fax: 415.269.8101  
www.mccalldesign.com

PHILZ COFFEE  
1110-1120 OCEAN AVENUE  
SAN FRANCISCO, CA 94122  
JOB NUMBER:  
210151

DATE	ISSUE

SIGNATURE

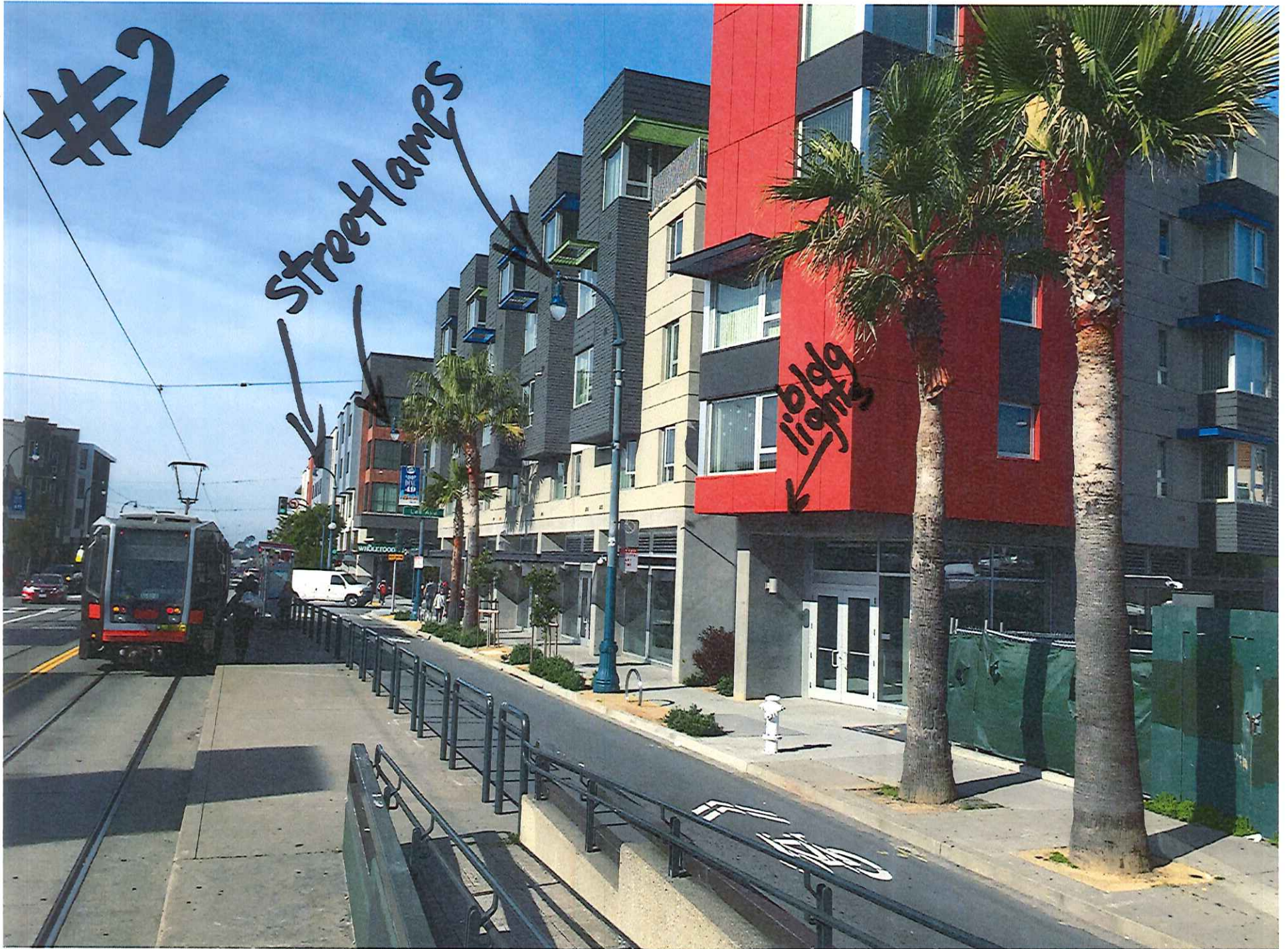
DRAWING DESCRIPTION  
FEASIBILITY -  
FLOOR PLAN

SCALE

SK-1

Plot Date: Jun 18, 2018 - 11:22am Plotted by: md1113 Filename: cctop.dwg







#3

POSTISSUE FEES: 20120301320

Code	Description	Account	Date Paid	Fee Amount	Fee Due At	Pay
BLDG-P	Bldg Permit Insp Fee (Postissue)	1961115		39,176.00		<input type="checkbox"/>
PLAN REV-P	Plan Review Fee (Postissue)	1961101		60,548.59		<input checked="" type="checkbox"/>
TECH SUR-P	Technology Surcharge (P)	1961106		783.52		<input type="checkbox"/>
TECH SUR-P	Technology Surcharge (P)	1961106		1,370.01		<input checked="" type="checkbox"/>
DEP-BBQA-P	Balboa Park (P)	1975415		11,202.05	1st Constr. Doc	<input type="checkbox"/>
MTA-TIDF-P	MTA Transit Impact Development Fee	3566901		81,262.21	1st Constr. Doc	<input type="checkbox"/>
						<input type="checkbox"/>
						<input type="checkbox"/>
						<input type="checkbox"/>
						<input type="checkbox"/>

NEW PAYMENT

RECEIPT

POSTISSUE CHARACTERISTICS

Amount paid

Amount to be paid

Total amount due

00

69,916.50

202,340.28

ADDENDUM A

DUE AT ADDENDUM  
FILING.

Payee: SF DBI

Job Code: 0495  
Cost Cat: 7007.0010  
Fnd Source:  
Cash G/L: 1126.0101  
Approval:  
Date:

Amount Due: \$69,916.50

Plot Date: Mar 29, 2016 - 10:41am Plotted by: erica Filename: oc00.dwg

OCCUPANT LOAD CALCULATIONS				
ROOM NAME	USE *	AREA (SF)	LOAD FACTOR *	OCCUPANCY
101: SEATING AREA	UNCONCENTRATED ASSEMBLY	1308	15	88
102: BARISTA STATION/ OA	KITCHEN	230	200	2
103: SCULLERY/ STORAGE	KITCHEN	253	200	2
104: OPERATIONS	OFFICE	60	100	1
105: RESTROOM	N/A	56	N/A	
106: CIRCULATION	N/A	149	N/A	
	TOTAL:	2056		93
NOTES: * OCCUPANT USE AND LOAD FACTOR IS BASED ON CBC TABLE 1004.1.2.				

EGRESS CALCULATIONS *				
EXIT #	NUMBER OF OCCUPANTS	WIDTH FACTOR	REQUIRED WIDTH **	PROVIDED WIDTH
EXIT 1	47	0.2	10.4'	72"
EXIT 2	46	0.2	10.4'	72"
REQUIRED EXITS				
NUMBER OF EXITS REQUIRED	2 ***			
NUMBER OF EXITS PROVIDED	2			
NOTES: ACCESSIBLE MEANS OF EGRESS 1007 (EXCEPTIONS) ** MINIMUM WIDTH REQUIRED IS 32" PER CBC 1008.1.1. *** 2ND EXIT IS REQUIRED PER CBC 1015.1 DUE TO OCCUPANCY GREATER THAN 49.				

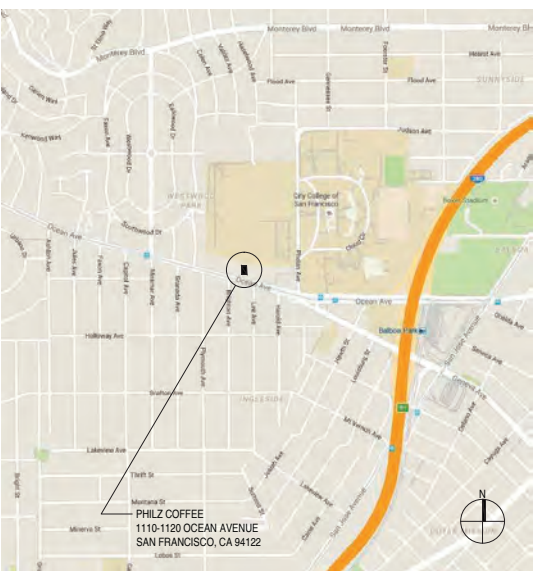
PLUMBING OCCUPANCY CALCULATIONS				
ROOM NAME	USE *	AREA (SF)	LOAD FACTOR *	OCCUPANCY
101: SEATING AREA	GROUP A.2	1308	30	44
102: BARISTA STATION/ OA	GROUP B ***	230	200	2
103: SCULLERY/ STORAGE	GROUP B ***	253	200	2
104: OPERATIONS	GROUP B ***	60	200	1
105: RESTROOM	N/A	56	N/A	
106: CIRCULATION	N/A	149	N/A	
	TOTAL:	2056		49
			FEMALE	24
			MALE	25
NOTE: * OCCUPANT USE AND LOAD FACTOR CPC OCCUPANT LOAD FACTOR TABLE A ** PER CBC OCCUPANT LOAD FACTOR TABLE A NOTE ** ACCESSORY AREAS ARE EXCLUDED FROM OCCUPANCY *** PER CBC OCCUPANT LOAD FACTOR TABLE A NOTE * AREAS NOT SPECIFICALLY LISTED SHALL BE BASED ON SIMILAR USES (COMMERCIAL KITCHEN AND BUSINESS ARE SIMILAR TO GROUP B)				

PLUMBING FIXTURE QUANTITY				
	REQUIRED FIXTURES		PROVIDED FIXTURES	
	FEMALE	MALE	FEMALE	MALE
WATERCLOSETS	1 *	1	1 **	1
URINALS	N/A	1	N/A	0 **
LAVATORIES	1	1	1	1
DRINKING FOUNTAINS	1			0 ***
SERVICE SINK	1		1	
NOTES: * THE TOTAL NUMBER OF WATER CLOSETS FOR WOMEN SHALL EQUAL TO OR GREATER THAN TOTAL WATER CLOSET AND URINALS FOR MEN PER NOTE 3 OF CPC TABLE 422.1 ** IF THE OCCUPANCY IS LESS THAN 50, THE URINAL CAN BE OMITTED WHICH THEN REDUCES THE NUMBER OF REQUIRED FEMALE WATER CLOSETS, PER NOTE 3 OF CPC TABLE 422.1 *** DRINKING FOUNTAIN IS NOT REQUIRED PER CPC 415.2				
IN OCCUPANCIES OTHER THAN COVERED AND OPEN MALL BUILDINGS, THE REQUIRED PUBLIC AND EMPLOYEE TOILET FACILITIES SHALL BE LOCATED NOT MORE THAN ONE STORY ABOVE OR BELOW THE SPACE REQUIRED TO BE PROVIDED WITH TOILET FACILITIES, AND THE PATH OF TRAVEL TO SUCH FACILITIES SHALL NOT EXCEED A DISTANCE OF 500 FEET. REFER TO A0.8 SITE PLAN FOR PATH OF TRAVEL DISTANCES.				

THE PROPOSED PROJECT PROVIDES THE FOLLOWING:  (1) WASTE STORAGE AREA LOCATED IN COMMON TRASH ROOM OF THE BUILDING. REFER TO A0.8 (2) THE AREA HAS A CONTINUOUS VINYL FLOOR WITH COVED BASES, FRP WALLS, A LINE FOR WATER HOOK-UP, A FLOOR DRAIN LEADING TO SANITARY SEWER LINES, EXHAUST FOR OODOR CONTROL. THE AREA WILL HAVE A FIRE SPRINKLER, WHICH IS TO BE PERMITTED SEPARATELY. (3) BARRIER FREE PATH OF TRAVEL FROM WASTE STORAGE AREA TO COMMON WASTE REMOVAL AREA FOR TRASH PICK-UP.  NOTE: PHILZ COFFEE IS NOT A FULL SERVICE RESTAURANT. FOOD IS LIMITED TO PREPACKAGED ITEMS AND BAKERY ITEMS PRODUCED OFFSITE. FOOD WASTE WILL BE LIMITED, AS SUCH, FULL ENCLOSURE OF THE SOLID WASTE AREA WAS NOT PROVIDED.		
SOLID WASTE PLAN	NTS	14
CODE REVIEW INFORMATION  APPLICABLE CODES: ALL WORK DONE UNDER THIS CONTRACT SHALL COMPLY WITH THE PROVISIONS OF THE SPECIFICATIONS, DRAWINGS AND CONSTRUCTION CRITERIA OF THE LANDLORD, AND SHALL SATISFY ALL APPLICABLE CODES, ORDINANCES, AND REGULATIONS OF ALL GOVERNING BODIES INVOLVED. ANY MODIFICATIONS TO THE CONTRACT WORK REQUIRED BY SUCH AUTHORITIES SHALL BE PERFORMED BY THE TENANT'S CONTRACTOR. ALL PERMITS AND LICENSES NECESSARY FOR THE EXECUTION OF THE WORK SHALL BE SECURED AND PAID FOR BY THE OWNER.  CITY AND COUNTY OF SAN FRANCISCO DEPARTMENT OF BUILDING INSPECTION 1660 MISSION STREET SAN FRANCISCO CA 94103 T: (415) 558 6088  SAN FRANCISCO HEALTH DEPARTMENT 1380 HOWARD STREET SAN FRANCISCO CA 94103 T: (415) 206 5317		

1.	PROJECT NAME:	PHILZ COFFEE
2.	PROJECT DESCRIPTION:	TENANT IMPROVEMENT
3.	PROJECT LOCATION:	1110-1120 OCEAN AVENUE SAN FRANCISCO, CA 94122
4.	TENANT NAME:	PHILZ COFFEE
5.	LANDLORD:	MERCY HOUSING CALIFORNIA
6.	TENANT'S ARCHITECT:	MICHAEL JOHN McCALL
7.	GOVERNING CODES / GUIDELINES:	BUILDING & STRUCTURAL: 2013 CBC W/ SAN FRANCISCO AMENDMENTS ENERGY EFFICIENCY: 2013 CALIFORNIA ENERGY CODE MECHANICAL: 2013 CMC W/ SAN FRANCISCO AMENDMENTS ELECTRICAL: 2013 CEC W/ SAN FRANCISCO AMENDMENTS PLUMBING: 2013 CPC W/ SAN FRANCISCO AMENDMENTS FIRE PROTECTION: 2013 CFC W/ SAN FRANCISCO AMENDMENTS GREEN BUILDING STANDARDS: 2013 CALIFORNIA GREEN BUILDING CODE W/ SAN FRANCISCO AMENDMENTS
	SAN FRANCISCO ENVIRONMENTAL HEALTH:	CALIFORNIA RETAIL FOOD CODE 2015
8.	NET OCCUPIABLE AREA OF PREMISES:	2,056 S.F.
9.	CONSTRUCTION TYPE:	V-B
10.	OCCUPANCY TYPE:	A-2
11.	SPRINKLER SYSTEM:	FULLY SPRINKLERED
12.	RESTROOM REQUIREMENTS:	2 REQUIRED 2 PROVIDED, ONE WITHIN LEASED TENANT SPACE AND ONE PROVIDED IN COMMON BUILDING AREA. PER CBC SECTION 2902.2 & 2902.3, COMMON FACILITIES WITHIN 500' CAN CONTRIBUTE TO PLUMBING FIXTURE COUNT.
13.	MAXIMUM EXIT ACCESS TRAVEL DISTANCE:	250 FEET WITH AUTOMATIC SPRINKLER SYSTEM
14.	ACTUAL TRAVEL DISTANCE TO EXIT:	69'-10"
15.	FIRE EXTINGUISHERS:	PROVIDE PORTABLE FIRE EXTINGUISHERS WITH UL LABEL AND RATING OF NOT LESS THAN 2A10BC WITH IN 75 FEET TRAVEL DISTANCE TO ALL PORTIONS OF SPACE
16.	EXIT SEPARATION:	PROVIDED: 52'-4 1/2" REQUIRED : 24'-1/3"
17.	BUILDING LEVEL:	PROJECT LOCATED AT GROUND LEVEL OF A NEW MIXED USE FIVE-STORY BUILDING.

CODE DATA AND OVERVEIW	NTS	4



VICINITY MAP	NTS	8
 PHILZ COFFEE 1110-1120 OCEAN AVENUE SAN FRANCISCO, CA 94122		
SITE MAP	NTS	3

# PHILZ COFFEE

## 1110 OCEAN AVENUE SAN FRANCISCO, CA 94122



OWNER
CONTACT: DAVID GREY, JOSEFINA GARCIA PHILZ COFFEE 1258 MINNESOTA STREET SAN FRANCISCO, CA 94107 415.834.5833 davidgrey@philzcoffee.com
LANDLORD
CONTACT: MCC ASSET MANAGER MERCY HOUSING CALIFORNIA 1380 MISSION STREET, SUITE 300 SAN FRANCISCO CA 94103 415.355.7100 caasasetmanagement@mercyhousing.org
ARCHITECT
PROJECT CONTACT: ERICA NELLES, MEL YOO ARCHITECT: MICHAEL JOHN MCCALL MCCALL DESIGN GROUP 550 KEARNY STREET, SUITE 950 SAN FRANCISCO, CA 94108 415.288.8176

DELTA	ARCHITECTURAL
A0.0	COVER SHEET
A0.1	SF DISABLED ACCESS CHECKLIST
A0.2	SF GREEN BLDG SUBMITTAL FOR T.I. C-6
A0.3	NOTES AND SCHEDULES
A0.4	EXISTING FLOOR PLAN
A0.5	SIGNAGE & MOUNTING HEIGHT DETAILS
A0.6A	RESTROOM DETAILS
A0.6B	EXISTING RESTROOM AREA
A0.6C	EXISTING RESTROOM AREA
A0.7	DOOR, HARDWARE AND FINISH SCHEDULES
A0.8	SITE PLAN
A0.9	EGRESS PLAN
A1.0	FLOOR PLAN
A2.0	DIMENSIONED CONSTRUCTION PLAN
A3.0	REFLECTED CEILING PLAN
A7.0	EQUIPMENT PLAN

DRAWING INDEX	NTS	6
CHANGE OF USE FROM M TO A OCCUPANCY. TENANT IMPROVEMENT FOR NEW COFFEE SHOP IN THE GROUND LEVEL OF A NEW MIXED USE FIVE-STORY BUILDING.		
MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS UNDER SEPARATE PERMIT.		
FIRE ALARM AND FIRE SPRINKLER UNDER SEPARATE PERMIT.		
SIGNAGE UNDER SEPARATE PERMIT.		
SCOPE OF WORK	NTS	1

McCall

McCall Design Group  
550 Kearny Street, Suite 950  
San Francisco, CA 94108  
tel 415.288.8150  
fax 415.288.8181  
www.mccalldesign.com

PHILZ COFFEE  
1110 OCEAN AVENUE  
SAN FRANCISCO, CA 94122  
JOB NUMBER:  
215151

DATE  
03/29/16  
ISSUE FOR PERMIT

SEAL/SIGNATURE

A0.0







Plot Date: Mar 29, 2016 - 10:41am Plotted by: erica Filename: oc02.dwg

## Project Description

PHILZ COFFEE  
Project Name

Block/Lot

1110-1120 OCEAN AVE. SAN FRANCISCO CA 94122

Address

A-2

Primary Occupancy

GROSS PROJECT AREA: 2,447 SF

Gross Building Area

## INDOOR WATER USE

Newly installed fixtures in the project area must comply with the PRESCRIPTIVE fixture and fitting flow rates below.  
(To apply the PERFORMANCE APPROACH, use Submittal Template C-5.)

Fixture Type	Maximum Prescriptive Flow Rate	Referenced Standard (See California Plumbing Code Table 1401.1)
Showerheads <sup>2</sup>	2 gpm @ 80 psi	n/a
Lavatory faucets - nonresidential	0.4 gpm @ 60 psi	ASMEA112.18.1/CSAB125.1
Kitchen faucets	1.8 gpm @ 60 psi	n/a
Wash fountains	1.8 [rim space (in.)/20 gpm @ 60 psi]	n/a
Metering faucets	.20 gallons/cycle	ASMEA112.18.1/CSAB125.1
Metering faucets for wash fountains	.20 [rim space (in.)/20 gpm @ 60 psi]	n/a
Tank-type water closets	1.28 gallons/flush <sup>1</sup> AND EPA Water Sense Certified	U.S. EPA WaterSense Tank-Type High-Efficiency Toilet Specification
Flushometer valve water closets	1.28 gallons/flush <sup>1</sup>	ASME A112.19.2/CSA B45.1 - 1.28 gal (4.8 L)
Urinals	0.5 gallons/flush	ASME A112.19.2/CSA B45.1 - 0.5 gal (1.9 L)

Notes:  
1) For dual flush toilets, effective flush volume is defined as the average volume of two reduced flushes and one full flush. The referenced standard is ASME A112.19.14 and USEPA WaterSense Tank-Type High Efficiency Toilet Specification - 1.28 gal (4.8 L).  
2) The combined flow rate of all showerheads in one shower stall not exceed the maximum flow rate for one showerhead, or the shower shall be designed to allow only one showerhead to be in operation at a time (CalGreen 5.303.3.3.2.)

## EXISTING NONCOMPLIANT FIXTURES

All fixtures that are not compliant with the San Francisco Commercial Water Conservation Ordinance that serve or are located within the project area must be replaced with fixtures or fittings meeting the maximum flow rates and standards referenced above. For more information, see the Commercial Water Conservation Program Brochure, available at SFDbl.org. Noncompliant plumbing fixtures include:

- (1) Any toilet manufactured for use more than 1.6 gallons of water per flush.
- (2) Any urinal manufactured for use more than 1 gallon of water per flush.
- (3) Any showerhead manufactured to have a flow capacity of more than 2.5 gallons of water per minute.
- (4) Any interior faucet that emits more than 2.2 gallons of water per minute.

Exceptions to this requirement are limited to situations where replacement of fixture(s) would detract from the historic integrity of the building, as determined by the Department of Building Inspection pursuant to San Francisco Building Code Chapter 13A.

# City and County of San Francisco Green Building Submittal: For Interior Commercial Tenant Improvement

### Instructions:

This form is for commercial tenant improvement projects with >\$200,000 project valuation that are limited to the interior of the building. Check the box by each measure to indicate that you intend to comply with the listed requirement. For each requirement, use the "Plan Set Location" column to indicate where in the submittal documents compliance with the requirement can be verified. (If items in the "Reference" column are not applicable, indicate "N/A.") An abbreviated summary of each requirement is included for reference. Projects seeking LEED certification may voluntarily use the "LEED" submittal as an alternative to this form.

## Architecture

Required Measure	Interior Alteration ≥\$200,000	Reference (Indicate Plan Set Sheet & Detail, or Specification, as applicable)
<b>Construction Waste Management</b> – 100% of mixed debris must be transported by a registered hauler to a registered facility and be processed for recycling, in compliance with the San Francisco Construction & Demolition Debris Ordinance.	●	
<b>Recycling by Occupants:</b> Provide adequate space and equal access for storage, collection and loading of compostable, recyclable and landfill materials. See Administrative Bulletin 088.	●	
<b>Adhesives, sealants, and caulks:</b> Comply with VOC limits in SCAQMD Rule 1168 VOC limits and California Code of Regulations Title 17 for aerosol adhesives. (CalGreen 5.504.4.1)	●	
<b>Paints and coatings:</b> Comply with VOC limits in the Air Resources Board Architectural Coatings Suggested Control Measure and California Code of Regulations Title 17 for aerosol paints. (CalGreen 5.504.4.3.1)	●	
<b>Carpet:</b> All carpet must meet one of the following: 1. Carpet and Rug Institute Green Label Plus Program, 2. California Department of Public Health Standard Practice for the testing of VOCs (Specification 01350), 3. NSF/ANSI 140 at the Gold level, 4. Scientific Certifications Systems Sustainable Choice, OR 5. California Collaborative for High Performance Schools EQ 2.2 and listed in the CHPS High Performance Product Database AND carpet cushion must meet Carpet and Rug Institute Green Label, AND indoor carpet adhesive & carpet pad adhesive must not exceed 50 g/L VOC content.	●	
<b>Composite wood:</b> Meet CARB Air Toxics Control Measure for Composite Wood including meeting the emission limits in CalGreen Table 5.504.4.5.	●	
<b>Resilient flooring systems:</b> For 80% of floor area receiving resilient flooring, install resilient flooring complying with: 1. Certified under the Resilient Floor Covering Institute (RFCI) FloorScore program, 2. Compliant with the VOC-emission limits and testing requirements of California Department of Public Health 2010 Standard Method for the Testing and Evaluation Chambers v.1.1, 3. Compliant with the Collaborative for High Performance Schools (CHPS) EQ2.2 and listed in the CHPS High Performance Product Database, OR 4. Certified under the Greenguard Children & Schools Program to comply with California Department of Public Health criteria (CalGreen 5.504.4.4 and 5.504.4.6)	●	

### Instructions:

I have been retained by the project sponsor to assure that approved construction documents and construction fulfill the requirements of San Francisco Green Building Code. It is my professional opinion that the requirements of the San Francisco Green Building Code will be met. I will notify the Department of Building Inspection if the project will, for any reason, not substantially comply with these requirements, or if I am no longer the Green Building Compliance Professional of Record for the project.

### Green Building Compliance Professional of Record for Architectural Measures:

MICHAEL JOHN MCCALL

Name

MCCALL DESIGN GROUP

Firm

C-015502

Architectural or Engineering License Number

MICHAEL JOHN MCCALL

Licensed Professional: Sign & Date

Affix professional stamp:

## Mechanical, Electrical, Plumbing

Required Measures	Interior Alteration ≥\$200,000	Reference (Indicate Plan Set Sheet & Detail, or Specification, as applicable)
<b>Energy Efficiency:</b> Demonstrate compliance with California Energy Code, Title 24 Part 6 (2013).	●	
<b>Testing and Adjusting:</b> (CalGreen 5.410.4 through 5.410.4.5.1) 1. Develop and implement a plan of procedures for testing and adjusting new systems, including (as applicable): HVAC; indoor and outdoor lighting and controls; water heating; renewable energy; landscape irrigation; and water reuse systems. 2. Balance new HVAC systems before operation for normal use. 3. Provide the Owner or representative with a final report of testing. 4. Provide the building representative with detailed operating and maintenance instructions and copies of all guarantees/warranties for each system.	●	
<b>Protect duct openings and mechanical equipment during construction.</b> Limit use of permanent HVAC during construction to conditioning necessary for material and equipment installation. If permanent HVAC is used during construction, install MERV-8 filters on returns, and replace all filters immediately prior to occupancy, or, if the building is occupied during alteration, at the conclusion of construction. (CalGreen 5.504.1.3 and 5.504.3)	●	
<b>Air Filtration:</b> Provide at least MERV-8 filters in regularly occupied spaces of mechanically ventilated buildings. Installed filters must be clearly labeled by the manufacturer indicating the MERV rating, and filter specification shall be included in the operation and maintenance manual. (CalGreen 5.504.5.3 through 5.504.5.3.1)	●	
<b>Indoor Water Efficiency:</b> Reduce use of potable water for newly installed fixtures and fittings as summarized in Table 5.303.2.3 (copied at left for reference.) (CalGreen 5.303.2 and 5.303.3)	●	

### Notes:

- 1) This submittal form is required for all applicable projects submitting initial application for building permit beginning July 1, 2014.
- 2) Table above is a summary only. See full text of San Francisco Green Building Code for details.

I have been retained by the project sponsor to assure that approved construction documents and construction fulfill the requirements of San Francisco Green Building Code. It is my professional opinion that the requirements of the San Francisco Green Building Code will be met. I will notify the Department of Building Inspection if the project will, for any reason, not substantially comply with these requirements, or if I am no longer the Green Building Compliance Professional of Record for the project.

### Green Building Compliance Professional of Record for Mechanical, Electrical, and Plumbing Measures:

DANIEL YAU, PHONG LE

Name

ACIES ENGINEERING

Firm

Architectural or Engineering License Number

Licensed Professional: Sign & Date

Affix professional stamp:

MEP UNDER SEPARATE PERMIT

McCall

McCall Design Group  
550 Kearny Street, Suite 950  
San Francisco, CA 94108  
tel 415.288.8150  
fax 415.288.8151  
www.mccalldesign.com

PHILZ COFFEE  
1110 OCEAN AVENUE  
SAN FRANCISCO, CA 94122

JOB NUMBER:  
215151

△ DATE ISSUE

03/29/16 ISSUE FOR PERMIT

SEAL/SIGNATURE

DRAWING DESCRIPTION

SF GREEN BLDG  
SUBMITTAL FOR T.I.

SCALE C-6

A0.2



Plot Date: Mar 29, 2016 - 10:41am Plotted by: erica Filename: oc03.dwg

<p>CITY AND COUNTY OF SAN FRANCISCO GREEN BUILDING SUBMITTAL FOR INTERIOR COMMERCIAL TENANT IMPROVEMENT ARCHITECTURE REQUIRED MEASURES:</p> <p>1. CONSTRUCTION WASTE MANAGEMENT: 100% OF MIXED DEBRIS MUST BE TRANSPORTED BY A REGISTERED HAULER TO A REGISTERED FACILITY AND BE PROCESSED FOR RECYCLNG. IN COMPLIANCE WITH THE SAN FRANCISCO CONSTRUCTION AND DEBRIS ORDINANCE.</p> <p>2. RECYCLING BY OCCUPANTS: PROVIDE ADEQUATE SPACE AND EQUAL ACCESS FOR STORAGE, COLLECTION AND LOADING OF COMPOSTABLE, RECYCLABLE AND LANDFILL MATERIALS. SEE ADMINISTRATIVE BULLETIN 088.</p> <p>3. ADHESIVES, SEALANTS AND CAULK: COMPLY WITH VOC LIMITS IN SCAQMD RULE 1168 VOC LIMITS AND CALIFORNIA CODE OF REGULATIONS TITLE 17 FOR AEROSOL ADHESIVES. (CALGREEN 5.504.4.1)</p> <p>4. PAINTS AND COATINGS: COMPLY WITH VOC LIMITS IN THE AIR RESOURCES BOARD ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURES AND CALIFORNIA CODE OF REGULATIONS TITLE 17 FOR AEROSOL PAINTS (CALGREEN 5.504.4.3.1)</p> <p>5. CARPET: ALL CARPET MUST MEET ONE OF THE FOLLOWING:</p> <ul style="list-style-type: none"><li>- CARPET AND RUG INSTITUTE GREEN LABEL PLUS PROGRAM,</li><li>- CALIFORNIA DEPARTMENT OF PUBLIC HEALTH STANDARD PRACTICE FOR THE TESTING OF VOCs (SPECIFICATION 01350),</li><li>- NSF/ANSI 140 AT THE GOLD LEVEL,</li><li>- SCIENTIFIC CERTIFICATIONS SYSTEMS SUSTAINABLE CHOICE, OR</li><li>- CALIFORNIA COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS EQ2.2 AND LISTED IN THE CHPS HIGH PERFORMANCE PRODUCT DATA BASE</li></ul> <p>AND CARPET CUSHION MUST MEET CARPET AND RUG INSTITUTE GREEN LABEL, AND INDOOR CARPET ADHESIVE &amp; CARPET PAD ADHESIVE MUST NOT EXCEED 50G/L VOC CONTENT.</p> <p>6. COMPOSITE WOOD: MEET CARB AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD INCLUDING MEETING THE EMISSION LIMITS IN CALGREEN TABLE 5.504.4.5</p> <p>7. RESILIENT FLOORING SYSTEMS: FOR 80 PERCENT OF FLOOR AREA RECEIVING RESILIENT FLOORING, INSTALL RESILIENT FLOORING COMPLYING WITH:</p> <ul style="list-style-type: none"><li>- CERTIFIED UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCORE PROGRAM,</li><li>- COMPLIANT WITH THE VOC-EMISSION LIMITS AND TESTING REQUIREMENTS OF CALIFORNIA DEPARTMENT OF PUBLIC HEALTH 2010 STANDARD METHOD FOR THE TESTING AND EVALUATION CHAMBERS V.1.1,</li><li>- COMPLIANT WITH THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) EQ2.2 AND LISTED IN THE CHPS HIGH PERFORMANCE PRODUCT DATABASE, OR</li><li>- CERTIFIED UNDER THE GREENGUARD CHILDREN'S &amp; SCHOOLS PROGRAM TO COMPLY WITH CALIFORNIA DEPARTMENT OR PUBLIC HEALTH CRITERIA, (CALGREEN 5.504.4.4 AND 5.504.4.6)</li></ul>		
SF GREEN BUILDING REQUIREMENTS	NTS	8
<p>THIS PROJECT SHALL COMPLY WITH APPLICABLE NON-RESIDENTIAL MANDATORY MEASURES AND 2013 CALIFORNIA GREEN BUILDING STANDARDS CODE REQUIREMENTS:</p> <p>1. CONSTRUCTION WASTE MANAGEMENT:</p> <ul style="list-style-type: none"><li>a. A MINIMUM OF 50% OF THE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE GENERATED AT THE SITE SHALL BE DIVERTED TO RECYCLE OR SALVAGED PER SEC. 5.408.1.</li><li>b. SUBMIT A WASTE MANAGEMENT PLAN FOR APPROVAL BY ENFORCEMENT AGENCY PRIOR TO PERMIT ISSUANCE PER 5.408.1.1.</li><li>c. PROVIDE DOCUMENTATION DEMONSTRATING COMPLIANCE WITH WASTE MANAGEMENT PLAN PRIOR TO FINAL INSPECTION 5.408.1.4.</li></ul> <p>2. ENVIRONMENTAL QUALITY:</p> <ul style="list-style-type: none"><li>a. ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC LIMITS PER SEC. 5.504.4.1.</li><li>b. PAINTS, STAINS, AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS PER SEC. 5.504.4.3.</li><li>c. AEROSOL AND PAINT COATINGS SHALL BE COMPLIANT WITH PRODUCT-WEIGHTED MIR LIMITS FOR ROC, VOC, AND OTHER TOXIC COMPOUNDS LIMITS PER SEC. 5.504.4.3.1.</li><li>d. HARDWOOD PLYWOOD, PARTICLE BOARD AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE FORMALDEHYDE LIMITS PER SEC. 5.504.4.5.</li><li>e. DOCUMENTATION SHALL BE PROVIDED TO ENFORCEMENT AGENCY VERIFYING COMPLIANCE OF APPLICABLE MATERIALS.</li><li>f. FOR 80 PERCENT OF FLOOR AREA RECEIVING RESILIENT FLOORING, INSTALLED RESILIENT FLOORING SHALL MEET AT LEAST ONE OF THE FOLLOWING:<ul style="list-style-type: none"><li>1. CERTIFIED UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOOR SCORE PROGRAM;</li><li>2. COMPLIANT WITH THE VOC-EMISSION LIMITS AND TESTING REQUIREMENTS SPECIFIED IN THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH'S 2010 STANDARD METHOD FOR THE TESTING AND EVALUATION CHAMBERS, VERSION 1.1, FEB. 2010;</li><li>3. COMPLIANT WITH THE CALIFORNIA COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CA-CHPS) CRITERIA INTERPRETATION FOR EQ 2.2 DATED JULY 2012 AND LISTED IN THE CHPS HIGH PERFORMANCE PRODUCT DATABASE; OR</li><li>4. COMPLIANT WITH CDPH CRITERIA AS CERTIFIED UNDER THE GREENGUARD CHILDREN'S &amp; SCHOOLS PROGRAM.</li></ul></li></ul>		
2013 CALGREEN REQUIREMENTS	NTS	4



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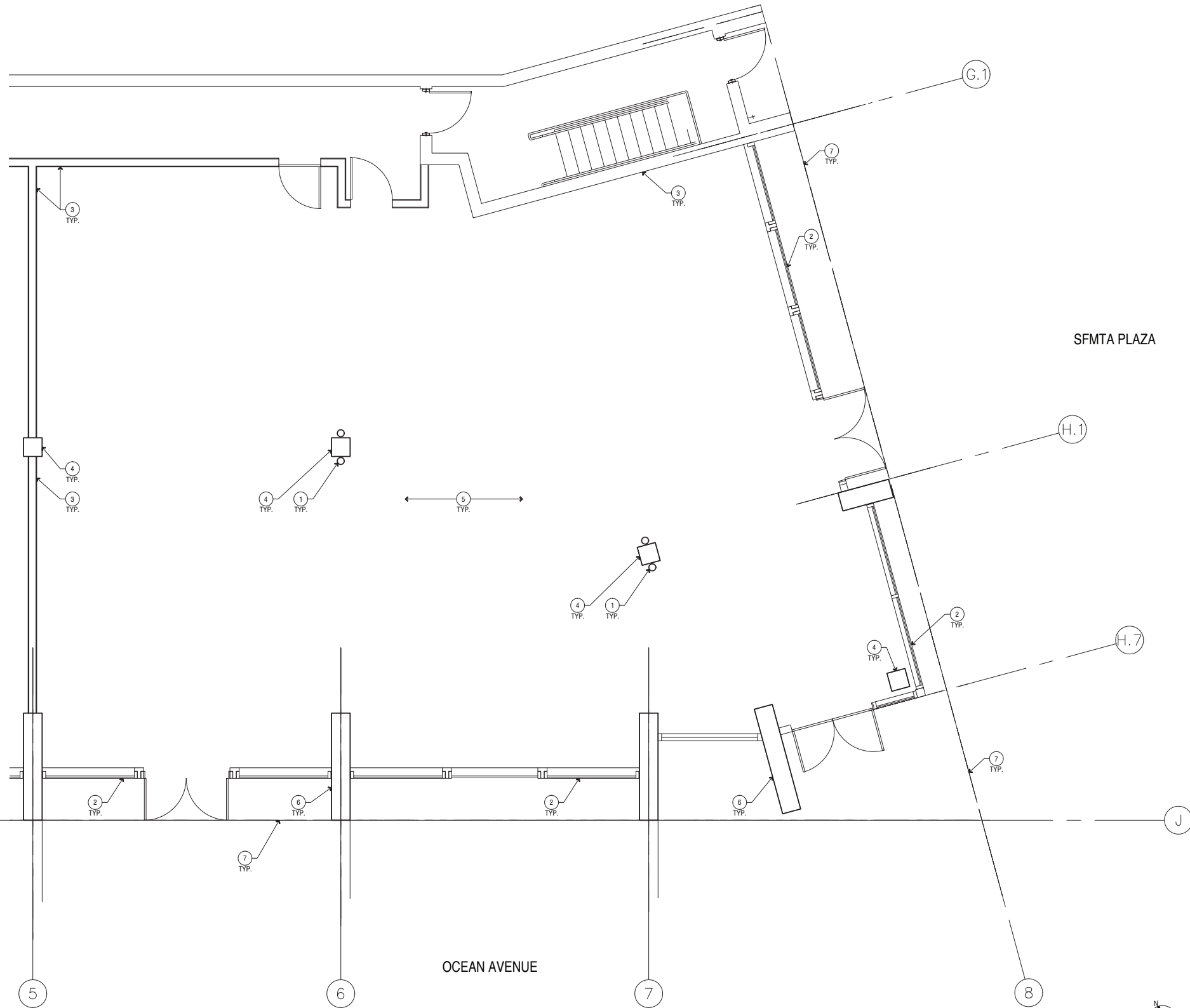
DRAWING DESCRIPTION

NOTES AND  
SCHEDULES

SCALE

A0.3

Plot Date: Mar 29, 2016 - 10:41am Plotted by: erica Filename: oc04.dwg



1	(E) VERTICAL ROOF DRAINS
2	(E) STOREFRONT ASSEMBLY & DOORS
3	(E) DEMISING WALL
4	(E) CONCRETE STRUCTURAL COLUMNS
5	(E) CONCRETE FLOOR THROUGHOUT
6	(E) STOREFRONT PIER
7	LEASE LINE

EXISTING FLOOR PLAN

1/4" = 1'-0"

2

KEY NOTES

NTS

1

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EXISTING  
FLOOR PLAN

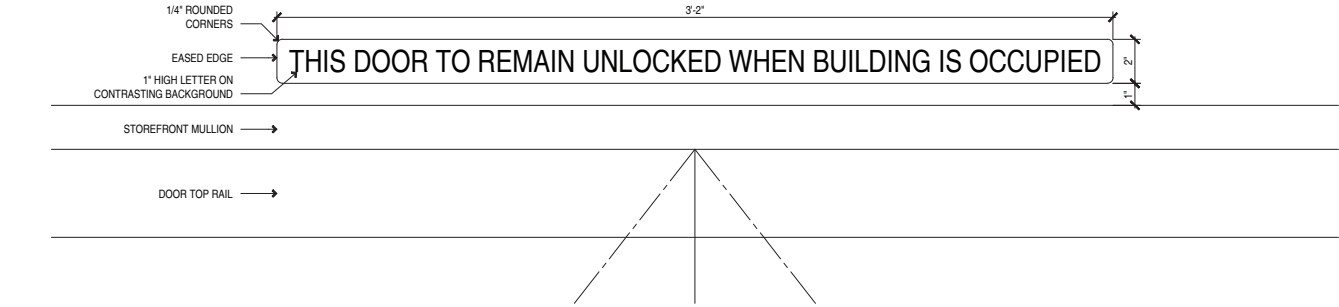
SCALE

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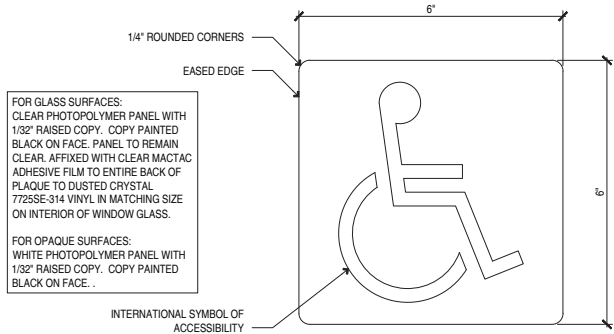


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ENTRY DOOR EXIT SIGNAGE



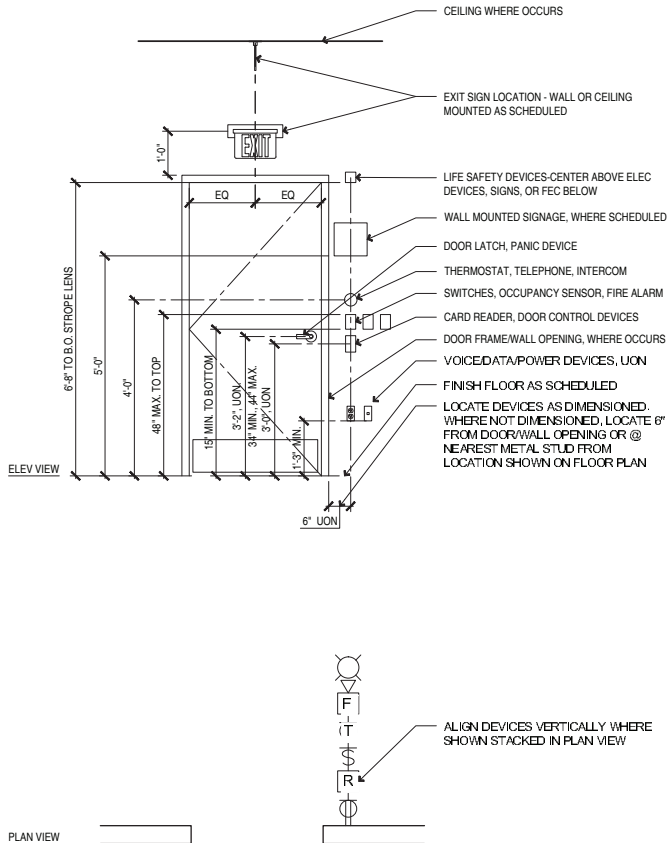
INTERNATIONAL SYMBOL OF ACCESSIBILITY



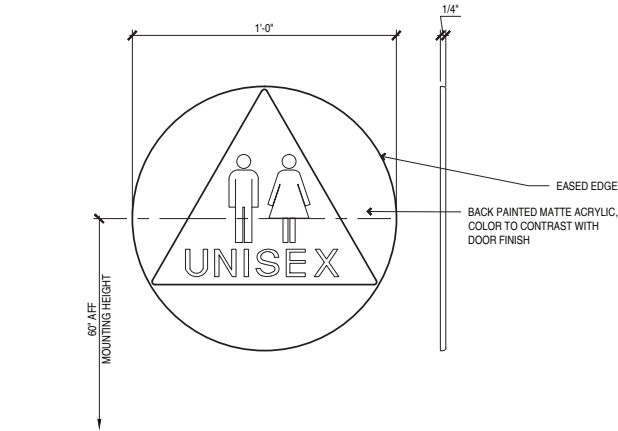
MAXIMUM  
OCCUPANT  
LOAD: 93  
PERSONS

OCCUPANCY LOAD SIGN

SIGNAGE AND ELECTRICAL MOUNTING HEIGHTS



TACTILE EGRESS SIGNAGE

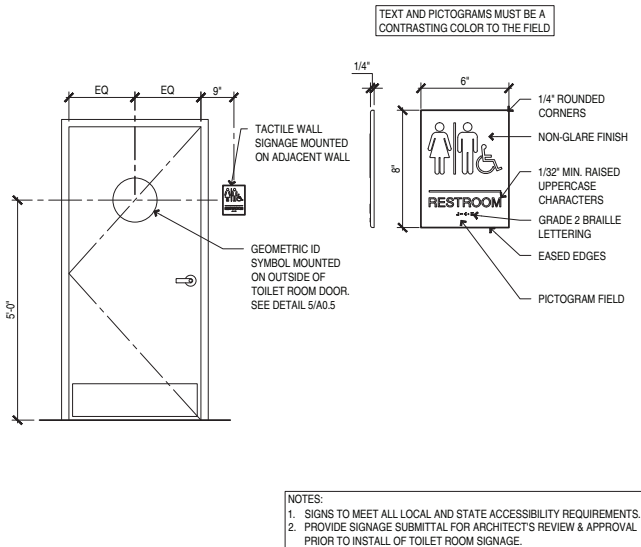


CALIFORNIA TITLE 24 COMPLIANT RESTROOM SIGNAGE

SIGNS SHALL COMPLY WITH CBC SECTION 11B-703:

1. RAISED CHARACTERS SHALL COMPLY WITH CBC SECTION 11B-703.2
2. BRAILLE TO BE CONTRACTED (GRADE 2) AND COMPLY WITH CBC SECTION 11B-703.3 AND 11B-703.4.
3. VISUAL CHARACTERS TO COMPLY WITH CBC SECTION 11B-703.5.
4. PICTOGRAMS TO COMPLY WITH CBC SECTION 11B-703.6.
5. SYMBOLS OF ACCESSIBILITY TO COMPLY WITH CBC SECTION 11B-703.7.

WHERE PERMANENT SIGNAGE IS PROVIDED FOR ROOMS AND SPACES, SIGNAGE AS DESCRIBED ABOVE SHALL BE PROVIDED ON THE LATCH SIDE OF THE DOOR.



- NOTES:
1. SIGNS TO MEET ALL LOCAL AND STATE ACCESSIBILITY REQUIREMENTS.
  2. PROVIDE SIGNAGE SUBMITTAL FOR ARCHITECT'S REVIEW & APPROVAL PRIOR TO INSTALL OF TOILET ROOM SIGNAGE.

SIGNAGE NOTES

TOILET ROOM SIGNAGE

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DRAWING DESCRIPTION  
SIGNAGE & MOUNTING  
HEIGHT DETAILS  
SCALE

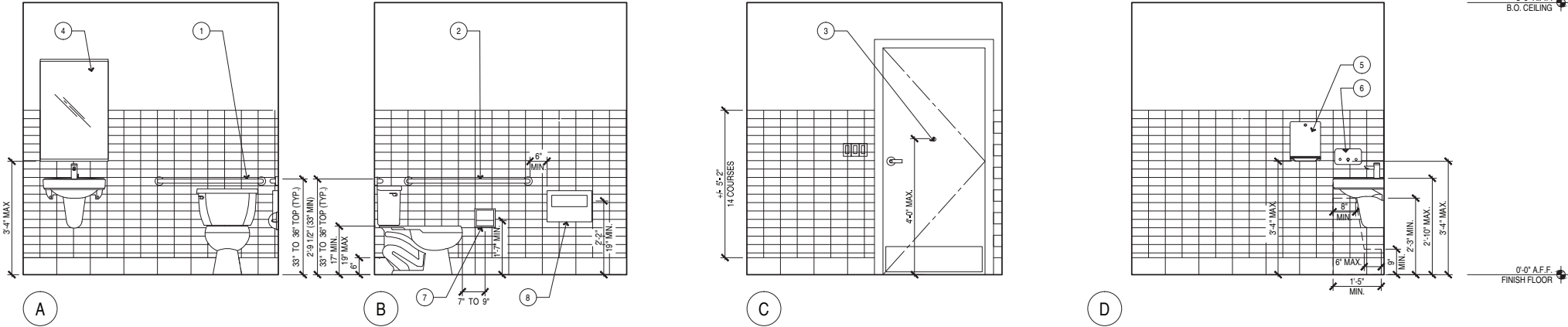
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RESTROOM ELEVATIONS

1/2"=1'-0"

11



ITEM	DESCRIPTION	MANUFACTURER	MODEL	QTY.
1	36" GRAB BAR	BOBRICK	B-5806 SERIES	1
2	42" GRAB BAR	BOBRICK	B-5806 SERIES	1
3	COAT HOOK	BOBRICK	B-542	1
4	MIRROR	BOBRICK	B-293 SERIES	1
5	PAPER TOWEL DISPENSER	BOBRICK	B-2620	1
6	SOAP DISPENSER	BOBRICK	B-306	1
7	TOILET TISSUE DISPENSER	BOBRICK	B-4288	1
8	TOILET SEAT COVER DISPENSER	BOBRICK	B-221	1

ACCESSORY SCHEDULE

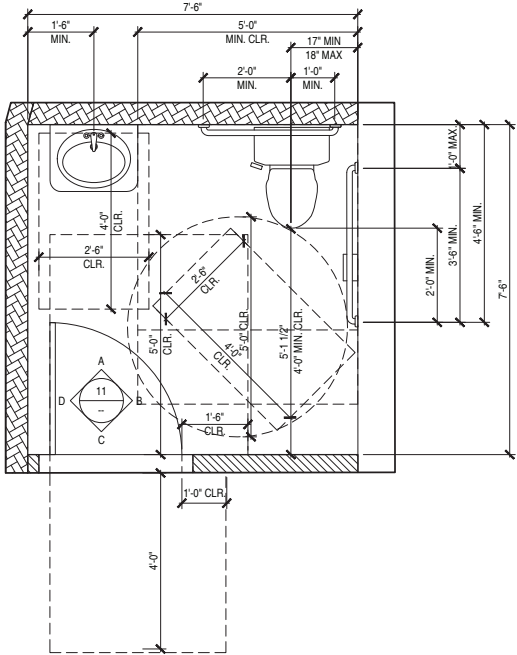
1/2"=1'-0"

3

RESTROOM ENLARGED FLOOR PLAN

1/2"=1'-0"

1



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DRAWING DESCRIPTION

RESTROOM DETAILS

SCALE

A0.6A

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**DRAWING DESCRIPTION**

(E) COMMON  
RESTROOM AREA

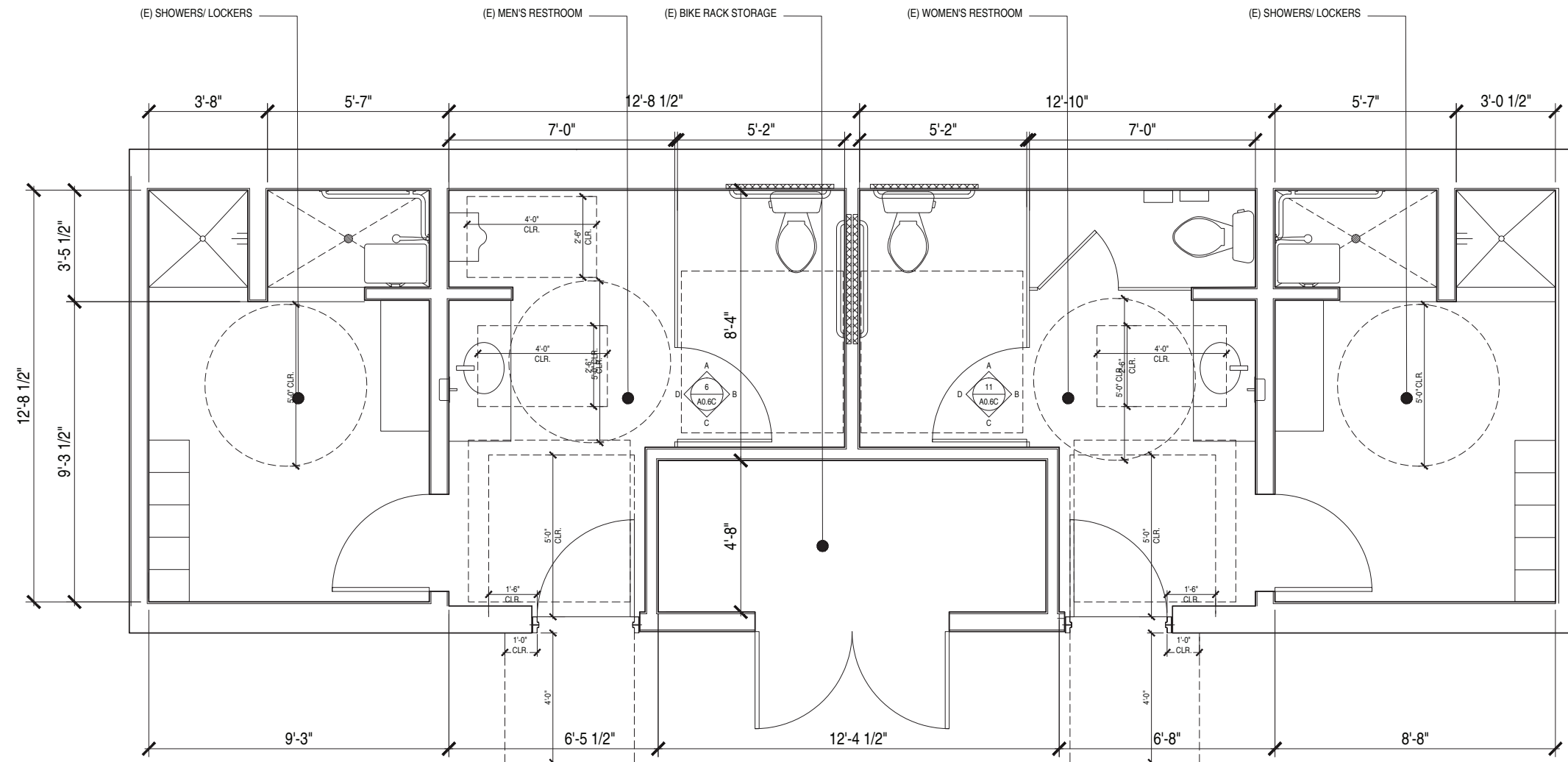
SCALE

G.C. TO VERIFY ALL (E) DIMENSIONS  
AND TOILET ROOM ACCESSORIES


$$1/2'' = 1'-0''$$

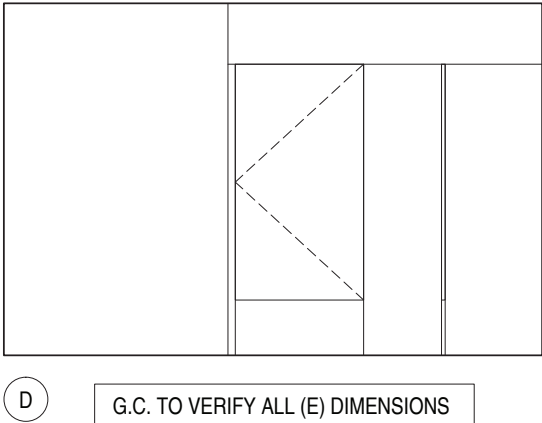
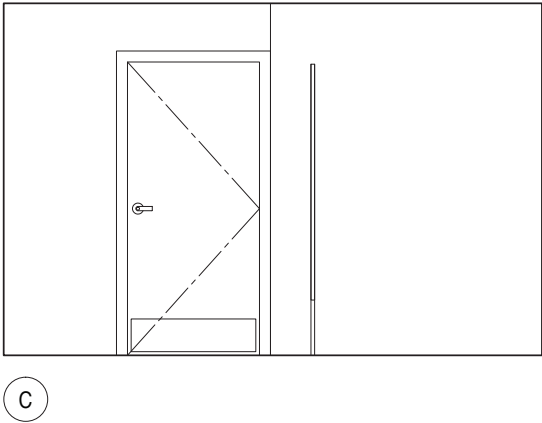
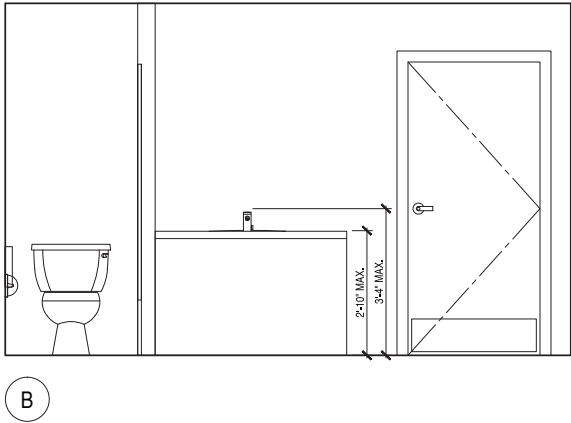
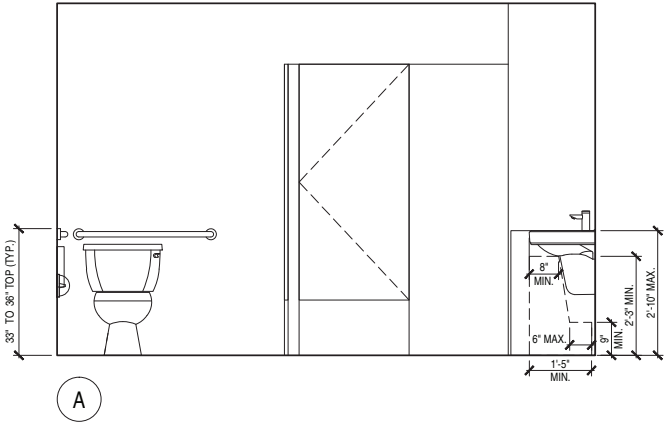
1

A0.6B



(E) COMMON RESTROOM AREA ENLARGED FLOOR PLAN

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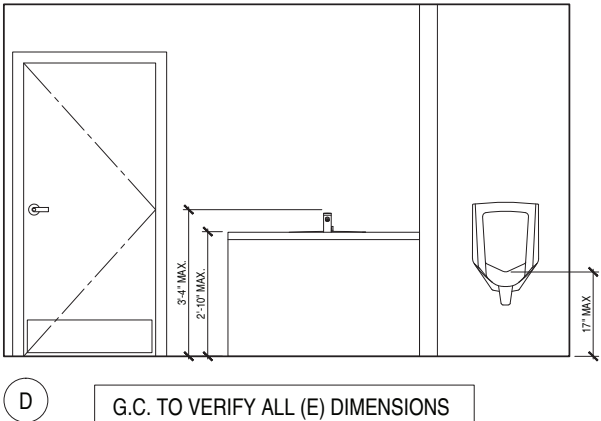
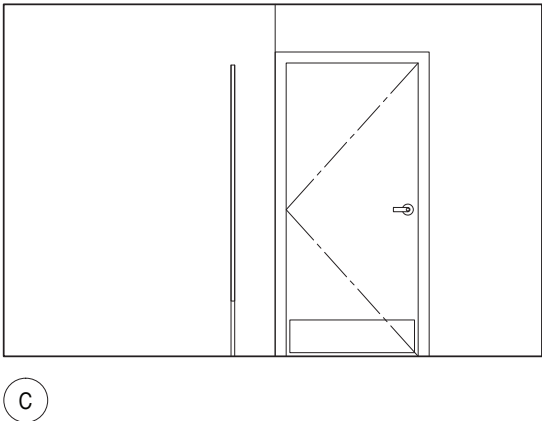
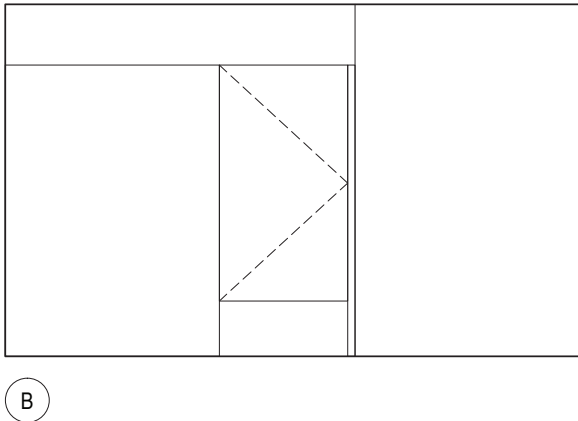
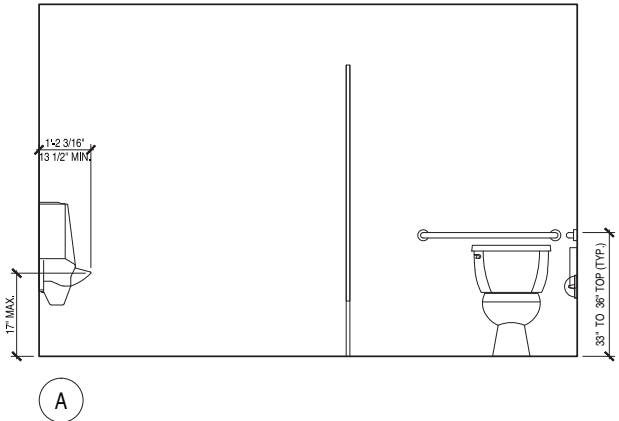


G.C. TO VERIFY ALL (E) DIMENSIONS  
AND TOILET ROOM ACCESSORIES

(E) WOMEN'S RESTROOM ELEVATIONS

1/2"=1'-0"

11



G.C. TO VERIFY ALL (E) DIMENSIONS  
AND TOILET ROOM ACCESSORIES

(E) MEN'S RESTROOM ELEVATIONS

1/2"=1'-0"

6

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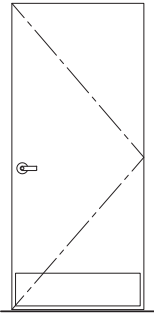
(E) RESTROOM  
ELEVATIONS

SCALE

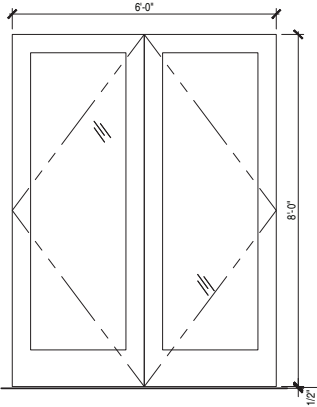
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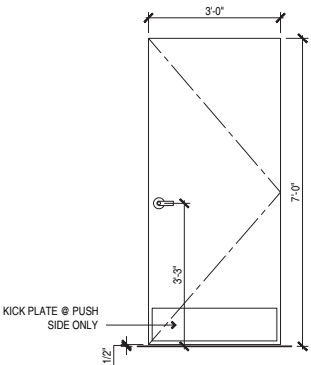
1. ALL INTERIOR DOORS SHALL BE 1 3/4" THICK, SOLID CORE WOOD, UNLESS NOTED OTHERWISE.
2. ALL DOORS SHALL BE TRIMMED AT THRESHOLD TO PROVIDE 3/4" MINIMUM CLEARANCE ABOVE FLOOR FINISH MATERIAL.
3. ALL ENTRY DOORS TO HAVE SIGN THAT READS: "THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED."
4. DIMENSIONS FOR UNDERCUT DOORS IF ANY SHALL BE MEASURED FROM TOP OF FINISH FLOORING MATERIAL.
5. DOOR IN THE FULLY OPEN POSITION SHALL NOT REDUCE THE REQUIRED EXIT WIDTH BY MORE THAN 7 INCHES.
6. EXIT DOORWAYS SHALL BE NO LESS THAN 36" IN WIDTH AND NO LESS THAN 8'-8" IN HEIGHT. PROJECTIONS, SHALL NOT REDUCE THE OPENING TO LESS THAN 32" CLEAR WIDTH.
7. LATCHING AND LOCKING DOORS THAT ARE HAND-ACTIVATED SHALL BE OPERABLE WITH A SINGLE EFFORT BY LEVER TYPE HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT TIGHT GRASPING, PINCHING OR TWISTING THE WRIST TO OPERATE HARDWARE. LOCKED EXIT DOORS SHALL OPERATE AS ABOVE IN EGRESS DIRECTION.
8. ACCESSIBLE HARDWARE SHALL BE INSTALLED BETWEEN 34" AND 44" ABOVE THE FLOOR.
9. THERE SHALL BE A LEVEL AND CLEAR FLOOR OR LANDING ON EACH SIDE OF A DOOR. THE LEVEL AREA SHALL HAVE A LENGTH IN THE DIRECTION OF DOOR SWING OF AT LEAST 80" AND THE LENGTH OPPOSITE THE DIRECTION OF DOOR SWING OF 48" AS MEASURED AT RIGHT ANGLES TO THE PLANE OF THE DOOR IN THE CLOSED POSITION. THE FLOOR OR LANDING SHALL BE LESS THAN OR EQ. TO 1/2" LOWER THAN THE THRESHOLD.
10. THE WIDTH OF THE LEVEL AREA ON THE SIDE TO WHICH THE DOOR SWINGS SHALL EXTEND A MINIMUM OF 18" PAST THE STRIKE EDGE FOR INTERIOR DOORS.
11. THE BOTTOM 10" OF ALL DOORS SHALL HAVE A SMOOTH, UNINTERRUPTED SURFACE.
12. MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 5 POUNDS. SUCH PULL OR PUSH EFFORT BEING APPLIED AT RIGHT ANGLES TO HINGED DOORS AND AT THE CENTER PLANE OF SLIDING OR FOLDING DOORS. COMPENSATING DEVICES OR AUTOMATIC DOOR OPERATORS MAYBE INCREASED TO THE MAXIMUM ALLOWABLE BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY, NOT TO EXCEED 15 POUNDS.



TYPE C (E)



TYPE B (E)



TYPE A

DOOR NOTES

NTS

15

DOOR TYPES

1/2" = 1'-0"

13

DOOR NUMBER	ROOM NUMBER	ROOM NAME	DOOR						FRAME				SAFETY GLASS	FIRE RATING	STC	REMARKS
			SIZE			HDW GROUP	TYPE	MATL	DETAIL			MATL				
			WIDTH	HEIGHT	THICK				HEAD	JAMB	SILL					
1	101	ENTRANCE 1	6'-0" (E)	8'-0" (E)	1 1/2" (E)	(E)	B	ALUM	(E)	(E)	(E)	METAL	(E)	(E)	(E)	G.C. TO PROVIDE ANY MISSING HARDWARE
2	101	ENTRANCE 2	6'-0" (E)	8'-0" (E)	1 1/2" (E)	(E)	B	ALUM	(E)	(E)	(E)	METAL	(E)	(E)	(E)	G.C. TO PROVIDE ANY MISSING HARDWARE
3	105	RESTROOM	3'-0"	7'-0"	1 3/4"	2	A	SCW	13/A6.0	8/A6.0	4/A6.0	METAL	--	--	--	PAINT GRADE FINISH
4	104	OPERATIONS	3'-0"	7'-0"	1 3/4"	1	A	SCW	13/A6.0	8/A6.0	4/A6.0	METAL	--	--	--	PAINT GRADE FINISH
5	103	SCULLERY/ STORAGE	3'-0" (E)	7'-0" (E)	1 1/2" (E)	(E)	C	SCW	(E)	(E)	(E)	METAL	(E)	(E)	(E)	G.C. TO PROVIDE ANY MISSING HARDWARE

	SET NUMBER	DESCRIPTION	MANUFACTURER	REMARKS
GROUP 1	1 1/2 PR	BUTT HINGES	McKINNEY 4 1/2" x 4 1/2" TA 2714 626	
	1	DOOR CLOSER	NORTON 8501BF 689 OR LCN 4031 689	
	1	SECURITY LOCK	ALARMLOCK T2 TRILOGY DL2700 626 DIGITAL LOCK	OFFICE FUNCTION
	1	SECURITY EYE VIEWER	HAGER 200-DEGREE DOOR VIEWER	
	1	DOOR STOP	HAGER 236W WALL STOP	
	1	KICKPLATE	IVES KICKPLATE 10" x 34" BRUSHED ALUMINUM	
GROUP 2	1 1/2 PR	BUTT HINGES	McKINNEY 4 1/2" x 4 1/2" TA 2714 626	
	1	DOOR CLOSER	NORTON 8501BF 689 OR LCN 4031 689	
	1	LOCK SET	SCHLAGE L 9496 / 03A LEVER/ A ROSE 2 1/8" DIAMETER	PRIVACY FUNCTION
	1	KICKPLATE	IVES KICKPLATE 10" x 34" BRUSHED ALUMINUM	
	1	THRESHOLD	PEMKO 252A	

DOOR AND DOOR HARDWARE SCHEDULE

NTS

1

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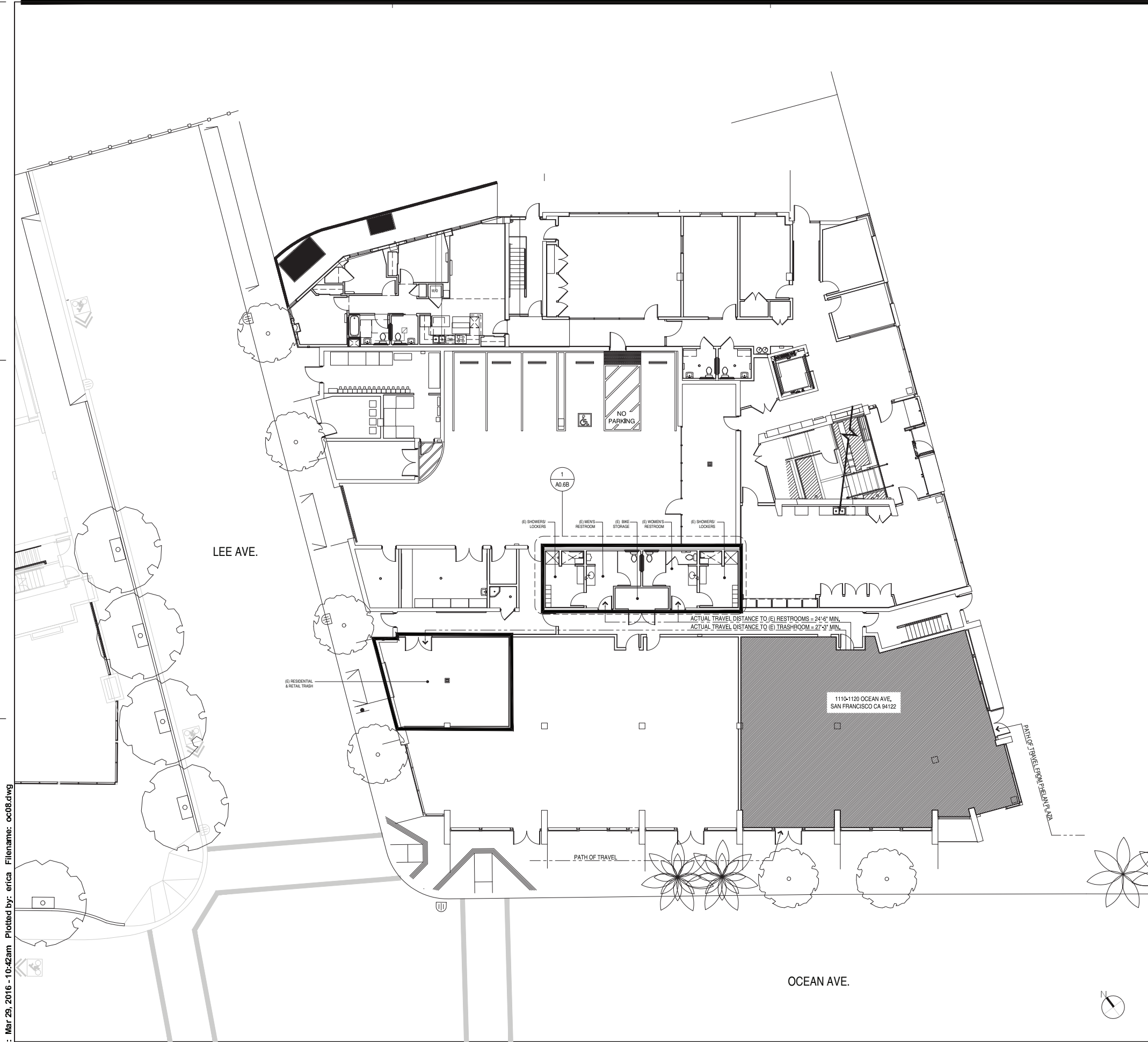
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SEAL/SIGNATURE

DRAWING DESCRIPTION  
DOOR, HARDWARE &  
FINISH SCHEDULES  
SCALE

A0.7

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SITE PLAN

3/8"=1'-0"

2

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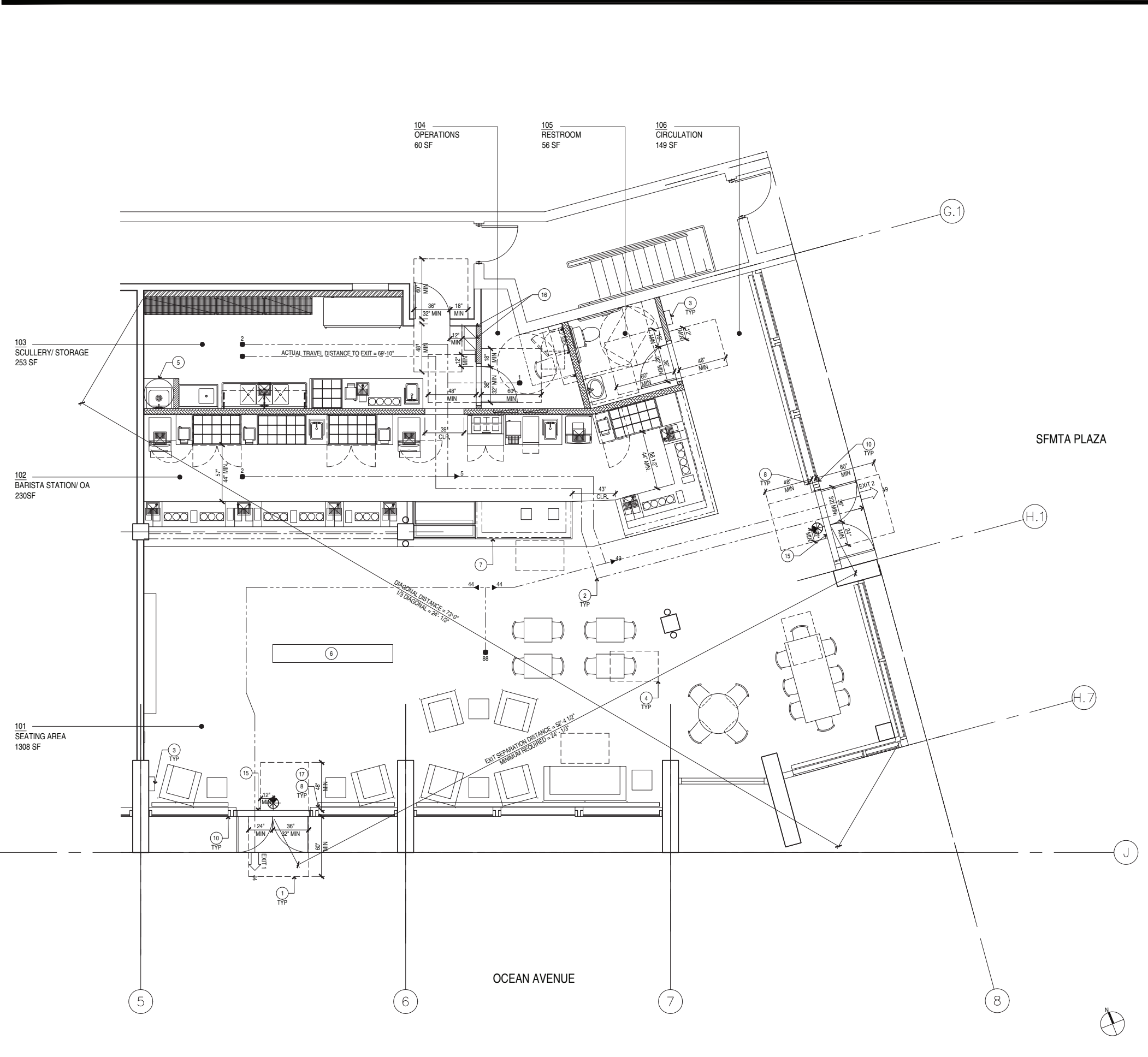
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SITE PLAN

SCALE

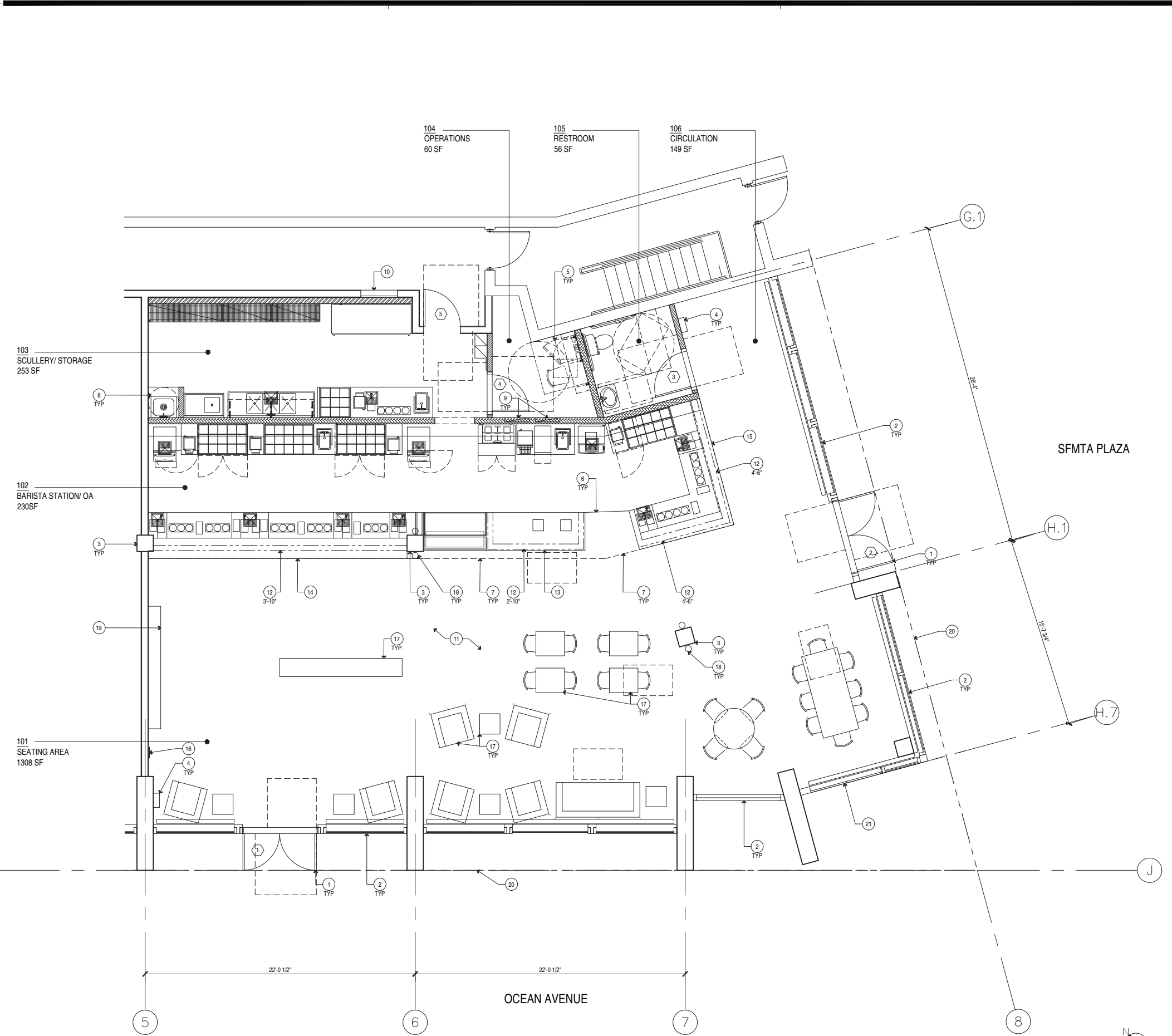
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Plot Date: Mar 29, 2016 - 10:42am Plotted by: erica Filename: oc10.dwg



1	(E) ACCESSIBLE ENTRY DOOR IN (E) STOREFRONT. REFER TO DOOR SCHEDULE.
2	(E) STOREFRONT BY LANDLORD, SIGNAGE UNDER SEPARATE PERMIT
3	(E) STRUCTURAL CONCRETE COLUMN TO REMAIN, TYP. FOR ALL COLUMNS
4	(N) FIRE EXTINGUISHER CABINET, TYP. OF 2
5	(N) IT RACK (REFER TO STRUCTURAL DETAILS AND ELECTRICAL DRAWINGS)
6	FLOOR TRANSITION (REFER TO DETAIL 4/A6.0)
7	LINE OF SOFFIT / CEILING ABOVE (REFER TO SHEET A3.0 REFLECTED CEILING PLAN)
8	(N) WATER HEATER (REFER TO STRUCTURAL DETAILS)
9	(N) ELECTRICAL PANEL (REFER TO ELECTRICAL DRAWINGS FOR SCHEDULE AND SPECIFICATIONS)
10	REMOVE (E) DOOR AND INFILL OPENING WITH WALL CONSTRUCTION TO MATCH
11	(E) CONCRETE SLAB
12	LOW KNEE WALL, HEIGHT AS NOTED
13	ACCESSIBLE POS COUNTER, 34" A.F.F. TO TOP OF COUNTER (REFER TO DETAIL 4/A8.2)
14	BARISTA SERVICE COUNTER, BY MILLWORKER (REFER TO DETAIL 1&2/A8.2)
15	ORDER AHEAD, BY MILLWORKER (REFER TO DETAIL XX/XX)
16	CUSTOMER SURVEY IPAD LOCATION (REFER TO ELEVATIONS)
17	FURNITURE, BY OWNER, TYP.
18	(E) VERTICAL PIPES TO REMAIN AND PAINTED (REFER TO ELEVATIONS)
19	RETAIL SHELVES BY MILLWORKER (REFER TO DETAIL XX/XX)
20	LEASE LINE
21	REMOVE (E) DOOR HARDWARE. MAKE DOOR NOT OPERABLE.
NOTES: 1. REFER TO A0.8 FOR DOOR AND FINISH SCHEDULES 2. REFER TO A7.0 FOR EQUIPMENT AND KITCHEN FIXTURES. 3. ALL DIMENSIONS 'ALIGN' AND FLUSH NOTES ARE TO FACE OF GYPSUM BOARD, U.O.N.	
KEY NOTES	
NTS	
5	
TYPE	PATTERN
DESCRIPTION	
	EXISTING WALL, GC TO MAINTAIN ALL RATED COMPONENTS.
A	(N) FULL HEIGHT PARTITION, 3 5/8" METAL STUDS AT 16" O.C. W/ 5/8" TYPE X GYPSUM BOARD; TERMINATE STUD AT BOTTOM OF METAL DECK, TERMINATE GYP AT BOTTOM OF DECK OR CEILING DEPENDING ON ADJACENT CEILING CONDITION
B	(N) FULL HEIGHT PARTITION, 6" NOM. METAL STUDS AT 16" O.C. W/ 5/8" TYPE X GYPSUM BOARD; TERMINATE STUD AT BOTTOM OF METAL DECK, TERMINATE GYP AT BOTTOM OF DECK OR CEILING DEPENDING ON ADJACENT CEILING CONDITION
C	(N) DIE WALL, 3 5/8" METAL STUDS AT 16" O.C. W/ 5/8" CEMENT BOARD ON BOTH SIDES. HEIGHT AS NOTED BY KEY NOTES.
D	(N) PARTIAL HEIGHT PARTITION, 6" NOM. METAL STUDS AT 16" O.C. W/ 5/8" TYPE X GYPSUM BOARD, TERMINATE STUDS 1'-0" ABOVE FINISHED CEILING, TERMINATE GYP AT BOTTOM OF CEILING.
WALL SCHEDULE	
NTS	
1	

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JOB NUMBER:  
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DATE  
03/29/16

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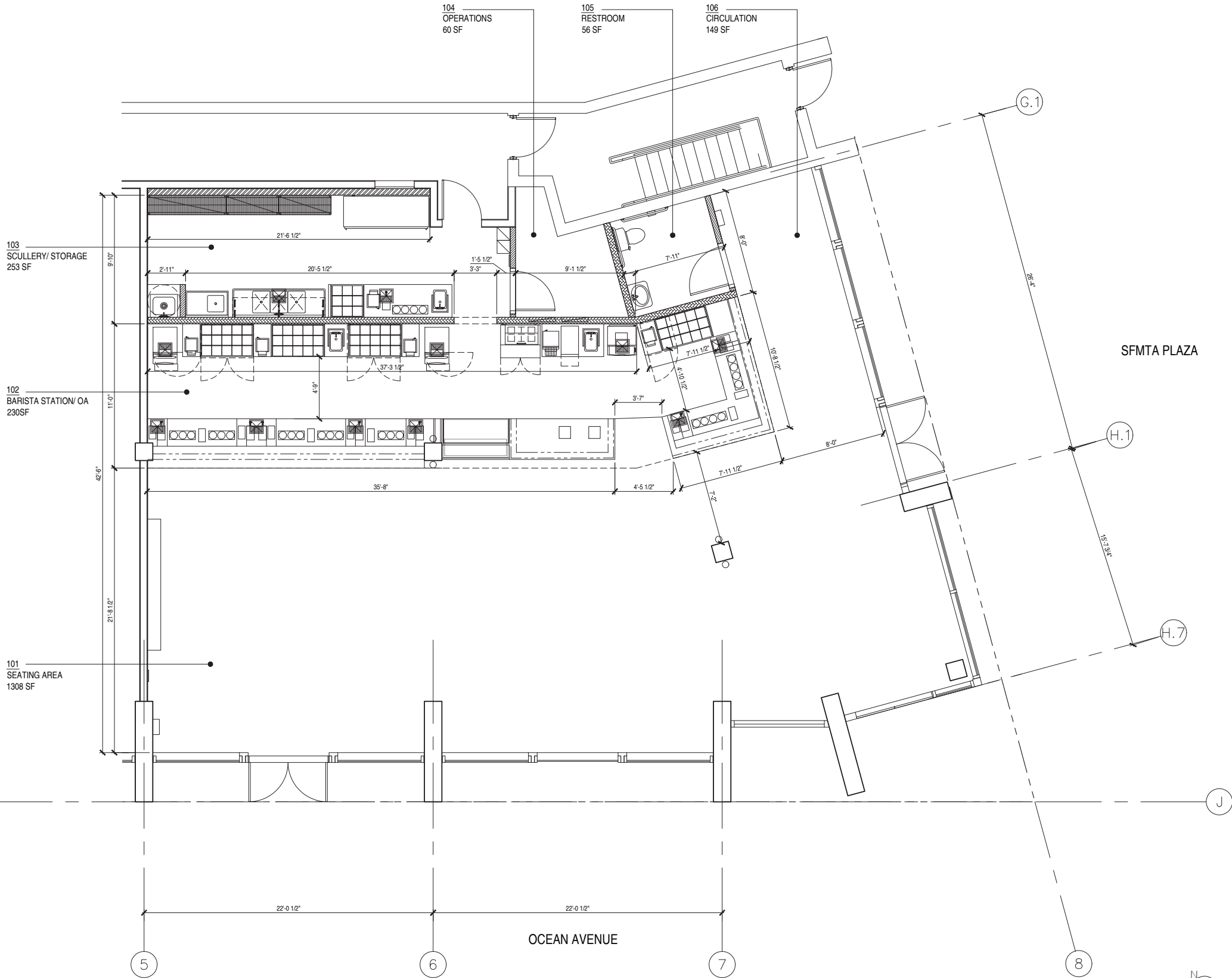
SEAL/SIGNATURE

DRAWING DESCRIPTION  
FLOOR PLAN

SCALE

A1.0

Plot Date: Mar 29, 2016 - 10:42am Plotted by: erica Filename: oc20.dwg



TYPE	PATTERN	DESCRIPTION
		EXISTING WALL, GC TO MAINTAIN ALL RATED COMPONENTS.
A		(N) FULL HEIGHT PARTITION, 3 5/8" METAL STUDS AT 16" O.C. W/ 5/8" TYPE X GYPSUM BOARD; TERMINATE STUD AT BOTTOM OF METAL DECK, TERMINATE GYP AT BOTTOM OF DECK OR CEILING DEPENDING ON ADJACENT CEILING CONDITION
B		(N) FULL HEIGHT PARTITION, 6" NOM. METAL STUDS AT 16" O.C. W/ 5/8" TYPE X GYPSUM BOARD; TERMINATE STUD AT BOTTOM OF METAL DECK, TERMINATE GYP AT BOTTOM OF DECK OR CEILING DEPENDING ON ADJACENT CEILING CONDITION
C		(N) DIE WALL, 3 5/8" METAL STUDS AT 16" O.C. W/ 5/8" CEMENT BOARD ON BOTH SIDES. HEIGHT AS NOTED BY KEY NOTES.
D		(N) PARTIAL HEIGHT PARTITION, 6" NOM. METAL STUDS AT 16" O.C. W/ 5/8" TYPE X GYPSUM BOARD, TERMINATE STUDS 1'-0" ABOVE FINISHED CEILING, TERMINATE GYP AT BOTTOM OF CEILING.

DIMENSIONED FLOOR PLAN

1/4" = 1'-0"

2

WALL SCHEDULE

NTS

1

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DIMENSIONED  
FLOOR PLAN

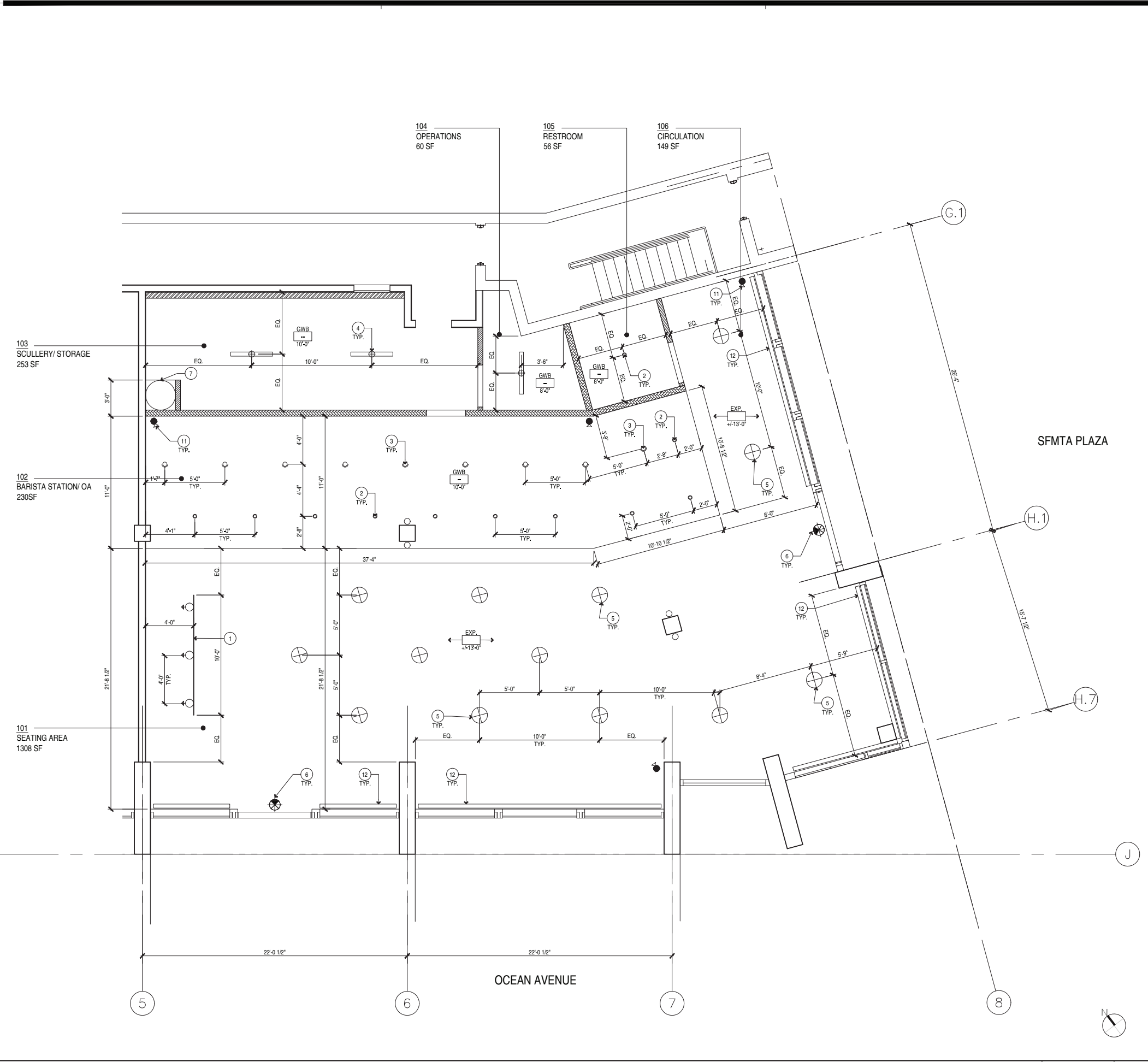
SCALE

A2.0

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1	TRACK LIGHTS, SUSPENDED 10'-0" A.F.F. (REFER TO ELECTRICAL DRAWING FOR SCHEDULE)
2	RECESSED DOWN LIGHT FIXTURE (REFER TO ELECTRICAL DRAWING FOR SCHEDULE)
3	RECESSED WALL WASHER FIXTURE (REFER TO ELECTRICAL DRAWING FOR SCHEDULE)
4	FLUORESCENT LIGHT FIXTURE, SURFACE MOUNTED 10'-0" A.F.F. (REFER TO ELECTRICAL DRAWING FOR SCHEDULE)
5	SUSPENDED PENDANT LIGHT FIXTURE 10'-0" A.F.F. (REFER TO ELECTRICAL DRAWING FOR SCHEDULE)
6	EXIT SIGN, CEILING MOUNTED, 1'-0" ABOVE OPENING, TYP. OF 2
7	WATER HEATER. (REFER TO STRUCTURAL DRAWINGS FOR SUPPORT LEDGE DETAILS)
8	24" x 24" TRIMLESS CEILING ACCESS PANEL. (REFER TO MECHANICAL DRAWINGS)
9	HVAC DIFFUSER. PAINT TO MATCH ADJACENT FINISHES IN CUSTOMER AREA. (REFER TO MECHANICAL DRAWINGS)
10	EXHAUST FAN (REFER TO MECHANICAL DRAWINGS)
11	SECURITY CAMERA. COORDINATE LOCATION WITH POWER PLAN.
12	SURFACE MOUNTED ROLLER SHADE AT WALL ABOVE EXISTING STOREFRONT SYSTEM (REFER TO DETAIL 9/A6.1)
13	OVAL DUCT PAINTED P-XX. INSTALL TIGHT TO CEILING. (REFER TO MECHANICAL DRAWINGS)
14	

NOTES:  
1. DIMENSIONS, FLUSH, AND ALIGN NOTES ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED  
2. CONTRACTOR TO FIELD VERIFY HEIGHTS OF STRUCTURAL ELEMENTS. NOTIFY ARCHITECT OF CONFLICTS OR DISCREPANCIES

KEY NOTES		NTS	2
SYMBOL	DESCRIPTION		
○	RECESSED DOWNLIGHT		
⊕	PENDANT / MONOPOINT LIGHT FIXTURE		
●	WALL WASHER LIGHT FIXTURE		
⊕	SCONCE LIGHT FIXTURE		
⊕	EMERGENCY EXIT SIGN		
⊕	SURFACE MOUNTED FLUORESCENT FIXTURE		
⊕	TRACK LIGHTS		
⊗	SUPPLY AIR DIFFUSER		
□	RETURN AIR GRILLE		
⊗	EXHAUST FAN		
□	CEILING ACCESS PANEL		
●	SECURITY CAMERA		
EM	EMERGENCY LIGHTING FIXTURES		

1/4" = 1'-0"	2	CEILING LEGEND	NTS	1
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**CEILING PLAN**  
**SCALE**

**A3.0**

REFLECTED CEILING PLAN

