



SAN FRANCISCO PLANNING DEPARTMENT

Discretionary Review Abbreviated Analysis HEARING DATE: SEPTEMBER 13, 2018

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Date: August 29, 2018
Case No.: **2015-013487DRP**
Project Address: **1267 Rhode Island**
Permit Application: 2015.09.28.8194
Zoning: RH-2 [Residential House, Two-Family]
40-X Height and Bulk District
Block/Lot: 4217/018
Project Sponsor: John Goldman
Goldman Architects
172 Russ Street
San Francisco, CA 94103
Staff Contact: David Winslow – (415) 575-9159
David.Winslow@sfgov.org
Recommendation: **Do not take DR and approve as proposed**

PROJECT DESCRIPTION

The project consists of a 2-story vertical addition and a 17' horizontal addition to the rear of an existing 2-story single-family house to create two family dwellings with a total of 4,093 square feet.

SITE DESCRIPTION AND PRESENT USE

The site is a 25' x 100' upsloping lot adjacent with an existing 2-story, 1,833 s.f. single family house built in 1900.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

This block of Rhode Island consists of 2- and 3-story wood clad houses setback from the street to accommodate raised stair entries.

BUILDING PERMIT NOTIFICATION

TYPE	REQUIRED PERIOD	NOTIFICATION DATES	DR FILE DATE	DR HEARING DATE	FILING TO HEARING TIME
311 Notice	20 days	May 9, 2018 – June 8, 2018	06.7. 2018	09.13. 2018	98 days

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Posted Notice	10 days	September 3, 2018	September 3, 2018	10 days
Mailed Notice	10 days	September 3, 2018	September 3, 2018	10 days

PUBLIC COMMENT

	SUPPORT	OPPOSED	NO POSITION
Adjacent neighbor(s)	0	7	0
Other neighbors on the block or directly across the street	0	1	0
Neighborhood groups	0	0	0

The rear massing of the new addition is out of scale with the existing scale of the neighborhood, and imposes impacts to the mid-block open space, privacy, light, and air.

DR REQUESTOR

Hugo Buret, of 1261 Rhode Island St, adjacent neighbor to the North of the proposed project.

DR REQUESTOR'S CONCERNS AND PROPOSED ALTERNATIVES

1. Building scale is out of context relative to the neighborhood.
2. Height and depth of addition at rear impacts mid-block open space.
3. Depth of addition at rear adjacent to the open rear yard at 1261 Rhode Island St. impacts light and privacy.

See attached *Discretionary Review Application*, dated June 7, 2018.

PROJECT SPONSOR'S RESPONSE TO DR APPLICATION

The sponsor has complied with the Residential Design Team (RDAT) recommendations enumerated below, in relation to building massing at the rear to address issues related to scale, shading and privacy.

See attached *Response to Discretionary Review*, dated July 6, 2018.

ENVIRONMENTAL REVIEW

The Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15301 (Class One - Minor Alteration of Existing Facility, (e) Additions to existing structures provided that the addition will not result in an increase of more than 10,000 square feet).

RESIDENTIAL DESIGN TEAM REVIEW

1. Shift the massing of the top floor forward 5' – 8' to reduce the massing at the rear.
2. Reduce the floor to floor heights to reduce the overall massing at the rear.
3. To minimize privacy impacts, minimize the size of windows, provide clerestory windows above eye level, or provide translucent glazing on the North facing wall at the rear.
4. Eliminate the upper roof deck and associated railing.

RECOMMENDATION:	Do not take DR and approve project as proposed
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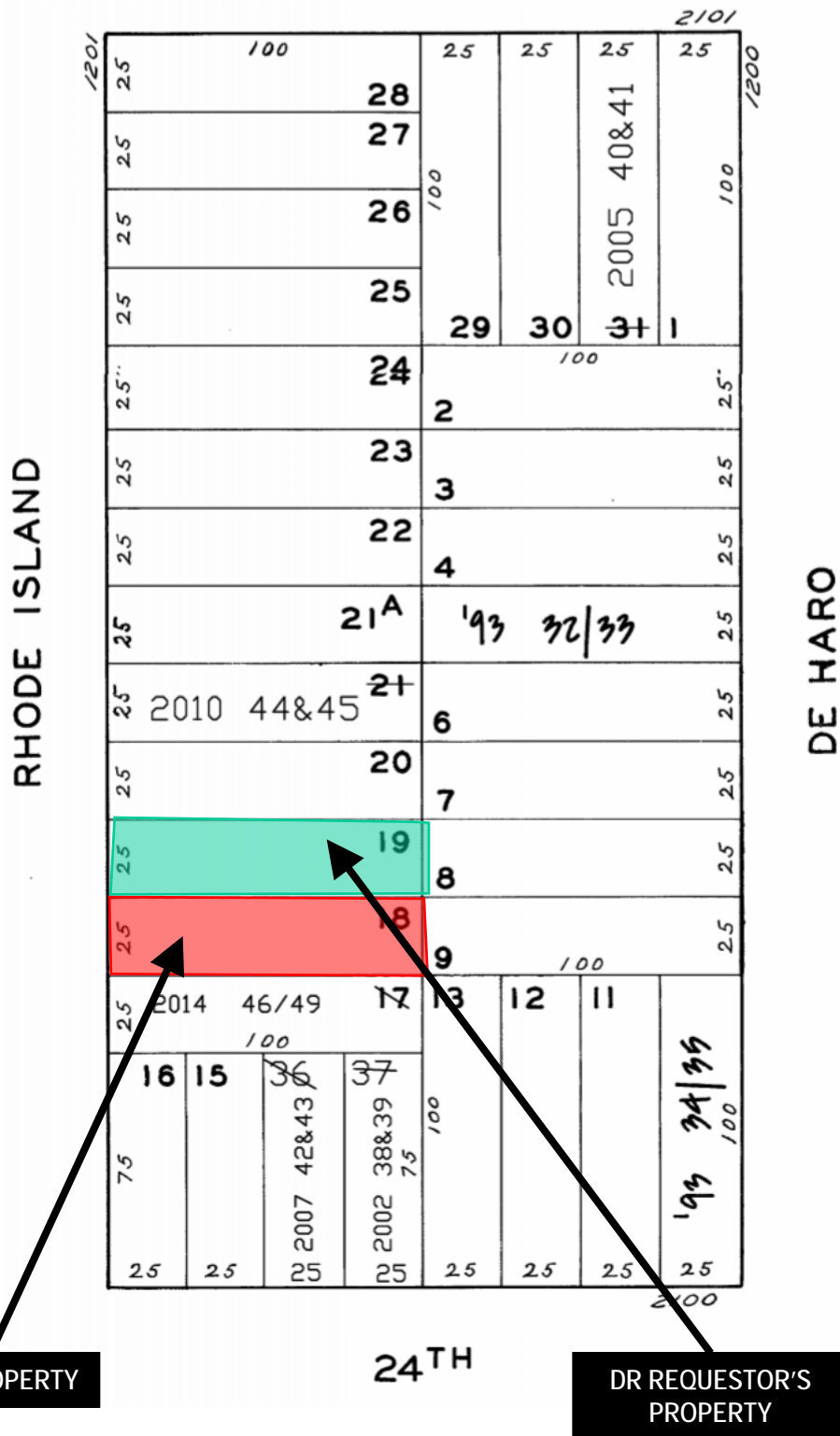
Attachments:

Block Book Map
Sanborn Map
Zoning Map
Aerial Photographs
Context Photographs
Section 311 Notice
CEQA Determination
DR Application
Response to DR Application dated August 24, 2018
Reduced Plans
Color renderings
Shadow studies

Exhibits

Parcel Map

23RD



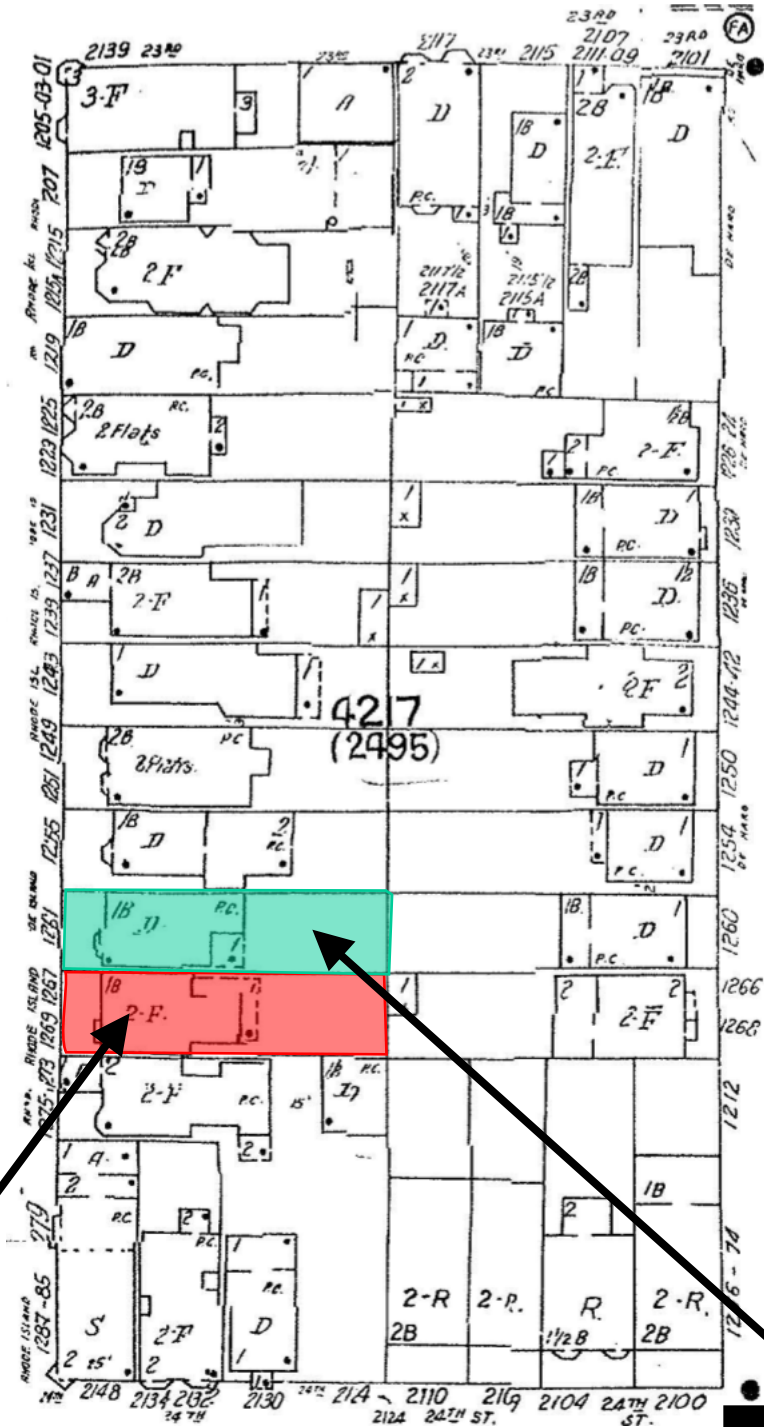
SUBJECT PROPERTY

DR REQUESTOR'S
PROPERTY



Discretionary Review Hearing
Case Number 2015-013487DRP
1267 Rhode Island Street

Sanborn Map*



SUBJECT PROPERTY

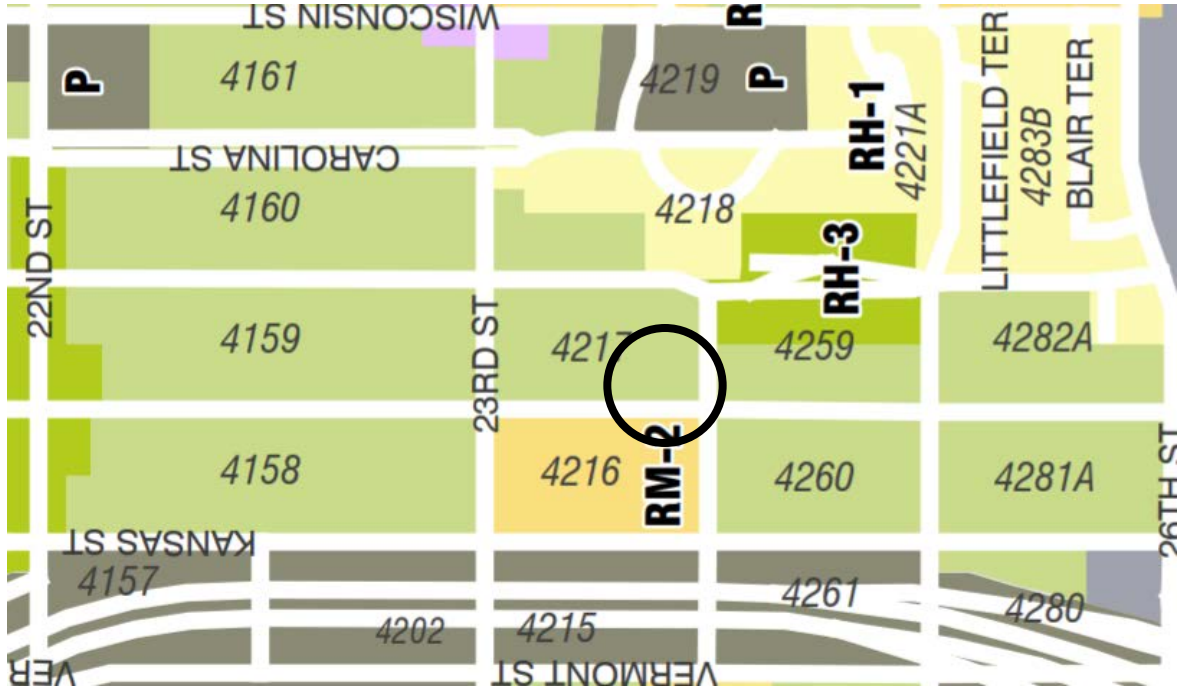
DR REQUESTOR'S
PROPERTY

*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



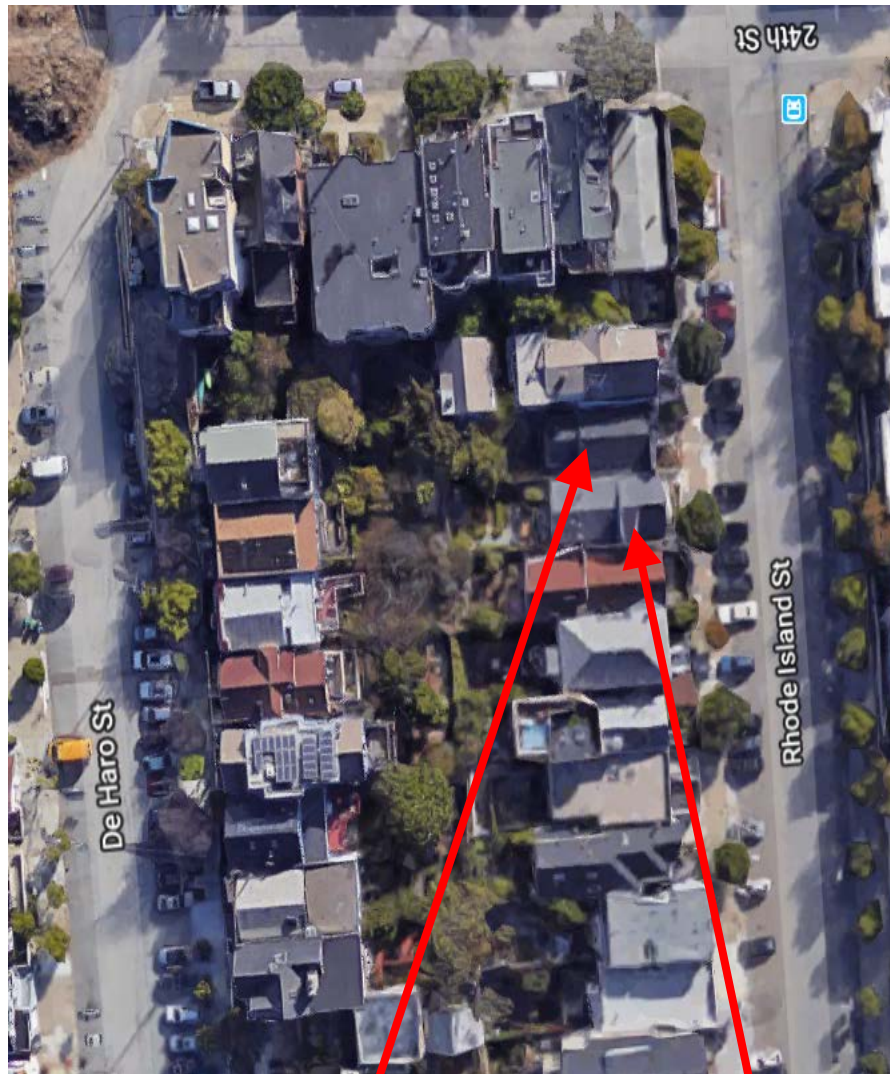
Discretionary Review Hearing
Case Number 2015-013487DRP
1267 Rhode Island Street

Zoning Map



Discretionary Review Hearing
Case Number 2015-013487DRP
1267 Rhode Island Street

Aerial Photo



SUBJECT PROPERTY

DR REQUESTOR'S
PROPERTY



Discretionary Review Hearing
Case Number 2015-013487DRP
1267 Rhode Island Street

Aerial Photo



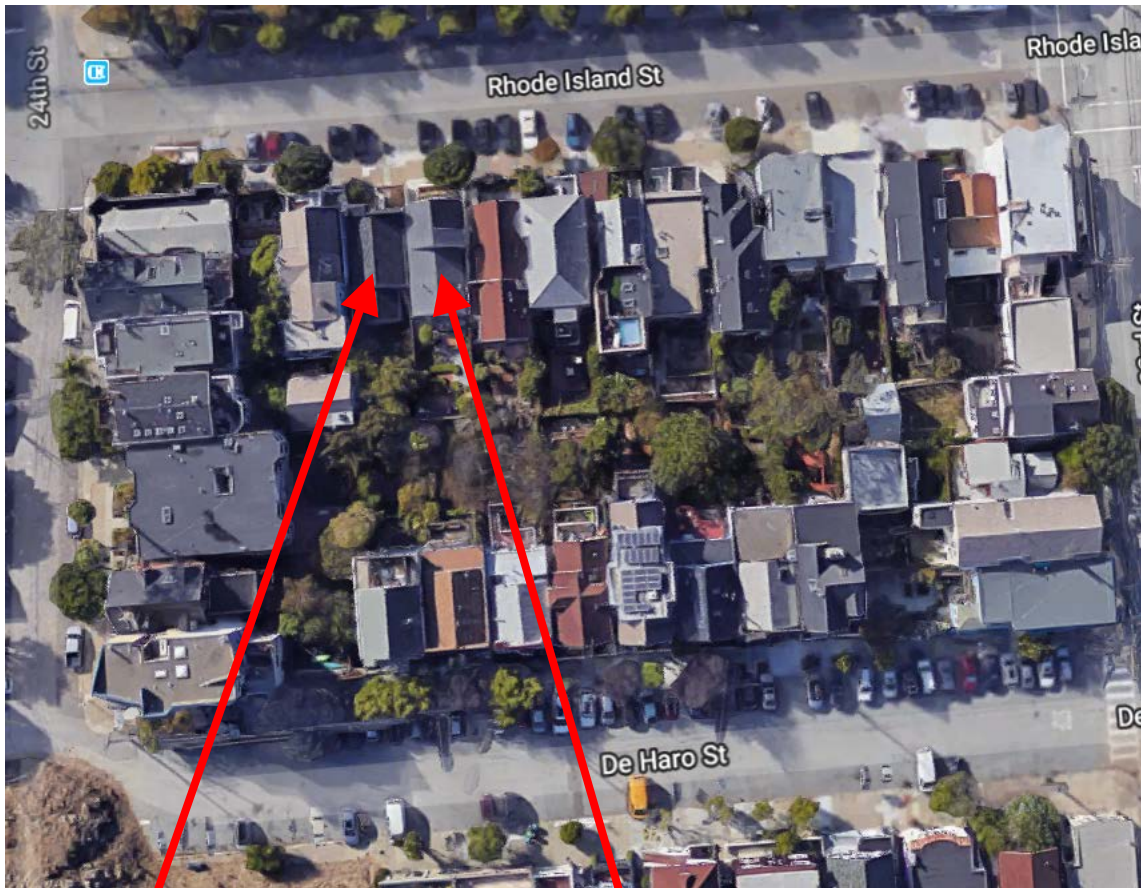
SUBJECT PROPERTY

DR REQUESTOR'S
PROPERTY



Discretionary Review Hearing
Case Number 2015-013487DRP
1267 Rhode Island Street

Aerial Photo

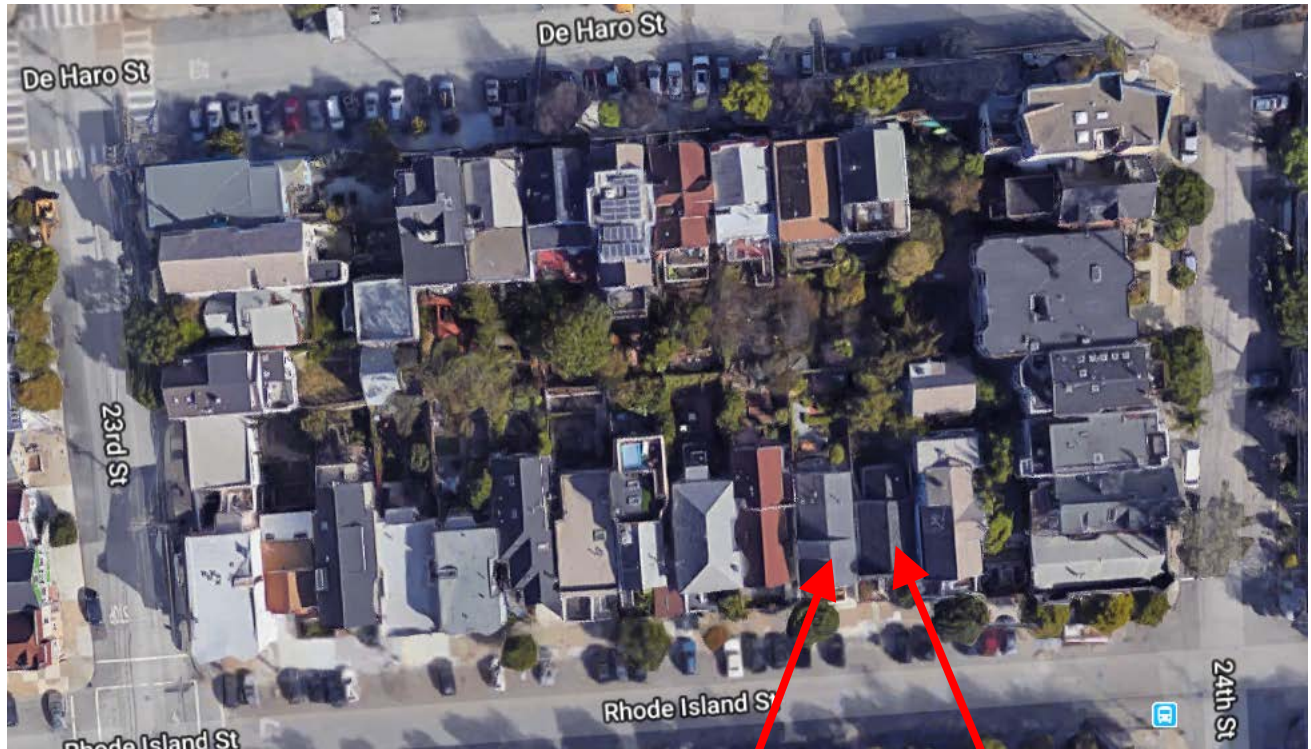


SUBJECT PROPERTY

DR REQUESTOR'S
PROPERTY



Aerial Photo



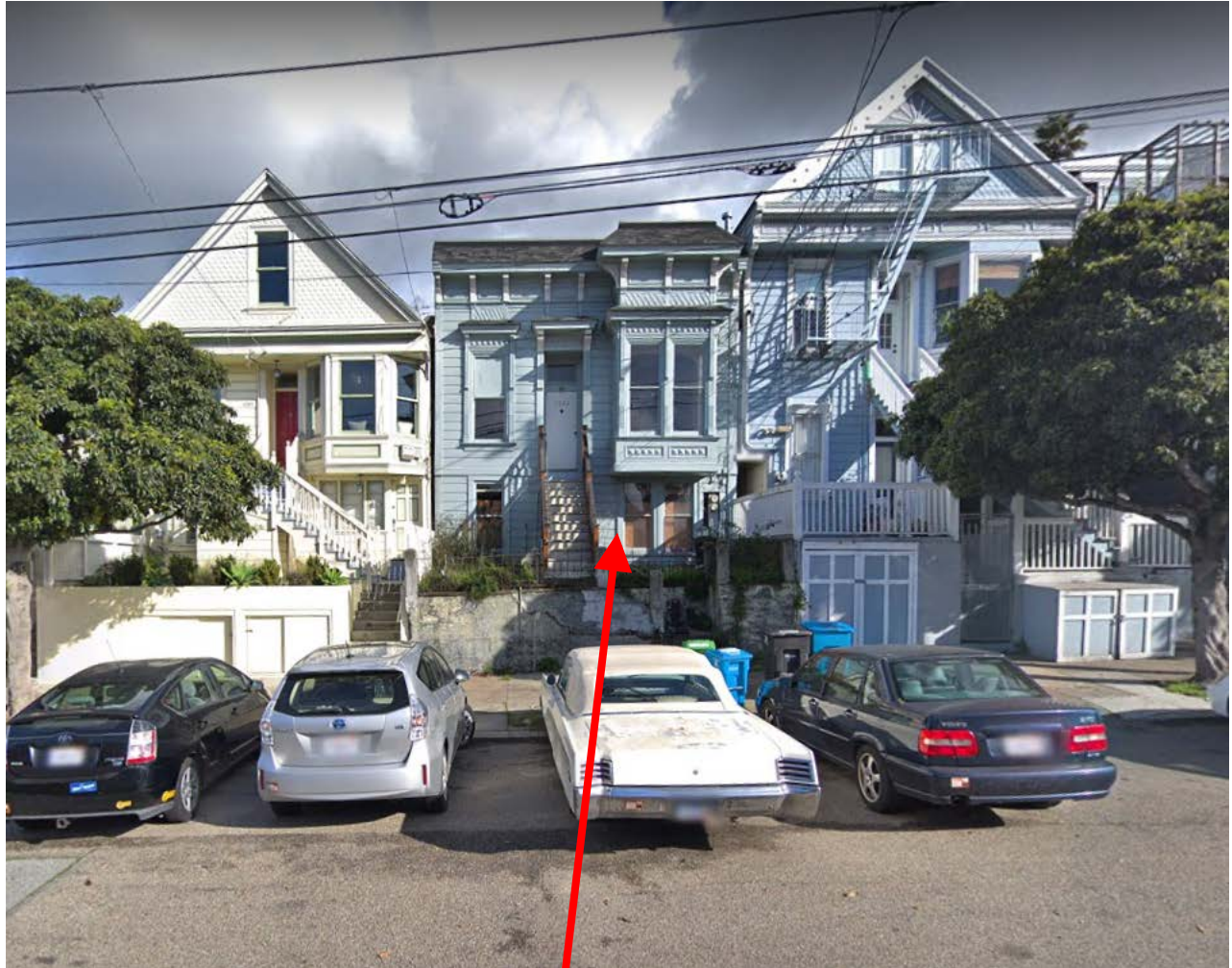
DR REQUESTOR'S
PROPERTY

SUBJECT PROPERTY



Discretionary Review Hearing
Case Number 2015-013487DRP
1267 Rhode Island Street

Site Photo



SUBJECT PROPERTY

Discretionary Review Hearing
Case Number 2015-013487DRP
1267 Rhode Island Street



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311)

On **October 7, 2015**, the Applicant named below filed Building Permit Application No. **201509288194** with the City and County of San Francisco.

PROJECT INFORMATION		APPLICANT INFORMATION	
Project Address:	1267 Rhode Island Street	Applicant:	John Goldman, Goldman Architects
Cross Street(s):	23rd and 24th Streets	Address:	172 Russ Street
Block/Lot No.:	4217/018	City, State:	San Francisco, CA 94103
Zoning District(s):	RH-2 / 40-X	Telephone:	(415) 555-1234
Record No.:	2015-013487PRJ	Email:	john@goldmanarchitects.com

You are receiving this notice as a property owner or resident within 150 feet of the proposed project. You are not required to take any action. For more information about the proposed project, or to express concerns about the project, please contact the Applicant listed above or the Planner named below as soon as possible. If you believe that there are exceptional or extraordinary circumstances associated with the project, you may request the Planning Commission to use its discretionary powers to review this application at a public hearing. Applications requesting a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown below, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

PROJECT SCOPE		
<input type="checkbox"/> Demolition	<input type="checkbox"/> New Construction	<input checked="" type="checkbox"/> Alteration
<input type="checkbox"/> Change of Use	<input type="checkbox"/> Façade Alteration(s)	<input type="checkbox"/> Front Addition
<input checked="" type="checkbox"/> Rear Addition	<input type="checkbox"/> Side Addition	<input checked="" type="checkbox"/> Vertical Addition
PROJECT FEATURES	EXISTING	PROPOSED
Building Use	Residential	No Change
Front Setback	13 Feet	No Change
Side Setbacks	None	No Change
Building Depth	44 Feet	62 Feet
Rear Yard	43 Feet	25 feet
Building Height	24 Feet	36 Feet
Number of Stories	2	4
Number of Dwelling Units	2	No Change
Number of Parking Spaces	None	No Change 4 Bicycle Parking
PROJECT DESCRIPTION		
The project is a horizontal rear addition and two-story vertical addition to an existing two-family residence. The project includes the restoration of the front facade, new front steps, remodeling of the interior, creation of a bicycle storage and addition of three roof decks..		
The issuance of the building permit by the Department of Building Inspection or the Planning Commission project approval at a discretionary review hearing would constitute as the Approval Action for the project for the purposes of CEQA, pursuant to Section 31.04(h) of the San Francisco Administrative Code.		

For more information, please contact Planning Department staff:

Planner: Ella Samonsky
Telephone: (415) 575-9112
E-mail: ella.samonsky@sfgov.org

Notice Date: 5/9/18
Expiration Date: 6/8/18



SAN FRANCISCO PLANNING DEPARTMENT

CEQA Categorical Exemption Determination

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address		Block/Lot(s)
1267 RHODE ISLAND ST		4217018
Case No.		Permit No.
2015-013487ENV		201509288194
<input checked="" type="checkbox"/> Addition/ Alteration	<input type="checkbox"/> Demolition (requires HRE for Category B Building)	<input type="checkbox"/> New Construction
Project description for Planning Department approval. Construct a horizontal and two-story vertical addition, totaling 2260 square feet, to an existing two story, two family residence. Project includes restoration of the front façade, new wood front staircase, and interior remodel of the existing units. FIRE SPRINKLER UNDER SEPARATE PERMIT.		

STEP 1: EXEMPTION CLASS

Note: If neither class applies, an <i>Environmental Evaluation Application</i> is required.	
<input checked="" type="checkbox"/>	Class 1 - Existing Facilities. Interior and exterior alterations; additions under 10,000 sq. ft.
<input type="checkbox"/>	Class 3 - New Construction. Up to three new single-family residences or six dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input type="checkbox"/>	Class 32 - In-Fill Development. New Construction of seven or more units or additions greater than 10,000 sq. ft. and meets the conditions described below: (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations. (b) The proposed development occurs within city limits on a project site of no more than 5 acres substantially surrounded by urban uses. (c) The project site has no value as habitat for endangered rare or threatened species. (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality. (e) The site can be adequately served by all required utilities and public services. FOR ENVIRONMENTAL PLANNING USE ONLY
<input type="checkbox"/>	Class ____

STEP 2: CEQA IMPACTS

TO BE COMPLETED BY PROJECT PLANNER

If any box is checked below, an *Environmental Evaluation Application* is required.

<input type="checkbox"/>	Air Quality: Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g., backup diesel generators, heavy industry, diesel trucks, etc.)? (refer to EP_ArcMap > CEQA Catex Determination Layers > Air Pollution Exposure Zone)
<input type="checkbox"/>	Hazardous Materials: If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential? If yes, this box must be checked and the project applicant must submit an Environmental Application with a Phase I Environmental Site Assessment. <i>Exceptions: do not check box if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Maher program, a DPH waiver from the Maher program, or other documentation from Environmental Planning staff that hazardous material effects would be less than significant (refer to EP_ArcMap > Maher layer).</i>
<input type="checkbox"/>	Transportation: Does the project create six (6) or more net new parking spaces or residential units? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?
<input checked="" type="checkbox"/>	Archeological Resources: Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non -archeological sensitive area? (refer to EP_ArcMap > CEQA Catex Determination Layers > Archeological Sensitive Area)
<input type="checkbox"/>	Subdivision/Lot Line Adjustment: Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography)
<input checked="" type="checkbox"/>	Slope = or > 20%: Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography) If box is checked, a geotechnical report is required.
<input type="checkbox"/>	Seismic: Landslide Zone: Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report is required.
<input type="checkbox"/>	Seismic: Liquefaction Zone: Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report will likely be required.

If no boxes are checked above, GO TO STEP 3. If one or more boxes are checked above, an *Environmental Evaluation Application* is required, unless reviewed by an Environmental Planner.

Comments and Planner Signature (optional): Justin Greving

No archeological effects. Project will follow recommendations of 10/15/15 Modern Technology Resources, Inc., geotechnical report. (language written by Jeanie Poling 1/16/2016)

STEP 3: PROPERTY STATUS - HISTORIC RESOURCE
TO BE COMPLETED BY PROJECT PLANNER

PROPERTY IS ONE OF THE FOLLOWING: (refer to Parcel Information Map)	
<input type="checkbox"/>	Category A: Known Historical Resource. GO TO STEP 5.
<input checked="" type="checkbox"/>	Category B: Potential Historical Resource (over 45 years of age). GO TO STEP 4.
<input type="checkbox"/>	Category C: Not a Historical Resource or Not Age Eligible (under 45 years of age). GO TO STEP 6.

STEP 4: PROPOSED WORK CHECKLIST
TO BE COMPLETED BY PROJECT PLANNER

Check all that apply to the project.	
<input type="checkbox"/>	1. Change of use and new construction. Tenant improvements not included.
<input type="checkbox"/>	2. Regular maintenance or repair to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	3. Window replacement that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. Garage work. A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	5. Deck, terrace construction, or fences not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. Mechanical equipment installation that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. Dormer installation that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	8. Addition(s) that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
Note: Project Planner must check box below before proceeding.	
<input checked="" type="checkbox"/>	Project is not listed. GO TO STEP 5.
<input type="checkbox"/>	Project does not conform to the scopes of work. GO TO STEP 5.
<input type="checkbox"/>	Project involves four or more work descriptions. GO TO STEP 5.
<input type="checkbox"/>	Project involves less than four work descriptions. GO TO STEP 6.

STEP 5: CEQA IMPACTS - ADVANCED HISTORICAL REVIEW
TO BE COMPLETED BY PROJECT PLANNER

Check all that apply to the project.	
<input type="checkbox"/>	1. Project involves a known historical resource (CEQA Category A) as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	2. Interior alterations to publicly accessible spaces.
<input type="checkbox"/>	3. Window replacement of original/historic windows that are not "in-kind" but are consistent with existing historic character.
<input type="checkbox"/>	4. Façade/storefront alterations that do not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	5. Raising the building in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	6. Restoration based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.

<input type="checkbox"/>	7. Addition(s) , including mechanical equipment that are minimally visible from a public right-of-way and meet the <i>Secretary of the Interior's Standards for Rehabilitation</i> .
<input type="checkbox"/>	8. Other work consistent with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (specify or add comments):
<input type="checkbox"/>	9. Other work that would not materially impair a historic district (specify or add comments): (Requires approval by Senior Preservation Planner/Preservation Coordinator)
<input type="checkbox"/>	10. Reclassification of property status. (Requires approval by Senior Preservation Planner/Preservation <div style="display: flex; justify-content: space-between; margin-top: 10px;"> <div style="width: 45%;"> <input checked="" type="checkbox"/> Reclassify to Category A a. Per HRER dated 06/20/2016 b. Other (specify): </div> <div style="width: 45%;"> <input type="checkbox"/> Reclassify to Category C (attach HRER) </div> </div>
Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST check one box below.	
<input type="checkbox"/>	Further environmental review required. Based on the information provided, the project requires an <i>Environmental Evaluation Application</i> to be submitted. GO TO STEP 6.
<input checked="" type="checkbox"/>	Project can proceed with categorical exemption review. The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. GO TO STEP 6.
Comments (optional): See Preservation Team Review Form for information on why project will not cause a significant adverse effect on the resource.	
Preservation Planner Signature: Justin Greving	

STEP 6: CATEGORICAL EXEMPTION DETERMINATION

TO BE COMPLETED BY PROJECT PLANNER

<input type="checkbox"/>	Further environmental review required. Proposed project does not meet scopes of work in either (check all that apply): <input type="checkbox"/> Step 2 - CEQA Impacts <input type="checkbox"/> Step 5 - Advanced Historical Review STOP! Must file an <i>Environmental Evaluation Application</i>.	
<input checked="" type="checkbox"/>	No further environmental review is required. The project is categorically exempt under CEQA. There are no unusual circumstances that would result in a reasonable possibility of a significant effect.	
	Project Approval Action: Building Permit If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.	Signature: Justin Greving 04/10/2018
	Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code. In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the first approval action. Please note that other approval actions may be required for the project. Please contact the assigned planner for these approvals.	

STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT

TO BE COMPLETED BY PROJECT PLANNER

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be subject to additional environmental review pursuant to CEQA.

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address (If different than front page)		Block/Lot(s) (If different than front page)
1267 RHODE ISLAND ST		4217/018
Case No.	Previous Building Permit No.	New Building Permit No.
2015-013487PRJ	201509288194	
Plans Dated	Previous Approval Action	New Approval Action
	Building Permit	
Modified Project Description:		

DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project:	
<input type="checkbox"/>	Result in expansion of the building envelope, as defined in the Planning Code;
<input type="checkbox"/>	Result in the change of use that would require public notice under Planning Code Sections 311 or 312;
<input type="checkbox"/>	Result in demolition as defined under Planning Code Section 317 or 19005(f)?
<input type="checkbox"/>	Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption?
If at least one of the above boxes is checked, further environmental review is required.	

DETERMINATION OF NO SUBSTANTIAL MODIFICATION

<input type="checkbox"/>	The proposed modification would not result in any of the above changes.
If this box is checked, the proposed modifications are categorically exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice.	
Planner Name:	Signature or Stamp:



SAN FRANCISCO PLANNING DEPARTMENT

PRESERVATION TEAM REVIEW FORM

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Preservation Team Meeting Date:		Date of Form Completion	3/16/2018
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PROJECT INFORMATION:		
Planner:	Address:	
Justin A Greving	1267 Rhode Island Street	
Block/Lot:	Cross Streets:	
4217/018	23rd and 24th streets	
CEQA Category:	Art. 10/11:	BPA/Case No.:
A	n/a	2015-013487ENV

PURPOSE OF REVIEW:			PROJECT DESCRIPTION:	
<input checked="" type="radio"/> CEQA	<input type="radio"/> Article 10/11	<input type="radio"/> Preliminary/PIC	<input checked="" type="radio"/> Alteration	<input type="radio"/> Demo/New Construction

DATE OF PLANS UNDER REVIEW:	1/5/2018
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PROJECT ISSUES:	
<input type="checkbox"/>	Is the subject Property an eligible historic resource?
<input checked="" type="checkbox"/>	If so, are the proposed changes a significant impact?
Additional Notes:	
Submitted: Supplemental Information for Historic Resource Determination prepared by John Goldman (dated September 23, 2105)	
Proposed project: Remodel (e) 2-story building to include 2-story vertical and horizontal addition at rear of property.	

PRESERVATION TEAM REVIEW:				
Category:		<input checked="" type="radio"/> A	<input type="radio"/> B	<input type="radio"/> C
Individual		Historic District/Context		
Property is individually eligible for inclusion in a California Register under one or more of the following Criteria:		Property is in an eligible California Register Historic District/Context under one or more of the following Criteria:		
Criterion 1 - Event:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 1 - Event:	<input type="radio"/> Yes <input checked="" type="radio"/> No	
Criterion 2 - Persons:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 2 - Persons:	<input type="radio"/> Yes <input checked="" type="radio"/> No	
Criterion 3 - Architecture:	<input checked="" type="radio"/> Yes <input type="radio"/> No	Criterion 3 - Architecture:	<input type="radio"/> Yes <input checked="" type="radio"/> No	
Criterion 4 - Info. Potential:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 4 - Info. Potential:	<input type="radio"/> Yes <input checked="" type="radio"/> No	
Period of Significance:	1893	Period of Significance:	n/a	
		<input type="radio"/> Contributor <input type="radio"/> Non-Contributor		

Complies with the Secretary's Standards/Art 10/Art 11:	<input checked="" type="radio"/> Yes	<input type="radio"/> No	<input type="radio"/> N/A
CEQA Material Impairment to the individual historic resource:	<input type="radio"/> Yes	<input checked="" type="radio"/> No	
CEQA Material Impairment to the historic district:	<input type="radio"/> Yes	<input type="radio"/> No	
Requires Design Revisions:	<input type="radio"/> Yes	<input checked="" type="radio"/> No	
Defer to Residential Design Team:	<input checked="" type="radio"/> Yes	<input type="radio"/> No	


PRESERVATION TEAM COMMENTS:

Based on review of the proposed project Planning Staff find that it will not cause a significant adverse effect on the resource such that the significance of a historic resource would be materially impaired. The proposed project has been reviewed for compatibility of the character-defining features of the subject property at 1267 Rhode Island. Major elements of the proposed project as they relate to the character-defining features include:

1. Vertical and horizontal addition - The third and fourth floor vertical additions have been setback from the primary facade such that they will be minimally visible from the public right of way. Due to the existence of a false Mansard roof on the historic resource, the third floor will only project slightly higher than the existing building and will not be visible from the public right of way. This third floor is setback 7'8" from the building wall. The fourth floor is setback from the primary facade by 28' so as to be largely invisible from most perspectives of the public right of way and only minimally visible from certain angles across the street. The addition will be clad in simple wood siding and will feature a regular fenestration pattern of single-hung windows which is compatible with the character of the resource.

2. Primary facade - The architectural details on the primary facade including the bracketed false Mansard roof, diamond shingles, and decorative woodwork on window and door surrounds will be retained and repaired rather than replaced. The existing wood double-hung windows are also proposed to be repaired rather than replaced. Although the main entrance will feature two doors rather than one, they are located in a configuration compatible with the character of the resource and are detailed as simple wood panel doors.

3. Front yard alterations - The existing wood stair will be rebuilt to meet current code but will follow the same general shape and configuration as the original stair. The retaining wall and bicycle parking will be constructed to resemble the early or original retaining wall visible in a 1916 photo of the subject property. The retaining wall in this photo was made of cast stone or concrete and contained a simple rhythm of panels topped with concrete newel posts framing a wrought iron fence.

Signature of a Senior Preservation Planner / Preservation Coordinator:	Date:
	4/4/18



SAN FRANCISCO PLANNING DEPARTMENT

Historic Resource Evaluation Response

Date: June 7, 2016
Case No.: 2015-013487ENV
Project Address: 1267 Rhode Island Street
Zoning: RH-2 (Residential-house, two family)
40-X Height and Bulk District
Block/Lot: 4217/018
Date of Review: June, 2016 (Part I)
Staff Contact: Justin Greving (Preservation Planner)
(415) 575-9169
justin.greving@sfgov.org

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San Francisco,
CA 94103-2479

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PART I: HISTORIC RESOURCE EVALUATION

Buildings and Property Description

The subject property, 1267 Rhode Island Street, is located on a rectangular shaped lot that totals 25 feet by 100 feet, on the east side of the block between 23rd and 24th streets, in the Potrero Hill neighborhood. 1267 Rhode Island is located with a RH-2 (Residential-house, two family), and a 40-X Height and Bulk District.

The subject property is a single-story over basement wood frame two-family residence constructed circa 1893. Although an original building permit was not located, a water tap hook up was requested by Otto S. Carlson on September 19, 1893, likely indicating the approximate date of the building's completion. Since its construction the property's address has changed from 1231 to 1267 (sometime between 1910 and 1913). A second unit was also added to the house at a later date although this does not appear to have coincided with any addition to the original structure. The house sits on a slightly upward sloping lot behind a substantial retaining wall at the property line. The building is a Stick-Eastlake Victorian-style town home constructed the width of the lot line towards the front of the property with a slightly narrower rear building section, both of which are capped with simple gabled roofs. The primary façade consists of a projecting single-story square bay window to the south (right) paired with a window and door to the north (right) and is capped with a bracketed false mansard roof. Other decorative embellishments include vertical strips at window sides and bracketed window tops with individual roof forms. The subject property also features a number of different material differentiations including diamond patterned shingles above the window brackets and wood studded panels at the bay windows.

The property appears to have undergone very little alterations and the only permitted exterior alterations include reroofing (1997), and replacement of the front stairs (2003 and 2013). A photograph taken of the subject property in 1914 reveals some additional exterior alterations to the property that were not part of the permit record. It appears the existing retaining wall may be partially intact from 1914 however the turned fence posts have been replaced with a more simple concrete post. It is unclear if the fence ironwork dates to the construction of the property or is a close reconstruction of what was there in 1914. A "widow's walk," or decorative iron fencework located at the roofline, was also removed sometime after 1914.

Pre-Existing Historic Rating / Survey

The subject property is not currently listed in any local, state or national historical register, and has not been included in any qualified historic resource survey adopted by the City of San Francisco. 1267 Rhode Island was surveyed as part of the 1976 Architectural Survey which assessed buildings for their architectural merit but not under any other elements of historic significance. The building is considered a "Category B" (Properties Requiring Further Consultation and Review) property for the purposes of the Planning Department's California Environmental Quality Act (CEQA) review procedures due to its age (constructed in 1893).

Neighborhood Context and Description

The subject property is located in San Francisco's Potrero Hill neighborhood, an area roughly bounded by 16th Street to north, U.S. 101 to west, 26th Street to the south, and Interstate 280 to the east. The area immediately surrounding the subject property is almost exclusively residential in character, and primarily composed of single-family dwellings or flats ranging from one- to three-stories in height. Construction dates for buildings located on the subject block range from circa 1890 to 1922, with most buildings constructed between 1899 and 1915. This is reflected in the architecture of the building stock, which includes examples of Italianate, Stick, Queen Anne (most common), vernacular and Edwardian era designs. While the neighborhood is substantially composed of single and multi-family residences, the western portion of the 1200 block of Rhode Island consists of a large-scale housing condominium project constructed in 1989 that replaced a paint factory on the site. Many of the oldest buildings on the block have been altered to varying degrees, most frequently through the removal of ornament and the replacement of the original cladding.

During the Spanish and Mexican periods in San Francisco, Potrero Hill was known as "Potrero Nuevo," or "new pasture," and was used primarily for livestock grazing. Beginning in the late 1860s, however, the waterfront area to the east of Potrero Hill was increasingly developed for industrial uses. By the early 1880s, the Potrero Point area featured the greatest concentration of heavy industrial plants in California, including the Western Sugar Refinery, Arctic Oil Works and the San Francisco Gas Light Company. Largest of all was the Union Iron Works, which employed over 1,000 persons during the 1890s and was the largest shipyard on the West Coast until World War I. Many of the company's employees, which included metal workers, mechanics and shipwrights chose to live on Potrero Hill, and the neighborhood assumed a predominately working-class character.

The western slopes of Potrero Hill also adjoined the Mission District, which developed rapidly as a thriving streetcar suburb between the 1870s and the 1890s. As opposed to the concentration of heavy industry at Potrero Point, the Mission District was much more residential and commercial in nature, and its residents more socioeconomically diverse. Comparisons of historic maps issued in 1881 and 1891 (Bancroft's Official Guide Map of City and County of San Francisco) show that as the Mission District became increasingly built out, new development steadily encroached on the slopes of Potrero Hill. The 1891 map indicates the western portion of the 1200 block of Rhode Island was developed, and by 1899 it was almost completely occupied by the San Francisco Pioneer Varnish Works.

1267 Rhode Island Street is located on a block that reflects the general character of the surrounding neighborhood. The variety of single-family houses and smaller-scale two-story flats completed the east portion of block almost entirely by 1913 while the paint factory would eventually expand to cover the entire block to the west as ownership changed and the remaining houses were demolished for expansion of paint production facilities. The residential portion of neighborhood remained largely unchanged into

the mid to late twentieth century while the paint factory operated as the Dutch Boy Paint Factory before being turned over in 1971 to Synanon, a somewhat notorious alcohol and drug rehabilitation group.¹ When Synanon came into financial trouble in the late 1970s their Potrero Hill facility was one of a number of properties auctioned off by the group in 1979.² The entire site where the paint factory was located was demolished and redeveloped as a residential complex in 1989.

CEQA Historical Resource(s) Evaluation

Step A: Significance

Under CEQA section 21084.1, a property qualifies as a historic resource if it is "listed in, or determined to be eligible for listing in, the California Register of Historical Resources." The fact that a resource is not listed in, or determined to be eligible for listing in, the California Register of Historical Resources or not included in a local register of historical resources, shall not preclude a lead agency from determining whether the resource may qualify as a historical resource under CEQA.

Individual	Historic District/Context
Property is individually eligible for inclusion in a California Register under one or more of the following Criteria:	Property is eligible for inclusion in a California Register Historic District/Context under one or more of the following Criteria:
Criterion 1 - Event: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Criterion 1 - Event: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Criterion 2 - Persons: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Criterion 2 - Persons: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Criterion 3 - Architecture: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Criterion 3 - Architecture: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Criterion 4 - Info. Potential: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Criterion 4 - Info. Potential: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Period of Significance: 1893	Period of Significance: n/a <input type="checkbox"/> Contributor <input type="checkbox"/> Non-Contributor

Based on the information provided in the Supplemental Information for Historical Resource Evaluation prepared by John Goldman (dated September 23, 2015), and information found in the Planning Department files, Planning staff find that the subject building is individually eligible for listing in the California Register under Criterion 3 as a representative example of the Stick-Eastlake Victorian style popular during the end of the nineteenth century. The period of significance is 1893, when the building was completed. The surrounding area was also evaluated for historic district eligibility however there was no identified historic district.

Criterion 1: It is associated with events that have made a significant contribution to the broad patterns of local or regional history, or the cultural heritage of California or the United States.

To be eligible under the event criterion, the building cannot merely be associated with historic events or trends, but must have a specific association to be considered significant. Staff finds that the subject property is not individually eligible for listing in the California Register under Criterion 1 as the property

¹ "Synanon opens house in Potrero," *The Potrero View* April 1, 1971, 1, 4. While Synanon originally started out as a drug rehabilitation program in 1958, it was condemned by the US Government as being an authoritarian cult in the 1980s and was eventually stripped of its status as a tax-exempt non-profit, see, "Charles Dederich, 83, Synanon Founder, Dies," *The New York Times*, March 4, 1997, <http://www.nytimes.com/1997/03/04/us/charles-dederich-83-synanon-founder-dies.html>.

² "Synanon schedules a giant auction," *San Francisco Chronicle*, December 4, 1979, 16.

was one of many homes constructed during the late-nineteenth century to fulfil housing demand for the surrounding neighborhood that included a number of industrial facilities. The subject property does not have a specific important association with the larger patterns of history such that it would be determined eligible under Criterion 1.

The surrounding neighborhood was also evaluated for eligibility as a historic district but did not have any specific associations with patterns of development or events such that it would be eligible for listing under Criterion 1. Although integrity does not imply significance it should also be noted that while the general form of the surrounding housing stock has been maintained, many of the buildings have seen substantial alterations over time that include replacement of original windows and siding, removal of other decorative architectural features, and installation of garages to the ground floor. Also the paint factory that likely provided employment for a significant number of employees in the area is no longer extant.

It is therefore determined that the subject property is not individually eligible for listing under Criterion 1.

Criterion 2: It is associated with the lives of persons important in our local, regional or national past.

The subject property was originally owned and occupied by Otto S. Carlson, a tanner who inherited \$2,000 with the passing of his brother John in 1890.³ With this money Otto purchased the subject lot on Rhode Island from Thomas W. Rivers on July 24, 1892 and on September 19, 1893 applied for a water tap for a two-story 975 square foot building.⁴ Carlson lived the building with wife Henrietta, his son Jessie, daughter-in-law Mary and grandson Robert. After the property was sold off by Carlson it changed hands a number of times and was inhabited by a variety of people with occupations that reflected the general character of this mixed industrial and residential neighborhood, from spring fabricators and cigar makers, to auto mechanics and factory workers. No individuals that lived in or owned 1267 Rhode Island were identified as having historic significance.

Therefore the subject property is not eligible for listing in the California Register under Criterion 2.

Criterion 3: It embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of a master, or possesses high artistic values.

The subject property is an excellent example of a small-scale Stick Eastlake-styled Victorian rowhouse constructed during the late nineteenth century. The Stick Eastlake architectural style is a derivation of the larger period of Victorian architecture popular during the nineteenth and early twentieth century and was of particular prominence in San Francisco in the middle to late nineteenth century. Victorian architecture in the United States constructed in wood relied heavily on innovations in "balloon frame" technology whereby nailed joints of narrower "two-by-four" wood timbers replaced the larger hewn and pegged joints of the previous braced frame construction. Because this new framing technology no longer relied on sturdy framing systems running the horizontal and vertical length of buildings, individual floorplates could project and recede from the building envelope allowing for an increased variety in exterior building shapes and volumes. While other Victorian styles also capitalized on this technological innovation, the Stick Eastlake style townhouse became an extremely popular style in San Francisco and is characterized by the use of off-set projecting square bay windows oftentimes paired with a prominent

³ "Probate Business," *Daily Alta California*, vol. 83, no 172, December 19, 1890.

⁴ "Real Estate Transfers," *San Francisco Chronicle*, July, 24, 1892, 23.

false mansard roof, and incorporation of elaborate turned and sawn wood details. The increased variety in building planes and projections also coincided with a more creative patterning of these individual projecting planes. Oftentimes each plane was differentiated from one another through the use of different shaped and patterned shingles and elaborate carved decorative embellishments. With an off-set square bay window, bracketed false mansard roof, and elaborately carved window and door surrounds, the subject property is an excellent example of the Stick Eastlake Victorian style townhouse that became popular in San Francisco during the latter part of the nineteenth century.

The surrounding area was also evaluated to determine if it comprised a California Register-eligible historic district. The neighborhood has seen a number of alterations to the original buildings such that it would not comprise a historic district.

Therefore the subject property is individually eligible for listing in the California Register under Criterion 3.

Criterion 4: It yields, or may be likely to yield, information important in prehistory or history.

Based upon a review of information in the Departments records, the subject property is not significant under Criterion 4, which is typically associated with archaeological resources. The building is also unlikely to yield information important to history, such as evidence of unique building materials or methods.

It is therefore determined that 1267 Rhode Island Street is not eligible for listing in the California Register under Criterion 4.

Step B: Integrity

To be a resource for the purposes of CEQA, a property must not only be shown to be significant under the California Register of Historical Resources criteria, but it also must have integrity. Integrity is defined as "the authenticity of a property's historic identity, evidenced by the survival of physical characteristics that existed during the property's period of significance." Historic integrity enables a property to illustrate significant aspects of its past. All seven qualities do not need to be present as long the overall sense of past time and place is evident.

The subject property retains integrity from the period of significance noted in Step A:

Location: ☒ Retains ☐ Lacks
Association: ☒ Retains ☐ Lacks
Design: ☒ Retains ☐ Lacks
Workmanship: ☒ Retains ☐ Lacks

Setting: ☒ Retains ☐ Lacks
Feeling: ☒ Retains ☐ Lacks
Materials: ☒ Retains ☐ Lacks

1267 Rhode Island Street retains a high degree of integrity from its period of significance such that it is eligible for listing in the California Register.

Step C: Character Defining Features

If the subject property has been determined to have significance and retains integrity, please list the character-defining features of the building(s) and/or property. A property must retain the essential physical features that enable it to convey its historic identity in order to avoid significant adverse impacts to the resource. These essential features are those that define both why a property is significant and when it was significant, and without which a property can no longer be identified as being associated with its significance.

Character-defining features of 1267 Rhode Island Street include:

- One-story over basement Stick Eastlake townhouse with a projecting square bay window paired with an adjacent window and entrance
- Decorative Stick-Eastlake details including, bracketed false mansard roof, diamond shingles in select areas of primary façade
- Decorative woodwork on window and door surrounds including vertical strips at windows sides and bracketed window tops with individual roof forms
- Original double-hung wood sash windows
- Location of straight wood stairway
- Prominent front upward sloping setback and location of retaining wall at property line

CEQA Historic Resource Determination

- ☒ Historical Resource Present
- ☒ Individually-eligible Resource
- ☐ Contributor to an eligible Historic District
- ☐ Non-contributor to an eligible Historic District

☐ No Historical Resource Present

PART I: SENIOR PRESERVATION PLANNER REVIEW

Signature: Tina Tam
Tina Tam, Senior Preservation Planner

Date: 6-20-2016

cc: Ella Samonsky, Small Projects Team, Current Planning



1267 Rhode Island Street, view E of primary façade/west elevation, (Google Street view)



1267 Rhode Island Street, detail view NE of primary façade/west elevation, (Detail from "Streetcar 625 at 24th Street and Rhode Island Street, June 15, 1914," Image Courtesy of SFMTA Photo | stmta.com)

APPLICATION FOR Discretionary Review

1. Owner/Applicant Information

DR APPLICANT'S NAME:		
Hugo Buret		
DR APPLICANT'S ADDRESS:	ZIP CODE:	TELEPHONE:
1261 rhode island st	94107	(415) 203-6916

PROPERTY OWNER WHO IS DOING THE PROJECT ON WHICH YOU ARE REQUESTING DISCRETIONARY REVIEW NAME:		
Golden Properties		
ADDRESS:	ZIP CODE:	TELEPHONE:
2170 SUTTER ST	94115	(415) 440-0404

CONTACT FOR DR APPLICATION:		
Same as Above <input checked="" type="checkbox"/> <input type="checkbox"/>		
ADDRESS:	ZIP CODE:	TELEPHONE:
		()
E-MAIL ADDRESS:		
hugoburet@gmail.com		

2. Location and Classification

STREET ADDRESS OF PROJECT:		ZIP CODE:
1267 Rhode island st		94107
CROSS STREETS:		
23rd and 24th streets		

ASSESSORS BLOCK/LOT:	LOT DIMENSIONS:	LOT AREA (SQ FT):	ZONING DISTRICT:	HEIGHT/BULK DISTRICT:
4217 /018	N/A	N/A	RH-2 / 40-X	36 feet height / 25f rear

3. Project Description

Please check all that apply

Change of Use ☐ Change of Hours ☐ New Construction ☐ Alterations ☒ Demolition ☐ Other ☒

Additions to Building: Rear ☒ Front ☐ Height ☒ Side Yard ☐

Present or Previous Use: 2 story existing two family residence.

Proposed Use: Horizontal and 2 story vertical rear addition to a 2 story existing two-family residence.

Building Permit Application No. 2015.0928.8194

Date Filed: 10/7/2015

Discretionary Review Exhibits

Project: 1267 Rhode Island st

Permit: 2015.0928.8194

Primary concern: Extraordinary height and entirely "out of context" size relative to the surrounding neighborhood. The proposed building is filling up the entire backyard with a modern 3 story apartment building simply set behind the original facade - yet all the adjacent houses are 2 stories, and have open space.

EXHIBIT A

Primary reasons for triggering the discretionary review.

1. **Site Design, Rear Yard Expansion (Paragraph III. Site Design, page 16 of Residential Guidelines, and Section 101 of Planning Code).**
 - Due to the extraordinary height (3 stories above grade, 4 total) and rear-yard expansion (several feet further than any of the other properties), all surrounding neighbors (see list in Exhibit B) are expressing severe privacy impacts. In some cases completely obstructing light and air.
 - For example, the current only source of light for 1273 Rhode Island st (ground floor unit, owner: Sharon Heckel) would be completely obstructed.
 - For example, there are direct views into the kitchen and back of home of 1261 Rhode Island st, as well as severe privacy impacts, and light/space/air blockage.
2. **Building Scale and Form (Paragraph IV. Building Scale and Form, page 23 and 25 of Residential Guidelines).**
 - The proposed building expansion into the rear yard is uncharacteristically deep and tall, and additionally, completely out of context of the other buildings that define the mid-block open space.
 - The rear-yard 3 story expansion also significantly encroaches on the mid-block space: this 'out-of-scale' expansion leaves the surrounding neighbors feeling 'boxed-in' and cut-off from air, light and trees in the mid-block space.
3. **Impact on Neighborhood Character (II. page 7 of Residential Guidelines):** the proposed building's scale is not compatible with surrounding buildings or the neighborhood character.
 - The block pattern: the proposed building encroaches significantly into the mid-block space, which contradicts the residential guidelines to leave the center of the block open for rear yards and open space.

4. Impact on Architectural features (Paragraph V. page 31 of Residential Guidelines):

- the building's rear facade width is not compatible with those found on surrounding buildings: the incompatibility stems from the fact that the neighborhood is on a steep hill and the 'bulk' of surrounding buildings are on the front, not the rear. The result of this is that the proposed building is an incongruous 3 story 'tower' 'sticking' out of context on the rear-yard.

5. Impact on Potential Historic (Paragraph VI. page 49 of Residential Guidelines):

- The alterations are on the proposed building are inappropriate to the overall historic building form. While the front facade seems to be respected, all other details, including form and roof-line have been ignored.

Additional arguments related to the Planning's code priority policies:

- Existing housing and neighborhood character should be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

Additional EXHIBIT: Proposed modifications

Reduce the height <u>and</u> depth of the building. Top story to be removed.
Reduce the footprint of the proposed building or addition: reduce rear depth.

EXHIBIT B

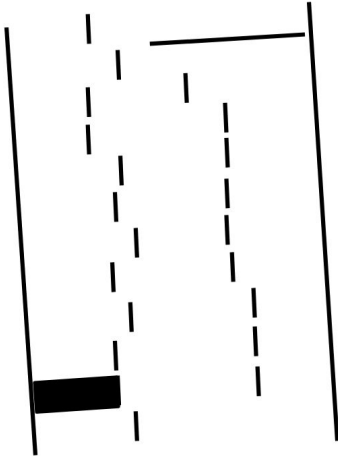
List of impacted neighbors and concerns.

Neighbors impacted	Address	Concerns & Comments
Hugo Buret	1261 Rhode Island st	Direct privacy impact on rear, block of light, no compatibility with surrounding building or block.
Clinton Smith and Helen Yu	1275 Rhode Island st	Direct privacy impact, proposed height of building + depth into backyard will be imposing and will significantly darken/shade our currently open courtyard.
Jake Stangel	1273A Rhode Island st	Direct privacy impact, proposed height of building + depth into backyard will be imposing and will significantly darken/shade our currently open courtyard.
Sharon Heckel	1273 Rhode Island st	Significant blockage of light - this is my only light source on the north side of my ground-floor unit. Privacy impact with the rear courtyard.
Jordan and Dana Schachter	1255 Rhode Island st	Block pattern not respected, building design and architectural impact on neighborhood.
Tom and Kathi Enderes	1243 Rhode Island st	Block pattern not respected, building design and architectural impact on neighborhood.
Mark and Bridget Arnold	1249 Rhode Island st	Extraordinary height and entirely "out of context" size of building. Block pattern not respected, building design and architectural impact on neighborhood.
Annabrooke and Craig Temple	1250 de Haro st	Block pattern not respected, building design and architectural impact on neighborhood.

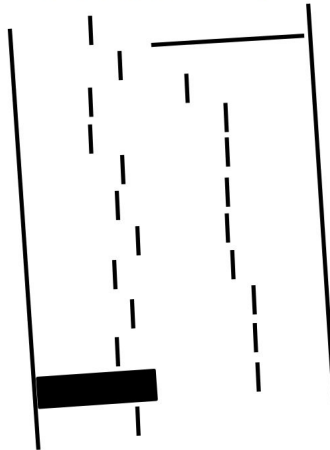
EXHIBIT C

Mid-block pattern / aerial view (current and proposed)

Current Mid-block pattern, with current outline of 1267 Rhode Island st (based off Google street view).



Mid-block pattern with expansion of 1267 Rhode Island st (based off Google street view).



Mid-block pattern if all properties were allowed the same expansion plans (based off Google street view).

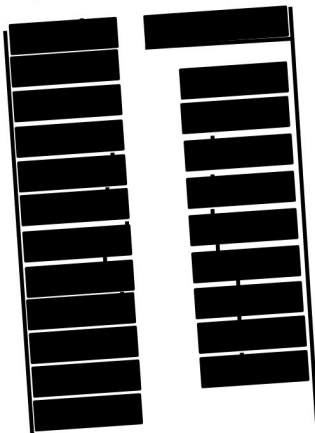


EXHIBIT D

Supporting privacy impacts and mid-block (rear-yard) concerns.

Size / impact of proposed structure on Mid-block space near surrounding buildings.



Proposed building: privacy impacts on neighborhood.



Direct privacy impact on 1261 Rhode Island st, from proposed building 3rd story (windows or terrace)



Direct privacy impact on 1273 Rhode Island st, from proposed building 3rd story (windows)



Current view from 1273 Rhode Island st, that would be impacted (mid-block space view would disappear).



Current rear structures for 1267 and 1261 Rhode Island st (historical rear structures).



Current only source of light for 1273 Ground unit (owner: Sharon Heckel) that proposed building would obstruct completely.



Response to Discretionary Review (DRP)

Project Information:

Property Address: 1267 Rhode Island St. Zip Code: 94107

Record Number: 2015-013487DRP Assigned Planner: Ella Samonsky

Project Sponsor:

Golden Properties

2170 Sutter St., San Francisco, CA 94115

Authorized Agent for the Project Sponsor:

John Goldman / Goldman Architects Phone: 415-391-1339 ext. 104

Email: john@goldmanarchitects.com

Required Questions:

Given the concerns of the DR requester and other concerned parties, why do you feel your proposed project should be approved? AND

What alternatives or changes to the proposed project are you willing to make in order to address the concerns of the DR requestor and other concerned parties? If you have already changed the project to meet neighborhood concerns, please explain those changes and indicate whether they were made before or after filing your application with the City.

I had one meeting with Hugo Buret at the office of Goldman Architects prior to his filing of the Discretionary Review request. Hugo represents his own property directly to the north at 1261 Rhode Island and also has communicated the concerns of the other nearby neighbors. I also had one additional meeting with Hugo Buret and David Winslow at the Planning Department 4th floor conference room after Hugo filed his DR request. At both meetings, the primary concern expressed by Hugo was the Fourth Floor of the project. Hugo felt that the Fourth Floor could shade his rear yard and intruded too much into the mid-block open space. Therefore, Hugo asked us to entirely eliminate the Fourth Floor.

I explained to Hugo that we would have preferred to move the entire Fourth Floor closer to the front façade, which would greatly lessen the impact of the Fourth Floor on his rear yard, but we were previously told by Justin Greving in Historic Preservation that he wanted a 28' setback from the existing front façade to the front façade of the Fourth Floor addition. After David Winslow spoke to Justin, Justin allowed us to move the fourth floor as much as 8' to the west, towards the street. We have now moved the Fourth Floor closer towards the street. In addition to moving the Fourth Floor towards the west, we eliminated the roof deck and guardrails which were formerly located on top of the Fourth Floor. Those guardrails increased the apparent height of the Fourth Floor. I spoke to neighbors who live in the building to the south: they expressed concern regarding the type of guardrail we planned to use, and how it would impact their view towards the north. That neighbor's top floor windows would have had an eye level view of the deck's guardrails. By eliminating the Fourth Floor roof deck, their view is no longer significantly impacted and the overall visual impact of the Fourth Floor is diminished.

By moving the Fourth Floor towards the street, and eliminating its roof deck, both of which lessen the impact of the Fourth Floor on Hugo Buret's rear yard and on the mid-block open space, we feel that the

new design is a good compromise between Hugo's request to entirely eliminate the Fourth Floor and the original design and position of the Fourth Floor and its roof deck.

The other issues Hugo brings up in his DR request are of lesser importance to him, based on our meetings. He mentions the height of the top of the Fourth Floor. Therefore, we lowered its height by about 1' compared to our original design, in addition to eliminating its roof deck with its 3'-6" high guardrails. Hugo also mentioned issues of privacy; in response, besides moving the Fourth Floor towards the front, at the Fourth Floor we now have north facing windows with high sills along the 6' length wall which extends past his rear wall. The sill of those windows are high enough to eliminate views into his yard.

Hugo also mentioned that he has general concerns about the building having too much impact on the mid-block open space, but I disagree with him on that issue. Our rear yard has a 25% setback, which is 25', setback at the lower two stories, but the lowest story is entirely below rear yard grade and the second story is half a story below grade, greatly lessening the lower two stories' impact on the mid-block open space. The home's Third Floor is set back 6'-8" from the Second Floor, which aligns it within 1' from the rear wall of the home to the south at 1275 Rhode Island. And now, with our proposed Fourth Floor revision, the rear wall of our Fourth Floor is set back 6' from the rear wall of the Third Floor. The rear wall of the Fourth Floor formerly aligned with the rear wall of the Third Floor. The rear wall of the Fourth Floor is now about 6' east of the rear wall of Hugo's home, whereas it was formerly 12' east of Hugo's rear wall. This not only lessens the visual impact when viewed from Hugo's rear yard, it decreases the shading from the Fourth Floor on Hugo's yard.

Hugo was concerned that this project would create too much shadow on his rear yard. We provided a shadow study to him of our project's shadows during Dec. 21; March 21 and Sept. 21; and June 21. The shadow impact due to our project was not much compared to the existing conditions. The home to the south, at 1275 Rhode Island, is taller than our proposed building and it has a significant shadow impact on his yard. The additional shadows due to our project would occur from about 2:00 PM to 4:00 PM on March 21 and September 21. During June 21st the proposed building has nearly no additional shadow impact. The Dec. 21st impact is also almost no additional shadow on Hugo's yard because the tall 1275 Rhode Island building to the south already shades Hugo's yard in the winter.

If you are not willing to change the proposed project. . . .

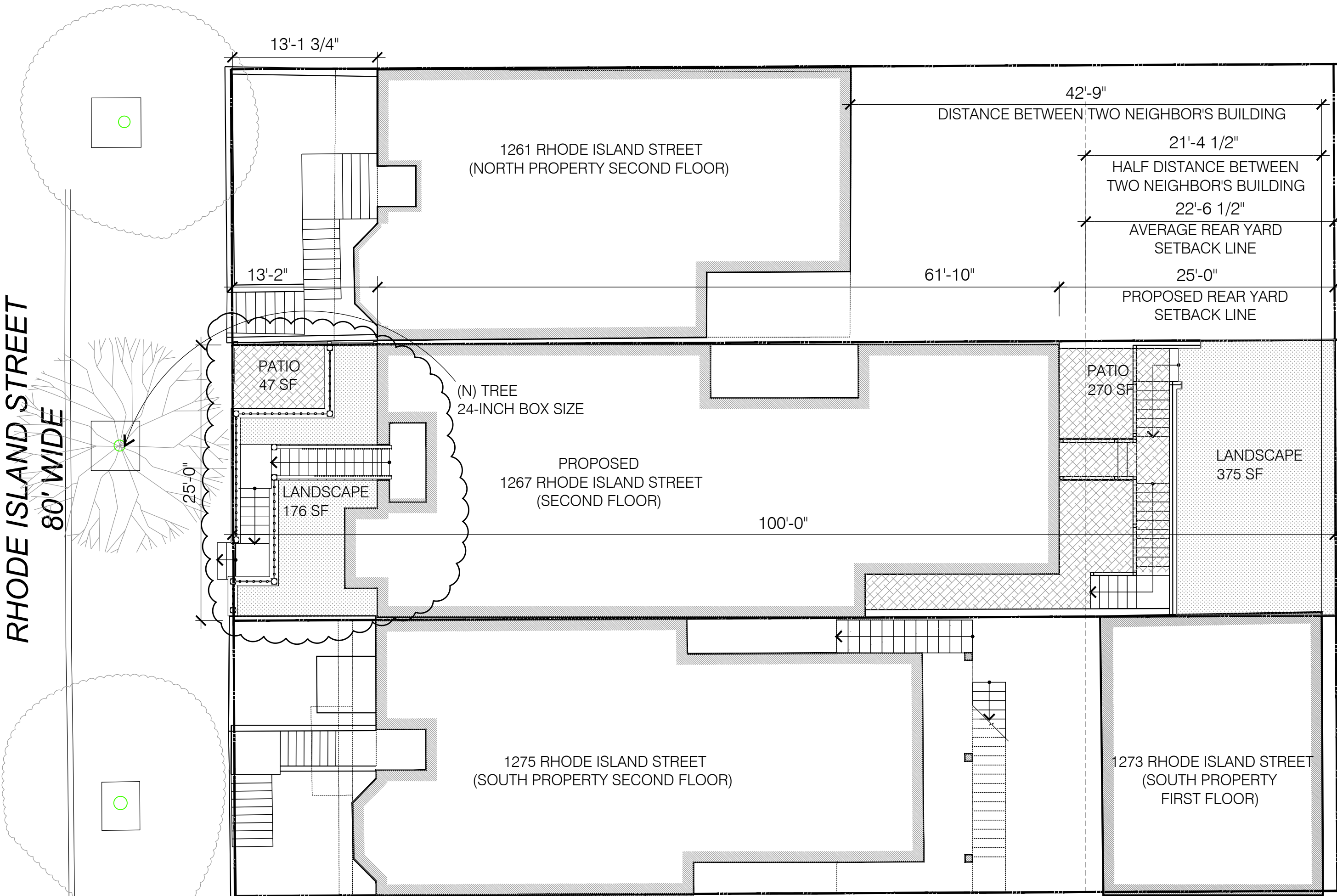
As noted, we are willing to change the proposed project, and have done so as described above.

1267 RHODE ISLAND INFORMATION:

PROPERTY AREA 25' X 100' = 2,500 SF

BUILDING FOOTPRINT = 1,395 SF

FRONT SETBACK AREA = 322 SF
REAR YARD SETBACK MIN. = 25'-0"
AVERAGE REAR YARD PROPOSED = 25'-0"



FIRE HYDRANT LOCATIONS



SF PLANNING CODE PRIMARY ISSUES :

SECTION 132. FRONT SETBACKS AREA: EXISTING SETBACK AREA 322 SF, NO CHANGE.

(g) LANDSCAPING AND PERMEABLE SURFACES:
322 SF EXISTING FRONT SETBACK AREA;
PER SECTION 136(c)(14) STAIRS SHALL BE EXCLUDED FROM THE FRONT SETBACK AREA USED TO CALCULATE THE REQUIRED LANDSCAPE AND PERMEABLE SURFACE AREA. STAIR AREA= 88 SF
322 SF-88SF = 234 SF MIN. 20% OF (E) SETBACK AREA SHALL BE AND REMAIN UNPAVED = 46.8 SF
NEW LANDSCAPE PROVIDED = 176 SF

(h) PERMEABLE SURFACES: 47 SF PATIO @ BICYCLE STORAGE + 270 SF PATIO @ LOWER UNIT PAVING TO BE PAVER BLOCKS WITH GRAVEL JOINTS FOR PERMEABILITY. SYSTEM TO BE AT LEAST 50% PERMEABLE, SEE A2.1.

SECTION 133 SIDE YARD: FOR LOTS WITH A WIDTH OF LESS THAN 28 FEET: NONE.

SECTION 134 REAR YARD: RH-2, THE MINIMUM REAR YARD MAY NOT BE REDUCED TO LESS THAN A DEPTH EQUAL TO 25 PERCENT OF THE TOTAL DEPTH OF THE LOT ON WHICH THE BUILDING IS SITUATED, OR TO LESS THAN 15 FEET, WHICHEVER IS GREATER.

GENERAL RULE. IN SUCH DISTRICTS, THE FORWARD EDGE OF THE REQUIRED REAR YARD SHALL BE REDUCED TO A LINE ON THE SUBJECT LOT, PARALLEL TO THE REAR LOT LINE OF SUCH LOT, WHICH IS AN AVERAGE BETWEEN THE DEPTHS OF THE REAR BUILDING WALLS OF THE TWO ADJACENT BUILDINGS, OR 25% OF THE LOT DEPTH, WHICHEVER IS GREATER.

SECTION 135. USABLE OPEN SPACE REQUIREMENTS FOR DWELLING UNITS: MIN. OPEN SPACE FOR DWELLING UNITS IN RH-2 DISTRICT IS 125 SF FOR EACH DWELLING UNIT IF ALL PRIVATE OR A COMMON RATION OF 1.33 TOTALING 166.25 SF IF COMMON USABLE OPEN SPACE.

OPEN SPACE FOR LOWER TOWN HOUSE PROVIDED = 270 SF + 375 SF = 645 SF, SEE A2.2, A2.3.
OPEN SPACE FOR UPPER TOWN HOUSE PROVIDED = 91 SF + 168 SF + 327 SF + 332 SF = 918 SF, SEE 2.4, 2.5 & A2.6.

SECTION 138.1. STREETScape AND PEDESTRIAN IMPROVEMENTS: A MINIMUM OF ONE TREE OF 24-INCH BOX SIZE FOR EACH 20 FEET OF FRONTAGE OF THE PROPERTY ALONG EACH STREET OR ALLEY, WITH ANY REMAINING FRACTION OF 10 FEET OR MORE OF FRONTAGE REQUIRING AN ADDITIONAL TREE. SUCH TREES SHALL BE LOCATED EITHER WITHIN A SETBACK AREA ON THE LOT OR WITHIN THE PUBLIC RIGHT-OF-WAY ALONG SUCH LOT. PROVIDED ONE TREE OF 24-INCH BOX SIZE, SEE A1.1 & A2.1.

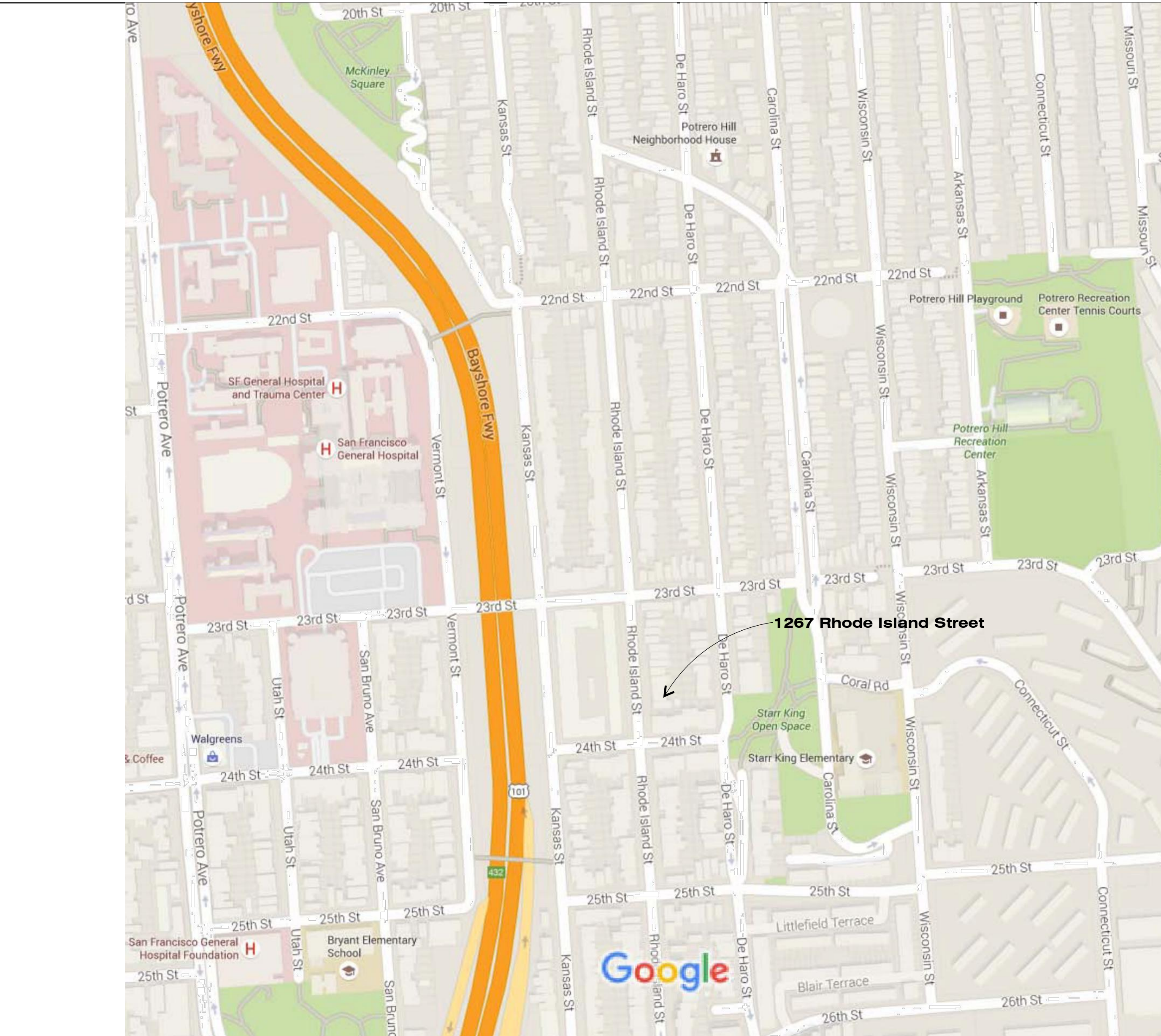
SECTION 139. STANDARDS FOR BIRD-SAFE BUILDINGS: PROVIDED BALCONIES HAVE GLAZED SEGMENTS MAX. 10.0 SF SIZE, SEE A3.1, A3.2, A3.3 & A3.4.

SECTION 140. ALL DWELLING UNITS IN ALL USE DISTRICTS TO FACE ON AN OPEN AREA: IN EACH DWELLING UNIT THE REQUIRED WINDOWS OF AT LEAST ONE ROOM THAT MEETS THE 120-SQUARE-FOOT MINIMUM SUPERFICIAL FLOOR AREA REQUIREMENT SHALL FACE DIRECTLY ON AN OPEN AREA: A PUBLIC STREET, PUBLIC ALLEY OF AT LEAST 25 FEET IN WIDTH, SIDE YARD AT LEAST 25 FEET IN WIDTH, OR REAR YARD MEETING THE REQUIREMENTS OF THIS CODE, SEE A2.2, A2.3, A2.4 & A2.5.

SECTION 155.5. BICYCLE PARKING REQUIRED FOR RESIDENTIAL USES: FOUR (4) BICYCLE PARKING PROVIDED FOR 2 DWELLING UNITS, SEE BICYCLE STORAGE PLAN A2.1.

SECTION 261. ADDITIONAL HEIGHT LIMITS APPLICABLE TO CERTAIN USE DISTRICT: NO PORTION OF A DWELLING IN ANY RH-2 DISTRICT SHALL EXCEED A HEIGHT OF 40 FEET. SINCE THE REAR PROPERTY LINE IS GREATER THAN 20' ABOVE THE FRONT PROPERTY LINE, THE 30' FRONT HEIGHT LIMIT FOR THE FIRST 10' PER SECTION 261.(C), DOES NOT APPLY. AT 1267 RHODE ISLAND THE REAR PROPERTY LINE IS 21'-0" ABOVE THE FRONT PROPERTY LINE, SEE A3.2, A3.4, A3.5 & A3.6.

VICINITY MAP



ISSUES
08-21-15 SITE PERMIT
11-16-15 SITE PERMIT REVISION
12-21-15 SITE PERMIT REVISION
1-5-18 SITE PERMIT REVISION
7-31-18 SITE PERMIT REVISION



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415-621-3393 f

1267 RHODE ISLAND STREET
SAN FRANCISCO, CA 94107

PLANNING CODE REVIEW

Date:	08-21-15
Scale:	1/4" = 1'-0"
Drawn:	GD
Job:	1408
Sheet	A0.1



1261 RHODE ISLAND STREET 1267 RHODE ISLAND STREET 1275 RHODE ISLAND STREET



FRONT/WEST ELEVATION- 1267 RHODE ISLAND STREET



REAR/EAST ELEVATION- 1267 RHODE ISLAND STREET



1275 RHODE ISLAND STREET 1275 RHODE ISLAND STREET 1261 RHODE ISLAND STREET



REAR YARD - VIEW TOWARDS 1275 RHODE ISLAND STREET



REAR YARD - VIEW TOWARDS 1275 RHODE ISLAND STREET



REAR YARD - VIEW TOWARDS 1275 RHODE ISLAND STREET



REAR YARD - VIEW TOWARDS 1261 RHODE ISLAND STREET



REAR YARD - VIEW TOWARDS 1261 RHODE ISLAND STREET



REAR YARD - VIEW TOWARDS 1261 RHODE ISLAND STREET

ISSUES	
08-21-15 SITE PERMIT	
11-16-15 SITE PERMIT REVISION	
12-21-15 SITE PERMIT REVISION	
1-5-18 SITE PERMIT REVISION	3
7-31-18 SITE PERMIT REVISION	4

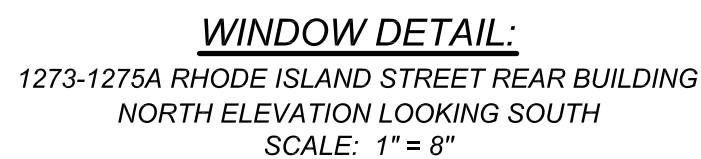
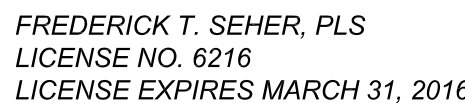
**GOLD
MAN**
ARCHITECTS

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SAN FRANCISCO, CA 94107

(E) CONDITION PHOTOS

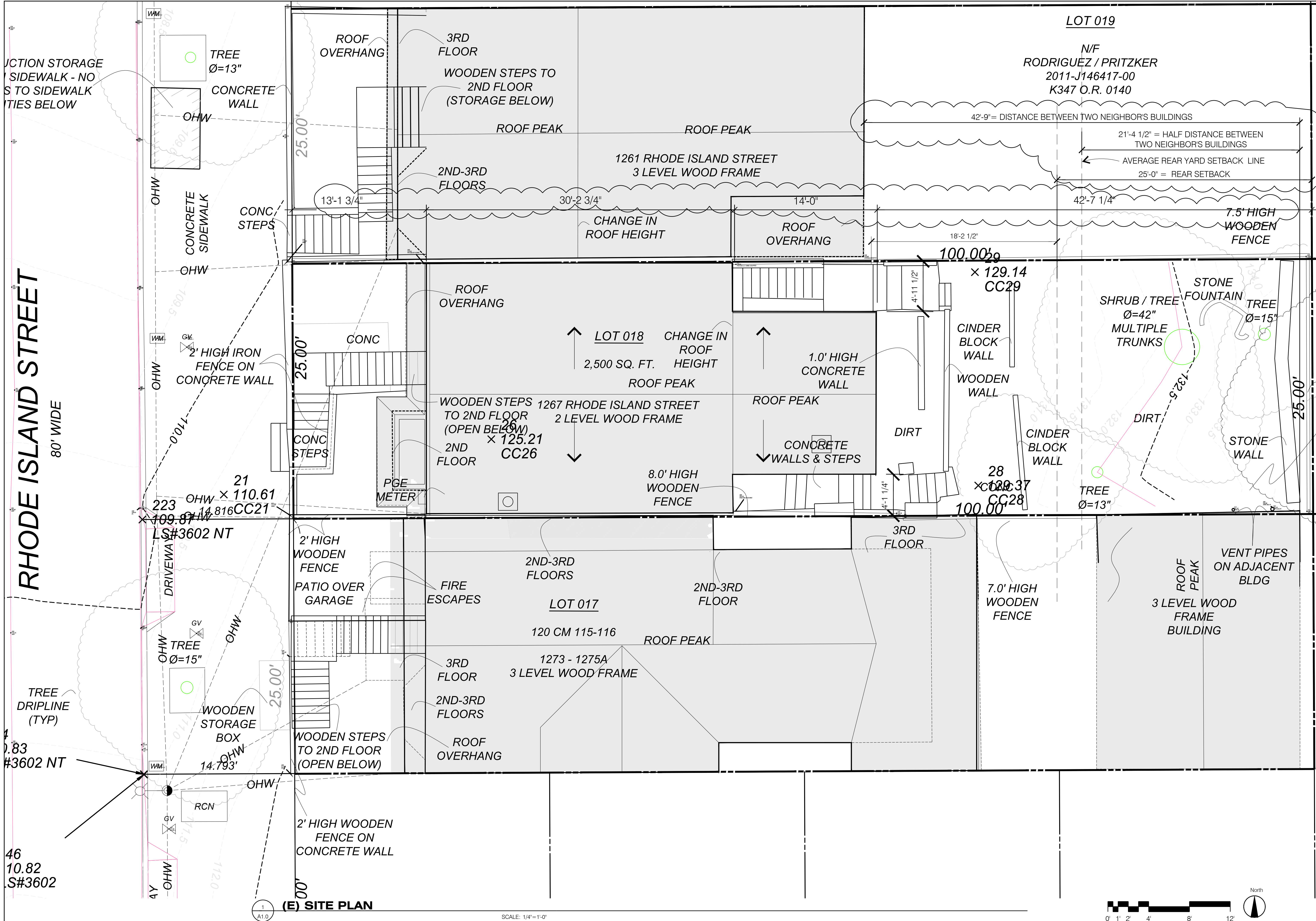
Date:	08-21-15
Scale:	1/4"= 1'-0"
Drawn:	GD
Job:	1406
Sheet	A0.2

 WATER METER

24TH STREET
66' WIDE

SHEET
1
OF 1 SHEETS

JOB NO. :
1863-15



ISSUES	
08-21-15	SITE PERMIT
11-16-15	SITE PERMIT REVISION
12-21-15	SITE PERMIT REVISION
1-5-18	SITE PERMIT REVISION
7-31-18	SITE PERMIT REVISION

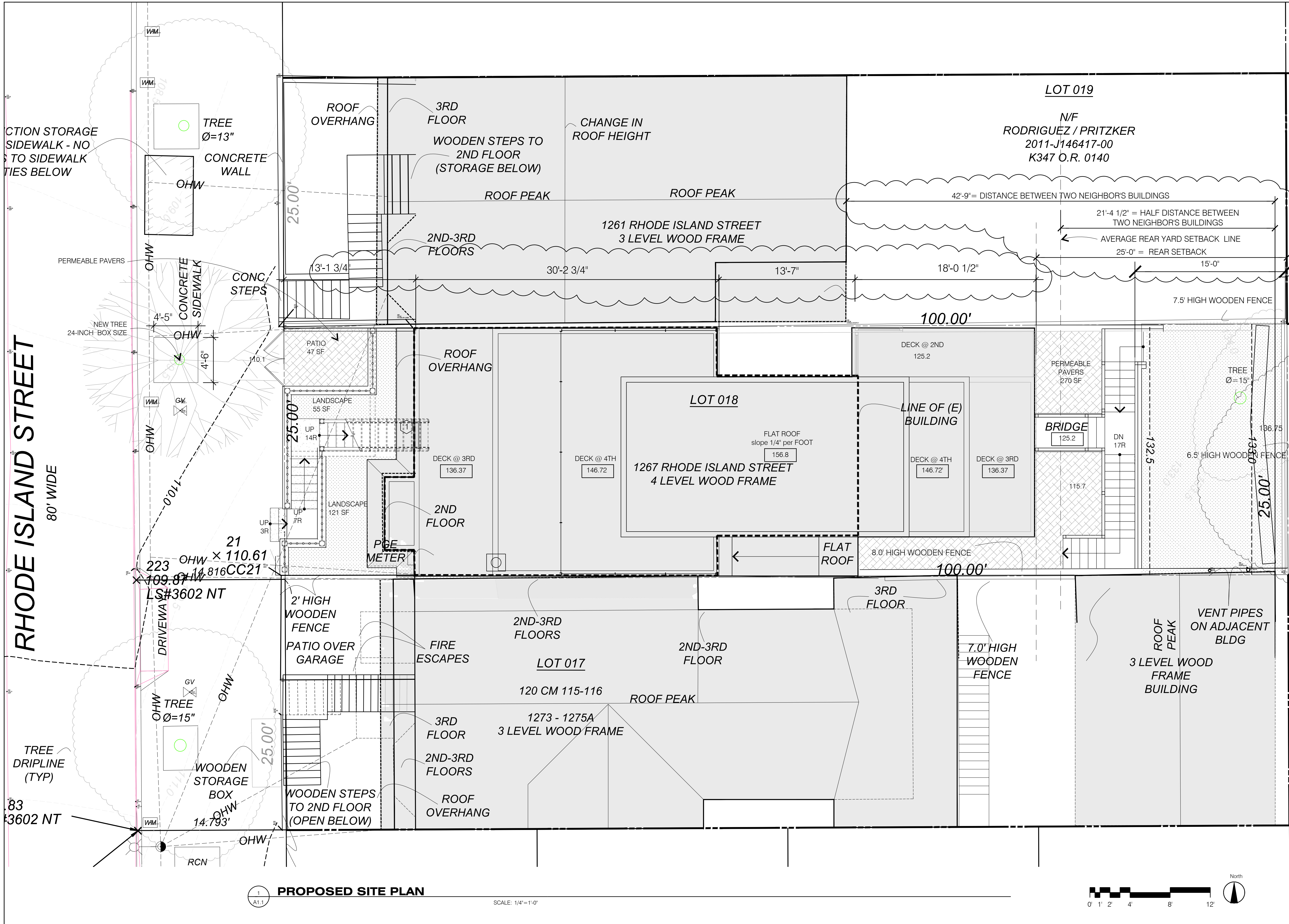
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(E) SITE PLAN

Date:	08-21-15
Scale:	1/4"=1'-0"
Drawn:	GD
Job:	1408
Sheet	A1.0



ISSUES	
08-21-15 SITE PERMIT	
11-16-15 SITE PERMIT REVISION	
12-21-15 SITE PERMIT REVISION	
1-5-18 SITE PERMIT REVISION	3
7-31-18 SITE PERMIT REVISION	4



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PROPOSED SITE PLAN

Date:	08-21-15
Scale:	1/4"=1'-0"
Drawn:	GD
Job:	1406
Sheet	A1.1

ISSUES	
08-21-15	SITE PERMIT
11-16-15	SITE PERMIT REVISION
12-21-15	SITE PERMIT REVISION
1-5-18	SITE PERMIT REVISION
7-31-18	SITE PERMIT REVISION

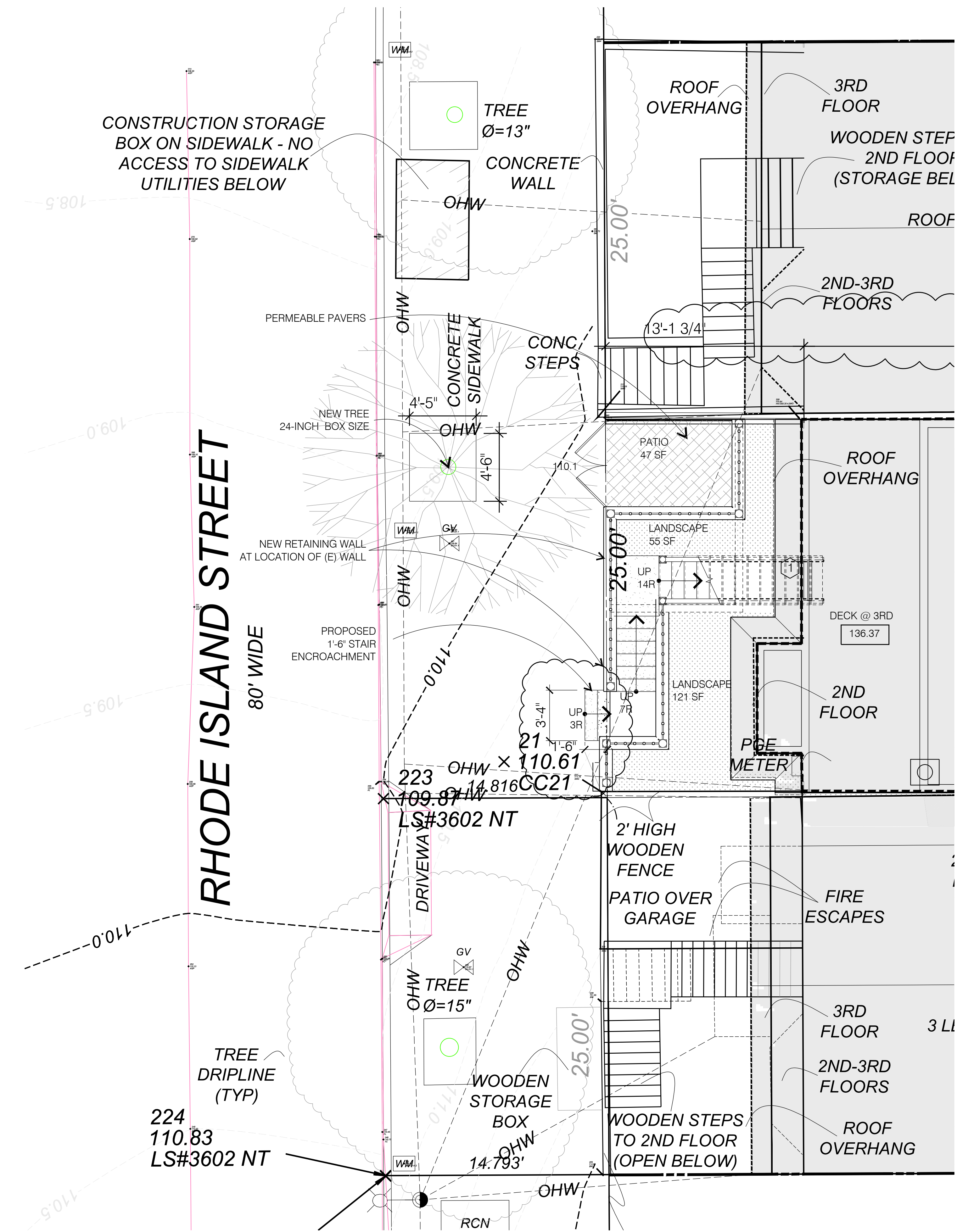


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415-391-1339
415-621-3393 f

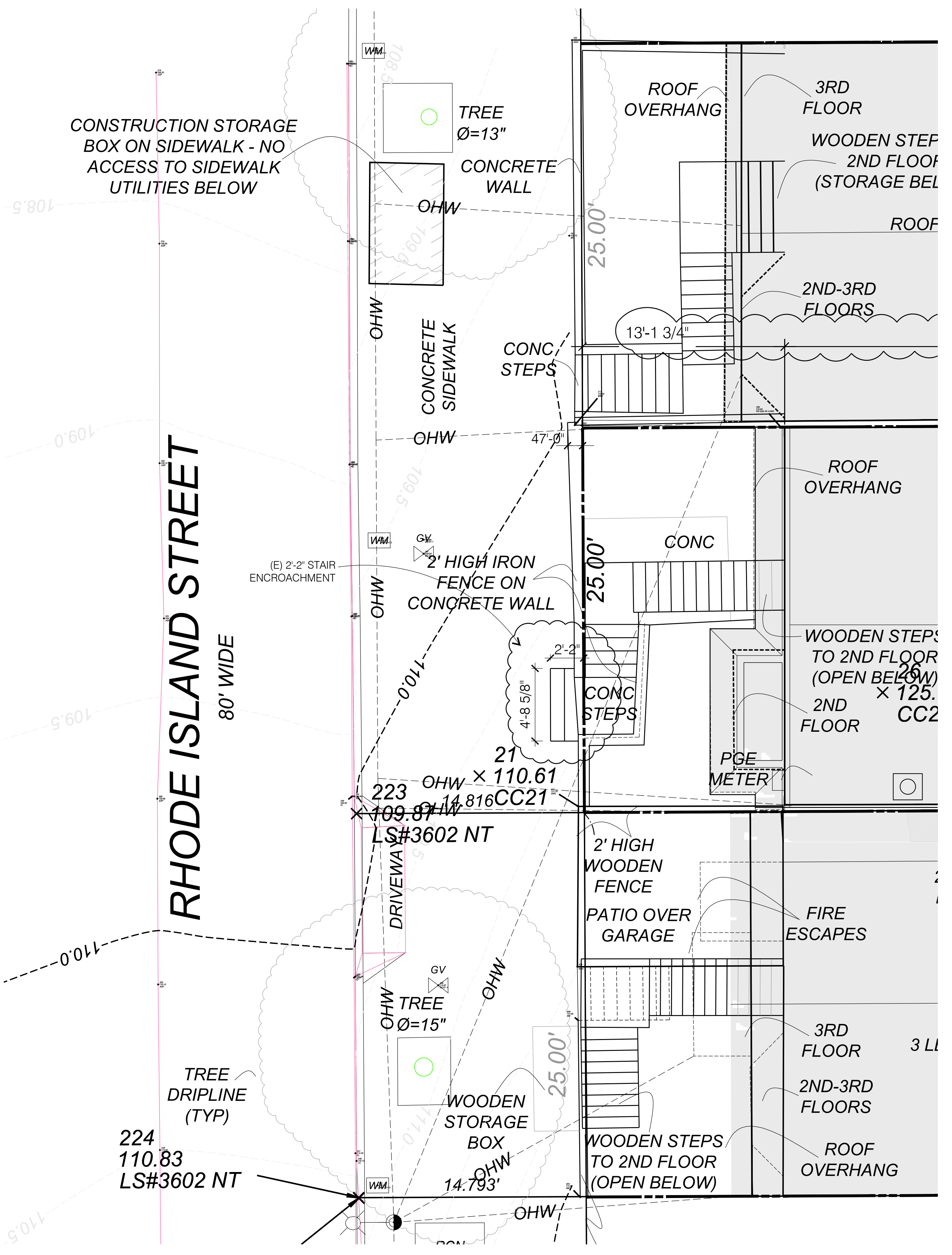
1267 RHODE ISLAND STREET
SAN FRANCISCO, CA 94107

SIDEWALK ENCROACHMENT PLAN

Date:	08-21-15
Scale:	1/4"=1'-0"
Drawn:	GD
Job:	1406
Sheet	A1.2



2 PROPOSED SIDEWALK ENCROACHMENT PLAN
SCALE: 1/4"=1'-0"



1 (E) SIDEWALK ENCROACHMENT PLAN
SCALE: 1/4"=1'-0"



RHODE ISLAND STREET

80' WIDE

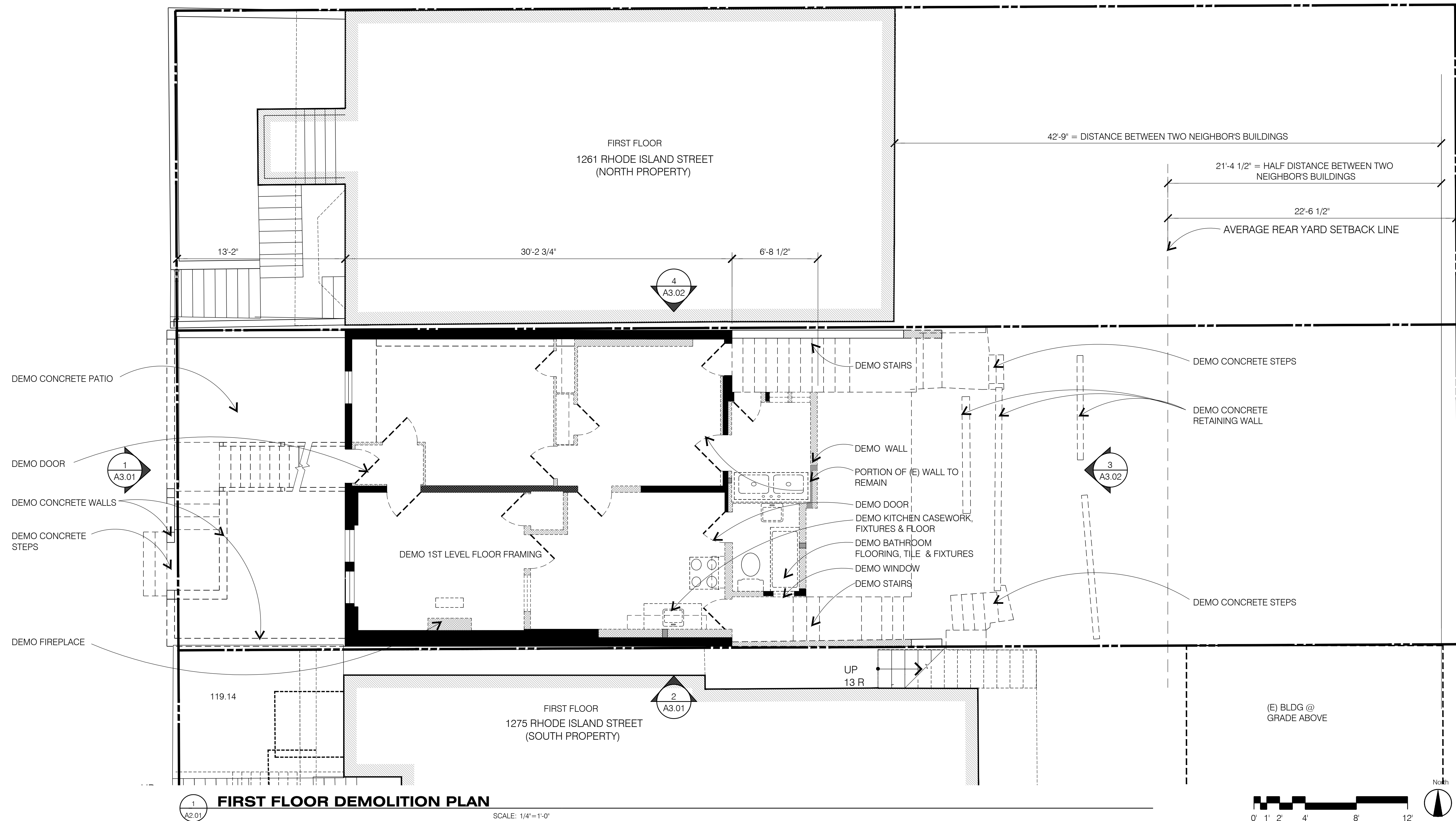
LEGEND

- EXISTING TO DEMO/ REMOVE
--- EXISTING WALL TO REMAIN
--- EXISTING WALL TO DEMO/REMOVE

(E) FIRST FLOOR PLAN: 759 NET SQ.FT.
848 GROSS SQ.FT.

NOTES:

- ALL FINISH FLOOR MATERIAL TO BE REMOVED AS A PART OF THIS DEMOLITION PROCEDURE AND WHICH ARE DEEMED POTENTIALLY REUSABLE, SHALL BE CAREFULLY REMOVED AND STORED FOR FUTURE REUSE. CONTRACTOR SHALL CREDIT OWNER THE DETERMINED VALUE OF SUCH MATERIAL IF CONTRACTOR KEEPS THE MATERIALS.
- ADJACENT PROPERTIES ARE TO REMAIN UNDISTURBED.
- EXISTING WALLS SHOWN ON THE PLAN TO REMAIN. IF NEEDED PATCH & REPAIR TO MATCH (E).
- EXTERIOR FINISHES TO REMAIN, UNLESS OTHERWISE NOTED.
- THE EXISTING CONDITIONS IN THE CONSTRUCTION DOCUMENTS ARE BASED FROM THE AS-BUILT DRAWINGS. ANY DISCREPANCIES BETWEEN THESE DOCUMENTS AND THE ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING.
- ALL EXISTING DIMENSIONS ARE FROM FACE OF FINISH TO FACE OF FINISH, UNLESS OTHERWISE NOTED.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ADEQUATE SHORING AND BRACING TO EXISTING STRUCTURE PRIOR TO ANY DEMOLITION AND REMOVAL OF STRUCTURAL FRAMING MEMBERS. ALL SHORING AND ANY REQUIRED ENGINEERING FOR SHORING ARE TO BE PROVIDED AS PART OF THE CONTRACT.



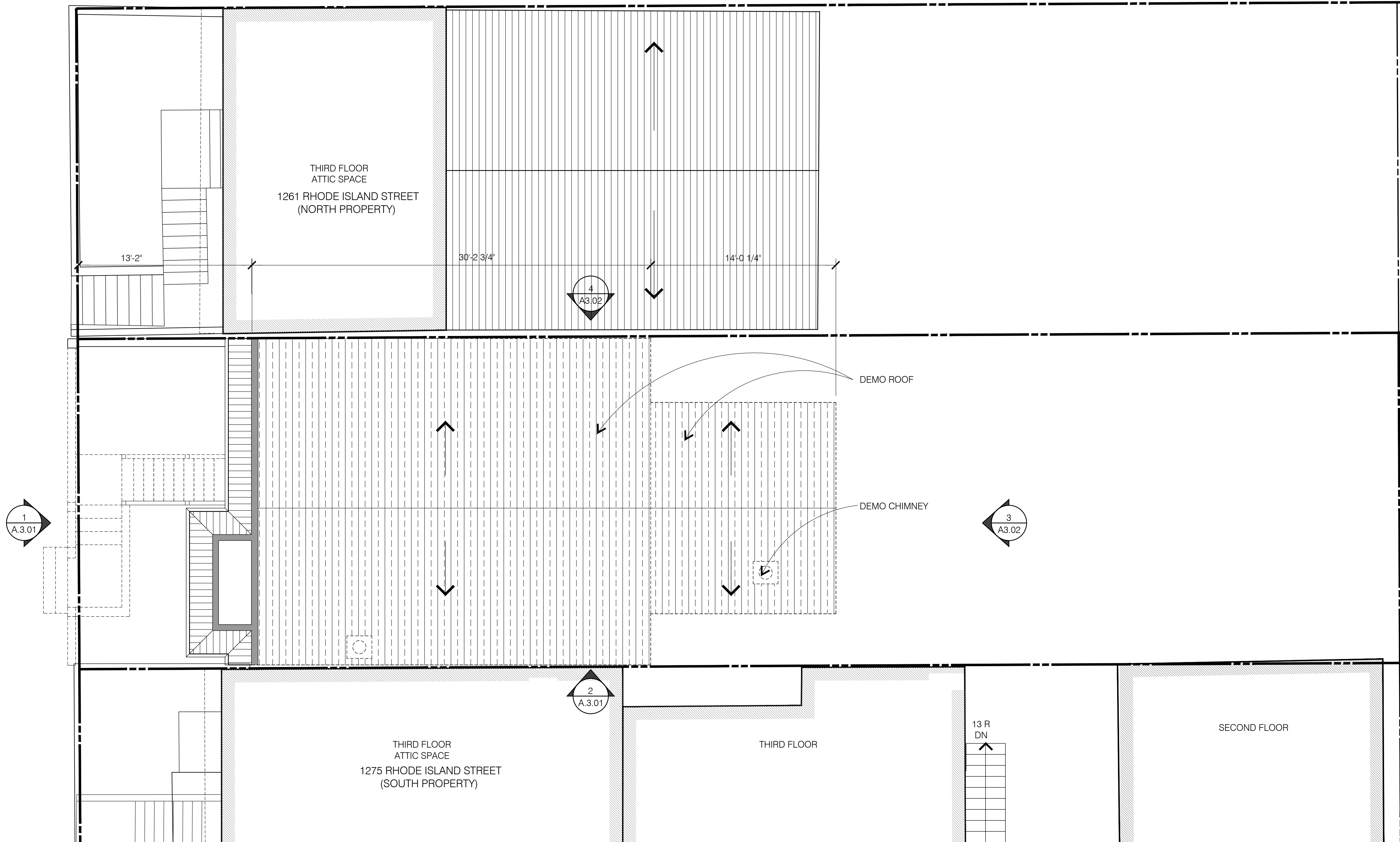
FIRST FLOOR DEMOLITION PLAN

SCALE: 1/4"=1'-0"

ISSUES	
08-21-15 SITE PERMIT	
11-16-15 SITE PERMIT REVISION	
12-21-15 SITE PERMIT REVISION	
3 1-5-18 SITE PERMIT REVISION	
4 7-31-18 SITE PERMIT REVISION	
GOLD MAN ARCHITECTS	
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CALIFORNIA 94103	
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FIRST FLOOR DEMOLITION PLAN	
Date:	08-21-15
Scale:	1/4"=1'-0"
Drawn:	GD
Job:	1406
Sheet	A2.01

RHODE ISLAND STREET

80' WIDE



1 ROOF DEMOLITION PLAN

SCALE: 1/4" = 1'-0"



LEGEND

- EXISTING TO DEMO/ REMOVE
- █ EXISTING PARAPET WALL TO REMAIN
- ▤ EXISTING ROOF TO DEMO/REMOVE

NOTES:

- ROOF MATERIAL TO BE REMOVED AS A PART OF THIS DEMOLITION PROCEDURE AND WHICH ARE DEEMED POTENTIALLY REUSABLE, SHALL BE CAREFULLY REMOVED AND STORED FOR FUTURE REUSE. CONTRACTOR SHALL CREDIT OWNER THE DETERMINED VALUE OF SUCH MATERIAL IF CONTRACTOR KEEPS THE MATERIALS.
- ADJACENT PROPERTIES ARE TO REMAIN UNDISTURBED.
- EXISTING WALLS SHOWN ON THE PLAN TO REMAIN. IF NEEDED PATCH & REPAIR TO MATCH (E).
- THE EXISTING CONDITIONS IN THE CONSTRUCTION DOCUMENTS ARE BASED FROM THE AS-BUILT DRAWINGS. ANY DISCREPANCIES BETWEEN THESE DOCUMENTS AND THE ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING.
- ALL EXISTING DIMENSIONS ARE FROM FACE OF FINISH TO FACE OF FINISH, UNLESS OTHERWISE NOTED.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ADEQUATE SHORING AND BRACING TO EXISTING STRUCTURE PRIOR TO ANY DEMOLITION AND REMOVAL OF STRUCTURAL FRAMING MEMBERS. ALL SHORING AND ANY REQUIRED ENGINEERING FOR SHORING ARE TO BE PROVIDED AS PART OF THE CONTRACT.

ISSUES	
08-21-15	SITE PERMIT
11-16-15	SITE PERMIT REVISION
12-21-15	SITE PERMIT REVISION
1-5-18	SITE PERMIT REVISION
7-31-18	SITE PERMIT REVISION

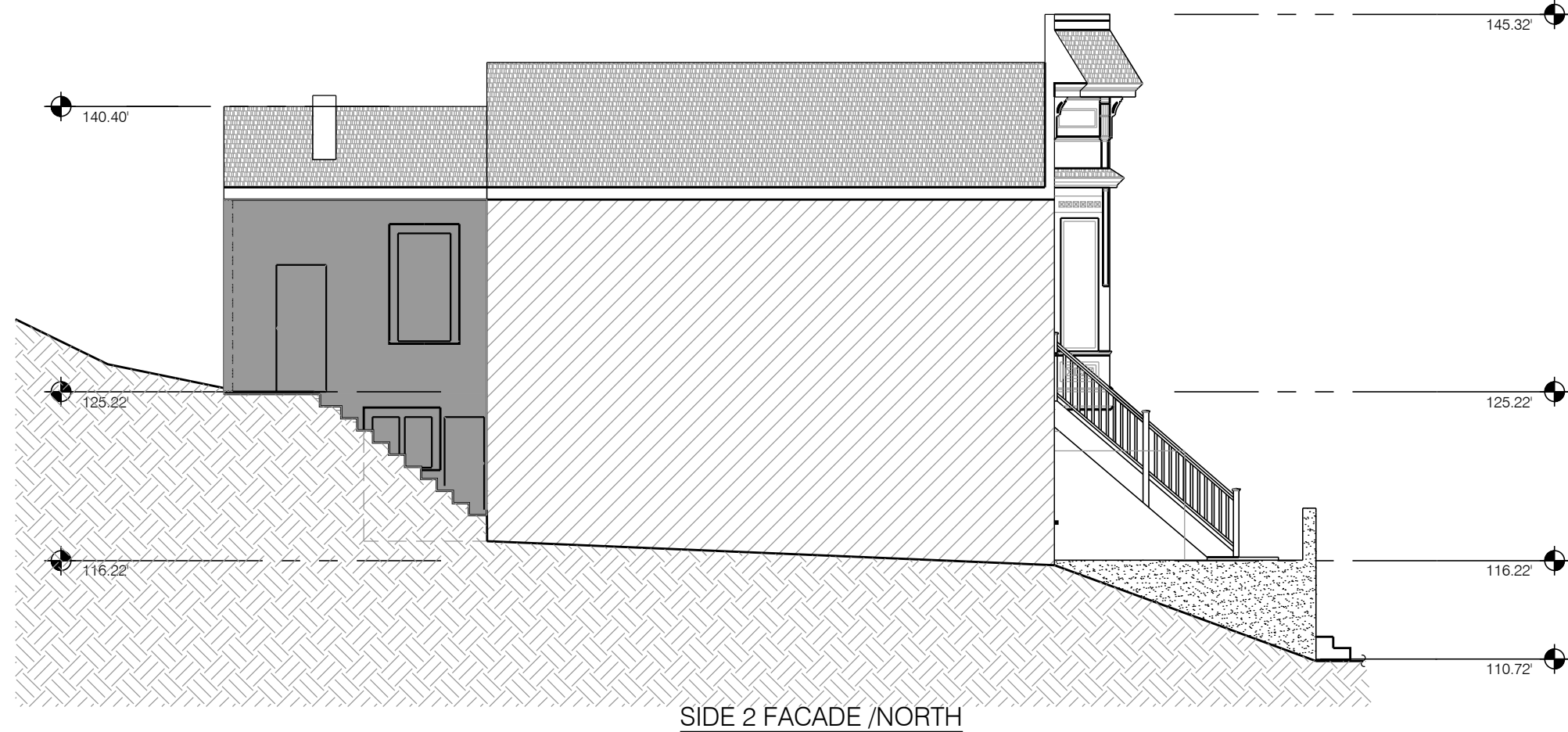
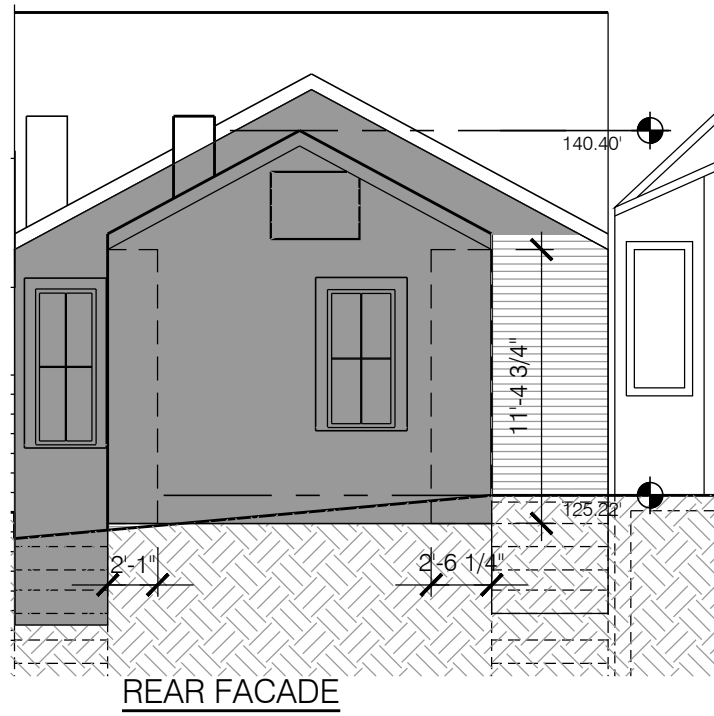
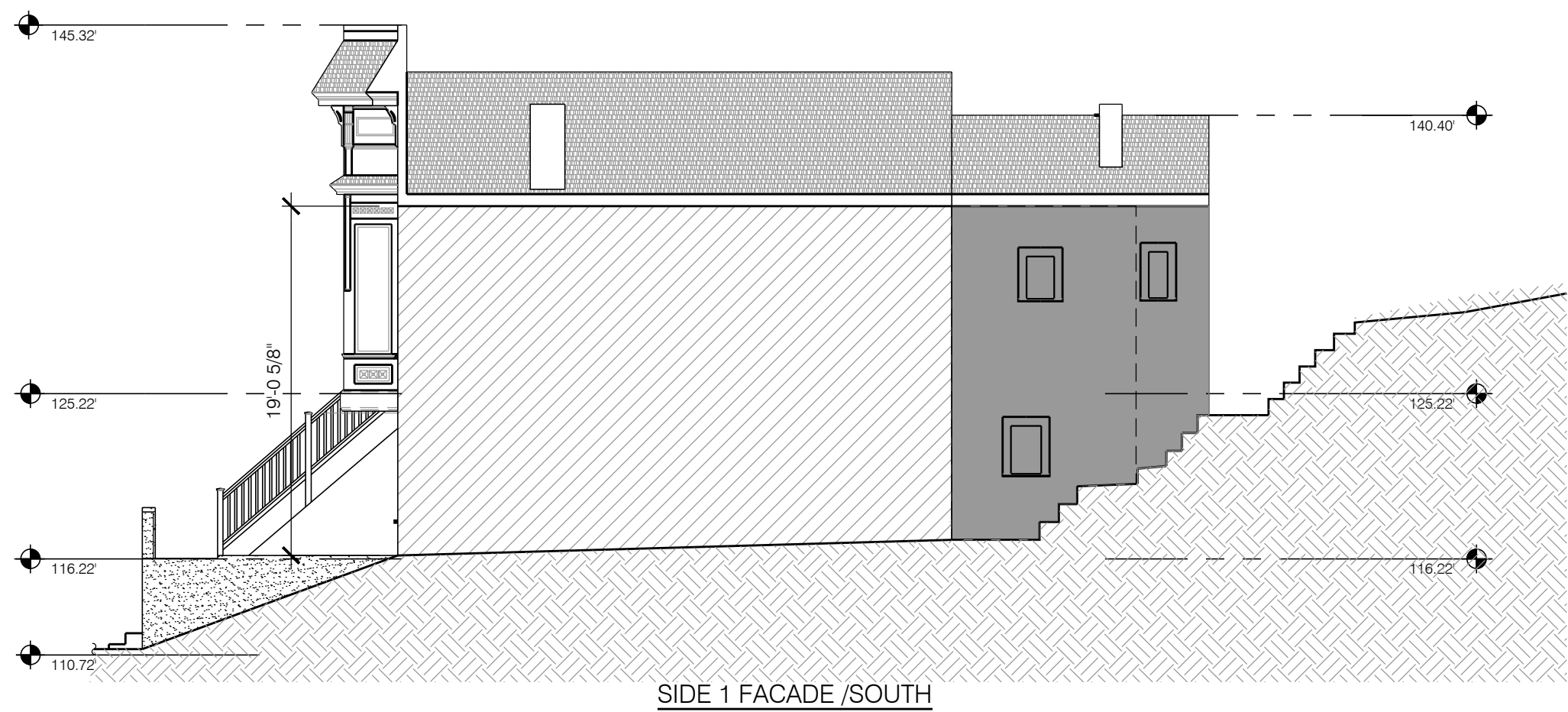
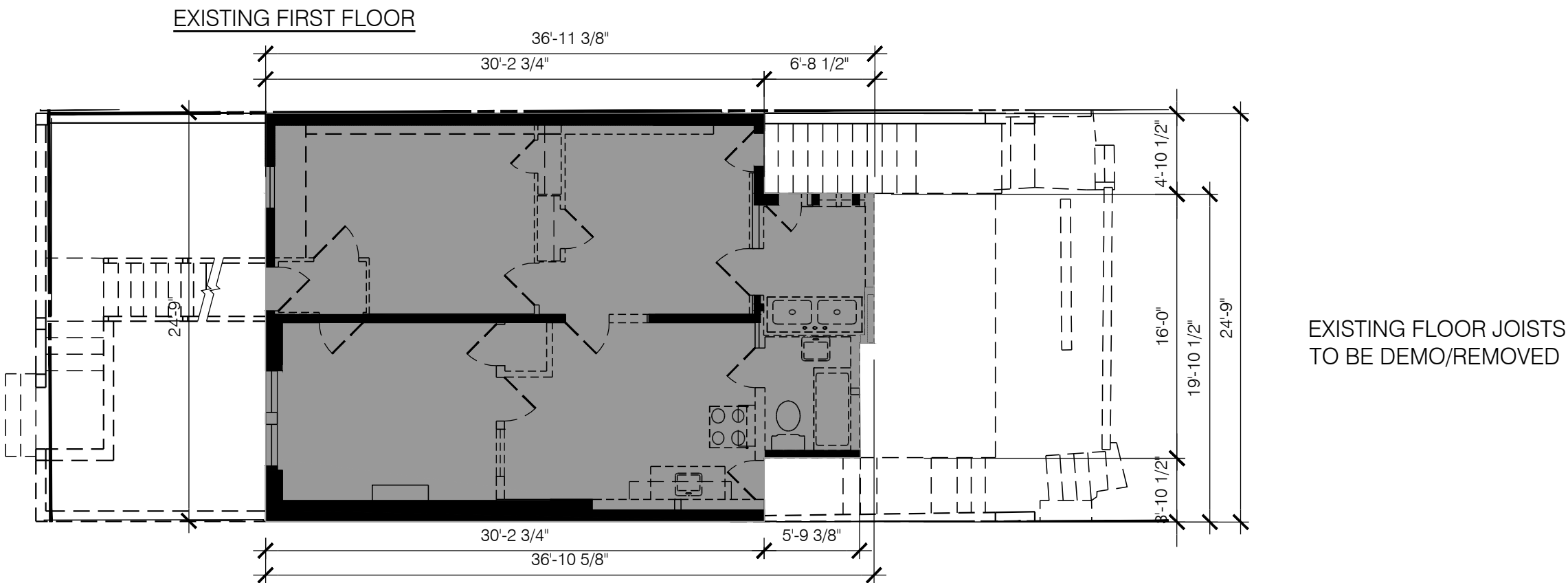
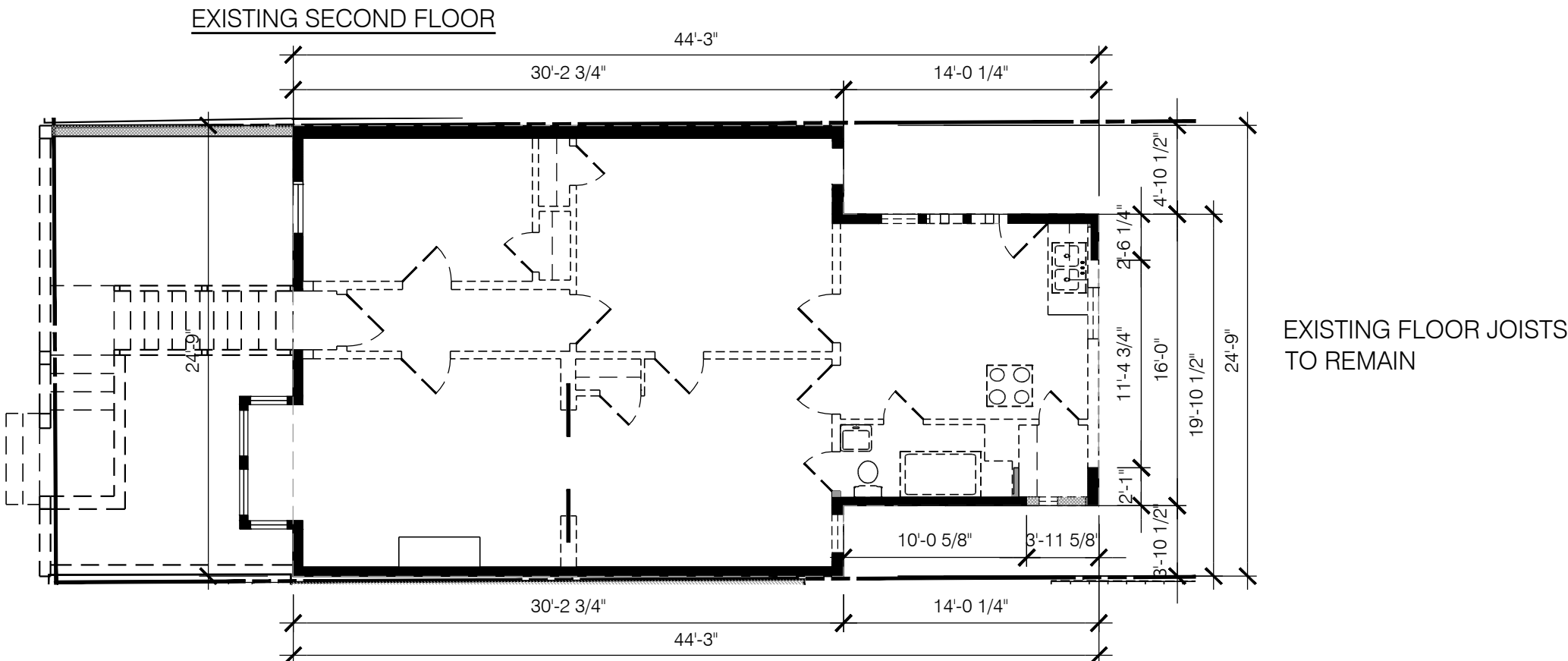
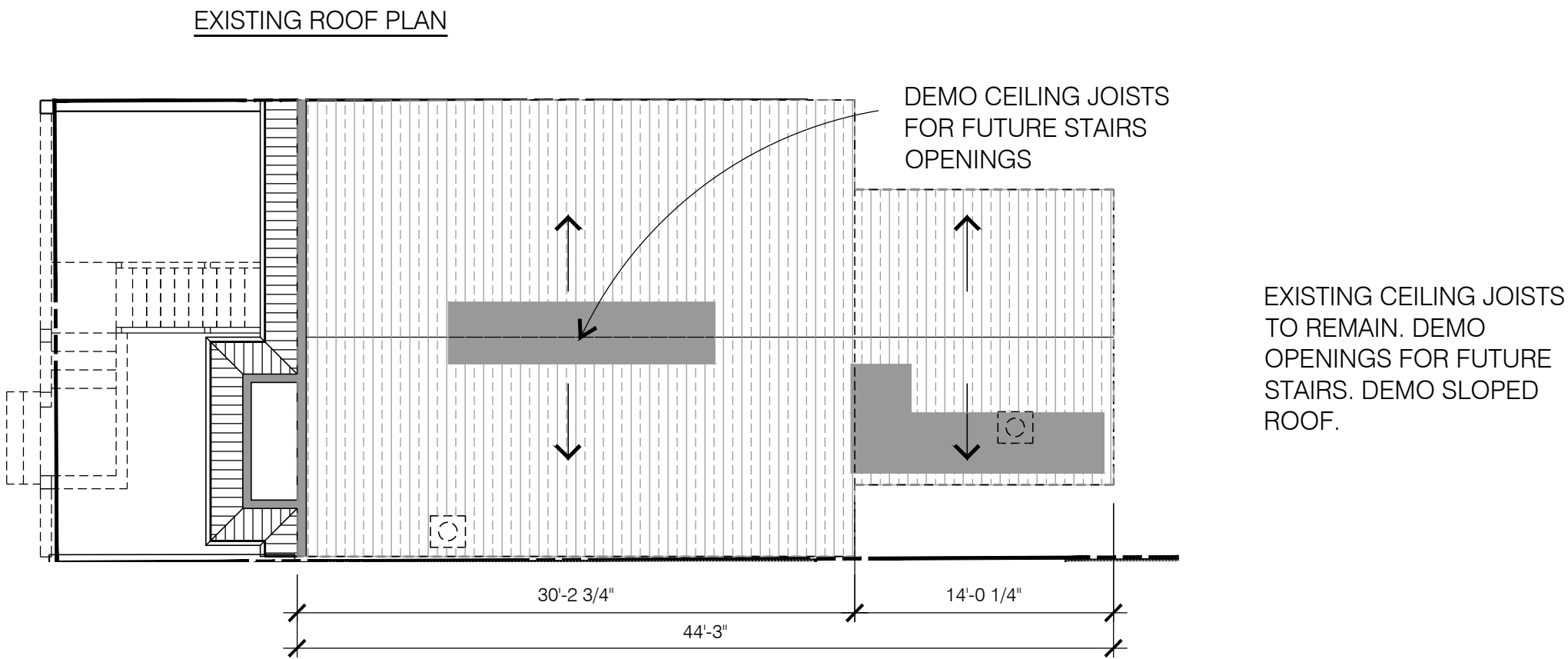


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ROOF DEMOLITION PLAN

Date:	08-21-15
Scale:	1/4" = 1'-0"
Drawn:	GD
Job:	1408
Sheet	A2.03



DEMOLITION CALCULATION

- 1) REMOVAL OF MORE THAN 25% OF THE SURFACE OF ALL EXTERNAL WALLS FACING A PUBLIC STREET

AREA MEASUREMENT

VERTICAL ELEMENTS	<E> AREA	REMOVED	% REMOVED
A: FRONT FACADE	719	0	0 % < 25 %

LINEAR FOOTAGE MEASUREMENT

ELEMENT	<E> LENGTH	REMOVED	% REMOVED
A: FRONT FACADE	24'-9"	0	0 % < 25 %

- 2) REMOVAL OF MORE THAN 50% OF ALL EXTERNAL WALLS FROM THEIR FUNCTION AS ALL EXTERNAL WALLS

AREA MEASUREMENT

VERTICAL ELEMENTS	<E> AREA	REMOVED	% REMOVED
A: FRONT FACADE	719	0	0 %
C: REAR FACADE	398	322	81 %
B: SIDE 1 FACADE	786	223	29 %
D: SIDE 2 FACADE	746	176	24 %
VERTICAL TOTAL:	2,649	721	27% <50 %

LINEAR FOOTAGE MEASUREMENT

ELEMENT	<E> LENGTH	REMOVED	% REMOVED
A: FRONT FACADE	24'-9"	0	0 %
C: REAR FACADE	24'-9"	19'-10 1/2"	80 %
B: SIDE 1 FACADE	44'-3"	14'-0 1/4"	32 %
D: SIDE 2 FACADE	44'-3"	14'-0 1/4"	32 %
TOTALS:	138'-0"	47'-11"	35 % < 50 %

- 3) REMOVAL OF MORE THAN 25% OF EXTERNAL WALLS FROM FUNCTION AS EITHER EXTERNAL OR INTERNAL WALLS

AREA MEASUREMENT

VERTICAL ELEMENTS	<E> AREA	REMOVED	% REMOVED
A: FRONT FACADE	719	0	0 %
C: REAR FACADE	398	269	68 %
B: SIDE 1 FACADE	786	53	29 %
D: SIDE 2 FACADE	746	0	24 %
VERTICAL TOTAL:	2,649	322	12% <25 %

LINEAR FOOTAGE MEASUREMENT

ELEMENT	<E> LENGTH	REMOVED	% REMOVED
A: FRONT FACADE	24'-9"	0	0 %
C: REAR FACADE	24'-9"	15'-3 1/4"	59 %
B: SIDE 1 FACADE	44'-3"	3'-11 5/8"	32 %
D: SIDE 2 FACADE	44'-3"	0	32 %
TOTALS:	138'-0"	19' 2 7/8"	14 % < 25 %

- 4) REMOVAL OF MORE THAN 75% OF THE BUILDING'S EXISTING INTERNAL STRUCTURAL FRAMEWORK OR FLOOR PLATES UNLESS THE CITY DETERMINES THAT SUCH REMOVAL IS THE ONLY FEASIBLE MEANS TO MEET THE STANDARDS FOR SEISMIC LOAD AND FORCES OF THE LATEST ADOPTED VERSION OF THE SAN FRANCISCO BUILDING CODE AND THE STATE HISTORICAL

AREA MEASUREMENT

HORIZONTAL ELEMENTS	<E> AREA	REMOVED	% REMOVED
E: FLOOR	848+ 972	848	47 %
F: ROOF	972	101	10 %
HORIZONTAL TOTAL:	2,792	949	34 % < 75 %

ISSUES	
08-21-15 SITE PERMIT	
11-16-15 SITE PERMIT REVISION	
12-21-15 SITE PERMIT REVISION	
1-5-18 SITE PERMIT REVISION	3
7-31-18 SITE PERMIT REVISION	4



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DEMOLITION STUDY

Date:	08-21-15
Scale:	1/4"=1'-0"
Drawn:	GD
Job:	1408
Sheet	A2.04

RHODE ISLAND STREET

80' WIDE

NEW TREE
24-INCH
BOX SIZE

NEW RETAINING WALL
ALIGN WITH (E) AT
NEIGHBOR WALL

UP
8 R

(E) STORAGE

PATIO
47 SF
PERMEABLE PAVERS

FLOOR MOUNT
BICYCLE RACKS
SLIDING DOOR

(E) GARAGE

(E) STORAGE

(E) BLDG @
GRADE ABOVE
1261 RHODE ISLAND STREET
(NORTH PROPERTY)

(E) BLDG @
GRADE ABOVE
1275 RHODE ISLAND STREET
(SOUTH PROPERTY)

(E) BLDG @
GRADE ABOVE

ISSUES	
	08-21-15 SITE PERMIT
1	11-16-15 SITE PERMIT REVISION
	12-21-15 SITE PERMIT REVISION
3	1-5-18 SITE PERMIT REVISION
4	7-31-18 SITE PERMIT REVISION

**GOLD
MAN**
ARCHITECTS

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BICYCLE STORAGE PLAN

Date:	08-21-15
Scale:	1/4"=1'-0"
Drawn:	GD
Job:	1406
Sheet	A2.1

1 BICYCLE STORAGE PLAN
A2.1

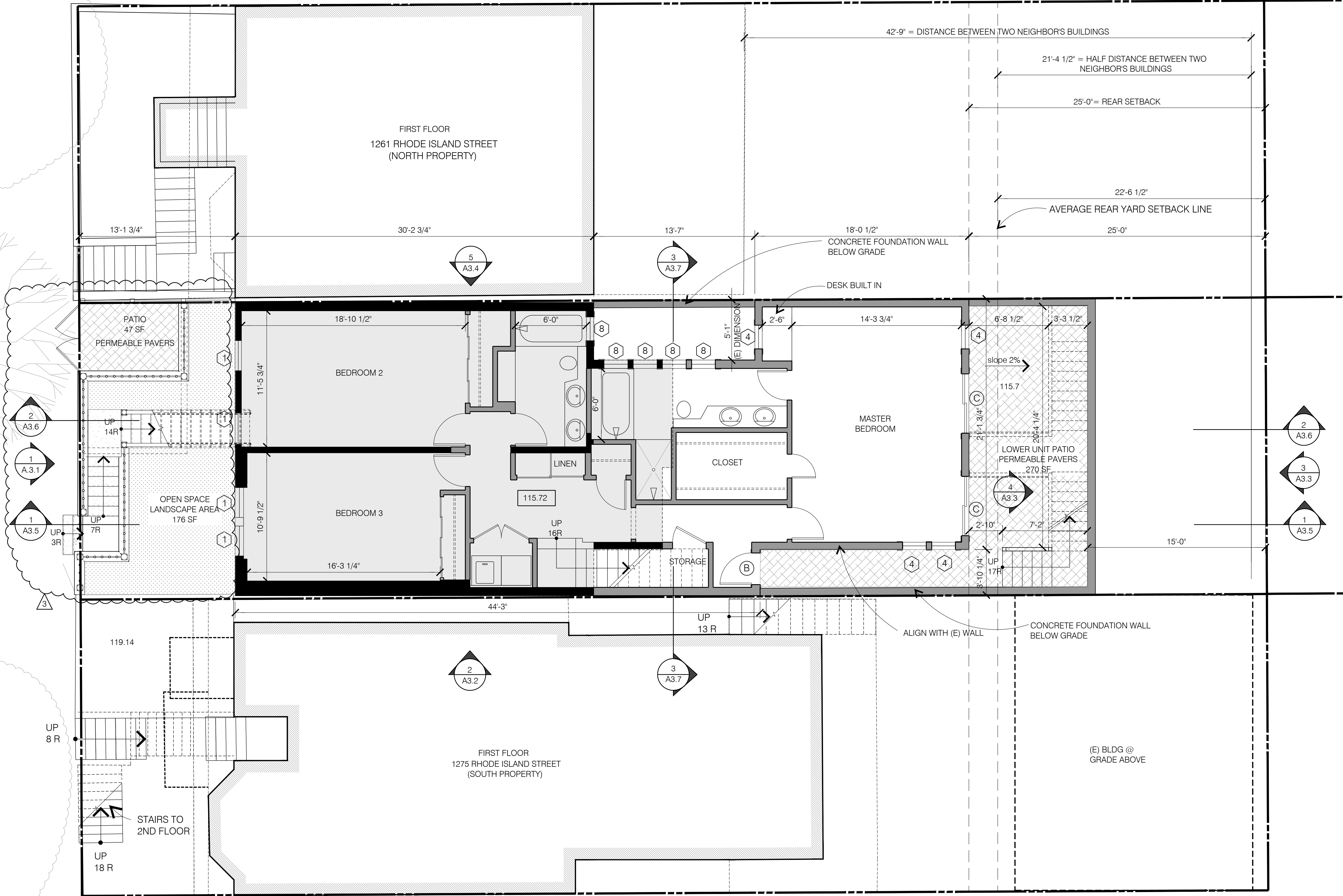
SCALE: 1/4"=1'-0"



RHODE ISLAND STREET

80' WIDE

NEW TREE
24-INCH
BOX SIZE



1 FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"

FIRST FLOOR PLAN: 1,210 NET SQ.FT.
1,399 GROSS SQ.FT.

LOWER TOWN HOUSE : 2,342 NET SQ. FT. TOTAL
2,699 GROSS SQ.FT. TOTAL

LEGEND

- AREA OF (E) BUILDING
- (E) WALL
- (N) WALL



ISSUES	
08-21-15	SITE PERMIT
11-16-15	SITE PERMIT REVISION
12-21-15	SITE PERMIT REVISION
1-5-18	SITE PERMIT REVISION
7-31-18	SITE PERMIT REVISION

GOLD MAN
ARCHITECTS

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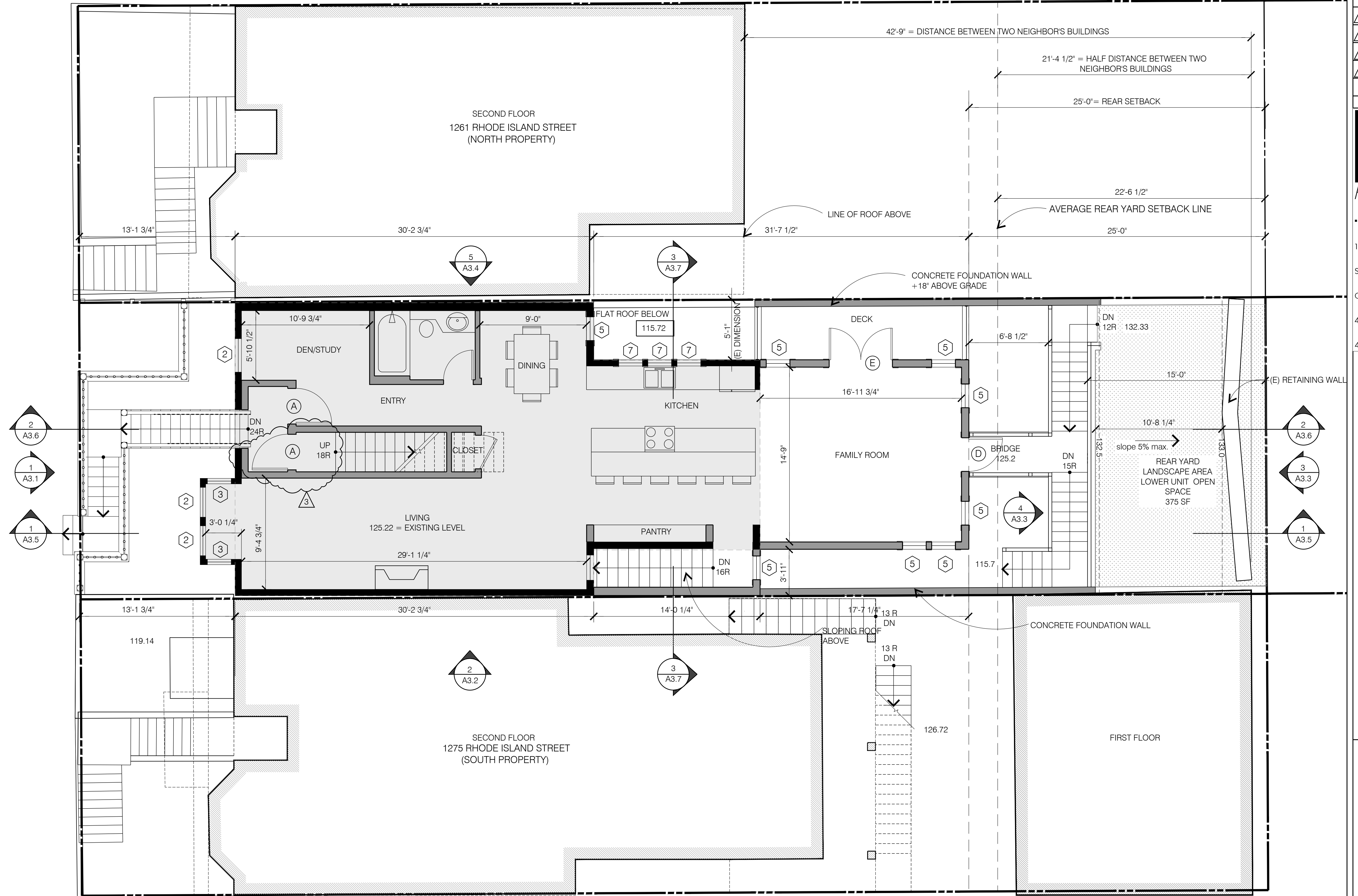
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FIRST FLOOR PLAN

Date:	08-21-15
Scale:	1/4"=1'-0"
Drawn:	GD
Job:	1406
Sheet	A2.2

RHODE ISLAND STREET

80' WIDE



1 SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"

ISSUES	
08-21-15 SITE PERMIT	
1 11-16-15 SITE PERMIT REVISION	
2 12-21-15 SITE PERMIT REVISION	
3 1-5-18 SITE PERMIT REVISION	
4 7-31-18 SITE PERMIT REVISION	

GOLD MAN
ARCHITECTS

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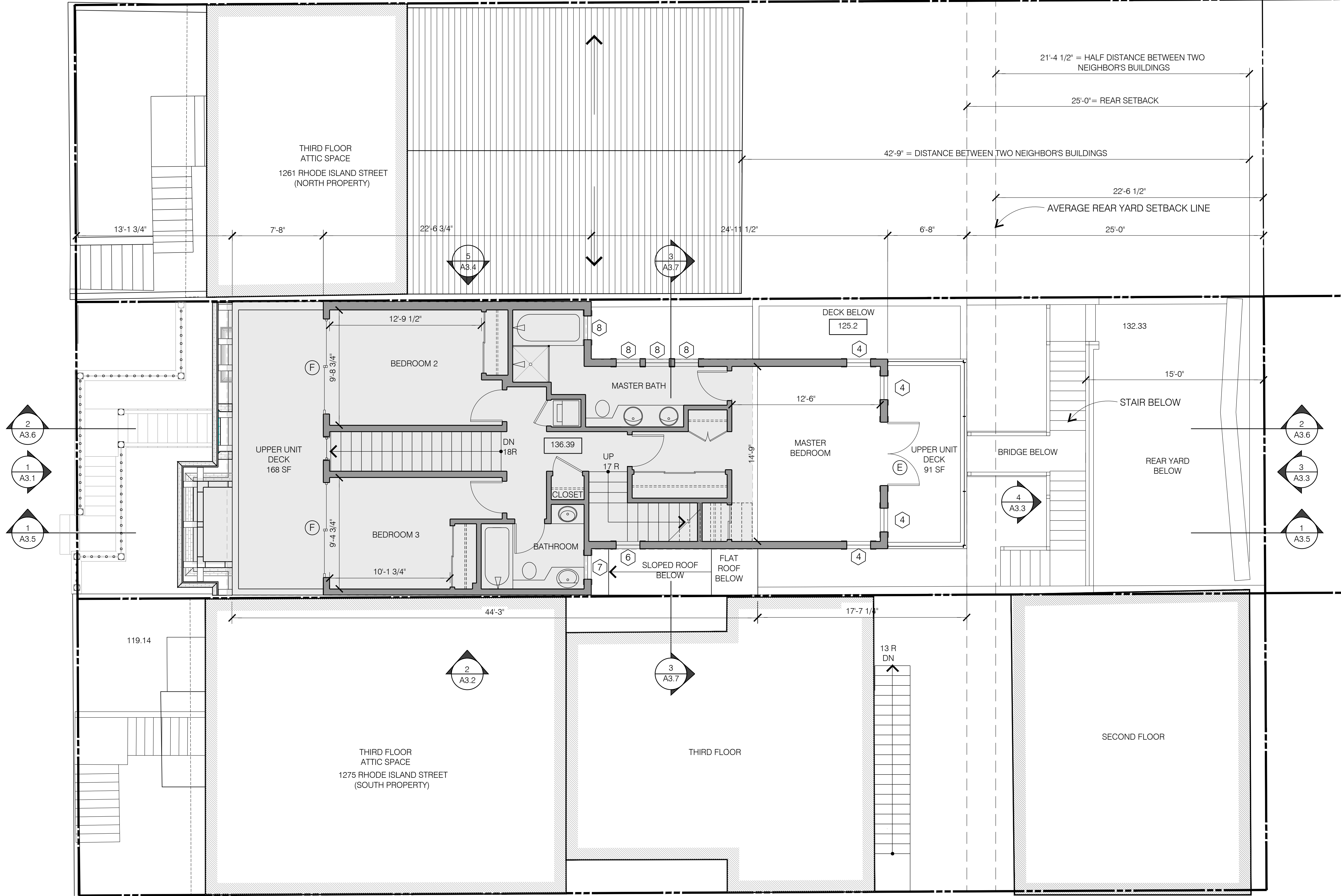
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SECOND FLOOR PLAN

Date:	08-21-15
Scale:	1/4"=1'-0"
Drawn:	GD
Job:	1408
Sheet	A2.3

RHODE ISLAND STREET

80' WIDE



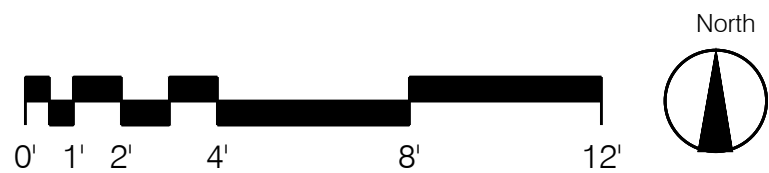
1
A2.4

THIRD FLOOR PLAN

SCALE: 1/4"=1'-0"

THIRD FLOOR PLAN: 871 NET SQ. FT.
956 GROSS SQ. FT.
UPPER TOWN HOUSE: 1,232 NET SQ. FT. TOTAL
1,415 GROSS SQ. FT. TOTAL

LEGEND
AREA OF (E) BUILDING
(N) WALL



ISSUES	
08-21-15 SITE PERMIT	
11-16-15 SITE PERMIT REVISION	
12-21-15 SITE PERMIT REVISION	2
1-5-18 SITE PERMIT REVISION	3
7-31-18 SITE PERMIT REVISION	4



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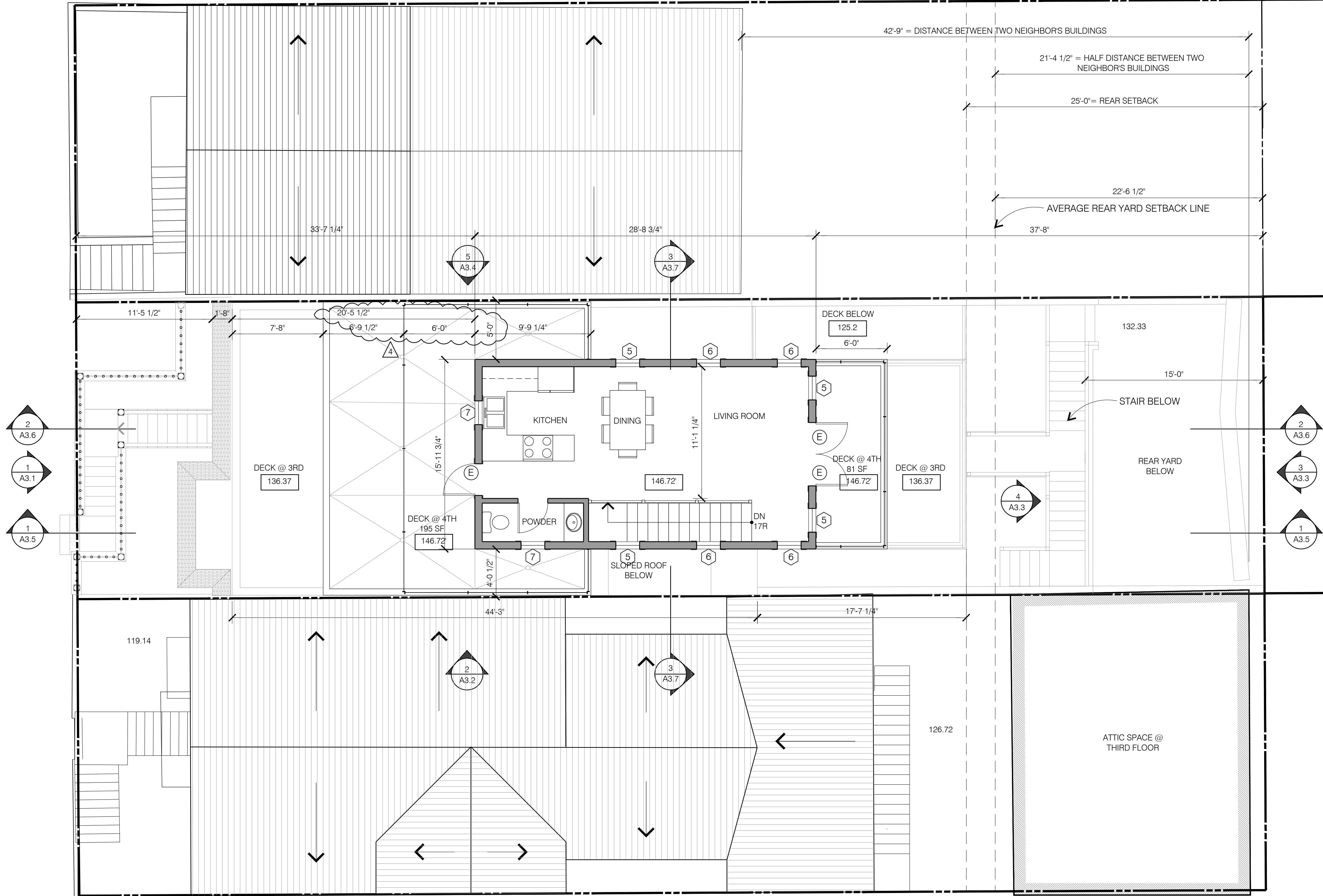
THIRD FLOOR PLAN

Date:	08-21-15
Scale:	1/4"=1'-0"
Drawn:	GD
Job:	1408
Sheet	

A2.4

RHODE ISLAND STREET

80' WIDE



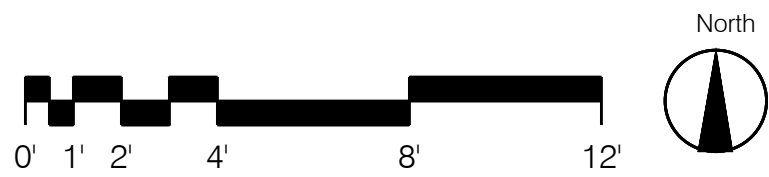
FOURTH FLOOR PLAN: 361 NET SQ.FT.
459 GROSS SQ.FT.

LEGEND
(N) WALL

UPPER TOWN HOUSE: 1,232 NET SQ. FT. TOTAL
1,415 GROSS SQ.FT. TOTAL

1
A2.5
FOURTH FLOOR PLAN

SCALE: 1/4"=1'-0"



ISSUES	
	08-21-15 SITE PERMIT
	11-16-15 SITE PERMIT REVISION
2	12-21-15 SITE PERMIT REVISION
3	1-5-18 SITE PERMIT REVISION
4	7-31-18 SITE PERMIT REVISION



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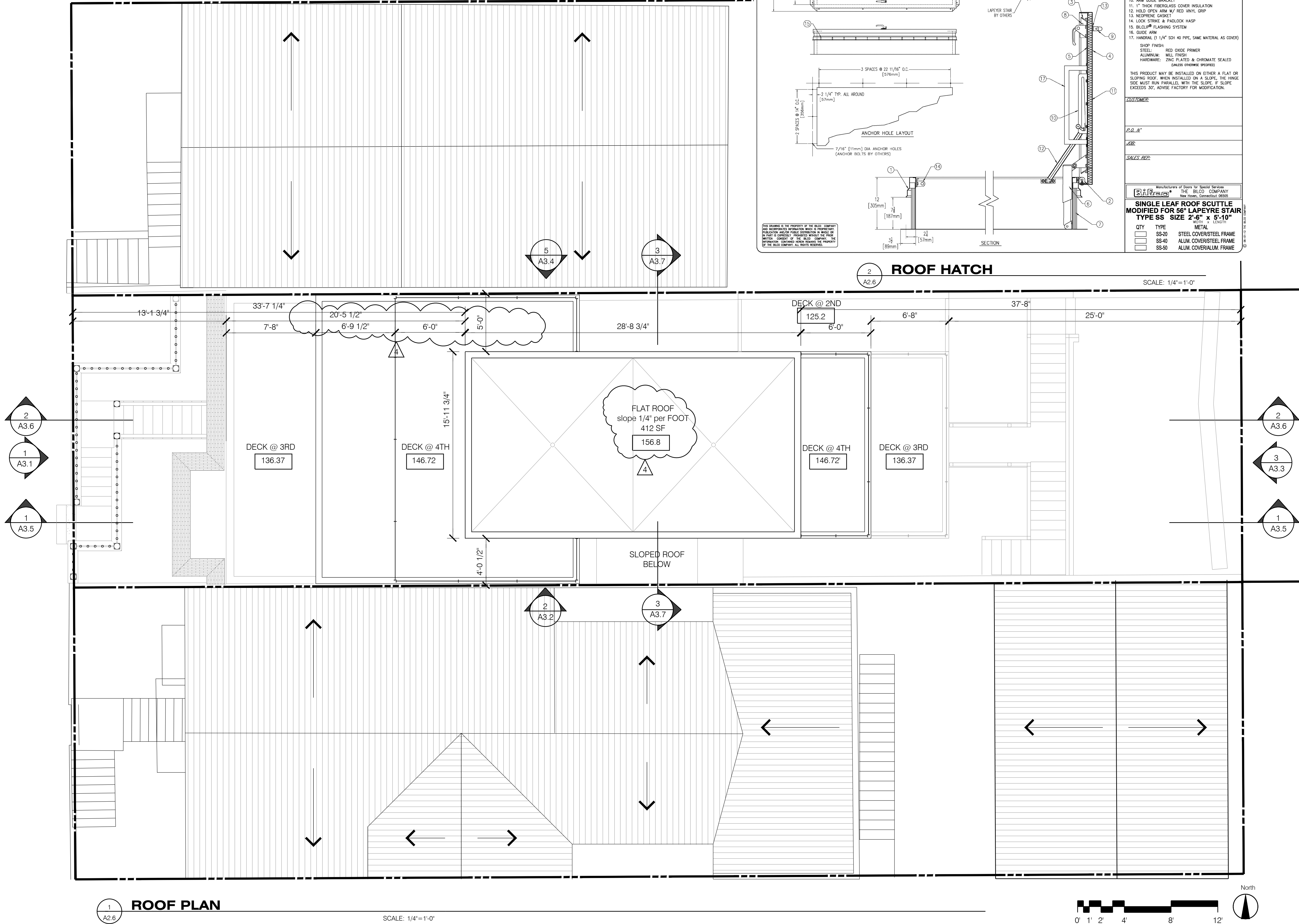
FOURTH FLOOR PLAN

Date: 08-21-15
Scale: 1/4"=1'-0"
Drawn: GD
Job: 1408
Sheet

A2.5

RHODE ISLAND STREET

80' WIDE



	ISSUES
	08-21-15 SITE PERMIT
	11-16-15 SITE PERMIT REVISION
2	12-21-15 SITE PERMIT REVISION
3	1-5-18 SITE PERMIT REVISION
4	7-31-18 SITE PERMIT REVISION

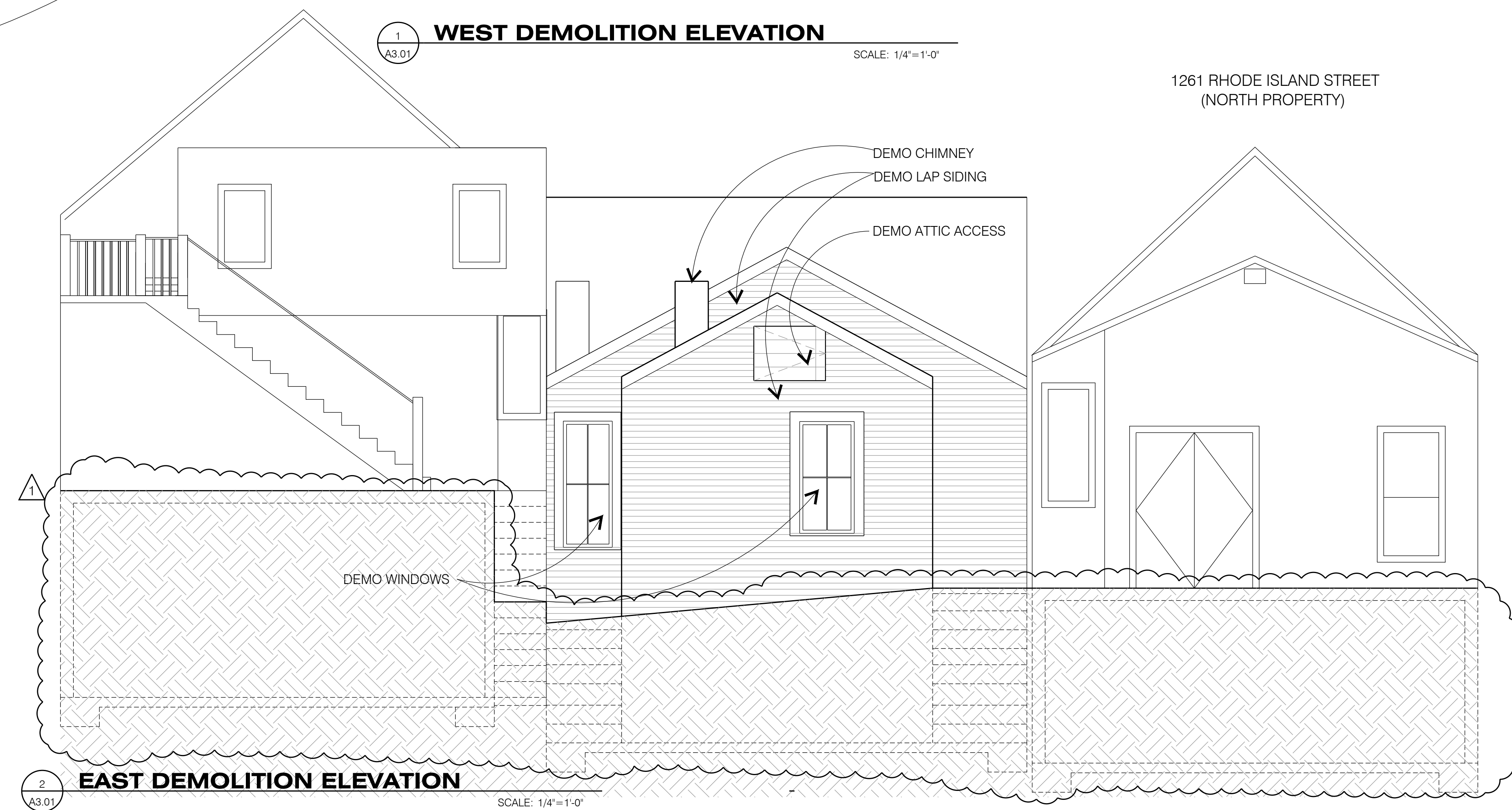
GOLD MAN ARCHITECTS

172 RUSS STREET
SAN FRANCISCO
CALIFORNIA 94103
415-391-1339
415-621-3393 f

1267 RHODE ISLAND STREET
SAN FRANCISCO, CA 94107

ROOF PLAN

Date:	08-28-15
Scale:	1/4"=1'-0"
Drawn:	GD
Job:	1406
Sheet	A2.6



LEGEND

 EXISTING TO DEMO/REMOVE

NOTES:

3. ALL FINISH MATERIAL NOTED TO BE DEMO/REMOVED AS A PART OF THIS DEMOLITION PROCEDURE AND WHICH ARE DEEMED POTENTIALLY REUSABLE, SHALL BE CAREFULLY REMOVED AND STORED FOR FUTURE REUSE. CONTRACTOR SHALL CREDIT OWNER THE DETERMINED VALUE OF SUCH MATERIAL IF CONTRACTOR KEEPS THE MATERIALS.
2. ADJACENT PROPERTIES ARE TO REMAIN UNDISTURBED.
3. EXTERIOR FINISHES TO REMAIN, UNLESS OTHERWISE NOTED.
4. THE EXISTING CONDITIONS IN THE CONSTRUCTION DOCUMENTS ARE BASED FROM THE AS-BUILT DRAWINGS, ANY DISCREPANCIES BETWEEN THESE DOCUMENTS AND THE ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING.
5. ALL EXISTING DIMENSIONS ARE FROM FACE OF FINISH TO FACE OF FINISH, UNLESS OTHERWISE NOTED.
6. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ADEQUATE SHORING AND BRACING TO EXISTING STRUCTURE PRIOR TO ANY DEMOLITION AND REMOVAL OF STRUCTURAL FRAMING MEMBERS. ALL SHORING AND ANY REQUIRED ENGINEERING FOR SHORING ARE TO BE PROVIDED AS PART OF THE CONTRACT.

	ISSUES
	08-21-15 SITE PERMIT
1	11-16-15 SITE PERMIT REVISION
	12-21-15 SITE PERMIT REVISION
3	1-5-18 SITE PERMIT REVISION
4	7-31-18 SITE PERMIT REVISION



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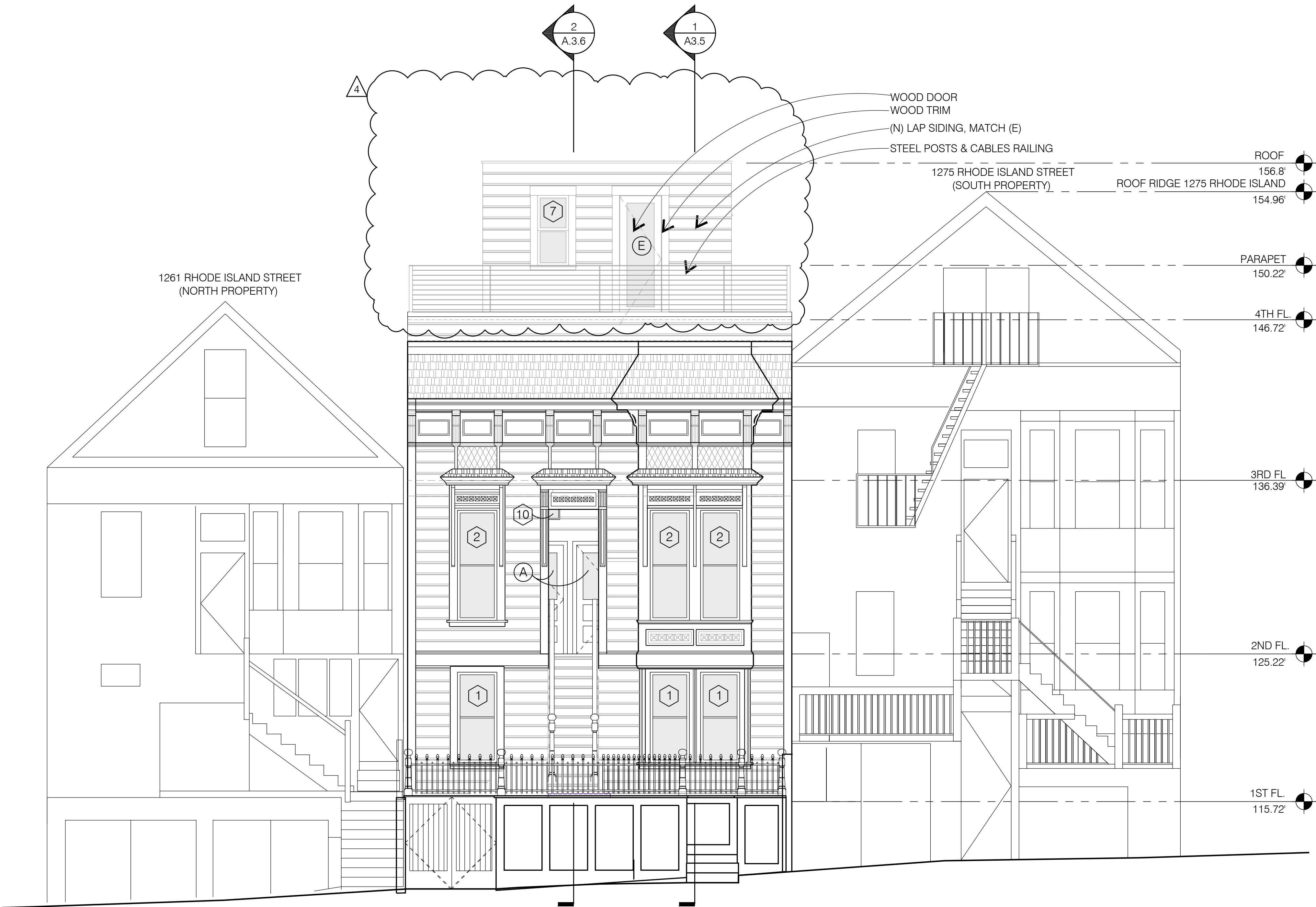
1267 RHODE ISLAND STREET
SAN FRANCISCO, CA 94107

DEMOLITION ELEVATIONS
WEST & EAST

Date:	08-21-15
Scale:	1/4" = 1'-0"
Drawn:	GD
Job:	1408
Sheet	A3.01

NOTES:

MINIMAL LEVEL OF EXTERIOR LIGHTING TO BE USED. ALL EXTERIOR LIGHTING SHALL BE SHIELDED AND DIRECTED DOWNWARD FOR BIRD SAFETY PROTECTION.



WINDOW SCHEDULE						
MARK	COND.	WIDTH	HEIGHT	TYPE	PANES	QUANT.
1	E	2'-6"	5'-10"	DH	1	4
2	E	2'-6"	7'-1"	DH	1	3
3	E	2'-0"	7'-1"	DH	1	2
4	N	2'-0"	5'-6"	DH	2	8
5	N	2'-0"	6'-0"	DH	2	14
6	N	2'-0"	3'-0"	DH	2	5
7	N	2'-0"	4'-6"	DH	2	6
8	N	2'-0"	5'-0"	DH	2	9

NOTES:
1. ALL (N) WINDOWS ARE MARVIN ULTIMATE SERIES CLAD WOOD, DUAL PANE WITH LOW-E GLAZING

EXTERIOR DOOR SCHEDULE						
MARK	COND.	WIDTH	HEIGHT	TYPE	PANES	QUANT.
A	N	3'-0"	8'-0"	HINGE	2	2
B	N	2'-8"	8'-0"	HINGE	2	1
C	N	5'-0"	8'-0"	SLDG	2	2
D	N	2'-10"	8'-0"	HINGE	2	1
E	N	2'-8"	8'-0"	HINGE	2	7
F	N	9'-0"	8'-0"	SLDG	2	2

NOTES:
1. ALL (N) DOORS ARE MARVIN INFINITY SERIES FIBERGLASS, DUAL PANE WITH LOW-E GLAZING

ISSUES	
	08-21-15 SITE PERMIT
1	11-16-15 SITE PERMIT REVISION
2	12-21-15 SITE PERMIT REVISION
3	1-5-18 SITE PERMIT REVISION
4	7-31-18 SITE PERMIT REVISION

GOLD MAN
ARCHITECTS

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SAN FRANCISCO
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1267 RHODE ISLAND STREET
SAN FRANCISCO, CA 94107

WEST ELEVATION
DOOR & WINDOW SCHEDULES

Date:	08-21-15
Scale:	1/4"=1'-0"
Drawn:	GD
Job:	1408
Sheet	A3.1

1
A3.1

WEST ELEVATION

SCALE: 1/4"=1'-0"



MINIMAL LEVEL OF EXTERIOR LIGHTING TO BE USED. ALL EXTERIOR LIGHTING SHALL BE SHIELDED AND DIRECTED DOWNWARD FOR BIRD SAFETY PROTECTION.

Architectural elevation drawing of a building facade, showing various materials, dimensions, and property lines. The drawing includes a cross-section of the building, revealing the interior structure and roofline.

Materials and Finishes:

- (N) LAP SIDING, MATCH (E)
- WOOD TRIM
- WOOD WINDOWS
- SOUTH PROPERTY WALL SHOWN DASHED
- METAL RAILING CAP
- STEEL POSTS & CABLES
- CONCRETE CURB 8" HIGH
- CONCRETE FOUNDATION WALL BELOW GRADE. TOP OF CONCRETE WALL 12" MIN. ABOVE SOUTH PROPERTY NEIGHBOR'S FLOOR

Dimensions and Elevation:

- Overall width: 65'-0"
- Overall height: 25'-0" = REAR SETBACK
- Roof: 156.8'
- Parapet: 150.22'
- 4th FL.: 146.72'
- 3rd FL.: 136.39'
- 2nd FL.: 125.22'
- 1st FL.: 115.72'
- 115.76 (E) GRADES @ CENTERLINE OF THE BUILDING
- 136.75 @ PROP LINE MIDPOINT
- 15'-0" REAR YARD
- REAR YARD SLOPE 5% MAX.
- AVERAGE LINE OF GRADES
- 22'-6 1/2"
- 31'-8"
- 28'-8 3/4"
- 20'-5 1/2"
- 6'-9 1/2"
- 6'-0"
- 7'-8"
- 13'-1 3/4"
- 29'-3 1/2"
- 30'-10 1/4"
- 34'-10 1/4"
- 32'-11"
- 15'-4 3/4"
- 28'-10 1/4"
- 24'-3 1/4"
- 3'-6"
- 40' ABOVE AVERAGE GRADE @ CENTERLINE OF BUILDING
- 30' ABOVE AVERAGE GRADE @ CENTERLINE OF BUILDING
- 45 DEGREE ANGLE DOES NOT APPLY, PER SEC. 261(C)

Property Lines and Notes:

- PROPERTY LINE
- SEC. 261.(C) IF THE REAR PROPERTY LINE IS GREATER THAN 20' ABOVE THE FRONT PROPERTY LINE, THE 30' FRONT HEIGHT LIMIT FOR THE FIRST 10' DOES NOT APPLY. AT 1267 RHODE ISLAND THE REAR PROPERTY LINE IS 21'-0" ABOVE THE FRONT PROPERTY LINE.
- (E) RIDGE LINE 1275 RHODE ISLAND (SOUTH PROPERTY)
- EXTRAPOLATED AVERAGE OF GRADES @ SITE CENTERLINE
- PRESSURE TREATED PLYWOOD @ BLIND WALLS
- DECK
- REAR YARD SLOPE 5% MAX.
- AVERAGE REAR YARD SETBACK LINE
- 15'-0" REAR YARD
- REAR YARD SLOPE 5% MAX.
- AVERAGE LINE OF GRADES
- 22'-6 1/2"
- 31'-8"
- 28'-8 3/4"
- 20'-5 1/2"
- 6'-9 1/2"
- 6'-0"
- 7'-8"
- 13'-1 3/4"
- 29'-3 1/2"
- 30'-10 1/4"
- 34'-10 1/4"
- 32'-11"
- 15'-4 3/4"
- 28'-10 1/4"
- 24'-3 1/4"
- 3'-6"
- 40' ABOVE AVERAGE GRADE @ CENTERLINE OF BUILDING
- 30' ABOVE AVERAGE GRADE @ CENTERLINE OF BUILDING
- 45 DEGREE ANGLE DOES NOT APPLY, PER SEC. 261(C)

SCALE: 1/4"=1'-0"



	ISSUES
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1	11-16-15 SITE PERMIT REVISION
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3	1-5-18 SITE PERMIT REVISION
4	7-31-18 SITE PERMIT REVISION

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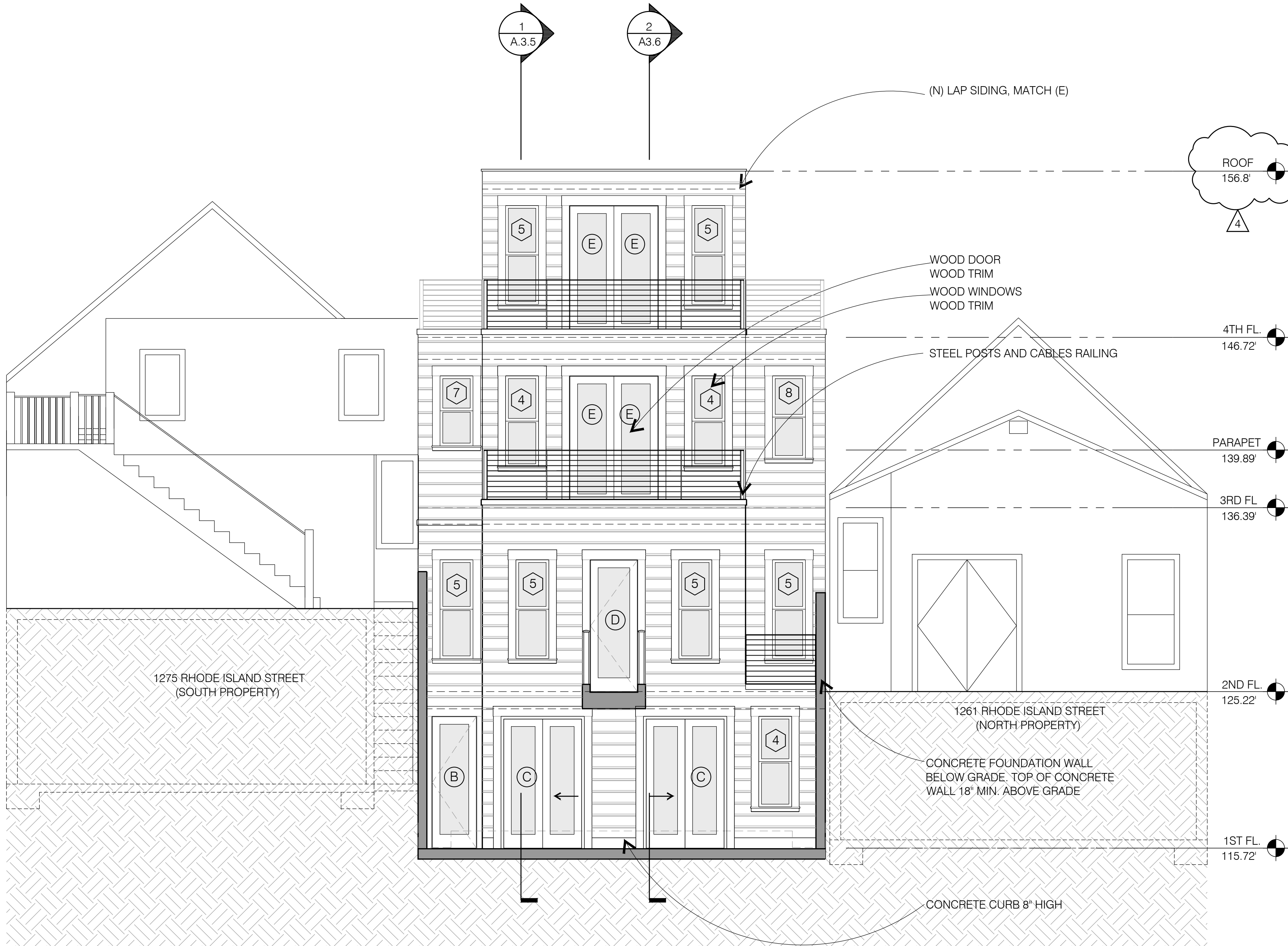
1267 RHODE ISLAND STREET
SAN FRANCISCO, CA 94107

SOUTH ELEVATION

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scale:	1/4"= 1'-0"
drawn:	GD
job:	1408
sheet	A3.2

NOTES:

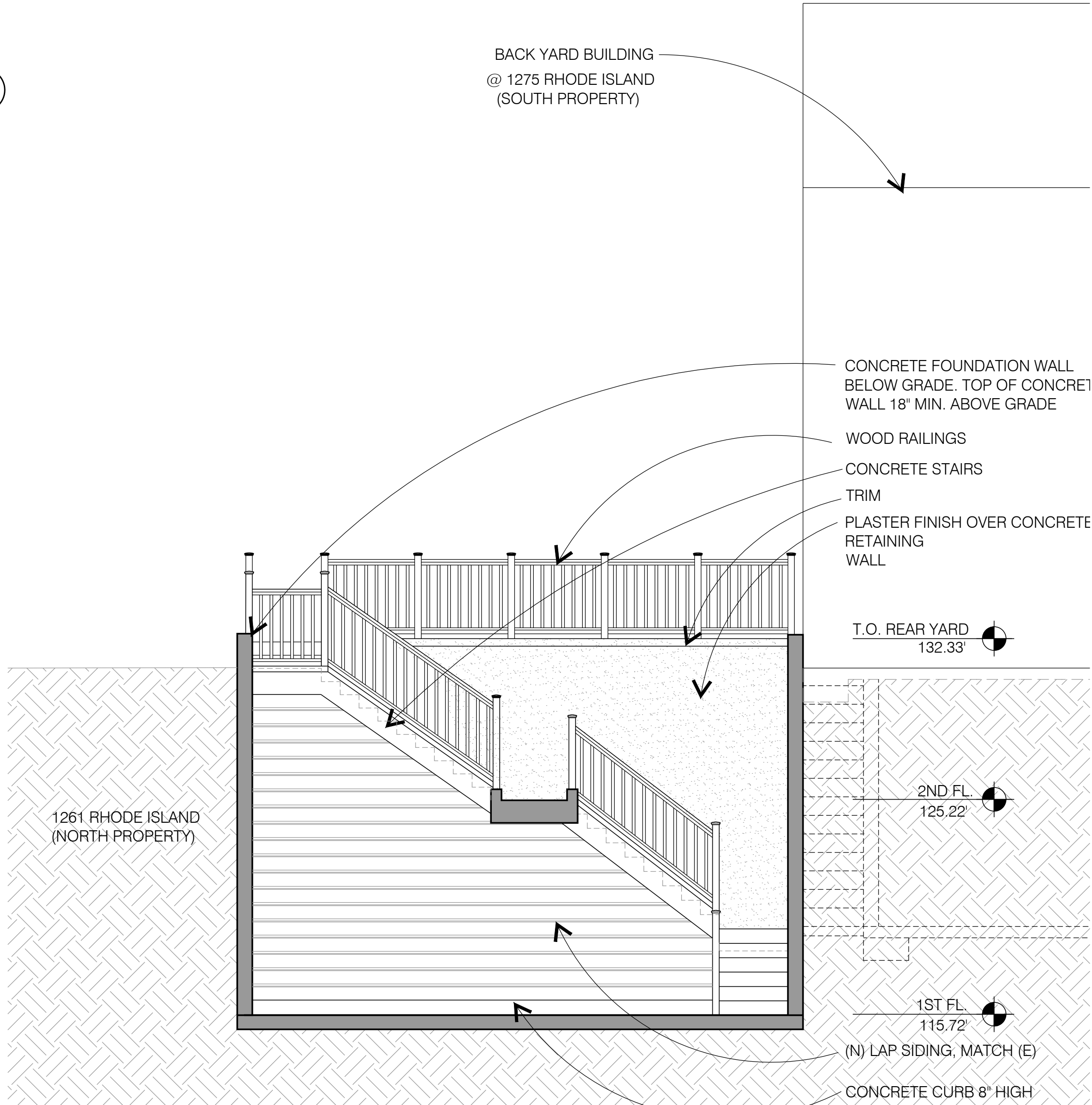
MINIMAL LEVEL OF EXTERIOR LIGHTING TO BE USED. ALL EXTERIOR LIGHTING SHALL BE SHIELDED AND DIRECTED DOWNWARD FOR BIRD SAFETY PROTECTION.



3
A3.3

EAST ELEVATION

SCALE: 1/4"=1'-0"



4
A3.3

REAR YARD ELEVATION

SCALE: 1/4"=1'-0"



ISSUES	
	08-21-15 SITE PERMIT
1	11-16-15 SITE PERMIT REVISION
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3	1-5-18 SITE PERMIT REVISION
4	7-31-18 SITE PERMIT REVISION

**GOLD
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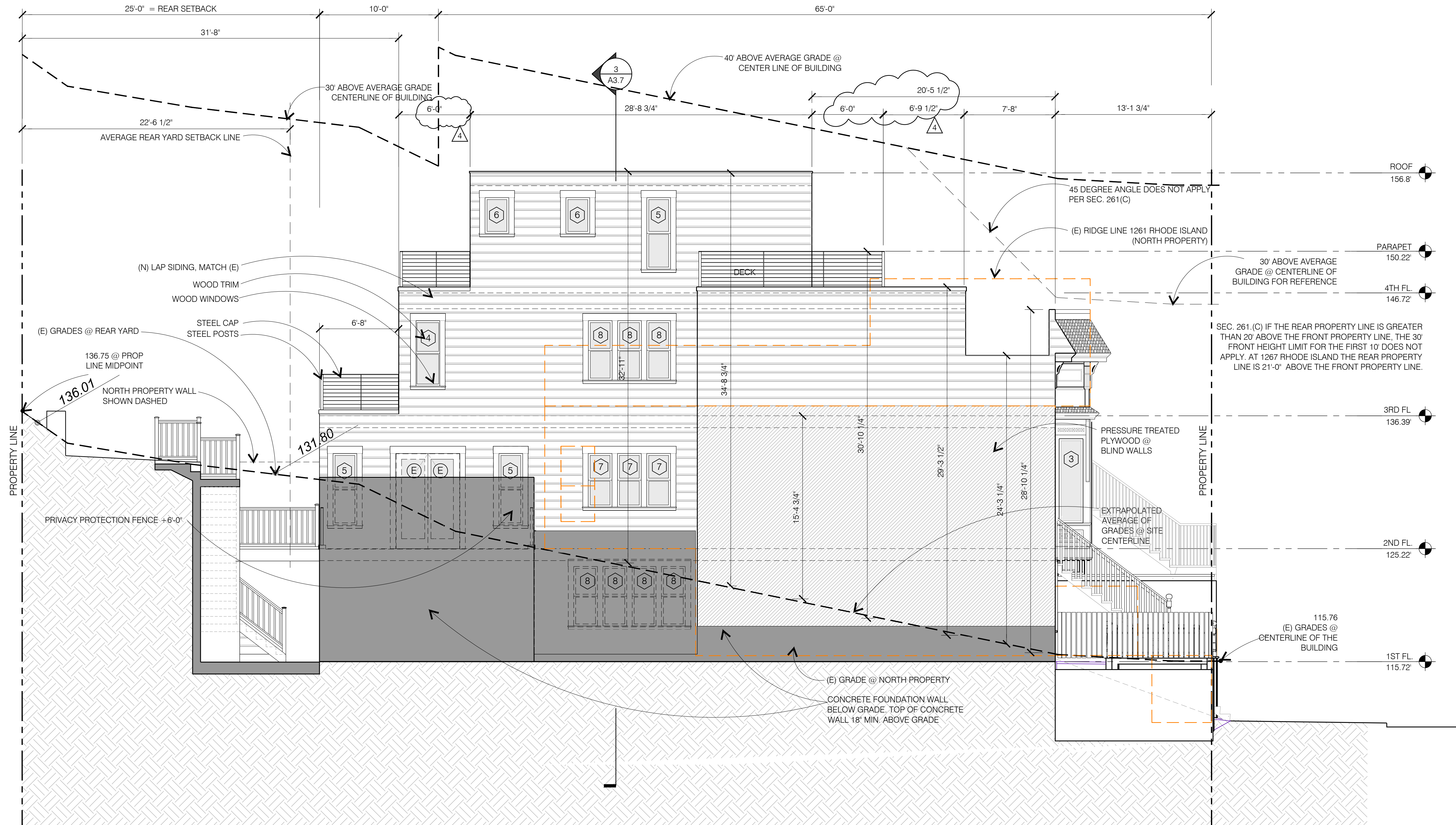
EAST ELEVATIONS

Date:	08-21-15
Scale:	1/4"=1'-0"
Drawn:	GD
Job:	1406
Sheet	A3.3

NOTES:

MINIMAL LEVEL OF EXTERIOR LIGHTING TO BE USED. ALL EXTERIOR LIGHTING SHALL BE SHIELDED AND DIRECTED DOWNWARD FOR BIRD SAFETY PROTECTION.

ADJACENT BUILDING (NORTH PROPERTY)
ELEVATION & WINDOWS OUTLINE



5 NORTH ELEVATION

SCALE: 1/4" = 1'-0"



ISSUES	
08-21-15 SITE PERMIT	
11-16-15 SITE PERMIT REVISION	1
12-21-15 SITE PERMIT REVISION	2
1-5-18 SITE PERMIT REVISION	3
7-31-18 SITE PERMIT REVISION	4

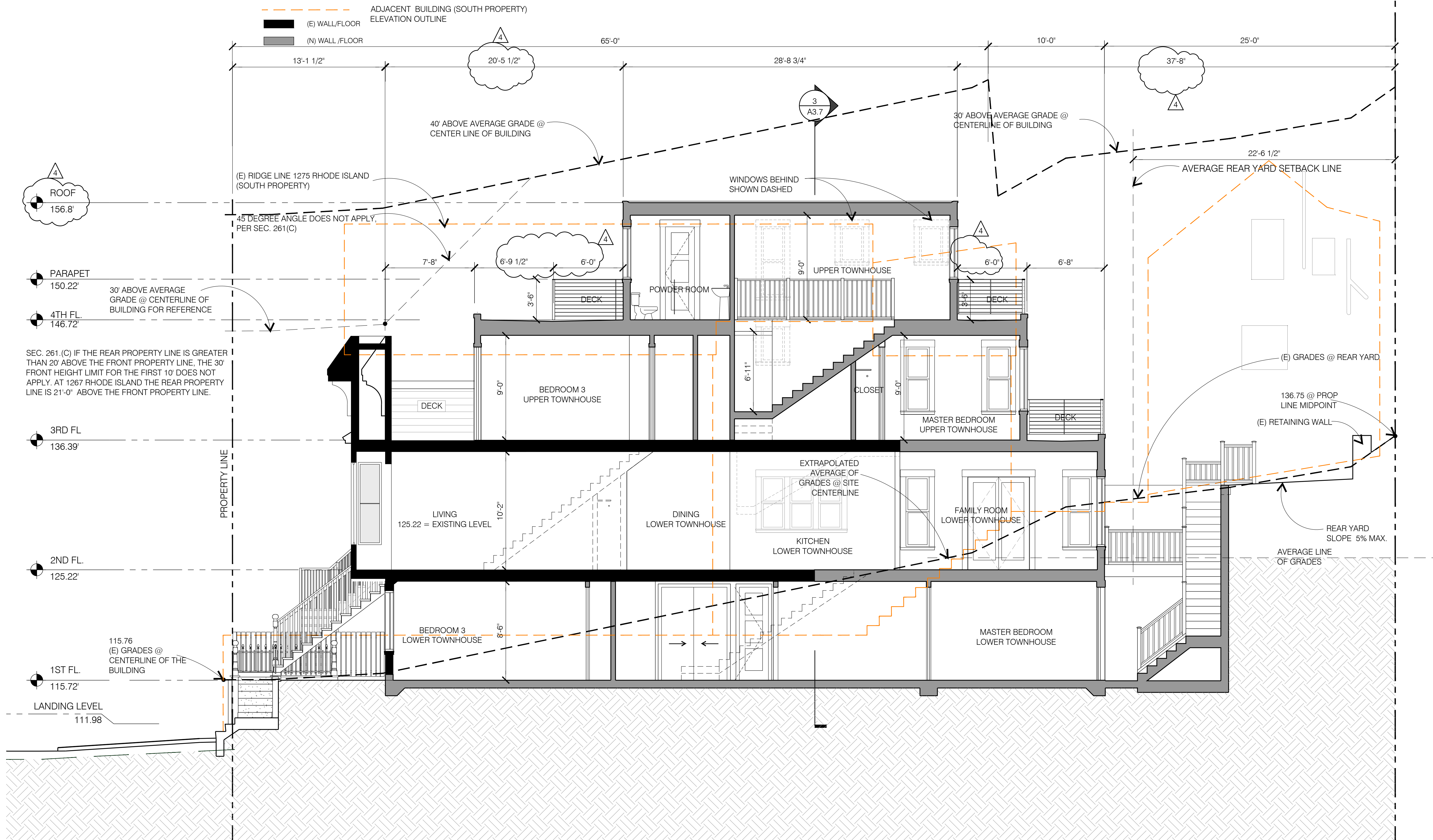
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NORTH ELEVATION

Date:	08-21-15
Scale:	1/4" = 1'-0"
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Job:	1406
Sheet	A3.4



1 LONGITUDINAL BUILDING SECTION

SCALE: 1/4" = 1'-0"



ISSUES	
08-21-15 SITE PERMIT	
11-16-15 SITE PERMIT REVISION	
12-21-15 SITE PERMIT REVISION	
1-5-18 SITE PERMIT REVISION	3
7-31-18 SITE PERMIT REVISION	4

GOLD MAN
ARCHITECTS

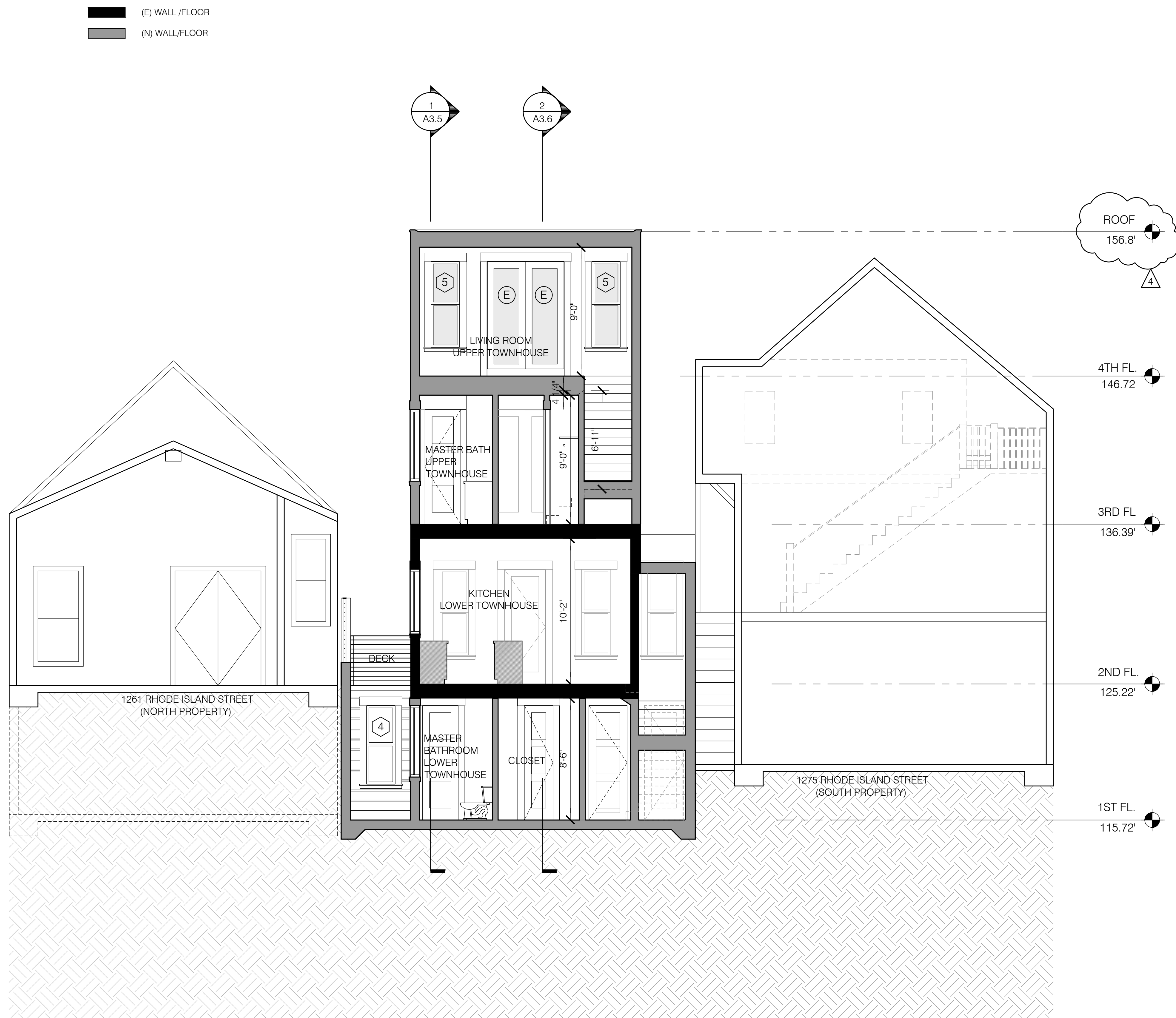
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LONGITUDINAL BUILDING SECTION

Date: 08-21-15
Scale: 1/4" = 1'-0"
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Job: 1406
Sheet

A3.5



3
A3.7

CROSS BUILDING SECTION

SCALE: 1/4"=1'-0"



ISSUES	
	08-21-15 SITE PERMIT
1	11-16-15 SITE PERMIT REVISION
	12-21-15 SITE PERMIT REVISION
3	1-5-18 SITE PERMIT REVISION
4	7-31-18 SITE PERMIT REVISION

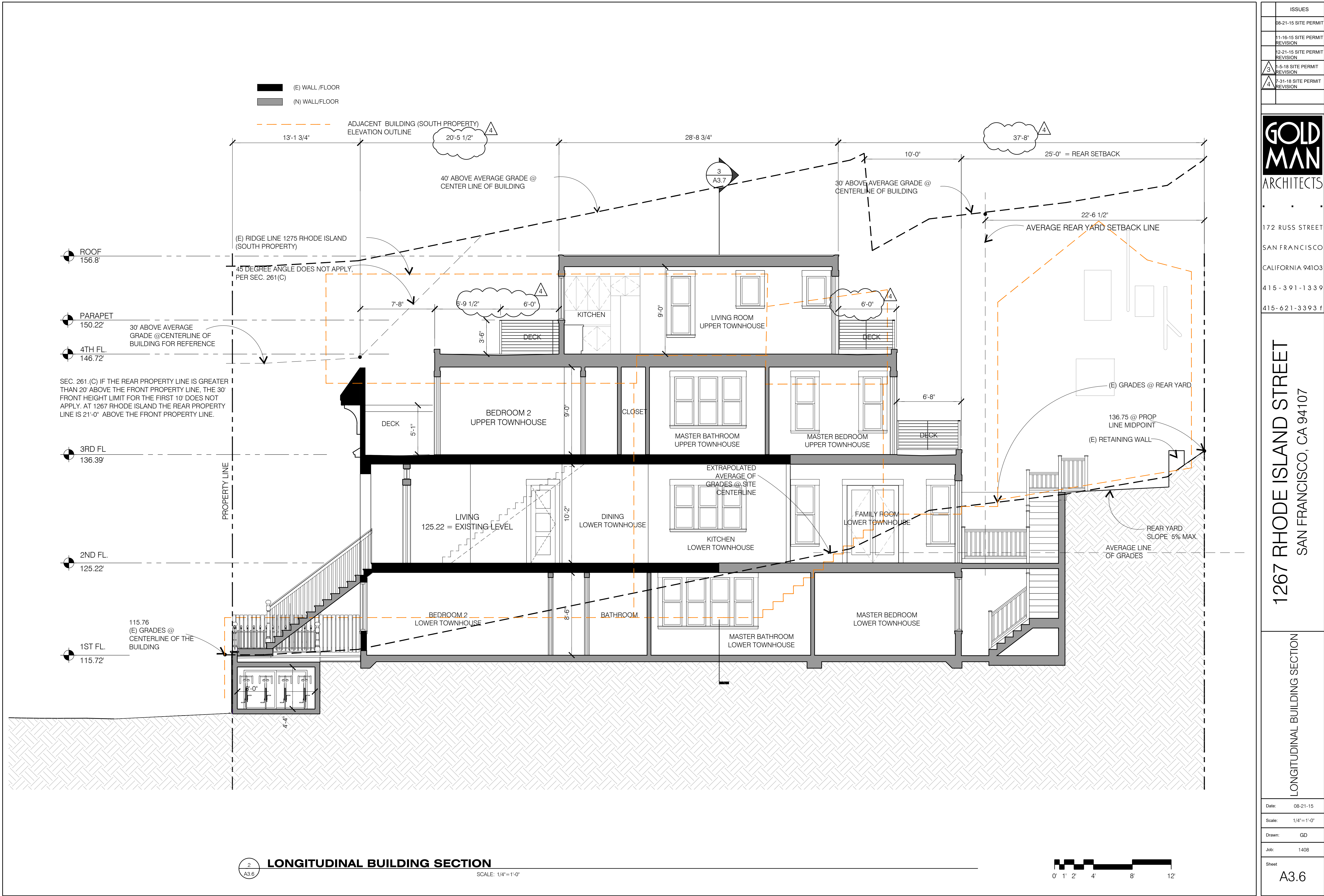
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SAN FRANCISCO, CA 94107

CROSS BUILDING SECTION

Date:	08-21-15
Scale:	1/4"=1'-0"
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1261 RHODE ISLAND STREET



1267 RHODE ISLAND STREET

1275 RHODE ISLAND STREET



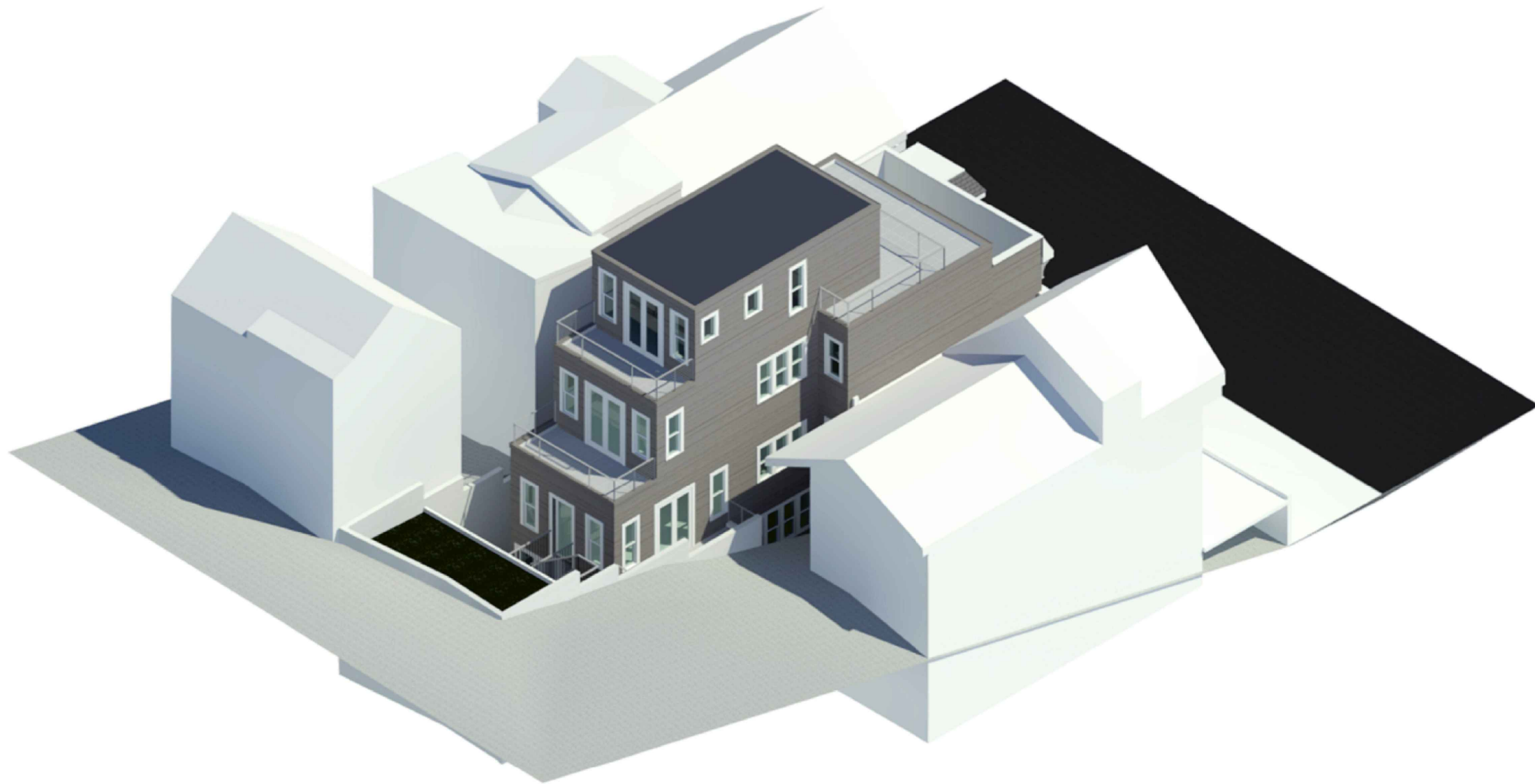
RHODE ISLAND STREET VIEW FROM ACROSS THE STREET



REAR YARD VIEW



STREET AERIAL VIEW



REAR YARD AERIAL VIEW

ISSUES	
	08-21-15 SITE PERMIT
	11-16-15 SITE PERMIT REVISION
	12-21-15 SITE PERMIT REVISION
3	1-5-18 SITE PERMIT REVISION
4	7-31-18 SITE PERMIT REVISION

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1267 RHODE ISLAND STREET
SAN FRANCISCO, CA 94107

PERSPECTIVES

Date:	08-21-15
Scale:	1/4"=1'-0"
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A4.1

Green Building: Site Permit Checklist

BASIC INFORMATION:

These facts, plus the primary occupancy, determine which requirements apply. For details, see AB 093 Attachment A Table 1.

Project Name 1267 RHODE ISLAND STREET	Block/Lot 4217/LOT 018	Address 1267 RHODE ISLAND STREET, SAN FRANCISCO CA 94107
Gross Building Area 4,093 SF	Primary Occupancy RESIDENTIAL	Design Professional/Applicant: Sign & Date JOHN GOLDMAN/GOLDMAN ARCHITECTS
# of Dwelling Units 1 NEW, 1 EXISTING	Height to highest occupied floor 39'-4"	Number of occupied floors 5

ALL PROJECTS, AS APPLICABLE	
Construction activity stormwater pollution prevention and site runoff controls - Provide a construction site Stormwater Pollution Prevention Plan and implement SFPUC Best Management Practices.	●
Stormwater Control Plan: Projects disturbing ≥5,000 square feet must implement a Stormwater Control Plan meeting SFPUC Stormwater Design Guidelines	●
Water Efficient Irrigation - Projects that include ≥ 1,000 square feet of new or modified landscape must comply with the SFPUC Water Efficient Irrigation Ordinance.	●
Construction Waste Management – Comply with the San Francisco Construction & Demolition Debris Ordinance	●
Recycling by Occupants: Provide adequate space and equal access for storage, collection and loading of compostable, recyclable and landfill materials. See Administrative Bulletin 088 for details.	●

GREENPOINT RATED PROJECTS	
Proposing a GreenPoint Rated Project (Indicate at right by checking the box.)	
Base number of required Greenpoints:	75
Adjustment for retention / demolition of historic features / building:	
Final number of required points (base number +/- adjustment)	
GreenPoint Rated (i.e. meets all prerequisites)	●
Energy Efficiency: Demonstrate a 15% energy use reduction compared to 2008 California Energy Code, Title 24, Part 6.	●
Meet all California Green Building Standards Code requirements (CalGreen measures for residential projects have been integrated into the GreenPoint Rated system.)	●

Notes

- 1) New residential projects of 75' or greater must use the "New Residential High-Rise" column. New residential projects with >3 occupied floors and less than 75 feet to the highest occupied floor may choose to apply the LEED for Homes Mid-Rise rating system; if so, you must use the "New Residential Mid-Rise" column.
- 2) LEED for Homes Mid-Rise projects must meet the "Silver" standard, including all prerequisites. The number of points required to achieve Silver depends on unit size. See LEED for Homes Mid-Rise Rating System to confirm the base number of points required.
- 3) Requirements for additions or alterations apply to applications received on or after July 1, 2012.

Instructions:

As part of application for site permit, this form acknowledges the specific green building requirements that apply to a project under San Francisco Building Code Chapter 13C, California Title 24 Part 11, and related local codes. **Attachment C3, C4, or C5 will be due with the applicable addendum.** To use the form:

(a) Provide basic information about the project in the box at left. This info determines which green building requirements apply.

AND

(b) Indicate in one of the columns below which type of project is proposed. If applicable, fill in the blank lines below to identify the number of points the project must meet or exceed. A LEED or GreenPoint checklist is not required to be submitted with the site permit application, but such tools are strongly recommended to be used .

Solid circles in the column indicate mandatory measures required by state and local codes. For projects applying LEED or GreenPoint Rated, prerequisites of those systems are mandatory. This form is a summary; see San Francisco Building Code Chapter 13C for details.

LEED PROJECTS						
	New Large Commercial	New Residential Mid-Rise ¹	New Residential High-Rise ¹	Commerical Interior	Commercial Alteration	Residential Alteration
Type of Project Proposed (Indicate at right)						
Overall Requirements:						
LEED certification level (includes prerequisites):	GOLD	SILVER	SILVER	GOLD	GOLD	GOLD
Base number of required points:	60	²	50	60	60	60
Adjustment for retention / demolition of historic features / building:				n/a		
Final number of required points (base number +/- adjustment)				50		
Specific Requirements: (n/r indicates a measure is not required)						
Construction Waste Management – 75% Diversion AND comply with San Francisco Construction & Demolition Debris Ordinance LEED MR 2, 2 points	●	●	●	●	Meet C&D ordinance only	●
15% Energy Reduction Compared to Title-24 2008 (or ASHRAE 90.1-2007) LEED EA 1, 3 points	●	●	●	●	LEED prerequisite only	
Renewable Energy or Enhanced Energy Efficiency Effective 1/1/2012: Generate renewable energy on-site ≥1% of total annual energy cost (LEED EAc2), OR Demonstrate an additional 10% energy use reduction (total of 25% compared to Title 24 Part 6 2008), OR Purchase Green-E certified renewable energy credits for 35% of total electricity use (LEED EAc6).	●	n/r	n/r	n/r	n/r	n/r
Enhanced Commissioning of Building Energy Systems LEED EA 3	●	Meet LEED prerequisites				
Water Use - 30% Reduction LEED WE 3, 2 points	●	n/r	●	Meet LEED prerequisites		
Enhanced Refrigerant Management LEED EA 4	●	n/r	n/r	n/r	n/r	n/r
Indoor Air Quality Management Plan LEED IEQ 3.1	●	n/r	n/r	n/r	n/r	n/r
Low-Emitting Materials LEED IEQ 4.1, 4.2, 4.3, and 4.4	●	n/r	●	●	●	●
Bicycle parking: Provide short-term and long-term bicycle parking for 5% of total motorized parking capacity each, or meet San Francisco Planning Code Sec 155, whichever is greater, or meet LEED credit SSc4.2. (13C.5.106.4)	●	n/r See San Francisco Planning Code 155		●	n/r	n/r
Designated parking: Mark 8% of total parking stalls for low-emitting, fuel efficient, and carpool/van pool vehicles. (13C.5.106.5)	●			●	n/r	n/r
Water Meters: Provide submeters for spaces projected to consume more than 1,000 gal/day, or more than 100 gal/day if in building over 50,000 sq. ft. (13C.5.303.1)	●	n/r	n/r	n/r	n/r	n/r
Air Filtration: Provide at least MERV-8 filters in regularly occupied spaces of mechanically ventilated buildings (or LEED credit IEQ 5). (13C.5.504.5.3)	●	n/r	n/r	●	n/r	n/r
Air Filtration: Provide MERV-13 filters in residential buildings in air-quality hot-spots (or LEED credit IEQ 5). (SF Health Code Article 38 and SF Building Code 1203.5)	n/r	●	●	n/r	n/r	n/r
Acoustical Control: wall and roof-ceilings STC 50, exterior windows STC 30, party walls and floor-ceilings STC 40. (13C.5.507.4)	●	See CBC 1207		●	n/r	n/r

OTHER APPLICABLE NON-RESIDENTIAL PROJECTS		
Requirements below only apply when the measure is applicable to the project. Code references below are applicable to New Non-Residential buildings. Corresponding requirements for additions and alterations can be found in Title 24 Part 11, Division 5.7. Requirements for additions or alterations apply to applications received July 1, 2012 or after. ³	Other New Non-Residential	Addition >2,000 sq ft OR Alteration >\$500,000 ³
Type of Project Proposed (Check box if applicable)		
Energy Efficiency: Demonstrate a 15% energy use reduction compared to 2008 California Energy Code, Title 24, Part 6. (13C.5.201.1.1)	●	n/r
Bicycle parking: Provide short-term and long-term bicycle parking for 5% of total motorized parking capacity each, or meet San Francisco Planning Code Sec 155, whichever is greater (or LEED credit SSc4.2). (13C.5.106.4)	●	●
Fuel efficient vehicle and carpool parking: Provide stall marking for low-emitting, fuel efficient, and carpool/van pool vehicles; approximately 8% of total spaces. (13C.5.106.5)	●	●
Water Meters: Provide submeters for spaces projected to consume >1,000 gal/day, or >100 gal/day if in buildings over 50,000 sq. ft.	●	●
Indoor Water Efficiency: Reduce overall use of potable water within the building by 20% for showerheads, lavatories, kitchen faucets, wash fountains, water closets, and urinals. (13C.5.303.2)	●	●
Commissioning: For new buildings greater than 10,000 square feet, commissioning shall be included in the design and construction of the project to verify that the building systems and components meet the owner's project requirements. (13C.5.410.2) OR for buildings less than 10,000 square feet, testing and adjusting of systems is required.	●	● (Testing & Balancing)
Protect duct openings and mechanical equipment during construction (13C.5.504.3)	●	●
Adhesives, sealants, and caulks: Comply with VOC limits in SCAQMD Rule 1168 VOC limits and California Code of Regulations Title 17 for aerosol adhesives. (13C.5.504.4.1)	●	●
Paints and coatings: Comply with VOC limits in the Air Resources Board Architectural Coatings Suggested Control Measure and California Code of Regulations Title 17 for aerosol paints. (13C.5.504.4.3)	●	●
Carpet: All carpet must meet one of the following: 1. Carpet and Rug Institute Green Label Plus Program 2. California Department of Public Health Standard Practice for the testing of VOCs (Specification 01350) 3. NSF/ANSI 140 at the Gold level 4. Scientific Certifications Systems Sustainable Choice AND Carpet cushion must meet CRI Green Label, AND Carpet adhesive must not exceed 50 g/L VOC content. (13C.5.504.4.4)	●	●
Composite wood: Meet CARB Air Toxics Control Measure for Composite Wood (13C.5.504.4.5)	●	●
Resilient flooring systems: For 50% of floor area receiving resilient flooring, install resilient flooring complying with the VOC-emission limits defined in the 2009 Collaborative for High Performance Schools (CHPS) criteria or certified under the Resilient Floor Covering Institute (RFCI) FloorScore program. (13C.5.504.4.6)	●	●
Environmental Tobacco Smoke: Prohibit smoking within 25 feet of building entries, outdoor air intakes, and operable windows. (13C.5.504.7)	●	●
Air Filtration: Provide at least MERV-8 filters in regularly occupied spaces of mechanically ventilated buildings. (13C.5.504.5.3)	●	Limited exceptions. See CA T24 Part 11 Section 5.714.6
Acoustical Control: Wall and roof-ceilings STC 50, exterior windows STC 30, party walls and floor-ceilings STC 40. (13C.5.507.4)	●	● See CA T24 Part 11 Section 5.714.7
CFCs and Halons: Do not install equipment that contains CFCs or Halons. (13C.5.508.1)	●	●
Additional Requirements for New A, B, I, OR M Occupancy Projects 5,000 - 25,000 Square Feet		
Construction Waste Management – Divert 75% of construction and demolition debris AND comply with San Francisco Construction & Demolition Debris Ordinance.	●	Meet C&D ordinance only
Renewable Energy or Enhanced Energy Efficiency Effective January 1, 2012: Generate renewable energy on-site equal to ≥1% of total annual energy cost (LEED EAc2), OR demonstrate an additional 10% energy use reduction (total of 25% compared to Title 24 Part 6 2008), OR purchase Green-E certified renewable energy credits for 35% of total electricity use (LEED EAc6).	●	n/r

	ISSUES
	08-21-15 SITE PERMIT
	11-16-15 SITE PERMIT REVISION
	12-21-15 SITE PERMIT REVISION
3	1-5-18 SITE PERMIT REVISION
4	7-31-18 SITE PERMIT REVISION

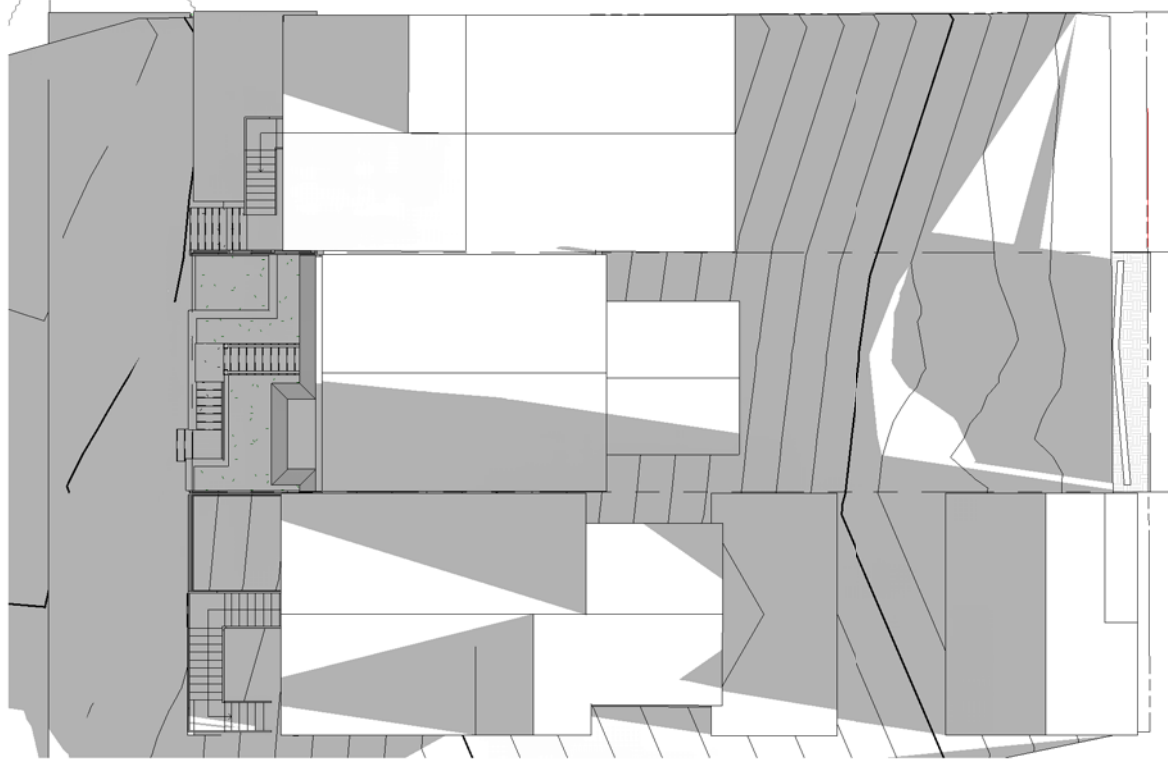


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415-391-1339
415-621-3393 f

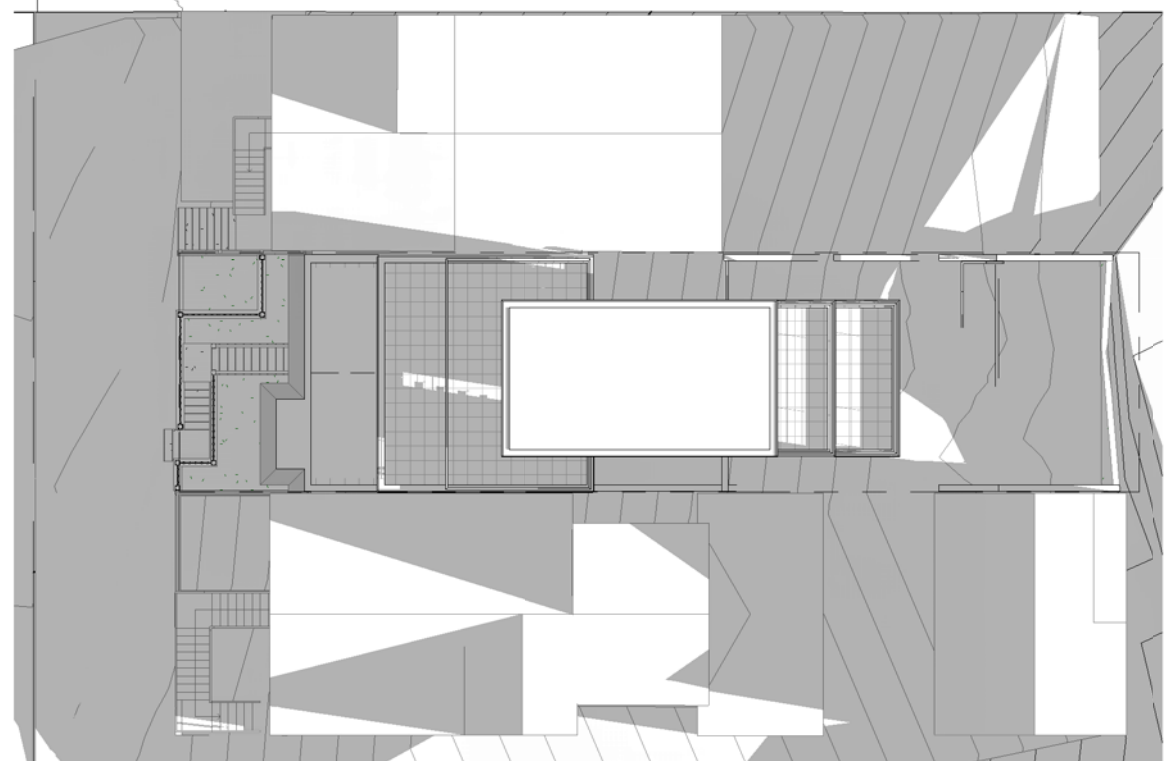
1267 RHODE ISLAND STREET
SAN FRANCISCO, CA 94107

C-2 GREEN BUILDING
SITE PLAN CHECKLIST

Date:	08-21-15
Scale:	1/4"= 1'-0"
Drawn:	GD
Job:	1406
Sheet	G1



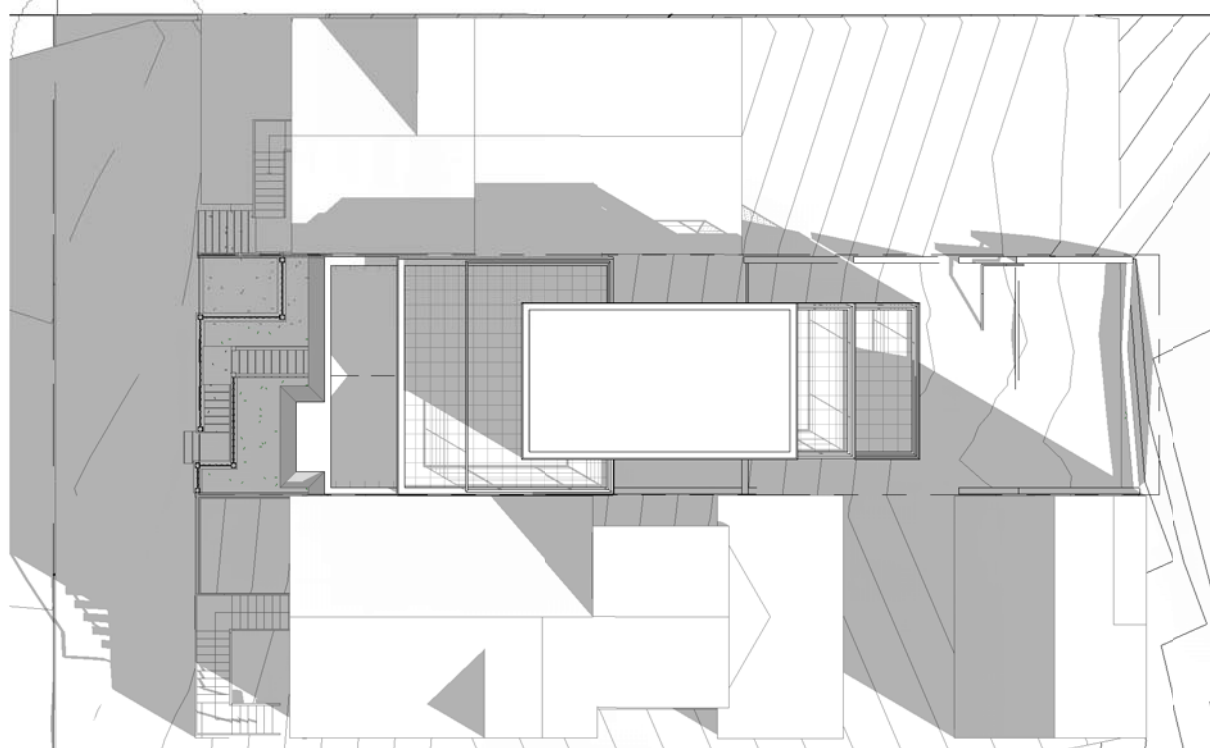
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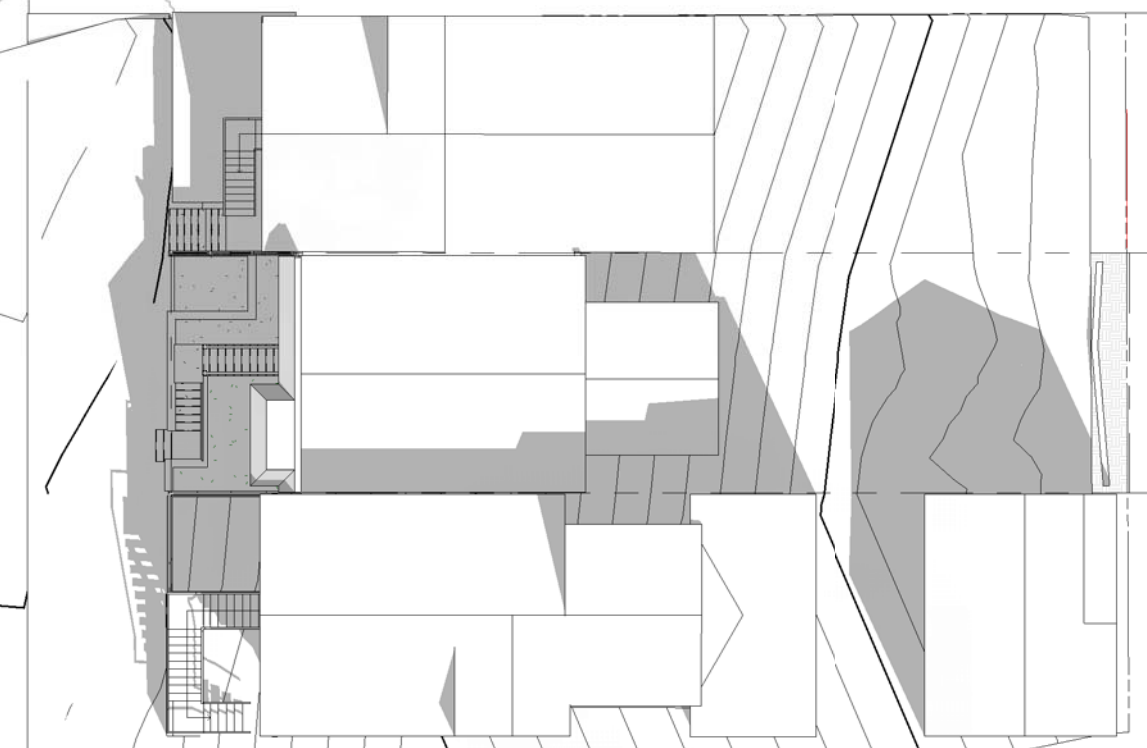
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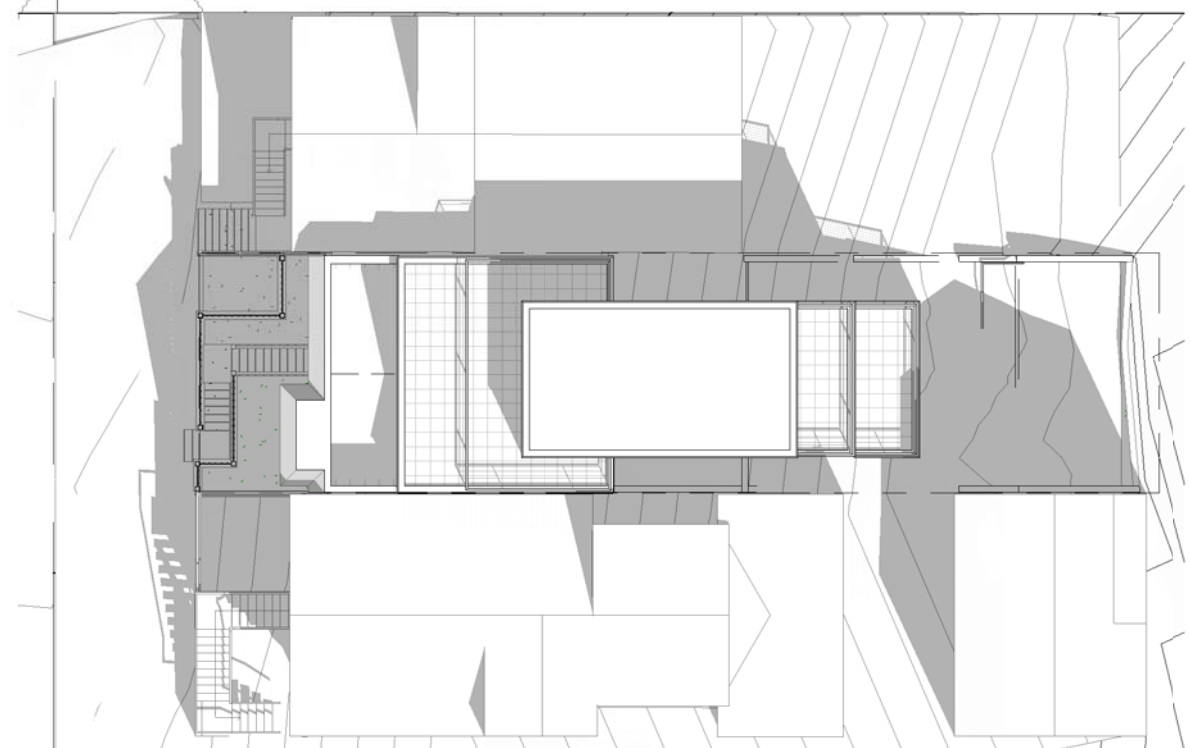
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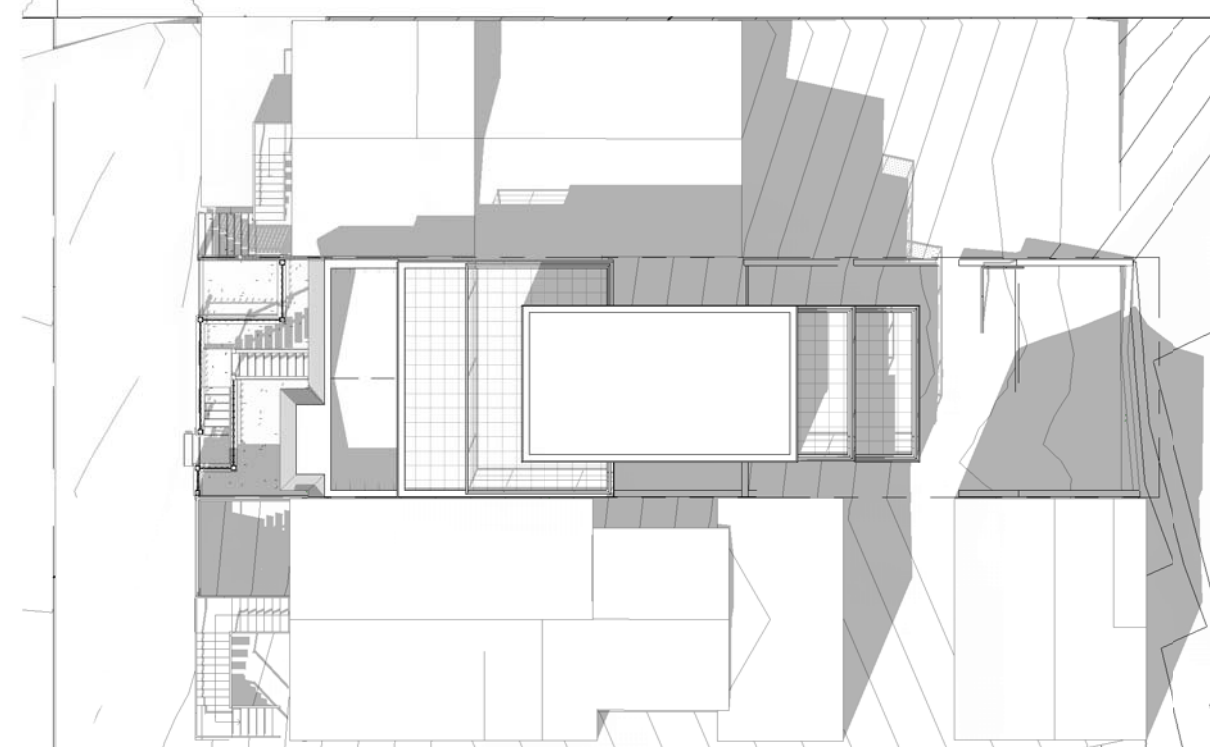
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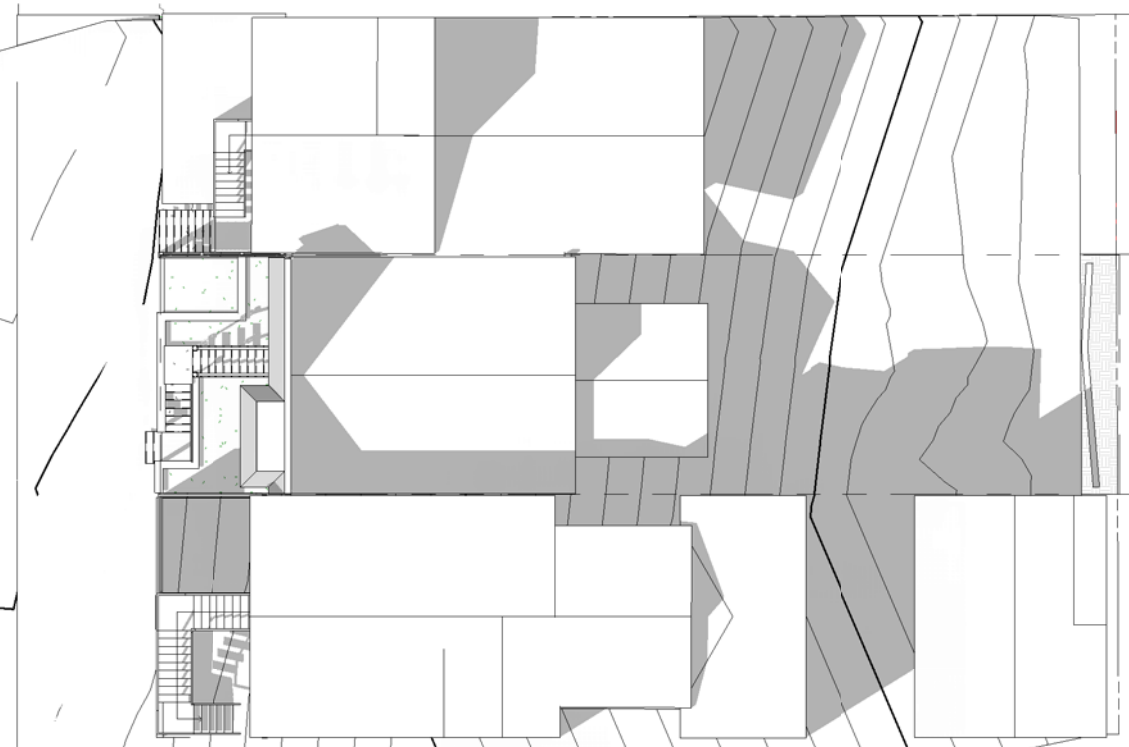
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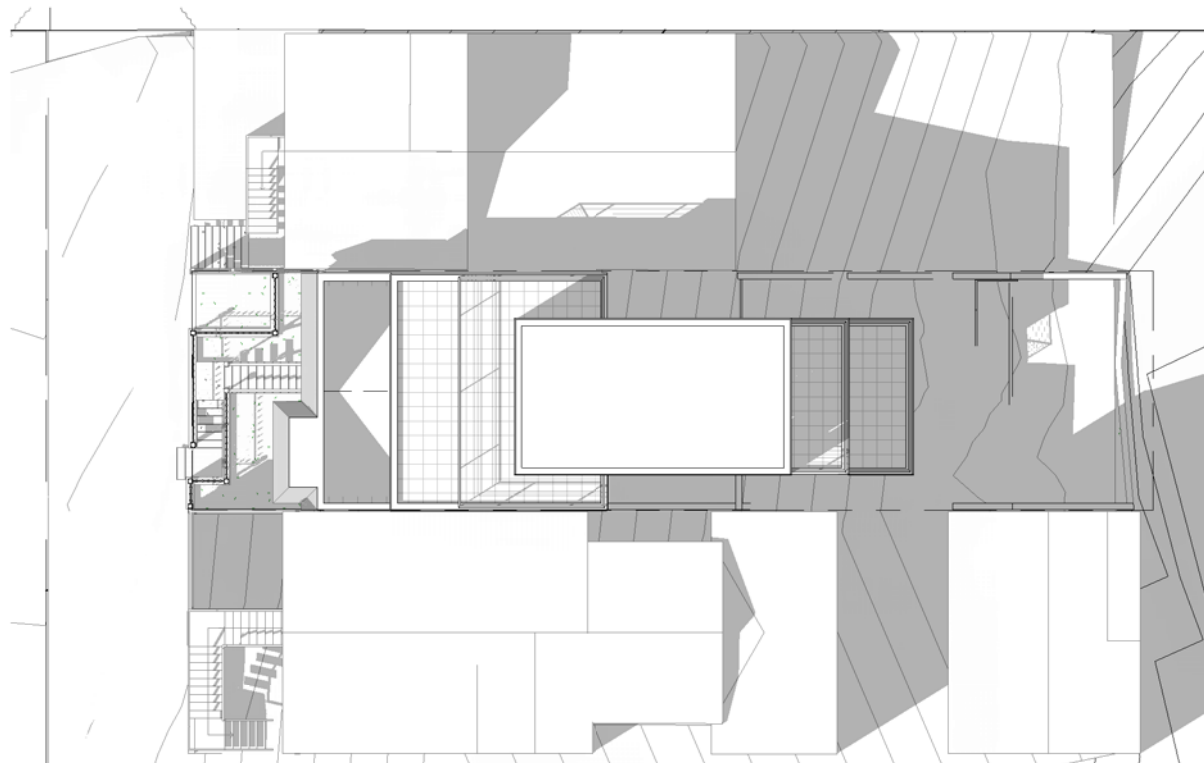
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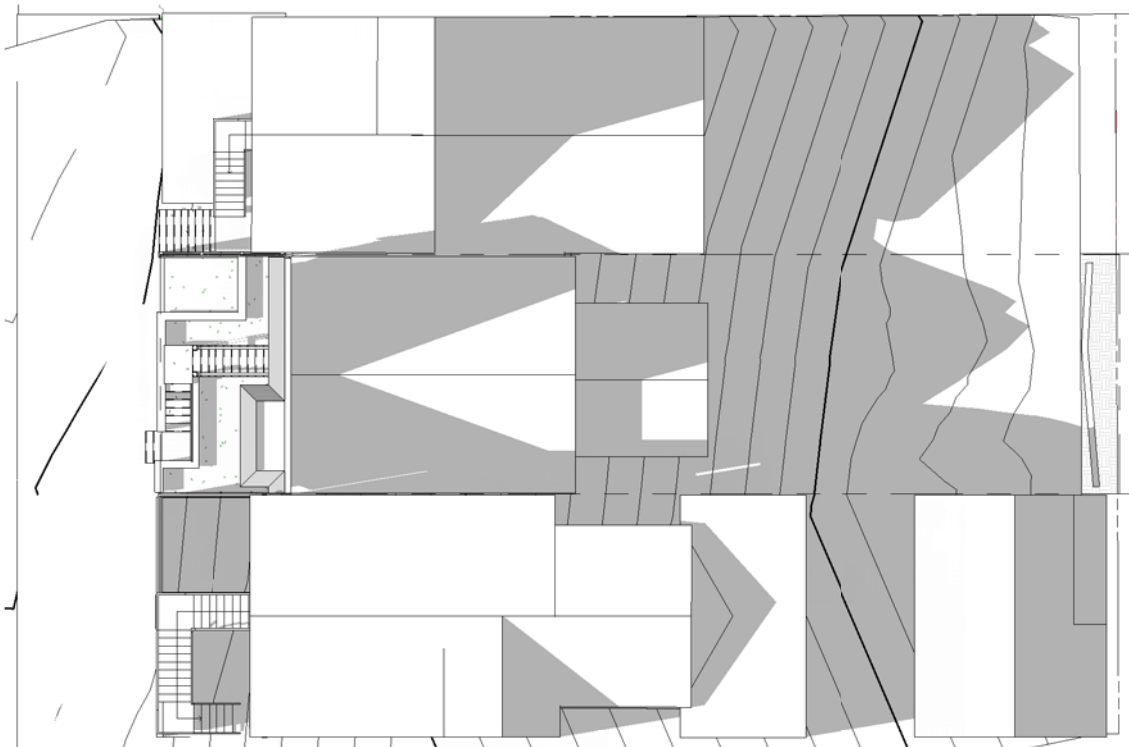
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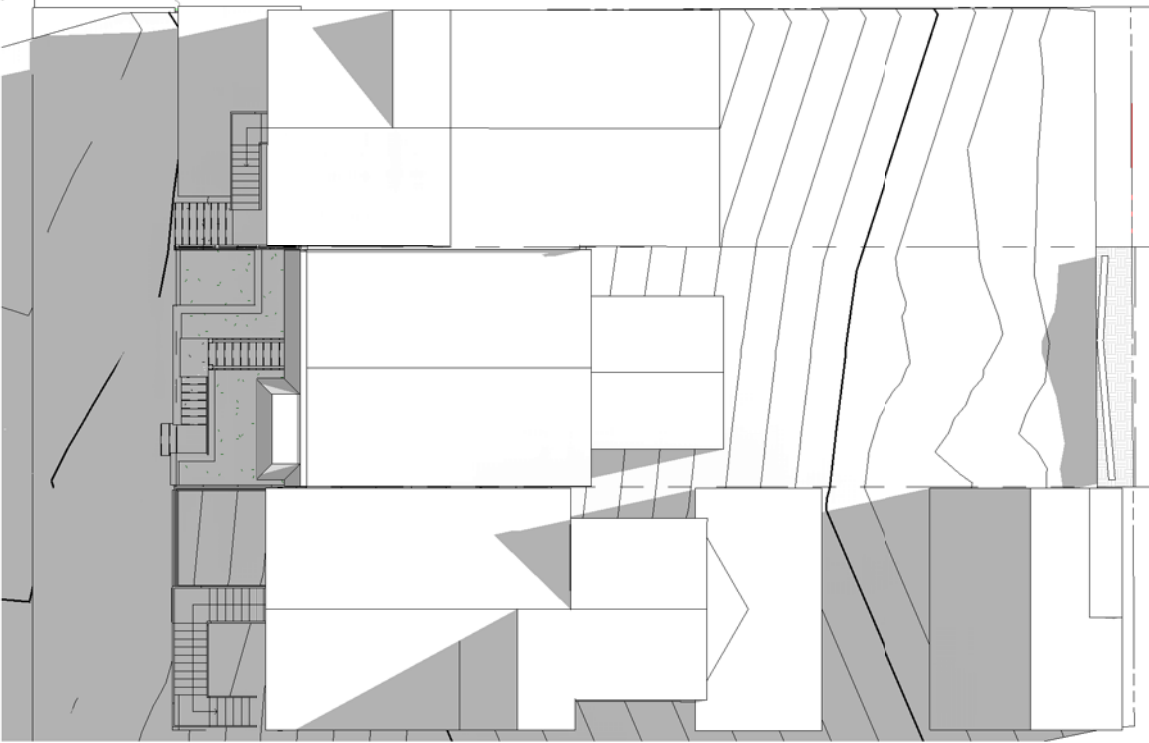
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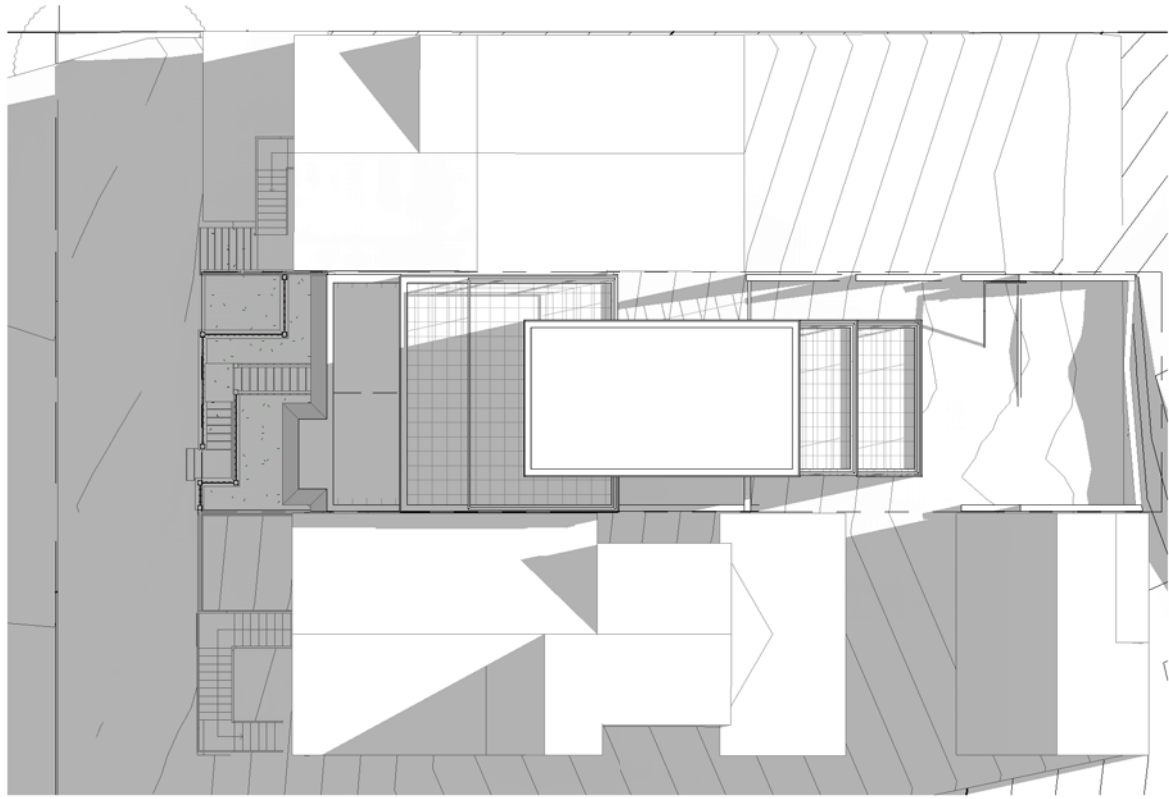
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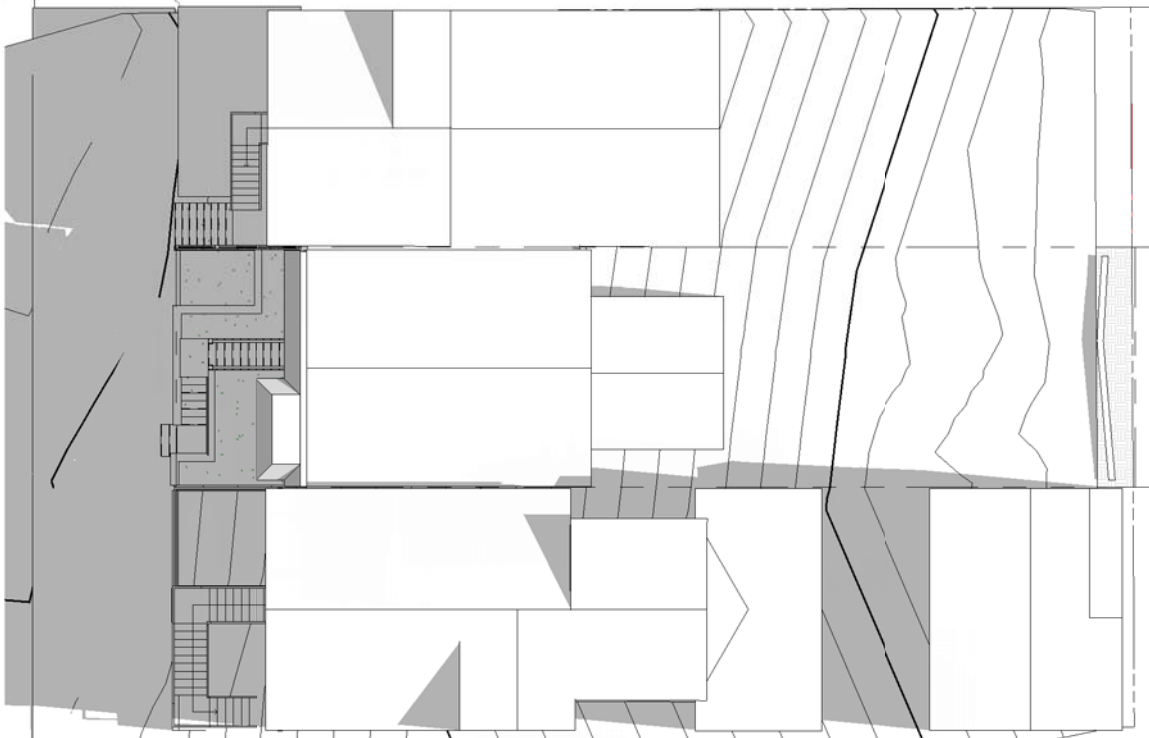
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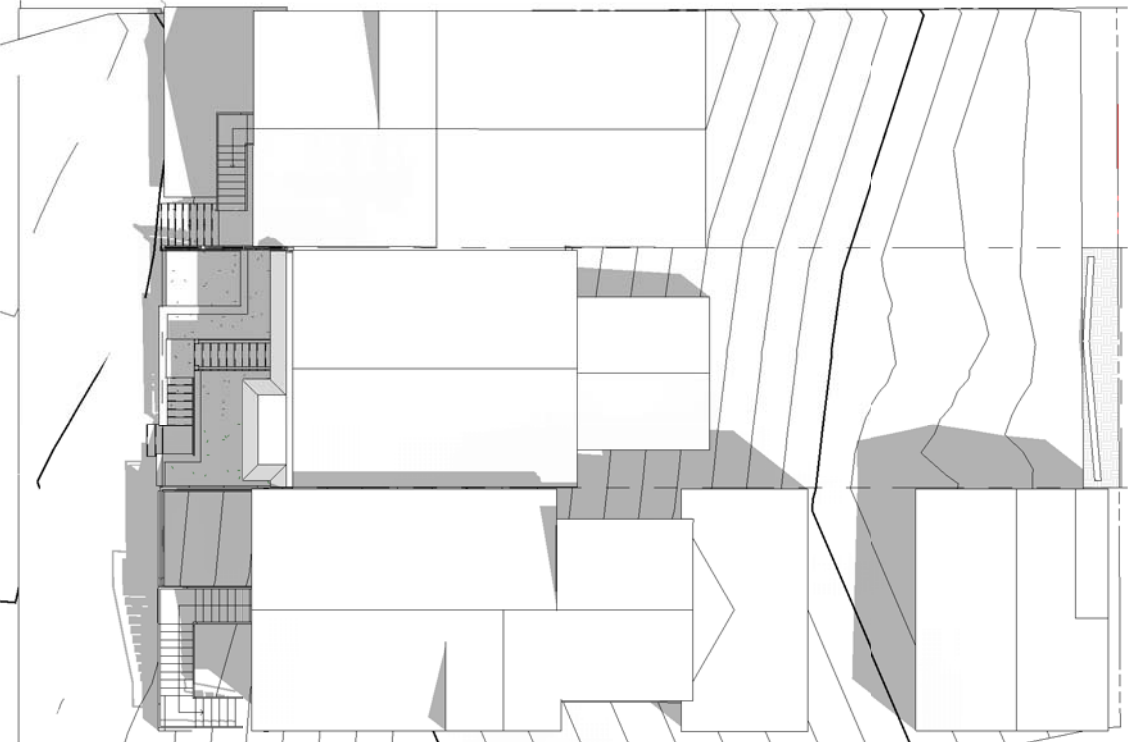
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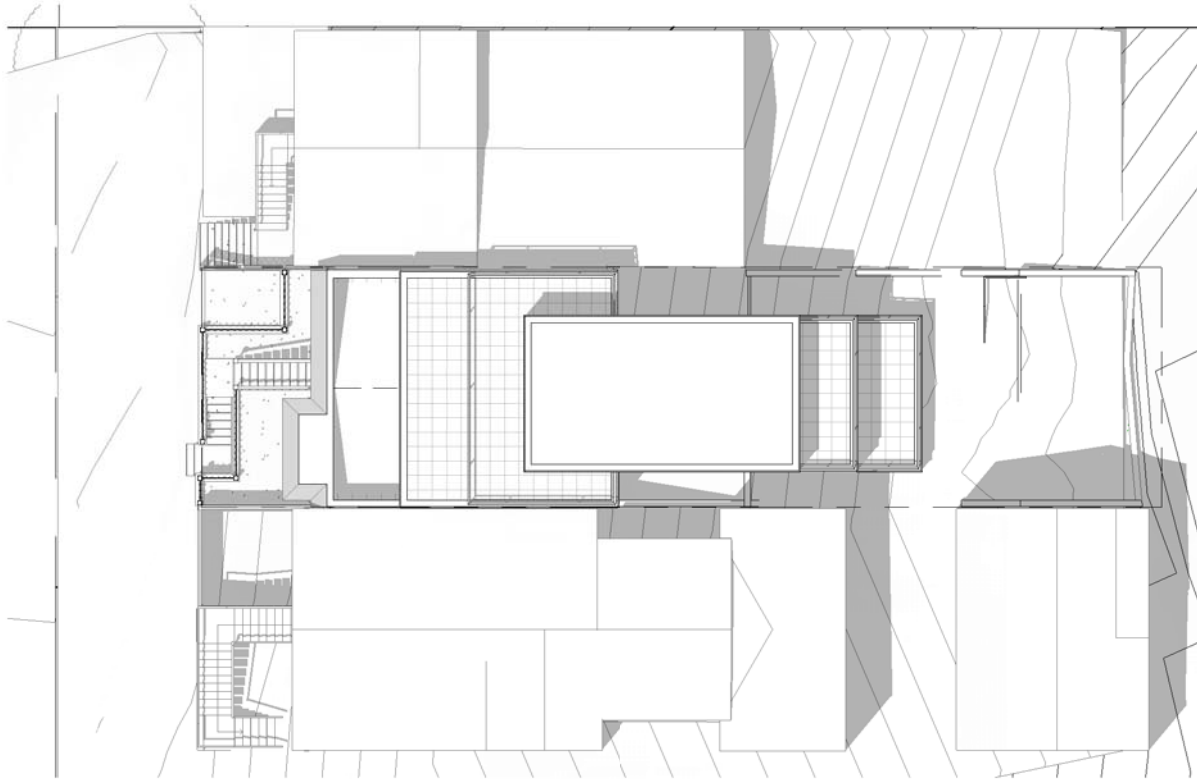
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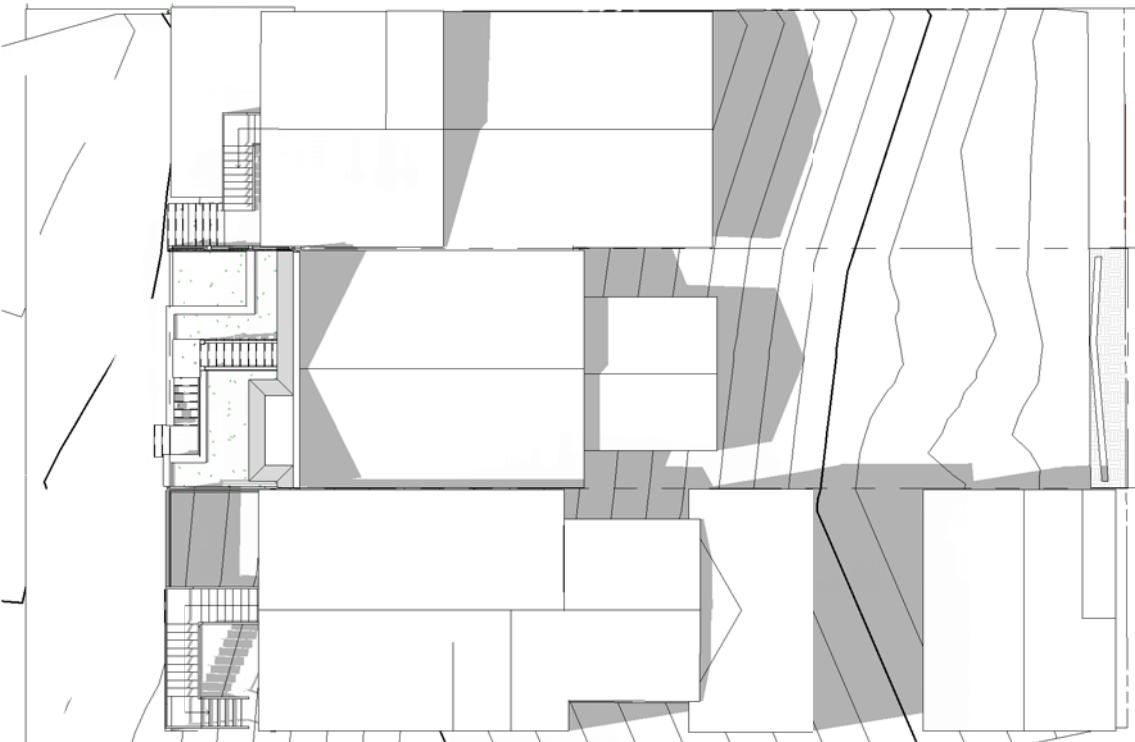
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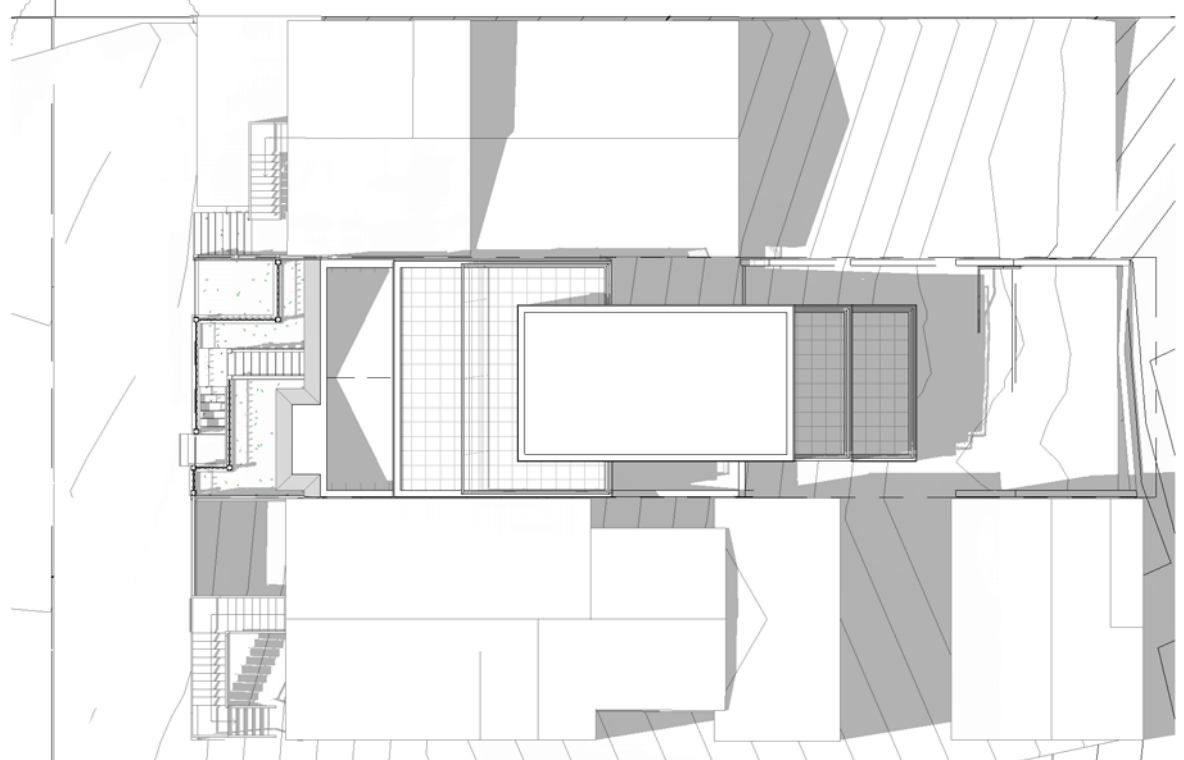
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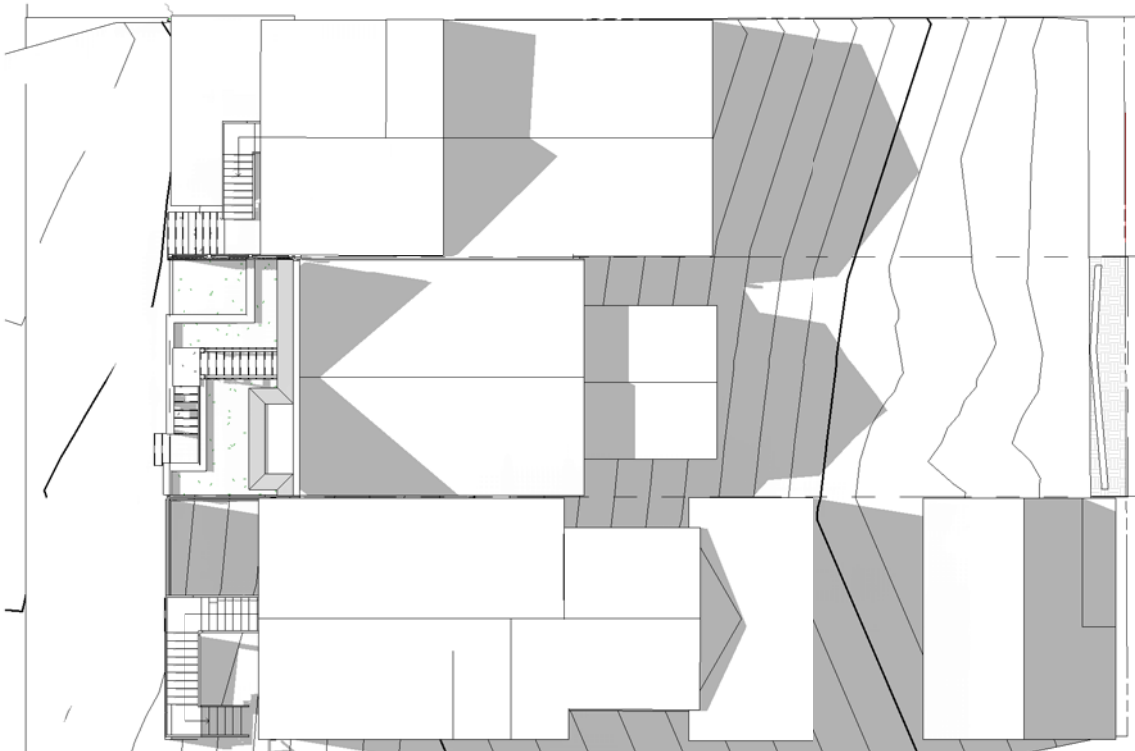
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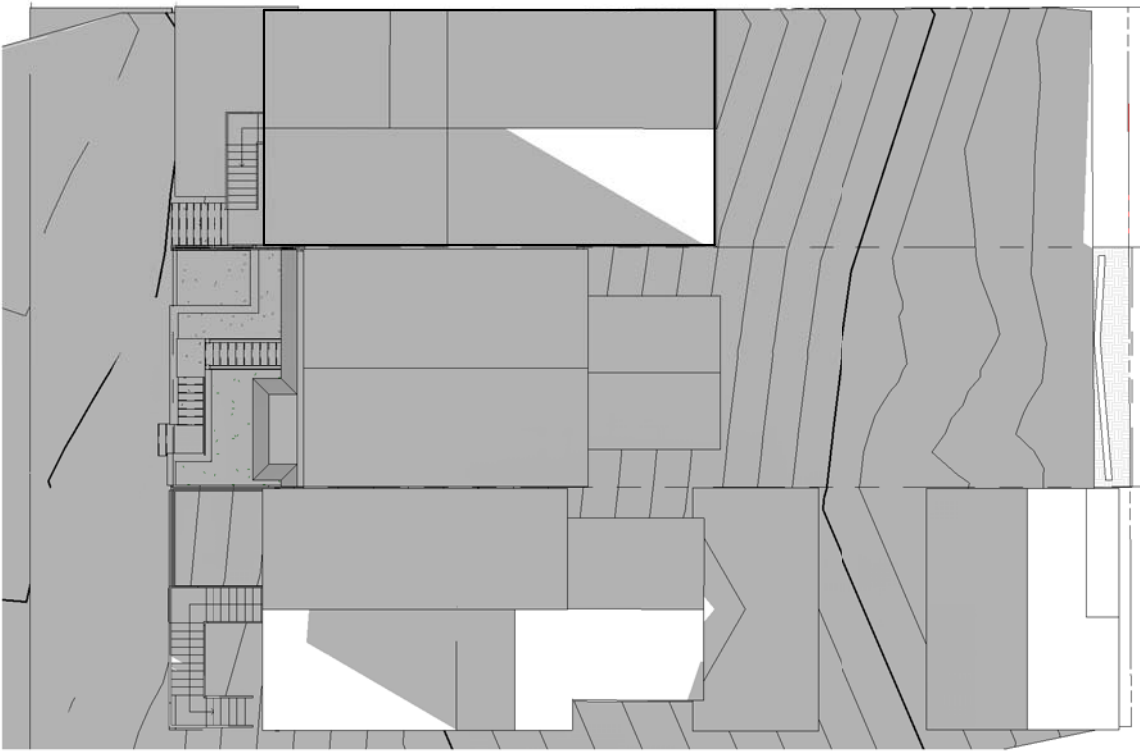
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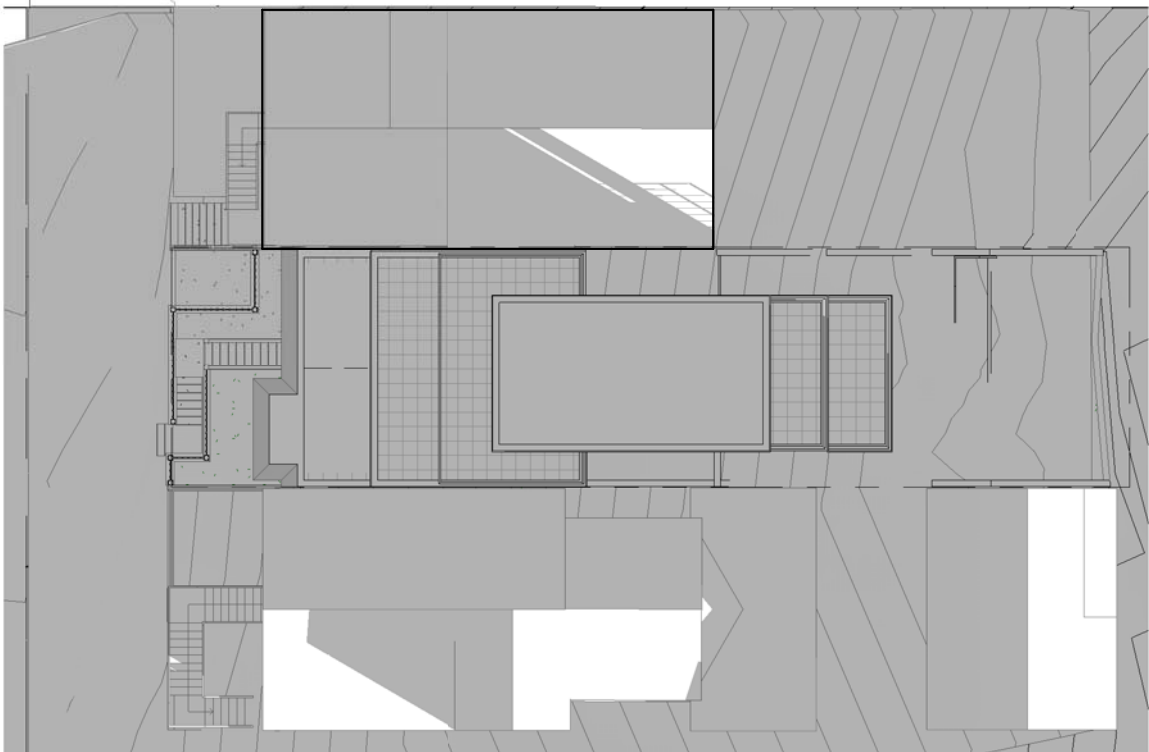
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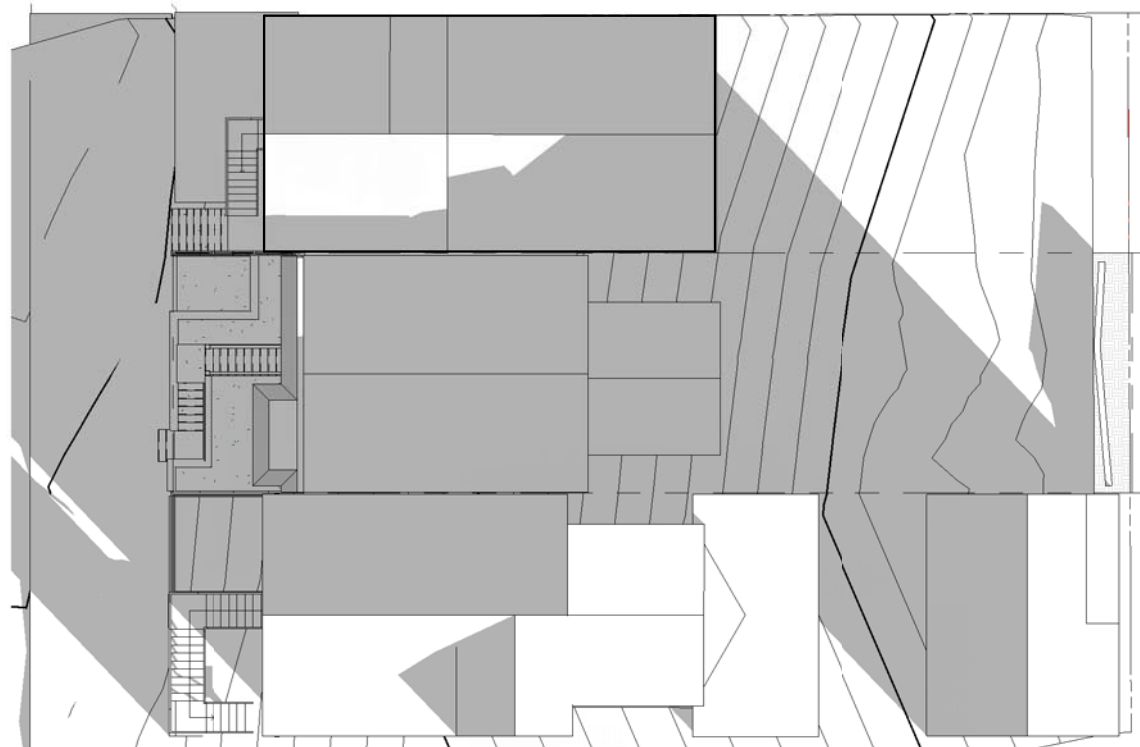
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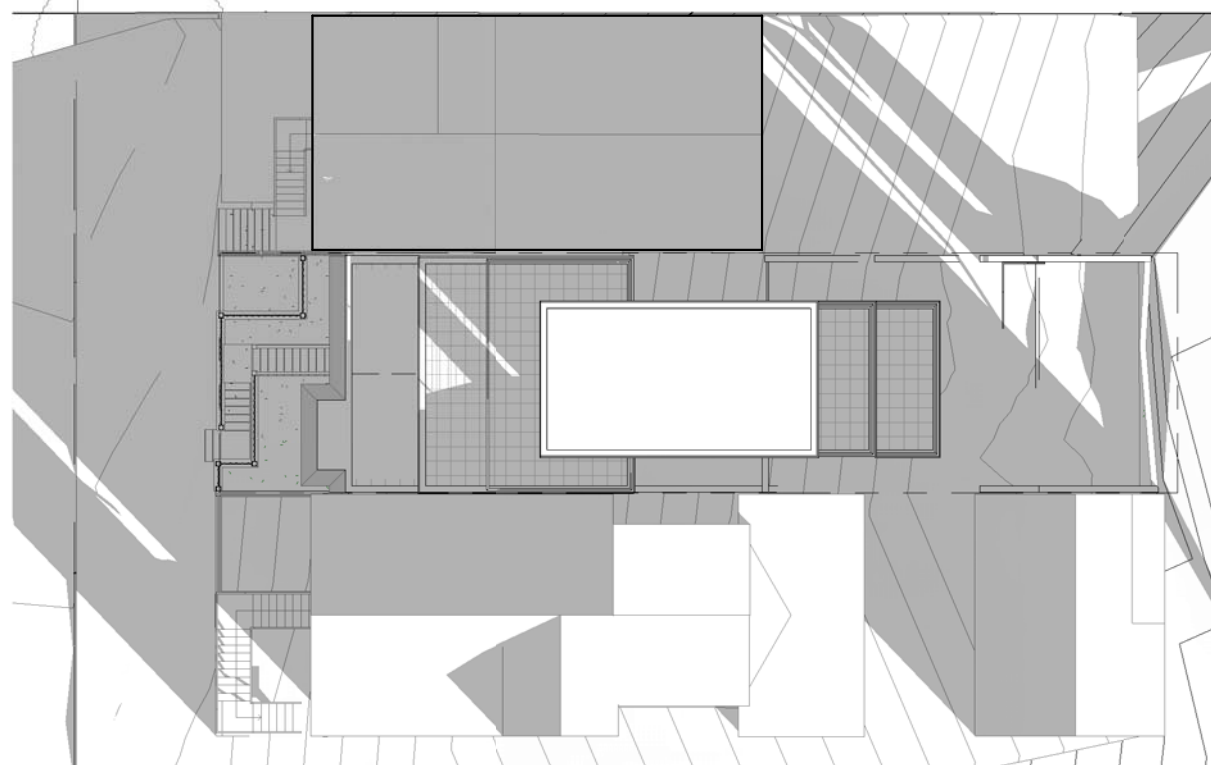
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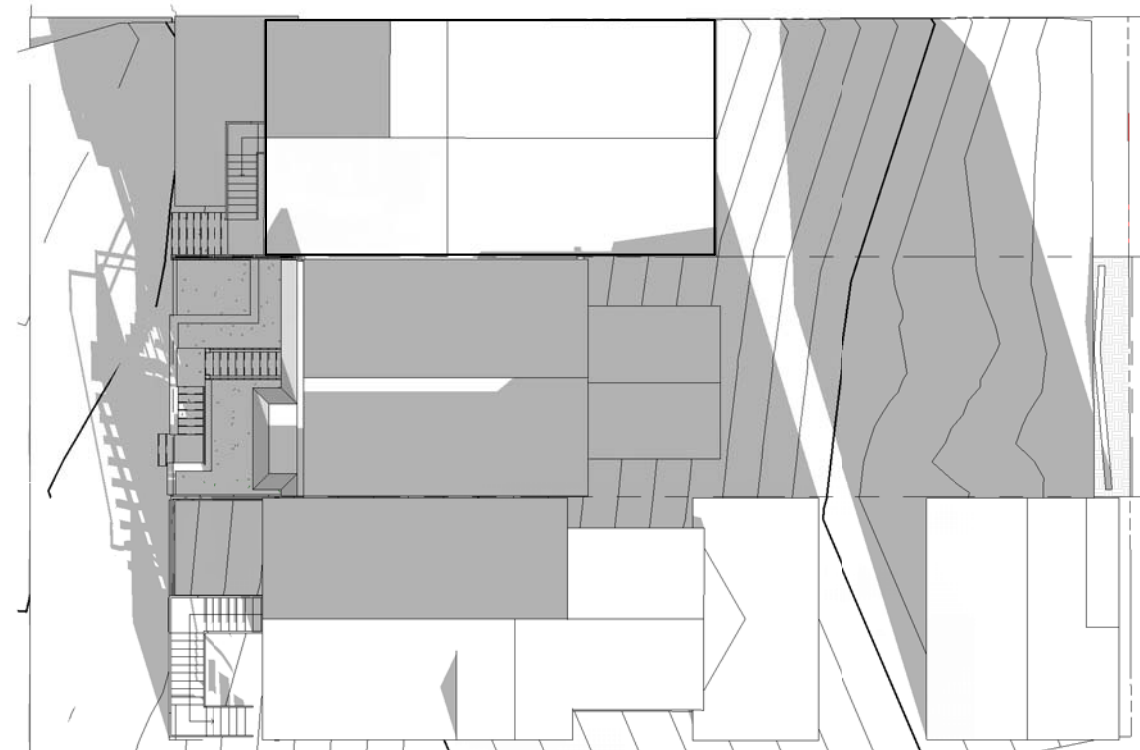
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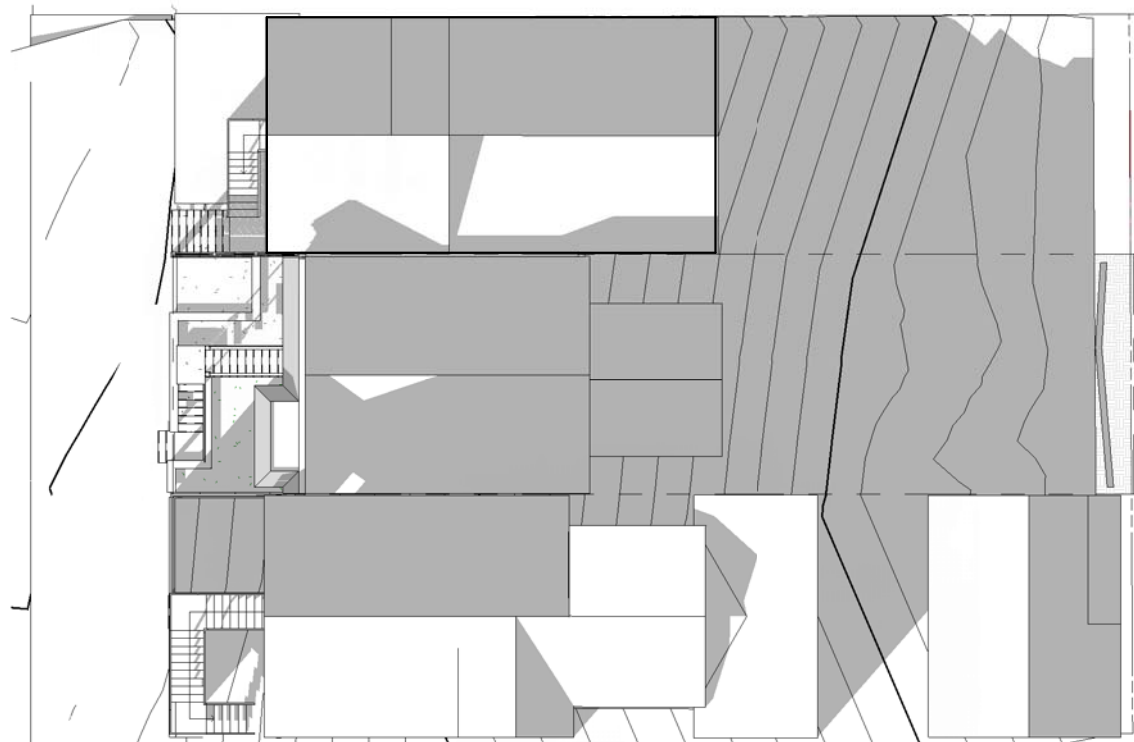
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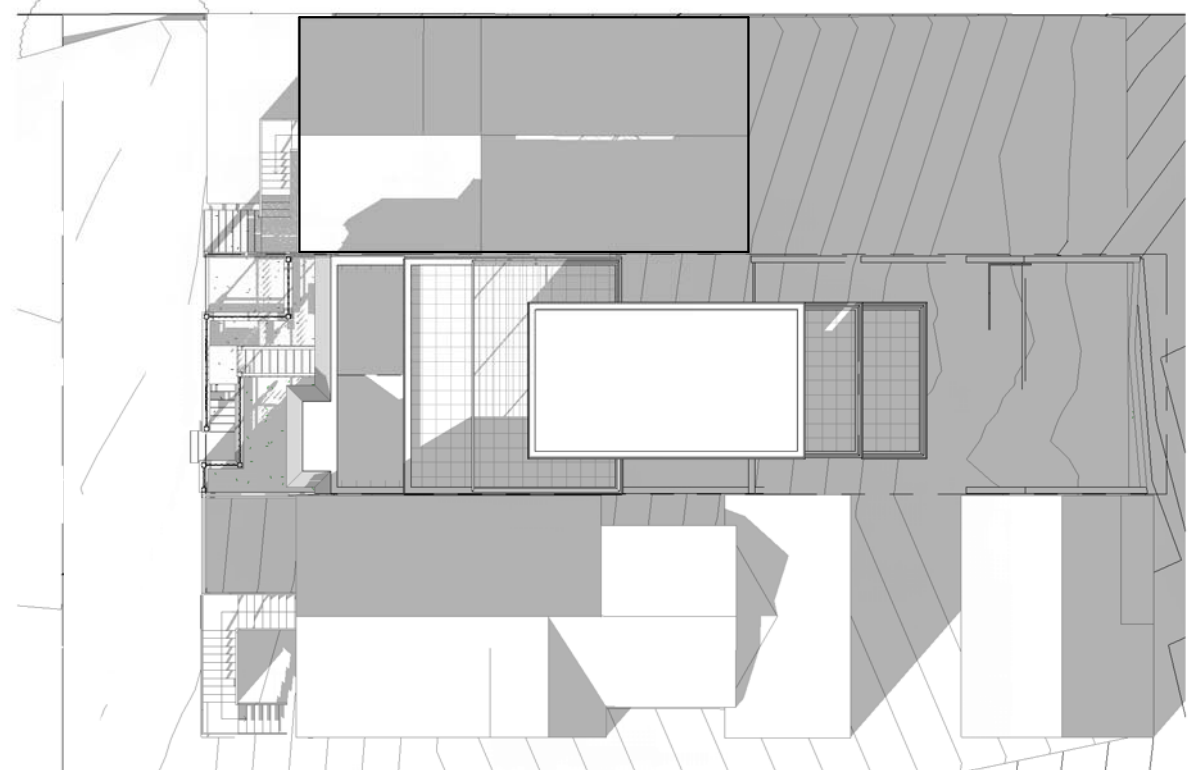
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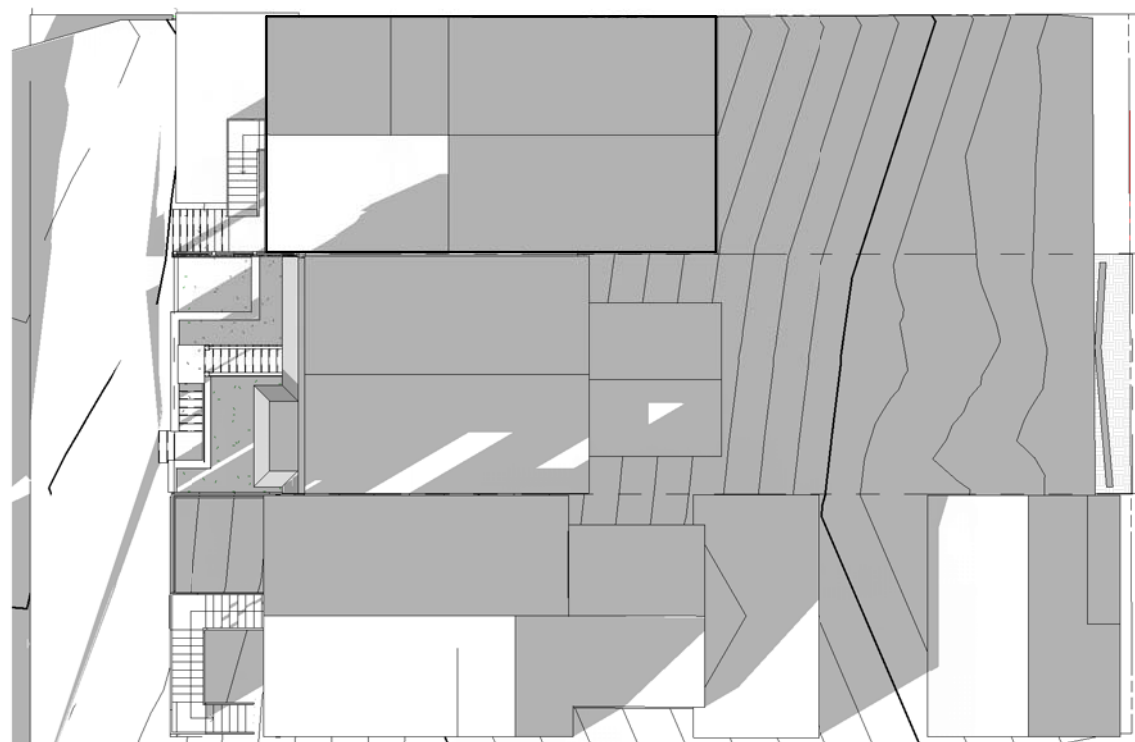
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12/21/18_4PM



Shadow Study_Existing
12/21/18_6PM



Shadow Study_New
12/21/18_6PM