



SAN FRANCISCO PLANNING DEPARTMENT

Discretionary Review Full Analysis

HEARING DATE AUGUST 11, 2016

Date: August 1, 2016
Case No.: 2015-013000DRP
Project Address: 626-630 9th Avenue
Permit Application: 2015.08.28.5544
Zoning: RH-2 (Residential House, Two-Family)
40-X Height and Bulk District
Block/Lot: 1636/025
Project Sponsor: Fergus O'Sullivan
2459 Lombard Street
San Francisco, CA 94123
Staff Contact: Wayne Farrens – (415) 575-9172
wayne.farrens@sfgov.org
Recommendation: **Do not take DR and approve the project as proposed.**

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

PROJECT DESCRIPTION

The Project Sponsor proposes interior renovations and a full seismic upgrade at the basement floor. A small expansion of the basement floor is proposed into the existing lightwell. The lightwell will remain unobstructed above the basement floor. The scope of work is approvable over-the-counter by Planning Department staff and was in fact approved on September 28, 2015.

However, a Block Book Notification (BBN) was active on the subject property at the time of approval but overlooked by the approving Planner. The Building Permit was subsequently approved and issued by the Department of Building Inspection and the proposed work was partially completed. The BBN Requestor notified the Planning Department of its failure to issue the BBN; a Suspension Request dated December 16, 2015 was issued by the Zoning Administrator and work was discontinued.

SITE DESCRIPTION AND PRESENT USE

The subject property at 626-630 9th Avenue is located on the east side of 9th Avenue between Balboa and Cabrillo Streets. The property has approximately 27.5 feet of lot frontage along 9th Avenue and a lot depth of approximately 120 feet. The lot contains a three-story-over-basement residential building with three dwelling units at the front of the property and a single-story dwelling unit in the rear yard. The subject building is the three-story-over-basement building at the front of the property; no work is proposed under this permit for the single-story dwelling in the rear yard. The property is within the RH-2 (Residential House, Two-Family) Zoning District with a 40-X Height and Bulk designation.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

The subject property is located in the Inner Richmond neighborhood, on the east side of 9th Avenue between Balboa and Cabrillo Streets. The surrounding neighborhood primarily consists of two- and three-story residential buildings built between 1900 and the 1920s. The scale of development is predominantly low-density residential with most buildings containing either one or two dwelling units. The adjacent property to the north is developed with a two-story-over-garage building containing two dwelling units as is the adjacent property to the south.

BUILDING PERMIT APPLICATION NOTIFICATION

The scope of work does not require Section 311 neighborhood notification.

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Posted Notice	10 days	August 1, 2016	August 1, 2016	10 days
Mailed Notice	10 days	August 1, 2016	August 1, 2016	10 days

PUBLIC COMMENT

	SUPPORT	OPPOSED	NO POSITION
Adjacent neighbor(s)	0	0	0
Other neighbors on the block or directly across the street	0	0	0
Neighborhood groups	0	0	0

The Planning Department has not received any public comment regarding this project besides that received from the DR Requestor.

DR REQUESTOR

Discretionary Review was requested by Deva Hauber, tenant of 626 9th Avenue. This address is one of the four residential units on the subject property.

DR REQUESTOR'S CONCERNS AND PROPOSED ALTERNATIVES

Issue #1: The DR Requestor feels that the work proposed is not necessary and is an attempt by the Project Sponsor to harass and intimidate the existing tenants (including the DR Requestor).

Reference the *Discretionary Review Application* for additional information. The *Discretionary Review Application* is an attached document.

PROJECT SPONSOR'S RESPONSE

The Project Sponsor feels the DR Request was filed as retaliation to a lawsuit filed by the Project Sponsor against the DR Requestor.

Reference the *Response to Discretionary Review* for additional information. The *Response to Discretionary Review* is an attached document.

PROJECT ANALYSIS

Planning Department staff has found the DR Requestor's concerns to be outside of Planning Department jurisdiction. No Planning Code requirements or Residential Design Guidelines exist relating to these concerns.

ENVIRONMENTAL REVIEW

The Department has determined that the proposed project is exempt from environmental review, pursuant to CEQA Guideline Sections 15301(1)(4) and 15303(a).

RESIDENTIAL DESIGN TEAM REVIEW

The project was not reviewed by the RDT as the DR Requestor's concerns have no basis in the Residential Design Guidelines.

BASIS FOR RECOMMENDATION

- The DR Requestor's concerns are outside of Planning Department jurisdiction. No Planning Code requirements or Residential Design Guidelines exist relating to these concerns.

RECOMMENDATION:	Do not take DR and approve the project as proposed.
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Attachments:

Block Book Map
Sanborn Map
Zoning Map
Aerial Photo
Site Photo
Building Permit Suspension Request
DR Application
Response to DR Application dated July 29, 2016
Reduced Plans

Design Review Checklist

NEIGHBORHOOD CHARACTER (PAGES 7-10)

QUESTION	
The visual character is: (check one)	
Defined	X
Mixed	

Comments:

SITE DESIGN (PAGES 11 - 21)

QUESTION	YES	NO	N/A
Topography (page 11)			
Does the building respect the topography of the site and the surrounding area?			X
Is the building placed on its site so it responds to its position on the block and to the placement of surrounding buildings?			X
Front Setback (pages 12 - 15)			
Does the front setback provide a pedestrian scale and enhance the street?			X
In areas with varied front setbacks, is the building designed to act as transition between adjacent buildings and to unify the overall streetscape?			X
Does the building provide landscaping in the front setback?			X
Side Spacing (page 15)			
Does the building respect the existing pattern of side spacing?			X
Rear Yard (pages 16 - 17)			
Is the building articulated to minimize impacts on light to adjacent properties?			X
Is the building articulated to minimize impacts on privacy to adjacent properties?			X
Views (page 18)			
Does the project protect major public views from public spaces?			X
Special Building Locations (pages 19 - 21)			
Is greater visual emphasis provided for corner buildings?			X
Is the building facade designed to enhance and complement adjacent public spaces?			X
Is the building articulated to minimize impacts on light to adjacent cottages?			X

Comments: The project does not propose any exterior changes with the exception of a small horizontal expansion at the basement level into the existing lightwell.

BUILDING SCALE AND FORM (PAGES 23 - 30)

QUESTION	YES	NO	N/A
Building Scale (pages 23 - 27)			

Is the building's height and depth compatible with the existing building scale at the street?			X
Is the building's height and depth compatible with the existing building scale at the mid-block open space?			X
Building Form (pages 28 - 30)			
Is the building's form compatible with that of surrounding buildings?			X
Is the building's facade width compatible with those found on surrounding buildings?			X
Are the building's proportions compatible with those found on surrounding buildings?			X
Is the building's roofline compatible with those found on surrounding buildings?			X

Comments: The project does not propose any exterior changes with the exception of a small horizontal expansion at the basement level into the existing lightwell.

ARCHITECTURAL FEATURES (PAGES 31 - 41)

QUESTION	YES	NO	N/A
Building Entrances (pages 31 - 33)			
Does the building entrance enhance the connection between the public realm of the street and sidewalk and the private realm of the building?			X
Does the location of the building entrance respect the existing pattern of building entrances?			X
Is the building's front porch compatible with existing porches of surrounding buildings?			X
Are utility panels located so they are not visible on the front building wall or on the sidewalk?			X
Bay Windows (page 34)			
Are the length, height and type of bay windows compatible with those found on surrounding buildings?			X
Garages (pages 34 - 37)			
Is the garage structure detailed to create a visually interesting street frontage?			X
Are the design and placement of the garage entrance and door compatible with the building and the surrounding area?			X
Is the width of the garage entrance minimized?			X
Is the placement of the curb cut coordinated to maximize on-street parking?			X
Rooftop Architectural Features (pages 38 - 41)			
Is the stair penthouse designed to minimize its visibility from the street?			X
Are the parapets compatible with the overall building proportions and other building elements?			X
Are the dormers compatible with the architectural character of surrounding buildings?			X
Are the windscreens designed to minimize impacts on the building's design and on light to adjacent buildings?			X

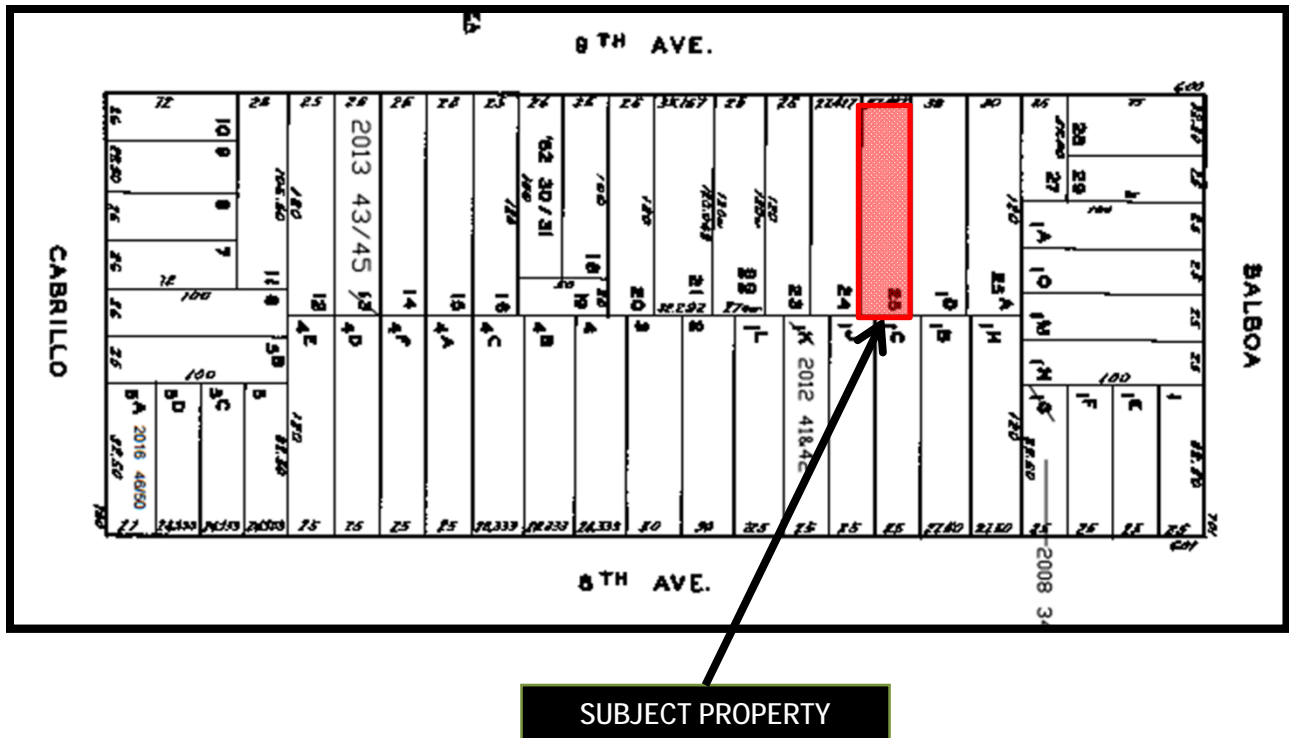
Comments: The project does not propose any exterior changes with the exception of a small horizontal expansion at the basement level into the existing lightwell.

BUILDING DETAILS (PAGES 43 - 48)

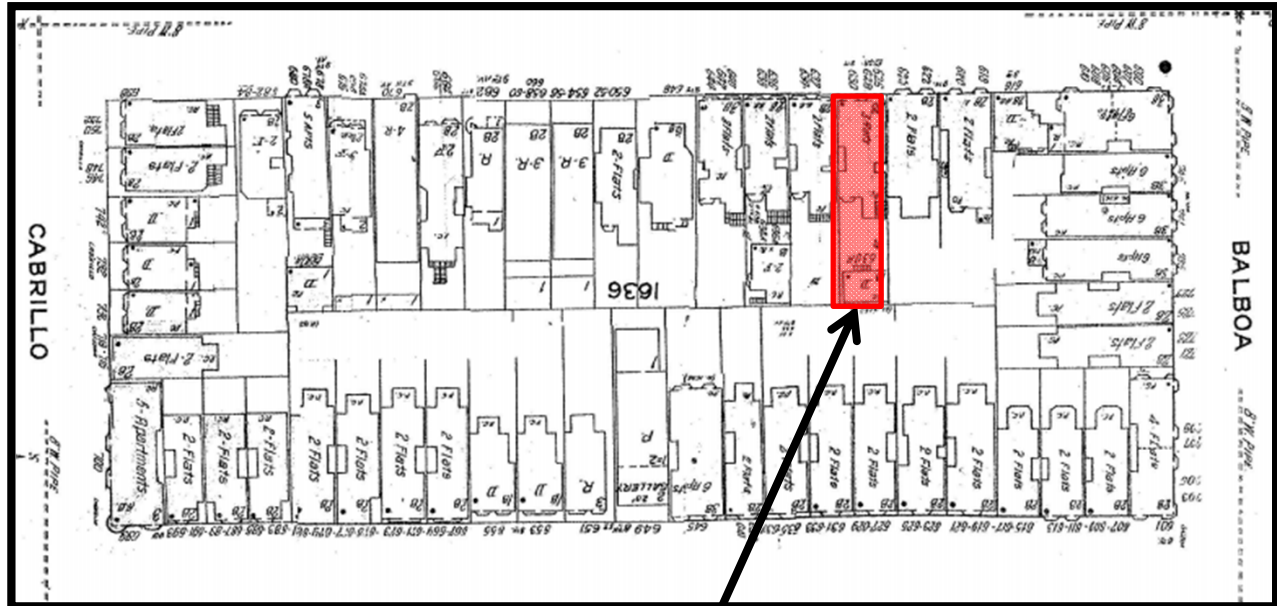
QUESTION	YES	NO	N/A
Architectural Details (pages 43 - 44)			
Are the placement and scale of architectural details compatible with the building and the surrounding area?			X
Windows (pages 44 - 46)			
Do the windows contribute to the architectural character of the building and the neighborhood?			X
Are the proportion and size of the windows related to that of existing buildings in the neighborhood?			X
Are the window features designed to be compatible with the building's architectural character, as well as other buildings in the neighborhood?			X
Are the window materials compatible with those found on surrounding buildings, especially on facades visible from the street?			X
Exterior Materials (pages 47 - 48)			
Are the type, finish and quality of the building's materials compatible with those used in the surrounding area?			X
Are the building's exposed walls covered and finished with quality materials that are compatible with the front facade and adjacent buildings?			X
Are the building's materials properly detailed and appropriately applied?			X

Comments: The project does not propose any exterior changes with the exception of a small horizontal expansion at the basement level into the existing lightwell.

Block Book Map



Sanborn Map



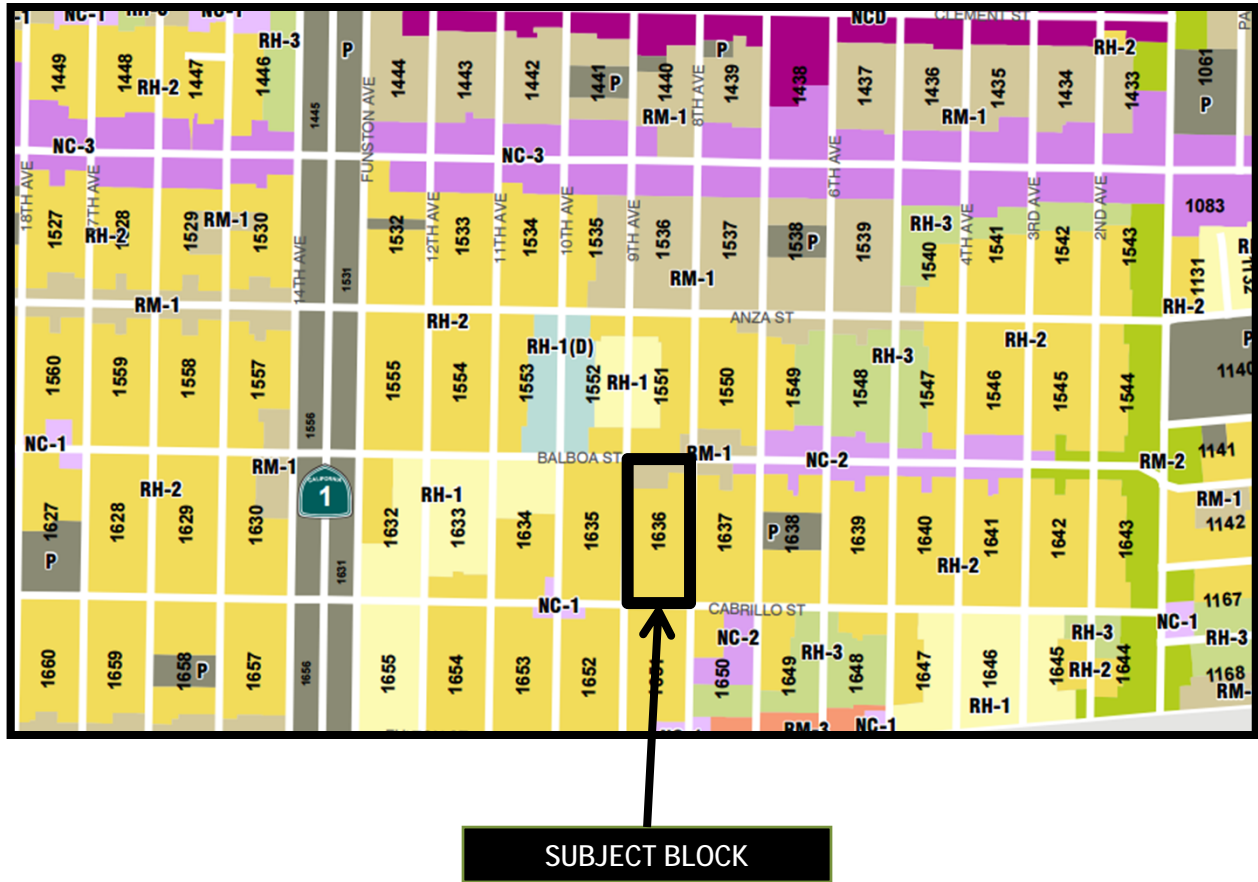
SUBJECT PROPERTY

SAN FRANCISCO
PLANNING DEPARTMENT



Discretionary Review Hearing
Case Number 2015-013000DRP
626-630 9th Avenue
Block 1636 Lot 025

Zoning Map



SAN FRANCISCO
PLANNING DEPARTMENT



Discretionary Review Hearing
Case Number 2015-013000DRP
626-630 9th Avenue
Block 1636 Lot 025

Aerial Photo

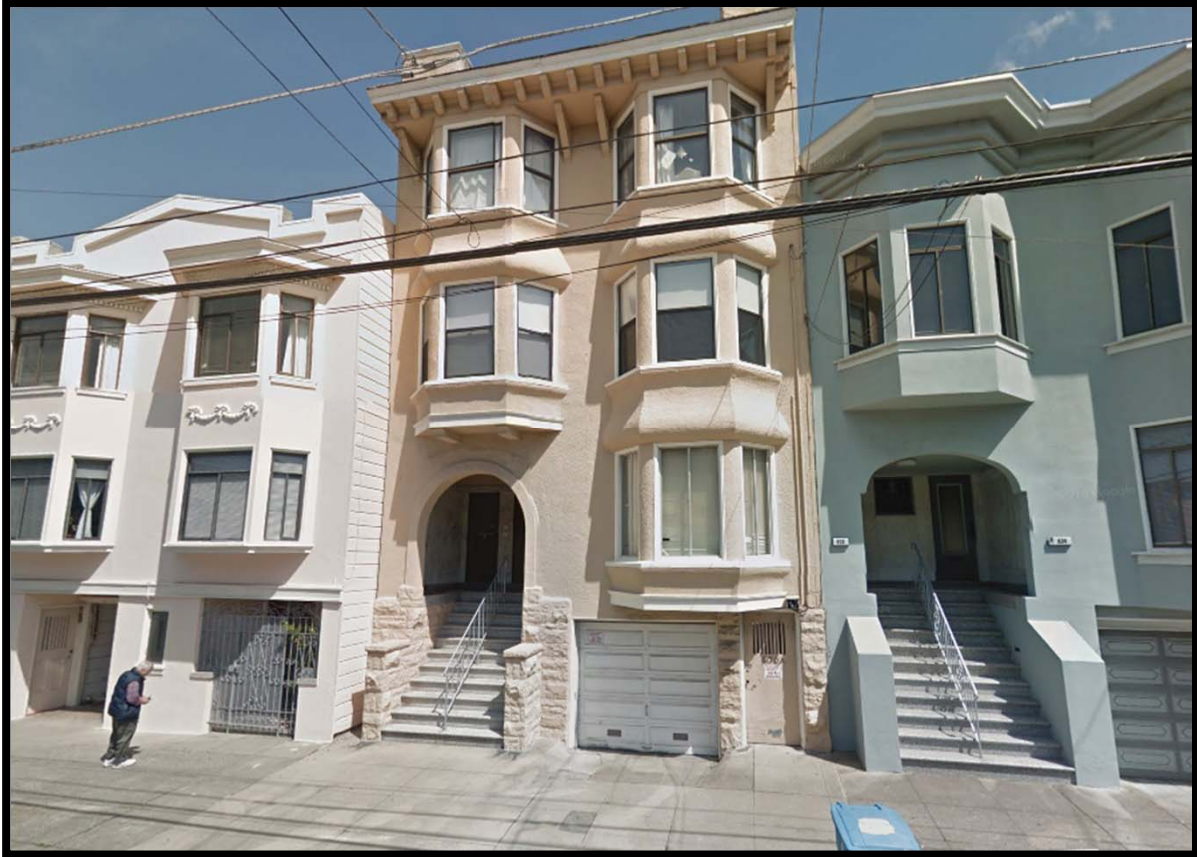


SAN FRANCISCO
PLANNING DEPARTMENT



Discretionary Review Hearing
Case Number 2015-013000DRP
626-630 9th Avenue
Block 1636 Lot 025

Site Photo



SAN FRANCISCO
PLANNING DEPARTMENT



Discretionary Review Hearing
Case Number 2015-013000DRP
626-630 9th Avenue
Block 1636 Lot 025



SAN FRANCISCO PLANNING DEPARTMENT

Suspension Request

December 16, 2015

Tom Hui, CBO, SE
Director
Department of Building Inspection
1660 Mission Street
San Francisco, CA 94103

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Building Application No.:	201508285544
Property Address:	630 9 th Ave
Block and Lot	1636/025
Zoning District:	RH-2 / 40-X
Staff Contact:	Lisa Chen – (415) 575-9124 lisa.chen@sfgov.org

Dear Mr. Hui,

This letter is to request that the Department of Building Inspection (DBI) suspend **Building Permit Application Number 201508285544** for the property at 630 9th Avenue. The subject permit was approved over-the-counter by the Planning Department on September 29, 2015, and issued by DBI on October 6, 2015. However, it was subject to a 10-day notice to an interested neighbor that had recorded a Block Book Notation on the property. The scope of work of the subject permit is stated as:

FRONT BUILDING: REMOVE WALL AT KITCHEN FOR EACH RESIDENTIAL UNIT. INFILL LIGHTWELL AT BASEMENT FLOOR. FULL SEISMIC UPGRADE AT GARAGE BASEMENT FLOOR

Therefore, the Planning Department is requesting suspension of **Building Permit Application Numbers 201508285544** to allow the Block Book Notation requestor to review the Building Permit Application for the work on the subject property.

APPEAL: Any aggrieved person may appeal this letter to the Board of Appeals within fifteen (15) days after the date of the issuance of this letter. For further information, please contact the Board of Appeals in person at 1650 Mission Street, Room 304, or call 575-6880.

Sincerely,

A handwritten signature in black ink, appearing to read "Corey A. Teague".

Corey A. Teague
Acting Zoning Administrator

Tom Hui, Acting Director DBI
Suspension Request
630 9th Ave
December 16, 2015

CC: Fergus O'Sullivan, 530 Divisadero Street #350, San Francisco, CA 94117
Rodrigo Santos, 2451 Harrison Street, San Francisco, CA 94110
Nancy Natori, 626 9th Avenue, San Francisco, CA 94118 (BBN Requestor)
Daniel Lowrey, Acting Deputy Director, Department of Building Inspection
Julian Banales, Planning Department

APPLICATION FOR Discretionary Review

1. Owner/Applicant Information

OR APPLICANT'S NAME		
Deva Hauber		
OR APPLICANT'S ADDRESS	ZIP CODE	TELEPHONE
626 9th Avenue, San Francisco, CA	94118	(347) 631-0422
PROPERTY OWNER WHO IS DOING THE PROJECT OR WHICH YOU ARE REQUESTING DISCRETIONARY REVIEW NAME		
Fergus O'Sullivan		
ADDRESS	ZIP CODE	TELEPHONE
2450 Lombard Street, San Francisco, CA	94123	(415) 655-9050
CONTACT FOR DISCRETIONARY REVIEW		
Same as Above <input type="checkbox"/> Alex Merchant		
ADDRESS	ZIP CODE	TELEPHONE
785 Market Street, 16th Floor	94103	(415) 294-4111
E-MAIL ADDRESS		
alex@elkmerchant.com		

2. Location and Classification

STREET ADDRESS OF PROJECT		ZIP CODE
626-630 9th Avenue, San Francisco		94118
CROSS STREET		
Balboa Street, Cabrillo Street		
ASSESSOR'S BLOCK/LOT	LOT DIMENSIONS	LOT AREA (SQ FT) / ZONING DISTRICT
1636 /025		3,290.4 RH-2
		HIGH/REAR DISTRICT
		40-X

3. Project Description

Please check all that apply

Change of Use ☐ Change of Hours ☐ New Construction ☐ Alterations ☒ Demolition ☐ Other ☒

Additions to Building: Rear ☐ Front ☐ Height ☐ Side Yard ☐
Multi-unit residential building

Present or Previous Use:

Proposed Use: Multi-unit residential building

Building Permit Application No. 201508285544

Date Filed: 8/28/2015

4. Actions Prior to a Discretionary Review Request

Prior Action	YES	NO
Have you discussed this project with the permit applicant?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Did you discuss the project with the Planning Department permit review planner?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Did you participate in outside mediation on this case?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

5. Changes Made to the Project as a Result of Mediation

If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes there were made to the proposed project.



Discretionary Review Request

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.

The permit applicant, notorious landlord Fergus O'Sullivan, is attempting to harass Ms. Hauber and Ms. Norton—long-term rent-controlled tenants—from their unit by performing major construction in their unit which they did not agree to and is not necessary, and by performing major unnecessary construction on the building. Mr. O'Sullivan has also filed a frivolous lawsuit against the tenants in 626 9th Avenue (Case No. CGC-15-547262) to intimidate and harass them from their unit.

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how:

Deva Hauber and Nancy Norton reside in 626 9th Avenue. The permit application states that the applicant will "remove wall at kitchen for each residential unit". This will permanently alter Ms. Hauber's and Ms. Norton's unit. This construction is part of a campaign to harass Ms. Hauber and Ms. Norton from their unit and to punish them for claiming protected status.

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

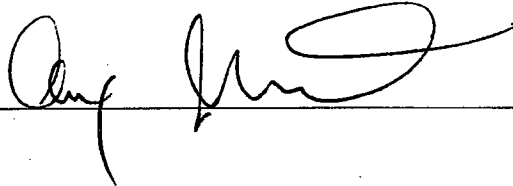
Mr. O'Sullivan should not be allowed to perform construction on occupied units that is neither necessary nor agreed upon. Mr. O'Sullivan should not be allowed to perform construction that is designed to harass and intimidate his tenants.

Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: The other information or applications may be required.

Signature: _____



Date: _____

12/23/2015

Print name, and indicate whether owner, or authorized agent:

Alex Merchant

Owner / Authorized Agent (circle one)

Discretionary Review Application Submittal Checklist

Applications submitted to the Planning Department must be accompanied by this checklist and all required materials. The checklist is to be completed and **signed by the applicant or authorized agent.**

REQUIRED MATERIALS (please check correct column)	OPTIONAL MATERIALS
Application, with all blanks completed	<input checked="" type="checkbox"/>
Address labels (original), if applicable	<input type="checkbox"/>
Address labels (copy of the above), if applicable	<input type="checkbox"/>
Photocopy of this completed application	<input checked="" type="checkbox"/>
Photographs that illustrate your concerns	<input type="checkbox"/>
Covenant or Deed Restrictions	<input type="checkbox"/>
Check payable to Planning Dept.	<input checked="" type="checkbox"/>
Letter of authorization for agent	<input checked="" type="checkbox"/>
Other: Section Plan, Detail drawings (i.e. windows, door entries, trim), Specifications (for cleaning, repair, etc.) and/or Product cut sheets for new elements (i.e. windows, doors)	<input type="checkbox"/>

NOTES:

☐ Required Material.

☐ Optional Material.

☐ Two sets of original labels and one copy of addresses of adjacent property owners and owners of property across street.

For Department Use Only

Application received by Planning Department

By: _____

Date: _____



ELKE & MERCHANT LLP

785 Market Street, 16th Floor | San Francisco, California 94103 | (415) 294-4111

December 23, 2015

To Whom It May Concern:

I, Deva Hauber, am a tenant at 626 9th Avenue, San Francisco. This letter is to confirm that my attorney, Alex Merchant, has permission to file an appeal on my behalf related to any permits or permit applications for the building containing my residence, located at 626-628-630-630A 9th Avenue, San Francisco (the "subject property").

The permits to be appealed are: Building Permit Application Number 20150828554 and any others related to the subject property.

Sincerely,

Deva Hauber

RESPONSE TO DISCRETIONARY REVIEW (DRP)



**San Francisco
Planning**

SAN FRANCISCO PLANNING DEPARTMENT
1650 MISSION STREET, SUITE 400
SAN FRANCISCO, CA 94103-2479
MAIN: (415) 558-6378 SFPLANNING.ORG

Project Information

Property Address: 630 9th Avenue

Zip Code: 94118

Building Permit Application(s): 2015 0828 5544

Record Number: 2015-013000DRP

Assigned Planner: Wayne Farrens

Project Sponsor

Name: Fergus O'Sullivan

Phone: (415) 956-8100

Email: c/o ryan@zfplaw.com

Required Questions

1. Given the concerns of the DR requester and other concerned parties, why do you feel your proposed project should be approved? (If you are not aware of the issues of concern to the DR requester, please meet the DR requester in addition to reviewing the attached DR application.)

The Request for DR does not identify any specific concerns about this soft-story seismic retrofit, other than to not make upgrades to occupied units. The Request appears to be retaliation for the fraud lawsuit against the Requestor (Superior Court Case No. CGC-15-547262). We contacted Ms. Norton and her attorney to ask if there are any specific concerns. The only additional concern identified was the impact on the adjacent neighbor of infilling a garage-level lightwell. However, the lightwell is against a blank wall at the garage level.

2. What alternatives or changes to the proposed project are you willing to make in order to address the concerns of the DR requester and other concerned parties? If you have already changed the project to meet neighborhood concerns, please explain those changes and indicate whether they were made before or after filing your application with the City.

Since the DR Requestor has not identified any specific concerns with the project or requested any particular adjustments, it is difficult to propose suitable alternatives or changes. Moreover, in light of the Requestor's multiple appeals of *other* building permits for a *different building* owned by the Project Sponsor, it seems clear that the Requestor's concerns are not really about this project.

3. If you are not willing to change the proposed project or pursue other alternatives, please state why you feel that your project would not have any adverse effect on the surrounding properties. Include an explanation of your needs for space or other personal requirements that prevent you from making the changes requested by the DR requester.

The project includes interior work only. It is a necessary and desirable soft-story seismic retrofit with minor enhancements to the residential units above. The work is primarily in the basement/garage level, but the DR Requestor claims to occupy a unit on the third floor.

Project Features

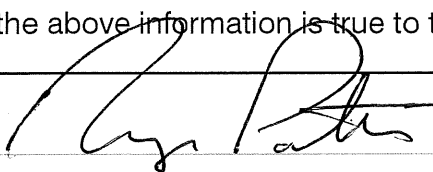
Please provide the following information about the project for both the existing and proposed features. **Please attach an additional sheet with project features that are not included in this table.**

	EXISTING	PROPOSED
Dwelling Units (only one kitchen per unit - additional kitchens count as additional units)	4	No change
Occupied Stories (all levels with habitable rooms)	3	No change
Basement Levels (may include garage or windowless storage rooms)	1	No change
Parking Spaces (Off-Street)	2	No change
Bedrooms	8	No change
Height	40'-0"	No change
Building Depth	66'-7"	No change
Rental Value (monthly)		
Property Value		

(Approx.)

I attest that the above information is true to the best of my knowledge.

Signature:



Date: July 29, 2016

Printed Name: Ryan J. Patterson, Esq.

☐ Property Owner
☒ Authorized Agent

If you have any additional information that is not covered by this application, please feel free to attach additional sheets to this form.

630 9th AVENUE
SAN FRANCISCO, CA.

SAN FRANCISCO
PLANNING
DEPARTMENT
FOR INTERNAL USE ONLY
DO NOT DUPLICATE
NO CAMERAS / NO COPIERS
PURSUANT TO CALIFORNIA LAW



9th AVENUE

APPROVED
Dept. of Building Insp.
OCT - 6 2015
Tom C. Hui
DIRECTOR
DEPT. OF BUILDING INSPECTION

RECEIVED
AUG 28 2015
DEPT. OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY
STANDARD FOR DIGITIZING
ACCEPTED

Timothy Kibata, DBI
OCT 02 2015

LOWE DESIGN & CONSTRUCTION
1888 GENEVA AVE. #911
SAN FRANCISCO, CA. 94134
(415) 370-8744



630 9th AVENUE
SAN FRANCISCO, CA.

2015.08.28.5544

PROJECT DESCRIPTION: REMOVE WALL AT KITCHEN FOR EACH RESIDENTIAL UNIT.
IN-FILL LIGHTWELL AT BASEMENT FLOOR. FULL SEISMIC
UPGRADE AT GARAGE / BASEMENT FLOOR.

PROJECT ADDRESS: 630 9th AVENUE
SAN FRANCISCO, CA. 94118
BLOCK: 1636 LOT: 025

OCCUPANCY: R-3

CONSTRUCTION TYPE: V-B (C.B.C.)

UNITS: 4

LOT SIZE: 3,290.4 FT²

HEIGHT OF BUILDING: EXISTING: 40'-0" PROPOSED: 40'-0"

No. OF STORIES: EXISTING: 3 PROPOSED: 3

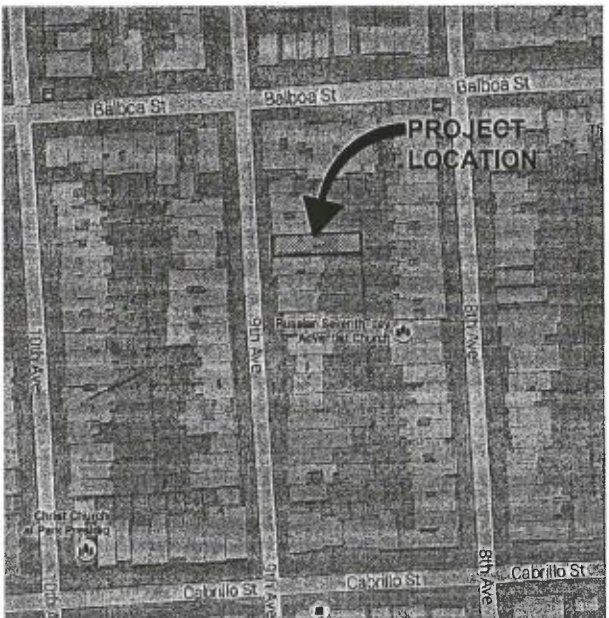
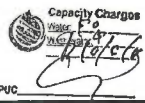
SQUARE FOOTAGE: EXISTING: 5,550 FT² PROPOSED: 5,550 FT²
OF BUILDING

GOVERNING CODES:
2013 CALIFORNIA BUILDING CODE & S.F. AMENDMENTS
2013 CALIFORNIA MECHANICAL CODE & S.F. AMENDMENTS
2013 CALIFORNIA PLUMBING CODE & S.F. AMENDMENTS
2013 CALIFORNIA ELECTRICAL CODE & S.F. AMENDMENTS
2013 CALIFORNIA ENERGY CODE
2013 CALIFORNIA FIRE CODES & S.F. AMENDMENTS

- SHEET INDEX:
- TS-1 COVER SHEET
 - A-0 SITE/ROOF PLAN
 - A-1 EXISTING FLOOR PLANS
 - A-2 EXISTING FLOOR PLANS
 - A-3 EXISTING ELEVATIONS
 - A-4 EXISTING ELEVATIONS
 - A-5 EXISTING SECTIONS
 - A-6 NEW FLOOR PLANS
 - A-7 NEW FLOOR PLANS
 - A-8 NEW ELEVATION/SECTION
 - S1.0 GENERAL STRUCTURAL NOTES
 - S1.1A TYPICAL WOOD DETAILS
 - S1.1B TYPICAL WOOD DETAILS
 - S1.2A TYPICAL CONCRETE DETAILS
 - S1.2B TYPICAL STEEL DETAILS
 - S2 BASEMENT & FOUNDATION PLAN
 - S3 FIRST & SECOND FLOOR FRAMING PLANS
 - S4 THIRD FLOOR & ROOF FRAMING PLANS
 - S5-S7 STRUCTURAL DETAILS

Robert Chun, DBI
OCT - 1 2015

APPROVED
PER PLAN AND APPLICATION
9/28/15
BUILDING DEPARTMENT



VICINITY MAP
N.T.S.

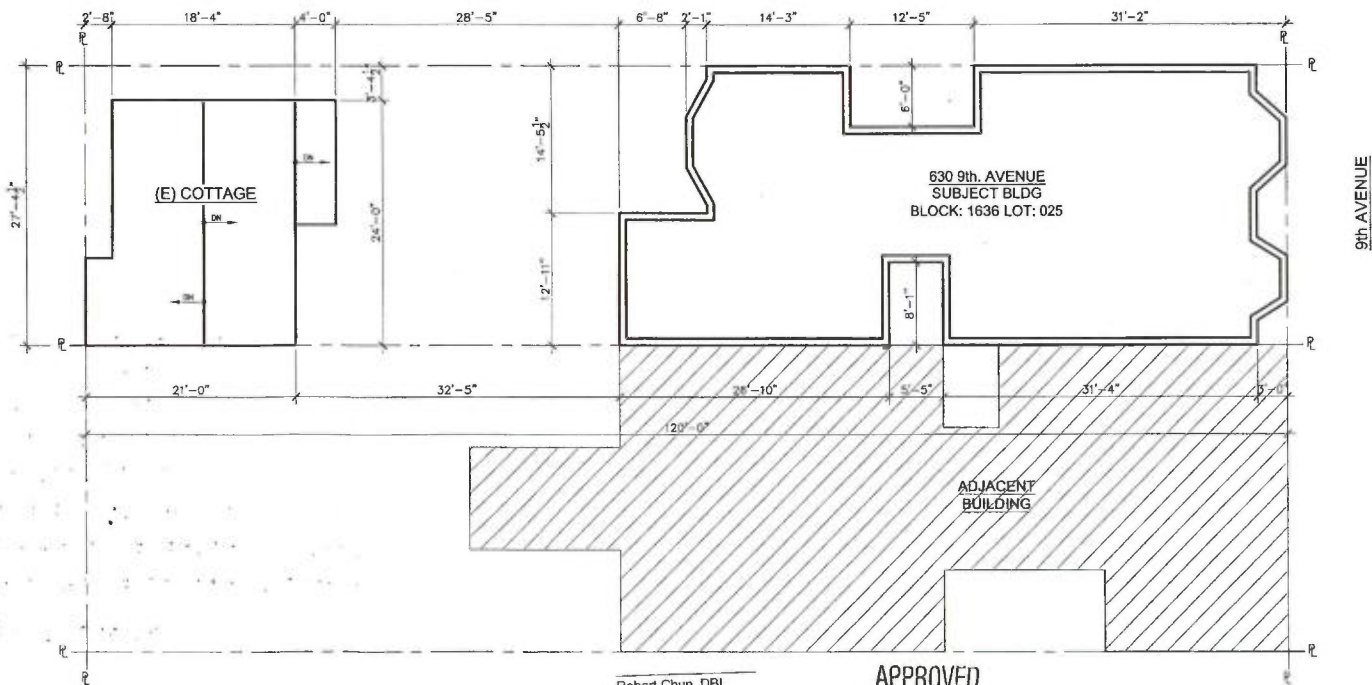
COVER SHEET

REVISIONS
DATE 08/19/15
SCALE AS NOTED
DRAWN FJM

TS-1

SAN FRANCISCO
PLANNING
DEPARTMENT

FOR INTERNAL USE ONLY
DO NOT DUPLICATE
NO CAMERAS / NO COPIERS
PURSUANT TO CALIFORNIA LAW



APPROVED
Dept. of Building Insp.

OCT - 6 2015

Tom C. Hu
TOM C. HU, S.E.
DIRECTOR
DEPT. OF BUILDING INSPECTION

RECEIVED

AUG 28 2015

DEPT. OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY
STANDARD FOR DIGITIZING
ACCEPTED

Robert Chun, DBI
OCT - 1 2015

APPROVED
PER PLANS AND APPLICATION
9/28/15
PLANNING DEPARTMENT

1
A-0
SITE/ROOF PLAN
1/8"=1'-0"

REVISIONS
DATE 08/19/15
SCALE AS NOTED
DRAWN FJM

A-0

SITE PLAN/ROOF PLAN

630 9th AVENUE
SAN FRANCISCO, CA.

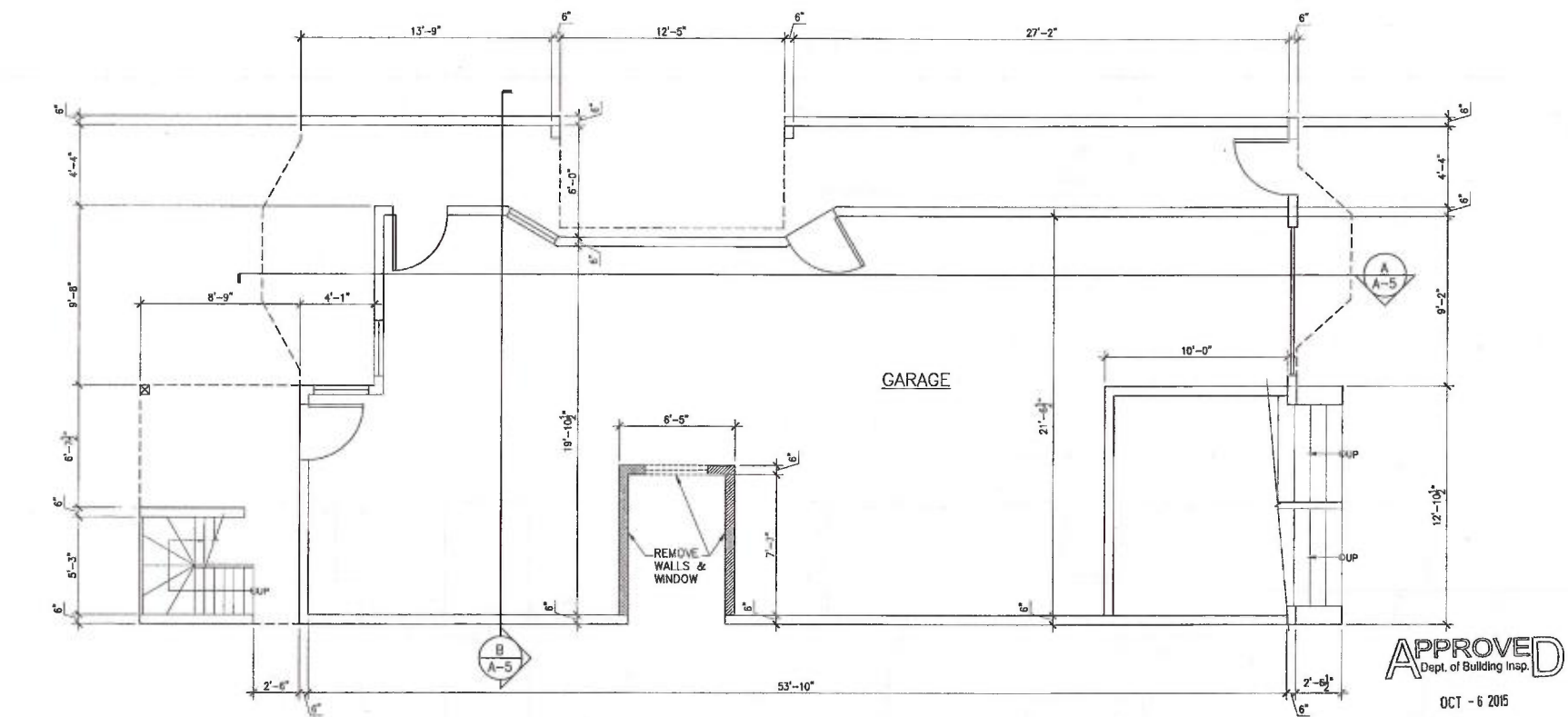


LOWE DESIGN & CONSTRUCTION
1888 GENEVA AVE. #911
SAN FRANCISCO, CA. 94134
(415) 370-3744

EXISTING WALLS TO REMAIN

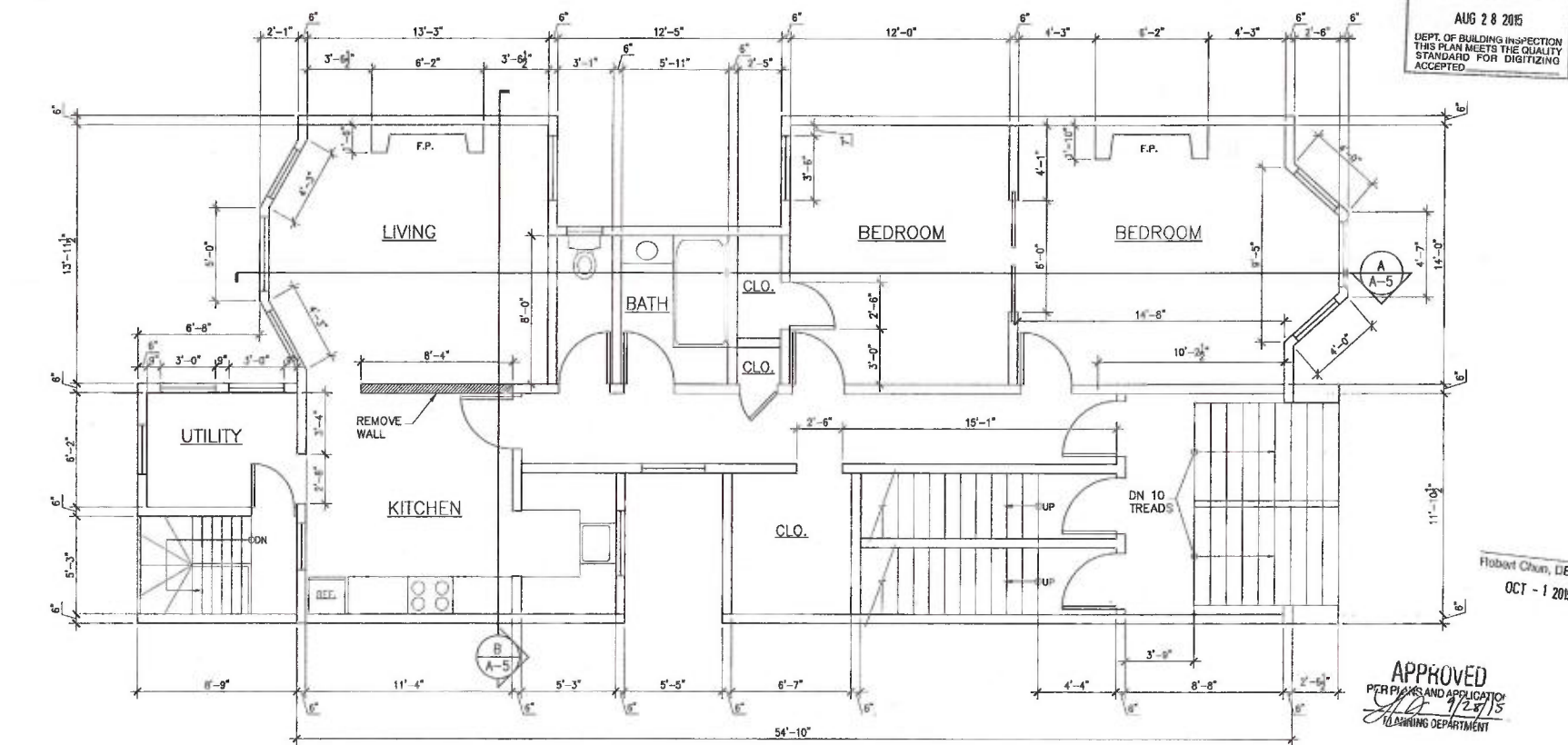
EXISTING WALLS TO BE DEMOLISH

WINDOWS/DOORS TO BE REMOVED



APPROVED
 Dept. of Building Insp.
 OCT - 6 2015
 Tom C. Hui, S.E.
 DIRECTOR
 DEPT. OF BUILDING INSPECTION

0
 A-1
 EXISTING BASEMENT FLOOR PLAN
 1/4"=1'-0"



RECEIVED
 AUG 28 2015
 DEPT. OF BUILDING INSPECTION
 THIS PLAN MEETS THE QUALITY
 STANDARD FOR DIGITIZING
 ACCEPTED

Robert Chum, DBI
 OCT - 1 2015

APPROVED
 PER PLANS AND APPLICATION
 08/19/15
 PLANNING DEPARTMENT

1
 A-1
 EXISTING FIRST FLOOR PLAN
 1/4"=1'-0"

LOWE DESIGN & CONSTRUCTION
 1888 GENEVA AVE. #911
 SAN FRANCISCO, CA. 94134
 (415) 370-8744



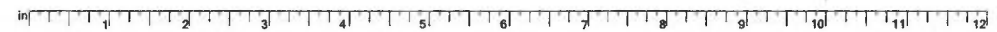
AS-BUILTS
 630 9th AVENUE
 SAN FRANCISCO, CA.

EXISTING FLOOR PLANS

REVISIONS	
DATE	08/19/15
SCALE	AS NOTED
DRAWN	FJM

A-1

RECEIVED
 DEPARTMENT OF PLANNING
 SAN FRANCISCO
 AUG 19 2015
 DO NOT DUPLICATE
 FOR OTHER PROJECTS
 WITHOUT WRITTEN PERMISSION



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PLANNING
DEPARTMENT**

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OCT - 6 2011

Tac u

Tom C. Hui
TOM C. HUI, S.E.
DIRECTOR
DEPT. OF BUILDING INSPECTION

RECEIVED

AUG 28 2011

DEPT. OF BUILDING INSPECT
THIS PLAN MEETS THE QUAL
STANDARD FOR DIGITIZIN
ACCEPTED

Robert Chun, DBI
OCT - 1 2015

APPROVED
FOR PLANS AND APPLICATION
9/28/15
PLANNING DEPARTMENT

3
A-2

EXISTING THIRD FLOOR PLAN

1/4"=1'-0"

LOWE DESIGN & CONSTRUCTION
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SAN FRANCISCO, CA. 94134
(415) 370-8744

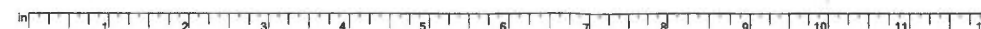


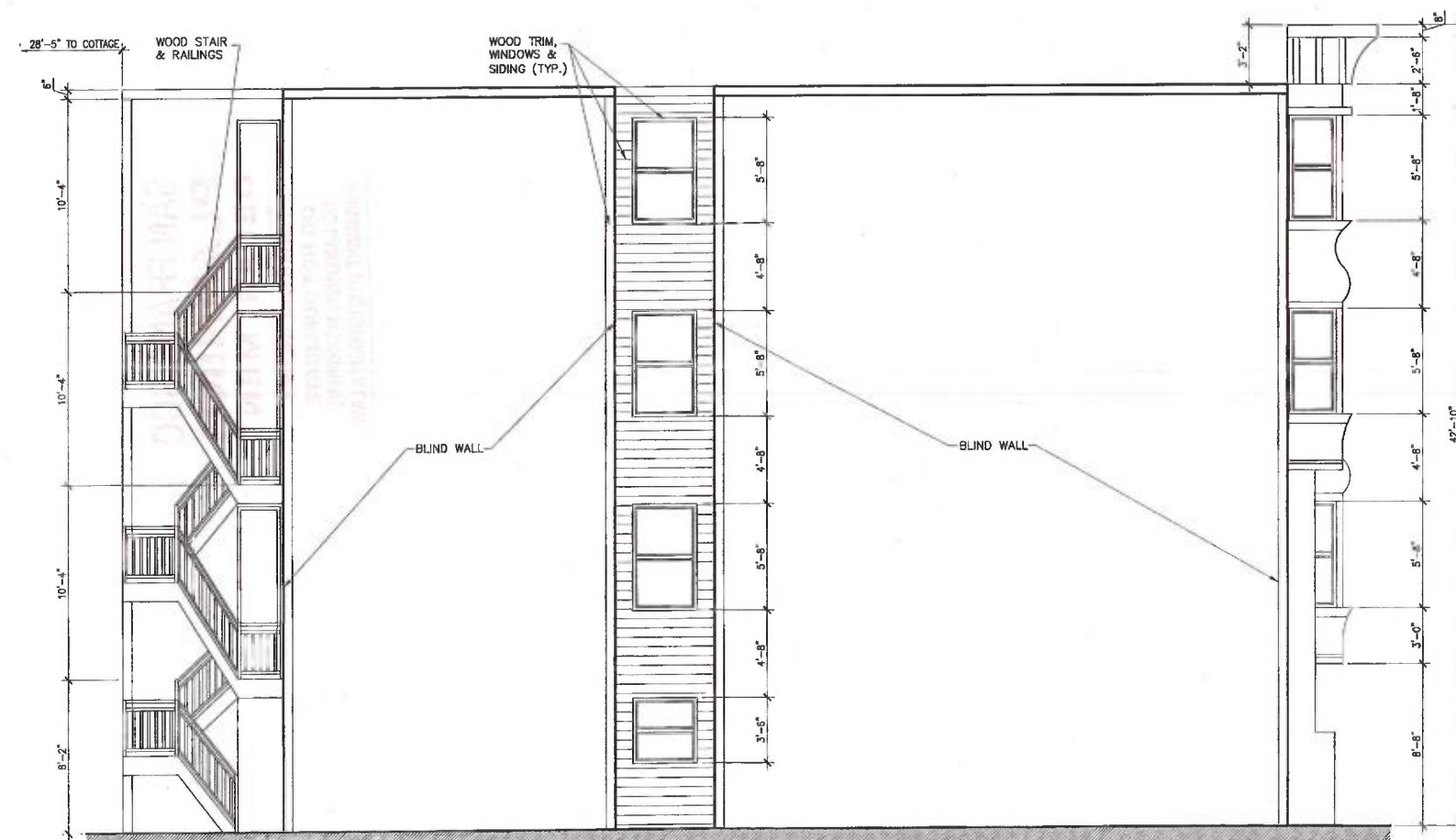
AS-BUILTS
630 9th AVENUE
SAN FRANCISCO, CA.

EXISTING FLOOR PLANS

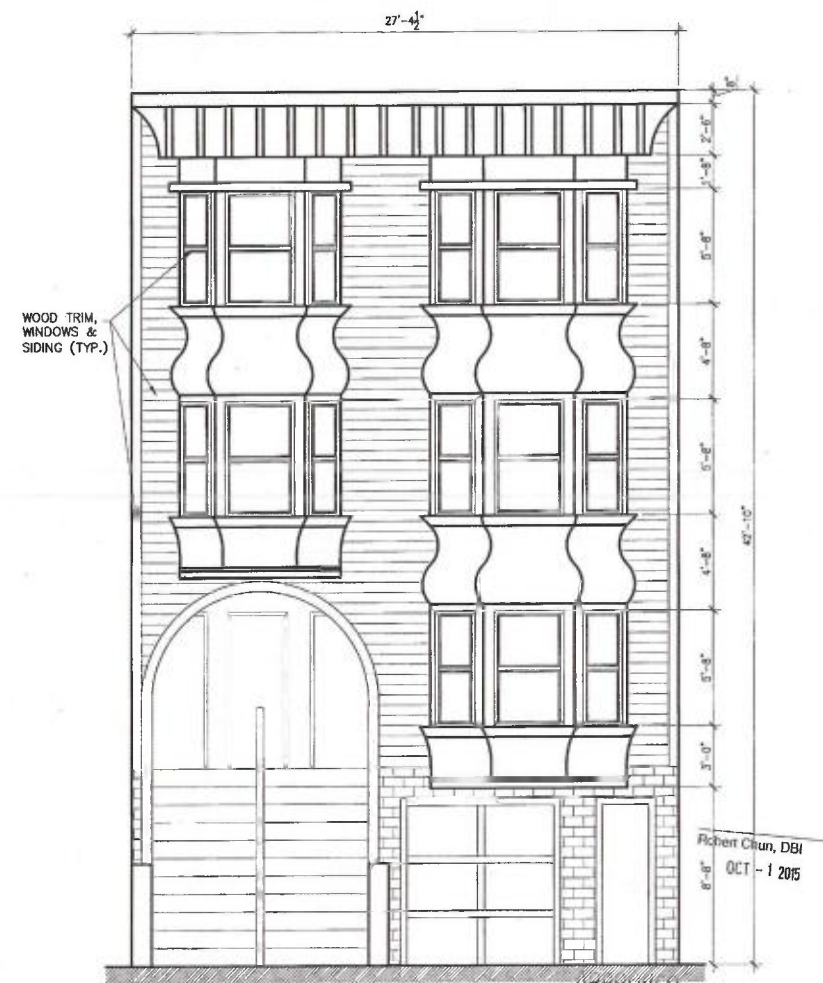
REVISIONS	
DATE	08/19/15
SCALE	AS NOTED
DRAWN	FJM

A-2





2
A-3
EXISTING SIDE ELEVATION
1/4"=1'-0"



1
A-3
EXISTING FRONT ELEVATION
1/4"=1'-0"

APPROVED
Dept. of Building Insp.

OCT - 6 2015

Tom C. Hui
TOM C. HUI, S.E.
DIRECTOR
DEPT. OF BUILDING INSPECTION

RECEIVED

AUG 28 2015

DEPT. OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY
STANDARD FOR DIGITIZING
ACCEPTED

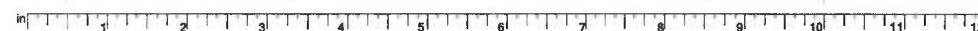
AS-BUILTS
630 9th AVENUE
SAN FRANCISCO, CA.

EXISTING ELEVATIONS

REVISIONS
DATE 08/19/15
SCALE AS NOTED
DRAWN FJM

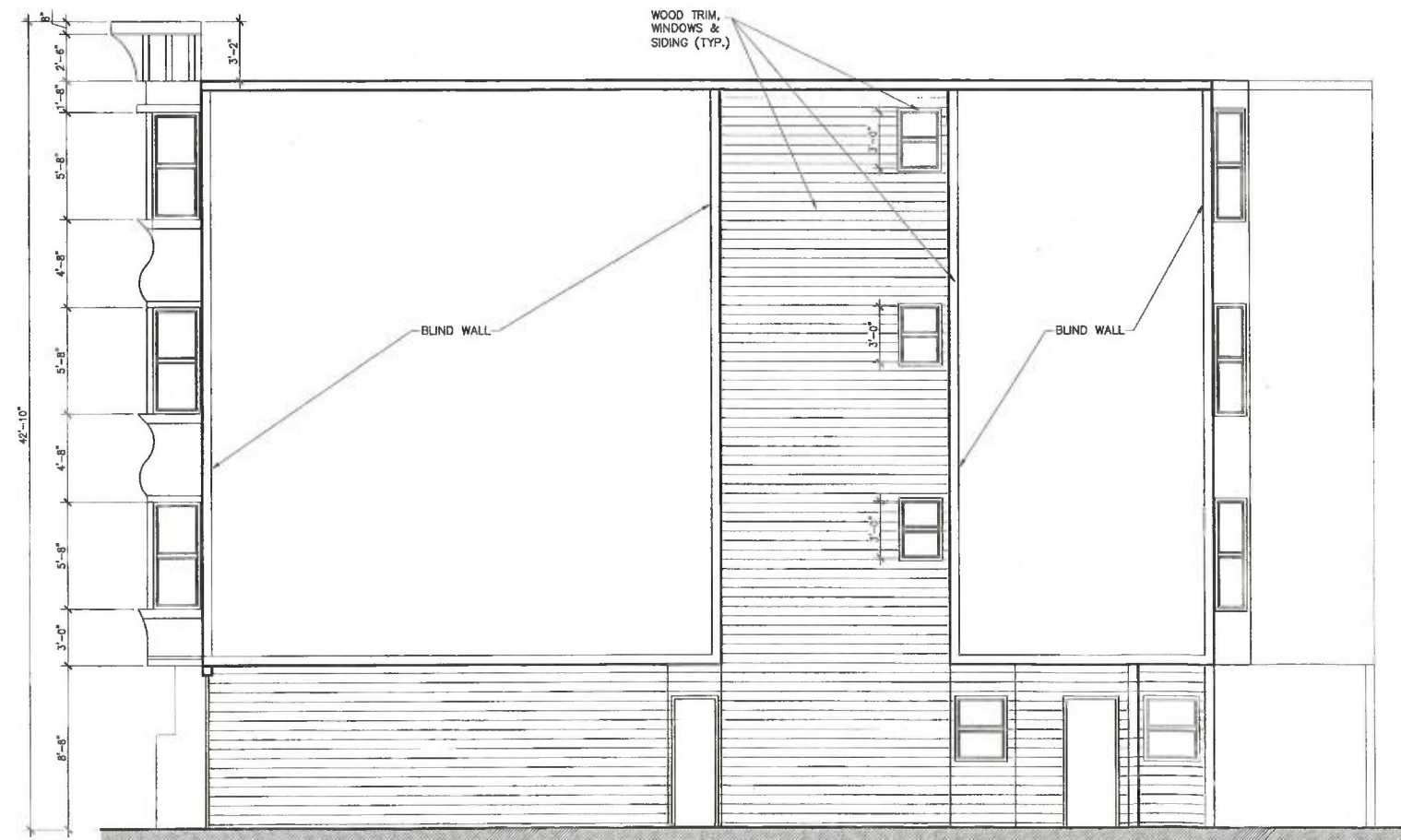
A-3

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SAN FRANCISCO, CA. 94134
(415) 370-8744



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PLANNING
DEPARTMENT

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4
A-4
EXISTING SIDE ELEVATION
1/4"=1'-0"

APPROVED
Dept. of Building Insp.

OCT - 6 2015

Tom C. Hui
TOM C. HUI, S.E.
DIRECTOR
DEPT. OF BUILDING INSPECTION

RECEIVED

AUG 28 2015

DEPT. OF BUILDING INSPECTION
FOR PLANS, PERMITS AND QUALITY
CONTROL - FOR DIGITIZING
10/1/15



3
A-4
EXISTING BACK ELEVATION
1/4"=1'-0"

APPROVED
PER PLANS AND APPLICATION
10/1/15
PLANNING DEPARTMENT

Robert Chun, DBI
OC - 1 2015

EXISTING ELEVATIONS

630 9th AVENUE
SAN FRANCISCO, CA.

LOWE DESIGN & CONSTRUCTION
1888 GENEVA AVE. #911
SAN FRANCISCO, CA. 94134
(415) 370-8744



REVISIONS
DATE 08/19/15
SCALE AS NOTED
DRAWN FJM

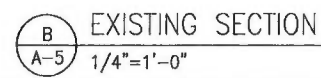
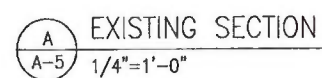
A-4




EXISTING SECTIONS


REVISIONS	
DATE	08/19/15
SCALE	AS NOTED
DRAWN	FJM


A-5



A horizontal ruler with markings from 1 to 12 inches. The markings are in inches, with major ticks every inch and minor ticks every millimeter. The ruler is labeled "in" at the beginning and has numbers 1 through 12 along the top.

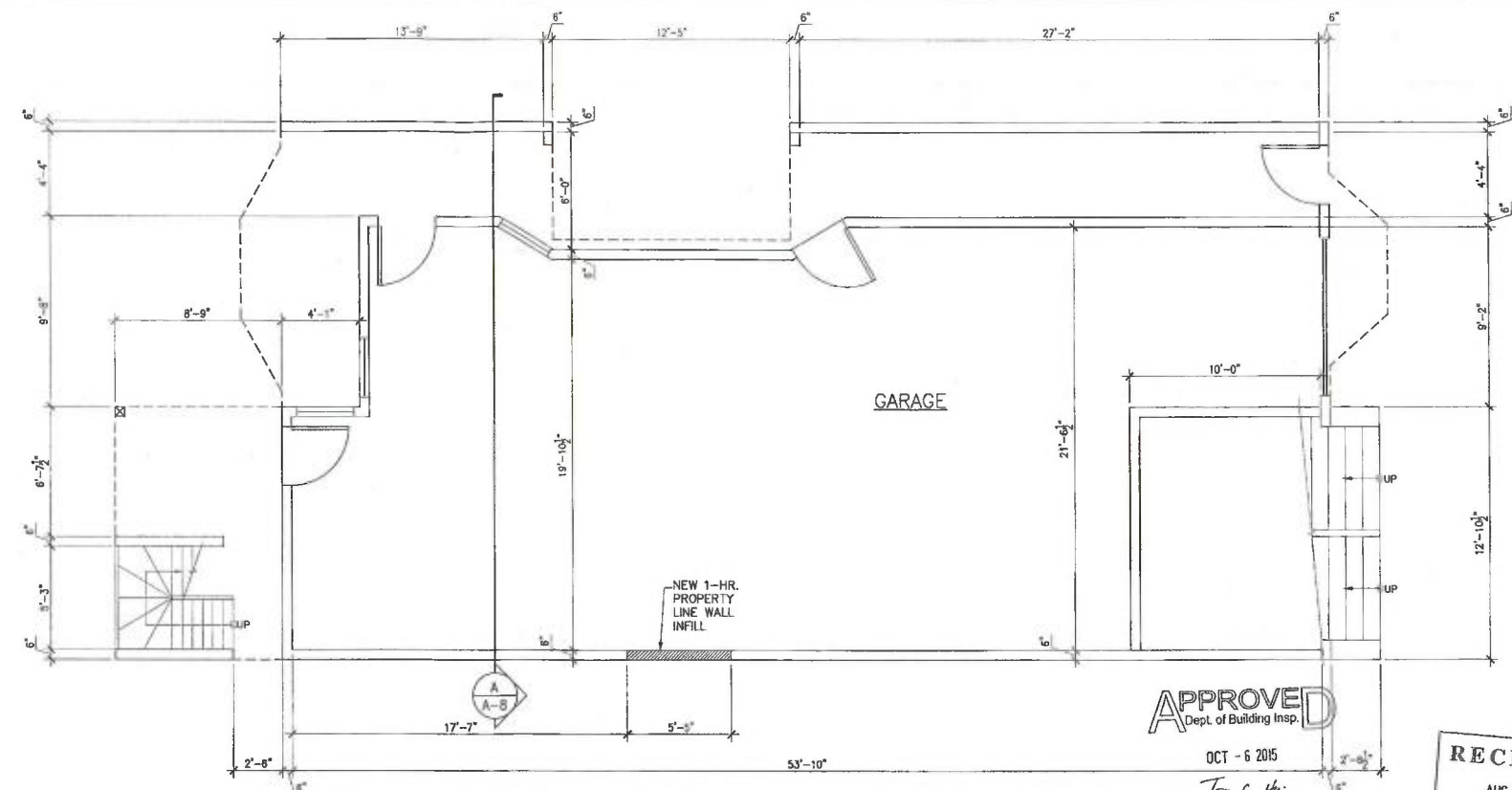
EXISTING WALLS TO REMAIN 

EXISTING WALLS TO BE DEMOLISH 

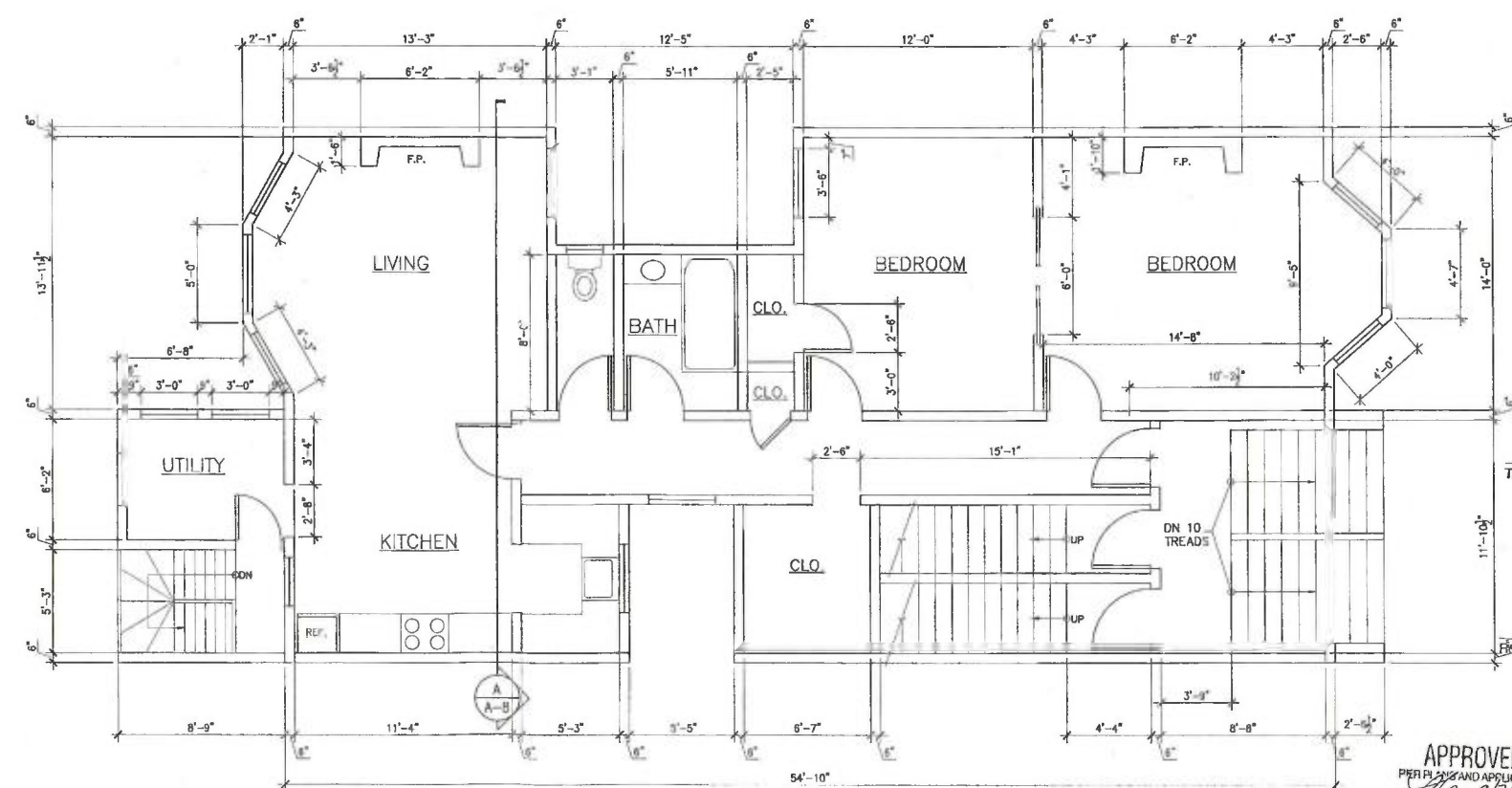
NEW WALLS 

**SAN FRANCISCO
PLANNING
DEPARTMENT**

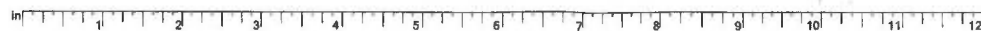
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0
A-6
NEW BASEMENT FLOOR PLAN
1/4"=1'-0"



1
A-6
NEW FIRST FLOOR PLAN
1/4"=1'-0"



LOWE DESIGN & CONSTRUCTION
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SAN FRANCISCO, CA. 94134
(415) 370-8744





630 9th AVENUE
SAN FRANCISCO, CA.


NEW FLOOR PLANS

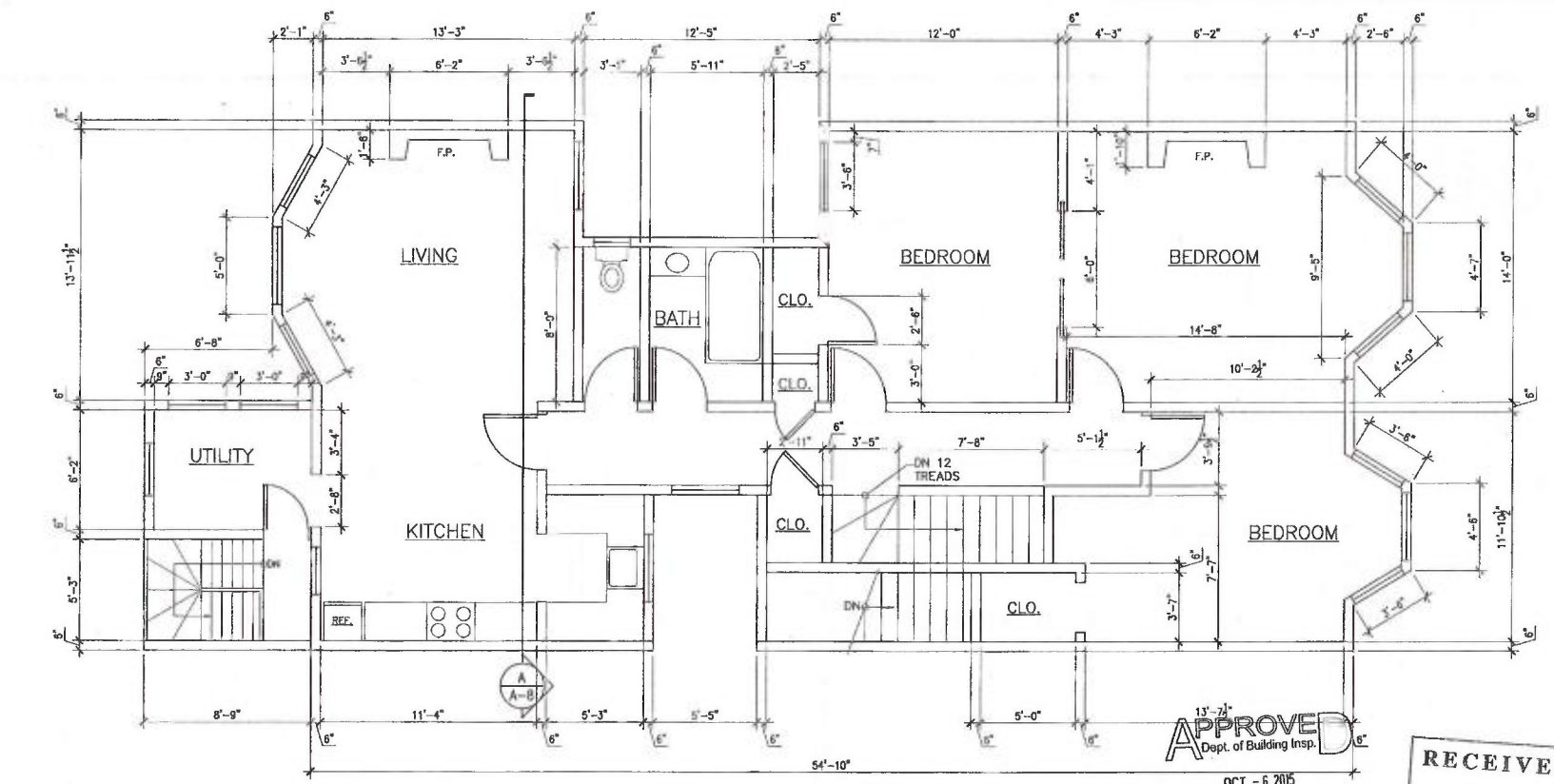
REVISIONS	
DATE	08/19/15
SCALE	AS NOTED
DRAWN	FJM

A-6

EXISTING WALLS TO REMAIN 

EXISTING WALLS TO BE DEMOLISH 

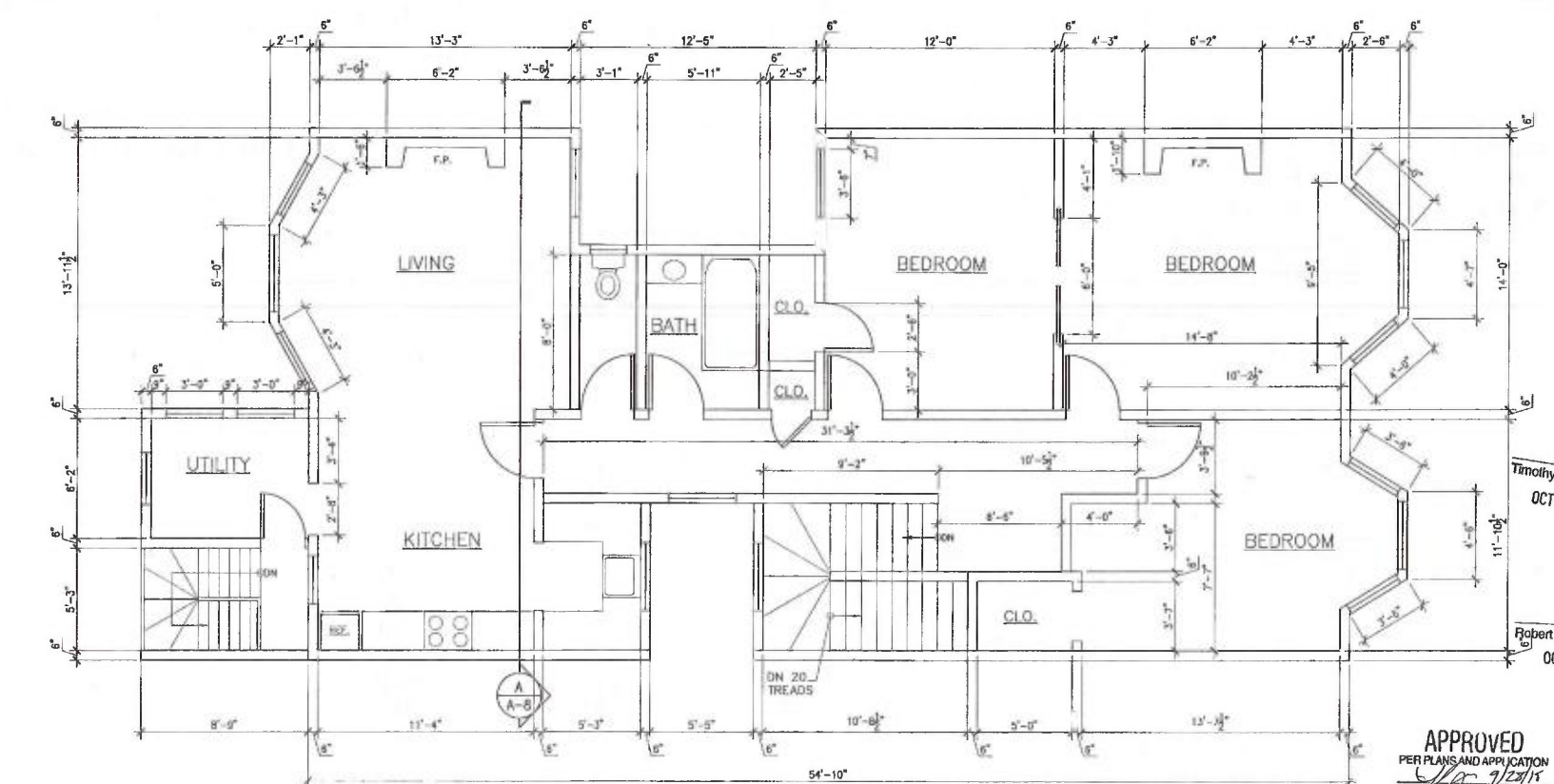
NEW WALLS 



2 NEW SECOND FLOOR PLAN
1/4"=1'-0"

APPROVED
Dept. of Building Insp.
OCT - 6 2015
Tom C. Hui
DIRECTOR
DEPT. OF BUILDING INSPECTION

RECEIVED
AUG 28 2015
DEPT. OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY
STANDARD FOR DIGITIZING
ACCEPTED



3 NEW THIRD FLOOR PLAN
1/4"=1'-0"

APPROVED
PER PLANS AND APPLICATION
DATE 7/23/15
PLANNING DEPARTMENT

Timothy Nagata, DBI
OCT 02 2015

Robert Chun, DBI
OCT - 1 2015

LOWE DESIGN & CONSTRUCTION
1888 GENEVA AVE. #911
SAN FRANCISCO, CA. 94134
(415) 370-8744

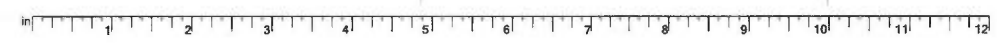


630 9th AVENUE
SAN FRANCISCO, CA.

NEW FLOOR PLANS

REVISIONS	
DATE	08/19/15
SCALE	AS NOTED
DRAWN	FJM

A-7



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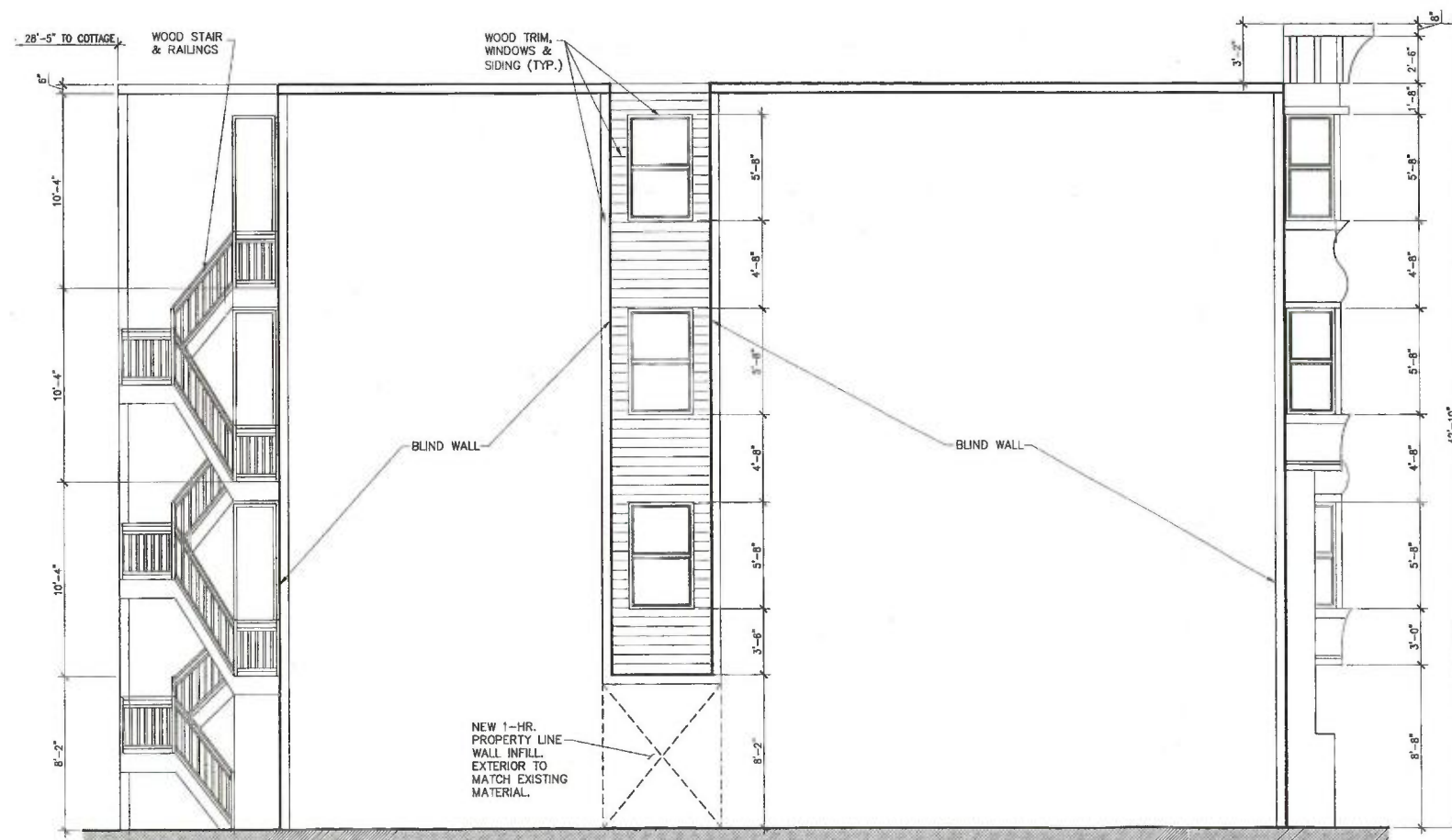
LOWE DESIGN & CONSTRUCTION
1888 GENEVA AVE. #911
SAN FRANCISCO, CA. 94134
(415) 370-8744

**630 9th AVENUE
SAN FRANCISCO, CA.**

NEW ELEVATION/
SECTION

REVISIONS	
DATE	08/19/15
SCALE	AS NOTED
DRAWN	FJM

A-8

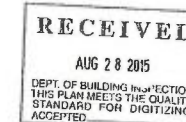


1 NEW SIDE ELEVATION
A-8 1/4"=1'-0"



OCT - 6 2015

Tom C. Hui
TOM C. HUI, S.E.
DIRECTOR
DEPT. OF BUILDING INSPECTION



NEW SECTION
1/4"=1'-0"

APPROVED
PER PLAN AND APPLICATION
9/25/15
PLANNING DEPARTMENT

Robert Chun, DBA
OCT - 1 2015

DRAWING INDEX:

S1.0	TITLE SHEET
S1.1A-S1.1B	TYPICAL WOOD DETAILS
S1.2A	TYPICAL CONCRETE DETAILS
S1.3B	TYPICAL STEEL DETAILS
S2	BASEMENT AND FOUNDATION PLAN
S3	SECOND AND FIRST FLOOR FRAMING PLAN
S4	THIRD AND ROOF FRAMING PLAN
S5	STRUCTURAL DETAILS
S6	STRUCTURAL DETAILS
S7	STRUCTURAL DETAILS

City and County of San Francisco
Department of Building Inspection



Edwin M. Lee, Mayor
Tom C. Hul, S.E., C.B.O., Director

NOTICE

SPECIAL INSPECTION REQUIREMENTS

Please note that the Special Inspections shown on the approved plans and checked on the Special Inspections form issued with the permit are required for this project. The employment of special inspectors is the direct responsibility of the owner or the engineer/architect of record acting as the owner's representative.

These special inspections are required in addition to the called inspections performed by the Department of Building Inspection. The name of the special inspector shall be furnished to the district building inspector prior to start of work for which special inspection is required.

For questions regarding the details or extent of required inspection or tests, please call the Plan Checker assigned to this project or 415-558-6132. If there are any field problems regarding special inspection, please call your District Building Inspector or 415-558-6570.

Before final building inspection is scheduled, documentation of special inspection compliance must be submitted to and approved by the Special Inspection Services staff. To avoid delays in this process, the project owner should request final compliance reports from the architect or engineer of record and/or special inspection agency soon after the conclusion of work requiring special inspection. **The permit will not be finalized without compliance with the special inspection requirements.**

STRUCTURAL OBSERVATION REQUIREMENTS

Structural observation shall be provided as required per Section 1704.5. The building permit will not be finalized without compliance with the structural observation requirements.

Special Inspection Services Contact Information

- Telephone: (415) 558-6132
- Fax: (415) 558-6474
- Email: dbi.specialinspections@sfgov.org
- In person: 3rd floor at 1660 Mission Street

Note: We are moving towards a 'paperless' mode of operation. All special inspection submittals, including final letters, may be emailed (preferred) or faxed. We will also be shifting to a paperless fax receipt mode.

Special Inspection Services
1660 Mission Street - San Francisco CA 94103
Office (415) 558-6132 - FAX (415) 558-6474 - www.sfdbi.org

SPECIAL INSPECTION AND STRUCTURAL OBSERVATION

A COPY OF THIS DOCUMENT SHALL BE KEPT WITH THE APPROVED STRUCTURAL DRAWING SET

JOB ADDRESS 630 9TH AVENUE APPLICATION NO. ADDENDUM NO.

OWNER NAME OWNER PHONE NO. ()

Employment of Special Inspection is the direct responsibility of the OWNER, or the engineer/architect of record acting as the owner's representative. Special Inspector shall be one of those as prescribed in Sec. 1704. Name of special inspector shall be furnished to DBI District Inspector prior to start of the work for which the Special Inspection is required. Structural observation shall be performed as provided by Section 1704.5. A preconstruction conference is recommended for owner/builder or designer/builder projects, complex and highrise projects, and for projects utilizing new processes or materials.

In accordance with Sec. 1701.1703;1704; 1705 (2013 SFBG), Special Inspection and/or testing is required for the following work:

- | | | |
|--|---|--|
| 1. Concrete (Placement & sampling) | 6. High-strength bolting | 18. Bolts installed in existing concrete masonry: |
| 2. Bolts installed in concrete | 7. Structural masonry | Concrete Masonry |
| 3. Special moment-resisting frames | 8. Reinforced gypsum concrete | Pullout tests per SFBG Sec. 1607C & 1615C |
| 4. Reinforcing steel and prestressing tendons | 9. Insulating concrete fill | 19. Shear walls and floor systems used as shear diaphragms |
| 5. Structural welding: | 10. Spray-on Reproaching | 20. Holdovers |
| A. Periodic visual inspection | 11. Piling, drilled piers and caissons | 21. Special cases: |
| B. Single pass fillet welds 5/16" or smaller | 12. Shotcrete | Shoring |
| C. Welded studs | 13. Special grading, excavation and filling (Geo. Engineer) | Underpinning: () Not affecting adjacent property |
| D. Cold formed studs and joists | 14. Smoke-control system | Affecting adjacent property: PA |
| E. Steel deck | 15. Demolition | Others |
| F. State and railing systems | 16. Exterior Facing | 22. Crane safety (Apply to the operation of Tower cranes on highrise building) (Section 1706.21) |
| G. Reinforcing steel | 17. Retrofit of unreinforced masonry buildings: | 23. Others: "As recommended by professional of record" |
| H. Continuous Visual Inspection and NOT (Section 1704) | () Testing of mortar quality and their tests | |
| I. All other welding (NOT recapped fillet weld) | () Inspection of repointing operations | |
| J. Reinforcing steel, and () NOT required | () Installation inspection of new shear bolts | |
| K. Moment-resisting frames | () Pre-installation inspection for embedded bolts | |
| L. Others | () Pullout tests per SFBG Sec. 1607C & 1615C | |

24. Structural observation per Sec. 1704.5 (2013 SFBG) for the following: () Foundations () Steel framing
() Concrete construction () Masonry construction () Wood framing
() Other:

25. Certification is required for: () Glu-lam components

Prepared by: RODRIGO SANTOS Phone: (415) 642-7722
Engineer/Architect of Record

Required information: (415) 642-7590 Email: rsantos@santosurrutia.com
FAX: (415) 642-7590

Review by: DBI Engineer or Plan Checker Phone: (415) 558-6132

APPROVAL (Based on submitted reports.)

DATE DBI Engineer or Plan Checker / Special Inspection Services Staff

QUESTIONS ABOUT SPECIAL INSPECTION AND STRUCTURAL OBSERVATION SHOULD BE DIRECTED TO: Special Inspection Services (415) 558-6132; or dbi.specialinspections@sfgov.org; or FAX (415) 558-6474

GENERAL STRUCTURAL NOTES

I. GENERAL

- ALL CONSTRUCTION SHALL CONFORM TO THE CALIFORNIA BUILDING CODE 2013 EDITION w/ AMENDMENTS BY LOCAL JURISDICTIONS.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT JOB SITE BEFORE COMMENCING WORK AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT OR ENGINEER.
- OMISSIONS OR CONFLICT BETWEEN VARIOUS ELEMENTS OF THE DRAWINGS, NOTES, AND DETAILS SHALL BE BROUGHT TO THE ATTENTION OF ARCHITECT AND RESOLVED BEFORE PROCEEDING WITH THE WORK.
- DO NOT USE SCALED DIMENSIONS; USE WRITTEN DIMENSIONS OR WHERE NO DIMENSION IS PROVIDED, CONSULT THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
- DETAILS SHOWN SHALL BE INCORPORATED INTO THE PROJECT AT ALL APPROPRIATE LOCATIONS WHETHER SPECIFICALLY CALLED OUT OR NOT.
- FOR WATERPROOFING, FIREPROOFING, ETC. REFER TO DRAWINGS OTHER THAN STRUCTURAL.
- SEE DRAWINGS OTHER THAN STRUCTURAL FOR: KINDS OF FLOOR FINISH AND THEIR LOCATION, FOR DEPRESSIONS IN FLOOR SLABS, FOR OPENINGS IN WALLS AND FLOORS REQUIRED BY ARCHITECTURAL AND MECHANICAL FEATURES, FOR ROADWAY PAVING, WALKS, RAMPS, STAIRS, CURBS, ETC.
- HOLES AND OPENINGS THROUGH WALLS AND FLOORS FOR DUCTS, PIPING AND VENTILATION SHALL BE CHECKED BY THE CONTRACTOR, WHO SHALL VERIFY SIZES AND LOCATION OF SUCH HOLES OR OPENINGS WITH THE PLUMBING HEATING, VENTILATING AND ELECTRICAL DRAWINGS AND THESE SUB-CONTRACTORS.
- NO PIPES AND DUCTS SHALL BE PLACED IN SLABS OR WALLS UNLESS SPECIFICALLY DETAILED OR APPROVED BY THE ARCHITECT.
- DRAWINGS AND SPECIFICATIONS REPRESENT FINISHED STRUCTURE. SUBCONTRACTOR SHALL BE RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION INCLUDING BUT NOT LIMITED TO SHORING AND TEMPORARY BRACING. THE SUBCONTRACTOR SHALL UNDERTAKE ALL NECESSARY MEASURES TO INSURE SAFETY OF ALL PERSONS AND STRUCTURES AT THE SITE AND ADJACENT TO THE SITE. OBSERVATION VISITS TO THE SITE BY THE ARCHITECT, ENGINEER SHALL NOT RELIEVE THE SUBCONTRACTOR OF SUCH RESPONSIBILITY.
- NOTE THAT SHEET S1 IS A STANDARD COVER SHEET AND AS SUCH, NOT ALL TYP. DETAILS AND OR NOTES APPLY TO EVERY PROJECT.

II. DESIGN CRITERIA

- APPLICABLE CODE: CALIFORNIA BUILDING CODE 2013 & SFBG 2013. VERTICAL LIVE LOADS: (REDUCIBLE).
ROOF: 20 PSF FLOOR: 40 PSF
DESIGN SOILS PRESSURE: 1,500 PSF w/ 1/3 INCREASE FOR SEISMIC
- LATERAL LOADS:
1. WIND: 110 MPH. BASIC WIND SPEED, EXPOSURE CAT. "B"
2. SEISMIC: SITE CLASS "D"
MAPPED SPECTRAL ACCELERATIONS:
 $S_s = 1.68$, $S_1 = 0.772$, $S_{M1} = 1.68$, $S_{M2} = 1.16$, $S_{M3} = 1.12$, $S_{M4} = 0.77$
 $F_a = 1.0$, $F_v = 1.50$
 $p = 1.3$ $Q = 2.5$, $R = 6.5$ $I = 1.0$ RISK CATEGORY II
SEISMIC DESIGN CATEGORY "E"
BASE SHEAR $V = .172 W$

III. MATERIALS

- CONCRETE:
1. REINFORCING STEEL: ASTM A615, GRADE 60, #4 AND SMALLER, GRADE 40.
2. CONCRETE: NORMAL WEIGHT U.O.N. WITH COMPRESSIVE STRENGTH OF THE FOLLOWING AT 28 DAYS:
FOOTINGS 3000 psi
3. MINIMUM CONCRETE COVER FOR REINFORCING STEEL:
a. SURFACE POURED AGAINST GROUND 3"
b. FORMED SURFACES BELOW GRADE 2"
c. SURFACES EXPOSED TO WEATHER 2"
d. BEAM BARS (INCLUDING STIRRUPS) 1-1/2"
e. ALL OTHER 1"
4. ANCHOR BOLT EPOXY: HILTI HIT-RE 500-SD. (ICC ESR-2322) OR SIMPSON SET-XP (ICC ESR-250B)
5. SCREW ANCHORS: SIMPSON TITEN HD (ICC ESR-2713)
* USE COMPRESSED AIR TO BLOW THE DUST OUT OF ANCHOR BOLT HOLES.

- CMU: UNITS 1500 PSI, MORTAR (TYPE 'S'), GROUT 2000 PSI
- STEEL

- SHAPES AND PLATES: ASTM A992; TUBES: ASTM A500, GRADE B; PIPES: ASTM A53, GRADE B
- MOMENT FRAMES (BEAMS, COLUMNS): ASTM A992
- METAL STUDS, SEE S1.4, NOTES
- METAL JOISTS, 50 ksi
- BOLTS: ASTM A307, U.O.N.; HIGH-STRENGTH BOLTS: ASTM A325
- STUD SHEAR CONNECTORS: ASTM A108
- THREADED ANCHOR RODS: ASTM F1554
- WELDING ELECTRODES: E-70
FOR FULL PEN WELDS USE CHARPY V-NOTCH WIRE, MIN. 20 ft # 0 OF
- METAL DECKING, SEE S1.5

D. WOOD

- FRAMING LUMBER - DOUGLAS FIR LARCH
a. HEADERS, PLATES, JOISTS: NO.1
b. STUDS, BLOCKING: NO.2
c. ALL LUMBER IN CONTACT WITH CONCRETE: PRESERVATIVE TREATED DOUGLAS FIR (NOT CCA-C)
d. POSTS AND BEAMS: NO.1
- PLYWOOD SHEATHING
a. SHEARWALL PLYWOOD: 1/2 INCH STRUCTURAL I, C-D EXTERIOR, APA RATED 32/16, SEE 6/31/14, SHEARWALL SCHEDULE FOR THICKNESS.
b. ROOF SHEATHING: 5/8 INCH STRUCTURAL II, C-D EXTERIOR APA RATED 32/16
c. FLOOR SHEATHING: 3/4 INCH STRUCTURAL II, C-D EXTERIOR APA RATED 48/24
- FRAMING HARDWARE AND JOIST HANGERS:
AS MANUFACTURED BY SIMPSON STRONGTIE CO. OR APPROVED EQUAL SIMPSON DESIGNATIONS USED. USE NAILS PER I.C.C. APPROVAL FOR EACH DEVICE.
- COMMON NAILS, UNLESS OTHERWISE NOTED. SHORT NAILS MAY BE USED PROVIDED THEY HAVE COMMON CODE SPECIFIED MINIMUM EMBEDMENT. ALL NAILING TO BE PER IBC TABLE NO. 2304.9.1 UNLESS NOTED OTHERWISE.
- GLU-LAM BEAMS: 24F-V4 (Fb=2400 PSI)
- PARALLAM & MICROLAM BEAMS AND TJI'S TO BE FABRICATED BY TRUS JOIST.
- FOR MICROLAMS SEE CODE EVALUATION: ICC-ES ESR-1387
8. FOR TJI JOISTS SEE CODE EVALUATION: ICC-ES ESR-1153

IV. EXPOSURE TO WEATHER:

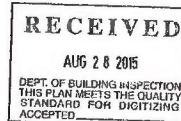
- STEEL:
1. ALL EXPOSED MEMBERS SHALL BE COATED WITH A ZINC RICH PRIMER.
2. BOLTS, NUTS AND MISCELLANEOUS HARDWARE SHALL BE GALVANIZED.
- WOOD:
1. ALL EXTERIOR TIMBER AND GLU-LAM BEAMS SHALL BE PRESSURE TREATED (BUT NOT CHROMATED COPPER ARSENATE) OR WOOD OF NATURAL RESISTANCE TO DECAY.
2. ALL EXTERIOR HANGERS AND OTHER SIMPSON TYPE PRODUCTS SHALL BE GALVANIZED.
3. ALL PLYWOOD SHALL BE OF AN EXTERIOR GRADE.
4. METAL CONNECTORS IN CONTACT w/ PRESSURE TREATED WOOD SHALL BE HOT-DIPPED GALVANIZED w/ MIN. ZINC COATING OF G185.
5. ALL NAILS & ANCHOR BOLTS IN CONTACT w/ PRESSURE TREATED WOOD SHALL BE HOT DIPPED GALVANIZED.

V. ABBREVIATIONS

- | | |
|---|-------------------------------------|
| B.N. — BOUNDARY NAILING | S.A.D. — SEE ARCHITECTURAL DRAWINGS |
| DIA. — DIAMETER | S.O.G. — SLAB-ON-GRADE |
| E.N. — EDGE NAILING | S.S. — STAINLESS STEEL |
| H.P. — HIGH POINT | T.O. — TOP OF |
| L.P. — LOW POINT | TYP. — TYPICAL |
| LVL — LAMINATED VENEER LUMBER | U.O.N. — UNLESS OTHERWISE NOTED |
| L.W. — LIGHT WEIGHT | W.W.F. — WELDED WIRE FABRIC |
| M.L. — MICROLAM | |
| PLWD — PLYWOOD SHEATHING | |
| PSL — PARALLEL STRAND LUMBER | |
| P.T. — PRESSURE TREATED OR POST-TENSIONED | |

SYMBOLS

- | | |
|--------------------------------------|---|
| (E) WALL BELOW | STEEL COLUMN ABOVE |
| (E) WALL ABOVE | STEEL COLUMN BELOW |
| (N) CONC. WALL ABOVE | MOMENT CONNECTION |
| BRICK OR CMU WALL ABOVE | CONCRETE TOPPING OVER PLYWOOD |
| WOOD SHEARWALL (BELOW) | CONCRETE TOPPING OVER CORRUGATED METAL DECK |
| WOOD JOIST HANGER (HUS TYPE, U.O.N.) | CONCRETE COLUMN ABOVE |
| WOOD POST BELOW | CONCRETE COLUMN BELOW w/ DROP CAP |
| WOOD POST ABOVE (OR ABOVE & BELOW) | DRILLED CONCRETE PIER |
| HOLDOWN @ WOOD POST | PRECAST, PRESTRESSED CONCRETE PILE |
| | DIAGONAL ABOVE |
| | DIAGONAL BELOW |



Robert Chun, DBI
OCT - 1 2015

REVISIONS

BY

SANTOS & URRUTIA
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GENERAL STRUCTURAL NOTES, DRAWING INDEX

APARTMENT REMODEL
630 9TH AVENUE
SAN FRANCISCO

Date: 07/28/15

Scale: AS NOTED

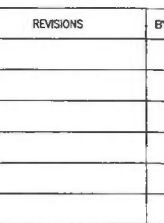
Drawn By: R.S.

Job No: 10110

Sheet

S1.0

Of 11 Sheets



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STRUCTURAL
ENGINEERS

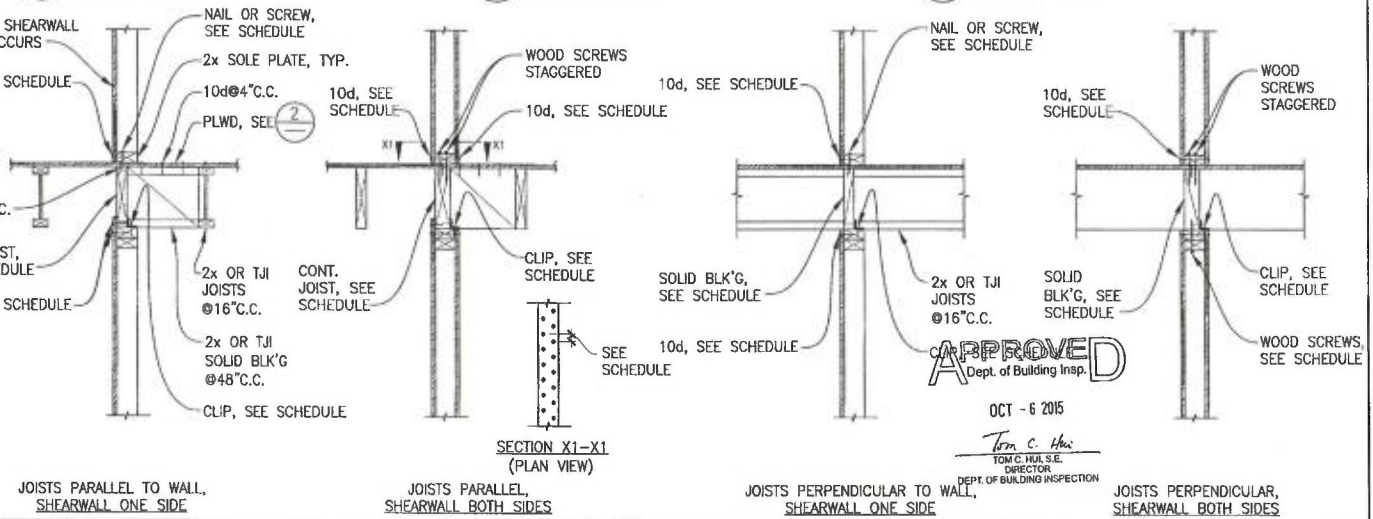
2451 HARRISON STREET
SAN FRANCISCO, CA 94110
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FAX (415) 642-7590









TYPICAL WOOD DETAILS


APARTMENT REMODEL
630 9TH AVENUE
SAN FRANCISCO

Date:	07/28/15
Scale:	AS NOTED
Drawn By:	R.S.
Job No:	10110
Sheet S1.1A Of 11 Sheets	



SHEARWALL SCHEDULE											
SYMBOL	PLWD GRADE	PLWD THICKNESS	PLWD ONE SIDE	PLWD TWO SIDES	PLWD EDGE & BOUNDARY NAILING	CONT. JOIST OR SOLID BLK'G	CLIP SPACING	PLATE NAIL SPACING	SDS 1/4x4 1/2" WOOD SCREW SPACING	A.B. SPACING	CAPACITY (PLF)
	PLY SHEATHING	1/2"	X		10d @ 6"C.C.	2x OR 1 3/4" LVL	A35 @ 16"C.C.	16d @ 4"C.C.	—	5/8" @ 24"C.C.	310
	PLY SHEATHING	1/2"	X		10d @ 4"C.C.	2x OR 1 3/4" LVL	A35 @ 12"C.C.	16d @ 3"C.C.	—	5/8" @ 24"C.C.	470
	STRUC I	1/2"	X		10d @ 3"C.C.	2x OR 1 3/4" LVL	A35 OR LTP4 @ 9"C.C.	—	6"C.C.	5/8" @ 16"C.C.	665
	STRUC I	1/2"	X		10d @ 2"C.C.	2x OR 1 3/4" LVL	A35 OR LTP4 @ 7"C.C.	—	4"C.C.	5/8" @ 16"C.C.	870
	STRUC I	1/2"		X	10d @ 3"C.C.	4x OR 3 1/2" PSL	A35 OR LTP4 @ 8"C.C. + (SDS 1/4"x6"@4"C.C. FROM BELOW) OR CONTINUE WALL PLWD UP	—	3"C.C. STAGGERED	7/8" @ 16"C.C.	1330
	STRUC I	1/2"		X	10d @ 2"C.C.	4x OR 3 1/2" PSL	A35 OR LTP4 @ 8"C.C. + (SDS 1/4"x6"@4"C.C. FROM BELOW) OR CONTINUE WALL PLWD UP	—	2"C.C. STAGGERED	7/8" @ 16"C.C.	1740

NOTES:

1. PLYWOOD SHALL BE NAILED DIRECTLY TO FRAMING.
2. WHEN PLYWOOD APPLIED TO BOTH FACES, STAGGER SHEETS SO THAT EDGES OCCUR AT DIFFERENT STUDS.
3. DO NOT OVER SHOOT NAILS THROUGH OUTER LAYER OF SHEARWALL PLYWOOD.
4. PLYWOOD = WOOD STRUCTURAL PANEL.
5. ORIENTED STRAND BOARD (OSB) MAY BE USED IN LIEU OF PLYWOOD AT CONTRACTOR'S OPTION.
6. FOR TYPICAL PLYWOOD SHEARWALL INTERSECTION, SEE 
7. USE 3" LONG 10d NAILS.
8. CCX PLYWOOD EXPOSED TO EXTERIOR SHALL BE PRESERVE TREATED.
9. FOR STEEL PLATES, BOLTS, NAILS, SCREWS, ETC. IN CONTACT WITH P.T WOOD, SEE SHEET S1.0, GENERAL STRUCTURAL NOTES, IV EXPOSURE TO WEATHER, B. WOOD

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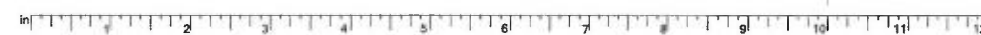
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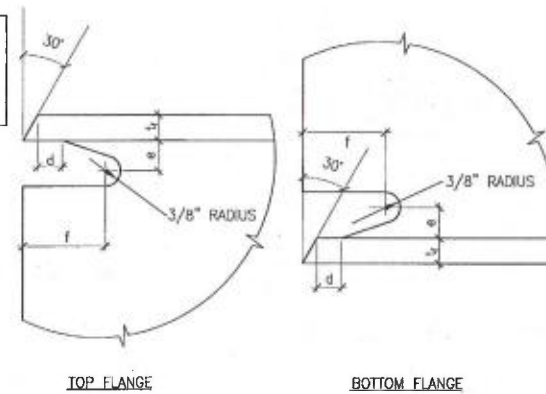
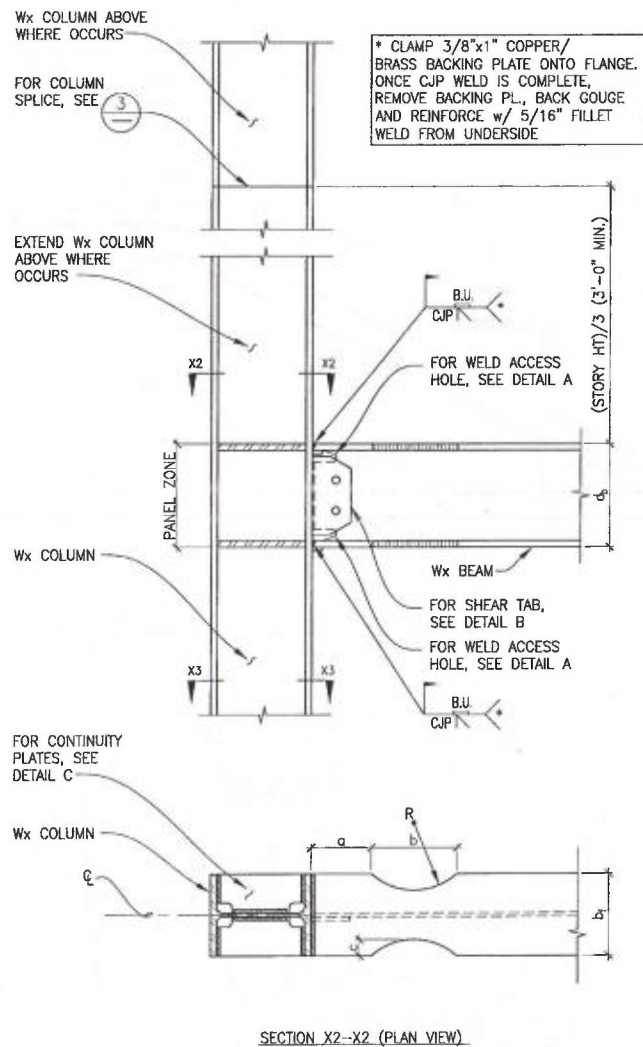
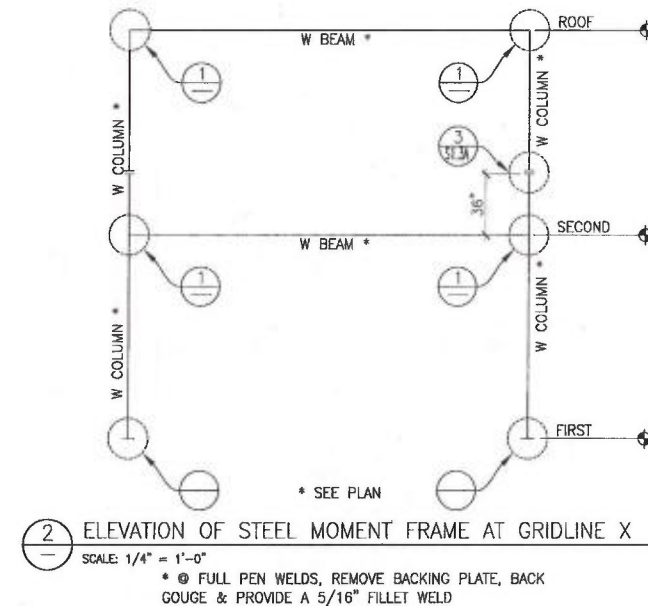
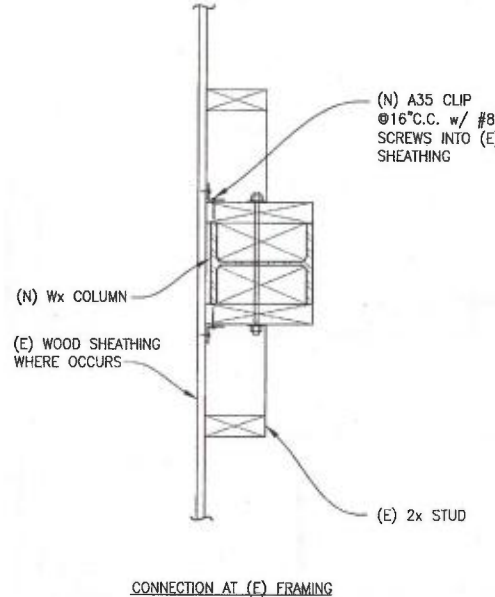
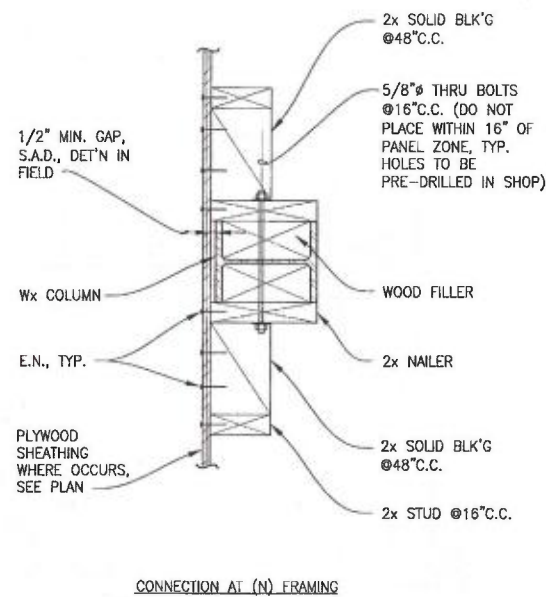
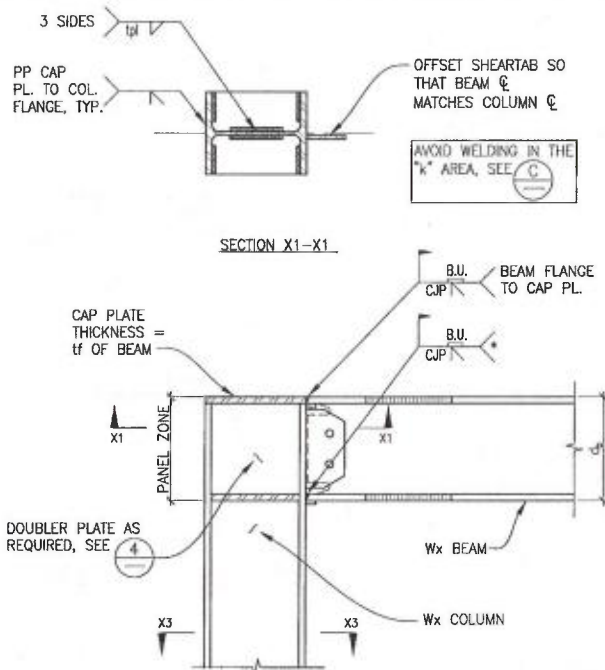
DEPT. OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY
STANDARD FOR DIGITIZING
ACCEPTED

Robert Chun, Jr.
OCT - 12

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AUG 28 2015
DEPT. OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY
STANDARD FOR DIGITIZING
ACCEPTED

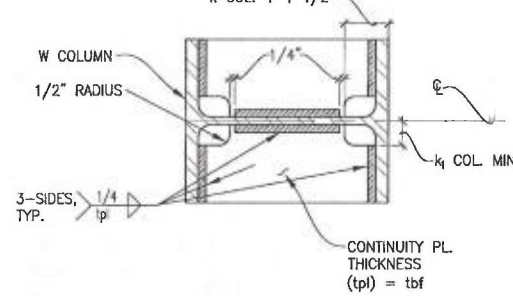
Robert Chun, DBI
OCT - 1 2015





(A) WELD ACCESS HOLE DETAIL
SCALE: 6"=1'-0"

(B) SHEAR TAB DETAIL
SCALE: 3"=1'-0"



NOTES:

a = (0.65)b_y d = LARGER OF t_y OR 1/2"

b = (0.75)d_b e = (3/4)t_y OR 3/4" MINIMUM

c = (0.2)b_y f = (3)t_y

R = $\frac{4c^2 + b^2}{8c}$ L = DISTANCE BETWEEN WELD ACCESS HOLES +1/4"

TOLERANCES SHALL NOT ACCUMULATE TO THE EXTENT THAT THE ANGLE OF THE ACCESS HOLE CUT TO THE FLANGE SURFACE EXCEEDS 25°. ALL CUTS SHALL BE GROUND SMOOTH (500 MICROINCHES), FREE OF SHARP EDGES AND DISCONTINUITIES. CUTS SHALL NOT BE MADE IN THE FIELD. RBS CUTS AND WELD ACCESS CUTS SHALL BE MADE IN THE CONTROLLED ENVIRONMENT OF THE FABRICATION SHOP. SHOP DRAWINGS SHALL BE PROVIDED BY THE FABRICATOR TO THE ENGINEER OF RECORD PRIOR TO FABRICATION OF ANY STEEL. STEEL MAY ONLY BE FABRICATED ONCE ENGINEER OF RECORD HAS APPROVED THE SHOP DRAWINGS. SEE GENERAL STRUCTURAL NOTES ON SHEET S1.0 FOR STEEL GRADE.

RBS AND WELD ACCESS SPECIFICATIONS							
BEAM SIZE	a(in)	b(in)	c(in)	d(in)	e(in)	f(in)	R(in)
W8x40	5.25	6.19	1.61	0.56	0.75	1.68	3.78
W12x96	7.93	9.53	2.44	0.9	0.75	2.7	5.87

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AUG 28 2015
DEPT. OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY STANDARD FOR DIGITIZING ACCEPTED.

(4) DOUBLER PLATE
SCALE: 1 1/2" = 1'-0"

REVISIONS

BY

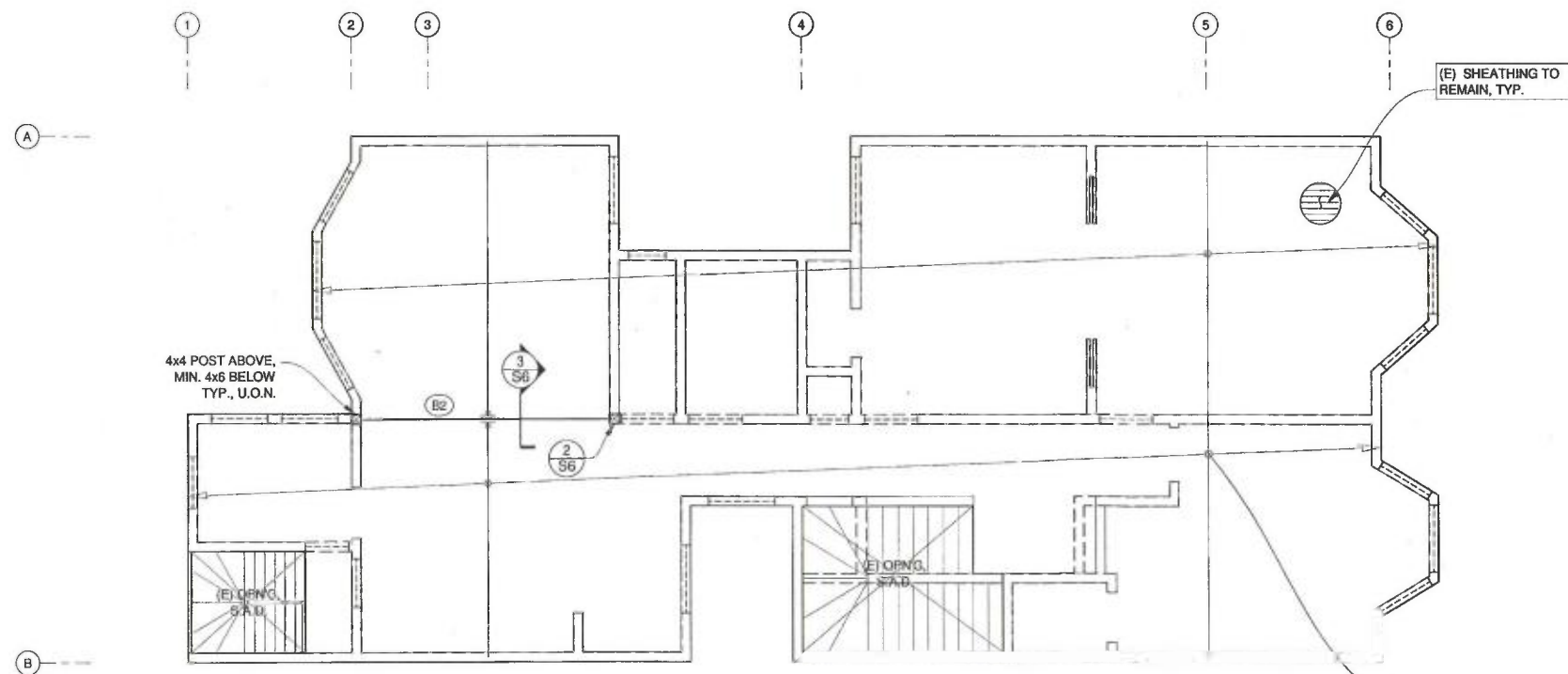
SANTOS & URRUTIA
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TYPICAL STEEL DETAILS
(RBS MOMENT FRAME)

APARTMENT REMODEL
630 9TH AVENUE
SAN FRANCISCO

Date: 07/28/15
Scale: AS NOTED
Drawn By: R.S.
Job No: 10110
Sheet
S1.3B
Of 11 Sheets

SCALE: 1/4"=1'-0"



SCALE: 1/4"=1'-0"



(E) ROOF FRAMING
TO REMAIN AT THIS
AREA

(E) SHEATHING TO REMAIN, TYP.

(E) 2x FRAMING
TO REMAIN, TYP.

OCT - 6 2015

Tom C. Hui
TOM C. HUI, S.E.
DIRECTOR
DEPT. OF BUILDING INSPECTION

AUG 28 2015

DEPT. OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY
STANDARD FOR DIGITIZING
ACCEPTED

BEAM SCHEDULE	
MARK	DESCRIPTION
(B1)	(E) BEAM, V.I.F.
(B2)	$5\frac{1}{4} \times 11\frac{7}{8}$ 2.2E PSL

Robert Chun, DBA
OCT - 1 2015

REVISIONS	BY

SANTOS & URRUTIA
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TELEPHONE (415) 642-7722
FAX (415) 642-7590



THIRD FLOOR FRAMING PLAN AND ROOF FRAMING PLAN

APARTMENT REMODEL
630 9TH AVENUE
SAN FRANCISCO, CALIFORNIA

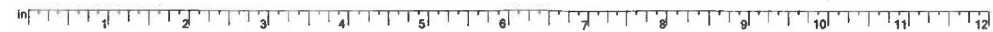
Date: 07/28/15

Scale: $1/4" = 1' - 0"$

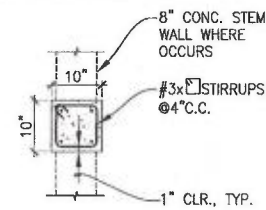
Drawn By: R.S.

Job No:	10110
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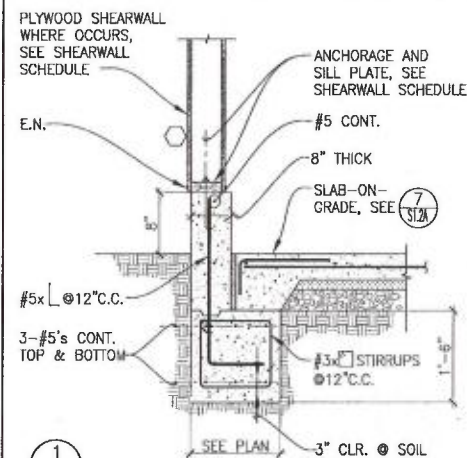
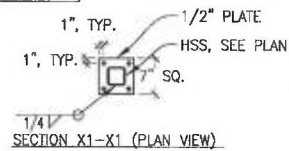
Sheet
S4
Of 11 Sheets



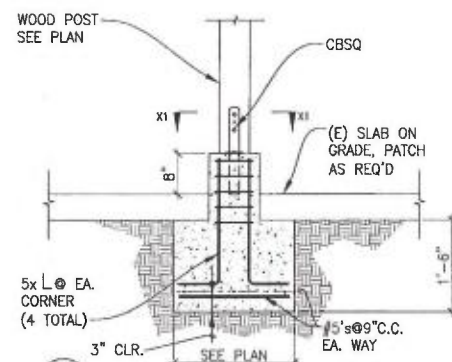
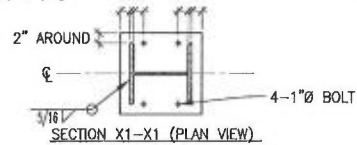
1. FOR G.B. INTERSECTIONS, SEE $\frac{3}{S12A}$
2. FOR G.B. CONSTRUCTION JOINT, SEE $\frac{4}{S12A}$
3. FOR G.B. STEPS, SEE $\frac{5}{S12A}$
4. FOR S.O.G. CONSTRUCTION JOINT, SEE $\frac{8}{S12A}$ & $\frac{7}{S12A}$



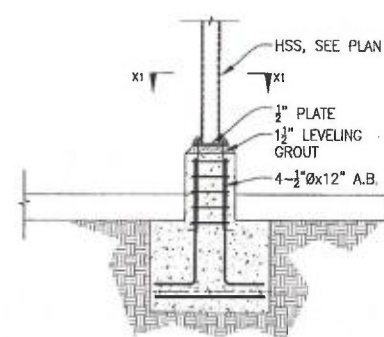
FOR DETAILS NOT SHOWN, SEE (2)



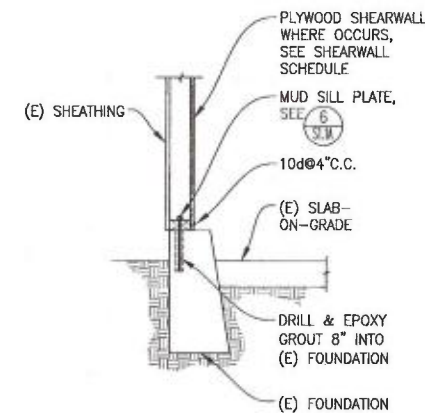
1
—
SCALE: 3/4" = 1'-0" 2"2" 2"2" SEE PLAN 3" CLR. @ SOIL



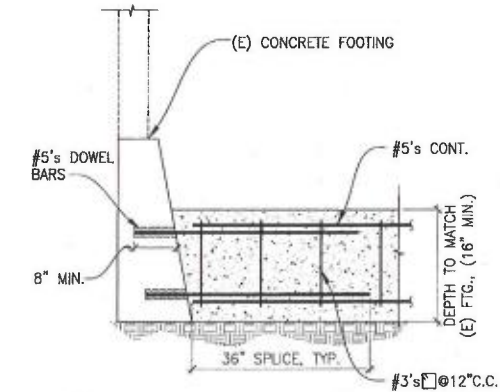
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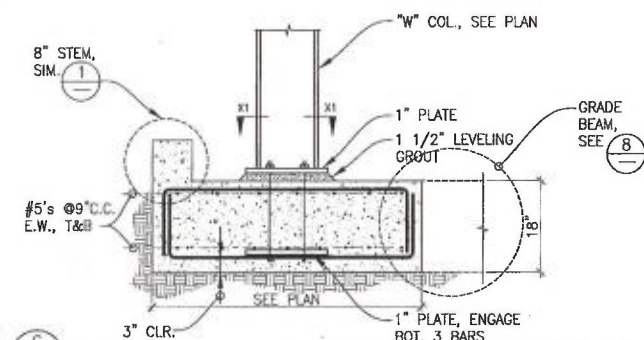
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SCALE: $\frac{3}{4}" = 1'-0"$



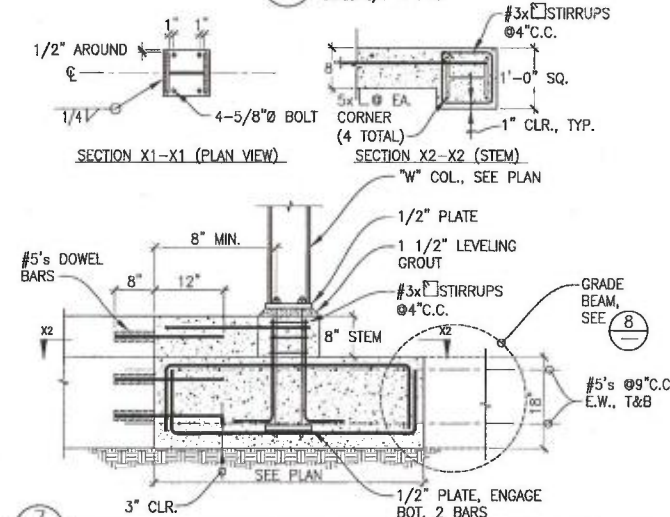
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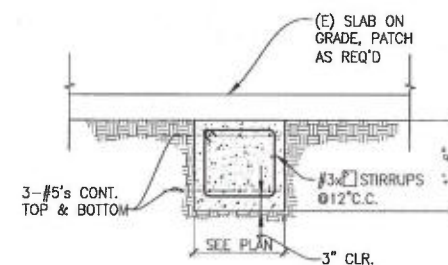
5
— SCALE: 3/4" = 1'-0"



SCALE: $\frac{3}{4}" = 1'-0"$



SCALE: $\frac{3}{4}" = 1'-0"$



8
— SCALE: 3/4" = 1'-0"

APPROVED
Dept. of Building Insp.

OCT - 6 2015

Tom C. Hui
TOM C. HUI, S.E.
DIRECTOR
DEPT. OF BUILDING INSPECTION

RECEIVED

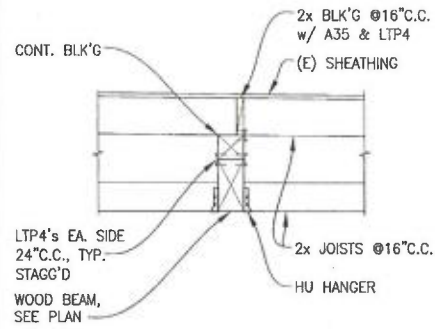
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DEPT. OF BUILDING INSPECTION
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Robert Chun, DBI
OCT - 1 2015

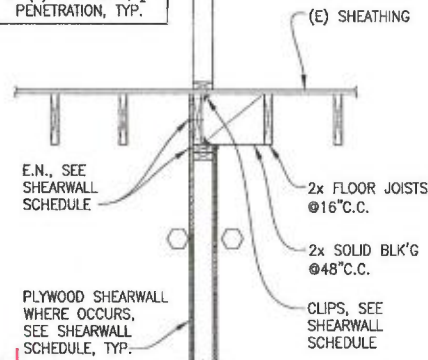
REVISIONS	BY
<p>SANTOS & URRUTIA STRUCTURAL ENGINEERS INC</p> <p>2451 HARRISON STREET SAN FRANCISCO, CA 94110 TELEPHONE (415) 842-7722 FAX (415) 842-7590</p>	
STRUCTURAL DETAILS	<p>APARTMENT REMODEL</p> <hr/> <p>630 9TH AVENUE</p> <p>SAN FRANCISCO</p>
Date:	07/28/15
Scale:	
Drawn By:	R.S.
Job No:	10110
Sheet	S5
Of 11 Sheets	

USE #8 PAN-HEAD
SCREWS w/ ANGLE TIES
⊙ (E) SHEATHING, 1/2"
PENETRATION, TYP.



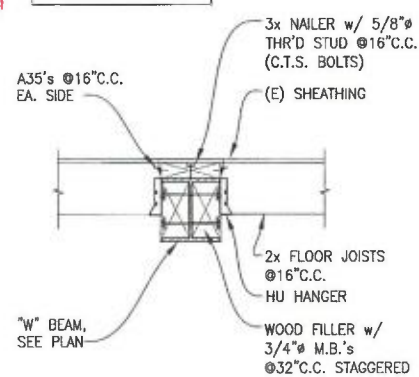
1 SCALE: 3/4" = 1'-0"

USE #8 PAN-HEAD
SCREWS w/ ANGLE TIES
⊙ (E) SHEATHING, 1/2"
PENETRATION, TYP.



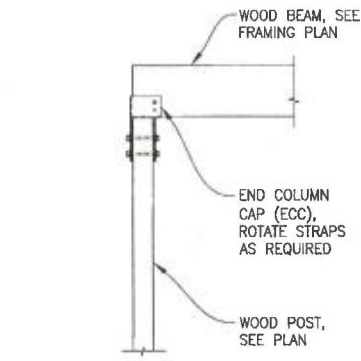
2 SCALE: 3/4" = 1'-0"

USE #8 PAN-HEAD
SCREWS w/ ANGLE TIES
⊙ (E) SHEATHING, 1/2"
PENETRATION, TYP.



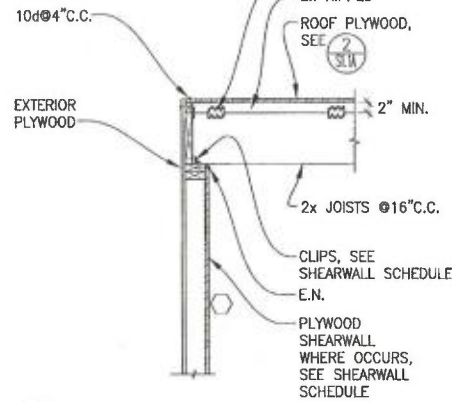
3 SCALE: 3/4" = 1'-0"

USE #8 PAN-HEAD
SCREWS w/ ANGLE TIES
⊙ (E) SHEATHING, 1/2"
PENETRATION, TYP.



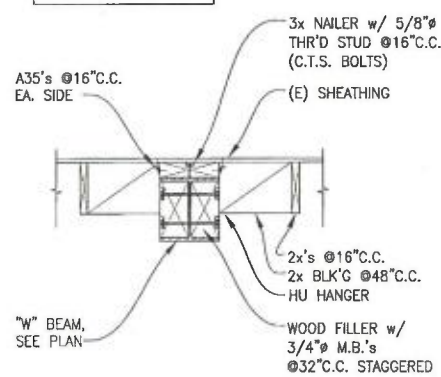
4 SCALE: 3/4" = 1'-0"

USE #8 PAN-HEAD
SCREWS w/ ANGLE TIES
⊙ (E) SHEATHING, 1/2"
PENETRATION, TYP.



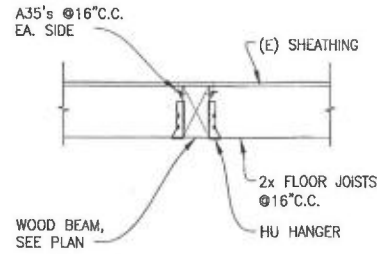
5 SCALE: 3/4" = 1'-0"

USE #8 PAN-HEAD
SCREWS w/ ANGLE TIES
⊙ (E) SHEATHING, 1/2"
PENETRATION, TYP.



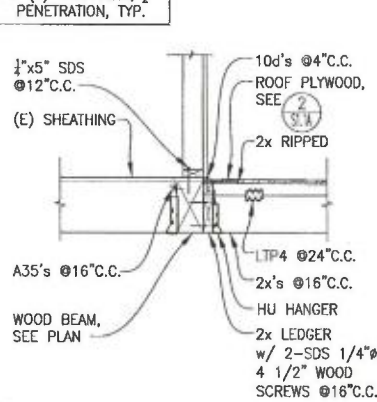
6 SCALE: 3/4" = 1'-0"

USE #8 PAN-HEAD
SCREWS w/ ANGLE TIES
⊙ (E) SHEATHING, 1/2"
PENETRATION, TYP.



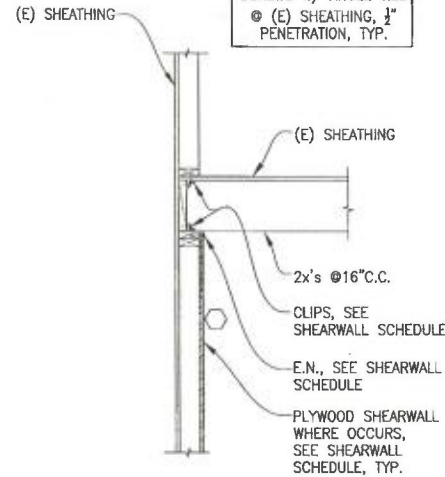
7 SCALE: 3/4" = 1'-0"

USE #8 PAN-HEAD
SCREWS w/ ANGLE TIES
⊙ (E) SHEATHING, 1/2"
PENETRATION, TYP.



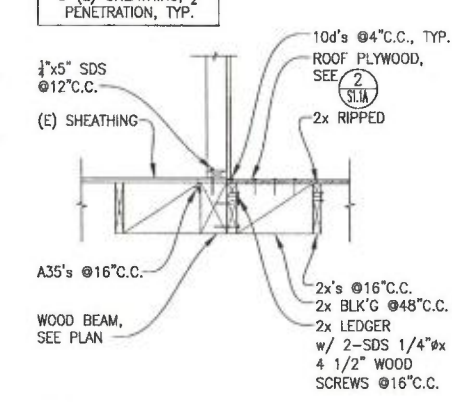
8 SCALE: 3/4" = 1'-0"

USE #8 PAN-HEAD
SCREWS w/ ANGLE TIES
⊙ (E) SHEATHING, 1/2"
PENETRATION, TYP.



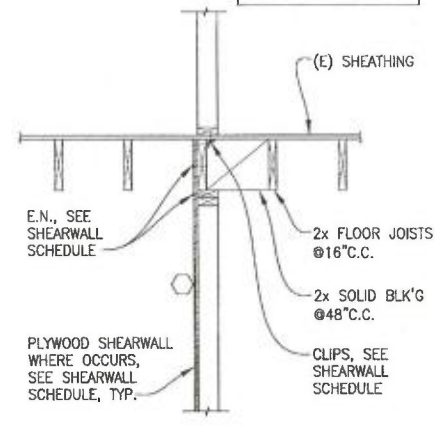
9 SCALE: 3/4" = 1'-0"

USE #8 PAN-HEAD
SCREWS w/ ANGLE TIES
⊙ (E) SHEATHING, 1/2"
PENETRATION, TYP.



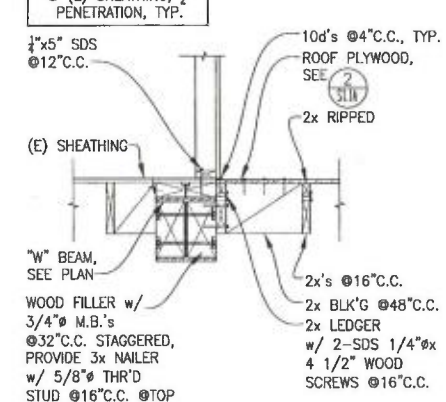
10 SCALE: 3/4" = 1'-0"

USE #8 PAN-HEAD
SCREWS w/ ANGLE TIES
⊙ (E) SHEATHING, 1/2"
PENETRATION, TYP.



11 SCALE: 3/4" = 1'-0"

USE #8 PAN-HEAD
SCREWS w/ ANGLE TIES
⊙ (E) SHEATHING, 1/2"
PENETRATION, TYP.



12 SCALE: 3/4" = 1'-0"

APPROVED
Dept. of Building Insp.

OCT - 6 2015

Tom C. Hui
TOM C. HUI, S.E.
DIRECTOR
DEPT. OF BUILDING INSPECTION

RECEIVED

AUG 28 2015

DEPT. OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY
STANDARD FOR DIGITIZING
ACCEPTED

Robert Chun, DBI

OCT - 1 2015

REVISIONS	BY

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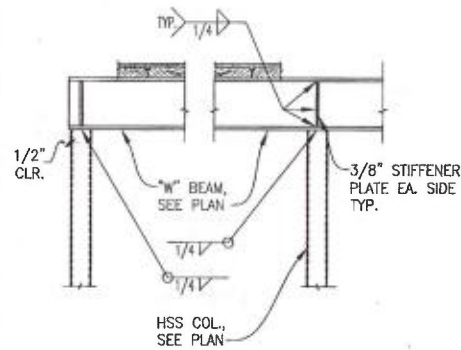
STRUCTURAL DETAILS

APARTMENT REMODEL
630 9TH AVENUE
SAN FRANCISCO

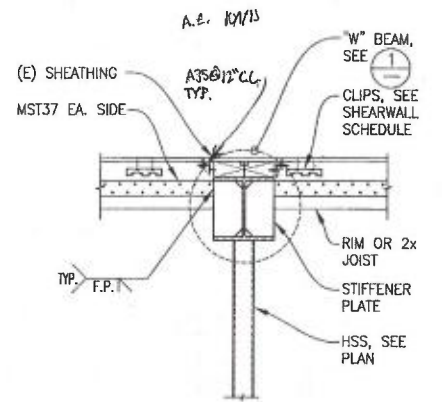
Date:	07/28/15
Scale:	
Drawn By:	R.S.
Job No:	10110
Sheet	S6
Of 11 Sheets	

COLLECTOR CONN.
SEE 2
S7

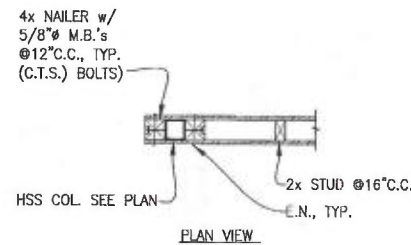
SHEARWALL NAILING
SEE 3
S7



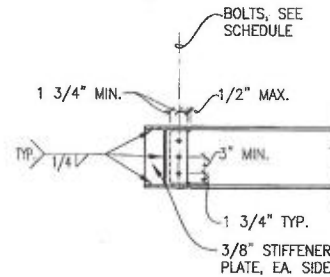
1
SCALE: 3/4" = 1'-0"



2
SCALE: 3/4" = 1'-0"

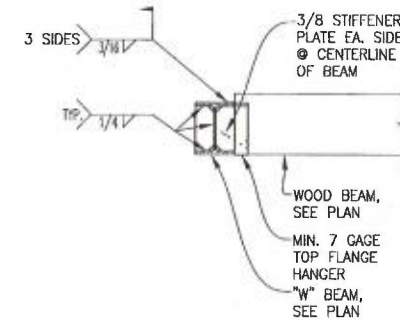


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SCALE: 3/4" = 1'-0"



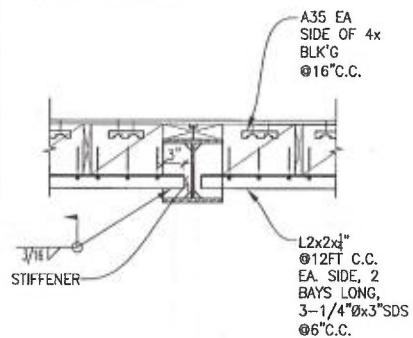
STEEL BM SIZE	NUMBER OF A325 BOLTS	DIAM.
W8x	2	7/8"
W10x	2	1"
W12x & W14x	3	1"
W16x & W18x	4	1"
W21x & W24x	5	1"

4
SCALE: 3/4" = 1'-0"



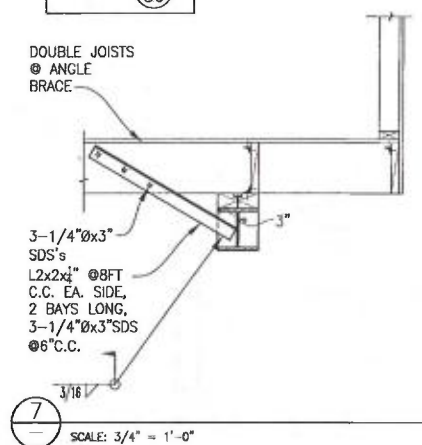
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SCALE: 3/4" = 1'-0"

FOR DETAILS NOT SHOWN SEE 11
S6

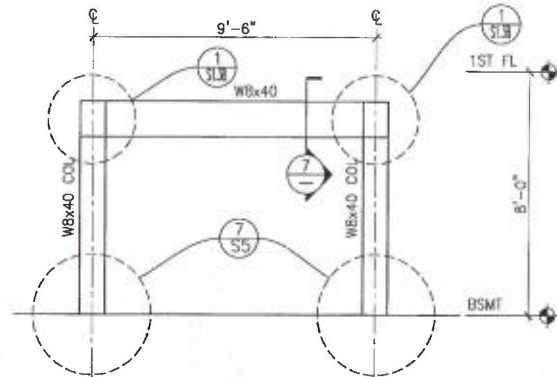


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SCALE: 3/4" = 1'-0"

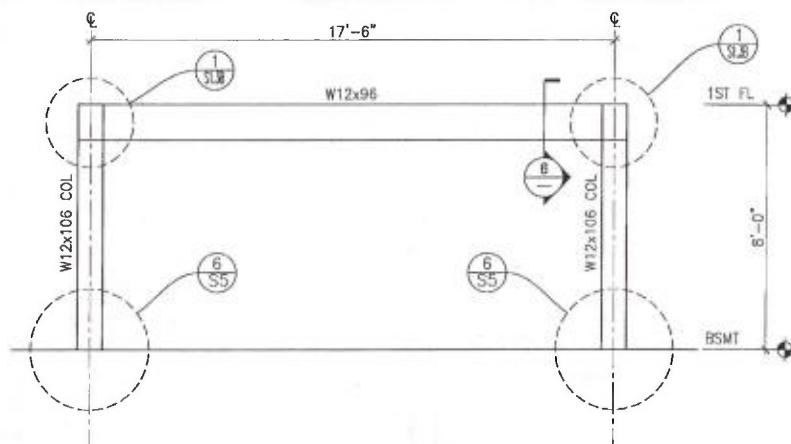
FOR DETAILS NOT SHOWN SEE 12
S6



7
SCALE: 3/4" = 1'-0"



8
SCALE: 3/8" = 1'-0"



9
SCALE: 3/8" = 1'-0"

APPROVED
Dept. of Building Insp.

OCT - 6 2015

Tom C. Hui
TOM C. HUI, S.E.
DIRECTOR
DEPT. OF BUILDING INSPECTION

RECEIVED

SEP 30 2015

DEPT. OF BUILDING INSPECTION
ACCEPTED

Robert Chun, DBI
OCT - 1 2015

Date: 07/28/15

Scale:

Drawn By: R.S.

Job No: 10110

Sheet

S7
Of 11 Sheets

STRUCTURAL DETAILS

APARTMENT REMODEL
630 9TH AVENUE
SAN FRANCISCO

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