



SAN FRANCISCO PLANNING DEPARTMENT

Executive Summary Conditional Use Authorization

HEARING DATE: JUNE 23, 2016

Date: June 13, 2016
Case No.: 2015-011509CUA
2016-001881CUA
Project Address: 99 Grove Street
Current Zoning: P (Public)
80-X Height and Bulk District
Block/Lot: 0812/001
Project Sponsor: Verizon Wireless, represented by Kelly Pepper
2785 Mitchell Drive, Bldg 9
Walnut Creek, CA 94598

AT&T Mobility, represented by Eric Lentz
430 Bush Street, 5th Floor
San Francisco, CA 94108
Staff Contact: Seema Adina – (415) 575-8722
Seema.Adina@sfgov.org
Recommendation: Approval with Conditions

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PROJECT DESCRIPTION

The proposal is to allow the development of a Verizon Wireless and AT&T Mobility macro Wireless Telecommunications Services ("WTS") facility on Bill Graham Civic Auditorium. The macro WTS facility would in-total feature twenty-three (23) panel antennas within four rooftop-mounted faux penthouses and four (4) GPS antennas on four corners of the building along Polk Street, Grove Street, Larkin Street, and Hayes Street. The Department worked with both carriers to create a cohesive design that would minimize the visibility of the wireless installation and improve the rooftop aesthetics of the co-location at this Site.

The screen walls would be composed of fibre-reinforced plastic ("FRP"), which allows radio signals to pass through, but can be textured and painted to mimic existing elements of the subject building. The penthouses would be located in four locations on the roof:

- Sector A antennas would be located within a faux penthouse on the northwest side of subject building. AT&T Mobility would install three (3) new antennas in this sector, and Verizon Wireless would install one (1). The antennas would be located within an FRP enclosure measuring 6'-6" by 23'-1" and 8'-9" in height. The screening would be setback 32'-2" from Grove Street and 16'-0" from Polk Street.
- Sector B antennas would be located within a faux penthouse on the northeast side of subject building. AT&T Mobility would install two (2) new antennas in this sector, and Verizon Wireless would install one (1). The antennas would be located within an FRP

enclosure measuring 6'-6" by 23'-1" and 8'-9" in height. The screening would be setback 31'-5" from Grove Street and 16'-0" from Larkin Street.

- Sector C antennas would be located within a faux penthouse on the southeast side of subject building. AT&T Mobility would install six (6) new antennas in this sector, and Verizon Wireless would install three (3). The antennas would be located within an FRP enclosure measuring 14'-11" by 27'-7". The screening would be setback 44'-5" from Larkin Street and 27'-5" from Hayes Street.
- Sector D antennas would be located within a faux penthouse on the southwest side of subject building. AT&T Mobility would install three (3) new antennas in this sector, and Verizon Wireless would install four (4). The antennas would be located within an FRP enclosure measuring 22'-3" by 12'-6". The screening would be setback 44'-6" from Polk Street and 27'-6" from Hayes Street.

SITE DESCRIPTION AND PRESENT USE

The Project Site is located on Assessor's Block 0812, Lot 001. The lot encompasses the entire block and fronts along Grove, Larkin, Hayes, and Polk Streets. The FRP installations are located on the four corners of the building.

The Project Site features a public multi-purpose event venue with a capacity of 6,000 people.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

The Project Site is situated within the Downtown/Civic Center neighborhood, near the northern edge of the South of Market neighborhood. The Project Site is across Grove Street from Civic Center Plaza and San Francisco City Hall, and is adjacent to various mixed-use developments in surrounding buildings.

ENVIRONMENTAL REVIEW

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 3 categorical exemption (Construction of New Communications Facilities). The categorical exemption and all pertinent documents may be found in the files of the Planning Department, as the custodian of records, at 1650 Mission Street, San Francisco.

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Classified News Ad	20 days	June 3, 2016	June 1, 2016	22 days
Posted Notice	20 days	June 3, 2016	June 3, 2016	20 days
Mailed Notice	10 days	June 13, 2016	June 3, 2016	20 days

PUBLIC COMMENT/COMMUNITY OUTREACH

Verizon Wireless held a community meeting on Wednesday November 18, 2015 from 6:00pm to 7:00pm at the San Francisco Public Library on 100 Larkin Street. No members of the community attended the

meeting.

AT&T Mobility held a community meeting on February 10, 2016 from 5:30pm to 6:00pm at the San Francisco Public Library on 100 Larkin Street. One member of the community attended the meeting and voiced his approval of the proposed AT&T project.

As of June 13, 2016, the Department has not received any calls or testimony raising concerns.

ISSUES AND OTHER CONSIDERATIONS

- This Project has been reviewed and approved by the City's Civic Design Review Committee on November 16, 2015, which reviews the architectural designs for any alterations to publically-owned structures.
- Planning staff issued an Administrative Certificate of Appropriateness on May 24, 2016. The comment period expired on June 13, 2016, with no requests for review by the Historic Preservation Commission.
- Based on the zoning and land use, the existing WTS facility is at a Location Preference 1 Site (Public buildings, structures, utilities or other neighborhood institutions) according to the WTS Facilities Siting Guidelines, as Bill Graham Civic Auditorium is zoned as Public, making it the most desirable location.
- Given the directional nature of the panel antennas, their specific orientation, and their placement on the roof, the RF emissions created by the proposed panel antennas would not result in exposure levels that approach or exceed the public exposure limits set by the Federal Communications Commission (FCC). As noted on Radio-Frequency (RF) emissions report, the combined maximum RF exposure would be at maximum 41% of the public exposure limit set by the FCC. The antennas are not accessible to any unauthorized persons due to their height and location on the roof. Health and safety aspects (e.g. engineering review for structural loads, and backup battery storage) of all wireless Projects are reviewed by the Department of Public Health, San Francisco Fire Department, and the Department of Building Inspection.
- The proposed macro WTS facility would not significantly impair commercial and residential activities within the Project Site.
- An updated Five Year Plan with approximate longitudinal and latitudinal coordinates of proposed locations, including the Project Site, is on file with the Planning Department for both carriers.
- All required public notifications were conducted in compliance with the Planning Code and adopted WTS policies.

REQUIRED COMMISSION ACTION

Pursuant to Sections 303 and 211.2 of the Planning Code, a Conditional Use Authorization is required for a macro WTS facility (Public Use).

BASIS FOR RECOMMENDATION

This Project is necessary and/or desirable under Section 303 of the Planning Code for the following reasons:

- The proposed facility would be screened from view by virtue of proposed enclosures and their placement (sufficiently setback from roof edges) on the rooftop of the Subject Site. The proposal would not significantly detract from views of the Subject Building or from the view of other surrounding buildings, nor would it detract from adjacent streetscapes and vistas within the Downtown/Civic Center or South of Market neighborhoods.
- The Project complies with the applicable requirements of the Planning Code.
- The Project is consistent with the Objectives and Policies of the General Plan.
- The Project is consistent with the 1996 WTS Facilities Siting Guidelines, Planning Commission Resolution No. 14182, 16539, and 18523 supplementing the 1996 WTS Guidelines.
- Health and safety aspects of all wireless projects are reviewed under the Department of Public Health and the Department of Building Inspections.
- The expected RF emissions fall well within the limits established by the Federal Communications Commission (FCC).
- According to the Wireless Telecommunications Services (WTS) Facilities Siting Guidelines, the Project Site is Location Preference 1 (Public) site.
- Based on propagation maps provided by Verizon Wireless and AT&T Mobility, the Project would provide enhanced coverage in an area that currently experiences gaps in coverage and capacity.
- Based on the analysis provided by Verizon Wireless and AT&T Mobility, the Project would provide additional capacity in an area that currently experiences insufficient service during periods of high data usage.
- Based on independent third-party evaluation, the maps, data, and conclusions about service coverage and capacity provided by Verizon Wireless and AT&T Mobility are accurate.

RECOMMENDATION: Approval with Conditions

Attachments:

Draft Conditional Use Authorization Motions
Zoning Map
Block Book Map
Sanborn Map
Aerial Map
Context Photos
Photosimulations
Radio Frequency Report
Department of Public Health Approval
Community Outreach Report
Independent Evaluation
Reduced Plans

Attachment Checklist

- | | |
|---|---|
| <input checked="" type="checkbox"/> Draft Motion | <input checked="" type="checkbox"/> Project sponsor submittal |
| <input checked="" type="checkbox"/> Zoning District Map | Drawings: <u>Proposed Project</u> |
| <input type="checkbox"/> Height & Bulk Map | <input checked="" type="checkbox"/> Check for legibility |
| <input checked="" type="checkbox"/> Block Book Map | <input checked="" type="checkbox"/> Community Outreach Report |
| <input checked="" type="checkbox"/> Sanborn Map | <input checked="" type="checkbox"/> Coverage Maps |
| <input checked="" type="checkbox"/> Aerial Map | <input checked="" type="checkbox"/> RF Report |
| <input checked="" type="checkbox"/> Context Photos | <input checked="" type="checkbox"/> DPH Approval |
| <input checked="" type="checkbox"/> Photo Simulations | <input checked="" type="checkbox"/> Independent Evaluation |

Exhibits above marked with an "X" are included in this packet _____ SA _____ Planner's Initials

SA: I:\Current Planning\Wireless Facilities\Conditional Use Permits\99 Grove (Combined)\99 Grove Executive Summary



SAN FRANCISCO PLANNING DEPARTMENT

VERIZON WIRELESS

Subject to: (Select only if applicable)

- Affordable Housing (Sec. 415)
- Jobs Housing Linkage Program (Sec. 413)
- Downtown Park Fee (Sec. 412)
- First Source Hiring (Admin. Code)
- Child Care Requirement (Sec. 414)
- Other

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Planning Commission Draft Motion HEARING DATE: JUNE 23, 2016

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 Walnut Creek, CA 94598
Staff Contact: Seema Adina – (415) 575-8722
 Seema.Adina@sfgov.org

ADOPTING FINDINGS RELATING TO THE APPROVAL OF A CONDITIONAL USE AUTHORIZATION UNDER PLANNING CODE SECTIONS 303 AND 211.2 TO DEVELOP A VERIZON WIRELESS MACRO WIRELESS TELECOMMUNICATIONS SERVICES FACILITY CONSISTING OF UP TO NINE (9) SCREENED ROOFTOP MOUNTED PANEL ANTENNAS, TWO (2) GPS ANTENNAS, AND AN ASSOCIATED ROOFTOP EQUIPMENT AREA AS PART OF THE VERIZON WIRELESS TELECOMMUNICATIONS NETWORK WITHIN THE P (PUBLIC) ZONING DISTRICT, AND AN 80-X HEIGHT AND BULK DISTRICT.

PREAMBLE

On September 4, 2015, Verizon Wireless (hereinafter "Project Sponsor"), submitted an application (hereinafter "Application"), for a Conditional Use Authorization on the property at 99 Grove Street, Block 0812, Lot 001, (hereinafter "Project Site") to develop a Verizon Wireless macro Wireless Telecommunications Services facility (hereinafter "WTS") consisting of up to nine (9) screened rooftop-mounted panel antennas, and two GPS antennas, and a rooftop equipment area as part of the Verizon Wireless telecommunications network, within a Public, (P) Zoning District, and a 80-X Height and Bulk District.

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 3 Categorical Exemption (Section 15303 of the California Environmental Quality Act). The Planning Commission has reviewed and concurs with said determination. The categorical exemption and all pertinent documents may be found in the files of the Planning Department

(hereinafter "Department"), as the custodian of records, at 1650 Mission Street, Suite 400, San Francisco.

On June 23, 2016 the San Francisco Planning Commission (hereinafter "Commission") conducted a duly noticed public hearing at a regularly scheduled meeting on the Application for a Conditional Use Authorization.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the Applicant, Department Staff, and other interested parties.

MOVED, that the Commission hereby authorizes the Conditional Use in Application No. 2015-011509CUA, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.
2. **Site Description and Present Use.** The Project Site is located on Assessor's Block 0812, Lot 001. The lot encompasses the entire block and fronts along Grove, Larkin, Hayes, and Polk Streets. The fibre-reinforced plastic (FRP) installations are located on the four corners of the building.

The Project Site features a public multi-purpose event venue (Bill Graham Civic Auditorium) with a capacity of 6,000 people.

3. **Surrounding Properties and Neighborhood.** The Project Site is situated within the Downtown/Civic Center neighborhood, near the northern edge of the South of Market neighborhood. The Project Site is across Grove Street from Civic Center Plaza and San Francisco City Hall, and is adjacent to various mixed-use developments in surrounding buildings.
4. **Project Description.** The proposal is to allow the development of a Verizon Wireless macro Wireless Telecommunications Services ("WTS") facility. The macro WTS facility would feature nine (9) panel antennas within four rooftop-mounted faux penthouses and two (2) GPS antennas on four corners of the building along Polk Street, Grove Street, Larkin Street, and Hayes Street. The Department worked with the carrier to create a cohesive design that would minimize the visibility of the wireless installation and improve the rooftop aesthetics of the co-location at this Site.

The screen walls would be composed of fibre-reinforced plastic ("FRP") which allows radio signals to pass through, but can be textured and painted to mimic the existing

elements of the subject building. The penthouses would be located in four locations on the roof, sufficiently setback from corresponding streets to minimize visibility.

5. **Past History and Actions.** The Planning Commission adopted the *Wireless Telecommunications Services (WTS) Facilities Siting Guidelines* ("Guidelines") for the installation of wireless telecommunications facilities in 1996. These Guidelines set forth the land use policies and practices that guide the installation and approval of wireless facilities throughout San Francisco. A large portion of the Guidelines was dedicated to establishing location preferences for these installations. The Board of Supervisors, in Resolution No. 635-96, provided input as to where wireless facilities should be located within San Francisco. The Guidelines were updated by the Commission in 2003 and again in 2012, requiring community outreach, notification, and detailed information about the facilities to be installed.

Section 8.1 of the Guidelines outlines Location Preferences for wireless facilities. There are five primary areas where the installation of wireless facilities should be located:

1. Publicly-used Structures: such facilities as fire stations, utility structures, community facilities, and other public structures;
2. Co-Location Site: encourages installation of facilities on buildings that already have wireless installations;
3. Industrial or Commercial Structures: buildings such as warehouses, factories, garages, service stations;
4. Industrial or Commercial Structures: buildings such as supermarkets, retail stores, banks; and
5. Mixed-Use Buildings in High Density Districts: buildings such as housing above commercial or other non-residential space.

Section 8.1 of the WTS Siting Guidelines further stipulates that the Planning Commission will not approve WTS applications for Preference 5 or below Location Sites unless the application describes (a) what publicly-used building, co-location site or other Preferred Location Sites are located within the geographic service area; (b) what good faith efforts and measures were taken to secure these more Preferred Locations, (c) explains why such efforts were unsuccessful; and (d) demonstrates that the location for the site is essential to meet demands in the geographic service area and the Applicant's citywide networks.

Before the Planning Commission can review an application to install a wireless facility, the Project Sponsor must submit a five-year facilities plan, which must be updated biannually, an emissions report and approval by the Department of Public Health, Section 106 Declaration of Intent, an independent evaluation verifying coverage and capacity, a submittal checklist and details about the facilities to be installed.

Under Section 704(B)(iv) of the 1996 Federal Telecommunications Act, local jurisdictions cannot deny wireless facilities based on Radio Frequency (RF) radiation emissions so long as such facilities comply with the FCC's regulations concerning such emissions.

6. **Location Preference.** The *WTS Facilities Siting Guidelines* identify different types of zoning districts and building uses for the siting of wireless telecommunications facilities. Based on the zoning and land use, the proposed WTS facility is at a Location Preference 1 Site (Public buildings, structures, utilities, or other neighborhood institutions) according to the *WTS Facilities Siting Guidelines*, making it the most desired location.
7. **Radio Waves Range.** The Project Sponsor has stated that the proposed wireless network is designed to address coverage and capacity needs in the area. The network will operate in the 700Megahertz (MHZ) bands, which are regulated by the Federal Communications Commission (FCC) and must comply with the FCC-adopted health and safety standards for electromagnetic radiation and radio frequency radiation.
8. **Radiofrequency (RF) Emissions:** The Project Sponsor retained Hammett & Edison, a radio engineering consulting firm, to prepare a report describing the expected RF emissions from the proposed facility. Pursuant to the *Guidelines*, the Department of Public Health reviewed the report and determined that the proposed facility complies with the standards set forth in the *Guidelines*.
9. **Department of Public Health Review and Approval.** The Project was referred to the Department of Public Health (DPH) for emissions exposure analysis. Radio-Frequency (RF) levels from the proposed Verizon Wireless transmitters at ground level would be around 4.1% of the FCC public exposure limit.

There are currently no antennas operated by Verizon Wireless installed on the rooftop of the building at 99 Grove Street. Existing RF levels at ground level were around 5% of the FCC public exposure limit. Verizon Wireless proposes to install nine (9) new antennas and two (2) GPS antennas at this site. AT&T Mobility proposes to install fourteen (14) new antennas and two (2) GPS antennas at this site. The estimated combined ambient RF field from the proposed Verizon Wireless and AT&T Mobility wireless transmitters at ground level is calculated to be 41% of the FCC public exposure limit. The three dimensional perimeter of RF levels of the combined installations equal to the public exposure limit extends 110 feet and includes portions of the rooftop areas. Due to their height and location, the antennas are not accessible to any unauthorized people. Workers should not have access to within 47 feet of the front of the antennas while they are in operation. Areas of the rooftop exceeding the FCC Occupational limits should be marked with red striping and areas exceeding the FCC public limits with yellow striping on the rooftop.

10. **Coverage and Capacity Verification.** The maps, data, and conclusion provided by Verizon Wireless to demonstrate the need for outdoor and indoor coverage and capacity have been determined by Hammett & Edison, and engineering consultant and independent third party to accurately represent the carrier's present and post-installation conclusions.

11. **Maintenance Schedule.** The facility would operate without on-site staff but with a maintenance crew visiting the property to service and monitor the facility.
12. **Community Outreach.** As required under the *Guidelines*, the Project Sponsor held a community meeting at 100 Larkin Street, to discuss the Project at 6:00 p.m. on November 18th, 2015. No community members attended the meeting.
13. **Five-year plan:** Per the *Guidelines*, the Project Sponsor submitted an updated five-year plan, as required, in April 2016.
14. **Public Comment.** As of June 13, 2016, the Department has not received any calls or testimony raising concerns about the proposed project.
15. **Planning Code Compliance.** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:
 - A. **Use.** Per Planning Code Section 211.2, a Conditional Use Authorization is required for a macro WTS facility (Public Use).
16. **Planning Code Section 303** establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use approval. On balance, the Project complies with said criteria in that:
 - A. The proposed new uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.
 - i. *Desirable: San Francisco is a leader of the technological economy; it is important and desirable to the vitality of the City to have and maintain adequate telecommunications coverage and data capacity. This includes the installation and upgrading of systems to keep up with changing technology and increases in usage. It is desirable for the City to allow wireless facilities to be installed.*

The Project at 99 Grove Street is generally desirable and compatible with the surrounding neighborhood because the Project will not conflict with the existing uses of the property and will be designed to be compatible with the surrounding neighborhood. The overall location, setback from public streets, height and design of the proposed facility, including visible screening elements, is situated so as to avoid intrusion into public vistas, and to insure harmony with the existing neighborhood character and promote public safety.
 - ii. *Necessary: In the case of wireless installations, there are two criteria that the Commission reviews: coverage and capacity.*

Coverage: San Francisco does have sufficient overall wireless coverage (note that this is separate from carrier capacity). San Francisco's unique coverage issues are due to

topography and building heights. The hills and buildings disrupt lines-of-site between WTS base stations. Thus, telecommunication carriers continue to install additional installations to make sure coverage is sufficient.

Capacity: While a carrier may have adequate coverage in a certain area, the capacity may not be sufficient. With the continuous innovations in wireless data technology and demand placed on existing infrastructure, individual telecommunications carriers must upgrade and in some instances expand their facilities network to provide proper data and voice capacity. It is necessary for San Francisco, as a leader in technology, to have adequate capacity.

The Project at 99 Grove Street is necessary in order to achieve sufficient street and in-building mobile phone coverage and data capacity. Recent drive tests in the subject area conducted by the Verizon Wireless Radio Frequency Engineering Team provide that the Project Site is a preferable location, based on factors including quality of coverage and aesthetics.

- B. The proposed project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the project that could be detrimental to the health, safety or convenience of those residing or working the area, in that:
- i. Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

The Project must comply with all applicable Federal and State regulations to safeguard the health, safety and to ensure that persons residing or working in the vicinity will not be affected, and prevent harm to other personal property.

The Department of Public Health conducted an evaluation of potential health effects from Radio Frequency radiation, and has concluded that the proposed wireless transmission facilities will have no adverse health effects if operated in compliance with the FCC-adopted health and safety standards.

- ii. The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

No increase in traffic volume is anticipated with the facilities operating unmanned, with a maintenance crew visiting the Site once a month or on an as-needed basis.

- iii. The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

While some noise and dust may result from the installation of the antennas and transceiver equipment, noise or noxious emissions from continued use are not likely to be significantly greater than ambient conditions due to the operation of the wireless communication network.

- iv. Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

The facility will not affect landscaping, open space, required parking, lighting or signage at the Project Site or surrounding area.

- C. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

The Project complies with all relevant requirements and standards of the Planning Code and is consistent with Objectives and Policies of the General Plan, as detailed below.

- 17. **General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

HOUSING ELEMENT
Objectives and Policies

BALANCE HOUSING CONSTRUCTION AND COMMUNITY INFRASTRUCTURE

OBJECTIVE 12:

BALANCE HOUSING GROWTH WITH ADEQUATE INFRASTRUCTURE THAT SERVES THE CITY'S GROWING POPULATION.

Policy 12.3:

Ensure new housing is sustainable supported by the City's public infrastructure systems.

The Project will improve Verizon Wireless's coverage and capacity within the Downtown/Civic Center neighborhood.

COMMERCE AND INDUSTRY ELEMENT
Objectives and Policies

OBJECTIVE 1:

MANAGE ECONOMIC GROWTH AND CHANGE TO ENSURE ENHANCEMENT OF THE TOTAL CITY LIVING AND WORKING ENVIRONMENT.

Policy 1.1:

Encourage development, which provides substantial net benefits and minimizes

undesirable consequences. Discourage development, which has substantial undesirable consequences that cannot be mitigated.

Policy 1.2:

Assure that all commercial and industrial uses meet minimum, reasonable performance standards.

The Project would enhance the total city living and working environment by providing communication services for residents and workers within the City. Additionally, the Project would comply with Federal, State and Local performance standards.

OBJECTIVE 2:

MAINTAIN AND ENHANCE A SOUND AND DIVERSE ECONOMIC BASE AND FISCAL STRUCTURE FOR THE CITY.

Policy 2.1:

Seek to retain existing commercial and industrial activity and to attract new such activity to the city.

Policy 2.3:

Maintain a favorable social and cultural climate in the city in order to enhance its attractiveness as a firm location.

The Site would be an integral part of a new wireless communications network that would enhance the City's diverse economic base.

OBJECTIVE 4:

IMPROVE THE VIABILITY OF EXISTING INDUSTRY IN THE CITY AND THE ATTRACTIVENESS OF THE CITY AS A LOCATION FOR NEW INDUSTRY.

Policy 4.1:

Maintain and enhance a favorable business climate in the City.

Policy 4.2:

Promote and attract those economic activities with potential benefit to the City.

The Project would benefit the City by enhancing the business climate through improved communication services for residents and workers.

VISITOR TRADE

OBJECTIVE 8:

ENHANCE SAN FRANCISCO'S POSITION AS A NATIONAL CENTER FOR CONVENTIONS AND VISITOR TRADE.

Policy 8.3:

Assure that areas of particular visitor attraction are provided with adequate public services for both residents and visitors.

The Project would ensure that residents and visitors have adequate public service in the form of Verizon Wireless telecommunications.

COMMUNITY SAFETY ELEMENT
Objectives and Policies

OBJECTIVE 3:

ESTABLISH STRATEGIES TO ADDRESS THE IMMEDIATE EFFECTS OF A DISASTER.

Policy 1.20

Increase communication capabilities in preparation for all phases of a disaster and ensure communication abilities extend to hard-to-reach areas and special populations.

Policy 2.4

Bolster the Department of Emergency Management's role as the City's provider of emergency planning and communication, and prioritize its actions to meet the needs of San Francisco.

Policy 2.15

Utilize advancing technology to enhance communication capabilities in preparation for all phases of a disaster, particularly in the high-contact period immediately following a disaster.

Policy 3.7:

Develop a system to convey personalized information during and immediately after a disaster.

The Project would enhance the ability of the City to protect both life and property from the effects of a fire or natural disaster by providing communication services.

18. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the Project does comply with said policies in that:

- A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

The wireless communications network would enhance personal communication services for businesses and customers in the surrounding area.

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

No residential uses would be displaced or altered in any way by the granting of this Authorization. The Project site features residential units on the upper stories and penthouse.

- C. That the City's supply of affordable housing be preserved and enhanced.

The Project would have no adverse effect on housing in the vicinity.

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

Due to the nature of the Project and minimal maintenance or repair, municipal transit service would not be significantly impeded and neighborhood parking would not be overburdened.

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

The Project would not cause any displacement of industrial and service sector activity.

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

Compliance with applicable structural safety and seismic safety requirements would be considered during the building permit application review process.

- G. That landmarks and historic buildings be preserved.

The facility would be screened from view by virtue of equipment placement on the rooftop. Planning staff issued an Administrative Certificate of Appropriateness on May 24, 2016. The comment period expired on June 13, 2016, with no requests for review by the Historic Preservation Commission. While the proposed penthouse structures are minimally visible from surrounding public rights-of-way (e.g. sidewalks along surrounding streets), the size, height, and setback of the screening structures would not significantly detract from views of the Subject building.

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

The Project would have no adverse effect on parks or open space, or their access to sunlight or public vistas.

19. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
20. The Commission hereby finds that approval of the Conditional Use Authorization would promote the health, safety and welfare of the City.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby APPROVES Conditional Use Application No. 2015-011509CUA, subject to the following conditions attached hereto as "EXHIBIT A" in general conformance with plans on file, dated May 17, 2016, and stamped "EXHIBIT B", which is incorporated herein by reference as though fully set forth.

APPEAL AND EFFECTIVE DATE OF MOTION: Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion No. XXXX. The effective date of this Motion shall be the date of this Motion if not appealed (After the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

Protest of Fee or Exaction: You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development.

If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission's adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator's Variance Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives NOTICE that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not recommence the 90-day approval period.

I hereby certify that the foregoing Motion was adopted by the Planning Commission on **June 23, 2016**.

Jonas P. Ionin
Commission Secretary

AYES:

NAYS:

ABSENT:

ADOPTED:

EXHIBIT A

AUTHORIZATION

This authorization is for a conditional use to allow a Macro Wireless Telecommunications Facility with up to nine (9) screened panel antennas (operated by Verizon Wireless) located at 99 Grove Street, Block 0812, and Lot 001 pursuant to Planning Code Sections 303 and 211.2 within the P Zoning District and an 80-X Height and Bulk District; in general conformance with plans, dated May 17, 2016 and stamped "EXHIBIT B" included in the docket for Record No. 2015-011509CUA and subject to conditions of approval reviewed and approved by the Commission on June 23, 2016 under Motion No XXXXX. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

RECORDATION OF CONDITIONS OF APPROVAL

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the Project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on June 23, 2016 under Motion No. XXXX.

PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. XXXX shall be reproduced on the Index Sheet of construction plans submitted with the Site or Building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use Authorization and any subsequent amendments or modifications.

SEVERABILITY

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use Authorization.

Conditions of Approval, Compliance, Monitoring, and Reporting

PERFORMANCE

1. **Validity.** The authorization and right vested by virtue of this action is valid for three (3) years from the effective date of the Motion. The Department of Building Inspection shall have issued a Building Permit or Site Permit to construct the project and/or commence the approved use within this three-year period.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org
2. **Expiration and Renewal.** Should a Building or Site Permit be sought after the three (3) year period has lapsed, the project sponsor must seek a renewal of this Authorization by filing an application for an amendment to the original Authorization or a new application for Authorization. Should the project sponsor decline to so file, and decline to withdraw the permit application, the Commission shall conduct a public hearing in order to consider the revocation of the Authorization. Should the Commission not revoke the Authorization following the closure of the public hearing, the Commission shall determine the extension of time for the continued validity of the Authorization.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org
3. **Diligent pursuit.** Once a site or Building Permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. Failure to do so shall be grounds for the Commission to consider revoking the approval if more than three (3) years have passed since this Authorization was approved.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org
4. **Extension.** All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org
5. **Conformity with Current Law.** No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

DESIGN – COMPLIANCE AT PLAN STAGE

6. **Plan Drawings - WTS.** Prior to the issuance of any building or electrical permits for the installation of the facilities, the Project Sponsor shall submit final scaled drawings for review

and approval by the Planning Department ("Plan Drawings"). The Plan Drawings shall describe:

- a. Structure and Siting. Identify all facility related support and protection measures to be installed. This includes, but is not limited to, the location(s) and method(s) of placement, support, protection, screening, paint and/or other treatments of the antennas and other appurtenances to insure public safety, insure compatibility with urban design, architectural and historic preservation principles, and harmony with neighborhood character.
- b. For the Project Site, regardless of the ownership of the existing facilities. Identify the location of all existing antennas and facilities; and identify the location of all approved (but not installed) antennas and facilities.
- c. Emissions. Provide a report, subject to approval of the Zoning Administrator, that operation of the facilities in addition to ambient RF emission levels will not exceed adopted FCC standards with regard to human exposure in uncontrolled areas.

For information about compliance, contact the Case Planner, Planning Department at 415-575-9078, www.sf-planning.org.

7. **Screening - WTS.** To the extent necessary to ensure compliance with adopted FCC regulations regarding human exposure to RF emissions, and upon the recommendation of the Zoning Administrator, the Project Sponsor shall:

- a. Modify the placement of the facilities;
- b. Install fencing, barriers or other appropriate structures or devices to restrict access to the facilities;
- c. Install multi-lingual signage, including the RF radiation hazard warning symbol identified in ANSI C95.2 1982, to notify persons that the facility could cause exposure to RF emissions;
- d. Implement any other practice reasonably necessary to ensure that the facility is operated in compliance with adopted FCC RF emission standards.
- e. To the extent necessary to minimize visual obtrusion and clutter, installations shall conform to the following standards:
 - a. Antennas and back up equipment shall be painted, fenced, landscaped or otherwise treated architecturally so as to minimize visual effects;
 - b. Rooftop installations shall be setback such that back up facilities are not viewed from the street;
 - c. Although co location of various companies' facilities may be desirable, a maximum number of antennas and back up facilities on the Project Site shall be established, on a case by case basis, such that "antennae farms" or similar visual intrusions for the site and area is not created.

For information about compliance, contact the Case Planner, Planning Department at 415-575-9078, www.sf-planning.org.

MONITORING - AFTER ENTITLEMENT

8. **Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning

Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

9. **Revocation due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific Conditions of Approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

10. **Implementation Costs - WTS.**

The Project Sponsor, on an equitable basis with other WTS providers, shall pay the cost of preparing and adopting appropriate General Plan policies related to the placement of WTS facilities. Should future legislation be enacted to provide for cost recovery for planning, the Project Sponsor shall be bound by such legislation.

The Project Sponsor or its successors shall be responsible for the payment of all reasonable costs associated with implementation of the conditions of approval contained in this authorization, including costs incurred by this Department, the Department of Public Health, the Department of Technology, Office of the City Attorney, or any other appropriate City Department or agency. The Planning Department shall collect such costs on behalf of the City.

The Project Sponsor shall be responsible for the payment of all fees associated with the installation of the subject facility, which are assessed by the City pursuant to all applicable law.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

11. **Implementation and Monitoring - WTS.** In the event that the Project implementation report includes a finding that RF emissions for the site exceed FCC Standards in any uncontrolled location, the Zoning Administrator may require the Applicant to immediately cease and desist operation of the facility until such time that the violation is corrected to the satisfaction of the Zoning Administrator.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

12. **Project Implementation Report - WTS.** The Project Sponsor shall prepare and submit to the Zoning Administrator a Project Implementation Report. The Project Implementation Report shall:

- a. Identify the three dimensional perimeter closest to the facility at which adopted FCC standards for human exposure to RF emissions in uncontrolled areas are satisfied;
- b. Document testing that demonstrates that the facility will not cause any potential exposure to RF emissions that exceed adopted FCC emission standards for human exposure in uncontrolled areas.
- c. The Project Implementation Report shall compare test results for each test point with applicable FCC standards. Testing shall be conducted in compliance with FCC regulations governing the measurement of RF emissions and shall be conducted during normal business hours on a non-holiday weekday with the subject equipment measured while operating at maximum power.
- d. Testing, Monitoring, and Preparation. The Project Implementation Report shall be prepared by a certified professional engineer or other technical expert approved by the Department. At the sole option of the Department, the Department (or its agents) may monitor the performance of testing required for preparation of the Project Implementation Report. The cost of such monitoring shall be borne by the Project Sponsor pursuant to the condition related to the payment of the City's reasonable costs.
- e. Notification and Testing. The Project Implementation Report shall set forth the testing and measurements undertaken pursuant to Conditions 2 and 4.
- f. Approval. The Zoning Administrator shall request that the Certification of Final Completion for operation of the facility not be issued by the Department of Building Inspection until such time that the Project Implementation Report is approved by the Department for compliance with these conditions.

For information about compliance, contact the Environmental Health Section, Department of Public Health at (415) 252-3800, www.sfdph.org.

13. **Coverage and Capacity Verification.** Use is authorized as long as an independent evaluator, selected by the Planning Department, determines that the information and conclusions submitted by the wireless service provider in support of its request for conditional use are accurate. The wireless service provider shall fully cooperate with the evaluator and shall provide any and all data requested by the evaluator to allow the evaluator to verify that the maps, data, and conclusions about service coverage and capacity submitted are accurate. The wireless service provider shall bear all costs of said evaluation. The independent evaluator, upon request by the wireless service provider shall keep the submitted data confidential and shall sign a confidentiality agreement acceptable to the wireless service provider. The independent evaluator shall be a professional engineer licensed by the State of California.

For information about compliance, contact the Case Planner, Planning Department at 415-575-9079, www.sf-planning.org.

14. **Notification prior to Project Implementation Report - WTS.** The Project Sponsor shall undertake appropriate tests for residents of any dwelling units located within 25 feet of the transmitting antenna.
- a. At least twenty calendar days prior to conducting the testing required for preparation of the Project Implementation Report, the Project Sponsor shall mail notice to the Department, as well as to the resident of any legal dwelling unit within 25 feet of a transmitting antenna of the date on which testing will be conducted. The Applicant will submit a written affidavit attesting to this mail notice along with the mailing list.

- b. When requested in advance by a resident notified of testing pursuant to subsection (a), the Project Sponsor shall conduct testing of total power density of RF emissions within the residence of that resident on the date on which the testing is conducted for the Project Implementation Report.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

15. **Installation - WTS.** Within 10 days of the installation and operation of the facilities, the Project Sponsor shall confirm in writing to the Zoning Administrator that the facilities are being maintained and operated in compliance with applicable Building, Electrical and other Code requirements, as well as applicable FCC emissions standards.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

16. **Periodic Safety Monitoring - WTS.** The Project Sponsor shall submit to the Zoning Administrator 10 days after installation of the facilities, and every two years thereafter, a certification attested to by a licensed engineer expert in the field of EMR/RF emissions, that the facilities are and have been operated within the then current applicable FCC standards for RF/EMF emissions.

For information about compliance, contact the Environmental Health Section, Department of Public Health at (415) 252-3800, www.sfdph.org.

OPERATION

17. **Community Liaison.** Prior to issuance of a building permit application to construct the project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator written notice of the name, business address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator shall be made aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

18. **Out of Service – WTS.** The Project Sponsor or Property Owner shall remove antennas and equipment that has been out of service or otherwise abandoned for a continuous period of six (6) months.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

19. **Emissions Conditions – WTS.** It is a continuing condition of this authorization that the facilities be operated in such a manner so as not to contribute to ambient RF/EMF emissions in excess of then current FCC adopted RF/EMF emission standards; violation of this condition shall be grounds for revocation.

For information about compliance, contact the Environmental Health Section, Department of Public Health at (415) 252-3800, www.sfdph.org.

20. **Noise and Heat – WTS.** The WTS facility, including power source and cooling facility, shall be operated at all times within the limits of the San Francisco Noise Control Ordinance. The WTS facility, including power source and any heating/cooling facility, shall not be operated so as to cause the generation of heat that adversely affects a building occupant.

For information about compliance, contact the Environmental Health Section, Department of Public Health at (415) 252-3800, www.sfdph.org.

21. **Transfer of Operation – WTS.** Any carrier/provider authorized by the Zoning Administrator or by the Planning Commission to operate a specific WTS installation may assign the operation of the facility to another carrier licensed by the FCC for that radio frequency provided that such transfer is made known to the Zoning Administrator in advance of such operation, and all conditions of approval for the subject installation are carried out by the new carrier/provider.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

22. **Compatibility with City Emergency Services – WTS.** The facility shall not be operated or caused to transmit on or adjacent to any radio frequencies licensed to the City for emergency telecommunication services such that the City's emergency telecommunications system experiences interference, unless prior approval for such has been granted in writing by the City.

For information about compliance, contact the Department of Technology, 415-581-4000, <http://sfgov3.org/index.aspx?page=1421>



SAN FRANCISCO PLANNING DEPARTMENT

Subject to: (Select only if applicable)

- Affordable Housing (Sec. 415)
- Jobs Housing Linkage Program (Sec. 413)
- Downtown Park Fee (Sec. 412)
- First Source Hiring (Admin. Code)
- Child Care Requirement (Sec. 414)
- Other

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CA 94103-2479

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415.558.6409

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Information:
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Planning Commission Draft Motion HEARING DATE: JUNE 23, 2016

Date.: June 13, 2016
Case No.: **2016-001881CUA**
Project Address: **99 Grove Street**
Current Zoning: **P (Public)**
 80-X Height and Bulk District
Block/Lot: 0812/001
Project Sponsor: **AT&T Mobility**, represented by Eric Lentz
 430 Bush Street, 5th Floor
 San Francisco, CA 94108
Staff Contact: Seema Adina – (415) 575-8722
 Seema.Adina@sfgov.org

ADOPTING FINDINGS RELATING TO THE APPROVAL OF A CONDITIONAL USE AUTHORIZATION UNDER PLANNING CODE SECTIONS 303 AND 211.2 TO DEVELOP AN AT&T MOBILITY MACRO WIRELESS TELECOMMUNICATIONS SERVICES FACILITY CONSISTING OF UP TO FOURTEEN (14) SCREENED ROOFTOP MOUNTED PANEL ANTENNAS, TWO (2) GPS ANTENNAS, AND AN ASSOCIATED ROOFTOP EQUIPMENT AREA AS PART OF THE AT&T MOBILITY TELECOMMUNICATIONS NETWORK WITHIN THE P (PUBLIC) ZONING DISTRICT, AND AN 80-X HEIGHT AND BULK DISTRICT.

PREAMBLE

On February 10, 2015, AT&T Mobility (hereinafter "Project Sponsor"), submitted an application (hereinafter "Application"), for a Conditional Use Authorization on the property at 99 Grove Street, Block 0812, Lot 001, (hereinafter "Project Site") to develop an AT&T Mobility macro Wireless Telecommunications Services facility (hereinafter "WTS") consisting of up to fourteen (14) screened rooftop-mounted panel antennas, and two GPS antennas, and a rooftop equipment area as part of the AT&T Mobility telecommunications network, within a Public, (P) Zoning District, and a 80-X Height and Bulk District.

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 3 Categorical Exemption (Section 15303 of the California Environmental Quality Act). The Planning Commission has reviewed and concurs with said determination. The categorical exemption and all pertinent documents may be found in the files of the Planning Department

(hereinafter "Department"), as the custodian of records, at 1650 Mission Street, Suite 400, San Francisco.

On June 23, 2016 the San Francisco Planning Commission (hereinafter "Commission") conducted a duly noticed public hearing at a regularly scheduled meeting on the Application for a Conditional Use Authorization.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the Applicant, Department Staff, and other interested parties.

MOVED, that the Commission hereby authorizes the Conditional Use in Application No. 2015-001881CUA, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.
2. **Site Description and Present Use.** The Project Site is located on Assessor's Block 0812, Lot 001. The lot encompasses the entire block and fronts along Grove, Larkin, Hayes, and Polk Streets. The fibre-reinforced plastic (FRP) installations are located on the four corners of the building.

The Project Site features a public multi-purpose event venue (Bill Graham Civic Auditorium) with a capacity of 6,000 people.

3. **Surrounding Properties and Neighborhood.** The Project Site is situated within the Downtown/Civic Center neighborhood, near the northern edge of the South of Market neighborhood. The Project Site is across Grove Street from Civic Center Plaza and San Francisco City Hall, and is adjacent to various mixed-use developments in surrounding buildings.
4. **Project Description.** The proposal is to allow the development of an AT&T Mobility macro Wireless Telecommunications Services ("WTS") facility. The macro WTS facility would feature fourteen (14) panel antennas within four rooftop-mounted faux penthouses and two (2) GPS antennas on four corners of the building along Polk Street, Grove Street, Larkin Street, and Hayes Street. The Department worked with the carrier to create a cohesive design that would minimize the visibility of the wireless installation and improve the rooftop aesthetics of the co-location at this Site.

The screen walls would be composed of fibre-reinforced plastic ("FRP") which allows radio signals to pass through, but can be textured and painted to mimic the existing

elements of the subject building. The penthouses would be located in four locations on the roof, sufficiently setback from corresponding streets to minimize visibility.

5. **Past History and Actions.** The Planning Commission adopted the *Wireless Telecommunications Services (WTS) Facilities Siting Guidelines* ("Guidelines") for the installation of wireless telecommunications facilities in 1996. These Guidelines set forth the land use policies and practices that guide the installation and approval of wireless facilities throughout San Francisco. A large portion of the Guidelines was dedicated to establishing location preferences for these installations. The Board of Supervisors, in Resolution No. 635-96, provided input as to where wireless facilities should be located within San Francisco. The Guidelines were updated by the Commission in 2003 and again in 2012, requiring community outreach, notification, and detailed information about the facilities to be installed.

Section 8.1 of the Guidelines outlines Location Preferences for wireless facilities. There are five primary areas where the installation of wireless facilities should be located:

1. Publicly-used Structures: such facilities as fire stations, utility structures, community facilities, and other public structures;
2. Co-Location Site: encourages installation of facilities on buildings that already have wireless installations;
3. Industrial or Commercial Structures: buildings such as warehouses, factories, garages, service stations;
4. Industrial or Commercial Structures: buildings such as supermarkets, retail stores, banks; and
5. Mixed-Use Buildings in High Density Districts: buildings such as housing above commercial or other non-residential space.

Section 8.1 of the WTS Siting Guidelines further stipulates that the Planning Commission will not approve WTS applications for Preference 5 or below Location Sites unless the application describes (a) what publicly-used building, co-location site or other Preferred Location Sites are located within the geographic service area; (b) what good faith efforts and measures were taken to secure these more Preferred Locations, (c) explains why such efforts were unsuccessful; and (d) demonstrates that the location for the site is essential to meet demands in the geographic service area and the Applicant's citywide networks.

Before the Planning Commission can review an application to install a wireless facility, the Project Sponsor must submit a five-year facilities plan, which must be updated biannually, an emissions report and approval by the Department of Public Health, Section 106 Declaration of Intent, an independent evaluation verifying coverage and capacity, a submittal checklist and details about the facilities to be installed.

Under Section 704(B)(iv) of the 1996 Federal Telecommunications Act, local jurisdictions cannot deny wireless facilities based on Radio Frequency (RF) radiation emissions so long as such facilities comply with the FCC's regulations concerning such emissions.

6. **Location Preference.** The *WTS Facilities Siting Guidelines* identify different types of zoning districts and building uses for the siting of wireless telecommunications facilities. Based on the zoning and land use, the proposed WTS facility is at a Location Preference 1 Site (Public buildings, structures, utilities, or other neighborhood institutions) according to the *WTS Facilities Siting Guidelines*, making it the most desired location.
7. **Radio Waves Range.** The Project Sponsor has stated that the proposed wireless network is designed to address coverage and capacity needs in the area. The network will operate in the 700 Megahertz (MHZ) bands, which are regulated by the Federal Communications Commission (FCC) and must comply with the FCC-adopted health and safety standards for electromagnetic radiation and radio frequency radiation.
8. **Radiofrequency (RF) Emissions:** The Project Sponsor retained Hammett & Edison, a radio engineering consulting firm, to prepare a report describing the expected RF emissions from the proposed facility. Pursuant to the Guidelines, the Department of Public Health reviewed the report and determined that the proposed facility complies with the standards set forth in the Guidelines.
9. **Department of Public Health Review and Approval.** The Project was referred to the Department of Public Health (DPH) for emissions exposure analysis. Radio-Frequency (RF) levels from the proposed AT&T Mobility transmitters at ground level would be around 6% of the FCC public exposure limit.

There are currently no antennas operated by AT&T Mobility installed on the rooftop of the building at 99 Grove Street. Existing RF levels at ground level were around 5% of the FCC public exposure limit. AT&T proposes to install fourteen (14) new antennas and two (2) GPS antennas at this site. Verizon Wireless proposes to install nine (9) new antennas and two (2) GPS antennas at this site. The estimated combined ambient RF field from the proposed AT&T Mobility and Verizon Wireless wireless transmitters at ground level is calculated to be 41% of the FCC public exposure limit. The three dimensional perimeter of RF levels of the combined installations equal to the public exposure limit extends 110 feet and includes portions of the rooftop areas. Due to their height and location, the antennas are not accessible to any unauthorized people. Workers should not have access to within 47 feet of the front of the antennas while they are in operation. Areas of the rooftop exceeding the FCC Occupational limits should be marked with red striping and areas exceeding the FCC public limits with yellow striping on the rooftop.

10. **Coverage and Capacity Verification.** The maps, data, and conclusion provided by AT&T Mobility to demonstrate the need for outdoor and indoor coverage and capacity have been determined by Hammett & Edison, and engineering consultant and independent third party to accurately represent the carrier's present and post-installation conclusions.

11. **Maintenance Schedule.** The facility would operate without on-site staff but with a maintenance crew visiting the property to service and monitor the facility.
12. **Community Outreach.** As required under the *Guidelines*, the Project Sponsor held a community meeting at 100 Larkin Street, to discuss the Project at 5:30 p.m. on February 10, 2016. One (1) community members attended the meeting to voice their support of the proposed facility.
13. **Five-year plan:** Per the *Guidelines*, the Project Sponsor submitted an updated five-year plan, as required, in April 2016.
14. **Public Comment.** As of June 13, 2016, the Department has not received any calls or testimony raising concerns about the proposed project.
15. **Planning Code Compliance.** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:
 - A. **Use.** Per Planning Code Section 211.2., a Conditional Use Authorization is required for a macro WTS facility (Public Use).
16. **Planning Code Section 303** establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use approval. On balance, the Project complies with said criteria in that:
 - A. The proposed new uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.
 - i. *Desirable: San Francisco is a leader of the technological economy; it is important and desirable to the vitality of the City to have and maintain adequate telecommunications coverage and data capacity. This includes the installation and upgrading of systems to keep up with changing technology and increases in usage. It is desirable for the City to allow wireless facilities to be installed.*

The Project at 99 Grove Street is generally desirable and compatible with the surrounding neighborhood because the Project will not conflict with the existing uses of the property and will be designed to be compatible with the surrounding neighborhood. The overall location, setback from public streets, height and design of the proposed facility, including visible screening elements is situated so as to avoid intrusion into public vistas, and to insure harmony with the existing neighborhood character and promote public safety.
 - ii. *Necessary: In the case of wireless installations, there are two criteria that the Commission reviews: coverage and capacity.*

Coverage: San Francisco does have sufficient overall wireless coverage (note that this is separate from carrier capacity). San Francisco's unique coverage issues are due to topography and building heights. The hills and buildings disrupt lines-of-site between WTS base stations. Thus, telecommunication carriers continue to install additional installations to make sure coverage is sufficient.

Capacity: While a carrier may have adequate coverage in a certain area, the capacity may not be sufficient. With the continuous innovations in wireless data technology and demand placed on existing infrastructure, individual telecommunications carriers must upgrade and in some instances expand their facilities network to provide proper data and voice capacity. It is necessary for San Francisco, as a leader in technology, to have adequate capacity.

The Project at 99 Grove Street is necessary in order to achieve sufficient street and in-building mobile phone coverage and data capacity. Recent drive tests in the subject area conducted by the AT&T Mobility Radio Frequency Engineering Team provide that the Project Site is a preferable location, based on factors including quality of coverage and aesthetics.

- B. The proposed project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the project that could be detrimental to the health, safety or convenience of those residing or working the area, in that:
- i. Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

The Project must comply with all applicable Federal and State regulations to safeguard the health, safety and to ensure that persons residing or working in the vicinity will not be affected, and prevent harm to other personal property.

The Department of Public Health conducted an evaluation of potential health effects from Radio Frequency radiation, and has concluded that the proposed wireless transmission facilities will have no adverse health effects if operated in compliance with the FCC-adopted health and safety standards.

- ii. The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

No increase in traffic volume is anticipated with the facilities operating unmanned, with a maintenance crew visiting the Site once a month or on an as-needed basis.
- iii. The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

While some noise and dust may result from the installation of the antennas and transceiver equipment, noise or noxious emissions from continued use are not likely to be significantly greater than ambient conditions due to the operation of the wireless communication network.

- iv. Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

The facility will not affect landscaping, open space, required parking, lighting or signage at the Project Site or surrounding area.

- C. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

The Project complies with all relevant requirements and standards of the Planning Code and is consistent with Objectives and Policies of the General Plan, as detailed below.

- 17. **General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

HOUSING ELEMENT
Objectives and Policies

BALANCE HOUSING CONSTRUCTION AND COMMUNITY INFRASTRUCTURE

OBJECTIVE 12:

BALANCE HOUSING GROWTH WITH ADEQUATE INFRASTRUCTURE THAT SERVES THE CITY'S GROWING POPULATION.

Policy 12.3:

Ensure new housing is sustainably supported by the City's public infrastructure systems.

The Project will improve AT&T Mobility's coverage and capacity within the Downtown/Civic Center neighborhood.

COMMERCE AND INDUSTRY ELEMENT
Objectives and Policies

OBJECTIVE 1:

MANAGE ECONOMIC GROWTH AND CHANGE TO ENSURE ENHANCEMENT OF THE TOTAL CITY LIVING AND WORKING ENVIRONMENT.

Policy 1.1:

Encourage development, which provides substantial net benefits and minimizes

undesirable consequences. Discourage development, which has substantial undesirable consequences that cannot be mitigated.

Policy 1.2:

Assure that all commercial and industrial uses meet minimum, reasonable performance standards.

The Project would enhance the total city living and working environment by providing communication services for residents and workers within the City. Additionally, the Project would comply with Federal, State and Local performance standards.

OBJECTIVE 2:

MAINTAIN AND ENHANCE A SOUND AND DIVERSE ECONOMIC BASE AND FISCAL STRUCTURE FOR THE CITY.

Policy 2.1:

Seek to retain existing commercial and industrial activity and to attract new such activity to the city.

Policy 2.3:

Maintain a favorable social and cultural climate in the city in order to enhance its attractiveness as a firm location.

The Site would be an integral part of a new wireless communications network that would enhance the City's diverse economic base.

OBJECTIVE 4:

IMPROVE THE VIABILITY OF EXISTING INDUSTRY IN THE CITY AND THE ATTRACTIVENESS OF THE CITY AS A LOCATION FOR NEW INDUSTRY.

Policy 4.1:

Maintain and enhance a favorable business climate in the City.

Policy 4.2:

Promote and attract those economic activities with potential benefit to the City.

The Project would benefit the City by enhancing the business climate through improved communication services for residents and workers.

VISITOR TRADE

OBJECTIVE 8:

ENHANCE SAN FRANCISCO'S POSITION AS A NATIONAL CENTER FOR CONVENTIONS AND VISITOR TRADE.

Policy 8.3:

Assure that areas of particular visitor attraction are provided with adequate public services for both residents and visitors.

The Project would ensure that residents and visitors have adequate public service in the form of AT&T Mobility telecommunications.

COMMUNITY SAFETY ELEMENT
Objectives and Policies

OBJECTIVE 3:

ESTABLISH STRATEGIES TO ADDRESS THE IMMEDIATE EFFECTS OF A DISASTER.

Policy 1.20

Increase communication capabilities in preparation for all phases of a disaster and ensure communication abilities extend to hard-to-reach areas and special populations.

Policy 2.4

Bolster the Department of Emergency Management's role as the City's provider of emergency planning and communication, and prioritize its actions to meet the needs of San Francisco.

Policy 2.15

Utilize advancing technology to enhance communication capabilities in preparation for all phases of a disaster, particularly in the high-contact period immediately following a disaster.

Policy 3.7:

Develop a system to convey personalized information during and immediately after a disaster.

The Project would enhance the ability of the City to protect both life and property from the effects of a fire or natural disaster by providing communication services.

18. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the Project does comply with said policies in that:

- A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

The wireless communications network would enhance personal communication services for businesses and customers in the surrounding area.

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

No residential uses would be displaced or altered in any way by the granting of this Authorization. The Project site features residential units on the upper stories and penthouse.

- C. That the City's supply of affordable housing be preserved and enhanced.

The Project would have no adverse effect on housing in the vicinity.

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

Due to the nature of the Project and minimal maintenance or repair, municipal transit service would not be significantly impeded and neighborhood parking would not be overburdened.

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

The Project would not cause any displacement of industrial and service sector activity.

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

Compliance with applicable structural safety and seismic safety requirements would be considered during the building permit application review process.

- G. That landmarks and historic buildings be preserved.

The facility would be screened from view by virtue of equipment placement on the rooftop. Planning staff issued an Administrative Certificate of Appropriateness on May 24, 2016. The comment period expired on June 13, 2016, with no requests for review by the Historic Preservation Commission. While the proposed penthouse structures are minimally visible from surrounding public rights-of-way (e.g. sidewalks along surrounding streets), the size, height, and setback of the screening structures would not significantly detract from views of the Subject building.

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

The Project would have no adverse effect on parks or open space, or their access to sunlight or public vistas.

19. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
20. The Commission hereby finds that approval of the Conditional Use Authorization would promote the health, safety and welfare of the City.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby APPROVES Conditional Use Application No. 2015-001881CUA, subject to the following conditions attached hereto as "EXHIBIT A" in general conformance with plans on file, dated May 13, 2016, and stamped "EXHIBIT B", which is incorporated herein by reference as though fully set forth.

APPEAL AND EFFECTIVE DATE OF MOTION: Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion No. XXXX. The effective date of this Motion shall be the date of this Motion if not appealed (After the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

Protest of Fee or Exaction: You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development.

If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission's adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator's Variance Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives NOTICE that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not recommence the 90-day approval period.

I hereby certify that the foregoing Motion was adopted by the Planning Commission on **June 23, 2016**.

Jonas P. Ionin
Commission Secretary

AYES:

NAYS:

ABSENT:

ADOPTED:

EXHIBIT A

AUTHORIZATION

This authorization is for a conditional use to allow a Macro Wireless Telecommunications Facility with up to fourteen (14) screened panel antennas (operated by AT&T Mobility) located at 99 Grove Street, Block 0812, and Lot 001 pursuant to Planning Code Sections 303 and 211.2 within the P Zoning District and an 80-X Height and Bulk District; in general conformance with plans, dated May 13, 2016 and stamped "EXHIBIT B" included in the docket for Record No. 2015-001881CUA and subject to conditions of approval reviewed and approved by the Commission on June 23, 2016 under Motion No XXXXX. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

RECORDATION OF CONDITIONS OF APPROVAL

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the Project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on **June 23, 2016** under Motion No. XXXX.

PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. XXXX shall be reproduced on the Index Sheet of construction plans submitted with the Site or Building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use Authorization and any subsequent amendments or modifications.

SEVERABILITY

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use Authorization.

Conditions of Approval, Compliance, Monitoring, and Reporting

PERFORMANCE

1. **Validity.** The authorization and right vested by virtue of this action is valid for three (3) years from the effective date of the Motion. The Department of Building Inspection shall have issued a Building Permit or Site Permit to construct the project and/or commence the approved use within this three-year period.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org
2. **Expiration and Renewal.** Should a Building or Site Permit be sought after the three (3) year period has lapsed, the project sponsor must seek a renewal of this Authorization by filing an application for an amendment to the original Authorization or a new application for Authorization. Should the project sponsor decline to so file, and decline to withdraw the permit application, the Commission shall conduct a public hearing in order to consider the revocation of the Authorization. Should the Commission not revoke the Authorization following the closure of the public hearing, the Commission shall determine the extension of time for the continued validity of the Authorization.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org
3. **Diligent pursuit.** Once a site or Building Permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. Failure to do so shall be grounds for the Commission to consider revoking the approval if more than three (3) years have passed since this Authorization was approved.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org
4. **Extension.** All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org
5. **Conformity with Current Law.** No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

DESIGN – COMPLIANCE AT PLAN STAGE

6. **Plan Drawings - WTS.** Prior to the issuance of any building or electrical permits for the installation of the facilities, the Project Sponsor shall submit final scaled drawings for review

and approval by the Planning Department ("Plan Drawings"). The Plan Drawings shall describe:

- a. Structure and Siting. Identify all facility related support and protection measures to be installed. This includes, but is not limited to, the location(s) and method(s) of placement, support, protection, screening, paint and/or other treatments of the antennas and other appurtenances to insure public safety, insure compatibility with urban design, architectural and historic preservation principles, and harmony with neighborhood character.
- b. For the Project Site, regardless of the ownership of the existing facilities. Identify the location of all existing antennas and facilities; and identify the location of all approved (but not installed) antennas and facilities.
- c. Emissions. Provide a report, subject to approval of the Zoning Administrator, that operation of the facilities in addition to ambient RF emission levels will not exceed adopted FCC standards with regard to human exposure in uncontrolled areas.

For information about compliance, contact the Case Planner, Planning Department at 415-575-9078, www.sf-planning.org.

7. **Screening - WTS.** To the extent necessary to ensure compliance with adopted FCC regulations regarding human exposure to RF emissions, and upon the recommendation of the Zoning Administrator, the Project Sponsor shall:

- a. Modify the placement of the facilities;
- b. Install fencing, barriers or other appropriate structures or devices to restrict access to the facilities;
- c. Install multi-lingual signage, including the RF radiation hazard warning symbol identified in ANSI C95.2 1982, to notify persons that the facility could cause exposure to RF emissions;
- d. Implement any other practice reasonably necessary to ensure that the facility is operated in compliance with adopted FCC RF emission standards.
- e. To the extent necessary to minimize visual obtrusion and clutter, installations shall conform to the following standards:
 - a. Antennas and back up equipment shall be painted, fenced, landscaped or otherwise treated architecturally so as to minimize visual effects;
 - b. Rooftop installations shall be setback such that back up facilities are not viewed from the street;
 - c. Although co location of various companies' facilities may be desirable, a maximum number of antennas and back up facilities on the Project Site shall be established, on a case by case basis, such that "antennae farms" or similar visual intrusions for the site and area is not created.

For information about compliance, contact the Case Planner, Planning Department at 415-575-9078, www.sf-planning.org.

MONITORING - AFTER ENTITLEMENT

8. **Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning

Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

9. **Revocation due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific Conditions of Approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

10. **Implementation Costs - WTS.**

The Project Sponsor, on an equitable basis with other WTS providers, shall pay the cost of preparing and adopting appropriate General Plan policies related to the placement of WTS facilities. Should future legislation be enacted to provide for cost recovery for planning, the Project Sponsor shall be bound by such legislation.

The Project Sponsor or its successors shall be responsible for the payment of all reasonable costs associated with implementation of the conditions of approval contained in this authorization, including costs incurred by this Department, the Department of Public Health, the Department of Technology, Office of the City Attorney, or any other appropriate City Department or agency. The Planning Department shall collect such costs on behalf of the City.

The Project Sponsor shall be responsible for the payment of all fees associated with the installation of the subject facility, which are assessed by the City pursuant to all applicable law.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

11. **Implementation and Monitoring - WTS.** In the event that the Project implementation report includes a finding that RF emissions for the site exceed FCC Standards in any uncontrolled location, the Zoning Administrator may require the Applicant to immediately cease and desist operation of the facility until such time that the violation is corrected to the satisfaction of the Zoning Administrator.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

12. **Project Implementation Report - WTS.** The Project Sponsor shall prepare and submit to the Zoning Administrator a Project Implementation Report. The Project Implementation Report shall:

- a. Identify the three dimensional perimeter closest to the facility at which adopted FCC standards for human exposure to RF emissions in uncontrolled areas are satisfied;
- b. Document testing that demonstrates that the facility will not cause any potential exposure to RF emissions that exceed adopted FCC emission standards for human exposure in uncontrolled areas.
- c. The Project Implementation Report shall compare test results for each test point with applicable FCC standards. Testing shall be conducted in compliance with FCC regulations governing the measurement of RF emissions and shall be conducted during normal business hours on a non-holiday weekday with the subject equipment measured while operating at maximum power.
- d. Testing, Monitoring, and Preparation. The Project Implementation Report shall be prepared by a certified professional engineer or other technical expert approved by the Department. At the sole option of the Department, the Department (or its agents) may monitor the performance of testing required for preparation of the Project Implementation Report. The cost of such monitoring shall be borne by the Project Sponsor pursuant to the condition related to the payment of the City's reasonable costs.
- e. Notification and Testing. The Project Implementation Report shall set forth the testing and measurements undertaken pursuant to Conditions 2 and 4.
- f. Approval. The Zoning Administrator shall request that the Certification of Final Completion for operation of the facility not be issued by the Department of Building Inspection until such time that the Project Implementation Report is approved by the Department for compliance with these conditions.

For information about compliance, contact the Environmental Health Section, Department of Public Health at (415) 252-3800, www.sfdph.org.

13. **Coverage and Capacity Verification.** Use is authorized as long as an independent evaluator, selected by the Planning Department, determines that the information and conclusions submitted by the wireless service provider in support of its request for conditional use are accurate. The wireless service provider shall fully cooperate with the evaluator and shall provide any and all data requested by the evaluator to allow the evaluator to verify that the maps, data, and conclusions about service coverage and capacity submitted are accurate. The wireless service provider shall bear all costs of said evaluation. The independent evaluator, upon request by the wireless service provider shall keep the submitted data confidential and shall sign a confidentiality agreement acceptable to the wireless service provider. The independent evaluator shall be a professional engineer licensed by the State of California.

For information about compliance, contact the Case Planner, Planning Department at 415-575-9079, www.sf-planning.org.

14. **Notification prior to Project Implementation Report - WTS.** The Project Sponsor shall undertake appropriate tests for residents of any dwelling units located within 25 feet of the transmitting antenna.
- a. At least twenty calendar days prior to conducting the testing required for preparation of the Project Implementation Report, the Project Sponsor shall mail notice to the Department, as well as to the resident of any legal dwelling unit within 25 feet of a transmitting antenna of the date on which testing will be conducted. The Applicant will submit a written affidavit attesting to this mail notice along with the mailing list.

- b. When requested in advance by a resident notified of testing pursuant to subsection (a), the Project Sponsor shall conduct testing of total power density of RF emissions within the residence of that resident on the date on which the testing is conducted for the Project Implementation Report.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

15. **Installation - WTS.** Within 10 days of the installation and operation of the facilities, the Project Sponsor shall confirm in writing to the Zoning Administrator that the facilities are being maintained and operated in compliance with applicable Building, Electrical and other Code requirements, as well as applicable FCC emissions standards.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

16. **Periodic Safety Monitoring - WTS.** The Project Sponsor shall submit to the Zoning Administrator 10 days after installation of the facilities, and every two years thereafter, a certification attested to by a licensed engineer expert in the field of EMR/RF emissions, that the facilities are and have been operated within the then current applicable FCC standards for RF/EMF emissions.

For information about compliance, contact the Environmental Health Section, Department of Public Health at (415) 252-3800, www.sfdph.org.

OPERATION

17. **Community Liaison.** Prior to issuance of a building permit application to construct the project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator written notice of the name, business address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator shall be made aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

18. **Out of Service – WTS.** The Project Sponsor or Property Owner shall remove antennas and equipment that has been out of service or otherwise abandoned for a continuous period of six (6) months.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

19. **Emissions Conditions – WTS.** It is a continuing condition of this authorization that the facilities be operated in such a manner so as not to contribute to ambient RF/EMF emissions in excess of then current FCC adopted RF/EMF emission standards; violation of this condition shall be grounds for revocation.

For information about compliance, contact the Environmental Health Section, Department of Public Health at (415) 252-3800, www.sfdph.org.

20. **Noise and Heat – WTS.** The WTS facility, including power source and cooling facility, shall be operated at all times within the limits of the San Francisco Noise Control Ordinance. The WTS facility, including power source and any heating/cooling facility, shall not be operated so as to cause the generation of heat that adversely affects a building occupant.

For information about compliance, contact the Environmental Health Section, Department of Public Health at (415) 252-3800, www.sfdph.org.

21. **Transfer of Operation – WTS.** Any carrier/provider authorized by the Zoning Administrator or by the Planning Commission to operate a specific WTS installation may assign the operation of the facility to another carrier licensed by the FCC for that radio frequency provided that such transfer is made known to the Zoning Administrator in advance of such operation, and all conditions of approval for the subject installation are carried out by the new carrier/provider.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

22. **Compatibility with City Emergency Services – WTS.** The facility shall not be operated or caused to transmit on or adjacent to any radio frequencies licensed to the City for emergency telecommunication services such that the City's emergency telecommunications system experiences interference, unless prior approval for such has been granted in writing by the City.

For information about compliance, contact the Department of Technology, 415-581-4000, <http://sfgov3.org/index.aspx?page=1421>

Zoning Map



SUBJECT PROPERTY



SAN FRANCISCO
PLANNING DEPARTMENT

Case Numbers

2015-011509CUA and 2015-001881CUA
Verizon Wireless and AT&T Mobility
Macro WTS Facilities
99 Grove Street

Block Book Map



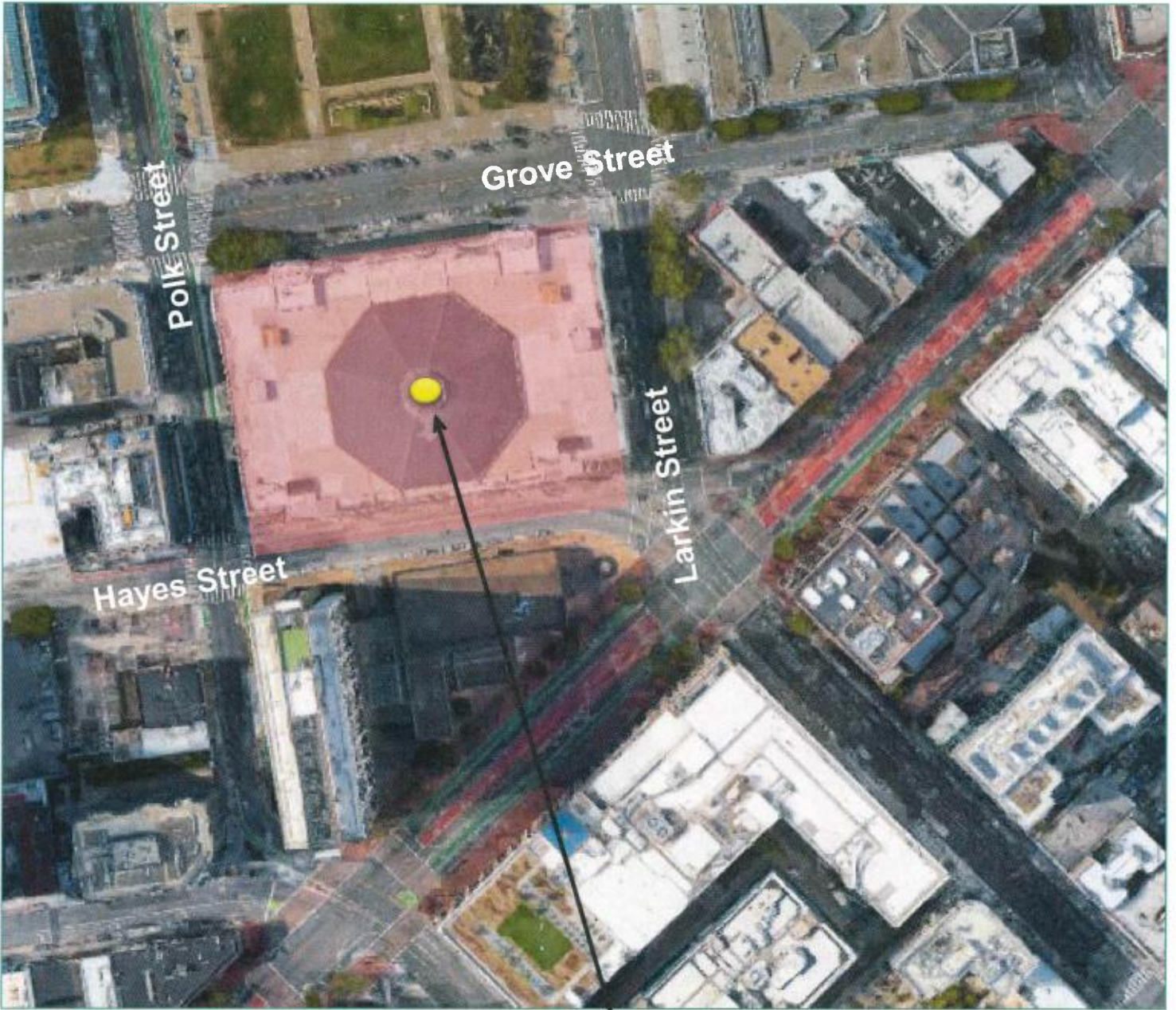
SUBJECT PROPERTY



SAN FRANCISCO
PLANNING DEPARTMENT

Case Numbers
2015-011509CUA and 2015-001881CUA
Verizon Wireless and AT&T Mobility
Macro WTS Facilities
99 Grove Street

Aerial Photo



SUBJECT PROPERTY



**SAN FRANCISCO
PLANNING DEPARTMENT**

Case Numbers
2015-011509CUA and 2015-001881CUA
Verizon Wireless and AT&T Mobility
Macro WTS Facilities
99 Grove Street

Contextual Photographs



View of Site looking West on Grove Street



View of site looking North West on Market Street

Contextual Photographs



View of site looking East from Grove Street



View of site looking North East from Polk Street

Case Numbers

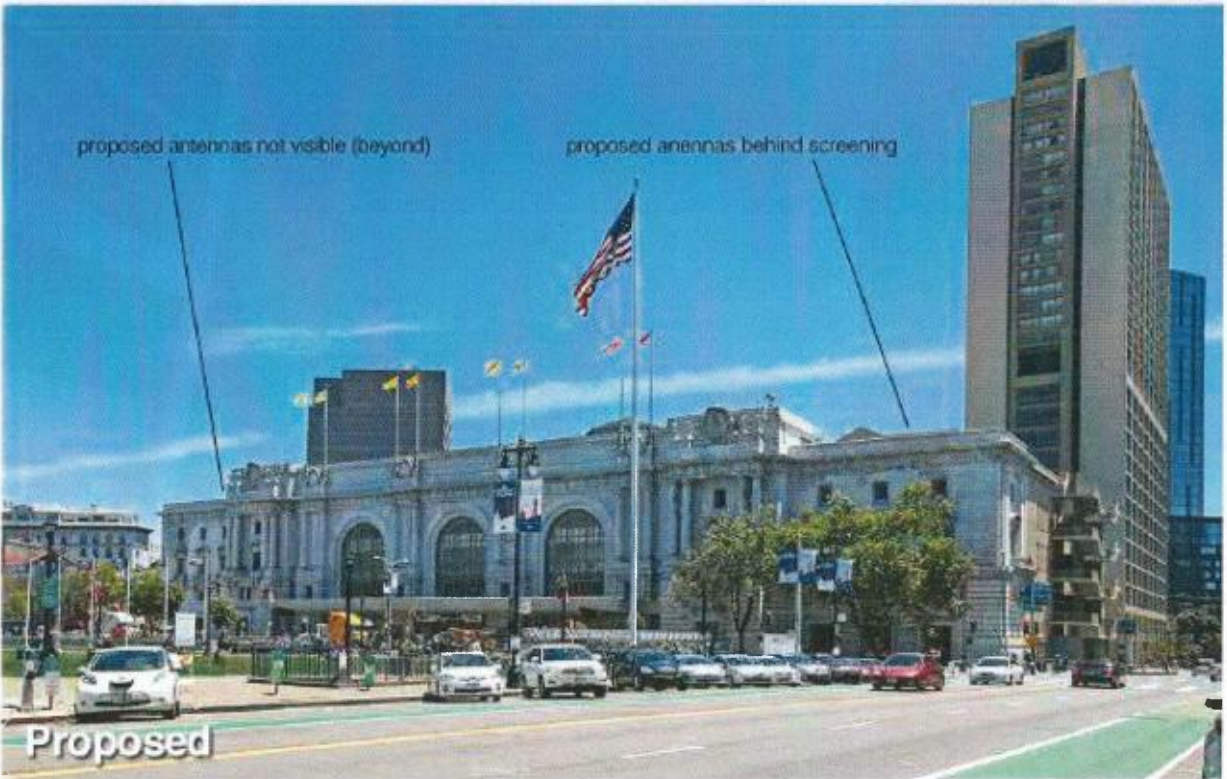
2015-011509CUA and 2015-001881CUA

Verizon Wireless and AT&T Mobility

Macro WTS Facilities

99 Grove Street

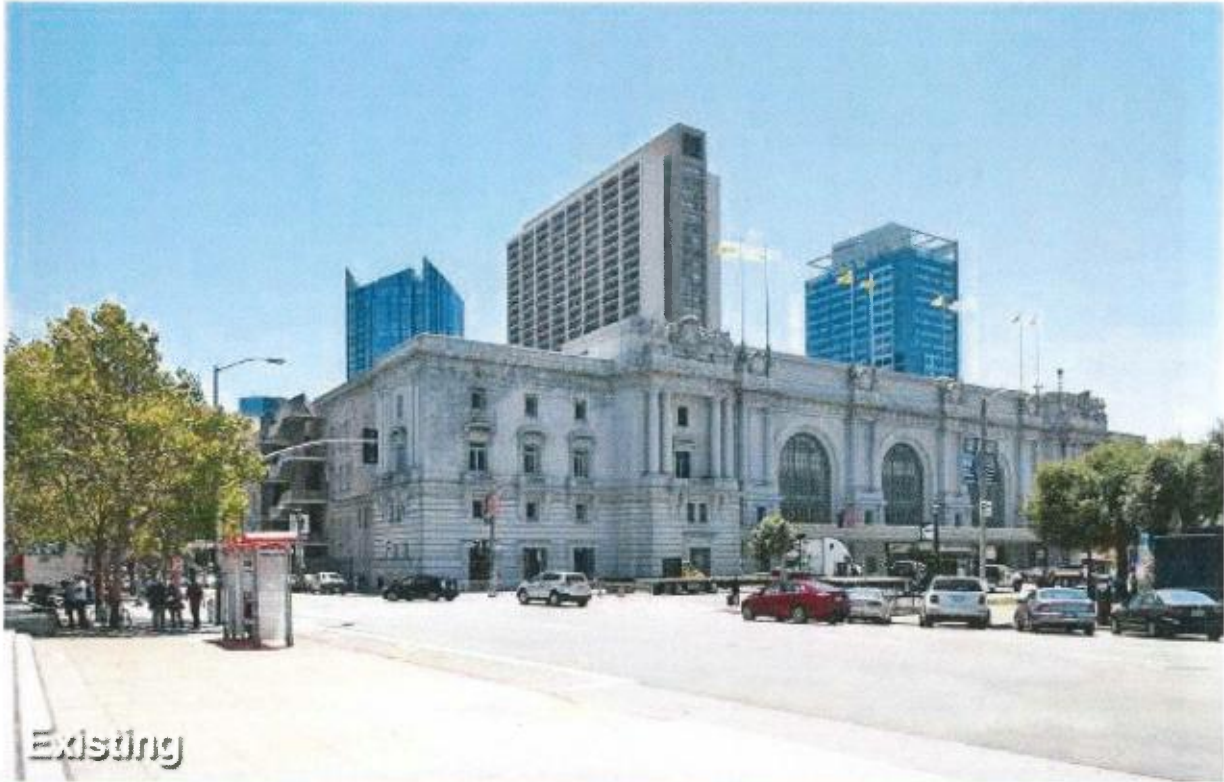
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Case Numbers

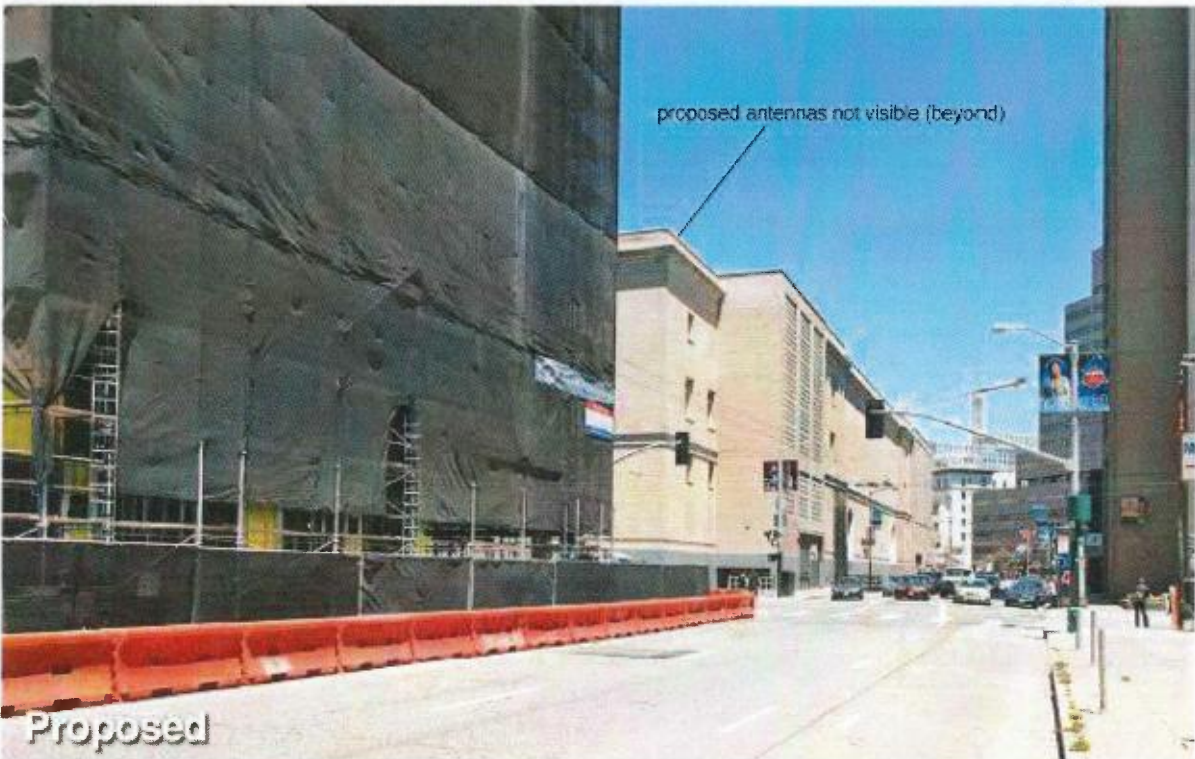
2015-011509CUA and 2015-001881CUA
Verizon Wireless and AT&T Mobility
Macro WTS Facilities
99 Grove Street

Photosimulations



Case Numbers
2015-011509CUA and 2015-001881CUA
Verizon Wireless and AT&T Mobility
Macro WTS Facilities
99 Grove Street

Photosimulations



Case Numbers
2015-011509CUA and 2015-001881CUA
Verizon Wireless and AT&T Mobility
Macro WTS Facilities
99 Grove Street

November 19, 2015

Mr. Omar Masry
San Francisco Planning Department
1650 Mission Street, 4th Floor
San Francisco, CA 94103

Dear Omar,

On November 18, 2015, a Community Meeting was held for Verizon's proposed site at 99 Grove Street. The meeting was held at the San Francisco Public Library, Koret Auditorium, 100 Larkin Street, San Francisco from 6:00 PM – 7:00 PM. Notices of the meeting were mailed in English, Spanish, and Chinese to 2,321 owners and occupants within a 500-foot radius of the project site and to 15 neighborhood groups.

Representatives from Verizon were present. Also in attendance were a representative from the third party engineering firm, Hammett & Edison and a representative from AT&T. No one else attended the meeting. A copy of the meeting notice and the sign-in sheet are included.

Sincerely,

A handwritten signature in black ink, appearing to read "Kelly Pepper". The signature is fluid and cursive, with a long horizontal stroke extending to the right.

Kelly Pepper

NOTICE OF NEIGHBORHOOD MEETING
To: Neighborhood Groups, Neighbors & Owners within 500' radius of
99 Grove Street

Meeting Information

Date: Wednesday November 18, 2015
Time: 6:00 PM – 7:00 PM
Where: **The San Francisco Public Library**
100 Larkin St., (at Grove).
Koret Auditorium, located on the
Library's lower level
Enter 30 Grove Street, proceed down stairs

Note: Refreshments are not allowed in the Auditorium

Project Site Information

Address: 99 Grove Street
Block/Lot: 0812 / 001
Zoning: P (Public)

Applicant

Verizon Wireless

Contact Information

Kelly Pepper
(415) 307-5082

Verizon Wireless is proposing to install a wireless communication facility at 99 Grove Street, needed by Verizon Wireless as part of its San Francisco wireless network. The proposed Verizon Wireless site is an unmanned facility consisting of the installation of twelve (12) panel antennas, roof-mounted on the building. The associated equipment will be located inside the existing building. Plans and photo simulations will be available for your review at the meeting. You are invited to attend an informational community meeting located at the San Francisco Public Library, 100 Larkin St., (at Grove), Koret Auditorium, located on the Library's lower level (enter 30 Grove Street, proceed down stairs), on Wednesday November 18, 2015 at 6:00 p.m. to learn more about the project.

If you have any questions regarding the proposal and are unable to attend the meeting, please contact Kelly Pepper at (415) 307-5082. Please contact Omar Masry, project planner with the San Francisco Planning Department at (415) 575-9116 if you have any questions regarding the Planning process.

NOTE: If you require an interpreter to be present at the meeting, please contact us at (415) 307-5082 no later than 5:00 pm on Thursday, November 12, 2015 and we will make every effort to provide you with an interpreter.

NOTE: This is not a Library-Sponsored Program.

NOTIFICACIÓN DE ASAMBLEA VECINAL

Para: Grupos vecinales, vecinos y propietarios dentro de un radio de 500' de
99 Grove Street

Información de la asamblea

Fecha: **Miércoles, 18 de noviembre de 2015**
Hora: **6:00 PM – 7:00 PM**
Lugar: **Biblioteca Pública de San Francisco**
100 Larkin St., (en Grove).
Koret Auditorium, ubicado en la
planta baja de la Biblioteca

Ingresar por 30 Grove Street, bajar por las
escaleras

Nota: No se permite ingresar con bebidas al Auditorio

Información del lugar

Dirección: **99 Grove Street**
Cuadra/Lote: **0812 / 001**
Zonificación: **P (Pública)**

Solicitante

Verizon Wireless

Información de contacto

Kelly Pepper
(415) 307-5082

Verizon Wireless propone montar una instalación de comunicación inalámbrica en 99 Grove Street, como parte de su red inalámbrica en San Francisco. La ubicación propuesta por Verizon Wireless es una instalación sin personal que consiste en la instalación de doce (12) antenas panel, montadas en el techo del edificio. El equipo se ubicará dentro del edificio existente. Habrá planos y fotos disponibles para que usted los revise en la reunión. Se lo invita a asistir a una reunión informativa de la comunidad que se realizará en la Biblioteca Pública de San Francisco, 100 Larkin St., (en Grove), Koret Auditorium, ubicada en la planta baja de la Biblioteca (ingresar por 30 Grove Street, bajar por las escaleras), el miércoles 18 de noviembre de 2015 a las 6:00 p.m. para tener más información sobre el proyecto.

Si tiene alguna duda en relación a la propuesta y no puede asistir a la reunión, por favor contáctese con Kelly Pepper al (415) 307-5082. Por favor contacte a Omar Masry, planificador del proyecto del Departamento de Planificación de San Francisco al (415) 575-9116 si tiene alguna pregunta relacionada con el proceso de planificación.

NOTA: Si necesita que un intérprete esté presente en la reunión, por favor contáctenos al (415) 307-5082 antes de las 5:00 p. m. del jueves 12 de noviembre de 2015 y haremos todo lo posible para proporcionarle un intérprete.

NOTA: Este no es un programa patrocinado por la Biblioteca.

鄰里會議通知

收件人: 99 Grove Street 街道半徑 500 英尺範圍內的社區團體、鄰里和業主

會議資訊

日期: 2015年11月18日星期三
時間: 晚上 6:00-晚上 7:00
地點: 三藩市公共圖書館
100 Larkin St., (在 Grove 街道)
Koret 禮堂, 位於圖書館低層
到 Grove 大街 30 號後下樓

備註: 不得在禮堂內吃點心

場地信息

地址: 99 Grove Street
街區/地段: 0812 / 001
分區: 公共

申請人

威訊無線

聯繫方式

Kelly Pepper
(415) 307-5082

威訊無線擬定在99 Grove Street 安裝威訊無線在三藩市的無線網路所需的一個無線通訊設施。威訊無線的擬定網站是一個無人管理設施, 包括擬安裝在建築物屋頂上的十二(12)根平板天線。設備將安裝在現有建築內。開會時會提供圖紙和模擬照片供你們查看。邀請大家參加社區資訊會議, 以便瞭解有關專案的更多資訊。會議地點在100 Larkin St. (Grove 街道) 的三藩市公共圖書館的 Koret 禮堂, 禮堂在圖書館低層(到達30 Grove Street 後下樓), 時間是2015年11月18日晚上6:00。

如果您對提議有任何問題又無法參加會議, 請致電(415)307-5082 聯繫 Kelly Pepper。如果您對規劃過程有任何問題, 請致電(415)575-9116 聯繫三藩市規劃部門的專案規劃人 Omar Masry。

備註: 如果您在會上需要口譯人員, 請在2015年11月12日星期四下午5:00之前致電(415) 307-5082 聯繫我們, 我們會盡一切努力為您提供口譯人員。

備註: 該項目不是圖書館贊助的項目。



AT&T Mobility
430 Bush St. 5th Floor
San Francisco, CA 94108

February 11, 2016

Seema Adina, Planner
San Francisco Department of Planning
1650 Mission Street, Suite 400
San Francisco, CA 94103

Re: Community Meeting for proposed AT&T Mobility facility at 99 Grove (Bill Graham)

Dear Seema,

On February 10, 2016, a meeting was hosted by me, Cammy Blackstone with AT&T External Affairs, and Luis Cuadra with BergDavis Public Affairs for CCU2159—99 Grove (Bill Graham Civic Auditorium) in the San Francisco Public Library. One member of the public attended the meeting and was in strong support of the proposed WTS facility.

After a brief discussion of the WTS proposal with the community member, we waited an additional half an hour. When no other members of the community arrived, the meeting was concluded at 6:00pm.

Copies of the signed community meeting affidavit, sign in sheet, and meeting notice are attached.

Sincerely,

Eric Lentz, Land Use Consultant
Permit Me, Inc.
For AT&T Mobility
Cell: 805-895-4394
Email: ericlentz@permitme.net



AT&T Mobility
430 Bush St. 5th Floor
San Francisco, CA 94108

Affidavit of Conducting a Community Outreach Meeting, Sign-in Sheet and Issues/Responses submittal

I, Eric Lentz, do hereby declare as follows:
(print name)

1. I have conducted a **Community Outreach Meeting** for the proposed new construction or alteration prior to submitting a building permit in accordance with Planning Commission Pre-Application Policy.

2. The meeting was conducted at San Francisco Public Library, 100 Larking Street
(Meeting Location)

on February 10, 2016 from 5:30pm – 6:00pm
(Date) (Time)

3. I have included the **mailing list, meeting initiation, sign-in sheet, issue/response summary, and reduced plans** with the Conditional Use Application. I understand that I am responsible for the accuracy of this information and that erroneous information may lead to suspension or revocation of the permit.

4. I have prepared these materials in good faith and to the best of my ability.

I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct.

EXECUTED ON THIS DAY, February 11, 2016 IN SAN FRANCISCO

Signature

Eric W. Lentz
Name (type or print)

Agent for AT&T Mobility
Relationship to Project, e.g. Owner, Agent
(if Agent, give business name and profession)

99 Grove Street
Project Address

NOTICE OF COMMUNITY OUTREACH MEETING ON A PROPOSED WIRELESS COMMUNICATION FACILITY IN YOUR NEIGHBORHOOD

To: Neighborhood Groups and Neighbors & Owners within 500' radius of 99 Grove Street

Meeting Information

Date: Wednesday, February 10, 2016
Time: 5:30 p.m.
Where: San Francisco Public Library
Sycip Family Room, 4th Floor
100 Larkin Street
San Francisco, CA 94102

Site Information

Address: 99 Grove Street
Block/Lot: 0812/001
Zoning: P

Applicant

AT&T Mobility

Contact Information

AT&T Mobility Hotline
(415) 646-0972

AT&T Mobility is proposing a wireless communication facility at 99 Grove Street needed by AT&T Mobility as part of its San Francisco wireless network. AT&T Mobility proposes to locate antennas and associated equipment on the roof top of Bill Graham Civic Auditorium, fully screened within faux penthouses. Plans and photo simulations will be available for your review at the meeting. You are invited to attend an informational community meeting located in the Sycip Family Room on the 4th floor of the San Francisco Public Library at 100 Larkin Street on Wednesday, February 10, 2016, at 5:30 p.m. to learn more about the project.

If you have any questions regarding the proposal and are unable to attend the meeting, please contact the AT&T Mobility Hotline at (415) 646-0972 and an AT&T Mobility specialist will return your call. Please contact Seema Adina, staff planner with the City of San Francisco Planning Department at (415) 558-6378 if you have any questions regarding the planning process.

NOTE: If you require an interpreter to be present at the meeting, please contact our office at (415) 646-0972 no later than 5:00pm on Friday, February 5, 2016 and we will make every effort to provide you with an interpreter.

NOTIFICACIÓN DE REUNIÓN DE ALCANCE COMUNITARIO SOBRE UNA INSTALACIÓN DE COMUNICACIONES INALÁMBRICAS PROPUESTA EN SU VECINDARIO

Para: Grupos del vecindario, vecinos y propietarios dentro de un radio de 500' en 99 Grove Street

Información de la reunión

Fecha: Miércoles, 10 de febrero de 2016
Hora: 5:30 p.m.
Dónde: San Francisco Public Library
(Biblioteca pública de San Francisco)
Sycip Family Room, 4th Floor
100 Larkin Street
San Francisco, CA 94102

Información del lugar

Dirección: 99 Grove Street
Cuadra/Lote: 0812/001
Zonificación: P

Solicitante

AT&T Mobility

Información de contacto

Línea directa de AT&T Mobility
(415) 646-0972

AT&T Mobility propone instalar una instalación de comunicaciones inalámbricas en 99 Grove Street necesaria para AT&T Mobility como parte de su red inalámbrica en San Francisco. AT&T Mobility propone ubicar las antenas y el equipo asociado en el techo del Bill Graham Civic Auditorium (Auditorio municipal Bill Graham), ocultos de la vista en infraestructuras en el ático. Habrá planos y fotos disponibles para que usted los revise en la reunión. Se lo invita a asistir a una reunión informativa de la comunidad que se realizará en Sycip Family Room en el 4to piso de la Biblioteca Pública de San Francisco en 100 Larkin Street el miércoles, 10 de febrero de 2016 a las 5:30 p.m. para tener más información sobre el proyecto.

Si tiene preguntas relacionadas con la propuesta y no puede asistir a la reunión, por favor llame a la Línea Directa de AT&T Mobility, (415) 646-0972, y un especialista de AT&T Mobility le devolverá la llamada. Por favor, contacte a Seema Adina, planificadora del Departamento de Planificación de la Ciudad de San Francisco al (415) 558-6378 si tiene alguna pregunta relacionada con el proceso de planificación.

NOTA: Si necesita que un intérprete esté presente en la reunión, por favor, contacte a nuestra oficina al (415) 646-0972 el viernes 5 de febrero de 2016 antes de las 5:00 p.m., y haremos todos lo posible para proporcionarle un intérprete.

提議在您的社區搭建無線通訊設施的社區外展會議通知

致：99 Grove Street 方圓 500 英尺內的社區團體和居民及房主

會議資訊

日期：2016 年 2 月 10 日，星期三
時間：下午 5:30
地點：舊金山公共圖書館
Sycip Family Room, 4th Floor
100 Larkin Street
San Francisco, CA 94102

選址資訊

地址：99 Grove Street
街區/地段：0812/001
分區：P

申請方

AT&T Mobility

聯絡資訊

AT&T Mobility Hotline
(415) 646-0972

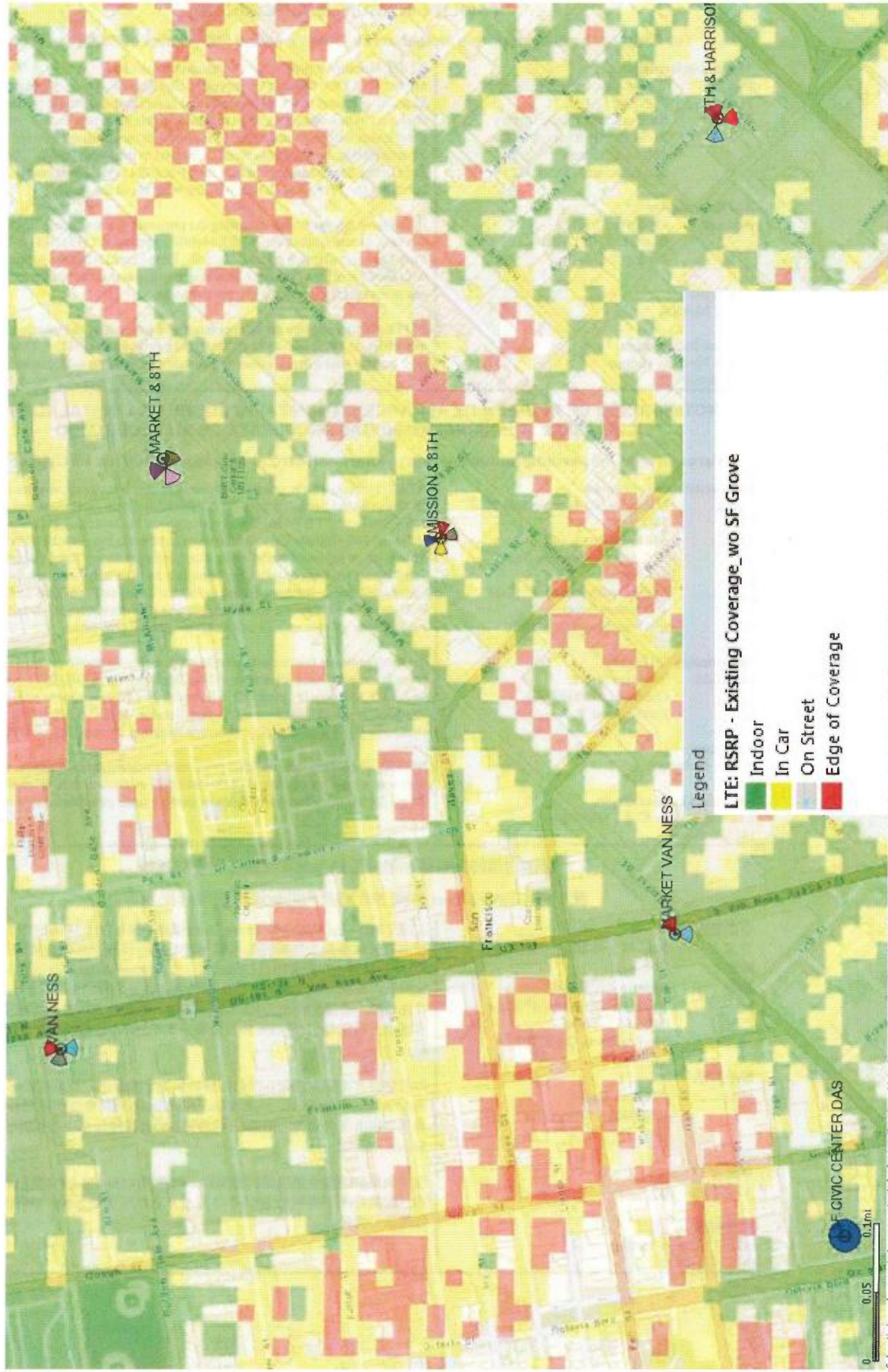
AT&T Mobility 提議在 99 Grove Street 搭建一個 AT&T Mobility 所需的無線通訊設施納入其舊金山無線網路。AT&T Mobility 提議將天線及相關設備放置在比爾·格林厄姆市政禮堂(Bill Graham Civic Auditorium)屋頂，並用人造遮棚將其完全掩蔽。規劃和效果圖將在會上呈現供您審查。我們邀請您參加一個介紹性的社區會議，會議地點位於 100 Larkin Street 舊金山公共圖書館四樓的 Sycip 家庭會議室，時間是 2016 年 2 月 10 日星期三下午 5:30，會議將向您介紹更多項目資訊。

如果您對此提議有任何疑問但無法如期參加會議，請撥打熱線(415) 646-0972 與 AT&T Mobility 聯絡，一名 AT&T Mobility 專員將會回撥電話給您。如果您對規劃進程有任何疑問，請撥打(415) 558-6378 聯絡舊金山市規劃署幕僚計劃者 Seema Adina。

注：如果您需要會議現場口譯服務，請撥打(415) 646-0972 與我們的辦公室聯絡，聯絡時間不得遲於 2016 年 2 月 5 日星期五下午 5:00，我們將竭盡全力為您提供口譯員。

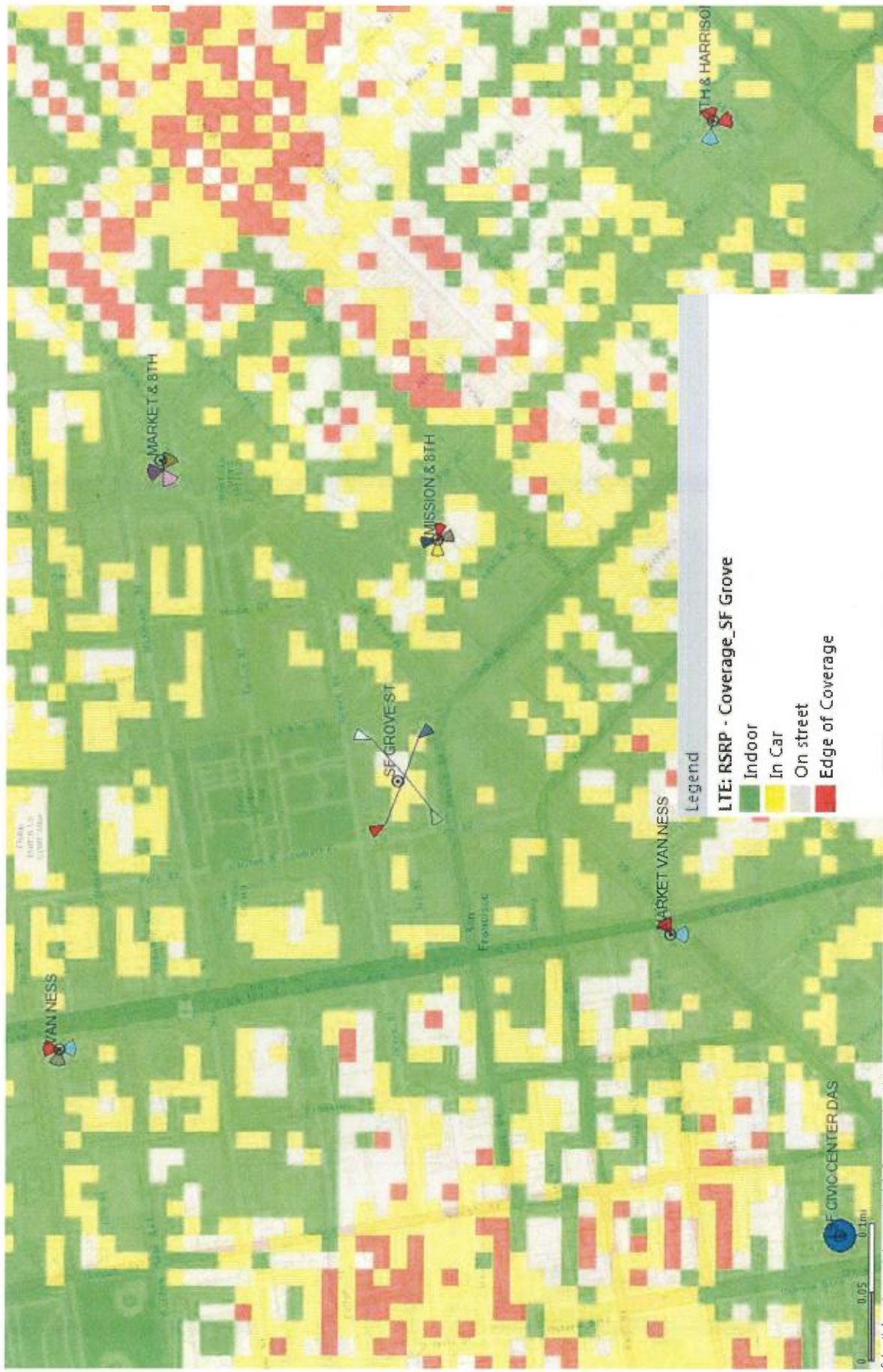


EXISTING COVERAGE PLOT





EXISTING + PROPOSE COVERAGE PLOT



Service Improvement Objective (CC2159)

99 Grove Street

The green shaded area shows the general area for wireless service improvements addressed by this application.

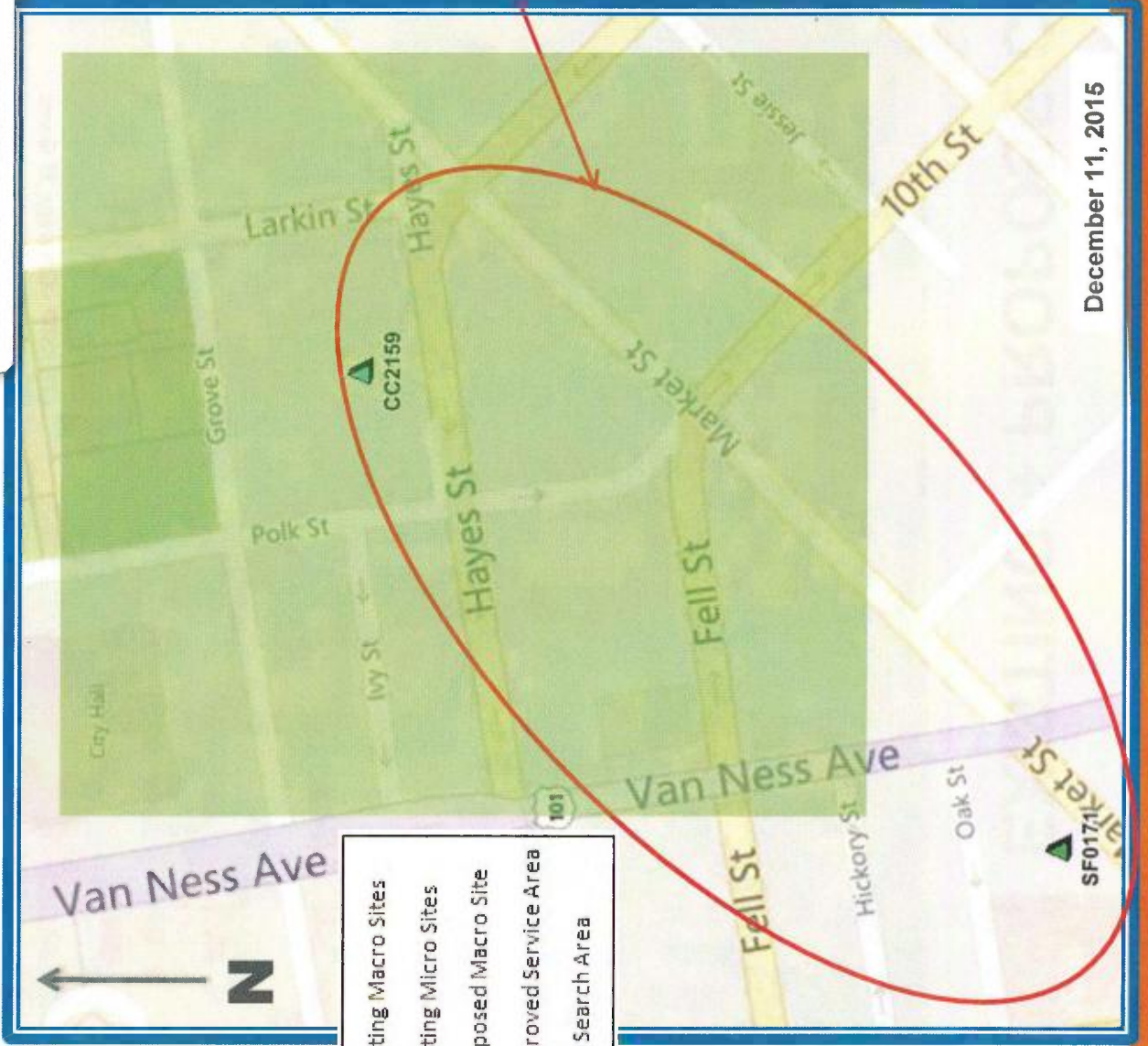
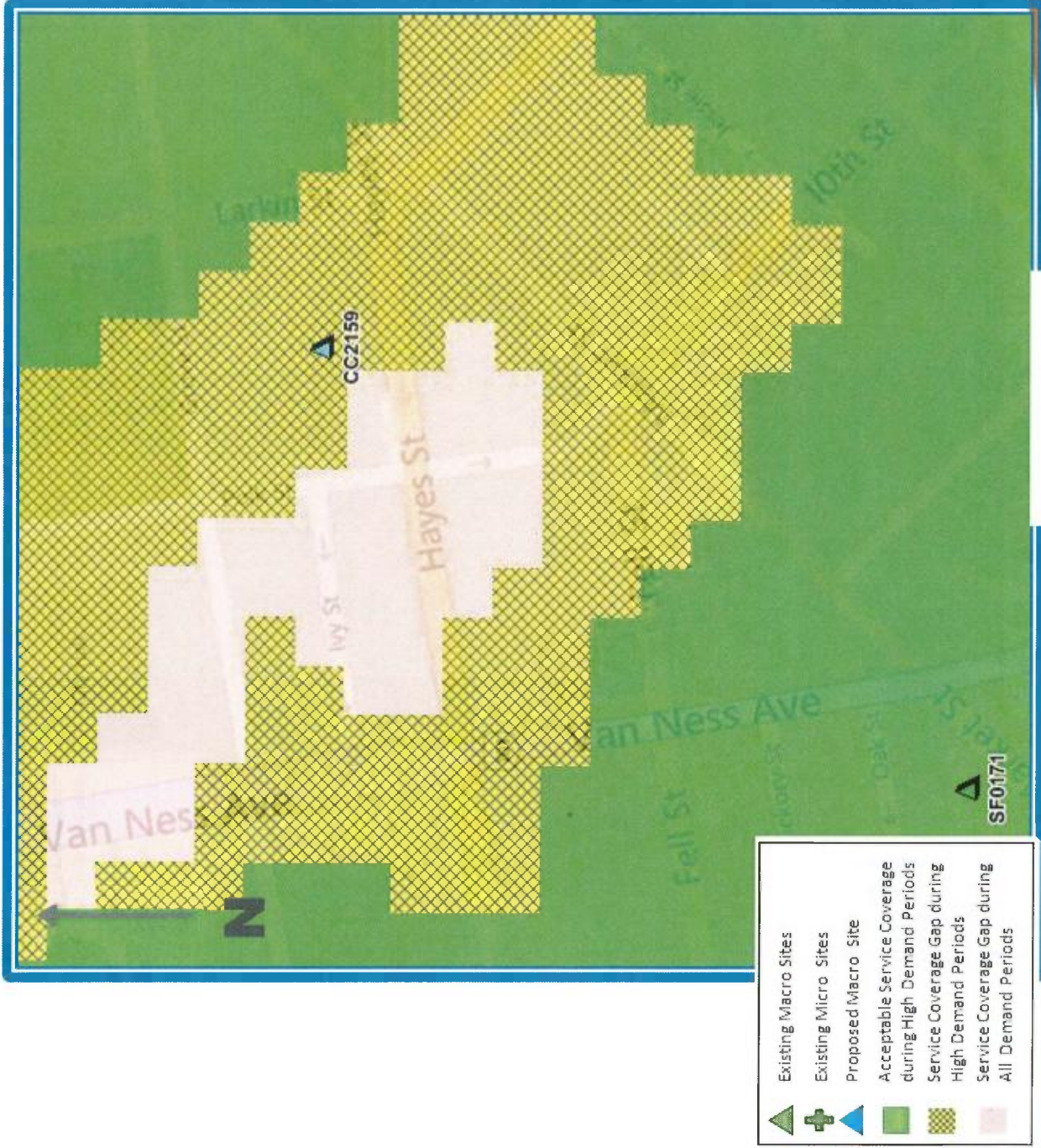


Exhibit 2 - Proposed Site at 99 Grove St (CC2159) Service Area BEFORE site is constructed

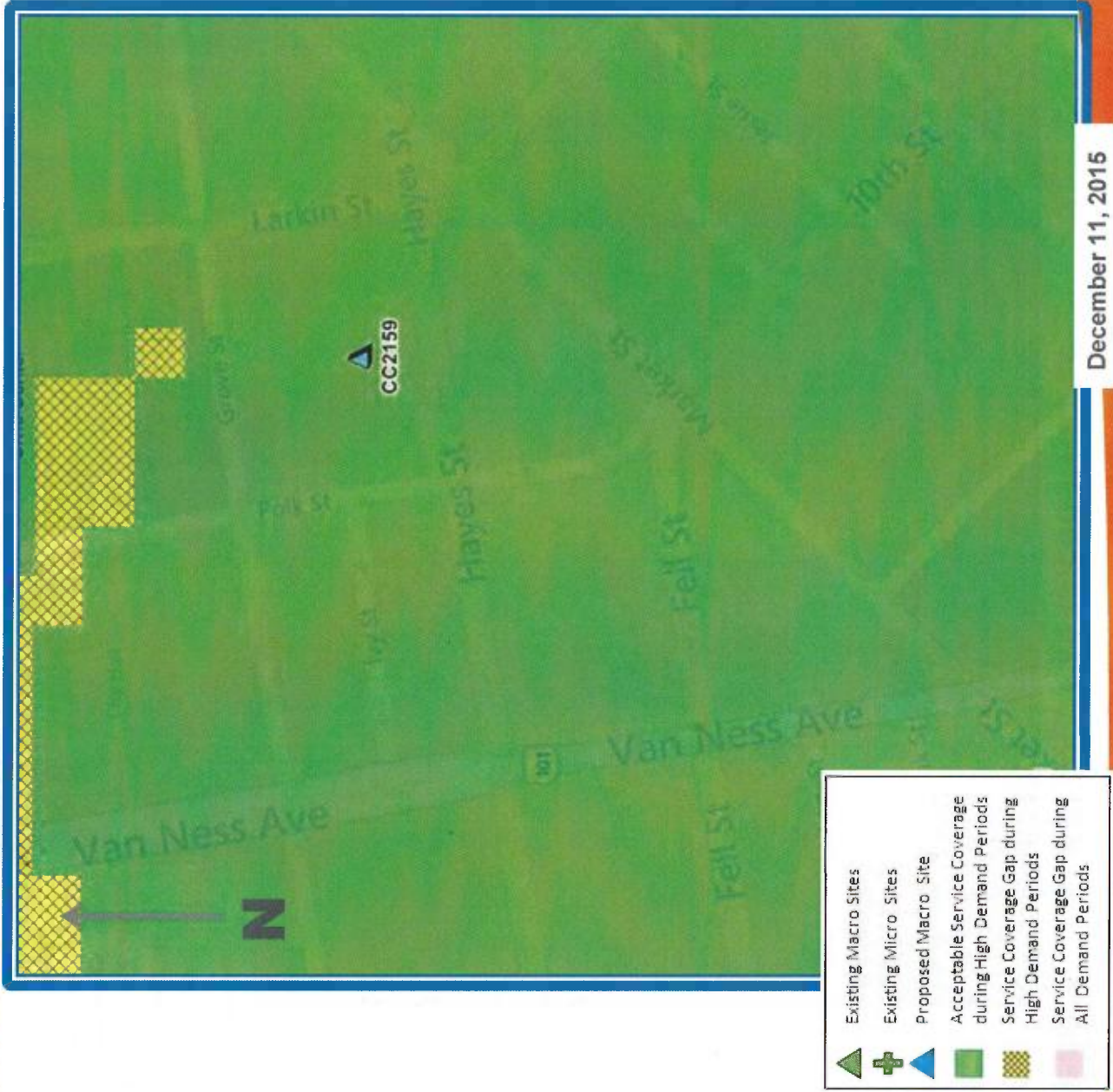


December 11, 2015



Exhibit 4 - Proposed Site at 99 Grove St (CC2159)

Service Area AFTER site is constructed



**Verizon Wireless • Proposed Base Station (Site No. 320462 “SF Grove Street”)
99 Grove Street • San Francisco, California**

Statement of Hammett & Edison, Inc., Consulting Engineers

The firm of Hammett & Edison, Inc., Consulting Engineers, has been retained on behalf of Verizon Wireless, a personal wireless telecommunications carrier, to evaluate the base station (Site No. 320462 “SF Grove Street”) proposed to be located at 99 Grove Street in San Francisco, California, for compliance with appropriate guidelines limiting human exposure to radio frequency (“RF”) electromagnetic fields.

Background

The San Francisco Department of Public Health has adopted an 11-point checklist for determining compliance of proposed WTS facilities or proposed modifications to such facilities with prevailing safety standards. The acceptable limits set by the FCC for exposures of unlimited duration are:

Wireless Service	Frequency Band	Occupational Limit	Public Limit
Microwave (Point-to-Point)	5–80 GHz	5.00 mW/cm ²	1.00 mW/cm ²
WiFi (and unlicensed uses)	2–6	5.00	1.00
BRS (Broadband Radio)	2,600 MHz	5.00	1.00
WCS (Wireless Communication)	2,300	5.00	1.00
AWS (Advanced Wireless)	2,100	5.00	1.00
PCS (Personal Communication)	1,950	5.00	1.00
Cellular	870	2.90	0.58
SMR (Specialized Mobile Radio)	855	2.85	0.57
700 MHz	700	2.40	0.48
[most restrictive frequency range]	30–300	1.00	0.20

Checklist

Reference has been made to information provided by Verizon, including zoning drawings by Streamline Engineering and Design, Inc., dated March 28, 2016. It should be noted that the calculation results in this Statement include several “worst-case” assumptions and therefore are expected to overstate actual power density levels from the proposed operations.

1. The location, identity, and total number of all operational radiating antennas installed at this site.

There are reported no operational radiating antennas installed on this site, although AT&T Mobility has proposed to install fourteen antennas at the site.

2. List all radiating antennas located within 100 feet of the site that could contribute to the cumulative radio frequency energy at this location.

There are reported no other WTS facilities within 100 feet of the site.

Verizon Wireless • Proposed Base Station (Site No. 320462 “SF Grove Street”)
99 Grove Street • San Francisco, California

3. Provide a narrative description of the proposed work for this project.

Verizon proposes to install nine antennas. This is consistent with the scope of work described in the drawings for transmitting elements.

4. Provide an inventory of the make and model of antennas or transmitting equipment being installed or removed.

No antennas or equipment are presently installed at the site. Verizon proposes to install seven Andrew directional panel antennas – three Model SBNHH-1D45A and four Model SBNHH-1D45B – at an effective height of about 81 feet above ground, 4 feet above the roof, employing up to 14° downtilt, and oriented toward 135°T and 240°T, respectively, as well as two Matsing Model MS-6.3DB90-A multi-directional panel antennas, mounted at an effective height of about 77 feet above ground, 7 feet above the roof, employing up to 8° downtilt, and oriented toward the west, northwest, north, and northeast.

5. Describe the existing radio frequency energy environment at the nearest walking/working surface to the antennas and at ground level. This description may be based on field measurements or calculations.

Because there are no antennas installed at this time, the maximum existing RF level for a person on the roof near the proposed antenna locations is presumed to be well below the public exposure limit. The maximum existing RF level for a person at ground near the site was measured* to be 0.010 mW/cm², which is 5.0% of the most restrictive public limit.

6. Provide the maximum effective radiated power per sector for the proposed installation. The power should be reported in watts and reported both as a total and broken down by frequency band.

The maximum effective radiated power proposed by Verizon is 34,530 watts, representing simultaneous operation at 19,800 watts for AWS, 9,830 watts for PCS, and 4,900 watts for 700 MHz service; no operation on cellular frequencies is presently proposed from this site. The maximum effective radiated power by AT&T is assumed to be 24,960 watts, representing simultaneous operation at 10,880 watts for WCS, 11,210 watts for PCS, 1,000 watts for cellular, and 1,870 watts for 700 MHz service.

7. Describe the maximum cumulative predicted radio frequency energy level for any nearby publicly accessible building or area.

The maximum calculated cumulative level at any nearby building is 39% of the public limit; this occurs at the taller building to the west across Polk Street, located at least 100 feet away.

* July 29, 2015, using calibrated Narda Broadband Field Meter with Type EF-0391 Isotropic Electric Field (Serial No. D-0454).

**Verizon Wireless • Proposed Base Station (Site No. 320462 “SF Grove Street”)
99 Grove Street • San Francisco, California**

8. Report the estimated cumulative radio frequency fields for the proposed site at ground level.

For a person anywhere at ground, the maximum RF exposure level due to the proposed Verizon operation by itself is calculated to be 0.035 mW/cm², which is 4.1% of the applicable public exposure limit. Cumulative RF levels at ground level near the site are therefore estimated to be 9.1% of the limit.

9. Provide the maximum distance (in feet) the three dimensional perimeter of the radio frequency energy level equal to the public and occupational exposure limit is calculated to extend from the face of the antennas.

The three-dimensional perimeters of RF levels equal to the public and occupational exposure limits are calculated to extend up to 118 and 52 feet out from the Verizon antenna faces, respectively, and to much lesser distances above, below, and to the sides; this includes areas of the main and penthouse roofs of the building but does not reach any other publicly accessible areas.

10. Provide a description of whether or not the public has access to the antennas. Describe any existing or proposed warning signs, barricades, barriers, rooftop striping or other safety precautions for people nearing the equipment as may be required by any applicable FCC-adopted standards.

It is recommended that barricades be erected, as shown in Figure 1, to preclude access by unauthorized persons to areas in which exposure levels are calculated to exceed the public limit. To prevent occupational exposures in excess of the FCC guidelines, it is recommended that appropriate RF safety training, to include review of personal monitor use and lockout/tagout procedures, be provided to all authorized personnel who have access to the roof, including employees and contractors of the wireless carriers and of the property owner. No access within 52 feet directly in front of the Verizon antennas themselves, such as might occur during certain maintenance activities, should be allowed while the base station is in operation, unless other measures can be demonstrated to ensure that occupational protection requirements are met. It is recommended that “Worker Notification Areas” be marked with yellow paint and “Prohibited Access Areas” be marked with red paint stripes on the main and penthouse roofs of the building, as shown in Figure 1, to identify areas within which exposure levels are calculated to exceed the FCC public and occupational limits, respectively. It is recommended that explanatory signs[†] be posted at the southern penthouse roof access ladders, at the barricades, and on the screens in front of the antennas, readily visible from any angle of approach to persons who might need to work within that distance.

[†] Signs should comply with OET-65 color, symbol, and content recommendations. Contact information should be provided (e.g., a telephone number) to arrange for access to restricted areas. The selection of language(s) is not an engineering matter; the San Francisco Department of Public Health recommends that all signs be written in English, Spanish, and Chinese.



**Verizon Wireless • Proposed Base Station (Site No. 320462 "SF Grove Street")
99 Grove Street • San Francisco, California**

11. Statement of authorship and qualification.

The undersigned author of this statement is a qualified Professional Engineer, holding California Registration Nos. E-13026 and M-20676, which expire on June 30, 2017. This work has been carried out under his direction, and all statements are true and correct of his own knowledge except, where noted, when data has been supplied by others, which data he believes to be correct.

Conclusion

Based on the information and analysis above, it is the undersigned's professional opinion that operation of the base station proposed by Verizon Wireless at 99 Grove Street in San Francisco, California, can comply with the prevailing standards for limiting human exposure to radio frequency energy and, therefore, need not for this reason cause a significant impact on the environment. The highest calculated level in publicly accessible areas is much less than the prevailing standards allow for exposures of unlimited duration. This finding is consistent with measurements of actual exposure conditions taken at other operating base stations. Erecting barricades is recommended to establish compliance with public exposure limits; training authorized personnel, marking roof areas, and posting explanatory signs are recommended to establish compliance with occupational exposure limits.



William F. Hammett
William F. Hammett, P.E.

707/996-5200

April 26, 2016

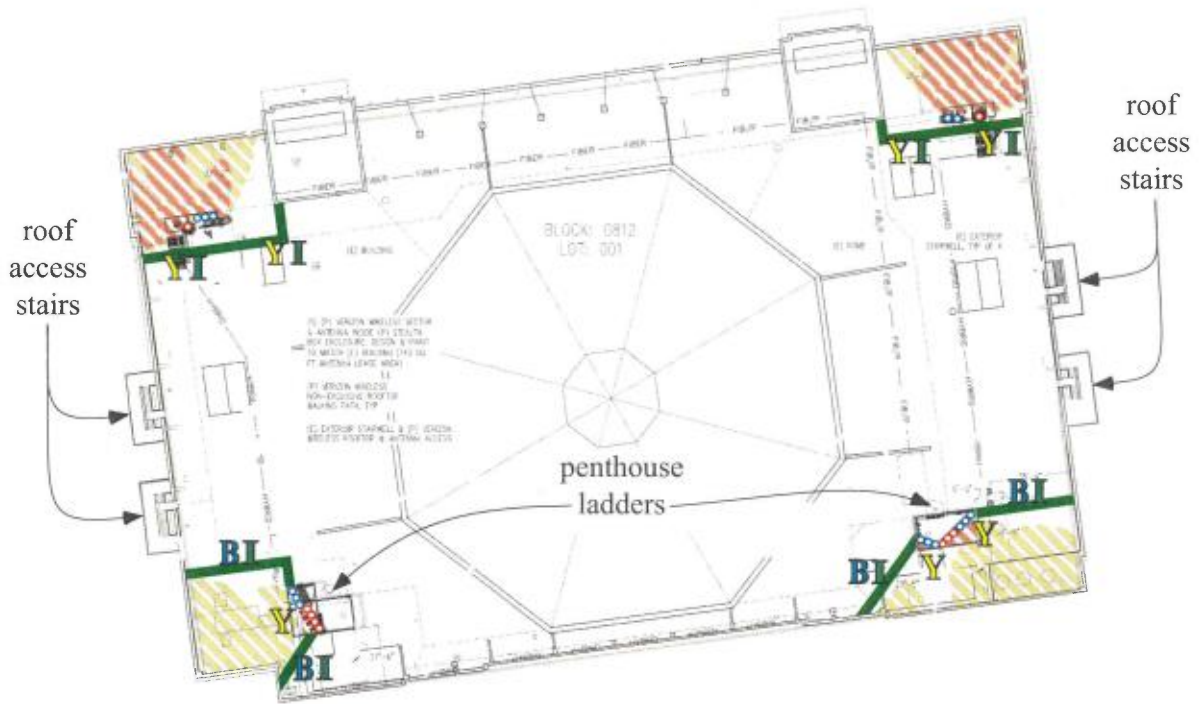
**Verizon Wireless • Proposed Base Station (Site No. 320462 "SF Grove Street")
99 Grove Street • San Francisco, California**

Calculated Cumulative RF Exposure Levels on Roof

Recommended Mitigation Measures

- Install secure barricades
- Stripe roof areas as shown
- Post explanatory signs
- Provide training

Verizon antennas ◦
AT&T antennas ◦



Yellow Caution and green Information signs should be placed at the roof access ladders for the two penthouses on the south side of the building.

Notes: See text.

Base drawing from Streamline Engineering and Design, Inc., dated March 28, 2016.

Calculations performed according to OET Bulletin 65, August 1997.

Legend:	Less Than Public	Exceeds Public	Exceeds Occupational	Exceeds 10x Occupational
Striping color	N/A	yellow	red	N/A
Sign type	I - Green INFORMATION	B - Blue NOTICE	Y - Yellow CAUTION	O - Orange WARNING
Barricades shown as green lines				

**AT&T Mobility • Proposed Base Station (Site No. CCU2159)
99 Grove Street • San Francisco, California**

Statement of Hammett & Edison, Inc., Consulting Engineers

The firm of Hammett & Edison, Inc., Consulting Engineers, has been retained on behalf of AT&T Mobility, a personal wireless telecommunications carrier, to evaluate the base station (Site No. CCU2159) proposed to be located at 99 Grove Street in San Francisco, California, for compliance with appropriate guidelines limiting human exposure to radio frequency (“RF”) electromagnetic fields.

Background

The San Francisco Department of Public Health has adopted an 11-point checklist for determining compliance of proposed WTS facilities or proposed modifications to such facilities with prevailing safety standards. The acceptable limits set by the FCC for exposures of unlimited duration are:

Wireless Service	Frequency Band	Occupational Limit	Public Limit
Microwave (Point-to-Point)	5–80 GHz	5.00 mW/cm ²	1.00 mW/cm ²
WiFi (and unlicensed uses)	2–6	5.00	1.00
BRS (Broadband Radio)	2,600 MHz	5.00	1.00
WCS (Wireless Communication)	2,300	5.00	1.00
AWS (Advanced Wireless)	2,100	5.00	1.00
PCS (Personal Communication)	1,950	5.00	1.00
Cellular	870	2.90	0.58
SMR (Specialized Mobile Radio)	855	2.85	0.57
700 MHz	700	2.40	0.48
[most restrictive frequency range]	30–300	1.00	0.20

Checklist

Reference has been made to information provided by AT&T, including zoning drawings by Streamline Engineering and Design, Inc., dated November 5, 2015. It should be noted that the calculations results in this Statement include several “worst-case” assumptions and therefore are expected to overstate actual power density levels from the proposed operations.

1. The location, identity, and total number of all operational radiating antennas installed at this site.
Reportedly located on the same building are similar antennas for use by Verizon, with operating specifications as described in Table 1 below.
2. List all radiating antennas located within 100 feet of the site that could contribute to the cumulative radio frequency energy at this location.

There are reported no other WTS facilities within 100 feet of the site.

**AT&T Mobility • Proposed Base Station (Site No. CCU2159)
99 Grove Street • San Francisco, California**

3. Provide a narrative description of the proposed work for this project.

AT&T proposes to install 14 directional panel antennas behind view screens above the roof of the Bill Graham Civic Auditorium, located at 99 Grove Street in San Francisco. This is consistent with the scope of work described in the drawings for transmitting elements.

4. Provide an inventory of the make and model of antennas or transmitting equipment being installed or removed.

No antennas or equipment is proposed to be removed. The inventory of antennas being added is given in Table 2 below.

5. Describe the existing radio frequency energy environment at the nearest walking/working surface to the antennas and at ground level. This description may be based on field measurements or calculations.

The maximum existing RF level for a person on the access area nearest the antennas is calculated to exceed occupational exposure limit, in front of the Verizon antennas. The maximum existing RF level from the Verizon operation for a person at ground near the site is calculated to be 0.011 mW/cm², which is 1.2% of the applicable public limit.

6. Provide the maximum effective radiated power per sector for the proposed installation. The power should be reported in watts and reported both as a total and broken down by frequency band.

This information is provided in Table 2 below.

7. Describe the maximum cumulative predicted radio frequency energy level for any nearby publicly accessible building or area.

The maximum calculated cumulative RF exposure level at any nearby building is 41% of the public exposure limit; this occurs at the taller building to the west across Polk Street, located at least 100 feet away.

8. Report the estimated cumulative radio frequency fields for the proposed site at ground level.

For a person anywhere at ground, the maximum RF exposure level due to the proposed AT&T operation by itself is calculated to be 0.057 mW/cm², which is 6.0% of the applicable public exposure limit. Estimated cumulative RF levels at ground level near the site from the AT&T and Verizon operations together are less than 7.2% of the public limit.

9. Provide the maximum distance (in feet) the three dimensional perimeter of the radio frequency energy level equal to the public and occupational exposure limit is calculated to extend from the face of the antennas.

The three-dimensional perimeters of RF levels equal to the public and occupational exposure limits are calculated to extend up to 110 and 47 feet out from the antenna faces, respectively, and to much lesser



**AT&T Mobility • Proposed Base Station (Site No. CCU2159)
99 Grove Street • San Francisco, California**

distances above, below, and to the sides; this includes areas of the main and penthouse roofs of the building but does not reach any other publicly accessible areas.

10. Provide a description of whether or not the public has access to the antennas. Describe any existing or proposed warning signs, barricades, barriers, rooftop striping or other safety precautions for people nearing the equipment as may be required by any applicable FCC-adopted standards.

It is recommended that barricades be erected, as shown in Figure 1, to preclude access by unauthorized persons to areas in which exposure levels are calculated to exceed the public limit. To prevent occupational exposures in excess of the FCC guidelines, it is recommended that appropriate RF safety training, to include review of personal monitor use and lockout/tagout procedures, be provided to all authorized personnel who have access to the roof, including employees and contractors of the wireless carriers and of the property owner. No access within 47 feet directly in front of the AT&T antennas themselves, such as might occur during certain maintenance activities, should be allowed while the base station is in operation, unless other measures can be demonstrated to ensure that occupational protection requirements are met. It is recommended that “Prohibited Access Areas” be marked with red paint stripes and “Worker Notification Areas” be marked with yellow paint stripes on the main and penthouse roofs of the building in front of the antennas, as shown in Figure 1. It is recommended that explanatory signs* be posted at the southern penthouse roof access ladders, at the barricades, and on the screens in front of the antennas, readily visible from any angle of approach to persons who might need to work within that distance.

11. Statement of authorship and qualification.

The undersigned author of this statement is a qualified Professional Engineer, holding California Registration Nos. E-13026 and M-20676, which expire on June 30, 2017. This work has been carried out under his direction, and all statements are true and correct of his own knowledge except, where noted, when data has been supplied by others, which data he believes to be correct.

* Signs should comply with OET-65 color, symbol, and content recommendations. Contact information should be provided (e.g., a telephone number) to arrange for access to restricted areas. The selection of language(s) is not an engineering matter, and guidance from the landlord, local zoning or health authority, or appropriate professionals may be required.

**AT&T Mobility • Proposed Base Station (Site No. CCU2159)
99 Grove Street • San Francisco, California**

Conclusion

Based on the information and analysis above, it is the undersigned's professional opinion that operation of the base station proposed by AT&T Mobility at 99 Grove Street in San Francisco, California, can comply with the prevailing standards for limiting human exposure to radio frequency energy and, therefore, need not for this reason cause a significant impact on the environment. The highest calculated level in publicly accessible areas is much less than the prevailing standards allow for exposures of unlimited duration. This finding is consistent with measurements of actual exposure conditions taken at other operating base stations. Erecting barricades is recommended to establish compliance with public exposure limits; training authorized personnel, marking roof areas, and posting explanatory signs are recommended to establish compliance with occupational exposure limits.



William F. Hammett
 William F. Hammett, P.E.
 707/996-5200

January 22, 2016

Group Orientation & Antenna Number	Antenna Make and Model	Frequency Band	Maximum Effective Radiated Power	Down-Tilt	Antenna Center	
					Above Ground	Above Access Surface
20°T-1	Amphenol HEX456CW000	700 MHz	2,240	4°	76 ft	6 ft
20°T-2	Amphenol HEX456CW000	PCS	4,160	4	76	6
20°T-3	Amphenol HEX456CW000	AWS	4,460	0	76	6
Sector Total: 3 antennas		Sector Total ERP:		10,860 W		
140°T-1	Amphenol HEX454CW000	700 MHz	1,580	4°	81 ft	4 ft
140°T-2	Amphenol HEX454CW000	PCS	3,310	4	81	4
140°T-3	Amphenol HEX454CW000	AWS	3,710	0	81	4
Sector Total: 3 antennas		Sector Total ERP:		8,600 W		
240°T-1	Amphenol HEX456CW000	700 MHz	2,240	4°	81½ ft	4½ ft
240°T-2	Amphenol HEX456CW000	PCS	4,160	4	81½	4½
240°T-3	Amphenol HEX456CW000	AWS	4,460	0	81½	4½
Sector Total: 3 antennas		Sector Total ERP:		10,860 W		
340°T-1	Amphenol HEX456CW000	700 MHz	2,240	4°	76	6
340°T-2	Amphenol HEX456CW000	PCS	4,160	4	76	6
340°T-3	Amphenol HEX456CW000	AWS	4,460	0	76	6
Sector Total: 3 antennas		Sector Total ERP:		10,860 W		

Table 1: Antenna Inventory for Verizon

**AT&T Mobility • Proposed Base Station (Site No. CCU2159)
99 Grove Street • San Francisco, California**

Group Orientation & Antenna Number	Antenna Make and Model	Frequency Band	Maximum Effective Radiated Power	Down-Tilt	Antenna Center	
					Above Ground	Above Access Surface
0°T-1	CCI MBA6-11F-BU-H3	700 MHz	1,870 W	6°	76½ ft	6½ ft
0°T-1	CCI MBA6-11F-BU-H3	PCS	11,210	4	76½	6½
0°T-2	CCI MBA6-11F-BU-H3	Cellular	1,000	6	76½	6½
0°T-2	CCI MBA6-11F-BU-H3	WCS	<u>10,880</u>	4	76½	6½
Sector Total: 2 antennas		Sector Total ERP:				
			24,960 W			
135°T-1	CCI BSA-M65R-BUU-H4	700 MHz	1,080 W	6°	81 ft	4 ft
135°T-1	CCI BSA-M65R-BUU-H4	PCS	3,460	4	81	4
135°T-2	CCI BSA-M65R-BUU-H4	Cellular	1,000	6	81	4
135°T-2	CCI BSA-M65R-BUU-H4	AWS	3,960	4	81	4
135°T-3	CCI BSA-M65R-BUU-H4	700 MHz	1,080	6	81	4
135°T-3	CCI BSA-M65R-BUU-H4	WCS	<u>3,200</u>	4	81	4
Sector Total: 3 antennas		Sector Total ERP:				
			13,780 W			
200°T-1	CCI HPA-33R-BUU-H4	700 MHz	1,130 W	6°	81 ft	4 ft
200°T-1	CCI HPA-33R-BUU-H4	PCS	4,170	4	81	4
200°T-2	CCI HPA-33R-BUU-H4	Cellular	1,000	6	81	4
200°T-2	CCI HPA-33R-BUU-H4	AWS	4,550	4	81	4
200°T-3	CCI HPA-33R-BUU-H4	700 MHz	1,130	6	81	4
200°T-3	CCI HPA-33R-BUU-H4	WCS	<u>4,540</u>	4	81	4
Sector Total: 3 antennas		Sector Total ERP:				
			16,520 W			
245°T-1	CCI BSA-M65R-BUU-H4	700 MHz	1,080 W	6°	82½ ft	4½ ft
245°T-1	CCI BSA-M65R-BUU-H4	PCS	3,460	4	82½	4½
245°T-2	CCI BSA-M65R-BUU-H4	Cellular	1,000	6	82½	4½
245°T-2	CCI BSA-M65R-BUU-H4	AWS	3,960	4	82½	4½
245°T-3	CCI BSA-M65R-BUU-H4	700 MHz	1,080	6	82½	4½
245°T-3	CCI BSA-M65R-BUU-H4	WCS	<u>3,200</u>	4	82½	4½
Sector Total: 3 antennas		Sector Total ERP:				
			13,780 W			
340°T-1	CCI BSA-M65R-BUU-H4	700 MHz	1,080 W	6°	76½ ft	6½ ft
340°T-1	CCI BSA-M65R-BUU-H4	PCS	3,460	4	76½	6½
340°T-2	CCI BSA-M65R-BUU-H4	Cellular	1,000	6	76½	6½
340°T-2	CCI BSA-M65R-BUU-H4	AWS	3,960	4	76½	6½
340°T-3	CCI BSA-M65R-BUU-H4	700 MHz	1,080	6	76½	6½
340°T-3	CCI BSA-M65R-BUU-H4	WCS	<u>3,200</u>	4	76½	6½
Sector Total: 3 antennas		Sector Total ERP:				
			13,780 W			

Table 2: Antenna Inventory for AT&T

**AT&T Mobility • Proposed Base Station (Site No. CCU2159)
99 Grove Street • San Francisco, California**

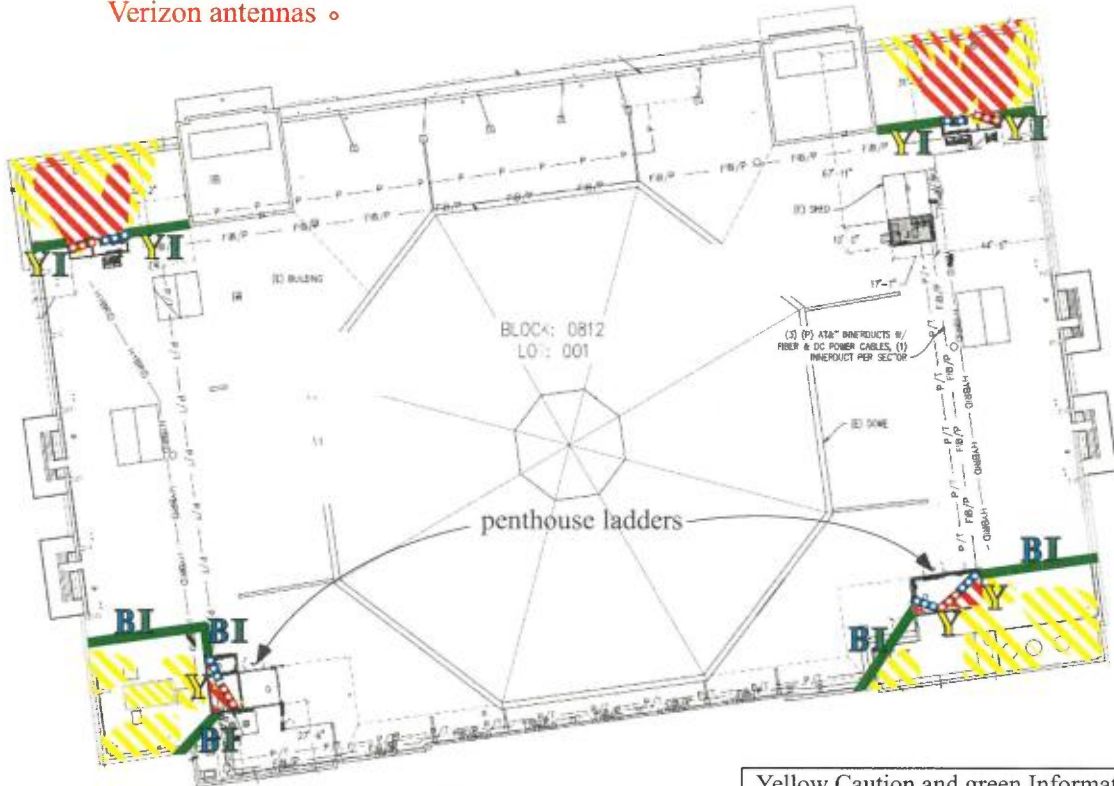
Calculated RF Exposure Levels on Roof for AT&T and Verizon

Recommended Mitigation Measures

- Install secure barricades
- Stripe roof areas as shown
- Post explanatory signs
- Provide training



AT&T antennas ◦
Verizon antennas ◦



Yellow Caution and green Information signs should be placed at the roof access ladders for the two penthouses on the south side of the building.

Notes:

Base drawing from Streamline Engineering and Design, Inc., dated November 18, 2015.

Calculations performed according to OET Bulletin 65, August 1997.

Training should be provided to all persons requiring access within barricades or onto penthouse roofs.

Legend:	Less Than Public	Exceeds Public	Exceeds Occupational	Exceeds 10x Occupational
Striping color	N/A	yellow	red	N/A
Sign type	I - Green INFORMATION	B - Blue NOTICE	Y - Yellow CAUTION	O - Orange WARNING
Barricades shown as green lines				



City and County of San Francisco
DEPARTMENT OF PUBLIC HEALTH
ENVIRONMENTAL HEALTH SECTION

Edwin M. Lee, Mayor
Barbara Garcia, Director of Health

Richard J. Lee, MPH, CIH, REHS
Director of Environmental Health (Acting)

Review of Cellular Antenna Site Proposals

Project Sponsor : Verizon Planner: Seema Adina

RF Engineer Consultant: Hammett & Edison, Inc Phone Number: (707) 996-5200

Project Address/Location: 99 Grove St

Site ID: 2147 SiteNo.: 320462 Report Dated: 4/26/2016

The following information is required to be provided before approval of this project can be made. These information requirements are established in the San Francisco Planning Department Wireless Telecommunications Services Facility Sitting Guidelines dated August 1996.

In order to facilitate quicker approval of this project, it is recommended that the project sponsor review this document before submitting the proposal to ensure that all requirements are included.

- X 1. The location, identity and total number of all operational radiating antennas installed at this site was provided. (WTS-FSG, Section 10.4.1, Section 11, 2b) Number of Existing Antennas: 0
X 2. A list of all radiating antennas located within 100 feet of the site which could contribute to the cumulative radio frequency energy at this location was provided. (WTS-FSG, Section 10.5.2) Yes No
X 3. A narrative description of the proposed work for this project was provided. The description should be consistent with scope of work for the final installation drawings. (WTS-FSG, Section 10) Yes No
X 4. An inventory of the make and model of antennas or transmitting equipment being installed or removed was provided. The antenna inventory included the proposed installation height above the nearest walking/working surface, the Yes No
X 5. A description of the existing radio frequency energy environment at the nearest walking/working surface to the antennas and at ground level was provided. A description of any assumptions made when doing the calculations was also provided. (WTS-FSG, Section 10.4.1a, Section 10.4.1c, Section 10.5) Yes No
X 6. The maximum effective radiated power per sector for the proposed installation was provided along with the frequency Maximum Effective Radiated Power: 34530 Watts
X 7. Based on the antenna orientation, the maximum cumulative predicted radio frequency energy level for any nearby publicly accessible building or area was provided. (WTS-FSG, Section 10.4, Section 10.5.1) Maximum percent of applicable FCC public standard at the nearest building or structure: 39 % Distance to this nearby building or structure: 100 feet
X 8. The estimated maximum cumulative radio frequency fields for the proposed site at ground level. (WTS-FSG, Section 10.5) Maximum RF Exposure: 0.035 mW/cm^2 Maximum RF Exposure Percent: 4.1 %

X 9. The maximum distance (in feet) the three dimensional perimeter of the radio frequency energy level equal to the public and occupational exposure limit is calculated to extend from the face of the antennas was provided. Any potential

<input checked="" type="checkbox"/> Public Exclusion Area	Public Exclusion In Feet: <u>118</u>
<input checked="" type="checkbox"/> Occupational Exclusion Area	Occupational Exclusion In Feet: <u>52</u>

X 10. A description of whether or not the public has access to the antennas was provided. A description was also provided of any existing or proposed warning signs, barricades, barriers, rooftop stripping or other safety precautions for people nearing the equipment as may be required by any applicable FCC-adopted standards. All signs will be provided in English, Spanish and Chinese. (WTS-FSG, Section 9.5, Section 10.9.2)

Yes No

X 11. Statement regarding the engineer who produced the report and their qualifications was provided. The engineer

Yes No

X **Approved.** Based on the information provided the following staff believes that the project proposal will comply with the current Federal Communication Commission safety standards for radiofrequency radiation exposure. FCC standard CFR47 1.1310 **Approval of the subsequent Project Implementation Report is based on project sponsor completing recommendations by project consultant and DPH.**

Comments:

There are currently no antennas operated by Verizon installed on the roof top of the building at 99 Grove Street. Existing RF levels at ground level were around 5% of the FCC public exposure limit. There were observed no other antennas within 100 feet of this site. Verizon proposes to install 9 new antennas. The antennas will be mounted at a height of 77 to 81 feet above the ground. The estimated ambient RF field from the proposed Verizon transmitters at ground level is calculated to be 0.035 mW/sq cm., which is 4.1% of the FCC public exposure limit. The three dimensional perimeter of RF levels equal to the public exposure limit extends 118 feet and includes portions of the rooftop areas. Barricades should be installed to prevent access to these areas. Warning signs must be posted at the antennas, barricades and roof access points in English, Spanish and Chinese. Workers should not have access to within 52 feet of the front of the antennas while they are in operation. Areas of the rooftop exceeding the FCC occupational standards should be marked with red striping and areas exceeding the public standards with yellow striping on the rooftop.

 Not Approved, additional information required.

 Not Approved, does not comply with Federal Communication Commission safety standards for radiofrequency radiation exposure. FCC Standard

 1 Hours spent reviewing

Charges to Project Sponsor (in addition to previous charges, to be received at time of receipt by Sponsor)

Signed: _____



Dated: 4/27/2016

Patrick Fosdahl
Environmental Health Management Section
San Francisco Dept. of Public Health
1390 Market St., Suite 210,
San Francisco, CA. 94102
(415) 252-3904



HAMMETT & EDISON, INC.
CONSULTING ENGINEERS
BROADCAST & WIRELESS

WILLIAM F. HAMMETT, P.E.
STANLEY SALEK, P.E.
ROBERT P. SMITH, JR.
RAJAT MATHUR, P.E.
ANDREA L. BRIGHT, P.E.
NEIL J. OLIJ, P.E.
BRIAN F. PALMER

ROBERT L. HAMMETT, P.E.
1920-2002
EDWARD EDISON, P.E.
1920-2009

DANE E. ERICKSEN, P.E.
CONSULTANT

BY E-MAIL MARKWJONES31@MSN.COM

October 23, 2015

Mr. Mark Jones
Ericsson
6140 Stoneridge Mall Road, Suite 350
Pleasanton, California 94588

Dear Mark:

As requested, we have conducted a review of the coverage maps provided by Verizon Wireless, regarding its proposal for a new base station to be located at 99 Grove Street in San Francisco (Site No. 320462 "SF Grove Street").

Executive Summary

We concur with the maps and data provided by Verizon. The maps provided to show the before and after conditions accurately represent the carrier's present and post-installation coverage.

Verizon proposes to install twelve Amphenol directional panel antennas – nine 6-foot tall Model HEX456CW0000 and three 4-foot tall Model HEX454CW0000 – above the roof of the Bill Graham Civic Auditorium, located at 99 Grove Street. The antennas would be mounted with up to 4° downtilt, and would be oriented in groups of three. Two groups of Model HEX456 antennas would be installed within view screen enclosures above the northeast and northwest corners of the roof at an effective height of about 76 feet above ground, 6 feet above the main roof, and would be oriented toward 20°T and 340°T. One group of Model HEX456 antennas would be installed within a view screen enclosure above the penthouse at the southwest corner of the roof, at an effective height of about 81½ feet above ground, 11½ and 4½ feet above the main and penthouse roofs, and would be oriented toward 240°T. The group of three Model HEX454 antennas would be mounted above the penthouse at the southeast corner of the roof, at an effective height of about 81 feet above ground, 11 and 4 feet above the main and penthouse roofs, and would be oriented toward 140°T. The maximum effective radiated power proposed by Verizon in any direction is 10,850 watts, representing simultaneous operation at 4,460 watts for AWS, 4,160 watts for PCS, and 2,230 watts for 700 MHz service; no operation on cellular frequencies is presently proposed from this site.

Mr. Mark Jones, page 2
October 23, 2015

Verizon provided for review two coverage maps, attached for reference. The maps show Verizon's 4G LTE coverage in the area before and after the site is operational. Both the before and after LTE maps show four levels of coverage, which Verizon colors and defines as follows:

Green	Indoor
Yellow	In Car
Gray	On Street
Red	Edge of Coverage

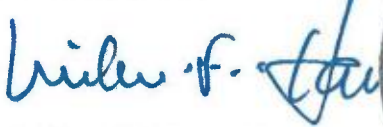
These service thresholds used by Verizon are in line with industry standards, similar to the thresholds used by other wireless service providers.

We conducted our own drive test to measure the actual Verizon LTE 4G signal strength in the vicinity of the proposed site. Our fieldwork was conducted on October 19, 2015, between 10:20 AM and 1:55 PM. The field measurements were conducted using an Ascom TEMS Pocket network diagnostic tool with built-in GPS along a measurement route selected to cover all the streets within the map area that Verizon had indicated would receive improved service.

Based on the measurement data, we conclude that the Verizon 4G LTE coverage maps showing the service area without the proposed installation includes areas of relatively weak signal levels in the carrier's present coverage. The maps submitted to show the after coverage with the proposed base station in operation were reportedly prepared on the same basis as the maps of the existing conditions and so are expected to accurately illustrate the improvements in coverage.

We appreciate the opportunity to be of service. Please let us know if any questions arise on this matter.

Sincerely yours,



William F. Hammett

scn

Enclosures



cc: Ms. Kelly Pepper (w/encls) – BY E-MAIL KELLY@TOWNCONSULTING.COM
Mr. Richard Newman (w/encls) – BY E-MAIL RICHARD.F.NEWMAN@ERICSSON.COM



HAMMETT & EDISON, INC.
 CONSULTING ENGINEERS
 BROADCAST & WIRELESS

WILLIAM F. HAMMETT, P.E.
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 1920-2002
 EDWARD EDISON, P.E.
 1920-2009

DANE E. ERICKSEN, P.E.
 CONSULTANT

BY E-MAIL AD122P@ATT.COM

January 21, 2016

Mr. Alexander Wilson-Desbois
 AT&T Mobility
 430 Bush Street
 San Francisco, California 94104

Dear Alexander:

As requested, we have conducted the review required by the City of San Francisco of the coverage maps that AT&T Mobility will submit as part of its application package for its base station proposed to be located at 99 Grove Street (Site No. CCU2159). This is to fulfill the submittal requirements for Planning Department review.

Executive Summary

We concur with the maps provided by AT&T. The maps provided to show the before and after conditions accurately represent the carrier's present and post-installation indoor coverage.

AT&T proposes to install 14 CCI directional panel antennas – Models MBA6-11F, BSA-M65R, and HPA-33R – behind existing view screens above the roof of the Bill Graham Civic Auditorium, located at 99 Grove Street in San Francisco. AT&T provided for review a pair of coverage maps, dated December 11, 2015, attached for reference. The maps show AT&T's cellular UMTS (850 MHz) indoor coverage in the area before and after the site is operational. Both the before and after UMTS maps show three levels of coverage, which AT&T colors and defines as follows:

- | | |
|---------------|--|
| Green | Acceptable service coverage during high demand periods |
| Hashed Yellow | Service coverage gap during high demand periods |
| Pink | Service coverage gap during all demand periods |

We undertook a two-step process in our review. As a first step, we obtained information from AT&T on the software and the service thresholds that were used to generate its coverage maps. This carrier uses commercially available software to produce the maps. The outdoor service thresholds that AT&T uses to estimate indoor service are in line with industry standards, similar to the thresholds used by other wireless service providers.

As a second step, we conducted our own drive test to measure the actual AT&T UMTS signal strength in the vicinity of the proposed site. Our fieldwork was conducted on January 19, 2016, between 1:25 PM and 3:30 PM. The field measurements were conducted using an Ascom

Alexander Wilson-Desbois, page 2
January 21, 2016

TEMS Pocket network diagnostic tool with built-in GPS along a measurement route selected to cover all the streets within the map area that AT&T had indicated would receive improved service.

Based on the measurement data, we conclude that the AT&T UMTS coverage map showing the service area without the proposed installation represents areas of deficiency in the carrier's present indoor coverage. The map submitted to show the after coverage with the proposed base station in operation was reportedly prepared on the same basis as the map of the existing conditions and so is expected to illustrate accurately the improvements in coverage.

We appreciate the opportunity to be of service. Please let us know if any questions arise on this matter.

Sincerely yours,

A handwritten signature in blue ink that reads "Bill Hammett". The signature is written in a cursive style with a long horizontal stroke at the end.

William F. Hammett, P.E.

dc

Enclosures

cc: Mr. Wayne Lowell (w/encls) – BY E-MAIL WL494C@ATT.COM
Mr. Chris Hatch (w/encls) – BY E-MAIL CHRIS@S2SWIRELESS.COM



GROVE ST - MACRO
 99 GROVE ST, SAN FRANCISCO, CA 94102
 LOCATION NUMBER: 320462

GROVE ST-MACRO

320462
 99 GROVE ST
 SAN FRANCISCO, CA 94102



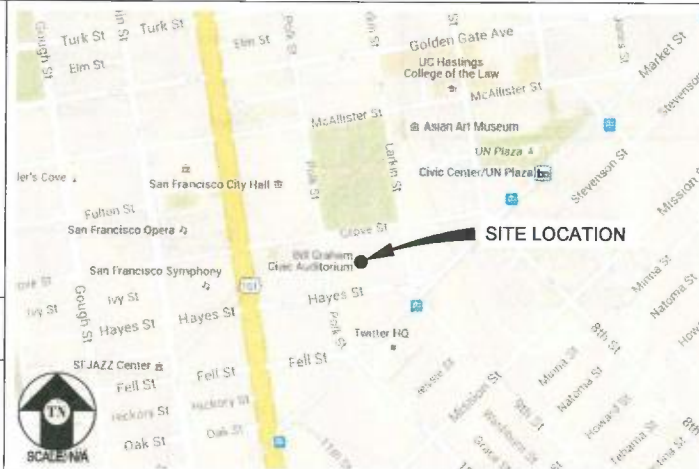
2785 MITCHELL DRIVE, BLDG 9
 WALNUT CREEK, CA 94598

VERIZON WIRELESS EQUIPMENT ENGINEER: SIGNATURE _____ DATE _____	VERIZON WIRELESS REAL ESTATE: SIGNATURE _____ DATE _____
VERIZON WIRELESS CONSTRUCTION: SIGNATURE _____ DATE _____	VERIZON WIRELESS RF ENGINEER: SIGNATURE _____ DATE _____
PROPERTY OWNER: SIGNATURE _____ DATE _____	ERICSSON - LEASING SIGNATURE _____ DATE _____
ERICSSON - CONSTRUCTION SIGNATURE _____ DATE _____	ERICSSON - ZONING SIGNATURE _____ DATE _____

PROJECT DESCRIPTION

- A (P) VERIZON WIRELESS UNMANNED TELECOMMUNICATION FACILITY CONSISTING OF INSTALLING:
- (9) (P) ANTENNAS
 - (42) (P) RRUS-12 UNITS W/ (P) A2 MODULES
 - (8) (P) RAYCAP 3315 UNITS
 - (P) VERIZON WIRELESS 11'-2"x21'-9" (243 SQ FT) EQUIPMENT/LEASE AREA
 - (2) (P) GPS ANTENNAS
 - (8) (P) #3" CONDUITS W/ (P) HYBRID CABLES
 - (4) (P) STEALTH BOX ENCLOSURES

VICINITY MAP



CODE COMPLIANCE

ALL WORK & MATERIALS SHALL BE PERFORMED & INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES:

- 2013 CALIFORNIA ADMINISTRATIVE CODE, PART 1, TITLE 24 C.C.R.
- 2013 CALIFORNIA BUILDING CODE (CBC), PART 2, TITLE 24 C.C.R. (2012 INTERNATIONAL BUILDING CODE VOLUMES 1-2 AND 2013 CALIFORNIA AMENDMENTS)
- 2013 CALIFORNIA ELECTRICAL CODE (CEC), PART 3, TITLE 24 C.C.R. (2011 NATIONAL ELECTRICAL CODE AND 2013 CALIFORNIA AMENDMENTS)
- 2013 CALIFORNIA MECHANICAL CODE (CMC) PART 4, TITLE 24 C.C.R. (2012 UNIFORM MECHANICAL CODE AND 2013 CALIFORNIA AMENDMENTS)
- 2013 CALIFORNIA PLUMBING CODE (CPC), PART 5, TITLE 24 C.C.R. (2012 UNIFORM PLUMBING CODE AND 2013 CALIFORNIA AMENDMENTS)
- 2013 CALIFORNIA ENERGY CODE (CEC), PART 6, TITLE 24 C.C.R.
- 2013 CITY OF SAN FRANCISCO FIRE CODE (2012 INTERNATIONAL FIRE CODE AND 2013 CALIFORNIA AMENDMENTS)
- 2013 CALIFORNIA GREEN BUILDING STANDARDS CODE, PART 11, TITLE 24 C.C.R.
- 2013 CALIFORNIA REFERENCED STANDARDS, PART 12, TITLE 24 C.C.R.
- ANSI/EIA-TIA-222-G

ALONG WITH ANY OTHER APPLICABLE LOCAL & STATE LAWS AND REGULATIONS

DISABLED ACCESS REQUIREMENTS

THIS FACILITY IS UNMANNED & NOT FOR HUMAN HABITATION. DISABLED ACCESS & REQUIREMENTS ARE NOT REQUIRED IN ACCORDANCE WITH CALIFORNIA STATE BUILDING CODE, TITLE 24 PART 2, SECTION 11B-203.4

PROJECT INFORMATION

SITE NAME:	GROVE ST - MACRO	SITE #:	320462
COUNTY:	SAN FRANCISCO	JURISDICTION:	CITY & COUNTY OF SAN FRANCISCO
BLOCK/LOT:	0812-001	POWER:	PG&E
SITE ADDRESS:	99 GROVE ST SAN FRANCISCO, CA 94102	TELEPHONE:	AT&T
CURRENT ZONING:	P-PUBLIC		
CONSTRUCTION TYPE:	I-B		
OCCUPANCY TYPE:	U, (UNMANNED COMMUNICATIONS FACILITY)		
HEIGHT/BULK:	80-X		
PROPERTY OWNER:	CITY PROPERTY 25 VAN NESS AVE SAN FRANCISCO, CA 94102		
APPLICANT:	VERIZON WIRELESS 2785 MITCHELL DRIVE, BLDG 9 WALNUT CREEK, CA 94598		
LEASING CONTACT:	ERICSSON ATTN: MARK JONES (330) 391-0360		
ZONING CONTACT:	ERICSSON ATTN: KELLY PEPPER (415) 307-5082		
CONSTRUCTION CONTACT:	ERICSSON ATTN: DOUG PODRABSKY (916) 539-1720		

DRIVING DIRECTIONS

FROM: 2785 MITCHELL DRIVE, BLDG 9, WALNUT CREEK, CA 94598
 TO: 99 GROVE ST, SAN FRANCISCO, CA 94102

1. HEAD NORTHEAST ON MITCHELL DR TOWARD OAK GROVE RD 30 FT
2. TURN RIGHT ONTO OAK GROVE RD 0.4 MI
3. TURN RIGHT ONTO YGNACIO VALLEY RD 3.4 MI
4. YGNACIO VALLEY RD TURNS SLIGHTLY RIGHT AND BECOMES HILLSIDE AVE 0.2 MI
5. TURN RIGHT ONTO THE 24 W RAMP TO OAKLAND 1.2 MI
6. CONTINUE ONTO CA-24 W/HWY 24 W 5.8 MI
7. KEEP LEFT TO CONTINUE ON CA-24 W 2.3 MI
8. KEEP LEFT AT THE FORK TO STAY ON CA-24 W 4.3 MI
9. TAKE EXIT 2B FOR INTERSTATE 580 W 1.0 MI
10. MERGE ONTO I-580 W 0.6 MI
11. TAKE EXIT 19A ON THE LEFT TO MERGE ONTO I-80 W TOWARD SAN FRANCISCO PARTIAL TOLL ROAD 7.9 MI
12. TAKE EXIT 1C TOWARD CIVIC CENTER 0.2 MI
13. MERGE ONTO HARRISON ST 0.1 MI
14. TURN RIGHT ONTO 9TH ST 0.5 MI
15. SLIGHT RIGHT ONTO LARKIN ST 463 FT
16. TURN LEFT AT THE 1ST CROSS STREET ONTO GROVE ST 272 FT

END AT: 99 GROVE ST, SAN FRANCISCO, CA 94102

ESTIMATED TIME: 42 MINUTES ESTIMATED DISTANCE: 27.9 MILES

SHEET INDEX

SHEET	DESCRIPTION	REV
T-1	TITLE SHEET	-
C-1	TOPOGRAPHIC SURVEY	-
C-2	TOPOGRAPHIC SURVEY	-
A-1	SITE PLAN	-
A-2	EQUIPMENT PLAN	-
A-3	ANTENNA PLANS	-
A-4	ANTENNA PLANS	-
A-5	ELEVATIONS	-
A-6	ELEVATIONS	-
A-7	DETAILS	-



8445 Sierra College Blvd, Suite E Granite Bay, CA 95861
 Contact: Larry Houghton Phone: 916-276-4180
 E-Mail: larry@streamlineinc.com Fax: 916-660-1941

**PRELIMINARY:
NOT FOR
CONSTRUCTION**

KEVIN R. SORENSEN
S4469

ISSUE STATUS

Δ	DATE	DESCRIPTION	REV.
	01/14/16	CLIENT REV	C.C.
	02/22/16	CLIENT REV	C.C.
	03/16/16	CLIENT REV	C.C.
	03/18/16	CLIENT REV	M.D.
	05/12/16	CLIENT REV	M.D.
	05/17/16	CLIENT REV	C.C.

DRAWN BY: C. CODY
 CHECKED BY: J. GRAY
 APPROVED BY: -
 DATE: 05/17/16

SHEET TITLE:

TITLE
 SHEET NUMBER:
T-1

PROPERTY INFORMATION

OWNER: CITY PROPERTY
 ADDRESS: 25 VAN NESS AVENUE
 SAN FRANCISCO, CA 94102
 GROVE ST-MACRO
 99 GROVE STREET
 SAN FRANCISCO, CA 94102
 ASSESSOR'S PARCEL NUMBER: APN: 0812-001
 EXISTING GROUND ELEVATION: FINISH FLOOR OF BUILDING=81.1' AMSL

LESSOR'S LEGAL DESCRIPTION

THE LAND IS SITUATED IN THE COUNTY OF SAN FRANCISCO, STATE OF CALIFORNIA.

NO EASEMENTS DESCRIBED ON SAID DOCUMENT CONFLICT WITH THE PROPOSED PROJECT AREA.

SURVEY DATE

4/22/15

BASIS OF BEARING

BEARINGS SHOWN HEREON ARE BASED UPON U.S. STATE PLANE NAD83 COORDINATE SYSTEM STATE PLANE COORDINATE ZONE 3, DETERMINED BY GPS OBSERVATIONS.

BENCHMARK

ELEVATION ESTABLISHED FROM GPS DERIVED ORTHOMETRIC HEIGHTS, APPLYING GEOID 99 SEPARATIONS, CONSTRAINING TO NGS CONTROL STATION 'LUTZ' ELEVATION=450.0' (NAVDB8)

UTILITY NOTES

SURVEYOR DOES NOT GUARANTEE THAT ALL UTILITIES ARE SHOWN OR THEIR LOCATIONS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND DEVELOPER TO CONTACT U.S.A. AND ANY OTHER INVOLVED AGENCIES TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. REMOVAL, RELOCATION AND/ OR REPLACEMENT IS THE RESPONSIBILITY OF THE CONTRACTOR.

TITLE REPORT

THE TITLE REPORT WAS PROVIDED BY STEWART TITLE OF CALIFORNIA, INC., ORDER NO. 01180-153193, DATED: MARCH 6, 2015. EXCEPTION #2-EASEMENTS IN FAVOR OF ANY PUBLIC UTILITY COMPANY OVER THE PROPERTY.

LEGEND

- P.O.B. POINT OF BEGINNING
- V.C&G VERTICAL CURB AND GUTTER
- R/W RIGHT OF WAY
- AP ASPHALT
- D/W ACCESS DRIVEWAY
- TOP SIDEWALK
- SW TOP OF SLOPE
- TP TOP OF PARAPET
- TW TOP OF WALL
- LOT NUMBER
- GEODETIC COORDINATES
- SPOT ELEVATION
- DISH ANTENNA
- WATER CONTROL VALVE
- FIRE HYDRANT
- GUY CONDUCTOR
- FOUND AS NOTED
- POWER POLE
- LIGHT POLE
- ELECTRICAL TRANSFORMER
- AIR CONDITIONING UNIT
- TELEPHONE PEDESTAL
- TELEPHONE VAULT
- TELEPHONE MANHOLE
- GAS VALVE
- GAS METER
- PROPERTY LINE
- CHAIN LINK FENCE

SURVEYOR'S NOTES

ALL EASEMENTS CONTAINED IN SAID TITLE REPORT AFFECTING THE IMMEDIATE AREA SURROUNDING THE LEASE HAVE BEEN PLOTTED. SURVEYOR HAS NOT PERFORMED A SEARCH OF PUBLIC RECORDS TO DETERMINE ANY DEFECT IN TITLE ISSUED. THE BOUNDARY SHOWN HEREON IS PLOTTED FROM RECORD INFORMATION AND DOES NOT CONSTITUTE A BOUNDARY SURVEY OF THE PROPERTY.



VICINITY MAP
NTB

ISSUE STATUS

REV.	DATE	DESCRIPTION
1	5/23/2015	SITE PLAN
2	1/19/2015	AE DESIGN
3	5/10/2016	REVISED AE DESIGN



HAYES
 Land Surveying
 And Mapping
 2890 MADRIGAN COURT
 CONCORD, CA 94518



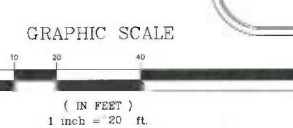
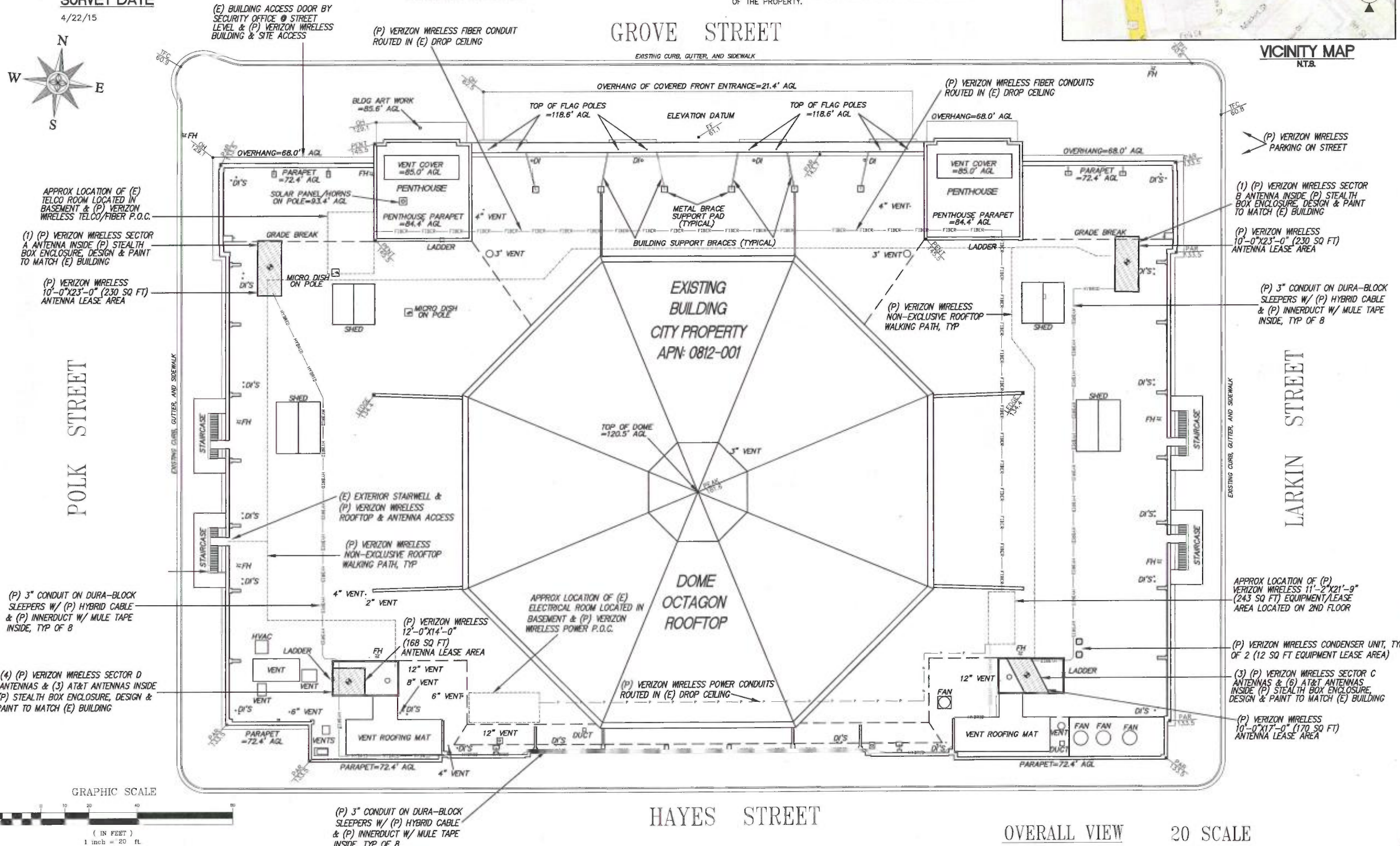
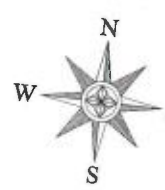
verizon

2785 MITCHELL DRIVE
 WALNUT CREEK, CA. 94598
 OFFICE: 925-279-6000
 (925) 279-6333

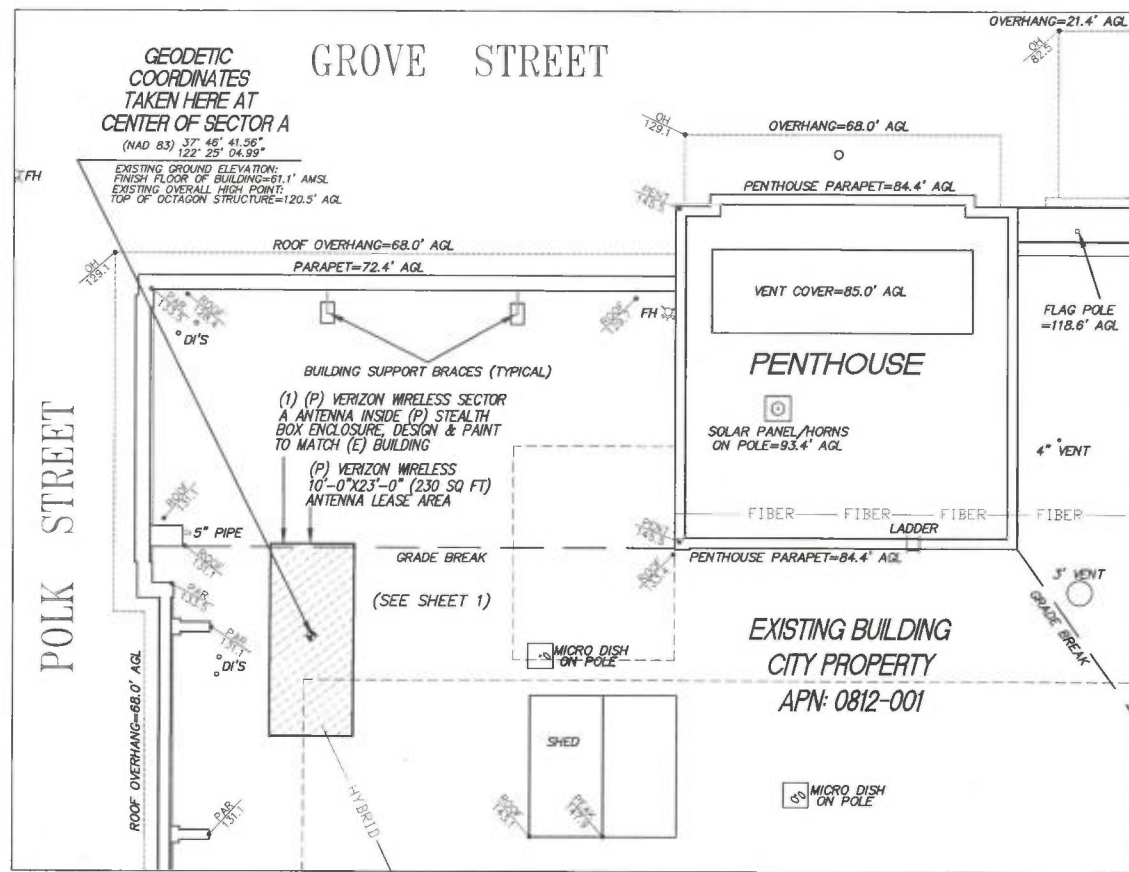
TOPOGRAPHIC SURVEY
 EXISTING CONDITIONS

PSL# 320462
 GROVE ST-MACRO
 99 GROVE STREET
 SAN FRANCISCO, CA 94102

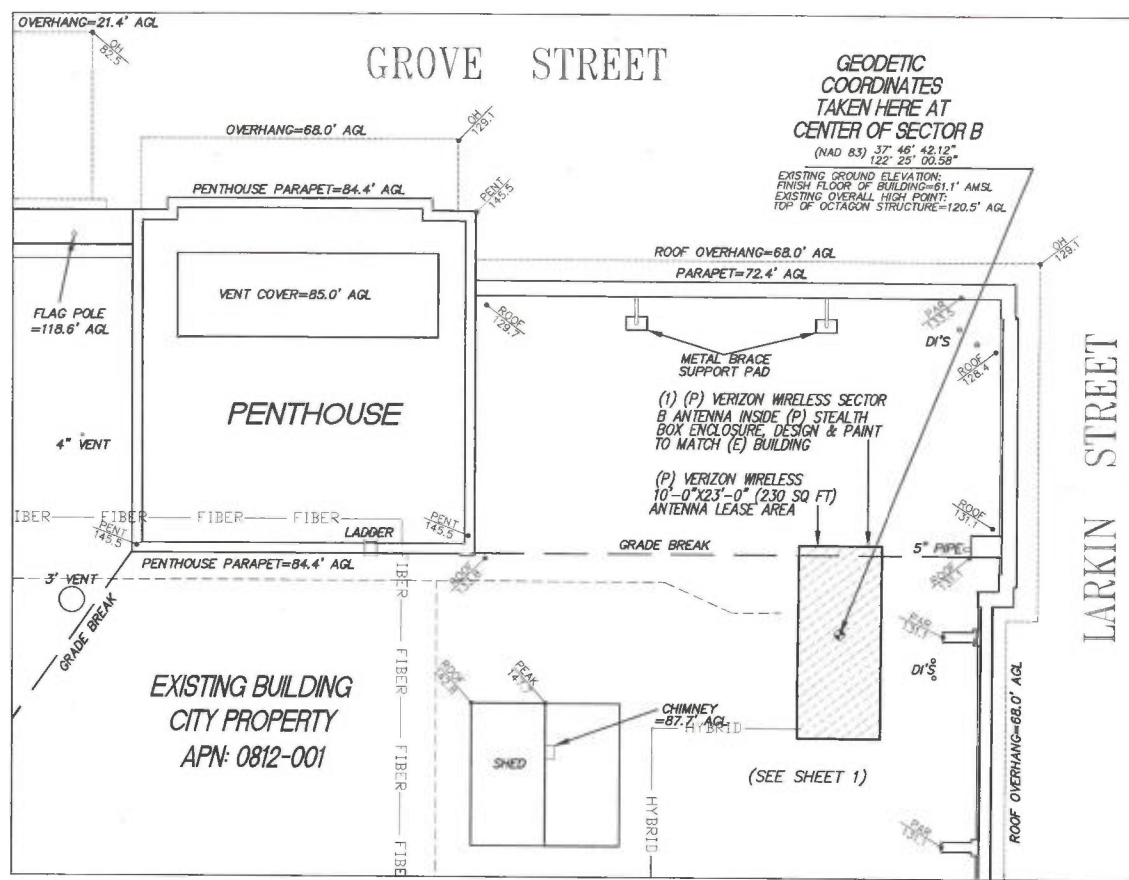
C-1
 SHEET 1 of 2



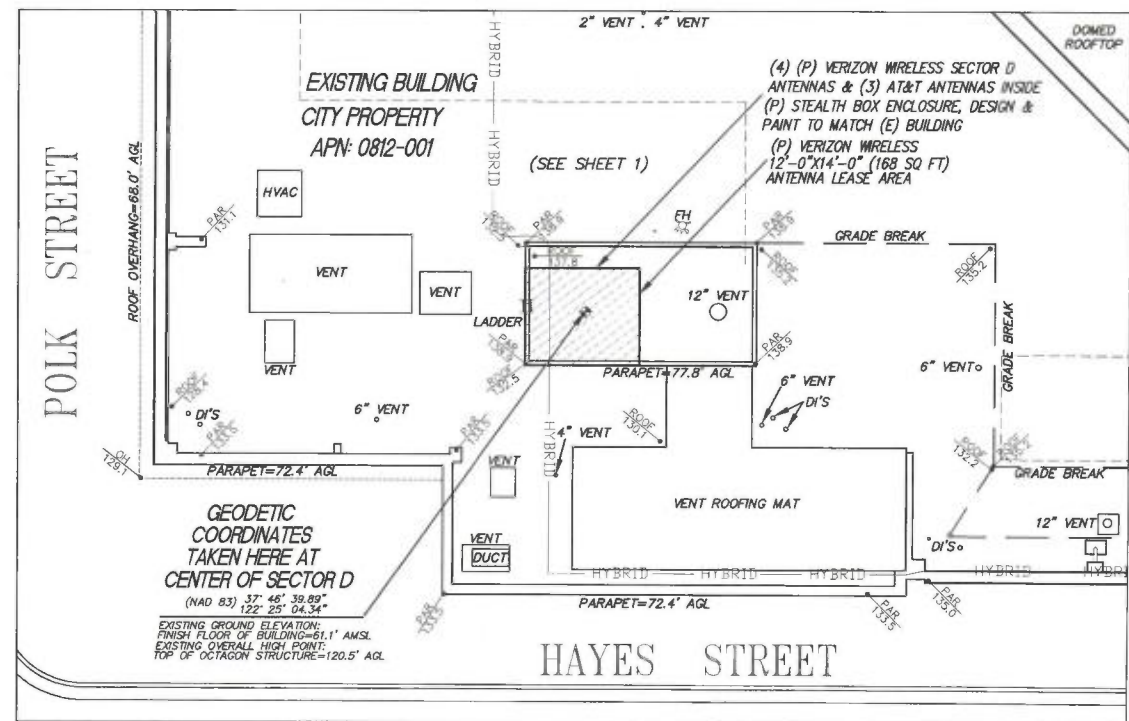
OVERALL VIEW 20 SCALE



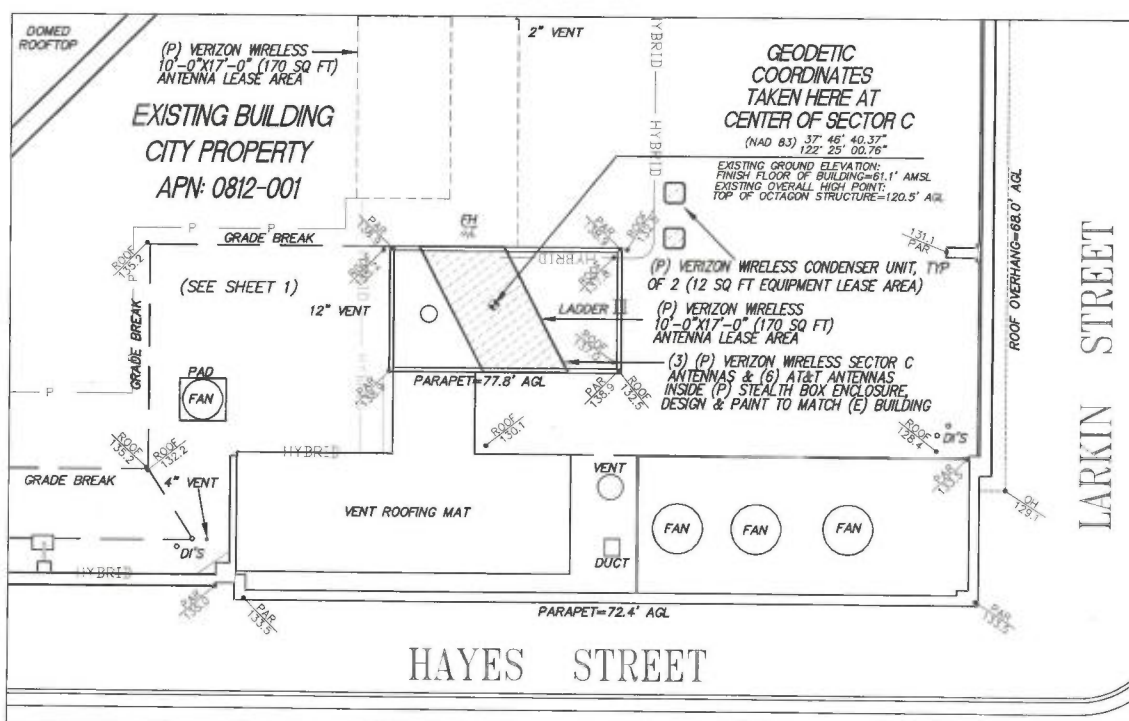
PROJECT AREA
10 SCALE



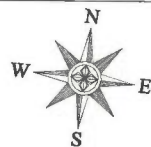
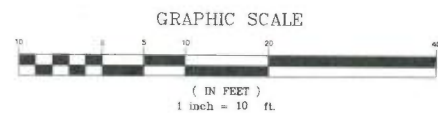
PROJECT AREA
10 SCALE



PROJECT AREA
10 SCALE



PROJECT AREA
10 SCALE



REV.	DATE	DESCRIPTION	ISSUE STATUS
1	5/23/2015	SITE PLAN	ISSUE
2	1/19/2015	AE DESIGN	ISSUE
3	5/10/2016	REVISED AE DESIGN	ISSUE

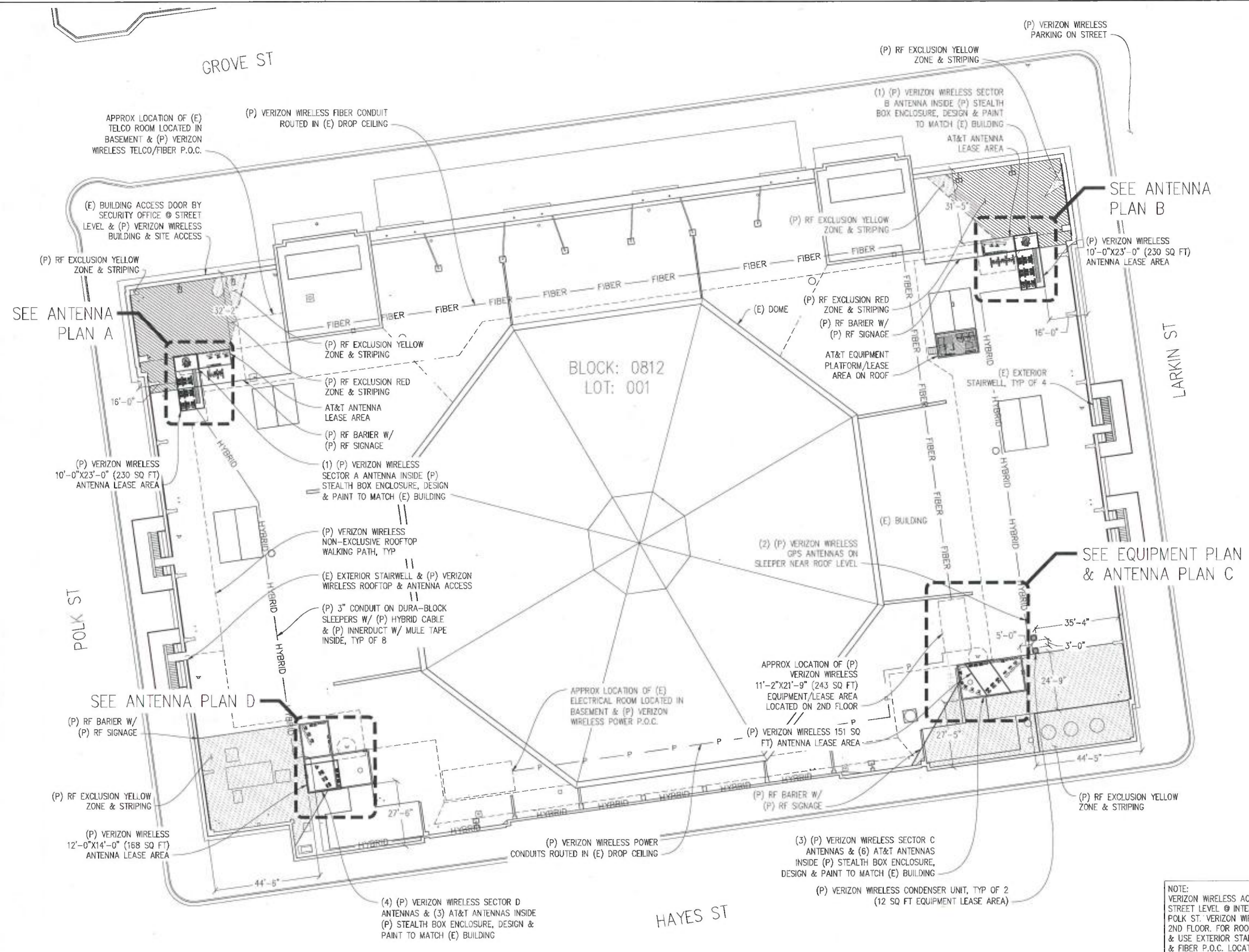


HAYES
 Land Surveying
 And Mapping
 2830 MADISON COURT
 CONCORD, CA 94519

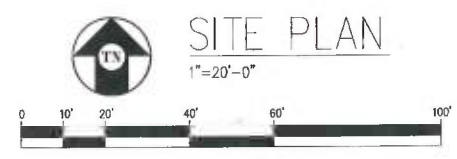


verizon
 2785 MITCHELL DRIVE
 WALNUT CREEK, CA. 94598
 OFFICE: 925-279-6000
 (925) 279-6333

TOPOGRAPHIC SURVEY
 EXISTING CONDITIONS
 PSL# 320482
 GROVE ST-MACRO
 99 GROVE STREET
 SAN FRANCISCO, CA 94102
 C-2
 SHEET 2 of 2



- SECTOR A = (3) 3" CONDUITS W/ (1) HYBRID CABLE PER CONDUIT
- SECTOR B = (3) 3" CONDUITS W/ (1) HYBRID CABLE PER CONDUIT
- SECTOR C = (1) 3" CONDUIT W/ (1) HYBRID CABLE
- SECTOR D = (1) 3" CONDUIT W/ (1) HYBRID CABLE



HYBRID CABLE/CONDUIT LENGTH:

SECTOR A =	APPROX 580'
SECTOR B =	APPROX 320'
SECTOR C =	APPROX 120'
SECTOR D =	APPROX 400'
TOTAL CONDUIT LENGTH = APPROX 1,420'	

NOTE:
 VERIZON WIRELESS ACCESS THROUGH DOOR @ STREET LEVEL @ INTERSECTION OF GROVE ST & POLK ST. VERIZON WIRELESS EQUIPMENT ROOM ON 2ND FLOOR. FOR ROOF ACCESS GO TO 4TH FLOOR & USE EXTERIOR STAIRWELL TO ROOF. ELECTRICAL & FIBER P.O.C. LOCATED IN BASEMENT.

GROVE ST-MACRO
 320462
 99 GROVE ST
 SAN FRANCISCO, CA 94102



Streamline Engineering and Design, Inc.
 8445 Sierra College Blvd, Suite E Granite Bay, CA 95661
 Contact: Larry Houghby Phone: 916-275-4180
 E-Mail: larry@streamlineeng.com Fax: 916-860-1941
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 KEVIN R. SORENSON
 S4469

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	01/14/16	CLIENT REV	C.C.
	02/22/16	CLIENT REV	C.C.
	03/16/16	CLIENT REV	C.C.
	03/18/16	CLIENT REV	M.D.
	05/12/16	CLIENT REV	M.D.
	05/17/16	CLIENT REV	C.C.

DRAWN BY: C. CODY
 CHECKED BY: J. GRAY
 APPROVED BY: -
 DATE: 05/17/16

SHEET TITLE:
 SITE PLAN
SHEET NUMBER:
 A-1

GROVE
ST-
MACRO

320462
99 GROVE ST
SAN FRANCISCO, CA 94102

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2785 MITCHELL DRIVE, BLDG 9
WALNUT CREEK, CA 94598

Streamline Engineering
and Design Inc.

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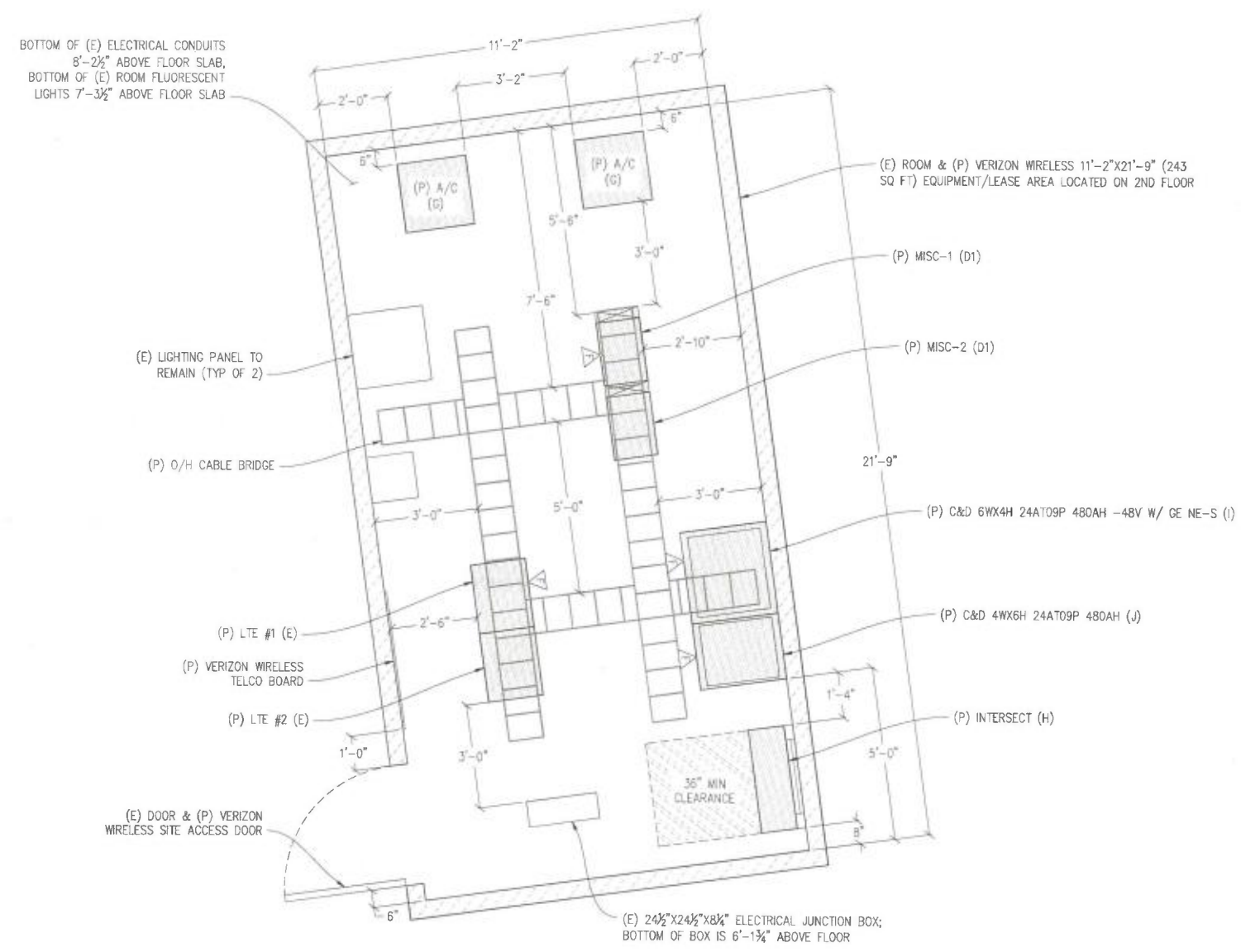
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	05/12/16	CLIENT REV	M.D.
	05/17/16	CLIENT REV	C.C.

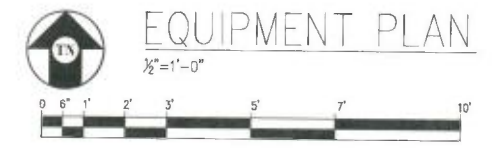
DRAWN BY: C. CODY
CHECKED BY: J. GRAY
APPROVED BY: -
DATE: 05/17/16

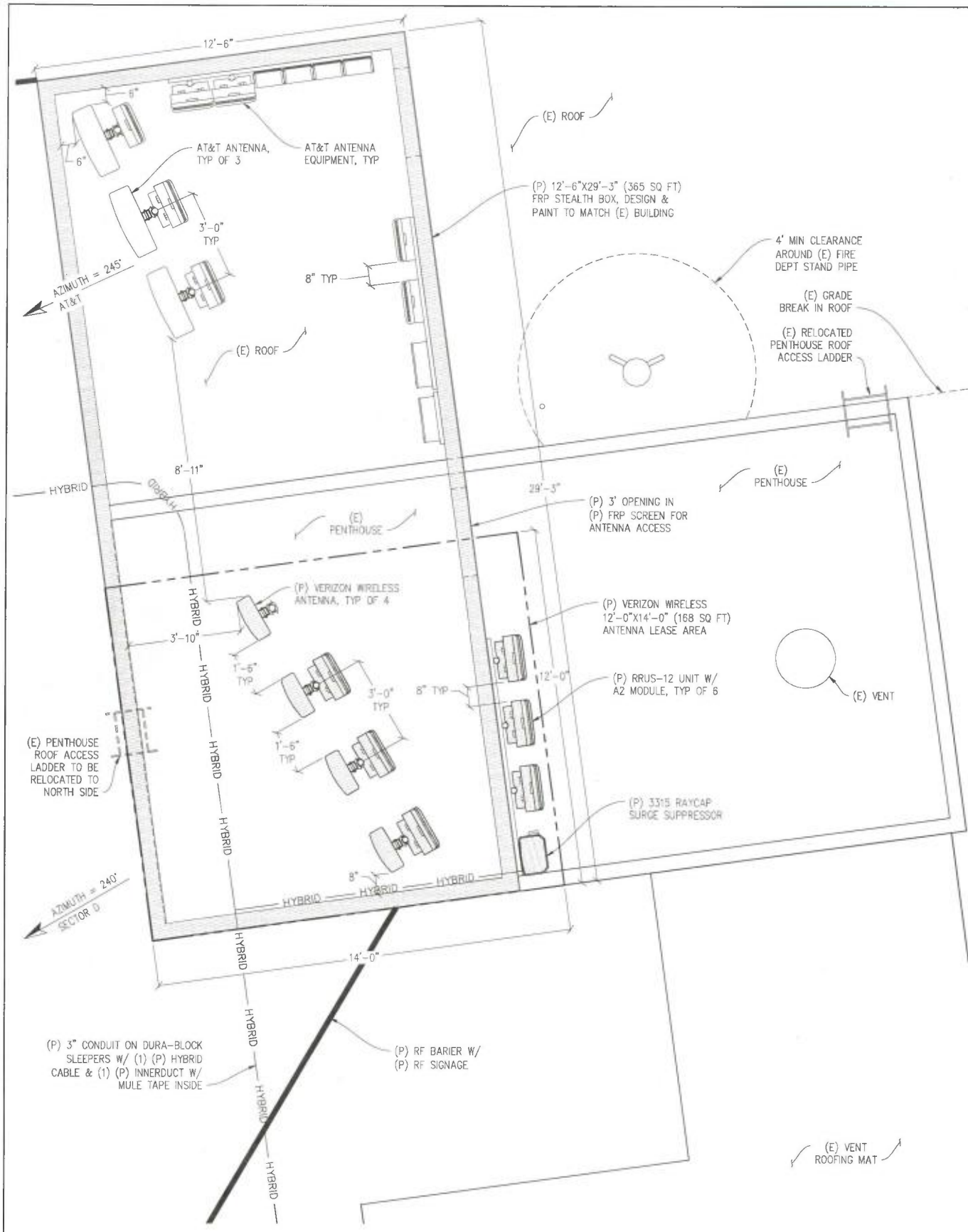
SHEET TITLE:
EQUIPMENT PLAN
SHEET NUMBER:
A-2



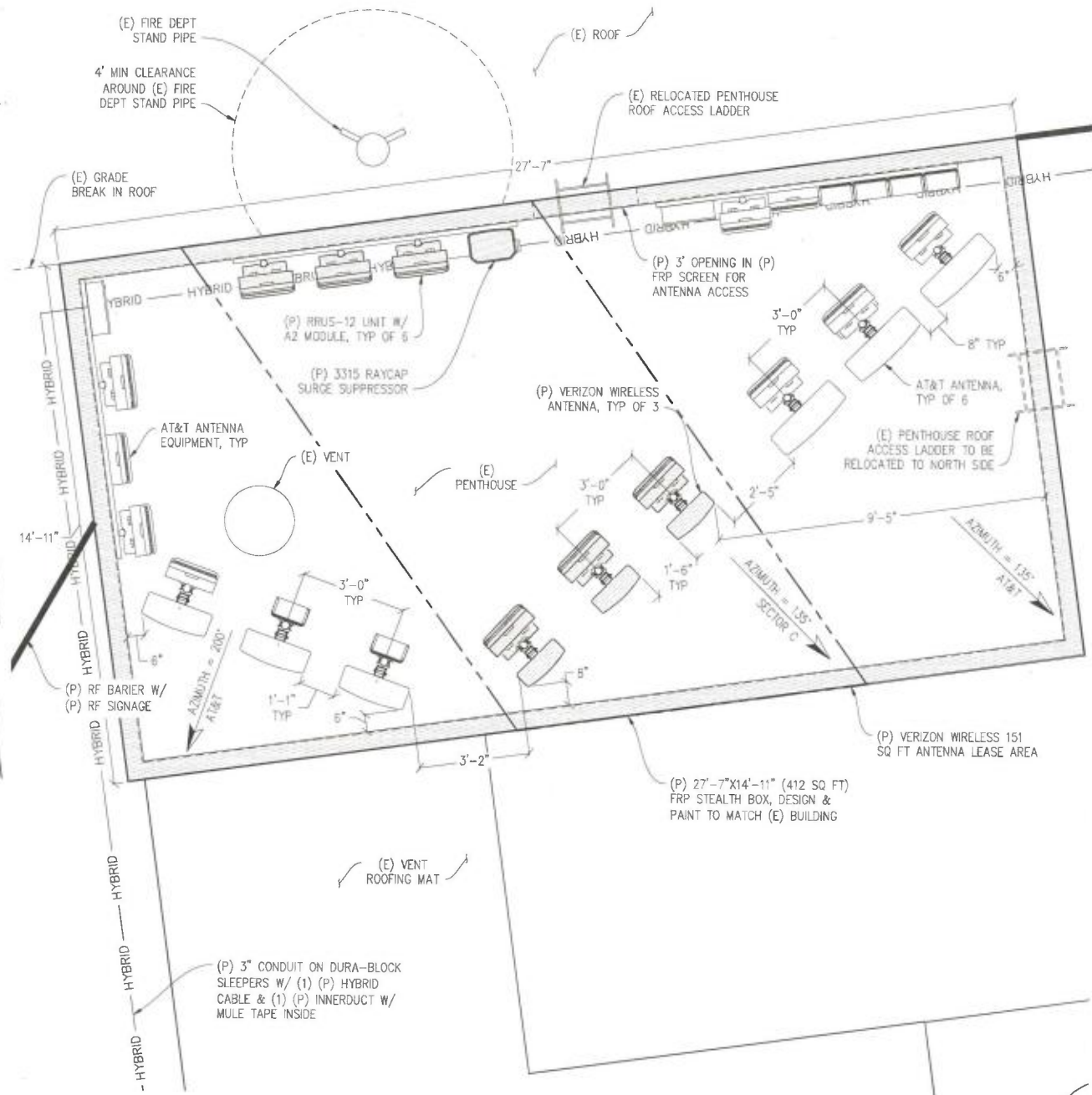
BOTTOM OF (E) ELECTRICAL CONDUITS
8'-2 1/2" ABOVE FLOOR SLAB,
BOTTOM OF (E) ROOM FLUORESCENT
LIGHTS 7'-3 1/2" ABOVE FLOOR SLAB

SYM	WIDTH	DEPTH	HEIGHT
A	2'-2"	1'-9 1/2"	7'-0"
B	2'-1"	1'-3"	7'-0"
C	2'-0"	2'-0"	6'-2"
D	1'-8 1/2"	1'-3"	7'-0"
D1	2'-0 1/2"	1'-3"	7'-0"
E	2'-0"	1'-7"	4'-9"
F	2'-0"	2'-1 1/4"	7'-0"
G	2'-0"	2'-0"	7'-0"
H	2'-6"	3'-6"	7'-0"
I	2'-4"	2'-1 1/4"	7'-0"
J	1'-9"	2'-1 1/4"	5'-3"





ANTENNA PLAN D
 1/2"=1'-0"



ANTENNA PLAN C
 1/2"=1'-0"

GROVE ST-MACRO

320462
 99 GROVE ST
 SAN FRANCISCO, CA 94102



2785 MITCHELL DRIVE, BLDG 9
 WALNUT CREEK, CA 94598



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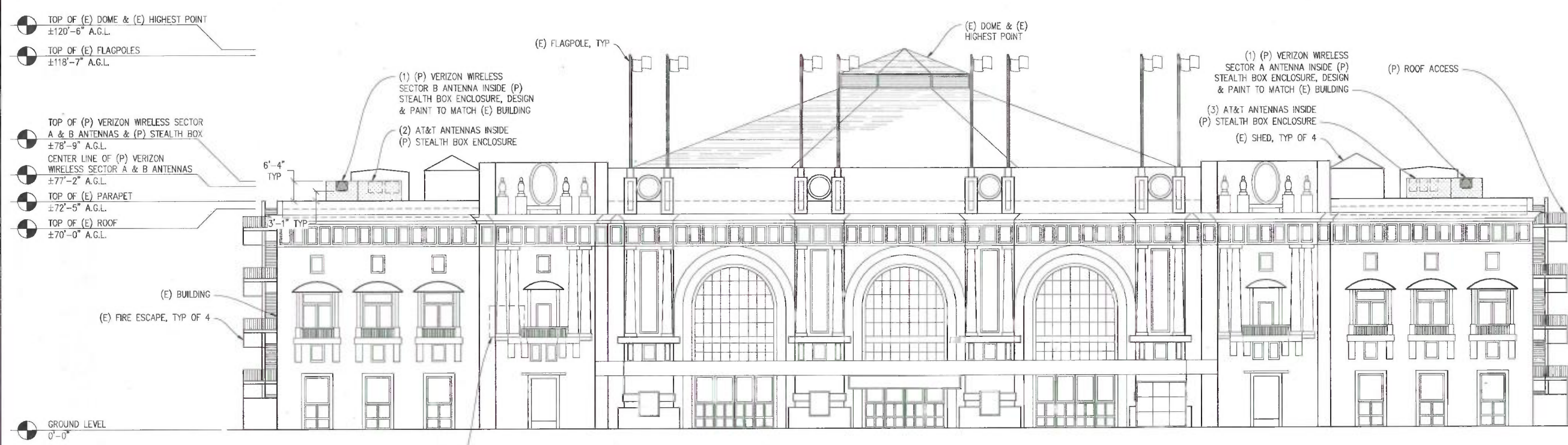
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	03/16/16	CLIENT REV	C.C.
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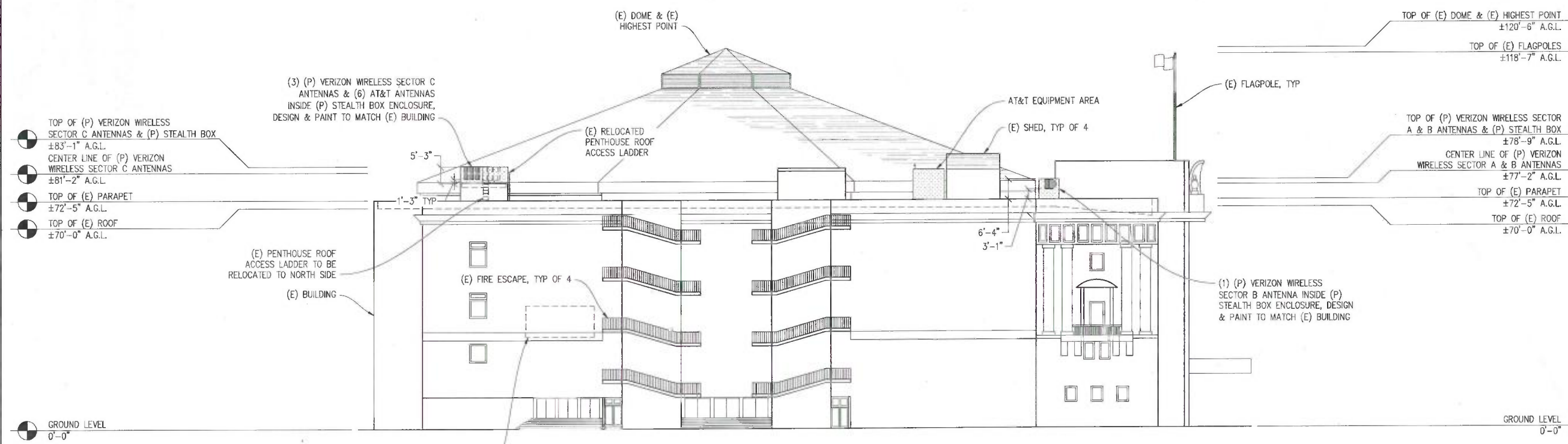
DRAWN BY: C. CODY
 CHECKED BY: J. GRAY
 APPROVED BY: -
 DATE: 05/17/16

SHEET TITLE:
 ANTENNA PLANS
SHEET NUMBER:
 A-4



APPROX LOCATION OF (P) VERIZON WIRELESS
11'-2"x21'-9" (243 SQ FT) EQUIPMENT/LEASE
AREA LOCATED ON 2ND FLOOR

NORTH ELEVATION
1/8" = 1'-0"
VIEW FROM GROVE ST



APPROX LOCATION OF (P) VERIZON WIRELESS
11'-2"x21'-9" (243 SQ FT) EQUIPMENT/LEASE
AREA LOCATED ON 2ND FLOOR

EAST ELEVATION
1/8" = 1'-0"
VIEW FROM LARKIN ST

**GROVE
ST-
MACRO**

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99 GROVE ST
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verizon

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WALNUT CREEK, CA 94598

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Contact: Larry Houghtby Phone: 916-275-4180
E-Mail: larry@streamlineeng.com Fax: 916-860-1941

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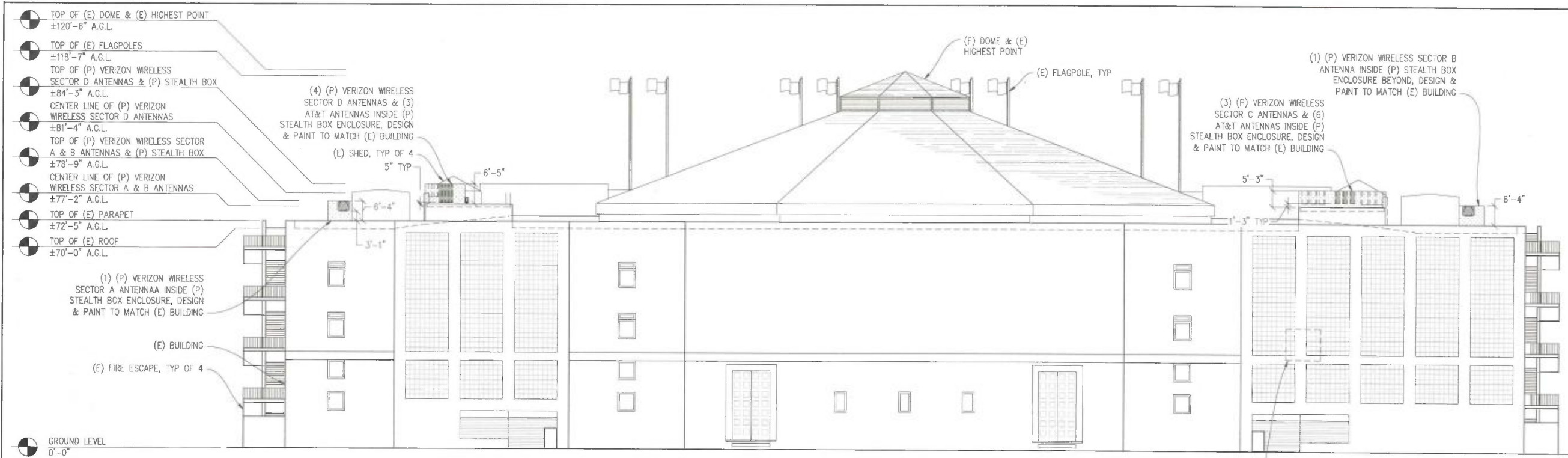
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	02/22/16	CLIENT REV	C.C.
	03/16/16	CLIENT REV	C.C.
	03/18/16	CLIENT REV	M.D.
	05/12/16	CLIENT REV	M.D.
	05/17/16	CLIENT REV	C.C.

DRAWN BY: C. CODY
CHECKED BY: J. GRAY
APPROVED BY: --
DATE: 05/17/16

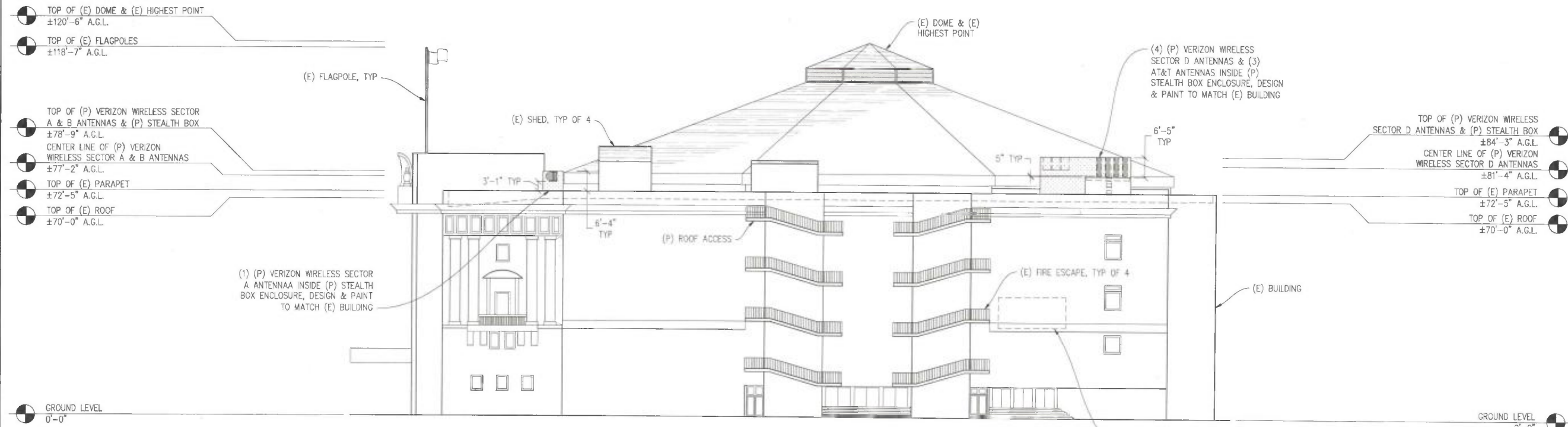
SHEET TITLE:
ELEVATIONS

SHEET NUMBER:
A-5



SOUTH ELEVATION
 1/8"=1'-0"
 VIEW FROM HAYES ST

APPROX LOCATION OF (P) VERIZON WIRELESS
 11'-2"x21'-9" (243 SQ FT) EQUIPMENT/LEASE
 AREA LOCATED ON 2ND FLOOR



WEST ELEVATION
 1/8"=1'-0"
 VIEW FROM POLK ST

APPROX LOCATION OF (P) VERIZON WIRELESS
 11'-2"x21'-9" (243 SQ FT) EQUIPMENT/LEASE
 AREA LOCATED ON 2ND FLOOR

**GROVE
 ST-
 MACRO**
 320462
 99 GROVE ST
 SAN FRANCISCO, CA 94102

verizon
 2785 MITCHELL DRIVE, BLDG 9
 WALNUT CREEK, CA 94598

**Streamline Engineering
 and Design, Inc.**
 8445 Sierra College Blvd, Suite E Granite Bay, CA 95661
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 E-Mail: larry@streamlineeng.com Fax: 916-860-1941
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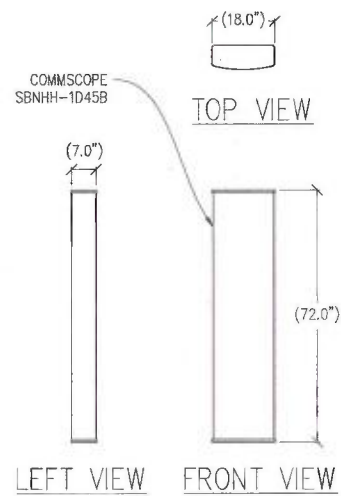
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 S4469

ISSUE STATUS

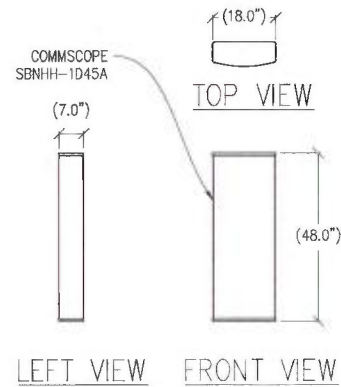
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	03/16/16	CLIENT REV	C.C.
	03/18/16	CLIENT REV	M.D.
	05/12/16	CLIENT REV	M.D.
	05/17/16	CLIENT REV	C.C.

DRAWN BY: C. CODY
 CHECKED BY: J. GRAY
 APPROVED BY: -
 DATE: 05/17/16

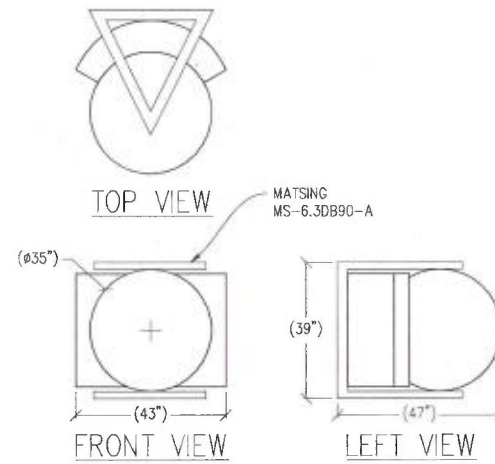
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 ELEVATIONS
SHEET NUMBER:
 A-6



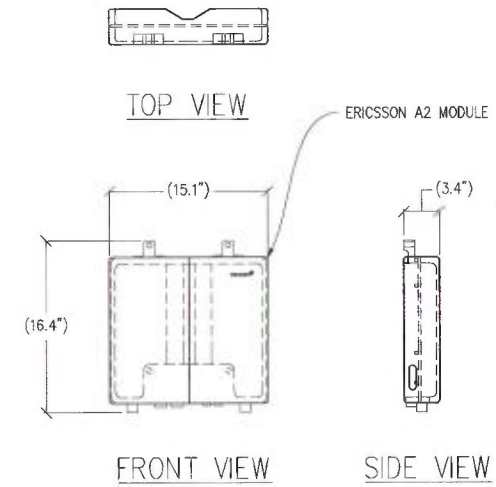
1 ANTENNA DETAIL (SECTOR D)
 $\frac{1}{2}''=1'-0''$ MAX WEIGHT: 64.4 LBS



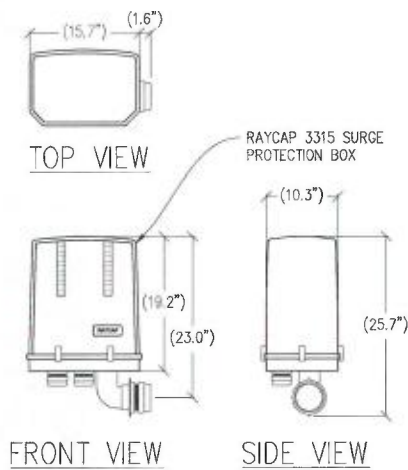
2 ANTENNA DETAIL (SECTOR C)
 $\frac{1}{2}''=1'-0''$ MAX WEIGHT: 50.5 LBS



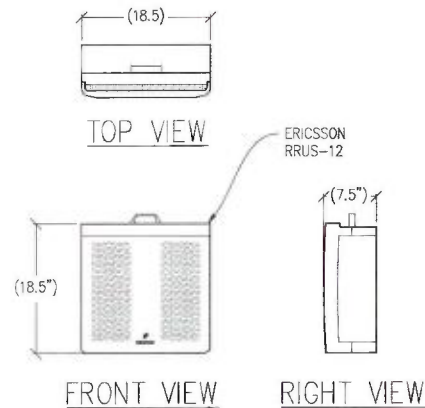
3 ANTENNA DETAIL (SECTORS A & B)
 $\frac{1}{2}''=1'-0''$ MAX WEIGHT: 132 LBS



4 A2 MODULE DETAIL
 $\frac{1}{2}''=1'-0''$ MAX WEIGHT: 22 LBS



5 SURGE PROTECTION BOX
 $1''=1'-0''$ MAX WEIGHT: 21.5 LBS



6 RRUS-12 DETAIL
 $1''=1'-0''$ MAX WEIGHT: 57.5 LBS

GROVE
ST-
MACRO

320462
99 GROVE ST
SAN FRANCISCO, CA 94102

verizon

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S4469

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	02/22/16	CLIENT REV	C.C.
	03/16/16	CLIENT REV	C.C.
	03/18/16	CLIENT REV	M.D.
	05/12/16	CLIENT REV	M.D.
	05/17/16	CLIENT REV	C.C.

DRAWN BY: C. CODY

CHECKED BY: J. GRAY

APPROVED BY: -

DATE: 05/17/16

SHEET TITLE:

DETAILS

SHEET NUMBER:

A-7

CONDITIONAL USE AUTHORIZATION:
2016-001881CUA



at&t

BILL GRAHAM CIVIC AUDITORIUM
99 GROVE ST
SAN FRANCISCO, CA 94102
CCU2159

BILL GRAHAM CIVIC AUDITORIUM

CCU2159
99 GROVE ST
SAN FRANCISCO, CA 94102

ISSUE STATUS

Δ	DATE	DESCRIPTION	BY
	10/17/15	ZD 90%	C.C.
	10/29/15	ZD 95%	C.C.
	11/25/15	ZD 100%	C.C.
	12/05/15	CLIENT REV	B.S.
	05/13/16	CLIENT REV	C.C.

DRAWN BY: C. CODY
CHECKED BY: L. HOUGHTBY
APPROVED BY: J. SPORE
DATE: 05/13/16

Streamline Engineering and Design, Inc.
8445 Sierra College Blvd, Suite E, Granite Bay, CA 95749
Contact: Larry Houghtby Phone: 916-275-4180
E-Mail: larry@streamlineeng.com Fax: 916-660-1941

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PRELIMINARY:
NOT FOR
CONSTRUCTION
KEVIN R. SORENSEN
S4469

at&t
5001 EXECUTIVE PKWY, 4W550H
SAN RAMON, CA 94583

PROJECT DESCRIPTION

- A (P) AT&T UNMANNED TELECOMMUNICATION FACILITY CONSISTING OF INSTALLING:
- (14) (P) ANTENNAS
 - (23) (P) & (37) (F) RRU UNITS (60 TOTAL)
 - (7) (P) & (7) (F) A2 MODULES (14 TOTAL)
 - (P) AT&T 12'-0"X10'-0" (120 SQ FT) STEEL EQUIPMENT PLATFORM/LEASE AREA LOCATED ON ROOF W/ EQUIPMENT
 - (2) (P) GPS ANTENNAS
 - (4) (P) INNERDUCTS W/ (P) FIBER & DC CABLES
 - (4) (P) STEALTH BOX ENCLOSURES

PROJECT INFORMATION

SITE NAME:	BILL GRAHAM CIVIC AUDITORIUM	SITE #:	CCU2159
COUNTY:	SAN FRANCISCO	JURISDICTION:	CITY & COUNTY OF SAN FRANCISCO
BLOCK/LOT:	0812-001	POWER:	PG&E
SITE ADDRESS:	99 GROVE ST SAN FRANCISCO, CA 94102	TELEPHONE:	AT&T
CURRENT ZONING:	P-PUBLIC		
CONSTRUCTION TYPE:	V-B		
OCCUPANCY TYPE:	U, (UNMANNED COMMUNICATIONS FACILITY)		
HEIGHT/BULK:	80-X		
PROPERTY OWNER:	CITY OF SAN FRANCISCO 25 VAN NESS AVE SAN FRANCISCO, CA 94102		
APPLICANT:	AT&T 5001 EXECUTIVE PKWY, 4W550H SAN RAMON, CA 94583		
LEASING CONTACT:	SHORE 2 SHORE WIRELESS INC ATTN: CHRIS HATCH (916) 259-2590	CONSTRUCTION CONTACT:	ATTN: MAJID MORADI (415) 696-9400
ZONING CONTACT:	SHORE 2 SHORE WIRELESS INC ATTN: CHRIS HATCH (916) 259-2590	LATITUDE:	N 37° 46' 42.16" NAD 83
		LONGITUDE:	W 122° 25' 00.45" NAD 83
		AMSL:	±61.1'

VICINITY MAP



DRIVING DIRECTIONS

FROM: 5001 EXECUTIVE PKWY, 4W550H, SAN RAMON, CA 94583
TO: 99 GROVE ST, SAN FRANCISCO, CA 94102

- START OUT GOING SOUTHEAST ON CAMINO RAMON TOWARD BISHOP DR. 0.4 MI
- TAKE THE 2ND RIGHT ONTO BOLLINGER CANYON RD. 0.4 MI
- MERGE ONTO I-680 N TOWARD SACRAMENTO. 10.9 MI
- MERGE ONTO CA-24 W VIA EXIT 46A TOWARD OAKLAND / LAFAYETTE. 13.4 MI
- TAKE EXIT 2B TOWARD I-580 / SAN FRANCISCO / HAYWARD. 0.3 MI
- MERGE ONTO I-580 W. 1.2 MI
- MERGE ONTO I-80 W VIA EXIT 19A ON THE LEFT (PORTIONS TOLL). 7.9 MI
- TAKE EXIT 1C TOWARD CIVIC CENTER / 9TH ST. 0.2 MI
- MERGE ONTO HARRISON ST. 0.1 MI
- TAKE THE 2ND RIGHT ONTO 9TH ST. 0.5 MI
- TURN SLIGHT RIGHT ONTO LARKIN ST. 0.08 MI
- TURN LEFT ONTO GROVE ST. 0.09 MI

END AT: 99 GROVE ST, SAN FRANCISCO, CA 94102
ESTIMATED TIME: 38 MINUTES ESTIMATED DISTANCE: 35.48 MILES

CODE COMPLIANCE

ALL WORK & MATERIALS SHALL BE PERFORMED & INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES:

- 2013 CALIFORNIA ADMINISTRATIVE CODE, PART 1, TITLE 24 C.C.R.
- 2013 CALIFORNIA BUILDING CODE (CBC), PART 2, TITLE 24 C.C.R. (2012 INTERNATIONAL BUILDING CODE VOLUMES 1-2 AND 2013 CALIFORNIA AMENDMENTS)
- 2013 CALIFORNIA ELECTRICAL CODE (CEC), PART 3, TITLE 24 C.C.R. (2011 NATIONAL ELECTRICAL CODE AND 2013 CALIFORNIA AMENDMENTS)
- 2013 CALIFORNIA MECHANICAL CODE (CMC) PART 4, TITLE 24 C.C.R. (2012 UNIFORM MECHANICAL CODE AND 2013 CALIFORNIA AMENDMENTS)
- 2013 CALIFORNIA PLUMBING CODE (CPC), PART 5, TITLE 24 C.C.R. (2012 UNIFORM PLUMBING CODE AND 2013 CALIFORNIA AMENDMENTS)
- 2013 CALIFORNIA ENERGY CODE (CEC), PART 6, TITLE 24 C.C.R.
- 2013 CITY OF SAN FRANCISCO FIRE CODE (2012 INTERNATIONAL FIRE CODE AND 2013 CALIFORNIA AMENDMENTS)
- 2013 CALIFORNIA GREEN BUILDING STANDARDS CODE, PART 11, TITLE 24 C.C.R.
- 2013 CALIFORNIA REFERENCED STANDARDS, PART 12, TITLE 24 C.C.R.
- ANSI/EIA-TIA-222-G

ALONG WITH ANY OTHER APPLICABLE LOCAL & STATE LAWS AND REGULATIONS

DISABLED ACCESS REQUIREMENTS

THIS FACILITY IS UNMANNED & NOT FOR HUMAN HABITATION. DISABLED ACCESS & REQUIREMENTS ARE NOT REQUIRED IN ACCORDANCE WITH CALIFORNIA STATE BUILDING CODE, TITLE 24 PART 2, SECTION 11B-203.4

SHEET INDEX

SHEET	DESCRIPTION	REV
T-1	TITLE SHEET	-
C-1	TOPOGRAPHIC SURVEY	-
C-2	TOPOGRAPHIC SURVEY	-
A-1	SITE PLAN	-
A-2	EQUIPMENT PLAN & DETAILS	-
A-3	ANTENNA PLANS	-
A-4	ANTENNA PLANS	-
A-5	ELEVATIONS	-
A-6	ELEVATIONS	-
A-7	DETAILS	-

APPROVAL

RF
LEASING
ZONING
CONSTRUCTION
AT&T

DESIGN CRITERIA

RISK CATEGORY: III	ROOF LIVE LOAD: N/A	FLOOR LIVE LOAD: N/A	ALLOW SOIL BEARING: N/A
WIND EXPOSURE: B	DESIGN WIND SPEED: V _{ULT} : 115 MPH, (V _{ASS} : 85 MPH)		
SITE CLASS: D	SEISMIC DESIGN CATEGORY: D	SEISMIC COMPONENT I _{ps} : 1.0	S _{ps} : 1.000 S _f : 1.0 a _p : 1.0 R _p : 2.5

TESTS AND SPECIAL INSPECTIONS

STREAMLINE ENGINEERING & DESIGN, INC. DOES NOT REQUIRE ANY STRUCTURAL OBSERVATION OR SPECIAL INSPECTION OF ANY STRUCTURAL COMPONENT ABOVE & BEYOND WHAT IS LISTED BELOW UNLESS OTHERWISE REQUIRED BY JURISDICTION.

PROVIDE COMPLETE TESTING AND INSPECTIONS IN ACCORDANCE WITH THE CBC, CHAPTER 17 AS NOTED BELOW.

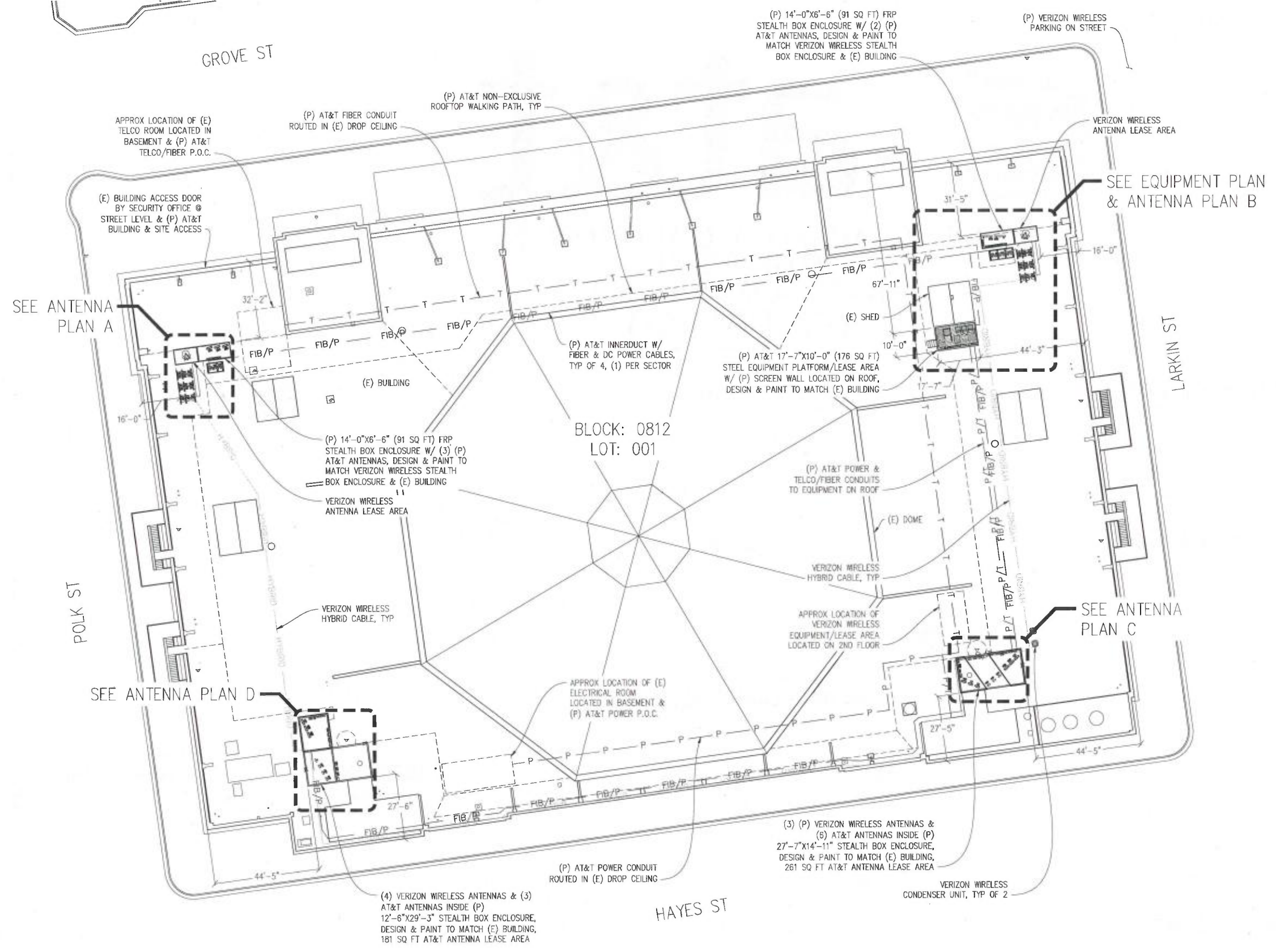
- POST INSTALLED ANCHORS IN ACCORDANCE WITH CURRENT ICC REPORTS FOR THE SPECIFIED ANCHORAGES.

SHEET TITLE:

TITLE

SHEET NUMBER:

T-1



SITE PLAN

1"=20'-0"



NOTE: (P) AT&T POWER & TELCO/FIBER ROUTES WILL BE FINALIZED IN CD

NOTE:
 AT&T ACCESS THROUGH DOOR @ STREET LEVEL @ INTERSECTION OF GROVE ST & POLK ST. FOR AT&T ROOF ACCESS TO EQUIPMENT & ANTENNAS GO TO 4TH FLOOR & USE EXTERIOR STAIRWELL TO ROOF. ELECTRICAL & FIBER P.O.C. LOCATED IN BASEMENT.

BILL GRAHAM CIVIC AUDITORIUM

CCU2159
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 SAN FRANCISCO, CA 94102

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10/17/15	ZD 90%	C.C.
10/29/15	ZD 95%	C.C.
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12/05/15	CLIENT REV	B.S.
05/13/16	CLIENT REV	C.C.

DRAWN BY: C. CODY
 CHECKED BY: L. HOUGHTBY
 APPROVED BY: J. SPORE
 DATE: 05/13/16

Streamline Engineering
 and
am Design, Inc.

8445 Sierra College Blvd, Suite E Granite Bay, CA 95746
 Contact: Larry Houghtby Phone: 916-275-4180
 E-Mail: larry@streamlineeng.com Fax: 916-660-1941

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KEVIN R. SORENSEN
 S4469

at&t

5001 EXECUTIVE PKWY., 4W550H
 SAN RAMON, CA 94583

SHEET TITLE:
 SITE PLAN

SHEET NUMBER:
 A-1

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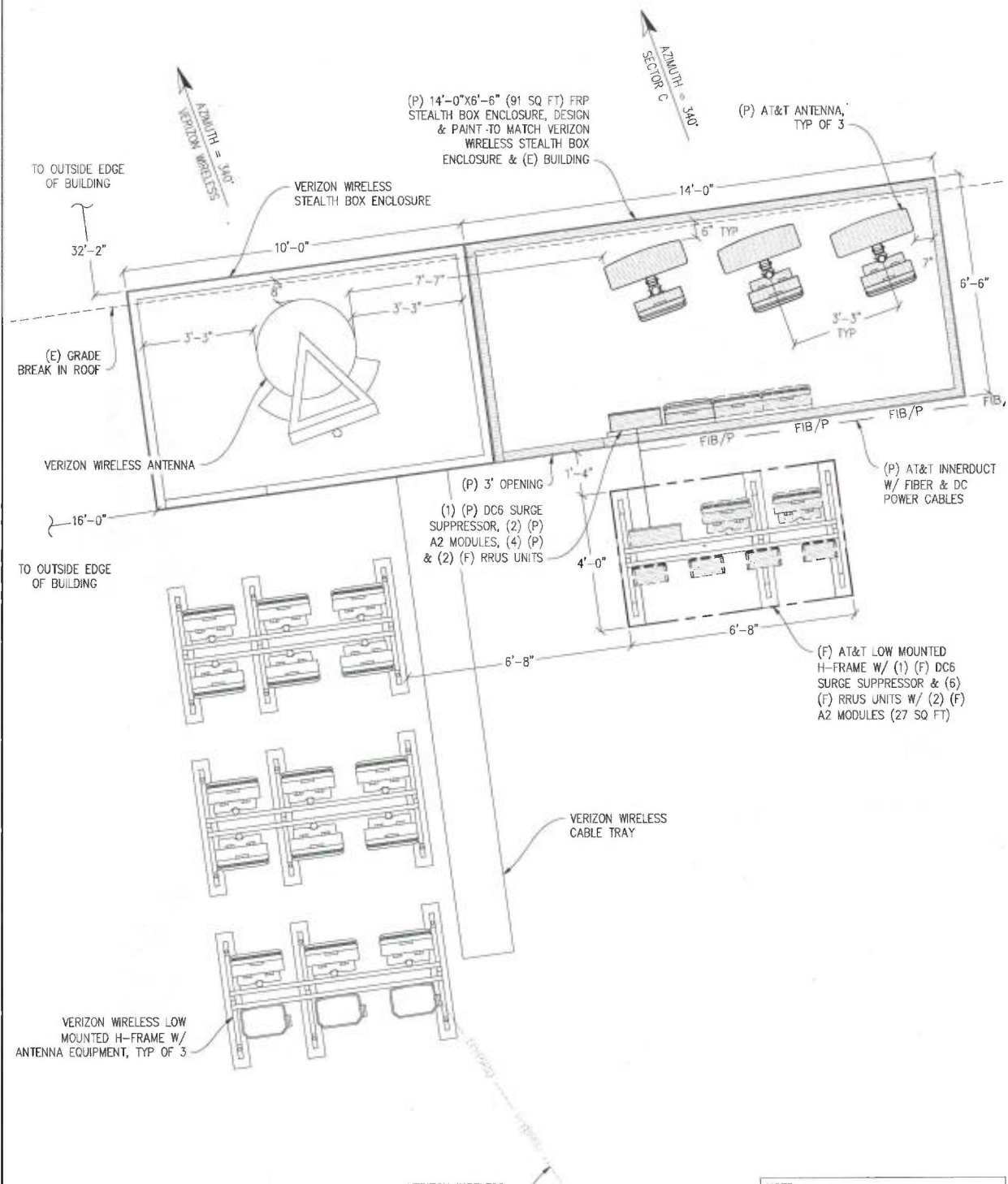
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SAN RAMON, CA 94583

SHEET TITLE:

ANTENNA PLANS

SHEET NUMBER:

A-3



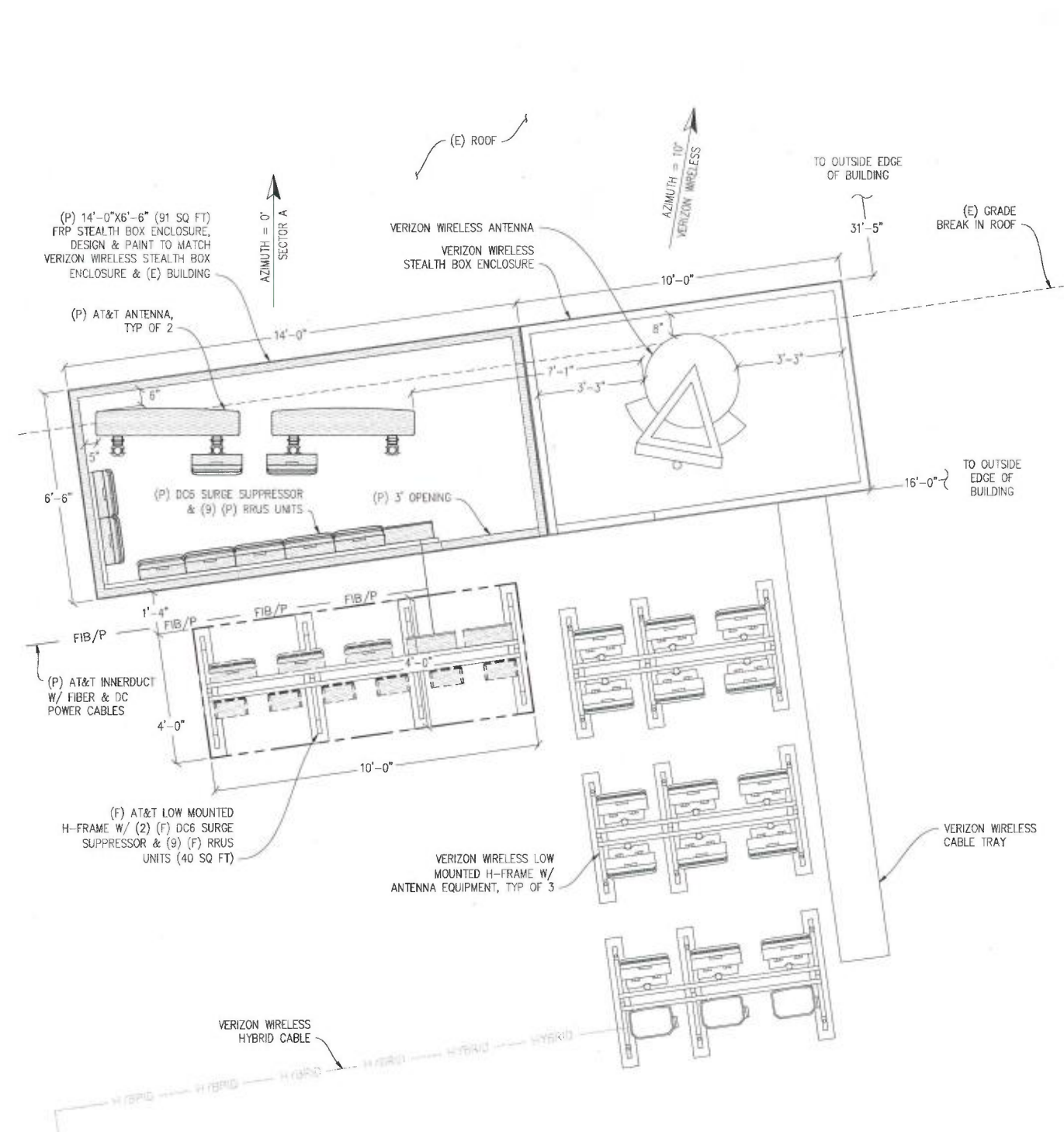
ANTENNA PLAN A

1/2"=1'-0"

NOTE:
RRUS UNITS ARE TO BE STAGGERED WHEN
8" SEPARATION IS NOT POSSIBLE.

ANTENNA EQUIPMENT:

- (4) (P) RRU UNITS
- (8) (F) RRU UNITS
- (2) (P) A2 MODULES
- (2) (F) A2 MODULES



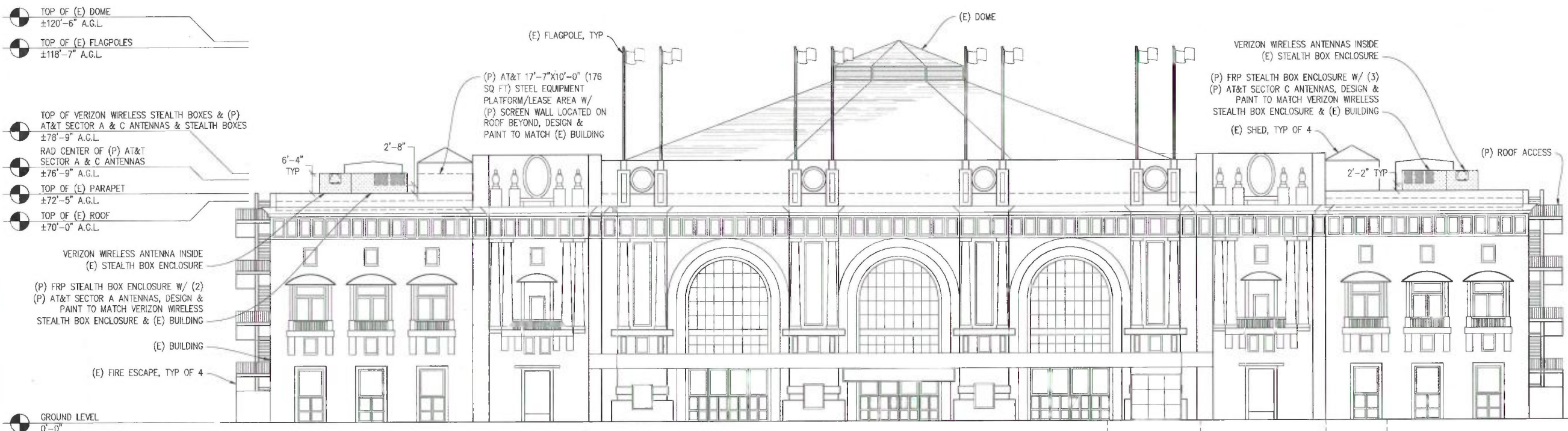
ANTENNA PLAN B

1/2"=1'-0"

NOTE:
RRUS UNITS ARE TO BE STAGGERED WHEN
8" SEPARATION IS NOT POSSIBLE.

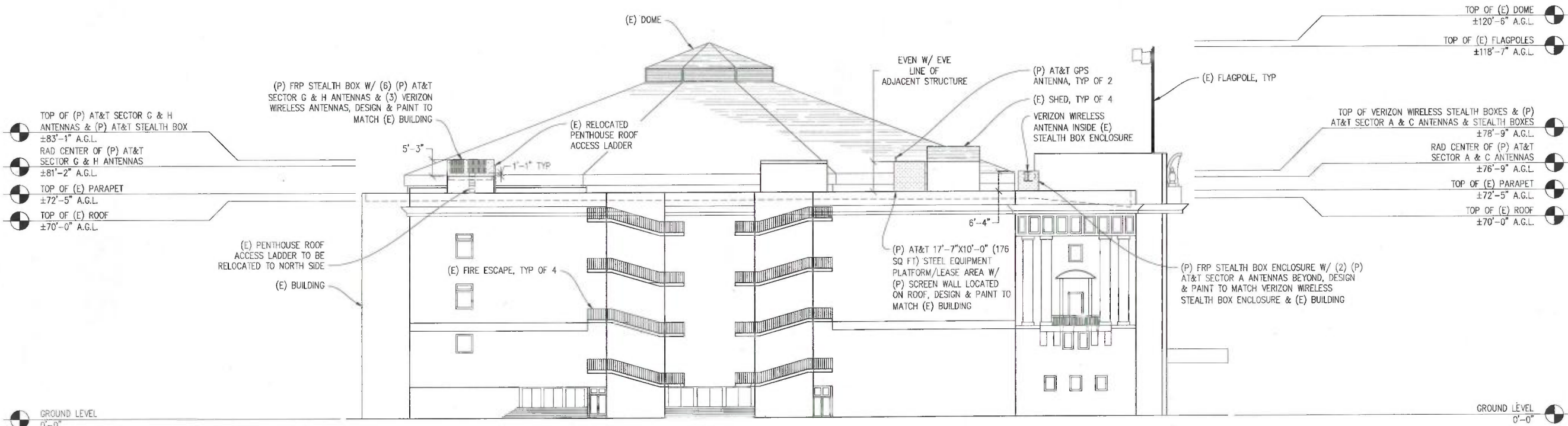
ANTENNA EQUIPMENT:

- (9) (P) RRU UNITS
- (9) (F) RRU UNITS



NORTH ELEVATION
1/16"=1'-0"

VIEW FROM GROVE ST



EAST ELEVATION
1/16"=1'-0"

VIEW FROM LARKIN ST

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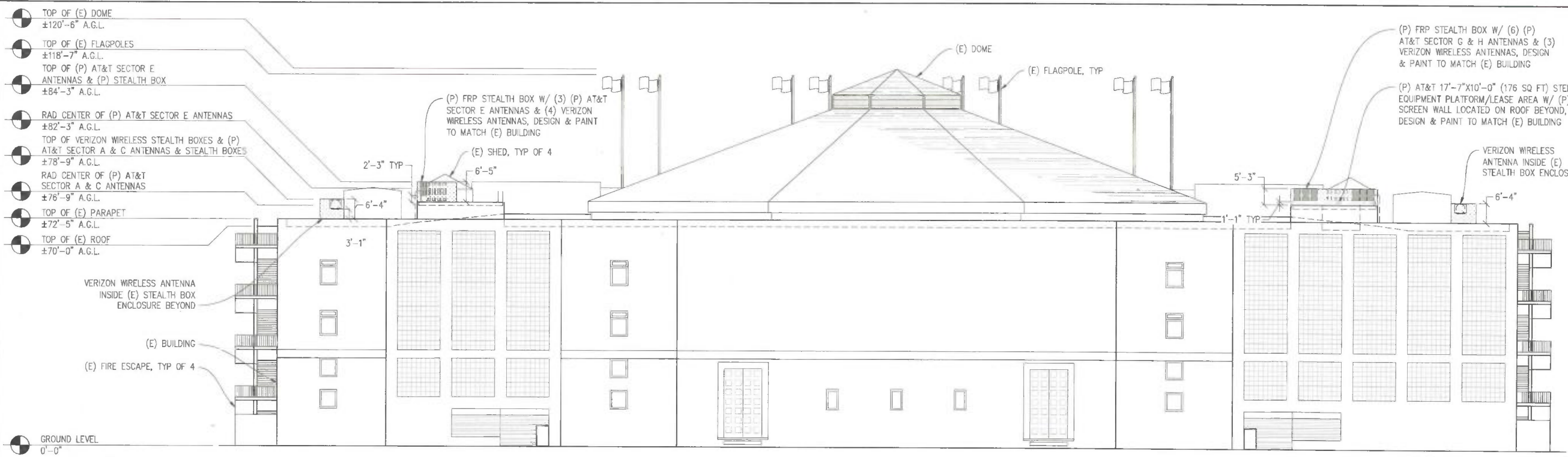
DRAWN BY: C. CODY
CHECKED BY: L. HOUGHTBY
APPROVED BY: J. SPORE
DATE: 05/13/16

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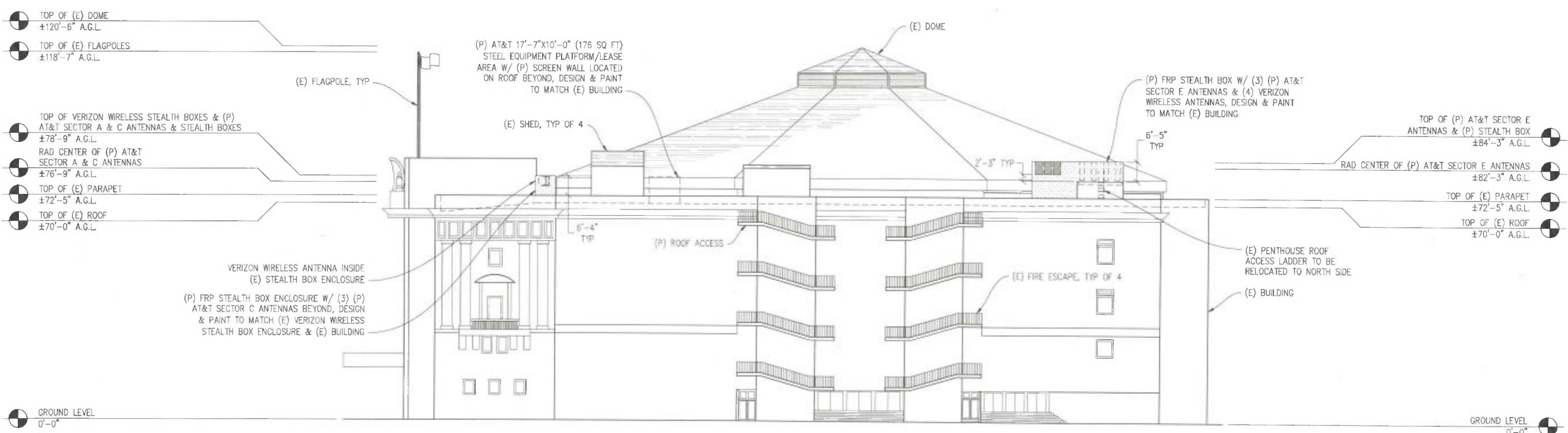
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SAN RAMON, CA 94583

SHEET TITLE:
ELEVATIONS
SHEET NUMBER:
A-5



SOUTH ELEVATION
 $\frac{1}{16}'' = 1'-0''$

VIEW FROM HAYES ST



WEST ELEVATION
 $\frac{1}{16}'' = 1'-0''$

VIEW FROM POLK ST

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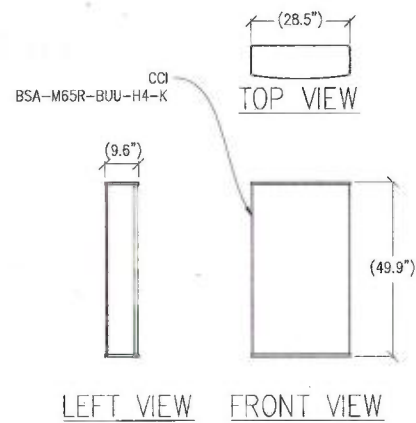
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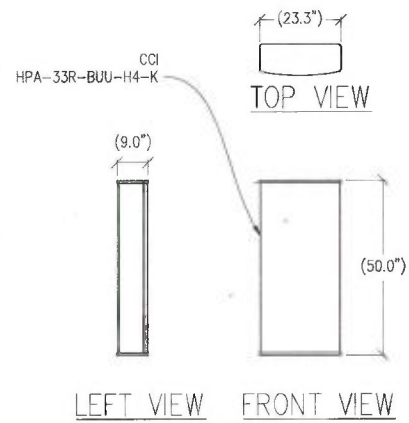
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 SAN RAMON, CA 94583

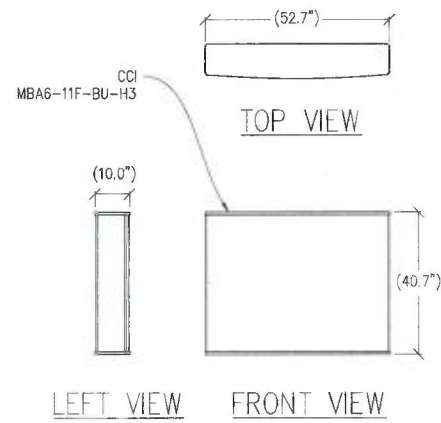
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 ELEVATIONS
 SHEET NUMBER:
A-6



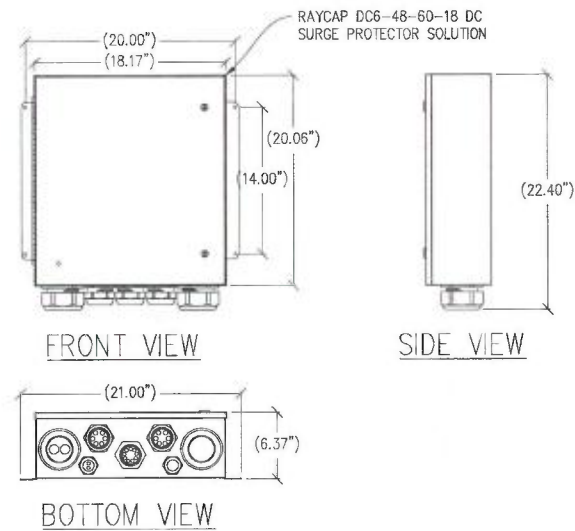
1 ANTENNA DETAIL
 $\frac{1}{2}''=1'-0''$ MAX WEIGHT: 75.0 LBS



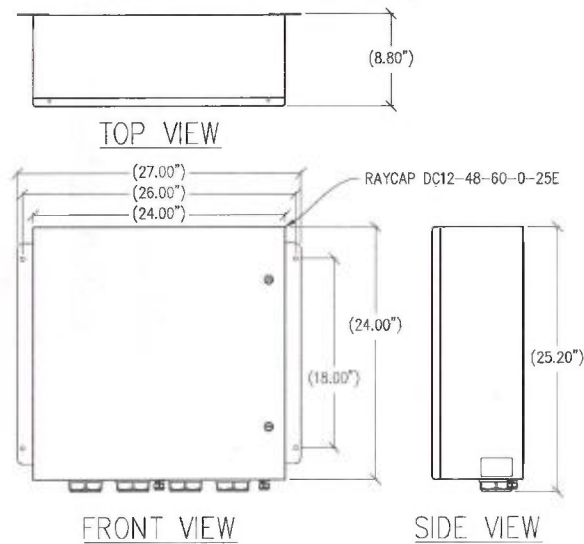
2 ANTENNA DETAIL
 $\frac{1}{2}''=1'-0''$ MAX WEIGHT: 50.0 LBS



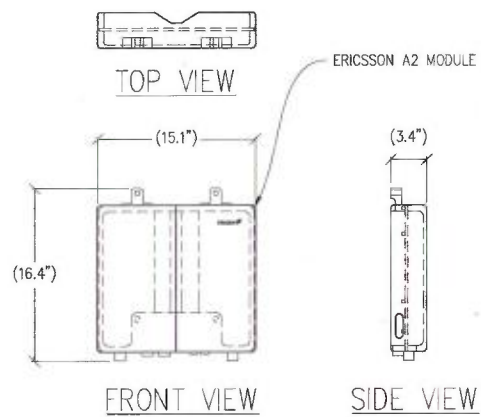
3 ANTENNA DETAIL
 $\frac{1}{2}''=1'-0''$ MAX WEIGHT: 115.0 LBS



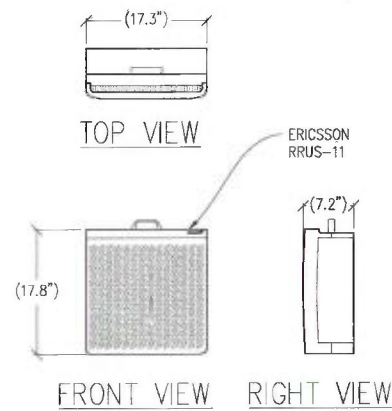
4 SURGE SUPPRESSION DETAIL
 $1\frac{1}{2}''=1'-0''$ MAX WEIGHT: 43.5 LBS



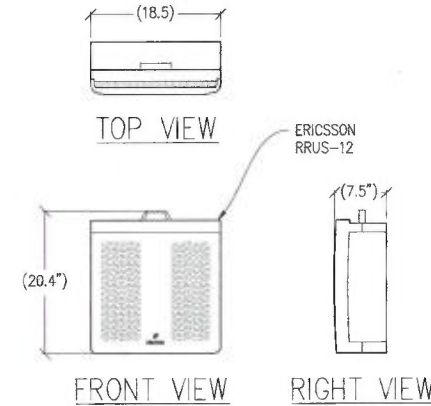
5 SURGE SUPPRESSION DETAIL
 $1\frac{1}{2}''=1'-0''$ MAX WEIGHT: 56.3 LBS



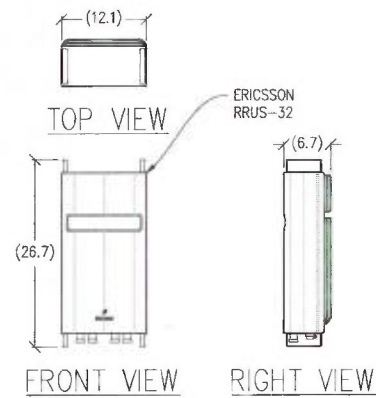
6 A2 MODULE DETAIL
 $1\frac{1}{2}''=1'-0''$ MAX WEIGHT: 22 LBS



7 RRUS-11 DETAIL
 $1''=1'-0''$ MAX WEIGHT: 50 LBS



8 RRUS-12 DETAIL
 $1''=1'-0''$ MAX WEIGHT: 50 LBS



9 RRUS-32 DETAIL
 $1''=1'-0''$ MAX WEIGHT: 60 LBS

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 CONSTRUCTION
 KEVIN R. SORENSEN
 54469



5001 EXECUTIVE PKWY, 4W550H
 SAN RAMON, CA 94583

SHEET TITLE:

DETAILS

SHEET NUMBER:

A-7

CONSTRUCTION NOTES

- EXISTING BUILDING CONSTRUCTION CONDITIONS INDICATED ON THE DRAWINGS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO PROCEEDING WITH CONSTRUCTION OR ORDERING OF MATERIALS. IF EXISTING CONDITIONS DO NOT ALLOW FOR DETAILS OF CONSTRUCTION AS SHOWN ON THESE DRAWINGS, NOTIFY ENGINEER OF RECORD FOR RESOLUTION PRIOR TO PROCEEDING. CONTRACTOR SHALL EXPOSE AND REVIEW EXISTING CONDITIONS IN A TIMELY MANNER SUCH THAT ALTERNATE DESIGNS OR DETAILS, IF REQUIRED, MAY BE GENERATED WITHOUT DELAY TO THE PROJECT.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL NOT ALTER, DAMAGE OR REMOVE ANY PART OF THE EXISTING STRUCTURE UNLESS SPECIFICALLY DETAILED ON THESE DRAWINGS.
- THE INTENT OF THESE DRAWINGS IS THAT THE WORK OF THE ADDITION, ALTERATION, REHABILITATION, OR RECONSTRUCTION IS TO BE IN ACCORDANCE WITH THE 2013 CBC. SHOULD ANY EXISTING CONDITIONS SUCH AS DETERIORATION OR NONCOMPLYING CONSTRUCTION BE DISCOVERED WHICH IS NOT COVERED BY THE CONTRACT DOCUMENTS WHEREIN THE FINISHED WORK WILL NOT COMPLY WITH THE 2013 CBC, A CHANGE ORDER, OR A SEPARATE SET OF PLANS AND SPECIFICATIONS, DETAILING AND SPECIFYING THE REQUIRED WORK SHALL BE PREPARED AND SUBMITTED TO AND APPROVED BY THE BUILDING DEPARTMENT PRIOR TO PROCEEDING WITH THE WORK.
- ALL WORK AND MATERIALS SHOWN ARE NEW UNLESS INDICATED AS EXISTING (E).
- IT MAY BE NECESSARY TO REMOVE ARCHITECTURAL FINISHES, PLUMBING PIPES AND FIXTURES, ELECTRICAL CONDUIT, FIXTURES, PANELS, BOXES, TELEPHONE OR FIRE ALARM WIRING AND FIXTURES OR OTHER NON-STRUCTURAL ITEMS TO INSTALL STRUCTURAL WORK AND MATERIALS SHOWN ON THESE DRAWINGS. SUCH ITEMS SHALL BE REMOVED, REPAIRED AND/OR REPLACED TO MATCH PRE-CONSTRUCTION CONDITIONS AT THE CONTRACTOR'S EXPENSE.
- ALL WEATHER PROOFING, INCLUDING BUT NOT LIMITED TO TORCH DOWN, CAULKING, Z-FLASHING OR ANY OTHER MATERIAL THAT MAY BE ALTERED DURING INSTALLATION SHALL BE REPAIRED REPLACED AND/OR MODIFIED TO ENSURE THE BUILDING AT THE INSTALLATION SITE IS WEATHER PROOF.
- ANY PROPOSED SUBSTITUTIONS FOR STRUCTURAL MEMBERS, HARDWARE, ANCHOR TYPES, OR DETAILING INDICATED IN THESE DRAWINGS SHALL BE SUBMITTED TO AND REVIEWED BY THE ENGINEER OF RECORD PRIOR TO ORDERING MATERIALS. SUCH REVIEW SHALL BE BILLED ON A TIME AND MATERIALS BASIS TO THE CONTRACTOR WITH NO GUARANTEE THAT THE SUBSTITUTION WILL BE ALLOWED.

STRUCTURAL STEEL NOTES

- ALL STEEL CONSTRUCTION INCLUDING FABRICATION, ERECTION AND MATERIALS SHALL COMPLY WITH ALL REQUIREMENTS OF THE AISC SPECIFICATION FOR THE DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS AND THE 2013 CBC.
- ALL STRUCTURAL STEEL SHALL BE ASTM A36 UNLESS OTHERWISE NOTED. ALL WF (WIDE FLANGE) & WT (TEE) SHAPES TO BE ASTM A992 (F_y=50,000 PSI) UNLESS NOTED OTHERWISE. ALL STRUCTURAL TUBING (TS OR HSS) SHALL BE ASTM A500 GRADE B (F_y=46,000 PSI). ALL STEEL PIPE SHALL BE ASTM A53 (TYPE E OR S, GRADE B (F_y=35,000 PSI)) SCHEDULE 40 WITH OUTSIDE DIAMETERS GIVEN UNLESS OTHERWISE NOTED.
- ALL WELDING SHALL BE PERFORMED USING E70XX ELECTRODES AND SHALL CONFORM TO AISC & AWS D1.1. WHERE FILLET WELD SIZES ARE NOT SHOWN PROVIDE THE MINIMUM SIZE PER TABLE J2.4 IN THE AISC SPECIFICATION. PAINTED SURFACES SHALL BE TOUCHED UP.
- ALL WELDING SHALL BE PERFORMED BY QUALIFIED, CERTIFIED WELDERS.
- BOLTS SHALL BE GALVANIZED ASTM A325 MINIMUM. BOLTED CONNECTIONS SHALL BE BEARING TYPE. SEE PLANS FOR LOCATION, NUMBER, & SIZE OF BOLTS. SPECIAL INSPECTION NOT REQUIRED U.O.N.
- THREADED RODS SHALL BE ASTM F593 CW 304/316 STAINLESS STEEL. BOLTED CONNECTIONS SHALL BE BEARING TYPE. SEE PLANS FOR LOCATION, NUMBER, & SIZE OF BOLTS.
- ALL HOLES FOR BOLTED CONNECTIONS SHALL BE 1/16" LARGER THAN THE NOMINAL BOLT DIAMETER. USE STANDARD AISC GAGE AND PITCH FOR BOLTS EXCEPT AS NOTED OTHERWISE. HOLES FOR ANCHOR BOLTS IN BASE PLATES MAY BE AISC "OVERSIZE" HOLES WHERE ACCOMPANIED BY OVERSIZED HARDENED HDG WASHERS.
- ALL SHOP FABRICATED STEEL STRUCTURAL MEMBERS FOR EXTERIOR USE SHALL BE HOT DIP GALVANIZED PER ASTM A123 AFTER FABRICATION & PAINTED PER CUSTOMER SPECIFICATIONS AS REQUIRED. STEEL FOR INTERIOR USE SHALL BE SHOP COAT OR GALVANIZED & PAINTED PER PLAN.
- ALL FIELD FABRICATED GALVANIZED STEEL THAT IS CUT, GROUND, DRILLED, WELDED OR DAMAGED SHALL BE TREATED WITH "ZINC RICH" COLD GALVANIZING SPRAY OR COATING. NO RAW STEEL SHALL BE EXPOSED.
- AT ALL WEB STIFFENER PLATES LEAVE 3/4" (OR K, WHICHEVER IS LARGER) HOLE @ WEB/FLANGE INTERSECTION UNLESS NOTED OTHERWISE.

LIGHT GAUGE METAL FRAMING

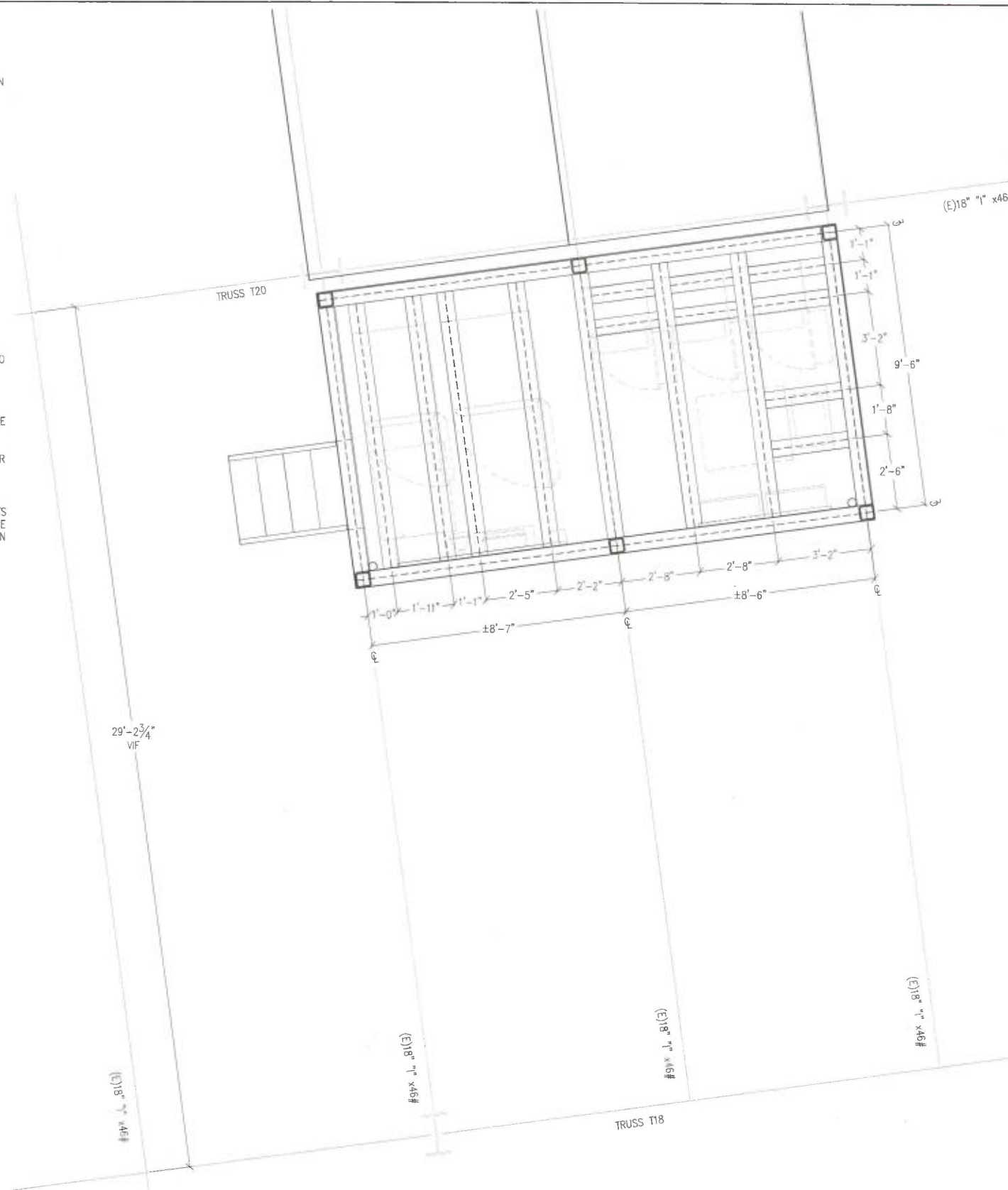
- ALL LIGHT GAUGE METAL FRAMING SHALL BE PER THE REQUIREMENTS OF THE 2013 CBC AND THE NORTH AMERICAN SPECIFICATION FOR THE DESIGN OF COLD-FORMED STEEL STRUCTURAL MEMBERS OF THE AMERICAN IRON AND STEEL INSTITUTE (AISI-NAS-07 PER CBC CHAPTER 35)
- ALL METAL FRAMING SHALL BE FORMED FROM GALVANIZED STEEL CONFORMING TO ASTM A653 OR ASTM A1011 WITH MINIMUM YIELD STRENGTH OF 33KSI FOR 43 MILS (18GA) AND LIGHTER 50KSI FOR 54 MILS (16 GA) AND HEAVIER, U.O.N. FULLY ENCLOSED WORK OF 14GA OR THICKER MAY BE ASTM A653 SHOP COAT.
- GALVANIZED COATING MUST MEET THE ASTM C955 SPECIFICATION.
- METAL TRACKS SHALL BE THE SAME GAUGE AS FRAMING WHICH IT SUPPORTS, UNLESS NOTED OTHERWISE WITH MINIMUM FLANGE WIDTH OF 1 1/4" AND MINIMUM PROPERTIES AS SHOWN IN THE LIGHT GAUGE METAL FRAMING SCHEDULE.
- ALL WELDING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CBC AND THE STRUCTURE WELDING CODE-SHEET STEEL OF THE AMERICAN WELDING SOCIETY (AWS D1.3 PER CBC CHAPTER 35).
- FACTORY PUNCH-OUTS FOR STUDS TO BE LOCATED ONLY ALONG THE CENTERLINE OF THE WEBS OF THE MEMBERS AND HAVE A MINIMUM CENTER-TO-CENTER SPACING OF 24". PUNCH-OUTS TO HAVE A MAXIMUM WIDTH=HALF THE MEMBER DEPTH (D/2) OR 2 1/2", WHICHEVER IS LESS, AND A MAXIMUM LENGTH=4 1/2". LIGHT GAUGE FRAMING MEMBERS SHALL BE CUT SUCH THAT THE MINIMUM DISTANCE BETWEEN THE END OF THE MEMBER AND THE NEAR EDGE OF THE WEB PUNCH-OUT=10".
- ALL HEADER, JOIST & BEAM MEMBERS SHALL BE UN-PUNCHED.
- ALL SCREWS SHALL BE TEK/STRAXX SELF-DRILLING SCREWS BY ITW BUILDX, OR APPROVED EQUIVALENT. INSTALL PER MANUFACTURERS INSTRUCTIONS AND RECOMMENDATIONS FOR MAXIMUM RATED LOADING CAPACITIES.
- ALL SCREWS SHALL BE HOT DIPPED GALVANIZED.

FRP NOTES

- FRAMING MEMBERS IN FRONT OF ANTENNA HORIZONTAL BEAM WIDTH SHALL BE ASSEMBLED W/ FRP STRUCTURAL MEMBERS & FASTENERS ONLY.
- FRP STRUCTURAL FRAMING MEMBERS ARE TO HAVE THE FOLLOWING MINIMUM DESIGN SPECIFICATIONS:
F_b LONGWISE FLEXURAL STRESS W/ F.S.=3.0 10 KSI
E MODULUS OF ELASTICITY 2600 KSI
- FRP PANELS ARE TO HAVE THE FOLLOWING MINIMUM SPECIFICATIONS:
F_b CROSSWISE FLEXURAL STRESS W/ F.S.=3.0 5 KSI
CROSSWISE FLEXURAL MODULUS 1100 KSI
- FRP BOLTING MINIMUM SINGLE SHEAR ALLOWABLE VALUES:
3/4" 3/8 NYLON BOLT; V=67# FS=3.0
1/2" FRP THREADED ROD & NUT; V=650# FS=4.0
3/8" FRP THREADED ROD & NUT; V=950# FS=4.0
- PRIME & PAINT ALL FRP SURFACES PER THE FOLLOWING PROCESS:
A. CLEAN SCREEN W/ DENATURED ALCOHOL
B. APPLY BONDOZ BONDING PRIMER OR EQUIV. LET CURE 24 HRS.
C. APPLY DRYWIT DPR FINISH TO MATCH (E) BLDG FINISH TEXTURE.
D. PAINT TO MATCH EXISTING BLDG FINISH COLOR.

ROOFING & WATERPROOFING NOTES:

- CONTRACTOR SHALL JOINTLY GUARANTEE THE FINISHED INSTALLATION AS WEATHER TIGHT AND FREE DRAINING ON COMPLETION DIRECTLY TO THE BUILDING OWNER & TO THE WIRELESS CARRIER FOR ALL WORK SHOWN HEREIN.
- ALL WORK SHALL BE PERFORMED IN SUB-UNITS SUCH THAT CUT OPEN WEATHERPROOFING SYSTEMS ARE REPAIRED PERMANENTLY OR TEMPORARILY IN DEFENSE OF ANY INCLEMENT WEATHER AS MAY OCCUR DURING CONSTRUCTION. WHEREVER PENETRATION OF PROPRIETARY WEATHERPROOFING SYSTEMS OCCURS, THE CONTRACTOR SHALL EMPLOY SUBCONTRACTORS APPROVED FOR APPLICATION OF SAID SYSTEM AND WITH MINIMUM OF 3 YEARS EXPERIENCE WITH THE APPLICABLE PRODUCT(S) AND ITS(THEIR) APPLICATION (e.g. DRY-VIT, GAKO-FLEX DECKING &/OR ROOFING, SINGLE-PLY ROOFING SYSTEMS (VARIOUS), ETC.).
- WHERE APPLICABLE THE CONTRACTOR SHALL EMPLOY THE BUILDING OWNER'S ROOFING CONTRACTOR FOR ALL PATCHWORK.
- CONTRACTOR IS RESPONSIBLE TO INVESTIGATE ALL WEATHERPROOFING REQUIREMENTS FOR THE WORK SHOWN HEREIN PRIOR TO SUBMITTING A BID, AND SHALL NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES IN DETAILS SHOWN THAT MAY RESULT IN STANDARDER WEATHERPROOFING IN THE FINISHED ASSEMBLY.



STRUCTURAL FRAMING PLAN
1/2" = 1'-0"

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DRAWN BY: C. CODY
CHECKED BY: L. HOUGHTBY
APPROVED BY: J. SPORE
DATE: 05/13/16

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STRUCTURAL NOTES & PLAN

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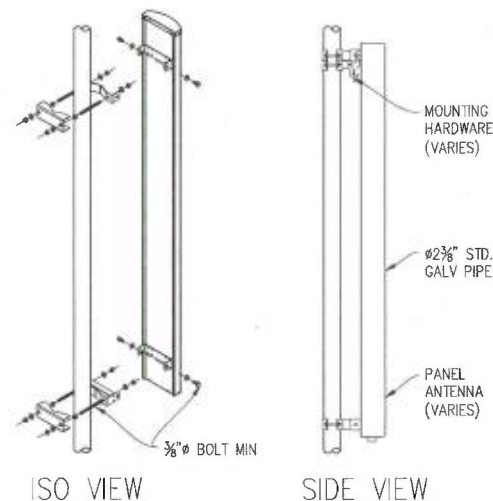
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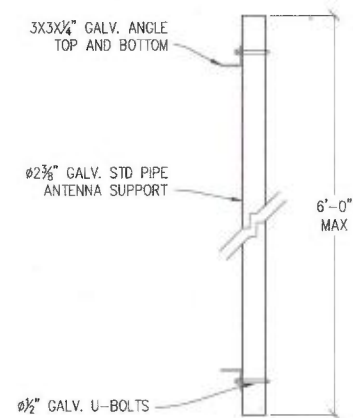
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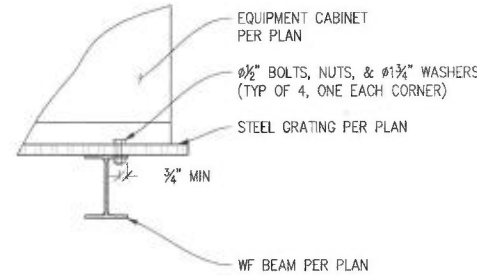
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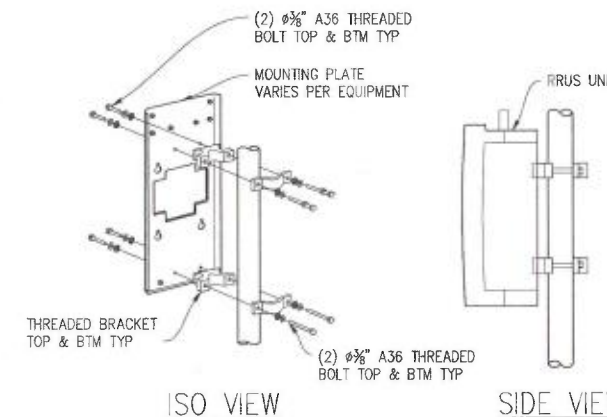
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1"=1'-0"



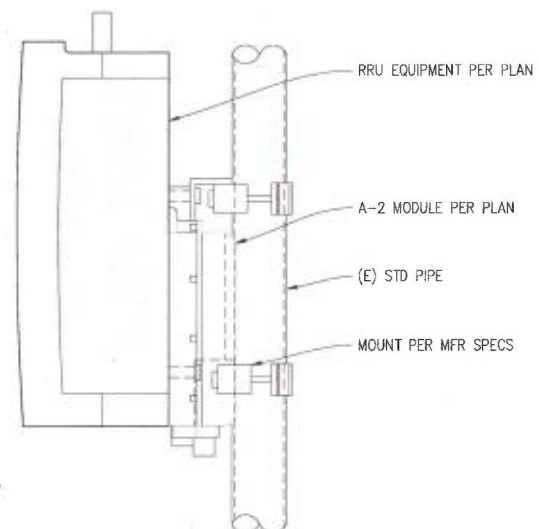
2 ANTENNA MOUNT
1"=1'-0"



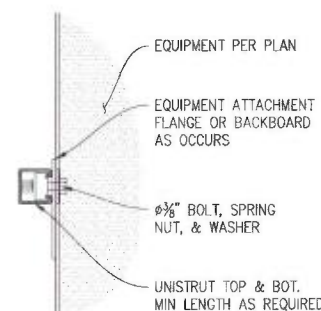
3 CABINET TO WF BEAM
1 1/2"=1'-0"



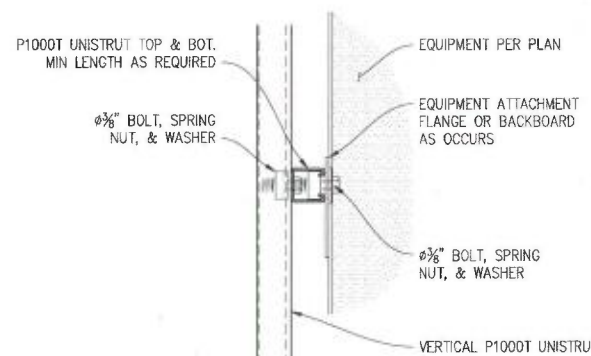
4 EQUIPMENT POLE MOUNTING
1 1/2"=1'-0"



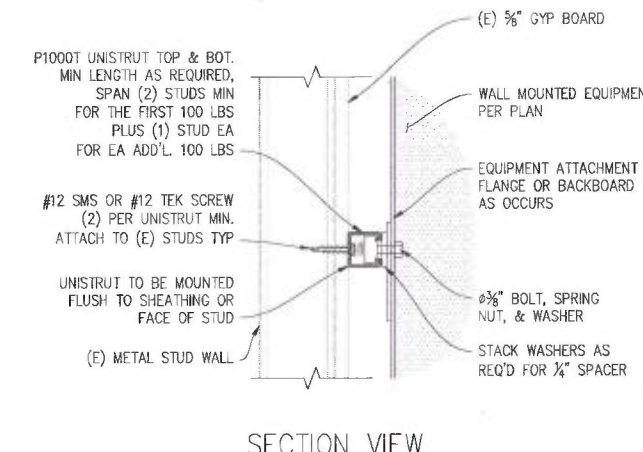
5 RRU+A2 MOUNTING DETAIL
3"=1'-0"



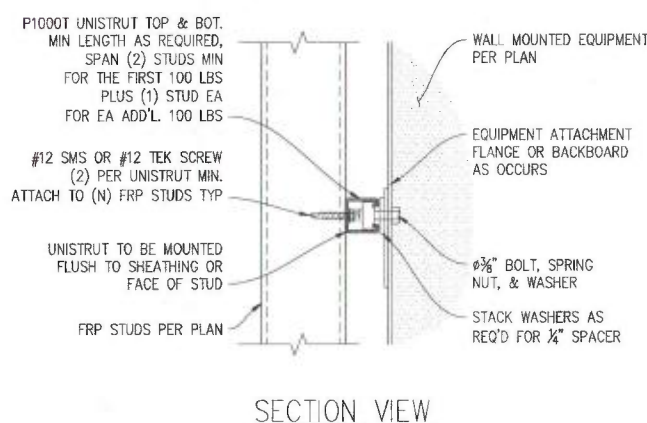
6 EQUIPMENT MOUNTING DETAIL
3"=1'-0"



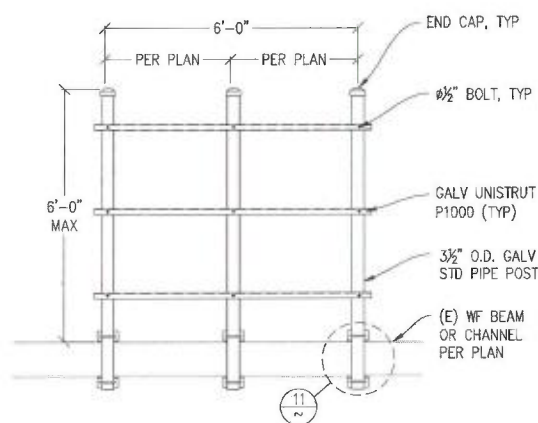
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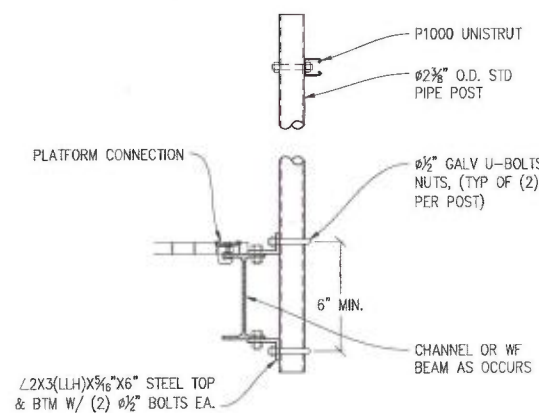
8 EQUIPMENT MOUNTING DETAIL
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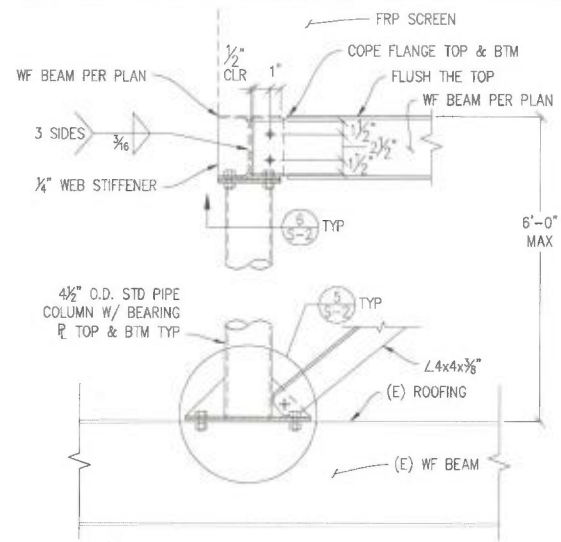
9 EQUIPMENT MOUNTING DETAIL
3"=1'-0"



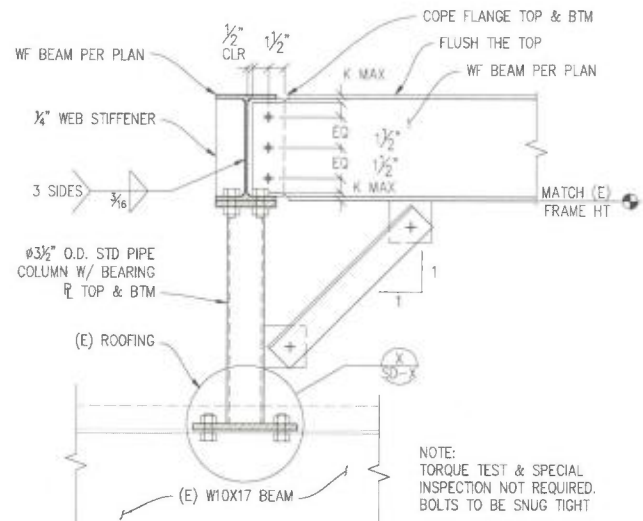
10 H-FRAME DETAIL
1 1/2"=1'-0"



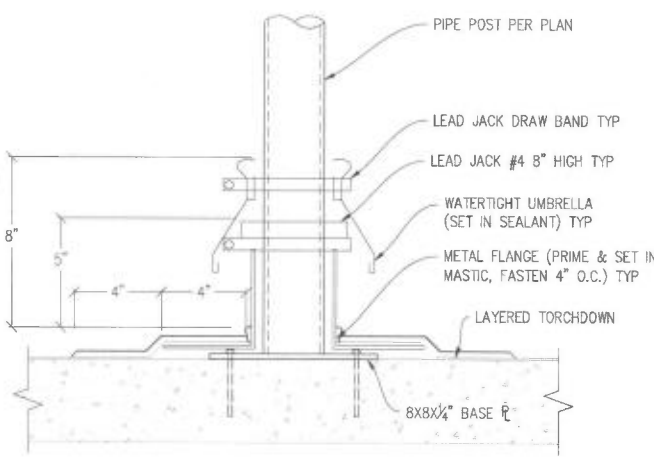
11 POST SUPPORT DETAIL
1 1/2"=1'-0"



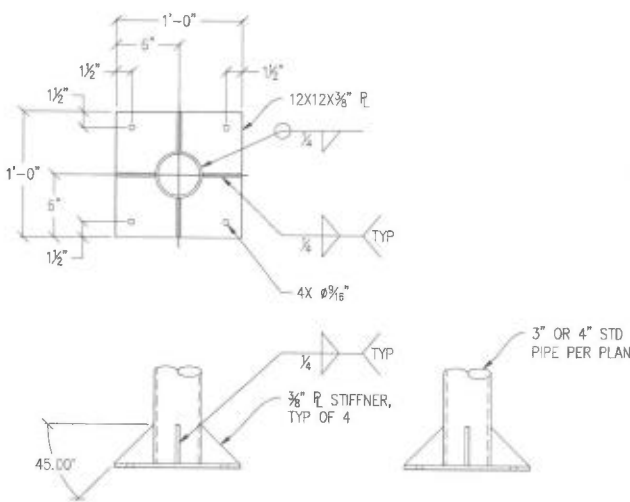
4 WF BEAM TO WF BEAM & COL
1 1/2"=1'-0"



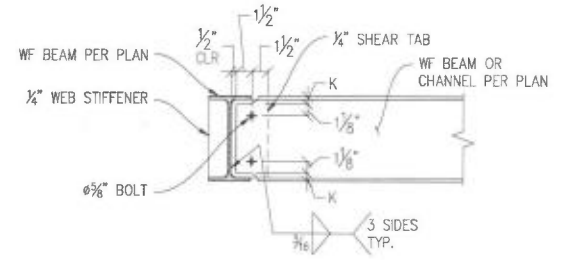
X WF BEAM TO WF BEAM & COL
1 1/2"=1'-0"



X POST WEATHER PROOFING
3"=1'-0"

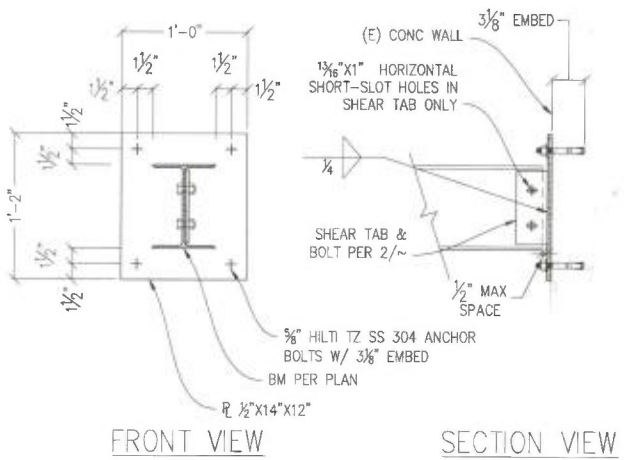


4 PIPE MOUNT & PLATE DETAIL
1 1/2"=1'-0"

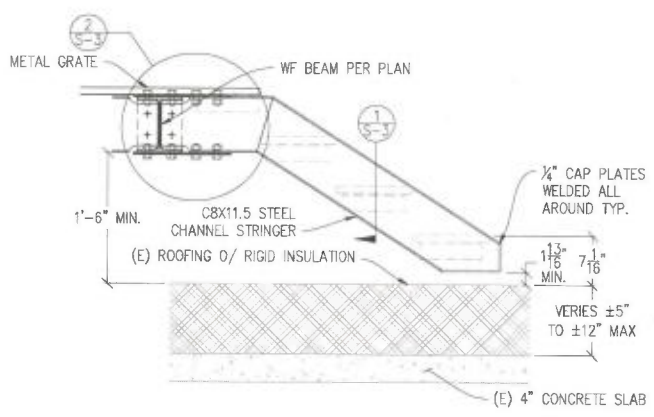


NOTE: TORQUE TEST & SPECIAL INSPECTION NOT REQUIRED. BOLTS TO BE SNUG TIGHT

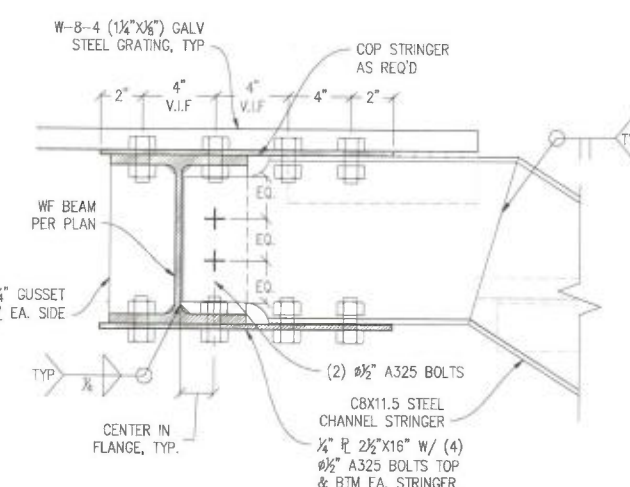
X WF BEAM TO WF BEAM
1 1/2"=1'-0"



X WF BEAM TO LEDGER CONN.
1 1/2"=1'-0"

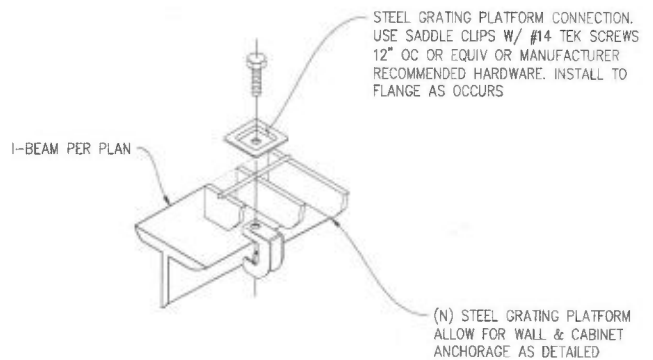


X STAIR DETAIL
1"=1'-0"



NOTE: WHERE WF IS REPLACE W/ CHANNELS EXTEND PLATE & BOLT TO ATTACH TO ADJ. CHANNEL

10 STRINGER DETAIL
3"=1'-0"



X PLATFORM CONNECTION DETAIL
3"=1'-0"

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APPROVED BY: J. SPORE
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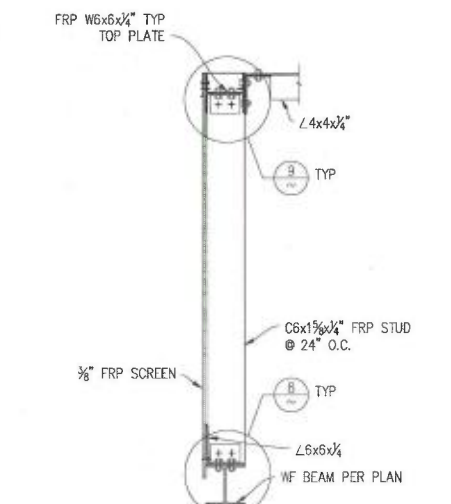
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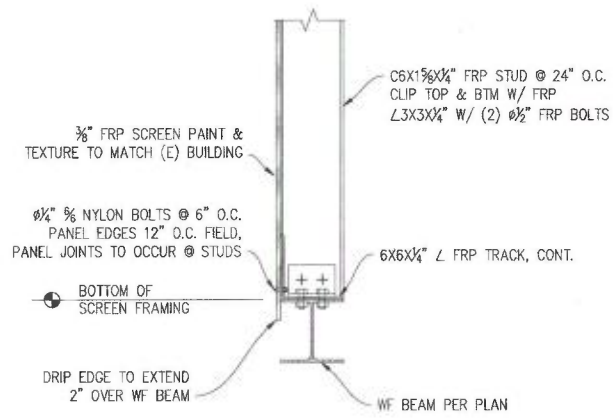
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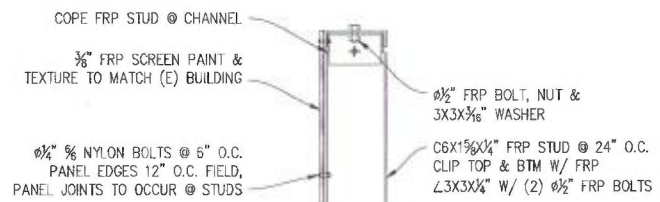
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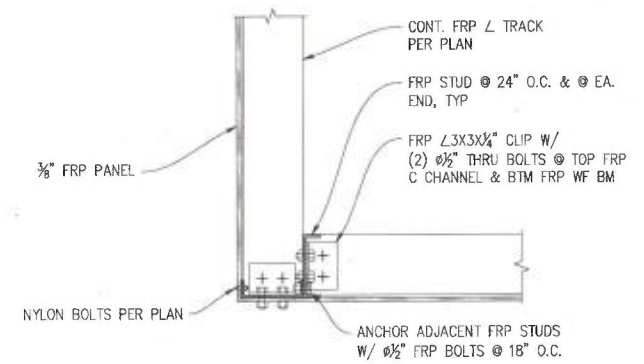
7 FRP SCREEN SECTION
1"=1'-0"



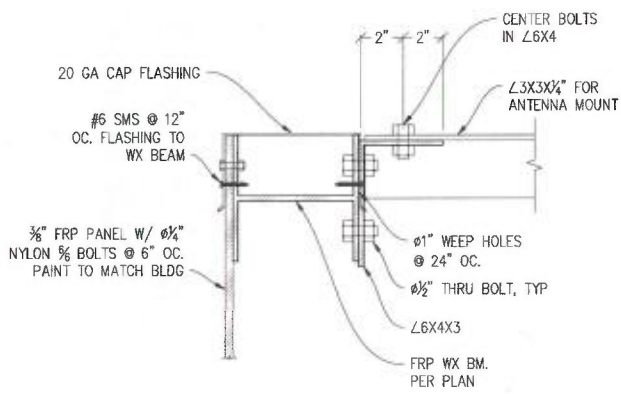
X SCREEN CONNECTION @ BTM Wx
1 1/2"=1'-0"



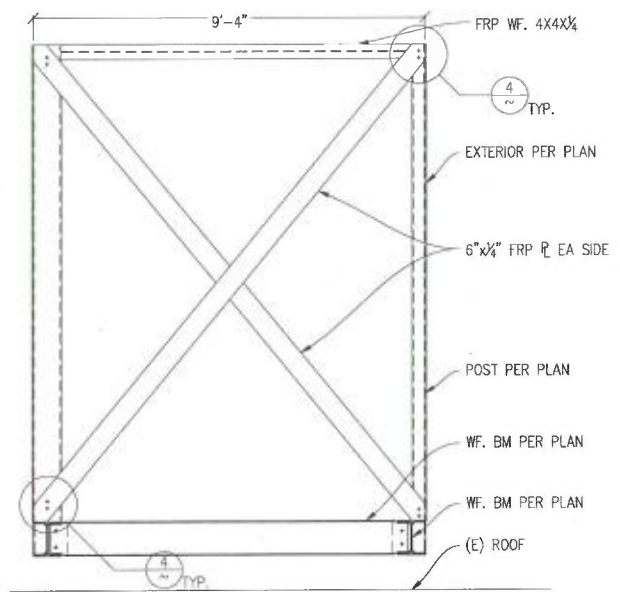
X SCREEN CONNECTION @ TOP L
1 1/2"=1'-0"



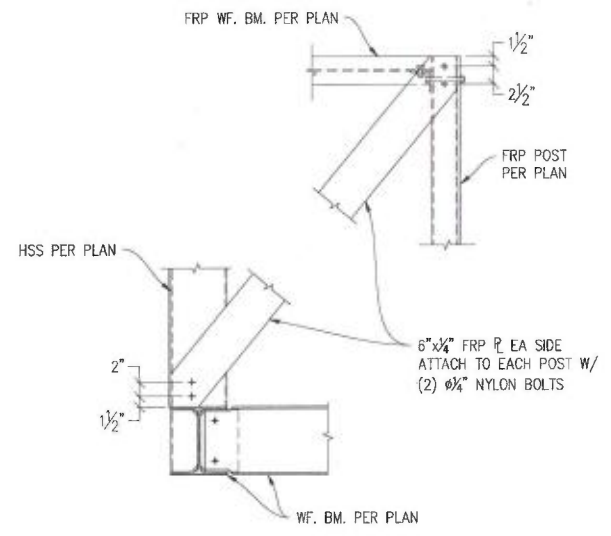
X CORNER STUD CONN.
1 1/2"=1'-0"



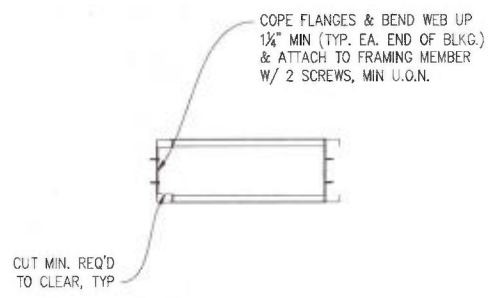
X STL. L TO FRP WF
3"=1'-0"



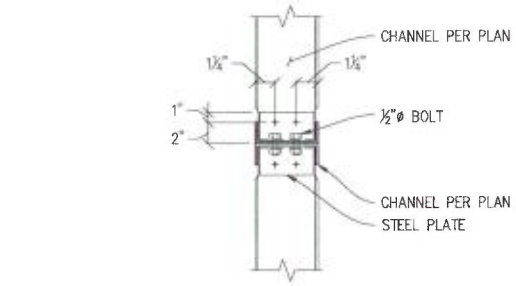
5 SCREEN ELEVATION
1/2"=1'-0"



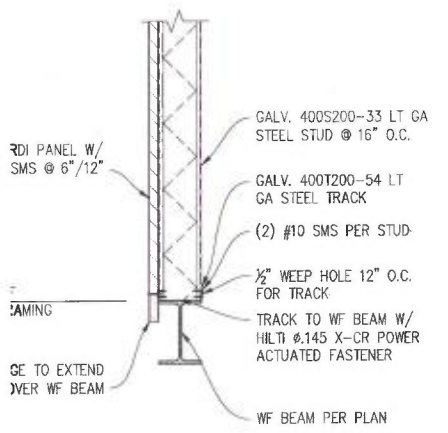
4 BRACE DETAIL
1"=1'-0"



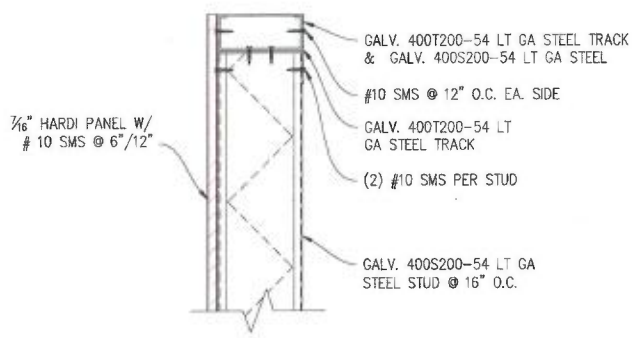
X BLOCKING DETAIL
1 1/2"=1'-0"



X CHANNEL TO CHANNEL DETAIL
1 1/2"=1'-0"



LL PLATE CONNECTION



X TOP P. CONN.
3"=1'-0"

NOTES:
1. BLKG TO BE STUD MEMBER X 20 GA W/ 1 1/2 LEGS TYP. U.O.N
2. ALL SCREWS #8 SELF-TAPPING SHEET METAL SCREWS-TRAXX BY ITW BUILDEX OR APPROVED EQUIVALENT. MIN OC SPACING OF SCREWS IS 1", TYP. U.O.N MIN. EDGE DISTANCE-SCREWS TO MEMBER EDGE IS 1/2", TYP. U.O.N

NOTE:
TORQUE TEST & SPECIAL INSPECTION NOT REQUIRED. BOLTS TO BE SNUG TIGHT