



# SAN FRANCISCO PLANNING DEPARTMENT

## Executive Summary Conditional Use

HEARING DATE: JULY 2, 2015

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*Date:* June 25, 2015  
*Case No.:* **2015-003493CUA**  
*Project Address:* **3545-3555 CALIFORNIA STREET**  
*Zoning:* NC-S (Neighborhood Commercial, Shopping Center) District  
40-X Height and Bulk District  
*Block/Lot:* 1035/005-006  
*Project Sponsor:* Mark Loper  
Reuben, Junius & Rose, LLP  
One Bush Street, Suite 600  
San Francisco, CA 94104  
*Staff Contact:* Natalia Kwiatkowska – (415) 575.9185  
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*Recommendation:* **Approval with Conditions**

### PROJECT DESCRIPTION

The Project Sponsor is requesting a Conditional Use Authorization pursuant to Planning Code Sections 303, 303.1, 703.4, 713.21, and 713.40 to allow a non-residential use exceeding 5,999 square feet and to allow the expansion of an existing Formula Retail use. The project includes the expansion of the existing hardware and general store (dba "Standard 5 & 10") measuring approximately 4,960 square feet into the vacant adjacent storefront previously occupied by Stride Rite, a Formula Retail footwear store, for a total use size of 6,210 square feet within the NC-S (Neighborhood, Commercial, Shopping Center) District and a 40-X Height and Bulk District.

The project is limited to minor interior alterations to connect the two adjacent storefronts, removal of one existing Stride Rite projecting sign along the California Street frontage, and exterior paint. The two separate storefront entrances along California Street are being maintained as part of the project.

### SITE DESCRIPTION AND PRESENT USE

The project site is located at 3545-3555 California Street within the Laurel Village Shopping Center, south side of the street between Spruce and Locust Streets in NC-S (Neighborhood Commercial, Shopping Center) District and a 40-X Height and Bulk District.

Standard 5 & 10 has been operated by the Leopold family in San Francisco since 1939 and since circa 1950 at 3545 California Street. Although independent in nature, the hardware and general store is affiliated with Ace Hardware, which is Formula Retail store, in order to leverage their bulk purchasing rates.

Laurel Village is characterized by a range of neighborhood-serving retailers providing a variety of goods and services, including hardware supplies, groceries, coffee shops, banks, and clothing stores to car-oriented shoppers. The Shopping Center provides a variety of goods and services to the Presidio Heights neighborhood and surrounding areas. The Shopping Center is anchored by “Cal-Mart” supermarket and includes many other national retailers, including Peet’s Coffee, Starbucks, the Gap, and Walgreens, among others. The subject tenant space is approximately 4,960 square-feet and the proposed tenant space is approximately 1,250 square-feet; the businesses are located in the central portion of the Shopping Center next to “Bank of America”. The address of the proposed expansion is 3555 California Street and although currently vacant, it was most recently occupied by “Stride Rite”, which is a Formula Retail footwear store.

## **SURROUNDING PROPERTIES AND NEIGHBORHOOD**

The neighborhood surrounding the Shopping Center is characterized by mostly mixed residential uses including single-family and two-family dwellings. The streets are wide to facilitate vehicular movement. One block north to the subject property is Sacramento Street, which has its own Neighborhood Commercial District. The Sacramento Street NCD is characterized by smaller stores selling antiques, art, and other specialty goods. UCSF’s Laurel Heights campus is located immediately east of the Laurel Village Shopping Center.

## **ENVIRONMENTAL REVIEW**

The Project is exempt from the California Environmental Quality Act (“CEQA”) as a Class 1 categorical exemption.

## **HEARING NOTIFICATION**

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Classified News Ad	20 days	June 12, 2015	June 10, 2015	22 days
Posted Notice	20 days	June 12, 2015	June 9, 2015	23 days
Mailed Notice	30 days	June 2, 2015	June 1, 2015	31 days

The proposal requires a Section 312-neighborhood notification, which was conducted in conjunction with the Conditional Use Authorization process.

## **PUBLIC COMMENT**

- To date, the Department has received numerous communications in favor of the project, including two letters of support from neighborhood organizations (Laurel Heights Improvement Association of San Francisco and Laurel Village Merchants Association) and one letter of support from a customer, which praise the long tenancy of the store operated by one family and the large variety of houseware merchandise that serves the entire neighborhood. In addition, the Department has received petitions in support of the project with over 380 signatures.

## **ISSUES AND OTHER CONSIDERATIONS**

- The project would not introduce a new formula retail use at the Shopping Center, thus there would be no net increase in the number of formula retail uses within the shopping center.
- There are approximately 14 existing formula retail establishments out of 110 retail uses within a quarter mile radius of the subject lot. The existing intensity of formula retail uses at the shopping center is approximately 13% of all existing commercial uses.
- There are no other hardware and general stores in the Laurel Village Shopping Center. The nearest store that partially sells similar products is Walgreens, located at the corner of California and Spruce Streets.
- The District was originally designed to be, and functions as, a small shopping center providing a variety of retail goods and services for primarily car-oriented shoppers. The character of the Laurel Village Shopping Center supports a high ratio of formula-retail establishments.
- There are currently four retail vacancies within quarter mile radius of the project site, including the vacant storefront proposed for the expansion of Standard 5 & 10. The expansion of Standard 5 & 10 would reduce the number of vacancies to three.
- The NC-S Zoning District permits a non-residential use size of up to 5,999 square feet. Conditional Use Authorization is required for a non-residential use size of 6,000 square feet and above. The proposed project would expand the existing 4,960 square foot store into the existing storefront for a total of 6,210 square feet in size.

## **REQUIRED COMMISSION ACTION**

In order for the project to proceed, the Commission must grant Conditional Use Authorization to allow the expansion of an existing Formula Retail hardware and general store d.b.a "Standard 5 & 10" within the Laurel Village Shopping Center located within a NC-S District, pursuant to Planning Code Sections 303, 303.1, 703.4, 713.21, and 713.40.

## **BASIS FOR RECOMMENDATION**

- The project is necessary as it is the only store dedicated to hardware retail sales within the Shopping Center, and it attracts a diverse customer base that helps contribute to the viability of the shopping center.
- The project will fill a vacancy created by closure of another formula retail use.
- The storefront merger is appropriate for the Shopping Center as it is consistent with the mix of use sizes found throughout Laurel Village, and it maintains the fine-grain architectural rhythm of storefronts through the preservation of the two existing storefront entrances along California Street.
- The project will not increase the number of formula retail uses within the Shopping Center.
- The project meets all other applicable requirements of the Planning Code.
- The project is desirable for, and compatible with the surrounding neighborhood.

<b>RECOMMENDATION:</b> <b>Approval with Conditions</b>
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**Attachments:**

Parcel Map

Sanborn Map

Zoning Map

Aerial Photograph

Site Photograph

Project Sponsor Submittal, including:

- Sponsor's Brief
- Letters of Support
- Petition of Support
- Reduced Plans



Attachment Checklist

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Executive Summary           | <input checked="" type="checkbox"/> Project sponsor submittal                                 |
| <input checked="" type="checkbox"/> Draft Motion                | <input checked="" type="checkbox"/> Reduced plans   |
| <input checked="" type="checkbox"/> Environmental Determination | Drawings: <u>Existing Conditions</u>  |
| <input checked="" type="checkbox"/> Zoning District Map         | <input checked="" type="checkbox"/> Check for legibility                                      |
| <input type="checkbox"/> Height & Bulk Map                      | Drawings: <u>Proposed Project</u>   |
| <input checked="" type="checkbox"/> Parcel Map                  | <input checked="" type="checkbox"/> Check for legibility                                      |
| <input checked="" type="checkbox"/> Sanborn Map                 | <input type="checkbox"/> Health Dept. review of RF levels                                     |
| <input checked="" type="checkbox"/> Aerial Photo                | <input type="checkbox"/> RF Report  |
| <input type="checkbox"/> Context Photos                         | <input type="checkbox"/> Community Meeting Notice   |
| <input checked="" type="checkbox"/> Site Photos                 | <input type="checkbox"/> Inclusionary Affordable Housing Program:<br>Affidavit for Compliance |

Exhibits above marked with an "X" are included in this packet

NK

Planner's Initials

NK G:\Documents\Cases\CU\ADDRESS FILES\3545-3555 California Street\_CUA\Case Report\_3545-3555 California St\_Standard 5&10\_Exec Summary.docx



# SAN FRANCISCO PLANNING DEPARTMENT

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*Subject to: (Select only if applicable)*

- |  |  |
|--|--|
| <input type="checkbox"/> Affordable Housing (Sec. 415)           | <input type="checkbox"/> First Source Hiring (Admin. Code) |
| <input type="checkbox"/> Jobs Housing Linkage Program (Sec. 413) | <input type="checkbox"/> Child Care Requirement (Sec. 414) |
| <input type="checkbox"/> Downtown Park Fee (Sec. 412)            | <input type="checkbox"/> Other                             |

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## Planning Commission Draft Motion

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*Recommendation:* **Approval with Conditions**

**ADOPTING FINDINGS RELATING TO THE APPROVAL OF A CONDITIONAL USE AUTHORIZATION PURSUANT TO SECTIONS 303, 303.1, 703.4, 713.21, AND 713.40 OF THE PLANNING CODE TO ALLOW A NON-RESIDENTIAL USE EXCEEDING 5,999 SQUARE FEET AND TO ALLOW THE EXPANSION OF AN EXISTING FORMULA RETAIL HARDWARE STORE (D.B.A. STANDARD 5 & 10) INTO THE ADJACENT 1,250 SQUARE-FOOT VACANT RETAIL TENANT SPACE WITHIN THE LAUREL VILLAGE SHOPPING CENTER, LOCATED WITHIN AN NC-S (NEIGHBORHOOD COMMERCIAL, SHOPPING CENTER) DISTRICT AND A 40-X HEIGHT AND BULK DISTRICT.**

### PREAMBLE

On March 19, 2015, Mark Loper of Reuben, Junius & Rose, LLP on behalf of the Standard 5 & 10 Company (hereinafter "Project Sponsor") filed an application with the Planning Department (hereinafter "Department") for a Conditional Use Authorization under Planning Code Sections 303, 303.1, 703.4, 713.21, and 713.40 to allow a non-residential use exceeding 5,999 square feet and to allow the expansion of an existing 4,960 square-foot Formula Retail hardware and general store (d.b.a. Standard 5 & 10) into the adjacent 1,250 square-foot vacant tenant space previously occupied by Stride Rite, a Formula Retail footwear store, for a total use size of 6,210 square feet within the Laurel Village Shopping Center located

within an NC-S (Neighborhood, Commercial, Shopping Center) District and a 40-X Height and Bulk District.

On July 2, 2015, the San Francisco Planning Commission (hereinafter "Commission") conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Application No. 2015-003493CUA.

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 categorical exemption.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

**MOVED**, that the Commission hereby authorizes the Conditional Use requested in Application No. 2015-003493CUA, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

## **FINDINGS**

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.
2. **Site Description and Present Use.** The project site is located at 3545-3555 California Street within the Laurel Village Shopping Center, south side of the street between Spruce and Locust Streets in an NC-S (Neighborhood Commercial, Shopping Center) District and a 40-X Height and Bulk District. The project site is located on two parcels: the entire parcel of lot 005 on assessor's block 1035, developed with a 1-story building; and a portion of lot 006 on the same assessor's block, developed with a 1-story building currently containing three separate storefronts. In total, the site contains approximately 76 feet, 7 inches of frontage along California Street and 76 feet, 7 inches of frontage along Mayfair Drive. 3545 California Street was constructed circa 1950 and 3555 California Street was constructed circa 1951. Standard 5 & 10 has been operated by the Leopold Family at 3545 California Street since circa 1950 as a hardware store. The hardware and general store is affiliated with Ace Hardware, a formula retail store.

Laurel Village is characterized by a range of neighborhood-serving retailers providing a variety of goods and services, including hardware supplies, groceries, coffee shops, banks, and clothing stores to car-oriented shoppers. The shopping center provides a variety of goods and services to the Presidio Heights neighborhood and surrounding areas. The shopping center is anchored by "Cal-Mart" supermarket and includes many other national retailers, including "Peet's Coffee", "Starbucks", "the Gap", and "Walgreens". The subject tenant space is approximately 4,960 square-feet and the proposed tenant space is approximately 1,250 square-feet and located in the central portion of the shopping center next to "Bank of America". The address of the proposed

expansion is 3555 California Street and although currently vacant, it was most recently occupied by “Stride Rite”, a formula retail footwear store.

3. **Surrounding Properties and Neighborhood.** The neighborhood surrounding the shopping center is characterized by mostly mixed residential uses including single-family and two-family dwellings. The streets are wide to facilitate vehicular movement. One block north of the project site is Sacramento Street, which has its own Neighborhood Commercial District (NCD). The Sacramento Street NCD is characterized by smaller stores selling antiques, art, and other specialty goods. UCSF’s Laurel Heights campus is located immediately east of the Laurel Village Shopping Center.
4. **Project Description.** The applicant proposes to expand the existing Formula Retail hardware and general store, d.b.a. “Standard 5 & 10” into the vacant adjacent tenant space. The project includes interior tenant improvements, including the creation of an interior opening between the two stores. Tenant improvements also include changes to the exterior façade color and the removal of the projecting sign located at 3555 California Street.
5. **Public Comment.** To date, the Department has received numerous communications in favor of the project, including two letters of support from neighborhood organizations (Laurel Heights Improvement Association of San Francisco and Laurel Village Merchants Association) and one letter of support from a customer, who praise the long tenancy of the store operated by one family and the large variety of houseware merchandise that serve the entire neighborhood. In addition, the Department received petitions in support of the project with over 380 signatures.
6. **Planning Code Compliance:** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:
  - A. **Parking Requirement.** Section 151 requires retail stores to provide one parking space for every 500 square feet of occupied floor area, where the occupied floor area exceeds 5,000 square feet.

*The project is part of a large strip mall on the south side of California Street between Spruce Street and Laurel Streets. There is a surface parking lot located behind the shopping center in addition to the on-street parking spaces along California Street. The existing shopping center requires 60 off-street parking spaces, and the rear parking lot provides approximately 230 commercial parking spaces. With the project, the parking requirement at the site would increase to 72 spaces; the rear parking lot will continue to satisfy the required off-street parking requirement for the Laurel Village Shopping Center.*
  - B. **Use Size.** Section 713.21 establishes size limits on nonresidential uses in the NC-S District. Within the District, Conditional Use Authorization is required for any nonresidential use that exceeds 5,999 square feet.

*The project will expand the existing 4,960 square-foot hardware and general store into the 1,250 square-foot vacant adjacent storefront, for a total use size of 6,210 square feet within the NC-S*

*District. The proposed use size is above the 5,999 square-foot size limit principally-permitted; as such, a Conditional Use Authorization is being sought for use size.*

- C. **Use – Retail Sales and Services, Other.** Planning Code Section 790.102 defines a retail use which provides goods and/or services that are not listed as a separate zoning category as an Other Retail Sales and Service land use category. Such establishments include but are not limited to the sale of household goods and services.

*Standard 5 & 10 is a hardware and general store that includes the sale of household goods and services. The project is considered Other Retail and Services Land Use Category, as defined in Planning Code Section 790.102, which is a principally permitted use in the NC-S District per Planning Code Section 713.40.*

- D. **Formula Retail.** Planning Code Sections 303.1 and 703.4 requires a Conditional Use Authorization for the establishment or expansion of a new formula retail use in any Neighborhood Commercial District.

*Standard 5 & 10 is affiliated with Ace Hardware through its participation in Ace Hardware's cooperative, which leverages the buying power of a number of different independent hardware stores to keep overhead low for the cooperative's members. Ace Hardware is reported to have more than 10 existing locations and is therefore considered a formula retail establishment. The Department has determined Standard 5 & 10 to be a Formula Retail use due to its participation in Ace Hardware's cooperative. Standard 5 & 10 seeks a Conditional use Authorization for the expansion of a formula retail use.*

- E. **Hours of Operation.** Pursuant to Sections 790.48 and 713.27 of the Code, the principally permitted hours of operation within the NC-S District are from 6 a.m. to 2 a.m.

*The existing hardware and general store typically operates between the hours of 8 a.m. to 7 p.m. Monday through Friday and between the hours of 9 a.m. to 6 p.m. Saturday through Sunday. The proposed expansion of the store will maintain these hours, and will continue to operate within the permitted hours of 6 a.m. to 2 a.m.*

- F. **Signage.** Section 607.1 of the Planning Code permits business signs to be located within Neighborhood Commercial Districts with limitations based on the type of signage. In addition to the Planning Code, the *Commission Guide for Formula Retail* provides additional limitations for signs located on formula retail storefronts.. One sign per tenant is permitted, unless the establishment is a corner storefront, in which case it may have one sign per frontage.

*The hardware and general store has one existing sign located on the façade of 3545 California Street. There is one existing projecting sign on the vacant adjacent storefront which is proposed for removal in order to comply with the Commission Guide for Formula Retail.*

- G. **Street Frontage in Neighborhood Commercial Districts.** Section 145.1 of the Planning Code requires that within NC Districts space for active uses shall be provided within the first 25 feet of building depth on the ground floor and 15 feet on floors above from any façade facing a street at least 30 feet in width. Frontages with active uses that must be fenestrated with transparent windows and doorways for no less than 60 percent of the street frontage at the ground level and allow visibility to the inside of the building..

*The proposed hardware and general store will have approximately 76 feet and 7 inches of frontage along California Street with approximately 59 feet and 7 inches (78 percent) devoted to transparent window space.*

7. **Planning Code Section 303** establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use approval. On balance, the project complies with said criteria in that:

- A. The proposed use or feature, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable for, and compatible with, the neighborhood or the community.

*The project is necessary and desirable because it maintains a balance of commercial uses within the shopping center. There is no other hardware supply/general store within the shopping center or surrounding area, and serves a niche market to the community. Standard 5 & 10 is compatible with the neighborhood as it will continue to operate out of its current location, offer the same variety of products for purchase, and will expand its selection of goods with the expansion of space. The project will not disrupt the existing neighborhood-serving retail use as its expansion will occupy a vacant Formula Retail tenant space.*

- B. Such use or feature will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the project that could be detrimental to the health, safety or convenience of those residing or working the area, in that:

- i. Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

*The size and shape of the site and the size, shape and arrangement of the shopping center will not be altered as part of this project. The proposed work will include the removal of projecting sign at 3555 California Street and re-painting of the façade but otherwise will not affect the building envelope. Also, the Project will involve interior tenant improvements in 3555 California, and an interior opening leading from one store to the other.*

- ii. The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

*The project will not affect public transit or overburden the existing supply of parking in the neighborhood. The expansion of the hardware and general store is not expected to increase the*

*volume of traffic, and the shopping center is well served with an off-street parking lot in the rear along Mayfair Drive.*

- iii. The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

*The project will not produce noxious or offensive emissions related to noise, glare and dust. The project entails minor interior alterations to a currently-vacant retail space and will provide proper venting for the space in compliance with the San Francisco Building Code standards.*

- iv. Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

*The project would not alter the site's landscaping, open spaces, parking and loading areas, service areas, and lighting. The project will improve the exterior appearance of the property by creating a more open and attractive storefront activated by the uses inside the store. The removal of the projecting sign at 3555 California Street is to comply with the Commission Guide for Formula Retail.*

- C. That the use or features as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

*The project complies with all relevant requirements and standards of the Planning Code and is consistent with Objectives and Policies of the General Plan, as detailed below.*

- D. That the use or features as proposed would provide development that is in conformity with the purpose of the applicable Neighborhood Commercial District.

*The project is consistent with the stated purpose of the NC-S District in that the intended use is located at the ground floor and will provide a compatible convenience service for the immediately surrounding neighborhoods during daytime hours.*

- 8. **Planning Code Section 303.1** provides additional criteria for the Planning Commission to consider, in addition to the criteria set forth in Section 303, the criteria below and the Performance-Based Design Guidelines adopted by the Planning Commission to implement the criteria below for any Formula Retail Uses:

- a. The existing concentrations of formula retail uses within the general vicinity of the proposed project.

*Based on data provided by the Project Sponsor, there are approximately 14 existing Formula Retail establishments, out of approximately 110 retail establishments within the district and quarter mile radius vicinity of the project site. The existing and proposed Formula Retail use concentration is approximately 13 percent of all commercial uses within the vicinity.*

*The proposed formula retail use (d.b.a. Standard 5 & 10) would not increase the concentration of Formula Retail establishments in the vicinity as it is an expansion of an existing Formula Retail*

*use into a vacant tenant space that was most recently occupied by a Formula Retail establishment, "Stride Rite". Standard 5 & 10 is affiliated with Ace Hardware through its participation in their cooperative program. Ace Hardware has more than 10 existing locations worldwide.*

*The existing linear frontage concentration of Formula Retail Uses within a quarter mile radius is approximately 27 percent. The expansion of the project into the vacant adjacent storefront will increase the concentration of Formula Retail Uses linear frontage to 29 percent. The project is proposing to fill a vacant storefront that was last occupied by a Formula Retail footwear store; therefore increasing the linear frontage of Formula Retail uses.*

- b. The availability of other similar retail uses within the district and within the vicinity.

*None of the other establishments in the district are solely hardware supply stores within the vicinity. There are no hardware stores or other general stores that sell specialty commercial and household items as a portion of goods within the vicinity. The nearest store that sells general supplies is Walgreens located within the Laurel Village Shopping Center. The concentration of existing and proposed hardware stores within the vicinity is 1 percent.*

- c. The compatibility of the proposed formula retail use with the existing architectural and aesthetic character of the district.

*The project will occupy an existing storefront previously occupied by a formula retail footwear store (d.b.a. Stride Rite) and therefore will have no effect on the architectural and aesthetic character of the district. The district was originally designed to be, and functions as, a small neighborhood shopping center providing a variety of retail goods with a strong daytime and family-orientated atmosphere. The character of the Laurel Village Shopping Center supports Formula-Retail establishments. Minor exterior improvements are proposed including the removal of the projecting sign and re-painting of the façade. The independent entrances along California Street will be maintained to reinforce the active, small-scale character of the Shopping Center.*

- d. The existing retail vacancy rates within the district.

*There are currently four vacancies, including the subject site, out of 118 commercial spaces, amounting to a three percent vacancy rate. The project proposes to fill a vacancy at the shopping center, helping maintain the retail activity at the ground-floor of the Shopping Center.*

- e. The existing mix of Citywide-serving retail uses and neighborhood-serving retail uses within the vicinity.

*The project will not alter the mix of Citywide versus daily needs serving uses within the vicinity as the expansion of the retail store will replace a vacant storefront that was last occupied by a Formula Retail footwear store. The existing concentration of daily needs serving uses within the district is approximately 50 percent.*



- f. Additional data and analysis set forth in the Performance-Based Design Guidelines adopted by the Planning Commission.

*The District was originally designed to be and functions as a small neighborhood shopping center providing a variety of retail goods with a strong daytime and family orientation.*

*Of the approximate 3,929 feet of commercial frontage within the 300 foot vicinity, approximately 650 linear feet is occupied by Formula Retail Uses, which is approximately 17 percent. Other Formula Retail uses near the project site include but are not limited to Bank of America, Walgreens, the Gap, Peet's, Starbucks, Noah's Bagels and others.*

*Additionally, based on analysis provided by the Project Sponsor from data collected in April 2015, 13 percent of the ground floor businesses within the subject NCD are occupied by formula retail uses (14 of 110).*

- g. For formula retail uses of 20,000 square feet or more, except for General or Specialty Grocery stores as defined in Articles 2, 7, 8 of this Code, the contents of an economic impact study prepared pursuant to Section 303(i) of the Planning Code.

*As the subject retail use is less than 20,000 square feet; an economic impact study is not required.*

**9. Planning Code Section 121.2(a)** establishes additional criteria for the Planning Commission to consider when reviewing applications in excess of the use size limit:

- a. The intensity of activity in the district is not such that allowing the larger use will be likely to foreclose the location of other needed neighborhood-serving uses in the area.

*The project will not preclude or foreclose other necessary neighborhood-serving uses from locating in the area. The Laurel Village Shopping Center already contains a comprehensive selection of neighborhood-serving retailers including banks, grocery stores, restaurants, a beauty salon, coffee shops and bakeries, a bookstore, clothing retailers, and others. The Project is replacing a Formula Retail footwear store, which was not a neighborhood-serving retailer.*

- b. The proposed use will serve the neighborhood, in whole or in significant part, and the nature of the use requires a larger size in order to function.

*Standard 5 & 10 is one of the few remaining variety stores in San Francisco, and it provides a host of goods that cannot be found in the vicinity. The expansion of the project will allow it to better serve its customers.*

- c. The building in which the use is to be located is designed in discrete elements which respect the scale of development in the district.

*Laurel Village is designed with unique storefronts for each of the retailers, and the Project will maintain the discrete elements of the block's design. The existing space at 3555 California Street*

*will remain unchanged as seen from the street, other than removing the projecting sign and re-painting the façade.*

10. **General Plan Compliance.** The Project is, on balance, consistent with the Objectives and Policies of the General Plan.

## NEIGHBORHOOD COMMERCE

### Objectives and Policies

#### OBJECTIVE 1:

MANAGE ECONOMIC GROWTH AND CHANGE TO ENSURE ENHANCEMENT OF THE TOTAL CITY LIVING AND WORKING ENVIRONMENT.

##### Policy 1.1:

Encourage development which provides substantial net benefits and minimizes undesirable consequences. Discourage development that has substantial undesirable consequences that cannot be mitigated.

##### Policy 1.2:

Assure that all commercial and industrial uses meet minimum, reasonable performance standards.

##### Policy 1.3:

Locate commercial and industrial activities according to a generalized commercial and industrial land use plan.

*The project will provide desirable goods and services to the neighborhood. The conditions of approval will ensure that the use meets minimum, reasonable performance standards. Traffic conditions will remain substantially unaltered. Further, the project site is located within a Neighborhood Commercial District and is thus consistent with activities in the commercial land use plan.*

#### OBJECTIVE 2:

MAINTAIN AND ENHANCE A SOUND AND DIVERSE ECONOMIC BASE AND FISCAL STRUCTURE FOR THE CITY.

##### Policy 2.1:

Seek to retain existing commercial and industrial activity and to attract new such activity to the City.

*The project proposes to slightly expand one of San Francisco's variety stores into a currently-vacant retail space. In doing so, it would increase the amount of commercial activity at the site, as well as relieve space constraints in the current store.*

**Policy 3.1:**

Promote the attraction, retention and expansion of commercial and industrial firms which provide employment improvement opportunities for unskilled and semi-skilled workers.

*The project will promote this Policy, as it will create expanded job opportunities for unskilled and semi-skilled employees.*

**OBJECTIVE 6:**

MAINTAIN AND STRENGTHEN VIABLE NEIGHBORHOOD COMMERCIAL AREAS EASILY ACCESSIBLE TO CITY RESIDENTS.

**Policy 6.1:**

Ensure and encourage the retention and provision of neighborhood-serving goods and services in the city's neighborhood commercial districts, while recognizing and encouraging diversity among the districts.

*No commercial tenant will be displaced. The project will enhance the district in achieving optimal diversity in the types of goods and services available in the neighborhood.*

**Policy 6.2:**

Promote economically vital neighborhood commercial districts which foster small business enterprises and entrepreneurship and which are responsive to economic and technical innovation in the marketplace and society.

*The project will allow Standard 5 & 10 to continue to offer competitive prices within the neighborhood and retain a customer base that has shopped at this location for approximately 65 years. Although technically considered a Formula Retail establishment due to its affiliation with Ace Hardware that enables them to leverage lower purchasing prices, the business is locally-owned. Local businesses typically re-invest in the local economy at a faster rate than larger national retailers, and Standard 5 & 10 is committed to continuing its investments in the community.*

11. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project does comply with said policies in that:

- A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

*The project will not introduce a new formula-retail use, nor would it result in a net increase of formula retail uses at the Shopping Center. The NC-S District encompassing the Laurel Village Shopping Center currently exhibits a 12 percent concentration of formula retail. No neighborhood-serving retail uses will be displaced by the project, which will expand an existing neighborhood-serving use into a vacant retail space.*

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

*The project will not impact the character or diversity of the neighborhood.*

- C. That the City's supply of affordable housing be preserved and enhanced,

*The Project would not have any impact on the City's supply of affordable housing.*

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

*The Project will not adversely impact public transit or place a burden on the existing supply of parking in the neighborhood. The project is not expected to generate additional demand on neighborhood parking, and will not impede MUNI transit nor overburden the City's streets because the number of new trips that will be generated by expanding the existing hardware store will be minimal and will not affect adjacent roadway operations. Furthermore, the project site is well-served by off-street parking along California Street and within the off-street parking lot at the rear of the Shopping Center.*

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

*The project will not displace any service or industry establishment. The project will not affect industrial or service sector uses or related employment opportunities. Ownership of industrial or service sector businesses will not be affected by this project.*

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

*The project is designed and will be constructed to conform to the structural and seismic safety requirements of the City's Building Code. This project will not adversely affect the property's ability to withstand an earthquake.*

- G. That landmarks and historic buildings be preserved.

*Neither a landmark nor historic building occupies the project site.*

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

*The project will have no adverse effect on existing parks and open spaces.*

12. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
13. The Commission hereby finds that approval of the Conditional Use Authorization would promote the health, safety and welfare of the City.

## **DECISION**

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby APPROVES Conditional Use Application No. **2015-003493CUA** subject to the following conditions attached hereto as "EXHIBIT A" in general conformance with plans on file, dated March 14, 2015 and stamped "EXHIBIT B", which is incorporated herein by reference as though fully set forth.

**APPEAL AND EFFECTIVE DATE OF MOTION:** Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion No. XXXXX. The effective date of this Motion shall be the date of this Motion if not appealed (After the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

**Protest of Fee or Exaction:** You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development.

If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission's adoption of this Motion constitutes the conditional approval of the development and the City hereby gives NOTICE that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period.

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on July 2, 2015.

Jonas P. Ionin  
Commission Secretary

AYES:

NAYS:

ABSENT:

ADOPTED: July 2, 2015

## EXHIBIT A

### AUTHORIZATION

This authorization is for a Conditional Use to allow a Formula Retail hardware and general store (d.b.a. Standard 5 & 10) located at 3545-3555 California Street within the Laurel Village Shopping Center, Block 1035, Lots 005 & 006 pursuant to Planning Code Sections 303, 303.1, 703.4, 713.21, and 713.40 within a NC-S District and a 40-X Height and Bulk District, in general conformance with plans, dated March 14, 2015 and stamped "EXHIBIT B" included in the docket for Case No. **2015-003493CUA** and subject to conditions of approval reviewed and approved by the Commission on **July 2, 2015** under Motion No. **XXXXXX**. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

### RECORDATION OF CONDITIONS OF APPROVAL

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on **July 2, 2015** under Motion No. **XXXXXX**.

### PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. **XXXXXX** shall be reproduced on the Index Sheet of construction plans submitted with the Site or Building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

### SEVERABILITY

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

### CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use Authorization.

## Conditions of Approval, Compliance, Monitoring, and Reporting

### PERFORMANCE

**Validity.** The authorization and right vested by virtue of this action is valid for three (3) years from the effective date of the Motion. The Department of Building Inspection shall have issued a Building Permit or Site Permit to construct the project and/or commence the approved use within this three-year period.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

**Expiration and Renewal.** Should a Building or Site Permit be sought after the three (3) year period has lapsed, the project sponsor must seek a renewal of this Authorization by filing an application for an amendment to the original Authorization or a new application for Authorization. Should the project sponsor decline to so file, and decline to withdraw the permit application, the Commission shall conduct a public hearing in order to consider the revocation of the Authorization. Should the Commission not revoke the Authorization following the closure of the public hearing, the Commission shall determine the extension of time for the continued validity of the Authorization.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

**Diligent Pursuit.** Once a Site or Building Permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. Failure to do so shall be grounds for the Commission to consider revoking the approval if more than three (3) years have passed since this Authorization was approved.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

**Extension.** All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

**Conformity with Current Law.** No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

### DESIGN

**Signage.** All exterior signage shall be designed to complement, not compete with, the existing architectural character and architectural features of the building and to comply with the *Commission Guide for Formula Retail*.



*For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, [www.sf-planning.org](http://www.sf-planning.org)*

## PARKING AND TRAFFIC

**Parking Requirement.** Pursuant to Planning Code Section 151, the Project shall provide XXXX (XX) independently accessible off-street parking spaces within the existing surface parking lot in the rear of the Laurel Village Shopping Center.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

## OPERATION

**Sidewalk Maintenance.** The Project Sponsor shall maintain the main entrance to the tenant space and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Streets and Sidewalk Maintenance Standards.

*For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works, 415-695-2017, <http://sfdpw.org>*

**Community Liaison.** Prior to issuance of a building permit to construct the project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator with written notice of the name, business address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator shall be made aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

## MONITORING - AFTER ENTITLEMENT

**Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

**Revocation due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

**Hours of Operation.** The subject establishment is limited to the following hours of operation: from 6:00 a.m. to 2:00 a.m.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*



# SAN FRANCISCO PLANNING DEPARTMENT

## CEQA Categorical Exemption Determination

### PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address		Block/Lot(s)	
3545-3555 California Street		1035/005-006	
Case No.	Permit No.	Plans Dated	
2015-003493CUA	N/A	3/14/15	
<input checked="" type="checkbox"/> Addition/ Alteration	<input type="checkbox"/> Demolition (requires HRER if over 45 years old)	<input type="checkbox"/> New Construction	<input type="checkbox"/> Project Modification (GO TO STEP 7)
Project description for Planning Department approval. Expansion of an existing formula retail store into a vacant adjacent storefront - interior renovations only.			

### STEP 1: EXEMPTION CLASS

TO BE COMPLETED BY PROJECT PLANNER

<b>Note: If neither Class 1 or 3 applies, an <i>Environmental Evaluation Application</i> is required.</b>	
<input checked="" type="checkbox"/>	<b>Class 1 – Existing Facilities.</b> Interior and exterior alterations; additions under 10,000 sq. ft.
<input type="checkbox"/>	<b>Class 3 – New Construction/ Conversion of Small Structures.</b> Up to three (3) new single-family residences or six (6) dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input type="checkbox"/>	Class__

### STEP 2: CEQA IMPACTS

TO BE COMPLETED BY PROJECT PLANNER

<b>If any box is checked below, an <i>Environmental Evaluation Application</i> is required.</b>	
<input type="checkbox"/>	<b>Air Quality:</b> Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities) within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g., backup diesel generators, heavy industry, diesel trucks)? <i>Exceptions: do not check box if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Article 38 program and the project would not have the potential to emit substantial pollutant concentrations. (refer to EP _ArcMap &gt; CEQA Catex Determination Layers &gt; Air Pollutant Exposure Zone)</i>
<input type="checkbox"/>	<b>Hazardous Materials:</b> If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential? If yes, this box must be checked and the project applicant must submit an Environmental Application with a Phase I

	Environmental Site Assessment. <i>Exceptions: do not check box if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Maher program, a DPH waiver from the Maher program, or other documentation from Environmental Planning staff that hazardous material effects would be less than significant (refer to EP_ArcMap &gt; Maher layer).</i>
<input type="checkbox"/>	<b>Transportation:</b> Does the project create six (6) or more net new parking spaces or residential units? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?
<input type="checkbox"/>	<b>Archeological Resources:</b> Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non-archeological sensitive area? <i>(refer to EP_ArcMap &gt; CEQA Catex Determination Layers &gt; Archeological Sensitive Area)</i>
<input type="checkbox"/>	<b>Noise:</b> Does the project include new noise-sensitive receptors (schools, day care facilities, hospitals, residential dwellings, and senior-care facilities) fronting roadways located in the noise mitigation area? <i>(refer to EP_ArcMap &gt; CEQA Catex Determination Layers &gt; Noise Mitigation Area)</i>
<input type="checkbox"/>	<b>Subdivision/Lot Line Adjustment:</b> Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? <i>(refer to EP_ArcMap &gt; CEQA Catex Determination Layers &gt; Topography)</i>
<input type="checkbox"/>	<b>Slope = or &gt; 20%:</b> Does the project involve excavation of 50 cubic yards of soil or more, new construction, or square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint? <i>(refer to EP_ArcMap &gt; CEQA Catex Determination Layers &gt; Topography)</i> <b>If box is checked, a geotechnical report is required.</b>
<input type="checkbox"/>	<b>Seismic: Landslide Zone:</b> Does the project involve excavation of 50 cubic yards of soil or more, new construction, or square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint? <i>(refer to EP_ArcMap &gt; CEQA Catex Determination Layers &gt; Seismic Hazard Zones)</i> <b>If box is checked, a geotechnical report is required.</b>
<input type="checkbox"/>	<b>Seismic: Liquefaction Zone:</b> Does the project involve excavation of 50 cubic yards of soil or more, new construction, or square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint? <i>(refer to EP_ArcMap &gt; CEQA Catex Determination Layers &gt; Seismic Hazard Zones)</i> <b>If box is checked, a geotechnical report will likely be required.</b>
<b><u>If no boxes are checked above, GO TO STEP 3. If one or more boxes are checked above, an Environmental Evaluation Application is required, unless reviewed by an Environmental Planner.</u></b>	
<input checked="" type="checkbox"/>	<b>Project can proceed with categorical exemption review. The project does not trigger any of the CEQA impacts listed above.</b>
<b>Comments and Planner Signature (optional):</b>	

### STEP 3: PROPERTY STATUS – HISTORIC RESOURCE TO BE COMPLETED BY PROJECT PLANNER

**PROPERTY IS ONE OF THE FOLLOWING:** *(refer to Parcel Information Map)*

<input type="checkbox"/>	<b>Category A:</b> Known Historical Resource. <b>GO TO STEP 5.</b>
<input checked="" type="checkbox"/>	<b>Category B:</b> Potential Historical Resource (over 45 years of age). <b>GO TO STEP 4.</b>
<input type="checkbox"/>	<b>Category C:</b> Not a Historical Resource or Not Age Eligible (under 45 years of age). <b>GO TO STEP 6.</b>

**STEP 4: PROPOSED WORK CHECKLIST**  
TO BE COMPLETED BY PROJECT PLANNER

Check all that apply to the project.	
<input type="checkbox"/>	1. <b>Change of use and new construction.</b> Tenant improvements not included.
<input type="checkbox"/>	2. <b>Regular maintenance or repair</b> to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	3. <b>Window replacement</b> that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. <b>Garage work.</b> A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	5. <b>Deck, terrace construction, or fences</b> not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. <b>Mechanical equipment installation</b> that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. <b>Dormer installation</b> that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input checked="" type="checkbox"/>	8. <b>Addition(s)</b> that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
<b>Note: Project Planner must check box below before proceeding.</b>	
<input type="checkbox"/>	Project is not listed. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	Project <b>does not conform</b> to the scopes of work. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	Project involves <b>four or more</b> work descriptions. <b>GO TO STEP 5.</b>
<input checked="" type="checkbox"/>	Project involves <b>less than four</b> work descriptions. <b>GO TO STEP 6.</b>


**STEP 5: CEQA IMPACTS – ADVANCED HISTORICAL REVIEW**  
TO BE COMPLETED BY PRESERVATION PLANNER

Check all that apply to the project.	
<input type="checkbox"/>	1. Project involves a <b>known historical resource (CEQA Category A)</b> as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input checked="" type="checkbox"/>	2. <b>Interior alterations to publicly accessible spaces.</b>
<input type="checkbox"/>	3. <b>Window replacement</b> of original/historic windows that are not “in-kind” but are consistent with existing historic character.
<input type="checkbox"/>	4. <b>Façade/storefront alterations</b> that do not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	5. <b>Raising the building</b> in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	6. <b>Restoration</b> based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.
<input type="checkbox"/>	7. <b>Addition(s)</b> , including mechanical equipment that are minimally visible from a public right-of-way and meet the <i>Secretary of the Interior's Standards for Rehabilitation</i> .

<input type="checkbox"/>	8. <b>Other work consistent</b> with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (specify or add comments):
<input type="checkbox"/>	9. <b>Other work</b> that would not materially impair a historic district (specify or add comments):  (Requires approval by Senior Preservation Planner/Preservation Coordinator) _____
<input type="checkbox"/>	10. <b>Reclassification of property status</b> to Category C. (Requires approval by Senior Preservation Planner/Preservation Coordinator) a. Per HRER dated: _____ (attach HRER) b. Other (specify):
<b>Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST check one box below.</b>	
<input type="checkbox"/>	<b>Further environmental review required.</b> Based on the information provided, the project requires an <i>Environmental Evaluation Application</i> to be submitted. <b>GO TO STEP 6.</b>
<input type="checkbox"/>	<b>Project can proceed with categorical exemption review.</b> The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. <b>GO TO STEP 6.</b>
Comments (optional):	
Preservation Planner Signature:	

## STEP 6: CATEGORICAL EXEMPTION DETERMINATION

### TO BE COMPLETED BY PROJECT PLANNER

<input type="checkbox"/>	<b>Further environmental review required.</b> Proposed project does not meet scopes of work in either (check all that apply): <input type="checkbox"/> Step 2 – CEQA Impacts <input type="checkbox"/> Step 5 – Advanced Historical Review <b>STOP! Must file an <i>Environmental Evaluation Application</i>.</b>	
<input checked="" type="checkbox"/>	<b>No further environmental review is required. The project is categorically exempt under CEQA.</b>	
	<b>Planner Name:</b> Natalia Kwiatkowska	<b>Signature:</b>   Digitally signed by Natalia Kwiatkowska DN: dc=org, dc=sfgov, dc=cityplanning, ou=CityPlanning, ou=Current Planning, cn=Natalia Kwiatkowska, email=Natalia.Kwiatkowska@sfgov.org Date: 2015.05.20 16:55:36 -0700
	<b>Project Approval Action:</b> <b>Planning Commission Hearing</b> If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.	
Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code. In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the first approval action.		

## STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT

### TO BE COMPLETED BY PROJECT PLANNER

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be subject to additional environmental review pursuant to CEQA.

### PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address (If different than front page)		Block/Lot(s) (If different than front page)
Case No.	Previous Building Permit No.	New Building Permit No.
Plans Dated	Previous Approval Action	New Approval Action
Modified Project Description:		

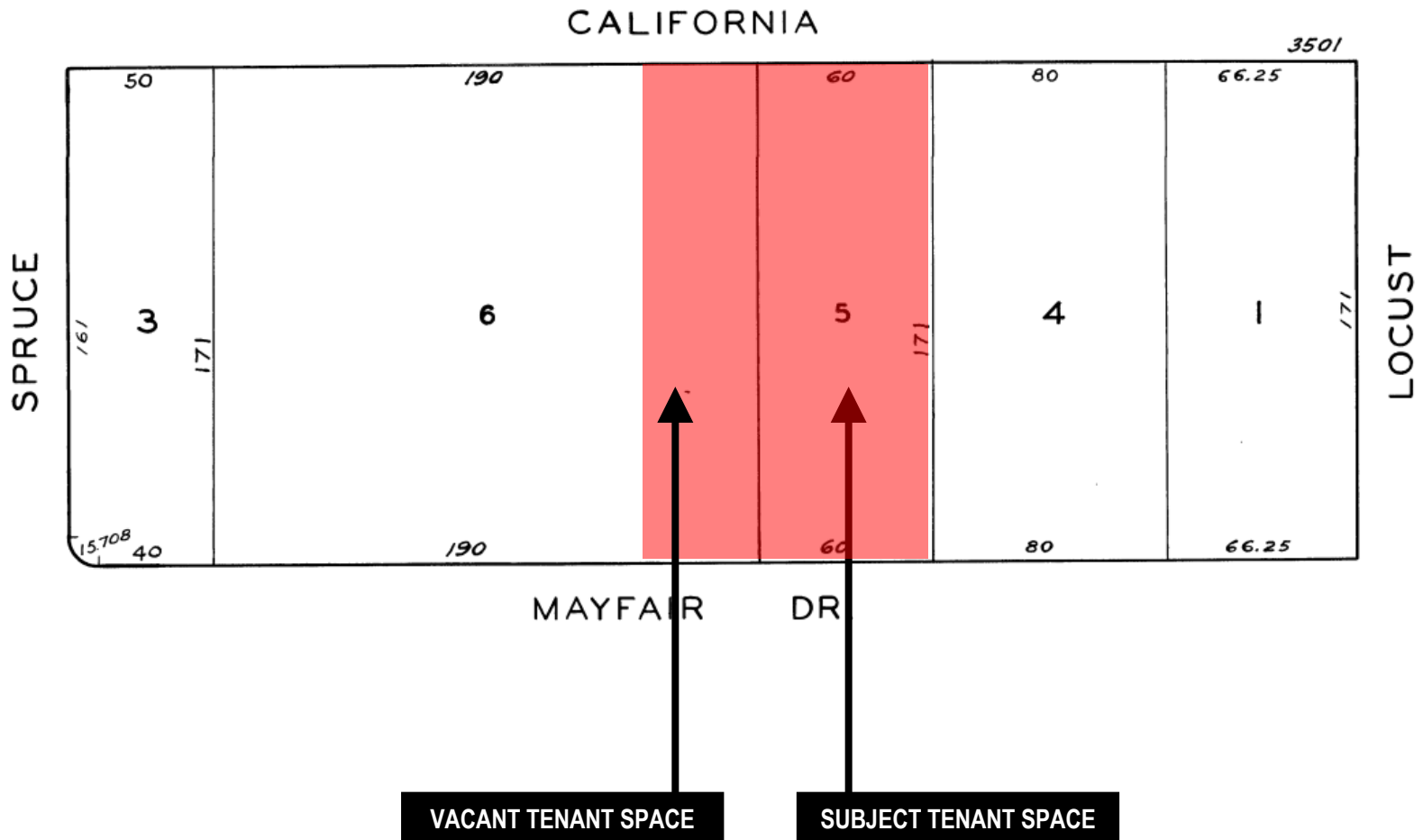
### DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project:	
<input type="checkbox"/>	Result in expansion of the building envelope, as defined in the Planning Code;
<input type="checkbox"/>	Result in the change of use that would require public notice under Planning Code Sections 311 or 312;
<input type="checkbox"/>	Result in demolition as defined under Planning Code Section 317 or 19005(f)?
<input type="checkbox"/>	Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption?
If at least one of the above boxes is checked, further environmental review is required <b>CATEX FORM</b>	

### DETERMINATION OF NO SUBSTANTIAL MODIFICATION

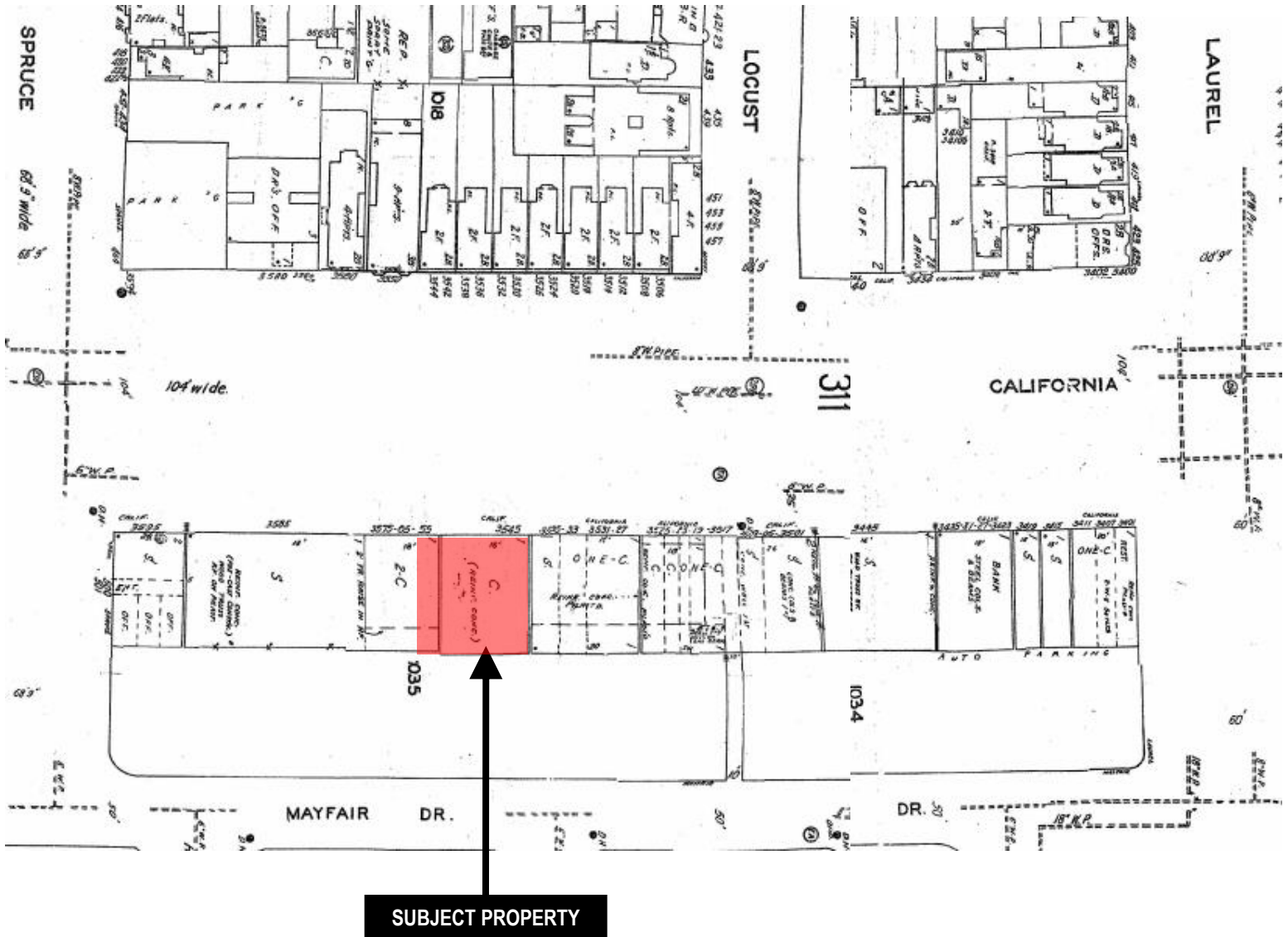
<input type="checkbox"/>	The proposed modification would not result in any of the above changes.
If this box is checked, the proposed modifications are categorically exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice.	
Planner Name:	Signature or Stamp:

# Parcel Map





# Sanborn Map\*

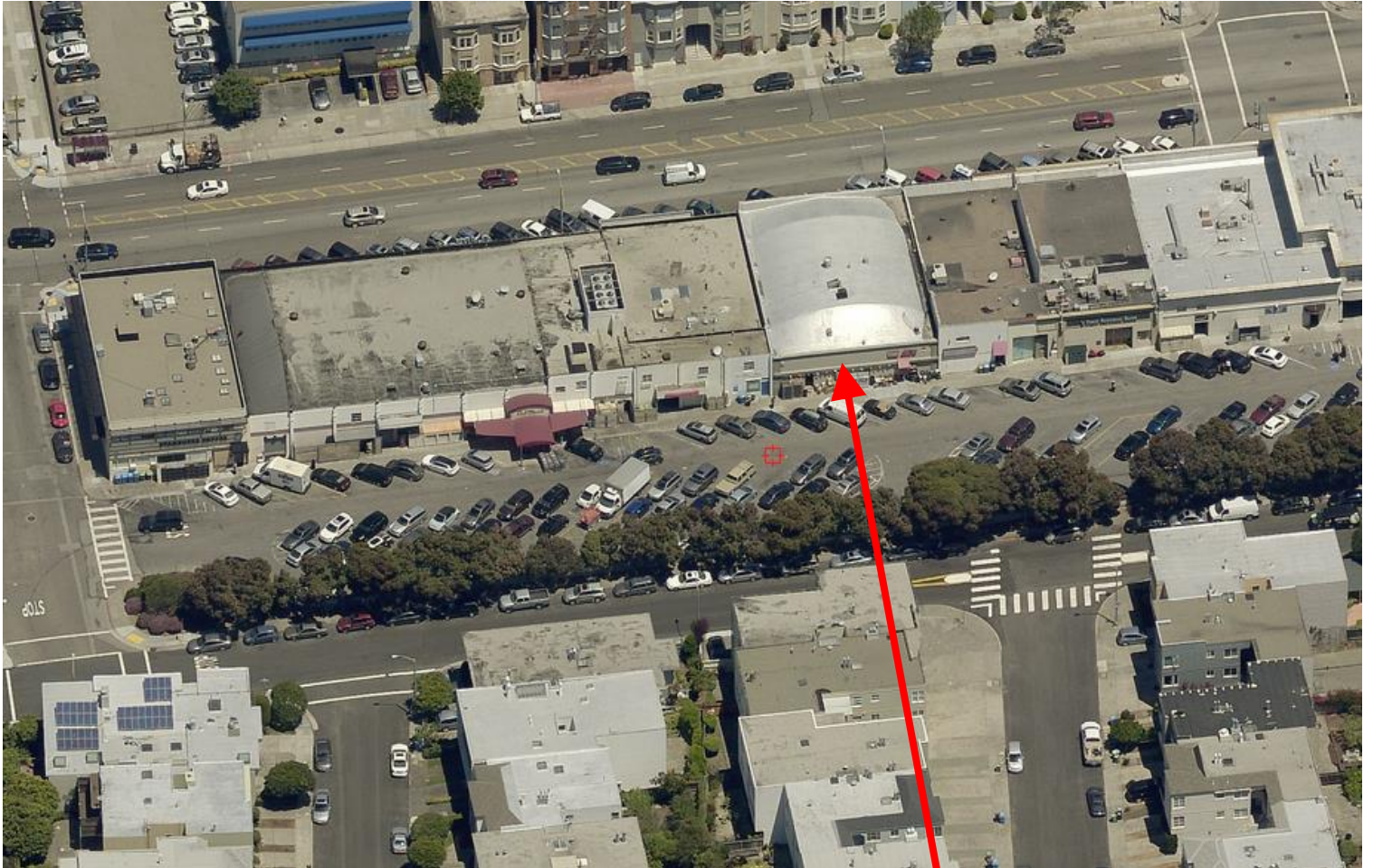


\*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Conditional Use Authorization  
Case Number 2015-003493CUA  
3545-3555 California Street

# Aerial Photo



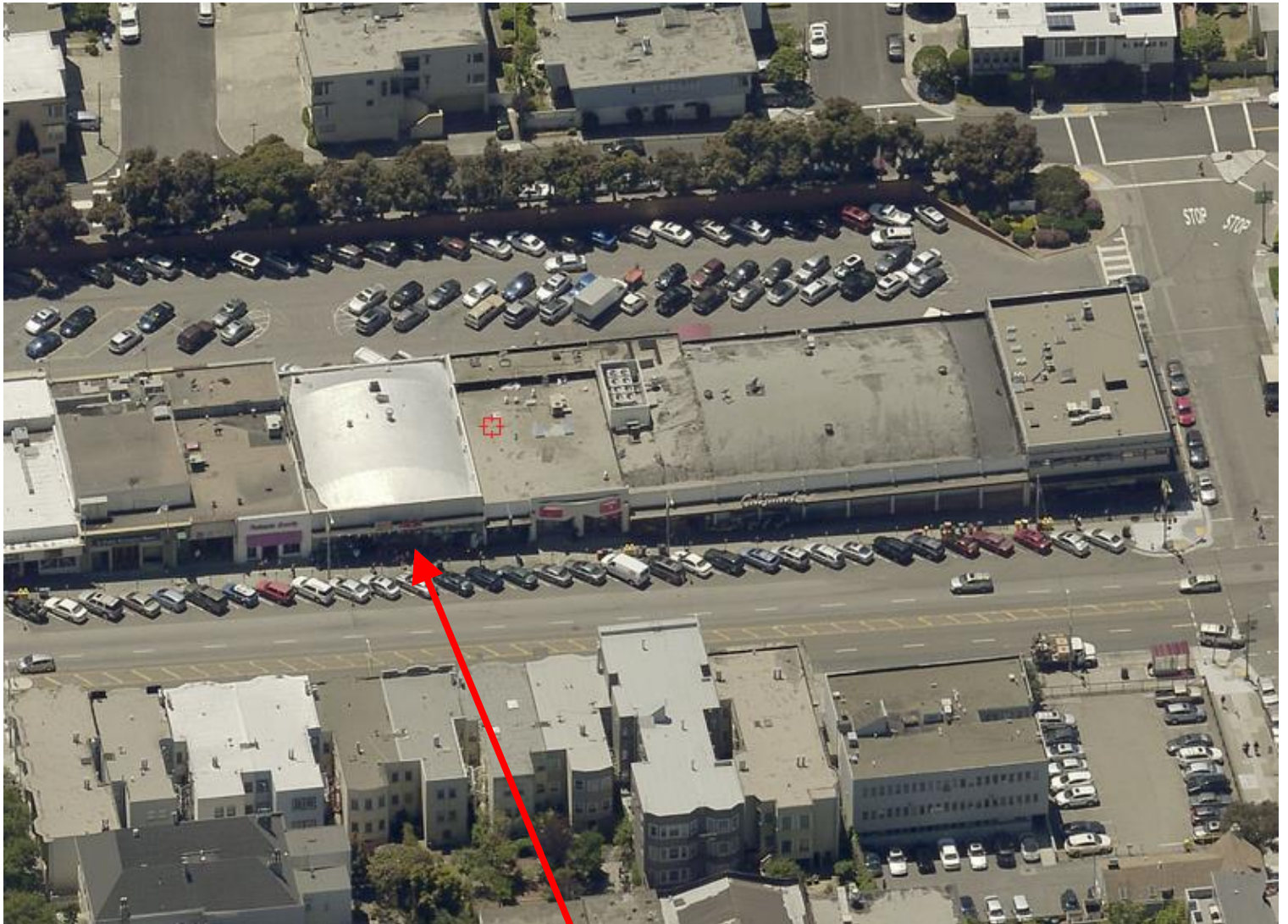
**SUBJECT PROPERTY**



Conditional Use Authorization  
Case Number 2015-003493CUA  
3545-3555 California Street



# Aerial Photo



**SUBJECT PROPERTY**



Conditional Use Authorization  
Case Number 2015-003493CUA  
3545-3555 California Street



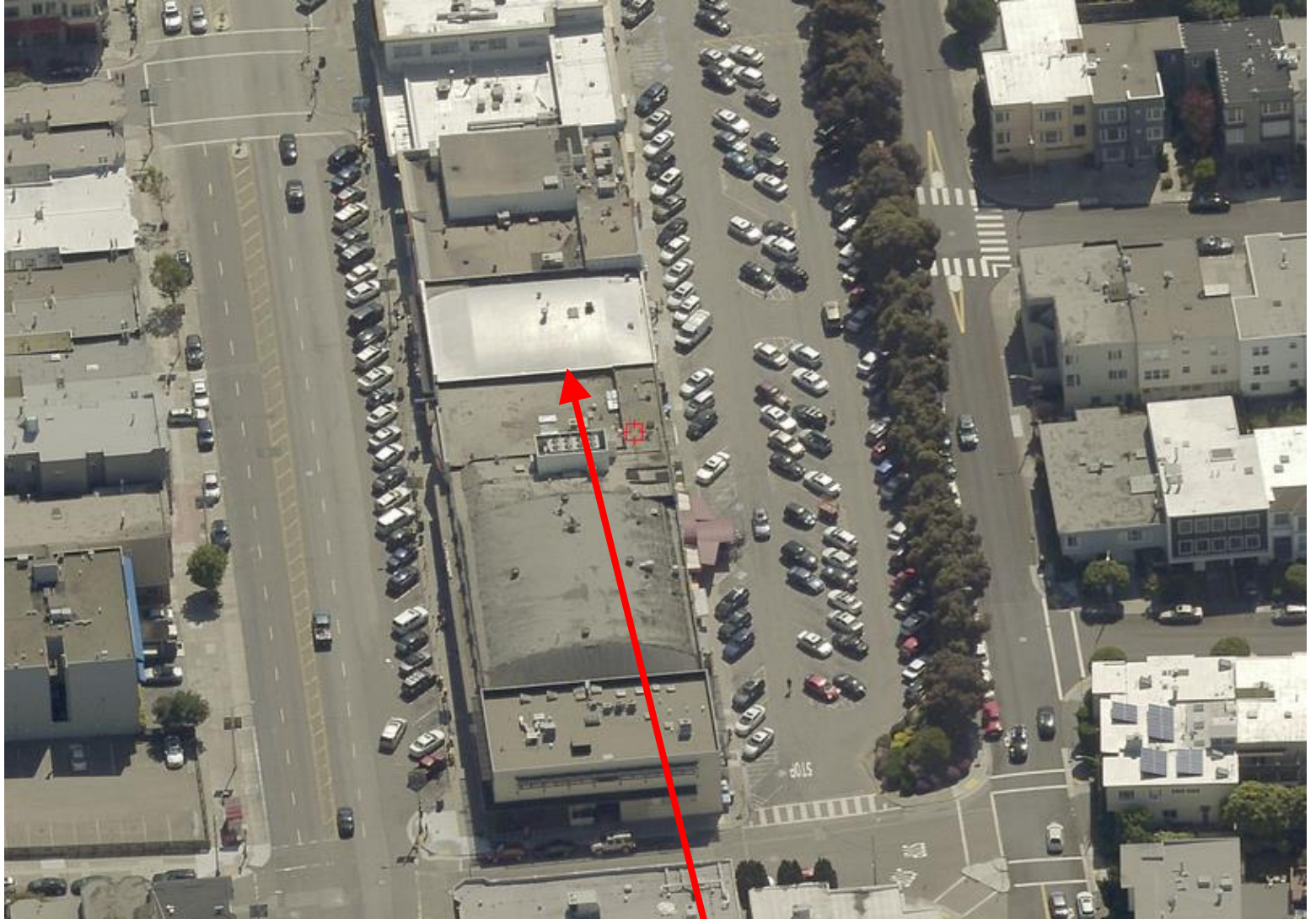
# Aerial Photo



**SUBJECT PROPERTY**



# Aerial Photo



**SUBJECT PROPERTY**

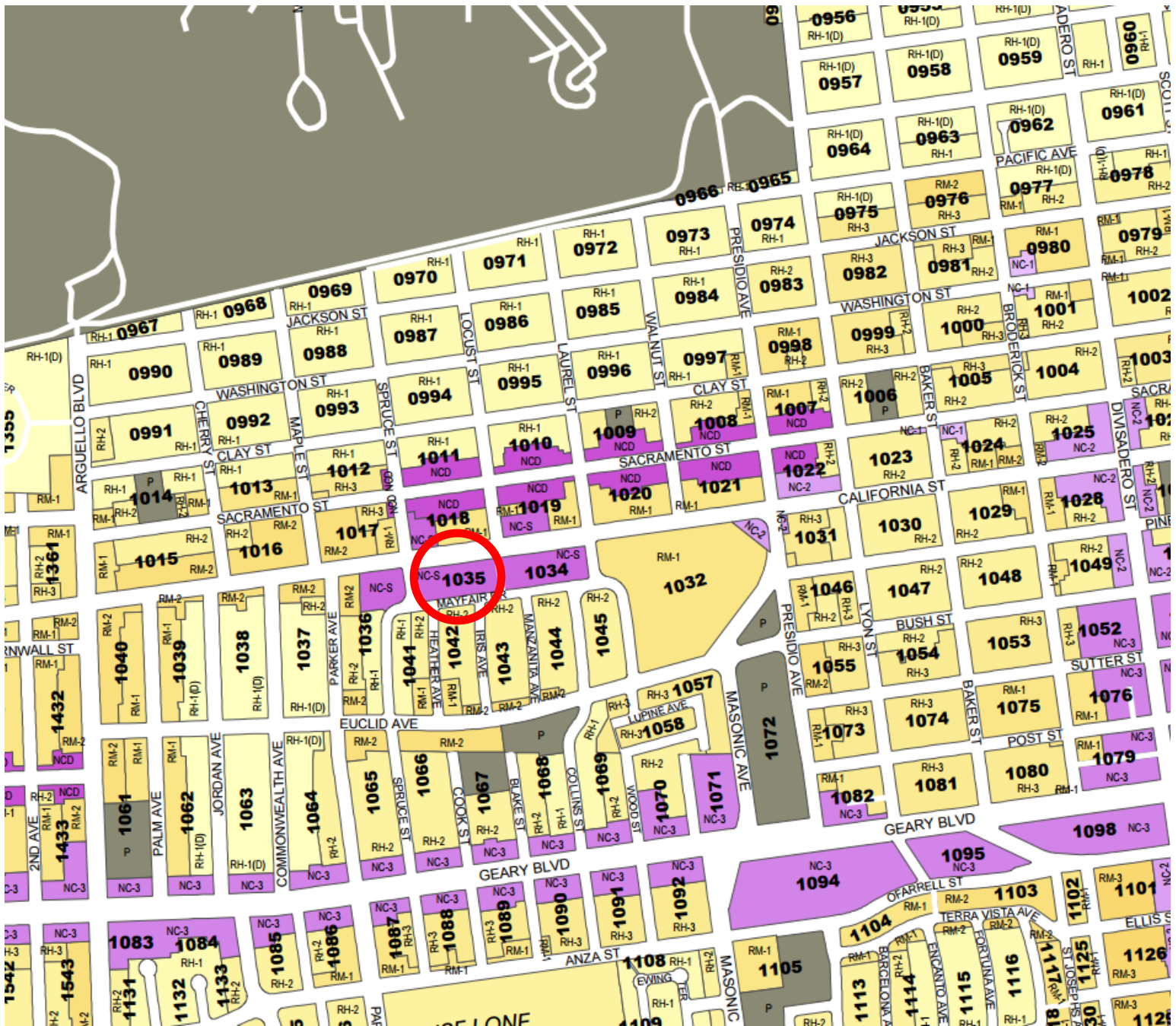


**SAN FRANCISCO  
PLANNING DEPARTMENT**

Conditional Use Authorization  
Case Number 2015-003493CUA  
3545-3555 California Street



# Zoning Map



Conditional Use Authorization  
Case Number 2015-003493CUA  
3545-3555 California Street

# Site Photo



**SUBJECT PROPERTY  
CALIFORNIA STREET FRONTAGE**

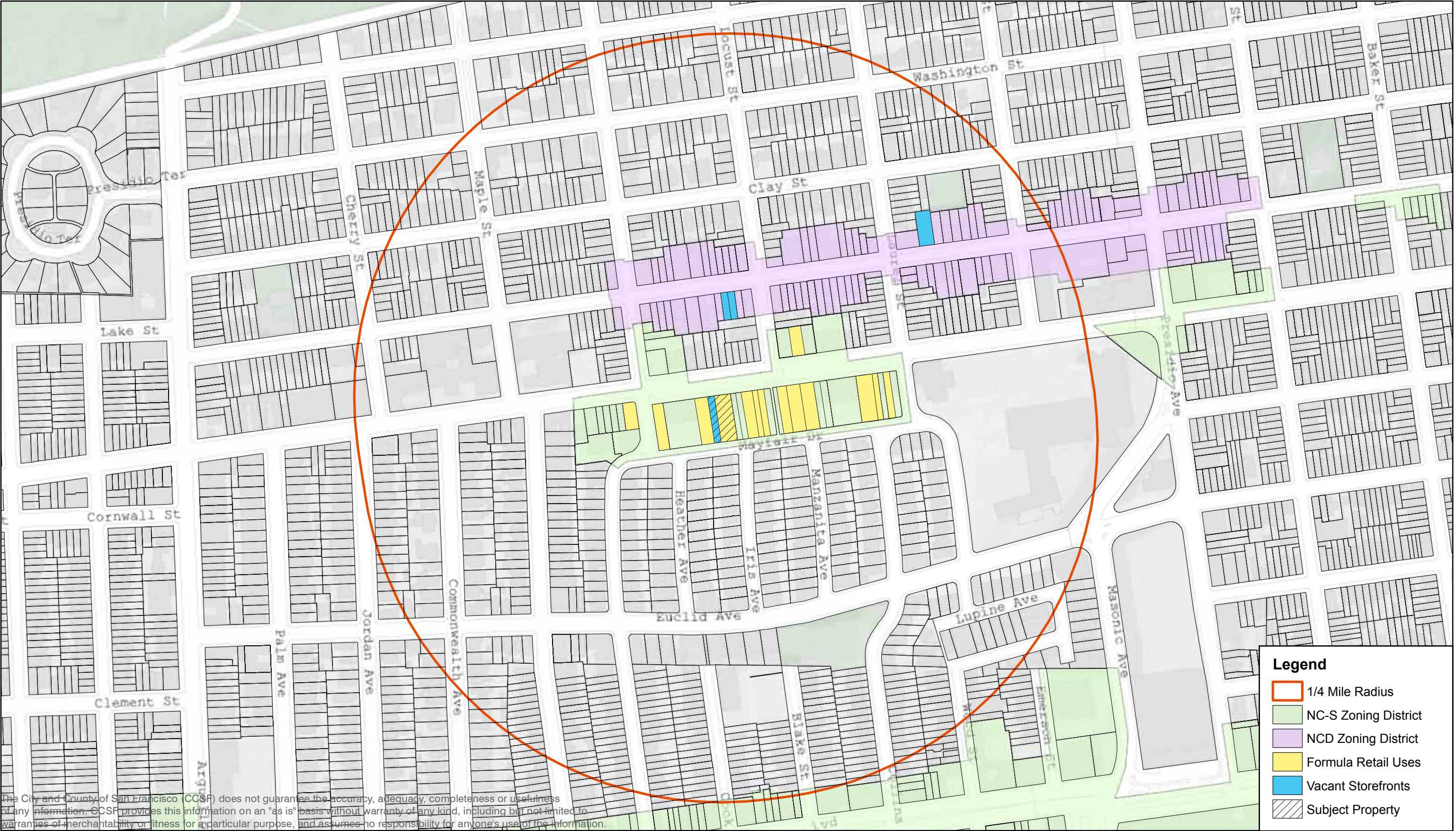
**VACANT TENANT SPACE  
CALIFORNIA STREET FRONTAGE**

Conditional Use Authorization  
Case Number 2015-003493CUA  
3545-3555 California Street



# Conditional Use Authorization 2015-003493CUA

## 3545-3555 California Street



The City and County of San Francisco (CCSF) does not guarantee the accuracy, adequacy, completeness or usefulness of any information. CCSF provides this information on an "as is" basis without warranty of any kind, including but not limited to warranties of merchantability or fitness for a particular purpose, and assumes no responsibility for anyone's use of the information.



# REUBEN, JUNIUS & ROSE, LLP

June 11, 2015

## **By Email and U.S. Mail**

President Rodney Fong  
San Francisco Planning Commission  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

**Re: 3545-3555 California Street: Standard 5 & 10 CU Authorization  
Planning Case No. 2015-003493PRJ  
Our File No.: 8797.01**

Dear President Fong and Commissioners:

This office represents Standard 5 & 10 (“Project Sponsor”), an old-fashioned mom-and-pop variety store located in the Laurel Village shopping center. Standard 5 & 10 first opened its doors in San Francisco in 1939, and has been in Laurel Village since the 1940s. Family-owned and family-run, Standard 5 & 10 takes pride in serving generations of customers, many of whom now bring their kids or grandkids into the store. Project Sponsor proposes a minor expansion into an adjacent space last occupied by a formula retailer (the “Project”), opening an annex exclusively featuring home wares. Standard 5 & 10 is at capacity in its current space, and the Project would allow it to better respond to its customers’ requests. Due to this expansion and Standard 5 & 10’s affiliation with Ace Hardware, conditional use authorization is required. We look forward to presenting the Project to you on July 2, 2015.

### **A. Benefits of the Project**

The benefits of the Project include the following:

1. **Promoting one of the City’s last remaining variety stores.** Standard 5 & 10 is one of the last mom-and-pop variety retailers in San Francisco. There are no other retailers in this part of San Francisco that offer the same or similar products and customer service as Standard 5 & 10. The Project allows it to continue to compete with large national chains, preserving the City’s cultural heritage and maintaining economic diversity.
2. **Minor expansion into a location previously occupied by a formula retailer.** The Project will allow Standard 5 & 10 to take roughly 1,250 square feet of space that was

James A. Reuben | Andrew J. Junius | Kevin H. Rose | Daniel A. Frattin | John Kevlin  
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Melinda A. Sarjapur | Mark H. Loper | Jody Knight | Stephanie L. Haughey | Jared Eigerman<sup>2,3</sup> | John McInerney III<sup>2</sup>

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previously occupied by a formula retail shoe store and open an annex dedicated to home ware goods, which will also free up space in the existing store for additional merchandise. In total, the Standard 5 & 10 store will occupy 6,210 square feet after the expansion. Conditional Use is required for retailers over 6,000 square feet, and for formula retailers. The project will be over 6,000 square feet in size, and Planning staff has determined that Standard 5 & 10 is a formula retailer.

3. **The Project has widespread community support.** The Project's widespread support from neighbors, community groups, and others demonstrates how valued Standard 5 & 10 is in the community. The Laurel Heights Improvement Association and the Laurel Village Merchants Association have formally endorsed the Project, and over 500 customers and community members signed a petition in support.

**B. Background: Standard 5 & 10 and its Purchasing Cooperative**

Standard 5 & 10 first opened a store in San Francisco in 1939, and moved to Laurel Village in 1949. It was started by immigrant Guenther Leopold, who operated it for over 50 years before handing it over to his son and daughter-in-law, Jeff and Michelle Leopold. Jeff and Michelle have continued Guenther's community-first approach to the store.

Standard 5 & 10 offers a unique mix of merchandise. Depending on the season and on customer requests, it features cards, toys, office supplies, hardware, household items, paint, house wares, gifts, and more. There are fewer and fewer mom-and-pop variety stores left in San Francisco. Most have closed or been forced out of business due to increasing competition with big box retailers or large drug stores.

One of the reasons that Standard 5 & 10 can exist and stay competitive in San Francisco is its participation in Ace Hardware's cooperative. This co-op leverages the buying power and economies of scale of different hardware stores to keep overhead low for its members, allowing them to purchase merchandise cheaper than each could on its own. Despite this affiliation, Standard 5 & 10 maintains a wholly unique merchandise mix, and purchases 60% of its merchandise outside of the co-op. This sets it apart from most other members of the cooperative, and demonstrates that Standard 5 & 10 does not meet many of the typical criteria for a "formula" retailer.

Unlike many of the retailers within the Laurel Village shopping center that are part of a national chain, Standard 5 & 10 is one of the last remaining variety stores in San Francisco that is locally owned and operated. The Project will not disrupt any existing neighborhood-serving retailers, and will allow Project Sponsor to continue to provide the merchandise its loyal customers expect, many of whom have been coming to the store for generations.

**C. The Project Proposes a Minor Expansion**

Standard 5 & 10 is currently at capacity in its current retail space at 3545 California Street, with merchandise located and stored nearly to the rafters. Simply, the existing store is too small for Standard 5 & 10 to adequately respond to its customers' demands for new and accessible merchandise.

Project Sponsor proposes an approximately 1,250 square foot expansion into the adjacent storefront that was most recently occupied by StrideRite, a formula retailer. The Project will increase the store's size from 4,960 to 6,210 square feet, allowing Project Sponsor to open an "annex" that exclusively features home ware goods. It will also free up a significant amount of space in Standard 5 & 10's current store for additional merchandise.

**D. Community Support for Standard 5 & 10**

The Project has widespread community support from neighboring merchants, shoppers, and nearby residents. The two local merchant's associations, the Laurel Heights Improvement Association and the Laurel Village Merchants Association, each fully endorsed the Project. In addition, in the last few months 503 customers and community members signed a petition in support of the Project, and at least one member of the community wrote a support letter.

**E. Conclusion**

The Project would slightly expand one of San Francisco's last remaining mom and pop stores, one which is treasured by generations of customers. It will allow Standard 5 & 10 to continue to offer competitive prices and retain a customer base that values service and a customer-oriented shopping experience. Replacing a chain shoe store, the Project has widespread support, from merchant's associations, community groups, and residents of the neighborhood. We respectfully request you approve the Project.

Very truly yours,

**REUBEN, JUNIUS & ROSE, LLP**

  
Mark Loper

cc: Catherine Stafani, Legislative Aide to Supervisor Mark Farrell



# *Laurel Heights Improvement Association of San Francisco, Inc.*

02/04/15

To whom it may concern,

On behalf of the Laurel Heights Improvement Association we are very pleased to endorse the proposed expansion of Standard 5 & 10 Cent Store.

The store has been in Laurel Village since 1950 owned and operated by Guenther Leopold for 65 years; he is now joined by his son Jeff. The store is privately owned and operated by The Leopold family. The lease on the building is a lease with The Leopold's. The Leopold's pay the taxes and insurance and all expenses related to the building. This is their business. It is an independent small business, which continually reinvests in the community.

Standard 5 & 10 is the anchor tenant along with Bryan's & Cal Mart.

The Laurel Heights Improvement Association is delighted to endorse this expansion. We urge you to grant the permit to this wonderful San Francisco icon.

John F. Rothmann

President



# Laurel Village Merchants Association

c/o Wells Fargo Bank  
3431 California St  
San Francisco CA 94118

February 4, 2015

## CITY AND COUNTY OF SAN FRANCISCO

As President of the Laurel Village Merchants Association and a merchant in the Laurel Village Shopping Center for over 50 years, I request your immediate action regarding issuing permits to Standard 5 and 10.

Standard 5 and 10 has been in the Laurel Village shopping center since 1950. They were one of the first stores to open in the center. Currently, Laurel Village is a 22 store shopping center with mostly Independent Single owner stores.

The Leopold's, owners of Standard 5 and 10, have worked hard for 65 years to further the progress of Laurel Village. We are enthusiastically supporting their expansion of adding 1200 square feet at 3555 California Street to their present store.

Standard 5 and 10 carries a large variety of merchandise that serves the entire neighborhood. We feel the expansion of their houseware department is truly needed in our shopping center. We ask you to please issue the proper permits as soon as possible.

If you have any questions or concerns, please call me (415) 752-0179.

Sincerely yours,

Terence Flannery  
Laurel Village Merchant Association, President  
Bryans Quality Meats, Owner



May 4, 2015

To the San Francisco Planning Commission:

As a 20+ year customer of Standard 5&10 Ace and a San Francisco resident, I give my strong support and endorsement of the expansion of Standard 5&10 Ace at 3545 California Street into the former Stride Rite/Jr. Boot Shop location at 3555 California Street.

Allowing this beloved mom & pop store to expand into the space next door is a great choice for Laurel Village and the Richmond District community, and we've missed having a wide selection of upscale houseware offerings since HomeChef departed Laurel Village in 2006. Standard 5&10 has been locally owned since opening in San Francisco in 1939, and has a 76-year track record of retail success in San Francisco; you can't go wrong by continuing this home-grown retail success. Furthermore, Standard 5 & 10 has a history of giving back to the local community; supporting local schools and organizations.

Standard 5&10 is a beloved merchant in Laurel Village, and there truly is not another store like it anywhere else. The expansion of this SF institution will continue to benefit the diverse character of the Laurel Village Shopping Area, and will continue to add to the strength and the uniqueness of retail options throughout San Francisco.

Thank you for allowing the addition to Standard 5&10 to open at your earliest convenience, which will benefit all of us who shop the Laurel Village Shopping Center.

Sincerely,



Michael Ohlson  
3900 California St. #8  
San Francisco, Ca 94118





# Standard 5&10 Ace & Marin Ace

Two family-owned and operated stores to help solve your projects... Since 1939!

Corporate Office: Standard 5&10 Ace

3545 California Street

San Francisco, CA 94118

info@standard5n10.com

415/751-5767 phone, 415/751-4287 fax

www.Standard5n10.com & www.MarinAce.com

As a customer of Standard 5&10 Ace and/or a San Francisco resident, I give my **support and endorsement of the expansion of Standard 5&10 Ace** at 3545 California Street into the former Stride Rite/Jr. Boot Shop location at 3555 California Street.

NAME:

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NAME:

PHONE:

EMAIL:

Mariko Hlyz	(415) 759-5672	
Carol Shahn	(415) 923-954	SF
LO	415-603-1197	SF
Ray Hill	415 580 7268	
Richard Shorth	415-752-3170	SF
Agathe Aoris	415-505-6003	SF
Fred Jones	415-385-5589	SF
Marie Patis	415-368-5698	SF
Tracy Murphy	415 829 2091	-SF
Sam Sullivan	415 990-2027	SF
Roy M. Jonnell	415 609-9157	SF
N.N. Wun		SF
Joyce Fan	415-885-3508	SF
Chris	415 567-2129	
J. C. C.	415 337-7814	SF
A. S. ZOGA	415 742 4130	SF
Craig Etlin	415-346-1468	- SF





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NAME:	PHONE:	EMAIL:
Brian David	415 378 7777	brian_david@hotmail.com
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NAME:	PHONE:	EMAIL:
KATIE DELMAR	650-455-3740	
Mary Moore	415-327-1548	
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Neda Haysen	415-668-1794	
MARIA	415 261-2360	
Chris	415-260-5158	
Sophia	415-260-5158	
Shelia Abad	415 632 6322	
Mary DeVries	415 307-6122	
Julia Perino	415-771-2226	
Michael Flaherman	415-308-4069	
Michael Flaherman	415-923-1589	
Deb Douglas	415 298 7260	
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Linda Pavaana	4159999848	
Kate Acevedo	415-969-3450	
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Julia Guggenheim	415 668-3860	





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Karin Macdonald	612-670-6361	
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NAME:	PHONE:	EMAIL:
Mary Lou Cranna	415-751-1870	reina_0909@comcast.net
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Jayne Healey	415-577-1941	—
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Dori Ryker	—	—
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Amy Wadsworth

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Al

Christopher Friedman

Dusan Wrenn

SANTA R. JOHNSON

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ADAM

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Mary Artrell (415) 422-0292

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Clare Wong 415-565-2982

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# Standard 5&10 Ace & Marin A

Two family-owned and operated stores to help solve your projects... Since

Corporate Office: Standard 5&

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San Francisco, CA  
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www.Standard5n10.com & www.MarinA

As a customer of Standard 5&10 Ace and/or a San Francisco resident, I give my **support and endorsement of the expansion of Standard 5&10 Ace** at 3545 California Street into the former Stride Rite/Jr. Boot Shop location at 3555 California Street.

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MARTA ZANCHA

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Pam Farmer

Sabrina Johnson

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Paula J. Baum 415 661-6060

Mimi Smith 415-585-4590

JEFF BACK 674@hotmail.com

QUEENTAP@hotmail.com



# Standard 5&10 Ace & Marin Ace

Two family-owned and operated stores to help solve your projects... Since 1939!

Corporate Office: Standard 5&10 Ace

3545 California Street  
San Francisco, CA 94118  
info@standard5n10.com

415/751-5767 phone, 415/751-4287 fax  
www.Standard5n10.com & www.MarinAce.com

As a customer of Standard 5&10 Ace and/or a San Francisco resident, I give my **support and endorsement of the expansion of Standard 5&10 Ace** at 3545 California Street into the former Stride Rite/Jr. Boot Shop location at 3555 California Street.

NAME:	PHONE:	EMAIL:
Kathryn McManus	978 979 3219	
Talissa Gifford	415 921-0885	
Jarita Hunt	415-624-3668	
Kate Vesco	415-710-1031	kate-vesco@gmail.com
Vivian Sanchez	415.5231876	
Bob Flesher	415 793 3262	
Sam Gidich	415 745 5103	
Neil Grant	650-583-7116	nsgrant2003@yahoo.com
Larry Barker	415 871 6291	
Jeff	415 780 229066	
Ann O'Leary	415 - 292-5289	
LE Forrell	415 - 567 - 7166	
Jessie abullock	415-668-6249	
Robert L. Meyer	415-668 - 3123	
Brian Lee	415 752-7582	
Ken Smith	415 - 568 - 7967	
Benny Finn	805 - 963 - 7825	owner - Ace # 9345 Santa Barbara Home Improv Center







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NAME:	PHONE:	EMAIL:
Patty Selrakson	415-563-4444	
[Signature]	415-440-4278	
P. Benson	415-921-1588	
L. Klee	" 647-2459	
Erich Schloss		
[Signature]		
Alice Allick	415-525-4078	
Christalyn Ligeeth	408-661-9093	
Megan Levitan	415-407-5244	mlevitan@hittl-co.com
Peter Heldman	415-385-4444	
Shemp Kolos	415-393-2264	
[Signature]	415-742-0946	
[Signature]	415-752-2456	
Theresa Sullivan		
Wendy Brauer	415-305-9223	
Bob Lyndall	415-668-1545	
Donna Ames-Heldford	415-752-8773	



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NAME:	PHONE:	EMAIL:
Hugh Carroll	415 254 7966	hughstensoncarroll@gmail.com
Wesley Clark	415-346-1898	
Eric Morement		emmorement@gmail.com
Jim Dietz	415-574-8153	
ELIANE ASPIRE	415-622-9850	
Brandon Remos	415-351-2119	
Gail Remos	415-351-2119	
Kevin Stinemann	415-735-3856	
Maura Georges	415-290-4756	
Lili Wren	415-254-1804	lili.wren@att.net
Paula Wren	415-221-3615	Paula.Wren@Comcast.net
Leslie Krampert	876-0837	
Tony Stais	415-933-7575	
M.A. Molnar	415-793-3302	
Jennifer Jarrett	706-2438	
Chris Gardaritis	415/264-5567	
Katie McDermid	415-499-9936	





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NAME:

PHONE:

EMAIL:

Alyce Pagano

415-285-4535

AC. STAGLIANO

(415) 752-9800

Caitlin Taylor

415 - 298 - 7202

Michael Lee

650 7267617

Haden Nicholl

415 - 407 - 4827

Malloreys Bischof

949) 680-5278

Bill Mounay

415 - 652 - 1693

Gerri Spahn

415 387 9836

SEAS

415 298 8959

MTA

415 640 - 8207

Rachel Baker

415-882-7221

AWS

415 922 5110

KAREN HICKS

415 412 2113

IAN PHEL

678-777-3666

Clinton O'Connor

415-906-3001

Andy Thornley

415 .244.4605 apt 2 thornley.com



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NAME:

PHONE:

EMAIL:

Phyllis Maxwell

415 823-3433

Ross R Maxwell

Russ Maxwell 415-752-9166

Louise Abeel

415 706-2388

Lorraine R. Barber

415-902-6134

Lede Gilman

415 606 0053

ANTHONY SOLAGUA

415-385-2914

Jennifer Richey

415) 860 7114

Alex von Stein

415 652 5140

MARIA Jans

522 4698

Jung Lim

415-867-3752

Brice Hobbs

415 690 5711

GAROL ROTHMAN

415 752 3753

Sonja Treacy

415-221-0223

Eli Flores

510 332 4828

Sarah W

415.751.0503





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NAME:	PHONE:	EMAIL:
Crishane Berger	415 221 6614	CRISB66@yahoo.com
Judith Mettler	415-425-7966	Judithmettler@gmail.com
Susan Tom	415-309-6930	susan.e.tom@gmail.com
Margaret Spaly	734-395-8563	
Ruth Portier	415-525-4474	
Margu Dean	415-335-0222	
BETH GREEN	209-608-0398	BETHLAWRIEGREEN@GMAIL
Signe Kurian	415.508.6327	
Car. J. B.	415 876-1860	
Judith Capellano	415 921-6383	Judithcapellano@yahoo.com
Tina Lee	(415) 407-7024	ms.tina.lee@gmail.com
Carol Williamson	415-221-2284	yankeecw@yahoo.com
Dan Bush	415-317-4633	danjbush@gmail.com
Tara Page	530.228.8953	
Cathie Carrs	415 317.2944	
<del>XXXXXXXXXX</del>		
<del>XXXXXXXXXX</del>		



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NAME:

PHONE:

EMAIL:

L. Maremont

415-386-3033

Cleaner Johns

415 - 387-7110

Deanna McHugh

415-595-0264 fogcity2@gmail.com

Molly McCles

415 760 6252

Irre Able

415-819-2838

JOAN LIVINGSTON

JOAN LIVINGSTON I@gmail.com

Dolores Perri

415-752-0967

Janneth Jough

415-387-3746

Rose Perri

415 990 3280

Anthony Gaudin

415 951 0919

ROSE CASSERLY

415 751-3566

Joyce Lively

415-810-4496





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NAME:	PHONE:	EMAIL:
Hannelore Romero	378-7815	hannelore.romero@gmail.com
Christine Haussan	823-4570	christinehaussan@mac.com
Donna D'Arli	624-4774	-
Karen Karpelle	751-6164	-
Cynthia Billops	415-205-2111	c_billops@yahoo.com
Alex Avina	415-674-4821	aa-vina@officecv.org
Bonnie Barnett	415/699-2555	
N - Ginigé	415/981-8133	
M. Delle	415-563-0149	mddelle@comcast.com
K. Keilman	415-731-9335	espejardo@gmail.com
Michael Wor	415-665-1272	
Christine L. Monet	415-741-4716	
Leanne Stue	415-310-5680	leannestue@hotmail.com
S. Moradiz	415-929-2519	
Anna-Maria Gene	415-229-8405	
Barbara Horne	415-387-0638	BarbaraHorne



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NAME:	PHONE:	EMAIL:
<i>A. J. Chin</i>	415-235-3927	book_girl_20@yahoo.com
<i>[Signature]</i>	415-799-9770	michae_dorfe.com@T.NET
Rebecca Blondin	415 513 6651	rjblondin@gmail.com
Karine Langan	415-608-2740	Karine@Langan.net
Gil Barber	415 742 0757	gabbarber@gmail.com
Usha Burns	415-563-8686	ushaburns@msm.com
Joseph Miller	415 710 5440	
Angelica Michela	1674-17th Ave	angelica.michela@yahoo.com
Freddie Trank	415 796 0393	FreddieTrank@ATT.net
Kate Flynn	415-731-1500	
Linda Edley	415 206 9287	
Marilyn Thieme	415-386-1722	
Ray Litz	415 668 5161	DIFG2@AOL.Com
BOB KORMAN	3464364	
Ann Green	415 860 8211	anniegsgf@gmail.com
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NAME:	PHONE:	EMAIL:
Eleanor Bigelow	(415) 928-7644	
FLORENCE HOLL	415-668-7073	
Jody Atkins	415 379 9699	
Victoria Sangster	415 346 0691	
Alyssa Berwick	415-244-4955	
Jessica Ester	415-309-9788	
Just Campbell	(415) 261-2613	campbellarchitect@aol.com
R Payne	415-205-4852	rbpayne3@yahoo.com
MARY KLINGBEIL	415 717 6630	globe290@earthlink.net
TERI SARDONIA	415 740 0284	WPADESIGN@aol.com
Margaret Sullivan	415 742-0259	
Patrice Lovato	415 601 9088	
Elizabeth Traub	415 730 3163	etraub10@gmail.com
ACANDERSON	415-664-3927	
SHERRY PENZAS	415-0321	SPENZAS@MAC.COM
Lee Ryan	415 386 9341	
Michelle M <sup>rs</sup> Elmelf	415 668-4402	michaele@prodigy.net





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NAME:

PHONE:

EMAIL:

Theresa Foster

415 512 4045

tfoster538@gmail.com

TERRI CRAWFORD

831 277 4172

terri-crawford@hotmail.com

MM

Geoffrey Tuller

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geofftuller@gmail.com

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catherinebeth@yahoo.com

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lyndasullivan@yahoo.com

Serene Dong

415 225 2474

mommabears@gmail.com

Lynne M. Ketch

415-668-1110

LEACH@earthlink.net (HAK)

Jana

415-655 5851

flynnlibbey@earthlink.net



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NAME:

PHONE:

EMAIL:

Teresa Geibel 415.742.4810 teresakgeibel@gmail.com

Shirley Hupfer 415-986-4678

Amy 415 2189025

Diana Caliz 415-750-8400

Elinor Liberman 415-279-1741 ebkljune@comcast.net

Ms. L. March 415 279 7036 ms.lmarch@comcast.net

John 415-346-7345

Barbara Clemons 281-799-4423 USF63@aol.com



The aerial view (top) shows the proposed expansion (indicated by a dashed line) and the existing store (indicated by a solid line) and existing parking lot (indicated by a solid line). The site plan view (bottom) shows the proposed expansion (indicated by a dashed line) and the existing store (indicated by a solid line) and existing parking lot (indicated by a solid line).

**A COPY OF THIS DOCUMENT SHALL BE KEPT WITH THE APPROVED STRUCTURAL DRAWING SET**

**JOB ADDRESS** \_\_\_\_\_

**APPLICATION NO.** \_\_\_\_\_

**ADDENDUM NO.** \_\_\_\_\_

**OWNER NAME** \_\_\_\_\_

**OWNER PHONE NO.** (\_\_\_\_) \_\_\_\_\_

Employment of Special Inspection is the direct responsibility of the OWNER, or the engineer/architect or record acting as the owner's representative. Special inspectors shall be one of those as prescribed in Section 1704. Name of special inspector to be furnished to DEB District Inspector prior to start of the work for which the Special Inspection is required. Structural observation shall be performed as provided by Section 1710. A preconstruction conference is recommended for owner/building or designer/building projects, complex and highrise projects, and for projects utilizing new processes or materials.

In accordance with Sec. 1701;1703;1704 (2010 SFBG), Special Inspection and/or testing is required for the following work:

1. [ ] Concrete (Placement & sampling) 2. [ ] Bolts installed in concrete 3. [ ] Special moment - Reinforcing concrete frame 4. [ ] Reinforcing steel and prestressing tendons 5. <b>Structural welding:</b> A. Periodic visual inspection [ ] Single pass fillet welds 5/16" or smaller [ ] Steel deck [ ] Welded slabs [ ] Cold formed studs and joists [ ] Steel and reeling systems [ ] Reinforcing steel B. Continuous visual inspection and NDT [ ] Section 1704 [ ] All other welding (NDT exception: Fillet weld Reinforcing steel and [ ] NDT required Moment-resisting frames [ ] Others _____	6. [ ] High-strength bolting 7. [ ] Structural masonry 8. [ ] Reinforced gypsum concrete 9. [ ] Insulating concrete fill 10. [ ] Sprayed-on fireproofing 11. [ ] Piling, drilled piers and caissons 12. [ ] Shotcrete 13. [ ] Special grading, excavation and filling (See Eng. Engineers) 14. [ ] Structural control system 15. [ ] Demolition 16. [ ] Exterior cladding 17. <b>Retrofit of unreinforced masonry buildings:</b> [ ] Testing of mortar quality and shear tests [ ] Inspection of repointing operations [ ] Installation inspection of new shear bolts [ ] The installation inspection for embedded bolts [ ] Pulfruge tests per SFBG Sec. 1610C & 1610C	18. <b>Bolts installed in existing concrete or masonry</b> [ ] Concrete [ ] Masonry [ ] Pulfruge tests per SFBG Sec. 1610C & 1610C 19. [ ] Shear walls and floor systems used as shear diaphragms 20. [ ] Holdowns 21. <b>Special cases:</b> [ ] Shoring [ ] Underpinning [ ] Not affecting adjacent property [ ] Affecting adjacent property, PA [ ] Others [ ] Crane safety (Apply to the operation of tower cranes on highrise building) (Section 1704.20) 22. [ ] Others: As recommended by professional of record" _____
--	--	---

24. **Structural observation per Sec. 1719 (2010 SFBG) for the following:** [ ] Foundations [ ] Steel framing  
 [ ] Concrete construction [ ] Masonry construction [ ] Wood framing  
 [ ] Other \_\_\_\_\_

25. Certification is required for: [ ] Slip-cum components

Prepared by  
 Engineer/Architect of Record  
 \_\_\_\_\_  
 Required information  
 FAX: (\_\_\_\_) \_\_\_\_\_

\_\_\_\_\_  
 Email: \_\_\_\_\_

Review by: \_\_\_\_\_  
 DEB Engineer or Plan Checker

Phone: (415) 558-\_\_\_\_\_  
 \_\_\_\_\_

\*\*\*\*\*

**APPROVAL (Based on submitted reports.)**

DATE \_\_\_\_\_

DEB Engineer or Plan Checker \_\_\_\_\_

Special Inspection Services Staff \_\_\_\_\_

QUESTIONS ABOUT SPECIAL INSPECTION AND STRUCTURAL OBSERVATION SHOULD BE DIRECTED TO  
 Special Inspection Services (415) 558-6132; or [sls@specialinspectionstaff.org](mailto:sls@specialinspectionstaff.org); or FAX (415) 558-6474

BUILDING ADDRESS:	3545 & 3555 CALIFORNIA ST SAN FRANCISCO, CA
BLOCK / LOT: ZONING:	1035 / 005 (3545 CALIFORNIA ST) 1035 / 006 (3555 CALIFORNIA ST)
CURRENT USE OF SPACE:	RETAIL
PROPOSED USE:	RETAIL
PROJECT AREA:	
BUILDING AREA:	4,960 sq ft (3545 CALIFORNIA ST) 1,250 sq ft (3555 CALIFORNIA ST)
OCCUPANCY GROUP:	
CONSTRUCTION TYPE:	3
NUMBER OF STORIES:	1
OCCUPANT LOAD:	
IS THIS BUILDING EQUIPPED WITH:	
FIRE SPRINKLERS?	NO
FIRE ALARM SYSTEM?	NO
ANY CHEMICALS/HAZARDOUS MATERIALS TO BE STORED ON SITE?	NO
SCOPE OF WORK:	INTERIOR RENOVATION OF EXISTING RETAIL SPACE AND

- A. COMPLY WITH CODES, LAWS, ORDINANCES, RULES, AND REGULATIONS OF PUBLIC AUTHORITIES GOVERNING THE WORK.
- B. OBTAIN AND PAY FOR PERMITS AND INSPECTIONS REQUIRED BY PUBLIC AUTHORITIES GOVERNING THE WORK.
- C. REVIEW DOCUMENTS, VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT WORK IS BUILDABLE AS SHOWN. REPORT ANY CONFLICTS OR OMISSIONS TO THE ARCHITECT FOR CLARIFICATION PRIOR TO PERFORMING ANY WORK IN QUESTION.
- D. SUBMIT REQUESTS FOR SUBSTITUTIONS, REVISIONS, OR CHANGES TO ARCHITECT FOR REVIEW PRIOR TO PURCHASE, FABRICATION OR INSTALLATION.
- E. COORDINATE WORK WITH THE OWNER, INCLUDING SCHEDULING TIME AND LOCATIONS FOR DELIVERIES, BUILDING ACCESS, USE OF BUILDING SERVICES AND FACILITIES, MINIMIZE DISTURBANCE OF BUILDING FUNCTIONS AND OCCUPANTS.
- F. OWNER WILL PROVIDE WORK NOTED "BY OTHERS" OR "NIC" UNDER SEPARATE CONTRACT. INCLUDE SCHEDULE REQUIREMENTS IN CONSTRUCTION PROGRESS SCHEDULE AND COORDINATE TO ASSURE ORDERLY SEQUENCE OF INSTALLATION
- G. MAINTAIN EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES, AND ALARMS IN CONFORMANCE WITH CODES AND ORDINANCES.
- H. PROTECT AREA OF WORK AND ADJACENT AREAS FROM DAMAGE.
- I. MAINTAIN WORK AREAS SECURE AND LOCKABLE DURING CONSTRUCTION. COORDINATE WITH TENANT AND LANDLORD TO ENSURE SECURITY.
- J. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE ARCHITECT.
- K. PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE, UNLESS OTHERWISE NOTED. MAINTAIN DIMENSIONS MARKED "CLEAR". ALLOW FOR THICKNESS OF FINISHES.
- L. COORDINATE AND PROVIDE BACKING FOR MILLWORK AND ITEMS ATTACHED OR MOUNTED TO WALLS OR CEILINGS.
- M. WHERE EXISTING ACCESS PANELS CONFLICT WITH CONSTRUCTION, RELOCATE PANELS TO ALIGN WITH AND FIT WITHIN NEW CONSTRUCTION.
- N. UNDERCUT DOORS TO CLEAR TOP OF FLOOR FINISHES BY 1/4 INCH, UNLESS OTHERWISE NOTED

- A. COMPLY WITH APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS PERTAINING TO SAFETY OF PERSONS, PROPERTY AND ENVIRONMENTAL PROTECTION.
- B. PROVIDE AND MAINTAIN BARRICADES, LIGHTING, AND GUARDRAILS AS REQUIRED BY APPLICABLE CODES AND REGULATIONS TO PROTECT OCCUPANTS OF BUILDING AND WORKERS.
- C. ERECT AND MAINTAIN DUSTPROOF PARTITIONS AS REQUIRED TO PREVENT SPREAD OF DUST, FUMES, AND SMOKE, ETC. TO OTHER PARTS OF THE BUILDING. ON COMPLETION, REMOVE PARTITIONS AND REPAIR DAMAGED SURFACES TO MATCH ADJACENT SURFACES.
- D. IF DEMOLITION IS PERFORMED IN EXCESS OF THAT REQUIRED, RESTORE EFFECTED AREAS AT NO COST TO THE OWNER.
- E. REMOVE FROM SITE DAILY AND LEGALLY DISPOSE OF REFUSE, DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS.
- F. REMOVE DESIGNATED PARTITIONS, COMPONENTS, BUILDING EQUIPMENT, AND FIXTURES AS REQUIRED FOR NEW WORK.
- G. REMOVE ABANDONED HVAC EQUIPMENT, INCLUDING DUCT WORK.
- H. REMOVE ABANDONED ELECTRICAL, TELEPHONE AND DATA CABLEING AND DEVICES, UNLESS OTHERWISE NOTED.
- I. REMOVE EXISTING FLOOR FINISHES AND PREPARE SUBFLOOR AS REQUIRED FOR NEW FLOOR FINISHES.

APPLICABLE BUILDING CODES:

BUILDING CODE:	2013 CALIFORNIA BUILDING CODE AND 2013 SAN FRANCISCO BUILDING CODE WITH AMENDMENTS
MECHANICAL CODE:	2013 CALIFORNIA MECHANICAL CODE
PLUMBING CODE:	2013 CALIFORNIA PLUMBING CODE
ENERGY CODE:	2013 CALIFORNIA ENERGY CODE

A-1.1	GENERAL NOTES, PROJECT INFORMATION AND DA CHECKLIST
A-1.2	VICINITY MAP AND SITE PLAN
A-2	EXISTING FLOOR PLAN, PROPOSED PLAN AND ELEVATION
A-3	LIFT DETAILS, EXISTING DISABLED PARKING AND PATH OF TRAVEL
S-1	GENERAL NOTES AND TYPICAL DETAILS
S-2	DETAILS
E-1	PROPOSED LIGHTING PLAN

**SATTARY**  
**STRUCTURAL ENGINEERING**  
5517 GEARY BLVD., Ste201, SAN FRANCISCO, CA 94121  
PH: (415) 422-0456 FAX: (415) 422-0457  
EMAIL: [vahid@sattary.com](mailto:vahid@sattary.com)



Project:

Standard 5 & 10  
Store Expansion  
3545 3555 California St.  
San Francisco, CA

[illegible]

Issue	Description	Date
-------	-------------	------

Drawn: VS Check:

Job No: 14000                      Scale: AS NOTED

Building:  
3545 California Street, San Francisco, CA

Owner:

## Standard 5 and 10

Title:

GENERAL NOTES,  
PROJECT INFORMATION AND  
DA CHECKLIST

Sheet: **A-1.1**

*For ALL tenant improvement projects in commercial use spaces, both pages of this checklist are required to be reproduced on the plan set and signed.*

1. The proposed use of the project is \_\_\_\_\_ (e.g. Retail, Office, Restaurant, etc.)
2. Describe the area of remodel, including which floor: \_\_\_\_\_
3. The construction cost of this project *excluding* disabled access upgrades to the path of travel is \$ \_\_\_\_\_, which is *(check one)* ☐ more than / ☐ less than the Accessibility Threshold amount of **\$143,300.00** based on the "2013 ENR Construction Cost Index." (The cost index & threshold are updated annually).
4. Is this a City project and/or does it receive any form of public funding? Check one: Yes / No  
 Note: If Yes, then see Step 3 on the Instructions page of the Disabled Access Upgrade Compliance Checklist package for additional forms required.

Conditions below must be fully documented by accompanying drawings

- |  |  |
|--|--|
| 5. Read A through D below carefully and check the most applicable boxes. Check one box only: |  |
| <input type="checkbox"/>   | A: All existing conditions serving the area of remodel fully comply with access requirements. No further upgrades are required:<br>Fill out page 2 of D.A. Checklist   |
| <input type="checkbox"/>   | B: Project Adjusted cost of construction is greater than the current valuation threshold:<br>Fill out and attach page 2 of D.A. Checklist and any other required forms to plans  |
| <input type="checkbox"/>   | C: Project adjusted cost of construction is less than or equal to the current valuation threshold:<br>List items that will be upgraded on Form C. All other items shall be checked on page 2 of the D.A. Checklist in the "Not required by code" column. |
| <input type="checkbox"/>   | D: Proposed project consists entirely of Barrier removal:<br>Fill out and attach Barrier removal form to Plans   |
| <input type="checkbox"/>   | E: <b>Proposed project is</b> minor revision to previously approved permit drawings only.<br>(Note: This shall <b>NOT</b> be used for new or additional work) Provide previously approved permit application here: _____; Description of revision: _____ |

Check all applicable boxes and specify where on the drawings the details are shown:

[illegible]

1. No additional forms required
2. No additional forms required
3. Fill out Request for Approval of Equivalent Facilitation form for each item checked and attach to plan.
4. Fill out Request for Approval of Technical Infeasibility form for each item checked and attach to plan.
5. Provide details from a set of City approved reference drawings, provide its permit application number here \_\_\_\_\_ and list reference drawing number on plans.
6. No additional forms required
7. Fill out Request for an Unreasonable Hardship form for each item checked and attach to plan. All UHR must be ratified by the Access Appeals Commission (see UHR form for details)

This form is only required for projects equal to or under the valuation threshold when box "C" is checked off on the D.A. Checklist and is for providing an itemized list of the estimated costs for the expenditures used for disabled access upgrades for this project. Reproduce this form along with the D.A. Checklist and any required form(s) on the plans.

This form is only required for projects equal to or under the valuation threshold when box "C" is checked off on the D.A. Checklist and is for providing an itemized list of the estimated costs for the expenditures used for disabled access upgrades for this project. Reproduce this form along with the D.A. Checklist and any required form(s) on the plans.

Based on CBC Section 11B-202.4 Exception 8, only projects with a construction cost less than or equal to the valuation threshold (current ENR Construction Cost Index Amount) are eligible for the 20% rule. In choosing which accessible elements to provide, priority should be as listed on p. 2 of the D.A. Checklist.

In general, projects valued over the threshold are not eligible for the 20% rule (see CBC 11B-202.4 Exceptions 1 through 8 for other exceptions).

CBC Section 11B-202.4, Exception 9 (*abbreviated*): In alteration projects involving buildings & facilities previously approved & built without elevators, areas above & below the ground floor are subject to the 20% disproportionality provisions described in Exception 8, even if the value of the project exceeds the valuation threshold in Exception 8. Refer to the Code for the types of buildings & facilities that qualifies for this 20% disproportionality provisions when project valuation is over the threshold.

	Contractor's Estimated Cost	DBI Revised Cost
<b>A) Cost of Construction:</b> (Excluding Alterations to the Path of Travel as required by 11B-202.4)	\$ _____	\$ _____
<b>B) 20% of A) :</b>	\$ _____	\$ _____
List the Upgrade Expenditures and their respective construction cost below:		
1. _____	\$ _____	\$ _____
2. _____	\$ _____	\$ _____
3. _____	\$ _____	\$ _____
4. _____	\$ _____	\$ _____
5. _____	\$ _____	\$ _____
6. _____	\$ _____	\$ _____
7. _____	\$ _____	\$ _____
8. _____	\$ _____	\$ _____
9. _____	\$ _____	\$ _____
<b>Total Upgrade Expenditures</b> Should be approximately equal to, but not to exceed, Line B	\$ _____	\$ _____

**SATTARY**  
**STRUCTURAL ENGINEERING**  
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Project:  
Standard 5 & 10  
Store Expansion  
3545 3555 California St.  
San Francisco, CA

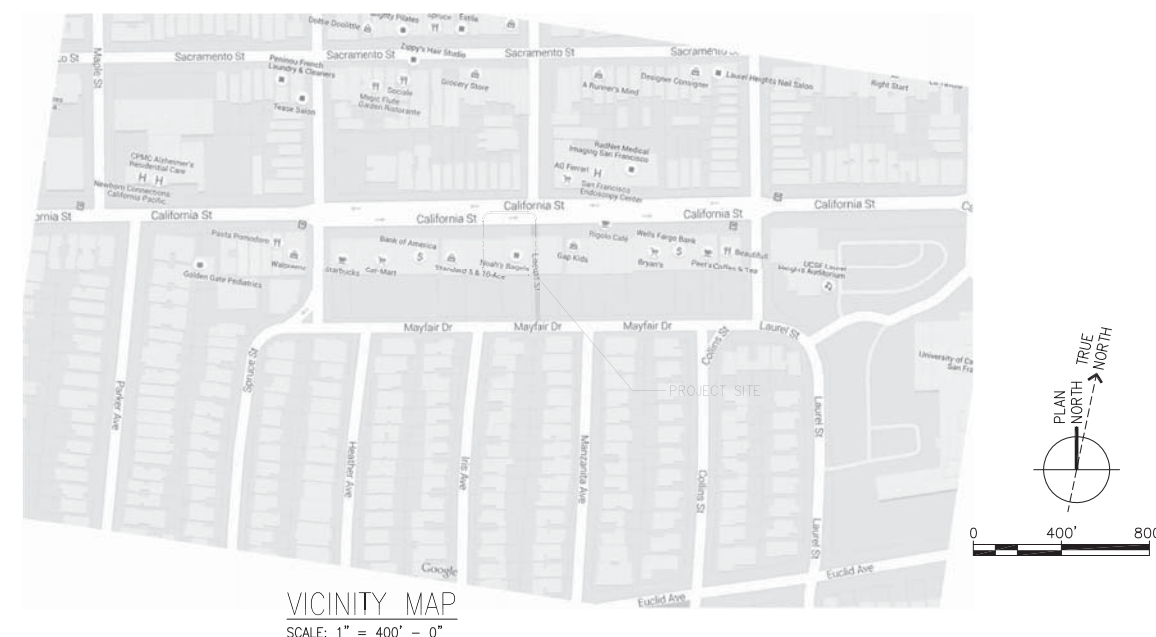
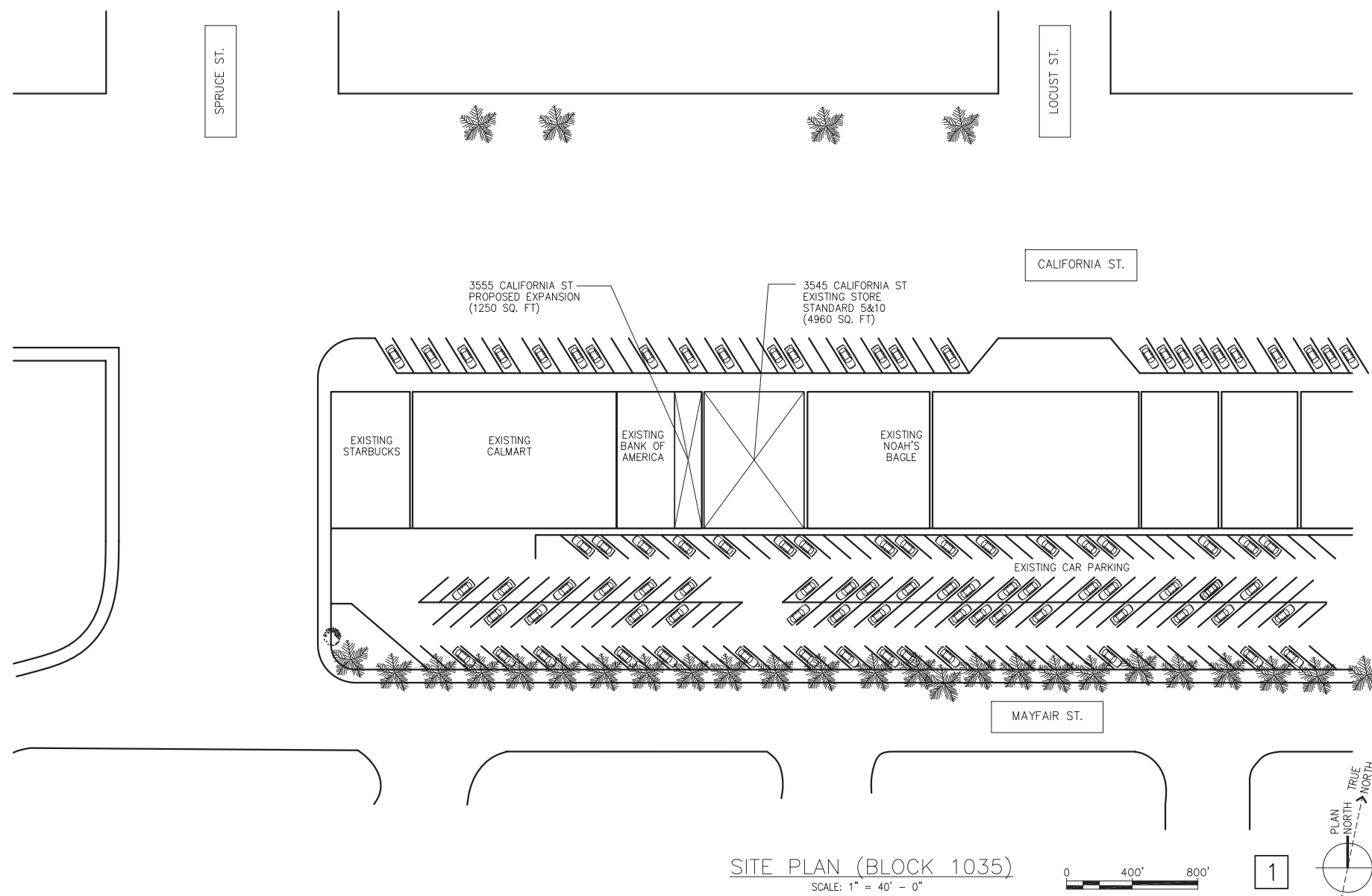
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Issue	Description	Date
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Drawn: VS	Check:
Job No: 14000	Scale: AS NOTED
Building: 3545 California Street, San Francisco, CA	
Owner:	Standard 5 and 10

Title: **VICINITY MAP AND  
SITE PLAN**

Sheet: **A-1.2**





IN MY PROFESSIONAL JUDGMENT, WORK SHOWN ON THESE DOCUMENTS DOES NOT INFRINGE UPON THE EXISTING LIFE SAFETY SYSTEM FOR THIS BUILDING.

SATTARY

STRUCTURAL ENGINEERING

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Project:  
Standard 5 & 10  
Store Expansion  
3545 3555 California St.  
San Francisco, CA

2	ISSUED FOR PERMIT	03/16/2015
1	ISSUED FOR REVIEW	02/03/2015

Issue	Description	Date
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March 14, 2015  
preliminary for review  
NOT FOR  
CONSTRUCTION

Drawn: VS

Check:

Job No: 14000

Scale: AS NOTED

Building:

3545 California Street, San Francisco, CA

Owner:

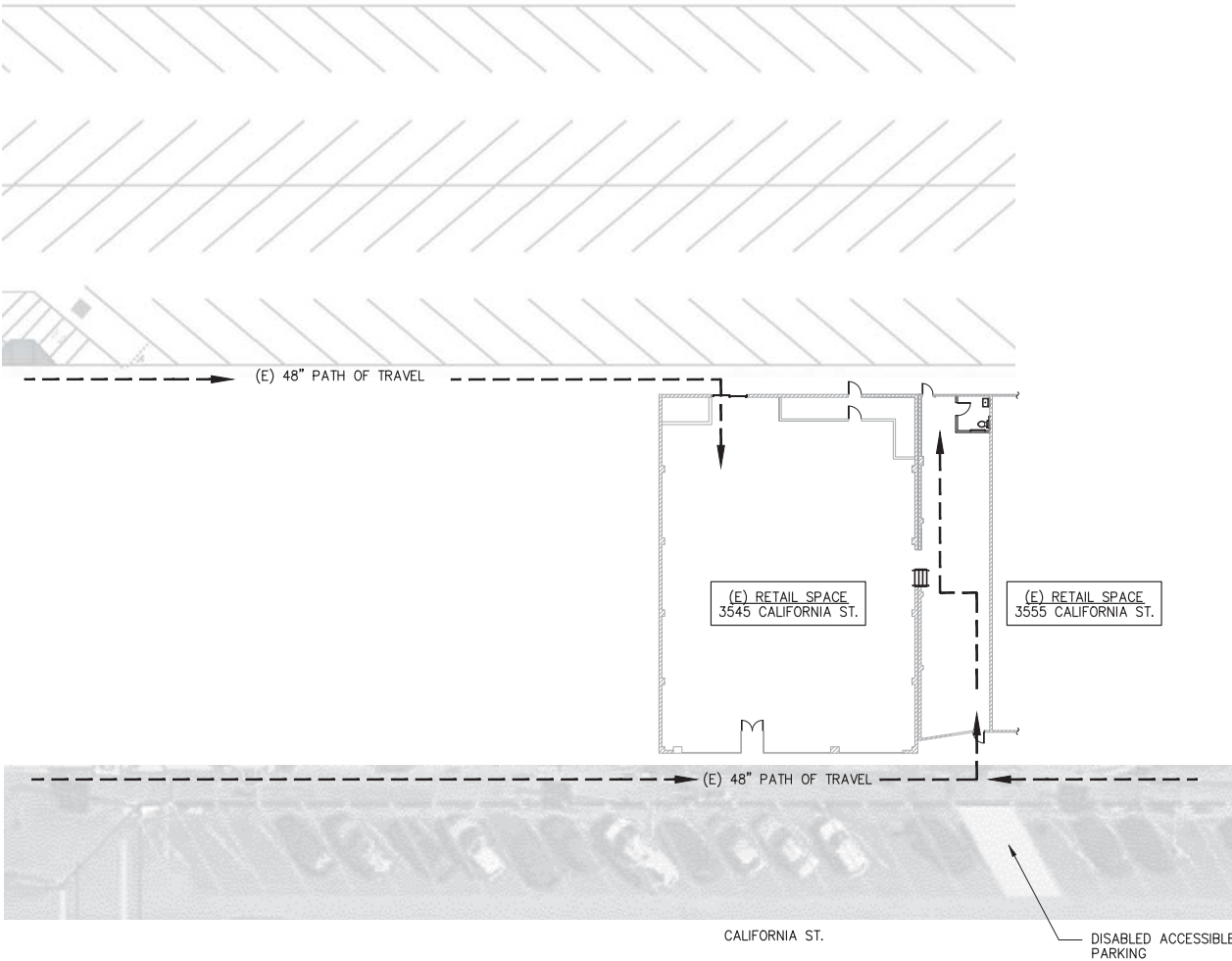
Standard 5 and 10

Title:

EXISTING DISABLED PARKING  
AND PATH OF TRAVEL

Sheet:

A-1



EXISTING DISABLED PARKING AND PATH OF TRAVEL

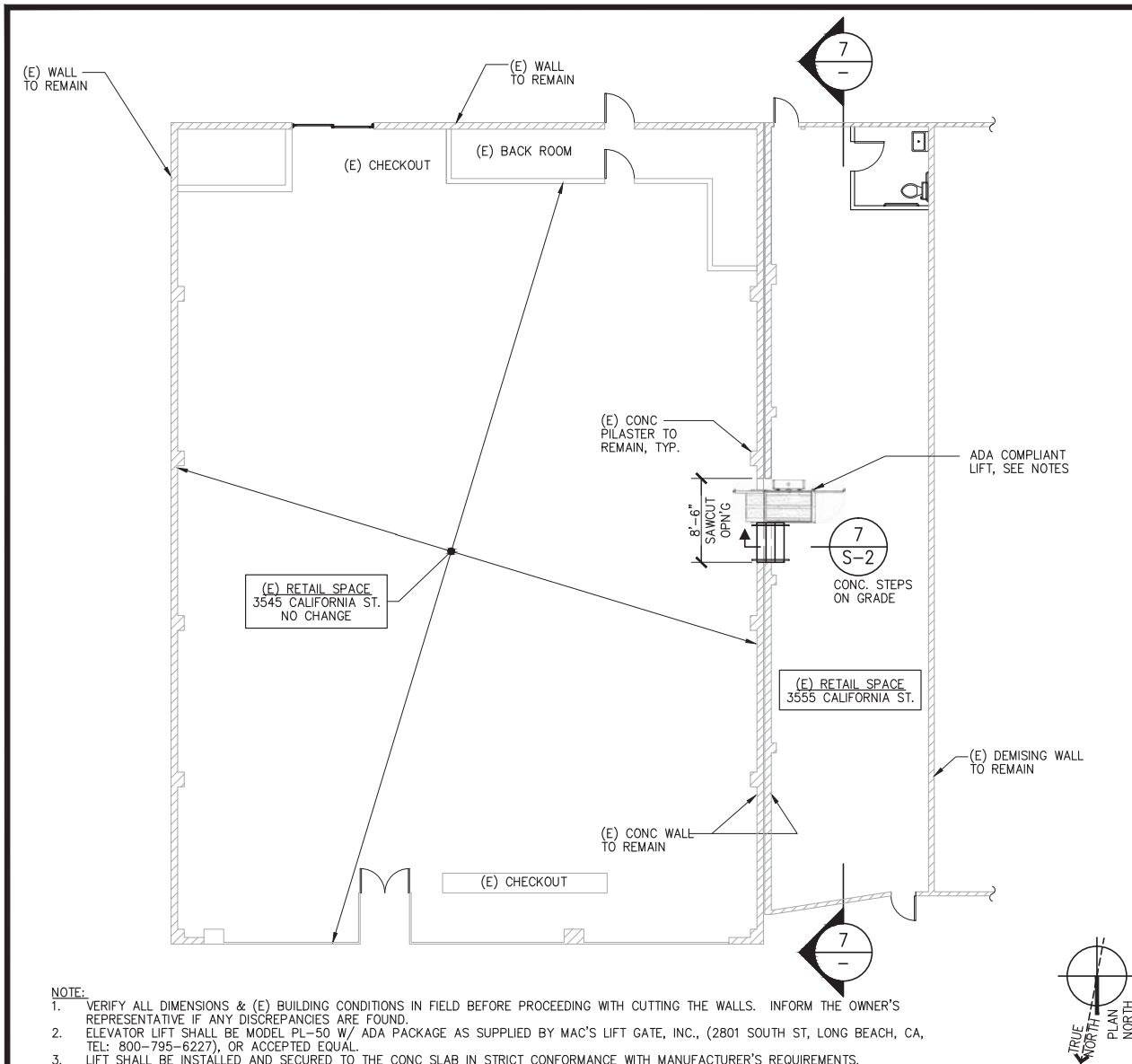
SCALE: 1" = 20' - 0"



7



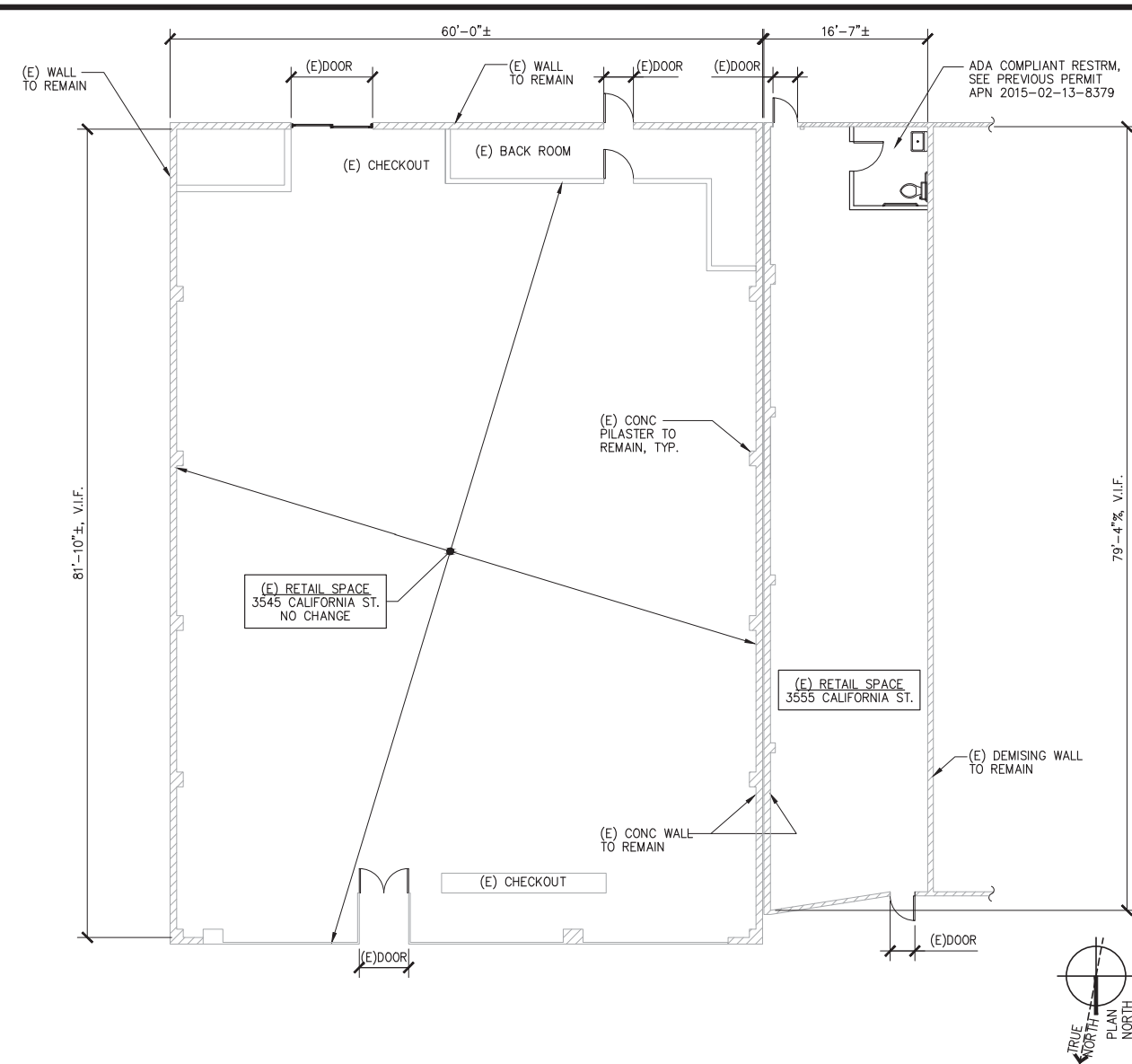




PROPOSED GROUND FLOOR PLAN

SCALE:  $\frac{1}{8}" = 1' - 0"$

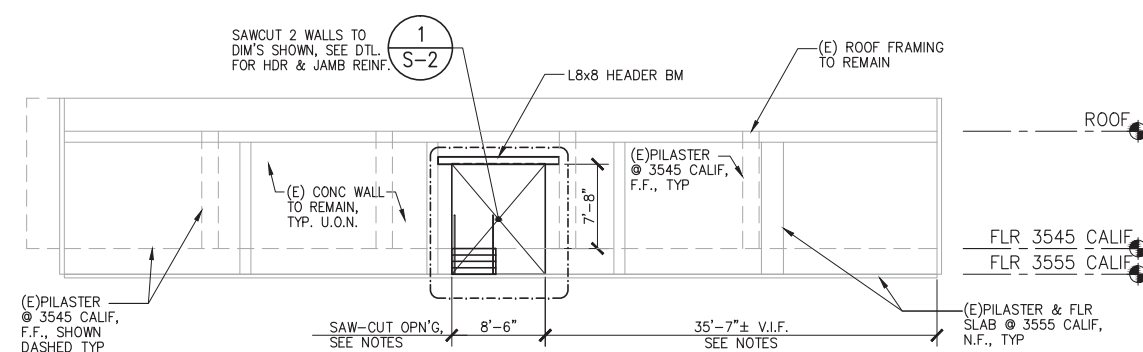
8



EXISTING GROUND FLOOR PLAN

SCALE:  $\frac{1}{8}" = 1' - 0"$

2



WALL ELEVATION (LOOKING EAST)

SCALE:  $\frac{1}{8}" = 1' - 0"$

7

IN MY PROFESSIONAL JUDGMENT, WORK SHOWN ON THESE DOCUMENTS DOES NOT INFRINGE UPON THE EXISTING LIFE SAFETY SYSTEM FOR THIS BUILDING.

## SATTARY STRUCTURAL ENGINEERING

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Project:  
**Standard 5 & 10  
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3545 3555 California St.  
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Drawn: VS Check:

Job No: 14000 Scale: AS NOTED

Building:  
3545 California Street, San Francisco, CA

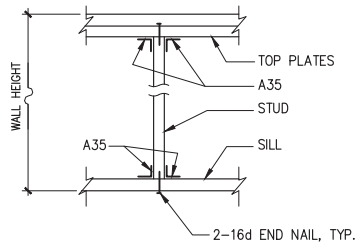
Owner:  
**Standard 5 and 10**

Title:  
**EXISTING FLOOR PLAN,  
PROPOSED PLAN AND  
ELEVATION**

Sheet:  
**A-3**

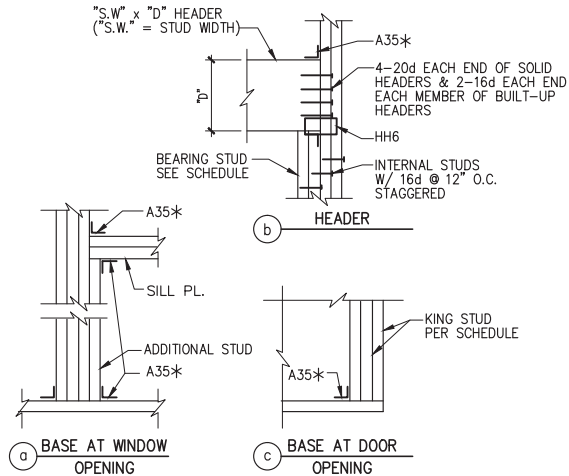
STRUCTURAL WALL FRAMING SCHEDULE			
MAX. HEIGHT "H"	STUD SIZE*	SPACING	REMARKS / CONNECTION
H ≤ 12'-0"	2x6	16" O.C.	TYP. WALL FRAMING U.O.N.
H ≤ 15'-0"	2x6	8" O.C.	N.A.
H ≤ 18'-0"	3x6	12" O.C.	A35 EA. END
H ≤ 20'-0"	3x6	8" O.C.	A35 EA. END
H ≤ 22'-0"	4x6	12" O.C.	A35 EA. END

\* UNLESS THICKER STUD IS REQUIRED FOR SHEAR WALL



## STRUCTURAL WALL FRAMING SCHEDULE

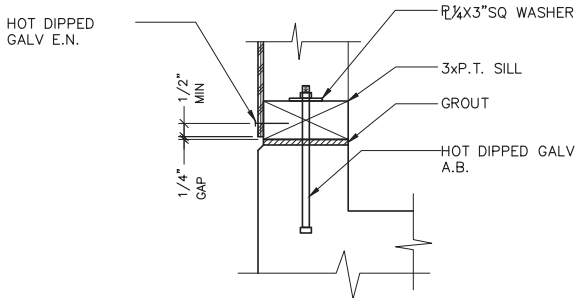
9



\* PROVIDE A35 CLIPS.

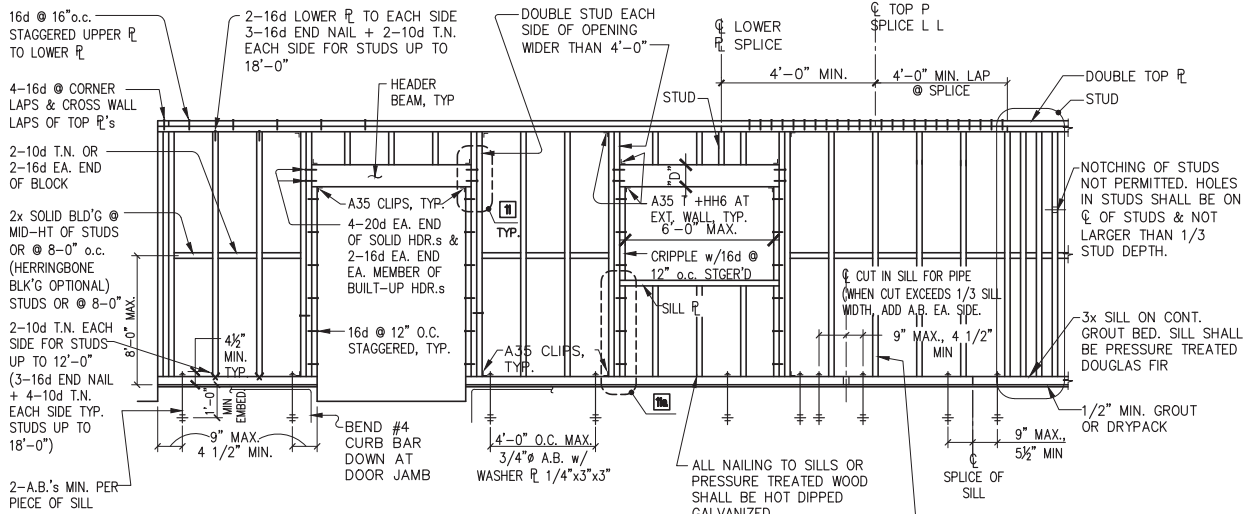
## WALL OPENING

11



## SILL

8



## TYPICAL STUDWALL FRAMING ELEVATION, U.O.N.

7

### 5. ROUGH CARPENTRY

- FOR SCHEDULE OF MINIMUM NAILING, SEE TABLE 2007, 2304.9.1 CALIFORNIA BUILDING CODE (PART 2, TITLE 24).
- SILLS ON CONCRETE SHALL BE PRESSURE TREATED AWP Douglas Fir. SilLS SHALL BE FASTENED TO THE CONCRETE WITH A MINIMUM OF TWO FASTENERS PER PIECE AND NO FASTENERS CLOSER THAN 5" AND FURTHER THAN 9" FROM END OF PIECE UNLESS HOLDOWN IS AT END. CUTS AND HOLES IN SILLS LARGER THAN 1/2" DEPTH OF SILL, MUST ADD FASTENER EACH SIDE OF CUT/HOLE. ALL FASTENERS SHALL BE HOT DIPPED GALVANIZED STEEL OR STAINLESS STEEL ASTM A 240 TYPE .316.
- USE COMMON NAILS.
- RETIGHTEN ALL BOLTS PRIOR TO CLOSING WALLS, INCLUDING HOLDOWN RODS.
- USE HOT DIPPED GALVANIZED NAILS, BOLTS, AND HARDWARE WHERE EXPOSED TO WEATHER OR EMBEDDED IN CONCRETE.
- ALL HOLES SHALL BE DRILLED AND 1/8" LARGER IN DIAMETER THAN THE BOLT SIZE SPECIFIED.
- STUDS ARE MINIMUM 2X 4 AND MAXIMUM 2x16 o.c. SEE PLAN AND DETAILS FOR ALTERNATE SIZES AND SPACING.
- ALL TIMBER FASTENERS NOT SPECIFICALLY DETAILED ON THE DRAWINGS SHALL BE SIMPSON STRONG TIE FASTENERS OR APPROVED EQUAL AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS, UNLESS OTHERWISE NOTED (ARCHITECT'S APPROVAL REQUIRED FOR EQUAL.)
- ALL BOLTS AND THREADED RODS SHALL HAVE WASHERS UNDER THE NUTS WHEN IN CONTACT WITH WOOD. USE OF UPSET THREADS IS NOT PERMITTED, CUT THREADS ONLY.
- LAG BOLTS MUST BE PREBORED TO A DIAMETER OF THE UNTHREADED SHANK AND TO THE NEAREST 1/16" DIAMETER LESS THAN THE ROOT DIAMETER FOR THE THREADED PORTION. WASHERS MUST BE USED UNDER THE HEAD OF LAG BOLTS. DO NOT OVER DRILL DEPTH.
- ALL JOIST HANGERS FOR SAWN LUMBER SHALL BE SIMPSON U HANGERS (OR APPROVED EQUAL) UNLESS NOTED OTHERWISE ON DRAWINGS. ALL HANGERS @ POSTS SHALL BE SIMPSON HUC (OR APPROVED EQUAL). ALL HANGERS FOR I-JOISTS SHALL BE SIMPSON MIU (4180R APPROVED EQUAL) U.O.N. ON DRAWINGS.

### 6. PLYWOOD

- EACH PANEL SHALL BE IDENTIFIED WITH THE APPROPRIATE GRADE, TRADEMARK OF THE AMERICAN PLYWOOD ASSOCIATION, AND SHALL MEET THE REQUIREMENTS OF THE LATEST EDITION OF THE U.S. PRODUCT STANDARD PS-1. THE MINIMUM EDGE DISTANCE FOR NAILS IN THE RECEIVING MEMBERS AND THE PLYWOOD SHALL BE 3/8".
- PLYWOOD SHEETS SHALL BE THICKNESS NOTED ON DRAWINGS. USE EXTERIOR GRADE ADHESIVE FOR ALL PLYWOOD. IF PLYWOOD AND NAILING IS INCORRECTLY INSTALLED/DAMAGED, PLYWOOD WILL BE REMOVED AND REPLACED AND FRAMING MEMBERS COULD BE REPLACED (AS DETERMINED BY INSPECTOR OR ENGINEER), ALL DONE AT CONTRACTOR(S) EXPENSE.
- PLYWOOD SHEETS ON WALLS SHALL BE LAID WITH LONG DIMENSION VERTICAL, UNLESS OTHERWISE NOTED. BLOCK ALL EDGES. SHEARWALLS MORE THAN ONE VERTICAL PANEL IN HEIGHT SHALL HAVE STAGGERED SPLICE JOINTS. AT EXISTING WALLS, REMOVE FINISHES TO APPLY PLYWOOD DIRECTLY TO STUDS.
- FLOOR PLYWOOD SHALL BE STRUCTURAL 5 PLY 23/32" CDX AS NOTED ON THE DRAWINGS. BLOCK ALL EDGES.
- WALL PLYWOOD SHALL BE STRUCTURAL I, 5 PLY 15/32 INCH CDX AS NOTED ON THE DRAWINGS. BLOCK ALL EDGES.
- ROOF PLYWOOD SHALL BE STRUCTURAL I, 5 PLY 15/32 INCH 24/0 CDX. OR 3 PLY 3/8 INCH CDX AS NOTED ON THE DWGS. BLOCK ALL EDGES.
- MINIMUM WIDTH OF PLYWOOD PIECE APPLIED SHALL BE 24" FOR SHEARWALLS AND DIAPHRAGMS.
- FOR PLYWOOD SPLICES, THE EDGES OF ADJOINING SHEETS SHALL TERMINATE ON THE SAME MEMBER, EXAMPLE: STUD, BLOCKING PLATE, JOIST, ETC. AND SHALL BE MINIMUM 2X, UNLESS OTHERWISE NOTED. LEAVE 1/8 INCH GAP BETWEEN PLYWOOD EDGES.

### 1. GENERAL

- ALL CONSTRUCTION, MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE FOLLOWING, EXCEPT WHERE MORE STRINGENT REQUIREMENTS ARE INDICATED. COMPLY WITH ALL FEDERAL, STATE, AND LOCAL RULES AND REGULATIONS AS APPLICABLE.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SAFETY AND PRESERVATION OF THE BUILDING AND CONTENTS DURING CONSTRUCTION, AND SHALL BE SOLELY RESPONSIBLE FOR PROVIDING A SAFE PLACE TO WORK. THE CONTRACTOR SHALL EXECUTE WORK TO ENSURE SAFETY OF PERSONS AND ADJACENT PARTS OF PROPERTY AGAINST DAMAGE BY FALLING DEBRIS AND OTHER HAZARDS IN CONNECTION WITH THIS WORK, AND SHALL PROVIDE ADEQUATE SHORING AND BRACING DURING DEMOLITION AND CONSTRUCTION. ENGINEER'S SITE OBSERVATION VISITS SHALL NOT BE INTERPRETED AS A REVIEW OF CONTRACTOR'S SAFETY MEASURES.
- ALL INFORMATION ON THE DRAWINGS RELATIVE TO EXISTING CONDITIONS IS GIVEN AS THE BEST PRESENT KNOWLEDGE, BUT WITHOUT GUARANTEE OF ACCURACY. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AT JOB SITE. ALL DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE ARCHITECT AND BE RESOLVED BEFORE PROCEEDING WITH THE WORK. DO NOT SCALE DRAWINGS, CONTACT THE ENGINEER FOR CLARIFICATION. MODIFICATIONS OF DETAILS OF CONSTRUCTION SHALL NOT BE MADE WITHOUT WRITTEN DIRECTION OF THE ARCHITECT.
- ALL WORK SHOWN SHALL BE CONSIDERED AS NEW, UNLESS NOTED AS EXISTING OR (E).

### 2. DESIGN BASIS

THE DETAILING OF THE NEW SUPPLEMENTAL STRUCTURAL MEMBERS COMPLIES WITH THE PROVISIONS OF THE 2010 SAN FRANCISCO (SIBC).

### 3. FRAMING LUMBER

- ALL FRAMING LUMBER SHALL BE GRADED PER WCLIB GRADING RULES NO. 16. FOR MOISTURE CONTENT AT INSTALLATION.
- PRESSURE TREATED LUMBER SHALL CONFORM TO THE AMERICAN WOOD PRESERVERS INSTITUTE (AWPA), INCLUDING M 4 FOR FIELD CUTS AND HOLES. EACH PIECE OF LUMBER SHALL BE STAMPED WITH THE AWPA SEAL. PRESSURE TREATED LUMBER SHALL BE AWP TREATED DOUGLAS FIR.
- ALL BEAMS SHALL BE DOUGLAS FIR DENSE, #1 OR BETTER.
- ALL POSTS AND JOISTS SHALL BE DOUGLAS FIR #1 OR BETTER.
- ALL STUDS, PLATES AND BLOCKING SHALL BE DOUGLAS FIR #1.
- ALL LUMBER IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED AWP DOUGLAS FIR #1 OR BETTER, AND HAVE THE AWP STAMP ON EACH PIECE. ALL FASTENERS IN PRESSURE TREATED LUMBER SHALL BE HOT DIPPED GALVANIZED OR STAINLESS STEEL ASTM A 240 TYPE .316.
- ALL STRUCTURAL LUMBER EXPOSED TO THE EXTERIOR ENVIRONMENT SHALL BE PRESSURE TREATED. NO LOAD RESISTING LUMBER MAY BE USED BELOW GRADE.
- NAILING OF PLYWOOD SHEATHING MUST BE DONE BY HAND. THE USE OF MECHANICAL NAILING IS PROHIBITED UNLESS APPROVAL HAS BEEN GIVEN BY ARCHITECT. SEE NOTE 14 FOR MACHINE NAILING.

### 4. STRUCTURAL STEEL

- STEEL MATERIALS SHALL CONFORM TO THE FOLLOWING:

SHAPES AND PLATES	ASTM A36, OR BETTER
HSS	ASTM A500
ANCHOR BOLTS, MACHINE BOLTS, & THREADED ROD	ASTM A307, ASTM A36
- ALL STRUCTURAL STEEL SHALL CONFORM TO AISC SPECIFICATIONS FOR THE DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS. ALL STEEL EXPOSED TO WEATHER OR IN CONTACT WITH EXTERIOR CONCRETE WALLS SHALL BE HOT-DIPPED GALVANIZED. TOUCHUP REPAIR GALVANIZED COATING IN FIELD, WHERE IT IS DAMAGED DURING INSTALLATION OR HANDLING. STEEL NOT EXPOSED TO WEATHER SHALL HAVE RUSTPROOF PAINT COATING.
- ALL WELDING SHALL CONFORM TO AWS SPECIFICATIONS. WELDING SHALL ONLY BE PERFORMED BY CERTIFIED WELDERS.
- APPLY 2 COATS OF RUSTPROOF PAINT AFTER FABRICATION, BUT BEFORE JOB SITE DELIVERY. CLEAN AND PROVIDE RUSTPROOF COATS FOR ALL WELDS INCLUDING FIELD WELDING.

IN MY PROFESSIONAL JUDGMENT, WORK SHOWN ON THESE DOCUMENTS DOES NOT INFRINGE UPON THE EXISTING LIFE SAFETY SYSTEM FOR THIS BUILDING.

## SATTARY

### STRUCTURAL ENGINEERING

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Ph: (415) 422-0456 FAX: (415) 422-0457  
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Project:

Standard 5 & 10  
Store Expansion  
3545 3555 California St.  
San Francisco, CA

2	ISSUED FOR PERMIT	03/16/2015
1	ISSUED FOR REVIEW	02/03/2015

Issue	Description	Date
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Drawn: VS Check:

Job No: 14000 Scale: AS NOTED

Building:

3545 California Street, San Francisco, CA

Owner:

Standard 5 and 10

Title:

GENERAL NOTES AND  
TYPICAL DETAILS

Sheet:

S-1

DOWELS AND ANCHORS IN CONCRETE

ADHESIVE RESIN FOR DOWELS AND ANCHORS IN CONCRETE SHALL BE

HILTI HIT-RE 500-SD, SIMPSON SET, OR APPROVED EQUAL

ADHESIVE RESIN FOR DOWELS AND ANCHORS IN UNGROUTED CMU OR BRICK SHALL BE

HILTI HIT HY20, SIMPSON SET, OR APPROVED EQUAL

ANCHORS SHALL BE ALL-THREAD ROD CONFORMING TO ASTM A307 OR A36 AND THE FOLLOWING INSTALLATION AND TESTING REQUIREMENTS.

DOWEL DIAMETER	DRILL BIT DIAMETER	MINIMUM EMBODIMENT	TENSION TEST LOAD (TO BE VERIFIED BY TESTING AGENCY)
5/8"	3/4"	5"	2,910 LBS
3/4"	7/8"	6"	3,450 LBS

DRILLED EXPANSION ANCHOR IN CONCRETE SHALL BE

SIMPSON STRONG BOLT, HILTI KWIK BOLT-TZ, OR APPROVED EQUAL

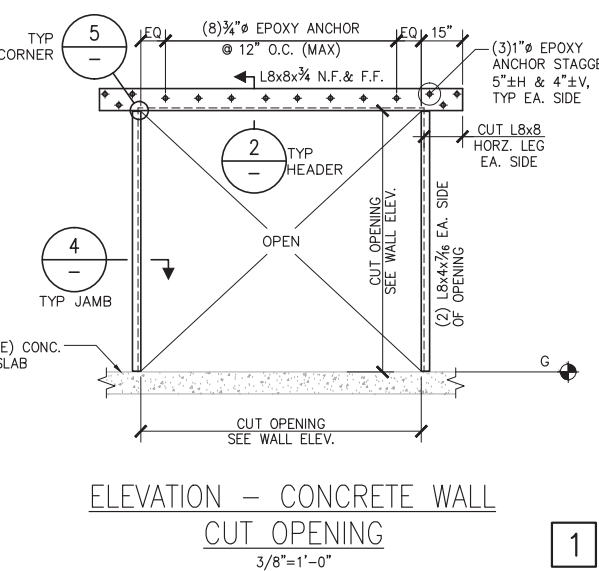
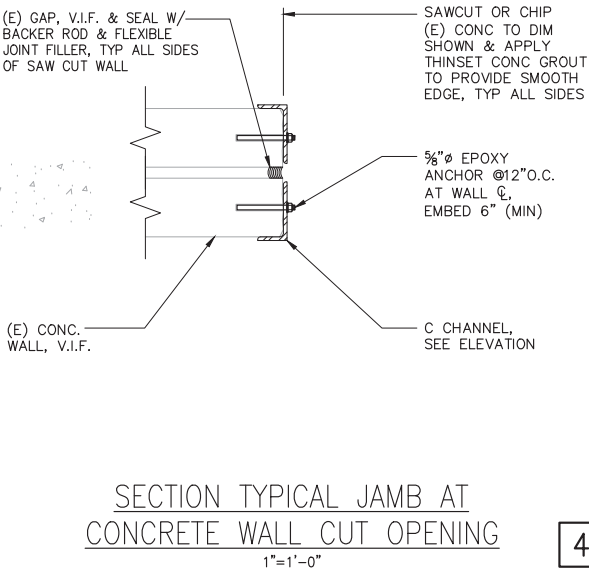
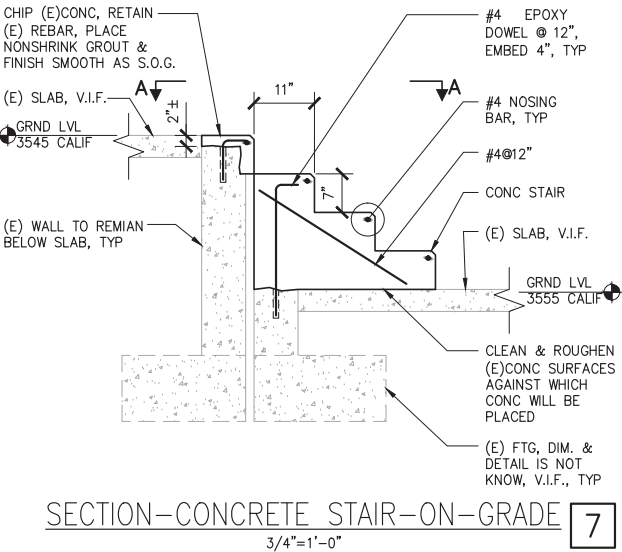
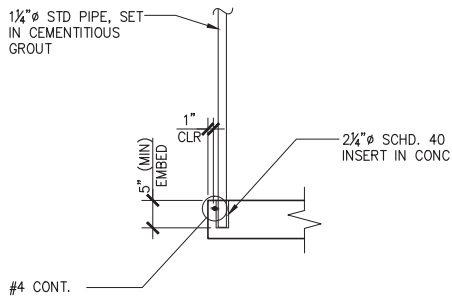
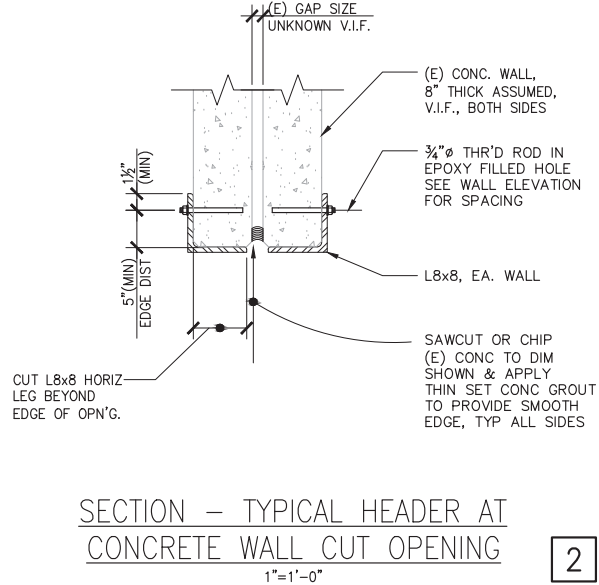
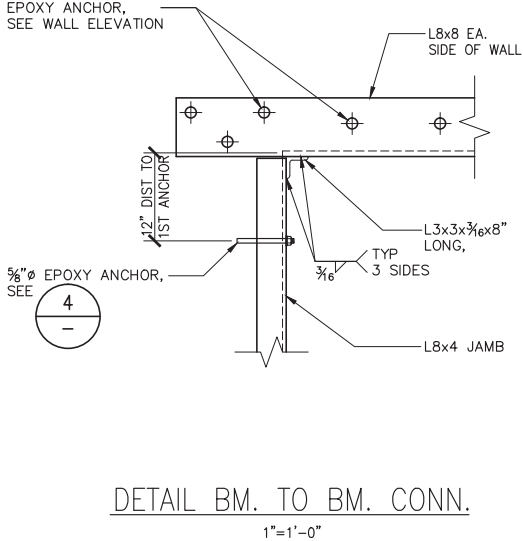
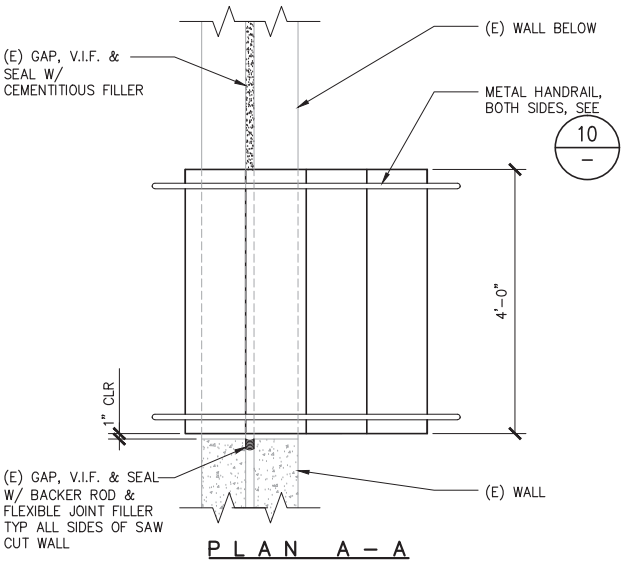
EXPANSION ANCHORS SHALL CONFORM TO THE FOLLOWING INSTALLATION AND TESTING REQUIREMENTS.

DOWEL DIAMETER	DRILL BIT DIAMETER	MINIMUM EMBODIMENT	TENSION TEST LOAD (TO BE VERIFIED BY TESTING AGENCY)
5/8"	5/8"	5 3/8"	3,450 LBS
3/4"	3/4"	6"	4,250 LBS

DRILLED ANCHORS AND DOWELS

WHEN INSTALLING DRILLED ANCHORS IN EXISTING REINFORCED CONCRETE OR IN CONCRETE MASONRY UNITS, USE CARE AND CAUTION TO AVOID CUTTING OR DAMAGING THE EXISTING REINFORCING BARS OR EMBEDDED STEEL. HOLES FOR ANCHORS SHALL NOT BE CORED. HOLES FOR DRILLED ANCHORS WHERE FINISHES ON EITHER SIDE OF THE WALL NEED TO BE PROTECTED SHALL BE DRILLED USING NON-IMPACT ROTARY TOOLS.

ALL LOCATIONS TO BE DRILLED SHALL BE CAREFULLY PRESCANNED USING EFFECTIVE MEANS. WHERE EXISTING REINFORCING STEEL IS ENCOUNTERED RELOCATE THE ANCHOR HOLE UNLESS NOTED OTHERWISE ON THE DRAWINGS. WHERE STRUCTURAL STEEL BEAMS OR LINTEL WEBS ARE ENCOUNTERED WHILE DRILLING, CONTRACTOR SHALL CORE THROUGH WEB AND PASS ANCHOR THROUGH PER THE DESIGN. IF FLANGE OF BEAM OR LINTEL IS ENCOUNTERED, RELOCATE THE ANCHOR HOLE. NOTIFY THE ARCHITECT WHEN HOLES ARE RELOCATED. REPAIR ALL UNUSED HOLES SOLIDLY WITH APPROVED EPOXY BONDING AGENT AND CEMENTITIOUS GROUT.



IN MY PROFESSIONAL JUDGMENT, WORK SHOWN ON THESE DOCUMENTS DOES NOT INFRINGE UPON THE EXISTING LIFE SAFETY SYSTEM FOR THIS BUILDING.

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Standard 5 and 10

Title:  
DETAILS

Sheet:  
S-2

- A. COORDINATE INSTALLATION OF TELECOMMUNICATIONS, DATA AND SECURITY SYSTEMS.
- B. VERIFY EQUIPMENT SPECIFICATIONS, POWER AND INSTALLATION REQUIREMENTS WITH MANUFACTURER TO ENSURE PROPER FIT AND FUNCTION.
- C. VERIFY MOUNTING REQUIREMENTS OF ELECTRICAL, TELEPHONE AND OTHER EQUIPMENT.
- D. GANG ADJACENT LIGHT SWITCHES AND COVER WITH A SINGLE PLATE.
- E. PROVIDE LIGHT SWITCHING IN CONFORMANCE WITH TITLE 24 REQUIREMENTS. FOR ROOMS OR AREAS GREATER THAN 100 SQUARE FEET PROVIDE DOUBLE SWITCHES WITH EACH SWITCH CONTROLLING 50% OF LAMPS PER FIXTURE.
- F. MOUNT STANDARD WALL OUTLETS, SWITCHES AND THERMOSTATS AT HEIGHTS REQUIRED BY TITLE 24 AND ADA GUIDELINES, UNLESS OTHERWISE NOTED. WHEN THERMOSTATS AND LIGHT SWITCH OCCUR TOGETHER, INSTALL BOTH ALIGNED HORIZONTALLY WITH CENTER LINE AT +3'-2" ABOVE FINISHED FLOOR.
- G. INDICATED DIMENSIONS ARE TO THE CENTER LINE OF OUTLET OR SWITCH, OR CLUSTER OF OUTLETS OR SWITCHES, UNLESS OTHERWISE NOTED.
- H. INSTALL OUTLETS ON OPPOSITE SIDES OF PARTITIONS IN SEPARATE STUD CAVITIES. DO NOT INSTALL BACK-TO-BACK.
- I. PROVIDE MATCHING COVER PLATES, RECEPTACLES AND RELATED ITEMS. PROVIDE ONE-PIECE TYPE GANG COVER PLATES, UNLESS OTHERWISE NOTED. COLOR TO BE WHITE, UNLESS OTHERWISE NOTED.
- J. IDENTIFY DEDICATED OR ISOLATED GROUND ELECTRICAL OUTLETS WITH A RED DOT.

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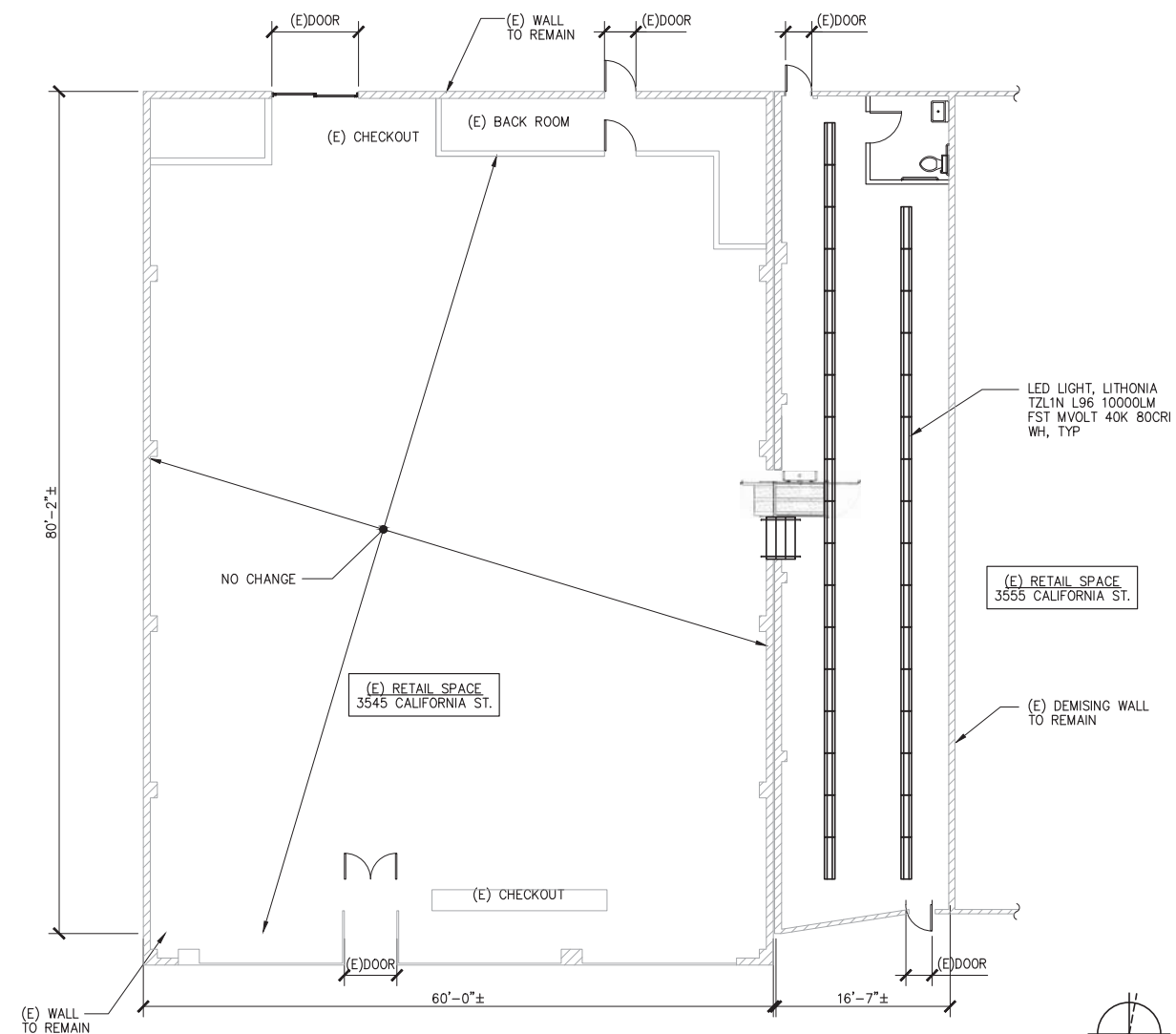
Issue	Description	Date
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March 14, 2015  
preliminary for review  
NOT FOR  
CONSTRUCTION

Drawn: VS	Check:
Job No: 14000	Scale: AS NOTED
Building: 3545 California Street, San Francisco, CA	
Owner: Standard 5 and 10	

Title: **PROPOSED LIGHTING PLAN**

Sheet: E-1



PROPOSED GROUND FLOOR LIGHTING PLAN

SCALE:  $\frac{1}{8}" = 1' - 0"$

1