

## SAN FRANCISCO PLANNING DEPARTMENT

## Memo to the Planning Commission

HEARING DATE: OCTOBER 6, 2016 CONTINUED FROM JUNE 2, 2016

| Date:               | September 26, 2016                                     |
|---------------------|--|
| Case No.:           | 2015-002632DRP&VAR-02                                  |
| Project Address:    | 1152 POTRERO AVENUE                                    |
| Permit Application: | 2015.02.24.9220  |
| Zoning:             | RH-3 (Residential House, Three Family) Zoning District |
|                     | 55-X Height and Bulk District                          |
| Block/Lot:          | 4211/011   |
| Project Sponsor:    | Rod Massoudi, P.E.                                     |
|                     | Massoudi Consulting Engineers                          |
|                     | 205 De Anza Blvd. #109                                 |
|                     | San Mateo, CA 94402                                    |
| Staff Contact:      | Jeffrey Speirs – (415) 575-9106                        |
|                     | Jeffrey.speirs@sfgov.org                               |
| Recommendation:     | Take DR and Approve the Alternative Proposal           |

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### BACKGROUND

Prior to the Request for Discretionary Review, the Project was code-complying and no variances were required. In response to the concerns mentioned in the Discretionary Review application, the Project Sponsor revised the Project to reduce the massing at the rear and shift a portion of useable floor area at the third level to the front of the building. At the front, the additional massing is located within the required front setback; therefore, a variance is required from the Zoning Administrator.

On June 2<sup>nd</sup>, the Commission continued the Request for Discretionary Review to October 6, 2016 with direction to the Project Sponsor to work on the design to provide more relief to the northern adjacent neighbor. Since then, the Project Sponsor revised the project to provide additional setbacks along the northern property line, a reduction of the 4<sup>th</sup> floor height by 2 feet, removal of the stair penthouse, and an increased 4<sup>th</sup> floor setback to a total of 18 feet 9 inches from the front property line. As the revisions did not satisfy the DR Requestor's concerns, the project sponsor continued to work with the DR Requestor on an alternative proposal (see Alternative Proposal below).

### PREVIOUS PROPOSAL

The previous proposal consisted of a front addition, a rear addition, and a vertical addition to an existing two-story (with attic) single-family dwelling. The previous proposal was four-stories and 40 feet in height, with fourth floor setback of 15 feet. The rear yard was 66 feet 8 inches deep, with setback of 10 feet at the third floor. A side setback of 3 feet at the rear was provided on the north side. Additional work included front façade changes, a roof deck, and interior work. The previous proposal required a

Variance Hearing (2015-002632VAR-02) for the expansion within the front setback, which was noticed jointly with the Discretionary Review Hearing.

### ALTERNATIVE PROPOSAL

The alternative proposal is a three-story building with an excavated basement level at the rear of the building. A 5 foot side setback to grade has been provided along the full overlapping portion of the northern neighbor's building, a southern side setback of 3 feet at the rear, and a reduced roof deck to increase privacy. This alternative still requires a Variance Hearing (2015-002632VAR-02) for the expansion within the front setback, which will be held jointly with the Discretionary Review Hearing. To date, the DR Requestor has not given verbal or written support of the alternative proposal.

### RESIDENTIAL DESIGN TEAM (RDT)

The Residential Design Team has reviewed the alternative proposal and finds that the project is neither extraordinary nor exceptional and recommends an Abbreviated DR.

### BASIS FOR RECOMMENDATION

- The project has been further revised to address the DR Requestor's concerns.
- The project continues to comply with the Residential Design Guidelines.
- The proposed Project meets all applicable requirements of the Planning Code.

#### **RECOMMENDATION:** Take Discretionary Review and Approve the Alternative Proposal

#### Attachments:

Supplemental Response from Project Sponsor Plans for Alternative Proposal

# REUBEN, JUNIUS & ROSE, LLP

September 22, 2016

#### **Delivered via Messenger**

President Rodney Fong San Francisco Planning Commission 1650 Mission Street, Suite 400 San Francisco, CA 94103

### Re: 1152 Potrero Avenue (4211/011) Brief in Opposition of a DR Request Planning Department Case No. 2015.002632DRP/V Hearing Date: October 6, 2016, continued from June 2, 2016 Our File No.: 10187.01

Dear President Fong and Commissioners:

Our office represents Massoudi Consulting Engineers ("**Project Sponsor**"), and the owners of the property at 1152 Potrero Avenue, ("**Property**"). We write regarding Discretionary Review 2015.002632DRP on Building Permit No. 2015.0224.9220 and respectfully request that the Planning Commission take discretionary review and approve the permit as modified.

This item was originally heard by the Planning Commission ("Commission") on June 2, 2016 and continued to the October 6, 2016 hearing. This letter is to provide an update on the revised proposal as well as our continued outreach with Jesus Gomez ("**DR Requestor**") and should be read in conjunction with the letter submitted by our office on May 19, 2016. This letter is included as **Exhibit A**.

#### **Project Modifications**

The proposal is for the construction of a horizontal and vertical addition, redesign of the facades, and the addition of two dwelling units to the existing single-family dwelling ("**Project**"). At the June 2<sup>nd</sup> hearing, the Commission requested that the Project be redesigned to reduce impact to the neighbor at 1146 Potrero Avenue. Since this hearing, the Project has been redesigned in the following way:

James A. Reuben | Andrew J. Junius | Kevin H. Rose | Daniel A. Frattin | John Kevlin Tuija I. Catalano | Jay F. Drake | Lindsay M. Petrone | Sheryl Reuben<sup>1</sup> | Thomas Tunny David Silverman | Melinda A. Sarjapur | Mark H. Loper | Jody Knight | Stephanie L. Haughey Chloe V. Angelis | Louis J. Sarmiento | Jared Eigerman<sup>2,3</sup> | John McInerney III<sup>2</sup> San Francisco Office One Bush Street, Suite 600, San Francisco, CA 94104 tel: 415-567-9000 | fax: 415-399-9480

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President Rodney Fong San Francisco Planning Commission September 22, 2016 Page 2

- The height of the building has been lowered from 40 feet in height (four stories) to 28 feet-6 inches in height (three stories in total) for the first 37.5 feet of depth, with an increase of 3 feet 10 inches for the rear 25.5 feet of the building (submerged four stories);
- The building has been setback five feet from the northern property line (1146 Potrero Avenue) on all floors for the rear 17.75 feet of the building;
- The building has been setback three feet from the southern property line (1156 Potrero Avenue) on the top two floors for the rear 12 feet of the building;
- The third floor roof deck at the rear of the façade has been eliminated from the Project;
- The roof penthouse structure has been eliminated from the Project;
- The windows on the northern property line have been modified to minimize privacy concerns by incorporating transom-style windows that will sit a minimum of five feet from the floor and windows containing frosted glass to minimize privacy concerns; and
- The front façade has been redesigned to incorporate architectural details from the adjacent properties to make it more compatible with the neighborhood.

Revised Project plans are attached as **Exhibit B** and the previous set of plans is attached as **Exhibit C**. The Project Sponsor has worked diligently to make sure the Commission's comments were addressed as well as to assure the DR Requestor and neighbors that the Project will be compatible with the neighborhood. All modifications requested by the DR Requestor have been incorporated into the Project design. Due to this, it is our hope that the DR Request will be withdrawn prior to the October 6 hearing.

#### **Additional Neighborhood Outreach and Design Development**

Since the June 2, 2016 Commission hearing, the Project Sponsor has spent a considerable amount of time and effort to gather and respond to concerns from the DR Requestor and neighbors. This is in addition to the extensive outreach that was conducted prior to the June 2nd hearing. In particular, the Project Sponsor met with the DR Requestor on August 25, 2016, where the revised design and alternatives were presented and discussed. At this meeting the DR Requestor asked about the soil conditions and possible excavation of the project. The Project Sponsor conducted a geotechnical report and provided the DR

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President Rodney Fong San Francisco Planning Commission September 22, 2016 Page 3

Requestor with a copy. As a result of feedback received at this meeting, the Project Sponsor made additional revisions to the Project, resulting in the one before the Commission today.

Since the August 25<sup>th</sup> meeting, the Project Sponsor continued to communicate with the DR Requestor; the modified plans were emailed and individual questions were answered. The Project Sponsor also provided additional details about the existing conditions of the site, as requested by the DR Requestor, such as section drawings. The revisions to the Project reflect the Project Sponsor's willingness to go above and beyond the issues raised by the neighborhood.

### **Conclusion**

The Project Sponsor has made significant revisions to the Project since the Commission reviewed it on June 2<sup>nd</sup>. Further, the Project Sponsor has worked diligently to make sure that the issues of the DR Requestor were addressed. There has been a community meeting to discuss revisions and the Project Sponsor has continuously reached out to the DR Requestor to inquire about additional concerns. The revised Project fits in with the neighborhood and will provide two new housing units to the City, as well as update a deteriorated residential structure. The Project will constitute smart development which is consistent with the land use, residential density, height, and bulk controls along this portion of Potrero Avenue.

The DR Requestor has not established any exceptional or extraordinary circumstances that are necessary in a Discretionary Review case. We respectfully ask that the Planning Commission take Discretionary Review and approve the revised Project as proposed. Thank you for your consideration.

Very truly yours,

**REUBEN, JUNIUS & ROSE, LLP** 

John Kevlin

cc: Vice President Dennis Richards Commissioner Rich Hillis Commissioner Christine Johnson

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President Rodney Fong San Francisco Planning Commission September 22, 2016 Page 4

> Commissioner Joel Koppel Commissioner Myrna Meglar Commissioner Kathrin Moore John Rahaim – Planning Director Scott Sanchez – Zoning Administrator Jonas Ionin – Commission Secretary Jeffery Speirs – Project Planner Massoudi Consulting – Project Sponsor

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**REUBEN, JUNIUS & ROSE**, LLP

# REUBEN, JUNIUS & ROSE, LLP

May 19, 2016

### **Delivered via Messenger**

President Rodney Fong San Francisco Planning Commission 1650 Mission Street, Suite 400 San Francisco, CA 94103

> Re: 1152 Potrero Avenue (4211/011) Brief in Opposition of a DR Request Planning Department Case No. 2015.002632DRP/V Hearing Date: June 6, 2016 Our File No.: 10187.01

Dear President Fong and Commissioners:

Our office represents NRJ Investments LLC ("**Project Sponsor**"), the owners of the property at 1152 Potrero Avenue, ("**Property**"). We write regarding Discretionary Review 2015.002632DRP on Building Permit No. 2015.0224.9220 and respectfully request that the Planning Commission not take discretionary review and approve the permit as proposed. The proposal is for the construction of a horizontal and vertical addition, redesign of the facades, and the addition of two dwelling units to the existing single-family dwelling ("**Project**").

A Discretionary Review (DR) request was filed by Jesus Gomez ("**DR Requestor**"), who owns the rental property at 1136 Potrero Avenue, located three lots to the north of the subject Property.

The DR request should be denied and the Project approved as designed because:

- No exceptional or extraordinary circumstances have been established that would justify taking of DR;
- The DR requests would unreasonably restrict development at the Property, as the current Project does not maximize the allowable buildable area of the lot; rather, it has been designed to minimize its impact on the adjacent properties. The Property is

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constrained by the location of the building to the north at 1146 Potrero Avenue, which is at the rear of the lot, approximately 48 feet from the front property line;

• The Project is appropriate and desirable in use, massing, height, and overall scope, is compatible with the surrounding neighborhood, and is consistent with the *Residential Design Guidelines* and Planning Code.

The Project Sponsor has been sensitive to concerns about how the Project fits into the neighborhood as well as the Planning Department staff's design guidance. The project has been modified multiple times, demonstrating the Project Sponsor's willingness to work to design a project that is compatible with the existing neighborhood.

### A. <u>Project Description</u>

The Property is located on the west side of Potrero Avenue between 23<sup>rd</sup> and 24<sup>th</sup> Streets, half-block to the south of SF General Hospital in the eastern portion of the Mission neighborhood. It is located within a RH-3 (Residential, Three-Family) District and 55-X Height and Bulk District. The lot is 100 feet deep with 25 feet of street frontage along Potrero Avenue. The Property is improved with a one-story-over-garage, 3,099 gross square foot single family home that was constructed in 1907. The structure is 63 feet deep, which includes several one-story ancillary structures at the rear of the building. There is one parking space in the garage.

The Project will renovate and upgrade the existing structure through the construction of a two-story vertical addition, a 22-foot-eight-inch deep horizontal addition, and façade alterations. The new structure will have a total of four stories and be 40 feet tall, 15 feet under the height limit. The building will contain two two-bedroom units and one three-bedroom unit, for a total of three family-sized dwelling units. There will be two off-street parking spaces and 1,331 square feet of open space. The vertical addition at the 4<sup>th</sup> floor will be set back 15 feet from the front property line and 11 foot – three inches from the front façade. On the northern property line, there will be a 12 foot deep by four foot wide lightwell as well as a three foot side setback at the 2<sup>nd</sup> through the 4<sup>th</sup> floors. There will be a six foot – eight inch by three foot lightwell that will match the neighbors' lightwell to the south of the Property. The Project has a fully Codecompliant rear yard. Project plans are attached as **Exhibit A**. The Department concluded that the existing structure is not an historical resource under the California Environmental Quality Act ("CEQA") through the *South Mission Historic Resource Survey* in 2010.

As explained in more detail below, the Project has been designed to fit in with the existing context of the neighborhood and to respect the concerns raised by the DR Requestor.

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### B. <u>Neighborhood Context</u>

The Property is located in the eastern portion of the Mission neighborhood. Potrero Avenue is a major north-south thoroughfare with a mix of uses and building types. The block where the Property is located (on the west side of Potrero Avenue between 23<sup>rd</sup> and 24<sup>th</sup> Streets) contains residential, light-industrial, and commercial uses, with the northern portion of the block that is closer to 23<sup>rd</sup> Street featuring two-to-three-story residential buildings, and the southern portion of the block at 24<sup>th</sup> Street featuring one-to-three-story mixed use buildings. There are several large one-story light-industrial structures four lots to the south of the Property, and an auto-repair business at the corner of 23<sup>rd</sup> Street.

The block directly across from the Property contains a one-story commercial building (d.b.a. "Walgreens") and two-and-three-story residential buildings. SF General Hospital is a halfblock to the north of the Property. Building styles in the neighborhood vary from older Queen Anne and Stick styles to Edwardian and Maria/Art Deco. Most buildings have been modified and there are contemporary structures throughout the area.

The lot directly to the south of the Property, 1156 Potrero Avenue, contains a three-story multi-family apartment building which is located at the front property line. The lot to the north of the Property, 1146 Potero Avenue, has a single family residence which is setback approximately 48 feet – 11 inches from the front property line. 1146 Potrero Avenue is the only property on the block with the structure located at the rear of the lot; all other buildings are located at the front property lines, creating a consistent street frontage as well as mid-block open space. This pattern exists throughout the neighborhood. The DR Requestor's property, 1136 Potrero, is a two-story-over-garage dwelling located three lots to the north of the Property. An aerial map of the neighborhood is attached as **Exhibit B**.

### C. <u>Neighborhood Outreach and Design Development</u>

The Project Sponsor has spent a considerable amount of time and effort to gather and respond to concerns from the DR Requestor and neighbors. Efforts were made early in the process to modify the project in response to neighbor's issues, including an offer to the DR Requestor to lower the total height of the building. There was no response to this proposed modification. The Project was reviewed and approved by Department staff in the fall of 2015. The first Section 311 notification ran from January 6 to February 5, 2016, during which time the DR Requestor filed this request.

Following the filing of the subject Discretionary Review application in January, the Project Sponsor worked with the Planning Department to modify the Project to address concerns that were raised by the DR Requestor. The Project has been significantly redesigned and

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reduced in size from its original conception. Design changes in response to the DR Requestor's concerns include:

- 1. Altering the proposed pitched roof to a flat roof, thus lowering the maximum height of the roof by 3 feet 10 inches;
- 2. Providing a 3 foot side setback from the 2<sup>nd</sup> through 4<sup>th</sup> floors on the northern property line where the building overlaps with 1146 Potrero Avenue;
- 3. Providing a 5 foot side setback at the deck on the 3<sup>rd</sup> floor for additional privacy, and an open railing for lighting and ventilation considerations;
- 4. Providing a 10 foot rear setback at the 3<sup>rd</sup> and 4<sup>th</sup> floors;
- 5. Providing a 15 foot front setback at the 4<sup>th</sup> floor;
- 6. Modifying the window openings on the northern façade to increase privacy for 1146 Potrero Avenue; and
- 7. Installing landscaping at the rear of the property to aid in privacy for neighbors on Hampshire Street.

The net effect of these changes is to ensure access to light and air for adjacent neighbors, maintain the prevailing building pattern on the block, and design an articulated and properly-scaled building as viewed from the pedestrian realm. Due to the modifications made at the front of the Property in response to the DR Requestor, the Project must obtain a Variance from the front yard requirements pursuant to Section 132. The Zoning Administrator also required a second, 15-day, Section 311 notification be conducted as a result of the modifications made to the Project. The hearing for both the Discretionary Review and Variance is scheduled for June  $2^{nd}$ .

Throughout this process, the Project Sponsor has continued to communicate with the DR Requestor. The modified plans were emailed to the DR Requestor and individual questions were answered. The development of the Project design demonstrates the Project Sponsors' willingness to be flexible and work with both Planning Department staff and neighborhood. Despite the numerous modifications made to the Project, it appears that the DR Requestor is unwilling to accept a redesigned building at the Property, despite the fact that the Planning Department has determined that the Project is within its buildable area and consistent with all aspects of the *Residential Design Guidelines*.

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### D. <u>Reponses to DR Requestors Concerns</u>

The DR Requestor raises multiple concerns about the Project, several of them having been addressed through the modifications made since the Discretionary Review Application was filed in January. Each is discussed below.

1. The Project does not adhere to the second of the eight Priority Policies that existing housing and neighborhood character be conserved and protected.

Planning Code Section 101.1 outlines eight General Plan Priority Policies. The second policy states: "that existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods."

The Project meets this General Plan policy. In addition to preserving an existing dwelling unit, the Project is adding two new units, which will increase the City's supply of housing. The Property is zoned RH-3 which allows three units per lot as-of-right. The blocks along Potrero Avenue are all zoned RH-3, a medium-density residential zoning that is appropriate for this portion of the Mission neighborhood. The Project is complying with the zoning and with this component of the General Plan policy.

With respect to neighborhood character, the DR Requestor states that the block contains homes that were built in the 1880s and 1890s, and that their architectural design is the "character" of the block. This is misleading. While several homes date to this period, the majority of them have been heavily altered to the point that their original architectural style is no longer evident. In fact, the Department's *South Mission Historic Resource Survey*, adopted by the Historic Preservation Commission in 2011, found that there were only two historic resources on the block – the DR Requestors' property and the home to the north of his property. The remainder of the block, including the subject Property, was found not to be of architectural or historic value due to the modifications made to most of the buildings. Two buildings cannot create the overall "character" of the block.

The DR Requestor also does not provide a full picture of the character of the neighborhood. As discussed earlier, the block where the Property is located contains a variety of property types and structures, all in varying heights and styles. Only four of the fifteen residential buildings on the block contain single-family homes; the rest are multi-family buildings. The properties directly to the south of the Property are two-to-three-story residential apartment buildings. There are also four lots that contain light-industrial buildings. The block is not uniform in use or building typology; rather, it contains a vibrant mix of uses and structures. This is the character of the block, not small single-family homes. The Project is compatible with character of the block and neighborhood, and meets the goals of the Priority Policy.

2. The proposal is out of scale with the mid-block location, both in height and massing.

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The DR Requestor suggests that the Project is out of scale with surrounding neighborhood and shows a "total disregard" for the adjacent two-story buildings. This inaccurately portrays the existing scale of development in the neighborhood.

This portion of Potrero Avenue consists of multi-story residential and mixed-use buildings, ranging from one to three stories. The three buildings to the south of the Property are three stories tall and there are several three story buildings across the street from the Property. The DR Requestor's assertion that the neighborhood is primarily characterized by one-to-two story single family homes is inaccurate. In fact, the neighborhood contains a number of multi-story housing developments which will be in keeping with the proposed project. For photographs of the adjacent properties, see **Exhibit C**. [Show block face photos]

The Projects' location and size is compatible with the overall building scale found in the immediate neighborhood. The allowable building envelope has been defined by the Planning Code by way of prescribed setbacks and the height limit. Furthermore, the appropriateness of the Project is further shaped by the requirements of the *Residential Design Guidelines*. As designed, the proposed building massing at the street reads as a three-story building due to the setback of the fourth floor. The Project also has setbacks and lightwells along the northern property line, further reducing its massing.

The Project's height is moderate in comparison to allowable development along Potrero Avenue, which ranges from 55-X to 65-X. Potrero Avenue is 100 feet wide, and the properties along the street are appropriately zoned for this transit corridor. The southern portion of the block, starting three lots to the south of the Property, is zoned for 65 feet. The Project is significantly under its height limit – it is proposed to be 40 feet tall. In fact, it is 15 feet lower than the allowed height limit in deference to the lower-scaled two and three-story buildings on the block. These surrounding height limits are shown on the zoning map, attached as **Exhibit D**.

The *Residential Design Guidelines* discuss how to design a building so that it fits into the scale at the street. It states:

**Height.** If a proposed building is taller than the surrounding buildings, it may be necessary to modify the building height to maintain the existing scale of the street so that the visibility of the upper floor is limited from the street and the upper floor appears subordinate to the primary façade. An upper story setback, façade articulations, and eliminating parapets help to preserve the scale of the street.<sup>i</sup>

The Project has been designed to meet these guidelines. The fourth floor is setback 15 feet from the front property line and has been designed without a parapet. The building at the street is similar in height as the three multi-story residential buildings to the south of the

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Property. It is also the same scale as buildings at the northern end of the block as well as of across the street.

In addition, the *Residential Design Guidelines* also state that the building scale at the midblock open space is an important element that should be respected when designing new structures and additions. The intent of the Guidelines is to preserve this space through careful massing. It states:

**Midblock Open Space.** In areas with an irregular midblock open space pattern, the rear addition should be designed to minimize its reduction. Setting back the upper floors to provide larger rear yard setbacks, notching the building at the rear, or providing setbacks from the side property lines can lessen the impacts of an addition.<sup>ii</sup>

The Project meets these requirements. The rear addition has a 10 foot setback at the  $3^{rd}$  and  $4^{th}$  floors, and there is an additional 5 foot wide side setback at the  $3^{rd}$  floor deck. Further, there is a three foot side setback from the  $2^{nd}$  through  $4^{th}$  floors at the northern property line. All of these setbacks have been incorporated to reduce the impact to the midblock open space and to the adjacent properties. Project's scale fits into the character of the block.

# 3. The home adjacent to the Property (1146 Potrero) is set back on the lot therefore the Project is visible from the public right-of-way on Potrero Avenue.

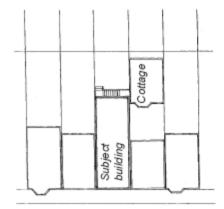
1146 Potrero Avenue, the property directly to the north of the Property, is a legal nonconforming structure that is located in the rear of the lot within the required rear yard. It is the only property with this condition within a five-block radius. The Project has been designed to accommodate its neighbor as detailed in the *Residential Design Guidelines*, which provides guidance for this type of situation:

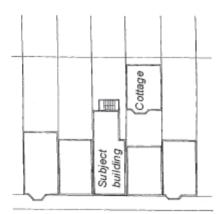
**Rear Yard Cottages**. Even though buildings in rear yards are non-complying structures that can adversely impact a block's pattern of interior open space, new buildings should be designed to reduce light impacts to the cottage. Specific design features include providing side setbacks at the rear of the building, and minimizing rear projections such as decks and stairs.<sup>iii</sup> From the Guidelines:

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This illustration shows a new building permitted under the Planning Code. The building's design has not been modified to minimize light impacts to the adjacent cottage, and further restricts the mid-block open space.

This illustration shows a new building that provides a side setback to reduce the impact on light to the cottage.

The Project's design respects 1146 Potrero Avenues' rear cottage. The majority of the Project is set back a total of three feet from this property line from the  $2^{nd}$  to the  $4^{th}$  floors. The rear addition at the third and fourth floors are setback 10 feet from the lower floors, and there is an additional five foot setback from 1146 Potrero Avenue's property line at the third floor. Earlier iterations of the Project did not contain any setbacks along the northern portion of the Property. In addition, the Project was pulled back over eight feet from the rear yard line in order to provide additional light and air for 1146 Potrero Avenue. The Project was redesigned to include setbacks that meet the *Residential Design Guidelines* as well as minimize the impact to 1146 Potrero Avenue.

The location of the building at 1146 Potrero Avenue poses challenges to both adjacent properties. Due to the very nature of that lot, development on lots to either side will be visible from Potrero Avenue. The DR Requestor is attempting to use this lot condition to prevent the Property from being upgraded, as he did in 2008, when he filed a similar Discretionary Review application for 1140 Potrero Avenue, the lot to the north of 1146 Potrero and his immediate neighbor.<sup>iv</sup> In that case, the Planning Commission took discretionary review and added an additional 11 foot setback at the rear of the property. As a result of that case, as well as concerns of the DR Requestor, the Project has incorporated several setbacks at the side and rear of the Project to allow light and air to 1146 Potrero Avenue. The Project's design has appropriate setbacks and is within the buildable envelope. That it will be visible due to the adjacent property's condition should not prevent the Project from proceeding.

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#### 4. The Project is a de-facto demolition.

The DR Requestor incorrectly states that the Project is a de-facto demolition under Section 317. It is not. The existing building on the Property is in a deteriorated condition and in need of repair and upgrades; there have been a series of ad-hoc ground floor additions at the rear of the building which are in disrepair. The Project is proposing to add two new dwelling units which require the building to be updated both structurally and aesthetically. The Project does not meet the demolition definition as defined in Section 317(b)(2):

(A) Any work on a Residential Building for which the Department of Building Inspection determines that an application for a demolition permit is required, or

The Project does not require a demolition permit under the Department of Building Inspection regulations.

(B) A major alteration of a Residential Building that proposes the Removal of more than 50% of the sum of the Front Facade and Rear Facade and also proposes the Removal of more than 65% of the sum of all exterior walls, measured in lineal feet at the foundation level, or

The Project does not meet this requirement as it is proposing to remove more than 50 % of the front and rear facades but only removing 31.14%, or 42.3 lineal feet, of the sum of all exterior walls.

(C) A major alteration of a Residential Building that proposes the Removal of more than 50% of the Vertical Envelope Elements and more than 50% of the Horizontal Elements of the existing building, as measured in square feet of actual surface area.

The Project does not meet this requirement as it is proposing the removal of 48%, or 2,485 feet, of the vertical elements and 40%, or 1,288 feet, of the horizontal elements of the existing building

1152 Potrero Avenue has been designed as a major alteration pursuant to the Department of Building Inspections' requirements. Further, the Project is not a demolition as defined in Section 317. The DR Requestor in incorrect with this assertion.

5. Project will cast shadows on the adjacent properties.

DR requestor alleges that the Project will cast shadows on 1146 Potrero Avenue as well as the properties behind the Property along Hampshire Street. The Property is located in a dense urban environment and some reduction of light is to be expected as a result of any development.

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The Project is proposed to be 40 feet tall, thus a shadow analysis pursuant to Planning Code Section 295 is not required. Further, the Project was found not to have a shadow impact under CEQA. Therefore, the DR Requestors request to conduct a shadow study exceeds the requirements outlined by the Planning Department.

An aerial view of the block shows that the Project will cast minimal shadows to the adjacent properties, as much of the block is built out. See aerial view of the block in **Exhibit C**. With regards to impacts to 1146 Potrero Avenue, the Project will overlap with the rear structure for 17 feet but will be setback three feet from the property line. Further, the Project was reduced an additional eight feet from the required rear property line, and the Property will have a 33 foot deep rear yard – roughly 12 feet deeper than the minimum required rear yard. The structure to the north of 1146 Potrero Avenue (1140 Potrero Avenue) extends further into the rear yard than the Project. The proposed building depth is roughly consistent with the pattern of building depth of buildings on this block. See aerial view of the block in **Exhibit C**. The Project has been designed in compliance with the *Residential Design Guidelines*, which discusses the issue of shadows on adjacent properties. It states:

*Light.* In areas with a dense building pattern, some reduction of light to neighboring buildings can be expected. A number of design features can be incorporated to minimize impacts on light, including setbacks on upper floors, shared light wells, open railings on decks and stairs, and using a fire-rated roof.<sup>v</sup>

The Project incorporates each of these features, ensuring adequate light and air to 1146 Potrero Avenue's rear cottage. There will be a 33 foot deep rear yard, more than one-third larger than the rear yard requirement and consistent with most of the other buildings on the rest of the block, reducing the impact to the adjacent properties on Potrero Avenue and Hampshire Street. The Project will not cast any significant shadows to the adjacent properties or to those on Hampshire Street.

### D. Conclusion

The DR Requestor has not established any exceptional or extraordinary circumstances that are necessary in a Discretionary Review case. The Project entails a two-story vertical and horizontal addition to an existing one-story over-garage structure, adding two dwelling units for a total of three units, which is within the zoning permitted on the Property, and reaching a maximum height of 40 feet, well under the 55 foot height limit allowed. The Project will constitute smart development which is consistent with the land use, residential density, height, and bulk controls along this portion of Potrero Avenue.

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tel: 415-567-9000 fax: 415-399-9480

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There are no exceptional or extraordinary circumstances associated with the Project which merit the exercise of the Commission's special discretionary review authority. We respectfully ask that the Planning Commission deny the Discretionary Review and approve the Project as proposed. Thank you for your consideration.

Very truly yours,

**REUBEN, JUNIUS & ROSE, LLP** 

John Kevlin

cc: Vice President Cindy Wu Commissioner Michael Antonini Commissioner Rich Hillis Commissioner Christine Johnson Commissioner Kathrin Moore Commissioner Dennis Richards John Rahaim – Planning Director Scott Sanchez – Zoning Administrator Jonas Ionin – Commission Secretary Jeffery Speirs – Project Planner Massoudi Consulting – Project Sponsor

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REUBEN, JUNIUS & ROSE, LLP

<sup>&</sup>lt;sup>i</sup> San Francisco Residential Design Guidelines ("Guidelines"), pg. 25-26.

<sup>&</sup>lt;sup>ii</sup> Guidelines, pg. 24-25.

<sup>&</sup>lt;sup>iii</sup> Guidelines, pg. 21.

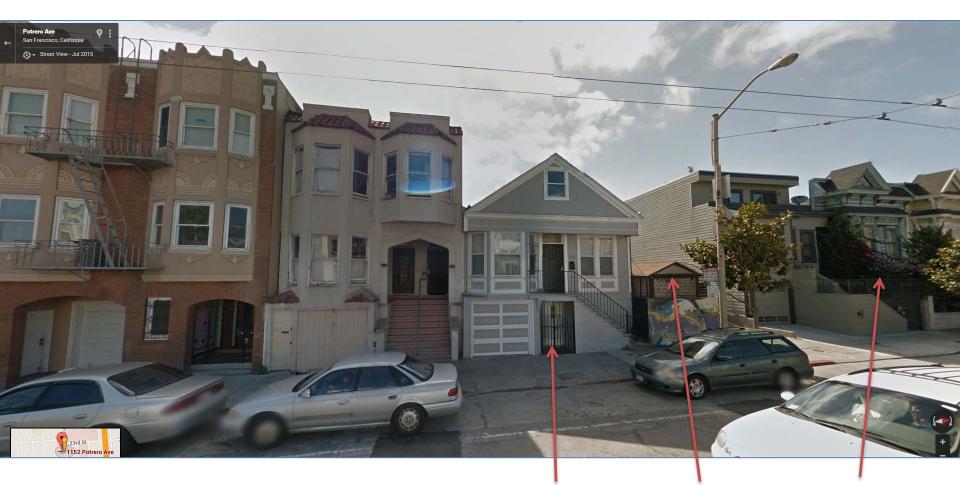
<sup>&</sup>lt;sup>iv</sup> Planning Case No. 2007.1211D, heard by the Planning Commission on 2/28/08.

<sup>&</sup>lt;sup>v</sup> Guidelines, pg. 16.

### **Exhibit B: Aerial View of Block 4211**



1146 Potrero Avenue



1136 Potrero Avenue: DR Requestor's Property

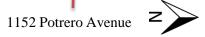




DR Requestor's Property

2015.002632DRP: 1152 Potrero Avenue





2015.002632DRP: 1152 Potrero Avenue



1152 Potrero Avenue

1146 Potrero Avenue

1136 Potrero Avenue: DR Requestor's Property



## Exhibit C: Context Images – Across Street from 1152 Potrero looking north



SF General Hospital

 $\checkmark$ 

2015.002632DRP: 1152 Potrero Avenue

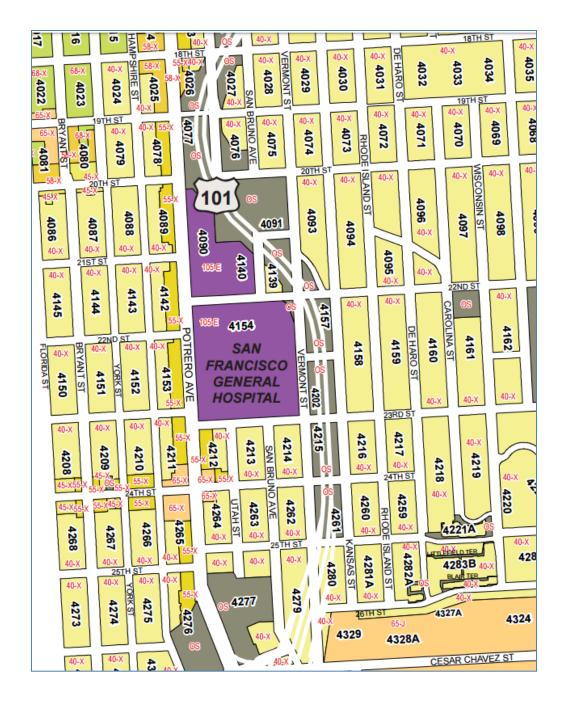
### Exhibit C: Context Images – Across Street from 1152 Potrero Avenue looking South



Walgreens

1152 Potrero Avenue

### Exhibit D: Height & Bulk Map



# RESPONSE TO DISCRETIONARY REVIEW (DRP)

Assigned Planner: Jeffrey Speirs

#### SAN FRANCISCO PLANNING DEPARTMENT 1650 MISSION STREET, SUITE 400 SAN FRANCISCO, CA 94103-2479 MAIN: (415) 558-6378 SFPLANNING.ORG

San Franc

#### **Project Information**

Property Address: 1152 Potrero Avenue

Building Permit Application(s): 2015.0224.9220

Record Number: 2015.002632DRP

#### **Project Sponsor**

Name: Reuben, Junius & Rose, LLP; attn: John Kevlin

Phone: 415-567-9000

Zip Code: 94110

Email: jkevlin@reubenlaw.com

### **Required Questions**

1. Given the concerns of the DR requester and other concerned parties, why do you feel your proposed project should be approved? (If you are not aware of the issues of concern to the DR requester, please meet the DR requester in addition to reviewing the attached DR application.)

Please see attached supplemental sheet.

2. What alternatives or changes to the proposed project are you willing to make in order to address the concerns of the DR requester and other concerned parties? If you have already changed the project to meet neighborhood concerns, please explain those changes and indicate whether they were made before or after filing your application with the City.

Please see attached supplemental sheet.

3. If you are not willing to change the proposed project or pursue other alternatives, please state why you feel that your project would not have any adverse effect on the surrounding properties. Include an explaination of your needs for space or other personal requirements that prevent you from making the changes requested by the DR requester.

Please see attached supplemental sheet.

### **Project Features**

Please provide the following information about the project for both the existing and proposed features. Please attach an additional sheet with project features that are not included in this table.

|  | EXISTING    | PROPOSED |
|--|-------------|----------|
| Dwelling Units (only one kitchen per unit - additional kitchens count as additional units) | 1           | 3        |
| Occupied Stories (all levels with habitable rooms)   | 2           | 4        |
| Basement Levels (may include garage or windowless storage rooms)                           | 1           | 1        |
| Parking Spaces (Off-Street)  | 1           | 2        |
| Bedrooms   | 1           | 7        |
| Height   | 26'-2"      | 40'      |
| Building Depth   | 63' +/-     | 66'-8"   |
| Rental Value (monthly)   | 0           | TBD      |
| Property Value   | \$1,100,000 | TBD      |

### I attest that the above information is true to the best of my knowledge.

| Signature: | Date:   |
|------------|---|
|            | <ul><li>Property Owner</li><li>Authorized Agent</li></ul> |

If you have any additional information that is not covered by this application, please feel free to attach additional sheets to this form.

# REUBEN, JUNIUS & ROSE, LLP

## **Response to Discretionary Review (DRP)**

### Supplemental Sheet: 1152 Potrero Avenue, 2015.002632DRP

1. Given the concerns of the DR requestor and other concerned parties, why do you feel your project should be approved?

Discretionary Review is a special power of the Planning Commission ("Commission"), intended to provide an opportunity to evaluate a Code-compliant project that has some exceptional or extraordinary circumstance. The Commission has been advised by the City Attorney that its discretion under this authority is sensitive, and should be exercised with the utmost constraint.

There are no exceptional or extraordinary circumstances associated with the Project which merits the exercise of the Commission's discretionary review authority.

The Project entails a two-story vertical and horizontal addition to an existing one-story over-garage structure, adding two dwelling units for a total of three units, which is within the zoning permitted on the Property, and reaching a maximum height of 40 feet, well under the 55 foot height limit allowed. The Project is consistent with the land use, residential density, height, and bulk controls within the RH-3 Zoning District along this portion of Potrero Avenue.

The Project will complement the character and scale of development on Potrero Avenue and adjacent blocks. Residential development in the area is predominantly multi-story buildings. The Project is consistent with this pattern.

In summary, there is nothing extraordinary about the project that would justify the Commission's use of its discretionary review power. The project proposes smart, infill development which is in full compliance with the *Residential Design Guidelines* and the Planning Code. The addition directly furthers the goals of the City's Urban Design Element and Housing Elements, including:

- <u>Housing Element, Policy 4.1</u>: Develop new housing, and encourage the remodeling of existing housing, for families with children.
- <u>Housing Element, Policy 11.1</u>: Promote the construction and rehabilitation of welldesigned housing that emphasizes beauty, flexibility, and innovative design, and respects existing neighborhood character.

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tel: 415-567-9000 fax: 415-399-9480

1. Also admitted in New York - 2. Of Counsel - 3. Also admitted in Massachusetts

- <u>Housing Element, Policy 11.2</u>: Ensure implementation of accepted design standards in project approvals.
- 2. What alternatives or changes to the proposed project are you willing to make in order to address the concerns of the DR requestor and other concerned parties? If you have already changed the project to meet neighborhood concerns, please explain those changes and indicate whether they were made before or after filing your application with the City.

The Project Sponsor has spent a considerable amount of time and effort to gather and respond to concerns from the DR Requestor and neighbors. Following the filing of the subject Discretionary Review application, the Project Sponsor worked with the Planning Department and DR Requestor to modify the Project to address concerns that were raised. The Project has been significantly redesigned and reduced in size from its original conception. Design changes in response to the DR Requestor's concerns include:

- 1. Altering the proposed pitched roof to a flat roof, thus lowering the maximum height of the roof by 3 feet 10 inches;
- 2. Providing a 3 foot side setback from the 2<sup>nd</sup> through 4<sup>th</sup> floors on the northern property line where the building overlaps with 1146 Potrero Avenue;
- 3. Providing a 5 foot side setback at the deck on the 3<sup>rd</sup> floor for additional privacy, and an open railing for lighting and ventilation considerations;
- 4. Providing a 10 foot rear setback at the 3<sup>rd</sup> and 4<sup>th</sup> floors;
- 5. Providing a 15 foot front setback at the 4<sup>th</sup> floor;
- 6. Modifying the window openings on the northern façade to increase privacy for 1146 Potrero Avenue; and
- 7. Installing landscaping at the rear of the property to aid in privacy for neighbors on Hampshire Street.

The net effect of these changes is to ensure access to light and air for adjacent neighbors, maintain the prevailing building pattern on the block, and design an articulated and properly-scaled building as viewed from the pedestrian realm. The Project sponsor met with the DR Requestor early on in the design process to discuss the project and potential impacts to the DR Requestor's building. The Project Sponsor has made significant changes to the addition as requested by the Residential Design Team.

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REUBEN, JUNIUS & ROSE, LLP

1152 Potrero Avenue 2015.002632DRP May 17, 2016 Page 3

3. If you are not willing to change the proposed project or pursue other alternatives, please state why you feel that your project would not have any adverse effect on the surrounding properties. Include an explanation of your needs for space or other personal requirements that prevent you from making the changes requested by the DR requester.

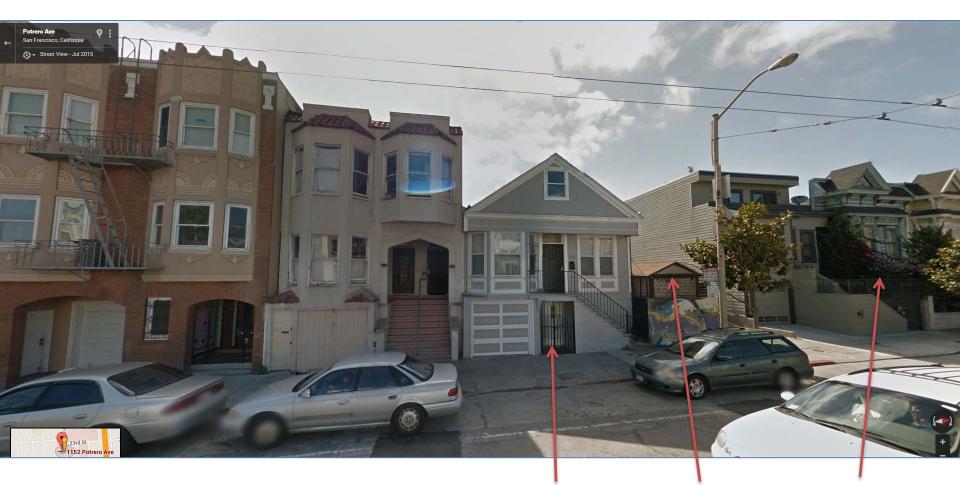
The Project Sponsor has been sensitive to concerns about how the Project fits into the neighborhood as well as the Planning Department staff's design guidance. The Project has been modified multiple times, demonstrating the Project Sponsor's willingness to work to design a project that is compatible with the existing neighborhood. The DR requests would unreasonably restrict development at the Property, as the current Project does not maximize the allowable buildable area of the lot; rather, it has been designed to minimize its impact on the adjacent properties. The Property is constrained by the location of the building to the north at 1146 Potrero Avenue, which is at the rear of the lot, approximately 48 feet from the front property line. Further modifications would materially impair the Project Sponsor's ability to add dwelling units to the neighborhood.

In addition, the DR requestor's property will be minimally impacted by the Project, as it is located three lots to the north of the Property, and the project exemplifies smart development that would not result in the sort of extraordinary or exceptional impacts for which DR is intended to address and which are required before DR can be taken.

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REUBEN, JUNIUS & ROSE, LLP



1136 Potrero Avenue: DR Requestor's Property

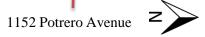




DR Requestor's Property

2015.002632DRP: 1152 Potrero Avenue





2015.002632DRP: 1152 Potrero Avenue



1152 Potrero Avenue

1146 Potrero Avenue

1136 Potrero Avenue: DR Requestor's Property



## Exhibit C: Context Images – Across Street from 1152 Potrero looking north



SF General Hospital

 $\checkmark$ 

2015.002632DRP: 1152 Potrero Avenue

### Exhibit C: Context Images – Across Street from 1152 Potrero Avenue looking South



Walgreens

1152 Potrero Avenue

# **Exhibit C: Aerial View of Block 4211**



1146 Potrero Avenue

## **SCOPE OF WORK**

3

PROPOSED VERTICAL AND HORIZONTAL ADDITION TO EXISTING SINGLE FAMILY HOME TO ACCOMODATE THREE UNITS AND TWO CAR GARAGE @ 1152 POTRERO AVE., SAN FRANCISCO

2

1

### **PROJECT DATA**

|   | LOT AREA:   | 2,495 S.F.   |
|---|---|--|
|   | EXISTING STRUCTURE                                    |  |
|   | (E) 1ST FLOOR AREA:                                   | 1,212 ± S.F.   |
|   | (E) 2ND FLOOR AREA:                                   | 1.020 ± S.F.   |
|   | (E) 3RD FLOOR AREA (ATTIC):                           | 867 ± S.F.   |
|   | (E) TOTAL FLOOR AREA:                                 | 3,099 ± S.F.   |
|   | (E) TOTAL TEOORANEA.                                  | 0,000 2 0.1 1  |
|   | PROPOSED STRUCTURE (GROSS AREA)                       |  |
| _ | (N) 1ST FLOOR GROSS AREA:                             | 1,508 ± S.F.   |
|   | (N) 2ND FLOOR GROSS AREA:                             | 1,402 ± S.F.   |
|   | (N) 3RD FLOOR GROSS AREA :                            | 1,398 ± S.F.   |
|   | (N) 4TH FLOOR GROSS AREA:                             | 512 ± S.F  |
|   | (N) TOTAL GROSS FLOOR AREA:                           | 4,820 ± S.F.   |
|   |   |  |
|   | UNIT BREAKDOWN (HABITABLE AREA)                       |  |
|   | UNIT #1 HABITABLE AREA:                               | 1,222 ± S.F.   |
|   | UNIT #2 HABITABLE AREA:                               | 1,092 ± S.F.   |
|   | UNIT #3 HABITABLE AREA:                               | 1,464 ± S.F.<br><b>3.778 ± S.F</b> .   |
|   | (N) TOTAL HABITABLE FLOOR AREA:<br>GARAGE AREA:       | 3,778 ± S.F.<br>727 ± S.F.   |
|   | GARAGE AREA.  | 121 ± 3.F.   |
|   | (E) NUMBER OF UNITS:                                  | 1  |
|   | (N) NUMBER OF UNITS                                   | 3  |
|   | (E) NUMBER OF COVERED PARKING:                        | 1  |
|   | (N) NUMBER OF COVERED PARKING:                        | 2  |
|   | (E) BICYCLE PARKING:                                  | 0  |
|   | (N) BICYCLE PARKING:                                  | 3  |
|   | (E) BUILDING HEIGHT:                                  | 26'-2" ±   |
|   | (N) BUILDING HEIGHT:                                  | FRONT PORTION: 28'-6" ± / REAR PORTION: 32'-4" ±                             |
|   | BUILDING HEIGHT LIMIT:                                | 55-X   |
|   | (E) NUMBER OF STORIES:                                | 3  |
|   | (N) NUMBER OF STORIES                                 | 3 OVER BASEMENT  |
|   | (E) OCCUPANCY GROUP:                                  | R-3  |
|   | (N) OCCUPANCY GROUP:                                  | R-2  |
|   | ZONING:   | RH-3   |
|   | (E) TYPE OF CONSTRUCTION:                             | V-B  |
|   | (N) TYPE OF CONSTRUCTION:                             | V-A  |
|   | BLOCK / LOT:  | 4211 / 011   |
|   | APPLICABLE CODES:                                     | ALL DESIGN AND CONSTRUCTION SHALL COMPLY WITH THE                            |
|   |   | 2013 CALIFORNIA CODE OF REGULATIONS TITLE 24:<br>W/ SAN FRANCISCO AMENDMENTS |
|   | NOTES:  |  |
|   | <ul> <li>PROVIDE FIRE SPRINKLER SYSTEM THR</li> </ul> | OUGHOUT UNDER NFPA13 STANDARD - UNDER SEPARATE PERMIT                        |

• SPRINKLERS AND STANDPIPE REQUIRED PER NFPA13, 14, & 24, 2001 EDITIONS.

• FIRE ALARM AND SPRINKLER MONITORING SYSTEM REQUIRED PER NFPA 72 THROUGHOUT

THE SPRINKLER AND FIRE ALARM SYSTEMS SHALL PROVIDE SPRINKLER WATER FLOW AND MONITORING VALVES ON EACH FLOOR. IF ELEVATORS ARE PRESENT, ELEVATOR RECALL, DOORS AT ELEVATOR, AND FIRE SMOKE DAMPERS ARE REQUIRED TO BE CONNECTED TO FIRE ALARM SYSTEM.

PROVIDE LOCKBOX AT MAIN ENTRY COORDINATE WITH DISTRICT FIRE INSPECTOR

• PROVIDE STAIRWELL INDENTIFICATION SIGNS, AS PER CBC 1020.1.6

1

• PROVIDE SMOKE DETECTORS REQUIRED IN COMMON CORRIDOR ON FIRST FLOOR

### DRAWING INDEX

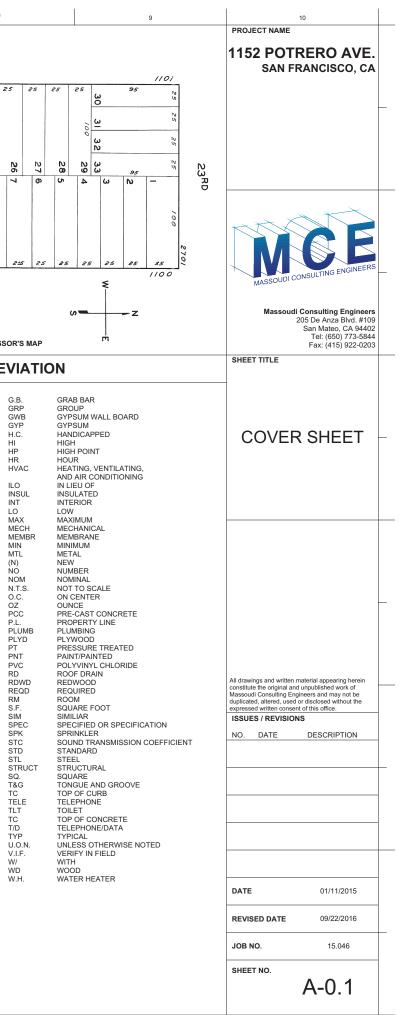
|   | ARCHITECTURAL: |                                     |
|---|----------------|-------------------------------------|
|   | A-0.1          | COVER SHEET                         |
|   | A-1.0          | (E) & (N) SITE PLAN                 |
|   | A-2.0          | (E) FLOOR PLANS                     |
|   | A-2.1          | DEMOLITION CALCULATIONS             |
|   | A-3.0          | (N) FLOOR PLANS (1)                 |
|   | A-3.1          | (N) FLOOR PLANS (2)                 |
|   | A-3.2          | EXITING DIAGRAM                     |
|   | A-4.0          | (E) & (N) FRONT AND REAR ELEVATIONS |
|   | A-4.1          | (E) LEFT AND RIGHT ELEVATIONS       |
| _ | A-4.2          | (N) LEFT AND RIGHT ELEVATIONS       |
|   | A-5.0          | (N) SECTION A-A AND DETAILS         |
|   | A-6.0          | BUILDING NOTES AND DETAILS          |
|   | A-7.0          | BULK STUDY                          |
|   | G-1.0          | GREEN BUILDING CHECKLIST            |
|   | C-1.0          | SURVEY                              |
|   |                |                                     |

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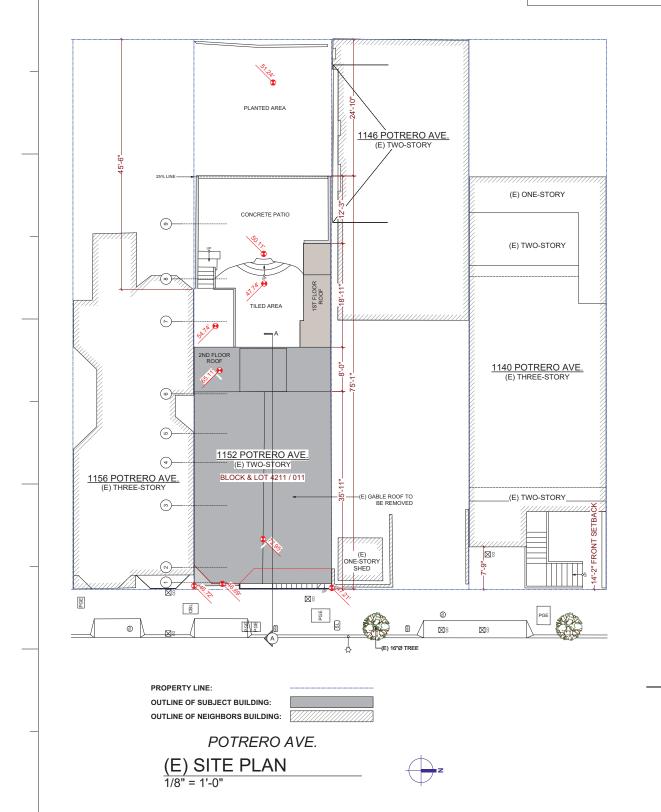
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|   |   | ASSESSOR   |
| <section-header><text><text><text><text><text><text><text><text><text><text><text></text></text></text></text></text></text></text></text></text></text></text></section-header>  | #       POUND OR NL         &       AND         @       AT         ABV       ABOVE         AFF       ABOVE FINISH         ALUM       ALUMINUM         APPROX       APPROXIMATE         ANOD       ANODIZED         ASPH       ASPHALT         BD       BOARD         BLG       BUILDING         BC       BOTTOM OF C         BYND       BEYOND         CIP       CAST IN PLAC         CHIL       CHANNEL         CJ       CONTROLJOIC         CIP       CAST IN PLAC         CAST IN PLAC       CONTROLJOIC         CIP       CAST IN PLAC         CAST IN PLAC       CONTROLJOIC         CIP       CAST IN PLAC         CAST IN PLAC       CONTROLJOIC         CIC       CONTROLJOIC         COL       COLUMN         COMPR       CONCRETE         CONT       CONTROLJOR         CONT       CONTROLJOR         CTR       CENTER         CONT       CONTRACTONTINUOUS         CORR       CONTROLJON         CTT       CENTER         CTDO       DEMOLISH< | ED FLOOR H.G.<br>ED FLOOR H.G.<br>ED FLOOR H.I<br>E HP<br>URB INT<br>ASONRY UNIT NG<br>LE N.I<br>ASONRY UNIT NG<br>LE N.I<br>ASONRY UNIT NG<br>LE N.I<br>SOU<br>EVATION ST<br>SIN<br>SP<br>EVATION ST<br>SIN<br>SP<br>SP<br>SP<br>SP<br>SP<br>SP<br>SP<br>SP<br>SP<br>SP   |



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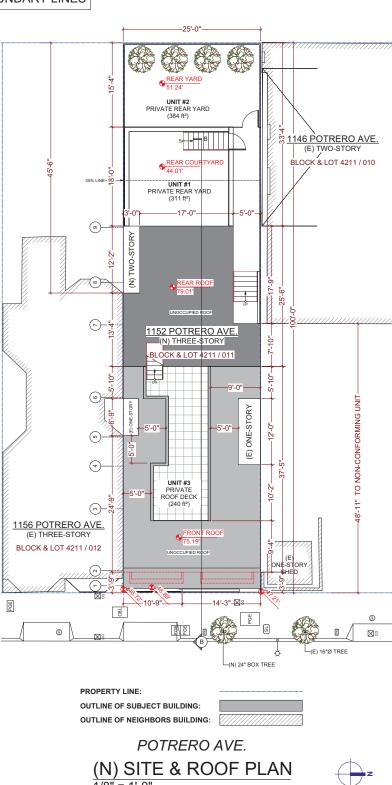


2

3

1

1



1/8" = 1'-0"

7

6

COMPLY WITH SITE SURVEY FOR LOT BOUNDARY LINES

<u>LEGEND</u>

WM

PGE

CBL

SL

0

 $\boxtimes$ 

4

PROPERTY LINE

CABLE/TV BOX

STREET LIGHT BOX

SEWER CLEANOUT

WATER METER

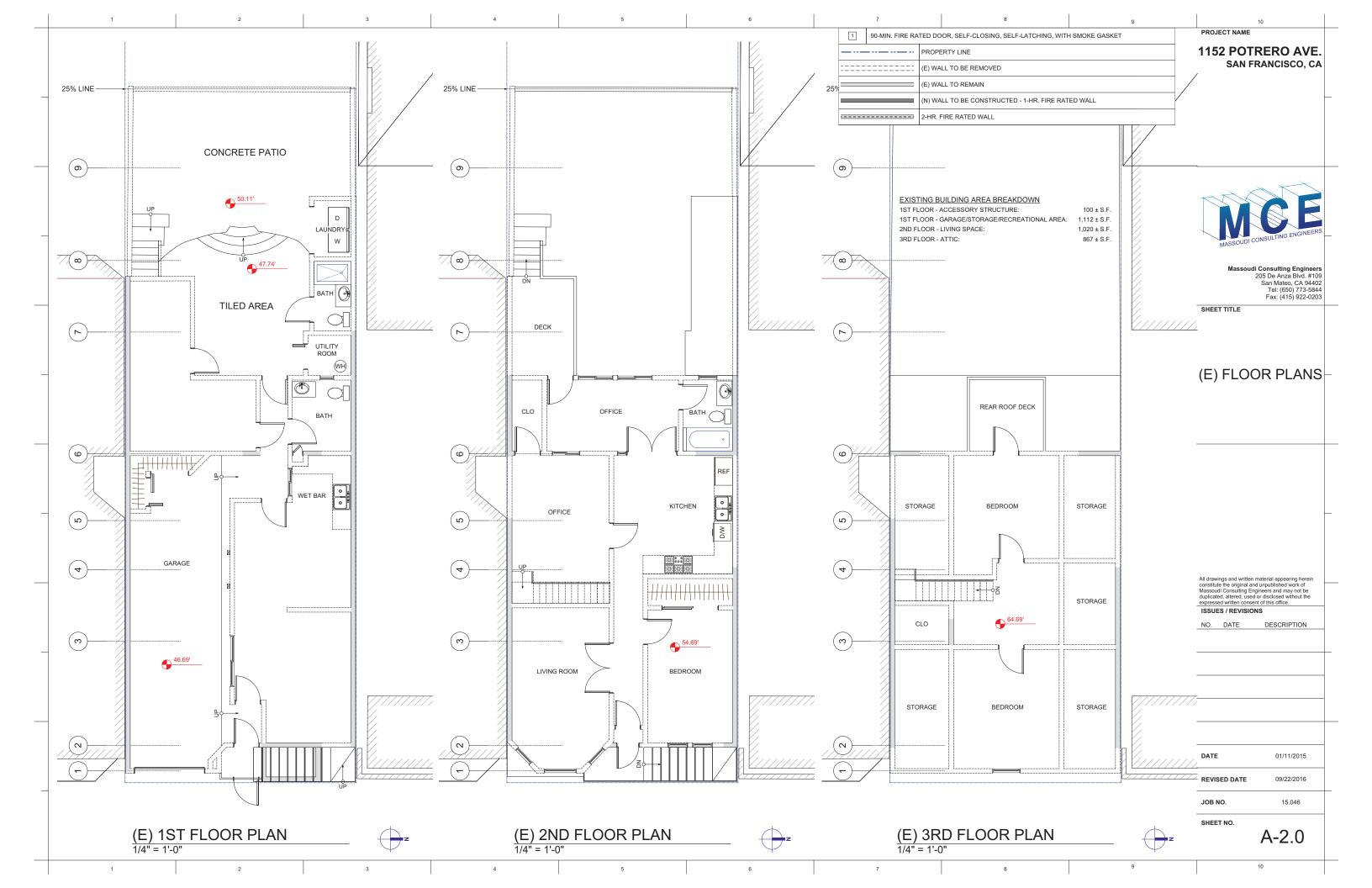
PG&E BOX

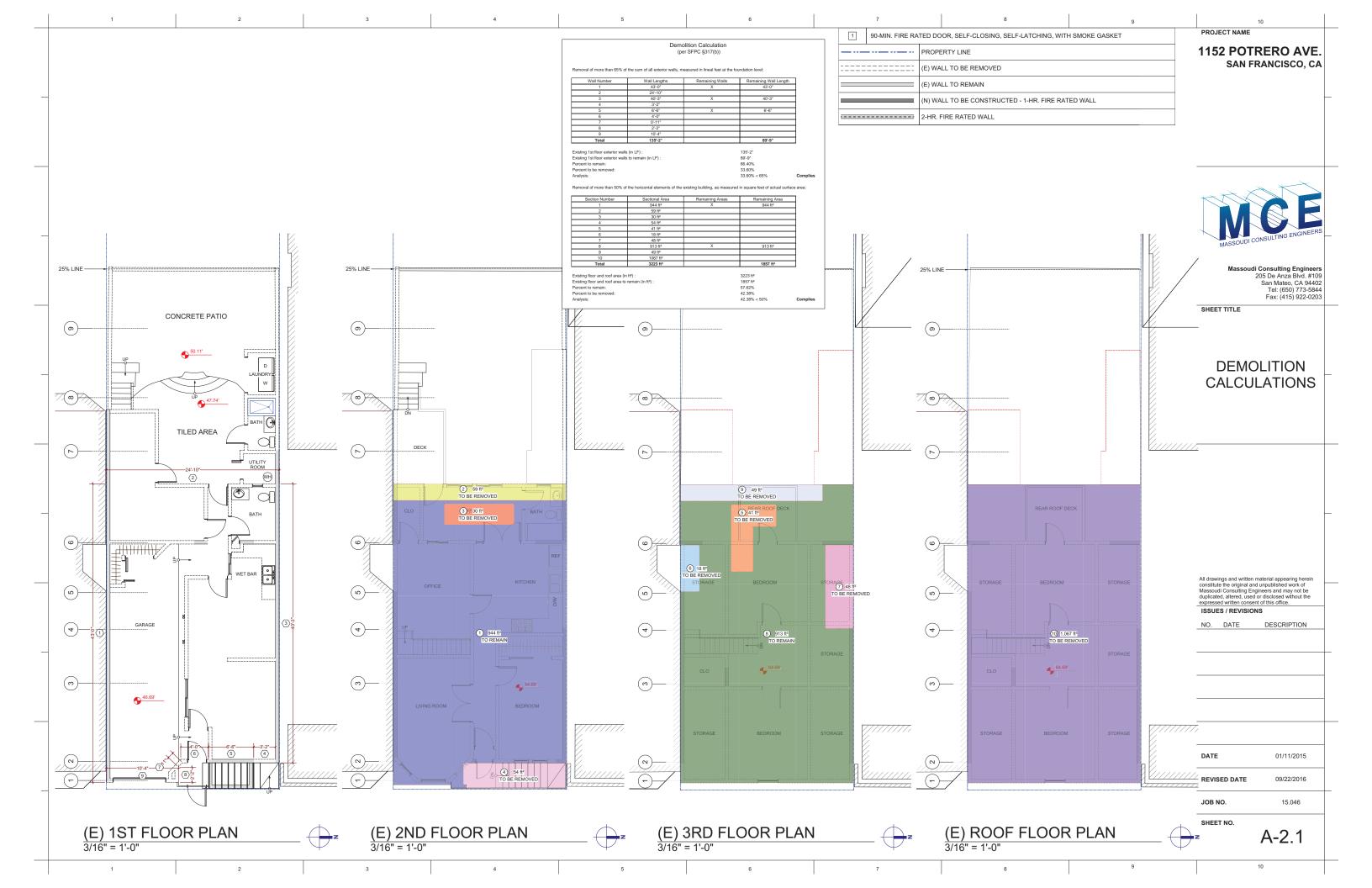
GAS VALVE

5

| 2 | 3 | 4 | 5 | 6 | 7 |  |
|---|---|---|---|---|---|--|









|                                    | 9  | 10<br>PROJECT NAME  |   |
|------------------------------------|--|---|---|
| F-LATCHING, WITH                   |  | 1152 POTRER<br>SAN FRANC  |   |
|                                    |  | JAN FRANC   | JISCO, CA   |
| - 1-HR. FIRE RATI                  | ED WALL                                    |   | _   |
|                                    |  |   |   |
| VE:                                |  |   |   |
| AVE:                               |  |   | $\times$  |
|                                    |  | MASSOUDI CONSULT  | ING ENGINEERS                                       |
| REQUIREMENT                        |  | MASSOOD   |   |
| D AREA:                            | 311 ft <sup>2</sup><br>384 ft <sup>2</sup> | Massoudi Consu<br>205 De  | Anza Blvd. #109                                     |
| CK AREA:                           | 240 ft <sup>2</sup>                        | San M<br>Tel:   | lateo, CA 94402<br>(650) 773-5844<br>(415) 922-0203 |
| ABLE OPEN SPACI<br>JIRED MINIMUMS. | E  | SHEET TITLE   | 13/ 322-0203  |
|                                    |  |   |   |
|                                    |  | (N) FLOOR<br>(1)  | PLANS_  |
|                                    |  |   |   |
|                                    |  |   |   |
|                                    |  |   |   |
|                                    |  |   |   |
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|                                    |  |   |   |
|                                    |  |   |   |
|                                    |  | All drawings and written material a<br>constitute the original and unpublis<br>Massoudi Consulting Engineers ar<br>duplicated, altered, used or disclos<br>expressed written consent of this or<br>ISSUES / REVISIONS | shed work of<br>nd may not be<br>sed without the    |
|                                    |  |   | CRIPTION  |
|                                    |  |   |   |
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|                                    |  |   |   |
|                                    |  |   | 01/11/2015  |
|                                    |  |   | 15.046  |
|                                    |  | JOB NO.<br>SHEET NO.  | 15.046  |
|                                    |  |   | 3.0   |
|                                    | 9  | 10  |   |



| 9                                   | 10   |
|-------------------------------------|--|
| G, SELF-LATCHING, WITH SMOKE GASKET | PROJECT NAME   |
|                                     | 1152 POTRERO AVE.  |
| D                                   | SAN FRANCISCO, CA  |
|                                     |  |
| UCTED - 1-HR. FIRE RATED WALL       |  |
|                                     |  |
| ALL HAVE:                           |  |
| L                                   |  |
| ALL HAVE:                           |  |
| L                                   | MASSOUDI CONSULTING ENGINEERS  |
|                                     | Massoudi Consulting Engineers<br>205 De Anza Blvd. #109<br>San Mateo, CA 94402<br>Tel: (650) 773-5844<br>Fax: (415) 922-0203   |
|                                     | SHEET TITLE  |
|                                     | (N) FLOOR PLANS_<br>(2)  |
|                                     |  |
|                                     | _  |
|                                     | All drawings and written material appearing herein<br>constitute the original and unpublished work of<br>Massoudi Consulting Engineers and may not be<br>duplicated, altered, used or disclosed without the<br>expressed written consent of this office.<br>ISSUES / REVISIONS |
|                                     | NO. DATE DESCRIPTION   |
|                                     |  |
|                                     | DATE 01/11/2015  |
|                                     | <b>REVISED DATE</b> 09/22/2016   |

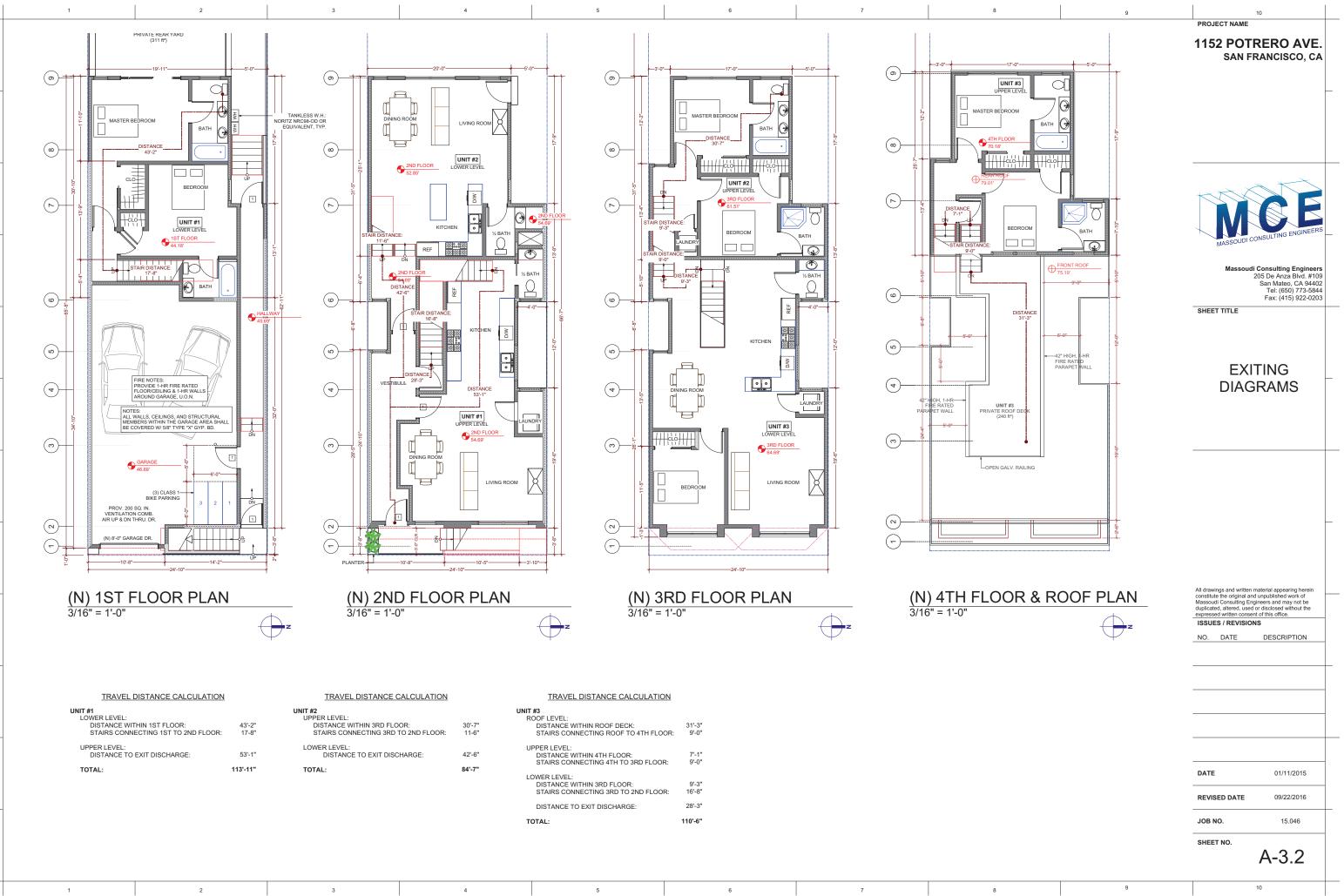
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A-3.1

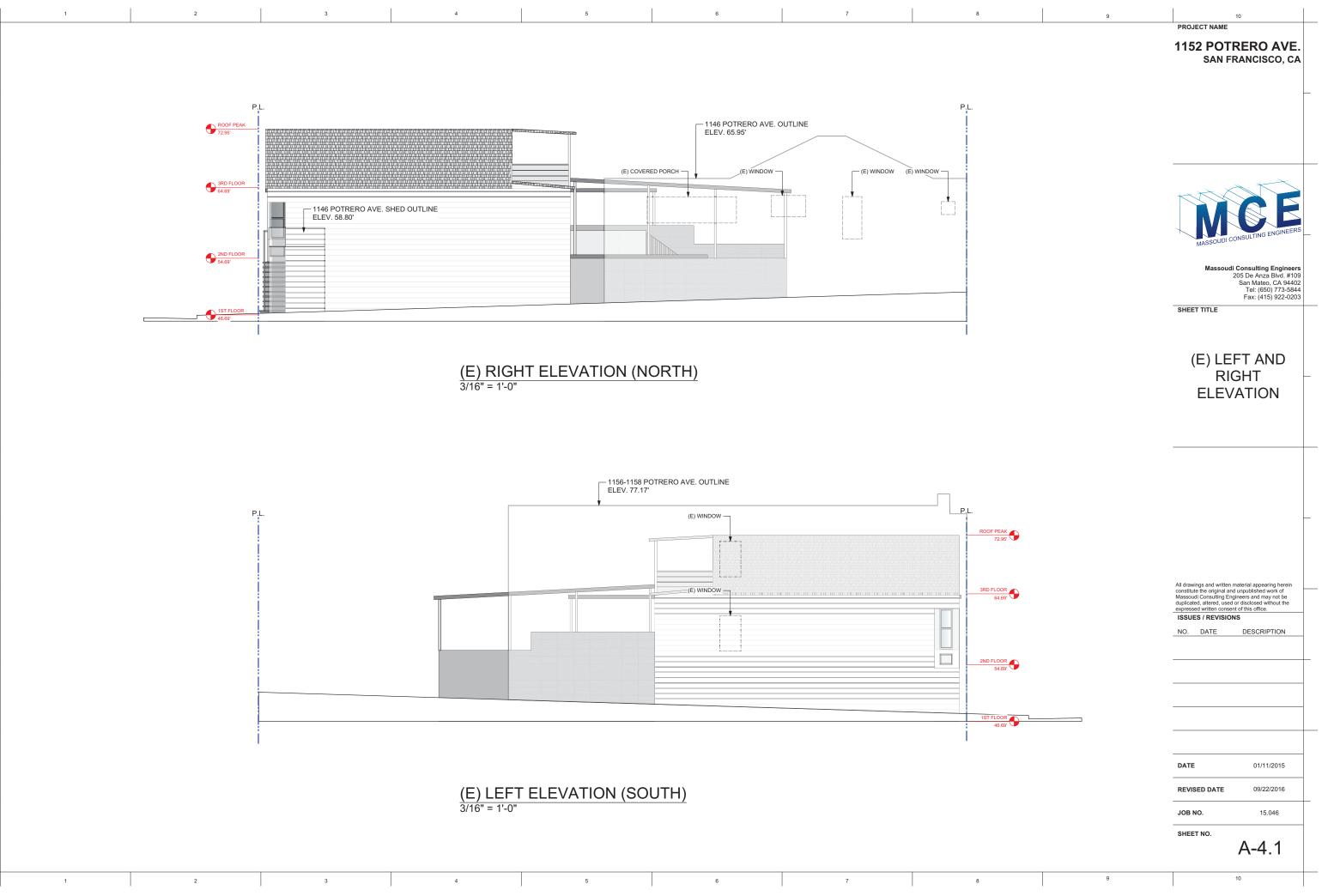
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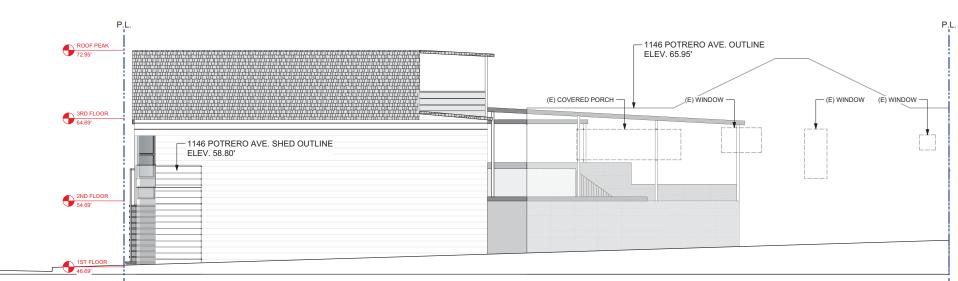
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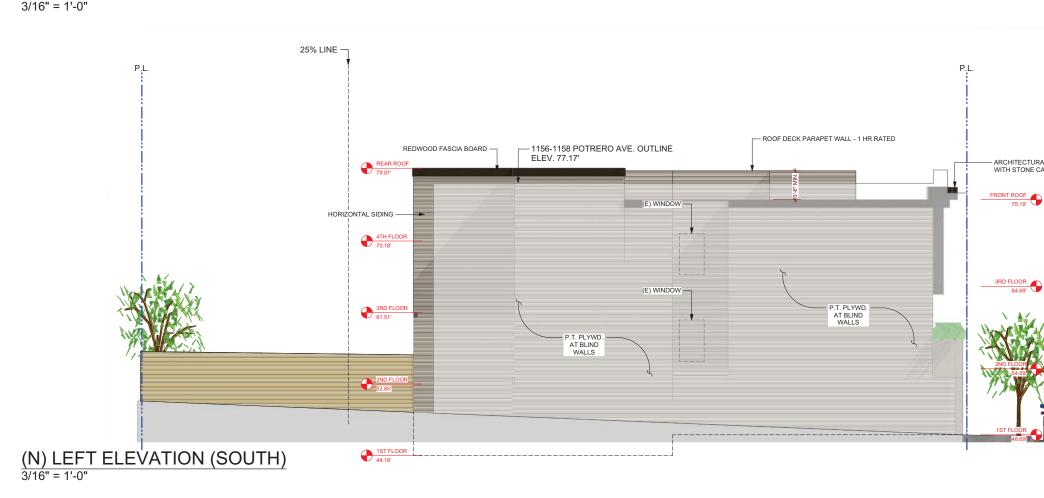


|  | 110' 6"         |  |
|--|-----------------|--|
| DISTANCE TO EXIT DISCHARGE:  | 28'-3"          |  |
| WER LEVEL:<br>DISTANCE WITHIN 3RD FLOOR:<br>STAIRS CONNECTING 3RD TO 2ND FLOOR:  | 9'-3"<br>16'-8" |  |
| PPER LEVEL:<br>DISTANCE WITHIN 4TH FLOOR:<br>STAIRS CONNECTING 4TH TO 3RD FLOOR: | 7'-1"<br>9'-0"  |  |
| DOF LEVEL:<br>DISTANCE WITHIN ROOF DECK:<br>STAIRS CONNECTING ROOF TO 4TH FLOOR: | 31'-3"<br>9'-0" |  |

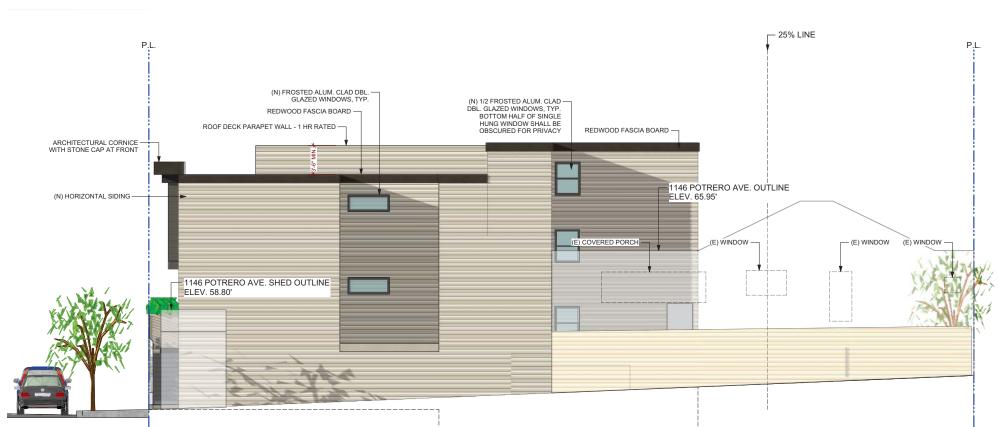


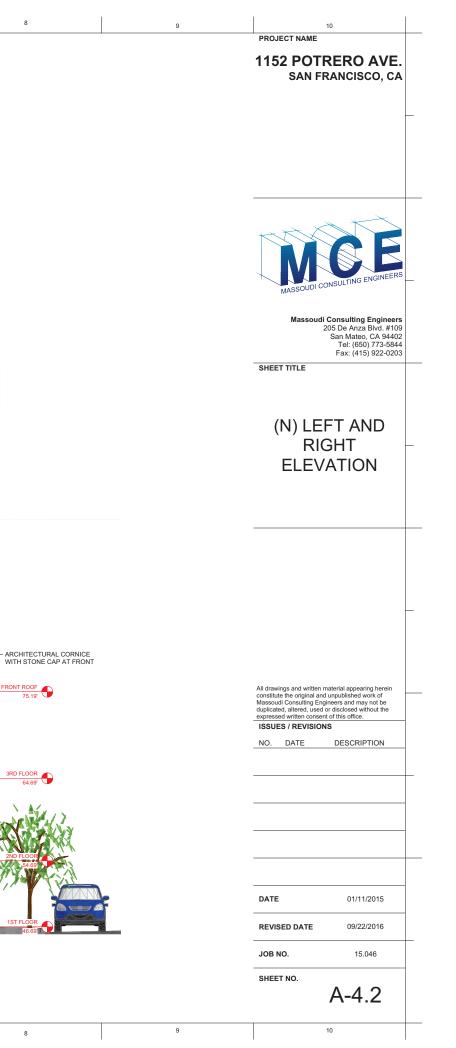


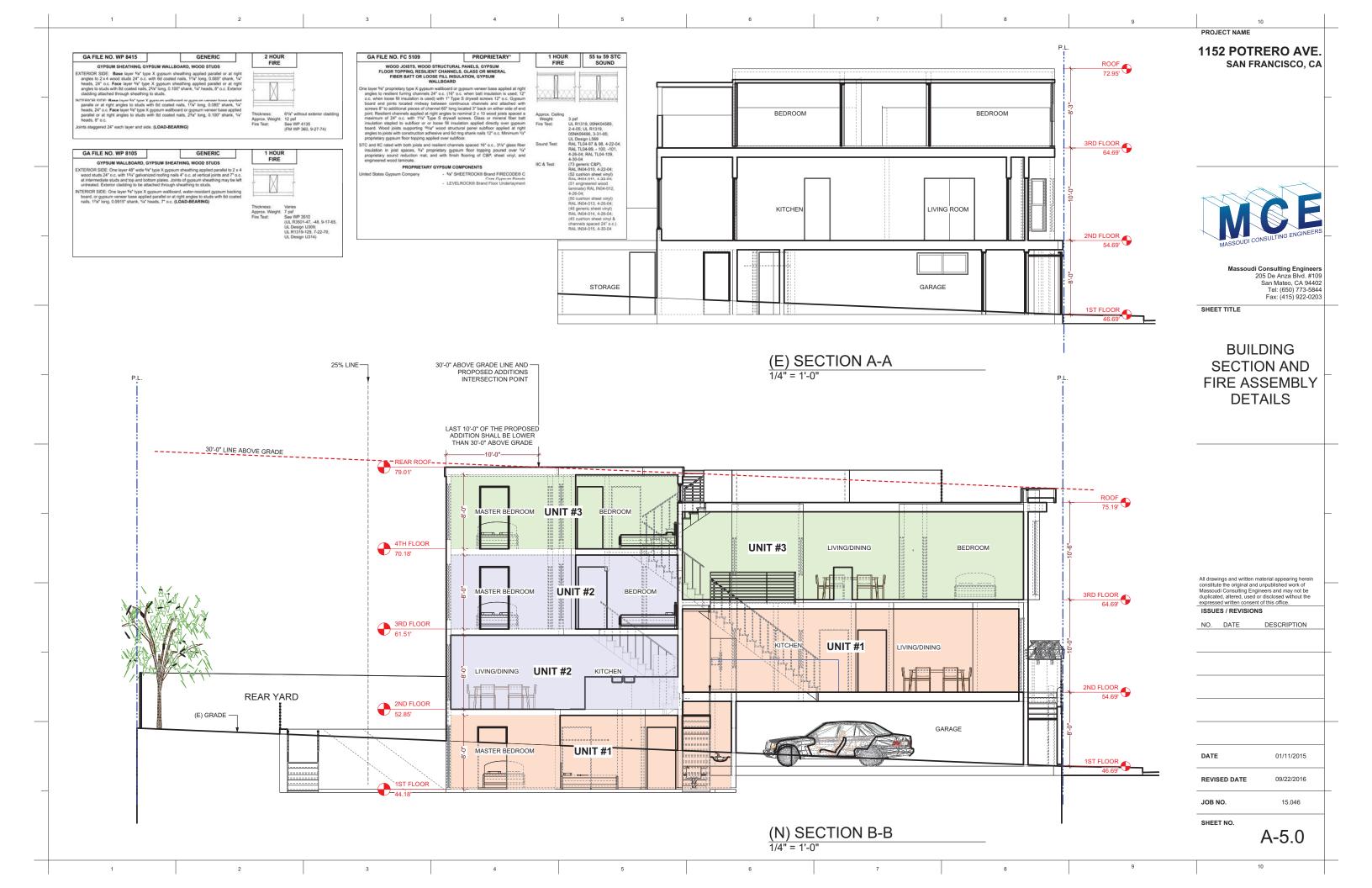












|   | 1   | 2  |  | 3   | 4   |  | 5   | 6   | 7                                  | 8   |
|---|---|--|--|---|---|--|---|---|------------------------------------|---|
|   | PARTITION NOTES   |  | DOOR N                                 | IOTES   |   |  | HVAC REQUIREMENT  | s   |                                    | ELECTRICAL NOTES  |
|   | ALL RATED ASSEMBLIES SHALL CONFORM TO T<br>NOTED.                                       | THE REQUIREMENTS OF THE AGENCY AND DESIGN  | DIMENS                                 | IONS. VERIFY ALL ROUGH  | NOMINAL, REFER TO MANUFACTURER FOR ACTUAL<br>OPENING DIMENSIONS IN FIELD PRIOR TO PRIOR T   |  |   | OR AND HVAC SUBCONTRACTOR TO COFINRM AND  |                                    | ELECTRICAL SCOPE OF WORK TO BE E<br>ELECTRICAL WORK SHOWN IS FOR LA   |
|   | SHALL MEET ACOUSTICAL REQUIREMENTS AT F   | SEMBLIES SHALL RECEIVE FIRE CAULKING. FIRE CA<br>PARTY WALLS AND FLOORS. VERIFY THAT PENETR  | AULKING                                | ATION OF DOORS.<br>E EMERGENCY EGRESS A   | ND/OR RESCUE DOORS FROM BEDROOMS (CBC 10  | 9) (CRC R310.1).                       | ORDERING OF, OR IN  | S FOR VENTS, CHASES, SOFFITS, AND FIXTURES BE<br>STALLATION OF ANY ITEM OF WORK.  |                                    | PANELS SHALL NOT BE LOCATED IN TH<br>CLOSETS.   |
|   |   | MULTIPLE LAYERS OCCUR. MULTIPLE LAYERS OF G  | SYPSUM                                 | LEVER HARDWARE AT 34"   |   |  |   | THERMOSTAT FOR THE NEW FURNACE (CNC 150(I)<br>TION ON NEW HEATING INSTALLED IN UNCONDITIO   |                                    | PANELS IN FIREWALL SHALL BE RELOO<br>SEPARATION.  |
|   | BOARD SHALL NOT BE GLUED TOGETHER.<br>SEE STRUCTURAL DRAWINGS FOR PLYWOOD S             | HEATHING, FRAMING DETAILS, AND SCHEDULES.  | 8                                      | IM PUSH/PULL FORCE FOR<br>3½ LBS. FOR EXTERIOR DO<br>5 LBS. FOR INTERIOR DOO      | OORS  |  |   | NO. 26 GA. GALVANIZED SHEET METAL PROVIDED<br>TION BETWEEN THE GARAGE AND THE HOUSE (CF   |                                    | ALL ELECTRICAL OUTLETS AT KITCHEI<br>AND GARAGE TO BE GFCI PROTECTED  |
|   | VERIFY ALL STUD SIZES SHOWN WITH STRUCTU  | JRAL DETAILS.  |  | 15 LBS. FOR FIRE DOORS<br>T DOORS SHALL BE OPEN/                                  | ABLE FROM THE INSIDE WITHOUT THE USE OF A KE  | OR ANY SPECIAL                         |   | HAUST SHALL BE MIN. 4"Ø (CMC 504.3.1) AND SHALL<br>URFACES (CMC 504.3.1.1).   | BE OF METAL AND SHALL HAVE         | PROVIDE RECEPTABLE OUTLETS AT T<br>SPACING AT 12'-0" O.C. MAX, AN   |
|   | ALL EXTERIOR WALLS AND INTERIOR PARTITION<br>ACOUSTIC ASSEMBLIES ARE REQUIRED FOR SE    | NS TO BE FULL HEIGHT, U.O.N.<br>EPARATING PUBLIC (I.E. STAIRS, CORRIDORS, GAR/   |  | EDGE OR EFFORT.<br>SHALL BE A FLOOR LANDIN  | IG ON EACH SIDE OF A DOOR. THE FLOOR OR LAND  | ING SHALL NOT BE                       | PROVIDE 100 SQ. IN M  | AKE-UP AIR OPENING FOR DOMESTIC DRYER INST  | FALLED IN CLOSETS (CMC 504.3.1).   | ANY WALL WITH A MIN. LENGTH<br>ANY HALLWAY 10'-0" OR MORE   |
|   | SPACES FROM RESIDENTIAL UNITS, SEPARATIN<br>UNITS AND RESIDENTIAL UNITS. WALLS SHALL    | IG RESIDENTIAL UNITS, AND BETWEEN OFFICE/CO<br>BE STC 50 MIN., AND FLOOR/CEILING ASSEMBLIES<br>ODE APPLIES. ACOUSTIC ENGINEER SHALL BE CO                                  | MMÉRCIAL MORE T<br>TO BE STC 1/2" SHA  | HAN 1/2" LOWER THAN TH  | E THRESHOLD OF THE DOORWAY. CHANGES IN LEV<br>OPE NO GREATER THAN 1 VERTICAL UNIT IN 2 HOP  | EL BETWEEN 1/4 AND                     | COMBUSTION AIR OP<br>CHAPTER 7                                  | ENINGS FOR FUEL BURNING EQUIPMENT SHALL ME  | EET THE REQUIREMENTS OF CMC        | LIGHT FIXTURE IN TUB OR SHOWER EN<br>"SUITABLE FOR DAMP LOCATIONS"  |
|   | DETAILS PROVIDED HEREIN ARE RECOMMENDA  | ATIONS AND NOT INTENDED TO BE ALL-INCLUSIVE.<br>STIC CONSULTANT/ENGINEER FOR DETAILS AND D   | OWNER UNINTER<br>ESIGN CREATIN         | RRUPTED SURFACE TO AL<br>NG A TRAP OR HAZARDOU                                    | DF ALL DOORS EXCEPT AUTOMATIC AND SLIDING S<br>LOW THE DOOR TO BE OPENED BY A WHEELCHAIR<br>S CONDITION. WHERE NARROW FRAME DOORS AR<br>LED ON THE PUSH SIDE OF THE DOOR. WHICH WIL | FOOTREST WITHOUT<br>USED, A 10" HEIGHT | (CBC 1204.1).   | S INTENDED FOR HUMAN OCCUPANCY SHALL BE P   |                                    | APPLIANCES FASTENED IN PLACE, SU<br>MICROWAVE OVENS, ETC., SHALL BE S<br>APPLIANCE OR LOAD SERVED.  |
|   | FOR INTERIOR ACOUSTIC ASSEMBLIES, U.O.N.,   | USE R-30 MIN. BATT INSULATION FOR FLOOR/CEILI  | NGS, AND                               |   | OTREST WITHOUT CREATING A TRAP OR HAZARDO   |  |   | ETRATIONS THROUGH FIRE-RATED FLOOR BETWEE   | EN UNITS SHALL BE PROTECTED BY A   | RECEPTACLES FOR FIXED APPLIANCE   |
|   | R-13 MIN. FOR WALLS. DEFER TO APPLICABLE D<br>RESILIENT CHANNEL TO BE DIETRICK RCSD OR  | APPROVED EQUAL.  | FACILITI<br>MINIMUI<br>THE DO          | IES SHALL BE MADE ACCE  | NND EXTERIOR GROUND-FLOOR EXIT DOORS TO BU<br>SSIBLE TO PERSONS WITH DISABILITIES. DOORWA'<br>WITH THE DOOR OPEN 90 DEGREES, MEASURED BI<br>'OP.                                    | S SHALL HAVE A                         | EXHAUST FOR BATHF   | RE CAPABLE OF PROVIDING 5 AIR CHANGES PER H<br>ROOM AND 100 CFM EXHAUST FOR EACH VENTED K   |                                    | A CIRCUIT SUITABLE FOR A LOAD WITH<br>DRYER.<br>PROVIDE (1) 20 AMP CIRCUIT FOR BAT  |
| _ | TO THE GARAGE SIDE (CBC 406.3.4(1)). PROVIDE  | LLING UNIT BY MEANS OF 5/8" MIN, GYPSUM BOART<br>E SOLID CORE WOOD DOOR WITH 1 3/8" MIN. THICK<br>MIN. FIRE PROTECTION RATING (CBC 716.5.3). DOO<br>(302.5 & TABLE R302.6) | NESS (CBC IF APPLI<br>RS SHALL 24" PAS |   | E LEVEL AREA ON THE SIDE TO WHICH THE DOOR<br>IE DOOR FOR EXTERIOR DOORS AND 18" PAST THE   |  | SHALL BE CAPABLE C  | /IDE WHOLE BUILDING VENTILATION SYSTEM (CEC<br>)F MEETING OR EXCEEDING A MIN. OF 2 CFM PER S  |                                    | CIRCUIT FOR EACH BATHROOM.<br>AFCI PROTECTION SHALL BE SUPPLIEI<br>CIRCUITS SUPPLYING OUTLETS (INCLU  |
|   | 1-HR FIRE RATING ASSEMBLY SHALL BE APPLIE   | D AT CEILINGS UNDER STAIRS. (CRC R302.7)   | WINDOV                                 | V NOTES   |   |  | (CEC 15.1(C)12).<br>• FANS TO BE CONTIN<br>• FAN TO BE 1.0 SONE | IUOUSLY RUNNING, U.O.N.<br>E OR LESS  |                                    | LIGHTING NOTES  |
|   | IF APPLICABLE, FIRE SPRINKLER LAYOUT IS SHO<br>PART OF SEPARATE DESIGN-BUILD PERMIT SUE | OWN FOR COORDINATION PURPOSES – FINAL DES<br>3MITTAL.  | WINDOV<br>DIMENS                       | IONS. VERIFY ALL ROUGH  | E NOMINAL, REFER TO MANUFACTURER FOR ACTU<br>OPENING DIMENSIONS IN FIELD PRIOR TO PRIOR T   |  |   | DOM UNDERCUT DOOR ¾"<br>I 4-1 OF RESIDENTIAL (CFA / 100) + 7.5 X (# BEDROO  | M + 1)                             | GENERAL CONTRACTOR AND ELECTR<br>TRANSFORMERS WITH FIXTURES SELI  |
|   | IF APPLICABLE, ALL SPRINKLER HEADS ARE TO   | BE CONCEALED, U.O.N.<br>BEDROOMS, IN EVERY ROOM IN THE PATH OF THE   |  | ATION OF WINDOWS.   | EAST ONE OPERABLE WINDOW OR DOOR APPROVI  | D FOR EMERGENCY                        | TOILET, LAUNDRY, AN<br>AND BUILDING OPENI                       | ND KITCHEN EXHAUST TERMINATION SHALL BE A M<br>NGS (CMC 504.5).   | IN OF 3'-0" FROM PROPERTY LINES    | WHERE DEVICES AND/OR SWITCHES A   |
|   | OF EGRESS FROM EVERY BEDROOM, AND EACH  | H STORY WITH A BEDROOM (CBC 907.2.11.1). SMOK<br>(CBC 907.2.11.4) AND SHALL BE INTERCONNECTED  | E ALARMS ESCAPE<br>D (CBC COURT.       | EGRESS WINDOWS SHALL<br>NET CLEAR HEIGHT: 24" MI                                  |   |  | THAN 4 FEET BELOW,  | T VENTING SYSTEM OF OTHER THAN DIRECT-VENT<br>4 FEET HORIZONTALLY FROM, OR 1 FOOT ABOVE.<br>ITO A BUILDING. THE BOTTOM OF THE VENT TERMI            | A DOOR, OPERABLE WINDOW, OR        | SWITCH MOUNTING HEIGHT SHALL BE<br>ABOVE THE FINISHED FLOOR (CBC 113<br>LOW VOLTAGE AND ELECTRICAL RECE   |
|   | PROVIDE UL 2075 AND UL 2034 LISTED CARBON<br>HARDWIRED WITH BATTERY BACKUP (CBC 420.6   | MONOXIDE ALARMS ON EACH LEVEL. ALARMS TO<br>6.1.2) AND MAY BE COMBINED SMOKE ALARMS (CB  | BE                                     | NET CLEAR WIDTH: 20" MIN<br>NET OPENING: 5.7 SQFT MI<br>FINISHED SILL HEIGHT: 44" |   |  | A MECHANICAL DRAF   | IVE FINISHED GROUND LEVEL GRADE (CMC 802.8.2)<br>T VENTING SYSTEM SHALL NOT TERMINATE LESS  | ,<br>THAN 3'-0" ABOVE A FORCED AIR | LIGHTS IN BATHROOMS, ATTACHED AN  |
|   |   | SHT OF NOT LESS THAN 7'-6". KITCHEN, HALLS, BAT<br>ING HEIGHT OF NOT LESS THAN 7'-0" (CBC 1208.2).   | HROOMS 8% OF T                         | HE FLOOR AREA OF THE F  | BLE SPACES: THE MINIMUM NET GLAZED AREA SHA<br>ROOM SERVED (CBC 1205.2) (CRC 303.1).  |  | FROM AN OPERABLE  | IIN 10'-0" (CMC 802.8.1) AND SHALL NOT BE LOCATE<br>OPENING IN AN ADJACENT BUILDING. THIS SHALL I<br>THAN 2'-0" BELOW OR 25'-0" ABOVE THE ELEVATION | NOT APPLY TO OPERABLE OPENINGS     | CIGHTS IN BATHROOMS, ATTACHED AN<br>ROOMS SHALL BE HIGH EFFICACY LUN<br>(CNC 150(K)5 & 6). LOW-EFFICACY LUM<br>REQUIRED TO BE CONTROLLED BY A I |
| _ | STAIRWAYS AND HANDRAILS   | UNCTREDITION NOT LESS TIMIN FOR (CDC 1200.2)   | ` NATURA                               |   | HABITABLE SPACES: THE MINIMUM OPENABLE ARE/<br>A BEING VENTILATED (CBC 1203.4.1) (CRC 303.1).   | TO THE OUTDOORS                        | *   | RANGE SHALL BE INSTALLED PER MANUFACTURER   | 'S INSTRUCTIONS. DUCTS FOR         | LIGHTS LOCATED IN ROOMS OR AREA<br>ROOMS, CLOSETS, AND UTILITY ROOM   |

STAIRWAYS SERVING AN OCCUPANT LOAD OF LESS THAN 50 SHALL HAVE A WIDTH OF NOT LESS THAN 36" (CBC 1009.4.1) (CRC R311.7.1).

STAIRWAYS SHALL HAVE A MINIMUM HEADROOM CLEARANCE OF 80" MEASURED VERTICALLY FROM A LINE CONNECTING THE EDGE OF THE NOSINGS. SUCH HEADROOM SHALL BE CONTINUOUS ABOVE THE STAIRWAY TO THE POINT WHERE THE LINE INTERSECTS THE LANDING BELOW, ONE TREAD DEPTH BEYOND THE BOTTOM RISER. THE MINIMUM CLEARANCE SHALL BE MAINTAINED THE FULL WIDTH OF THE STAIRWAY AND LANDING (CBC 1009.5) (CRC R311.7.2).

### STAIR RISER HEIGHTS SHALL BE 7" MAX. AND 4" MIN. STAIR TREAD DEPTHS SHALL BE 11" MIN. IN GROUP R-3 OCCUPANCIES, WITHIN DWELLING UNITS IN R-2 OCCUPANCIES, AND IN GROUP U OCCUPANCIES THAT ARE ACCESSORY TO A GROUP R-3 OCCUPANCY, THE MAXIMUM RISER HEIGHT SHALL BE 7.75° AND THE MINIMUM TREAD DEPTH SHALL BE 10°. (CBC 1009-7.2) (CRC 811.7.5).

THERE SHALL BE A FLOOR OR LANDING AT THE TOP AND BOTTOM OF EACH STAIRWAY. THE WIDTH OF LANDINGS SHALL NOT BE LESS THAN THE WIDTH OF STAIRWAYS THEY SERVE. EVERY LANDING SHALL HAVE A MINIMUM DIMENSION MEASURED IN THE DIRECTION OF TRAVEL EQUAL TO THE WIDTH OF THE STAIRWAY

DOORS OPENING ONTO A LANDING SHALL NOT REDUCE THE LANDING TO LESS THAN ONE-HALF THE REQUIRED WIDTH, WHEN FULLY OPEN, THE DOOR SHALL NOT PROJECT MORE THAN 7" INTO A LANDING (CBC 1009.8).

STAIRWAYS SHALL HAVE HANDRAILS. STAIRWAYS WITHIN DWELLING UNITS ARE PERMITTED TO HAVE HANDRAIL ON ONLY ONE SIDE, AND IN R-3 OCCUPANCIES, A CONTINUOUS RUN OR FLIGHT OF STAIRS WITH FEWER THAN FOUR RISERS DOES NOT REQUIRE A HANDRAIL (CBC 1009.15) (CRC R311.7.8).

THE HEIGHT OF A HANDRAIL MEASURED ABOVE STAIR TREAD NOSINGS, OR FINISH SURFACE OF A RAMP SLOPE SHALL BE UNIFORM, AND NOT LESS THAN 34" AND NOT MORE THAN 38" (CBC 1012.2) (CRC R311.7.8).

HANDRAILS WITH A CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF AT LEAST 1.25" AND NOT GREATER THAN 2". IF THE HANDRAIL CROSS SECTION IS NOT CIRCULAR, IT SHALL HAVE A PERIMETER DIMENSION OF AT LEAST 4" AND A MAX OF 6.25", WITH A MAX CROSS SECTION OF 2.25" (CBC 1012.3) (CRC POINT = 0.0) R311.7.8.3).

HANDRAILS SHALL RETURN TO A WALL (CBC 1012.3).

(CBC 1009.8) (CRC R311.7.6).

HANDRAILS WITHIN A DWELLING UNIT THAT IS NOT REQUIRED TO BE ACCESSIBLE, NEED ONLY EXTEND FROM THE BOTTOM RISER TO THE TOP RISER. (CBC 1012.5.1) HANDRAILS SHALL BE A MINIMUM OF 1.5" CLEAR FROM THE WALL (CBC 1012.6).

HANDRAIL-GRIPPING SURFACES SHALL BE CONTINUOUS, WITHOUT INTERRUPTION BY NEWEL POSTS OR OTHER OBSTRUCTIONS, BUT HANDRAILS WITHIN DWELLING UNITS ARE PERMITTED TO BE INTERRUPTED BY A NEWEL POST AT A TURN (CBC 1012.4) (CRC R311.7.8.2).

CLEAR SPACE BETWEEN A HANDRAIL AND A WALL OR OTHER SURFACE SHALL BE A MINIMUM OF 1.5" (CBC 1012.4) (CRC R311.7.8.2)

PROJECTIONS INTO THE REQUIRED WIDTH OF STAIRWAYS AT EACH HANDRAIL SHALL NOT EXCEED 4.5" AT OR BELOW THE HANDRAIL HEIGHT. PROJECTIONS INTO THE REQUIRED WIDTH SHALL NOT BE LIMITED ABOVE THE MINIMUM HEADROOM HEIGHT REQUIRED (CBC 1012.6).

GUARDS ARE REQUIRED AT OPEN-SIDED WALKING SURFACES, INCLUDING STAIRS, PORCHES, BALCONIES, OR LANDINGS LOCATED MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW (CBC 1013.1) (CRC R312.1.1)

GUARDS SHALL BE A MIN. OF 42" HIGH (CBC 1013.3). GUARDS ON THE OPEN SIDES OF STAIRS SHALL HAVE A MIN. HEIGHT OF 34" (CBC 1013.3.1) (CRC 312.1.2.1).

OPEN BALUSTERS SHALL NOT ALLOW A 4'Ø SPHERE TO PASS THROUGH (CBC 1013.4) (CRC R312.1.3). THE TRIANGULAR SPACE FORMED BY THE RISER, TREAD AND BOTTOM RAIL SHALL NOT ALLOW A 6' SPHERE TO PASS THROUGH (CBC 1013.4.2) (CRC R312.1.3.1). OPEN BALUSTERS AT STATIST IN R-3 OCCUPANCIES SHALL NOT ALLOW A 4.375'Ø SPHERE TO PASS THROUGH (CBC 1013.4.6) (CRC R312.1.3.2).

ALL WINDOWS SHALL BE DOUBLE GLAZED, U.O.N.

ALL TEMPERED GLASS SHALL BE AFFIXED WITH A PERMANENT LABEL (CBC 2406.3)

U-FACTOR OF GLAZING SHALL BE PER CEC TABLE 110.6-A AND SOLAR HEAT GAIN COEFFICIENT (S.H.G.C.)

PER CEC TABLE 110.6-B, U.O.N. ON PLANS OR TITLE 24 ENERGY COMPLIANCE REPORT NFRC LABELS ON NEW WINDOWS SHALL NOT BE REMOVED UNTIL AFTER FINAL INSPECTION

COORDINATE INSTALLATION OF ALL FLASHINGS AND WINDOWS WITH INSTALLATION INSTRUCTIONS OF WINDOW MANUFACTURER. OBTAIN APPROVAL OF INSTALLATION METHODOLOGY FROM WINDOW MANUFACTURER PRIOR TO COMMENCING INSTALLATION.

UTILIZE PRIMERS AND/OR ADHESIVES COMPATIBLE WITH ALL MATERIALS AND AS RECOMMENDED BY MANUFACTURER OF SELF-ADHERED MEMBRANE TO ACHIEVE TENACIOUS BOND OF MEMBRANE TO ALL SUBSTRATES.

UTILIZE SEALANTS COMPATIBLE WITH ALL MATERIALS AND AS RECOMMENDED BY WINDOW AND SELE-ADHERED MEMBRANE MANUFACTURERS

SAFETY GLAZING SHALL BE AT THE FOLLOWING LOCATIONS (CBC 2406.4) (CRC R308.4):

SWINGING AND SLIDING DOORS B. DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING SURFACE IS LESS THAN 60" ABOVE A STANDING SURFACE.

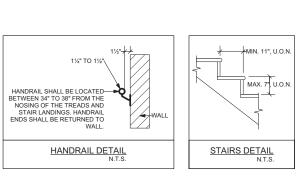
2. FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING ISWITHIN A 24" ARC OF EITHER THE VERTICAL EIDER OF THE DOOR IN A CLOSED POSITION, AND WHERE THE BOTTOM EXPOSED EODE OF THE VERTICAL EIDER OF THE DOOR IN A CLOSED POSITION, AND D. GLAZING WHERE THE EXPOSED AREA OF AN INDIVIDUAL PANE IS GREATER THAN 93 OFF, EXPOSED BOTTOM EDGE IS LESS THAN 18" ABOVE THE FLOOR, EXPOSED TOP EDGE IS GREATER THAN 38" ABOVE THE FLOOR, AND THERE IS DO F MORE WALKING SURFACES WITHIN 36" HORIZONTALLY OF THE PALADE OF THE DO. THEND THERE IS DO F MORE WALKING SURFACES WITHIN 36" HORIZONTALLY OF THE PALADE OF THE GLAZING.

GLAZING. E. GLAZING IN GUARDS AND RAILINGS REGARDLESS OF AREA OR HEIGHT. F. GLAZING ADJACENT TO STAIRWAYS, LANDINGS AND RAMPS WITHIN 36' HORIZONTALLY OF WALKING SURFACE; WHEN THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60' ABOVE THE PLANE OF THE PLANE THE MULTICAD CURCENT STATEMENT OF THE GLASS IS LESS THAN 60' ABOVE THE PLANE OF THE

ADJACENT WALKING SURFACE. G. GLAZING ADJACENT TO STAIRWAYS WITHIN 60" HORIZONTALLY OF THE BOTTOM TREAD OF A STAIRWAY

IN ANY DIRECTION WHEN THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60" ABOVE THE NOSE OF THE TREAD; NOT REQUIRED WHERE THE STAIR HAS A RAILING AND THE PLANE OF THE GLASS IS GREATER THAN 18" FROM THE RAILING.

SLOPED GLAZING AND SKYLIGHTS SHALL MEET THE FOLLOWING REQUIREMENTS (CBC 2405) (CRC R308.6.2): A. LAMINATED GLASS WITH A 30 MIL POLYVINYL BUTYRAL (OR EQUIVALENT) INTERLAYER, MEETING REQUIREMENTS OF SECTION 2607 HEAT-STRENGTHENED GLASS OR FULLY TEMPERED B. SKYLIGHT FRAMES SHALL BE CONSTRUCTED OF NONCOMBUSTIBLE MATERIALS AND MOUNTED AT LEAST 4" ABOVE THE ROOF PLANE ON A CONTINUOUS CURB.



VENTING SHALL BE OF METAL AND SHALL HAVE SMOOTH INTERIOR SURFACES (CMC 504.2).

PROVIDE UTILITY CONNECTION BOX WITH 2-125V AND 1-250V OUTLETS FOR WASHER/DRYER, U.O.N

PROVIDE MINIMUM EXHAUST RATES OF ALL MECHANICAL VENTS IN ACCORDANCE WITH CMC TABLE 403.7.

PROVIDE COMBUSTION AIR OPENING FROM OUTSIDE FOR FURNACES AND WATER HEATERS PER CMC 701.9 AND ALL OTHER APPLICABLE CODES

FIREPLACES, DECORATIVE GAS APPLIANCES AND GAS LOGS: INSTALLATION OF FACTORY-BUILT AND MASONRY FIREPLACES SHALL INCLUDE:

MASONRY FIREPLACES SHALL INCLUDE: CLOSABLE METAL OR GLASS DOORS. • COMBUSTION ARI INTAKE (6 SQ. IN. MINIMUM) TO DRAW AIR FROM OUTSIDE OF THE BUILDING DIRECTLY INTO FIRE BOX. THE COMBUSTION AIR INTAKE MUST BE EQUIPPED WITH A READLY ACCESSIBLE, OPERABLE AND LIGHT-FITTING DAMPER OR COMBUSTION AIR CONTROL DEVICE. EXCEPTION: AN OUTSIDE COMBUSTION AIR INTAKE IS NOT REQUIRED IF THE FIREPLACE IS INSTALLED OVER CONCRETE SLAB FLOORING AND THE FIREPLACE IS NOT LOCATED ON AN EXTERIOR WALL. • A FLUE DAMPER WITH A READLY ACCESSIBLE CONTROL. EXCEPTION: WHEN A GAS LOG, LOG LIGHTER, OR DECORATIVE GAS APPLIANCE IS INSTALLED IN A FIREPLACE, THE FLUE DAMPER SHALL BE BLOCKEND OPEN IF REQUIRED BY THE MANUFACTURER'S INSTALLATION INSTRUCTIONS OR THE STATE MECHANICAL CODE.

DUCT OPENINGS AND CONNECTIONS SHALL BE SEALED WITH PRESSURE SENSITIVE DUCT TAPE TESTED AND LABELED UL181, 181A, OR UL181B.

### PLUMBING NOTES

REQUIRED TO COMPLY.

ENERGY NOTES

(CNC 150(j)2

FINISHED FLOOR (CRC R301.2.2.3.7).

INDOOR WATER LISE (CGBC 4 303 1.28 GALLON PER FLUSH AT WATER CLOSETS 2.0 GPM AT SHOWER HEADS 5 GPM AT LAVATORY FAUCETS 1.8 GPM AT KITCHEN FAUCETS

PROVIDE 30" CLEAR WIDTH AND 24" CLEAR IN FRONT OF TOILET.

FINISH FLOOR BEDROOM EGRESS WINDOW DETAIL

-MIN. 20"-

BEDROOM NOTES: RESCUE WINDOW: EMERGENCY EGRESS WINDOWS SHALL HAVE: MIN\_CLEAR OPENING AREA OF 5.7 SOFT MIN CLEAR WIDTH OF 20" MIN. CLEAR HEIGHT OF 24"

+MIN. 20"+

• MAX, HEIGHT FROM FINISHED FLOOR TO BOTTOM OF OPENING OF 44"





# **Green Building: Site Permit Checklist**

3

4

2

**BASIC INFORMATION:** 

1

These facts, plus the primary occupancy, determine which requirements apply. For details, see AB 093 Attachment A Table 1.

| Project Name<br>1152 POTRERO AVE.     | Block/Lot<br>4211 / 011                 | Address<br>1152 POTRERO AVE.                         |   |  |  |
|---------------------------------------|---|--|---|--|--|
| Gross Building Area<br>4,820 S.F. +/- | Primary Occupancy<br>R-2                | Design Professional/Applicant: Sign & Date 09/22/201 | 6 |  |  |
| # of Dwelling Units                   | Height to highest occupied floor 32'-4" | Number of occupied floors                            |   |  |  |

# ALL PROJECTS, AS APPLICABLE

| Construction activity stormwater pollution<br>prevention and site runoff controls - Provide a<br>construction site Stormwater Pollution Prevention Plan<br>and implement SFPUC Best Management Practices.<br>Stormwater Control Plan: Projects disturbing ≥5,000<br>square feet must implement a Stormwater Control Plan<br>meeting SFPUC Stormwater Design Guidelines |   |          |  |  |  |
|--|---|----------|--|--|--|
| prevention and<br>construction site  | I site runoff controls - Provide a<br>Stormwater Pollution Prevention Plan  |          |  |  |  |
| square feet must   | implement a Stormwater Control Plan   |          |  |  |  |
| 1,000 square fee   | Irrigation - Projects that include ≥<br>t of new or modified landscape must<br>SFPUC Water Efficient Irrigation   |          |  |  |  |
|  | Vaste Management – Comply with<br>to Construction & Demolition Debris   |          |  |  |  |
| and equal acces compostable, rec   | Occupants: Provide adequate space<br>s for storage, collection and loading of<br>cyclable and landfill materials.<br>ve Bulletin 088 for details.   | •        |  |  |  |
| GREEN  | POINT RATED PROJEC  | тѕ       |  |  |  |
| Proposing a G  | POINT RATED PROJEC<br>reenPoint Rated Project<br>t by checking the box.)  | TS       |  |  |  |
| Proposing a G<br>(Indicate at righ   | reenPoint Rated Project   |          |  |  |  |
| Proposing a G<br>(Indicate at righ<br>Base number o  | reenPoint Rated Project<br>t by checking the box.)<br>f required Greenpoints:<br>retention / demolition of  |          |  |  |  |
| Proposing a G<br>(Indicate at righ<br>Base number o<br>Adjustment for<br>historic feature:   | reenPoint Rated Project<br>t by checking the box.)<br>f required Greenpoints:<br>retention / demolition of  |          |  |  |  |
| Proposing a G<br>(Indicate at righ<br>Base number of<br>Adjustment for<br>historic features<br>Final number o<br>adjustment)   | reenPoint Rated Project<br>t by checking the box.)<br>f required Greenpoints:<br>retention / demolition of<br>s / building:   |          |  |  |  |
| Proposing a G<br>(Indicate at righ<br>Base number o<br>Adjustment for<br>historic feature:<br>Final number o<br>adjustment)<br>GreenPoint Ra<br>Energy Efficier<br>reduction comp<br>Title 24, Part 6.   | reenPoint Rated Project<br>t by checking the box.)<br>f required Greenpoints:<br>retention / demolition of<br>s / building:<br>f required points (base number +/-<br>ted (i.e. meets all prerequisites)<br>ncy: Demonstrate a 15% energy use<br>ared to 2008 California Energy Code,                                  | TS<br>7: |  |  |  |
| Proposing a G<br>(Indicate at righ<br>Base number o<br>Adjustment for<br>historic feature:<br>Final number o<br>adjustment)<br>GreenPoint Ra<br>Energy Efficier<br>reduction comp<br>Title 24, Part 6.   | reenPoint Rated Project<br>t by checking the box.)<br>f required Greenpoints:<br>retention / demolition of<br>s / building:<br>f required points (base number +/-<br>ted (i.e. meets all prerequisites)<br>ncy: Demonstrate a 15% energy use<br>ared to 2008 California Energy Code,<br>rnia Green Building Standards |          |  |  |  |

# Notes

1) New residential projects of 75' or greater must use the ' Residential High-Rise" column. New residential projects w occupied floors and less than 75 feet to the highest occup may choose to apply the LEED for Homes Mid-Rise rating if so, you must use the "New Residential Mid-Rise" colum 2) LEED for Homes Mid-Rise projects must meet the "Silve

including all prerequisites. The number of points required t Silver depends on unit size. See LEED for Homes Mid-Ris System to confirm the base number of points required.

2

3) Requirements for additions or alterations apply to applications received on or after July 1, 2012.

# Instructions:

As part of application for site permit under San Francisco Building Code will be due with the applicable adde

6

(a) Provide basic information about

AND

5

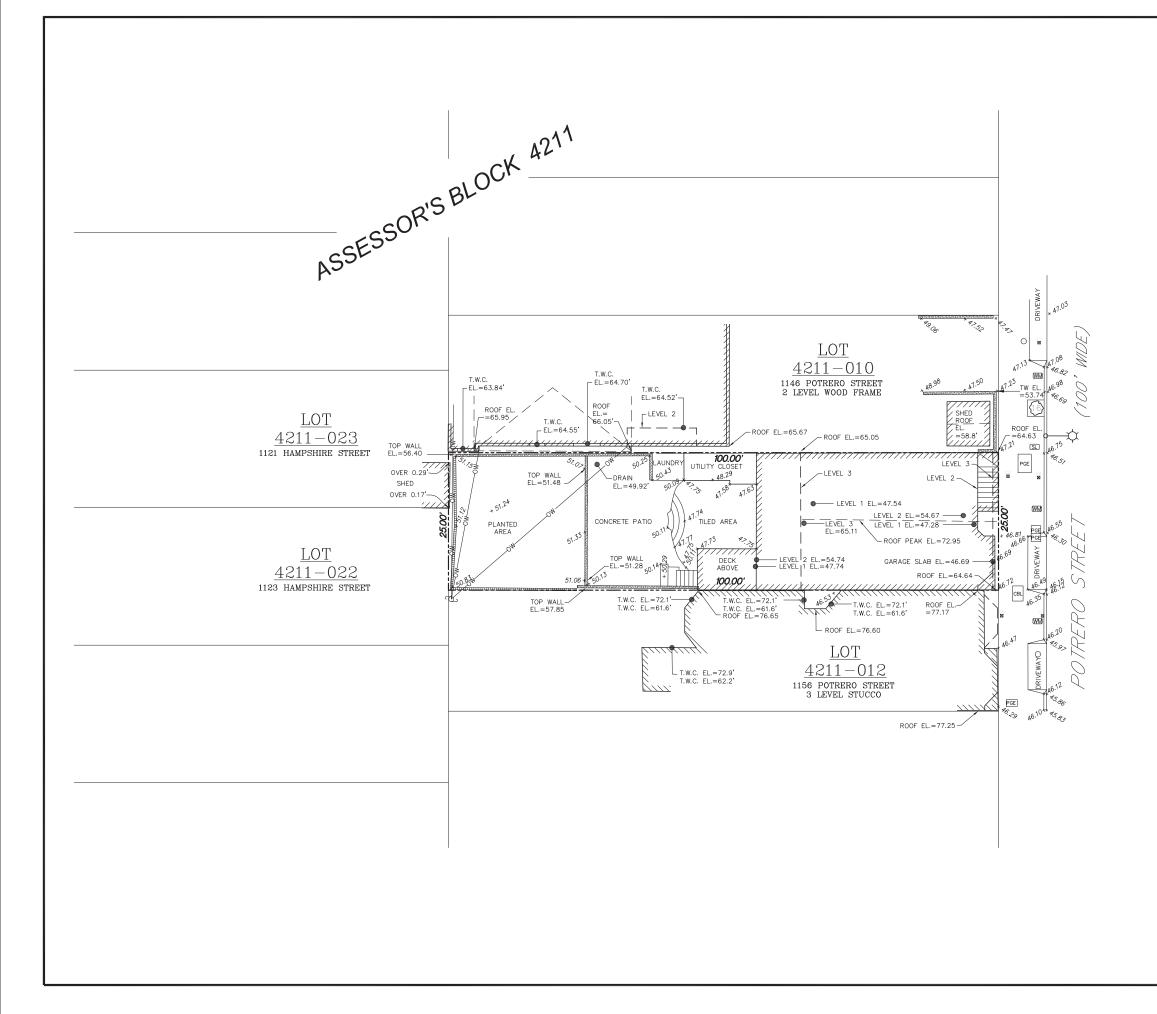
(b) Indicate in one of the columns number of points the project must permit application, but such tools a

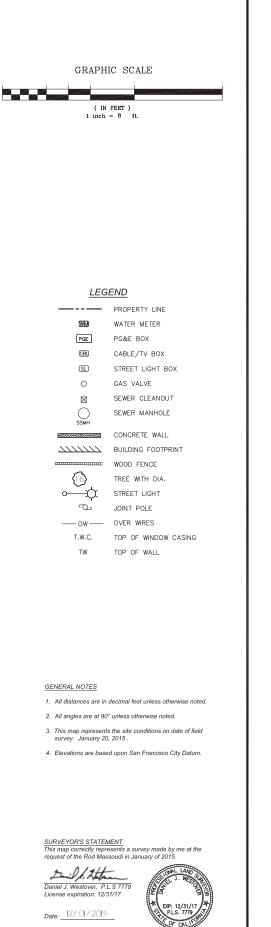
Solid circles in the column indicate GreenPoint Rated, prerequisites of Chapter 13C for details.

| orn          | n acknowledges the specific green building requirements th   | nat apply to                     | a project   |   |
|--------------|--|----------------------------------|---|---|
| er           | 13C, California Title 24 Part 11, and related local codes. At use the form:  |                                  |   | SAN FRANCISCO   |
| oje          | ct in the box at left. This info determines which green buildir  | ng requireme                     | ents apply.   |   |
|              | ch type of project is proposed. If applicable, fill in the blank<br>ceed. A LEED or GreenPoint checklist is not required to be   |                                  |   |   |
| -            | y recommended to be used .   |                                  |   |   |
|              | ry measures required by state and local codes. For projects stems are mandatory. This form is a summary; see San Frank   |                                  |   |   |
|              | OTHER APPLICABLE NON-RESIDENTIA  |                                  | CTS   |   |
|              | Requirements below only apply when the measure is applicable to the project. Code references below are applicable to New Non-Residential buildings. Corresponding re-<br>quirements for additions and alterations can be found in Title 24 Part 11, Division 5.7. Requirements for additions or alterations apply to applications received July 1, 2012 or after. <sup>3</sup> | Other New<br>Non-<br>Residential | Addition<br>>2,000 sq ft<br>OR<br>Alteration<br>>\$500,000 <sup>3</sup> | Massoudi Consulting Eng<br>205 De Anza Bivo<br>San Mateo, CA  |
| F            | Type of Project Proposed (Check box if applicable)   | ĺ                                |   | Fax: (415) 92   |
|              | Energy Efficiency: Demonstrate a 15% energy use reduction compared to 2008<br>California Energy Code, Title 24, Part 6. (13C.5.201.1.1)  | •                                | n/r   |   |
|              | Bicycle parking: Provide short-term and long-term bicycle parking for 5% of total motorized parking capacity each, or meet San Francisco Planning Code Sec 155, whichever is greater (or LEED credit SSc4.2). (13C.5.106.4)  | •                                | •   | GREEN BUILDIN   |
|              | Fuel efficient vehicle and carpool parking: Provide stall marking for<br>low-emitting, fuel efficient, and carpool/van pool vehicles; approximately 8% of total<br>spaces. (13C.5.106.5)   | •                                | •   | SITE PERMIT   |
|              | Water Meters: Provide submeters for spaces projected to consume >1,000 gal/day,<br>or >100 gal/day if in buildings over 50,000 sq. ft.   | •                                | •   | ONEONEOT  |
|              | Indoor Water Efficiency: Reduce overall use of potable water within the building by 20%<br>for showerheads, lavatories, kitchen faucets, wash fountains, water closets, and urinals. (13C.5.303.2)   | •                                | •   |   |
|              | <b>Commissioning:</b> For new buildings greater than 10,000 square feet, commissioning shall be included in the design and construction of the project to verify that the building systems and components meet the owner's project requirements. (13C.5.410.2) <b>OR</b> for buildings less than 10,000 square feet, testing and adjusting of systems is required.             | •                                | (Testing &<br>Balancing)  |   |
|              | Protect duct openings and mechanical equipment during construction (13C.5.504.3)   | •                                | •   |   |
|              | Adhesives, sealants, and caulks: Comply with VOC limits in SCAQMD Rule 1168<br>VOC limits and California Code of Regulations Title 17 for aerosol adhesives. (13C.5.504.4.1)   |                                  | •   |   |
|              | Paints and coatings: Comply with VOC limits in the Air Resources Board<br>Architectural Coatings Suggested Control Measure and California Code of Regulations<br>Title 17 for aerosol paints. (13C.5.504.4.3)  | •                                | •   |   |
|              | Carpet: All carpet must meet one of the following:<br>1. Carpet and Rug Institute Green Label Plus Program<br>2. California Department of Public Health Standard Practice for the testing of VOCs<br>(Specification 01350)<br>3. NSF/ANSI 140 at the Gold level<br>4. Scientific Certifications Systems Sustainable Choice   | •                                | •   | constitute the original and unpublished work of   |
|              | AND Carpet cushion must meet CRI Green Label,<br>AND Carpet adhesive must not exceed 50 g/L VOC content. (13C.5.504.4.4)   |                                  |   | duplicated, altered, used or disclosed without<br>expressed written consent of this office.   |
| L            | Composite wood: Meet CARB Air Toxics Control Measure for Composite Wood (13C.5.504.4.5)<br>Resilient flooring systems: For 50% of floor area receiving resilient flooring, install   | -                                | •   |   |
|              | resilient flooring complying with the VOC-emission limits defined in the 2009 Collaborative<br>for High Performance Schools (CHPS) criteria or certified under the Resilient Floor<br>Covering Institute (RFCI) FloorScore program. (13C.5.504.4.6)  | •                                | •   |   |
|              | Environmental Tobacco Smoke: Prohibit smoking within 25 feet of building<br>entries, outdoor air intakes, and operable windows. (13C.5.504.7)  | •                                |   |   |
|              | Air Filtration: Provide at least MERV-8 filters in regularly occupied spaces of<br>mechanically ventilated buildings. (13C.5.504.5.3)  | •                                | Limited exceptions.<br>See CA T24 Part 11<br>Section 5.714.6            |   |
|              | Acoustical Control: Wall and roof-ceilings STC 50, exterior windows STC 30, party walls and floor-ceilings STC 40. (13C.5.507.4)   | •                                | • See CA T24<br>Part 11 Section<br>5.714.7                              |   |
| $\mathbf{F}$ | CFCs and Halons: Do not install equipment that contains CFCs or Halons. (13C.5.508.1)  |                                  | •   |   |
| H            | Additional Requirements for New A, B, I, OR M Occupancy Projects 5   | 1                                | Square Feet<br>Meet C&D   | DATE 01/11/201  |
|              | <b>Construction Waste Management</b> – Divert 75% of construction and demolition debris AND comply with San Francisco Construction & Demolition Debris Ordinance.  | •                                | ordinance only  | REVISED DATE 09/22/201  |
|              | Renewable Energy or Enhanced Energy Efficiency<br>Effective January 1, 2012: Generate renewable energy on-site equal to ≥1% of total<br>annual energy cost (LEED EAc2), OR<br>demonstrate an additional 10% energy use reduction (total of 25% compared to Title 24  | •                                | n/r   | JOB NO. 15.046  |
| - 1 -        | Part 6 2008), OR   | -                                |   | Al drawings and written material appearing here constitute the original and unpublished who the expressed written consent of this office. |

|              |  | New Large<br>Commercial | New<br>Residential      | New<br>Residential     | Commerical<br>Interior | Commercial<br>Alteration   | Residenti<br>Alteration |  |
|--------------|--|-------------------------|-------------------------|------------------------|------------------------|----------------------------|-------------------------|--|
| •            | Type of Project Proposed (Indicate at right)   |                         | Mid-Rise <sup>1</sup>   | High-Rise <sup>1</sup> |                        |                            |                         |  |
|              | Overall Requirements:  |                         |                         |                        |                        |                            |                         |  |
| •            | LEED certification level (includes prerequisites):   | GOLD                    | SILVER                  | SILVER                 | GOLD                   | GOLD                       | GOLD                    |  |
|              |  | 60<br>60                |                         |                        | 60                     | 60                         | 60<br>60                |  |
| •            | Base number of required points:<br>Adjustment for retention / demolition of historic<br>features / building:   | 00                      |                         | 50                     | n/a                    | 00                         | 00                      |  |
|              | Final number of required points<br>(base number +/- adjustment)  |                         |                         |                        | 50                     |                            |                         |  |
| •            | Specific Requirements: (n/r indicates a measure is no  | ot required)            |                         |                        |                        |                            |                         |  |
| •            | Construction Waste Management – 75% Diversion<br>AND comply with San Francisco Construction & Demolition Debris<br>Ordinance<br>LEED MR 2, 2 points  | •                       | •                       | •                      | •                      | Meet C&D<br>ordinance only | •                       |  |
|              | 15% Energy Reduction<br>Compared to Title-24 2008 (or ASHRAE 90.1-2007)<br>LEED EA 1, 3 points   | •                       | •                       | •                      | •                      | LE<br>prerequi             |                         |  |
| 75           | Renewable Energy or Enhanced Energy Efficiency<br>Effective 1/1/2012:<br>Generate renewable energy on-site ≥1% of total annual energy<br>cost (LEED EAc2), OR<br>Demonstrate an additional 10% energy use reduction (total of 25%<br>compared to Title 24 Part 6 2008), OR<br>Purchase Green-E certified renewable energy credits for 35% of<br>total electricity use (LEED EAc6). | •                       | n/r                     | n/r                    | n/r                    | n/r                        | n/r                     |  |
| _            | Enhanced Commissioning of Building Energy Systems<br>LEED EA 3   | •                       | Meet LEED prerequisites |                        |                        |                            |                         |  |
|              | Water Use - 30% Reduction LEED WE 3, 2 points  | •                       | n/r                     | •                      | Mee                    | t LEED prerequi            | sites                   |  |
|              | Enhanced Refrigerant Management LEED EA 4  | •                       | n/r                     | n/r                    | n/r                    | n/r                        | n/r                     |  |
|              | Indoor Air Quality Management Plan LEED IEQ 3.1  | •                       | n/r                     | n/r                    | n/r                    | n/r                        | n/r                     |  |
|              | Low-Emitting Materials LEED IEQ 4.1, 4.2, 4.3, and 4.4   | •                       | n/r                     | •                      | •                      | •                          | •                       |  |
| •            | <b>Bicycle parking:</b> Provide short-term and long-term bicycle<br>parking for 5% of total motorized parking capacity each, or meet<br>San Francisco Planning Code Sec 155, whichever is greater, or<br>meet LEED credit SSc4.2. (13C.5.106.4)  | •                       | See San Fran            | /r<br>cisco Planning   | •                      | n/r                        | n/r                     |  |
| •            | <b>Designated parking:</b> Mark 8% of total parking stalls for low-emitting, fuel efficient, and carpool/van pool vehicles. (13C.5.106.5)  | •                       | Code                    | 9 155                  | •                      | n/r                        | n/r                     |  |
|              | Water Meters: Provide submeters for spaces projected to consume more than 1,000 gal/day, or more than 100 gal/day if in building over 50,000 sq. ft. (13C.5.303.1)   | •                       | n/r                     | n/r                    | n/r                    | n/r                        | n/r                     |  |
| or           | Air Filtration: Provide at least MERV-8 filters in regularly<br>occupied spaces of mechanically ventilated buildings (or LEED<br>credit IEQ 5). (13C.5.504.5.3)  | •                       | n/r                     | n/r                    | •                      | n/r                        | n/r                     |  |
| m;<br>ndard, | Air Filtration: Provide MERV-13 filters in residential buildings in<br>air-quality hot-spots (or LEED credit IEQ 5). (SF Health Code Article 38<br>and SF Building Code 1203.5)  | n/r                     | •                       | •                      | n/r                    | n/r                        | n/r                     |  |
| eve<br>ng    | Acoustical Control: wall and roof-ceilings STC 50, exterior<br>windows STC 30, party walls and floor-ceilings STC 40. (13C.5.507.4)  | •                       | See CB                  | C 1207                 | •                      | n/r                        | n/r                     |  |

LEED PROJECTS





| 336 CLAREMONT BLVD. STE Z<br>SAN FRANCISC, CA 94127<br>(1512, 242-5400<br>www.westoversurveying.com |                   |                   |  |   |   |  |
|---|-------------------|-------------------|--|---|---|--|
|   |                   |                   |  |   |   |  |
|   | JOB NO.           |                   |  |   |   |  |
|   | NO. DATE COMMENTS |                   |  |   |   |  |
|   | <b>R</b> NO. DATE |                   |  |   |   |  |
|   | DRAWN BY: 5A      | CHECKED BY: D IVV |  | <b>DATE:</b> 07/08/14   | SCALE:   <sup>11</sup> ≈ B <sup>1</sup> |  |
|   | SITE SURVEY       |                   |  | 1152 POTRERO STREET<br>LOT 011 0F ASSESSORS BLOCK 4211,<br>CITY AND COUNTY OF SAN FRANCISSO, CALIFORNIA |   |  |
| ~SHEET~   |                   |                   |  |   |   |  |
|   |                   |                   |  |   |   |  |