



SAN FRANCISCO PLANNING DEPARTMENT

Memo to the Planning Commission

HEARING DATE: OCTOBER 6, 2016
CONTINUED FROM JUNE 2, 2016

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Date: September 26, 2016
Case No.: **2015-002632DRP&VAR-02**
Project Address: **1152 POTRERO AVENUE**
Permit Application: 2015.02.24.9220
Zoning: RH-3 (Residential House, Three Family) Zoning District
55-X Height and Bulk District
Block/Lot: 4211/011
Project Sponsor: Rod Massoudi, P.E.
Massoudi Consulting Engineers
205 De Anza Blvd. #109
San Mateo, CA 94402
Staff Contact: Jeffrey Speirs – (415) 575-9106
Jeffrey.speirs@sfgov.org
Recommendation: **Take DR and Approve the Alternative Proposal**

BACKGROUND

Prior to the Request for Discretionary Review, the Project was code-complying and no variances were required. In response to the concerns mentioned in the Discretionary Review application, the Project Sponsor revised the Project to reduce the massing at the rear and shift a portion of useable floor area at the third level to the front of the building. At the front, the additional massing is located within the required front setback; therefore, a variance is required from the Zoning Administrator.

On June 2nd, the Commission continued the Request for Discretionary Review to October 6, 2016 with direction to the Project Sponsor to work on the design to provide more relief to the northern adjacent neighbor. Since then, the Project Sponsor revised the project to provide additional setbacks along the northern property line, a reduction of the 4th floor height by 2 feet, removal of the stair penthouse, and an increased 4th floor setback to a total of 18 feet 9 inches from the front property line. As the revisions did not satisfy the DR Requestor's concerns, the project sponsor continued to work with the DR Requestor on an alternative proposal (see Alternative Proposal below).

PREVIOUS PROPOSAL

The previous proposal consisted of a front addition, a rear addition, and a vertical addition to an existing two-story (with attic) single-family dwelling. The previous proposal was four-stories and 40 feet in height, with fourth floor setback of 15 feet. The rear yard was 66 feet 8 inches deep, with setback of 10 feet at the third floor. A side setback of 3 feet at the rear was provided on the north side. Additional work included front façade changes, a roof deck, and interior work. The previous proposal required a

Variance Hearing (2015-002632VAR-02) for the expansion within the front setback, which was noticed jointly with the Discretionary Review Hearing.

ALTERNATIVE PROPOSAL

The alternative proposal is a three-story building with an excavated basement level at the rear of the building. A 5 foot side setback to grade has been provided along the full overlapping portion of the northern neighbor's building, a southern side setback of 3 feet at the rear, and a reduced roof deck to increase privacy. This alternative still requires a Variance Hearing (2015-002632VAR-02) for the expansion within the front setback, which will be held jointly with the Discretionary Review Hearing. To date, the DR Requestor has not given verbal or written support of the alternative proposal.

RESIDENTIAL DESIGN TEAM (RDT)

The Residential Design Team has reviewed the alternative proposal and finds that the project is neither extraordinary nor exceptional and recommends an Abbreviated DR.

BASIS FOR RECOMMENDATION

- The project has been further revised to address the DR Requestor's concerns.
- The project continues to comply with the Residential Design Guidelines.
- The proposed Project meets all applicable requirements of the Planning Code.

RECOMMENDATION:	Take Discretionary Review and Approve the Alternative Proposal
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Attachments:

Supplemental Response from Project Sponsor
Plans for Alternative Proposal

REUBEN, JUNIUS & ROSE, LLP

September 22, 2016

Delivered via Messenger

President Rodney Fong
San Francisco Planning Commission
1650 Mission Street, Suite 400
San Francisco, CA 94103

Re: 1152 Potrero Avenue (4211/011)
Brief in Opposition of a DR Request
Planning Department Case No. 2015.002632DRP/V
Hearing Date: October 6, 2016, continued from June 2, 2016
Our File No.: 10187.01

Dear President Fong and Commissioners:

Our office represents Massoudi Consulting Engineers (“**Project Sponsor**”), and the owners of the property at 1152 Potrero Avenue, (“**Property**”). We write regarding Discretionary Review 2015.002632DRP on Building Permit No. 2015.0224.9220 and respectfully request that the Planning Commission take discretionary review and approve the permit as modified.

This item was originally heard by the Planning Commission (“**Commission**”) on June 2, 2016 and continued to the October 6, 2016 hearing. This letter is to provide an update on the revised proposal as well as our continued outreach with Jesus Gomez (“**DR Requestor**”) and should be read in conjunction with the letter submitted by our office on May 19, 2016. This letter is included as **Exhibit A**.

Project Modifications

The proposal is for the construction of a horizontal and vertical addition, redesign of the facades, and the addition of two dwelling units to the existing single-family dwelling (“**Project**”). At the June 2nd hearing, the Commission requested that the Project be redesigned to reduce impact to the neighbor at 1146 Potrero Avenue. Since this hearing, the Project has been redesigned in the following way:

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David Silverman | Melinda A. Sarjapur | Mark H. Loper | Jody Knight | Stephanie L. Haughey
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- The height of the building has been lowered from 40 feet in height (four stories) to 28 feet-6 inches in height (three stories in total) for the first 37.5 feet of depth, with an increase of 3 feet 10 inches for the rear 25.5 feet of the building (submerged four stories);
- The building has been setback five feet from the northern property line (1146 Potrero Avenue) on all floors for the rear 17.75 feet of the building;
- The building has been setback three feet from the southern property line (1156 Potrero Avenue) on the top two floors for the rear 12 feet of the building;
- The third floor roof deck at the rear of the façade has been eliminated from the Project;
- The roof penthouse structure has been eliminated from the Project;
- The windows on the northern property line have been modified to minimize privacy concerns by incorporating transom-style windows that will sit a minimum of five feet from the floor and windows containing frosted glass to minimize privacy concerns; and
- The front façade has been redesigned to incorporate architectural details from the adjacent properties to make it more compatible with the neighborhood.

Revised Project plans are attached as **Exhibit B** and the previous set of plans is attached as **Exhibit C**. The Project Sponsor has worked diligently to make sure the Commission's comments were addressed as well as to assure the DR Requestor and neighbors that the Project will be compatible with the neighborhood. All modifications requested by the DR Requestor have been incorporated into the Project design. Due to this, it is our hope that the DR Request will be withdrawn prior to the October 6 hearing.

Additional Neighborhood Outreach and Design Development

Since the June 2, 2016 Commission hearing, the Project Sponsor has spent a considerable amount of time and effort to gather and respond to concerns from the DR Requestor and neighbors. This is in addition to the extensive outreach that was conducted prior to the June 2nd hearing. In particular, the Project Sponsor met with the DR Requestor on August 25, 2016, where the revised design and alternatives were presented and discussed. At this meeting the DR Requestor asked about the soil conditions and possible excavation of the project. The Project Sponsor conducted a geotechnical report and provided the DR

Requestor with a copy. As a result of feedback received at this meeting, the Project Sponsor made additional revisions to the Project, resulting in the one before the Commission today.

Since the August 25th meeting, the Project Sponsor continued to communicate with the DR Requestor; the modified plans were emailed and individual questions were answered. The Project Sponsor also provided additional details about the existing conditions of the site, as requested by the DR Requestor, such as section drawings. The revisions to the Project reflect the Project Sponsor's willingness to go above and beyond the issues raised by the neighborhood.


Conclusion

The Project Sponsor has made significant revisions to the Project since the Commission reviewed it on June 2nd. Further, the Project Sponsor has worked diligently to make sure that the issues of the DR Requestor were addressed. There has been a community meeting to discuss revisions and the Project Sponsor has continuously reached out to the DR Requestor to inquire about additional concerns. The revised Project fits in with the neighborhood and will provide two new housing units to the City, as well as update a deteriorated residential structure. The Project will constitute smart development which is consistent with the land use, residential density, height, and bulk controls along this portion of Potrero Avenue.

The DR Requestor has not established any exceptional or extraordinary circumstances that are necessary in a Discretionary Review case. We respectfully ask that the Planning Commission take Discretionary Review and approve the revised Project as proposed. Thank you for your consideration.

Very truly yours,

REUBEN, JUNIUS & ROSE, LLP


John Kevlin

cc: Vice President Dennis Richards
Commissioner Rich Hillis
Commissioner Christine Johnson

President Rodney Fong
San Francisco Planning Commission
September 22, 2016
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Commissioner Joel Koppel
Commissioner Myrna Meglar
Commissioner Kathrin Moore
John Rahaim – Planning Director
Scott Sanchez – Zoning Administrator
Jonas Ionin – Commission Secretary
Jeffery Speirs – Project Planner
Massoudi Consulting – Project Sponsor

REUBEN, JUNIUS & ROSE, LLP

May 19, 2016

Delivered via Messenger

President Rodney Fong
San Francisco Planning Commission
1650 Mission Street, Suite 400
San Francisco, CA 94103

Re: 1152 Potrero Avenue (4211/011)
Brief in Opposition of a DR Request
Planning Department Case No. 2015.002632DRP/V
Hearing Date: June 6, 2016
Our File No.: 10187.01

Dear President Fong and Commissioners:

Our office represents NRJ Investments LLC (“**Project Sponsor**”), the owners of the property at 1152 Potrero Avenue, (“**Property**”). We write regarding Discretionary Review 2015.002632DRP on Building Permit No. 2015.0224.9220 and respectfully request that the Planning Commission not take discretionary review and approve the permit as proposed. The proposal is for the construction of a horizontal and vertical addition, redesign of the facades, and the addition of two dwelling units to the existing single-family dwelling (“**Project**”).

A Discretionary Review (DR) request was filed by Jesus Gomez (“**DR Requestor**”), who owns the rental property at 1136 Potrero Avenue, located three lots to the north of the subject Property.

The DR request should be denied and the Project approved as designed because:

- No exceptional or extraordinary circumstances have been established that would justify taking of DR;
- The DR requests would unreasonably restrict development at the Property, as the current Project does not maximize the allowable buildable area of the lot; rather, it has been designed to minimize its impact on the adjacent properties. The Property is

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constrained by the location of the building to the north at 1146 Potrero Avenue, which is at the rear of the lot, approximately 48 feet from the front property line;

- The Project is appropriate and desirable in use, massing, height, and overall scope, is compatible with the surrounding neighborhood, and is consistent with the *Residential Design Guidelines* and Planning Code.

The Project Sponsor has been sensitive to concerns about how the Project fits into the neighborhood as well as the Planning Department staff's design guidance. The project has been modified multiple times, demonstrating the Project Sponsor's willingness to work to design a project that is compatible with the existing neighborhood.

A. Project Description

The Property is located on the west side of Potrero Avenue between 23rd and 24th Streets, half-block to the south of SF General Hospital in the eastern portion of the Mission neighborhood. It is located within a RH-3 (Residential, Three-Family) District and 55-X Height and Bulk District. The lot is 100 feet deep with 25 feet of street frontage along Potrero Avenue. The Property is improved with a one-story-over-garage, 3,099 gross square foot single family home that was constructed in 1907. The structure is 63 feet deep, which includes several one-story ancillary structures at the rear of the building. There is one parking space in the garage.

The Project will renovate and upgrade the existing structure through the construction of a two-story vertical addition, a 22-foot-eight-inch deep horizontal addition, and façade alterations. The new structure will have a total of four stories and be 40 feet tall, 15 feet under the height limit. The building will contain two two-bedroom units and one three-bedroom unit, for a total of three family-sized dwelling units. There will be two off-street parking spaces and 1,331 square feet of open space. The vertical addition at the 4th floor will be set back 15 feet from the front property line and 11 foot – three inches from the front façade. On the northern property line, there will be a 12 foot deep by four foot wide lightwell as well as a three foot side setback at the 2nd through the 4th floors. There will be a six foot – eight inch by three foot lightwell that will match the neighbors' lightwell to the south of the Property. The Project has a fully Code-compliant rear yard. Project plans are attached as **Exhibit A**. The Department concluded that the existing structure is not an historical resource under the California Environmental Quality Act ("CEQA") through the *South Mission Historic Resource Survey* in 2010.

As explained in more detail below, the Project has been designed to fit in with the existing context of the neighborhood and to respect the concerns raised by the DR Requestor.

B. Neighborhood Context

The Property is located in the eastern portion of the Mission neighborhood. Potrero Avenue is a major north-south thoroughfare with a mix of uses and building types. The block where the Property is located (on the west side of Potrero Avenue between 23rd and 24th Streets) contains residential, light-industrial, and commercial uses, with the northern portion of the block that is closer to 23rd Street featuring two-to-three-story residential buildings, and the southern portion of the block at 24th Street featuring one-to-three-story mixed use buildings. There are several large one-story light-industrial structures four lots to the south of the Property, and an auto-repair business at the corner of 23rd Street.

The block directly across from the Property contains a one-story commercial building (d.b.a. “Walgreens”) and two-and-three-story residential buildings. SF General Hospital is a half-block to the north of the Property. Building styles in the neighborhood vary from older Queen Anne and Stick styles to Edwardian and Maria/Art Deco. Most buildings have been modified and there are contemporary structures throughout the area.

The lot directly to the south of the Property, 1156 Potrero Avenue, contains a three-story multi-family apartment building which is located at the front property line. The lot to the north of the Property, 1146 Potrero Avenue, has a single family residence which is setback approximately 48 feet – 11 inches from the front property line. 1146 Potrero Avenue is the only property on the block with the structure located at the rear of the lot; all other buildings are located at the front property lines, creating a consistent street frontage as well as mid-block open space. This pattern exists throughout the neighborhood. The DR Requestor’s property, 1136 Potrero, is a two-story-over-garage dwelling located three lots to the north of the Property. An aerial map of the neighborhood is attached as **Exhibit B**.

C. Neighborhood Outreach and Design Development

The Project Sponsor has spent a considerable amount of time and effort to gather and respond to concerns from the DR Requestor and neighbors. Efforts were made early in the process to modify the project in response to neighbor’s issues, including an offer to the DR Requestor to lower the total height of the building. There was no response to this proposed modification. The Project was reviewed and approved by Department staff in the fall of 2015. The first Section 311 notification ran from January 6 to February 5, 2016, during which time the DR Requestor filed this request.

Following the filing of the subject Discretionary Review application in January, the Project Sponsor worked with the Planning Department to modify the Project to address concerns that were raised by the DR Requestor. The Project has been significantly redesigned and

reduced in size from its original conception. Design changes in response to the DR Requestor's concerns include:

1. Altering the proposed pitched roof to a flat roof, thus lowering the maximum height of the roof by 3 feet – 10 inches;
2. Providing a 3 foot side setback from the 2nd through 4th floors on the northern property line where the building overlaps with 1146 Potrero Avenue;
3. Providing a 5 foot side setback at the deck on the 3rd floor for additional privacy, and an open railing for lighting and ventilation considerations;
4. Providing a 10 foot rear setback at the 3rd and 4th floors;
5. Providing a 15 foot front setback at the 4th floor;
6. Modifying the window openings on the northern façade to increase privacy for 1146 Potrero Avenue; and
7. Installing landscaping at the rear of the property to aid in privacy for neighbors on Hampshire Street.

The net effect of these changes is to ensure access to light and air for adjacent neighbors, maintain the prevailing building pattern on the block, and design an articulated and properly-scaled building as viewed from the pedestrian realm. Due to the modifications made at the front of the Property in response to the DR Requestor, the Project must obtain a Variance from the front yard requirements pursuant to Section 132. The Zoning Administrator also required a second, 15-day, Section 311 notification be conducted as a result of the modifications made to the Project. The hearing for both the Discretionary Review and Variance is scheduled for June 2nd.

Throughout this process, the Project Sponsor has continued to communicate with the DR Requestor. The modified plans were emailed to the DR Requestor and individual questions were answered. The development of the Project design demonstrates the Project Sponsors' willingness to be flexible and work with both Planning Department staff and neighborhood. Despite the numerous modifications made to the Project, it appears that the DR Requestor is unwilling to accept a redesigned building at the Property, despite the fact that the Planning Department has determined that the Project is within its buildable area and consistent with all aspects of the *Residential Design Guidelines*.

D. Reponses to DR Requestors Concerns

The DR Requestor raises multiple concerns about the Project, several of them having been addressed through the modifications made since the Discretionary Review Application was filed in January. Each is discussed below.

1. *The Project does not adhere to the second of the eight Priority Policies that existing housing and neighborhood character be conserved and protected.*

Planning Code Section 101.1 outlines eight General Plan Priority Policies. The second policy states: “that existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.”

The Project meets this General Plan policy. In addition to preserving an existing dwelling unit, the Project is adding two new units, which will increase the City’s supply of housing. The Property is zoned RH-3 which allows three units per lot as-of-right. The blocks along Potrero Avenue are all zoned RH-3, a medium-density residential zoning that is appropriate for this portion of the Mission neighborhood. The Project is complying with the zoning and with this component of the General Plan policy.

With respect to neighborhood character, the DR Requestor states that the block contains homes that were built in the 1880s and 1890s, and that their architectural design is the “character” of the block. This is misleading. While several homes date to this period, the majority of them have been heavily altered to the point that their original architectural style is no longer evident. In fact, the Department’s *South Mission Historic Resource Survey*, adopted by the Historic Preservation Commission in 2011, found that there were only two historic resources on the block – the DR Requestors’ property and the home to the north of his property. The remainder of the block, including the subject Property, was found not to be of architectural or historic value due to the modifications made to most of the buildings. Two buildings cannot create the overall “character” of the block.

The DR Requestor also does not provide a full picture of the character of the neighborhood. As discussed earlier, the block where the Property is located contains a variety of property types and structures, all in varying heights and styles. Only four of the fifteen residential buildings on the block contain single-family homes; the rest are multi-family buildings. The properties directly to the south of the Property are two-to-three-story residential apartment buildings. There are also four lots that contain light-industrial buildings. The block is not uniform in use or building typology; rather, it contains a vibrant mix of uses and structures. This is the character of the block, not small single-family homes. The Project is compatible with character of the block and neighborhood, and meets the goals of the Priority Policy.

2. *The proposal is out of scale with the mid-block location, both in height and massing.*

The DR Requestor suggests that the Project is out of scale with surrounding neighborhood and shows a “total disregard” for the adjacent two-story buildings. This inaccurately portrays the existing scale of development in the neighborhood.

This portion of Potrero Avenue consists of multi-story residential and mixed-use buildings, ranging from one to three stories. The three buildings to the south of the Property are three stories tall and there are several three story buildings across the street from the Property. The DR Requestor’s assertion that the neighborhood is primarily characterized by one-to-two story single family homes is inaccurate. In fact, the neighborhood contains a number of multi-story housing developments which will be in keeping with the proposed project. For photographs of the adjacent properties, see **Exhibit C**. [Show block face photos]

The Projects’ location and size is compatible with the overall building scale found in the immediate neighborhood. The allowable building envelope has been defined by the Planning Code by way of prescribed setbacks and the height limit. Furthermore, the appropriateness of the Project is further shaped by the requirements of the *Residential Design Guidelines*. As designed, the proposed building massing at the street reads as a three-story building due to the setback of the fourth floor. The Project also has setbacks and lightwells along the northern property line, further reducing its massing.

The Project’s height is moderate in comparison to allowable development along Potrero Avenue, which ranges from 55-X to 65-X. Potrero Avenue is 100 feet wide, and the properties along the street are appropriately zoned for this transit corridor. The southern portion of the block, starting three lots to the south of the Property, is zoned for 65 feet. The Project is significantly under its height limit – it is proposed to be 40 feet tall. In fact, it is 15 feet lower than the allowed height limit in deference to the lower-scaled two and three-story buildings on the block. These surrounding height limits are shown on the zoning map, attached as **Exhibit D**.

The *Residential Design Guidelines* discuss how to design a building so that it fits into the scale at the street. It states:

Height. *If a proposed building is taller than the surrounding buildings, it may be necessary to modify the building height to maintain the existing scale of the street so that the visibility of the upper floor is limited from the street and the upper floor appears subordinate to the primary façade. An upper story setback, façade articulations, and eliminating parapets help to preserve the scale of the street.ⁱ*

The Project has been designed to meet these guidelines. The fourth floor is setback 15 feet from the front property line and has been designed without a parapet. The building at the street is similar in height as the three multi-story residential buildings to the south of the

Property. It is also the same scale as buildings at the northern end of the block as well as of across the street.

In addition, the *Residential Design Guidelines* also state that the building scale at the midblock open space is an important element that should be respected when designing new structures and additions. The intent of the Guidelines is to preserve this space through careful massing. It states:

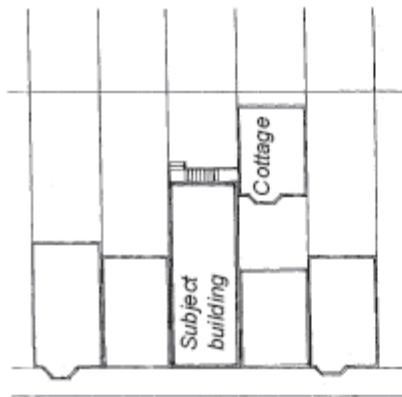
***Midblock Open Space.** In areas with an irregular midblock open space pattern, the rear addition should be designed to minimize its reduction. Setting back the upper floors to provide larger rear yard setbacks, notching the building at the rear, or providing setbacks from the side property lines can lessen the impacts of an addition.ⁱⁱ*

The Project meets these requirements. The rear addition has a 10 foot setback at the 3rd and 4th floors, and there is an additional 5 foot wide side setback at the 3rd floor deck. Further, there is a three foot side setback from the 2nd through 4th floors at the northern property line. All of these setbacks have been incorporated to reduce the impact to the midblock open space and to the adjacent properties. Project's scale fits into the character of the block.

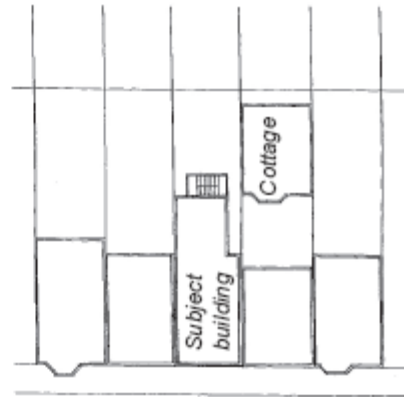
3. *The home adjacent to the Property (1146 Potrero) is set back on the lot therefore the Project is visible from the public right-of-way on Potrero Avenue.*

1146 Potrero Avenue, the property directly to the north of the Property, is a legal nonconforming structure that is located in the rear of the lot within the required rear yard. It is the only property with this condition within a five-block radius. The Project has been designed to accommodate its neighbor as detailed in the *Residential Design Guidelines*, which provides guidance for this type of situation:

***Rear Yard Cottages.** Even though buildings in rear yards are non-complying structures that can adversely impact a block's pattern of interior open space, new buildings should be designed to reduce light impacts to the cottage. Specific design features include providing side setbacks at the rear of the building, and minimizing rear projections such as decks and stairs.ⁱⁱⁱ From the Guidelines:*



This illustration shows a new building permitted under the Planning Code. The building's design has not been modified to minimize light impacts to the adjacent cottage, and further restricts the mid-block open space.



This illustration shows a new building that provides a side setback to reduce the impact on light to the cottage.

The Project's design respects 1146 Potrero Avenue's rear cottage. The majority of the Project is set back a total of three feet from this property line from the 2nd to the 4th floors. The rear addition at the third and fourth floors are setback 10 feet from the lower floors, and there is an additional five foot setback from 1146 Potrero Avenue's property line at the third floor. Earlier iterations of the Project did not contain any setbacks along the northern portion of the Property. In addition, the Project was pulled back over eight feet from the rear yard line in order to provide additional light and air for 1146 Potrero Avenue. The Project was redesigned to include setbacks that meet the *Residential Design Guidelines* as well as minimize the impact to 1146 Potrero Avenue.

The location of the building at 1146 Potrero Avenue poses challenges to both adjacent properties. Due to the very nature of that lot, development on lots to either side will be visible from Potrero Avenue. The DR Requestor is attempting to use this lot condition to prevent the Property from being upgraded, as he did in 2008, when he filed a similar Discretionary Review application for 1140 Potrero Avenue, the lot to the north of 1146 Potrero and his immediate neighbor.^{iv} In that case, the Planning Commission took discretionary review and added an additional 11 foot setback at the rear of the property. As a result of that case, as well as concerns of the DR Requestor, the Project has incorporated several setbacks at the side and rear of the Project to allow light and air to 1146 Potrero Avenue. The Project's design has appropriate setbacks and is within the buildable envelope. That it will be visible due to the adjacent property's condition should not prevent the Project from proceeding.

4. *The Project is a de-facto demolition.*

The DR Requestor incorrectly states that the Project is a de-facto demolition under Section 317. It is not. The existing building on the Property is in a deteriorated condition and in need of repair and upgrades; there have been a series of ad-hoc ground floor additions at the rear of the building which are in disrepair. The Project is proposing to add two new dwelling units which require the building to be updated both structurally and aesthetically. The Project does not meet the demolition definition as defined in Section 317(b)(2):

- (A) Any work on a Residential Building for which the Department of Building Inspection determines that an application for a demolition permit is required, or

The Project does not require a demolition permit under the Department of Building Inspection regulations.

- (B) A major alteration of a Residential Building that proposes the Removal of more than 50% of the sum of the Front Facade and Rear Facade and also proposes the Removal of more than 65% of the sum of all exterior walls, measured in lineal feet at the foundation level, or

The Project does not meet this requirement as it is proposing to remove more than 50 % of the front and rear facades but only removing 31.14%, or 42.3 lineal feet, of the sum of all exterior walls.

- (C) A major alteration of a Residential Building that proposes the Removal of more than 50% of the Vertical Envelope Elements and more than 50% of the Horizontal Elements of the existing building, as measured in square feet of actual surface area.

The Project does not meet this requirement as it is proposing the removal of 48%, or 2,485 feet, of the vertical elements and 40%, or 1,288 feet, of the horizontal elements of the existing building

1152 Potrero Avenue has been designed as a major alteration pursuant to the Department of Building Inspections' requirements. Further, the Project is not a demolition as defined in Section 317. The DR Requestor is incorrect with this assertion.

5. *Project will cast shadows on the adjacent properties.*

DR requestor alleges that the Project will cast shadows on 1146 Potrero Avenue as well as the properties behind the Property along Hampshire Street. The Property is located in a dense urban environment and some reduction of light is to be expected as a result of any development.

The Project is proposed to be 40 feet tall, thus a shadow analysis pursuant to Planning Code Section 295 is not required. Further, the Project was found not to have a shadow impact under CEQA. Therefore, the DR Requestors request to conduct a shadow study exceeds the requirements outlined by the Planning Department.

An aerial view of the block shows that the Project will cast minimal shadows to the adjacent properties, as much of the block is built out. See aerial view of the block in **Exhibit C**. With regards to impacts to 1146 Potrero Avenue, the Project will overlap with the rear structure for 17 feet but will be setback three feet from the property line. Further, the Project was reduced an additional eight feet from the required rear property line, and the Property will have a 33 foot deep rear yard – roughly 12 feet deeper than the minimum required rear yard. The structure to the north of 1146 Potrero Avenue (1140 Potrero Avenue) extends further into the rear yard than the Project. The proposed building depth is roughly consistent with the pattern of building depth of buildings on this block. See aerial view of the block in **Exhibit C**. The Project has been designed in compliance with the *Residential Design Guidelines*, which discusses the issue of shadows on adjacent properties. It states:

***Light.** In areas with a dense building pattern, some reduction of light to neighboring buildings can be expected. A number of design features can be incorporated to minimize impacts on light, including setbacks on upper floors, shared light wells, open railings on decks and stairs, and using a fire-rated roof.^v*

The Project incorporates each of these features, ensuring adequate light and air to 1146 Potrero Avenue's rear cottage. There will be a 33 foot deep rear yard, more than one-third larger than the rear yard requirement and consistent with most of the other buildings on the rest of the block, reducing the impact to the adjacent properties on Potrero Avenue and Hampshire Street. The Project will not cast any significant shadows to the adjacent properties or to those on Hampshire Street.

D. Conclusion

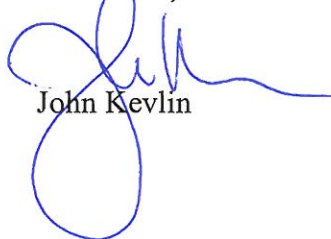
The DR Requestor has not established any exceptional or extraordinary circumstances that are necessary in a Discretionary Review case. The Project entails a two-story vertical and horizontal addition to an existing one-story over-garage structure, adding two dwelling units for a total of three units, which is within the zoning permitted on the Property, and reaching a maximum height of 40 feet, well under the 55 foot height limit allowed. The Project will constitute smart development which is consistent with the land use, residential density, height, and bulk controls along this portion of Potrero Avenue.

President Rodney Fong
San Francisco Planning Commission
May 17, 2016
Page 11

There are no exceptional or extraordinary circumstances associated with the Project which merit the exercise of the Commission's special discretionary review authority. We respectfully ask that the Planning Commission deny the Discretionary Review and approve the Project as proposed. Thank you for your consideration.

Very truly yours,

REUBEN, JUNIUS & ROSE, LLP



John Kevlin

cc: Vice President Cindy Wu
Commissioner Michael Antonini
Commissioner Rich Hillis
Commissioner Christine Johnson
Commissioner Kathrin Moore
Commissioner Dennis Richards
John Rahaim – Planning Director
Scott Sanchez – Zoning Administrator
Jonas Ionin – Commission Secretary
Jeffery Speirs – Project Planner
Massoudi Consulting – Project Sponsor

ⁱ San Francisco Residential Design Guidelines (“Guidelines”), pg. 25-26.

ⁱⁱ Guidelines, pg. 24-25.

ⁱⁱⁱ Guidelines, pg. 21.

^{iv} Planning Case No. 2007.1211D, heard by the Planning Commission on 2/28/08.

^v Guidelines, pg. 16.

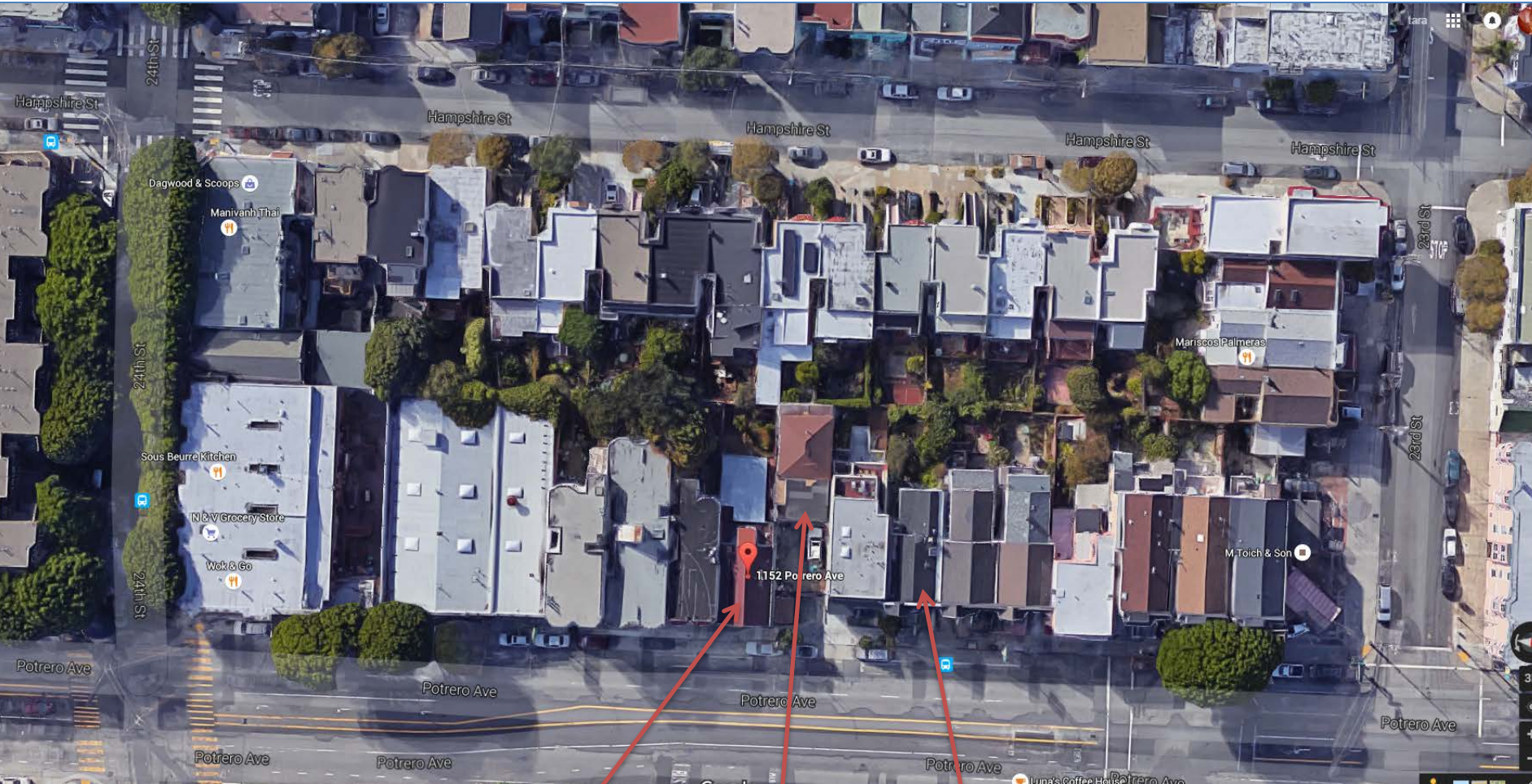
One Bush Street, Suite 600
San Francisco, CA 94104

tel: 415-567-9000
fax: 415-399-9480

REUBEN, JUNIUS & ROSE, LLP

www.reubenlaw.com

Exhibit B: Aerial View of Block 4211



1152 Potrero Avenue

1136 Potrero Avenue:
DR Requestor's Property

1146 Potrero Avenue



Exhibit C: Context Images

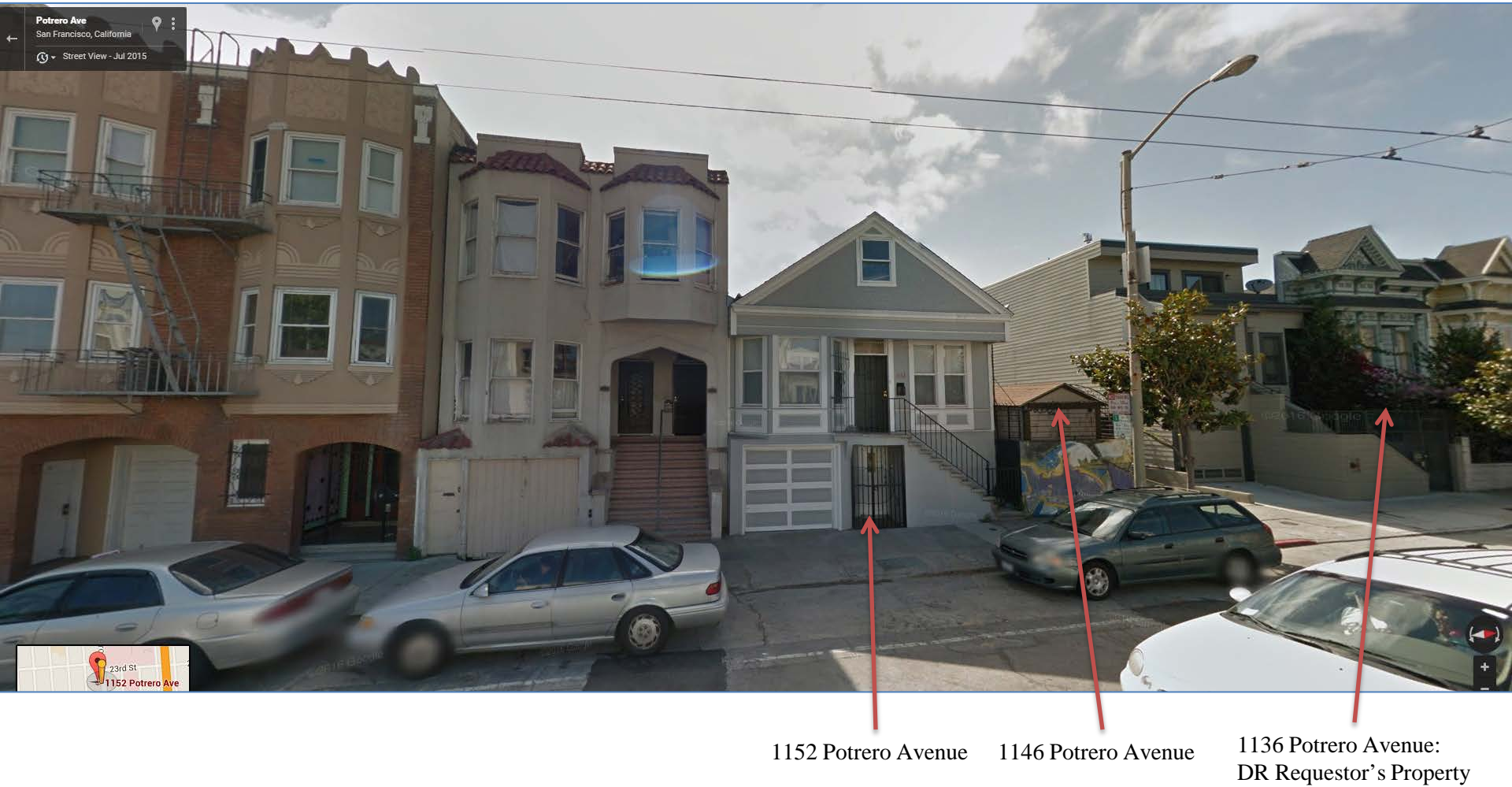


Exhibit C: Context Images

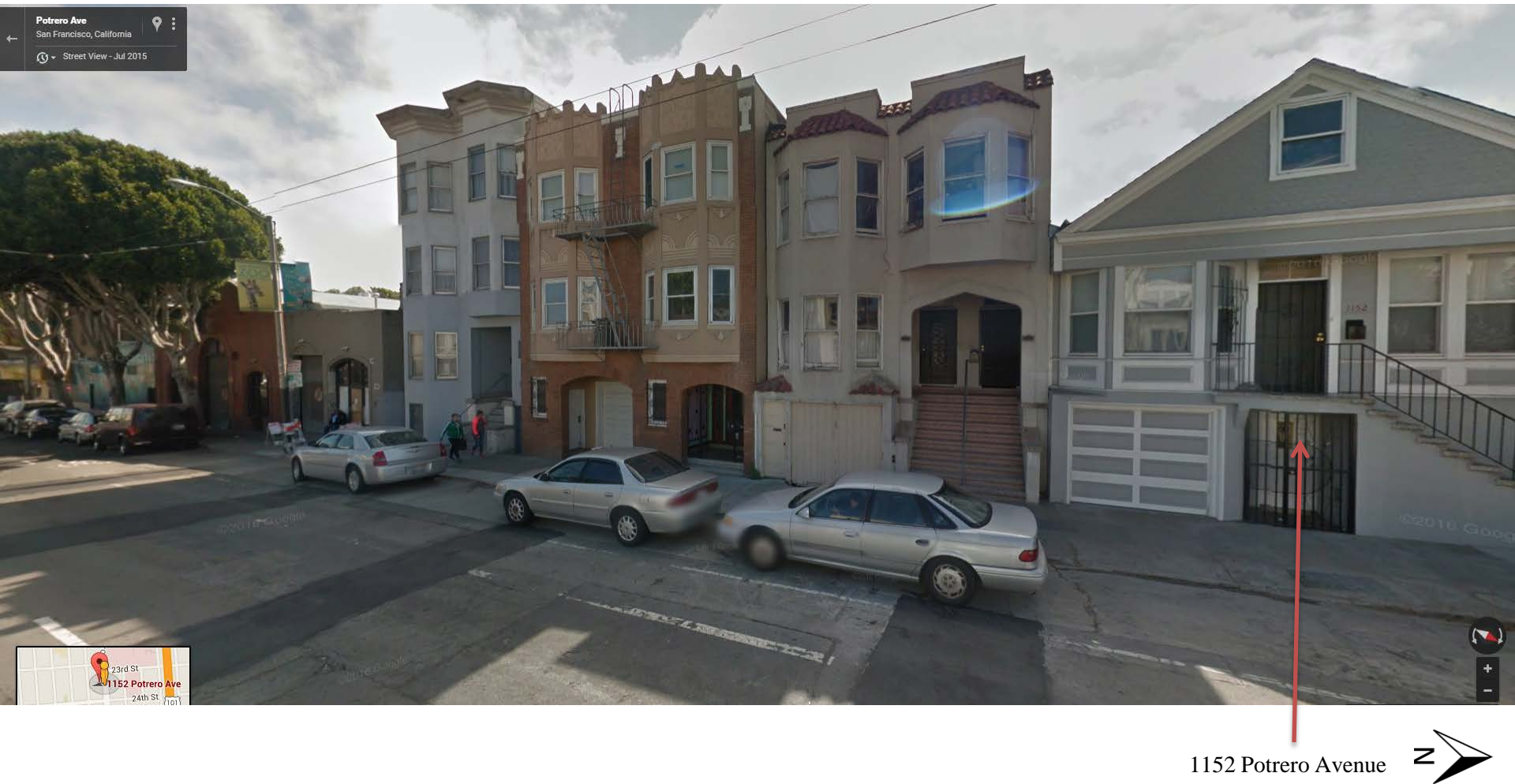


1152 Potrero Avenue

1146 Potrero Avenue

1136 Potrero Avenue:
DR Requestor's Property

Exhibit C: Context Images



1152 Potrero Avenue



Exhibit C: Context Images



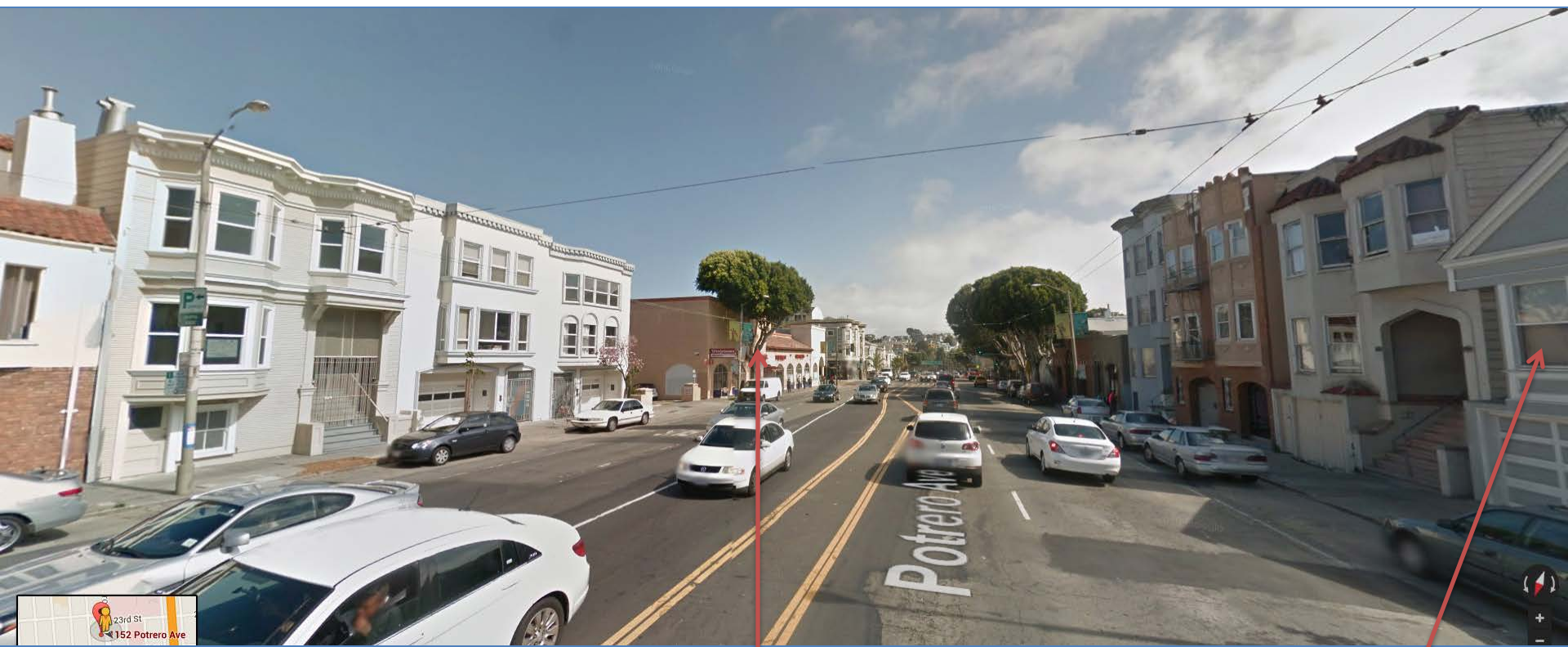
Exhibit C: Context Images – Across Street from 1152 Potrero looking north



SF General Hospital



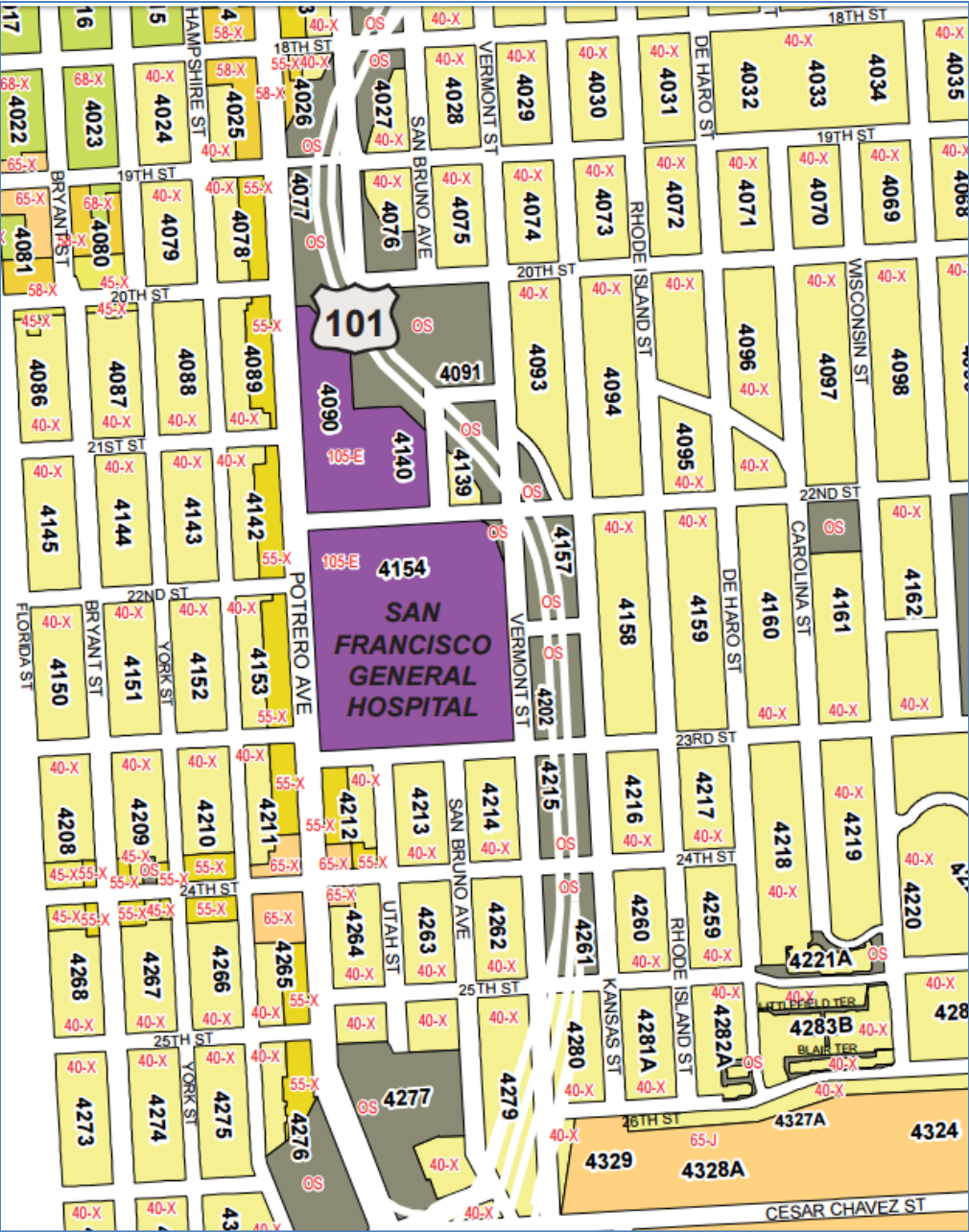
Exhibit C: Context Images – Across Street from 1152 Potrero Avenue looking South



Walgreens

1152 Potrero Avenue

Exhibit D: Height & Bulk Map



RESPONSE TO DISCRETIONARY REVIEW (DRP)



**San Francisco
Planning**

SAN FRANCISCO PLANNING DEPARTMENT
1650 MISSION STREET, SUITE 400
SAN FRANCISCO, CA 94103-2479
MAIN: (415) 558-6378 SFPLANNING.ORG

Project Information

Property Address: 1152 Potrero Avenue

Zip Code: 94110

Building Permit Application(s): 2015.0224.9220

Record Number: 2015.002632DRP

Assigned Planner: Jeffrey Speirs

Project Sponsor

Name: Reuben, Junius & Rose, LLP; attn: John Kevlin

Phone: 415-567-9000

Email: jkevin@reubenlaw.com

Required Questions

1. Given the concerns of the DR requester and other concerned parties, why do you feel your proposed project should be approved? (If you are not aware of the issues of concern to the DR requester, please meet the DR requester in addition to reviewing the attached DR application.)

Please see attached supplemental sheet.

2. What alternatives or changes to the proposed project are you willing to make in order to address the concerns of the DR requester and other concerned parties? If you have already changed the project to meet neighborhood concerns, please explain those changes and indicate whether they were made before or after filing your application with the City.

Please see attached supplemental sheet.

3. If you are not willing to change the proposed project or pursue other alternatives, please state why you feel that your project would not have any adverse effect on the surrounding properties. Include an explanation of your needs for space or other personal requirements that prevent you from making the changes requested by the DR requester.

Please see attached supplemental sheet.

Project Features

Please provide the following information about the project for both the existing and proposed features. **Please attach an additional sheet with project features that are not included in this table.**

	EXISTING	PROPOSED
Dwelling Units (only one kitchen per unit - additional kitchens count as additional units)	1	3
Occupied Stories (all levels with habitable rooms)	2	4
Basement Levels (may include garage or windowless storage rooms)	1	1
Parking Spaces (Off-Street)	1	2
Bedrooms	1	7
Height	26'-2"	40'
Building Depth	63' +/-	66'-8"
Rental Value (monthly)	0	TBD
Property Value	\$1,100,000	TBD

I attest that the above information is true to the best of my knowledge.

Signature:	Date:
Printed Name: John Kevlin, Reuben, Junius & Rose, LLP	<input type="checkbox"/> Property Owner <input checked="" type="checkbox"/> Authorized Agent

If you have any additional information that is not covered by this application, please feel free to attach additional sheets to this form.

Response to Discretionary Review (DRP)

Supplemental Sheet: 1152 Potrero Avenue, 2015.002632DRP

1. *Given the concerns of the DR requestor and other concerned parties, why do you feel your project should be approved?*

Discretionary Review is a special power of the Planning Commission (“Commission”), intended to provide an opportunity to evaluate a Code-compliant project that has some exceptional or extraordinary circumstance. The Commission has been advised by the City Attorney that its discretion under this authority is sensitive, and should be exercised with the utmost constraint.

There are no exceptional or extraordinary circumstances associated with the Project which merits the exercise of the Commission’s discretionary review authority.

The Project entails a two-story vertical and horizontal addition to an existing one-story over-garage structure, adding two dwelling units for a total of three units, which is within the zoning permitted on the Property, and reaching a maximum height of 40 feet, well under the 55 foot height limit allowed. The Project is consistent with the land use, residential density, height, and bulk controls within the RH-3 Zoning District along this portion of Potrero Avenue.

The Project will complement the character and scale of development on Potrero Avenue and adjacent blocks. Residential development in the area is predominantly multi-story buildings. The Project is consistent with this pattern.

In summary, there is nothing extraordinary about the project that would justify the Commission’s use of its discretionary review power. The project proposes smart, infill development which is in full compliance with the *Residential Design Guidelines* and the Planning Code. The addition directly furthers the goals of the City's Urban Design Element and Housing Elements, including:

- Housing Element, Policy 4.1: Develop new housing, and encourage the remodeling of existing housing, for families with children.
- Housing Element, Policy 11.1: Promote the construction and rehabilitation of well-designed housing that emphasizes beauty, flexibility, and innovative design, and respects existing neighborhood character.

- Housing Element, Policy 11.2: Ensure implementation of accepted design standards in project approvals.
2. *What alternatives or changes to the proposed project are you willing to make in order to address the concerns of the DR requestor and other concerned parties? If you have already changed the project to meet neighborhood concerns, please explain those changes and indicate whether they were made before or after filing your application with the City.*

The Project Sponsor has spent a considerable amount of time and effort to gather and respond to concerns from the DR Requestor and neighbors. Following the filing of the subject Discretionary Review application, the Project Sponsor worked with the Planning Department and DR Requestor to modify the Project to address concerns that were raised. The Project has been significantly redesigned and reduced in size from its original conception. Design changes in response to the DR Requestor's concerns include:

1. Altering the proposed pitched roof to a flat roof, thus lowering the maximum height of the roof by 3 feet – 10 inches;
2. Providing a 3 foot side setback from the 2nd through 4th floors on the northern property line where the building overlaps with 1146 Potrero Avenue;
3. Providing a 5 foot side setback at the deck on the 3rd floor for additional privacy, and an open railing for lighting and ventilation considerations;
4. Providing a 10 foot rear setback at the 3rd and 4th floors;
5. Providing a 15 foot front setback at the 4th floor;
6. Modifying the window openings on the northern façade to increase privacy for 1146 Potrero Avenue; and
7. Installing landscaping at the rear of the property to aid in privacy for neighbors on Hampshire Street.

The net effect of these changes is to ensure access to light and air for adjacent neighbors, maintain the prevailing building pattern on the block, and design an articulated and properly-scaled building as viewed from the pedestrian realm. The Project sponsor met with the DR Requestor early on in the design process to discuss the project and potential impacts to the DR Requestor's building. The Project Sponsor has made significant changes to the addition as requested by the Residential Design Team.

3. *If you are not willing to change the proposed project or pursue other alternatives, please state why you feel that your project would not have any adverse effect on the surrounding properties. Include an explanation of your needs for space or other personal requirements that prevent you from making the changes requested by the DR requester.*

The Project Sponsor has been sensitive to concerns about how the Project fits into the neighborhood as well as the Planning Department staff's design guidance. The Project has been modified multiple times, demonstrating the Project Sponsor's willingness to work to design a project that is compatible with the existing neighborhood. The DR requests would unreasonably restrict development at the Property, as the current Project does not maximize the allowable buildable area of the lot; rather, it has been designed to minimize its impact on the adjacent properties. The Property is constrained by the location of the building to the north at 1146 Potrero Avenue, which is at the rear of the lot, approximately 48 feet from the front property line. Further modifications would materially impair the Project Sponsor's ability to add dwelling units to the neighborhood.

In addition, the DR requestor's property will be minimally impacted by the Project, as it is located three lots to the north of the Property, and the project exemplifies smart development that would not result in the sort of extraordinary or exceptional impacts for which DR is intended to address and which are required before DR can be taken.

Exhibit C: Context Images

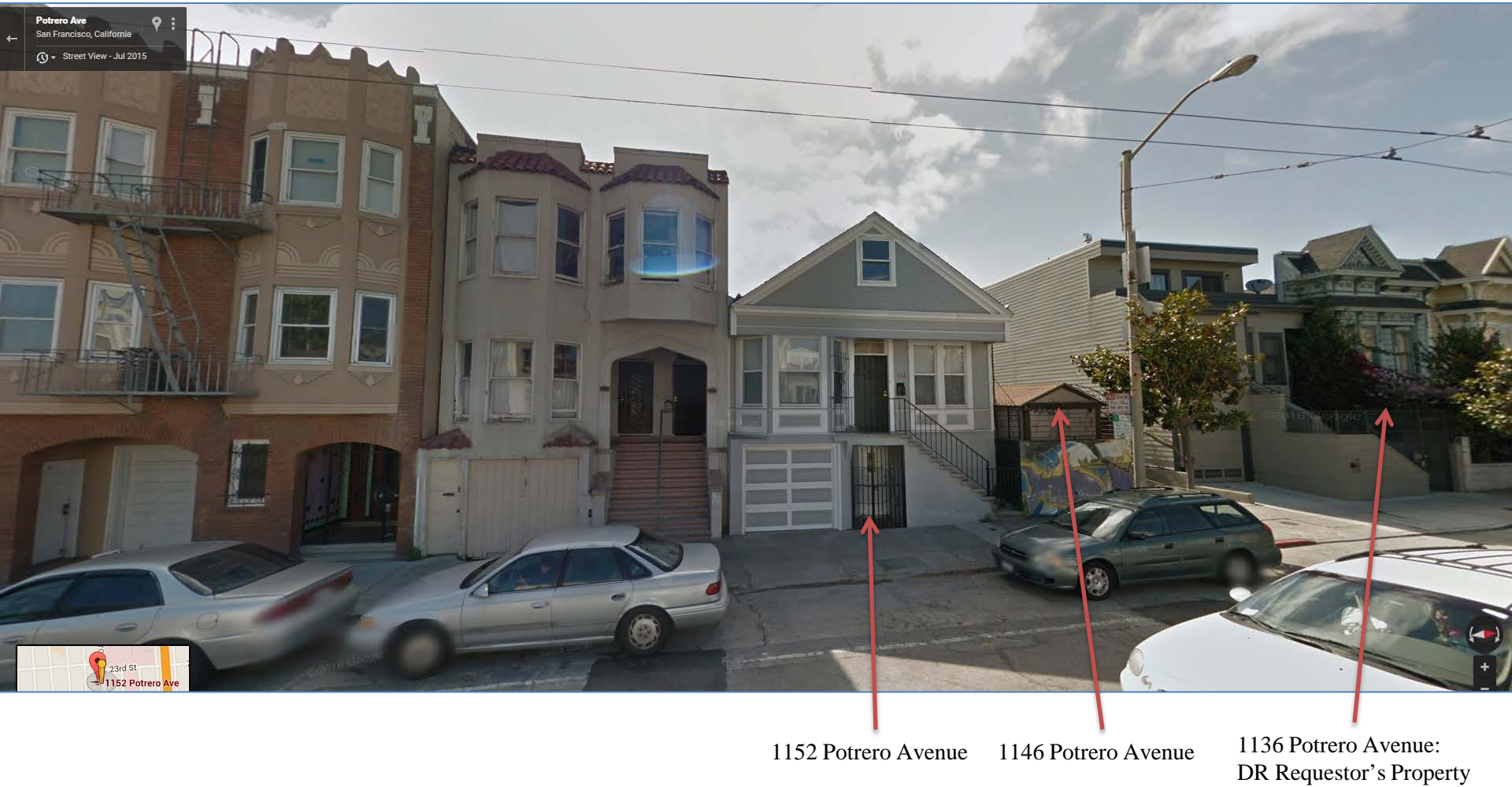


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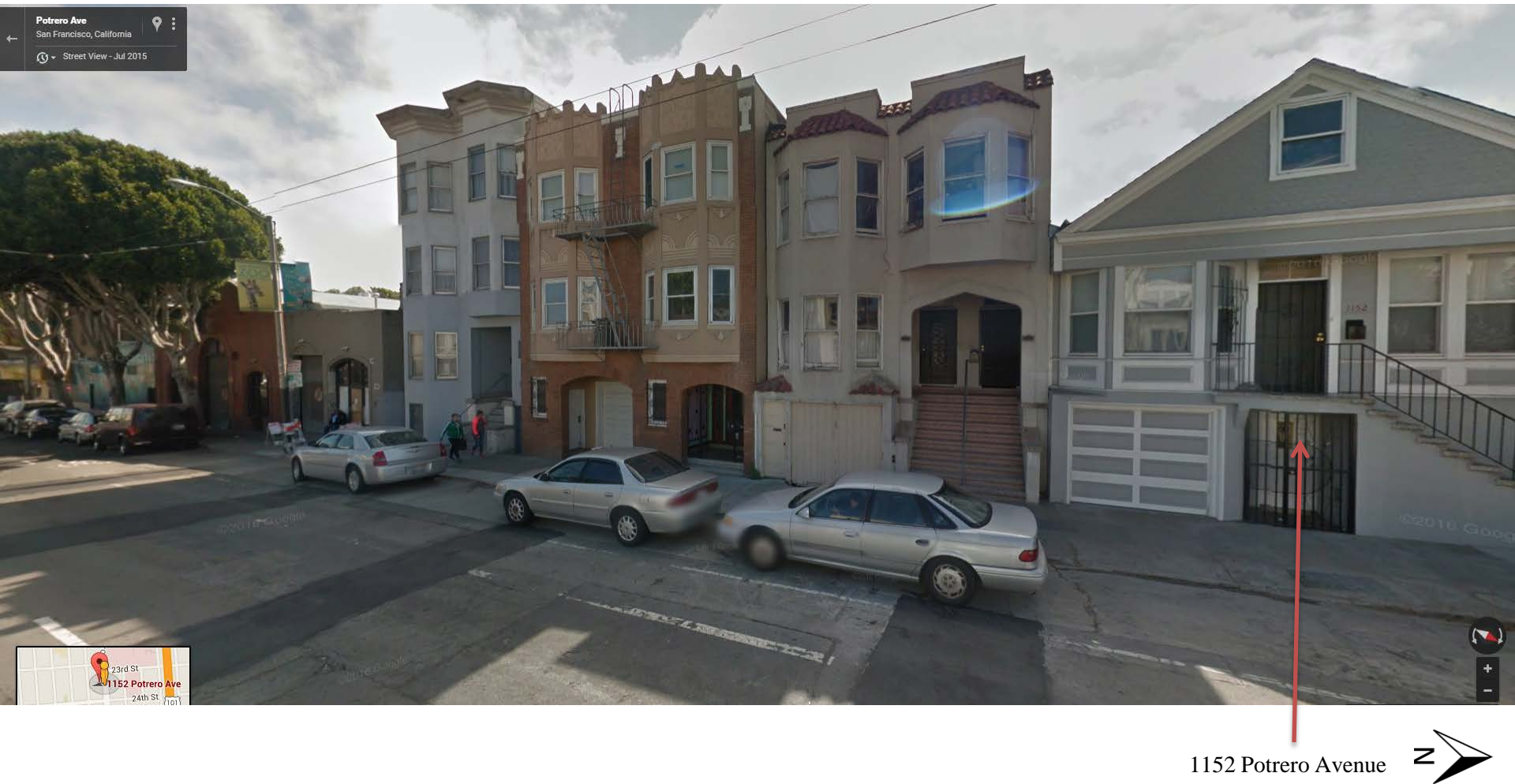


1152 Potrero Avenue

1146 Potrero Avenue

1136 Potrero Avenue:
DR Requestor's Property

Exhibit C: Context Images



1152 Potrero Avenue



Exhibit C: Context Images

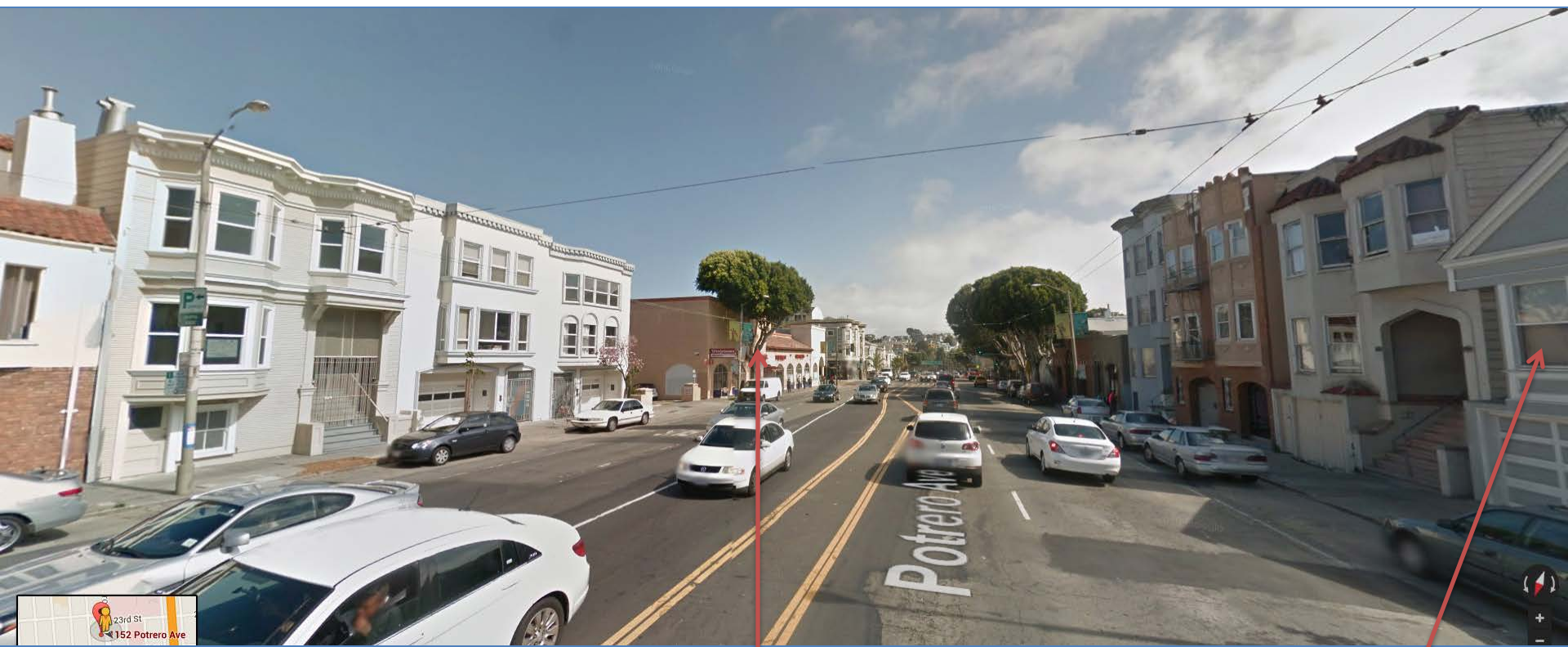


Exhibit C: Context Images – Across Street from 1152 Potrero looking north



SF General Hospital

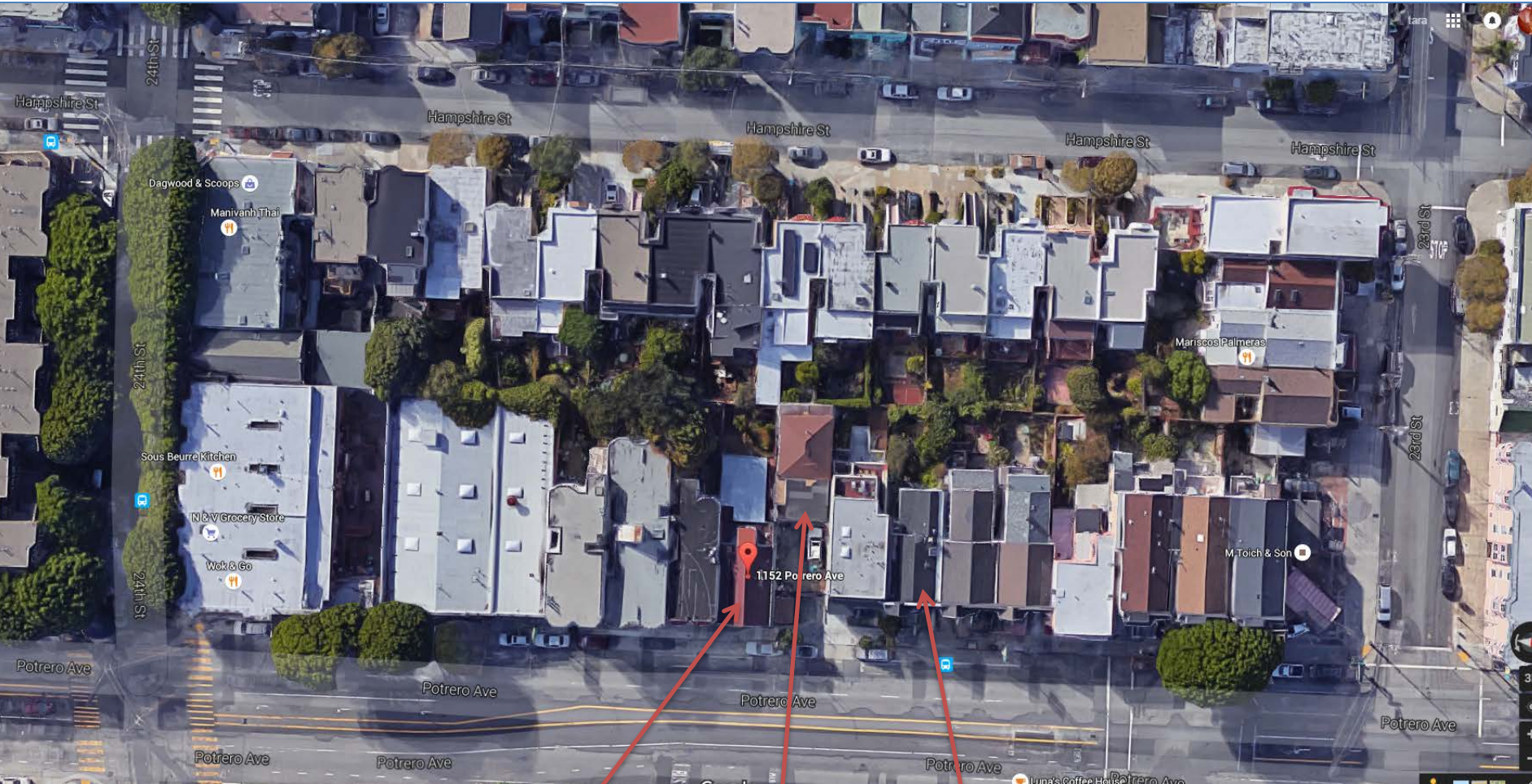
Exhibit C: Context Images – Across Street from 1152 Potrero Avenue looking South



Walgreens

1152 Potrero Avenue

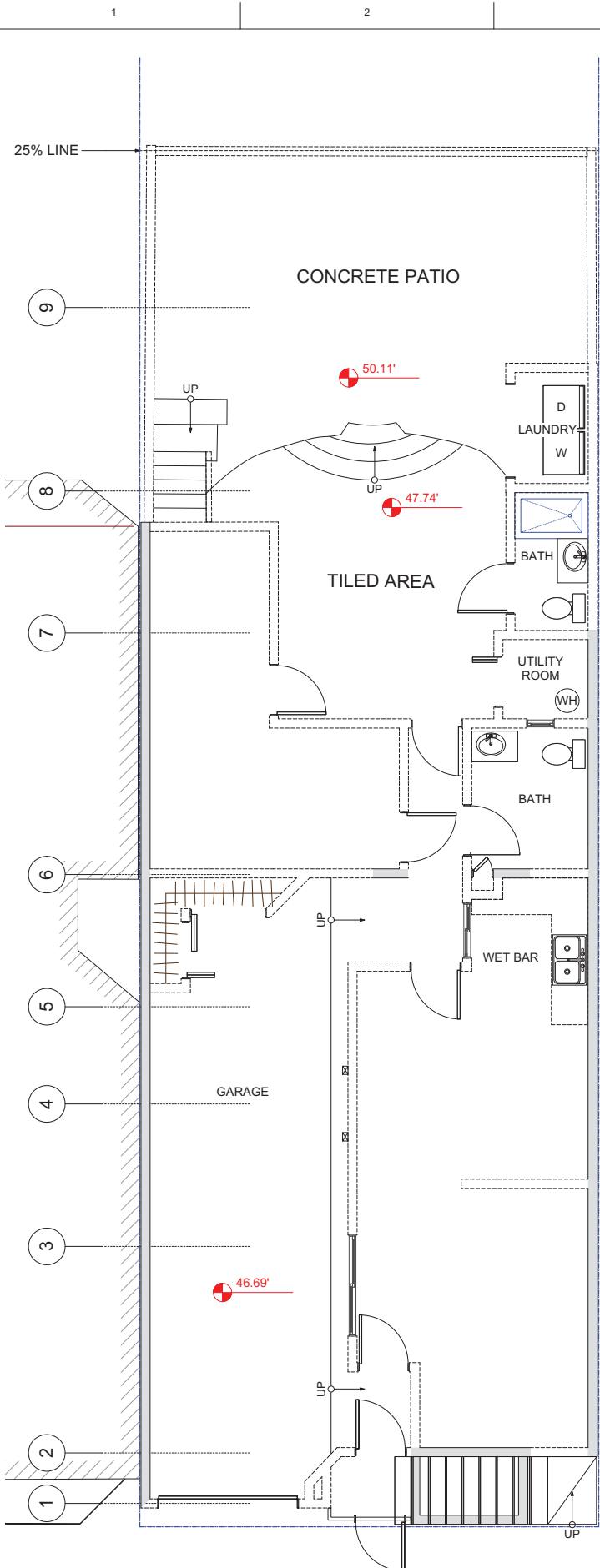
Exhibit C: Aerial View of Block 4211



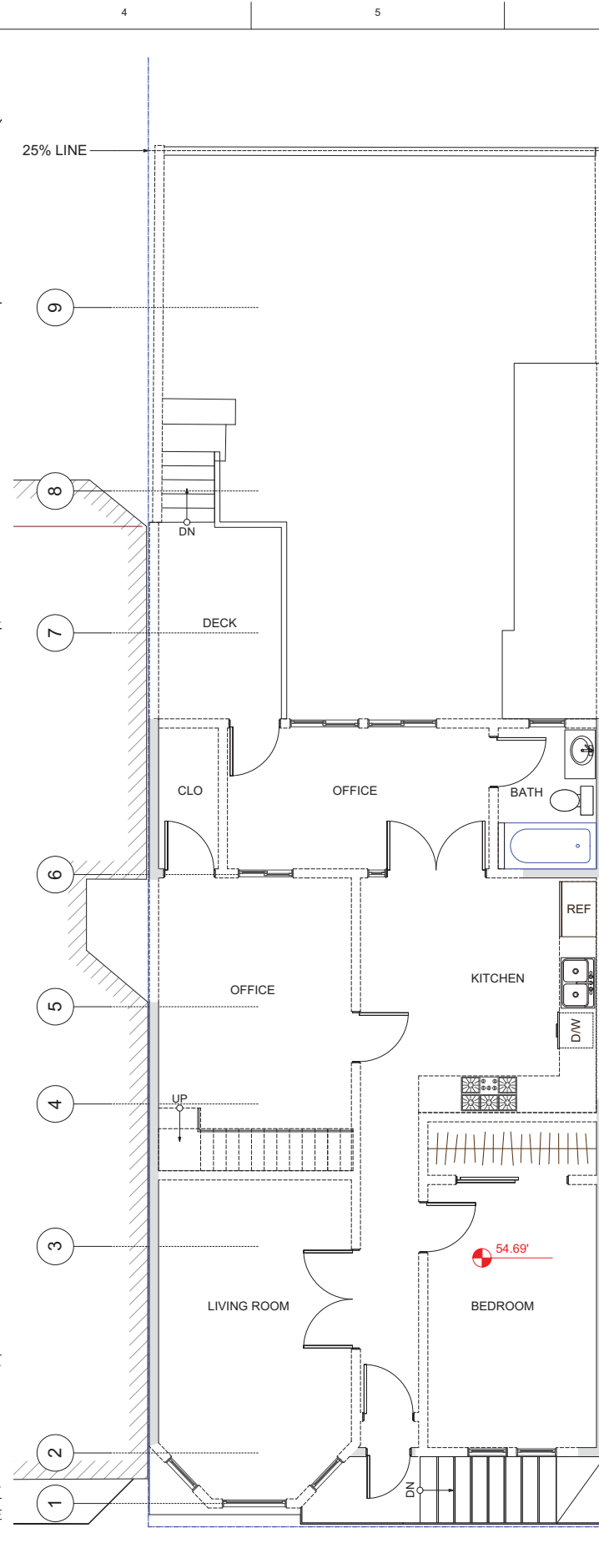
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1136 Potrero Avenue:
DR Requestor's Property

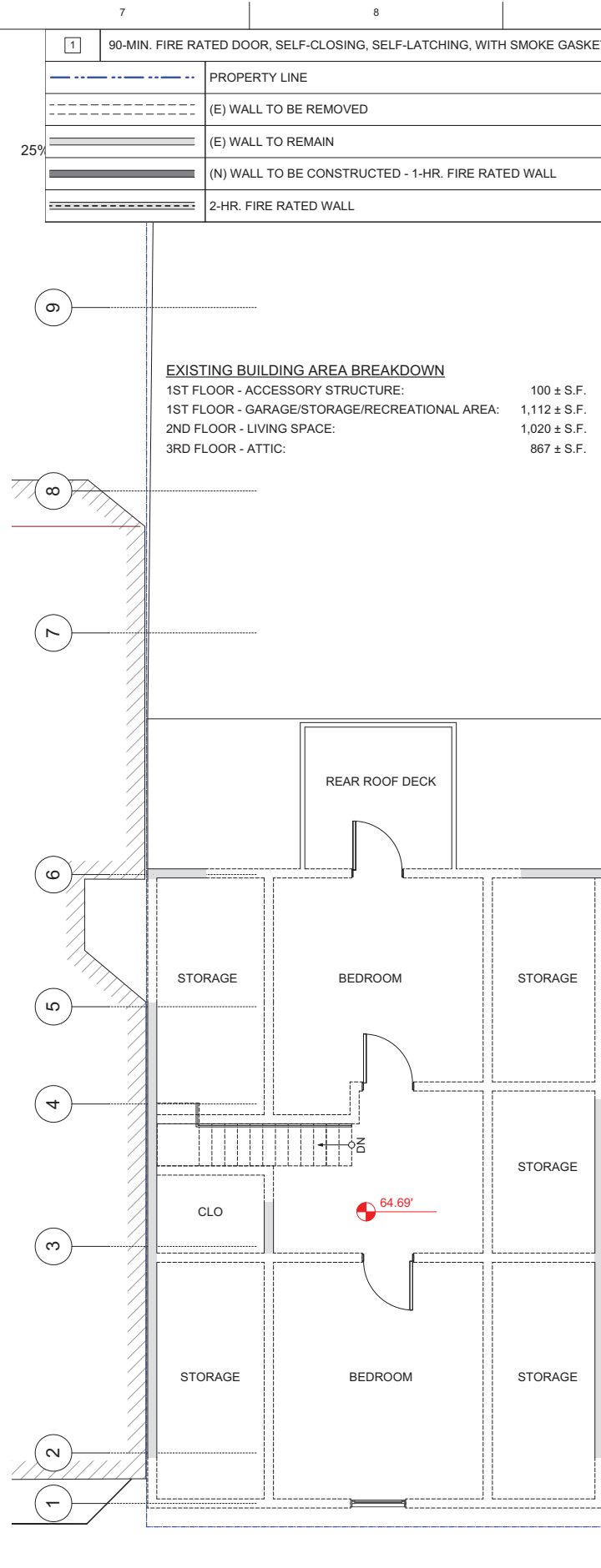
1146 Potrero Avenue



(E) 1ST FLOOR PLAN
1/4" = 1'-0"



(E) 2ND FLOOR PLAN
1/4" = 1'-0"

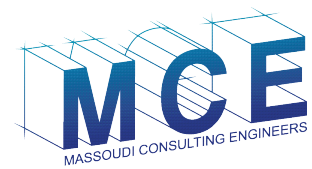


(E) 3RD FLOOR PLAN
1/4" = 1'-0"

1	90-MIN. FIRE RATED DOOR, SELF-CLOSING, SELF-LATCHING, WITH SMOKE GASKET
---	PROPERTY LINE
---	(E) WALL TO BE REMOVED
---	(E) WALL TO REMAIN
---	(N) WALL TO BE CONSTRUCTED - 1-HR. FIRE RATED WALL
---	2-HR. FIRE RATED WALL

EXISTING BUILDING AREA BREAKDOWN	
1ST FLOOR - ACCESSORY STRUCTURE:	100 ± S.F.
1ST FLOOR - GARAGE/STORAGE/RECREATIONAL AREA:	1,112 ± S.F.
2ND FLOOR - LIVING SPACE:	1,020 ± S.F.
3RD FLOOR - ATTIC:	867 ± S.F.

PROJECT NAME
**1152 POTRERO AVE.
SAN FRANCISCO, CA**



Massoudi Consulting Engineers
205 De Anza Blvd. #109
San Mateo, CA 94402
Tel: (650) 773-5844
Fax: (415) 922-0203

SHEET TITLE

(E) FLOOR PLANS

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ISSUES / REVISIONS

NO.	DATE	DESCRIPTION

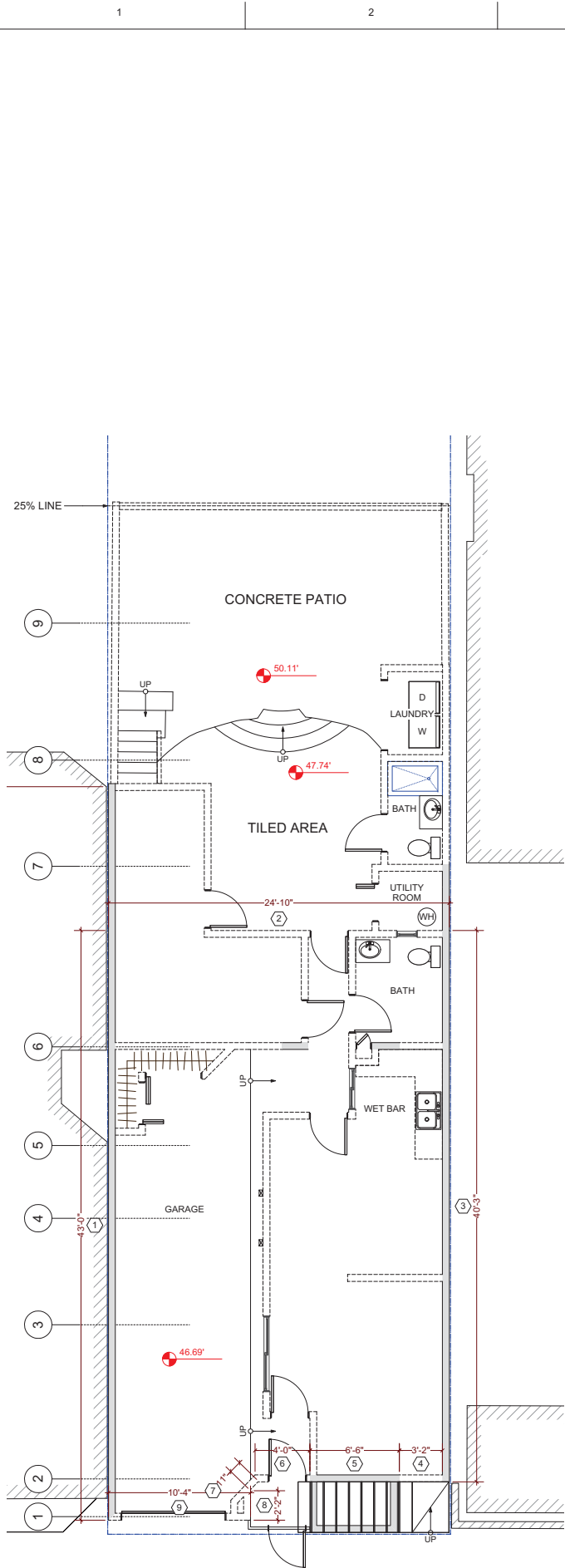
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REVISED DATE 09/22/2016

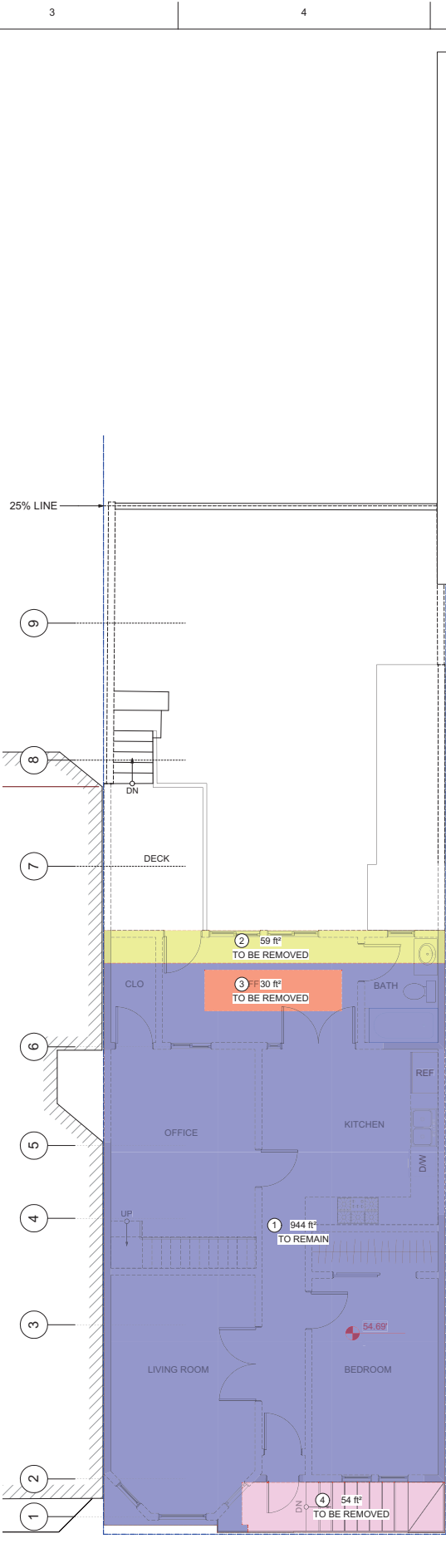
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SHEET NO.

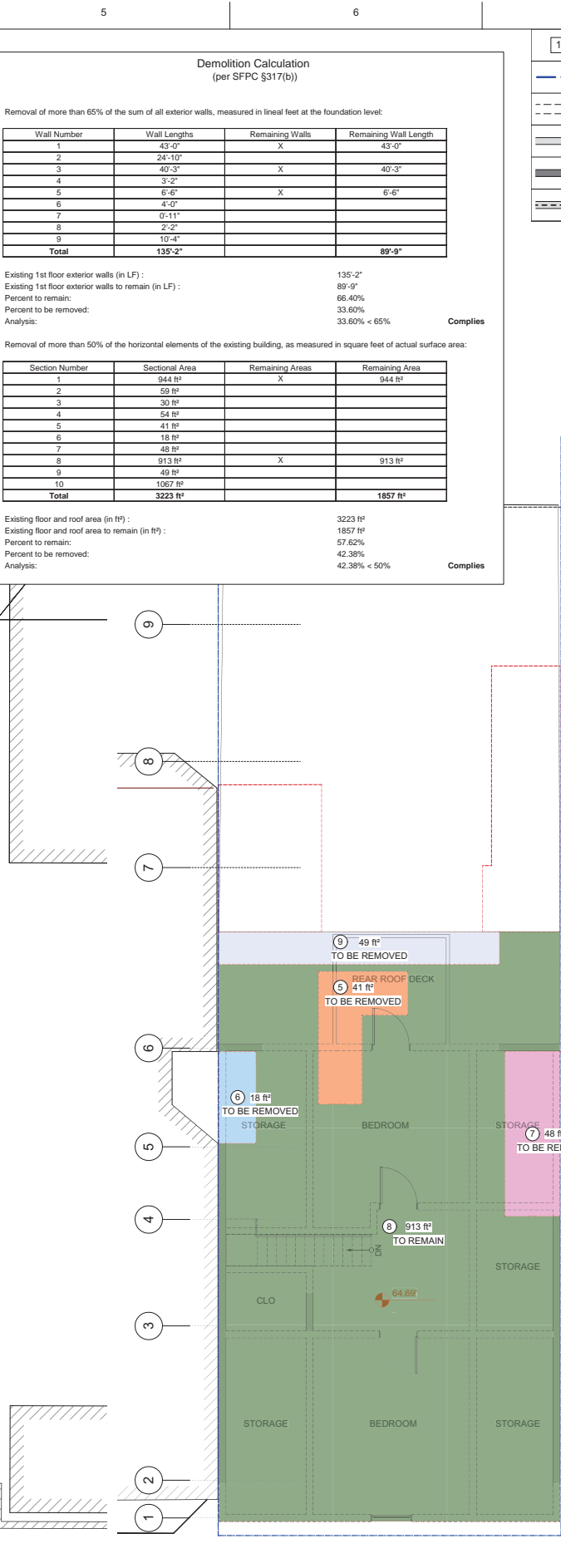
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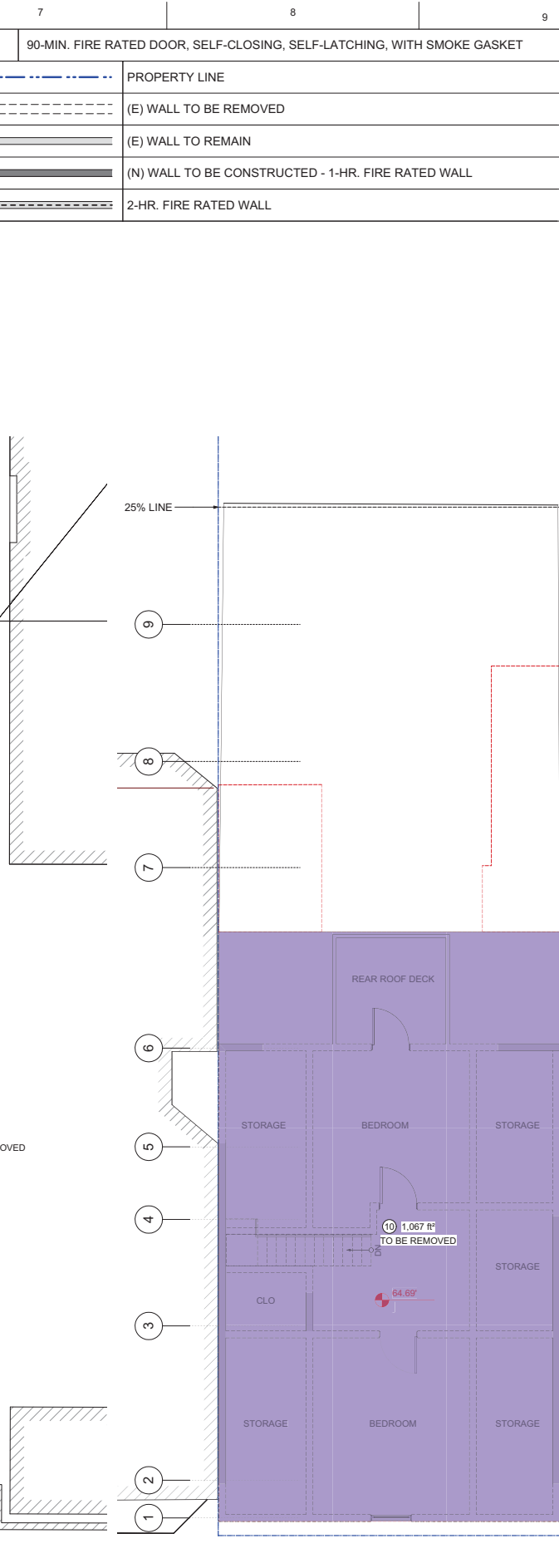
(E) 1ST FLOOR PLAN
3/16" = 1'-0"



(E) 2ND FLOOR PLAN
3/16" = 1'-0"



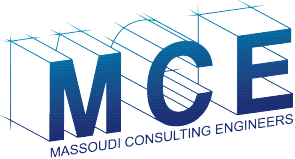
(E) 3RD FLOOR PLAN
3/16" = 1'-0"



(E) ROOF FLOOR PLAN
3/16" = 1'-0"

1	90-MIN. FIRE RATED DOOR, SELF-CLOSING, SELF-LATCHING, WITH SMOKE GASKET
---	PROPERTY LINE
---	(E) WALL TO BE REMOVED
---	(E) WALL TO REMAIN
---	(N) WALL TO BE CONSTRUCTED - 1-HR. FIRE RATED WALL
---	2-HR. FIRE RATED WALL

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DEMOLITION CALCULATIONS

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NO.	DATE	DESCRIPTION
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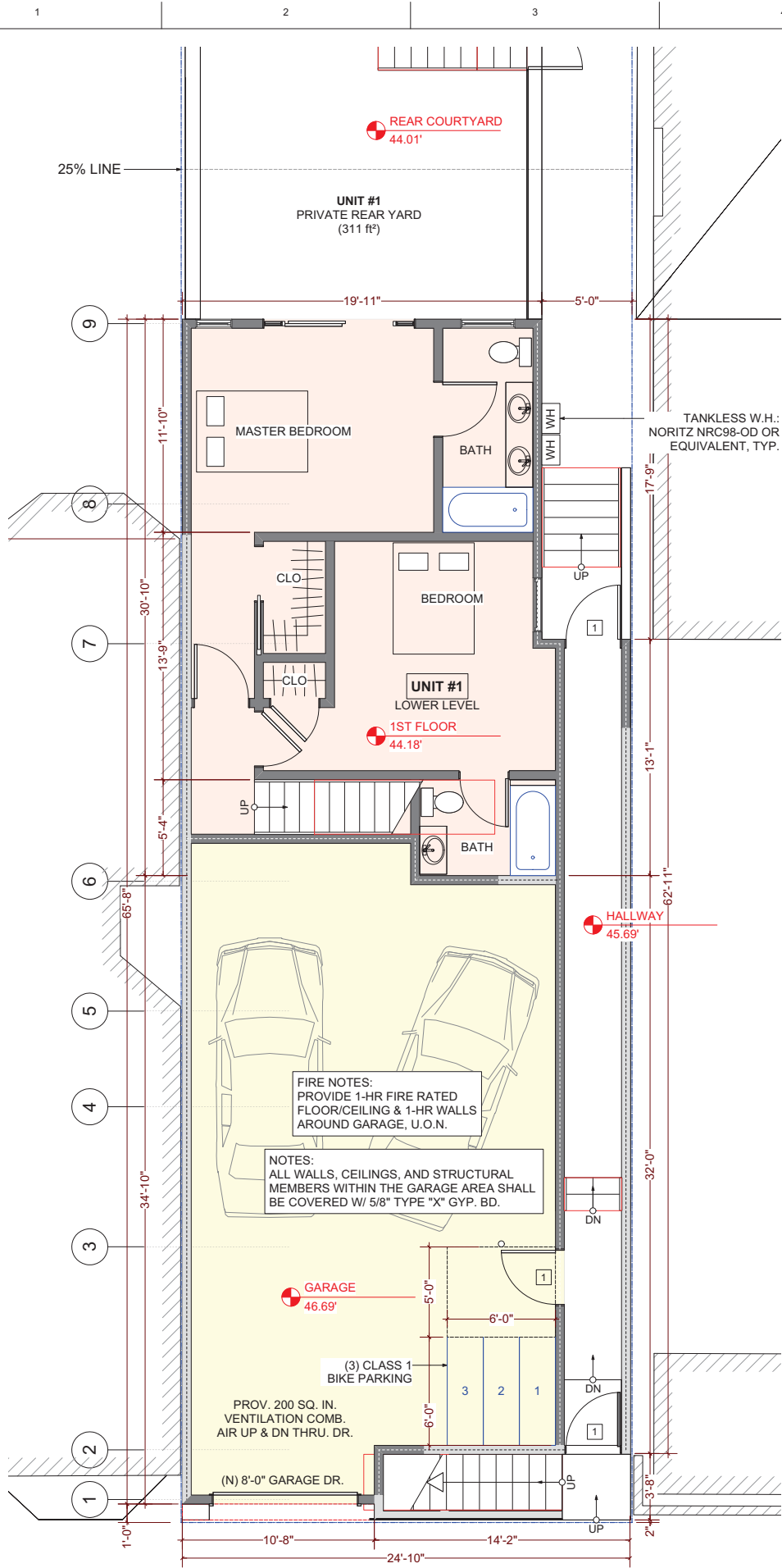
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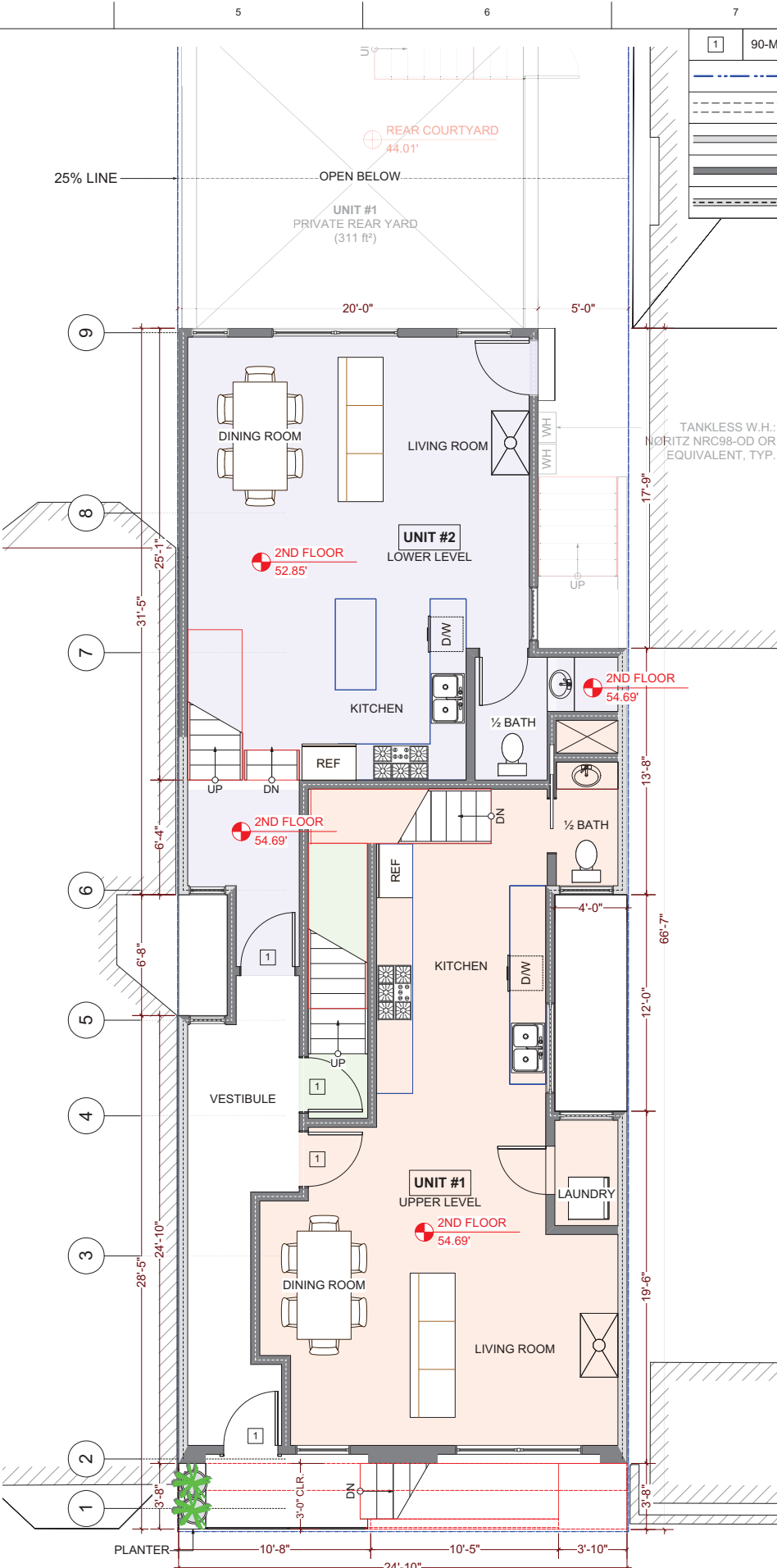
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SHEET NO.

A-2.1



(N) 1ST FLOOR PLAN
1/4" = 1'-0"



(N) 2ND FLOOR PLAN
1/4" = 1'-0"

1	90-MIN. FIRE RATED DOOR, SELF-CLOSING, SELF-LATCHING, WITH SMOKE GASKET
---	PROPERTY LINE
---	(E) WALL TO BE REMOVED
---	(E) WALL TO REMAIN
---	(N) WALL TO BE CONSTRUCTED - 1-HR. FIRE RATED WALL
---	2-HR. FIRE RATED WALL

ALL INTERIOR STAIRS SHALL HAVE:
MIN. RUN: 10"
MAX. RISE: 7 1/4"
PROVIDE CONT. HANDRAIL

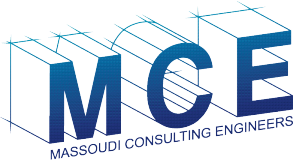
ALL EXTERIOR STAIRS SHALL HAVE:
MIN. RUN: 11"
MAX. RISE: 7"
PROVIDE CONT. HANDRAIL

USABLE OPEN SPACE REQUIREMENT (§135)

UNIT #1 PRIVATE REAR YARD AREA:	311 ft²
UNIT #2 PRIVATE REAR YARD AREA:	384 ft²
UNIT #3 PRIVATE ROOF DECK AREA:	240 ft²

ALL AREAS FOR USABLE OPEN SPACE
EXCEED THE REQUIRED MINIMUMS.

PROJECT NAME
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SAN FRANCISCO, CA**



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205 De Anza Blvd. #109
San Mateo, CA 94402
Tel: (650) 773-5844
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SHEET TITLE

(N) FLOOR PLANS
(1)

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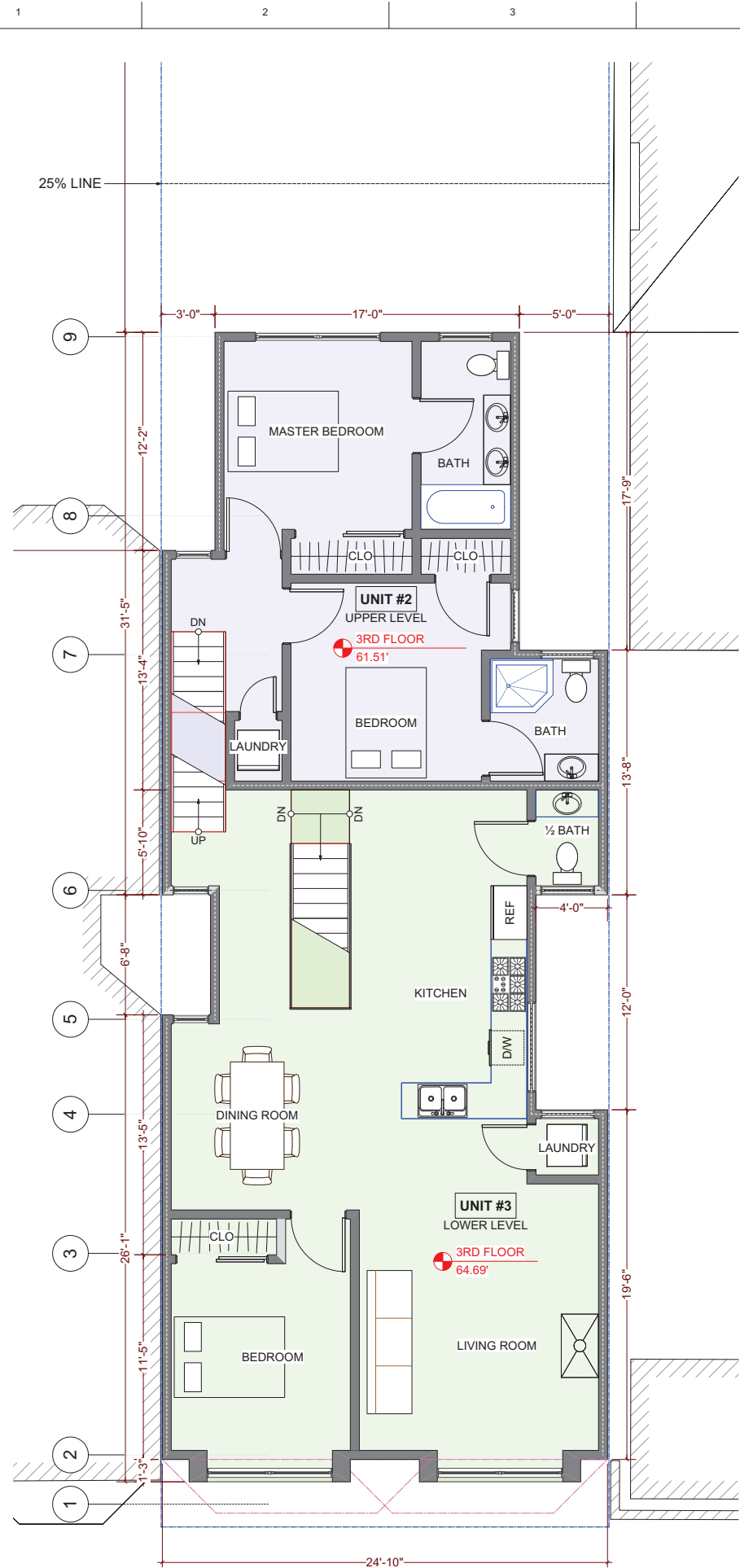
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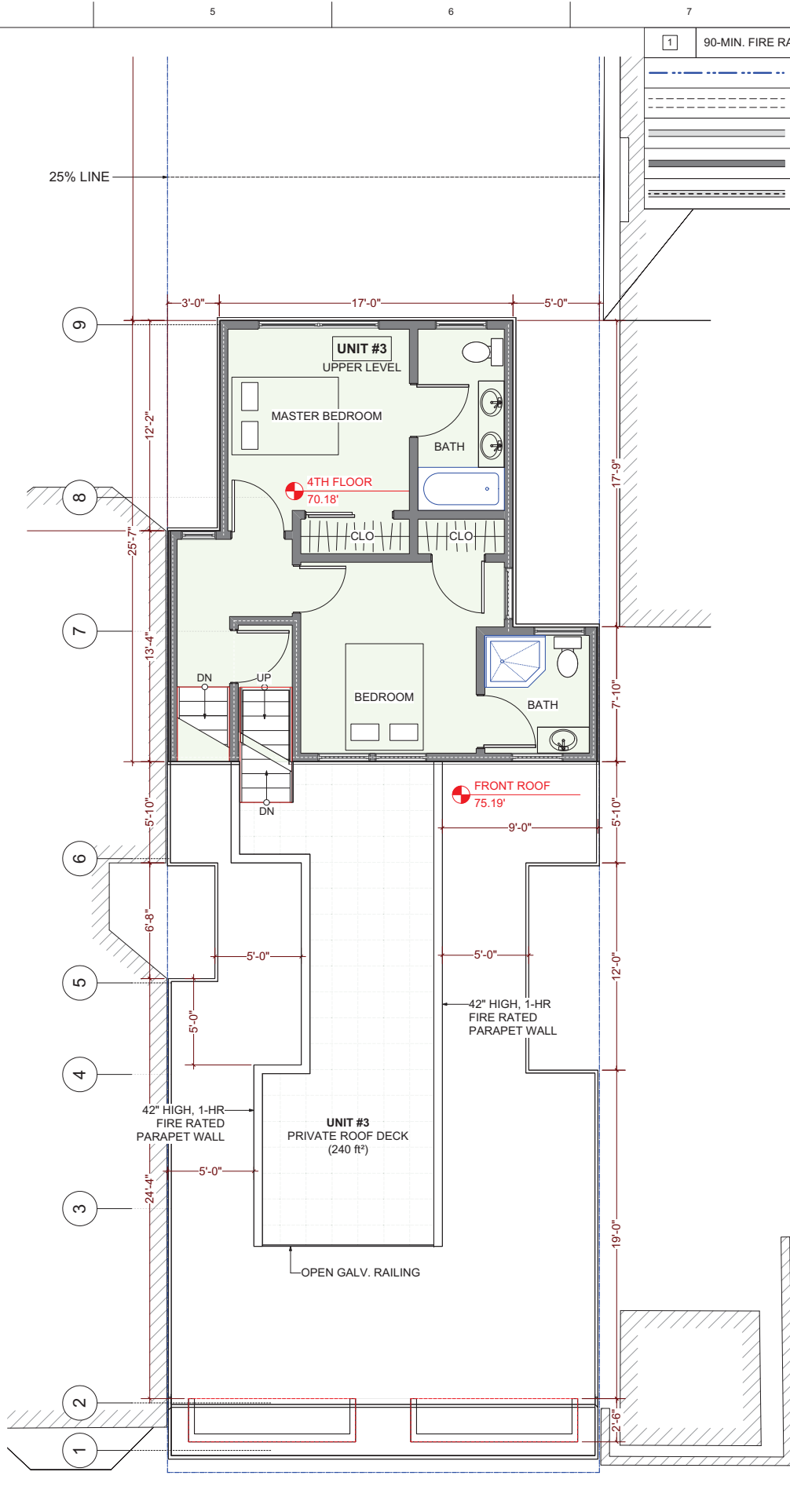
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SHEET NO.

A-3.0



(N) 3RD FLOOR PLAN
1/4" = 1'-0"



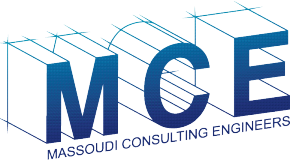
(N) 4TH FLOOR & ROOF PLAN
1/4" = 1'-0"

1	90-MIN. FIRE RATED DOOR, SELF-CLOSING, SELF-LATCHING, WITH SMOKE GASKET
	PROPERTY LINE
	(E) WALL TO BE REMOVED
	(E) WALL TO REMAIN
	(N) WALL TO BE CONSTRUCTED - 1-HR. FIRE RATED WALL
	2-HR. FIRE RATED WALL

ALL INTERIOR STAIRS SHALL HAVE:
MIN. RUN: 10"
MAX. RISE: 7 1/4"
PROVIDE CONT. HANDRAIL

ALL EXTERIOR STAIRS SHALL HAVE:
MIN. RUN: 11"
MAX. RISE: 7"
PROVIDE CONT. HANDRAIL

PROJECT NAME
**1152 POTRERO AVE.
SAN FRANCISCO, CA**



Massoudi Consulting Engineers
205 De Anza Blvd. #109
San Mateo, CA 94402
Tel: (650) 773-5844
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SHEET TITLE

(N) FLOOR PLANS
(2)

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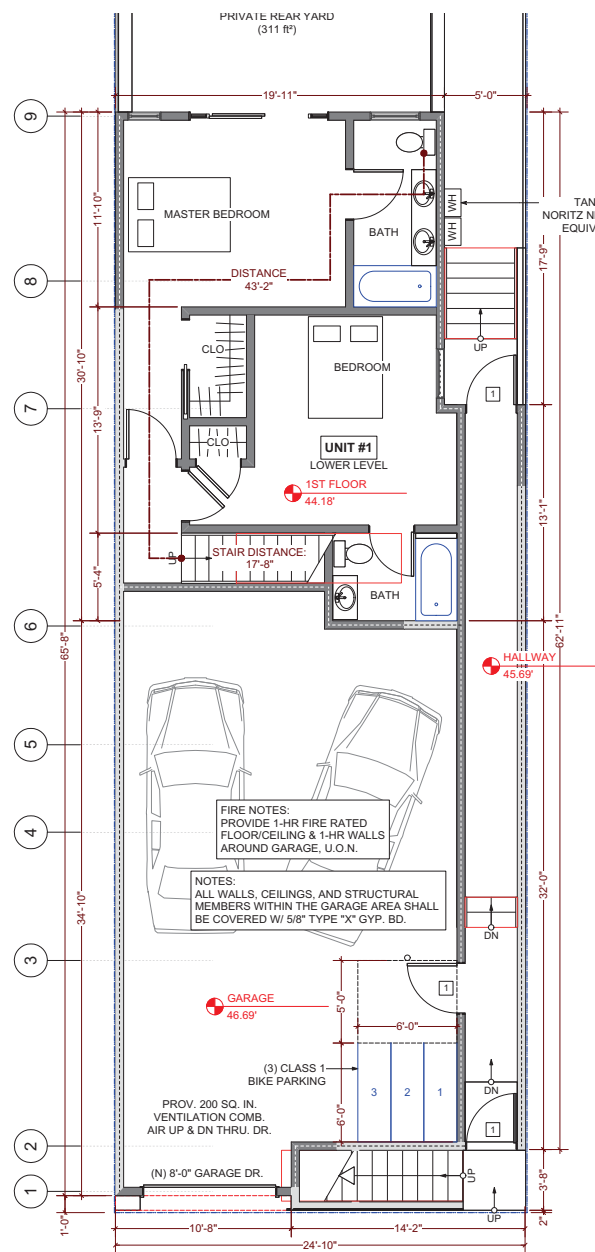
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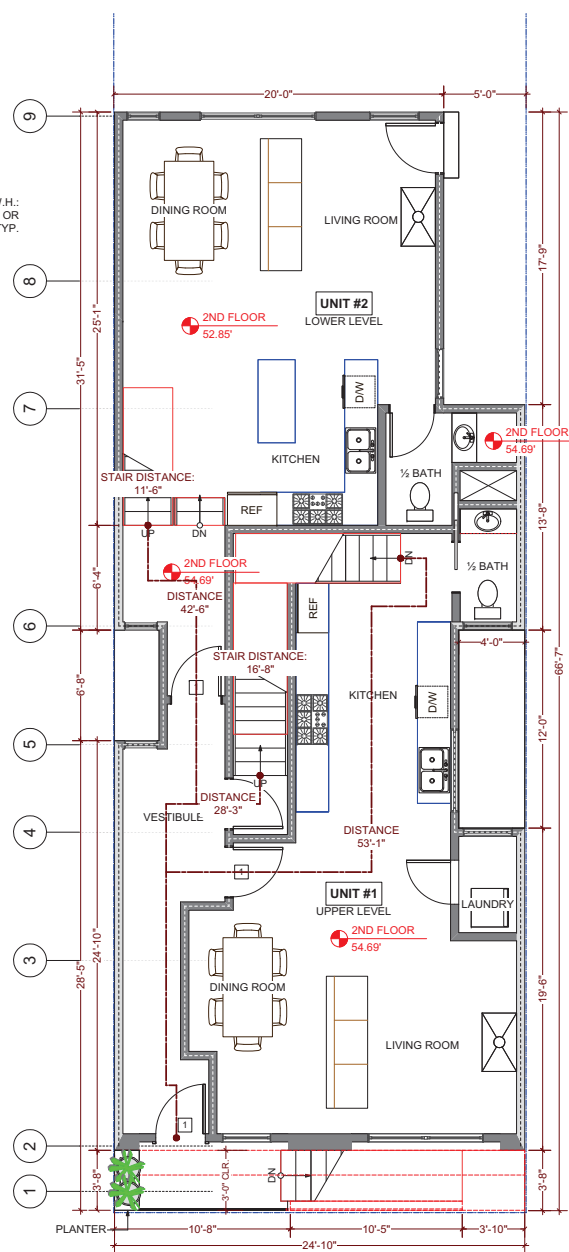
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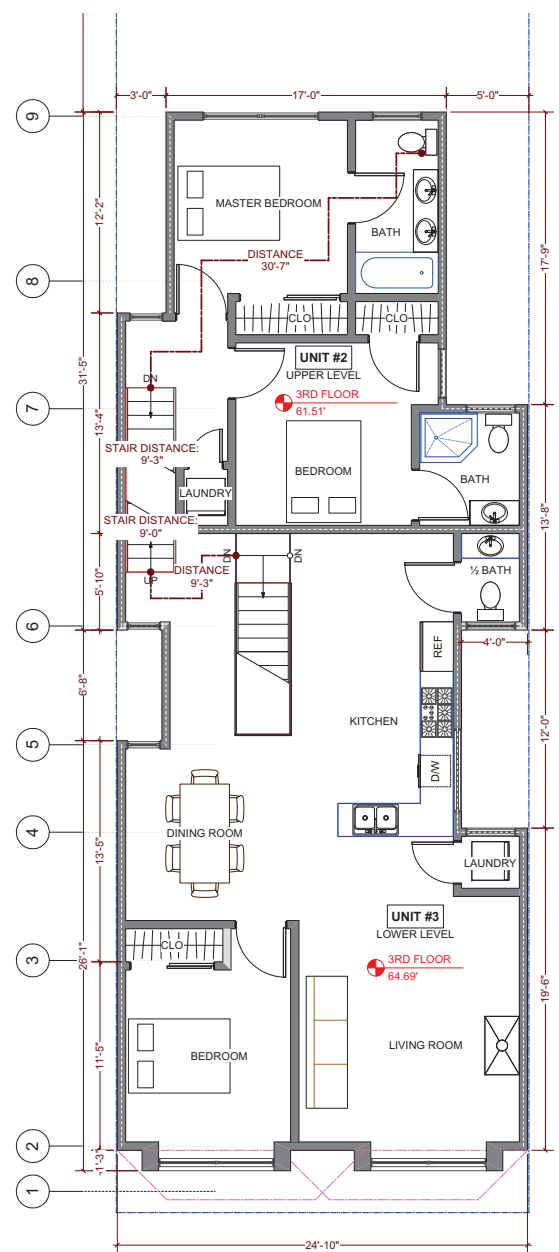
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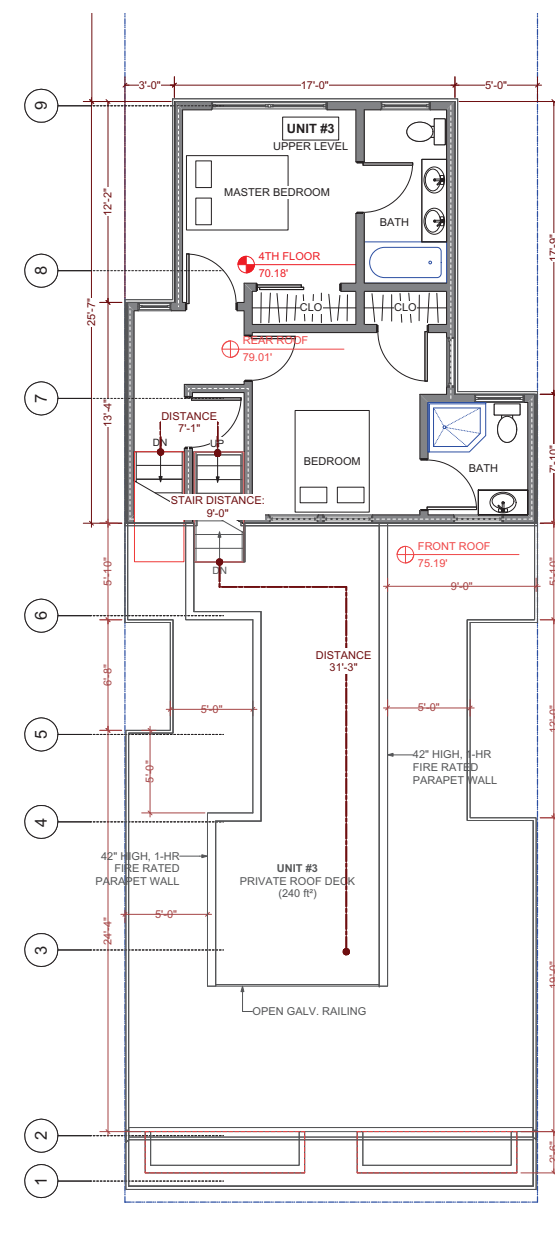
(N) 1ST FLOOR PLAN
3/16" = 1'-0"



(N) 2ND FLOOR PLAN
3/16" = 1'-0"



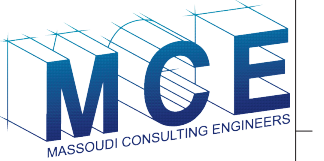
(N) 3RD FLOOR PLAN
3/16" = 1'-0"



(N) 4TH FLOOR & ROOF PLAN
3/16" = 1'-0"

PROJECT NAME

1152 POTRERO AVE.
SAN FRANCISCO, CA



Massoudi Consulting Engineers
205 De Anza Blvd. #109
San Mateo, CA 94402
Tel: (650) 773-5844
Fax: (415) 922-0203

SHEET TITLE

EXITING DIAGRAMS

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ISSUES / REVISIONS

NO.	DATE	DESCRIPTION
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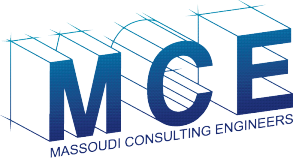
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REVISD DATE 09/22/2016

JOB NO.	15.046
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SHEET NO.

A-3.2



Massoudi Consulting Engineers
205 De Anza Blvd. #109
San Mateo, CA 94402
Tel: (650) 773-5844
Fax: (415) 922-0203

SHEET TITLE

**(E) & (N) FRONT
AND REAR
ELEVATION**

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ISSUES / REVISIONS

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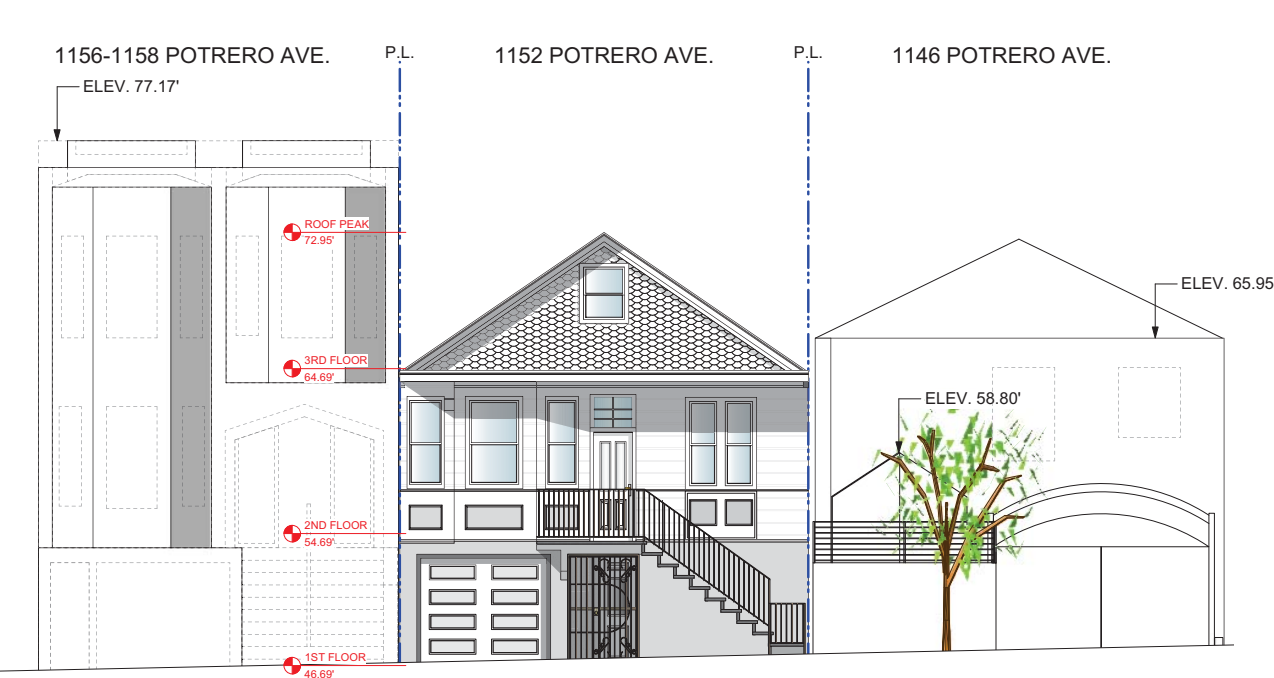
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REVISED DATE	09/22/2016
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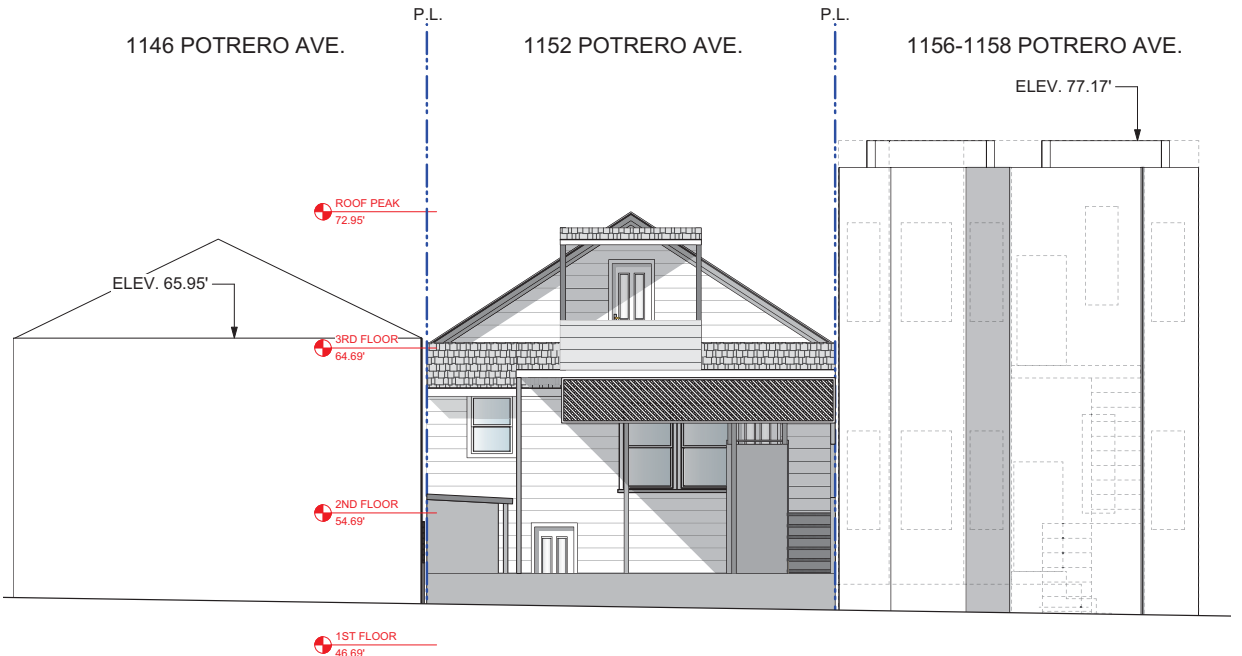
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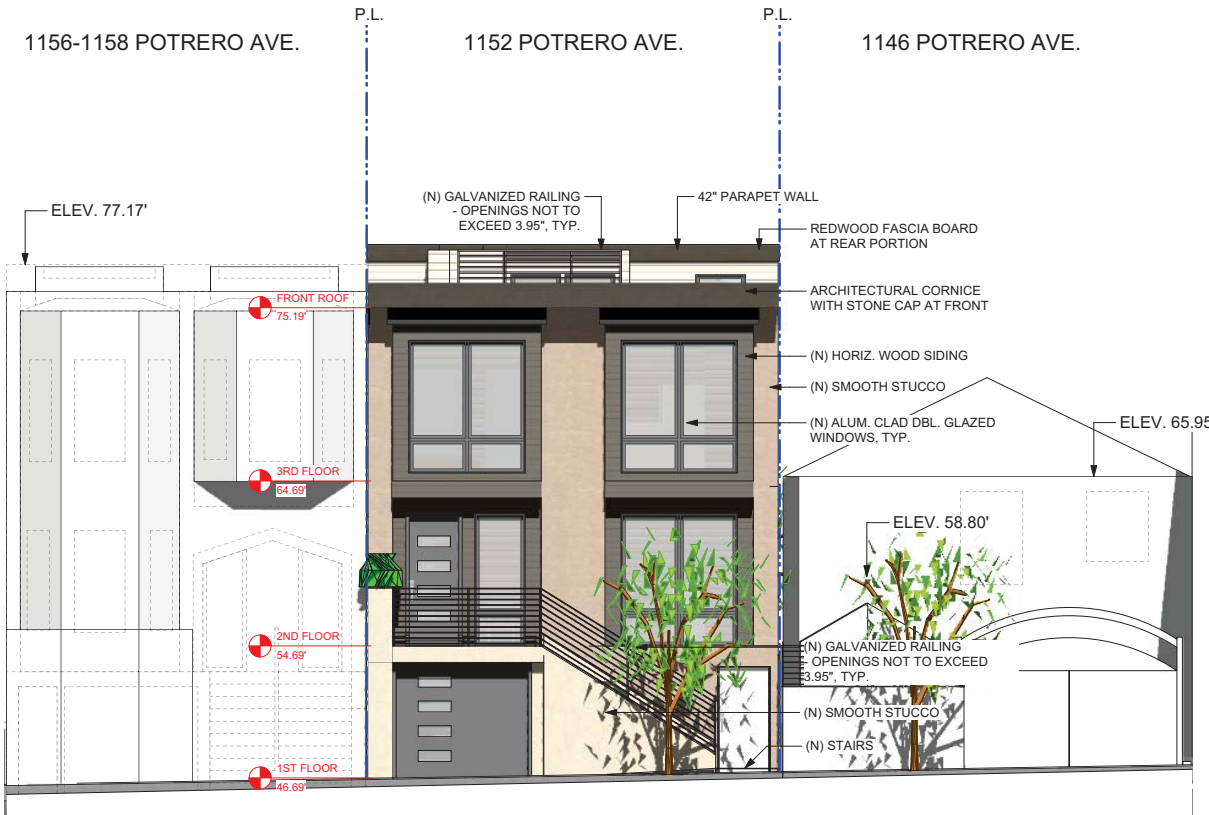
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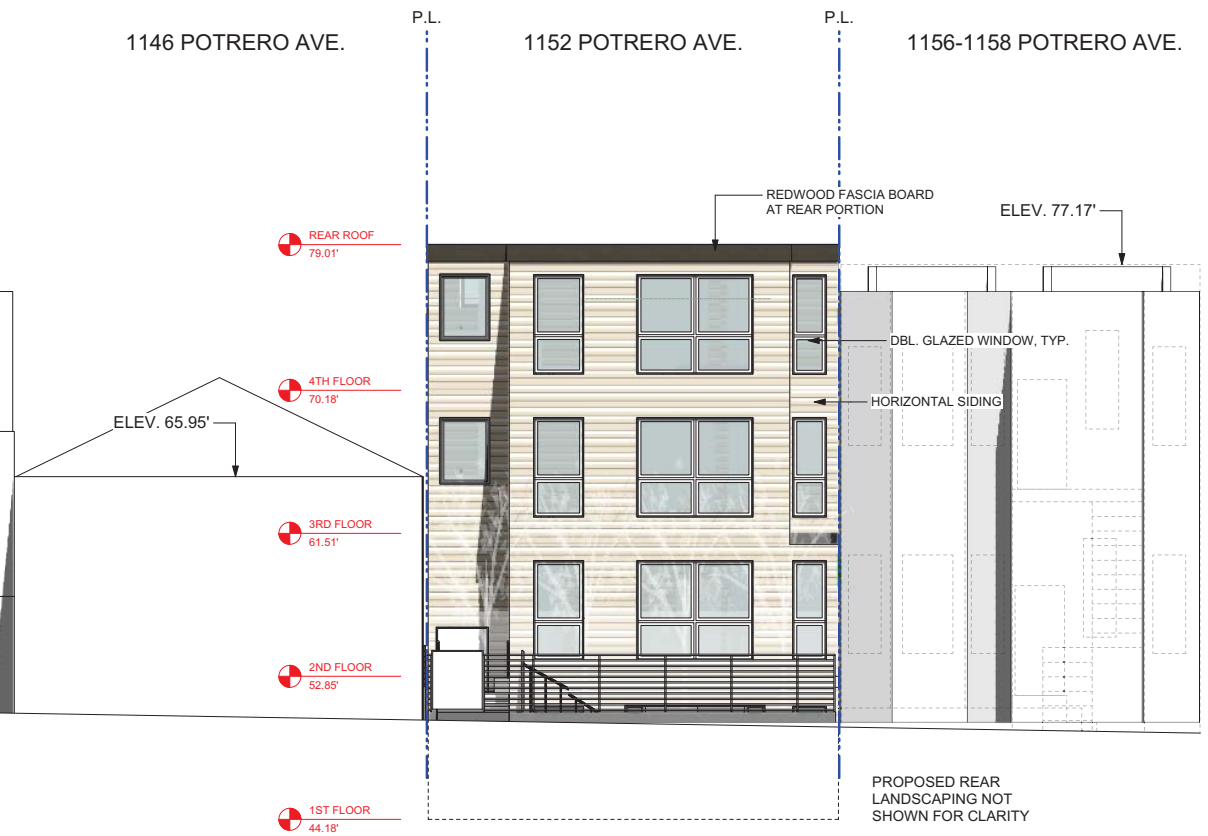
(E) FRONT ELEVATION (EAST)
3/16" = 1'-0"



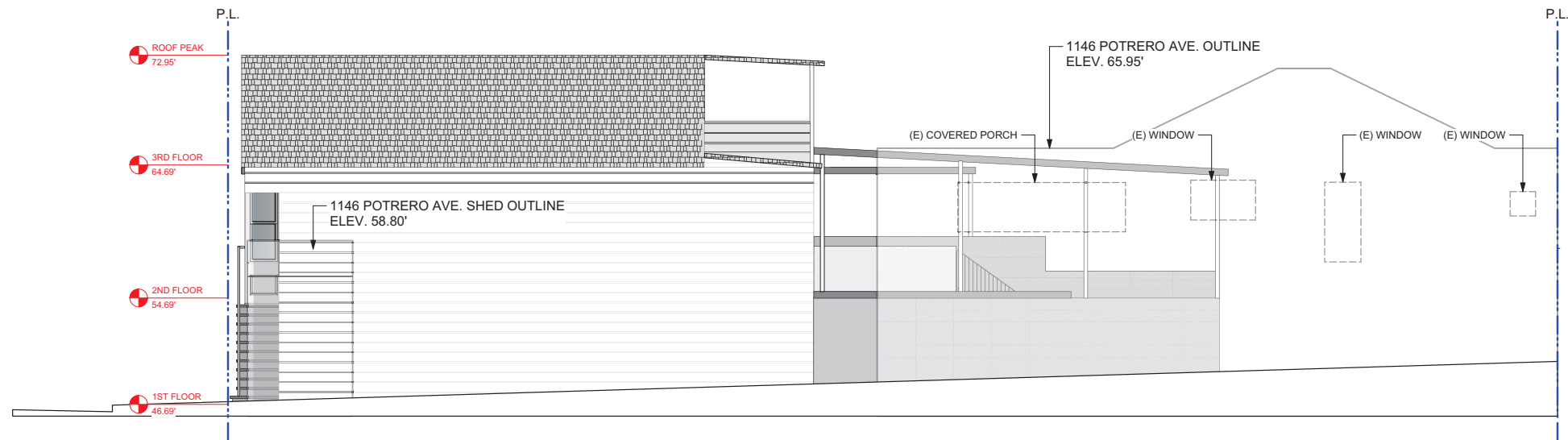
(E) REAR ELEVATION (WEST)
3/16" = 1'-0"



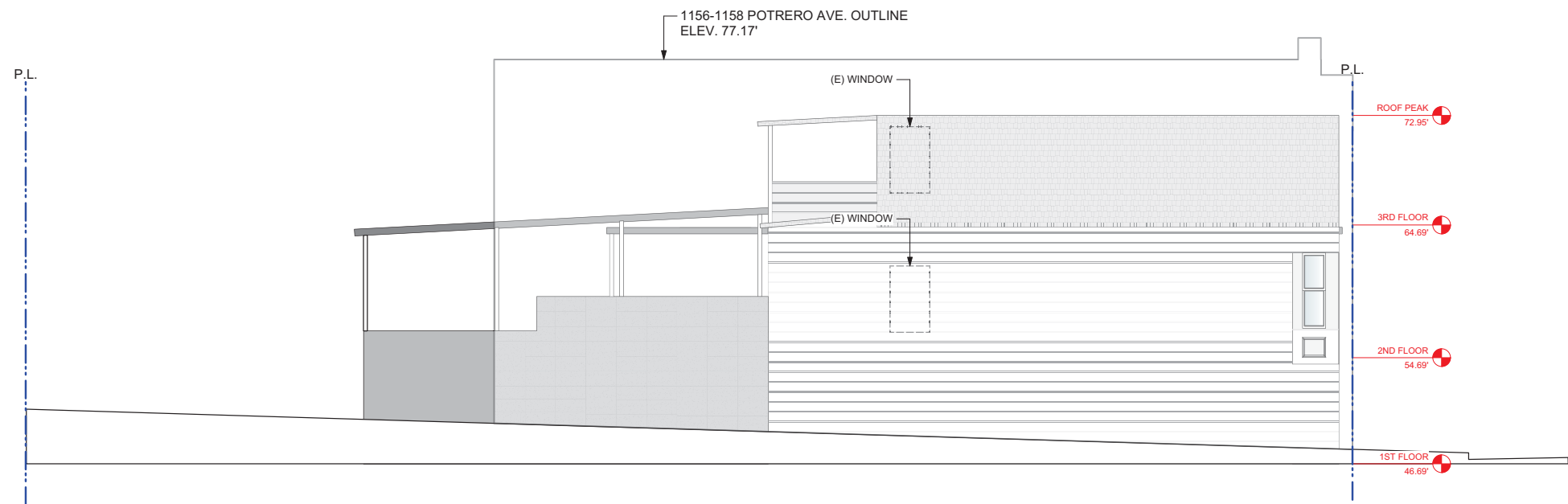
(N) FRONT ELEVATION (EAST)
3/16" = 1'-0"



(N) REAR ELEVATION (WEST)
3/16" = 1'-0"

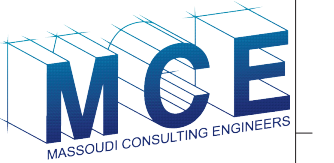


(E) RIGHT ELEVATION (NORTH)
3/16" = 1'-0"



(E) LEFT ELEVATION (SOUTH)
3/16" = 1'-0"

PROJECT NAME
1152 POTRERO AVE.
SAN FRANCISCO, CA



Massoudi Consulting Engineers
205 De Anza Blvd. #109
San Mateo, CA 94402
Tel: (650) 773-5844
Fax: (415) 922-0203

SHEET TITLE

**(E) LEFT AND
RIGHT
ELEVATION**

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ISSUES / REVISIONS

NO.	DATE	DESCRIPTION
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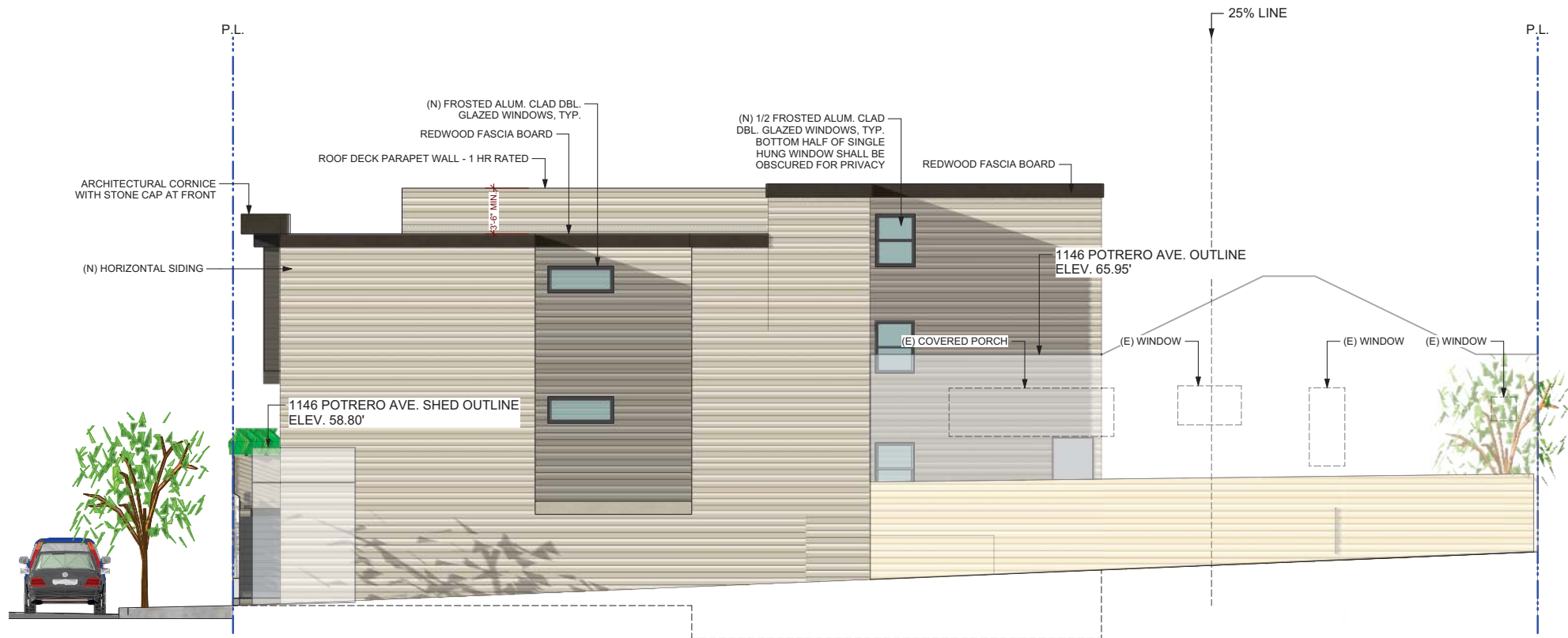
DATE	01/11/2015
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REVISED DATE	09/22/2016
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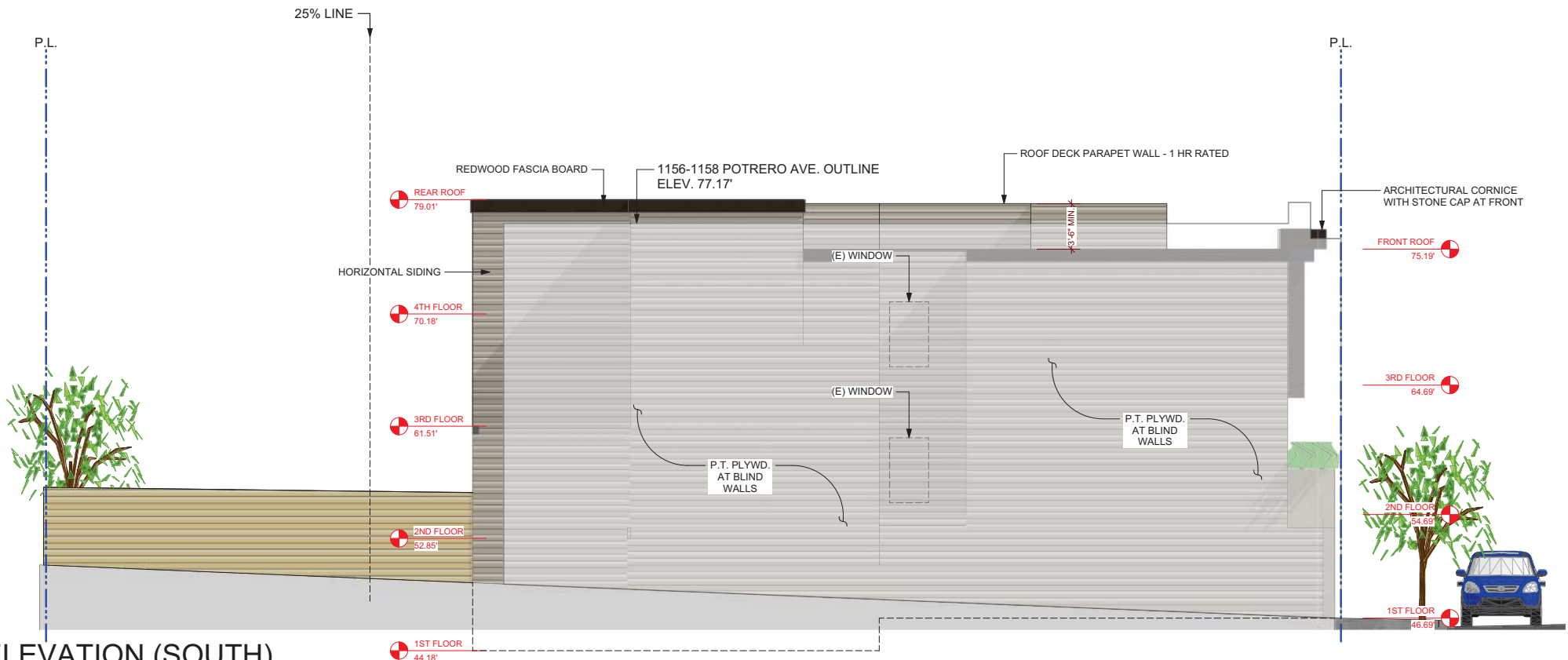
JOB NO.	15.046
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SHEET NO.	
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A-4.1



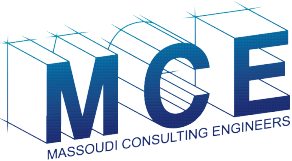
(N) RIGHT ELEVATION (NORTH)
3/16" = 1'-0"



(N) LEFT ELEVATION (SOUTH)
3/16" = 1'-0"

PROJECT NAME

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(N) LEFT AND
RIGHT
ELEVATION

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SHEET NO.

A-4.2

GA FILE NO. WP 8415 **GENERIC** **2 HOUR FIRE**

GYPSUM SHEATHING, GYPSUM WALLBOARD, WOOD STUDS

EXTERIOR SIDE: Base layer 1/4" type X gypsum sheathing applied parallel or at right angles to 2 x 4 wood studs 24" o.c. with 6d coated nails, 1 1/4" long, 0.085" shank, 1/4" heads, 24" o.c. Face layer 1/2" type X gypsum sheathing applied parallel or at right angles to studs with 8d coated nails, 2 1/4" long, 0.100" shank, 1/4" heads, 8" o.c. Exterior cladding attached through sheathing to studs.

INTERIOR SIDE: Base layer 1/4" type X gypsum wallboard or gypsum veneer base applied parallel or at right angles to studs with 6d coated nails, 1 1/4" long, 0.085" shank, 1/4" heads, 24" o.c. Face layer 1/2" type X gypsum wallboard or gypsum veneer base applied parallel or at right angles to studs with 8d coated nails, 2 1/4" long, 0.100" shank, 1/4" heads, 8" o.c.

Joints staggered 24" each layer and side. (LOAD-BEARING)

Thickness: 8 1/4" without exterior cladding
Approx. Weight: 12 psf
Fire Test: See WP 4135 (FM WP 360, 9-27-74)

GA FILE NO. WP 8105 **GENERIC** **1 HOUR FIRE**

GYPSUM WALLBOARD, GYPSUM SHEATHING, WOOD STUDS

EXTERIOR SIDE: One layer 48" wide 1/4" type X gypsum sheathing applied parallel to 2 x 4 wood studs 24" o.c. with 1 1/4" galvanized roofing nails 4" o.c. at vertical joints and 7" o.c. at intermediate studs and top and bottom plates. Joints of gypsum sheathing may be left untreated. Exterior cladding to be attached through sheathing to studs.

INTERIOR SIDE: One layer 1/2" type X gypsum wallboard, water-resistant gypsum backing board, or gypsum veneer base applied parallel or at right angles to studs with 6d coated nails, 1 1/4" long, 0.0915" shank, 1/4" heads, 7" o.c. (LOAD-BEARING)

Thickness: Varies
Approx. Weight: 7 psf
Fire Test: See WP 3510 (UL R3501-47, -48, 9-17-65, UL Design U309; UL R1319-129, 7-22-70, UL Design U314)

GA FILE NO. FC 5109 **PROPRIETARY*** **1 HOUR FIRE** **55 to 59 STC SOUND**

WOOD JOISTS, WOOD STRUCTURAL PANELS, GYPSUM FLOOR TOPPING, RESILIENT CHANNELS, GLASS OR MINERAL FIBER BATT OR LOOSE FILL INSULATION, GYPSUM WALLBOARD

One layer 1/4" proprietary type X gypsum wallboard or gypsum veneer base applied at right angles to resilient furring channels 24" o.c. (16" o.c. when batt insulation is used, 12" o.c. when loose fill insulation is used) with 1" Type S drywall screws 12" o.c. Gypsum board end joints located midway between continuous channels and attached with screws 8" to additional pieces of channel 60" long located 3" back on either side of end joint. Resilient channels applied at right angles to nominal 2 x 10 wood joists spaced a maximum of 24" o.c. with 1 1/4" Type S drywall screws. Glass or mineral fiber batt insulation stapled to subfloor or or loose fill insulation applied directly over gypsum board. Wood joists supporting 1/2" wood structural panel subfloor applied at right angles to joists with construction adhesive and 6d ring shank nails 12" o.c. Minimum 1/4" proprietary gypsum floor topping applied over subfloor.

STC and IIC rated with both joists and resilient channels spaced 16" o.c., 3 1/2" glass fiber insulation in joist spaces, 1/4" proprietary gypsum floor topping poured over 1/4" proprietary sound reduction mat, and with finish flooring of C&P, sheet vinyl, and engineered wood laminate.

PROPRIETARY GYPSUM COMPONENTS

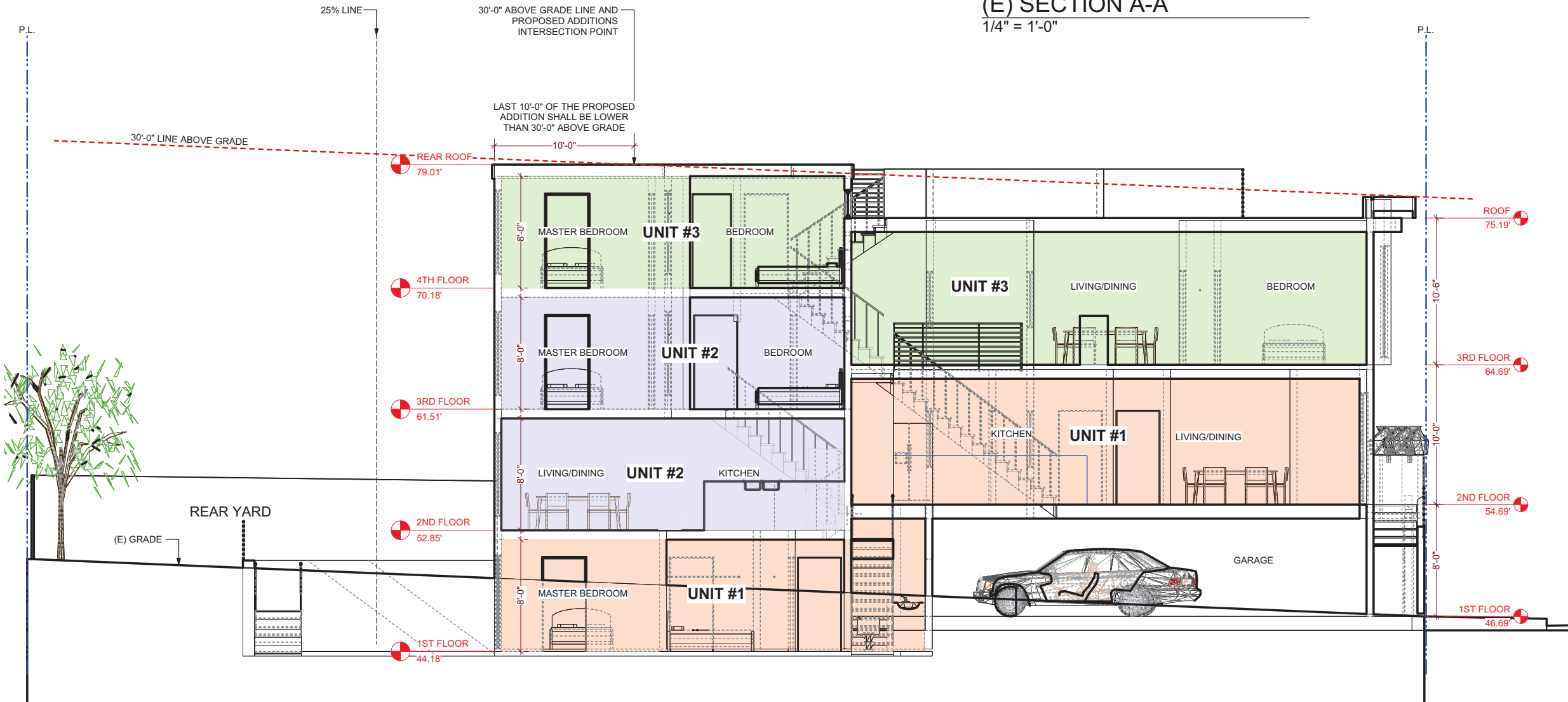
United States Gypsum Company

- 1/4" SHEETROCK® Brand FIRECODE® C
- LEVELROCK® Brand Floor Underlayment

Approx. Ceiling Weight: 3 psf
Fire Test: UL R1319, 05NKO4589, 2-4-05; UL R1319, 05NKO5496, 3-31-05; UL Design L569
Sound Test: RAL TL04-97 & 98, 4-22-04; RAL TL04-99, -100, -101, 4-26-04; RAL TL04-109, 4-30-04
IIC & Test: (73 generic C&P); RAL IN04-010, 4-22-04; (52 cushion sheet vinyl) RAL IN04-011, 4-22-04; (51 engineered wood laminate) RAL IN04-012, 4-26-04; (50 cushion sheet vinyl) RAL IN04-013, 4-26-04; (48 generic sheet vinyl) RAL IN04-014, 4-26-04; (45 cushion sheet vinyl & channels spaced 24" o.c.) RAL IN04-015, 4-30-04



(E) SECTION A-A
1/4" = 1'-0"



(N) SECTION B-B
1/4" = 1'-0"

PROJECT NAME
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SAN FRANCISCO, CA**



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SHEET TITLE

**BUILDING
SECTION AND
FIRE ASSEMBLY
DETAILS**

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ISSUES / REVISIONS

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JOB NO.	15.046
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SHEET NO.

A-5.0

[illegible]



(N) RIGHT ISOMETRIC MODEL
1/8" = 1'-0"



(N) RIGHT REAR ISOMETRIC MODEL
1/8" = 1'-0"



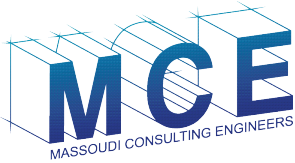
(N) LEFT ISOMETRIC MODEL
1/8" = 1'-0"



(N) LEFT REAR ISOMETRIC MODEL
1/8" = 1'-0"

PROJECT NAME

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SAN FRANCISCO, CA



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San Mateo, CA 94402
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SHEET TITLE

BULK STUDY

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JOB NO.	15.046
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SHEET NO.

A-7.0

Green Building: Site Permit Checklist

BASIC INFORMATION:

These facts, plus the primary occupancy, determine which requirements apply. For details, see AB 093 Attachment A Table 1.

Project Name 1152 POTRERO AVE.	Block/Lot 4211 / 011	Address 1152 POTRERO AVE.
Gross Building Area 4,820 S.F. +/-	Primary Occupancy R-2	Design Professional/Applicant: Sign & Date 09/22/2016
# of Dwelling Units 3	Height to highest occupied floor 32'-4"	Number of occupied floors 4

ALL PROJECTS, AS APPLICABLE	
Construction activity stormwater pollution prevention and site runoff controls - Provide a construction site Stormwater Pollution Prevention Plan and implement SFPUC Best Management Practices.	●
Stormwater Control Plan: Projects disturbing ≥5,000 square feet must implement a Stormwater Control Plan meeting SFPUC Stormwater Design Guidelines	●
Water Efficient Irrigation - Projects that include ≥ 1,000 square feet of new or modified landscape must comply with the SFPUC Water Efficient Irrigation Ordinance.	●
Construction Waste Management – Comply with the San Francisco Construction & Demolition Debris Ordinance	●
Recycling by Occupants: Provide adequate space and equal access for storage, collection and loading of compostable, recyclable and landfill materials. See Administrative Bulletin 088 for details.	●

GREENPOINT RATED PROJECTS	
Proposing a GreenPoint Rated Project (Indicate at right by checking the box.)	
Base number of required Greenpoints:	75
Adjustment for retention / demolition of historic features / building:	
Final number of required points (base number +/- adjustment)	
GreenPoint Rated (i.e. meets all prerequisites)	●
Energy Efficiency: Demonstrate a 15% energy use reduction compared to 2008 California Energy Code, Title 24, Part 6.	●
Meet all California Green Building Standards Code requirements (CalGreen measures for residential projects have been integrated into the GreenPoint Rated system.)	●

Notes

- 1) New residential projects of 75' or greater must use the "New Residential High-Rise" column. New residential projects with >3 occupied floors and less than 75 feet to the highest occupied floor may choose to apply the LEED for Homes Mid-Rise rating system; if so, you must use the "New Residential Mid-Rise" column.
- 2) LEED for Homes Mid-Rise projects must meet the "Silver" standard, including all prerequisites. The number of points required to achieve Silver depends on unit size. See LEED for Homes Mid-Rise Rating System to confirm the base number of points required.
- 3) Requirements for additions or alterations apply to applications received on or after July 1, 2012.

Instructions:

As part of application for site permit, this form acknowledges the specific green building requirements that apply to a project under San Francisco Building Code Chapter 13C, California Title 24 Part 11, and related local codes. **Attachment C3, C4, or C5 will be due with the applicable addendum.** To use the form:

(a) Provide basic information about the project in the box at left. This info determines which green building requirements apply.

AND

(b) Indicate in one of the columns below which type of project is proposed. If applicable, fill in the blank lines below to identify the number of points the project must meet or exceed. A LEED or GreenPoint checklist is not required to be submitted with the site permit application, but such tools are strongly recommended to be used .

Solid circles in the column indicate mandatory measures required by state and local codes. For projects applying LEED or GreenPoint Rated, prerequisites of those systems are mandatory. This form is a summary; see San Francisco Building Code Chapter 13C for details.

LEED PROJECTS						
	New Large Commercial	New Residential Mid-Rise ¹	New Residential High-Rise ¹	Commerical Interior	Commercial Alteration	Residential Alteration
Type of Project Proposed (Indicate at right)						
Overall Requirements:						
LEED certification level (includes prerequisites):	GOLD	SILVER	SILVER	GOLD	GOLD	GOLD
Base number of required points:	60	²	50	60	60	60
Adjustment for retention / demolition of historic features / building:				n/a		
Final number of required points (base number +/- adjustment)				50		
Specific Requirements: (n/r indicates a measure is not required)						
Construction Waste Management – 75% Diversion AND comply with San Francisco Construction & Demolition Debris Ordinance LEED MR 2, 2 points	●	●	●	●	Meet C&D ordinance only	●
15% Energy Reduction Compared to Title-24 2008 (or ASHRAE 90.1-2007) LEED EA 1, 3 points	●	●	●	●	LEED prerequisite only	
Renewable Energy or Enhanced Energy Efficiency Effective 1/1/2012: Generate renewable energy on-site ≥1% of total annual energy cost (LEED EA2), OR Demonstrate an additional 10% energy use reduction (total of 25% compared to Title 24 Part 6 2008), OR Purchase Green-E certified renewable energy credits for 35% of total electricity use (LEED EA6).	●	n/r	n/r	n/r	n/r	n/r
Enhanced Commissioning of Building Energy Systems LEED EA 3	●	Meet LEED prerequisites				
Water Use - 30% Reduction LEED WE 3, 2 points	●	n/r	●	Meet LEED prerequisites		
Enhanced Refrigerant Management LEED EA 4	●	n/r	n/r	n/r	n/r	n/r
Indoor Air Quality Management Plan LEED IEQ 3.1	●	n/r	n/r	n/r	n/r	n/r
Low-Emitting Materials LEED IEQ 4.1, 4.2, 4.3, and 4.4	●	n/r	●	●	●	●
Bicycle parking: Provide short-term and long-term bicycle parking for 5% of total motorized parking capacity each, or meet San Francisco Planning Code Sec 155, whichever is greater, or meet LEED credit SS4.2. (13C.5.106.4)	●	n/r See San Francisco Planning Code 155		●	n/r	n/r
Designated parking: Mark 8% of total parking stalls for low-emitting, fuel efficient, and carpool/van pool vehicles. (13C.5.106.5)	●			●	n/r	n/r
Water Meters: Provide submeters for spaces projected to consume more than 1,000 gal/day, or more than 100 gal/day if in building over 50,000 sq. ft. (13C.5.303.1)	●	n/r	n/r	n/r	n/r	n/r
Air Filtration: Provide at least MERV-8 filters in regularly occupied spaces of mechanically ventilated buildings (or LEED credit IEQ 5). (13C.5.504.5.3)	●	n/r	n/r	●	n/r	n/r
Air Filtration: Provide MERV-13 filters in residential buildings in air-quality hot-spots (or LEED credit IEQ 5). (SF Health Code Article 38 and SF Building Code 1203.5)	n/r	●	●	n/r	n/r	n/r
Acoustical Control: Wall and roof-ceilings STC 50, exterior windows STC 30, party walls and floor-ceilings STC 40. (13C.5.507.4)	●	See CBC 1207		●	n/r	n/r

OTHER APPLICABLE NON-RESIDENTIAL PROJECTS		
Requirements below only apply when the measure is applicable to the project. Code references below are applicable to New Non-Residential buildings. Corresponding requirements for additions and alterations can be found in Title 24 Part 11, Division 5.7. Requirements for additions or alterations apply to applications received July 1, 2012 or after. ³	Other New Non-Residential	Addition >2,000 sq ft OR Alteration >\$500,000 ³
Type of Project Proposed (Check box if applicable)		
Energy Efficiency: Demonstrate a 15% energy use reduction compared to 2008 California Energy Code, Title 24, Part 6. (13C.5.201.1.1)	●	n/r
Bicycle parking: Provide short-term and long-term bicycle parking for 5% of total motorized parking capacity each, or meet San Francisco Planning Code Sec 155, whichever is greater (or LEED credit SS4.2). (13C.5.106.4)	●	●
Fuel efficient vehicle and carpool parking: Provide stall marking for low-emitting, fuel efficient, and carpool/van pool vehicles; approximately 8% of total spaces. (13C.5.106.5)	●	●
Water Meters: Provide submeters for spaces projected to consume >1,000 gal/day, or >100 gal/day if in buildings over 50,000 sq. ft.	●	●
Indoor Water Efficiency: Reduce overall use of potable water within the building by 20% for showerheads, lavatories, kitchen faucets, wash fountains, water closets, and urinals. (13C.5.303.2)	●	●
Commissioning: For new buildings greater than 10,000 square feet, commissioning shall be included in the design and construction of the project to verify that the building systems and components meet the owner's project requirements. (13C.5.410.2) OR for buildings less than 10,000 square feet, testing and adjusting of systems is required.	●	● (Testing & Balancing)
Protect duct openings and mechanical equipment during construction (13C.5.504.3)	●	●
Adhesives, sealants, and caulks: Comply with VOC limits in SCAQMD Rule 1168 VOC limits and California Code of Regulations Title 17 for aerosol adhesives. (13C.5.504.4.1)	●	●
Paints and coatings: Comply with VOC limits in the Air Resources Board Architectural Coatings Suggested Control Measure and California Code of Regulations Title 17 for aerosol paints. (13C.5.504.4.3)	●	●
Carpets: All carpet must meet one of the following: 1. Carpet and Rug Institute Green Label Plus Program 2. California Department of Public Health Standard Practice for the testing of VOCs (Specification 01350) 3. NSF/ANSI 140 at the Gold level 4. Scientific Certifications Systems Sustainable Choice AND Carpet cushion must meet CRI Green Label, AND Carpet adhesive must not exceed 50 g/L VOC content. (13C.5.504.4.4)	●	●
Composite wood: Meet CARB Air Toxics Control Measure for Composite Wood (13C.5.504.4.5)	●	●
Resilient flooring systems: For 50% of floor area receiving resilient flooring, install resilient flooring complying with the VOC-emission limits defined in the 2009 Collaborative for High Performance Schools (CHPS) criteria or certified under the Resilient Floor Covering Institute (RFCI) FloorScore program. (13C.5.504.4.6)	●	●
Environmental Tobacco Smoke: Prohibit smoking within 25 feet of building entries, outdoor air intakes, and operable windows. (13C.5.504.7)	●	●
Air Filtration: Provide at least MERV-8 filters in regularly occupied spaces of mechanically ventilated buildings. (13C.5.504.5.3)	●	Limited exceptions. See CA T24 Part 11 Section 5.714.6
Acoustical Control: Wall and roof-ceilings STC 50, exterior windows STC 30, party walls and floor-ceilings STC 40. (13C.5.507.4)	●	● See CA T24 Part 11 Section 5.714.7
CFCs and Halons: Do not install equipment that contains CFCs or Halons. (13C.5.508.1)	●	●
Additional Requirements for New A, B, I, OR M Occupancy Projects 5,000 - 25,000 Square Feet		
Construction Waste Management – Divert 75% of construction and demolition debris AND comply with San Francisco Construction & Demolition Debris Ordinance.	●	Meet C&D ordinance only
Renewable Energy or Enhanced Energy Efficiency Effective January 1, 2012: Generate renewable energy on-site equal to ≥1% of total annual energy cost (LEED EA2), OR demonstrate an additional 10% energy use reduction (total of 25% compared to Title 24 Part 6 2008), OR purchase Green-E certified renewable energy credits for 35% of total electricity use (LEED EA6).	●	n/r

PROJECT NAME

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SHEET TITLE

GREEN BUILDING: SITE PERMIT CHECKLIST

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ISSUES / REVISIONS

NO.	DATE	DESCRIPTION
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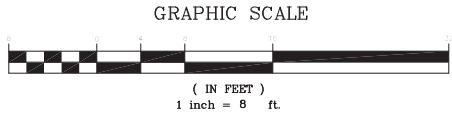
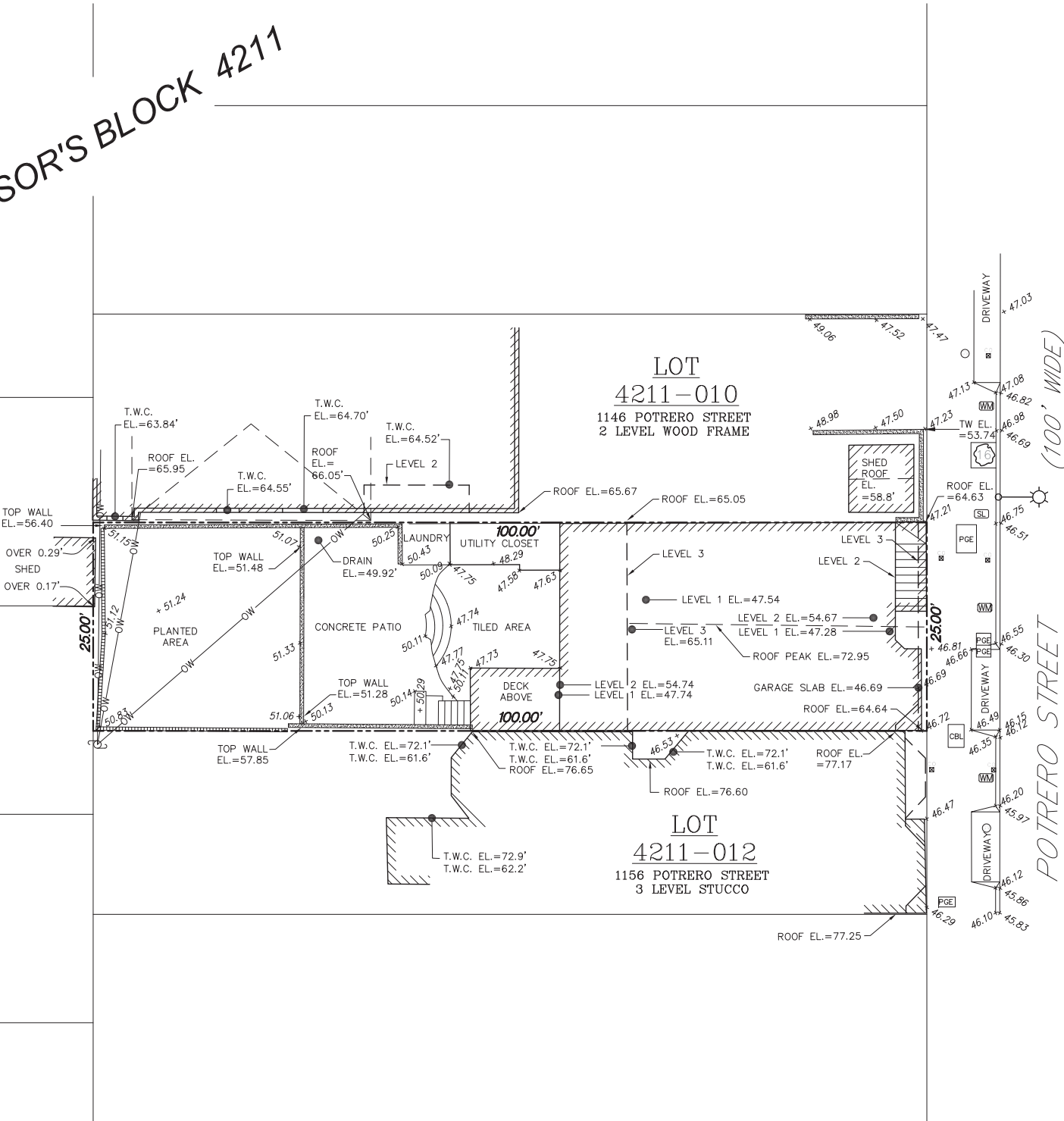
SHEET NO.

G-0.1

ASSESSOR'S BLOCK 4211

LOT
4211-023
1121 HAMPSHIRE STREET

LOT
4211-022
1123 HAMPSHIRE STREET



- LEGEND**
- PROPERTY LINE
 - WM WATER METER
 - PGE PG&E BOX
 - CBL CABLE/TV BOX
 - SL STREET LIGHT BOX
 - GAS VALVE
 - SEWER CLEANOUT
 - SEWER MANHOLE
 - CONCRETE WALL
 - BUILDING FOOTPRINT
 - WOOD FENCE
 - TREE WITH DIA.
 - STREET LIGHT
 - JOINT POLE
 - OW OVER WIRES
 - T.W.C. TOP OF WINDOW CASING
 - TW TOP OF WALL

- GENERAL NOTES**
- All distances are in decimal feet unless otherwise noted.
 - All angles are at 90° unless otherwise noted.
 - This map represents the site conditions on date of field survey. January 20, 2015.
 - Elevations are based upon San Francisco City Datum.

SURVEYOR'S STATEMENT
This map correctly represents a survey made by me at the request of the Rod Massoudi in January of 2015.

Daniel J. Westover, P.L.S. 7779
License expiration: 12/31/17

Date: 12/01/2015



336 CLAREMONT BLVD. STE 2
SAN FRANCISCO, CA 94127
(415) 242-5400
www.westoversurveying.com

WS
WESTOVER
SURVEYING

NO.	DATE	COMMENTS	JOB NO.
15003			15003

DRAWN BY: SA
CHECKED BY: DJW
DATE: 07/08/14
SCALE: 1"=8'

SITE SURVEY
1152 POTRERO STREET
LOT 011 OF ASSESSOR'S BLOCK 4211,
CITY AND COUNTY OF SAN FRANCISCO, CALIFORNIA

~SHEET~
1 OF 1