



SAN FRANCISCO PLANNING DEPARTMENT

Discretionary Review Abbreviated Analysis

HEARING DATE: JUNE 2, 2016

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Date: May 23, 2016
Case No.: **2015-002632DRP&VAR-02**
Project Address: **1152 POTRERO AVENUE**
Permit Application: 2015.02.24.9220
Zoning: RH-3 (Residential House, Three Family)
55-X Height and Bulk District
Block/Lot: 4211/011
Project Sponsor: Rod Massoudi, P.E.
Massoudi Consulting Engineers
205 De Anza Blvd. #109
San Mateo, CA 94402
Staff Contact: Jeffrey Speirs – (415) 575-9106
jeffrey.speirs@sfgov.org
Recommendation: **Do not take DR and approve as proposed**

PROJECT DESCRIPTION

The proposed project is a front addition, a rear addition, and a vertical addition to an existing two-story (w/ attic) single-family dwelling. The proposed building will be 4 stories and 40 feet in height, with fourth floor setback of 15 feet. The rear yard is 66 feet 8 inches deep, with setback of 10 feet at the third floor. A side setback of 3 feet at the rear is provided on the north side. Additional work includes front façade changes, a roof deck, and interior work. The proposed project will require a Variance Hearing (2015-002632VAR2) for the expansion within the front setback, which will be held jointly with the Discretionary Review Hearing.

SITE DESCRIPTION AND PRESENT USE

The property at 1152 Potrero Avenue is located on the west side of the subject block between 23rd and 24th Streets. The property has 25 feet of frontage along Potrero Avenue with a lot depth of 100 feet, and is currently developed by a two-story (with attic) single-family dwelling constructed in 1907. The slope is slightly upsloping from front to back. The property is within an RH-3 (Residential, House, Three Family) Zoning District with a 55-X Height and Bulk designation.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

The majority of the subject block is in the RH-3 (Residential, House, Three Family) Zoning District, north of the 24th Street Mission Neighborhood Commercial Transit Zoning District. The architectural character of the subject block is mixed. On the subject block and opposite block-face, the majority of the buildings are two to three stories, with densities ranging from single-family to five-family dwellings. The properties to the immediate south of the subject property are three stories, with a three and a half story building at 1166-1168 Potrero Avenue. To the north, the adjacent properties are two and three stories. The directly

adjacent property to the north has a dwelling located at the rear of the property, and is considered an anomaly on the block.

ISSUES AND CONSIDERATIONS

Prior to the Request for Discretionary Review, the Project was code-complying and no variances were required. In response to the concerns mentioned in the Discretionary Review application, the Project Sponsor revised the Project. To reduce the massing at the rear, a portion of useable floor area at the third level was shifted to the front of the building. The additional massing at the front is within the required front setback; therefore, a variance is required.

BUILDING PERMIT NOTIFICATION

TYPE	REQUIRED PERIOD	NOTIFICATION DATES	DR FILE DATE	DR HEARING DATE	FILING TO HEARING TIME
311/312 Notice	30 days	January 6, 2016 – February 5, 2016 May 11, 2016 – May 26, 2016	January 29, 2016	June 2, 2016	126 days

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Posted Notice	10 days	May 23, 2016	May 10, 2016	24 days
Mailed Notice	10 days	May 23, 2016	May 13, 2016	21 days

PUBLIC COMMENT

	SUPPORT	OPPOSED	NO POSITION
Adjacent neighbor(s)	0	0	0
Other neighbors on the block or directly across the street	0	1	0
Neighborhood groups	0	0	0

A neighbor across the street was concerned the views of Sutro Tower and Twin Peaks would be blocked. See attached letter.

DR REQUESTOR

The DR Requestor is Jesus Gomez. Jesus Gomez owns the property at 1136 Potrero Avenue, three properties to the north of the subject property.

DR REQUESTOR’S CONCERNS AND PROPOSED ALTERNATIVES

See attached *Discretionary Review Application*, dated January 29, 2016.

PROJECT SPONSOR'S RESPONSE TO DR APPLICATION

See attached *Response to Discretionary Review*, dated May 18, 2016.

ENVIRONMENTAL REVIEW

The Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15301 (Class One - Minor Alteration of Existing Facility, (e) Additions to existing structures provided that the addition will not result in an increase of more than 10,000 square feet).

RESIDENTIAL DESIGN TEAM REVIEW

A Residential Design Team (RDT) meeting was held on April 7th, 2016, in response to the Request for Discretionary Review. Prior to the meeting, the Project Sponsor revised plans to address the DR Requestor's concerns. The RDT reviewed the DR Requestors' concerns, and analyzed the revised plans to address those concerns specifically. RDT's comments include:

- The proposed volume and rear yard are appropriate in response to the existing non-conforming property to the north and other neighboring properties.
- The dimensions and configuration of the project provide an appropriate rear yard.
- The materials and configuration of the proposal are consistent with the prevailing neighborhood pattern and the light well and windows proposed provide appropriate relief to a property line side wall condition.
- The mass as proposed is further reduced from the prior proposal and is appropriate.
- The existing property is a Category C (non-historic, non-contributing) and the residential materials and proportions proposed are appropriate.
- A flat roof is provided and the fourth floor is set back from the street to be subordinate to the main building volume. Project is on a very wide street that supports taller structures, and other properties on the block face are four stories and three tall stories, higher at the sidewalk than the proposed project.

RDT finds that the project is neither extraordinary nor exceptional and recommends an Abbreviated DR.

Under the Commission's pending DR Reform Legislation, this project would not be referred to the Commission as this project does not contain or create any exceptional or extraordinary circumstances.

RECOMMENDATION: Do not take DR and approve project as proposed
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Attachments:

Block Book Map
Sanborn Map
Zoning Map
Aerial Photographs
Context Photographs

Section 311 Notice
DR Application
Response to DR Application dated May 18, 2016
Environmental Review
Letters from the Public
Reduced Plans

JS: G:\Documents\DRs\1152 Potrero Avenue\DR Analysis - Abbreviated.doc

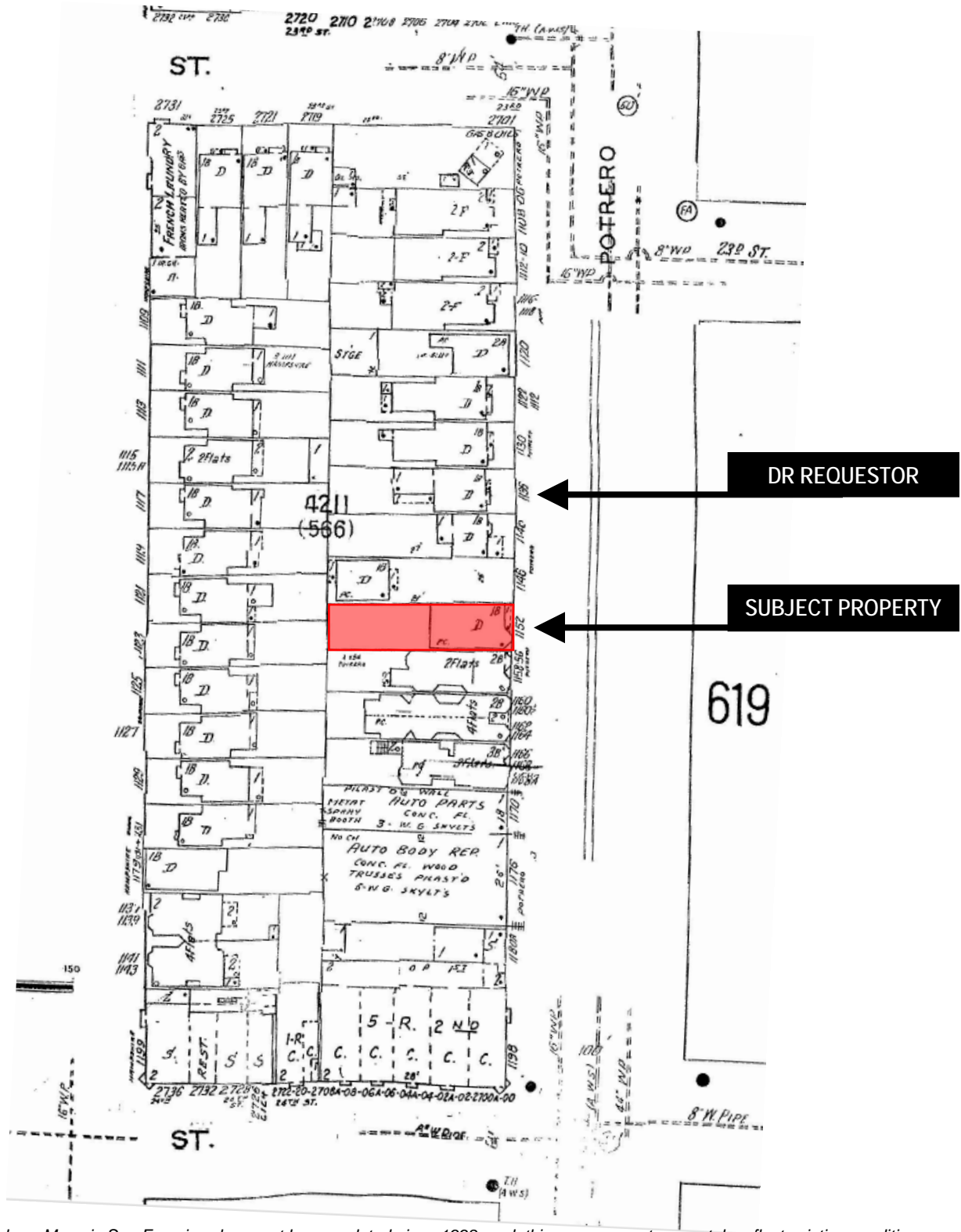
Parcel Map



Discretionary Review Hearing
 June 2, 2016
 Case Number 2015-002632DRP
 1152 Potrero Avenue



Sanborn Map*



*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.

Discretionary Review Hearing
 June 2, 2016
 Case Number 2015-002632DRP
 1152 Potrero Avenue



Aerial Photo



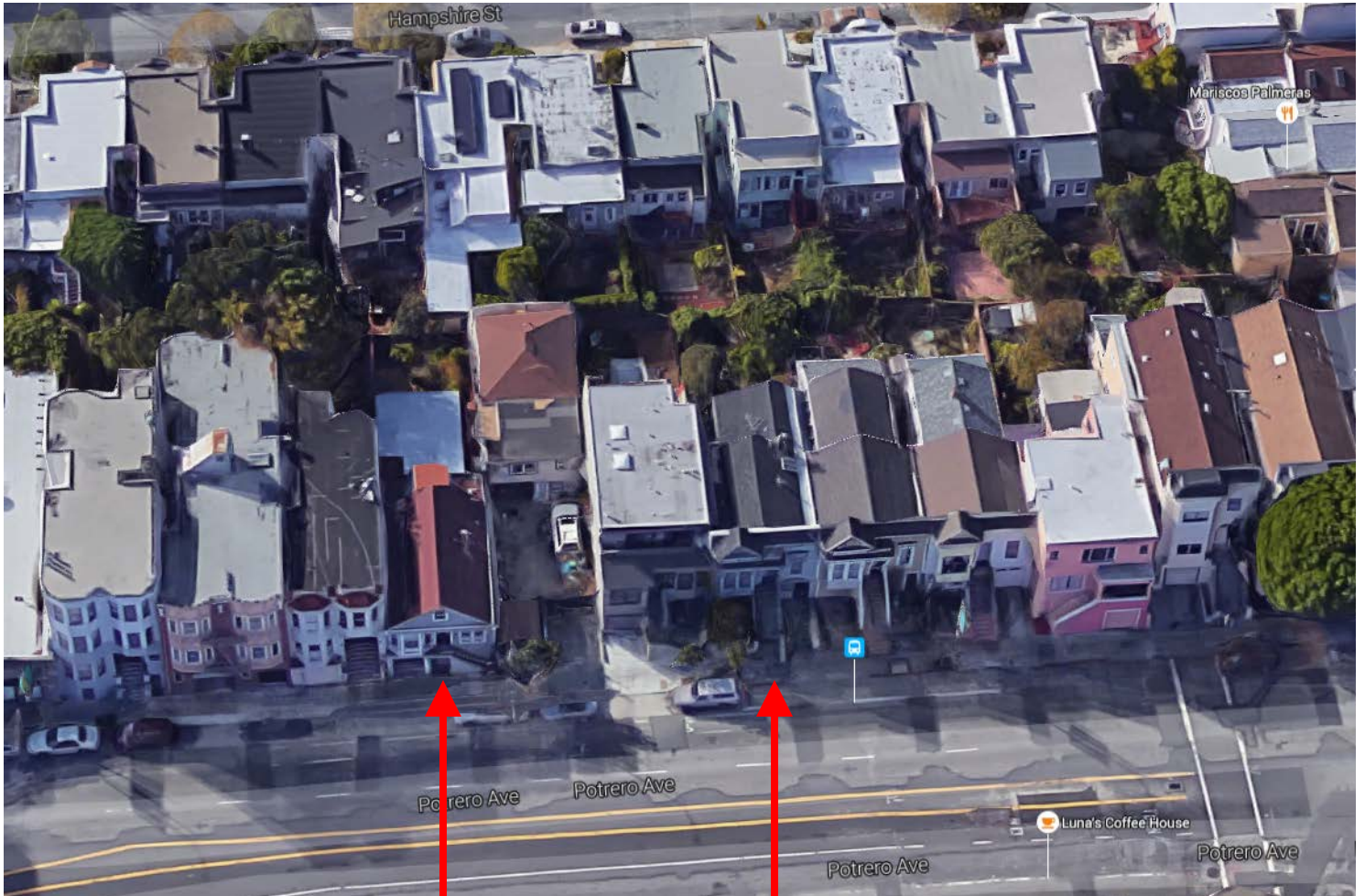
DR REQUESTOR

SUBJECT PROPERTY



Discretionary Review Hearing
June 2, 2016
Case Number 2015-002632DRP
1152 Potrero Avenue

Aerial Photo



SUBJECT PROPERTY

DR REQUESTOR

Discretionary Review Hearing
June 2, 2016
Case Number 2015-002632DRP
1152 Potrero Avenue



Aerial Photo

DR REQUESTOR

SUBJECT PROPERTY



Zoning Map



Discretionary Review Hearing
June 2, 2016
Case Number 2015-002632DRP
1152 Potrero Avenue

Site Photo



SUBJECT PROPERTY

Discretionary Review Hearing
June 2, 2016
Case Number 2015-002632DRP
1152 Potrero Avenue

Site Photo



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Site Photo



SUBJECT PROPERTY

Discretionary Review Hearing
June 2, 2016
Case Number 2015-002632DRP
1152 Potrero Avenue



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311)

On **March 03, 2015**, the Applicant named below filed Building Permit Application No. **201502249220** with the City and County of San Francisco.

PROPERTY INFORMATION		APPLICANT INFORMATION	
Project Address:	1152 POTRERO AVE	Applicant:	Rod Massoudi
Cross Street(s):	24th Street	Address:	205 De Anza Blvd #109
Block/Lot No.:	4211 / 011	City, State Zip:	San Mateo, CA 94402
Zoning District(s):	RH-3 - Residential- House, Three Family / 55-X	Telephone:	(650) 773-5844

You are receiving this notice as a property owner or resident within 150 feet of the proposed project. You are not required to take any action. For more information about the proposed project, or to express concerns about the project, please contact the Applicant listed above or the Planner named below as soon as possible. If you believe that there are exceptional or extraordinary circumstances associated with the project, you may request the Planning Commission to use its discretionary powers to review this application at a public hearing. Applications requesting a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown below, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

PROJECT SCOPE		
<input type="checkbox"/> Demolition	<input type="checkbox"/> New Construction	<input type="checkbox"/> Alteration
<input type="checkbox"/> Change of Use	<input checked="" type="checkbox"/> Façade Alteration(s)	<input type="checkbox"/> Front Addition
<input checked="" type="checkbox"/> Rear Addition	<input type="checkbox"/> Side Addition	<input checked="" type="checkbox"/> Vertical Addition
PROJECT FEATURES	EXISTING	PROPOSED
Building Use	Single Family Dwelling	Three Family Dwelling
Front Setback	0 feet	No Change
Side Setbacks	0 feet	No Change
Building Depth	+/- 63 feet	73 feet 8 inches
Rear Yard	+/- 37 feet (to 1 st floor roof)	33 feet 4 inches
Building Height	+/- 22 feet (to midpoint of peak)	40 feet (to midpoint of peak)
Number of Stories	2 w/ Attic	4
Number of Dwelling Units	1	3
Number of Parking Spaces	1	2
PROJECT DESCRIPTION		
HORIZONTAL & VERTICAL ADDITION TO CONVERT EXISTING SINGLE HOME TO 3 UNIT APARTMENT BUILDING WITH TWO CAR GARAGE.		
The issuance of the building permit by the Department of Building Inspection or the Planning Commission project approval at a discretionary review hearing would constitute as the Approval Action for the project for the purposes of CEQA, pursuant to Section 31.04(h) of the San Francisco Administrative Code.		

For more information, please contact Planning Department staff:

Planner: Jeffrey Speirs
 Telephone: (415) 575-9106
 E-mail: jeffrey.speirs@sfgov.org

Notice Date:
 Expiration Date:

中文詢問請電: (415) 575-9010

Para información en Español llamar al: (415) 575-9010

GENERAL INFORMATION ABOUT PROCEDURES

Reduced copies of the proposed project plans have been included in this mailing for your information. If you have questions about the plans, please contact the project Applicant listed on the front of this notice. You may wish to discuss the plans with your neighbors or neighborhood association, as they may already be aware of the project. If you have general questions about the Planning Department's review process, please contact the Planning Information Center at 1660 Mission Street, 1st Floor (415/ 558-6377) between 8:00am - 5:00pm Monday-Friday. If you have specific questions about the proposed project, you should contact the planner listed on the front of this notice.

If you believe that the impact on you from the proposed project is significant and you wish to seek to change the project, there are several procedures you may use. **We strongly urge that steps 1 and 2 be taken.**

1. Request a meeting with the project Applicant to get more information and to explain the project's impact on you.
2. Contact the nonprofit organization Community Boards at (415) 920-3820, or online at www.communityboards.org for a facilitated discussion in a safe and collaborative environment. Community Boards acts as a neutral third party and has, on many occasions, helped reach mutually agreeable solutions.
3. Where you have attempted, through the use of the above steps or other means, to address potential problems without success, please contact the planner listed on the front of this notice to discuss your concerns.

If, after exhausting the procedures outlined above, you still believe that exceptional and extraordinary circumstances exist, you have the option to request that the Planning Commission exercise its discretionary powers to review the project. These powers are reserved for use in exceptional and extraordinary circumstances for projects which generally conflict with the City's General Plan and the Priority Policies of the Planning Code; therefore the Commission exercises its discretion with utmost restraint. This procedure is called Discretionary Review. If you believe the project warrants Discretionary Review by the Planning Commission, **you must file a Discretionary Review application prior to the Expiration Date shown on the front of this notice.** Discretionary Review applications are available at the Planning Information Center (PIC), 1660 Mission Street, 1st Floor, or online at www.sfplanning.org. You must submit the application in person at the Planning Information Center (PIC) between 8:00am - 5:00pm Monday-Friday, with all required materials and a check payable to the Planning Department. To determine the fee for a Discretionary Review, please refer to the Planning Department Fee Schedule available at www.sfplanning.org. If the project includes multiple building permits, i.e. demolition and new construction, a **separate request for Discretionary Review must be submitted, with all required materials and fee, for each permit that you feel will have an impact on you.**

Incomplete applications will not be accepted.

If no Discretionary Review Applications have been filed within the Notification Period, the Planning Department will approve the application and forward it to the Department of Building Inspection for its review.

BOARD OF APPEALS

An appeal of the Planning Commission's decision on a Discretionary Review case may be made to the **Board of Appeals within 15 calendar days after the building permit is issued** (or denied) by the Department of Building Inspection. Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

ENVIRONMENTAL REVIEW

This project has undergone preliminary review pursuant to California Environmental Quality Act (CEQA). If, as part of this process, the Department's Environmental Review Officer has deemed this project to be exempt from further environmental review, an exemption determination has been prepared and can be obtained through the Exemption Map, on-line, at www.sfplanning.org. An appeal of the decision **to exempt the proposed project from CEQA may be made to the Board of Supervisors within 30 calendar days** after the project approval action identified on the determination. The procedures for filing an appeal of an exemption determination are available from the Clerk of the Board at City Hall, Room 244, or by calling (415) 554-5184. Under CEQA, in a later court challenge, a litigant may be limited to raising only those issues previously raised at a hearing on the project or in written correspondence delivered to the Board of Supervisors, Planning Commission, Planning Department or other City board, commission or department at, or prior to, such hearing, or as part of the appeal hearing process on the CEQA decision.



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Number of Stories	2 w/ Attic	4
Number of Dwelling Units	1	3
Number of Parking Spaces	1	2
PROJECT DESCRIPTION		
<p>The proposed project is a front addition, a rear addition, and a vertical addition to an existing two-story (w/ attic) single-family dwelling. The existing single-family dwelling is on a slightly up-sloping lot with dimensions of 25 feet wide and 100 feet deep. The proposed building will be 4 stories and 40 feet in height, with fourth floor setback of 15 feet. The rear yard is 66 feet 8 inches deep, with setback of 10 feet at the third floor. A side setback of 3 feet at the rear is provided on the north side. Additional work includes front façade changes, a roof deck, and interior work. The proposed project will require a Variance Hearing which will be held jointly with the Discretionary Review Hearing, which is tentatively scheduled for June 2nd, 2016, as case numbers 2015-002632DRP and 2015-002632VAR2. See attached plans. The issuance of the building permit by the Department of Building Inspection or the Planning Commission project approval at a discretionary review hearing would constitute as the Approval Action for the project for the purposes of CEQA, pursuant to Section 31.04(h) of the San Francisco Administrative Code.</p>		

For more information, please contact Planning Department staff:

Planner: Jeffrey Speirs
 Telephone: (415) 575-9106
 E-mail: jeffrey.speirs@sfgov.org

Notice Date:
Expiration Date:

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3. Where you have attempted, through the use of the above steps or other means, to address potential problems without success, please contact the planner listed on the front of this notice to discuss your concerns.

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Incomplete applications will not be accepted.

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BOARD OF APPEALS

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ENVIRONMENTAL REVIEW

This project has undergone preliminary review pursuant to California Environmental Quality Act (CEQA). If, as part of this process, the Department's Environmental Review Officer has deemed this project to be exempt from further environmental review, an exemption determination has been prepared and can be obtained through the Exemption Map, on-line, at www.sfplanning.org. An appeal of the decision **to exempt the proposed project from CEQA may be made to the Board of Supervisors within 30 calendar days** after the project approval action identified on the determination. The procedures for filing an appeal of an exemption determination are available from the Clerk of the Board at City Hall, Room 244, or by calling (415) 554-5184. Under CEQA, in a later court challenge, a litigant may be limited to raising only those issues previously raised at a hearing on the project or in written correspondence delivered to the Board of Supervisors, Planning Commission, Planning Department or other City board, commission or department at, or prior to, such hearing, or as part of the appeal hearing process on the CEQA decision.

RECEIVED

Application for Discretionary Review

CASE NUMBER:
For Staff Use only

2015-0024632DRP

JAN 29 2015

APPLICATION FOR CITY & COUNTY OF SAN FRANCISCO PLANNING DEPARTMENT P.I.C. Discretionary Review

1. Owner/Applicant Information

DR APPLICANT'S NAME:
Jesus Gomez

DR APPLICANT'S ADDRESS:
325 Ney St, San Francisco, CA

ZIP CODE:
94112

TELEPHONE:
(415) 307-9790

PROPERTY OWNER WHO IS DOING THE PROJECT ON WHICH YOU ARE REQUESTING DISCRETIONARY REVIEW NAME:
NRJ Investments LLC

ADDRESS:
116 Starlite Dr, San Mateo, CA

ZIP CODE:
94402

TELEPHONE:
(650) 773-5844

CONTACT FOR DR APPLICATION:

Same as Above same as above

ADDRESS:

ZIP CODE:

TELEPHONE:
()

E-MAIL ADDRESS:

2. Location and Classification

STREET ADDRESS OF PROJECT:
1152 Potrero Ave, San Francisco, CA

ZIP CODE:
94110

CROSS STREETS:
Between 24th & 23rd Streets

ASSESSORS BLOCK/LOT:
4211 / 011

LOT DIMENSIONS:
25X100

LOT AREA (SQ FT):
2495

ZONING DISTRICT:
RH-3

HEIGHT/BULK DISTRICT:
55-X

3. Project Description

Please check all that apply

Change of Use Change of Hours New Construction Alterations Demolition Other

Additions to Building: Rear Front Height Side Yard
Single Family Dwelling

Present or Previous Use:

Three Family Dwelling

Proposed Use:

Building Permit Application No. 201502249220

Date Filed: 1/29/16

4. Actions Prior to a Discretionary Review Request

Prior Action	YES	NO
Have you discussed this project with the permit applicant?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you discuss the project with the Planning Department permit review planner?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you participate in outside mediation on this case?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

5. Changes Made to the Project as a Result of Mediation

If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes there were made to the proposed project.

Planner has taken a hands-off approach to our concerns and advised us to work with Project Sponsor. Project Sponsor sent an email 1/28/16 offering to plant trees in the back yard and take 5 feet off the top of the building. We consider this a half-hearted attempt to address our concerns and minimizes the great pains we took to explain our objections to the proposal.

Discretionary Review Request

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.

* Does not adhere to the second of the eight Priority Policies that existing housing and neighborhood character be conserved and protected...

* Proposal is grossly out of scale for this mid-block location and shows total disregard for the negative impact to the surrounding two-story single family homes on the West and North side of the proposal.

* The home adjacent to the proposed building on the North side is set back on the lot therefore this proposal will be an unsightly monolith visible from the public right-of-way on Potrero Ave.

* Project Sponsor is proposing a de facto demolition of an intact 1907- built home.

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how:

See attached Addendum

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

We would request the single family home be expanded in a reasonable manner in order to preserve the neighborhood character. This block is made up of mostly single family homes built in the 1880's and 1890's with a mix of single family homes at mid block and multi family homes at the corners.

A second alternative would be to scale down the proposal to a maximum of three stories with a fire rated flat roof, rear set backs on the second and third floors, and a five foot side set back where 1146 Potrero (the adjacent home to the North) overlaps with proposed building.

Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: The other information or applications may be required.

Signature: Jesus Gomez

Date: 1/29/16

Print name, and indicate whether owner, or authorized agent:

Jesus Gomez-Owner 1136 Potrero Ave
Owner / Authorized Agent (circle one)

Addendum to DR

1152 Potrero Ave
Permit Application # 201502249220

The proposed project will cast shadows for a significant part of the day on the yards and structures of homes directly behind on Hampshire St, causing a negative effect on the vegetation and enjoyment of their property's as well as promote mold and mildew.

1146 Potrero Ave, the home adjacent to the proposal on the North side, will be the most negatively impacted as it is set back on the lot. The proposed building will cast a permanent shadow on the entire home depriving it of direct sunlight it will promote mold mildew and accelerated deterioration.

The homes surrounding the proposed building to the West and North side are one-story over garage with flat roofs, or in the case of 1146 Potrero Ave, two stories. All are modest in height and would be eclipsed literally and figuratively. Consider the terrible impression and negative impact such a large, intrusive structure will have on the residents and guests attempting to enjoy the outdoor space of the smaller homes adjacent to this project.

The proposal will eliminate the lovely 1907-built single family Edwardian home that has been part of the mid block area of our street for over 108 years. It will create an eye sore that does not match the historic nature of our block or the character of our neighborhood.

San Francisco is known world wide for its turn-of-the-century architecture, not unsightly monoliths. If we allow this obviously historic home to disappear we will all be adversely affected, except the speculator that is only concerned with maximum profit.

Discretionary Review Application Submittal Checklist

Applications submitted to the Planning Department must be accompanied by this checklist and all required materials. The checklist is to be completed and **signed by the applicant or authorized agent.**

REQUIRED MATERIALS (please check correct column)	DR APPLICATION
Application, with all blanks completed	<input checked="" type="checkbox"/>
Address labels (original), if applicable	<input checked="" type="checkbox"/>
Address labels (copy of the above), if applicable	<input checked="" type="checkbox"/>
Photocopy of this completed application	<input checked="" type="checkbox"/>
Photographs that illustrate your concerns	<input type="checkbox"/>
Covenant or Deed Restrictions	<input type="checkbox"/>
Check payable to Planning Dept.	<input checked="" type="checkbox"/>
Letter of authorization for agent	<input type="checkbox"/> N/A
Other: Section Plan, Detail drawings (i.e. windows, door entries, trim), Specifications (for cleaning, repair, etc.) and/or Product cut sheets for new elements (i.e. windows, doors)	<input type="checkbox"/>

NOTES:
 Required Material.
 Optional Material.
 Two sets of original labels and one copy of addresses of adjacent property owners and owners of property across street.

RECEIVED

JAN 29 2016

CITY & COUNTY OF S.F.
 PLANNING DEPARTMENT
 P.I.C.

For Department Use Only

Application received by Planning Department:

By: Kurt Botn

Date: 1/29/16

REUBEN, JUNIUS & ROSE, LLP

May 19, 2016

Delivered via Messenger

President Rodney Fong
San Francisco Planning Commission
1650 Mission Street, Suite 400
San Francisco, CA 94103

Re: 1152 Potrero Avenue (4211/011)
Brief in Opposition of a DR Request
Planning Department Case No. 2015.002632DRP/V
Hearing Date: June 6, 2016
Our File No.: 10187.01

Dear President Fong and Commissioners:

Our office represents NRJ Investments LLC (“**Project Sponsor**”), the owners of the property at 1152 Potrero Avenue, (“**Property**”). We write regarding Discretionary Review 2015.002632DRP on Building Permit No. 2015.0224.9220 and respectfully request that the Planning Commission not take discretionary review and approve the permit as proposed. The proposal is for the construction of a horizontal and vertical addition, redesign of the facades, and the addition of two dwelling units to the existing single-family dwelling (“**Project**”).

A Discretionary Review (DR) request was filed by Jesus Gomez (“**DR Requestor**”), who owns the rental property at 1136 Potrero Avenue, located three lots to the north of the subject Property.

The DR request should be denied and the Project approved as designed because:

- No exceptional or extraordinary circumstances have been established that would justify taking of DR;
- The DR requests would unreasonably restrict development at the Property, as the current Project does not maximize the allowable buildable area of the lot; rather, it has been designed to minimize its impact on the adjacent properties. The Property is

James A. Reuben | Andrew J. Junius | Kevin H. Rose | Daniel A. Frattin | John Kevlin
Jay F. Drake | Lindsay M. Petrone | Sheryl Reuben¹ | Tuija I. Catalano | Thomas Tunny
David Silverman | Melinda A. Sarjapur | Mark H. Loper | Jody Knight | Stephanie L. Haughey
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¹. Also admitted in New York ². Of Counsel. ³. Also admitted in Massachusetts

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constrained by the location of the building to the north at 1146 Potrero Avenue, which is at the rear of the lot, approximately 48 feet from the front property line;

- The Project is appropriate and desirable in use, massing, height, and overall scope, is compatible with the surrounding neighborhood, and is consistent with the *Residential Design Guidelines* and Planning Code.

The Project Sponsor has been sensitive to concerns about how the Project fits into the neighborhood as well as the Planning Department staff's design guidance. The project has been modified multiple times, demonstrating the Project Sponsor's willingness to work to design a project that is compatible with the existing neighborhood.

A. Project Description

The Property is located on the west side of Potrero Avenue between 23rd and 24th Streets, half-block to the south of SF General Hospital in the eastern portion of the Mission neighborhood. It is located within a RH-3 (Residential, Three-Family) District and 55-X Height and Bulk District. The lot is 100 feet deep with 25 feet of street frontage along Potrero Avenue. The Property is improved with a one-story-over-garage, 3,099 gross square foot single family home that was constructed in 1907. The structure is 63 feet deep, which includes several one-story ancillary structures at the rear of the building. There is one parking space in the garage.

The Project will renovate and upgrade the existing structure through the construction of a two-story vertical addition, a 22-foot-eight-inch deep horizontal addition, and façade alterations. The new structure will have a total of four stories and be 40 feet tall, 15 feet under the height limit. The building will contain two two-bedroom units and one three-bedroom unit, for a total of three family-sized dwelling units. There will be two off-street parking spaces and 1,331 square feet of open space. The vertical addition at the 4th floor will be set back 15 feet from the front property line and 11 foot – three inches from the front façade. On the northern property line, there will be a 12 foot deep by four foot wide lightwell as well as a three foot side setback at the 2nd through the 4th floors. There will be a six foot – eight inch by three foot lightwell that will match the neighbors' lightwell to the south of the Property. The Project has a fully Code-compliant rear yard. Project plans are attached as **Exhibit A**. The Department concluded that the existing structure is not an historical resource under the California Environmental Quality Act ("CEQA") through the *South Mission Historic Resource Survey* in 2010.

As explained in more detail below, the Project has been designed to fit in with the existing context of the neighborhood and to respect the concerns raised by the DR Requestor.

B. Neighborhood Context

The Property is located in the eastern portion of the Mission neighborhood. Potrero Avenue is a major north-south thoroughfare with a mix of uses and building types. The block where the Property is located (on the west side of Potrero Avenue between 23rd and 24th Streets) contains residential, light-industrial, and commercial uses, with the northern portion of the block that is closer to 23rd Street featuring two-to-three-story residential buildings, and the southern portion of the block at 24th Street featuring one-to-three-story mixed use buildings. There are several large one-story light-industrial structures four lots to the south of the Property, and an auto-repair business at the corner of 23rd Street.

The block directly across from the Property contains a one-story commercial building (d.b.a. “Walgreens”) and two-and-three-story residential buildings. SF General Hospital is a half-block to the north of the Property. Building styles in the neighborhood vary from older Queen Anne and Stick styles to Edwardian and Maria/Art Deco. Most buildings have been modified and there are contemporary structures throughout the area.

The lot directly to the south of the Property, 1156 Potrero Avenue, contains a three-story multi-family apartment building which is located at the front property line. The lot to the north of the Property, 1146 Potero Avenue, has a single family residence which is setback approximately 48 feet – 11 inches from the front property line. 1146 Potrero Avenue is the only property on the block with the structure located at the rear of the lot; all other buildings are located at the front property lines, creating a consistent street frontage as well as mid-block open space. This pattern exists throughout the neighborhood. The DR Requestor’s property, 1136 Potrero, is a two-story-over-garage dwelling located three lots to the north of the Property. An aerial map of the neighborhood is attached as **Exhibit B**.

C. Neighborhood Outreach and Design Development

The Project Sponsor has spent a considerable amount of time and effort to gather and respond to concerns from the DR Requestor and neighbors. Efforts were made early in the process to modify the project in response to neighbor’s issues, including an offer to the DR Requestor to lower the total height of the building. There was no response to this proposed modification. The Project was reviewed and approved by Department staff in the fall of 2015. The first Section 311 notification ran from January 6 to February 5, 2016, during which time the DR Requestor filed this request.

Following the filing of the subject Discretionary Review application in January, the Project Sponsor worked with the Planning Department to modify the Project to address concerns that were raised by the DR Requestor. The Project has been significantly redesigned and

reduced in size from its original conception. Design changes in response to the DR Requestor's concerns include:

1. Altering the proposed pitched roof to a flat roof, thus lowering the maximum height of the roof by 3 feet – 10 inches;
2. Providing a 3 foot side setback from the 2nd through 4th floors on the northern property line where the building overlaps with 1146 Potrero Avenue;
3. Providing a 5 foot side setback at the deck on the 3rd floor for additional privacy, and an open railing for lighting and ventilation considerations;
4. Providing a 10 foot rear setback at the 3rd and 4th floors;
5. Providing a 15 foot front setback at the 4th floor;
6. Modifying the window openings on the northern façade to increase privacy for 1146 Potrero Avenue; and
7. Installing landscaping at the rear of the property to aid in privacy for neighbors on Hampshire Street.

The net effect of these changes is to ensure access to light and air for adjacent neighbors, maintain the prevailing building pattern on the block, and design an articulated and properly-scaled building as viewed from the pedestrian realm. Due to the modifications made at the front of the Property in response to the DR Requestor, the Project must obtain a Variance from the front yard requirements pursuant to Section 132. The Zoning Administrator also required a second, 15-day, Section 311 notification be conducted as a result of the modifications made to the Project. The hearing for both the Discretionary Review and Variance is scheduled for June 2nd.

Throughout this process, the Project Sponsor has continued to communicate with the DR Requestor. The modified plans were emailed to the DR Requestor and individual questions were answered. The development of the Project design demonstrates the Project Sponsors' willingness to be flexible and work with both Planning Department staff and neighborhood. Despite the numerous modifications made to the Project, it appears that the DR Requestor is unwilling to accept a redesigned building at the Property, despite the fact that the Planning Department has determined that the Project is within its buildable area and consistent with all aspects of the *Residential Design Guidelines*.

D. Reponses to DR Requestors Concerns

The DR Requestor raises multiple concerns about the Project, several of them having been addressed through the modifications made since the Discretionary Review Application was filed in January. Each is discussed below.

1. *The Project does not adhere to the second of the eight Priority Policies that existing housing and neighborhood character be conserved and protected.*

Planning Code Section 101.1 outlines eight General Plan Priority Policies. The second policy states: “that existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.”

The Project meets this General Plan policy. In addition to preserving an existing dwelling unit, the Project is adding two new units, which will increase the City’s supply of housing. The Property is zoned RH-3 which allows three units per lot as-of-right. The blocks along Potrero Avenue are all zoned RH-3, a medium-density residential zoning that is appropriate for this portion of the Mission neighborhood. The Project is complying with the zoning and with this component of the General Plan policy.

With respect to neighborhood character, the DR Requestor states that the block contains homes that were built in the 1880s and 1890s, and that their architectural design is the “character” of the block. This is misleading. While several homes date to this period, the majority of them have been heavily altered to the point that their original architectural style is no longer evident. In fact, the Department’s *South Mission Historic Resource Survey*, adopted by the Historic Preservation Commission in 2011, found that there were only two historic resources on the block – the DR Requestors’ property and the home to the north of his property. The remainder of the block, including the subject Property, was found not to be of architectural or historic value due to the modifications made to most of the buildings. Two buildings cannot create the overall “character” of the block.

The DR Requestor also does not provide a full picture of the character of the neighborhood. As discussed earlier, the block where the Property is located contains a variety of property types and structures, all in varying heights and styles. Only four of the fifteen residential buildings on the block contain single-family homes; the rest are multi-family buildings. The properties directly to the south of the Property are two-to-three-story residential apartment buildings. There are also four lots that contain light-industrial buildings. The block is not uniform in use or building typology; rather, it contains a vibrant mix of uses and structures. This is the character of the block, not small single-family homes. The Project is compatible with character of the block and neighborhood, and meets the goals of the Priority Policy.

2. *The proposal is out of scale with the mid-block location, both in height and massing.*

The DR Requestor suggests that the Project is out of scale with surrounding neighborhood and shows a “total disregard” for the adjacent two-story buildings. This inaccurately portrays the existing scale of development in the neighborhood.

This portion of Potrero Avenue consists of multi-story residential and mixed-use buildings, ranging from one to three stories. The three buildings to the south of the Property are three stories tall and there are several three story buildings across the street from the Property. The DR Requestor’s assertion that the neighborhood is primarily characterized by one-to-two story single family homes is inaccurate. In fact, the neighborhood contains a number of multi-story housing developments which will be in keeping with the proposed project. For photographs of the adjacent properties, see **Exhibit C**. [Show block face photos]

The Projects’ location and size is compatible with the overall building scale found in the immediate neighborhood. The allowable building envelope has been defined by the Planning Code by way of prescribed setbacks and the height limit. Furthermore, the appropriateness of the Project is further shaped by the requirements of the *Residential Design Guidelines*. As designed, the proposed building massing at the street reads as a three-story building due to the setback of the fourth floor. The Project also has setbacks and lightwells along the northern property line, further reducing its massing.

The Project’s height is moderate in comparison to allowable development along Potrero Avenue, which ranges from 55-X to 65-X. Potrero Avenue is 100 feet wide, and the properties along the street are appropriately zoned for this transit corridor. The southern portion of the block, starting three lots to the south of the Property, is zoned for 65 feet. The Project is significantly under its height limit – it is proposed to be 40 feet tall. In fact, it is 15 feet lower than the allowed height limit in deference to the lower-scaled two and three-story buildings on the block. These surrounding height limits are shown on the zoning map, attached as **Exhibit D**.

The *Residential Design Guidelines* discuss how to design a building so that it fits into the scale at the street. It states:

***Height.** If a proposed building is taller than the surrounding buildings, it may be necessary to modify the building height to maintain the existing scale of the street so that the visibility of the upper floor is limited from the street and the upper floor appears subordinate to the primary façade. An upper story setback, façade articulations, and eliminating parapets help to preserve the scale of the street.ⁱ*

The Project has been designed to meet these guidelines. The fourth floor is setback 15 feet from the front property line and has been designed without a parapet. The building at the street is similar in height as the three multi-story residential buildings to the south of the

Property. It is also the same scale as buildings at the northern end of the block as well as of across the street.

In addition, the *Residential Design Guidelines* also state that the building scale at the midblock open space is an important element that should be respected when designing new structures and additions. The intent of the Guidelines is to preserve this space through careful massing. It states:

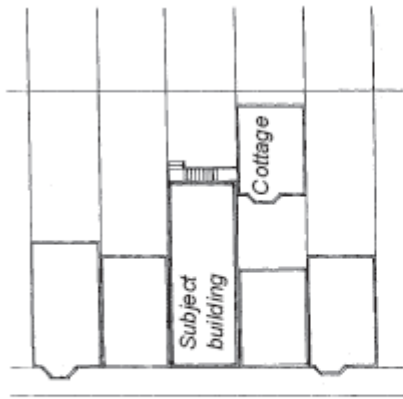
***Midblock Open Space.** In areas with an irregular midblock open space pattern, the rear addition should be designed to minimize its reduction. Setting back the upper floors to provide larger rear yard setbacks, notching the building at the rear, or providing setbacks from the side property lines can lessen the impacts of an addition.ⁱⁱ*

The Project meets these requirements. The rear addition has a 10 foot setback at the 3rd and 4th floors, and there is an additional 5 foot wide side setback at the 3rd floor deck. Further, there is a three foot side setback from the 2nd through 4th floors at the northern property line. All of these setbacks have been incorporated to reduce the impact to the midblock open space and to the adjacent properties. Project's scale fits into the character of the block.

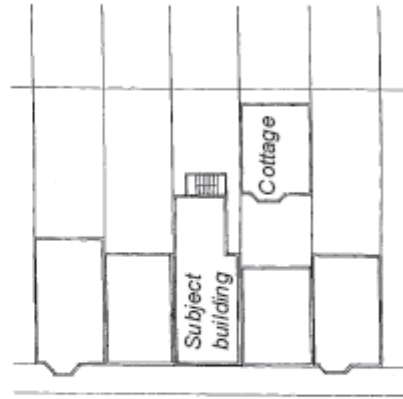
3. *The home adjacent to the Property (1146 Potrero) is set back on the lot therefore the Project is visible from the public right-of-way on Potrero Avenue.*

1146 Potrero Avenue, the property directly to the north of the Property, is a legal nonconforming structure that is located in the rear of the lot within the required rear yard. It is the only property with this condition within a five-block radius. The Project has been designed to accommodate its neighbor as detailed in the *Residential Design Guidelines*, which provides guidance for this type of situation:

***Rear Yard Cottages.** Even though buildings in rear yards are non-complying structures that can adversely impact a block's pattern of interior open space, new buildings should be designed to reduce light impacts to the cottage. Specific design features include providing side setbacks at the rear of the building, and minimizing rear projections such as decks and stairs.ⁱⁱⁱ From the Guidelines:*



This illustration shows a new building permitted under the Planning Code. The building's design has not been modified to minimize light impacts to the adjacent cottage, and further restricts the mid-block open space.



This illustration shows a new building that provides a side setback to reduce the impact on light to the cottage.

The Project's design respects 1146 Potrero Avenue's rear cottage. The majority of the Project is set back a total of three feet from this property line from the 2nd to the 4th floors. The rear addition at the third and fourth floors are setback 10 feet from the lower floors, and there is an additional five foot setback from 1146 Potrero Avenue's property line at the third floor. Earlier iterations of the Project did not contain any setbacks along the northern portion of the Property. In addition, the Project was pulled back over eight feet from the rear yard line in order to provide additional light and air for 1146 Potrero Avenue. The Project was redesigned to include setbacks that meet the *Residential Design Guidelines* as well as minimize the impact to 1146 Potrero Avenue.

The location of the building at 1146 Potrero Avenue poses challenges to both adjacent properties. Due to the very nature of that lot, development on lots to either side will be visible from Potrero Avenue. The DR Requestor is attempting to use this lot condition to prevent the Property from being upgraded, as he did in 2008, when he filed a similar Discretionary Review application for 1140 Potrero Avenue, the lot to the north of 1146 Potrero and his immediate neighbor.^{iv} In that case, the Planning Commission took discretionary review and added an additional 11 foot setback at the rear of the property. As a result of that case, as well as concerns of the DR Requestor, the Project has incorporated several setbacks at the side and rear of the Project to allow light and air to 1146 Potrero Avenue. The Project's design has appropriate setbacks and is within the buildable envelope. That it will be visible due to the adjacent property's condition should not prevent the Project from proceeding.

4. *The Project is a de-facto demolition.*

The DR Requestor incorrectly states that the Project is a de-facto demolition under Section 317. It is not. The existing building on the Property is in a deteriorated condition and in need of repair and upgrades; there have been a series of ad-hoc ground floor additions at the rear of the building which are in disrepair. The Project is proposing to add two new dwelling units which require the building to be updated both structurally and aesthetically. The Project does not meet the demolition definition as defined in Section 317(b)(2):

- (A) Any work on a Residential Building for which the Department of Building Inspection determines that an application for a demolition permit is required, or

The Project does not require a demolition permit under the Department of Building Inspection regulations.

- (B) A major alteration of a Residential Building that proposes the Removal of more than 50% of the sum of the Front Facade and Rear Facade and also proposes the Removal of more than 65% of the sum of all exterior walls, measured in lineal feet at the foundation level, or

The Project does not meet this requirement as it is proposing to remove more than 50 % of the front and rear facades but only removing 31.14%, or 42.3 lineal feet, of the sum of all exterior walls.

- (C) A major alteration of a Residential Building that proposes the Removal of more than 50% of the Vertical Envelope Elements and more than 50% of the Horizontal Elements of the existing building, as measured in square feet of actual surface area.

The Project does not meet this requirement as it is proposing the removal of 48%, or 2,485 feet, of the vertical elements and 40%, or 1,288 feet, of the horizontal elements of the existing building

1152 Potrero Avenue has been designed as a major alteration pursuant to the Department of Building Inspections' requirements. Further, the Project is not a demolition as defined in Section 317. The DR Requestor is incorrect with this assertion.

5. *Project will cast shadows on the adjacent properties.*

DR requestor alleges that the Project will cast shadows on 1146 Potrero Avenue as well as the properties behind the Property along Hampshire Street. The Property is located in a dense urban environment and some reduction of light is to be expected as a result of any development.

The Project is proposed to be 40 feet tall, thus a shadow analysis pursuant to Planning Code Section 295 is not required. Further, the Project was found not to have a shadow impact under CEQA. Therefore, the DR Requestors request to conduct a shadow study exceeds the requirements outlined by the Planning Department.

An aerial view of the block shows that the Project will cast minimal shadows to the adjacent properties, as much of the block is built out. See aerial view of the block in Exhibit C. With regards to impacts to 1146 Potrero Avenue, the Project will overlap with the rear structure for 17 feet but will be setback three feet from the property line. Further, the Project was reduced an additional eight feet from the required rear property line, and the Property will have a 33 foot deep rear yard – roughly 12 feet deeper than the minimum required rear yard. The structure to the north of 1146 Potrero Avenue (1140 Potrero Avenue) extends further into the rear yard than the Project. The proposed building depth is roughly consistent with the pattern of building depth of buildings on this block. See aerial view of the block in Exhibit C. The Project has been designed in compliance with the *Residential Design Guidelines*, which discusses the issue of shadows on adjacent properties. It states:

Light. In areas with a dense building pattern, some reduction of light to neighboring buildings can be expected. A number of design features can be incorporated to minimize impacts on light, including setbacks on upper floors, shared light wells, open railings on decks and stairs, and using a fire-rated roof.^v

The Project incorporates each of these features, ensuring adequate light and air to 1146 Potrero Avenue's rear cottage. There will be a 33 foot deep rear yard, more than one-third larger than the rear yard requirement and consistent with most of the other buildings on the rest of the block, reducing the impact to the adjacent properties on Potrero Avenue and Hampshire Street. The Project will not cast any significant shadows to the adjacent properties or to those on Hampshire Street.

D. Conclusion

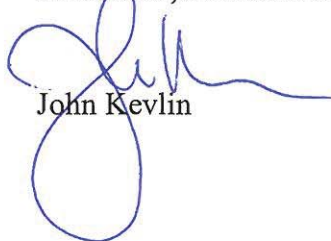
The DR Requestor has not established any exceptional or extraordinary circumstances that are necessary in a Discretionary Review case. The Project entails a two-story vertical and horizontal addition to an existing one-story over-garage structure, adding two dwelling units for a total of three units, which is within the zoning permitted on the Property, and reaching a maximum height of 40 feet, well under the 55 foot height limit allowed. The Project will constitute smart development which is consistent with the land use, residential density, height, and bulk controls along this portion of Potrero Avenue.

President Rodney Fong
San Francisco Planning Commission
May 17, 2016
Page 11

There are no exceptional or extraordinary circumstances associated with the Project which merit the exercise of the Commission's special discretionary review authority. We respectfully ask that the Planning Commission deny the Discretionary Review and approve the Project as proposed. Thank you for your consideration.

Very truly yours,

REUBEN, JUNIUS & ROSE, LLP



John Kevlin

cc: Vice President Cindy Wu
Commissioner Michael Antonini
Commissioner Rich Hillis
Commissioner Christine Johnson
Commissioner Kathrin Moore
Commissioner Dennis Richards
John Rahaim – Planning Director
Scott Sanchez – Zoning Administrator
Jonas Ionin – Commission Secretary
Jeffery Speirs – Project Planner
Massoudi Consulting – Project Sponsor

ⁱ San Francisco Residential Design Guidelines (“Guidelines”), pg. 25-26.

ⁱⁱ Guidelines, pg. 24-25.

ⁱⁱⁱ Guidelines, pg. 21.

^{iv} Planning Case No. 2007.1211D, heard by the Planning Commission on 2/28/08.

^v Guidelines, pg. 16.

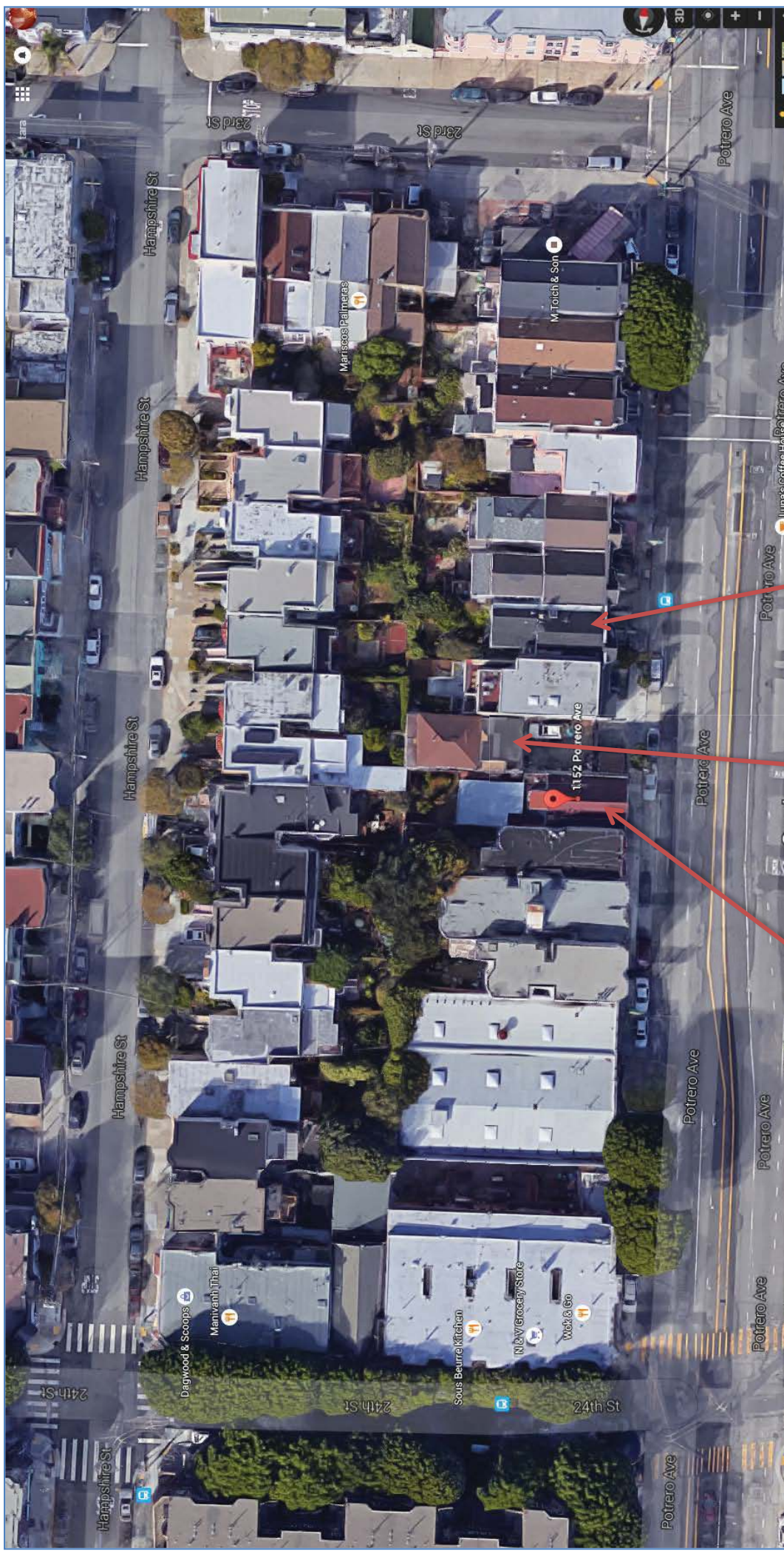
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Exhibit B: Aerial View of Block 4211



1136 Potrero Avenue:
DR Requestor's Property

1152 Potrero Avenue

1146 Potrero Avenue

Exhibit C: Context Images



1136 Potrero Avenue:
DR Requestor's Property

1152 Potrero Avenue 1146 Potrero Avenue

Exhibit C: Context Images

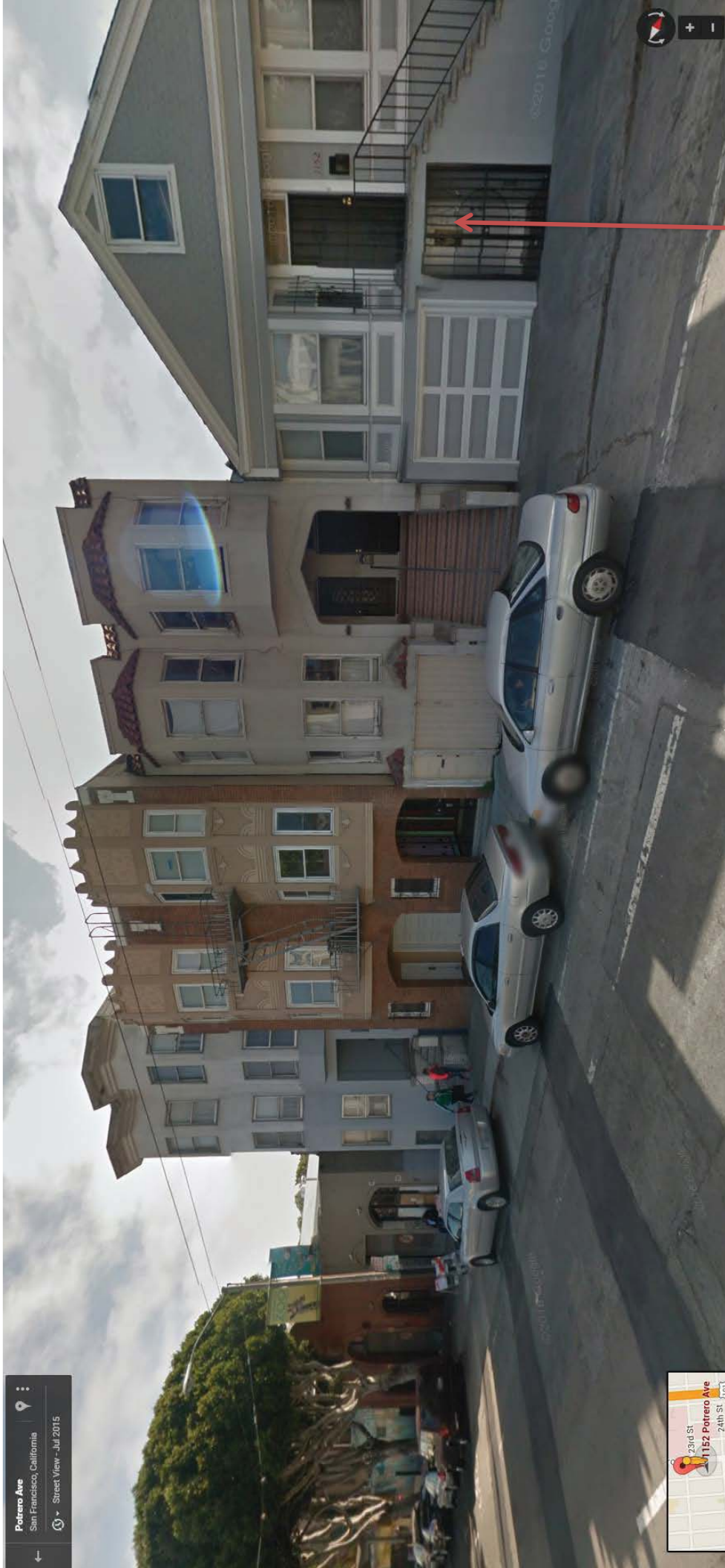


1152 Potrero Avenue

1146 Potrero Avenue

1136 Potrero Avenue:
DR Requestor's Property

Exhibit C: Context Images



1152 Potrero Avenue

Exhibit C: Context Images



1136 Potrero Avenue:
DR Requestor's Property

1146 Potrero Avenue

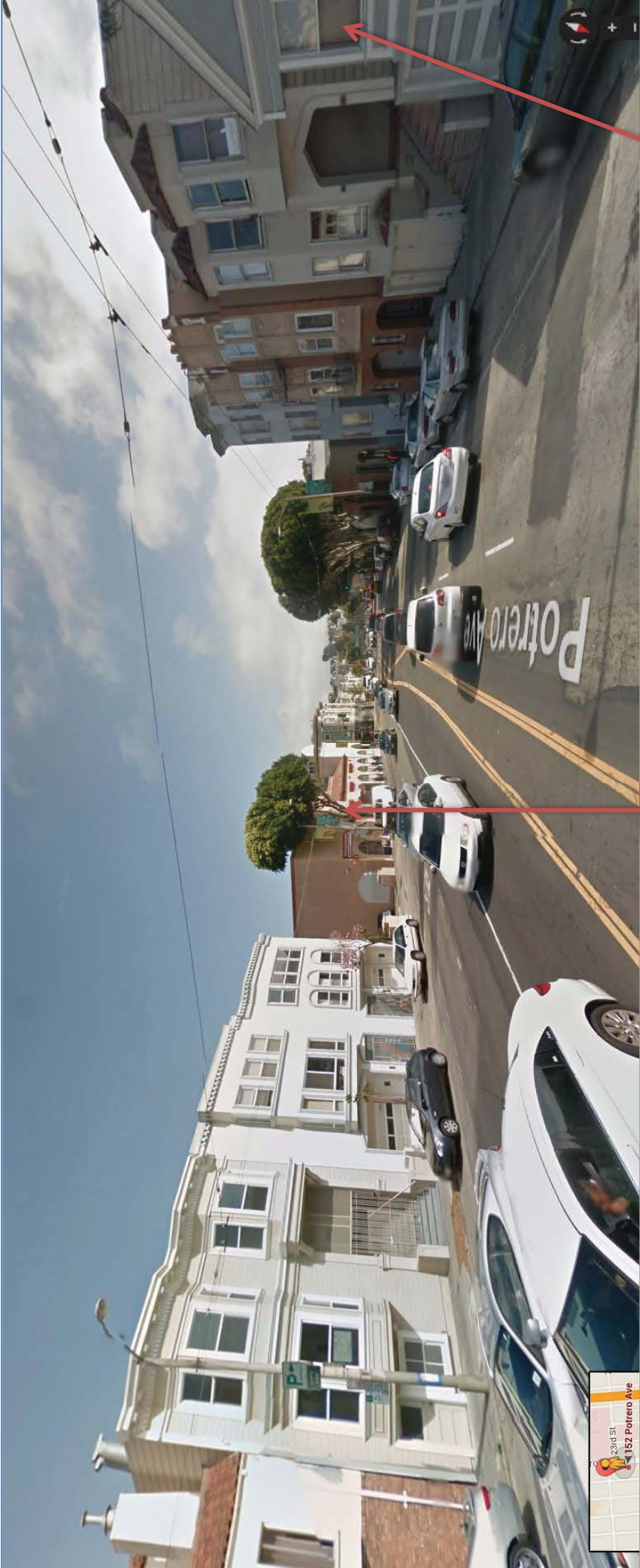
1152 Potrero Avenue

Exhibit C: Context Images – Across Street from 1152 Potrero looking north



SF General Hospital

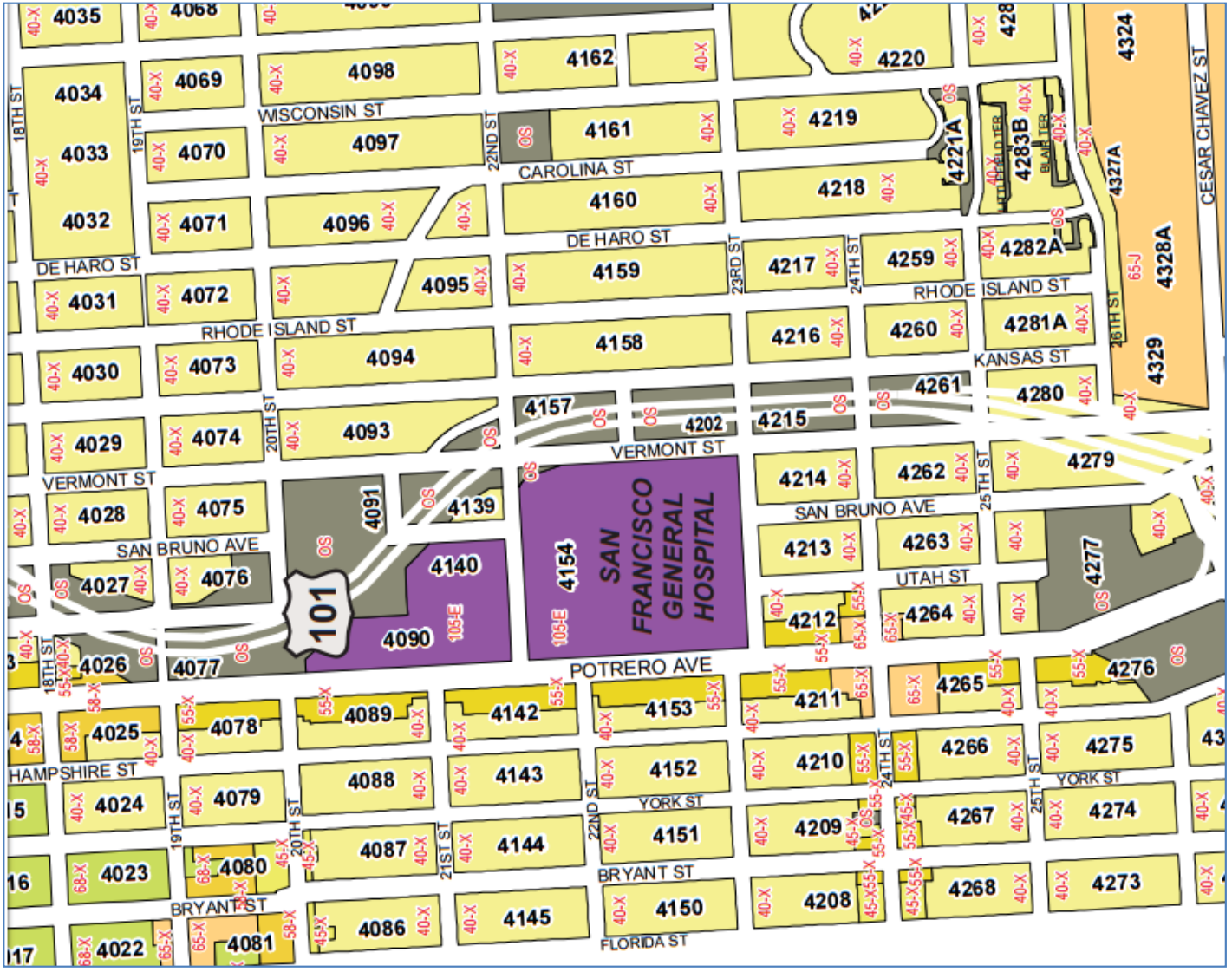
Exhibit C: Context Images – Across Street from 1152 Potrero Avenue looking South



Walgreens

1152 Potrero Avenue

Exhibit D: Height & Bulk Map



RESPONSE TO
DISCRETIONARY
REVIEW (DRP)



San Francisco
Planning

SAN FRANCISCO PLANNING DEPARTMENT
1650 MISSION STREET, SUITE 400
SAN FRANCISCO, CA 94103-2479
MAIN: (415) 558-6378 SFPLANNING.ORG

Project Information

Property Address: 1152 Potrero Avenue

Zip Code: 94110

Building Permit Application(s): 2015.0224.9220

Record Number: 2015.002632DRP

Assigned Planner: Jeffrey Speirs

Project Sponsor

Name: Reuben, Junius & Rose, LLP; attn: John Kevlin

Phone: 415-567-9000

Email: jkevin@reubenlaw.com

Required Questions

1. Given the concerns of the DR requester and other concerned parties, why do you feel your proposed project should be approved? (If you are not aware of the issues of concern to the DR requester, please meet the DR requester in addition to reviewing the attached DR application.)

Please see attached supplemental sheet.

2. What alternatives or changes to the proposed project are you willing to make in order to address the concerns of the DR requester and other concerned parties? If you have already changed the project to meet neighborhood concerns, please explain those changes and indicate whether they were made before or after filing your application with the City.

Please see attached supplemental sheet.

3. If you are not willing to change the proposed project or pursue other alternatives, please state why you feel that your project would not have any adverse effect on the surrounding properties. Include an explanation of your needs for space or other personal requirements that prevent you from making the changes requested by the DR requester.

Please see attached supplemental sheet.

Project Features

Please provide the following information about the project for both the existing and proposed features. **Please attach an additional sheet with project features that are not included in this table.**

	EXISTING	PROPOSED
Dwelling Units (only one kitchen per unit - additional kitchens count as additional units)	1	3
Occupied Stories (all levels with habitable rooms)	2	4
Basement Levels (may include garage or windowless storage rooms)	1	1
Parking Spaces (Off-Street)	1	2
Bedrooms	1	7
Height	26'-2"	40'
Building Depth	63' +/-	66'-8"
Rental Value (monthly)	0	TBD
Property Value	\$1,100,000	TBD

I attest that the above information is true to the best of my knowledge.

Signature:	Date:
Printed Name: John Kevlin, Reuben, Junius & Rose, LLP	<input type="checkbox"/> Property Owner <input checked="" type="checkbox"/> Authorized Agent

If you have any additional information that is not covered by this application, please feel free to attach additional sheets to this form.

REUBEN, JUNIUS & ROSE, LLP

Response to Discretionary Review (DRP)

Supplemental Sheet: 1152 Potrero Avenue, 2015.002632DRP

1. *Given the concerns of the DR requestor and other concerned parties, why do you feel your project should be approved?*

Discretionary Review is a special power of the Planning Commission (“Commission”), intended to provide an opportunity to evaluate a Code-compliant project that has some exceptional or extraordinary circumstance. The Commission has been advised by the City Attorney that its discretion under this authority is sensitive, and should be exercised with the utmost constraint.

There are no exceptional or extraordinary circumstances associated with the Project which merits the exercise of the Commission’s discretionary review authority.

The Project entails a two-story vertical and horizontal addition to an existing one-story over-garage structure, adding two dwelling units for a total of three units, which is within the zoning permitted on the Property, and reaching a maximum height of 40 feet, well under the 55 foot height limit allowed. The Project is consistent with the land use, residential density, height, and bulk controls within the RH-3 Zoning District along this portion of Potrero Avenue.

The Project will complement the character and scale of development on Potrero Avenue and adjacent blocks. Residential development in the area is predominantly multi-story buildings. The Project is consistent with this pattern.

In summary, there is nothing extraordinary about the project that would justify the Commission’s use of its discretionary review power. The project proposes smart, infill development which is in full compliance with the *Residential Design Guidelines* and the Planning Code. The addition directly furthers the goals of the City’s Urban Design Element and Housing Elements, including:

- Housing Element, Policy 4.1: Develop new housing, and encourage the remodeling of existing housing, for families with children.
- Housing Element, Policy 11.1: Promote the construction and rehabilitation of well-designed housing that emphasizes beauty, flexibility, and innovative design, and respects existing neighborhood character.

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¹. Also admitted in New York ². Of Counsel. ³. Also admitted in Massachusetts

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- Housing Element, Policy 11.2: Ensure implementation of accepted design standards in project approvals.
2. *What alternatives or changes to the proposed project are you willing to make in order to address the concerns of the DR requestor and other concerned parties? If you have already changed the project to meet neighborhood concerns, please explain those changes and indicate whether they were made before or after filing your application with the City.*

The Project Sponsor has spent a considerable amount of time and effort to gather and respond to concerns from the DR Requestor and neighbors. Following the filing of the subject Discretionary Review application, the Project Sponsor worked with the Planning Department and DR Requestor to modify the Project to address concerns that were raised. The Project has been significantly redesigned and reduced in size from its original conception. Design changes in response to the DR Requestor's concerns include:

1. Altering the proposed pitched roof to a flat roof, thus lowering the maximum height of the roof by 3 feet – 10 inches;
2. Providing a 3 foot side setback from the 2nd through 4th floors on the northern property line where the building overlaps with 1146 Potrero Avenue;
3. Providing a 5 foot side setback at the deck on the 3rd floor for additional privacy, and an open railing for lighting and ventilation considerations;
4. Providing a 10 foot rear setback at the 3rd and 4th floors;
5. Providing a 15 foot front setback at the 4th floor;
6. Modifying the window openings on the northern façade to increase privacy for 1146 Potrero Avenue; and
7. Installing landscaping at the rear of the property to aid in privacy for neighbors on Hampshire Street.

The net effect of these changes is to ensure access to light and air for adjacent neighbors, maintain the prevailing building pattern on the block, and design an articulated and properly-scaled building as viewed from the pedestrian realm. The Project sponsor met with the DR Requestor early on in the design process to discuss the project and potential impacts to the DR Requestor's building. The Project Sponsor has made significant changes to the addition as requested by the Residential Design Team.

3. *If you are not willing to change the proposed project or pursue other alternatives, please state why you feel that your project would not have any adverse effect on the surrounding properties. Include an explanation of your needs for space or other personal requirements that prevent you from making the changes requested by the DR requester.*

The Project Sponsor has been sensitive to concerns about how the Project fits into the neighborhood as well as the Planning Department staff's design guidance. The Project has been modified multiple times, demonstrating the Project Sponsor's willingness to work to design a project that is compatible with the existing neighborhood. The DR requests would unreasonably restrict development at the Property, as the current Project does not maximize the allowable buildable area of the lot; rather, it has been designed to minimize its impact on the adjacent properties. The Property is constrained by the location of the building to the north at 1146 Potrero Avenue, which is at the rear of the lot, approximately 48 feet from the front property line. Further modifications would materially impair the Project Sponsor's ability to add dwelling units to the neighborhood.

In addition, the DR requestor's property will be minimally impacted by the Project, as it is located three lots to the north of the Property, and the project exemplifies smart development that would not result in the sort of extraordinary or exceptional impacts for which DR is intended to address and which are required before DR can be taken.



SAN FRANCISCO PLANNING DEPARTMENT

CEQA Categorical Exemption Determination

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address		Block/Lot(s)	
1152 Potrero Avenue		4211/011	
Case No.	Permit No.	Plans Dated	
2015-002632ENV		1/11/2015	
<input checked="" type="checkbox"/> Addition/ Alteration	<input type="checkbox"/> Demolition (requires HRER if over 45 years old)	<input type="checkbox"/> New Construction	<input type="checkbox"/> Project Modification (GO TO STEP 7)
Project description for Planning Department approval. Horizontal and vertical addition to existing three-story, single-family home. Project would result in a four-story, three-unit residential building with a two-vehicle garage on the first-floor.			

STEP 1: EXEMPTION CLASS

TO BE COMPLETED BY PROJECT PLANNER

Note: If neither Class 1 or 3 applies, an <i>Environmental Evaluation Application</i> is required.	
<input type="checkbox"/>	Class 1 – Existing Facilities. Interior and exterior alterations; additions under 10,000 sq. ft.
<input checked="" type="checkbox"/>	Class 3 – New Construction/ Conversion of Small Structures. Up to three (3) new single-family residences or six (6) dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input type="checkbox"/>	Class__

STEP 2: CEQA IMPACTS

TO BE COMPLETED BY PROJECT PLANNER

If any box is checked below, an <i>Environmental Evaluation Application</i> is required.	
<input type="checkbox"/>	Air Quality: Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities) within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g., backup diesel generators, heavy industry, diesel trucks)? <i>Exceptions: do not check box if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Article 38 program and the project would not have the potential to emit substantial pollutant concentrations. (refer to EP_ArcMap > CEQA Catex Determination Layers > Air Pollutant Exposure Zone)</i>
<input type="checkbox"/>	Hazardous Materials: If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential? If yes, this box must be checked and the project applicant must submit an Environmental Application with a Phase I

	Environmental Site Assessment. <i>Exceptions: do not check box if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Maher program, a DPH waiver from the Maher program, or other documentation from Environmental Planning staff that hazardous material effects would be less than significant (refer to EP_ArcMap > Maher layer).</i>
<input type="checkbox"/>	Transportation: Does the project create six (6) or more net new parking spaces or residential units? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?
<input type="checkbox"/>	Archeological Resources: Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non-archeological sensitive area? (refer to EP_ArcMap > CEQA Catex Determination Layers > Archeological Sensitive Area)
<input checked="" type="checkbox"/>	Noise: Does the project include new noise-sensitive receptors (schools, day care facilities, hospitals, residential dwellings, and senior-care facilities) fronting roadways located in the noise mitigation area? (refer to EP_ArcMap > CEQA Catex Determination Layers > Noise Mitigation Area)
<input type="checkbox"/>	Subdivision/Lot Line Adjustment: Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography)
<input type="checkbox"/>	Slope = or > 20%: Does the project involve excavation of 50 cubic yards of soil or more, new construction, or square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography) If box is checked, a geotechnical report is required.
<input type="checkbox"/>	Seismic: Landslide Zone: Does the project involve excavation of 50 cubic yards of soil or more, new construction, or square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report is required.
<input type="checkbox"/>	Seismic: Liquefaction Zone: Does the project involve excavation of 50 cubic yards of soil or more, new construction, or square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report will likely be required.
<u>If no boxes are checked above, GO TO STEP 3. If one or more boxes are checked above, an Environmental Evaluation Application is required, unless reviewed by an Environmental Planner.</u>	
<input checked="" type="checkbox"/>	Project can proceed with categorical exemption review. The project does not trigger any of the CEQA impacts listed above.
Comments and Planner Signature (optional): Jenny Delumo Noise report submitted with EE application.	

**STEP 3: PROPERTY STATUS – HISTORIC RESOURCE
TO BE COMPLETED BY PROJECT PLANNER**

PROPERTY IS ONE OF THE FOLLOWING: (refer to Parcel Information Map)	
<input type="checkbox"/>	Category A: Known Historical Resource. GO TO STEP 5.
<input type="checkbox"/>	Category B: Potential Historical Resource (over 45 years of age). GO TO STEP 4.
<input checked="" type="checkbox"/>	Category C: Not a Historical Resource or Not Age Eligible (under 45 years of age). GO TO STEP 6.

STEP 4: PROPOSED WORK CHECKLIST
TO BE COMPLETED BY PROJECT PLANNER

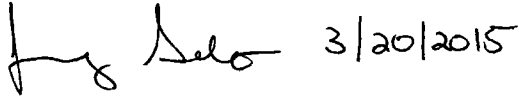
Check all that apply to the project.	
<input type="checkbox"/>	1. Change of use and new construction. Tenant improvements not included.
<input type="checkbox"/>	2. Regular maintenance or repair to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	3. Window replacement that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. Garage work. A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	5. Deck, terrace construction, or fences not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. Mechanical equipment installation that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. Dormer installation that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	8. Addition(s) that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
Note: Project Planner must check box below before proceeding.	
<input type="checkbox"/>	Project is not listed. GO TO STEP 5.
<input type="checkbox"/>	Project does not conform to the scopes of work. GO TO STEP 5.
<input type="checkbox"/>	Project involves four or more work descriptions. GO TO STEP 5.
<input type="checkbox"/>	Project involves less than four work descriptions. GO TO STEP 6.

STEP 5: CEQA IMPACTS – ADVANCED HISTORICAL REVIEW
TO BE COMPLETED BY PRESERVATION PLANNER

Check all that apply to the project.	
<input type="checkbox"/>	1. Project involves a known historical resource (CEQA Category A) as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	2. Interior alterations to publicly accessible spaces.
<input type="checkbox"/>	3. Window replacement of original/historic windows that are not “in-kind” but are consistent with existing historic character.
<input type="checkbox"/>	4. Façade/storefront alterations that do not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	5. Raising the building in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	6. Restoration based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.
<input type="checkbox"/>	7. Addition(s) , including mechanical equipment that are minimally visible from a public right-of-way and meet the <i>Secretary of the Interior's Standards for Rehabilitation</i> .

<input type="checkbox"/>	8. Other work consistent with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (specify or add comments):
<input type="checkbox"/>	9. Other work that would not materially impair a historic district (specify or add comments): (Requires approval by Senior Preservation Planner/Preservation Coordinator) _____
<input type="checkbox"/>	10. Reclassification of property status to Category C. (Requires approval by Senior Preservation Planner/Preservation Coordinator) a. Per HRER dated: _____ (attach HRER) b. Other (specify): _____
Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST check one box below.	
<input type="checkbox"/>	Further environmental review required. Based on the information provided, the project requires an <i>Environmental Evaluation Application</i> to be submitted. GO TO STEP 6.
<input type="checkbox"/>	Project can proceed with categorical exemption review. The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. GO TO STEP 6.
Comments (optional):	
Preservation Planner Signature:	

**STEP 6: CATEGORICAL EXEMPTION DETERMINATION
TO BE COMPLETED BY PROJECT PLANNER**

<input type="checkbox"/>	Further environmental review required. Proposed project does not meet scopes of work in either (check all that apply): <input type="checkbox"/> Step 2 – CEQA Impacts <input type="checkbox"/> Step 5 – Advanced Historical Review STOP! Must file an <i>Environmental Evaluation Application</i>.	
<input checked="" type="checkbox"/>	No further environmental review is required. The project is categorically exempt under CEQA.	
	Planner Name: Jenny Delumo	Signature: 
	Project Approval Action: Select One <u>Building Permit</u> <small>If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.</small>	3/20/2015
<small>Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code. In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the first approval action.</small>		

**STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT
TO BE COMPLETED BY PROJECT PLANNER**

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a “substantial modification” and, therefore, be subject to additional environmental review pursuant to CEQA.

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address (If different than front page)		Block/Lot(s) (If different than front page)
Case No.	Previous Building Permit No.	New Building Permit No.
Plans Dated	Previous Approval Action	New Approval Action
Modified Project Description:		

DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project:	
<input type="checkbox"/>	Result in expansion of the building envelope, as defined in the Planning Code;
<input type="checkbox"/>	Result in the change of use that would require public notice under Planning Code Sections 311 or 312;
<input type="checkbox"/>	Result in demolition as defined under Planning Code Section 317 or 19005(f)?
<input type="checkbox"/>	Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption?
If at least one of the above boxes is checked, further environmental review is required	

CATEX FORM

DETERMINATION OF NO SUBSTANTIAL MODIFICATION

<input type="checkbox"/>	The proposed modification would not result in any of the above changes.
If this box is checked, the proposed modifications are categorically exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice.	
Planner Name:	Signature or Stamp:

Speirs, Jeffrey (CPC)

From: Carl Tharp <crewcarl@gmail.com>
Sent: Tuesday, January 26, 2016 10:54 AM
To: Speirs, Jeffrey (CPC)
Subject: 1152 Potrero Ave Building Permit Concern

Hi there, I'm the Owner of 1137-1139 Potrero Ave (directly across the street from 1152) and received a notice of the permit application and plans for 1152 Potrero Ave. I'm very concerned that the new construction, which adds significant height to the existing building, is going to block our view of Sutro Tower and Twin Peaks. Is there a method for discussing or reviewing this concern?

Thanks
Carl Tharp
918.923.1144

SCOPE OF WORK

PROPOSED VERTICAL AND HORIZONTAL ADDITION TO EXISTING SINGLE FAMILY HOME TO ACCOMODATE THREE UNITS AND TWO CAR GARAGE @ 1152 POTRERO AVE., SAN FRANCISCO

PROJECT DATA

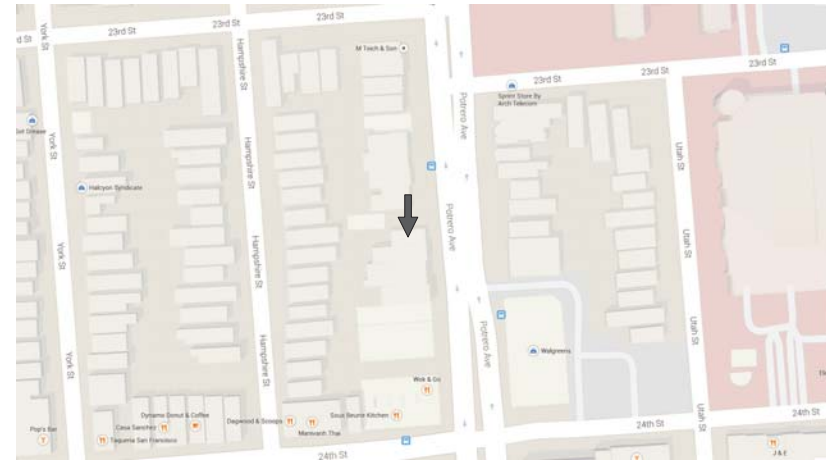
LOT AREA:	2,495 S.F.
<u>EXISTING STRUCTURE</u>	
(E) 1ST FLOOR AREA:	1,212 ± S.F.
(E) 2ND FLOOR AREA:	1,020 ± S.F.
(E) 3RD FLOOR AREA (ATTIC):	867 ± S.F.
(E) TOTAL FLOOR AREA:	3,099 ± S.F.
<u>PROPOSED STRUCTURE (GROSS AREA)</u>	
(N) 1ST FLOOR GROSS AREA:	1,595 ± S.F.
(N) 2ND FLOOR GROSS AREA:	1,446 ± S.F.
(N) 3RD FLOOR GROSS AREA :	1,254 ± S.F.
(N) 4TH FLOOR GROSS AREA:	947 ± S.F.
(N) TOTAL GROSS FLOOR AREA:	5,242 ± S.F.
<u>UNIT BREAKDOWN (HABITABLE AREA)</u>	
UNIT #1 HABITABLE AREA:	1,164 ± S.F.
UNIT #2 HABITABLE AREA:	1,285 ± S.F.
UNIT #3 HABITABLE AREA:	1,428 ± S.F.
(N) TOTAL HABITABLE FLOOR AREA:	3,877 ± S.F.
GARAGE AREA:	666 ± S.F.

(E) NUMBER OF UNITS:	1
(N) NUMBER OF UNITS:	3
(E) NUMBER OF COVERED PARKING:	1
(N) NUMBER OF COVERED PARKING:	2
(E) BICYCLE PARKING:	0
(N) BICYCLE PARKING:	3
(E) BUILDING HEIGHT:	26'-2" ±
(N) BUILDING HEIGHT:	40'-0" ±
BUILDING HEIGHT LIMIT:	55-X
(E) NUMBER OF STORIES:	3
(N) NUMBER OF STORIES:	4
(E) OCCUPANCY GROUP:	R-3
(N) OCCUPANCY GROUP:	R-2
ZONING:	RH-3
(E) TYPE OF CONSTRUCTION:	V-B
(N) TYPE OF CONSTRUCTION:	V-A
BLOCK / LOT:	4211 / 011
APPLICABLE CODES:	ALL DESIGN AND CONSTRUCTION SHALL COMPLY WITH THE 2013 CALIFORNIA CODE OF REGULATIONS TITLE 24: W/ SAN FRANCISCO AMENDMENTS

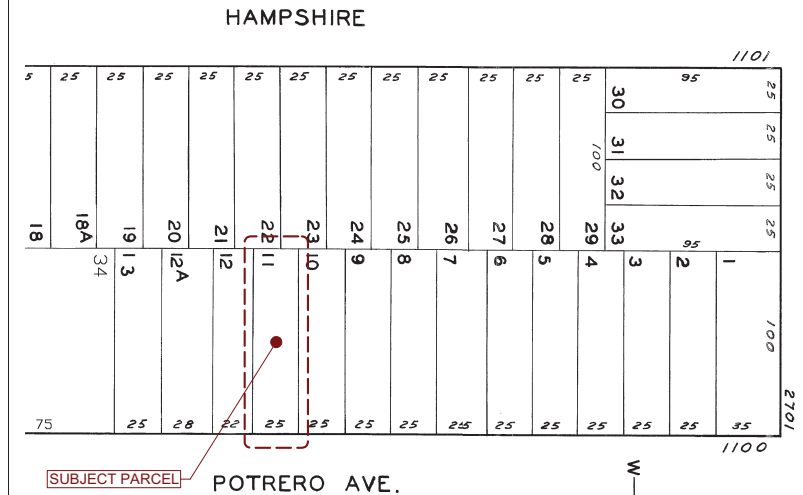
- NOTES:
- PROVIDE FIRE SPRINKLER SYSTEM THROUGHOUT UNDER NFPA13 STANDARD - UNDER SEPARATE PERMIT
 - SPRINKLERS AND STANDPIPE REQUIRED PER NFPA13, 14, & 24, 2001 EDITIONS.
 - FIRE ALARM AND SPRINKLER MONITORING SYSTEM REQUIRED PER NFPA 72 THROUGHOUT
 - THE SPRINKLER AND FIRE ALARM SYSTEMS SHALL PROVIDE SPRINKLER WATER FLOW AND MONITORING VALVES ON EACH FLOOR. IF ELEVATORS ARE PRESENT, ELEVATOR RECALL, DOORS AT ELEVATOR, AND FIRE SMOKE DAMPERS ARE REQUIRED TO BE CONNECTED TO FIRE ALARM SYSTEM.
 - PROVIDE LOCKBOX AT MAIN ENTRY COORDINATE WITH DISTRICT FIRE INSPECTOR
 - PROVIDE STAIRWELL IDENTIFICATION SIGNS, AS PER CBC 1020.1.6
 - PROVIDE SMOKE DETECTORS REQUIRED IN COMMON CORRIDOR ON FIRST FLOOR

DRAWING INDEX

<u>ARCHITECTURAL:</u>	
A-0.1	COVER SHEET
A-1.0	(E) & (N) SITE PLAN
A-2.0	(E) FLOOR PLANS
A-2.1	DEMOLITION CALCULATIONS
A-3.0	(N) FLOOR PLANS (1)
A-3.1	(N) FLOOR PLANS (2)
A-3.2	EXITING DIAGRAM
A-4.0	(E) & (N) FRONT AND REAR ELEVATIONS
A-4.1	(E) LEFT AND RIGHT ELEVATIONS
A-4.2	(N) LEFT AND RIGHT ELEVATIONS
A-5.0	(N) SECTION A-A AND DETAILS
A-6.0	BUILDING NOTES AND DETAILS
A-7.0	BULK STUDY
G-1.0	GREEN BUILDING CHECKLIST
C-1.0	SURVEY



VICINITY MAP



ASSESSOR'S MAP

GENERAL NOTES

ALL WORK SHALL BE PERFORMED IN COMPLETE COMPLIANCE WITH ALL APPLICABLE CODES, LAWS, ORDINANCES AND REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION OVER THE WORK. ALL CONTRACTORS SHALL HOLD HARMLESS THE ARCHITECT/ENGINEER AND THE OWNER FROM ALL DAMAGES AND/OR PENALTY ARISING OUT OF VIOLATION THEREOF.

ALL ATTACHMENTS, CONNECTIONS, OR FASTENING OF ANY NATURE ARE TO BE PROPERLY AND PERMANENTLY SECURED IN CONFORMANCE WITH THE BEST PRACTICE OF THE BUILDING INDUSTRY. DRAWINGS ONLY SHOW SPECIAL REQUIREMENTS TO ASSIST THE CONTRACTOR AND DO NOT ILLUSTRATE EVERY DETAIL OR CONDITION.

THE CONTRACTOR SHALL VERIFY AND ASSUME RESPONSIBILITY FOR ALL DIMENSIONS, MEASUREMENTS AND CONDITIONS IN THE FIELD BEFORE TO FINALIZING BIDS AND BEGINNING WORK. ANY DISCREPANCIES, ERRORS, OMISSIONS, OR CONFLICTS FOUND IN THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION ARCHITECT/ENGINEER'S BEFORE PROCEEDING WITH THE WORK.

UNLESS OTHERWISE NOTED, ALL ANGLES SHALL BE RIGHT ANGLES, ALL LINES WHICH APPEAR PARALLEL SHALL BE PARALLEL, AND ALL ITEMS WHICH APPEAR CENTERED SHALL BE CENTERED. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL LINES TRUE LEVEL, PLUMB, AND SQUARE.

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING AND PROTECTION DURING CONSTRUCTION. ALL EXISTING IMPROVEMENTS TO REMAIN SHALL BE PROTECTED WITH ADEQUATE TEMPORARY SUPPORT AS NECESSARY TO ASSURE THE STRUCTURAL VALUE OR INTEGRITY OF THE BUILDING THROUGHOUT CONSTRUCTION. ALL MATERIALS DELIVERED TO THE SITE SHALL BE PROPERLY STORED AND PROTECTED UNTIL INSTALLATION. ALL LUMBER SHALL BE PROTECTED FROM MOISTURE AND STORED ABOVE GROUND.

DETAILED AND/OR LARGER SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL AND SMALLER SCALE DRAWINGS. FIGURED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL SCALED DIMENSIONS SHALL BE VERIFIED. ALL CLEAR DIMENSIONS ARE NOT TO BE ADJUSTED WITHOUT APPROVAL OF THE ARCHITECT.

DETAILS SHOWN ARE TYPICAL. SIMILAR DETAILS APPLY IN SIMILAR CONDITIONS.

ALL WORK SHALL BE DONE UNDER PERMIT. PLANS AND CALCULATIONS, IF REQUIRED, SHALL BE SUBMITTED TO AND APPROVED BY THE BUILDING DEPARTMENT. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR APPLYING AND OBTAINING ALL REQUIRED INSPECTIONS TO CONFORM WITH LOCAL BUILDING AND FIRE CODES.

A CURRENT AND COMPLETE SET OF THE CONSTRUCTION DOCUMENTS SHALL REMAIN ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION FOR USE OF ALL THE TRADES AND SHALL PROVIDE ALL THE SUBCONTRACTORS WITH CURRENT CONSTRUCTION DOCUMENTS AS REQUIRED.

THE PLANS AND SPECIFICATIONS INDICATE THE GENERAL EXTENT OF NEW CONSTRUCTION NECESSARY FOR THE WORK, BUT ARE NOT INTENDED TO BE ALL-INCLUSIVE. ALL DEMOLITION AND ALL NEW WORK NECESSARY TO ALLOW FOR A FINISHED JOB IN ACCORDANCE WITH THE INTENTION OF THE DRAWINGS AND SPECIFICATIONS IS INCLUDED REGARDLESS OF WHETHER SHOWN ON THE DRAWINGS, SPECIFICATIONS, OR MENTIONED IN THE NOTES. ALL WORK IS NEW, U.O.N.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION BETWEEN ARCHITECTURAL, STRUCTURAL, FIRE PROTECTION, MECHANICAL, PLUMBING, AND ELECTRICAL. THIS INCLUDES REVIEWING REQUIREMENTS OF INDIVIDUAL SYSTEMS BEFORE ORDERING AND INSTALLATION OF ANY WORK. VERIFY ALL ARCHITECTURAL DETAILS AND ALL FINISH CONDITIONS (WHETHER DEPICTED IN DRAWINGS OR NOT) WITH THE SAME DISCIPLINES.

ALL WORK SHALL BE PERFORMED ACCORDING TO THE HIGHEST AND BEST PRACTICES OF THE TRADE.

INSTALL ALL FIXTURES, EQUIPMENT, AND MATERIALS PER MANUFACTURER'S RECOMMENDATIONS AND CODE REQUIREMENTS. ALL APPLIANCES, FIXTURES, AND EQUIPMENT ASSOCIATED WITH PLUMBING, ELECTRICAL, MECHANICAL SYSTEMS SHALL BE LISTED BY A NATIONALLY RECOGNIZED AND APPROVED AGENCY.

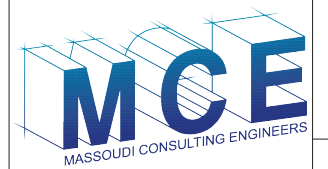
SEALANT, CAULKING AND FLASHING, ETC. LOCATIONS SHOWN ON DRAWINGS ARE NOT INTENDED TO BE INCLUSIVE. FOLLOW MANUFACTURER'S INSTALLATION RECOMMENDATIONS AND STANDARD INDUSTRY AND BUILDING PRACTICES.

ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A REGISTERED CIVIL ENGINEER OR A LICENSED LAND SURVEYOR.

ALL CONSTRUCTION SHALL CONFORM TO ALL LOCAL GOVERNING CODES AND ORDINANCES. IN THE EVENT OF CONFLICT, THE MOST STRINGENT REQUIREMENTS SHALL APPLY.

ABBREVIATION

#	POUND OR NUMBER	G.B.	GRAB BAR
&	AND	GRP	GROUP
@	AT	GWB	GYPSUM WALL BOARD
ABV	ABOVE	GYP	GYP SUM
AFF	ABOVE FINISHED FLOOR	H.C.	HANDICAPPED
ALUM	ALUMINUM	HI	HIGH
APPROX	APPROXIMATE	HP	HIGH POINT
ANOD	ANODIZED	HR	HOUR
ASPH	ASPHALT	HVAC	HEATING, VENTILATING, AND AIR CONDITIONING
BD	BOARD	ILO	IN LIEU OF
BLDG	BUILDING	INSUL	INSULATED
BLKG	BLOCKING	INT	INTERIOR
BC	BOTTOM OF CURB	LO	LOW
BYND	BEYOND	MAX	MAXIMUM
CIP	CAST IN PLACE	MECH	MECHANICAL
CHNL	CHANNEL	MEMBR	MEMBRANE
CJ	CONTROL JOINT	MIN	MINIMUM
CLG	CEILING	MTL	METAL
CLO	CLOSET	(N)	NEW
CLR	CLEAR	NO	NUMBER
CMU	CONCRETE MASONRY UNIT	NOM	NOMINAL
COL	COLUMN	N.T.S.	NOT TO SCALE
COMPR	COMPRESSIBLE	O.C.	ON CENTER
CONC	CONCRETE	OZ	OUNCE
CONT	CONTINUOUS	PCC	PRE-CAST CONCRETE
CORR	CORRIDOR	P.L.	PROPERTY LINE
CTR	CENTER	PLUMB	PLUMBING
CTYD	COURTYARD	PLYD	PLYWOOD
DBL	DOUBLE	PT	PRESSURE TREATED
DEMO	DEMOLISH	PNT	PAINT/PAINTED
DET	DETAIL	PVC	POLYVINYL CHLORIDE
DIA	DIAMETER	RD	ROOF DRAIN
DIMS	DIMENSIONS	RDWD	REDWOOD
DN	DOWN	REQD	REQUIRED
DR	DOOR	RM	ROOM
DWG	DRAWING	S.F.	SQUARE FOOT
(E)	EXISTING	SIM	SIMILAR
EA	EACH	SPEC	SPECIFIED OR SPECIFICATION
EL	ELEVATION	SPK	SPRINKLER
ELEC	ELECTRICAL	STC	SOUND TRANSMISSION COEFFICIENT
ELEV	ELEVATOR/ELEVATION	STD	STANDARD
EQ	EQUAL	STL	STEEL
EXT	EXTERIOR	STRUCT	STRUCTURAL
EXP JT	EXPANSION JOINT	SQ.	SQUARE
EXT	EXTERIOR	T&G	TONGUE AND GROOVE
F.D.	FLOOR DRAIN	TC	TOP OF CURB
FEC	FIRE EXT. CABINET	TELE	TELEPHONE
FIXT	FIXTURE	TLT	TOILET
FLR	FLOOR	TC	TOP OF CONCRETE
FLUOR	FLUORESCENT	T/D	TELEPHONE/DATA
FND	FOUNDATION	TYP	TYPICAL
FO	FACE OF	U.O.N.	UNLESS OTHERWISE NOTED
F.O.F.	FACE OF FINISH	V.I.F.	VERIFY IN FIELD
FURR	FURRING	W/	WITH
GA	GAUGE	WD	WOOD
GALV	GALVANIZED	W.H.	WATER HEATER



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COVER SHEET

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DATE 01/11/2015

REVISED DATE 03/30/2016

JOB NO. 15.046

SHEET NO. **A-0.1**



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SHEET TITLE

(E) & (N) SITE PLAN

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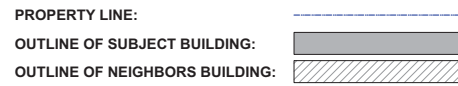
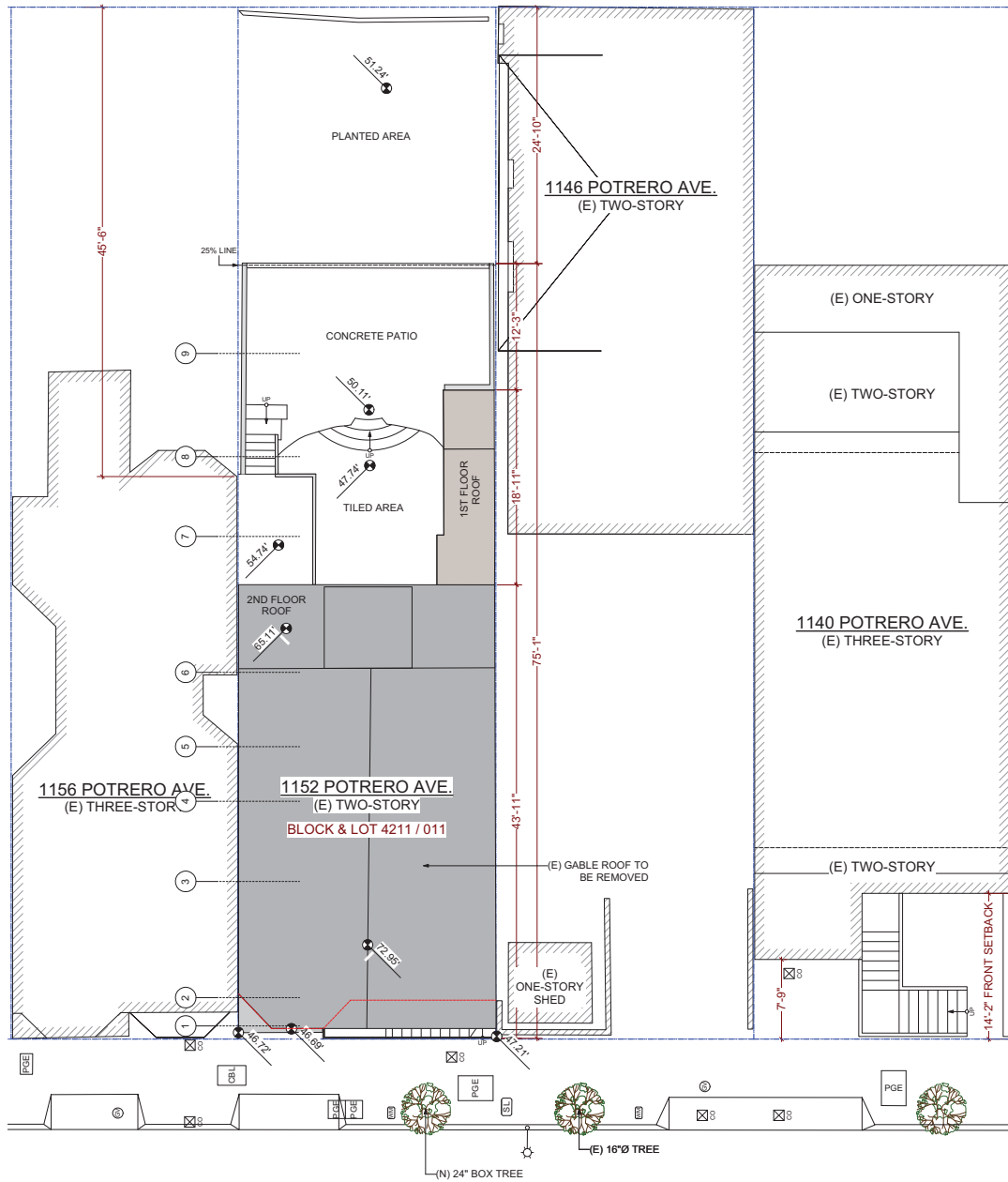
DATE 01/11/2015

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JOB NO. 15.046

SHEET NO. **A-1.0**

COMPLY WITH SITE SURVEY FOR LOT BOUNDARY LINES

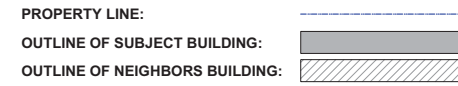
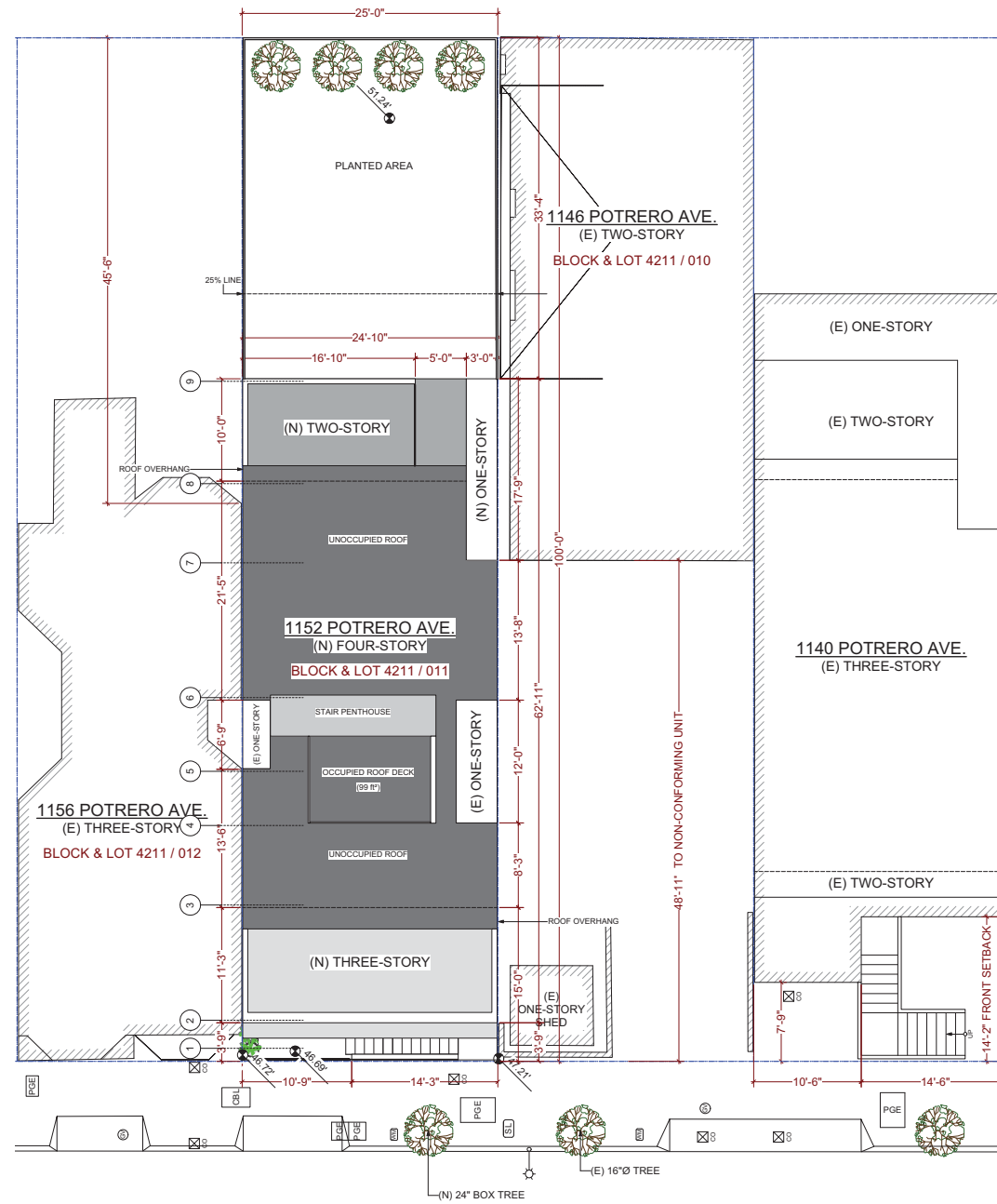


POTRERO AVE.
(E) SITE PLAN
1/8" = 1'-0"



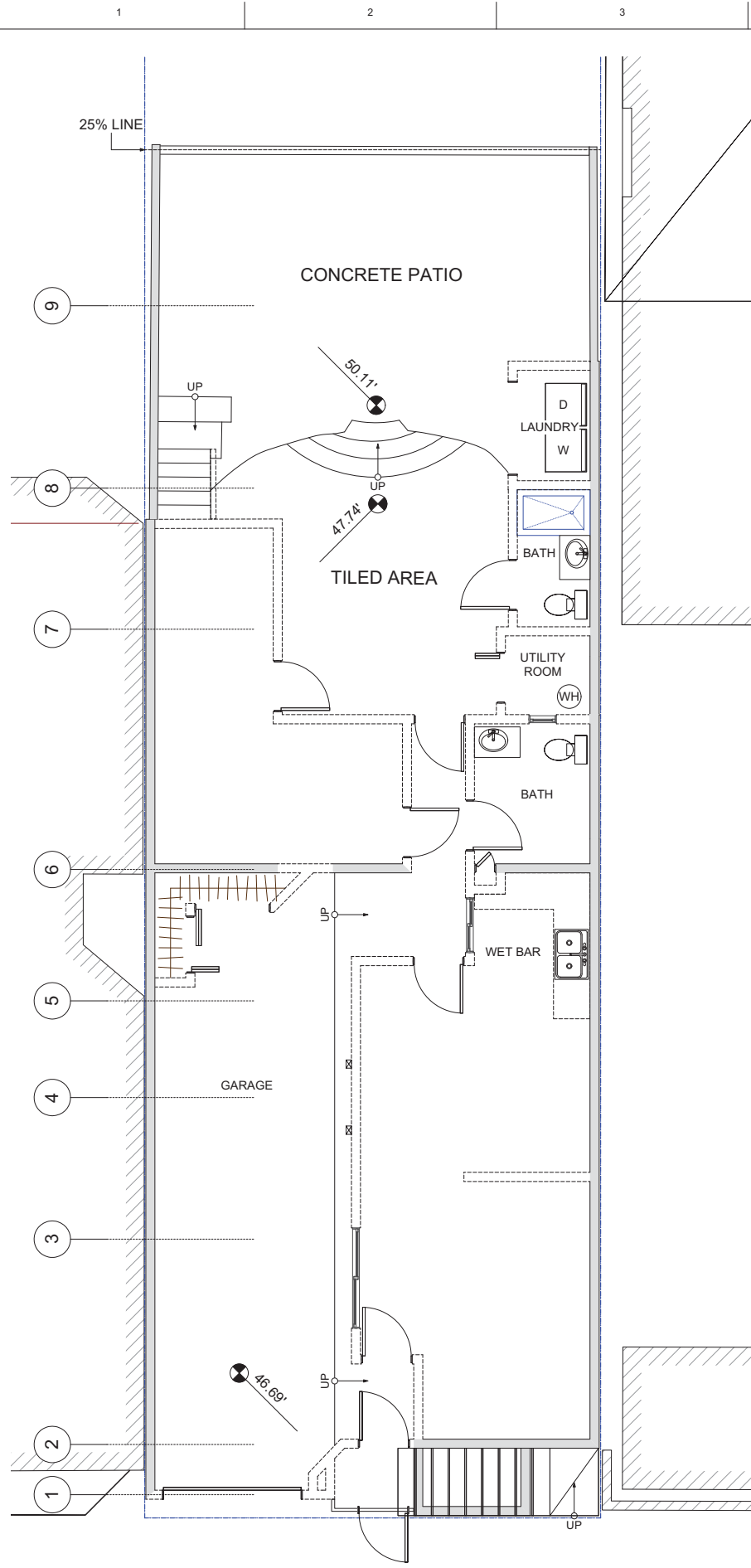
LEGEND

- PROPERTY LINE
- MM WATER METER
- PGE PG&E BOX
- CBT CABLE/TV BOX
- SL STREET LIGHT BOX
- O GAS VALVE
- X SEWER CLEANOUT

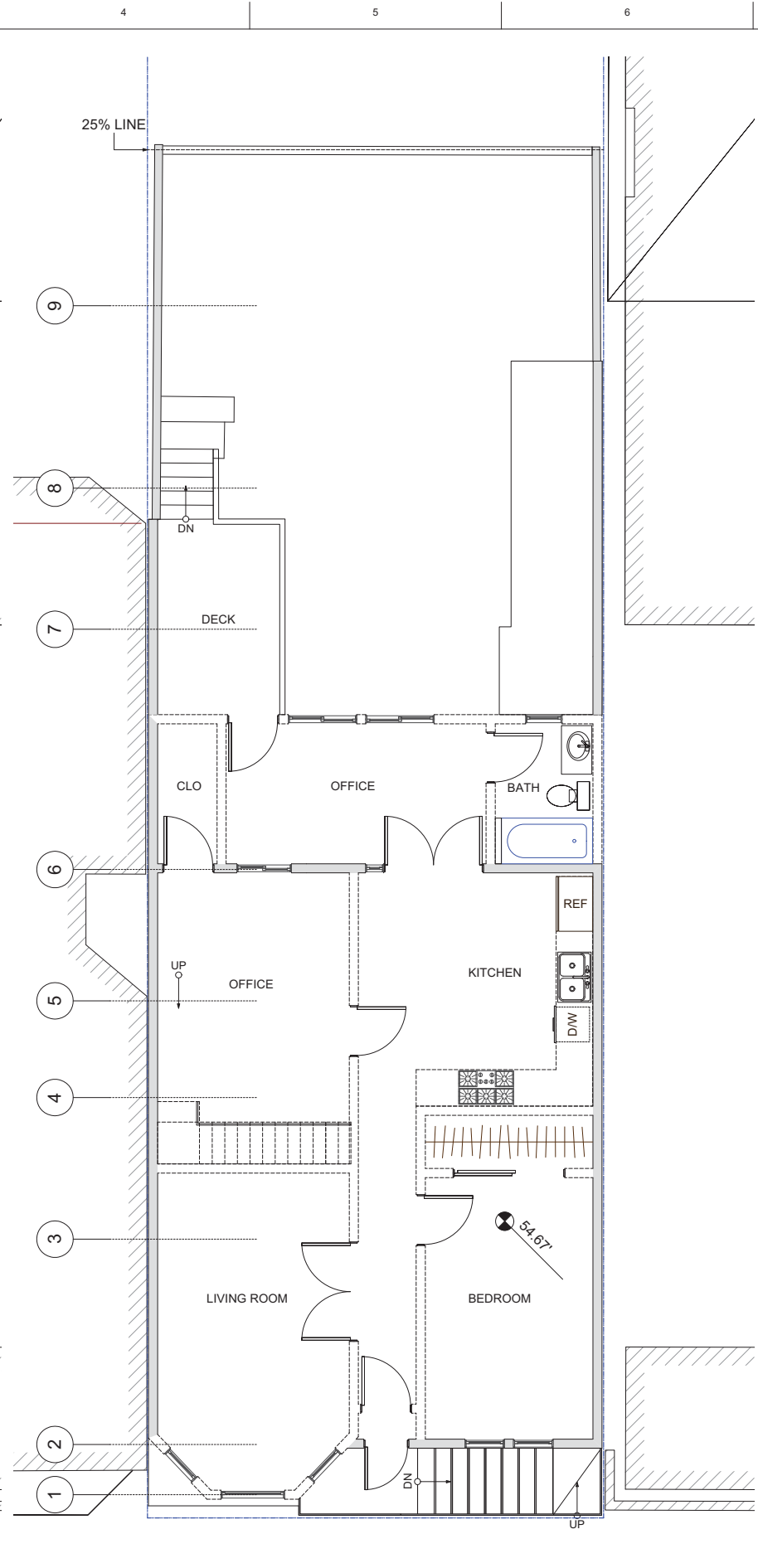


POTRERO AVE.
(N) SITE & ROOF PLAN
1/8" = 1'-0"

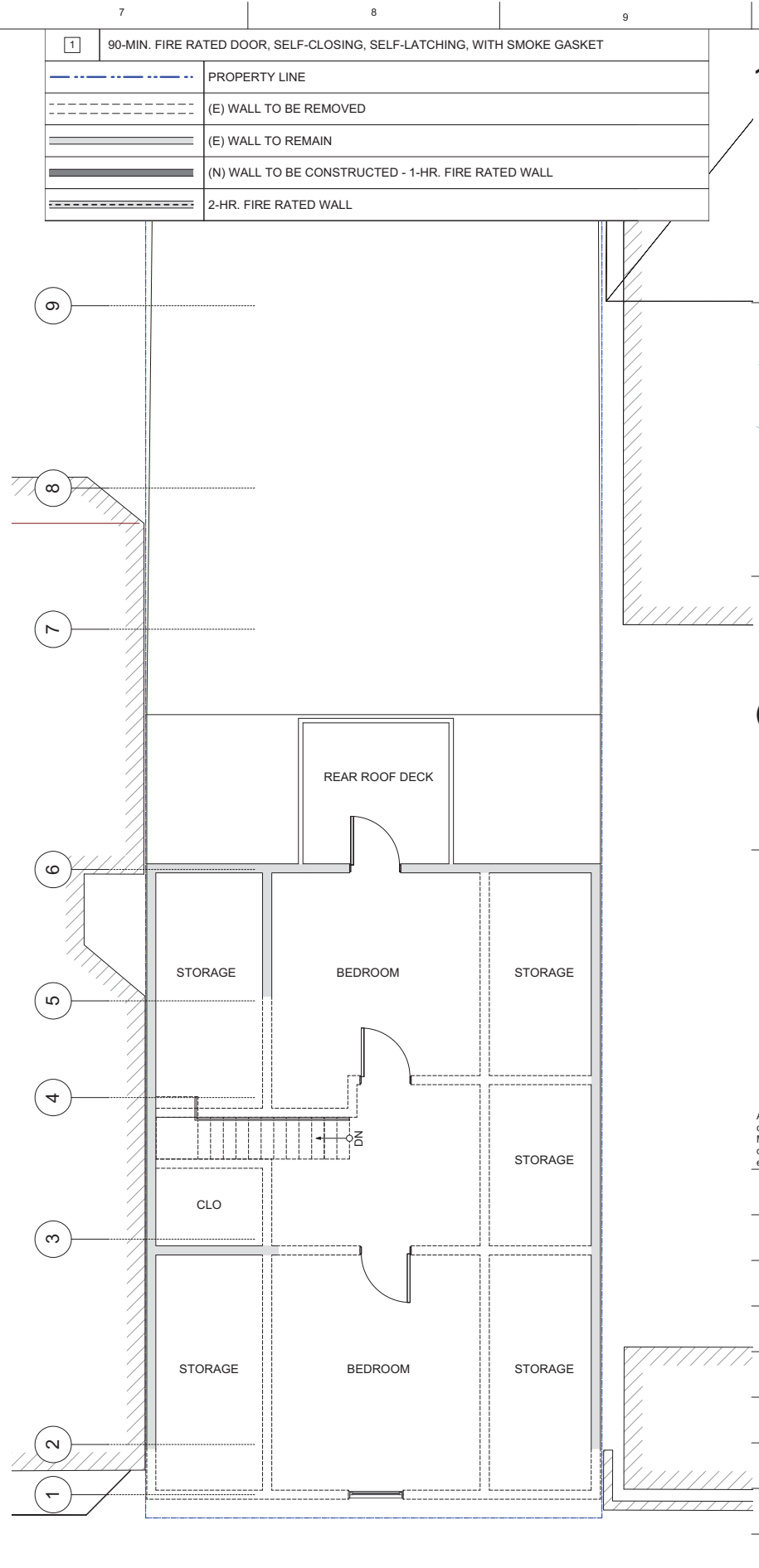




(E) 1ST FLOOR PLAN
1/4" = 1'-0"



(E) 2ND FLOOR PLAN
1/4" = 1'-0"

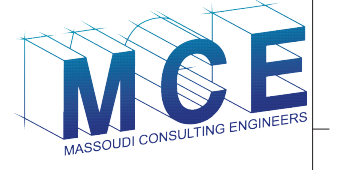


(E) 3RD FLOOR PLAN
1/4" = 1'-0"



1	90-MIN. FIRE RATED DOOR, SELF-CLOSING, SELF-LATCHING, WITH SMOKE GASKET
---	PROPERTY LINE
- - - - -	(E) WALL TO BE REMOVED
=====	(E) WALL TO REMAIN
=====	(N) WALL TO BE CONSTRUCTED - 1-HR. FIRE RATED WALL
=====	2-HR. FIRE RATED WALL

PROJECT NAME
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SHEET TITLE
(E) FLOOR PLANS

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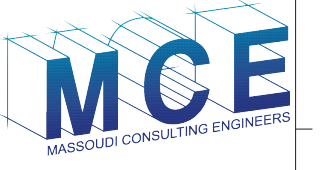
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SHEET NO. **A-2.0**



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SHEET TITLE

DEMOLITION CALCULATIONS

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SHEET NO. **A-2.1**

1	90-MIN. FIRE RATED DOOR, SELF-CLOSING, SELF-LATCHING, WITH SMOKE GASKET
---	PROPERTY LINE
---	(E) WALL TO BE REMOVED
---	(E) WALL TO REMAIN
---	(N) WALL TO BE CONSTRUCTED - 1-HR. FIRE RATED WALL
---	2-HR. FIRE RATED WALL

Demolition Calculation
 (per SFPC §317(b))

Removal of more than 65% of the sum of all exterior walls, measured in lineal feet at the foundation level:

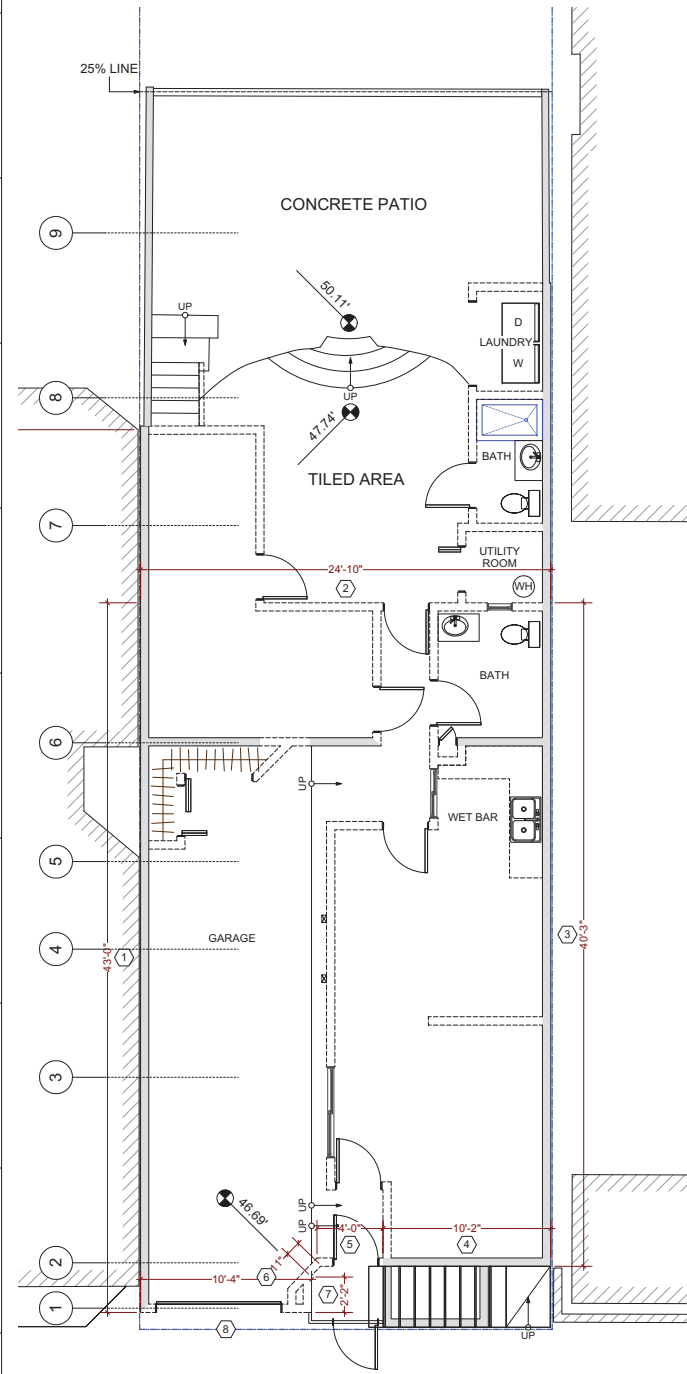
Wall Number	Wall Lengths	Remaining Walls	Remaining Wall Length
1	43'-0"	X	43'-0"
2	24'-10"		
3	40'-3"	X	40'-3"
4	10'-2"	X	10'-2"
5	4'-0"		
6	0'-11"		
7	2'-2"		
8	10'-4"		
Total	135'-8"		93'-5"

Existing 1st floor exterior walls (in LF): 135'-8"
 Existing 1st floor exterior walls to remain (in LF): 93'-5"
 Percent to remain: 68.86%
 Percent to be removed: 31.14%
 Analysis: 31.14% < 65% **Complies**

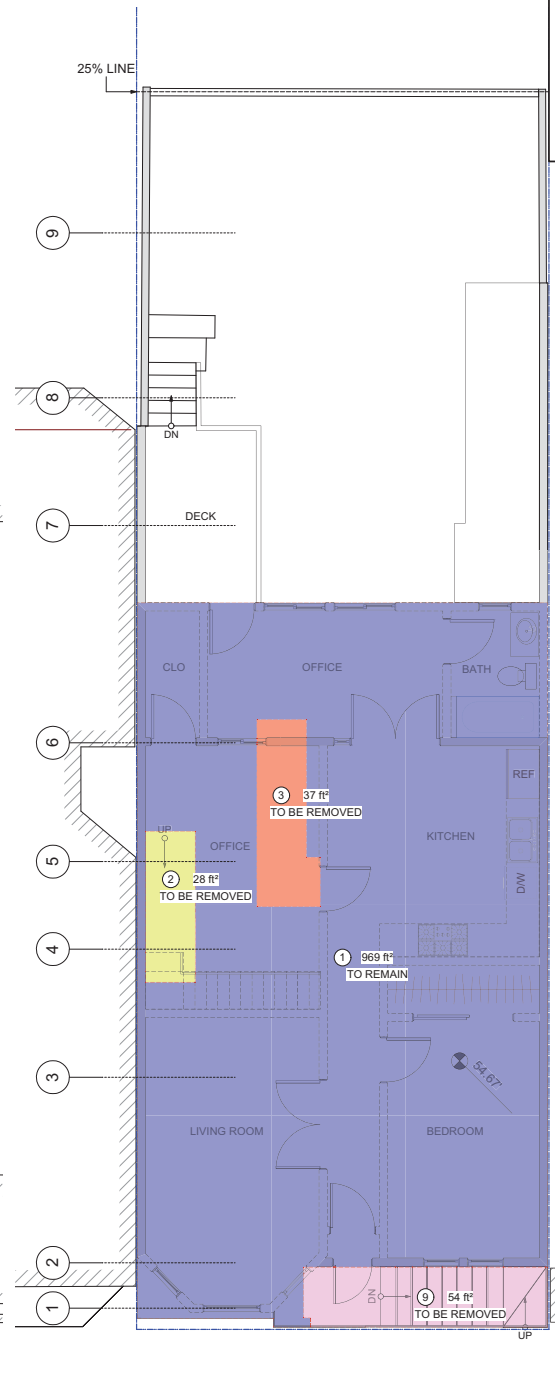
Removal of more than 50% of the horizontal elements of the existing building, as measured in square feet of actual surface area:

Section Number	Sectional Area	Remaining Areas	Remaining Area
1	969 R²	X	969 R²
2	28 R²		
3	37 R²		
4	967 R²	X	967 R²
5	36 R²		
6	18 R²		
7	48 R²		
8	1,067 R²		
9	54 R²		
Total	3,224 R²		1,936 R²

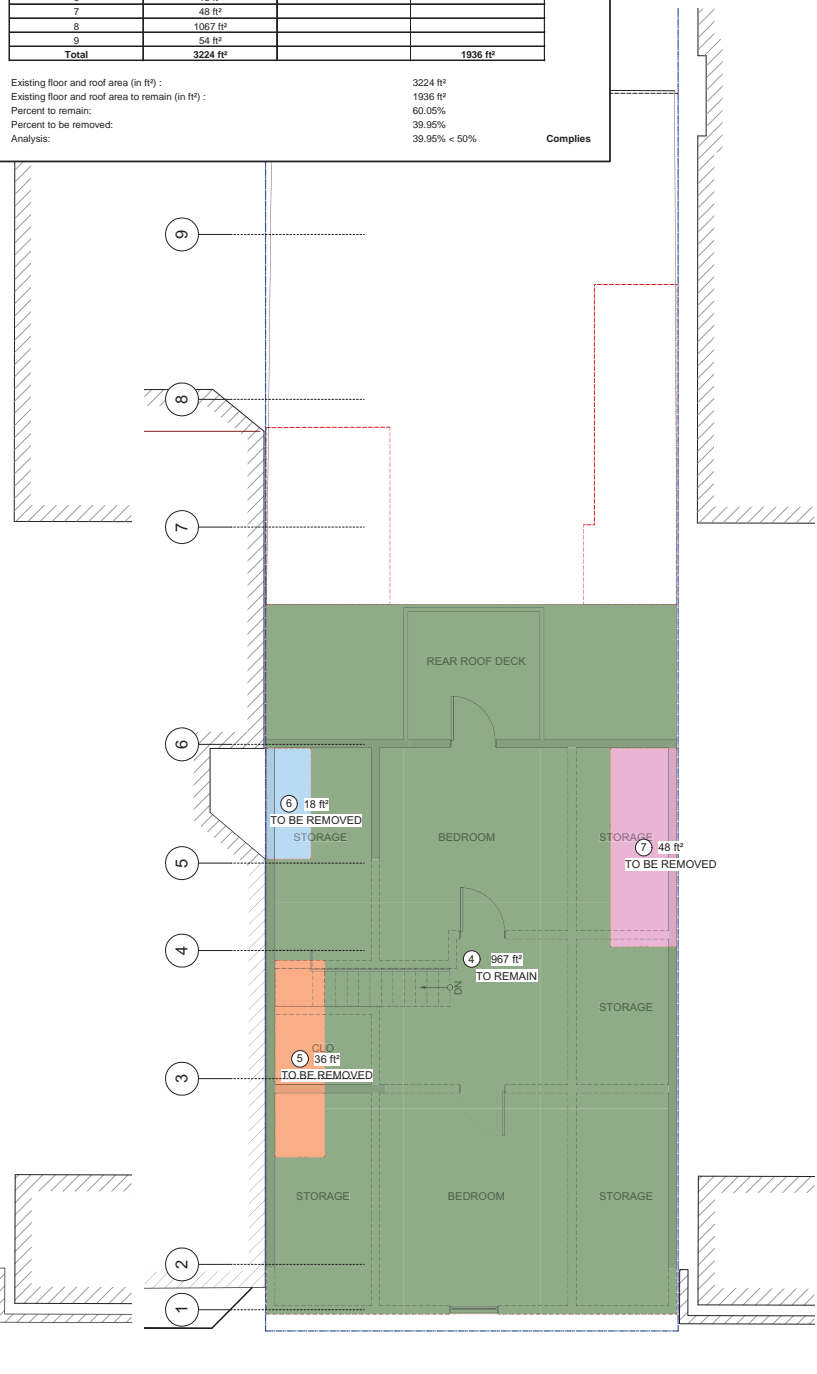
Existing floor and roof area (in R²): 3,224 R²
 Existing floor and roof area to remain (in R²): 1,936 R²
 Percent to remain: 60.05%
 Percent to be removed: 39.95%
 Analysis: 39.95% < 50% **Complies**



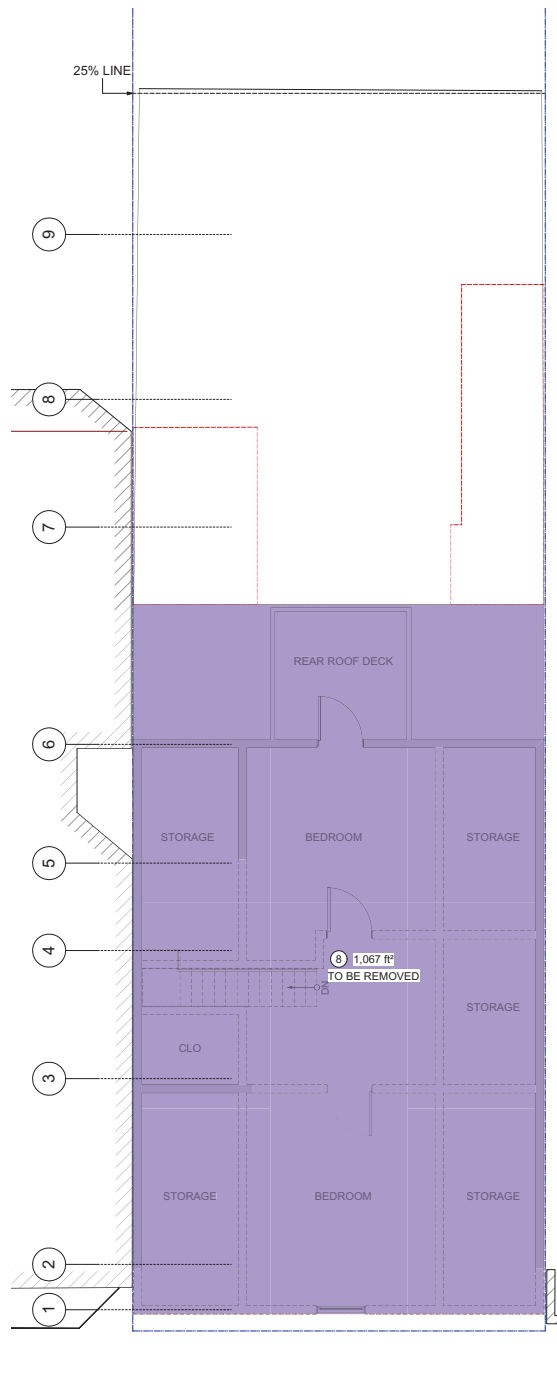
(E) 1ST FLOOR PLAN
 3/16" = 1'-0"



(E) 2ND FLOOR PLAN
 3/16" = 1'-0"



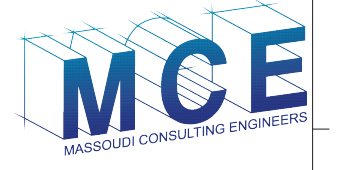
(E) 3RD FLOOR PLAN
 3/16" = 1'-0"



(E) ROOF FLOOR PLAN
 3/16" = 1'-0"

1	90-MIN. FIRE RATED DOOR, SELF-CLOSING, SELF-LATCHING, WITH SMOKE GASKET
---	PROPERTY LINE
---	(E) WALL TO BE REMOVED
---	(E) WALL TO REMAIN
---	(N) WALL TO BE CONSTRUCTED - 1-HR. FIRE RATED WALL
---	2-HR. FIRE RATED WALL

PROJECT NAME
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(N) FLOOR PLANS
(1)

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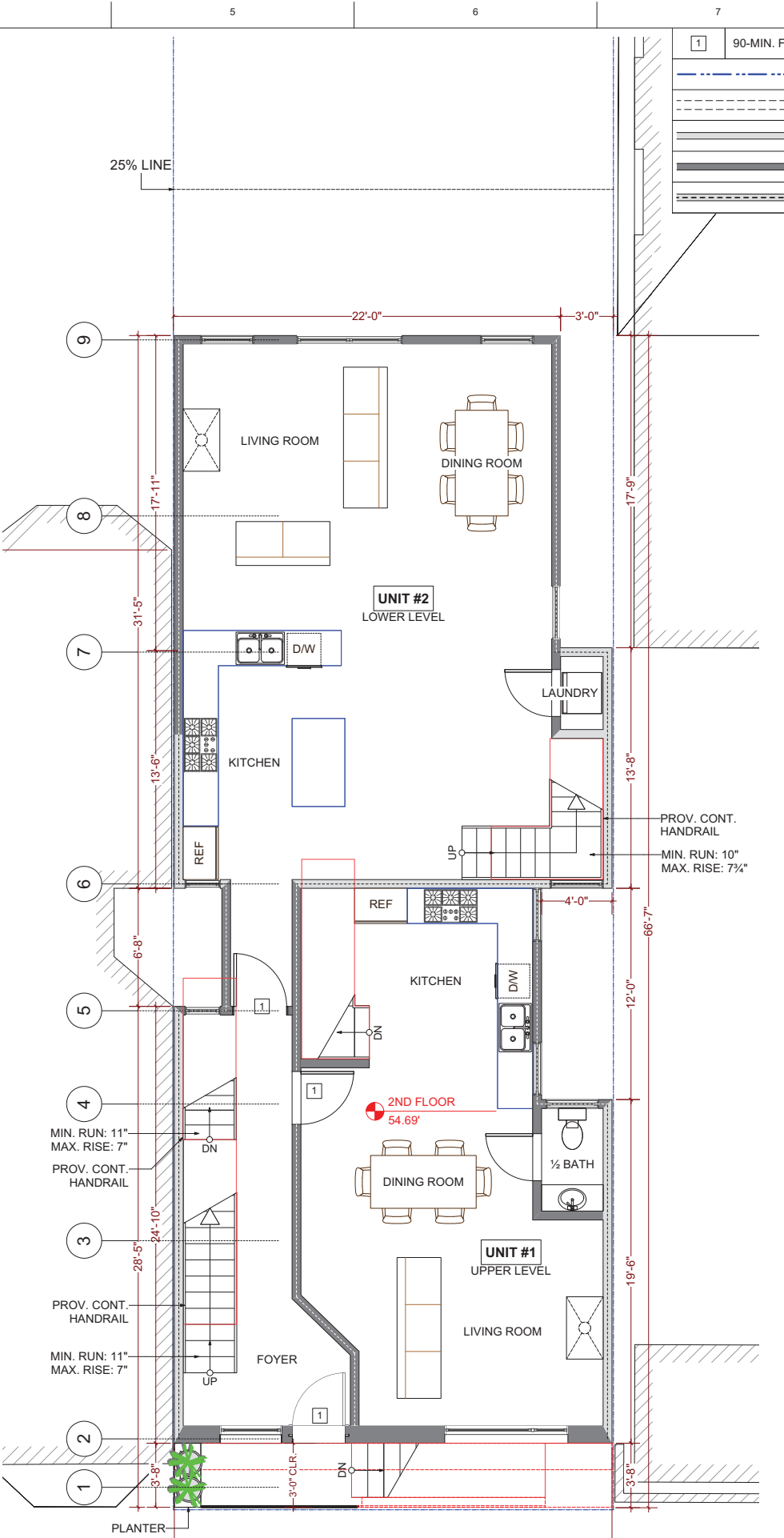
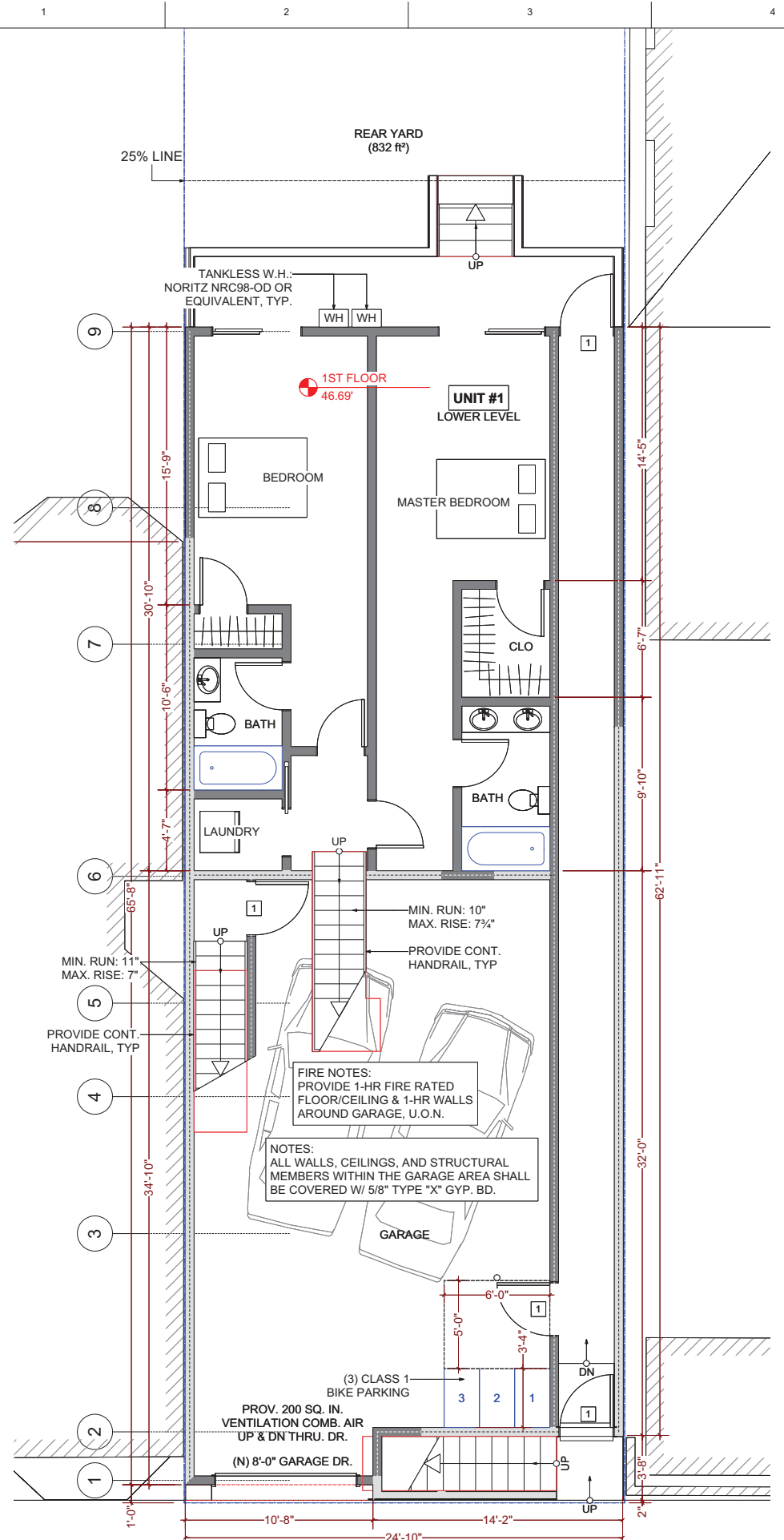
NO.	DATE	DESCRIPTION

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JOB NO. 15.046

SHEET NO. **A-3.0**



USABLE OPEN SPACE REQUIREMENT (§135)

UNIT #1 REAR YARD AREA:	832 ft²
UNIT #2 PRIVATE DECK AREA:	155 ft²
UNIT #3 PRIVATE DECK AREAS:	344 ft²

ALL AREAS FOR USABLE OPEN SPACE EXCEED THE REQUIRED MINIMUMS.

FIRE NOTES:
 PROVIDE 1-HR FIRE RATED FLOOR/CEILING & 1-HR WALLS AROUND GARAGE, U.O.N.

NOTES:
 ALL WALLS, CEILINGS, AND STRUCTURAL MEMBERS WITHIN THE GARAGE AREA SHALL BE COVERED W/ 5/8" TYPE "X" GYP. BD.

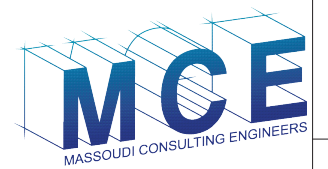
PROV. CONT. HANDRAIL
 MIN. RUN: 10"
 MAX. RISE: 7 1/4"

MIN. RUN: 11"
 MAX. RISE: 7"

PROV. CONT. HANDRAIL
 MIN. RUN: 11"
 MAX. RISE: 7"

1	90-MIN. FIRE RATED DOOR, SELF-CLOSING, SELF-LATCHING, WITH SMOKE GASKET
---	PROPERTY LINE
---	(E) WALL TO BE REMOVED
---	(E) WALL TO REMAIN
---	(N) WALL TO BE CONSTRUCTED - 1-HR. FIRE RATED WALL
---	2-HR. FIRE RATED WALL

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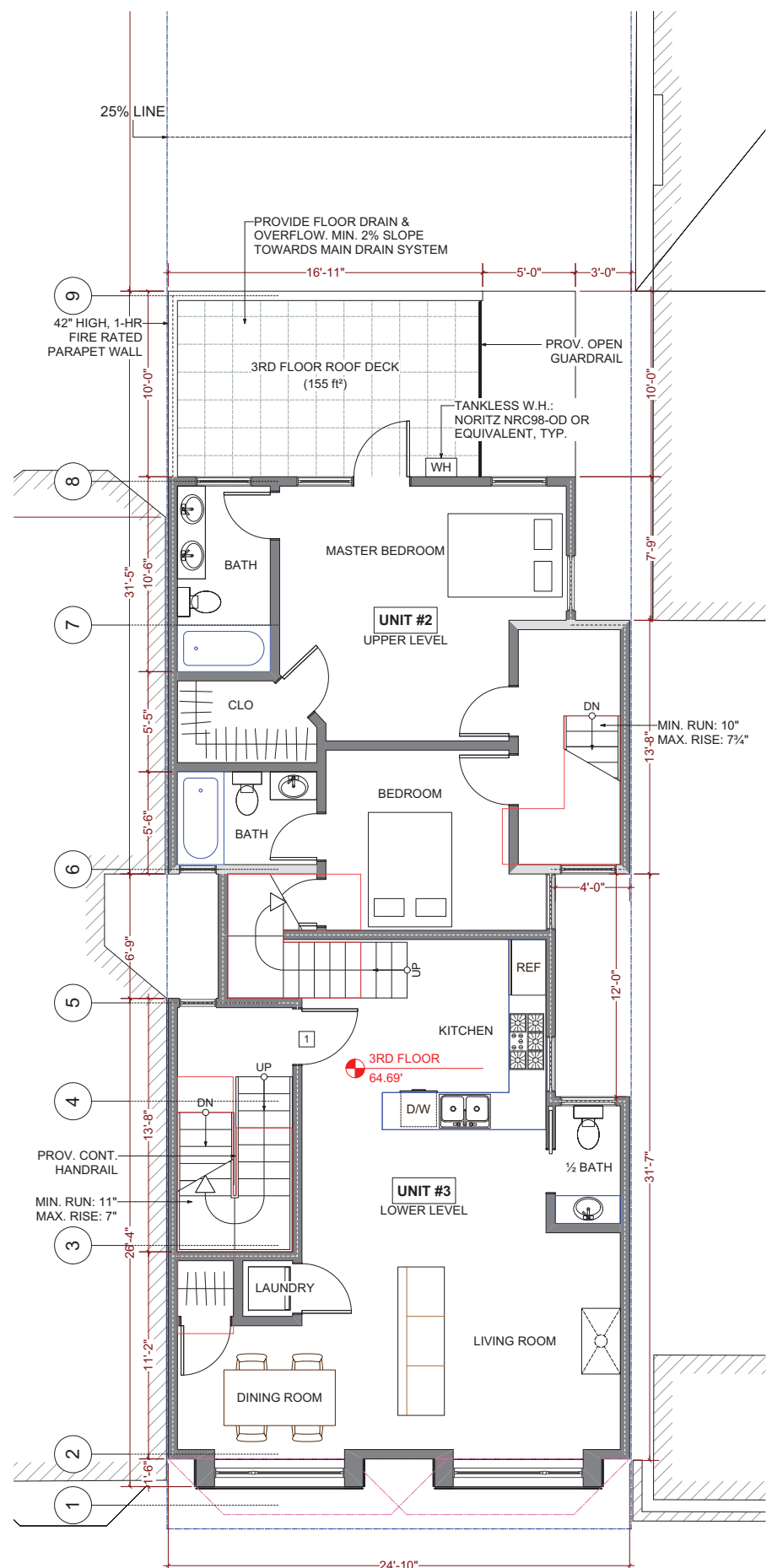
(N) FLOOR PLANS
(2)

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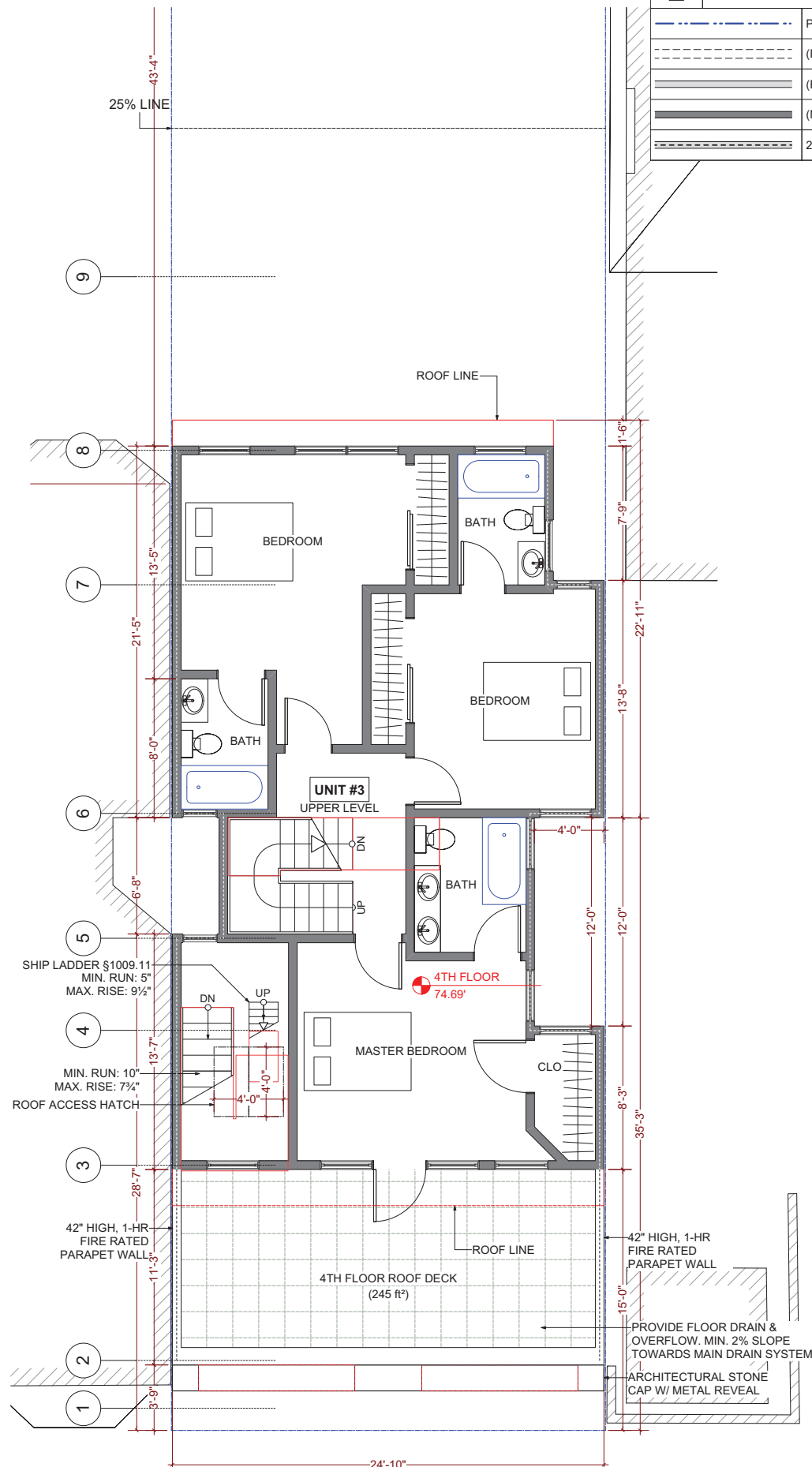
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DATE	01/11/2015
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JOB NO.	15.046
SHEET NO.	A-3.1



(N) 3RD FLOOR PLAN
 1/4" = 1'-0"



(N) 4TH FLOOR PLAN
 1/4" = 1'-0"



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EXITING DIAGRAMS

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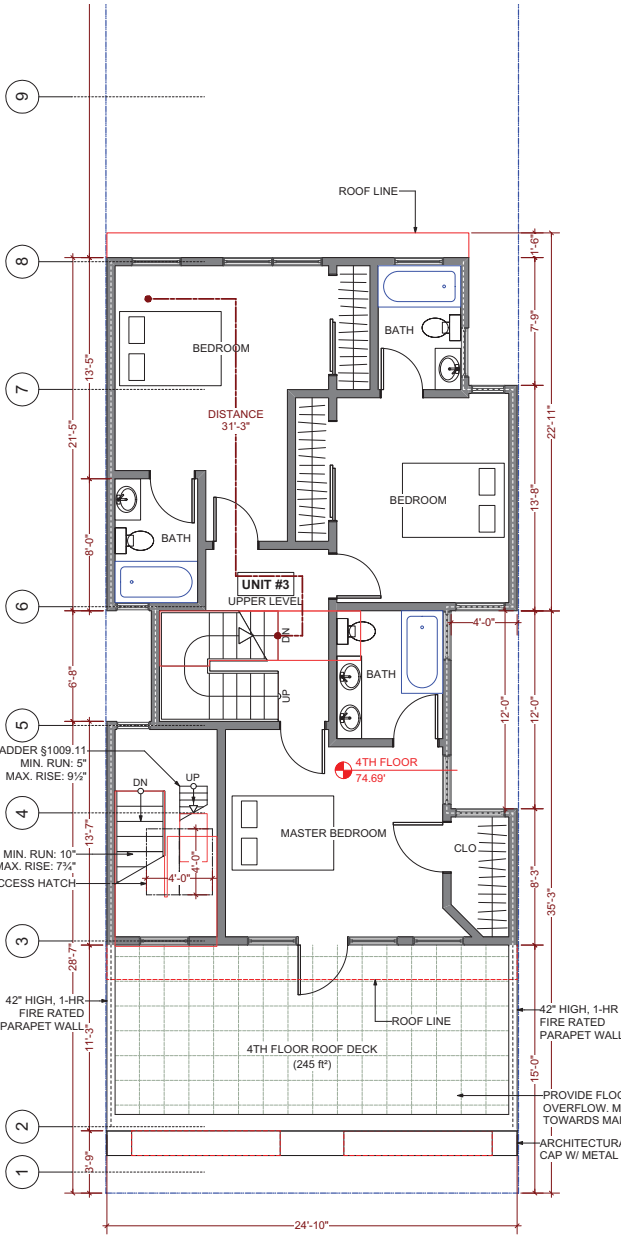
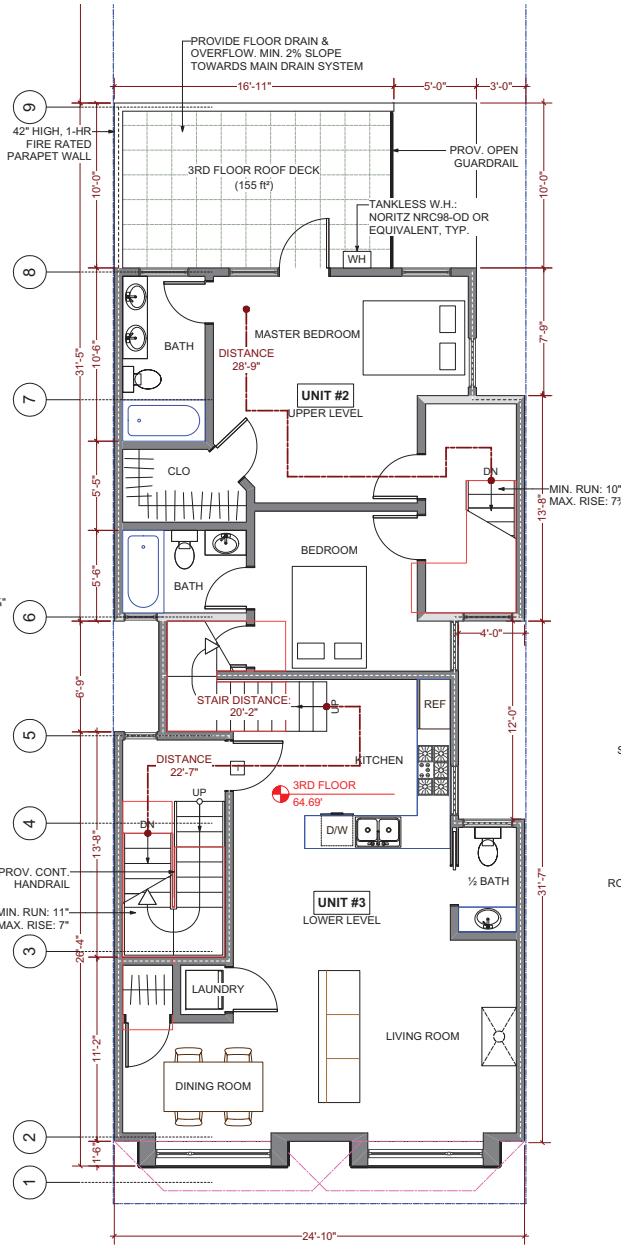
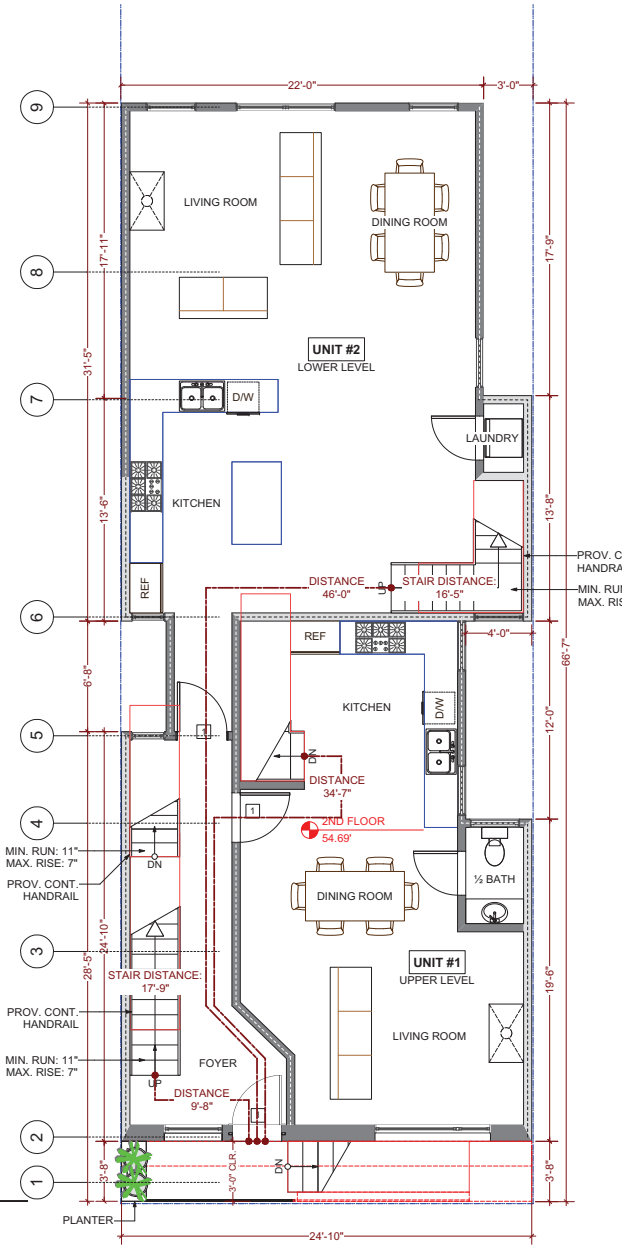
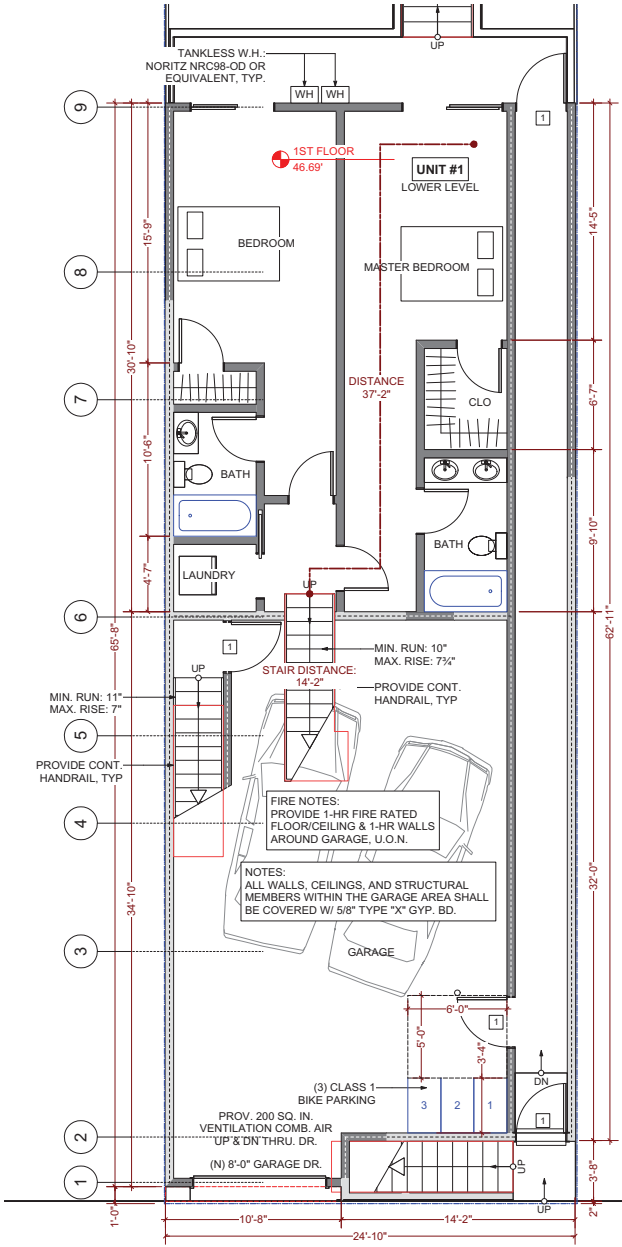
NO.	DATE	DESCRIPTION

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JOB NO. 15.046

SHEET NO. **A-3.2**



TRAVEL DISTANCE CALCULATION

UNIT #1

LOWER LEVEL:	
DISTANCE WITHIN 1ST FLOOR:	37'-2"
STAIRS CONNECTING 1ST TO 2ND FLOOR:	14'-2"
UPPER LEVEL:	
DISTANCE TO EXIT DISCHARGE:	34'-7"
TOTAL:	85'-11"

TRAVEL DISTANCE CALCULATION

UNIT #2

UPPER LEVEL:	
DISTANCE WITHIN 3RD FLOOR:	28'-9"
STAIRS CONNECTING 3RD TO 2ND FLOOR:	16'-5"
LOWER LEVEL:	
DISTANCE TO EXIT DISCHARGE:	46'-0"
TOTAL:	91'-2"

TRAVEL DISTANCE CALCULATION

UNIT #3

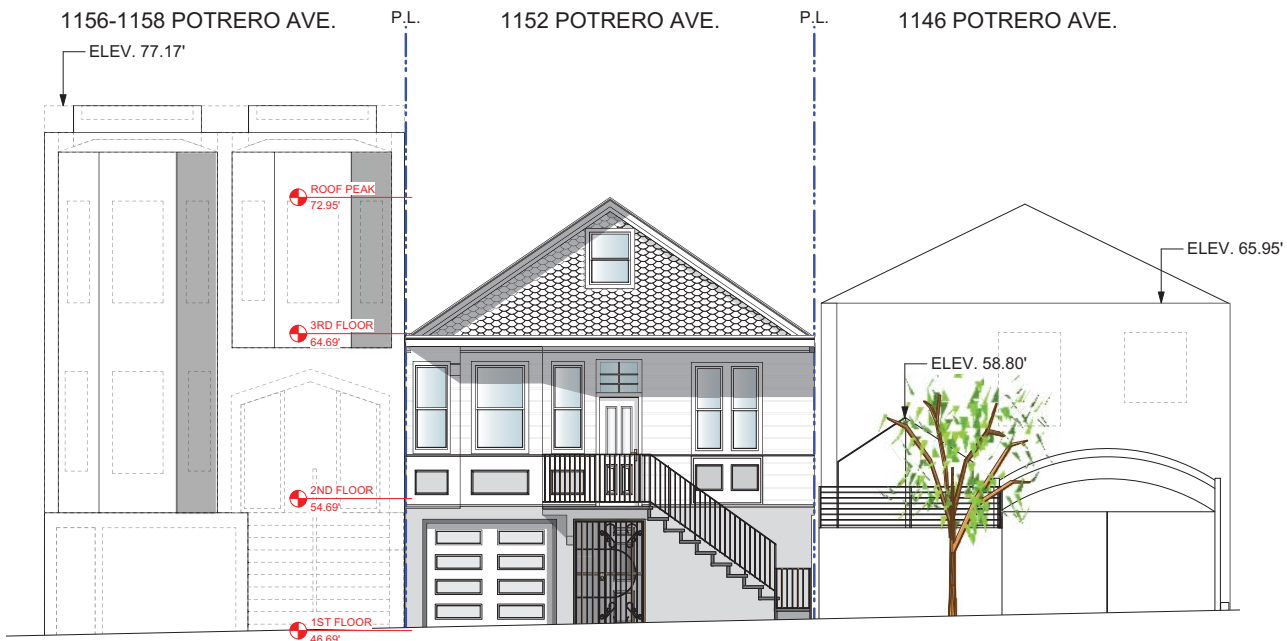
UPPER LEVEL:	
DISTANCE WITHIN 4TH FLOOR:	31'-3"
STAIRS CONNECTING 4TH TO 3RD FLOOR:	20'-2"
LOWER LEVEL:	
DISTANCE WITHIN 3RD FLOOR:	22'-7"
STAIRS CONNECTING 3RD TO 2ND FLOOR:	17'-9"
DISTANCE TO EXIT DISCHARGE:	9'-8"
TOTAL:	101'-5"



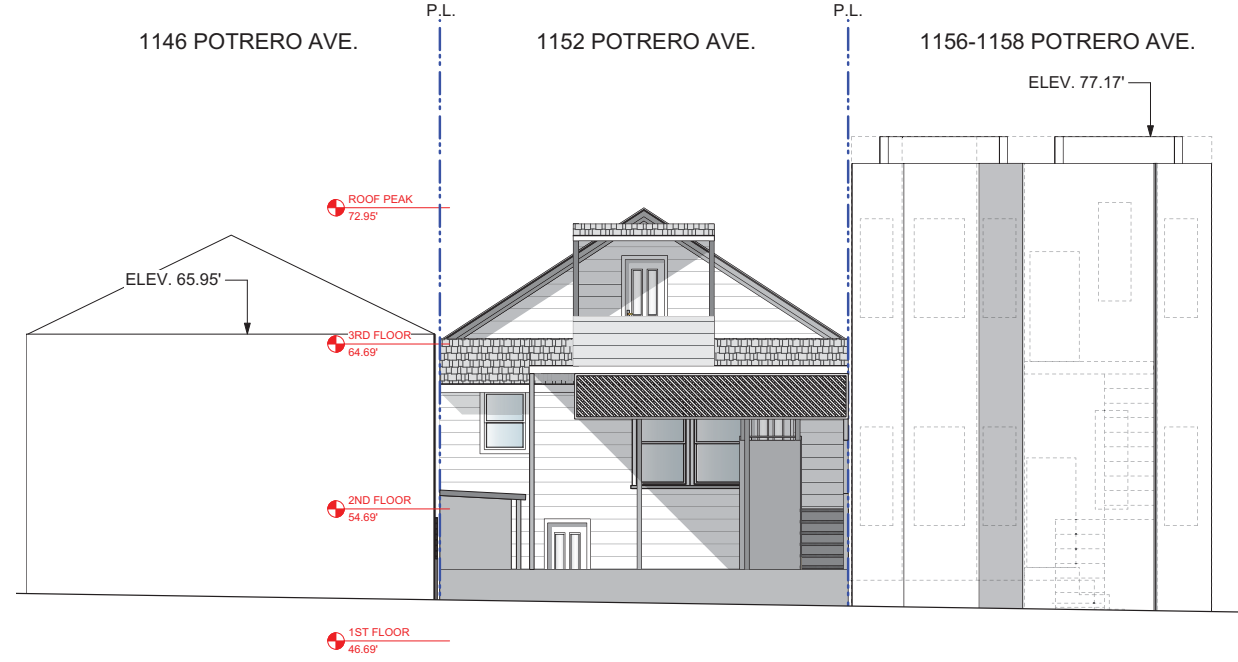
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SHEET TITLE

**(E) & (N) FRONT
AND REAR
ELEVATION**



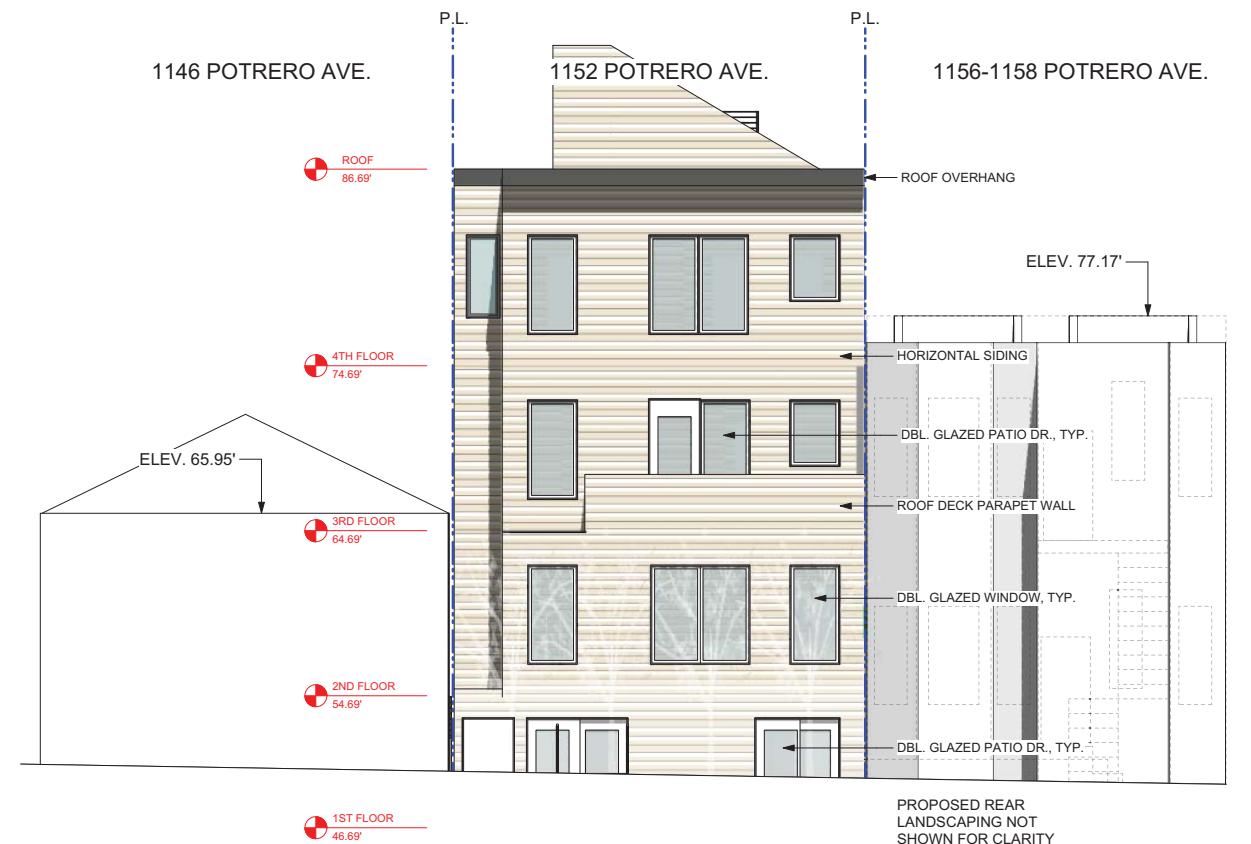
(E) FRONT ELEVATION (EAST)
3/16" = 1'-0"



(E) REAR ELEVATION (WEST)
3/16" = 1'-0"



(N) FRONT ELEVATION (EAST)
3/16" = 1'-0"



(N) REAR ELEVATION (WEST)
3/16" = 1'-0"

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**(E) LEFT AND
 RIGHT
 ELEVATION**

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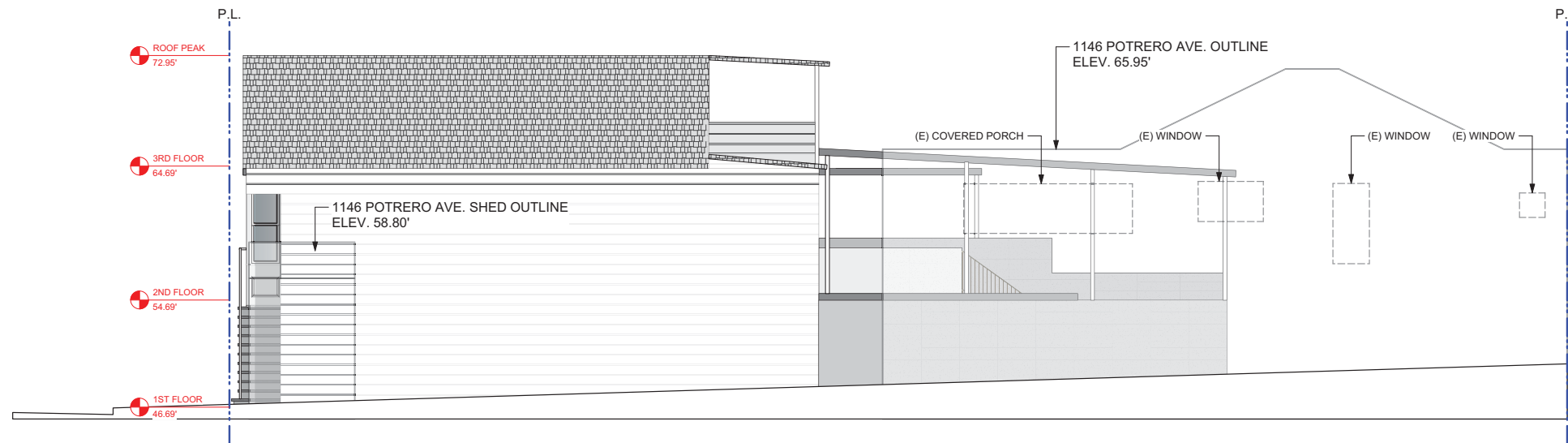
NO.	DATE	DESCRIPTION

DATE	01/11/2015
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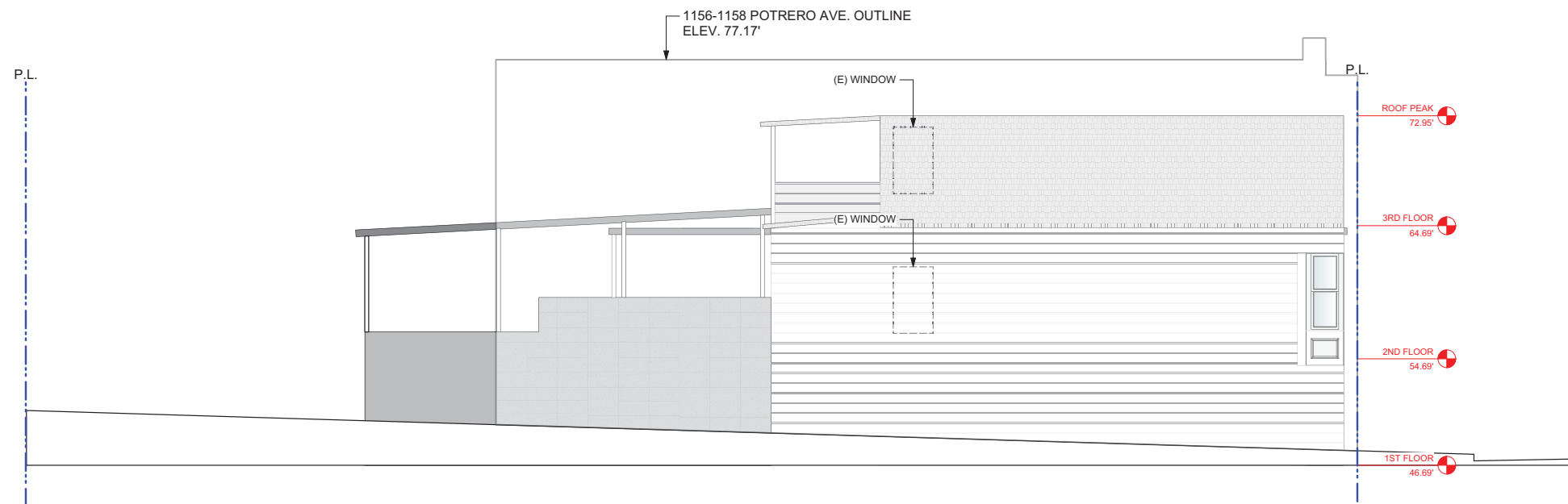
REVISED DATE	03/30/2016
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JOB NO.	15.046
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SHEET NO.	A-4.1
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(E) RIGHT ELEVATION (NORTH)
 3/16" = 1'-0"



(E) LEFT ELEVATION (SOUTH)
 3/16" = 1'-0"



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SHEET TITLE

**(N) LEFT AND
 RIGHT
 ELEVATION**

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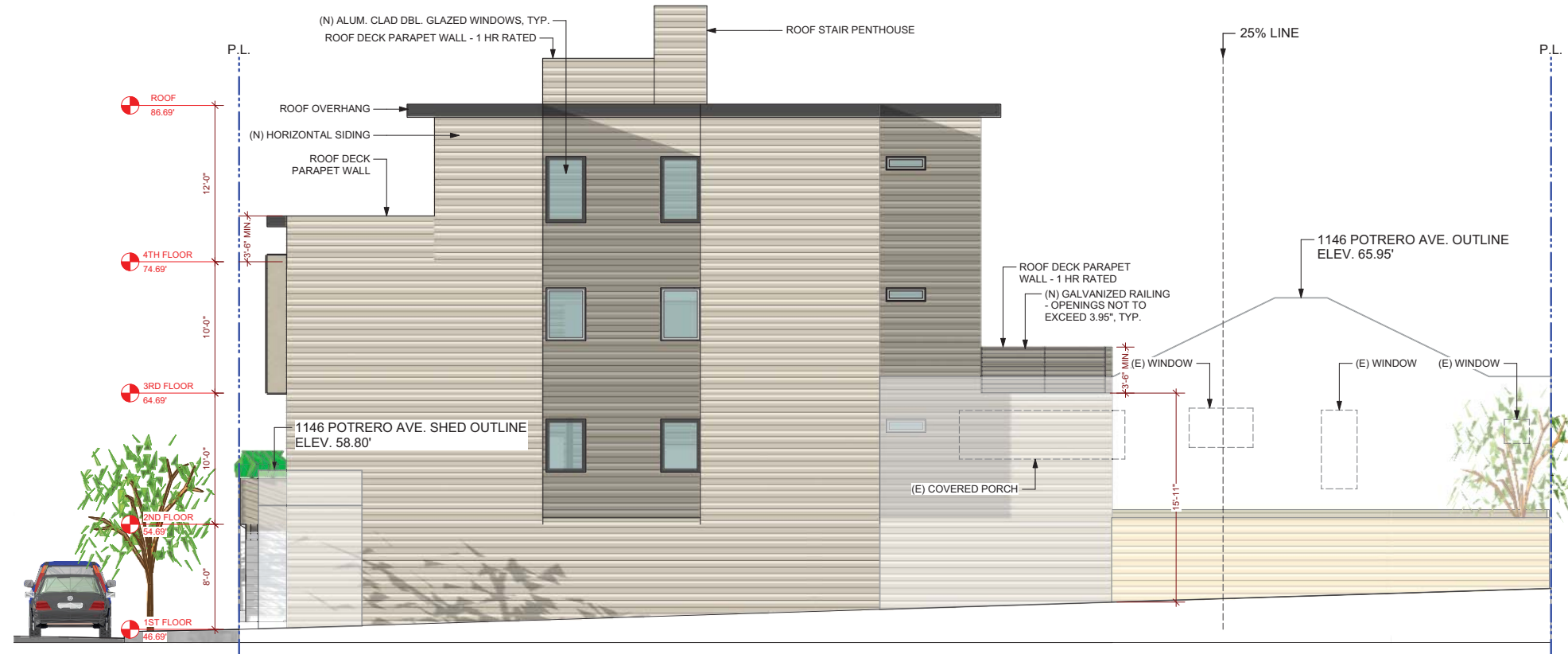
DATE 01/11/2015

REVISED DATE 03/30/2016

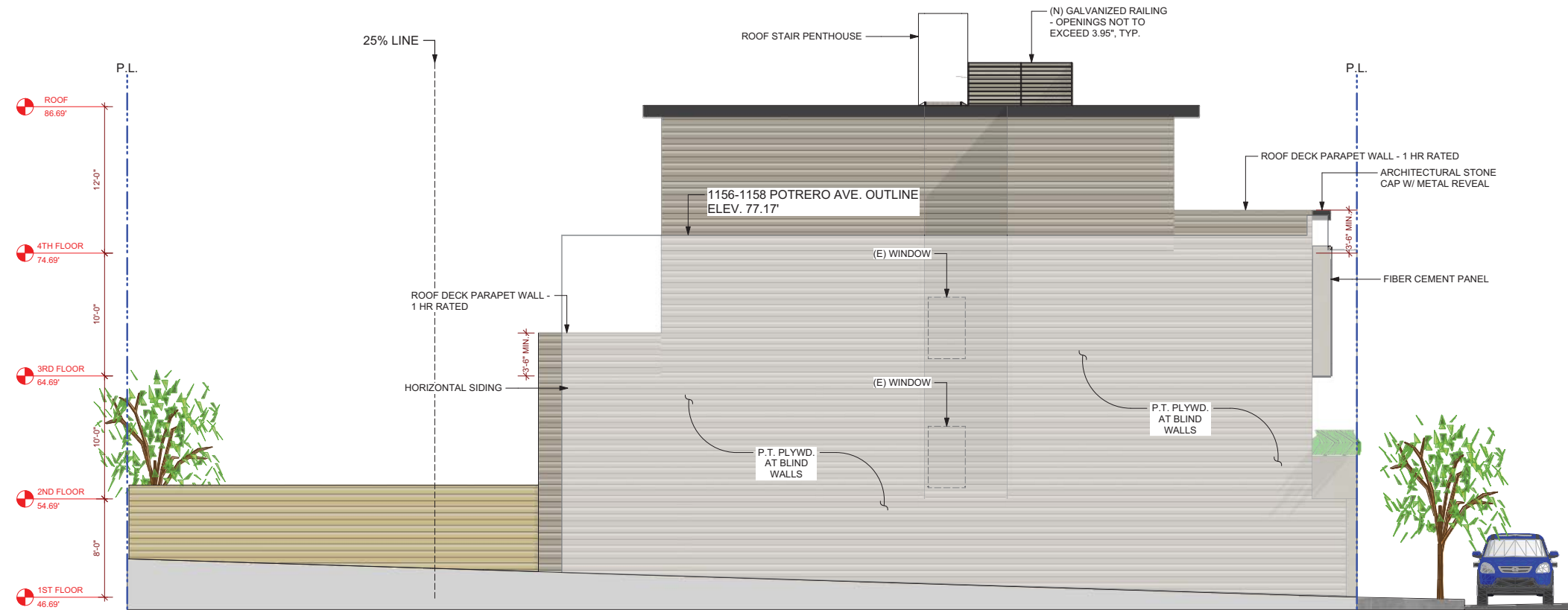
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SHEET NO.

A-4.2



(N) RIGHT ELEVATION (NORTH)
 3/16" = 1'-0"

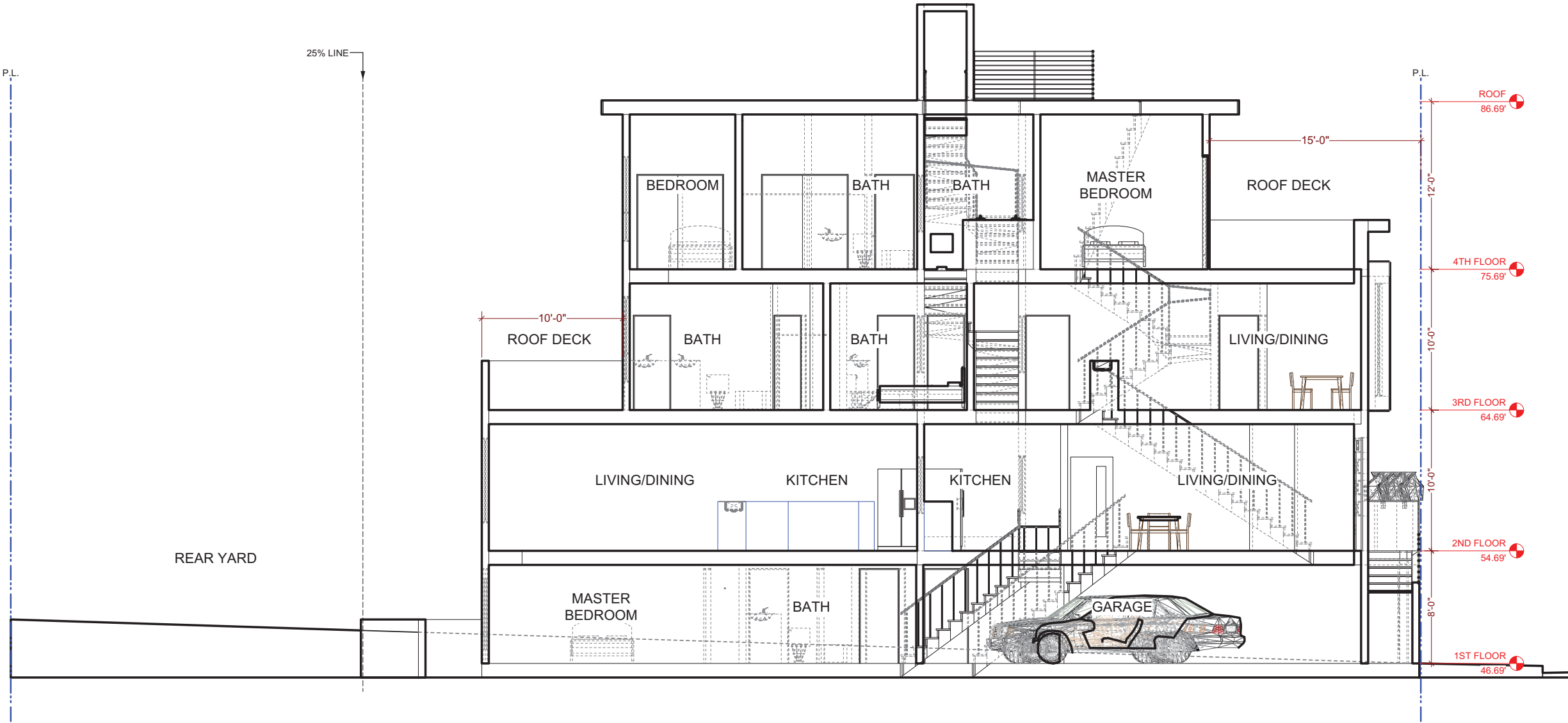


(N) LEFT ELEVATION (SOUTH)
 3/16" = 1'-0"



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SHEET TITLE
**BUILDING SECTION AND
 FIRE ASSEMBLY
 DETAILS**



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SHEET NO.		

A-5.0

(N) SECTION A-A
 1/4" = 1'-0"

GA FILE NO. WP 8415	GENERIC	2 HOUR FIRE
GYPSUM SHEATHING, GYPSUM WALLBOARD, WOOD STUDS		
EXTERIOR SIDE: Base layer 1/2" type X gypsum sheathing applied parallel or at right angles to 2 x 4 wood studs 24" o.c. with 6d coated nails, 1 1/2" long, 0.085" shank, 1/4" heads, 24" o.c. Face layer 1/2" type X gypsum sheathing applied parallel or at right angles to studs with 6d coated nails, 2 1/4" long, 0.100" shank, 1/4" heads, 8" o.c. Exterior cladding attached through sheathing to studs.		
INTERIOR SIDE: Base layer 1/2" type X gypsum wallboard or gypsum veneer base applied parallel or at right angles to studs with 6d coated nails, 1 1/2" long, 0.085" shank, 1/4" heads, 24" o.c. Face layer 1/2" type X gypsum wallboard or gypsum veneer base applied parallel or at right angles to studs with 6d coated nails, 2 1/4" long, 0.100" shank, 1/4" heads, 8" o.c.		
Thickness: 6 1/4" without exterior cladding		
Approx. Weight: 12 psf		
Fire Test: See WP 4135 (FM WP 360, 9-27-74)		

GA FILE NO. WP 8105	GENERIC	1 HOUR FIRE
GYPSUM WALLBOARD, GYPSUM SHEATHING, WOOD STUDS		
EXTERIOR SIDE: One layer 48" wide 1/2" type X gypsum sheathing applied parallel to 2 x 4 wood studs 24" o.c. with 1 1/2" galvanized roofing nails 4" o.c. at vertical joints and 7" o.c. at intermediate studs and top and bottom plates. Joints of gypsum sheathing may be left untreated. Exterior cladding to be attached through sheathing to studs.		
INTERIOR SIDE: One layer 1/2" type X gypsum wallboard, water-resistant gypsum backing board, or gypsum veneer base applied parallel or at right angles to studs with 6d coated nails, 1 1/2" long, 0.0915" shank, 1/4" heads, 7" o.c. (LOAD-BEARING)		
Thickness: Varies		
Approx. Weight: 7 psf		
Fire Test: See WP 3510 (UL R3501-47, -48, 9-17-65, UL Design U309; UL R1319-129, 7-22-70, UL Design U314)		

GA FILE NO. FC 5109	PROPRIETARY	1 HOUR FIRE	55 to 59 STC SOUND
WOOD JOISTS, WOOD STRUCTURAL PANELS, GYPSUM FLOOR TOPPING, RESILIENT CHANNELS, GLASS OR MINERAL FIBER BATT OR LOOSE FILL INSULATION, GYPSUM WALLBOARD			
One layer 1/2" proprietary type X gypsum wallboard or gypsum veneer base applied at right angles to resilient furring channels 24" o.c. (16" o.c. when batt insulation is used, 12" o.c. when loose fill insulation is used) with 1" Type S drywall screws 12" o.c. Gypsum board end joints located midway between continuous channels and attached with screws 8" to additional pieces of channel 60" long located 3" back on either side of end joint. Resilient channels applied at right angles to nominal 2 x 10 wood joists spaced a maximum of 24" o.c. with 1 1/2" Type S drywall screws. Glass or mineral fiber batt insulation stapled to subfloor or loose fill insulation applied directly over gypsum board. Wood joists supporting 1 1/2" wood structural panel subfloor applied at right angles to joists with construction adhesive and 6d ring shank nails 12" o.c. Minimum 1/2" proprietary gypsum floor topping applied over subfloor.			
STC and IIC rated with both joists and resilient channels spaced 16" o.c., 3 1/2" glass fiber insulation in joist spaces, 1/2" proprietary gypsum floor topping poured over 1/2" proprietary sound reduction mat, and with finish flooring of CSP, sheet vinyl, and engineered wood laminates.			
PROPRIETARY GYPSUM COMPONENTS			
United States Gypsum Company - 1/2" SHEETROCK® Brand FIRECODE® C Core Gypsum Panels			
- LEVELROCK® Brand Floor Underlayment			
Approx. Ceiling Weight: 3 psf		Fire Test: UL R1319 (52NKG4589), 2-4-05; UL R1319 (52NKG4596, 3-31-05); UL Design L569	
Sound Test:		RAL TL04-97 & 98, 4-22-04; RAL TL04-99, -100, -101, 4-26-04; RAL TL04-109, 4-30-04	
IIC & Test:		(73 generic C&P); RAL IN04-010, 4-22-04; (52 cushion sheet vinyl) RAL IN04-011, 4-22-04; (51 engineered wood laminate) RAL IN04-012, 4-26-04; (50 cushion sheet vinyl) RAL IN04-013, 4-26-04; (48 generic sheet vinyl) RAL IN04-014, 4-26-04; (45 cushion sheet vinyl & channels spaced 24" o.c.) RAL IN04-015, 4-30-04	

PARTITION NOTES

ALL RATED ASSEMBLIES SHALL CONFORM TO THE REQUIREMENTS OF THE AGENCY AND DESIGN PACKAGE NOTED.

ALL PENETRATIONS THROUGH FIRE RATED ASSEMBLIES SHALL RECEIVE FIRE CAULKING. FIRE CAULKING SHALL MEET ACOUSTICAL REQUIREMENTS AT PARTY WALLS AND FLOORS. VERIFY THAT PENETRATIONS ARE ALLOWED BY THE ASSEMBLY.

STAGGER JOINTS OF GYPSUM BOARD WHERE MULTIPLE LAYERS OCCUR. MULTIPLE LAYERS OF GYPSUM BOARD SHALL NOT BE GLUED TOGETHER.

SEE STRUCTURAL DRAWINGS FOR PLYWOOD SHEATHING, FRAMING DETAILS, AND SCHEDULES.

VERIFY ALL STUD SIZES SHOWN WITH STRUCTURAL DETAILS.

ALL EXTERIOR WALLS AND INTERIOR PARTITIONS TO BE FULL HEIGHT, U.O.N.

ACOUSTIC ASSEMBLIES ARE REQUIRED FOR SEPARATING PUBLIC (I.E. STAIRS, CORRIDORS, GARAGE, ETC.) SPACES FROM RESIDENTIAL UNITS, SEPARATING RESIDENTIAL UNITS, AND BETWEEN OFFICE/COMMERCIAL UNITS AND RESIDENTIAL UNITS. WALLS SHALL BE STC 50 MIN., AND FLOOR/CEILING ASSEMBLIES TO BE STC AND IIC 50 MIN., U.O.N., OR MORE STRINGENT CODE APPLIES. ACOUSTIC ENGINEER SHALL BE CONSULTED.

DETAILS PROVIDED HEREIN ARE RECOMMENDATIONS AND NOT INTENDED TO BE ALL-INCLUSIVE. OWNER SHALL CONSULT WITH A PROFESSIONAL ACOUSTIC CONSULTANT/ENGINEER FOR DETAILS AND DESIGN RECOMMENDATIONS WHERE ACOUSTIC ASSEMBLIES ARE REQUIRED.

FOR INTERIOR ACOUSTIC ASSEMBLIES, U.O.N., USE R-30 MIN. BATT INSULATION FOR FLOOR/CEILINGS, AND R-13 MIN. FOR WALLS. DEFER TO APPLICABLE DETAILS.

RESILIENT CHANNEL TO BE DIETRICK RCSD OR APPROVED EQUAL.

PROVIDE SEPARATION FROM GARAGE TO DWELLING UNIT BY MEANS OF 5/8" MIN. GYPSUM BOARD APPLIED TO THE GARAGE SIDE (CBC 406.3.4(1)). PROVIDE SOLID CORE WOOD DOOR WITH 1 3/8" MIN. THICKNESS (CBC 406.3.4(1)) OR PROVIDE DOOR WITH 20 MINUTE MIN. FIRE PROTECTION RATING (CBC 716.5.3). DOORS SHALL BE SELF-CLOSING AND SELF-LATCHING. (CRC R302.5 & TABLE R302.6)

1-HR FIRE RATING ASSEMBLY SHALL BE APPLIED AT CEILINGS UNDER STAIRS. (CRC R302.7)

IF APPLICABLE, FIRE SPRINKLER LAYOUT IS SHOWN FOR COORDINATION PURPOSES – FINAL DESIGN TO BE PART OF SEPARATE DESIGN-BUILD PERMIT SUBMITTAL.

IF APPLICABLE, ALL SPRINKLER HEADS ARE TO BE CONCEALED, U.O.N.

PROVIDE UL 217 LISTED SMOKE ALARMS IN ALL BEDROOMS, IN EVERY ROOM IN THE PATH OF THE MEANS OF EGRESS FROM EVERY BEDROOM, AND EACH STORY WITH A BEDROOM (CBC 907.2.11.1). SMOKE ALARMS SHALL BE HARD-WIRED WITH BATTERY BACKUP (CBC 907.2.11.4) AND SHALL BE INTERCONNECTED (CBC 907.2.11.3) (CRC R314).

PROVIDE UL 2075 AND UL 2034 LISTED CARBON MONOXIDE ALARMS ON EACH LEVEL. ALARMS TO BE HARDWIRED WITH BATTERY BACKUP (CBC 420.6.1.2) AND MAY BE COMBINED SMOKE ALARMS (CBC 420.6.1.5) (CRC R315).

HABITABLE SPACE SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7'-6", KITCHEN, HALLS, BATHROOMS AND TOILET COMPARTMENTS MAY HAVE A CEILING HEIGHT OF NOT LESS THAN 7'-0" (CBC 1208.2) (CRC R305).

STAIRWAYS AND HANDRAILS

STAIRWAYS SERVING AN OCCUPANT LOAD OF LESS THAN 50 SHALL HAVE A WIDTH OF NOT LESS THAN 36" (CBC 1009.4.1) (CRC R311.7.1).

STAIRWAYS SHALL HAVE A MINIMUM HEADROOM CLEARANCE OF 80" MEASURED VERTICALLY FROM A LINE CONNECTING THE EDGE OF THE NOSINGS. SUCH HEADROOM SHALL BE CONTINUOUS ABOVE THE STAIRWAY TO THE POINT WHERE THE LINE INTERSECTS THE LANDING BELOW, ONE TREAD DEPTH BEYOND THE BOTTOM RISER. THE MINIMUM CLEARANCE SHALL BE MAINTAINED THE FULL WIDTH OF THE STAIRWAY AND LANDING (CBC 1009.5) (CRC R311.7.2).

STAIR RISER HEIGHTS SHALL BE 7" MAX. AND 4" MIN. STAIR TREAD DEPTHS SHALL BE 11" MIN. IN GROUP R-3 OCCUPANCIES, WITHIN DWELLING UNITS IN R-2 OCCUPANCIES, AND IN GROUP U OCCUPANCIES THAT ARE ACCESSORY TO A GROUP R-3 OCCUPANCY, THE MAXIMUM RISER HEIGHT SHALL BE 7.75" AND THE MINIMUM TREAD DEPTH SHALL BE 10". (CBC 1009.7.2) (CRC R311.7.5).

THERE SHALL BE A FLOOR OR LANDING AT THE TOP AND BOTTOM OF EACH STAIRWAY. THE WIDTH OF LANDINGS SHALL NOT BE LESS THAN THE WIDTH OF STAIRWAYS THEY SERVE. EVERY LANDING SHALL HAVE A MINIMUM DIMENSION MEASURED IN THE DIRECTION OF TRAVEL EQUAL TO THE WIDTH OF THE STAIRWAY (CBC 1009.8) (CRC R311.7.6).

DOORS OPENING ONTO A LANDING SHALL NOT REDUCE THE LANDING TO LESS THAN ONE-HALF THE REQUIRED WIDTH. WHEN FULLY OPEN, THE DOOR SHALL NOT PROJECT MORE THAN 7" INTO A LANDING (CBC 1009.8).

STAIRWAYS SHALL HAVE HANDRAILS. STAIRWAYS WITHIN DWELLING UNITS ARE PERMITTED TO HAVE HANDRAIL ON ONLY ONE SIDE, AND IN R-3 OCCUPANCIES, A CONTINUOUS RUN OR FLIGHT OF STAIRS WITH FEWER THAN FOUR RISERS DOES NOT REQUIRE A HANDRAIL (CBC 1009.15) (CRC R311.7.8).

THE HEIGHT OF A HANDRAIL MEASURED ABOVE STAIR TREAD NOSINGS, OR FINISH SURFACE OF A RAMP SLOPE SHALL BE UNIFORM, AND NOT LESS THAN 34" AND NOT MORE THAN 38" (CBC 1012.2) (CRC R311.7.8).

HANDRAILS WITH A CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF AT LEAST 1.25" AND NOT GREATER THAN 2". IF THE HANDRAIL CROSS SECTION IS NOT CIRCULAR, IT SHALL HAVE A PERIMETER DIMENSION OF AT LEAST 4" AND A MAX OF 6.25", WITH A MAX CROSS SECTION OF 2.25" (CBC 1012.3) (CRC R311.7.8.3).

HANDRAILS SHALL RETURN TO A WALL (CBC 1012.3).

HANDRAILS WITHIN A DWELLING UNIT THAT IS NOT REQUIRED TO BE ACCESSIBLE, NEED ONLY EXTEND FROM THE BOTTOM RISER TO THE TOP RISER. (CBC 1012.5.1) HANDRAILS SHALL BE A MINIMUM OF 1.5" CLEAR FROM THE WALL (CBC 1012.6).

HANDRAIL-GRIPPING SURFACES SHALL BE CONTINUOUS, WITHOUT INTERRUPTION BY NEWEL POSTS OR OTHER OBSTRUCTIONS, BUT HANDRAILS WITHIN DWELLING UNITS ARE PERMITTED TO BE INTERRUPTED BY A NEWEL POST AT A TURN (CBC 1012.4) (CRC R311.7.8.2).

CLEAR SPACE BETWEEN A HANDRAIL AND A WALL OR OTHER SURFACE SHALL BE A MINIMUM OF 1.5" (CBC 1012.4) (CRC R311.7.8.2).

PROJECTIONS INTO THE REQUIRED WIDTH OF STAIRWAYS AT EACH HANDRAIL SHALL NOT EXCEED 4.5" AT OR BELOW THE HANDRAIL HEIGHT. PROJECTIONS INTO THE REQUIRED WIDTH SHALL NOT BE LIMITED ABOVE THE MINIMUM HEADROOM HEIGHT REQUIRED (CBC 1012.8).

GUARDS ARE REQUIRED AT OPEN-SIDED WALKING SURFACES, INCLUDING STAIRS, PORCHES, BALCONIES, OR LANDINGS LOCATED MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW (CBC 1013.1) (CRC R312.1.1).

GUARDS SHALL BE A MIN. OF 42" HIGH (CBC 1013.3). GUARDS ON THE OPEN SIDES OF STAIRS SHALL HAVE A MIN. HEIGHT OF 34" (CBC 1013.3.1) (CRC 312.1.2.1).

OPEN BALUSTERS SHALL NOT ALLOW A 4"Ø SPHERE TO PASS THROUGH (CBC 1013.4) (CRC R312.1.3). THE TRIANGULAR SPACE FORMED BY THE RISER, TREAD AND BOTTOM RAIL SHALL NOT ALLOW A 6" SPHERE TO PASS THROUGH (CBC 1013.4.2) (CRC R312.1.3.1).

OPEN BALUSTERS AT STAIRS IN R-3 OCCUPANCIES SHALL NOT ALLOW A 4.375"Ø SPHERE TO PASS THROUGH (CBC 1013.4.6) (CRC R312.1.3.2).

DOOR NOTES

DOOR SIZES ON DRAWINGS ARE NOMINAL, REFER TO MANUFACTURER FOR ACTUAL ROUGH OPENING DIMENSIONS. VERIFY ALL ROUGH OPENING DIMENSIONS IN FIELD PRIOR TO PURCHASE AND INSTALLATION OF DOORS.

PROVIDE EMERGENCY EGRESS AND/OR RESCUE DOORS FROM BEDROOMS (CBC 1029) (CRC R310.1).

MOUNT LEVER HARDWARE AT 34" ABOVE FINISHED FLOOR.

MAXIMUM PUSH/PULL FORCE FOR DOORS:
8 1/2 LBS. FOR EXTERIOR DOORS
5 LBS. FOR INTERIOR DOORS
15 LBS. FOR FIRE DOORS

ALL EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.

THERE SHALL BE A FLOOR LANDING ON EACH SIDE OF A DOOR. THE FLOOR OR LANDING SHALL NOT BE MORE THAN 1/2" LOWER THAN THE THRESHOLD OF THE DOORWAY. CHANGES IN LEVEL BETWEEN 1/4" AND 1/2" SHALL BE LEVELED WITH A SLOPE NO GREATER THAN 1 VERTICAL UNIT IN 2 HORIZONTAL UNITS.

IF APPLICABLE, THE BOTTOM 10" OF ALL DOORS EXCEPT AUTOMATIC AND SLIDING SHALL HAVE A SMOOTH, UNINTERRUPTED SURFACE TO ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION. WHERE NARROW FRAME DOORS ARE USED, A 10" HEIGHT SMOOTH PANEL SHALL BE INSTALLED ON THE PUSH SIDE OF THE DOOR, WHICH WILL ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION.

IF APPLICABLE, ALL ENTRANCES AND EXTERIOR GROUND-FLOOR EXIT DOORS TO BUILDINGS AND FACILITIES SHALL BE MADE ACCESSIBLE TO PERSONS WITH DISABILITIES. DOORWAYS SHALL HAVE A MINIMUM CLEAR OPENING OF 32" WITH THE DOOR OPEN 90 DEGREES, MEASURED BETWEEN THE FACE OF THE DOOR AND THE OPPOSITE STOP.

IF APPLICABLE, THE WIDTH OF THE LEVEL AREA ON THE SIDE TO WHICH THE DOOR SWINGS SHALL EXTEND 24" PAST THE STRIKE EDGE OF THE DOOR FOR EXTERIOR DOORS AND 18" PAST THE STRIKE EDGE FOR INTERIOR DOORS.

WINDOW NOTES

WINDOW SIZES ON DRAWINGS ARE NOMINAL, REFER TO MANUFACTURER FOR ACTUAL ROUGH OPENING DIMENSIONS. VERIFY ALL ROUGH OPENING DIMENSIONS IN FIELD PRIOR TO PURCHASE AND INSTALLATION OF WINDOWS.

ALL BEDROOMS SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR DOOR APPROVED FOR EMERGENCY ESCAPE OR RESCUE THAT SHALL OPEN DIRECTLY INTO A PUBLIC STREET, PUBLIC ALLEY, YARD OR EXIT COURT. EGRESS WINDOWS SHALL MEET ALL THE FOLLOWING CRITERIA (CBC 1026.2) (CRC 310.1):

NET CLEAR HEIGHT: 24" MIN.
NET CLEAR WIDTH: 20" MIN.
NET OPENING: 5.7 SQFT MIN.
FINISHED SILL HEIGHT: 44" MAX. ABOVE THE FINISHED FLOOR

NATURAL LIGHT AREA AT HABITABLE SPACES: THE MINIMUM NET GLAZED AREA SHALL NOT BE LESS THAN 8% OF THE FLOOR AREA OF THE ROOM SERVED (CBC 1205.2) (CRC 303.1).

NATURAL VENTILATION AREA AT HABITABLE SPACES: THE MINIMUM OPENABLE AREA TO THE OUTDOORS SHALL BE 4% OF THE FLOOR AREA BEING VENTILATED (CBC 1203.4.1) (CRC 303.1).

ALL WINDOWS SHALL BE DOUBLE GLAZED, U.O.N.

ALL TEMPERED GLASS SHALL BE AFFIXED WITH A PERMANENT LABEL (CBC 2406.3)

U-FACTOR OF GLAZING SHALL BE PER CEC TABLE 110.6-A AND SOLAR HEAT GAIN COEFFICIENT (S.H.G.C.) PER CEC TABLE 110.6-B, U.O.N. ON PLANS OR TITLE 24 ENERGY COMPLIANCE REPORT.

NFRIC LABELS ON NEW WINDOWS SHALL NOT BE REMOVED UNTIL AFTER FINAL INSPECTION.

COORDINATE INSTALLATION OF ALL FLASHINGS AND WINDOWS WITH INSTALLATION INSTRUCTIONS OF WINDOW MANUFACTURER. OBTAIN APPROVAL OF INSTALLATION METHODOLOGY FROM WINDOW MANUFACTURER PRIOR TO COMMENCING INSTALLATION.

UTILIZE PRIMERS AND/OR ADHESIVES COMPATIBLE WITH ALL MATERIALS AND AS RECOMMENDED BY MANUFACTURER OF SELF-ADHERED MEMBRANE TO ACHIEVE TENACIOUS BOND OF MEMBRANE TO ALL SUBSTRATES.

UTILIZE SEALANTS COMPATIBLE WITH ALL MATERIALS AND AS RECOMMENDED BY WINDOW AND SELF-ADHERED MEMBRANE MANUFACTURERS.

SAFETY GLAZING SHALL BE AT THE FOLLOWING LOCATIONS (CBC 2406.4) (CRC R308.4):

A. SWINGING AND SLIDING DOORS.
B. DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING SURFACE IS LESS THAN 60" ABOVE A STANDING SURFACE.
C. FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24" ARC OF EITHER THE VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION, AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE.
D. GLAZING WHERE THE EXPOSED AREA OF AN INDIVIDUAL PANE IS GREATER THAN 9 SQFT, EXPOSED BOTTOM EDGE IS LESS THAN 18" ABOVE THE FLOOR, EXPOSED TOP EDGE IS GREATER THAN 36" ABOVE THE FLOOR, AND THERE IS ONE OF MORE WALKING SURFACES WITHIN 36" HORIZONTALLY OF THE PLANE OF THE GLAZING.
E. GLAZING IN GUARDS AND RAILINGS REGARDLESS OF AREA OR HEIGHT.
F. GLAZING ADJACENT TO STAIRWAYS, LANDINGS AND RAMPS WITHIN 36" HORIZONTALLY OF WALKING SURFACE, WHEN THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60" ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE.
G. GLAZING ADJACENT TO STAIRWAYS WITHIN 60" HORIZONTALLY OF THE BOTTOM TREAD OF A STAIRWAY IN ANY DIRECTION WHEN THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60" ABOVE THE NOSE OF THE TREAD; NOT REQUIRED WHERE THE STAIR HAS A RAILING AND THE PLANE OF THE GLASS IS GREATER THAN 18" FROM THE RAILING.

SLOPED GLAZING AND SKYLIGHTS SHALL MEET THE FOLLOWING REQUIREMENTS (CBC 2405) (CRC R308.6.2):

A. LAMINATED GLASS WITH A 30 MIL. POLYVINYL BUTYRAL (OR EQUIVALENT) INTERLAYER, MEETING REQUIREMENTS OF SECTION 2607 HEAT-STRENGTHENED GLASS OR FULLY TEMPERED.
B. SKYLIGHT FRAMES SHALL BE CONSTRUCTED OF NONCOMBUSTIBLE MATERIALS AND MOUNTED AT LEAST 4" ABOVE THE ROOF PLANE ON A CONTINUOUS CURB.

HVAC REQUIREMENTS

GENERAL CONTRACTOR AND HVAC SUBCONTRACTOR TO COFINRM AND COORDINATE ALL DUCTING.

VERIFY CLEARANCES FOR VENTS, CHASES, SOFFITS, AND FIXTURES BEFORE ANY CONSTRUCTION, ORDERING OF, OR INSTALLATION OF ANY ITEM OF WORK.

PROVIDE A SETBACK THERMOSTAT FOR THE NEW FURNACE (CNC 150(I) & CNC 110.2(C)).

PROVIDE R-8 INSULATION ON NEW HEATING INSTALLED IN UNCONDITIONED SPACE (CNC 120.4).

AIR DUCTS SHALL BE NO. 26 GA. GALVANIZED SHEET METAL PROVIDED WHEN THE DUCTS PENETRATE THE OCCUPANCY SEPARATION BETWEEN THE GARAGE AND THE HOUSE (CRC R302.5.2).

CLOTHES DRYER EXHAUST SHALL BE MIN. 4"Ø (CMC 504.3.1) AND SHALL BE OF METAL AND SHALL HAVE SMOOTH INTERIOR SURFACES (CMC 504.3.1.1).

PROVIDE 100 SQ. IN MAKE-UP AIR OPENING FOR DOMESTIC DRYER INSTALLED IN CLOSETS (CMC 504.3.1).

COMBUSTION AIR OPENINGS FOR FUEL BURNING EQUIPMENT SHALL MEET THE REQUIREMENTS OF CMC CHAPTER 7

ALL INTERIOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH SPACE HEATING (CBC 1204.1).

GAS VENT TERMINATIONS SHALL MEET THE REQUIREMENTS OF CMC 802.6 AND CMC 802.8.

EXHAUST DUCT PENETRATIONS THROUGH FIRE-RATED FLOOR BETWEEN UNITS SHALL BE PROTECTED BY A SHAFT ENCLOSURE (CBC 717.1.1).

VENTILATION FANS ARE CAPABLE OF PROVIDING 5 AIR CHANGES PER HOUR, PER ASHRAE 62.1, MIN. 50 CFM EXHAUST FOR BATHROOM AND 100 CFM EXHAUST FOR EACH VENTED KITCHEN RANGE HOOD (CMC TABLE 403.7).

IF APPLICABLE, PROVIDE WHOLE BUILDING VENTILATION SYSTEM (CEC TABLE 150.1-A). WHOLE HOUSE FAN SHALL BE CAPABLE OF MEETING OR EXCEEDING A MIN. OF 2 CFM PER SQFT OF CONDITIONED FLOOR AREA (CEC 15.1(C)(2)).

* FANS TO BE CONTINUOUSLY RUNNING, U.O.N.
* FAN TO BE 1.0 SONE OR LESS
* WHERE FAN IS IN ROOM UNDERCUT DOOR 1/4"
* CFM PER EQUATION 4-1 OF RESIDENTIAL (CFA / 100) + 7.5 X (# BEDROOM + 1)

TOILET, LAUNDRY, AND KITCHEN EXHAUST TERMINATION SHALL BE A MIN OF 3'-0" FROM PROPERTY LINES AND BUILDING OPENINGS (CMC 504.5).

A MECHANICAL DRAFT VENTING SYSTEM OF OTHER THAN DIRECT-VENT TYPE SHALL TERMINATE NOT LESS THAN 4 FEET BELOW, 4 FEET HORIZONTALLY FROM, OR 1 FOOT ABOVE A DOOR, OPERABLE WINDOW, OR GRAVITY AIR INLET INTO A BUILDING. THE BOTTOM OF THE VENT TERMINAL SHALL BE LOCATED NOT LESS THAN 12 INCHES ABOVE FINISHED GROUND LEVEL GRADE (CMC 802.8.2).

A MECHANICAL DRAFT VENTING SYSTEM SHALL NOT TERMINATE LESS THAN 3'-0" ABOVE A FORCED AIR INLET LOCATED WITHIN 10'-0" (CMC 802.8.1) AND SHALL NOT BE LOCATED LESS THAN 10'-0" HORIZONTALLY FROM AN OPERABLE OPENING IN AN ADJACENT BUILDING. THIS SHALL NOT APPLY TO OPERABLE OPENINGS THAT ARE NOT LESS THAN 2'-0" BELOW OR 25'-0" ABOVE THE ELEVATION OF THE VENT TERMINAL (CMC 802.8.6).

DOMESTIC KITCHEN RANGE SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS. DUCTS FOR VENTING SHALL BE OF METAL AND SHALL HAVE SMOOTH INTERIOR SURFACES (CMC 504.2).

PROVIDE UTILITY CONNECTION BOX WITH 2-125V AND 1-250V OUTLETS FOR WASHER/DRYER, U.O.N.

PROVIDE MINIMUM EXHAUST RATES OF ALL MECHANICAL VENTS IN ACCORDANCE WITH CMC TABLE 403.7.

PROVIDE COMBUSTION AIR OPENING FROM OUTSIDE FOR FURNACES AND WATER HEATERS PER CMC 701.9 AND ALL OTHER APPLICABLE CODES.

FIREPLACES, DECORATIVE GAS APPLIANCES AND GAS LOGS: INSTALLATION OF FACTORY-BUILT AND MASONRY FIREPLACES SHALL INCLUDE:

* CLOSABLE METAL OR GLASS DOORS.
* COMBUSTION AIR INTAKE (6 SQ. IN. MINIMUM) TO DRAW AIR FROM OUTSIDE OF THE BUILDING DIRECTLY INTO FIRE BOX. THE COMBUSTION AIR INTAKE MUST BE EQUIPPED WITH A READILY ACCESSIBLE, OPERABLE AND LIGHT-FITTING DAMPER OR COMBUSTION AIR CONTROL DEVICE.

EXCEPTION: AN OUTSIDE COMBUSTION AIR INTAKE IS NOT REQUIRED IF THE FIREPLACE IS INSTALLED OVER CONCRETE SLAB FLOORING AND THE FIREPLACE IS NOT LOCATED ON AN EXTERIOR WALL.

* A FLUE DAMPER WITH A READILY ACCESSIBLE CONTROL.
EXCEPTION: WHEN A GAS LOG, LOG LIGHTER, OR DECORATIVE GAS APPLIANCE IS INSTALLED IN A FIREPLACE, THE FLUE DAMPER SHALL BE BLOCKED OPEN IF REQUIRED BY THE MANUFACTURER'S INSTALLATION INSTRUCTIONS OR THE STATE MECHANICAL CODE.

DUCT OPENINGS AND CONNECTIONS SHALL BE SEALED WITH PRESSURE SENSITIVE DUCT TAPE TESTED AND LABELED UL181, 181A, OR UL181B.

ELECTRICAL NOTES

ELECTRICAL SCOPE OF WORK TO BE EXECUTED UNDER SEPARATE PERMIT AS A DESIGN-BUILD CONTRACT. ELECTRICAL WORK SHOWN IS FOR LAYOUT AND COORDINATION PURPOSES ONLY.

PANELS SHALL NOT BE LOCATED IN THE VICINITY OF EASILY IGNITABLE MATERIAL(S) SUCH AS CLOTHES CLOSETS.

PANELS IN FIREWALL SHALL BE RELOCATED OR PROPERLY PROTECTED TO MAINTAIN FIREWALL SEPARATION.

ALL ELECTRICAL OUTLETS AT KITCHEN COUNTERTOP, BATHROOMS, UTILITY ROOM, LAUNDRY, EXTERIOR, AND GARAGE TO BE GFCI PROTECTED.

PROVIDE RECEPTACLE OUTLETS AT THE FOLLOWING LOCATIONS (CEC 210.52):
SPACING AT 12'-0" O.C. MAX. AND WITHIN 6'-0" OF THE END OF WALLS.
ANY WALL WITH A MIN. LENGTH OF 2'-0"
ANY HALLWAY 10'-0" OR MORE IN LENGTH (CEC 210.52(H)).

LIGHT FIXTURE IN TUB OR SHOWER ENCLOSURES AND EXTERIOR LIGHT FIXTURES SHALL BE LABELED "SUITABLE FOR DAMP LOCATIONS"

APPLIANCES FASTENED IN PLACE, SUCH AS DISHWASHERS, GARBAGE DISPOSALS, TRASH COMPACTORS, MICROWAVE OVENS, ETC., SHALL BE SUPPLIED BY A SEPARATE BRANCH CIRCUIT RATED FOR THE APPLIANCE OR LOAD SERVED.

RECEPTACLES FOR FIXED APPLIANCES SHALL BE ACCESSIBLE.

A CIRCUIT SUITABLE FOR A LOAD WITH A MIN. OF 30 AMPERES IS REQUIRED FOR AN ELECTRIC CLOTHES DRYER.

PROVIDE (1) 20 AMP CIRCUIT FOR BATHROOM RECEPTACLE OUTLETS OR PROVIDE A DEDICATED 20 AMP CIRCUIT FOR EACH BATHROOM.

AFCI PROTECTION SHALL BE SUPPLIED FOR ALL 120-VOLT, SINGLE PHASE, 15- AND 20-AMP BRANCH CIRCUITS SUPPLYING OUTLETS (INCLUDING LIGHTING).

LIGHTING NOTES

GENERAL CONTRACTOR AND ELECTRICAL SUBCONTRACTOR TO CONFIRM AND COORDINATE ALL TRANSFORMERS WITH FIXTURES SELECTION AND ANY ACCESS PANEL LOCATIONS AND REQUIREMENTS.

WHERE DEVICES AND/OR SWITCHES ARE CLUSTERED, MULTI-GANG COVERS SHALL BE PROVIDED.

SWITCH MOUNTING HEIGHT SHALL BE NO MORE THAN 48" MEASURED FROM THE TOP OF THE RECEPTACLE ABOVE THE FINISHED FLOOR (CBC 1136A).

LOW VOLTAGE AND ELECTRICAL RECEPTACLE OUTLETS SHALL BE NO LESS THAN 15" MEASURED FROM THE BOTTOM OF THE RECEPTACLE ABOVE THE FINISHED FLOOR (CBC 1136A).

LIGHTS IN BATHROOMS, ATTACHED AND DETACHED GARAGES, LAUNDRY ROOMS, CLOSETS AND UTILITY ROOMS SHALL BE HIGH EFFICACY LUMINAIRES UNLESS THEY ARE CONTROLLED BY A VACANCY SENSOR (CNC 150(K)5 & 6). LOW-EFFICACY LUMINAIRES IN CLOSETS LESS THAN 70 SQUARE FEET ARE NOT REQUIRED TO BE CONTROLLED BY A DIMMER SWITCH OR A VACANCY SENSOR (CNC 150(K)7 EXC. 1).

LIGHTS LOCATED IN ROOMS OR AREAS OTHER THAN IN KITCHENS, BATHROOMS, GARAGES, LAUNDRY ROOMS, CLOSETS, AND UTILITY ROOMS SHALL BE HIGH EFFICACY LUMINAIRES UNLESS THEY ARE CONTROLLED BY EITHER A DIMMER SWITCH OR BY A VACANCY SENSOR (CNC 150(K)7).

OUTDOOR LIGHTS SHALL BE HIGH-EFFICACY UNLESS THEY ARE CONTROLLED BY A MANUAL ON/OFF SWITCH, A MOTION SENSOR NOT HAVING AN OVERRIDE OR BYPASS SWITCH, AND EITHER A PHOTO CONTROL, TIME-CLOCK, OR ENERGY MANAGEMENT CONTROL SYSTEM (CNC 150(K)9).

AT LEAST 50% OF INSTALLED LUMINAIRE WATTAGE IN THE KITCHEN MUST BE HIGH-EFFICACY LIGHTING AND MUST BE SWITCHED SEPARATELY FROM NON-HIGH EFFICACY LIGHTING (CNC 150(K)3).

ENERGY NOTES

PROVIDE R-13 INSULATION AT 2X4 WALLS, R-19 AT 2X6 WALLS AND INSULATION AT FLOORS, AND R-30 INSULATION AT ROOF OR U.O.N. BY TITLE 24 ENERGY CALCULATIONS.

LIGHTING FIXTURES RECESSED INTO INSULATED CEILINGS MUST BE APPROVED FOR ZERO-CLEARANCE INSULATION COVER (I.C.) BY UNDERwriters LABORATORIES OR OTHER APPROVED LABORATORIES AND HAVE A LABEL CERTIFYING THAT THE LUMINAIRE IS AIR-TIGHT (CNC 150(K)8). EXHAUST FANS ARE NOT REQUIRED TO COMPLY.

ALL EXTERIOR DOORS AND WINDOWS ARE TO BE WEATHER-STRIPPED PER TITLE 24 REQUIREMENTS

THERMAL AND SOUND INSULATING INSULATION SHALL COMPLY WITH CBC 720.

PLUMBING NOTES

WATER HEATER PIPING SHALL BE WRAPPED WITH INSULATION IN ACCORDANCE WITH CNC TABLE 120.3-A (CNC 150(J)2).

WATER HEATERS SHALL BE ANCHORED TO RESIST HORIZONTAL DISPLACEMENT DUE TO SEISMIC MOTION. WATER HEATER SHALL BE STRAPPED AT THE UPPER AND LOWER THIRD AND LOCATED 18" ABOVE THE FINISHED FLOOR (CRC R301.2.2.3.7).

NON-REMOVABLE BACKFLOW PREVENTION DEVICES SHALL BE INSTALLED ON ALL EXTERIOR HOSE BIBS.

ALL SHOWER AND TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE CONTROLS. HANDLE POSITION STOPS SHALL BE PROVIDED ON SUCH VALVES AND SHALL BE ADJUSTED PER MANUFACTURER'S INSTRUCTIONS TO DELIVER A MAXIMUM MIXED WATER SETTING OF 120°F. THE WATER HEATER THERMOSTAT SHALL NOT BE CONSIDERED A SUITABLE CONTROL FOR MEETING THIS PROVISION (CPC 408.3).

SHOWER COMPARTMENTS AND WALLS ABOVE BATHRUBS INSTALLED WITH SHOWER HEADS SHALL BE FINISHED WITH SMOOTH, NONABSORBENT SURFACE, MOISTURE RESISTANT MATERIALS TO A HEIGHT NOT LESS THAN 72" ABOVE THE DRAIN INLET (CBC 1210.2.3) (CRC R307.2).

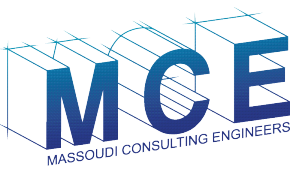
INDOOR WATER USE (CGBC 4.303)
1.28 GALLON PER FLUSH AT WATER CLOSETS
2.0 GPM AT SHOWER HEADS
1.5 GPM AT LAVATORY FAUCETS
1.8 GPM AT KITCHEN FAUCETS

PROVIDE 30" CLEAR WIDTH AND 24" CLEAR IN FRONT OF TOILET.

PROVIDE 1024 SQ IN MIN. AREA AND MIN. 30"Ø. IN NO CASE SHALL ANY DAM OR THRESHOLD BE LESS THAN 2" WHEN MEASURED FROM THE TOP OF THE DRAIN (CPC IAPMO IS 4-2006) IN SHOWERS.

PROJECT NAME

**1152 POTRERO AVE.
SAN FRANCISCO, CA**



Massoudi Consulting Engineers
205 De Anza Blvd. #109
San Mateo, CA 94402
Tel: (650) 773-5844
Fax: (415) 922-0203

SHEET TITLE

**BUILDING NOTES
AND DETAILS**

All drawings and written material appearing herein constitute the original and unpublished work of Massoudi Consulting Engineers and may not be duplicated, altered, used or disclosed without the expressed written consent of this office.

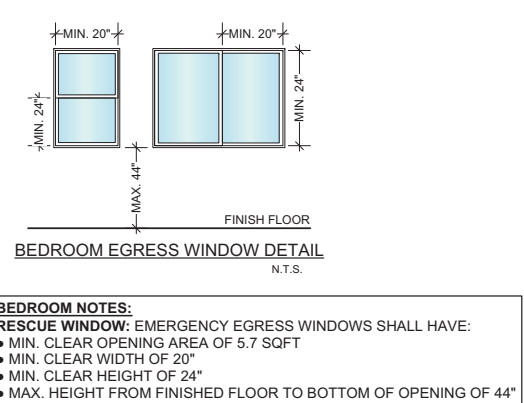
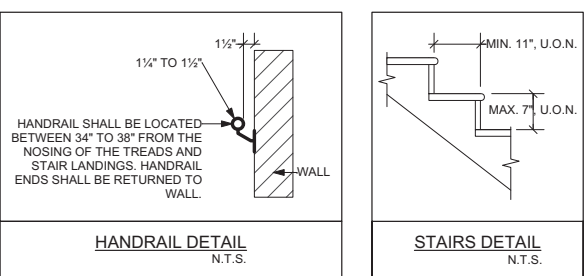
ISSUES / REVISIONS

NO.	DATE	DESCRIPTION
	01/11/2015	
	03/30/2016	

JOB NO. 15.046

SHEET NO.

A-6.0





(N) RIGHT ISOMETRIC MODEL
1/8" = 1'-0"



(N) RIGHT REAR ISOMETRIC MODEL
1/8" = 1'-0"

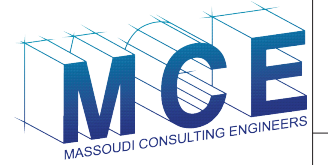


(N) LEFT ISOMETRIC MODEL
1/8" = 1'-0"



(N) LEFT REAR ISOMETRIC MODEL
1/8" = 1'-0"

PROJECT NAME
1152 POTRERO AVE.
SAN FRANCISCO, CA



Massoudi Consulting Engineers
205 De Anza Blvd. #109
San Mateo, CA 94402
Tel: (650) 773-5844
Fax: (415) 922-0203

SHEET TITLE

BULK STUDY

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ISSUES / REVISIONS

NO.	DATE	DESCRIPTION

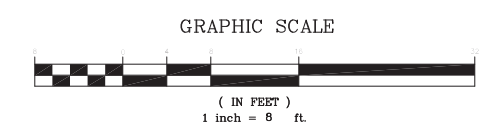
DATE	01/11/2015
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REVISED DATE	03/30/2016
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JOB NO.	15.046
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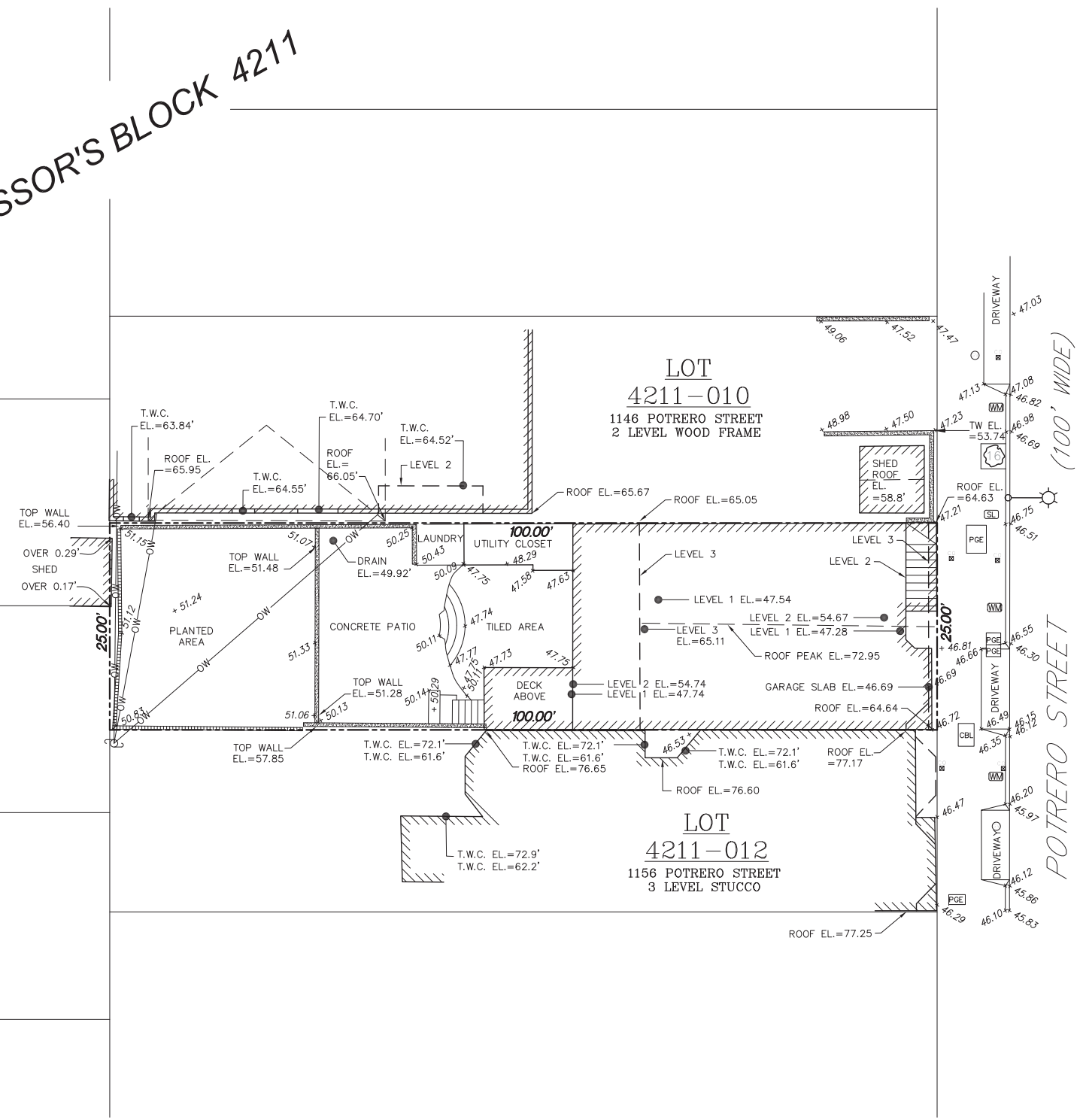
SHEET NO.	A-7.0
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ASSESSOR'S BLOCK 4211



LOT 4211-023
1121 HAMPSHIRE STREET

LOT 4211-022
1123 HAMPSHIRE STREET



LEGEND

- PROPERTY LINE
- WM WATER METER
- PGE PG&E BOX
- CBU CABLE/TV BOX
- SL STREET LIGHT BOX
- GAS VALVE
- ⊗ SEWER CLEANOUT
- SEWER MANHOLE
- SSMH
- CONCRETE WALL
- BUILDING FOOTPRINT
- WOOD FENCE
- TREE WITH DIA.
- STREET LIGHT
- JOINT POLE
- OW OVER WIRES
- T.W.C. TOP OF WINDOW CASING
- TW TOP OF WALL

GENERAL NOTES

1. All distances are in decimal feet unless otherwise noted.
2. All angles are at 90° unless otherwise noted.
3. This map represents the site conditions on date of field survey. January 20, 2015.
4. Elevations are based upon San Francisco City Datum.

SURVEYOR'S STATEMENT

This map correctly represents a survey made by me at the request of the Rod Massoudi in January of 2015.

Daniel J. Westover, P.L.S. 7779
License expiration: 12/31/17

Date: 12/01/2015



336 CLAREMONT BLVD. STE 2
SAN FRANCISCO, CA 94127
(415) 282-5400
www.westoversurveying.com



NO.	DATE	COMMENTS	JOB NO.
			15003

DRAWN BY: SA	CHECKED BY: DJW
DATE: 07/08/14	SCALE: 1"=8'

SITE SURVEY
1152 POTRERO STREET
LOT 011 OF ASSESSOR'S BLOCK 4211,
CITY AND COUNTY OF SAN FRANCISCO, CALIFORNIA

~ SHEET ~
1 OF 1

Green Building: Site Permit Checklist

BASIC INFORMATION:

These facts, plus the primary occupancy, determine which requirements apply. For details, see AB 093 Attachment A Table 1.

Project Name 1152 POTRERO AVE.	Block/Lot 4211 / 011	Address 1152 POTRERO AVE.
Gross Building Area 5,242 S.F. +/-	Primary Occupancy R-2	Design Professional/Applicant: Sign & Date 03/30/2016
# of Dwelling Units 3	Height to highest occupied floor 40'-0"	Number of occupied floors 4

Instructions:

As part of application for site permit, this form acknowledges the specific green building requirements that apply to a project under San Francisco Building Code Chapter 13C, California Title 24 Part 11, and related local codes. **Attachment C3, C4, or C5 will be due with the applicable addendum.** To use the form:

(a) Provide basic information about the project in the box at left. This info determines which green building requirements apply.

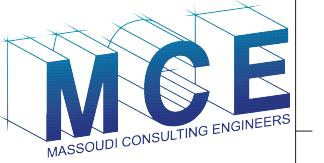
AND

(b) Indicate in one of the columns below which type of project is proposed. If applicable, fill in the blank lines below to identify the number of points the project must meet or exceed. A LEED or GreenPoint checklist is not required to be submitted with the site permit application, but such tools are strongly recommended to be used.

Solid circles in the column indicate mandatory measures required by state and local codes. For projects applying LEED or GreenPoint Rated, prerequisites of those systems are mandatory. This form is a summary; see San Francisco Building Code Chapter 13C for details.

PROJECT NAME

**1152 POTRERO AVE.
SAN FRANCISCO, CA**



Massoudi Consulting Engineers
205 De Anza Blvd. #109
San Mateo, CA 94402
Tel: (650) 773-5844
Fax: (415) 922-0203

SHEET TITLE

GREEN BUILDING: SITE PERMIT CHECKLIST

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ISSUES / REVISIONS

NO.	DATE	DESCRIPTION

DATE	01/11/2015
------	------------

REVISED DATE	03/30/2016
--------------	------------

JOB NO.	15.046
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SHEET NO.	G-0.1
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ALL PROJECTS, AS APPLICABLE

Construction activity stormwater pollution prevention and site runoff controls - Provide a construction site Stormwater Pollution Prevention Plan and implement SFPUC Best Management Practices.	●
Stormwater Control Plan: Projects disturbing ≥5,000 square feet must implement a Stormwater Control Plan meeting SFPUC Stormwater Design Guidelines	●
Water Efficient Irrigation - Projects that include ≥ 1,000 square feet of new or modified landscape must comply with the SFPUC Water Efficient Irrigation Ordinance.	●
Construction Waste Management – Comply with the San Francisco Construction & Demolition Debris Ordinance	●
Recycling by Occupants: Provide adequate space and equal access for storage, collection and loading of compostable, recyclable and landfill materials. See Administrative Bulletin 088 for details.	●

GREENPOINT RATED PROJECTS

Proposing a GreenPoint Rated Project (Indicate at right by checking the box.)	<input type="checkbox"/>
Base number of required Greenpoints:	75
Adjustment for retention / demolition of historic features / building:	
Final number of required points (base number +/- adjustment)	
GreenPoint Rated (i.e. meets all prerequisites)	●
Energy Efficiency: Demonstrate a 15% energy use reduction compared to 2008 California Energy Code, Title 24, Part 6.	●
Meet all California Green Building Standards Code requirements (CalGreen measures for residential projects have been integrated into the GreenPoint Rated system.)	●

Notes

- 1) New residential projects of 75' or greater must use the "New Residential High-Rise" column. New residential projects with >3 occupied floors and less than 75 feet to the highest occupied floor may choose to apply the LEED for Homes Mid-Rise rating system; if so, you must use the "New Residential Mid-Rise" column.
- 2) LEED for Homes Mid-Rise projects must meet the "Silver" standard, including all prerequisites. The number of points required to achieve Silver depends on unit size. See LEED for Homes Mid-Rise Rating System to confirm the base number of points required.
- 3) Requirements for additions or alterations apply to applications received on or after July 1, 2012.

LEED PROJECTS

Type of Project Proposed (Indicate at right)	New Large Commercial	New Residential Mid-Rise ¹	New Residential High-Rise ¹	Commercial Interior	Commercial Alteration	Residential Alteration
Type of Project Proposed (Indicate at right)		X				
Overall Requirements:						
LEED certification level (includes prerequisites):	GOLD	SILVER	SILVER	GOLD	GOLD	GOLD
Base number of required points:	60	2	50	60	60	60
Adjustment for retention / demolition of historic features / building:				n/a		
Final number of required points (base number +/- adjustment)				50		
Specific Requirements: (n/r indicates a measure is not required)						
Construction Waste Management – 75% Diversion AND comply with San Francisco Construction & Demolition Debris Ordinance LEED MR 2, 2 points	●	●	●	●	Meet C&D ordinance only	●
15% Energy Reduction Compared to Title-24 2008 (or ASHRAE 90.1-2007) LEED EA 1, 3 points	●	●	●	●	LEED prerequisite only	
Renewable Energy or Enhanced Energy Efficiency Effective 1/1/2012: Generate renewable energy on-site ≥1% of total annual energy cost (LEED EA2), OR Demonstrate an additional 10% energy use reduction (total of 25% compared to Title 24 Part 6 2008), OR Purchase Green-E certified renewable energy credits for 35% of total electricity use (LEED EA6).	●	n/r	n/r	n/r	n/r	n/r
Enhanced Commissioning of Building Energy Systems LEED EA 3	●	Meet LEED prerequisites				
Water Use - 30% Reduction LEED WE 3, 2 points	●	n/r	●	Meet LEED prerequisites		
Enhanced Refrigerant Management LEED EA 4	●	n/r	n/r	n/r	n/r	n/r
Indoor Air Quality Management Plan LEED IEQ 3.1	●	n/r	n/r	n/r	n/r	n/r
Low-Emitting Materials LEED IEQ 4.1, 4.2, 4.3, and 4.4	●	n/r	●	●	●	●
Bicycle parking: Provide short-term and long-term bicycle parking for 5% of total motorized parking capacity each, or meet San Francisco Planning Code Sec 155, whichever is greater, or meet LEED credit SS4.2. (13C.5.106.4)	●	n/r See San Francisco Planning Code 155			●	n/r
Designated parking: Mark 8% of total parking stalls for low-emitting, fuel efficient, and carpool/van pool vehicles. (13C.5.106.5)	●				●	n/r
Water Meters: Provide submeters for spaces projected to consume more than 1,000 gal/day, or more than 100 gal/day if in building over 50,000 sq. ft. (13C.5.303.1)	●	n/r	n/r	n/r	n/r	n/r
Air Filtration: Provide at least MERV-8 filters in regularly occupied spaces of mechanically ventilated buildings (or LEED credit IEQ 5). (13C.5.504.5.3)	●	n/r	n/r	●	n/r	n/r
Air Filtration: Provide MERV-13 filters in residential buildings in air-quality hot-spots (or LEED credit IEQ 5). (SF Health Code Article 38 and SF Building Code 1203.5)	n/r	●	●	n/r	n/r	n/r
Acoustical Control: Wall and roof-ceilings STC 50, exterior windows STC 30, party walls and floor-ceilings STC 40. (13C.5.507.4)	●	See CBC 1207			●	n/r

OTHER APPLICABLE NON-RESIDENTIAL PROJECTS

Requirements below only apply when the measure is applicable to the project. Code references below are applicable to New Non-Residential buildings. Corresponding requirements for additions and alterations can be found in Title 24 Part 11, Division 5.7. Requirements for additions or alterations apply to applications received July 1, 2012 or after. ³	Other New Non-Residential	Addition >2,000 sq ft OR Alteration >\$500,000 ³
Type of Project Proposed (Check box if applicable)		
Energy Efficiency: Demonstrate a 15% energy use reduction compared to 2008 California Energy Code, Title 24, Part 6. (13C.5.201.1.1)	●	n/r
Bicycle parking: Provide short-term and long-term bicycle parking for 5% of total motorized parking capacity each, or meet San Francisco Planning Code Sec 155, whichever is greater (or LEED credit SS4.2). (13C.5.106.4)	●	●
Fuel efficient vehicle and carpool parking: Provide stall marking for low-emitting, fuel efficient, and carpool/van pool vehicles; approximately 8% of total spaces. (13C.5.106.5)	●	●
Water Meters: Provide submeters for spaces projected to consume >1,000 gal/day, or >100 gal/day if in buildings over 50,000 sq. ft.	●	●
Indoor Water Efficiency: Reduce overall use of potable water within the building by 20% for showerheads, lavatories, kitchen faucets, wash fountains, water closets, and urinals. (13C.5.303.2)	●	●
Commissioning: For new buildings greater than 10,000 square feet, commissioning shall be included in the design and construction of the project to verify that the building systems and components meet the owner's project requirements. (13C.5.410.2) OR for buildings less than 10,000 square feet, testing and adjusting of systems is required.	●	● (Testing & Balancing)
Protect duct openings and mechanical equipment during construction (13C.5.504.3)	●	●
Adhesives, sealants, and caulks: Comply with VOC limits in SCAQMD Rule 1168 VOC limits and California Code of Regulations Title 17 for aerosol adhesives. (13C.5.504.4.1)	●	●
Paints and coatings: Comply with VOC limits in the Air Resources Board Architectural Coatings Suggested Control Measure and California Code of Regulations Title 17 for aerosol paints. (13C.5.504.4.3)	●	●
Carpet: All carpet must meet one of the following: 1. Carpet and Rug Institute Green Label Plus Program 2. California Department of Public Health Standard Practice for the testing of VOCs (Specification 01350) 3. NSF/ANSI 140 at the Gold level 4. Scientific Certifications Systems Sustainable Choice AND Carpet cushion must meet CRI Green Label, AND Carpet adhesive must not exceed 50 g/L VOC content. (13C.5.504.4.4)	●	●
Composite wood: Meet CARB Air Toxics Control Measure for Composite Wood (13C.5.504.4.5)	●	●
Resilient flooring systems: For 50% of floor area receiving resilient flooring, install resilient flooring complying with the VOC-emission limits defined in the 2009 Collaborative for High Performance Schools (CHPS) criteria or certified under the Resilient Floor Covering Institute (RFCI) FloorScore program. (13C.5.504.4.6)	●	●
Environmental Tobacco Smoke: Prohibit smoking within 25 feet of building entries, outdoor air intakes, and operable windows. (13C.5.504.7)	●	●
Air Filtration: Provide at least MERV-8 filters in regularly occupied spaces of mechanically ventilated buildings. (13C.5.504.5.3)	●	Limited exceptions. See CA T24 Part 11 Section 5.714.6
Acoustical Control: Wall and roof-ceilings STC 50, exterior windows STC 30, party walls and floor-ceilings STC 40. (13C.5.507.4)	●	● See CA T24 Part 11 Section 5.714.7
CFCs and Halons: Do not install equipment that contains CFCs or Halons. (13C.5.508.1)	●	●
Additional Requirements for New A, B, I, OR M Occupancy Projects 5,000 - 25,000 Square Feet		
Construction Waste Management – Divert 75% of construction and demolition debris AND comply with San Francisco Construction & Demolition Debris Ordinance.	●	Meet C&D ordinance only
Renewable Energy or Enhanced Energy Efficiency Effective January 1, 2012: Generate renewable energy on-site equal to ≥1% of total annual energy cost (LEED EA2), OR demonstrate an additional 10% energy use reduction (total of 25% compared to Title 24 Part 6 2008), OR purchase Green-E certified renewable energy credits for 35% of total electricity use (LEED EA6).	●	n/r





SPEED
LIMIT
25

1140





821-1662

ZOO

SPEED LIMIT 25

1154

**CONSERVE AND PROTECT EXISTING HOUSING
AND NEIGHBORHOOD CHARACTER**



1152 POTRERO AVENUE

Permit # 201502249220

**Re: 2015-002632DRP
2015-002632VAR-02**

Submission to Planning Commission by DR requester Jesus Gomez
1152 Potrero Avenue - 2015-002632
Request for Discretionary Review
June 2, 2016 hearing

1152 Potrero is the second proposal on this block to come before the Planning Commission where a developer proposes an out of scale project that fails to respect the character of its neighbors. In the DR for 1140 Potrero the Commission required changes that respected neighbors and the historic nature of the homes on this block. **Exhibit 1.** It needs to do so again.

The west side of Potrero between 23th and 24th is a string of low working class Edwardian houses built in 1880s and 1890s that help describe the history of San Francisco architecture. A rendering of this exact block is shown on the Planning Department web-site to illustrate the character of the area. **Exhibit 6.** 1152 Potrero was built immediately after the 1906 earthquake and fits into the design of this block.

Houses on Hampshire, the rear of our block, share the mid-block open space with houses on Potrero. Exhibit 5 shows patterns on our block including rear yards.

Requested modifications

My family has lived at 1136 Potrero, 3 lots to the north for decades. We worked with the Commission to ensure that development of 1140 Potrero was scaled back so it did not harm its neighbors. We ask the Commission to require similar changes 1152 Potrero.

There have been TWO 311 notices for expansion of the existing 2-story pitched roof house at 1156 Potrero. **Exhibit 8.**

#1 (1/6/16) proposed a 4-story 5,267 sq ft addition to a 1,125 sq ft. single family home. **Exhibit 3.**

#2 (5/11/16) reduced building bulk **15 feet.** Both are 4 story buildings with 3 units in 40'. The second has a flat-roof full 4th story instead of a pitched roof. It requires a variance.

A variance cannot be granted for the current proposal because it violates variance standards. It imposes an unnecessary burden on surrounding homes by robbing them of light, air and privacy. Furthermore it disrupts the uniformity of the stepped down mid-block area and eliminates the Edwardian facade of the existing 1907 built home.

The changes do little to minimize the negative impact to the surrounding homes or the character of our block. The Commission must impose changes that take into account:

- 1146 Potrero, the 2-story house adjacent to the north, is set back to the rear of the lot. It will be the most negatively impacted by a 4-story bldg extending so deep into the lot.
- The homes on Hampshire directly behind the proposed building are all less than 25 ft high, with large 20 ft front set backs. They are built further back on the lot and will be significantly impacted by the proposed height and depth of the 4-story building.
- The northern elevation will be completely visible. No matter how far the 4th floor is pushed back it will be seen from the public right of way. It will disrupt the uniformity of the stepped down mid-block area. It will be the only four story building on the block.

The Proposal contains 7 bedroom, 9 bathrooms (7 full and 2 half baths). It dedicates 699 sq ft to hallways and stairs. 15% of the total habitable space. Based on notes provided of discussions by the Residential Design Team, it is clear they support a reduction of the depth.

In line with this request, we ask the following:

- Reduce depth of the building by 10' - this translates to a reduction of 430 sq ft.
- Eliminate 4th floor - this represents a net loss of 862 sq ft (85 sq ft will be gained on the 3rd floor by removing the stairs to the 4th floor).
- Eliminate windows on the North elevation. They are intrusive to the Lopez Family at 1146 Potrero and rob them of all privacy. The windows overlook the only outdoor area used as a yard, parking and front entrance. The result is a gain of 130 sq ft.

The existing proposal is invasive to the adjacent homes. More should be done to reduce the bulk. Redesigning the interior space - utilizing less sq ft for bathrooms, stairs, and halls - will reduce net bulk from 5242 sq ft to 4080 sq ft. This will go a long way to minimize negative impact on the surrounding homes. It still allow for a spacious tri-plex that also aligns with the mid-block step down aesthetic of the area.

Plans used in the 311 Notice distort the rear building wall

Sub standard rear "shed" area used to extend the rear building wall of 1152 and square footage of existing building. **Exhibit 3**. This results in a totally misleading 311 notice as to increased depth. Outdoor construction housing a washing machine and dryer cannot be used to extend the existing rear building wall.

Developer was allowed to include 1125 sq ft of unwarranted, substandard area. The back wall of garage is missing from the plans. The increased depth of proposed project is grossly mis-stated. It is actually 20+ feet, not the stated 4 feet.

Pre-application meeting submission ignores statements made at meeting

Pre-application meeting held on 2/16/15. The Garcia family, who sold their 1152 home, was still living there. The sign in sheet includes the names of only 2 attendees: Linda Ray, our neighbor from across the street, and Kevin Garcia, the teenage son of the Garcia family. **Exhibit 4.**

Notes submitted to Planning do not show issues raised by the neighbor who attended. Ms. Ray told my wife and me that during the meeting she suggested to Project Sponsor that he modify his proposal, which she described as a "shoe box design." She asked that it look more like 1140 Potrero, the single family home that was altered to a 3 story triplex following Planning Commission amendments in 2008

I would have attended and raised questions, but I got no notice of the pre-application meeting.

Summary

The proposed project must be reduced from a 4-story flat-roofed building to a 3-story building to reflect neighborhood character. A variance cannot be granted for a building which does not fit in with its neighbors.

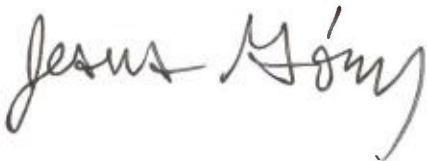
Commission attention is directed to Planning Department depiction of THIS BLOCK in **Exhibit 6** and to the last page of **Exhibit 2** which shows 1152 in the context of the architecture of other Edwardian homes.

The revision of the project, requiring a variance notice, has wound up with a notice of variance hearing and a second 311 which extends to tomorrow. I am submitting this on Wednesday, May 25, 1916 before that deadline.

I would be glad to answer any questions you might have.

Thank you.

Jesus Gomez
1136 Potrero
San Francisco 94110



jdejesusgomez@comcast.net

Index

Exhibit 1: Letter from F. Joseph Butler dated 7/11/2005 addressed to Planning Commission involving 1140 Potrero Ave; content relevant to this case

Exhibit 2: Ad from sale of 1152 Potrero features RH-3 zoning; 1152-superimposed onto Alamo Square "Painted Ladies" to show original Edwardian details intact

Exhibit 3: Photos of unwarranted addition used on 311 to increase depth and sq ft

Exhibit 4: Pre-Application meeting sign sheet and notes dated 2/16/15

Exhibit 5: Photos – Factors that contribute to negative impact on adjacent homes and neighborhood character

Exhibit 6: Map-South Mission Historic Survey map/photos of established step down of the mid-block area

Exhibit 7: Petition signed by Neighbors against 4-story project @ 1152 Potrero

Exhibit 8: Original 311 Notice dated 1/6/16 - Second 311 Notice dated 5/11/16

Exhibit 1

Letter from F Joseph Butler, Architect, addressed to Planning Commission dated 7/11/2005.

Content includes information relevant to current case involving Master Plan and Neighborhood character.

11 July 2005

Ms. Sue Lee, President
San Francisco Planning Commission
1660 Mission Street
Fifth Floor
San Francisco, CA 94103

1048 Union Street 19
San Francisco
California 94133

Re: 1140 Potrero Avenue, 2004.1234, P.A. 2004/07/23/9615 and P.A.
2004/07/23/9619

Master Plan: Housing

This project violates Master Plan Policies which encourage the retention of existing sound housing. The replacement units will be much more expensive than the single family residence that they replace. The Lopez family, which includes four children, as well as the extended family of Berta and Arnoldo, originally rented their home. Through their hard work and saving, they managed to buy the home from their landlord Mr. Urrutia. (Mr. Urrutia lives on Hampshire Street and also supports this D.R.) The Gomez family purchased their home in 1984. Both are examples of what the City needs, housing stock that is starter homes, small houses that families can afford that allows them to remain in the City. Replacing these small starter homes with more expensive market rate housing only deepens the housing affordability crisis for low to moderate income families.

Neighborhood Character: The height of buildings on this block is much lower than the four story plus penthouse proposed, with two story or one story over garage or basement the predominant building type. This is largely a function of the age of buildings on this block, many extant from the Nineteenth Century, and though some remodelings and alterations have occurred, the urban forms are still predominantly from that era. (See Potrero and Hampshire Street photo montages) A four story building, PLUS A STAIR TO THE ROOF WHICH WILL "READ" AS ANOTHER STORY TO ADJACENT NEIGHBORS is grossly inappropriate and out of character for this neighborhood.

Conclusion:

1140 Potrero is not unsound as defined by the Planning Department, and its demolition is inconsistent with the City's Master Plan. If demolition is permitted, and it should not be permitted, the building must be lowered to a maximum of three stories and moved forward as proposed by the Variance application. The stair penthouse would no longer be required by the Building Code. This would mitigate the shadow impact on the rear yards of the neighboring buildings, reduce looming visual impacts on the houses to the rear on Hampshire, help preserve eligibility of this block for a potential historic district, and be more in keeping with the scale and character of this neighborhood.

If the four story structure as proposed is seen as the model for the future along Potrero Avenue, then the City will lose even more starter housing opportunities like that which benefited the Lopez family. New units that add more automobile conflicts with existing transit lines, and the reduction of lanes of traffic for the newly redesigned transit preferential Potrero Avenue, are counterproductive to the goals of a transit first City.

Retention of the existing sound housing, more in keeping with the age and height of the block, with perhaps the expansion of living space into the existing ground floor is a proposed use that is much more in keeping with the City's Master Plan, and the neighborhood character.

Sincerely,

A handwritten signature in black ink that reads "F. Joseph Butler, AIA". The signature is written in a cursive, flowing style.

F. Joseph Butler, AIA

cc. Members of the Commission

Sue Hestor

Attachments

Exhibit 2

Speculators see "3H zoning" and are willing to make cash purchases, paying more than the home would normally appraise for. They only focus on the potential massive profits; there is no respect for neighborhood character and little thought placed on minimizing negative impacts to the surrounding homes.

Speculators deprive families the opportunity to purchase, rehab, and expand the existing homes. This practice also deprives our Community of the Turn of the Century buildings San Francisco is known for.

Copy of Realtors sale page reflecting sale price and RH-3 zoning

Rendering of 1152 Potrero Ave superimposed on Alamo Square "Painted Ladies" to show 1152 retains its original character.

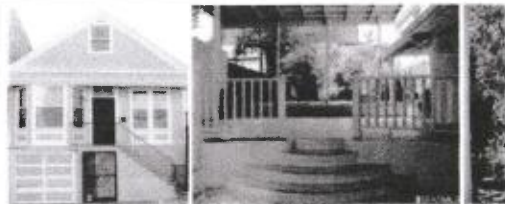
Listing #425824 **1152 Potrero Ave, San Francisco, CA 94110*** **Sold** (01/09/15) **DOM: 90**
\$969,000 (LP) **Bed: 4** **Baths: 2.50** **Sq Ft: 1125*** **Lot Sz: 2495***
\$900,000 (SP) **District : 9 - Inner Mission** **Yr: 1907***
Price/SqFt: 800.00
SP % LP: 92.88

Remarks

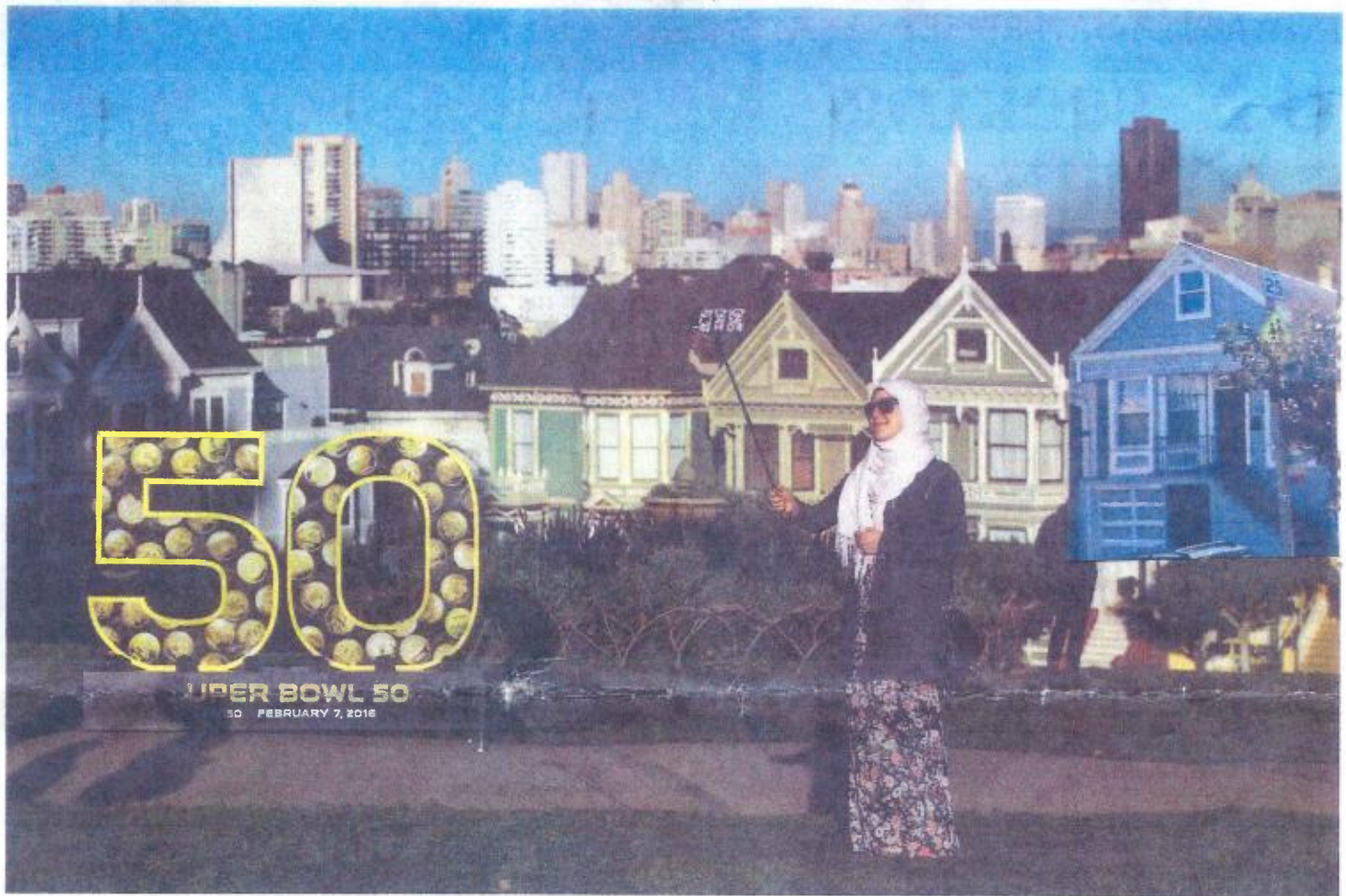
In the vibrant Inner Mission this property is Zoned RH-3. It Features 3-4 bedrooms 2.5 bathrooms, large eat in kitchen, living room, sunroom, porch with views of Twin Peaks and a great patio and backyard with lush fruit trees. Property includes washer dryer, refrigerator, dishwasher and stove. Close to shops, restaurants, and transportation plus close proximity to highway entrances too. Ground floor has an unwarranted finished basement and a 2 Car Garage. A great home for a large family.



Pictures (35)



Agent	Marise E Rodriguez (ID: 804980) Primary:415-378-3139 Lic: 01479464		
Office	Berkshire Hathaway-Franciscan (ID:BHFP) Phone: 415-664-9400, FAX: 415-664-2647 Office Lic.:		
Property Type	Single-Family Homes	Property Subtype(s)	Single-Family Homes
Status	Sold (01/09/15)		
DOM	90		
Type Listing	Excl Right to Sell		
Known Short Sale	No		
REO	No		
District	9 - C		
Commission	Selling Office	Dual/Var. Rate	
	2.5	Yes	
County	San Francisco	Blk/Lt/APN	4211011
Scope of Service	Full Service		
Beds	4	Baths	2.50
Den/Bonus Room	0		
Approx Square Feet	1125*	Sq Ft Source	Per Tax Records
Lot Sq Ft (approx)	2495*	Per Tax Records	Price / SqFt 800.00
Year Built	1907*	Lot Acres (approx)	0.0573
Map Book	SFAR Map	Map Coordinates	SFAR, CT46
Cross Street	24th Street		
Listing Date	09/13/14	Entry Date	09/25/14
On Market Date	09/25/14		
Original Price	969,000		
Occupant Type	Owner		
Occupant Name			
Directions to Property	From 23rd street turn right on to Potrero Avenue and the house will be on your right.		
Agent Remarks	Offers now as they come. Disclosures in DocBox. Use SFAR purchase contract, include As-Is Add. & fully executed disclosures with offer. Use Escrow #01180-124083 Georgine Lonero (415) 653-3910 at Stewart		



Gabrielle Lurie / Special to The Chronicle

Nihed Kassab, a tourist from Tunisia, takes a selfie near a Super Bowl 50 sculpture at Alamo Square marking the big game.

SFCHRONICLE.COM | **Monday, January 18, 2016** | PRINTED ON RECYCLED PAPER | \$1.50 ★★★★★

This photo was borrowed from the Sf-Chronicle

This was the front page of the Chronicle, it was delivered to my house a few day after I got the original 311 notice. I am not trying to fool anyone by superimposing 1152 Potrero (far right). However it is clear that the home retains it's original Character and detail and should be preserved.

I respectfully ask the following questions:

Is subject property reflective of the architectural style San Francisco is world famous for?

Is subject property reflective of the turn of the century neighborhood character of the Mission District?

Are we going to let uncaring speculators rob us of a home that has survived intact for over 109 years simply because the Mission survey failed to identify this lovely home as historic?

How many of these gem's are we to lose before we say "enough is enough"?

Exhibit 3

The Developer was allowed to include 1125 sq ft of unwarranted, substandard area on the 311 notice doubling the legal square footage as it appears on public records. This misrepresentation also creates the illusion that the proposal only increases the depth of the existing home less than 4 feet, rather than the actual 20+ feet.

Photos show attic does not have height for habitability and the unwarranted, sub-standard outdoor addition.

1152 Potrero Ave, San Francisco, CA 94110-3521, San Francisco County



4	1,125	2,495	\$900,000
MLS Beds	MLS Sq Ft	Lot Sq Ft	MLS Sale Price
1	1907	SFR	01/09/2015
Baths	Yr Built	Type	MLS Sale Date

Owner Information

Owner Name:	Nrj Investments LLC	Tax Billing Zip:	94402
Tax Billing Address:	116 Starlite Dr	Tax Billing Zip+4:	3639
Tax Billing City & State:	San Mateo, CA	Owner Occupied:	No

Location Information

School District:	San Francisco	Subdivision:	Mission Bl 149
Census Tract:	229.03	Zoning:	RH3
Carrier Route:	C014		

Tax Information

Tax ID:	4211-011	% Improved:	40%
Block:	4211	Tax Area:	1000
Lot:	11		

Assessment & Tax

Assessment Year	2015	2014	2013
Assessed Value - Total	\$602,526	\$590,726	\$588,060
Assessed Value - Land	\$361,518	\$354,438	\$352,838
Assessed Value - Improved	\$241,008	\$236,288	\$235,222
YOY Assessed Change (%)	2%	0.45%	
YOY Assessed Change (\$)	\$11,800	\$2,666	

Tax Year	Total Tax	Change (\$)	Change (%)
2013	\$7,236		
2014	\$7,193	-\$43	-0.59%
2015	\$7,388	\$195	2.71%

Characteristics

Lot Area:	2,495	Garage Type:	Built-In
Lot Acres:	0.0573	Parking Type:	Built-In Garage
Lot Frontage:	25	No. Parking Spaces:	MLS: 2
Lot Depth:	100	Bedrooms:	Tax: 2 MLS: 4
Building Sq Ft:	1,125	Total Baths:	Tax: 1 MLS: 2.5
Land Use - CoreLogic:	SFR	Full Baths:	1
Land Use - County:	1 Dwelling Unit	Total Rooms:	5
Year Built:	1907	Construction:	Wood
Stories:	Tax: 1 MLS: 3	Total Units:	1

Listing Information

MLS Listing Number:	425824	Closing Date:	01/09/2015
MLS Status:	Sold	Closing Price:	\$900,000
MLS Status Change Date:	01/10/2015	MLS List. Agent Name:	804980-Marise Rodriguez
MLS Listing Date:	09/13/2014	MLS List. Broker Name:	BERKSHIRE HATHAWAY-FRANCISCAN

Sold: \$900,000 (4 beds, 2.5 baths, 1,125 sqft)

Save home

Save image

Close



Photo of attic bedrooms; does not have required height for habitability

Sold: \$900,000 (4 beds, 2.5 baths, 1,125 sqft)

Save home

Save image

Close



Photos of substandard unwarranted outdoor construction; this area should not have been allowed to increase depth or sq ft on the 311.

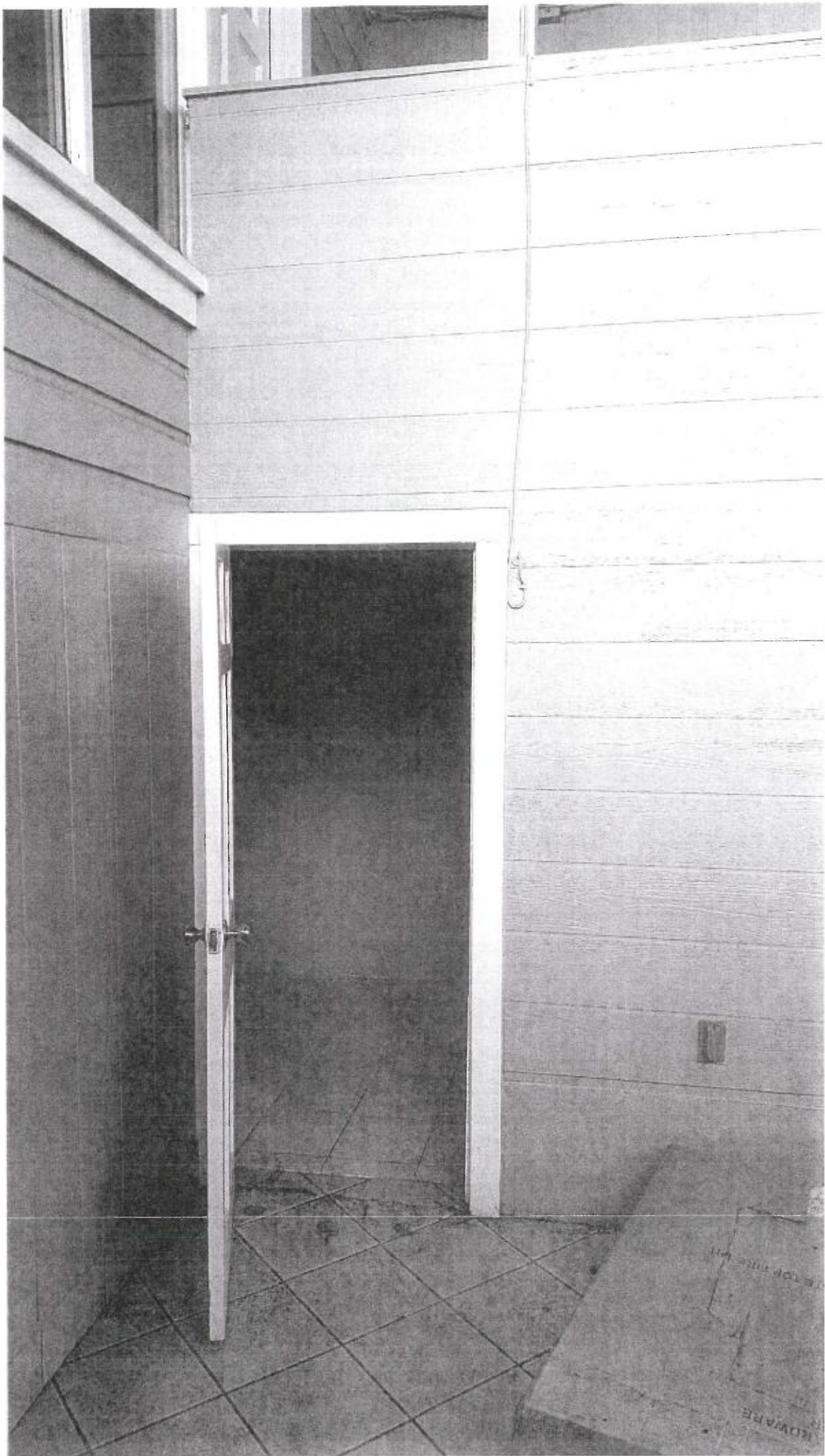






Exhibit 4

The pre-app meeting was held on 2/16/15; this is significant as the Garcia family, who sold the home, was still living there. The sign in sheet reflects the names of only 2 attendees: Linda Ray, our neighbor from across the street, and Kevin Garcia, the teenage son of the Garcia family. There were no notes as to what was discussed during the meeting.

Subsequently, Ms. Ray told my wife and me that during the meeting she suggested to Project Sponsor that he modify his proposal, which she described as a "shoe box design", to look more like 1140, the single family home that was altered to a 3 story tri-plex in 2008.

Copy of Pre-Application sign in sheet and summary of discussion.

Pre-Application Meeting Sign-In Sheet

Meeting Date: 02/16/2015
 Meeting Time: 6:00 p.m.
 Meeting Address: 1152 Potrero Avenue, San Francisco, CA 94110
 Project Address: 1152 Potrero Avenue, San Francisco, CA 94110
 Property Owner Name: NRJ Investments, LLC
 Project Sponsor/Representative: Massoudi Consulting

Please print your name below, state your address and/or affiliation with a neighborhood group, and provide your phone number. Providing your name below does not represent support or opposition to the project; it is for documentation purposes only.

	NAME/ORGANIZATION	ADDRESS	PHONE #	EMAIL	SEND PLANS
1.	Kevin Garcia		(415) 515-7742	Kevin.garcia211@gmail.com	<input type="checkbox"/>
2.	LINDA RAY	1125 POTRERO			<input type="checkbox"/>
3.					<input type="checkbox"/>
4.					<input type="checkbox"/>
5.					<input type="checkbox"/>
6.					<input type="checkbox"/>
7.					<input type="checkbox"/>
8.					<input type="checkbox"/>
9.					<input type="checkbox"/>
10.					<input type="checkbox"/>
11.					<input type="checkbox"/>
12.					<input type="checkbox"/>
13.					<input type="checkbox"/>
14.					<input type="checkbox"/>
15.					<input type="checkbox"/>
16.					<input type="checkbox"/>
17.					<input type="checkbox"/>
18.					<input type="checkbox"/>

Summary of discussion from the Pre-Application Meeting

Meeting Date: 02/16/2015

Meeting Time: 6:00 p.m.

Meeting Address: 1152 Potrero Avenue, San Francisco, CA 94110

Project Address: 1152 Potrero Avenue, San Francisco, CA 94110

Property Owner Name: NRJ Investments, LLC

Project Sponsor/Representative: Massoudi Consulting

Please summarize the questions/comments and your response from the Pre-Application meeting in the space below. Please state if/how the project has been modified in response to any concerns.

Question/Concern #1 by (name of concerned neighbor/neighborhood group):

Project Sponsor Response:

Question/Concern #2:

Project Sponsor Response:

Question/Concern #3:

Project Sponsor Response:

Question/Concern #4:

Project Sponsor Response:

Exhibit 5

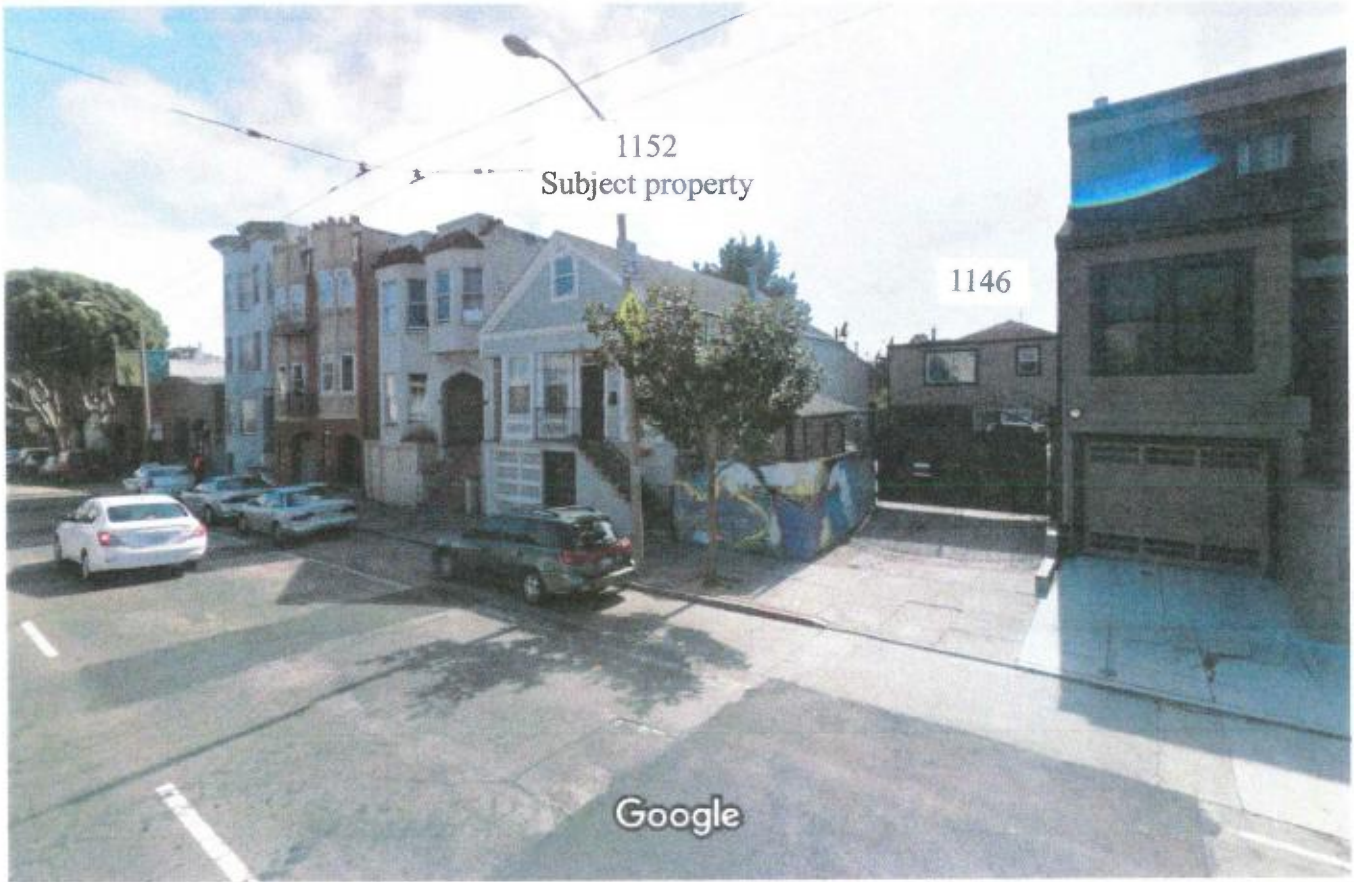
The Proposal will tower over these homes robbing them of light, air and privacy. The 4th floor of the proposal will be seen from the public right of way and disrupt the uniformity of our block as it will be the only 4 story building.

Photo of 1146 Potrero, the house adjacent to the North, is set back to the rear of the lot and will be the most negatively impacted

Photo of Northern elevation it will be completely visible from the public right of way.

Photo of the homes directly behind the proposal on Hampshire St; note all less than 25 ft high with large front set backs of 20 ft. They are built further back on the lot and will be significantly impacted by the proposal.

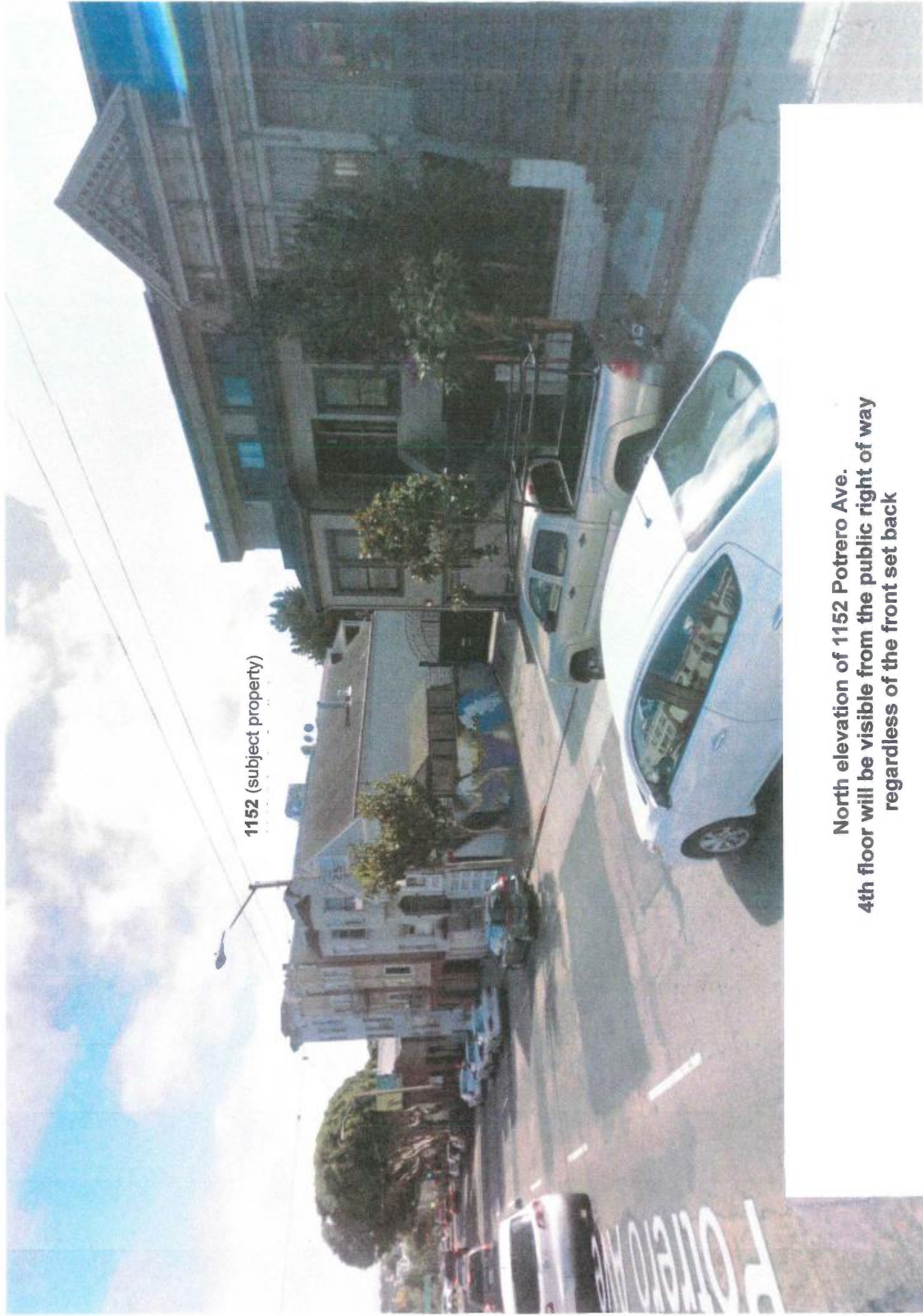
Plot map of Height of buildings on block 4211.



San Francisco, California
Street View - Jul 2015

This photo shows the relationship of subject property to 1146, home is set back on the lot





1152 (subject property)

**North elevation of 1152 Potrero Ave.
4th floor will be visible from the public right of way
regardless of the front set back**

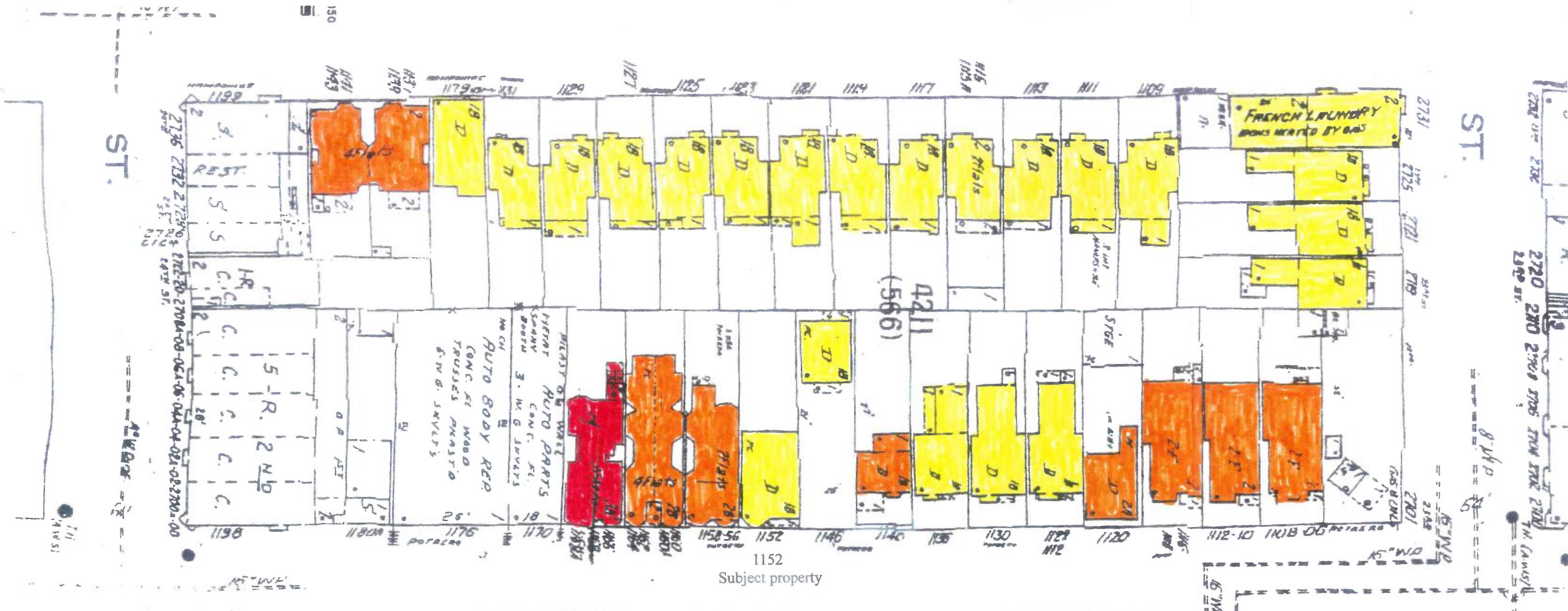
Image capture: Jul 2015 © 2016 Google

Hampshire St



Homes on Hampshire St. directly behind subject property





Building Height



2 story- residential



3 story partial basement- residential



3 story- residential



3 story- mix use/commercial

Exhibit 6

The established step down of the mid-block area is important for its beauty and historical significance; it should be protected. Until 2008 the mid-block area of this block was made up of 6 2-story single family homes, 2 of which are recognized as Historical Resources.

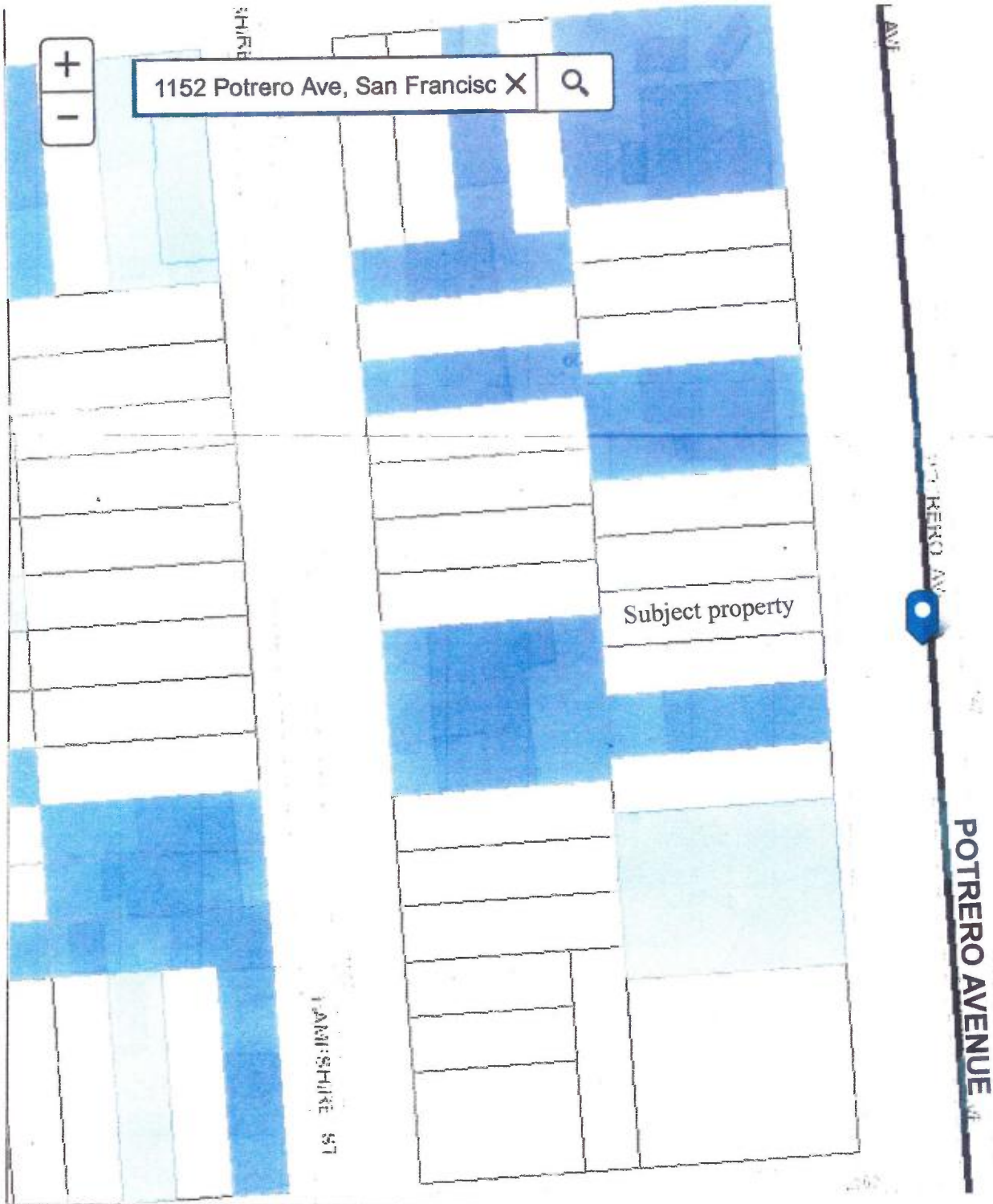
Map from the South Mission Historic Survey show half the houses on block 4211 are recognized Historic Resources.

Rendering used by the "Potrero Streetscape Improvement" web-site.

Photos of of mid-block step down area; front, South and North views.



This photo was borrowed from the Planning Department web-site
Photo of the stepped down mid-block area.
The artist picked this area, displaying uniformity and beauty for his rendering.
The turn of the century character and front set backs must be preserved.



South Mission Historic Resource Survey Map

Map Legend



Historic Resource



Potential Historic Resource (requires further research)



Not a Historic Resource



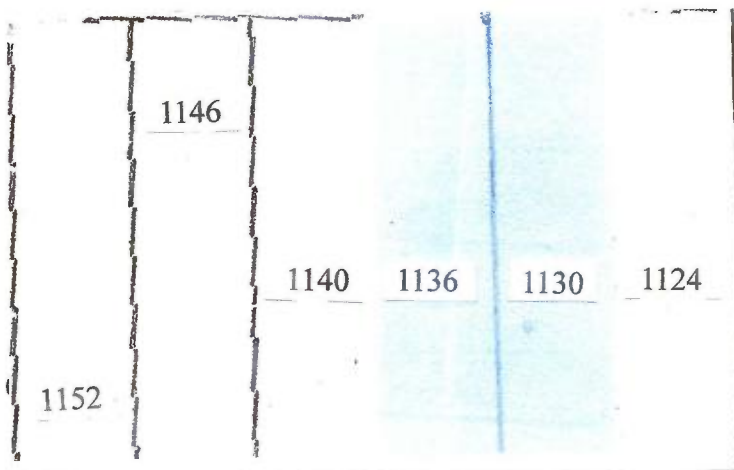
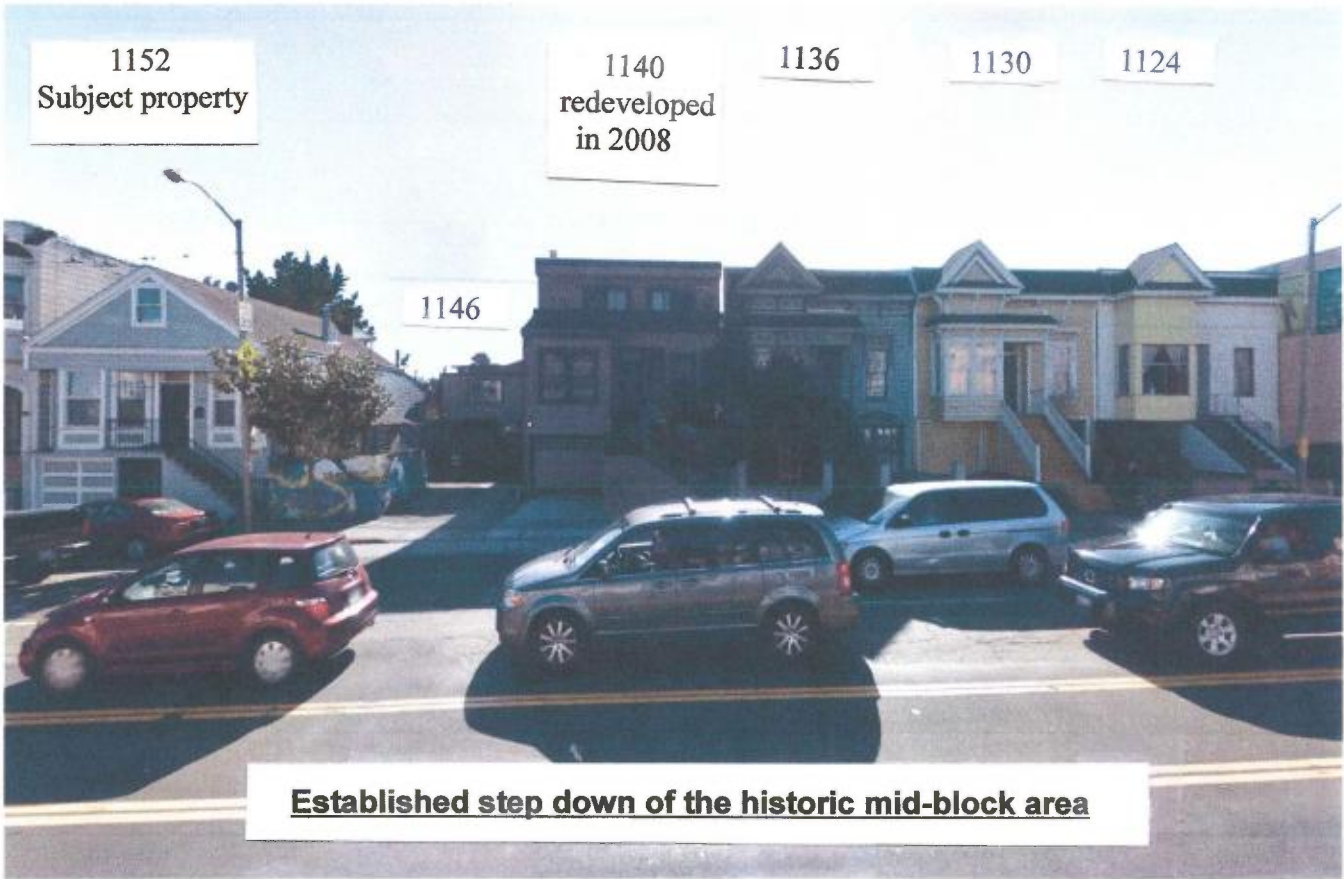
Not Evaluated (less than 50 years old)



Historic District Boundary



Survey Area



Potrero Ave mid-block area / block 4211

Map Legend



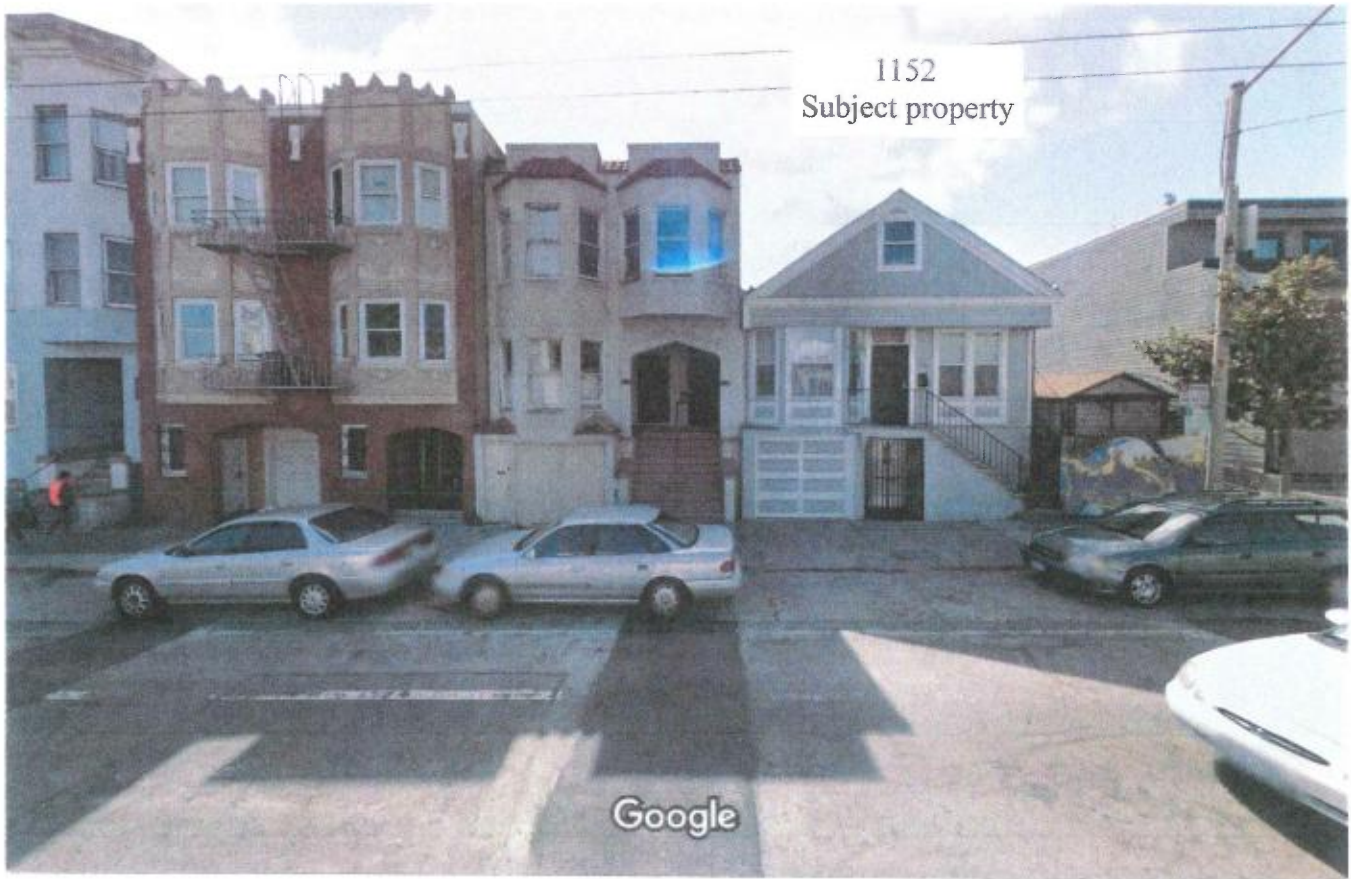
Historic Resource

The six 2-story single-family homes built between 1891 and 1907 established the step down of the mid-block area of Potrero Ave/block 4211. The step down was affirmed and respected when the four-story proposal at 1140 was scaled down to a three story 3800 sq. ft. tri-plex.

Photo shows homes left (So) to right (No)

- 1152 (subject property)
- 1146 (single family home, set back on the lot)
- 1140 (altered to a 3800 sq. ft. tri-plex in 2008)
- 1136 (deemed a **historic resources**)
- 1130 (deemed a **historic resources**)
- 1124 (a single family home)

All except 1152 have front set backs.

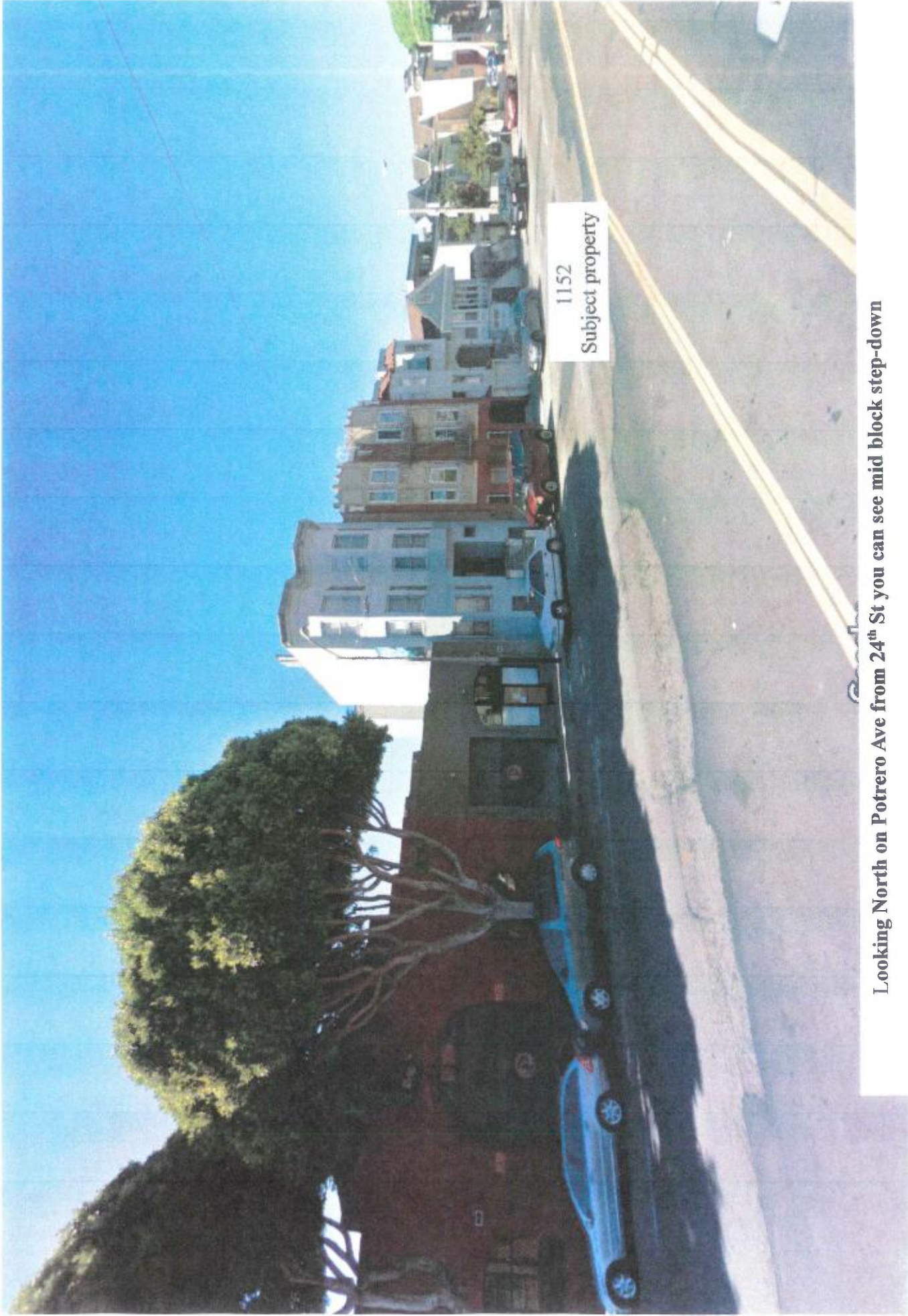


**Picture shows established step down to the mid-block area From South to North
1170-68-66, 1164-62-60-601/2, 1158-56 and 1152 (subject property).**

San Francisco, California

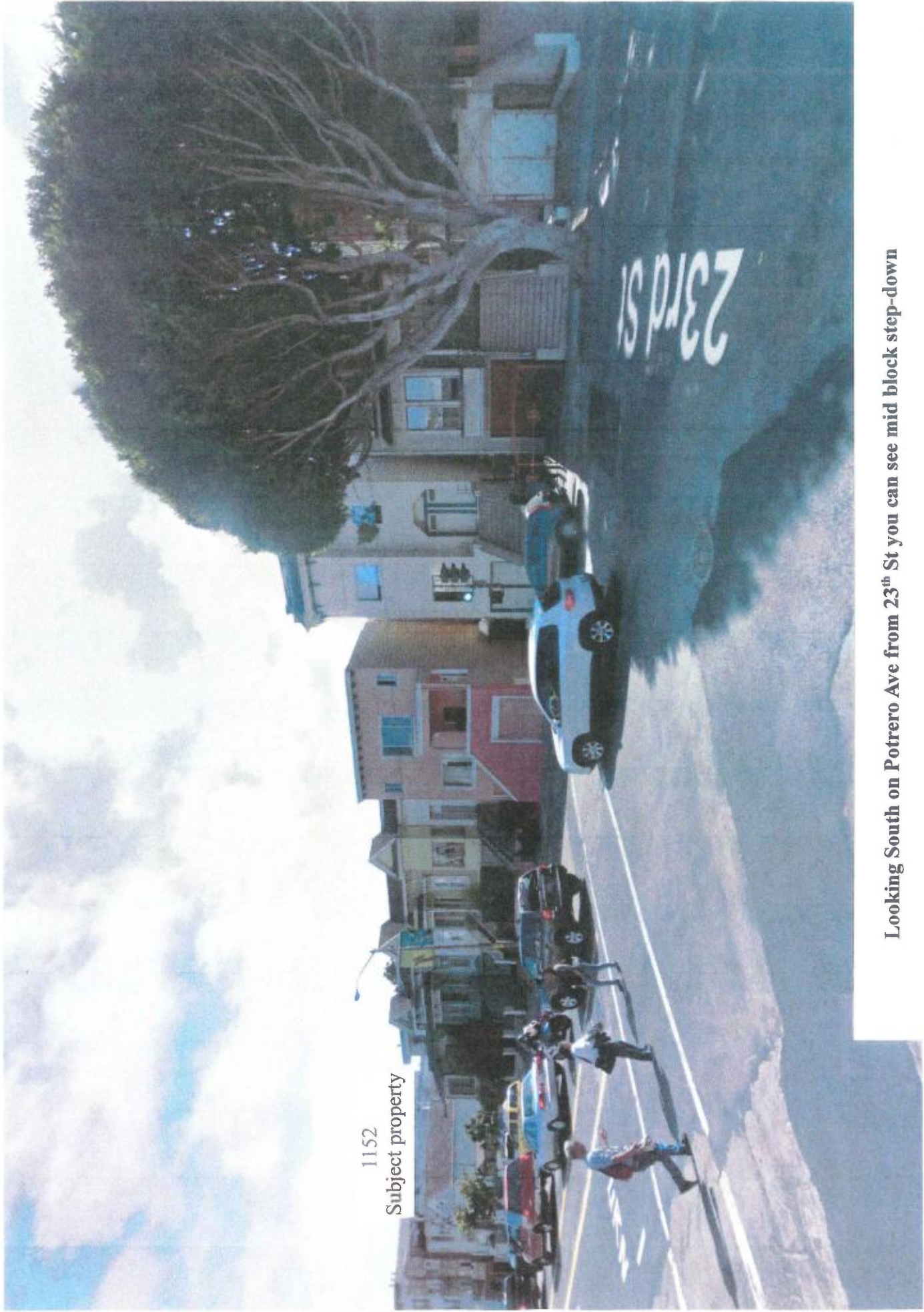
Street View - Jul 2015





Looking North on Potrero Ave from 24th St you can see mid block step-down

Image capture: Oct 2015 © 2016 Google



1152
Subject property

Looking South on Potrero Ave from 23th St you can see mid block step-down

Image capture: Jul 2015 © 2016 Google

Exhibit 7

Petition signed by Neighbors against 4-story project proposed @ 1152 Potrero

Petition
Friends and Neighbors of Block 4211
Against the Four Story Proposal at 1152 Potrero Ave

Name Guadalupe Ruano G.
Address 1121 Hampshire St
email/phone number 416-271-3862 cell #

Name Alexis Cantor
Address 1109 Hampshire St,
email/phone number acantorag@gmail.com

Name Jonathan Silu
Address 1127 Hampshire St.
email/phone number 415 378 4316

Name Maritza Garcia
Address 1131 Hampshire St
email/phone number (415) 756 2705

Name Tom JACKIEWICZ
Address 1179 HAMPSHIRE ST
email/phone number 408 655 4672

Name Pilar Baglieri
Address 1185 Hampshire St
email/phone number (415) 532 5252

Name Alex Cowles
Address 1160 Potrero #1
email/phone number 415 697 8594

Name Kate Granger
Address 1146 Potrero
email/phone number (768) 994-6412

Name John Jacobs
Address 415-613-4302
email/phone number 1109 Potrero Ave.

Name M.P.L. Hunt
Address 2635-23rd Street / #67
email/phone number 1-415-266-9958

Name CASSY LEE
Address 1111 POTRERO AVE SE CA 94110
email/phone number cassylee@sbcglobal.net

Petition
Friends and Neighbors of Block 4211
Against the Four Story Proposal at 1152 Potrero Ave

Name Mike Famburn
Address 1166 Potrero Ave
email/phone number 415 648 7359

Name Julie Zigoris
Address 1130 Potrero Ave
email/phone number 412 303 5915

Name Andrey Ruiz de Bustamante
Address 1122 Potrero Ave S.F. 94110
email/phone number andreat-r@yahoo.com

Name MARIA HADLEY
Address 1168 POTERO AVE
email/phone number _____

Name _____ Sui gadi - 1120 Potrero
Address _____
email/phone number _____

Name DORILA PEREIRA DASILVA PEREIRA
Address 1116 POTERO
email/phone number _____

Name Ruth Sebnatu
Address 1117 POTERO AVE
email/phone number _____

Name Lena Yu
Address 2721 23RD ST
email/phone number _____

Name DIANE PARKER
Address 2725 23RD ST SF CA 94110
email/phone number 415 675-1899

Name Gerald J Sheehan
Address 2931 - 23RD ST
email/phone number 415 776 5523

Name DAVID GENERA
Address 1111 HAMPSHIRE S
email/phone number 826 3940

Petition
Friends and Neighbors of Block 4211
Against the Four Story Proposal at 1152 Potrero Ave

Name Misael Portillo
Address 1024 Potrero Av San Francisco CA
email/phone number 415/34149-31

Name Fred Acebo
Address 1149 Potrero Ave
email/phone number writtenink@hotmail.com

Name Jessica Roper
Address 1527 Campbell St
email/phone number roper.jessica.lynn@gmail.com

Name _____
Address _____
email/phone number _____

Name _____
Address _____
email/phone number _____

Name _____
Address _____
email/phone number _____

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email/phone number _____

Exhibit 8

Original 311 notice dated 1/6/16 and Second 311 Notice dated 5/11/16



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311)

On March 03, 2015, the Applicant named below filed Building Permit Application No. 201502249220 with the City and County of San Francisco.

PROPERTY INFORMATION		APPLICANT INFORMATION	
Project Address:	1152 POTRERO AVE	Applicant:	Rod Massoudi
Cross Street(s):	24th Street	Address:	205 De Anza Blvd #109
Block/Lot No.:	4211 / 011	City, State Zip:	San Mateo, CA 94402
Zoning District(s):	RH-3 - Residential- House, Three Family / 55-X	Telephone:	(650) 773-5844

You are receiving this notice as a property owner or resident within 150 feet of the proposed project. You are not required to take any action. For more information about the proposed project, or to express concerns about the project, please contact the Applicant listed above or the Planner named below as soon as possible. If you believe that there are exceptional or extraordinary circumstances associated with the project, you may request the Planning Commission to use its discretionary powers to review this application at a public hearing. Applications requesting a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown below, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

PROJECT SCOPE		
<input type="checkbox"/> Demolition	<input type="checkbox"/> New Construction	<input type="checkbox"/> Alteration
<input type="checkbox"/> Change of Use	<input checked="" type="checkbox"/> Façade Alteration(s)	<input type="checkbox"/> Front Addition
<input checked="" type="checkbox"/> Rear Addition	<input type="checkbox"/> Side Addition	<input checked="" type="checkbox"/> Vertical Addition
PROJECT FEATURES	EXISTING	PROPOSED
Building Use	Single Family Dwelling	Three Family Dwelling
Front Setback	0 feet	No Change
Side Setbacks	0 feet	No Change
Building Depth	+/- 63 feet	73 feet 8 inches
Rear Yard	+/- 37 feet (to 1 st floor roof)	33 feet 4 inches
Building Height	+/- 22 feet (to midpoint of peak)	40 feet (to midpoint of peak)
Number of Stories	2 w/ Attic	4
Number of Dwelling Units	1	3
Number of Parking Spaces	1	2
PROJECT DESCRIPTION		
HORIZONTAL & VERTICAL ADDITION TO CONVERT EXISTING SINGLE HOME TO 3 UNIT APARTMENT BUILDING WITH TWO CAR GARAGE.		
The issuance of the building permit by the Department of Building Inspection or the Planning Commission project approval at a discretionary review hearing would constitute as the Approval Action for the project for the purposes of CEQA, pursuant to Section 31.04(h) of the San Francisco Administrative Code.		

For more information, please contact Planning Department staff:

Planner: Jeffrey Speirs
Telephone: (415) 575-9106
E-mail: jeffrey.speirs@sfgov.org

Notice Date: 1/6/16
Expiration Date: 2/5/16

中文詢問請電: (415) 575-9010

Para información en Español llamar al: (415) 575-9010



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311)

On March 03, 2015, the Applicant named below filed Building Permit Application No. 201502249220 with the City and County of San Francisco.

PROPERTY INFORMATION		APPLICANT INFORMATION	
Project Address:	1152 POTRERO AVE	Applicant:	Rod Massoudi
Cross Street(s):	24 th Street	Address:	205 De Anza Blvd #109
Block/Lot No.:	4211 / 011	City, State Zip:	San Mateo, CA 94402
Zoning District(s):	RH-3 - Residential- House, Three Family / 55-X	Telephone:	(650) 773-5844

You are receiving this notice as a property owner or resident within 150 feet of the proposed project. You are not required to take any action. For more information about the proposed project, or to express concerns about the project, please contact the Applicant listed above or the Planner named below as soon as possible. If you believe that there are exceptional or extraordinary circumstances associated with the project, you may request the Planning Commission to use its discretionary powers to review this application at a public hearing. Applications requesting a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown below, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

PROJECT SCOPE		
<input type="checkbox"/> Demolition	<input type="checkbox"/> New Construction	<input checked="" type="checkbox"/> Alteration
<input type="checkbox"/> Change of Use	<input checked="" type="checkbox"/> Façade Alteration(s)	<input checked="" type="checkbox"/> Front Addition
<input checked="" type="checkbox"/> Rear Addition	<input type="checkbox"/> Side Addition	<input checked="" type="checkbox"/> Vertical Addition
PROJECT FEATURES	EXISTING	PROPOSED
Building Use	Single Family Dwelling	Three Family Dwelling
Front Setback	0 feet	No Change
Side Setbacks	0 feet	No Change
Building Depth	+/- 63 feet	66 feet 8 inches
Rear Yard	+/- 37 feet (to 1 st floor projection)	33 feet 4 inches
Building Height	+/- 22 feet (to midpoint of peak)	40 feet
Number of Stories	2 w/ Attic	4
Number of Dwelling Units	1	3
Number of Parking Spaces	1	2
PROJECT DESCRIPTION		
<p>The proposed project is a front addition, a rear addition, and a vertical addition to an existing two-story (w/ attic) single-family dwelling. The existing single-family dwelling is on a slightly up-sloping lot with dimensions of 25 feet wide and 100 feet deep. The proposed building will be 4 stories and 40 feet in height, with fourth floor setback of 15 feet. The rear yard is 66 feet 8 inches deep, with setback of 10 feet at the third floor. A side setback of 3 feet at the rear is provided on the north side. Additional work includes front façade changes, a roof deck, and interior work. The proposed project will require a Variance Hearing which will be held jointly with the Discretionary Review Hearing, which is tentatively scheduled for June 2nd, 2016, as case numbers 2015-002632DRP and 2015-002632VAR2. See attached plans. The issuance of the building permit by the Department of Building Inspection or the Planning Commission project approval at a discretionary review hearing would constitute as the Approval Action for the project for the purposes of CEQA, pursuant to Section 31.04(h) of the San Francisco Administrative Code.</p>		

For more information, please contact Planning Department staff:

Planner: Jeffrey Speirs

Telephone: (415) 575-9106

E-mail: jeffrey.speirs@sfgov.org

Notice Date: 5/11/16

Expiration Date: 5/26/16