



SAN FRANCISCO PLANNING DEPARTMENT

Executive Summary Conditional Use

HEARING DATE: APRIL 7, 2016

Date: March 24, 2016
Case No.: **2015-000943CUA**
Project Address: **15 GUY PLACE**
Zoning: RH-DTR (Rincon Hill Downtown Residential Mixed Use)
Rincon Hill Area Plan
65-X Height and Bulk District
Block/Lot: 3749/012
Project Sponsor: Craig Nikitas
2555 32nd Avenue
San Francisco, CA 94116
Staff Contact: Doug Vu – (415) 575-9120
Doug.Vu@sfgov.org
Recommendation: **Approval with Conditions**

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PROJECT DESCRIPTION

The project sponsor proposes to demolish an unsound single-family dwelling and construct a six-story, 65-foot tall two-family dwelling on the subject lot pursuant to Planning Code Sections 303, 317(d)(2) and 827.52. The 8,458 gross square-foot building's ground floor includes a shared entrance foyer with separate stairs, habitable rooms for the downstairs dwelling unit at the rear and a 540 square-foot one-car garage at the front. The second floor includes the main living area for the 1,809 square-foot downstairs unit, and the third floor is split between the downstairs unit at the front and the upstairs unit at the rear. The fourth through sixth floors contain the remainder of the 5,129 square feet upstairs dwelling unit. The building extends to the lot's rear depth at the first and second floors, has a nine-foot and six-inch rear yard at the third and fourth floors, and a fourteen-foot rear yard at the fifth and sixth floors. The requisite open space is provided through decks on the third through sixth floors of the building.

Pursuant to Planning Code 317(d)(2), "if Conditional Use authorization is required for the replacement structure by other sections of this Code, the Commission shall consider the demolition as part of its decision on the Conditional Use application," and "shall apply appropriate criteria adopted under this Section 317 in addition to the criteria in Section 303 of the Planning Code in its consideration of Conditional Use authorization." This report includes findings for a Conditional Use Authorization in addition to Demolition Criteria established in Planning Code Section 317.

SITE DESCRIPTION AND PRESENT USE

The project is located on the south side of Guy Place, which is located between 1st and Lansing Streets. Commonly known as Block 3749 and Lot 012, the parcel measures 25 feet in width, 70 feet in depth and approximately 1,750 square feet in area. The slightly upsloping lot has an average elevation of 61 feet at

the front, 66 feet at the rear, and is located in the Rincon Hill Downtown Residential Mixed Use (RH-DTR) Zoning District and the 65-X Height and Bulk District. The property is currently improved with a 1,200 square-foot, two-story single family dwelling that was constructed in 1906 in the Italianate style that was determined not to be a historical resource in 2015 (Case No. 2015-000943ENV).

SURROUNDING PROPERTIES AND NEIGHBORHOOD

The adjacent properties include a four-story eight-unit residential building to the east at 29-31 Guy Place and an eight-story 82-unit condominium development to the west at 50 Lansing Street. The remaining properties on Guy Place include larger parcels with multi-family dwellings, four small similarly sized lots with multi-family dwellings on the north side of Guy Place, and a commercial building at the north corner of 1st Street. The surrounding area in the Rincon Hill DTR District consists predominantly of multi-unit residential buildings including the recently completed 40-story, 320-unit Jasper high-rise adjacent to the south at 45 Lansing Street and the 450- and 550-foot tall, 689-unit One Rincon Hill twin towers to the southeast at 425 Harrison and 401 First Streets. Other land uses in the neighborhood include the Sailors Union of the Pacific building at 450 Harrison Street, a gallery and event space (dba Terra) at 511 Harrison Street, and an automobile service station (dba Union 76) at 390 1st Street. An on-ramp to Interstate 80 is located two blocks to the south at the intersection of Harrison Street, and other zoning districts in the broader area include: P (Public), SB-DTR (South Beach Downtown Residential District), and TB-DTR (Transbay Downtown Residential).

ENVIRONMENTAL REVIEW

The project is exempt from the California Environmental Quality Act (“CEQA”) as Class 1 and 3 categorical exemptions. The existing structure was reclassified to a Category C building on March 23, 2015, and is not a historical resource.

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Classified News Ad	20 days	March 18, 2016	March 16, 2016	22 days
Posted Notice	20 days	March 18, 2016	March 18, 2016	20 days
Mailed Notice	10 days	March 28, 2016	March 18, 2016	20 days

PUBLIC COMMENT

- To date, the Department has received only one communication requesting the review of the site permit plans for the proposed project.
- The required pre-application meeting for the proposed project occurred on December 1, 2014, whereby the major concern brought forth was the potential automobile circulation impacts

associated with construction activities. Subsequent outreach by the Sponsor was conducted individually with the owners/residents of 12, 14 and 16 Guy Street.

ISSUES AND OTHER CONSIDERATIONS

- The Project fully complies with the Planning Code and does not require any variances.
- The Project has been extensively reviewed by the Department's Urban Design Advisory Team (UDAT).
- The existing building was reclassified to a Category C building on March 23, 2015, and is not a historical resource.
- The existing 1906 building was constructed using a foundation with footings that were set directly on top of loose sand fill. As the building continues to settle, the footings have cracked and will continue to become compromised until the foundation fails. Therefore, the structure is unsound and would require a new and properly reinforced foundation.
- Planning Code 317(d)(2) requires the Commission to consider the demolition as part of its decision on the Conditional Use authorization by applying the appropriate criteria adopted under Planning Code Section 317.
- The Project would be subject to the Rincon Hill Community Improvement and Childcare Fees for the construction of net new residential development, which are estimated as follows:

FEE TYPE	PLANNING CODE SECTION / FEE	AMOUNT
Rincon Hill Community Improvement Fee (8,458 gsf – Net New Residential)	418.3(c) / \$10.96	\$92,699.68
SoMa Community Stabilization Fee (8,458 gsf – Net New Residential)	418.3(d) / \$13.95	\$117,989.10
Child Care Fee (8,458 gsf – Net New Residential)	414A.5 / \$0.91	\$7,696.78
	TOTAL	\$218,385.56

REQUIRED COMMISSION ACTION

In order for the project to proceed, the Commission must grant Conditional Use authorization for the demolition of the existing single-family dwelling and construction a six-story, 8,458 gross square-foot two-family dwelling on the 1,750 square feet lot in the RH-DTR Zoning District, pursuant to Planning Code Sections 303, 317 and 827.

BASIS FOR RECOMMENDATION

- The proposed Project meets all applicable requirements of the Planning Code

- The height, massing, scale, proportions and roofline of the proposed building are consistent with the block face, provide a transition from the adjacent four-story building to the adjacent nine-story building and is compatible with the predominantly dense residential neighborhood character. The building's design includes lightwells and side setbacks that will reduce any potential light and air impacts to the east adjacent building. The privacy of the east adjacent building has also been addressed by minimizing the amount of glazing directed toward that property.
- The Project will result in a net gain of one dwelling unit and will replace a two-bedroom home with two larger family-sized dwellings that each contains two or four bedrooms.
- The soundness factor, or cost to replace the existing building's foundation, exceeds 50 percent of the cost to reconstruct the 1,200 gross square-foot house.
- The Project complies with the additional criteria under Planning Code Section 317 that the Commission shall consider as part of the Conditional Use authorization for demolition of the existing dwelling unit.
- Project will fully utilize the Rincon Hill Area Plan controls and pay the appropriate development impact fees.

RECOMMENDATION: Approval with Conditions
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Attachments:

Draft Conditional Use Authorization Motion
Block Book Map
Sanborn Map
Zoning Map
Site Photograph
Aerial Photographs
Environmental Determination
Shadow Impact Determination
Conditional Use Application
Soundness Report
Reduced Plans

Attachment Checklist

- | | |
|---|---|
| <input checked="" type="checkbox"/> Executive Summary | <input checked="" type="checkbox"/> Project sponsor submittal |
| <input checked="" type="checkbox"/> Draft Motion | Drawings: <u>Existing Conditions</u> |
| <input checked="" type="checkbox"/> Environmental Determination | <input checked="" type="checkbox"/> Check for legibility |
| <input checked="" type="checkbox"/> Zoning District Map | Drawings: <u>Proposed Project</u> |

Height & Bulk Map

Context Photos

Site Photo

Parcel Map

Sanborn Map

Aerial Photo

Check for legibility

3-D Renderings (new construction or significant addition)

Check for legibility

Health Dept. review of RF levels

RF Report

Community Meeting Notice

Exhibits above marked with an "X" are included in this packet

DV

Planner's Initials

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SAN FRANCISCO PLANNING DEPARTMENT

Subject to: (Select only if applicable)

- Affordable Housing (Sec. 415)
- Jobs Housing Linkage Program (Sec. 413)
- Downtown Park Fee (Sec. 412)
- First Source Hiring (Admin. Code)
- Child Care Requirement (Sec. 414)
- Rincon Hill Community Improvement (Sec. 418)

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ADOPTING FINDINGS RELATING TO THE APPROVAL OF CONDITIONAL USE AUTHORIZATION PURSUANT TO SECTIONS 303, 317(d)(2) AND 827.52 OF THE PLANNING CODE TO ALLOW THE DEMOLITION OF A SINGLE-FAMILY DWELLING AND CONSTRUCTION OF AN APPROXIMATELY 8,458 GROSS SQUARE FEET, SIX-STORY 65-FOOT TALL TWO-FAMILY DWELLING ON A LOT THAT MEASURES APPROXIMATELY 1,750 SQUARE FEET WITHIN THE RH-DTR (RINCON HILL DOWNTOWN RESIDENTIAL MIXED USE) DISTRICT AND A 65-X HEIGHT AND BULK DISTRICT.

PREAMBLE

On January 29, 2015 Craig Nikitas on behalf of Drake Bay Partners LLC (hereinafter “Project Sponsor”) filed an application with the Planning Department (hereinafter “Department”) for Conditional Use Authorization under Planning Code Sections 303, 317(d)(2) and 827.52 to allow the demolition of an existing single-family dwelling and construction of a six-story, 65-foot tall, 8,458 gross square-foot two-family dwelling on a lot that measures approximately 1,750 square feet within the Rincon Hill Downtown Residential Mixed Use (RH-DTR) District and a 65-X Height and Bulk District.

On April 7, 2016, the San Francisco Planning Commission (hereinafter "Commission") conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Application No. 2015-000943CUA.

The project is exempt from the California Environmental Quality Act ("CEQA") as Class 1 and 3 categorical exemptions. The existing building was reclassified to a Category C building on March 23, 2015, and thus is not a historical resource.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

MOVED, that the Commission hereby authorizes the Conditional Use requested in Application No. 2015-000943CUA, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.
2. **Site Description and Present Use.** The project is located on the south side of Guy Place, which is located between 1st and Lansing Streets. Commonly known as Block 3749 and Lot 012, the parcel measures 25 feet in width, 70 feet in depth and approximately 1,750 square feet in area. The slightly upsloping lot has an average elevation of 61 feet at the front, 66 feet at the rear, and is located in the Rincon Hill Downtown Residential Mixed Use (RH-DTR) Zoning District and the 65-X Height and Bulk District. The property is currently improved with a 1,200 square-foot, two-story single family dwelling that was constructed in 1906 in the Italianate style that was determined not to be a historical resource in 2015 (Case No. 2015-000943ENV).
3. **Surrounding Properties and Neighborhood.** The adjacent properties include a four-story eight-unit residential building to the east at 29-31 Guy Place and an eight-story 82-unit condominium development to the west at 50 Lansing Street. The remaining properties on Guy Place include larger parcels with multi-family dwellings, four small similarly sized lots with multi-family dwellings on the north side of Guy Place, and a commercial building at the north corner of 1st Street. The surrounding area in the Rincon Hill DTR District consists predominantly of multi-unit residential buildings including the recently completed 40-story, 320-unit Jasper high-rise adjacent to the south at 45 Lansing Street and the 450- and 550-foot tall, 689-unit One Rincon Hill twin towers to the southeast at 425 Harrison and 401 First Streets. Other land uses in the neighborhood include the Sailors Union of the Pacific building at 450 Harrison Street, a gallery and event space (dba Terra) at 511 Harrison Street, and an automobile service station (dba Union 76) at 390 1st Street. An on-ramp to Interstate 80 is located two blocks to the south at the intersection of

Harrison Street, and other zoning districts in the broader area include: P (Public), SB-DTR (South Beach Downtown Residential District), and TB-DTR (Transbay Downtown Residential).

4. **Project Description.** The project sponsor proposes to demolish an unsound single-family dwelling and construct a six-story, 65-foot tall two-family dwelling on the subject lot pursuant to Planning Code Sections 303, 317(d)(2) and 827.52. The 8,458 gross square-foot building's ground floor includes a shared entrance foyer with separate stairs, a one-car garage at the front and habitable rooms for the downstairs dwelling unit at the rear. The second floor includes the main living area for the 1,809 square-foot downstairs unit, and the third floor is split between the downstairs unit at the front and the upstairs unit at the rear. The fourth through sixth floors contain the remainder of the 5,129 square feet upstairs dwelling unit. The building extends to the lot's rear depth at the first and second floors, has a nine-foot and six-inch rear yard at the third and fourth floors, and a fourteen-foot rear yard at the fifth and sixth floors. The requisite open space is provided through decks on the third through sixth floors of the building.

Pursuant to Planning Code 317(d)(2), "if Conditional Use authorization is required for the replacement structure by other sections of this Code, the Commission shall consider the demolition as part of its decision on the Conditional Use application," and "shall apply appropriate criteria adopted under this Section 317 in addition to the criteria in Section 303 of the Planning Code in its consideration of Conditional Use authorization." This report includes findings for a Conditional Use Authorization in addition to Demolition Criteria established in Planning Code Section 317.

5. **Public Comment.** The Department has received only one communication requesting the review of the site permit plans for the proposed project.

The required pre-application meeting for the proposed project occurred on December 1, 2014, whereby the major concern brought forth was the potential automobile circulation impacts associated with construction activities. Subsequent outreach by the Sponsor was conducted individually with the owners/residents of 12, 14 and 16 Guy Street.

6. **Planning Code Compliance:** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:

- A. **Rear Yard Requirement.** Planning Code Section 827.12 does not require a rear yard, but levels containing a dwelling unit that does not face onto a street or alley is limited to 80% lot coverage.

The Project complies with this requirement because although the new building will extend to the rear property line at the first and second floors, each of the two dwelling units face onto Guy Place.

- B. **Usable Open Space.** Planning Code Section 827.49 requires 75 sq. ft. of usable open space for each dwelling unit in the RH-DTR Zoning District.

The Project complies with this requirement by providing an 86 sq. ft. deck at the front of the third floor for the downstairs unit and over 200 sq. ft. of decks on the third, fifth and sixth floors for the upstairs dwelling unit.

- C. **Street Trees.** Planning Code Section 138.1(c) specifies the street tree requirements of this Section to be met with the construction of new dwelling units.

The subject property has 20' of frontage on Guy Place and complies with this requirement by proposing one street tree in front of the building.

- D. **Exposure.** Planning Code Section 140 requires each dwelling unit to face an open area. The open area must either be a public street, public alley at least 25 feet in width, side yard at least 25 feet in width, or rear yard meeting the requirements of this Code; or an open area that is unobstructed and no less than 25 feet in every horizontal dimension for the floor at which the dwelling unit in question is located and the floor immediately above it, with an increase of five feet in every horizontal dimension at each subsequent floor.

Both dwelling units in this building will face onto Guy Place. Therefore, the Project will comply with this requirement.

- E. **Building Setback.** Planning Code Section 827.13 requires a ground floor setback of 3' to 10' as recommended by the Ground Floor Residential Design Guidelines.

As recommended by the Urban Design Advisory Team (UDAT) during the design review process, the ground floor of the building includes a 3' setback that provides enough area for a gracious front entrance, which complies with this requirement.

- F. **Upper Story Setbacks.** Pursuant to Planning Code Section 827(a)(5), buildings greater than 60 linear feet from a major street along Guy Place, Lansing Street, and any proposed or existing private or public mid-block pedestrian pathways, are required to be set back at least 10 feet above 45 feet in height from said right-of-way.

The Project is located greater than 60' from a major street and complies with this requirement by providing a 10' setback at the fifth and sixth stories of the building, which are above 45' in height.

- G. **Off-Street Parking.** Planning Section 827.50 permits up to one car per 2 dwelling units and up to one car per dwelling unit per procedures and criteria of Sections 151.1825(b)(7) and 827 (a)(8).

The Project complies with this provision by proposing only a one vehicle parking garage located at the front of the ground floor.

- H. **Bicycle Parking.** Planning Code Section 155.2 requires one Class 1 bicycle parking space for each dwelling unit.

The Project complies with this requirement by providing designated space for two bicycles located under the stairs in the shared entry foyer at the ground floor.

- I. **Building Height.** The Subject Property is limited to a 65-X Height and Bulk District.

The Project proposes a six-story building that measures 65' in height measured from the mid-point of the front of the property, which complies with this section of the Code.

- J. **Shadow Impacts to Property Under the Jurisdiction of Recreation and Parks.** Pursuant to Planning Code Section 295, no building permit authorizing the construction of any structure taller than 40 feet that will cast any shade or shadow upon any property under the jurisdiction of, or designated for acquisition by, the Recreation and Park Commission may be issued except upon prior action of the Planning Commission pursuant to the provisions of this Section.

A shadow fan was prepared by the Planning Department indicated that new shadow could potentially be cast by the Project onto Guy Place Mini Park, a property under the jurisdiction of the Recreation and Park Commission. However, upon review and analysis of the shadow impact report submitted by the Sponsor, the Department determined on March 3, 2016 that no new net shadow would be cast upon Guy Place Mini Park because any additional shadows would be masked by shadow from the existing buildings during the hours regulated by Section 295.

- K. **Child Care Requirement for Residential Projects.** Planning Code Section 414A requires payment of a child care impact fee for a project that results in one net new dwelling unit.

The Project proposes one new dwelling unit and will be required to pay a fee of \$0.91 for each net new gross square feet of residential development.

- L. **Rincon Hill Community Improvement Fee.** Pursuant to Planning Code Section 418.3(c), the Rincon Hill Community Infrastructure Impact Fee is applicable to any development project in the Rincon Hill Program Area which results in at least one net new residential unit.

The Project proposes one new dwelling unit and will be required to pay a fee of \$10.96 for each net new gross square feet of residential development.

- M. **SOMA Community Stabilization Fee.** Pursuant to Planning Code Section 418.3(d), the SOMA Community Stabilization Fee is applicable to the net addition of gross square feet of residential use in any development project with a residential use within the Program Area.

The Project proposes a downstairs unit that is greater than the existing 1,200 sq. ft. house and one new dwelling unit, which will be required to pay a fee of \$13.95 for each net new gross square feet of residential development.

7. **Planning Code Section 303** establishes criteria for the Planning Commission to consider when reviewing demolitions as part of applications for Conditional Use approval. On balance, the project does comply with said criteria in that:

A. The proposed new uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.

The construction of two dwelling units is compatible with the immediate neighborhood, which includes a variety of densities that range from two dwelling units on a 1,750 sq. ft. parcel to 82 units on an approximately 20,770 sq. ft. lot prior to its condominium subdivision in 2006. The net increase of one large dwelling unit is necessary and desirable as it will add to the City's supply of housing stock with minimal adverse impacts on the surrounding neighborhood.

B. The proposed project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the project that could be detrimental to the health, safety or convenience of those residing or working the area, in that:

i. Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

The subject property has a lateral slope of approximately 10% that is also slightly upsloping lot with an elevation of 61' at the front and 66' at the rear of the lot. The height and depth of the proposed building is compatible with the immediate context, and respects the adjacent properties by providing lightwells and side setbacks at the rear that allow for light and air along the exposed east façade. The privacy of the east adjacent property has been addressed by using minimal amounts of glazing directed toward that property. The massing, form, proportions and roofline of the proposed building provide a desirable transition between adjacent shorter and taller buildings, and the overall scale of the structure is consistent with the block face and compatible with the high density residential neighborhood character.

ii. The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

Traffic conditions will remain unaltered by the Project because the proposed use is consistent with the residential character of the neighborhood and does not include any additional off-street, or reduction in on-street parking. The Project will also maintain the existing sidewalk, thereby not affecting the long-term accessibility of pedestrians and vehicles.

iii. The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

The proposed uses are residential dwellings, which do not typically emit noxious or offensive emissions such as noise, glare, dust or odor.

- iv. Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

The Project will provide 38 sq. ft. of landscaping in the front setback area that is more than twice the minimum 15 sq. ft. required, and an additional street tree along Guy Place. The Project also includes private decks that exceed the usable open space requirements of the Planning Code, and a ground floor garage that will provide the permitted off-street parking space and entry foyer with dedicated area for the required Class 1 bicycle parking spaces.

- C. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

The Project complies with all relevant requirements and standards of the Planning Code and is consistent with the objectives and policies of the General Plan as detailed below.

- 8. **Demolition.** Pursuant to Planning Code Section 317(d), if Conditional Use authorization is required for approval of the permit for Residential Demolition by other sections of this Code, the Commission shall consider the replacement structure as part of its decision. The Commission shall apply appropriate criteria adopted under this Section [317](#) in addition to the criteria in Section [303](#) of the Planning Code in its consideration of Conditional Use authorization.

- A. The Planning Commission shall adopt criteria and procedures for determining the soundness of a structure proposed for demolition, where "soundness" is an economic measure of the feasibility of upgrading a residence that is deficient with respect to habitability and [Housing Code](#) requirements, due to its original construction. The "soundness factor" for a structure shall be the ratio of a construction upgrade cost (i.e., an estimate of the cost to repair specific habitability deficiencies) to the replacement cost (i.e., an estimate of the current cost of building a structure the same size as the existing building proposed for demolition), expressed as a percent. A building is unsound if its soundness factor exceeds 50%. A Residential Building that is unsound may be approved for demolition.

The existing 1906 building was constructed using a foundation with footings that were set directly on top of loose sand fill. As the building continues to settle, the footings have cracked and will continue to become compromised until the foundation fails. Therefore, the structure is unsound and would require a new and properly reinforced foundation. According to the November 15, 2016 Soundness Report prepared by Buscovich & Buscovich and Chick Wong Construction, the construction upgrade cost to shore the building and replace the foundation with a new reinforced concrete grade beam system with reinforced concrete caissons that extend 15 feet deep to competent dense sands would cost \$202,392.00. Alternatively, the replacement cost for a 1,200 square foot dwelling would amount to \$337,560. The soundness factor is 60%, therefore the building has been determined to be unsound.

- B. The Planning Commission shall consider the following additional criteria in the review of applications for Residential Demolition:

- i. Whether the property is free of a history of serious, continuing Code violations;

The Property does not have any active violations as documented by DBI and the Planning Department, and therefore meets this criterion.

- ii. Whether the housing has been maintained in a decent, safe, and sanitary condition;

The Property does not meet this criterion because the previous property owner received notices from DBI in the past for violations of work without a permit in December 2011 and unsafe building in 2013 due to disrepair and unsafe conditions of the deck and stairs. These violations have been addressed by the current property owner, and the cases have been abated.

- iii. Whether the property is an “historical resource” under CEQA;

The Property meets this criterion because the existing building was reclassified to a Category C building on March 23, 2015, and is not eligible as a historical resource under CEQA.

- iv. If the property is a historical resource, whether the removal of the resource will have a substantial adverse impact under CEQA;

This criterion is not applicable because the existing building was reclassified to a Category C building on March 23, 2015, and is not eligible as a historical resource under CEQA.

- v. Whether the Project converts rental housing to other forms of tenure or occupancy;

This criterion is not applicable because the existing dwelling unit is unsound, vacant and is not considered rental housing.

- vi. Whether the Project removes rental units subject to the Rent Stabilization and Arbitration Ordinance;

This criterion is not applicable because the existing vacant single-family dwelling is not subject to certain provisions of the Rent Stabilization and Arbitration Ordinance.

- vii. Whether the Project conserves existing housing to preserve cultural and economic neighborhood diversity;

The Project does not meet this criterion because the existing dwelling will be demolished. However, the Project will result in an increase of one net new family-sized unit with four bedrooms that will preserve and positively contribute to the cultural and economic diversity within the neighborhood.

- viii. Whether the Project conserves neighborhood character to preserve neighborhood cultural and economic diversity;

The Project meets this criterion because it will conserve the neighborhood character by demolishing a hazardous and unsound building while constructing a replacement building that is

compatible with regard to materials, massing, scale, glazing patterns, and roofline with the buildings in the immediate neighborhood. By constructing a compatible building in a neighborhood that includes two-family and dense multi-family dwellings, the neighborhood's cultural and economic diversity will be preserved and enhanced.

- ix. Whether the Project protects the relative affordability of existing housing;

The Project does not meet this criterion and does not protect the relative affordability of existing housing because the single-family dwelling will be demolished in order to construct two new dwelling units that will have larger floor areas that will create new family housing.

- x. Whether the Project increases the number of permanently affordable units as governed by Section 415;

This criterion is not applicable because the Project includes the construction of a two-family dwelling, and is not subject to Planning Code Section 415 Affordable Housing requirements.

- xi. Whether the Project locates in-fill housing on appropriate sites in established neighborhoods;

The Project meets this criterion because it will replace a single-family dwelling with a two-family dwelling on a small 1,750 sq. ft. lot in a neighborhood characterized by two-family and multi-family dwellings.

- xii. Whether the Project increases the number of family-sized units on site;

The Project meets this criterion because it will result in a net increase of one large 5,129 sq. ft. family-sized unit with four bedrooms.

- xiii. Whether the Project creates new supportive housing;

The Project does not meet this criterion because it is not specifically designed to accommodate any particular Special Population Group as defined in the Housing Element of the General Plan.

- xiv. Whether the Project is of superb architectural and urban design, meeting all relevant design guidelines, to enhance existing neighborhood character;

The Project meets this criterion because it meets all the relevant Residential and Urban Design Guidelines. The height and depth of the proposed building is compatible with the immediate context, and respects the adjacent properties by providing lightwells and side setbacks at the rear that allow for light and air along the exposed east façade. The privacy of the east adjacent property has been addressed by using minimal amounts of glazing directed toward that property. The massing, form, proportions and roofline of the proposed building provide a desirable transition between adjacent shorter and taller buildings, and the overall scale of the structure is consistent with the block face and compatible with the high density residential neighborhood character. The building is designed in a modern and contemporary architectural style that is expressed using

high quality exterior materials including limestone veneer, wood siding, smooth trowel plaster stucco, metal trim, bronzed aluminum windows and wood doors.

- xv. Whether the Project increases the number of on-site dwelling units;

The Project meets this criterion because it will increase the number of on-site dwelling units from one to two, a net increase of one unit.

- xvi. Whether the Project increases the number of on-site bedrooms;

The Project meets this criterion because it will increase the number of on-site bedrooms from two to six, for a net increase of four bedrooms.

9. **General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

HOUSING ELEMENT

Objectives and Policies

OBJECTIVE 1:

IDENTIFY AND MAKE AVAILABLE FOR DEVELOPMENT ADEQUATE SITES TO MEET THE CITY'S HOUSING NEEDS, ESPECIALLY PERMANENTLY AFFORDABLE HOUSING.

Policy 1.1:

Plan for the full range of housing needs in the City and County of San Francisco, especially affordable housing.

The Project will provide one large additional dwelling unit that is in close proximity to several public transit lines, and new residents can easily rely on walking and bicycling for the majority of daily trips.

OBJECTIVE 4:

FOSTER A HOUSING STOCK THAT MEETS THE NEEDS OF ALL RESIDENCES ACROSS LIFECYCLES.

Policy 4.1:

Develop new housing, and encourage the remodeling of existing housing, for families with children.

The Project will allow the demolition of a small single-family dwelling and construction of an 8,998 sq. ft. two family dwelling that will have two bedrooms for the 1,809 sq. ft. downstairs unit and four bedrooms for the 5,129 sq. ft. upstairs unit.

OBJECTIVE 11:

SUPPORT AND RESPECT THE DIVERSE AND DISTINCT CHARACTER OF SAN FRANCISCO'S NEIGHBORHOODS.

Policy 11.1:

Promote the construction and rehabilitation of well-designed housing that emphasizes beauty, flexibility, and innovative design, and respects existing neighborhood character.

Policy 11.2:

Ensure implementation of accepted design standards in project approvals.

Policy 11.3:

Ensure growth is accommodated without substantially and adversely impacting existing residential neighborhood character.

Policy 11.4

Continue to utilize zoning districts which conform to a generalized residential land use and density plan and the General Plan.

The Project is well designed, is consistent with the Residential and Urban Design Guidelines, and will accommodate growth that conforms to the permissible density of the RH-DTR Zoning District while respecting the existing neighborhood character.

RINCON HILL AREA PLAN

Objectives and Policies

Land Use

OBJECTIVE 1.1

ENCOURAGE THE DEVELOPMENT OF A UNIQUE DYNAMIC, MIXED-USE RESIDENTIAL NEIGHBORHOOD CLOSE TO DOWNTOWN, WHICH WILL CONTRIBUTE SIGNIFICANTLY TO THE CITY'S HOUSING SUPPLY.

OBJECTIVE 1.2

MAXIMIZE HOUSING IN RINCON HILL TO CAPITALIZE ON RINCON HILL'S CENTRAL LOCATION ADJACENT TO DOWNTOWN EMPLOYMENT AND TRANSIT SERVICE, WHILE STILL RETAINING THE DISTRICT'S LIVABILITY.

OBJECTIVE 1.5

ADD LIFE AND ACTIVITY TO THE DISTRICT'S PUBLIC SPACES BY PROVIDING ACTIVE USES ON STREET-FACING GROUND FLOORS.

Policy 1.1

Allow housing as a principal permitted use throughout the district.

Policy 1.3

Eliminate the residential density limit to encourage the maximum amount of housing possible within the allowable building envelope.

Policy 1.4

Require parking to be located primarily underground so that the allowable above-ground building envelope can be used for housing.

Housing

OBJECTIVE 2.1

PROVIDE QUALITY HOUSING IN A PLEASANT ENVIRONMENT THAT HAS ADEQUATE ACCESS TO LIGHT, AIR, OPEN SPACE AND NEIGHBORHOOD AMENITIES, AND THAT IS BUFFERED FROM EXCESSIVE NOISE.

OBJECTIVE 2.3

ENCOURAGE NEW HOUSING PRODUCTION OF AN ADEQUATE SIZE AND CONFIGURATION TO SERVE FAMILIES.

Policy 2.4

Require 40 percent of all units in new development to be two or more bedroom units.

Urban Design

OBJECTIVE 3.1

ACHIEVE AN AESTHETICALLY PLEASING RESIDENTIAL COMMUNITY.

OBJECTIVE 3.8

ENCOURAGE A HUMAN SCALE STREETScape WITH ACTIVITIES AND DESIGN FEATURES AT PEDESTRIAN EYE LEVEL, AND AN ENGAGING PHYSICAL TRANSITION BETWEEN PRIVATE DEVELOPMENT AND THE PUBLIC REALM.

The Project provides new residential development that is consistent with the updated Objectives and Policies of the Rincon Area Plan. The height and depth of the proposed building is compatible with the immediate context. The massing, form, proportions and roofline of the proposed building provide a desirable transition between adjacent shorter and taller buildings, and the overall scale of the structure is consistent with the block face that is human scaled. The building is designed in a modern and contemporary architectural style that includes a ground floor setback at the front of the building with planters and landscaping to provide an engaging physical transition between private development and the public realm. The Project will also pay impact fees that will be used to improve the public environment in the Rincon Hill Plan Area.

10. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project does comply with said policies in that:

- A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

The Project would not adversely impact neighborhood-serving retail uses because it includes the construction of dwelling units within an established residential neighborhood that will allow for new customers of neighborhood-serving retail uses.

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

While the Project does not preserve an existing house that is unsound, it does preserve existing housing by adding an additional unit on the lot and within the block. The Project adds to the economic diversity of the neighborhood by providing two units that are varied in size and value, which is in accord with the purposes and requirements of the Rincon Hill Area Plan.

- C. That the City's supply of affordable housing be preserved and enhanced,

The Project does not affect the stock of affordable housing. Neither the existing unit nor the new ones are affordable, and by adding a unit to the housing stock, the Project helps fulfill the directive to create more housing.

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

The Project meets the restrictions of the Planning Code and maintains the current presence of a single curb cut and single off-street parking space. Therefore, the existing traffic patterns and effects on MUNI are not affected.

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

The Project will not displace any service or industry establishment, and will not affect industrial or service sector uses or related employment opportunities. Ownership of industrial or service sector businesses will not be affected by the Project.

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The Project is designed and will be constructed to conform to the structural and seismic safety requirements of the City Building Code, and will not impact the property's ability to withstand an earthquake.

- G. That landmarks and historic buildings be preserved.

A landmark or historic building does not occupy the project site.

H. That our parks and open space and their access to sunlight and vistas be protected from development.

The Project has been carefully designed to prevent any loss of sunlight to existing parks and open spaces, and has no effect on public vistas.

11. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
12. The Commission hereby finds that approval of the Conditional Use authorization would promote the health, safety and welfare of the City.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Application No. 2015-000943CUA** subject to the following conditions attached hereto as "EXHIBIT A" in general conformance with plans on file, dated March 3, 2016, and stamped "EXHIBIT B", which is incorporated herein by reference as though fully set forth.

APPEAL AND EFFECTIVE DATE OF MOTION: Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion No. XXXXX. The effective date of this Motion shall be the date of this Motion if not appealed (after the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

Protest of Fee or Exaction: You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development.

If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission's adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator's Variance Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives **NOTICE** that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period.

I hereby certify that the Planning Commission **ADOPTED** the foregoing Motion on April 7, 2016.

Jonas P. Ionin
Commission Secretary

AYES:

NAYES:

ABSENT:

ADOPTED: April 7, 2016

EXHIBIT A

AUTHORIZATION

This authorization is for a Conditional Use to demolish an existing single-family dwelling and construct a six-story, 8,998 square foot 65-foot tall two-family dwelling on the approximately 1,750 square feet lot located at 15 Guy Place, Block 3749 in Assessor's Lot 012 pursuant to Planning Code Sections 303, 317 and 827.52 within the RH-DTR District and a 65-X Height and Bulk District; in general conformance with plans, dated March 3, 2015, and stamped "EXHIBIT B" included in the docket for Case No. 2015-000943CUA and subject to conditions of approval reviewed and approved by the Commission on April 7, 2016 under Motion No. XXXXX. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

RECORDATION OF CONDITIONS OF APPROVAL

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on April 7, 2016 under Motion No. XXXXX.

PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. XXXXX shall be reproduced on the Index Sheet of construction plans submitted with the Site or Building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

SEVERABILITY

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use authorization.

Conditions of Approval, Compliance, Monitoring, and Reporting

PERFORMANCE

1. **Validity.** The authorization and right vested by virtue of this action is valid for three (3) years from the effective date of the Motion. The Department of Building Inspection shall have issued a Building Permit or Site Permit to construct the project and/or commence the approved use within this three-year period.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

2. **Expiration and Renewal.** Should a Building or Site Permit be sought after the three (3) year period has lapsed, the project sponsor must seek a renewal of this Authorization by filing an application for an amendment to the original Authorization or a new application for Authorization. Should the project sponsor decline to so file, and decline to withdraw the permit application, the Commission shall conduct a public hearing in order to consider the revocation of the Authorization. Should the Commission not revoke the Authorization following the closure of the public hearing, the Commission shall determine the extension of time for the continued validity of the Authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

3. **Diligent Pursuit.** Once a site or Building Permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. Failure to do so shall be grounds for the Commission to consider revoking the approval if more than three (3) years have passed since this Authorization was approved.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

4. **Extension.** This authorization may be extended at the discretion of the Zoning Administrator only where failure to issue a permit by the Department of Building Inspection to perform said tenant improvements is caused by a delay by a local, State or Federal agency or by any appeal of the issuance of such permit(s).

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

5. **Conformity with Current Law.** No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

PARKING AND TRAFFIC

6. **Bicycle Parking.** The project shall provide no fewer than two Class 1 bicycle parking spaces as required by Planning Code Sections 155.1 and 155.5.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.
7. **Parking Maximum.** Pursuant to Planning Code Sections 151.1 and 204.5(c), the Project shall provide no more than one off-street parking spaces.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org
8. **Managing Traffic During Construction.** The Project Sponsor and construction contractor(s) shall coordinate with the Traffic Engineering and Transit Divisions of the San Francisco Municipal Transportation Agency (SFMTA), the Police Department, the Fire Department, the Planning Department, and other construction contractor(s) for any concurrent nearby Projects to manage traffic congestion and pedestrian circulation impacts during construction of the Project.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

PROVISIONS

9. **Child Care Requirement for Residential Projects.** Planning Code Section 414A requires payment of a child care impact fee for a project that results in one net new dwelling unit.
For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org
10. **Rincon Hill Community Improvements Fee and SOMA Community Stabilization Fee.** Pursuant to Planning Code Section 418.3(b)(1), the Project shall pay the Rincon Hill Community Infrastructure Impact Fee, execution of a Waiver Agreement with the Planning Department, or execution of an In-Kind Agreement with the Planning Department prior to issuance of the first construction document. In addition, Planning Code Section 418.3(d) requires the SOMA Community Stabilization Fee shall be \$10.95 per net addition of gross square feet of residential use in any development project with a residential use within the Program Area.
For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

MONITORING

11. **Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

12. **Revocation due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

OPERATION

13. **Garbage, Recycling, and Composting Receptacles.** Garbage, recycling, and compost containers shall be kept within the premises and hidden from public view, and placed outside only when being serviced by the disposal company. Trash shall be contained and disposed of pursuant to garbage and recycling receptacles guidelines set forth by the Department of Public Works.

For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works at 415-554-5810, <http://sfdpw.org>

14. **Sidewalk Maintenance.** The Project Sponsor shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Streets and Sidewalk Maintenance Standards. *For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works, 415-695-2017, <http://sfdpw.org>*

15. **Community Liaison.** Prior to issuance of a building permit to construct the project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator with written notice of the name, business address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator shall be made aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.

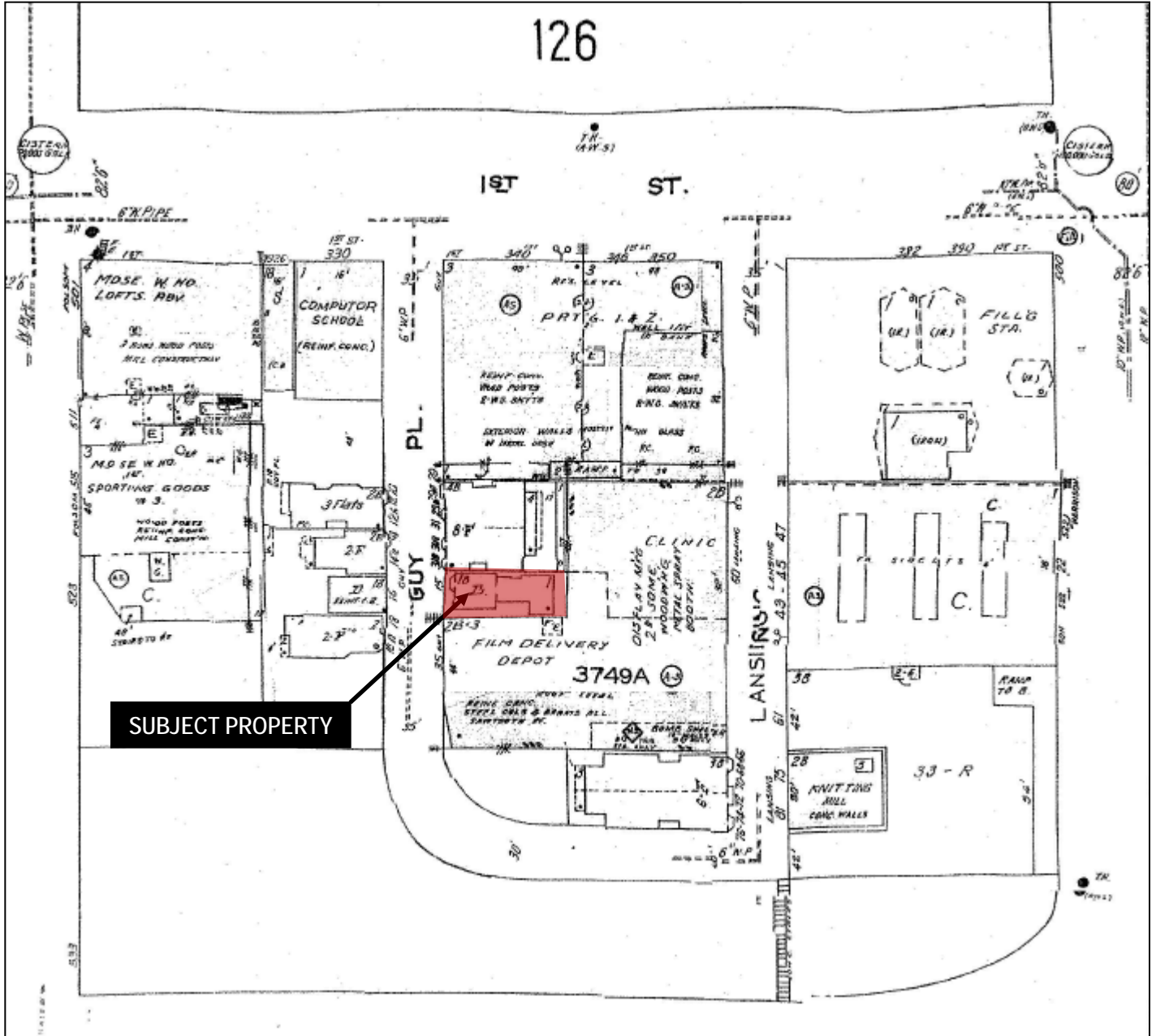
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

Block Book Map



Conditional Use Authorization
Case No. 2015-000943CUA
15 Guy Place

Sanborn Map*

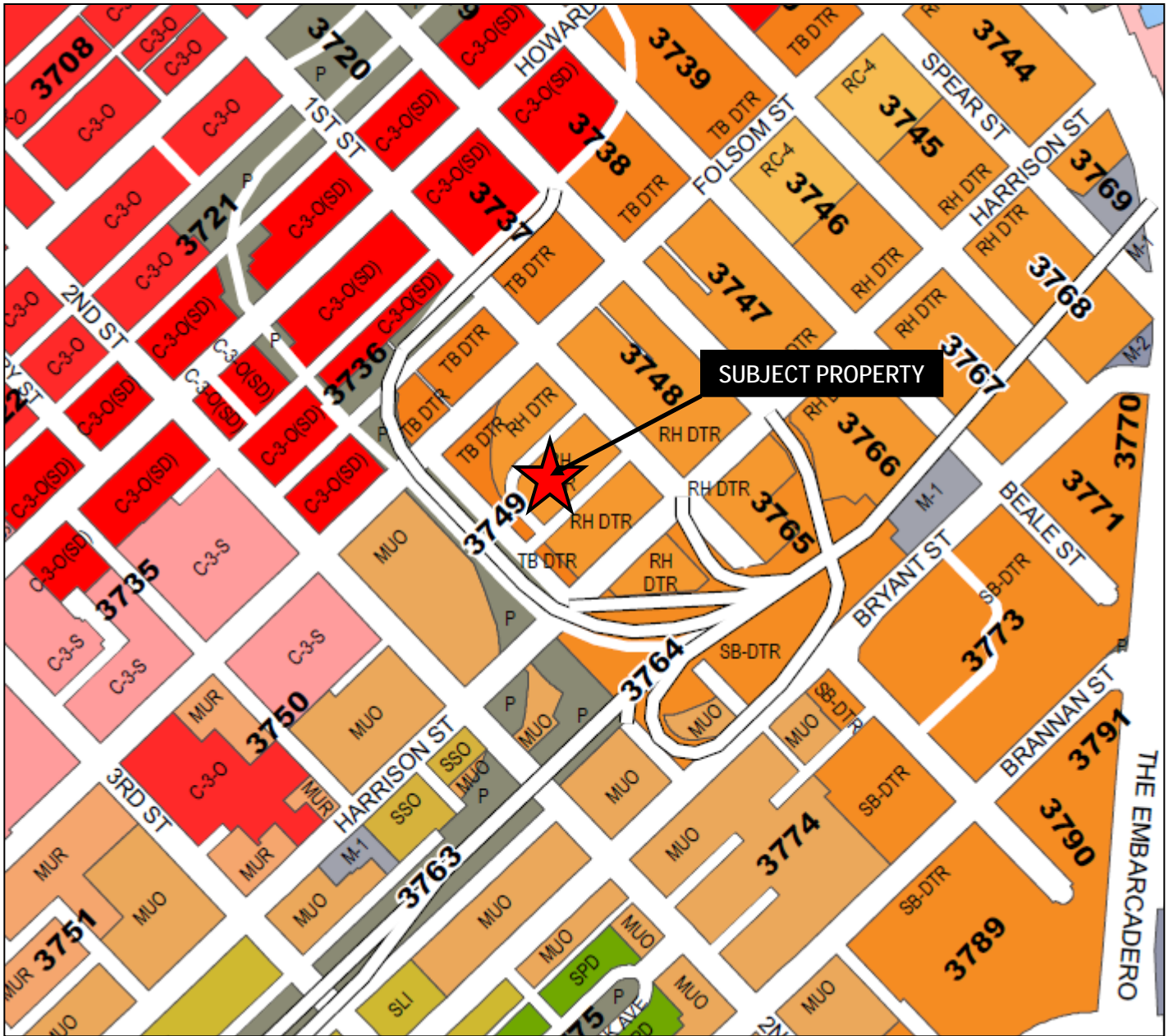


*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Conditional Use Authorization
Case No. 2015-000943CUA
15 Guy Place

Zoning Map



Conditional Use Authorization
Case No. 2015-000943CUA
15 Guy Place

Aerial Photo

facing east



Conditional Use Authorization
Case No. 2015-000943CUA
15 Guy Place

Aerial Photo

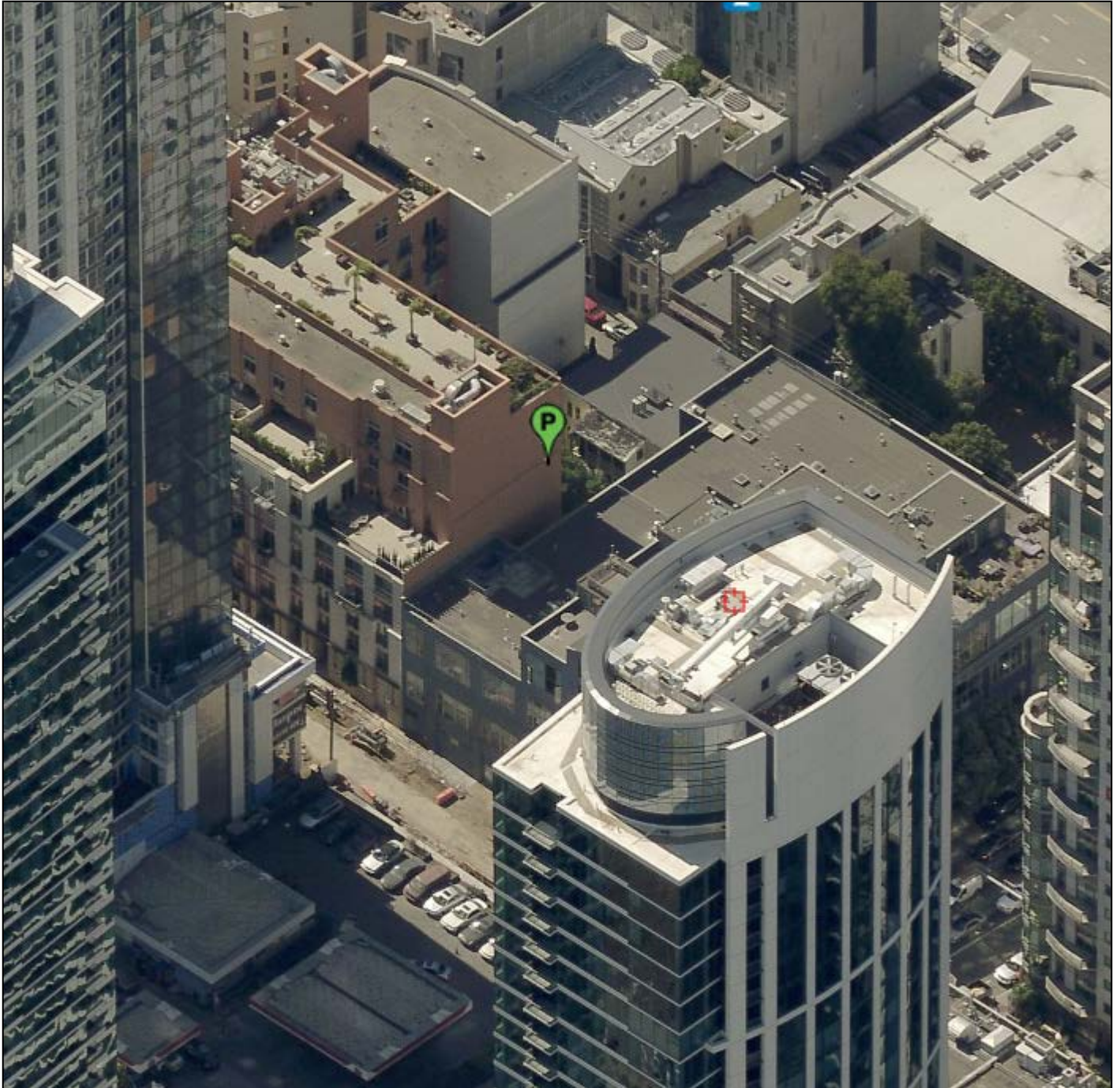
facing north



Conditional Use Authorization
Case No. 2015-000943CUA
15 Guy Place

Aerial Photo

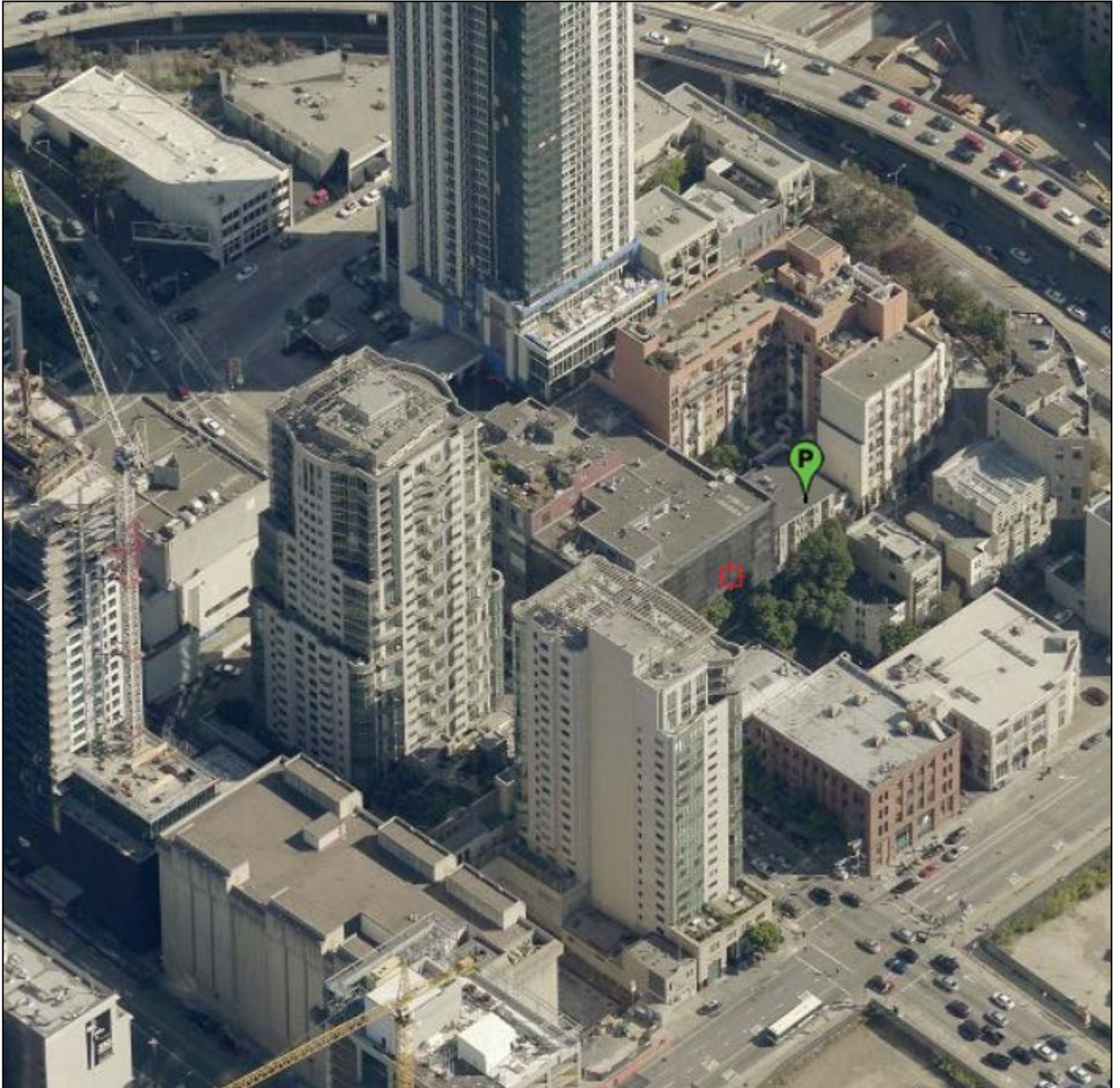
facing west



Conditional Use Authorization
Case No. 2015-000943CUA
15 Guy Place

Aerial Photo

facing south



Conditional Use Authorization
Case No. 2015-000943CUA
15 Guy Place

Site Photo

Guy Place frontage



Conditional Use Authorization
Case No. 2015-000943CUA
15 Guy Place



SAN FRANCISCO PLANNING DEPARTMENT

CEQA Categorical Exemption Determination

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address		Block/Lot(s)	
15 Guy Pl		3749/012	
Case No.	Permit No.	Plans Dated	
2015-00943ENV		1/15/15	
<input type="checkbox"/> Addition/ Alteration	<input checked="" type="checkbox"/> Demolition (requires HRER if over 45 years old)	<input checked="" type="checkbox"/> New Construction	<input type="checkbox"/> Project Modification (GO TO STEP 7)
Project description for Planning Department approval. Demolish an existing single-family dwelling and construct a new two-family dwelling.			

STEP 1: EXEMPTION CLASS

TO BE COMPLETED BY PROJECT PLANNER

Note: If neither class applies, an <i>Environmental Evaluation Application</i> is required.	
<input checked="" type="checkbox"/>	Class 1 – Existing Facilities. Interior and exterior alterations; additions under 10,000 sq. ft.
<input checked="" type="checkbox"/>	Class 3 – New Construction/ Conversion of Small Structures. Up to three (3) new single-family residences or six (6) dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input type="checkbox"/>	Class__

STEP 2: CEQA IMPACTS

TO BE COMPLETED BY PROJECT PLANNER

If any box is checked below, an <i>Environmental Evaluation Application</i> is required.	
<input type="checkbox"/>	Transportation: Does the project create six (6) or more net new parking spaces or residential units? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?
<input checked="" type="checkbox"/>	Air Quality: Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities) within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g., backup diesel generators, heavy industry, diesel trucks, etc.)? (refer to EP_ArcMap > CEQA Catex Determination Layers > Air Pollution Exposure Zone)
<input type="checkbox"/>	Hazardous Materials: If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential? If yes, this box must be checked and the project applicant must submit an Environmental Application with a Phase I Environmental Site Assessment. <i>Exceptions: do not check box if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Maher program, a DPH waiver from the</i>

	<i>Maher program, or other documentation from Environmental Planning staff that hazardous material effects would be less than significant (refer to EP_ArcMap > Maher layer).</i>
<input type="checkbox"/>	Soil Disturbance/Modification: Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non-archeological sensitive area? (refer to EP_ArcMap > CEQA Catex Determination Layers > Archeological Sensitive Area)
<input type="checkbox"/>	Noise: Does the project include new noise-sensitive receptors (schools, day care facilities, hospitals, residential dwellings, and senior-care facilities) fronting roadways located in the noise mitigation area? (refer to EP_ArcMap > CEQA Catex Determination Layers > Noise Mitigation Area)
<input type="checkbox"/>	Subdivision/Lot Line Adjustment: Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography)
<input type="checkbox"/>	Slope = or > 20%: Does the project involve excavation of 50 cubic yards of soil or more, square footage expansion greater than 1,000 sq. ft., shoring, underpinning, retaining wall work, or grading on a lot with a slope average of 20% or more? <i>Exceptions: do not check box for work performed on a previously developed portion of site, stairs, patio, deck, or fence work.</i> (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography) If box is checked, a geotechnical report is required and a Certificate or higher level CEQA document required
<input type="checkbox"/>	Seismic: Landslide Zone: Does the project involve excavation of 50 cubic yards of soil or more, square footage expansion greater than 1,000 sq. ft., shoring, underpinning, retaining wall work, grading –including excavation and fill on a landslide zone – as identified in the San Francisco General Plan? <i>Exceptions: do not check box for work performed on a previously developed portion of the site, stairs, patio, deck, or fence work.</i> (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report is required and a Certificate or higher level CEQA document required
<input type="checkbox"/>	Seismic: Liquefaction Zone: Does the project involve excavation of 50 cubic yards of soil or more, square footage expansion greater than 1000 sq ft, shoring, underpinning, retaining wall work, or grading on a lot in a liquefaction zone? <i>Exceptions: do not check box for work performed on a previously developed portion of the site, stairs, patio, deck, or fence work.</i> (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report will likely be required
<input type="checkbox"/>	Serpentine Rock: Does the project involve any excavation on a property containing serpentine rock? <i>Exceptions: do not check box for stairs, patio, deck, retaining walls, or fence work.</i> (refer to EP_ArcMap > CEQA Catex Determination Layers > Serpentine)
*If no boxes are checked above, GO TO STEP 3. If one or more boxes are checked above, an <u>Environmental Evaluation Application</u> is required, unless reviewed by an Environmental Planner.	
<input checked="" type="checkbox"/>	Project can proceed with categorical exemption review. The project does not trigger any of the CEQA impacts listed above.
Comments and Planner Signature (optional): Jean Poling	
No shadow impacts, per 1/28/15 shadow analysis. Sponsor enrolled in DPH Article 38 program.	

STEP 3: PROPERTY STATUS – HISTORIC RESOURCE TO BE COMPLETED BY PROJECT PLANNER

PROPERTY IS ONE OF THE FOLLOWING: (refer to Parcel Information Map)	
<input type="checkbox"/>	Category A: Known Historical Resource. GO TO STEP 5.
<input checked="" type="checkbox"/>	Category B: Potential Historical Resource (over 45 years of age). GO TO STEP 4.
<input type="checkbox"/>	Category C: Not a Historical Resource or Not Age Eligible (under 45 years of age). GO TO STEP 6.

**STEP 4: PROPOSED WORK CHECKLIST
TO BE COMPLETED BY PROJECT PLANNER**

Check all that apply to the project.	
<input type="checkbox"/>	1. Change of use and new construction. Tenant improvements not included.
<input type="checkbox"/>	2. Regular maintenance or repair to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	3. Window replacement that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. Garage work. A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	5. Deck, terrace construction, or fences not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. Mechanical equipment installation that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. Dormer installation that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	8. Addition(s) that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
Note: Project Planner must check box below before proceeding.	
<input checked="" type="checkbox"/>	Project is not listed. GO TO STEP 5.
<input type="checkbox"/>	Project does not conform to the scopes of work. GO TO STEP 5.
<input type="checkbox"/>	Project involves four or more work descriptions. GO TO STEP 5.
<input type="checkbox"/>	Project involves less than four work descriptions. GO TO STEP 6.

**STEP 5: CEQA IMPACTS – ADVANCED HISTORICAL REVIEW
TO BE COMPLETED BY PRESERVATION PLANNER**

Check all that apply to the project.	
<input type="checkbox"/>	1. Project involves a known historical resource (CEQA Category A) as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	2. Interior alterations to publicly accessible spaces.
<input type="checkbox"/>	3. Window replacement of original/historic windows that are not "in-kind" but are consistent with existing historic character.
<input type="checkbox"/>	4. Façade/storefront alterations that do not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	5. Raising the building in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	6. Restoration based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.
<input type="checkbox"/>	7. Addition(s) , including mechanical equipment that are minimally visible from a public right-of-way and meet the <i>Secretary of the Interior's Standards for Rehabilitation</i> .

<input type="checkbox"/>	8. Other work consistent with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (specify or add comments):
<input type="checkbox"/>	9. Other work that would not materially impair a historic district (specify or add comments): (Requires approval by Senior Preservation Planner/Preservation Coordinator) _____
<input checked="" type="checkbox"/>	10. Reclassification of property status to Category C. (Requires approval by Senior Preservation Planner/Preservation Coordinator) a. Per HRER dated: _____ (attach HRER) b. Other (specify): per PTR Form dated 3/20/2015
Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST check one box below.	
<input type="checkbox"/>	Further environmental review required. Based on the information provided, the project requires an <i>Environmental Evaluation Application</i> to be submitted. GO TO STEP 6.
<input checked="" type="checkbox"/>	Project can proceed with categorical exemption review. The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. GO TO STEP 6.
Comments (optional):	
Preservation Planner Signature: Gretchen Hilyard <small>Digitally signed by Gretchen Hilyard DN: cn=Gretchen Hilyard, o=City of San Francisco, ou=City Planning, email=gretchen.hilyard@sfgov.org, date=2016.03.07 11:25:30 -0800</small>	

STEP 6: CATEGORICAL EXEMPTION DETERMINATION
TO BE COMPLETED BY PROJECT PLANNER

<input type="checkbox"/>	Further environmental review required. Proposed project does not meet scopes of work in either (check all that apply): <input type="checkbox"/> Step 2 – CEQA Impacts <input type="checkbox"/> Step 5 – Advanced Historical Review STOP! Must file an <i>Environmental Evaluation Application</i>.	
<input checked="" type="checkbox"/>	No further environmental review is required. The project is categorically exempt under CEQA.	
	Planner Name: Project Approval Action: Planning Commission Hearing *If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.	Signature: <div style="font-size: 2em; font-weight: bold;">Jean Poling</div> <small>Digitally signed by Jean Poling DN: dc=org, dc=sfgov, dc=cityplanning, ou=CityPlanning, ou=Environmental Planning, cn=Jean Poling, email=jeanie.poling@sfgov.org, date=2016.03.07 11:25:30 -0800</small>
Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code. In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the first approval action.		

**STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT
TO BE COMPLETED BY PROJECT PLANNER**

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be subject to additional environmental review pursuant to CEQA.

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address (If different than front page)		Block/Lot(s) (If different than front page)
Case No.	Previous Building Permit No.	New Building Permit No.
Plans Dated	Previous Approval Action	New Approval Action
Modified Project Description:		

DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project:	
<input type="checkbox"/>	Result in expansion of the building envelope, as defined in the Planning Code;
<input type="checkbox"/>	Result in the change of use that would require public notice under Planning Code Sections 311 or 312;
<input type="checkbox"/>	Result in demolition as defined under Planning Code Section 317 or 19005(f)?
<input type="checkbox"/>	Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption?

If at least one of the above boxes is checked, further environmental review is required **CATEX FORM**

DETERMINATION OF NO SUBSTANTIAL MODIFICATION

<input type="checkbox"/>	The proposed modification would not result in any of the above changes.
If this box is checked, the proposed modifications are categorically exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice.	
Planner Name:	Signature or Stamp:



SAN FRANCISCO PLANNING DEPARTMENT

PRESERVATION TEAM REVIEW FORM

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Preservation Team Meeting Date:		Date of Form Completion	3/18/2015
--	--	--------------------------------	-----------

PROJECT INFORMATION:		
Planner:	Address:	
Gretchen Hilyard	15 Guy Place	
Block/Lot:	Cross Streets:	
3749/012	1st Street	
CEQA Category:	Art. 10/11:	BPA/Case No.:
B	n/a	2015-000943ENV

PURPOSE OF REVIEW:		PROJECT DESCRIPTION:		
<input checked="" type="radio"/> CEQA	<input type="radio"/> Article 10/11	<input type="radio"/> Preliminary/PIC	<input type="radio"/> Alteration	<input checked="" type="radio"/> Demo/New Construction

DATE OF PLANS UNDER REVIEW:	01/15/2015
------------------------------------	------------

PROJECT ISSUES:	
<input checked="" type="checkbox"/>	Is the subject Property an eligible historic resource?
<input type="checkbox"/>	If so, are the proposed changes a significant impact?
Additional Notes:	
Submitted: Historic Resource Evaluation prepared by Tim Kelley Consulting (July 2014).	
Proposed project: Demolish an existing single-family dwelling and construct a new two-family dwelling.	

PRESERVATION TEAM REVIEW:			
Historic Resource Present		<input type="radio"/> Yes	<input checked="" type="radio"/> No *
		<input type="radio"/> N/A	
Individual		Historic District/Context	
Property is individually eligible for inclusion in a California Register under one or more of the following Criteria:		Property is in an eligible California Register Historic District/Context under one or more of the following Criteria:	
Criterion 1 - Event:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 1 - Event:	<input type="radio"/> Yes <input checked="" type="radio"/> No
Criterion 2 -Persons:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 2 -Persons:	<input type="radio"/> Yes <input checked="" type="radio"/> No
Criterion 3 - Architecture:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 3 - Architecture:	<input type="radio"/> Yes <input checked="" type="radio"/> No
Criterion 4 - Info. Potential:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 4 - Info. Potential:	<input type="radio"/> Yes <input checked="" type="radio"/> No
Period of Significance:	<input type="text"/>	Period of Significance:	<input type="text"/>
		<input type="radio"/> Contributor <input type="radio"/> Non-Contributor	

Complies with the Secretary's Standards/Art 10/Art 11:	<input type="radio"/> Yes	<input type="radio"/> No	<input checked="" type="radio"/> N/A
CEQA Material Impairment:	<input type="radio"/> Yes	<input checked="" type="radio"/> No	
Needs More Information:	<input type="radio"/> Yes	<input checked="" type="radio"/> No	
Requires Design Revisions:	<input type="radio"/> Yes	<input checked="" type="radio"/> No	
Defer to Residential Design Team:	<input checked="" type="radio"/> Yes	<input type="radio"/> No	

* If No is selected for Historic Resource per CEQA, a signature from Senior Preservation Planner or Preservation Coordinator is required.

PRESERVATION TEAM COMMENTS:

According to the Historic Resource Evaluation prepared by Tim Kelley Consulting (dated July 2014) and information found in the Planning Department files, the subject property at 15 Guy Place contains a 1-story-over garage; wood frame, single-family residence constructed in ca. 1906 in the Italianate architectural style. The property was subsequently stripped of its period detailing and altered to its current appearance. The original architect and builder are unknown. Known alterations to the primary façade of the property include: two rooms added to the rear (1926), application of asbestos shingles on the exterior façade (1966), re-roofing (2001), and shoring and underpinning (2004).

No known historic events occurred at the property (Criterion 1). None of the owners or occupants have been identified as important to history (Criterion 2). The subject building is a stripped example of an Italianate residence and is retains few features of its early 20th century design. The building is not architecturally distinct such that it would qualify individually for listing in the California Register under Criterion 3.

The subject property is not located within the boundaries of any identified historic districts. The subject property is located within the Rincon Hill neighborhood on a block that exhibits a great variety of architectural styles, construction dates, and subsequent alterations that compromise historic integrity. The area surrounding the subject property does not contain a significant concentration of historically or aesthetically unified buildings.

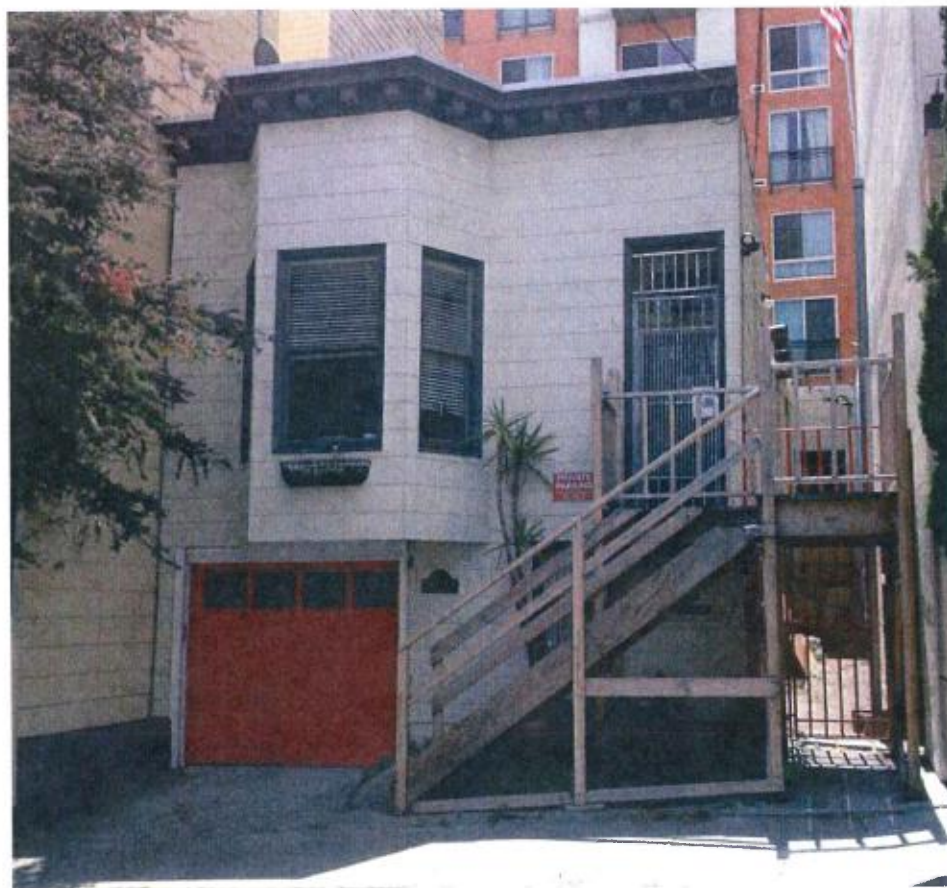
Therefore, the subject property is not eligible for listing in the California Register under any criteria individually or as part of a historic district.

Signature of a Senior Preservation Planner / Preservation Coordinator:	Date:
<i>Uma</i>	3-20-2015

HISTORICAL RESOURCE EVALUATION

15 GUY PLACE

SAN FRANCISCO, CALIFORNIA



TIM KELLEY CONSULTING, LLC

HISTORICAL RESOURCES

2912 DIAMOND STREET #330

SAN FRANCISCO, CA 94131

415.337-5824

TIM@TIMKELLEYCONSULTING.COM



SAN FRANCISCO PLANNING DEPARTMENT

March 3, 2016

Craig Nikitas
2555 32nd Avenue
San Francisco, California 94116

CASE NO. **2015-000943SHD**
ADDRESS: **15 Guy Place**
BLOCK/ LOT: **3749/012**

Dear Craig:

The Planning Department has reviewed a supplemental shadow analysis (prepared by 'Zone Consulting', dated January 28, 2015) that you submitted for the above-referenced project for compliance with Section 295 of the Planning Code, which restricts structures over 40 feet in height from casting new shadow on properties under the jurisdiction of the Recreation and Park Commission. A previous shadow fan prepared by the Planning Department indicated that new shadow could potentially be cast by the proposed project on **Guy Place Mini Park**, a property within the jurisdiction of the Recreation and Park Commission. It should be noted that the shadow fan did not account for the precise articulation of the envelope of the proposed project, nor did it account for the shading from existing buildings.

After reviewing and analyzing the aforementioned supplemental analysis, the Planning Department concurs with the analysis in that no net new shadow will be cast upon **Guy Place Mini Park** because the shadow cast by the project would be masked by shadow from existing buildings during the hours regulated by Section 295.

Therefore, the project has been determined to be in compliance with Planning Code Section 295, and will not require any additional shadow analysis as the project is currently proposed. However, please be aware that if changes are made to the project that would add additional massing or height to the project, additional shadow analysis may be necessary.

If you have any questions, please contact me at (415) 558-6363 or erika.jackson@sfgov.org.

Sincerely,

Erika Jackson
Current Planning

CC (via email):
Doug Vu, Planning Department
Jeanie Poling, Environmental Planning
Stacy Bradley, Recreation and Park Department

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

APPLICATION FOR Conditional Use Authorization

1. Owner/Applicant Information

PROPERTY OWNER'S NAME: Drake Bay Partners LLC	
PROPERTY OWNER'S ADDRESS: 601 Van Ness Ave. no. E3606 San Francisco, CA 94102	TELEPHONE: (415) 355-0900
	EMAIL:

APPLICANT'S NAME: Craig Nikitas, dba ZONE Consulting Same as Above <input type="checkbox"/>	
APPLICANT'S ADDRESS: 2555 32nd Av San Francisco, CA 94116	TELEPHONE: (415) 810-5116
	EMAIL: ZONEconsultingSF@gmail.com

CONTACT FOR PROJECT INFORMATION: Same as Above <input checked="" type="checkbox"/>	
ADDRESS:	TELEPHONE: ()
	EMAIL:

COMMUNITY LIAISON FOR PROJECT (PLEASE REPORT CHANGES TO THE ZONING ADMINISTRATOR): Same as Above <input checked="" type="checkbox"/>	
ADDRESS:	TELEPHONE: ()
	EMAIL:

2. Location and Classification

STREET ADDRESS OF PROJECT: 15 Guy Place	ZIP CODE: 94105
CROSS STREETS: 1st & Lansing Streets	

ASSESSORS BLOCK/LOT:	LOT DIMENSIONS:	LOT AREA (SQ FT):	ZONING DISTRICT:	HEIGHT/BULK DISTRICT:
3749 / 012	25' x70'	1,750 sq ft	DTR-Rincon	65-X

3. Project Description

(Please check all that apply) <input checked="" type="checkbox"/> Change of Use <input type="checkbox"/> Change of Hours <input checked="" type="checkbox"/> New Construction <input type="checkbox"/> Alterations <input checked="" type="checkbox"/> Demolition <input type="checkbox"/> Other Please clarify:	ADDITIONS TO BUILDING: <input type="checkbox"/> Rear <input type="checkbox"/> Front <input type="checkbox"/> Height <input type="checkbox"/> Side Yard	PRESENT OR PREVIOUS USE: Single-Family Home	
		PROPOSED USE: Two-Family Home	
		BUILDING APPLICATION PERMIT NO.:	DATE FILED:

4. Project Summary Table

If you are not sure of the eventual size of the project, provide the maximum estimates.

	EXISTING USES:	EXISTING USES TO BE RETAINED:	NET NEW CONSTRUCTION AND/OR ADDITION:	PROJECT TOTALS:
PROJECT FEATURES				
Dwelling Units	1	1	1	2
Hotel Rooms	0	0	0	0
Parking Spaces	1	0	1	1
Loading Spaces	0	0	0	0
Number of Buildings	1	0	1	1
Height of Building(s)	23' +/-	0	65'	65'
Number of Stories	2	0	6	6
Bicycle Spaces	0	0	2	2
GROSS SQUARE FOOTAGE (GSF)				
Residential	1,900	0	9,000	9,000
Retail	0	0	0	0
Office	0	0	0	0
Industrial/PDR <i>Production, Distribution, & Repair</i>	0	0	0	0
Parking	all accessory parking areas included in residential sq. footages			
Other (Specify Use)	0	0	0	0
TOTAL GSF	1,900	0	9,000	9,000

Please describe any additional project features that are not included in this table:
 (Attach a separate sheet if more space is needed)

Project is to demolish existing unsound 1-unit dwelling and construct a new two-unit residential building with code-complying auto and bicycle parking. New building will have a Planning Code height of 65 feet in 5 stories of frame construction over ground-story concrete podium. Upper stories of nominal north-east corner of building are sculpted to avoid new shadow on Guy Place Mini-Park. Project requires Conditional Use authorization from the Planning Commission for approval to demolish the existing unsound residence in this DTR-Rincon Hill Zoning District.

5. Action(s) Requested (Include Planning Code Section which authorizes action)

Project requires Conditional Use authorization in accord with Planning Code Section 303 to demolish a residence pursuant to Section 317(d).

A shadow analysis application has also been filed in accord with Section 295, accompanied by analysis and a memo demonstrating no new shadow is cast by the project on any protected property.

Conditional Use Findings

Pursuant to Planning Code Section 303(c), before approving a conditional use authorization, the Planning Commission needs to find that the facts presented are such to establish the findings stated below. In the space below and on separate paper, if necessary, please present facts sufficient to establish each finding.

1. That the proposed use or feature, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable for, and compatible with, the neighborhood or the community; and
2. That such use or feature as proposed will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity, or injurious to property, improvements or potential development in the vicinity, with respect to aspects including but not limited to the following:
 - (a) The nature of the proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;
 - (b) The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;
 - (c) The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;
 - (d) Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs; and
3. That such use or feature as proposed will comply with the applicable provisions of this Code and will not adversely affect the Master Plan.

PLEASE SEE SUPPLEMENTAL PAGES

Priority General Plan Policies Findings

Proposition M was adopted by the voters on November 4, 1986. It requires that the City shall find that proposed projects and demolitions are consistent with eight priority policies set forth in Section 101.1 of the City Planning Code. These eight policies are listed below. Please state how the project is consistent or inconsistent with each policy. Each statement should refer to specific circumstances or conditions applicable to the property. Each policy must have a response. IF A GIVEN POLICY DOES NOT APPLY TO YOUR PROJECT, EXPLAIN WHY IT DOES NOT.

1. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses enhanced;

The project has no direct effects on neighborhood-serving retail uses, employment, and ownership. It replaces a single-family home with a two-family residential building.

2. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods;

While the project does not preserve an existing house (which is unsound), it does preserve existing housing by adding an additional unit to the residential uses present on the lot and within the block. It adds to the economic diversity of the neighborhood by providing two units varied in size and value, and is in accord with the purposes and requirements of the Rincon Hill Plan.

3. That the City's supply of affordable housing be preserved and enhanced;

The project does not affect the stock of affordable housing. Neither the existing unit nor the new ones are affordable, and by adding a unit to local housing stock, the project helps fulfill the directive to create more housing.

4. That commuter traffic not impede Muni transit service or overburden our streets or neighborhood parking;

The project meets the parking restrictions of the Code and Rincon Plan, and maintains the current presence of a single curb cut and a single off-street parking space. Therefore existing traffic patterns and effects on Muni are not affected.

5. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced;

The project has no effect on industrial and service sectors of the City's economy, and no direct effects on resident employment and ownership in those sectors. The use of the property is currently residential and will remain so.

6. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake;

The new structure will be built to current seismic and other building code requirements to provide appropriate safety levels.

7. That landmarks and historic buildings be preserved; and

The existing building is not a landmark or an historic building, and the project has no effect on any other properties that are landmarks or otherwise historic.

8. That our parks and open space and their access to sunlight and vistas be protected from development.

The project has been carefully designed to prevent any loss of sunlight to parks and open space, and has no effect on public vistas.

Estimated Construction Costs

TYPE OF APPLICATION:	
Demolition (Form 6) and New Construction (Form 1/2) Permit Applications	
OCCUPANCY CLASSIFICATION:	
R-3 and U	
BUILDING TYPE:	
5 stories Type III-B Sprinklered over 1-story Type II-A concrete podium	
TOTAL GROSS SQUARE FEET OF CONSTRUCTION:	BY PROPOSED USES:
9,000 s.f.	Conditioned residential: 6,938 s.f.
	Common & circulation: 1,520 s.f.
	Accessory parking: 540 s.f.
ESTIMATED CONSTRUCTION COST:	
\$1.25M	
ESTIMATE PREPARED BY:	
E.E. Weiss, Architect, Inc	
FEE ESTABLISHED:	

Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: The other information or applications may be required.

Signature: 

Date: 01/28/2015

Print name, and indicate whether owner, or authorized agent:

Craig Nikitas, dba ZONE Cosulting

Owner / Authorized Agent (circle one)



Application Submittal Checklist

Applications listed below submitted to the Planning Department must be accompanied by this checklist and all required materials. The checklist is to be completed and **signed by the applicant or authorized agent and a department staff person.**

APPLICATION MATERIALS	CHECKLIST
Application, with all blanks completed	<input checked="" type="checkbox"/>
300-foot radius map, if applicable	<input type="checkbox"/>
Address labels (original), if applicable	<input type="checkbox"/>
Address labels (copy of the above), if applicable	<input type="checkbox"/>
Site Plan	<input checked="" type="checkbox"/>
Floor Plan	<input checked="" type="checkbox"/>
Elevations	<input checked="" type="checkbox"/>
Section 303 Requirements	<input checked="" type="checkbox"/>
Prop. M Findings	<input checked="" type="checkbox"/>
Historic photographs (if possible), and current photographs	<input checked="" type="checkbox"/>
Check payable to Planning Dept.	<input checked="" type="checkbox"/>
Original Application signed by owner or agent	<input checked="" type="checkbox"/>
Letter of authorization for agent	<input checked="" type="checkbox"/>
Other: Section Plan, Detail drawings (ie. windows, door entries, trim), Specifications (for cleaning, repair, etc.) and/or Product cut sheets for new elements (ie. windows, doors)	<input checked="" type="checkbox"/>

to be submitted when requested by case planner

NOTES:

- Required Material. Write "N/A" if you believe the item is not applicable, (e.g. letter of authorization is not required if application is signed by property owner.)
- Typically would not apply. Nevertheless, in a specific case, staff may require the item.
- Two sets of original labels and one copy of addresses of adjacent property owners and owners of property across street.

After your case is assigned to a planner, you will be contacted and asked to provide an electronic version of this application including associated photos and drawings.

Some applications will require additional materials not listed above. The above checklist does not include material needed for Planning review of a building permit. The "Application Packet" for Building Permit Applications lists those materials.

No application will be accepted by the Department unless the appropriate column on this form is completed. Receipt of this checklist, the accompanying application, and required materials by the Department serves to open a Planning file for the proposed project. After the file is established it will be assigned to a planner. At that time, the planner assigned will review the application to determine whether it is complete or whether additional information is required in order for the Department to make a decision on the proposal.

For Department Use Only

Application received by Planning Department:

By: _____

Date: _____

PROJECT: Demolish 1-Family Building, Construct New 2-Family Residence
ADDRESS: 15 Guy Place
SUBJECT: Conditional Use Findings

REQUIRED FINDINGS

Requirements are displayed in bold face below, followed by *Findings displayed in italic type.*

- (1) **That the proposed use or feature, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable for, and compatible with, the neighborhood or the community:**

Replacing an unsound dwelling with a new two-unit residence is desirable for the neighborhood and community, contemplated by the Rincon Hill plan, and it is necessary as required by the zoning that implements that plan.

(A) [NOT APPLICABLE TO THIS DISTRICT]

- (2) **That such use or feature as proposed will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity, or injurious to property, improvements or potential development in the vicinity, with respect to aspects including but not limited to the following:**

(A) **The nature of the proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;**

The lot proposed for this development is not being changed with regard to size and shape, and has been in residential use predating the 1906 earthquake and fire. The parcel is one of several very small scale residential lots on Guy Place, with specific development rules in place in the codification of the Rincon Hill Plan. The proposed structure, in location on the lot, footprint, shape and volume is entirely Code-complying, and cannot be detrimental to persons, properties, and improvements in the area. Excavation will be minimal, and the proposed foundation will be a relatively shallow mat-slab-on-grade.

(B) **The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading and of proposed alternatives to off-street parking, including provisions of car-share parking spaces, as defined in Section 166 of this Code.**

There is no net change to the traffic patterns and off-street parking arrangement from the existing building to the proposed project. Both have a single curb-cut and one off-street parking space in a garage accessed from the narrow frontage on Guy Place.

(C) **The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;**

The final use as a two-family dwelling will not produce noxious or offensive glare, noise, dust or odor. Construction methodology is required by the building and police codes to minimize such impacts.

(D) Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs; and

Treatment of the elements listed in this requirement will be Code-complying and in accord with the Rincon Hill Streetscape Master Plan.

(3) That such use or feature as proposed will comply with the applicable provisions of this Code and will not adversely affect the Master Plan; and

As proposed, the project complies with all sections of the Code, including the findings for demolition of unsound housing pursuant to Section 317(d). It promotes objectives of the Housing Element to increase housing stock, offer varied unit types to promote neighborhood diversity, and to develop new, well-designed family housing,

POLICY 5.4 Provide a range of unit types for all segments of need...

POLICY 11.1 Promote the construction and rehabilitation of well-designed housing that emphasizes beauty, flexibility, and innovative design, and respects existing neighborhood character.

POLICY 11.3 Ensure growth is accommodated without substantially and adversely impacting existing residential neighborhood character.

POLICY 12.1 Encourage new housing that relies on transit use and environmentally sustainable patterns of movement.

POLICY 12.3 Ensure new housing is sustainably supported by the City's public infrastructure systems.

(4) [NOT APPLICABLE TO THIS DISTRICT]

(5) [NOT APPLICABLE TO THIS USE]

(6) [NOT APPLICABLE TO THIS DISTRICT AND USE]

APPLICATION FOR

Dwelling Unit Removal Merger, Conversion, or Demolition

1. Owner/Applicant Information

PROPERTY OWNER'S NAME:	
Drake Bay Partners LLC	
PROPERTY OWNER'S ADDRESS:	TELEPHONE:
601 Van Ness Ave. no. E3606 San Francisco, CA 94102	(415) 355-0900
	EMAIL:
APPLICANT'S NAME:	
Craig Nikitas, dba ZONE Consulting	
	Same as Above <input type="checkbox"/>
APPLICANT'S ADDRESS:	TELEPHONE:
2555 32nd Av San Francisco, CA 94116	(415) 810-5116
	EMAIL:
	ZONEconsultingSF@gmail.com
CONTACT FOR PROJECT INFORMATION:	
	Same as Above <input checked="" type="checkbox"/>
ADDRESS:	TELEPHONE:
	()
	EMAIL:
COMMUNITY LIAISON FOR PROJECT (PLEASE REPORT CHANGES TO THE ZONING ADMINISTRATOR):	
	Same as Above <input checked="" type="checkbox"/>
ADDRESS:	TELEPHONE:
	()
	EMAIL:

2. Location and Classification

STREET ADDRESS OF PROJECT:		ZIP CODE:		
15 Guy Place		94105		
CROSS STREETS:				
1st & Lansing Streets				
ASSESSORS BLOCK/LOT:	LOT DIMENSIONS:	LOT AREA (SQ FT):	ZONING DISTRICT:	HEIGHT/BULK DISTRICT:
3749 / 012	25' x70'	1,750 sq ft	DTR-Rincon	65-X

3. Project Type and History

(Please check all that apply) <input checked="" type="checkbox"/> New Construction <input type="checkbox"/> Alterations <input checked="" type="checkbox"/> Demolition <input type="checkbox"/> Other Please clarify: _____	ADDITIONS TO BUILDING: <input type="checkbox"/> Rear <input type="checkbox"/> Front <input type="checkbox"/> Height <input type="checkbox"/> Side Yard	BUILDING PERMIT NUMBER(S):	DATE FILED:
		DATE OF PROPERTY PURCHASE: (MM/DD/YYYY)	
		Two-Family Home	
		ELLIS ACT	YES NO
		Was the building subject to the Ellis Act within the last decade?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO

4. Project Summary Table

If you are not sure of the eventual size of the project, provide the maximum estimates.

	EXISTING USES	EXISTING USES TO BE RETAINED	NET NEW CONSTRUCTION AND/OR ADDITION	PROJECT TOTALS:
PROJECT FEATURES				
Dwelling Units	1	1	1	2
Hotel Rooms	0	0	0	0
Parking Spaces	1	0	1	1
Loading Spaces	0	0	0	0
Number of Buildings	1	0	1	1
Height of Building(s)	23' +/-	0	65'	65'
Number of Stories	2	0	6	6
Bicycle Spaces	0	0	2	2
GROSS SQUARE FOOTAGE (GSF)				
Residential	1,900	0	9,000	9,000
Retail	0	0	0	0
Office	0	0	0	0
Industrial/PDR <i>Production, Distribution, & Repair</i>	0	0	0	0
Parking	all accessory parking areas included in residential sq. footages			
Other (Specify Use)	0	0	0	0
TOTAL GSF	1,900	0	9,000	9,000

5. Additional Project Details

UNITS	EXISTING:	PROPOSED:	NET CHANGE:
Owner-occupied Units:	0	2	2
Rental Units:	0	0	0
Total Units:	1	1	2
Units subject to Rent Control:	0	0	0
Vacant Units:	1	0	-1

BEDROOMS	EXISTING:	PROPOSED:	NET CHANGE:
Owner-occupied Bedrooms:	0	4	4
Rental Bedrooms:	0	0	0
Total Bedrooms:	2	4	2
Bedrooms subject to Rent Control:	0	0	0

6. Unit Specific Information

	UNIT NO.	NO. OF BEDROOMS	GSF	OCCUPANCY	ADDITIONAL CRITERIA (check all that apply)
EXISTING	1	2	1,900	<input type="checkbox"/> OWNER OCCUPIED <input type="checkbox"/> RENTAL	<input type="checkbox"/> ELLIS ACT <input checked="" type="checkbox"/> VACANT <input type="checkbox"/> RENT CONTROL
PROPOSED	1	2	1,809	<input checked="" type="checkbox"/> OWNER OCCUPIED <input type="checkbox"/> RENTAL	
EXISTING	N/A			<input type="checkbox"/> OWNER OCCUPIED <input type="checkbox"/> RENTAL	<input type="checkbox"/> ELLIS ACT <input type="checkbox"/> VACANT <input type="checkbox"/> RENT CONTROL
PROPOSED	2	5	5,129	<input checked="" type="checkbox"/> OWNER OCCUPIED <input type="checkbox"/> RENTAL	
EXISTING	N/A			<input type="checkbox"/> OWNER OCCUPIED <input type="checkbox"/> RENTAL	<input type="checkbox"/> ELLIS ACT <input type="checkbox"/> VACANT <input type="checkbox"/> RENT CONTROL
PROPOSED	N/A			<input type="checkbox"/> OWNER OCCUPIED <input type="checkbox"/> RENTAL	

7. Other Information

Please describe any additional project features that were not included in the above tables:
(Attach a separate sheet if more space is needed)

Project is to demolish existing unsound 1-unit dwelling and construct a new two-unit residential building with code-complying auto and bicycle parking. New building will have a Planning Code height of 65 feet in 5 stories of frame construction over ground-story concrete podium. Upper stories of nominal north-east corner of building are sculpted to avoid new shadow on Guy Place Mini-Park.

Project requires Conditional Use authorization from the Planning Commission for approval to demolish the existing unsound residence in this DTR-Rincon Hill Zoning District.

Priority General Plan Policies – Planning Code Section 101.1

(APPLICABLE TO ALL PROJECTS)

Proposition M was adopted by the voters on November 4, 1986. It requires that the City shall find that proposed alterations and demolitions are consistent with eight priority policies set forth in Section 101.1 of the Planning Code. These eight policies are listed below. Please state how the Project is consistent or inconsistent with each policy. Each statement should refer to specific circumstances or conditions applicable to the property. Each policy must have a response. If a given policy does not apply to your project, explain why it is not applicable.

Please respond to each policy; if it's not applicable explain why:

1. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses enhanced;

The project has no direct effects on neighborhood-serving retail uses, employment, and ownership. It replaces a single-family home with a two-family residential building.

2. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods;

While the project does not preserve an existing house (which is unsound), it does preserve existing housing by adding an additional unit to the residential uses present on the lot and within the block. It adds to the economic diversity of the neighborhood by providing two units varied in size and value, and is in accord with the purposes and requirements of the Rincon Hill Plan.

3. That the City's supply of affordable housing be preserved and enhanced;

The project does not affect the stock of affordable housing. Neither the existing unit nor the new ones are affordable, and by adding a unit to local housing stock, the project helps fulfill the directive to create more housing.

4. That commuter traffic not impede Muni transit service or overburden our streets or neighborhood parking;

The project meets the parking restrictions of the Code and Rincon Plan, and maintains the current presence of a single curb cut and a single off-street parking space. Therefore existing traffic patterns and effects on Muni are not affected.

Please respond to each policy; if it's not applicable explain why:

5. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced;

The project has no effect on industrial and service sectors of the City's economy, and no direct effects on resident employment and ownership in those sectors. The use of the property is currently residential and will remain so.

6. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake;

The new structure will be built to current seismic and other building code requirements to provide appropriate safety levels.

7. That landmarks and historic buildings be preserved; and

The existing building is not a landmark or an historic building, and the project has no effect on any other properties that are landmarks or otherwise historic.

8. That our parks and open space and their access to sunlight and vistas be protected from development.

The project has been carefully designed to prevent any loss of sunlight to parks and open space, and has no effect on public vistas.

Dwelling Unit Demolition

(SUPPLEMENTAL INFORMATION)

Pursuant to Planning Code Section 317(d), Residential Demolition not otherwise subject to a Conditional Use Authorization shall be either subject to a Mandatory Discretionary Review hearing or will qualify for administrative approval.

Administrative approval only applies to:

- (1) single-family dwellings in RH-1 and RH-1(D) Districts proposed for Demolition that are not affordable or financially accessible housing (valued by a credible appraisal within the past six months to be greater than 80% of combined land and structure value of single-family homes in San Francisco); **OR**
- (2) residential buildings of two units or fewer that are found to be unsound housing.

Please see the Department's website under Publications for "*Loss of Dwelling Units Numerical Values*".

The Planning Commission will consider the following criteria in the review of Residential Demolitions. Please fill out answers to the criteria below:

EXISTING VALUE AND SOUNDNESS		YES	NO
1	Is the value of the existing land and structure of the single-family dwelling affordable or financially accessible housing (below the 80% average price of single-family homes in San Francisco, as determined by a credible appraisal within six months)? If no, submittal of a credible appraisal is required with the application.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2	Has the housing been found to be unsound at the 50% threshold (applicable to one- and two-family dwellings)? n/a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3	Is the property free of a history of serious, continuing code violations? n/a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4	Has the housing been maintained in a decent, safe, and sanitary condition? n/a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5	Is the property a <i>historical resource</i> under CEQA? If yes, will the removal of the resource have a substantial adverse impact under CEQA? <input type="checkbox"/> YES <input type="checkbox"/> NO	<input type="checkbox"/>	<input checked="" type="checkbox"/>
RENTAL PROTECTION		YES	NO
6	Does the Project convert rental housing to other forms of tenure or occupancy?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
7	Does the Project remove rental units subject to the Rent Stabilization and Arbitration Ordinance or affordable housing?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
PRIORITY POLICIES		YES	NO
8	Does the Project conserve existing housing to preserve cultural and economic neighborhood diversity?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
9	Does the Project conserve neighborhood character to preserve neighborhood cultural and economic diversity?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10	Does the Project protect the relative affordability of existing housing?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11	Does the Project increase the number of permanently affordable units as governed by Section 415?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Dwelling Unit Demolition

(SUPPLEMENTAL INFORMATION CONTINUED)

REPLACEMENT STRUCTURE		YES	NO
12	Does the Project locate in-fill housing on appropriate sites in established neighborhoods?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
13	Does the Project increase the number of family-sized units on-site?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
14	Does the Project create new supportive housing?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
15	Is the Project of superb architectural and urban design, meeting all relevant design guidelines, to enhance the existing neighborhood character?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16	Does the Project increase the number of on-site dwelling units?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17	Does the Project increase the number of on-site bedrooms?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: Other information or applications may be required.

Signature: 

Date: January 28, 2015

Print name, and indicate whether owner, or authorized agent:

Craig Nikitas of ZONE Consulting, authorized agent

Owner / Authorized Agent (circle one)

Demolition Application Submittal Checklist

(FOR PLANNING DEPARTMENT USE ONLY)

Applications submitted to the Planning Department must be accompanied by this checklist and all required materials.

APPLICATION MATERIALS	CHECKLIST	
Original Application, signed with all blanks completed	<input checked="" type="checkbox"/>	<div style="border: 1px solid black; padding: 10px; width: fit-content; margin: auto;"> <p>SEE CU APPLICATION - TO BE PROVIDED UPON REQUEST</p> </div>
Prop. M Findings (General Plan Policy Findings)	<input checked="" type="checkbox"/>	
Supplemental Information Pages for Demolition	<input checked="" type="checkbox"/>	
Notification Materials Package: (See Page 4)	<input type="checkbox"/>	
Notification map	<input type="checkbox"/>	
Address labels	<input type="checkbox"/>	
Address list (printed list of all mailing data or copy of labels)	<input type="checkbox"/>	
Affidavit of Notification Materials Preparation	<input type="checkbox"/>	
Set of plans: One set full size AND two reduced size 11"x17"	<input checked="" type="checkbox"/>	
Site Plan (existing and proposed)	<input checked="" type="checkbox"/>	
Floor Plans (existing and proposed)	<input checked="" type="checkbox"/>	
Elevations (including adjacent structures)	<input checked="" type="checkbox"/>	
Current photographs	<input checked="" type="checkbox"/>	
Historic photographs (if possible)	<input type="checkbox"/>	
Check payable to Planning Dept. (see current fee schedule)	<input checked="" type="checkbox"/>	
Letter of authorization for agent (if applicable)	<input checked="" type="checkbox"/>	
Pre-Application Materials (if applicable)	<input checked="" type="checkbox"/>	
Other: Section Plan, Detail drawings (ie. windows, door entries, trim), Specifications (for cleaning, repair, etc.) and/or Product cut sheets for new elements (ie. windows, doors)	<input checked="" type="checkbox"/>	

NOTES:

- Required Material. Write "N/A" if you believe the item is not applicable. (e.g. letter of authorization is not required if application is signed by property owner.)
- Typically would not apply. Nevertheless, in a specific case, staff may require the item.
- * Required upon request upon hearing scheduling.

Some applications will require additional materials not listed above. The above checklist does not include material needed for Planning review of a building permit. The "Application Packet" for Building Permit Applications lists those materials.

No application will be accepted by the Department unless the appropriate column on this form is completed. Receipt of this checklist, the accompanying application, and required materials by the Department serves to open a Planning file for the proposed project. After the file is established it will be assigned to a planner. At that time, the planner assigned will review the application to determine whether it is complete or whether additional information is required in order for the Department to make a decision on the proposal.

For Department Use Only

Application received by Planning Department:

By: _____

Date: _____

SOUNDNESS REPORT

**15 Guy Place
San Francisco, CA**

Prepared By:

Buscovich & Buscovich
235 Montgomery Street, 843
San Francisco, CA 94104

Chick Wong Construction
1292 11th Avenue
San Francisco, CA 94122

Copyright 2015

Job Number: 14.177

Date: November 15, 2015

DOUG VU 575 9120

Disclaimer:

This report is a soundness study on the subject structure. The preparer of this report has prepared this report under generally recognized engineering principle. The preparer has no interest in this property or any other property of the owner nor is the preparer of this report doing any other work on this property or any other property owned by this owner.

Basis of Soundness Report

The following items have been used in this report's soundness **criteria**:
The soundness evaluation will be based upon the cost to repair and/or remediate applicable soundness criteria. These costs are based upon the house being vacant, which it is currently. The costs are prepared in conjunction with a licensed contractor and represent current construction costs. Not included in these costs are architectural and engineering fees. Permit fees are also included as well as 18% profit/overhead. This soundness cost is to be compared to a replacement cost. Not included in this replacement cost is the demolition cost of the existing structure. It is important to note that the soundness cost number using the 50% threshold do not include the following:

1. Deterioration due to intentional, willful negligence.
2. Maintenance.
3. Remodeling not associated with required work.
4. Upgrade not associated with required work.

The official DCP Soundness Matrix Item number system will be used in this report. The complete DCP Soundness summary and Matrix is in Appendix A.

Planning Information

The following items have been used in this report's soundness **criteria**:
The soundness evaluation will be based upon the cost to repair and/or remediate applicable soundness criteria. These costs are based upon the house being vacant, which it is currently. The costs are prepared in conjunction with a licensed contractor and represent current construction costs. Not included in these costs are architectural and engineering fees. Permit fees are also included as well as 18% profit/overhead. This soundness cost is to be compared to a replacement cost. Not included in this replacement cost is the demolition cost of the existing structure. It is important to note that the soundness cost number using the 50% threshold do not include the following:

5. Deterioration due to intentional, willful negligence.
6. Maintenance.
7. Remodeling not associated with required work.
8. Upgrade not associated with required work.

The lot is 25 feet wide by 70 feet deep for an area of 1,750ft². The zoning is RH-DTR, 65-x. The DCP property information report is in Appendix C. The assessor shows the habitable floor area as 1,200 ft². Field measurement give 1,198 ft² habitable at the 2nd floor and 417ft² garage at the 1st floor.

Building Description

The building is a two story, wood framed, single family house. The first floor is the garage at the front and crawl space at the rear, the garage is a slab on grade. The second floor has elevated wood floor with habitable rooms. Above the second floor is a wood framed roof. The foundations are a combination of unreinforced brick and poorly reinforced/unreinforced concrete. As original constructed in 1907, this building's foundation is inadequate for this sites geotechnical conditions. The geotechnical site condition (Appendix G) has 6.5' feet of loose sands under the house due to: 1) Loose wind blown sand deposits, 2) old uncompacted fill plus 3) undermined sands by the adjoining site's deep excavation circa 2002. Further, this building was poorly constructed in 1907 to replace a damaged structure following the 1906 San Francisco Earthquake and Fire. Extensive portion of the unreinforced footing have been damaged beyond repair due to settlement. The attached floor plan shows differential settlement of 1 3/4" inches [in one room] within 14' or 1 inch/ 10 feet. This exceeds industry standard of .5 inches/10 feet by double. This settlement has cracked the footings (See Photo Appendix B). Limited portion of the house foundation were recently underpinned as part of an adjoining lot construction in 2002. This underpinning extended the bottom of the existing foundation below the fill to address the construction stability from the adjoining excavation. This underpinning did not repair the "cracked" foundation. The remaining portions of the houses footings are still inadequate due to unreinforced and damaged/cracked footings sitting on loose fill. The house is continuing to settling, the floors are sloped, the walls are cracking and the doors and windows have racked. Two floor level surveys have been done one in early 2015 and one in late 2015, 6 months apart. The surveys show continuing settlement for example one location

and now 2 inches settlement 6 month later. This is a dramatic 15% increase in 1/2 year. This substandard foundation over loose fill requires replacement of the interior and exterior footings.

Summary of deficiencies

DCP Matrix #1 – Permit Fee (\$3,000)

DCP Matrix #8 Foundation (\$168,510)

The existing footing needs to be replaced. The footings were structurally improper for a loose sands fill – The building is sitting on very loose sands. As the building settles, the footings are cracking. The building is continuing to settle and the foundation has failed. The proper foundation is a reinforced concrete grade beam system with reinforced concrete caisson. The caissons would extend below the fill zone into competent dense sands. The house needs to be shored and the existing footing need to be removed and a new footing/caisson system installed with roughly 26 caissons approximately 15 foot deep.

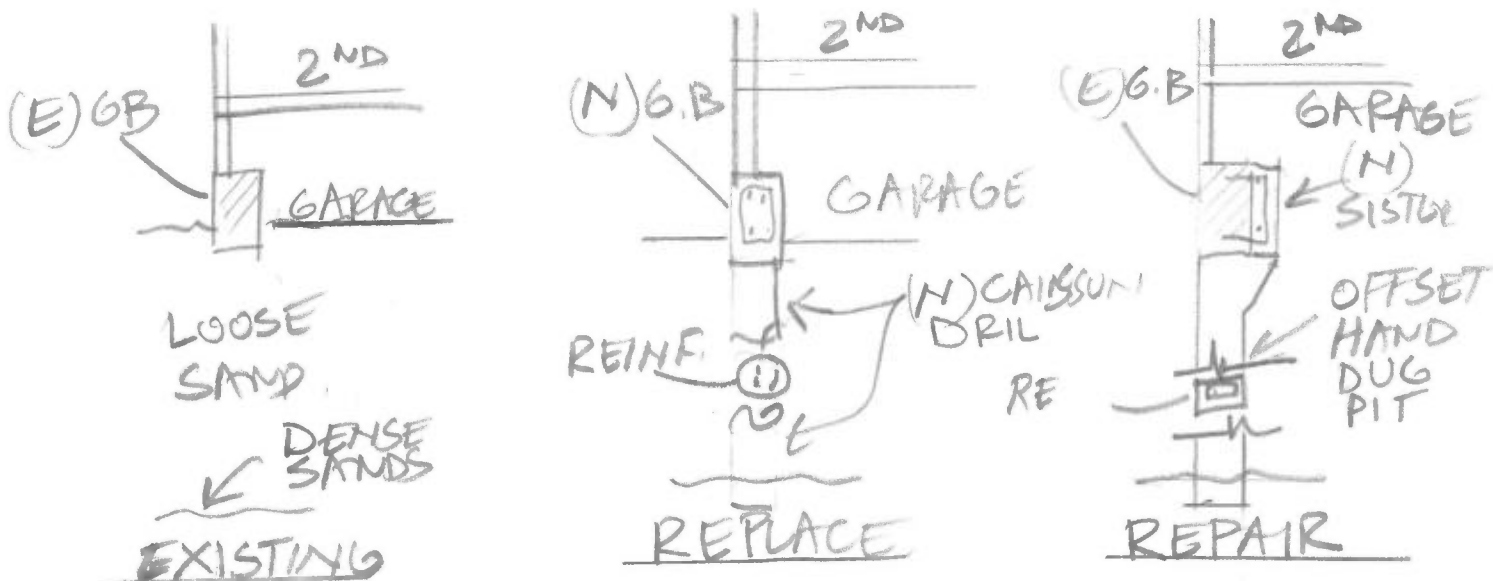
DCP Matrix #35 – Mark-Up (\$30,872)

New Construction Cost

Based upon as-built measurement, the second floor habitable area of the house is 1,198ft² and first floor/garage is 4,17ft². Based upon DCP cost of \$240/ft² to rebuild habitable floor and \$120/ft² for non-habitable, the cost is:

$$(1,198/\text{ft}^2 \times \$240/\text{ft}^2) + (417/\text{ft}^2 \times \$120/\text{ft}^2) = \$287,520 + \$50,040 = \$337,560.$$

See Appendix F for the cost breakdown to accomplish a foundation replacement. In this appendix I did a cost breakdown to alternatively do a foundation repair. The cost to do a replacement is \$202,390. To do a repair is \$199,420 or a small saving of \$2,962.



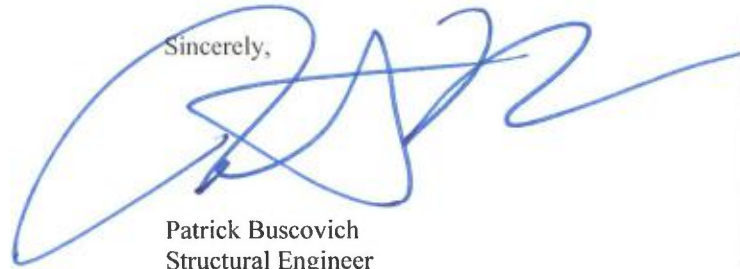
50% Cost Evaluation

Upgrade Cost	\$202,390	=	60% >	unsound Building
Replacement Cost	\$337,560			

Conclusion

Based upon Department of City Planning Guidelines and Engineering Principle's, the building is **unsound**.

Sincerely,



Patrick Buscovich
Structural Engineer

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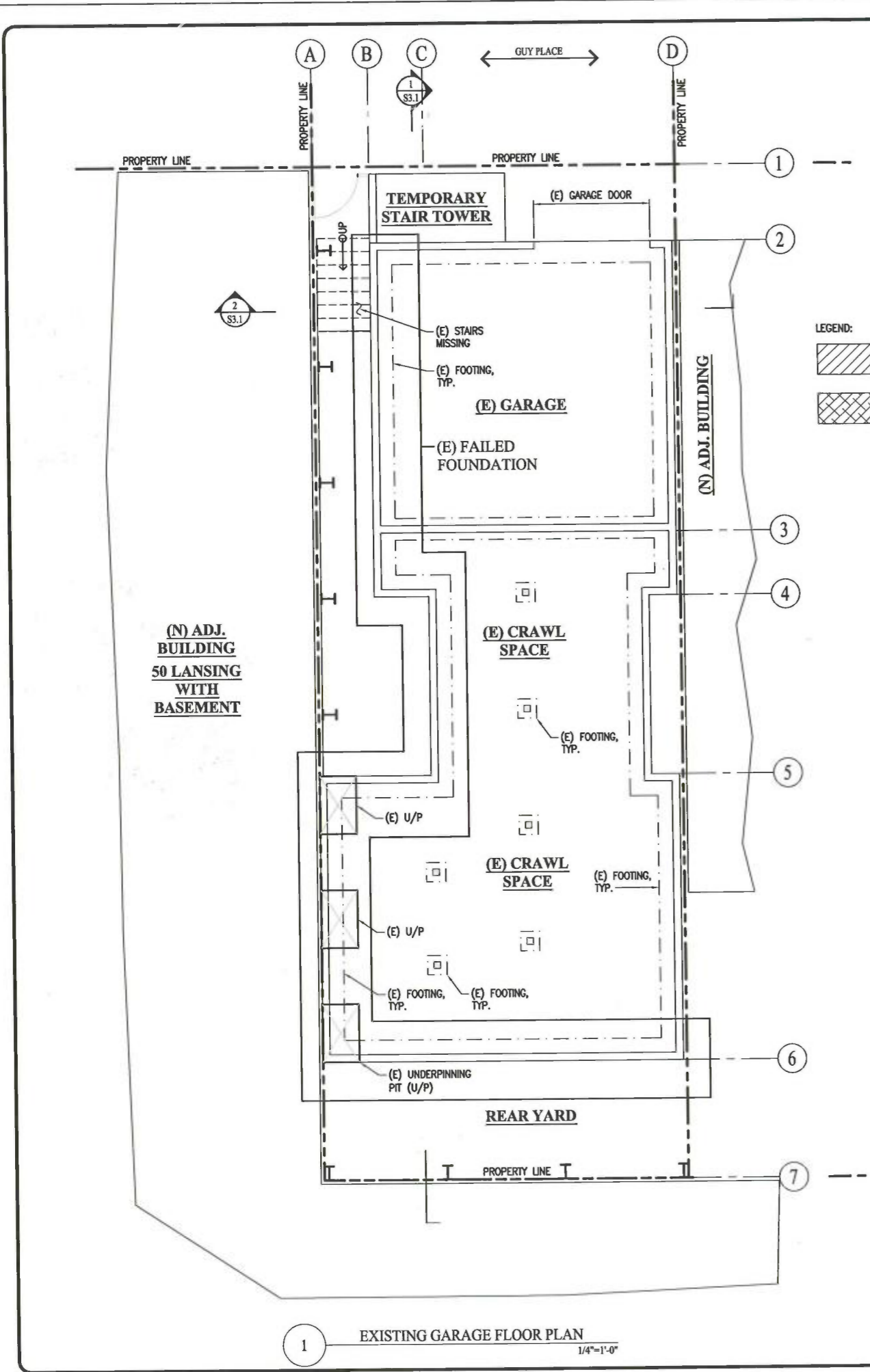
List Attachment:

Floor Plans
DBI
Photographs
DCP

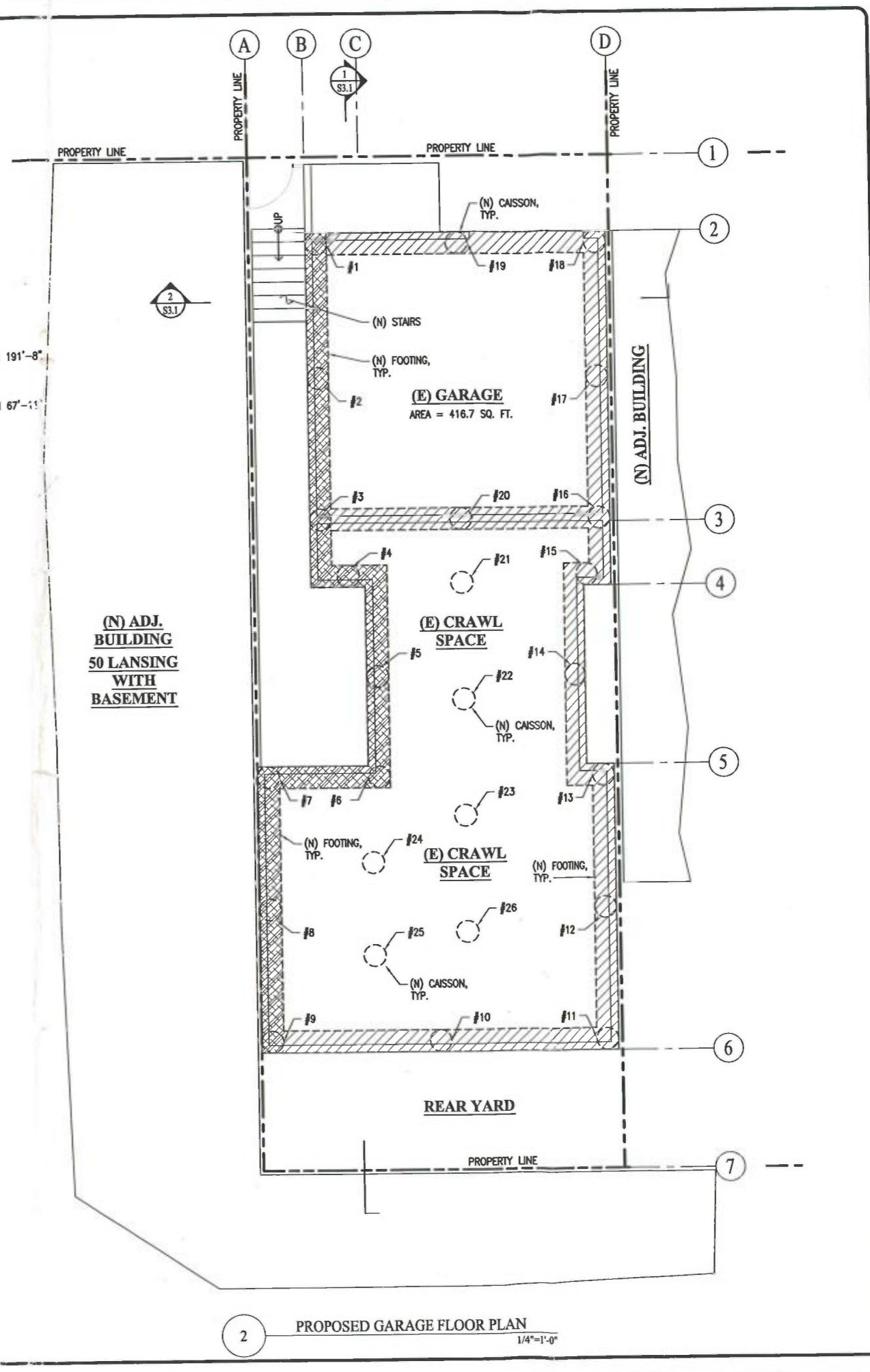
DESCRIPTION

APPENDIX A	SOUNDNESS REPORT TEMPLATE
APPENDIX B	PHOTOGRAPHS
APPENDIX C	DCP / ASSESSOR
APPENDIX D	DBI
APPENDIX E	WATER DEPARTMENT
APPENDIX F	COST STUDY REPAIR Vs REPLACE
APPENDIX G	GEOTECHNICAL

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LEGEND:
 TOTAL LINEAR LENGTH 191'-8"
 TOTAL LINEAR LENGTH 67'-11"



REV.	DATE	DESCRIPTION
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2		
3		

PATRICK BUSCOVICH AND ASSOCIATES
 STRUCTURAL ENGINEERS, INC.
 235 MONTGOMERY STREET, SUITE 823
 SAN FRANCISCO, CALIFORNIA 94104
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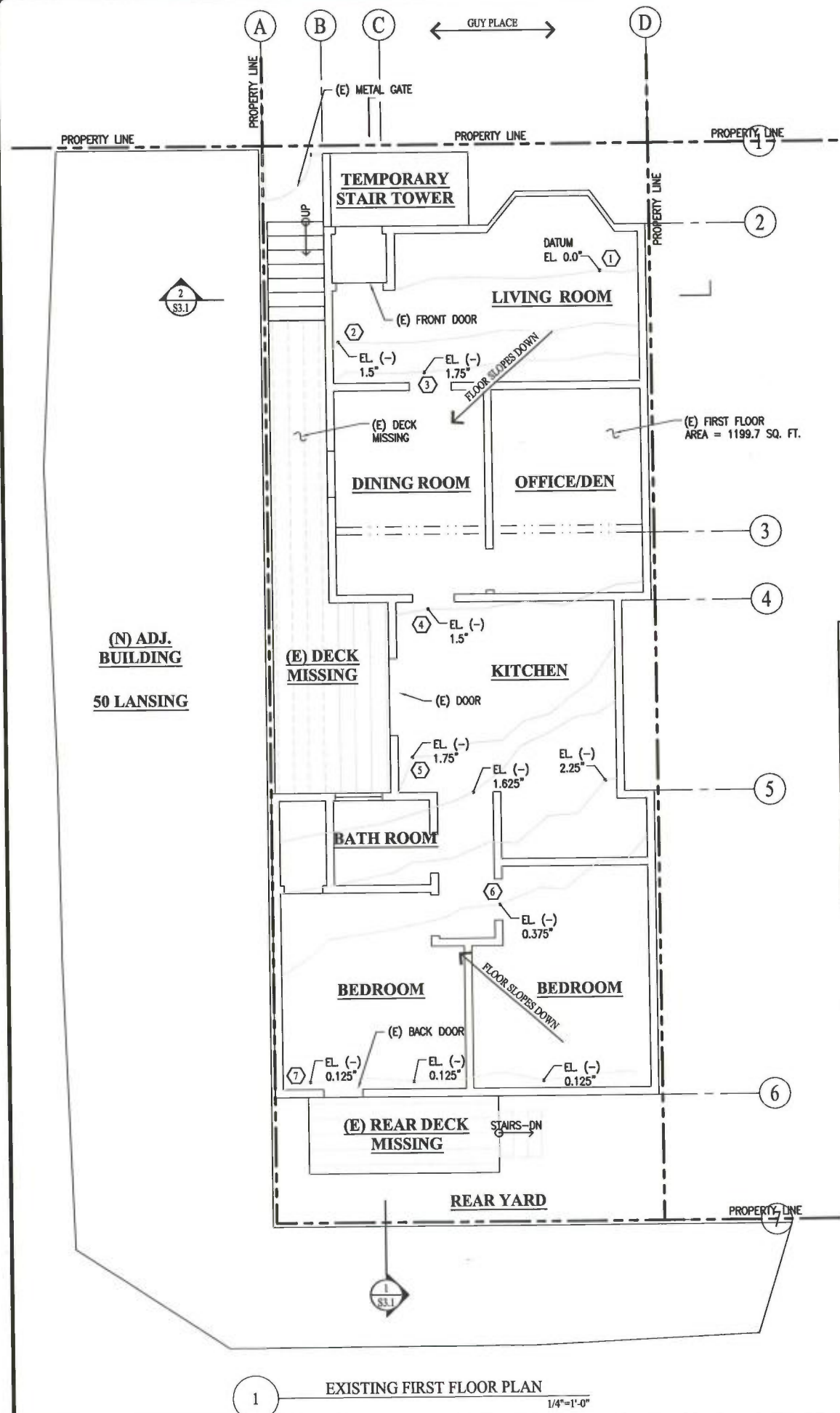
15 GUY PLACE
 SAN FRANCISCO, CA.

EXISTING AND PROPOSED
 GARAGE PLAN

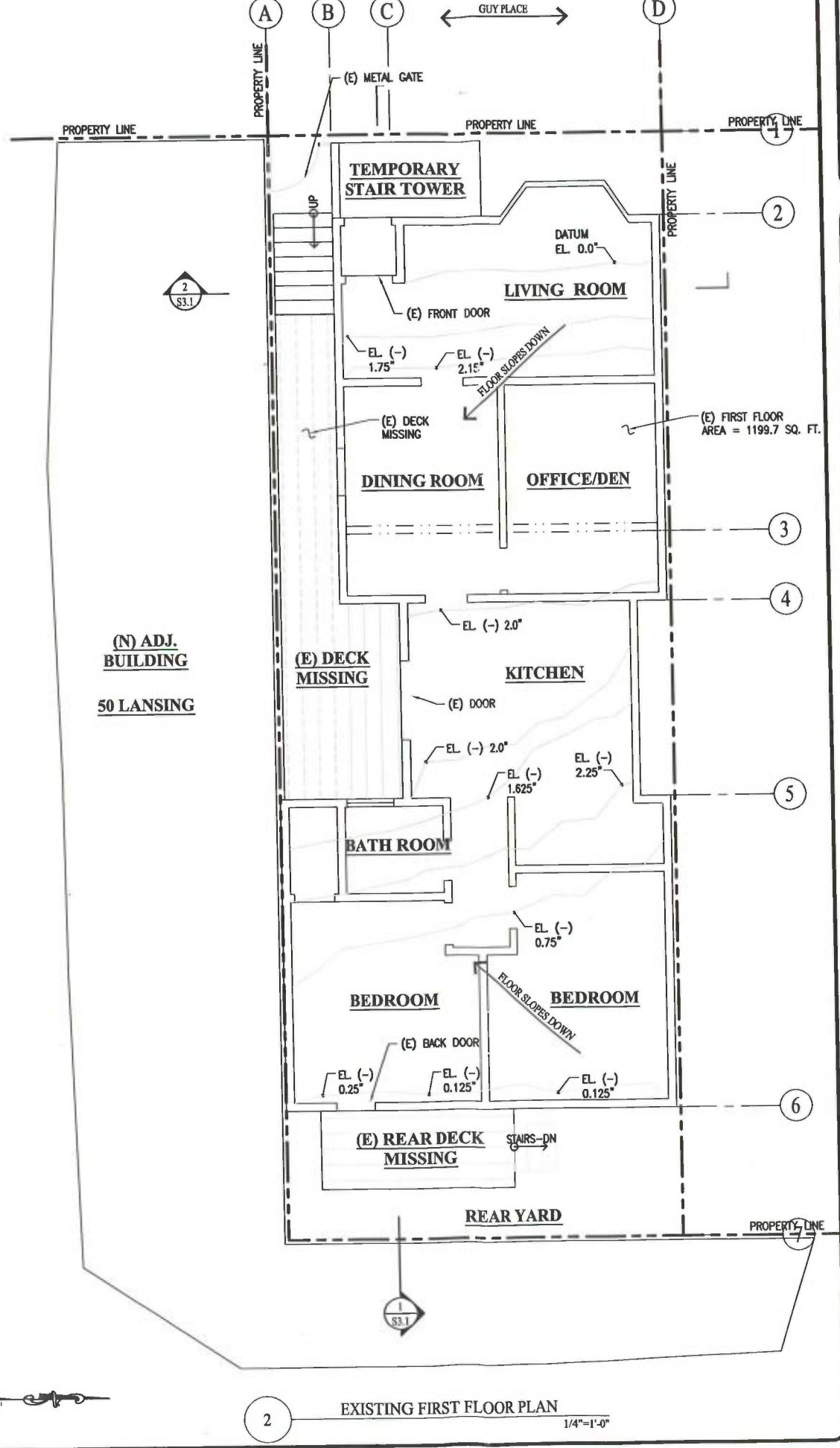
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SETTLEMENT MONITOR			
LOCATION	2014	2015	Δ
①	0.0"		
②	1.5"	1.75"	0.25"
③	1.75"	2.15"	0.40"
④	1.5"	2.0"	0.50"
⑤	1.75"	2.0"	0.25"
⑥	0.375"	0.75"	0.375"
⑦	0.125"	0.25"	0.125"



REV.	DATE	DESCRIPTION

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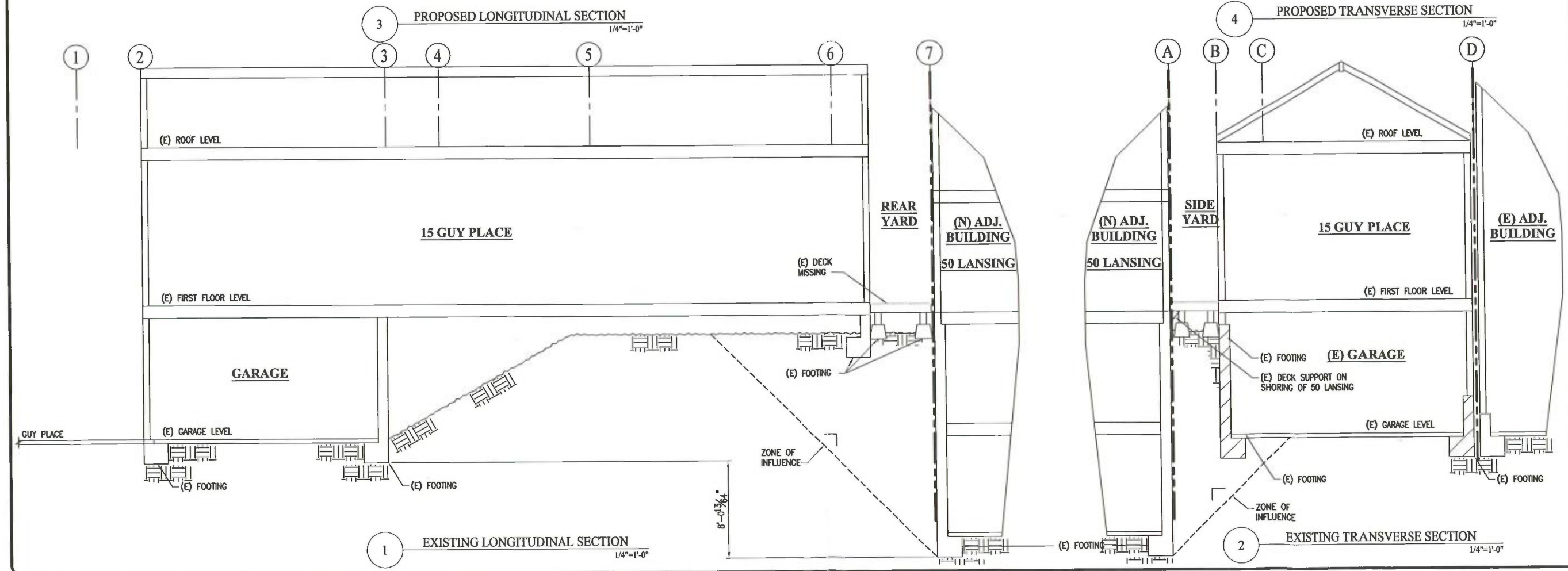
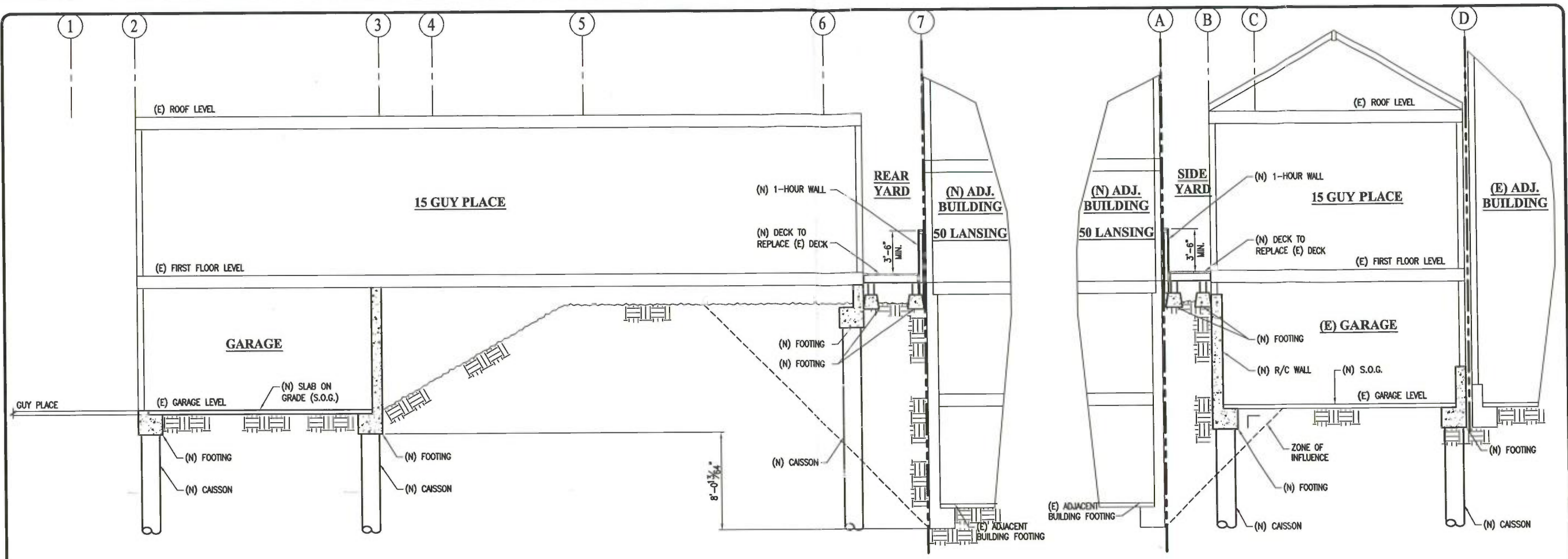


15 GUY PLACE
SAN FRANCISCO, CA.

DECK REPAIR
EXISTING PLAN AND
PROPOSED PLAN

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15 GUY PLACE
SAN FRANCISCO, CA.

DECK REPAIR
EXISTING AND PROPOSED
LONGITUDINAL SECTIONS AND
TRANSVERSE SECTIONS

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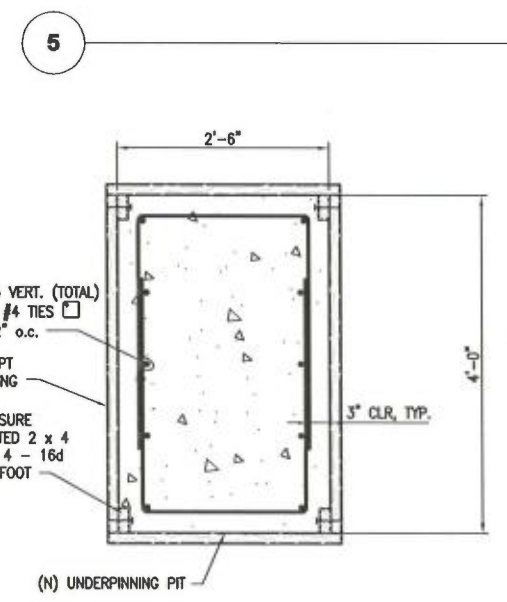
15 GUY PLACE
SAN FRANCISCO, CA.

UNDERPINNING DETAILS

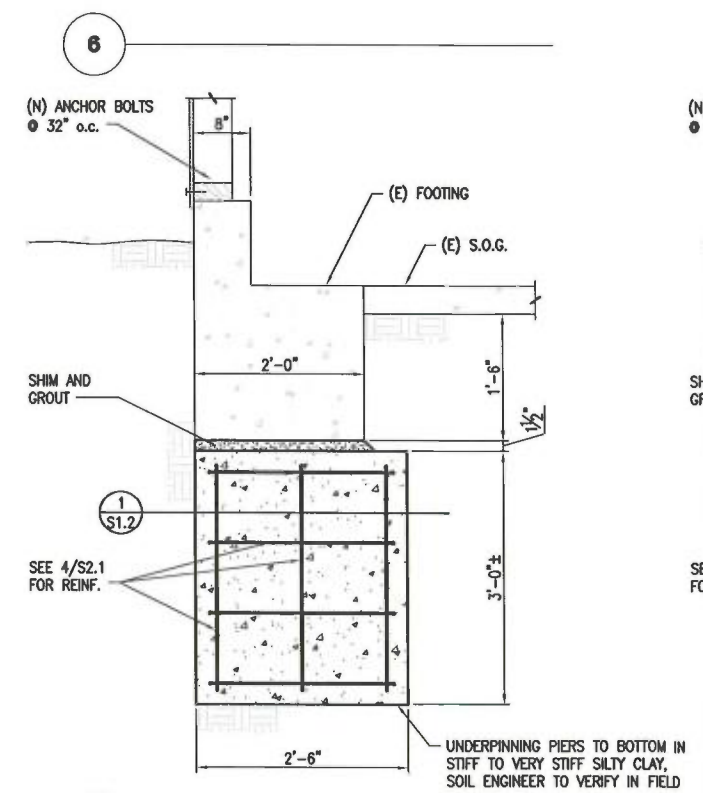
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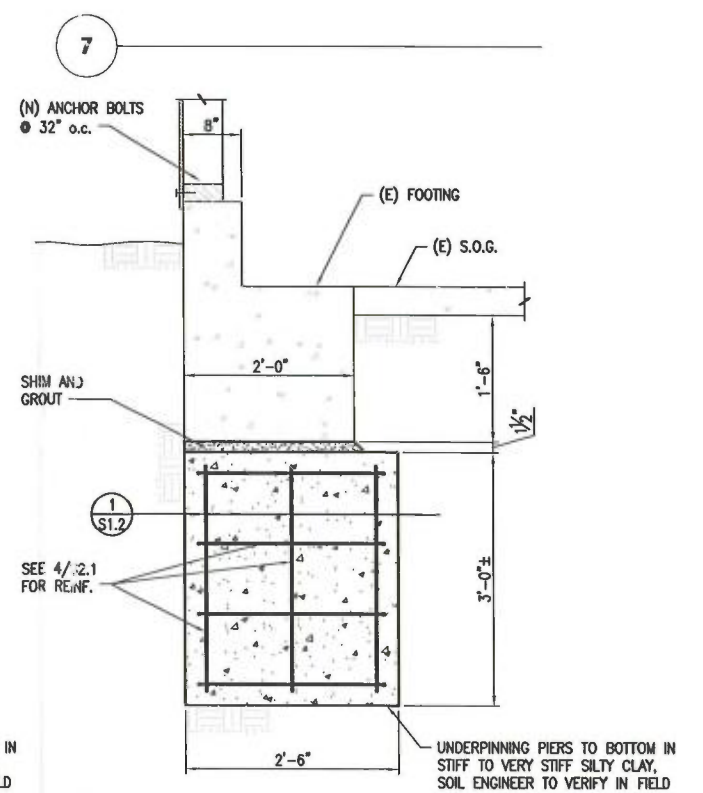
9 10 11 12



1 TYPICAL UNDERPINNING PLAN 1"=1'-0"



2 U/P #1 (UNDERPINNING) 1"=1'-0"



3 U/P #2 (UNDERPINNING) 1"=1'-0"

8

4

SOUNDNESS REPORT TEMPLATE

DCP 50% Soundness Items

<u>Item</u>	<u>Description</u>
1.	-----
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Sample Soundness Report Template

Project Address: 15 Guy PL

Job Number: 14.177

Replacement Cost: \$337,560

Type of Space	Area (Square Feet)	Cost per Square Foot	Cost
1 occupied, finished spaces	417ft ²	\$120/ ft ²	\$50,040
2 unfinished space with flat ceiling & > 7'-6" of headroom (e.g., basements, garages)	1,198 ft ²	\$240/ ft ²	\$287,520
3		Replacement Cost Total	\$337,560

WORK THAT COULD BE INCLUDED IN THE UPGRADE COST ESTIMATE FOR THE 50% THRESHOLD:
(Attach cost estimates from relevant consultants)

Items considered under 50% Threshold	Description of deficiencies (leave blank if not applicable)	Reference items in cost estimates (pest inspection reports, contractor estimates)	Photo ID that illustrates deficiencies	Cost
1 Building Permit Fee				\$3,000
2 Providing room dimensions at a minimum of 70 sq. ft. for any habitable room.				N/A
3 Providing at least one electrical outlet in each habitable room and 2 electrical outlets in each kitchen.				N/A
4 Providing at least one switched electrical light in any room where there is running water.				N/A
5 Correcting lack of flashing or proper weather protection if not originally installed.				N/A

Items considered under 50% Threshold	Description of deficiencies (leave blank if not applicable)	Reference items in cost estimates (pest inspection reports, contractor estimates)	Photo ID that illustrates deficiencies	Cost
6	Installing adequate weather protection and ventilation to prevent dampness in habitable rooms if not originally constructed.			N/A
7	Provision of garbage and rubbish storage and removal facilities if not originally constructed (storage in garage is permitted).			N/A
8	Eliminating structural hazards in foundation due to structural inadequacies.			\$168,510
9	Eliminating structural hazards in flooring or floor supports, such as defective members, or flooring or supports of insufficient size to safely carry the imposed loads.			TBD
10	Correcting vertical walls or partitions which lean or are buckled due to defective materials or which are insufficient in size to carry vertical loads.			N/A
11	Eliminating structural hazards in ceilings, roots, or other horizontal members, such as sagging or splitting, due to defective materials, or insufficient size.			N/A
12	Eliminating structural hazards in fireplaces and chimneys, such as listing, bulging or settlement due to defective materials or due to insufficient size or strength.			N/A
13	Upgrading electrical wiring which does not conform to the regulations in effect at the time of installation.			N/A
14	Upgrading plumbing materials and fixtures that were not installed in accordance with regulations in effect at the time of installation.			N/A
15	Providing exiting in accordance with the code in effect at the time of construction.			N/A

Items considered under 50% Threshold	Description of deficiencies (leave blank if not applicable)	Reference items in cost estimates (pest inspection reports, contractor estimates)	Photo ID that illustrates deficiencies	Cost
16	Correction of improper roof, surface or sub-surface drainage if not originally installed, if related to the building and not to landscape or yard areas.			N/A
17	Correction of structural pest infestation (termites, beetles, dry rot, etc.) to extent attributable to original construction deficiencies (e.g., insufficient earth-wood separation).			TBD
18	Repair of fire-resistive construction and fire protection systems if required at the time of construction, including plaster and sheet rock where fire separation is required, and smoke detectors, fire sprinklers, and fire alarms when required.			N/A
19	Wood and metal decks, balconies, landings, guardrails, fire escapes and other exterior features free from hazardous dry rot, deterioration, decay or improper alteration.			TBD
20	Repairs as needed to provide at least one properly operating water closet, and lavatory, and bathtub or shower.			N/A
21	Repair of a kitchen sink not operating properly.			N/A
22	Provision of kitchen appliances, when provided by the owner, in good working condition, excluding minor damage.			N/A
23	Repair if needed of water heater to provide a minimum temperature of 105° and a maximum of 102°, with at least 8 gallons of hot water storage.			N/A
24	Provision of both hot and cold running water to plumbing fixtures.			N/A

Items considered under 50% Threshold	Description of deficiencies (leave blank if not applicable)	Reference items in cost estimates (pest inspection reports, contractor estimates)	Photo ID that illustrates deficiencies	Cost
25	Repair to a sewage connection disposal system, if not working.			N/A
26	Repair heating facilities that allow the maintenance of a temperature of 70° in habitable rooms, if not working.			N/A
27	Repair ventilation equipment, such as bathroom fans, where operable windows are not provided, if not working.			N/A
28	Provision of operable windows in habitable rooms (certain exceptions apply).			N/A
29	Repair of electrical wiring if not maintained in a safe condition.			N/A
30	Repair of plumbing materials and fixtures if not maintained in good condition.			See #8
31	Elimination structural hazards in ceilings, roofs, or other horizontal members.			N/A
32	Fireplace (See Item #12)			N/A
33	Mold & Mildew			N/A
34	Lead & asbestos			N/A
35	Contractor's profit & overhead, not to exceed 18% of construction subtotal, if unit costs used for repair items do not include profit & overhead			\$30,872
			50% Threshold Cost Subtotal	\$202,382

Summary

Replacement Cost: \$337,560

50% Threshold Upgrade Cost: \$168,780 < \$202,382

PHOTOGRAPHS

- 1 FACADE
- 2 DETERIORATED FOOTING
- 3 DETERIORATED FOOTING - LACK OF CEMENT
- 4 IMPROPER FOUNDATION GRADE
- 5 FOUNDATION CRACK DUE TO SETTLEMENT
- 6 FOUNDATION CRACK DUE TO SETTLEMENT
- 7 IMPROPER FOUNDATION EMBEDMENT
- 8 DETERIORATED FOOTING
- 9 BUILDING MOVEMENT (OUTSIDE)
- 10 BUILDING MOVEMENT (INSIDE)

Appendix B



1 FACADE



2 DETERIORATED FOOTING



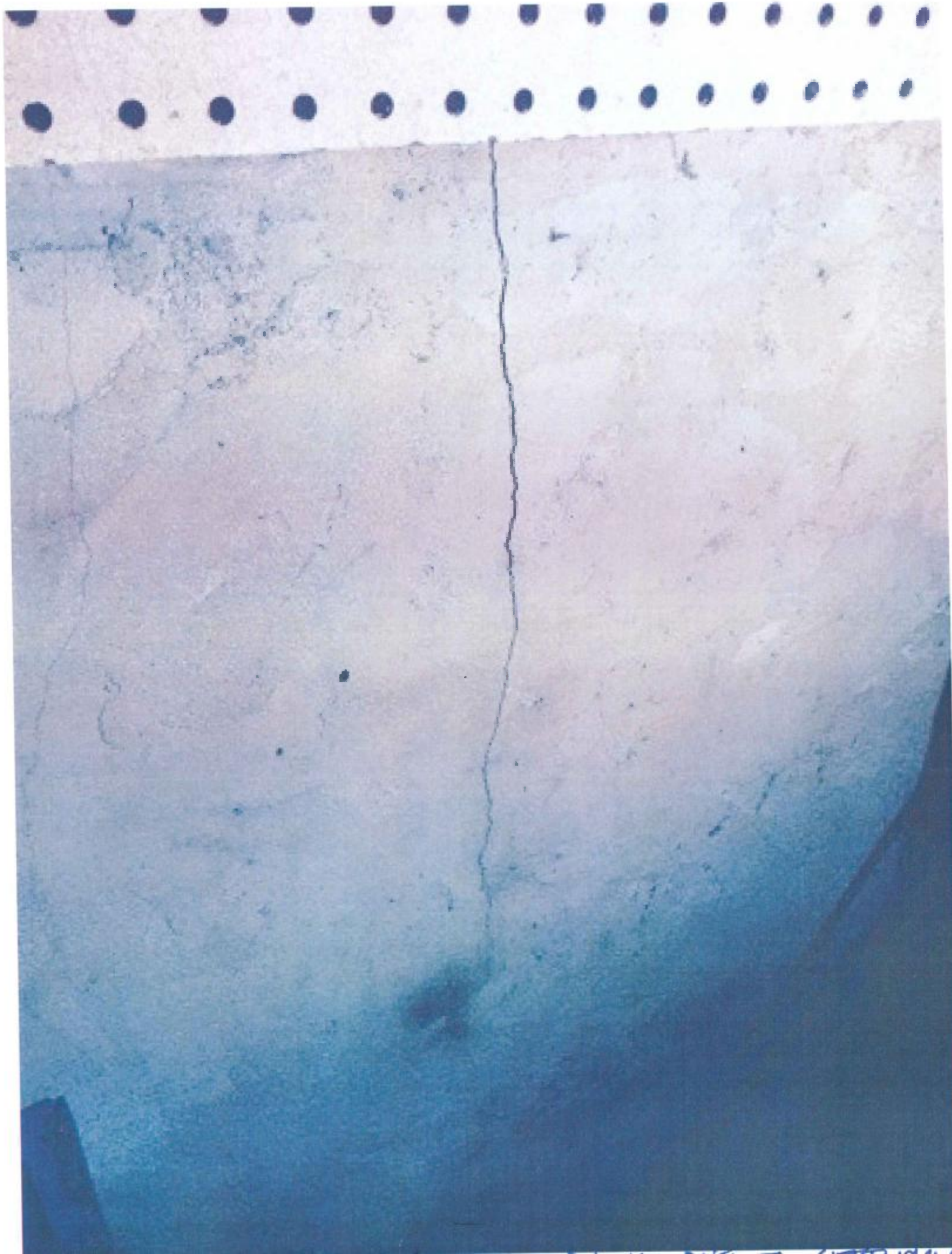
3 ДЕТЕРІОРАЦІЯ ПОДІЛІВ



4 IMPROPER FOUNDATION GRADE



5 FOUNDATION CRACK DUE TO SETTLEMENT





7 IMPROPER FOUNDATION EMBEDMENT



⑤ DETERIORATED FOOTING



9 BUILDING MOVEMENT



10 BUILDING MOVEMENT

DCP

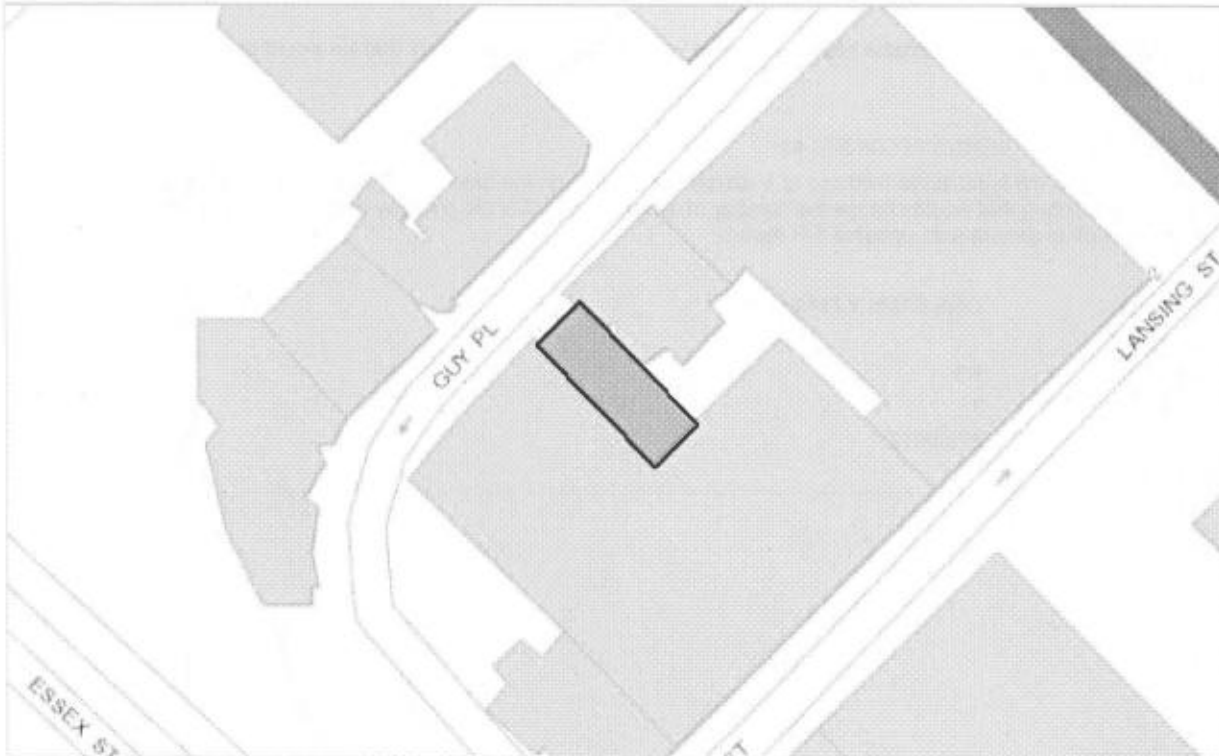
Appendix C



SAN FRANCISCO PLANNING DEPARTMENT

Doc VC

Report for: 15 GUY PL



Property Report: 15 GUY PL

General information related to properties at this location.

PARCELS (Block/Lot):

3749/012

PARCEL HISTORY:

None

ADDRESSES:

15 GUY PL, SAN FRANCISCO, CA 94105

NEIGHBORHOOD:

South of Market

CURRENT PLANNING TEAM:

SE Team

Stories: 1
Rooms: 3
Bedrooms: -
Bathrooms: 1
Owner: DRAKE BAY PARTNERS LLC
601 VAN NESS AVE #E3606
SAN FRANCISCO CA, 94102
Owner Date: 5/14/2014

Zoning Report: 15 GUY PL

Planning Department Zoning and other regulations.

ZONING DISTRICTS:

RH DTR - RINCON HILL DOWNTOWN RESIDENTIAL

HEIGHT & BULK DISTRICTS:

65-X

SPECIAL USE DISTRICTS:

None

PROXIMITY TO NEIGHBORHOOD-COMMERCIAL DISTRICTS AND RESTRICTED USE DISTRICTS:

None within 1/4 mile.

SPECIAL SIGN DISTRICTS:

Name: Rincon Hill Downtown Residential District
Code Section: 608.13
Restriction:

LEGISLATIVE SETBACKS:

None

COASTAL ZONE:

Not in the Coastal Zone

PORT:

Not under Port Jurisdiction

LIMITED AND NONCONFORMING USES:

CU EXEMPT Block: 3749 Lot: 012

NEIGHBORHOOD-SPECIFIC IMPACT FEE AREAS:

In addition to those impact fees that apply throughout the City, the following neighborhood-specific impact fees apply to this particular property:

- South of Market Area Community Stabilization Fee
- Rincon Hill Community Infrastructure Impact Fee

HISTORIC EVALUATION:

Parcel: 3749012
 Building Name:
 Address: 15 GUY PL
 Planning Dept. Historic Resource Status: C - No Historic Resource Present / Not Age Eligible

ARTICLE 10 DESIGNATED HISTORIC DISTRICTS AND LANDMARKS:

None

ARTICLE 11 PRESERVATION DESIGNATION:

None

NATIONAL REGISTER HISTORIC DISTRICTS:

None

CALIFORNIA REGISTER HISTORIC DISTRICTS:

None

HISTORIC RESOURCE EVALUATION RESPONSES:

Planning App. No.: 2015-000943ENV
 Date: 3/23/2015
 Decision: No Historic Resource Present
 Further Information: [View in ACA](#) [View in AA](#)

HISTORIC SURVEYS:

None

Planning Applications Report: 15 GUY PL

Permits are required in San Francisco to operate a businesses or to perform construction activity. The Planning Department reviews most applications for these permits in order to ensure that the projects comply with the Planning Code. The 'Project' is the activity being proposed.

PLANNING APPLICATIONS:

2015-000943ENV

[Jeanie Poling](#) Tel: 415-575-9072

Environmental (ENV) 15 GUY PL

Demolish an existing single-family dwelling and construct a new two-family dwelling.

OPENED	STATUS	ADDRESS	FURTHER INFO
1/30/2015	Under Review 3/18/2015	15 GUY PL 94105	View in ACA View in AA

RELATED RECORDS: [2015-000943PRJ](#)
 - [2015-000943ENV](#)

2015-000943PRJ

[Doug Vu](#) Tel: 415-575-9120

Project Profile (PRJ) 15 GUY PL

Demolish an existing single-family dwelling and construct a new two-family dwelling.

OPENED	STATUS	ADDRESS	FURTHER INFO
--------	--------	---------	--------------

[Planning Information Center](#) Tel: 558-6377

Project Profile (PRJ) Rincon Hill Interim amendments

Interim reclassification of Rincon Hill area from M-1 and P to RC-3 and SUD for a period not to exceed one year pending completion of Rincon Hill Plan and permanent new zoning controls plus minor map changes superseding 1982.039

OPENED	STATUS	ADDRESS	FURTHER INFO
5/25/1984	Closed	365 MAIN ST, SAN FRANCISCO, CA 94105	View in ACA View in AA

RELATED RECORDS: [1984.249](#)
- [1984.249E](#)
- [1984.249T](#)
- [1984.249Z](#)

RELATED BUILDING PERMITS: None

1984.249Z

[Planning Information Center](#) Tel: 558-6377

Zoning Map Amendment-LEG (MAP) Rincon Hill Interim amendments

Interim reclassification of Rincon Hill area from M-1 and P to RC-3 and SUD for a period not to exceed one year pending completion of Rincon Hill Plan and permanent new zoning controls plus minor map changes superseding 1982.039

OPENED	STATUS	ADDRESS	FURTHER INFO
5/25/1984	Closed	365 MAIN ST, SAN FRANCISCO, CA 94105	View in ACA View in AA

RELATED RECORDS: [1984.249](#)
- [1984.249Z](#)

1982.039

[Planning Information Center](#) Tel: 558-6377

Project Profile (PRJ) Rincon Hill Special Use District

Rincon Hill Special Use District M-1 & P to high-rise residential, mid-rise residential and commercial/industrial

OPENED	STATUS	ADDRESS	FURTHER INFO
1/28/1982	Closed	0 HARRISON ST, SAN FRANCISCO, CA 94105	View in ACA View in AA

RELATED RECORDS: [1982.039](#)
- [1982.039E](#)
- [1982.039M](#)
- [1982.039T](#)
- [1982.039Z](#)

RELATED BUILDING PERMITS: None

1982.039M

[Planning Information Center](#) Tel: 558-6377

General Plan Amendment-LEG (GPA) Rincon Hill Special Use District

Rincon Hill Special Use District M-1 & P to high-rise residential, mid-rise residential and commercial/industrial

OPENED	STATUS	ADDRESS	FURTHER INFO
1/28/1982	Closed	333 01ST ST, #1601, SAN FRANCISCO, CA 94105	View in ACA View in AA

RELATED RECORDS: [1982.039](#)
- [1982.039M](#)

1982.039Z

[Planning Information Center](#) Tel: 558-6377

Zoning Map Amendment-LEG (MAP) Rincon Hill Special Use District

None

Building Permits Report: 15 GUY PL

Applications for Building Permits submitted to the Department of Building Inspection.

BUILDING PERMITS:

Permit:	<u>200407269799</u>
Form:	3 - Alterations With Plans
Filed:	7/26/2004
Address:	15 GUY PL
Parcel:	3749/012
Existing:	1 FAMILY DWELLING
Proposed:	1 FAMILY DWELLING
Existing Units:	0
Proposed Units:	1
Status:	COMPLETE
Status Date:	7/28/2006
Description:	PROVIDE SHORING & UNDERPINNING PER PLAN
Cost:	\$30,000.00

Permit:	<u>200111273855</u>
Form:	8 - Alterations Without Plans
Filed:	11/27/2001 8:36:41 AM
Address:	15 GUY PL
Parcel:	3749/012
Existing:	2 FAMILY DWELLING
Proposed:	2 FAMILY DWELLING
Existing Units:	0
Proposed Units:	0
Status:	EXPIRED
Status Date:	9/12/2003
Description:	REROOFING
Cost:	\$4,500.00

Miscellaneous Permits Report: 15 GUY PL

Depending on the activity being proposed a permit may need to be obtained from the Fire Department, Health Department, Police Department, Alcoholic Beverage Commission or other organization. The Planning Department reviews most applications for these permits in order to ensure compliance with the [Planning Code](#).

MISCELLANEOUS PERMITS REVIEWED BY THE PLANNING DEPT:

None

Complaints Report: 15 GUY PL

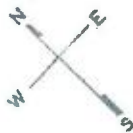
The Planning Department and the Department of Building Inspection operate programs that ensure compliance with the San Francisco [Planning Code](#) and [Building Inspection Commission Codes](#) respectively. Additionally, they respond to customer complaints of potential code violations and initiate fair and unbiased enforcement action to correct those violations and educate property owners to maintain code compliance.

COMPLAINTS - PLANNING DEPT:

None

3749

100 VARA BLK. 349



LOTS MERGE

18/12/94
25/12
18
161
46/19
4
28/10
43/06

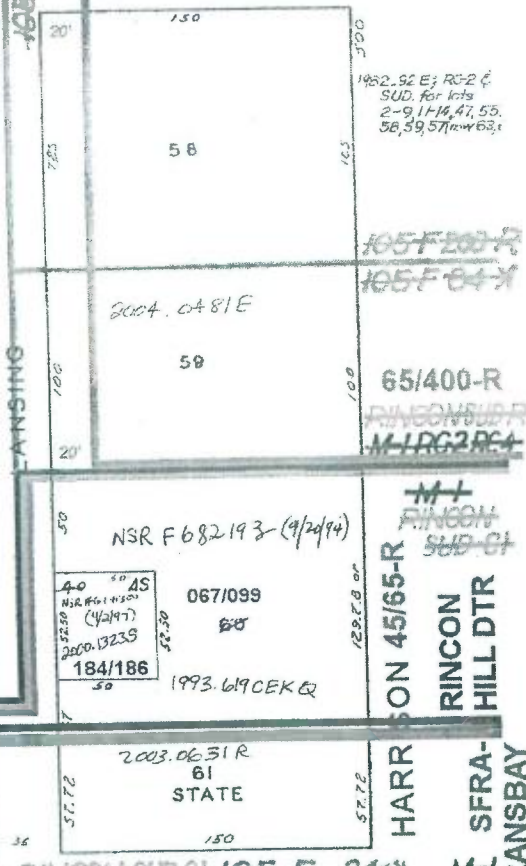
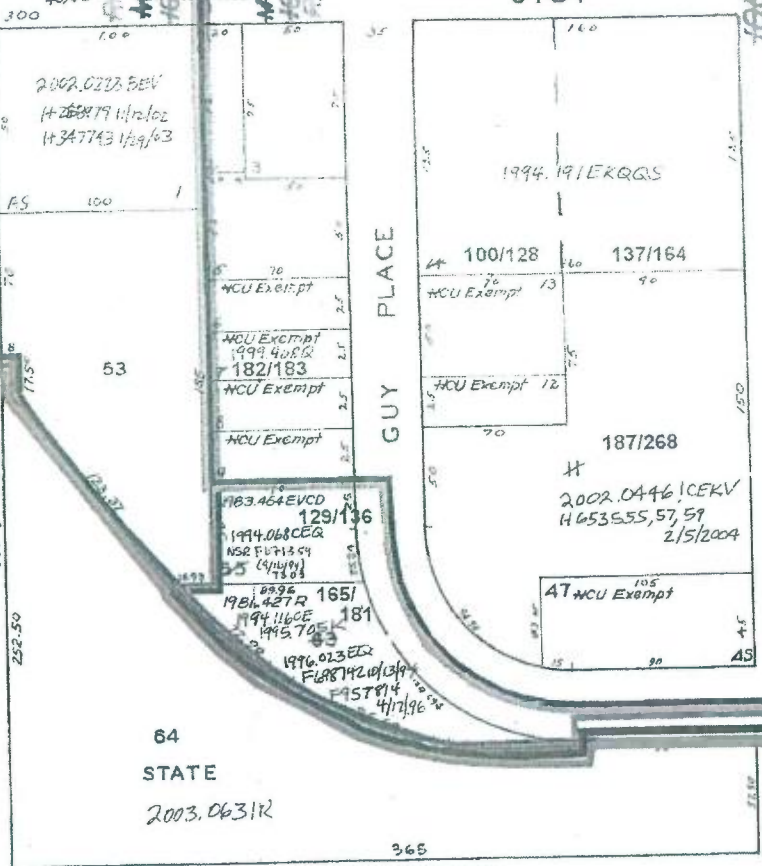
CT> 17, 41, 42, 1819 12 56
1A) 450 = 10-156
B) 271-56

01ST

84-X
45/65-R
SFRA-
RINCON
HILL DTR
M-1 RC2-M

TRANSBAY
HILL DTR
M-1 RC2-M

FOLSOM



M-1 105-F 84-X RINCON SUB-C1

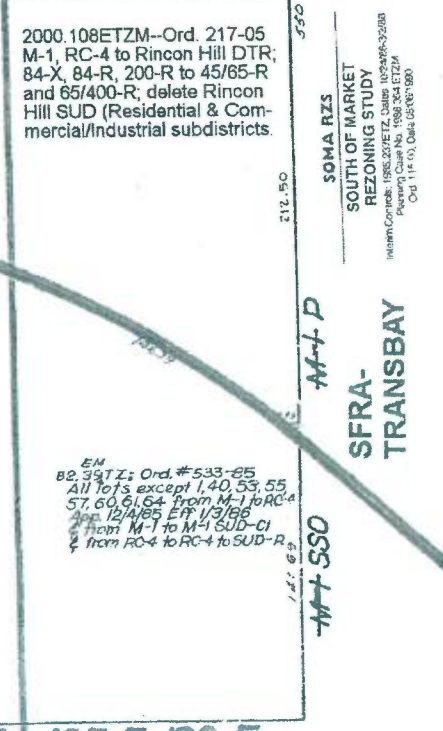
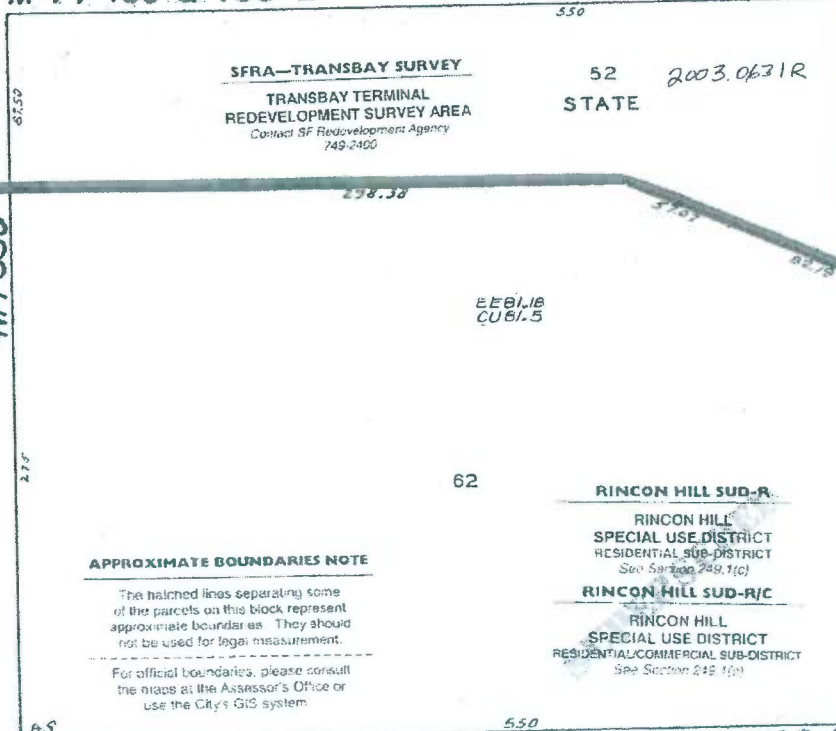
RINCON SUB-C1 105-F 84-X M-1

M-1 P 130-G 130-E

105-F 130-E M-1 P

SFRA-
TRANSBAY

M-1 SSO



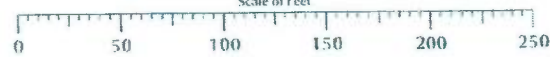
APPROXIMATE BOUNDARIES NOTE

The hatched lines separating some of the parcels on this block represent approximate boundaries. They should not be used for legal measurement.

For official boundaries, please consult the maps at the Assessor's Office or use the City's GIS system.

2 ND

130-G 130-E 105-F 130-E



SOMA RZS
SOUTH OF MARKET
REZONING STUDY
Information: 1586.207ETZ, Order: 102596-2588
Payment: 10/1/00, Date: 05/06/00

M-1 P
SFRA-
TRANSBAY

M-1 SSO

DBI PERMIT HISTORY

NO 3R

Appendix D

SAN FRANCISCO

DEPARTMENT OF BUILDING INSPECTION

BLDG. FORM

No. 317922

APPLICATION OF 3

A. KARAKUMIS, Owner

FOR PERMIT TO MAKE ADDITIONS, ALTERATION or REPAIRS TO BUILDING

Location 15-GUY ST.

Total Cost \$ 4988

DEC 16 1966

Filed 12-16-66

APPROVED:

APPROVED Dept. Public Works

DEC 16 1966

Signature of Superintendent

Superintendent, Bureau of Building Inspection

Permit No. 10785

30 1993

DEC 16 1966

Issued

19

REFER TO:

- Bureau of Engineering
BBI Struct. Engineer
Boiler Inspector
Art Commission
Dept. of Public Health
Dept. of Electricity
Redevelopment Agency
Parking Authority

Approved 1966
Provided the following conditions are complied with:

The approval of this application and issuance of permit applies to specified work only and does not constitute an approval of the building.

Signature of Building Inspector

Building Inspector, Bureau of Building Inspection

I agree to comply with all conditions or stipulations of the various Bureaus or Departments noted herein.

Owner or Owner's Authorized Agent

Approved:

Department of Public Health

Approved:

Department of Electricity

Approved:

Art Commission

Approved:

Boiler Inspector

Approved:

Redevelopment Agency

Approved:

Parking Authority

No portion of building or structure or scaffolding used during construction to be closer than 6'0" to any wire containing more than 750 volts. See Sec. 385 California Penal Code.

Approved by the Department of City Planning... Not reviewed by the Department of City Planning...

Department of City Planning

Approved:

Bureau of Fire Prevention & Public Safety

Approved:

Civil Engineer, Bureau of Building Inspection

Approved:

Bureau of Engineering

OFFICIAL COPY

SAN FRANCISCO

CENTRAL PERMIT BUREAU F436

Write in Ink—File Two Copies

DEPARTMENT OF BUILDING INSPECTION

DEPARTMENT OF PUBLIC WORKS

CITY AND COUNTY OF SAN FRANCISCO

CENTRAL PERMIT BUREAU

APPLICATION FOR BUILDING PERMIT
ADDITIONS, ALTERATIONS OR REPAIRS

3

Application is hereby made to the Department of Public Works of San Francisco for permission to build in accordance with the plans and specifications submitted herewith and according to the description and for the purpose hereinafter set forth:

- (1) Location..... 15 GUY ST.
- (2) Total Cost (\$)..... 490 (3) No. of Stories..... 1 (4) Basement or Cellar..... Yes
yes or no
- (5) Present Use of building..... DWELLING (6) No. of families..... 1
- (7) Proposed Use of building..... SAME (8) No. of families..... 1
- (9) Type of construction..... 5 (10) 18
1, 2, 3, 4 or 5 Proposed Building Code Classification
- (11) Any other building on lot..... Yes (must be shown on plot plan if answer is yes.)
yes or no
- (12) Does this alteration create an additional story to the building?..... No
yes or no
- (13) Does this alteration create a horizontal extension to the building?..... No
yes or no
- (14) Does this alteration constitute a change of occupancy..... No
yes or no
- (15) Electrical work to be performed..... No (16) Plumbing work to be performed..... No
yes or no
- (17) Automobile runway to be altered or installed..... No
yes or no
- (18) Sidewalk over sub-sidewalk space to be repaired or altered..... No
yes or no
- (19) Will street space be used during construction?..... No
yes or no
- (20) Write in description of all work to be performed under this application:
(Reference to plans is not sufficient)

ASBESTOS SIDING ON SIDE A BACK
OF BUILDING.

- (21) Supervision of construction by..... COAST CONSTRUCTION CO. Address.....
903 HARRISON ST. EX. 7-1181
- (22) General Contractor..... SAN FRANCISCO 7, CALIF. California License No. 77198
Address.....
- (23) Architect or Engineer..... California Certificate No.....
(for design) Address.....
- (24) Architect or Engineer..... California Certificate No.....
(for construction) Address.....

(25) I hereby certify and agree that if a permit is issued for the construction described in this application, all the provisions of the permit and all laws and ordinances applicable thereto will be complied with. I further agree to save San Francisco and its officials and employees harmless from all costs and damages which may accrue from use or occupancy of the sidewalk, street or subsidewalk space or from anything else in connection with the work included in the permit. The foregoing covenant shall be binding upon the owner of said property, the applicant, their heirs, successors and assignees.

- (26) Owner..... A. KARAKUNIS. (Phone.....)
Address..... 15 GUY ST. COAST CONSTRUCTION CO. Agent by Bureau
903 HARRISON ST. EX. 7-1181
By..... [Signature] Address..... SAN FRANCISCO 7, CALIF.

Owner's Authorized Agent to be Owner's Authorized Architect, Engineer or General Contractor.
CERTIFICATE OF FINAL COMPLETION AND/OR PERMIT OF OCCUPANCY MUST BE OBTAINED ON COMPLETION OF WORK OR ALTERATION INVOLVING AN ENLARGEMENT OF THE BUILDING OR A CHANGE OF OCCUPANCY PURSUANT TO SEC. 808 AND 809, SAN FRANCISCO BUILDING CODE, BEFORE BUILDING IS OCCUPIED.

Pursuant to Sec. 304, San Francisco Building Code, the building permit shall be posted on job. Owner is responsible for approved plans and application being kept at building site.

APPROVAL OF THIS APPLICATION DOES NOT CONSTITUTE AN APPROVAL FOR THE ELECTRICAL WIRING OR PLUMBING INSTALLATIONS. A SEPARATE PERMIT FOR THE WIRING AND PLUMBING MUST BE OBTAINED.

THIS IS NOT A BUILDING PERMIT. NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT IS ISSUED.

OFFICIAL COPY



APPROVE

Dept. of Building Insp.

NO COMPLAINTS - 6 2004

04-107

Will [Signature] DIRECTOR DEPT OF BUILDING INSPECTION

APPROVED FOR ISSUANCE

BLDG FORM 318 2004/07/26/0799 APPLICATION NUMBER

OSHA APPROVAL RECORD APPROVAL NUMBER: []

APPLICATION FOR BUILDING PERMIT ADDITIONS, ALTERATIONS OR REPAIRS

CITY AND COUNTY OF SAN FRANCISCO DEPARTMENT OF BUILDING INSPECTION

FORM 3 [X] OTHER AGENCIES REVIEW REQUIRED FORM 8 [] OVER-THE COUNTER ISSUANCE 2 + Soil Reports + Notes NUMBER OF PLAN SETS

APPLICATION IS HEREBY MADE TO THE DEPARTMENT OF BUILDING INSPECTION OF SAN FRANCISCO FOR PERMISSION TO BUILD IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS SUBMITTED HERewith AND ACCORDING TO THE DESCRIPTION AND FOR THE PURPOSE HEREINAFTER SET FORTH.

DO NOT WRITE ABOVE THIS LINE

DATE FILED 7/26/04 FILING FEE RECEIPT NO. 340494 (1) STREET ADDRESS OF JOB 15 Guy PI 3749/012 BLOCK & LOT PERMIT NO. 1032496 ISSUED 8-6-2004 (2A) ESTIMATED COST OF JOB \$20,000.00 (2B) REVISED COST: BY: TCH DATE: 8/5/04

INFORMATION TO BE FURNISHED BY ALL APPLICANTS

LEGAL DESCRIPTION OF EXISTING BUILDING

(4A) TYPE OF CONSTR. V (5A) NO. OF STORIES OF OCCUPANCY: 2 (6A) NO. OF BASEMENTS AND CELLARS: 0 (7A) PRESENT USE: Single Dwelling Unit (8A) OCCUP. CLASS: R-3 (9A) NO. OF DWELLING UNITS: 1

DESCRIPTION OF BUILDING AFTER PROPOSED ALTERATION

(4) TYPE OF CONSTR. V (5) NO. OF STORIES OF OCCUPANCY: 2 (6) NO. OF BASEMENTS AND CELLARS: 0 (7) PROPOSED USE (LEGAL USE): Single Dwelling Unit (8) OCCUP. CLASS: R-3 (9) NO. OF DWELLING UNITS: 1

(10) IS AUTO RUNWAY TO BE CONSTRUCTED OR ALTERED? YES [] NO [X] (11) WILL STREET SPACE BE USED DURING CONSTRUCTION? YES [] NO [X] (12) ELECTRICAL WORK TO BE PERFORMED? YES [] NO [X] (13) PLUMBING WORK TO BE PERFORMED? YES [] NO [X]

(14) GENERAL CONTRACTOR To Be Selected ADDRESS 16 Guy Place, SF, CA 94105 PHONE 863-3688 CALIF. LIC. NO. EXPIRATION DATE

(15) OWNER - LESSEE (CROSS OUT ONE) Robert Donely 16 Guy Place, SF, CA 94105 BTRC# 863-3688 PHONE (FOR CONTACT BY DEPT.)

(16) WRITE IN DESCRIPTION OF ALL WORK TO BE PERFORMED UNDER THIS APPLICATION (REFERENCE TO PLANS IS NOT SUFFICIENT) Provide shoring and underpinning per plan

ADDITIONAL INFORMATION

(17) DOES THIS ALTERATION CREATE ADDITIONAL HEIGHT OR STORY TO BUILDING? YES [] NO [X] (18) IF (17) IS YES, STATE NEW HEIGHT AT CENTER LINE OF FRONT FT. (19) DOES THIS ALTERATION CREATE DECK OR HORIZ. EXTENSION TO BUILDING? YES [] NO [X] (20) IF (19) IS YES, STATE NEW GROUND FLOOR AREA SQ. FT. (21) WILL SIDEWALK OVER SUB-SIDEWALK SPACE BE REPAIRED OR ALTERED? YES [] NO [X] (22) WILL BUILDING EXTEND BEYOND PROPERTY LINE? YES [] NO [X] (23) ANY OTHER EXISTING BLDG. ON LOT? (IF YES, SHOW ON PLOT PLAN) YES [] NO [X] (24) DOES THIS ALTERATION CONSTITUTE A CHANGE OF OCCUPANCY? YES [] NO [X]

(25) ARCHITECT OR ENGINEER (DESIGN [] CONSTRUCTION [X]) Sure Engineers, Inc. 640 Bancroft Ave, San Leandro, CA 94577 CALIF. CERTIFICATE NO. C-2900

(26) CONSTRUCTION LENDER (ENTER NAME AND BRANCH DESIGNATION IF ANY, IF THERE IS NO KNOWN CONSTRUCTION LENDER, ENTER "UNKNOWN") Unknown

IMPORTANT NOTICES

No change shall be made in the character of the occupancy or use without first obtaining a Building Permit... No portion of building or structure or scaffolding used during construction, to be closer than 6' to any wire containing more than 750 volts... Pursuant to San Francisco Building Code, the building permit shall be posted on the job... Grade lines as shown on drawings accompanying this application are assumed to be correct... ANY STIPULATION REQUIRED HEREIN OR BY CODE MAY BE APPEALED. BUILDING NOT TO BE OCCUPIED UNTIL CERTIFICATE OF FINAL COMPLETION IS POSTED ON THE BUILDING OR PERMIT OF OCCUPANCY GRANTED, WHEN REQUIRED. APPROVAL OF THIS APPLICATION DOES NOT CONSTITUTE AN APPROVAL FOR THE ELECTRICAL WIRING OR PLUMBING INSTALLATIONS... THIS IS NOT A BUILDING PERMIT. NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT IS ISSUED. In dwellings all insulating materials must have a clearance of not less than two inches from all electrical wires or equipment.

CHECK APPROPRIATE BOX [] OWNER [] ARCHITECT [] LESSEE [] AGENT [] CONTRACTOR [] ENGINEER

APPLICANT'S CERTIFICATION

I HEREBY CERTIFY AND AGREE THAT IF A PERMIT IS ISSUED FOR THE CONSTRUCTION DESCRIBED IN THIS APPLICATION, ALL THE PROVISIONS OF THE PERMIT AND ALL LAWS AND ORDINANCES THERETO WILL BE COMPLIED WITH.

NOTICE TO APPLICANT

HOLD HARMLESS CLAUSE. The permittee(s) by acceptance of the permit, agree(s) to indemnify and hold harmless the City and County of San Francisco from and against any and all claim, demands and actions for damages resulting from operations under this permit... In conformity with the provisions of Section 3800 of the Labor Code of the State of California, the applicant shall have coverage under (i), or (ii) designated below or shall indicate item (iii), or (iv), or (v), whichever is applicable... I hereby affirm under penalty of perjury one of the following declarations: () I. I have and will maintain a certificate of consent to self-insure for worker's compensation... () II. I have and will maintain workers' compensation insurance... () III. The cost of the work to be done is \$100 or less. (X) IV. I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California... (X) V. I certify as the owner (or the agent for the owner) that in the performance of the work for which this permit is issued, I will employ a contractor who complies with the workers' compensation laws of California and who, prior to the commencement of any work, will file a completed copy of this form with the Central Permit Bureau.

Signature of Applicant or Agent [Signature] Date 7/26/04

OFFICIAL COPY

SAN FRANCISCO

CONDITIONS AND STIPULATIONS

DEPARTMENT OF BUILDING INSPECTION

REFER TO: APPROVED: [Handwritten notes and stamps: TOM C. HUI, DBI, AUG 05 2004, As noted on plans]

APPROVED: [Handwritten: N/A - DEPARTMENT OF CITY PLANNING]

APPROVED: [Handwritten: N/A - BUREAU OF FIRE PREVENTION & PUBLIC SAFETY]

APPROVED: [Handwritten: N/A - MECHANICAL ENGINEER, DEPT. OF BLDG. INSPECTION]

APPROVED: [Handwritten: SPECIAL INSPECTIONS AND TESTS ARE REQUIRED AS PER BUILDING CODE SECTION 1701 - CIVIL ENGINEER, DEPT. OF BLDG INSPECTION]

APPROVED: [Handwritten: N/A - BUREAU OF ENGINEERING]

APPROVED: [Handwritten: N/A - DEPARTMENT OF PUBLIC HEALTH]

APPROVED: [Handwritten: N/A - REDEVELOPMENT AGENCY]

APPROVED: [Handwritten: N/A - HOUSING INSPECTION DIVISION]

DATE: REASON: NOTIFIED MR.

DATE: REASON: NOTIFIED MR.

DATE: REASON: NOTIFIED MR.

DATE: REASON: NOTIFIED MR.

DATE: REASON: NOTIFIED MR.

DATE: REASON: NOTIFIED MR.

DATE: REASON: NOTIFIED MR.

DATE: REASON: NOTIFIED MR.

DATE: REASON: NOTIFIED MR.

HOLD SECTION - NOTE DATES AND NAMES OF ALL PERSONS NOTIFIED DURING PROCESSING

I agree to comply with all conditions or stipulations of the various bureaus or department noted on this application, and attached statements of conditions or stipulations, which are hereby made a part of this application.

Number of attachments []

OWNER'S AUTHORIZED AGENT [Signature]

OFFICIAL COPY

SAN FRANCISCO REROOFING

REQUESTS FOR REQUIRED REROOFING INSPECTION MAY BE MADE DAY OR NIGHT BY CALLING 415-558-6091

DEPARTMENT OF BUILDING INSPECTION
SEPARATE PERMIT REQUIRED IF USING LIQUEFIED PETROLEUM GAS (LPG) OR PROPANE (LPG) AT 200 GOLDEN GATE AVE. RM 327. PHONE 661-1111. EXT 310. APPLICANT RESPONSIBLE FOR STREET USE PERMITS.

APPROVED

Dept of Building Insp.

NOV 27 2001

DIRECTOR

DEPT OF BUILDING INSPECTION

APPROVED FOR ISSUANCE

BLDG. FORM 818
NOV 27 2001

APPROVAL NUMBER: 0011/27/388

OSHA APPROVAL REC'D APPROVAL NUMBER:

No records available -

APPLICATION FOR BUILDING PERMIT ADDITIONS, ALTERATIONS OR REPAIRS

FORM 3 OTHER AGENCIES REVIEW REQUIRED

FORM 8 OVER-THE-COUNTER ISSUANCE

NUMBER OF PLAN SETS: *919*

DO NOT WRITE ABOVE THIS LINE

CITY AND COUNTY OF SAN FRANCISCO DEPARTMENT OF BUILDING INSPECTION

APPLICATION IS HEREBY MADE TO THE DEPARTMENT OF BUILDING INSPECTION OF SAN FRANCISCO FOR PERMISSION TO BUILD IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS SUBMITTED HERewith AND ACCORDING TO THE DESCRIPTION AND FOR THE PURPOSE HEREINAFTER SET FORTH.

DATE FILED: <i>11/27/01</i>	FILED FEE RECEIPT NO.	(1) STREET ADDRESS OF JOB: <i>15 GUY STREET</i>	BLOCK & LOT: <i>3749-12</i>
PERMIT NO.: <i>953980</i>	ISSUED: <i>11/27/2001</i>	(2A) ESTIMATED COST OF JOB: <i>\$ 4,500.00</i>	(2B) REVISED COST:

INFORMATION TO BE FURNISHED BY ALL APPLICANTS

LEGAL DESCRIPTION OF EXISTING BUILDING				(8A) OCCUP. CLASS: <i>R-3</i>	(8B) NO. OF DWELLING UNITS: <i>2</i>
(4A) TYPE OF CONSTR.: <i>VN</i>	(5A) NO. OF STORIES OF OCCUPANCY: <i>3</i>	(6A) NO. OF BASEMENTS AND CELLARS: <i>0</i>	(7A) PRESENT USE:		
DESCRIPTION OF BUILDING AFTER PROPOSED ALTERATION				(8) OCCUP. CLASS: <i>R-3</i>	(8B) NO. OF DWELLING UNITS: <i>2</i>
(4) TYPE OF CONSTR.: <i>VN</i>	(5) NO. OF STORIES OF OCCUPANCY: <i>3</i>	(6) NO. OF BASEMENTS AND CELLARS: <i>0</i>	(7) PROPOSED USE (LEGAL USE):		
(10) IS AUTO RUNWAY TO BE CONSTRUCTED OR ALTERED?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(11) WILL STREET SPACE BE USED DURING CONSTRUCTION?	BOND ON FILE YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	(12) ELECTRICAL WORK TO BE PERFORMED?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
(14) GENERAL CONTRACTOR: <i>K & J ROOFING CO.</i>	ADDRESS: <i>2621 MERION DR SAN BRUNO CA. 94066</i>	PHONE: <i>873-8446</i>	CALIF. LIC. NO.: <i>341930</i>	EXPIRATION DATE: <i>2-28-02</i>	
(15) OWNER: <i>ROBERT J. DONNELK</i>	ADDRESS: <i>15 GUY STREET SAN FRANCISCO CA.</i>	PHONE: <i>415 957-1592</i>			
(16) WRITE IN DESCRIPTION OF ALL WORK TO BE PERFORMED UNDER THIS APPLICATION (REFERENCE TO PLANS IS NOT SUFFICIENT)					
<i>SWEEP OLD ROOF CLEAN OF OLD GRAVEL AND DIRT</i>					
<i>INSTALL 2-LAYERS OF FIBERGLASS BASE SHEET 28 LB.</i>					
<i>INSTALL 1-LAYER OF MODIFIED ROOFING MATERIAL.</i>					
<i>INSTALL 30 YR FIBERGLASS SHINGLES ON FRONT.</i>					
ADDITIONAL INFORMATION					
(17) DOES THIS ALTERATION CREATE ADDITIONAL HEIGHT OR STORY TO BUILDING?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(18) IF (17) IS YES, STATE NEW HEIGHT AT CENTER LINE OF FRONT FT.	(19) DOES THIS ALTERATION CREATE DECK OR HORZ. EXTENSION TO BUILDING?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(20) IF (19) IS YES, STATE NEW GROUND FLOOR AREA SQ. FT.
(21) WILL SIDEWALK OVER SUB-SIDEWALK SPACE BE REPAIRED OR ALTERED?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(22) WILL BUILDING EXTEND BEYOND PROPERTY LINE?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(23) ANY OTHER COMMENTS: <i>REROOFING</i>	(24) DOES THIS ALTERATION CONSTITUTE A CHANGE OF OCCUPANCY?
(25) ARCHITECT OR ENGINEER (DESIGN OR CONSTRUCTION):					
PLEASE CALL THE BUILDING INSPECTION DIVISION, 558-6090 FOR A FINAL INSPECTION APPOINTMENT. NEW LIGHTS					

IMPORTANT NOTICES

No change shall be made in the character of the occupancy or use without first obtaining a Building Permit authorizing such change. See San Francisco Building Code and San Francisco Housing Code.

No portion of building or structure or scaffolding used during construction, to be closer than 6'0" to any wire containing more than 750 volts. See Sec. 385, California Penal Code.

Pursuant to San Francisco Building Code, the building permit shall be posted on the job. The owner is responsible for approved plans and application being kept at building site.

Grade lines as shown on drawings accompanying this application are assumed to be correct. If actual grade lines are not the same as shown revised drawings showing correct grade lines, cuts and fills together with complete details of retaining walls and wall footings required must be submitted to this department for approval.

ANY STIPULATION REQUIRED HEREIN OR BY CODE MAY BE APPEALED.

BUILDING NOT TO BE OCCUPIED UNTIL CERTIFICATE OF FINAL COMPLETION IS POSTED ON THE BUILDING OR PERMIT OF OCCUPANCY GRANTED, WHEN REQUIRED.

APPROVAL OF THIS APPLICATION DOES NOT CONSTITUTE AN APPROVAL FOR THE ELECTRICAL WIRING OR PLUMBING INSTALLATIONS. A SEPARATE PERMIT FOR THE WIRING AND PLUMBING MUST BE OBTAINED. SEPARATE PERMITS ARE REQUIRED IF ANSWER IS 'YES' TO ANY OF ABOVE QUESTIONS (10) (11) (12) (13) (22) OR (24).

THIS IS NOT A BUILDING PERMIT. NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT IS ISSUED.

In dwellings all insulating materials must have a clearance of not less than two inches from all electrical wires or equipment.

CHECK APPROPRIATE BOX
 OWNER ARCHITECT
 LESSEE AGENT
 CONTRACTOR ENGINEER

APPLICANT'S CERTIFICATION

I HEREBY CERTIFY AND AGREE THAT IF A PERMIT IS ISSUED FOR THE CONSTRUCTION DESCRIBED IN THIS APPLICATION, ALL THE PROVISIONS OF THE PERMIT AND ALL LAWS AND ORDINANCES THERETO WILL BE COMPLIED WITH.

9003-03 (REV. 1/96)

NOTICE TO APPLICANT

HOLD HARMLESS CLAUSE: The permittee(s) by acceptance of the permit, agree(s) to indemnify and hold harmless the City and County of San Francisco from and against any and all claims, demands and actions for damages resulting from operations under this permit, regardless of negligence of the City and County of San Francisco, and to assume the defense of the City and County of San Francisco against all such claims, demands or actions.

In conformity with the provisions of Section 3800 of the Labor Code of the State of California, the applicant shall have coverage under (I), or (II) designated below or shall indicate item (III), or (IV), or (V), whichever is applicable. If however item (V) is checked item (IV) must be checked as well. Mark the appropriate method of compliance below:

I hereby affirm under penalty of perjury, one of the following declarations:

() I. I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

(X) II. I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier: *STATE FUND*
Policy Number: *713-01 VM T0005006*

() III. The cost of the work to be done is \$100 or less.

() IV. I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California. I further acknowledge that I understand that in the event that I should become subject to the workers' compensation provisions of the Labor Code of California and fail to comply therewith with the provisions of Section 3800 of the Labor Code, that the permit herein applied for shall be deemed revoked.

() V. I certify as the owner (or the agent for the owner) that in the performance of the work for which this permit is issued, I will employ a contractor who complies with the workers' compensation laws of California and who, prior to the commencement of any work, file a completed copy of this form with the Central Permit Bureau.

Signature of Applicant or Agent: *[Signature]* Date: *27 NOV 2001*

OFFICIAL COPY

SAN FRANCISCO

CONDITIONS AND STIPULATIONS

DEPARTMENT OF BUILDING INSPECTION

REFER TO:

APPROVED: CONTRACT DISTRICT INSPECTOR NAMED ON FACE OF APPLICATION AT STAMP OR SIGNATURE OF DISTRICT INSPECTOR. THIS APPLICATION IS APPROVED WITHOUT DISTRICT INSPECTION AND DOES NOT CONSTITUTE AN APPROVAL OF THE BUILDING WORK AUTHORIZED MUST BE DONE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODE.

Any electrical or plumbing work will require appropriate separate permits.

Andrew Greene
BUILDING INSPECTOR, DEPT. OF BLDG. INSP. 4/27/09

DATE: _____
REASON: _____
NOTIFIED MR. _____

APPROVED:
DEPARTMENT OF CITY PLANNING

DATE: _____
REASON: _____
NOTIFIED MR. _____

APPROVED:
BUREAU OF FIRE PREVENTION & PUBLIC SAFETY

DATE: _____
REASON: _____
NOTIFIED MR. _____

APPROVED:
CIVIL ENGINEER, DEPT. OF BLDG. INSPECTION

DATE: _____
REASON: _____
NOTIFIED MR. _____

APPROVED:
BUREAU OF ENGINEERING

DATE: _____
REASON: _____
NOTIFIED MR. _____

APPROVED:
DEPARTMENT OF PUBLIC HEALTH

DATE: _____
REASON: _____
NOTIFIED MR. _____

APPROVED:
REDEVELOPMENT AGENCY

DATE: _____
REASON: _____
NOTIFIED MR. _____

APPROVED:
HOUSING INSPECTION DIVISION

DATE: _____
REASON: _____
NOTIFIED MR. _____

HOLD SECTION — NOTE DATES AND NAMES OF ALL PERSONS NOTIFIED DURING PROCESSING

I agree to comply with all conditions or stipulations of the various bureaus or departments noted on this application, and attached statements of conditions or stipulations, which are hereby made a part of this application.

Number of attachments

OWNER'S AUTHORIZED AGENT



NOTICE OF VIOLATION

of the San Francisco Municipal Codes Regarding Unsafe,
Substandard or Noncomplying Structure or Land or Occupancy

DEPARTMENT OF BUILDING INSPECTION
City and County of San Francisco
1660 Mission St. San Francisco, CA 94103

NOTICE: 1

NUMBER: 201177778
DATE: 18-DEC-11

ADDRESS: 15 GUY PL
OCCUPANCY/USE: ()

BLOCK: 3749 LOT: 012

If checked, this information is based upon site-observation only. Further research may indicate that legal use is different. If so, a revised Notice of Violation will be issued.

OWNER/AGENT: FRASER CLAUDIA M
MAILING FRASER CLAUDIA M
ADDRESS 77 SOLANO SQUIRE#248
BENICIA CA

PHONE #: --

94510

PERSON CONTACTED @ SITE:

PHONE #: --

VIOLATION DESCRIPTION:

	CODE/SECTION#
<input type="checkbox"/> WORK WITHOUT PERMIT	106.1.1
<input type="checkbox"/> ADDITIONAL WORK-PERMIT REQUIRED	106.4.7
<input type="checkbox"/> EXPIRED OR <input type="checkbox"/> CANCELLED PERMIT PA#:	106.4.4
<input checked="" type="checkbox"/> UNSAFE BUILDING <input type="checkbox"/> SEE ATTACHMENTS	102.1

a deck and stair structure located on the west side of the building is an unsafe condition. The support for the deck appears to be temporary. Also, part of the support is in a state of disrepair. The deck is connected to formwork which was left in place following the construction of the adjacent building at 40-50 Lansing St. (PA #200312162438, NOV #200926808, #201190414). At rear of property, a deck has been removed and a fall hazard now exists. (SFBC 102A)

CORRECTIVE ACTION:

- STOP ALL WORK SFBC 104.2.4 415-558-6656
- FILE BUILDING PERMIT WITHIN 30 DAYS (WITH PLANS) A copy of This Notice Must Accompany the Permit Application
- OBTAIN PERMIT WITHIN 60 DAYS AND COMPLETE ALL WORK WITHIN 90 DAYS, INCLUDING FINAL INSPECTION SIGNOFF.
- CORRECT VIOLATIONS WITHIN DAYS. NO PERMIT REQUIRED
- YOU FAILED TO COMPLY WITH THE NOTICE(S) DATED , THEREFORE THIS DEPT. HAS INITIATED ABATEMENT PROCEEDINGS.

● FAILURE TO COMPLY WITH THIS NOTICE WILL CAUSE ABATEMENT PROCEEDINGS TO BEGIN.
SEE ATTACHMENT FOR ADDITIONAL WARNINGS.

Obtain a building permit with Planning Department approval for the replacement of the deck at side of property. Rebuild in kind the deck or landing that existed at the rear of the property. Provide temporary access to property. Sequence of work should be coordinated with property owner of 40/50 Lansing.

INVESTIGATION FEE OR OTHER FEE WILL APPLY

- 9x FEE (WORK W/O PERMIT AFTER 9/1/60) 2x FEE (WORK EXCEEDING SCOPE OF PERMIT)
- OTHER: REINSPECTION FEE \$ NO PENALTY
(WORK W/O PERMIT PRIOR TO 9/1/60)

APPROX. DATE OF WORK W/O PERMIT

VALUE OF WORK PERFORMED W/O PERMITS \$

BY ORDER OF THE DIRECTOR, DEPARTMENT OF BUILDING INSPECTION

CONTACT INSPECTOR: Joseph P Duffy

PHONE # 415-558-6656

DIVISION: BID

DISTRICT :

By:(Inspectors's Signature) _____



NOTICE OF VIOLATION

of the San Francisco Municipal Codes Regarding Unsafe,
Substandard or Noncomplying Structure or Land or Occupancy

DEPARTMENT OF BUILDING INSPECTION
 City and County of San Francisco
 1660 Mission St. San Francisco, CA 94103

NOTICE: 2

NUMBER: 201177778

DATE: 06-MAY-13

ADDRESS: 15 GUY PL

OCCUPANCY/USE: ()

BLOCK: 3749 LOT: 012

If checked, this information is based upon site-observation only. Further research may indicate that legal use is different. If so, a revised Notice of Violation will be issued.

OWNER/AGENT: FRASER CLAUDIA M
 MAILING: FRASER CLAUDIA M
 ADDRESS: 77 SOLANO SQUIRE#248
 BENICIA CA

PHONE #: --

94510

PERSON CONTACTED @ SITE: FRASER CLAUDIA M

PHONE #: --

VIOLATION DESCRIPTION:

VIOLATION DESCRIPTION:	CODE/SECTION#
<input checked="" type="checkbox"/> WORK WITHOUT PERMIT	106.1.1
<input type="checkbox"/> ADDITIONAL WORK-PERMIT REQUIRED	106.4.7
<input type="checkbox"/> EXPIRED OR <input type="checkbox"/> CANCELLED PERMIT PA#:	106.4.4
<input checked="" type="checkbox"/> UNSAFE BUILDING <input type="checkbox"/> SEE ATTACHMENTS	102.1

You have failed to comply with Notice of Violations dated 12/18/11. Therefore this Department has initiated abatement proceedings against the property. San Francisco Building Code 106.1.1, 106.4.7, 106.4.4 & 102.1

CORRECTIVE ACTION:

STOP ALL WORK SFBC 104.2.4

FILE BUILDING PERMIT WITHIN DAYS (WITH PLANS) A copy of This Notice Must Accompany the Permit Application

OBTAIN PERMIT WITHIN DAYS AND COMPLETE ALL WORK WITHIN DAYS, INCLUDING FINAL INSPECTION AND SIGNOFF.

CORRECT VIOLATIONS WITHIN DAYS. NO PERMIT REQUIRED

YOU FAILED TO COMPLY WITH THE NOTICE(S) DATED 18-DEC-11, THEREFORE THIS DEPT. HAS INITIATED ABATEMENT PROCEEDINGS.

- FAILURE TO COMPLY WITH THIS NOTICE WILL CAUSE ABATEMENT PROCEEDINGS TO BEGIN.
 SEE ATTACHMENT FOR ADDITIONAL WARNINGS.

You will be notified the time, date & place of the Director's hearing by code Enforcement Division.

INVESTIGATION FEE OR OTHER FEE WILL APPLY

9x FEE (WORK W/O PERMIT AFTER 9/1/60) 2x FEE (WORK EXCEEDING SCOPE OF PERMIT)

OTHER: REINSPECTION FEE \$ NO PENALTY
 (WORK W/O PERMIT PRIOR TO 9/1/60)

APPROX. DATE OF WORK W/O PERMIT

VALUE OF WORK PERFORMED W/O PERMITS \$

BY ORDER OF THE DIRECTOR, DEPARTMENT OF BUILDING INSPECTION

CONTACT INSPECTOR: Mauricio E Hernandez

PHONE # --

DIVISION: BID

DISTRICT :

By: (Inspectors's Signature) _____

Appendix E

WATER DEPARTMENT

Appendix E

The following Regulations have been duly adopted by resolution of the Board of Trustees of the Spring Valley Water Works, and considered a part of this agreement. They are to be strictly observed by consumers of Spring Valley Water, and considered a part of this agreement.

- 1 In all cases of non payment of The water rent within three days after the presentation of the bill, the supply will be cut off, and the water again be let on either for the present or any subsequent occupant, except upon the payment of the amount due, together with the sum of two dollars, provided that the water is not cut off for the fractional parts of the month, where the water has been let on it may be cut off immediately, after notice given at the place that the rent is not paid, and may be let on again upon the condition before mentioned.
- 2 No person or family supplied with Spring Valley Water will be permitted to use the water for any other purpose than that stated in this agreement, nor to supply water in any way to other persons or families.
- 3 Consumers shall prevent all unnecessary waste of water, and shall make no concealment of the purposes for which it is used.
- 4 No alteration shall be made in any water pipe or fixture without first giving notice of the intended alteration at the office of the Company.
- 5 In all cases where water is to be supplied to several parties or tenants from one connection or tap, the Company contracts only with one of said several parties, and on his default to abide by these regulations and pay the rates, will cut off the connection.
- 6 Whenever any of these regulations shall be violated the supply of water will be discontinued and not resumed until all charges and expenses are satisfied.
- 7 All persons taking water shall keep the service pipes in good repair, at their own expense, and they will be held liable for all damages which may result from their failure to do so.
- 8 Street Sprinkling with hose and standing Irrigators will not be allowed under any circumstances.
- 9 The inspector or other properly authorized officer of the Company shall be admitted at all reasonable hours to all parts of any premises supplied with water, to see that these regulations are observed.
- 10 The Company does not guarantee to deliver water under this application more than ten feet above the street.

No

Date of Supply,

18

APPLICATION and AGREEMENT.

I hereby agree to take water from the Spring Valley Water Works, at the

Rate of _____ per month, payable monthly in advance, in U. S. Gold Coin. For

1 family

15 Guy Place S.S. 177. N 1st

and in default of such payment punctually made in advance, or if the above regulations are in any respect violated, the said Spring Valley Water Works may disconnect the water at my own cost and charges, according to the above regulations, of which I have been duly notified.

Service Connection

GENERAL RATE	41	Size Building	655	Sq Feet	1	Stories
"		"		"		"
"		"		"		"
"		"		"		"
"		"		"		"
SPECIAL RATES						
Stores @						
Wash Trays						
Wash Basins	05					
Boarders and Lodgers						
Baths	52					
Water Closets	22					
Urinals						
Cows						
Horses						
Horse Trough						
Sq Yds Irrigation						
Total	100					

Bill, \$

1.00
4/19/18

And I hereby covenant and agree that I will protect and save harmless the said corporation from all claims for damage occasioned by the bursting of any of the pipes used for the supply of water under this application.

J. P. Rosine

L. Steinman
7/06

San Francisco,

Nov 7 1862

DEC 5 1918

Application for Service Installation

LOCATION 15 Guy Place STREET

TO THE SPRING VALLEY WATER COMPANY.

You are hereby requested and authorized to make service installation for water supply at _____

for account of _____

(Signed) _____ Owner

By _____ Architect-Plumber-Agent

NOTE This order covers service installation only, a separate order is required for supply

Form 88 75M Oct. 1918

40724
 28-2320-
 3-2320
 4462904-5/1-
 1122-159

APPENDIX F

COST STUDY REPAIR Vs REPLACE

Buscovich And Buscovich

235 MONTGOMERY STREET, SUITE 843, SAN FRANCISCO, CALIFORNIA 94104-2906 • TEL: (415) 788-2708 FAX: (415) 788-8653

October 13, 2014

Re: 15 Guy Pl

Job Number: 14.177

COST ESTIMATE

New perimeter foundation (Damage 67'-11")	191'-8" @\$300/LF =	\$57,510
New caisson	1-20 G.B. *\$3,000/EA =	\$60,000
	21-26 Footing *\$3,500/EA =	\$21,000
	L=15' @ \$200/LF = \$3000/EA	
	Footing 15 x \$200/LF + CAP \$ 500 = 3,500	

		\$138,510	→ 138,510
	18% P/O	\$24,932	
24,932 ←		\$163,450	
3600 ←	Shore (Ignore damage)	\$20,000	→ 20,000
	18% p/O	\$3,600	
1800 ←	MEP disconnect/Repair	\$10,000	→ 10,000
	18% p/O	\$1,800	
30,332 ←		\$11,800	→ 168,510
	Permit Fee	\$3,000	
5400 ←	18% Mark up	\$540	→ 3000
30,872 ←		\$202,392	→ 171,510
	<u>Existing House</u>		

Garage 417 SF x \$120/Φ	\$50,040
First floor habitable 1198 SF x \$240/Φ	\$287,520
	<u>\$337,560</u>

$$\frac{202,390}{337,560} = 60\%$$

UNIT COST

PERIMETER FOOTING * 300/LF
 #1 - #20 CAISSON 15' DEEP @ 200/FT = *3000/CAISSON
 #21 - #26 CAISSON *3000 + *500 CAP = *3500/CAISSON

December 29, 2015

RE: 15 Guy Pl - Soundness
Option 2

Job Number: 14.177

Cost to repair

The **cost of repair** (option 2) is materially different then the **cost of replace** (option 1). Option 1/replace required the following task and associated cost.

Option 1

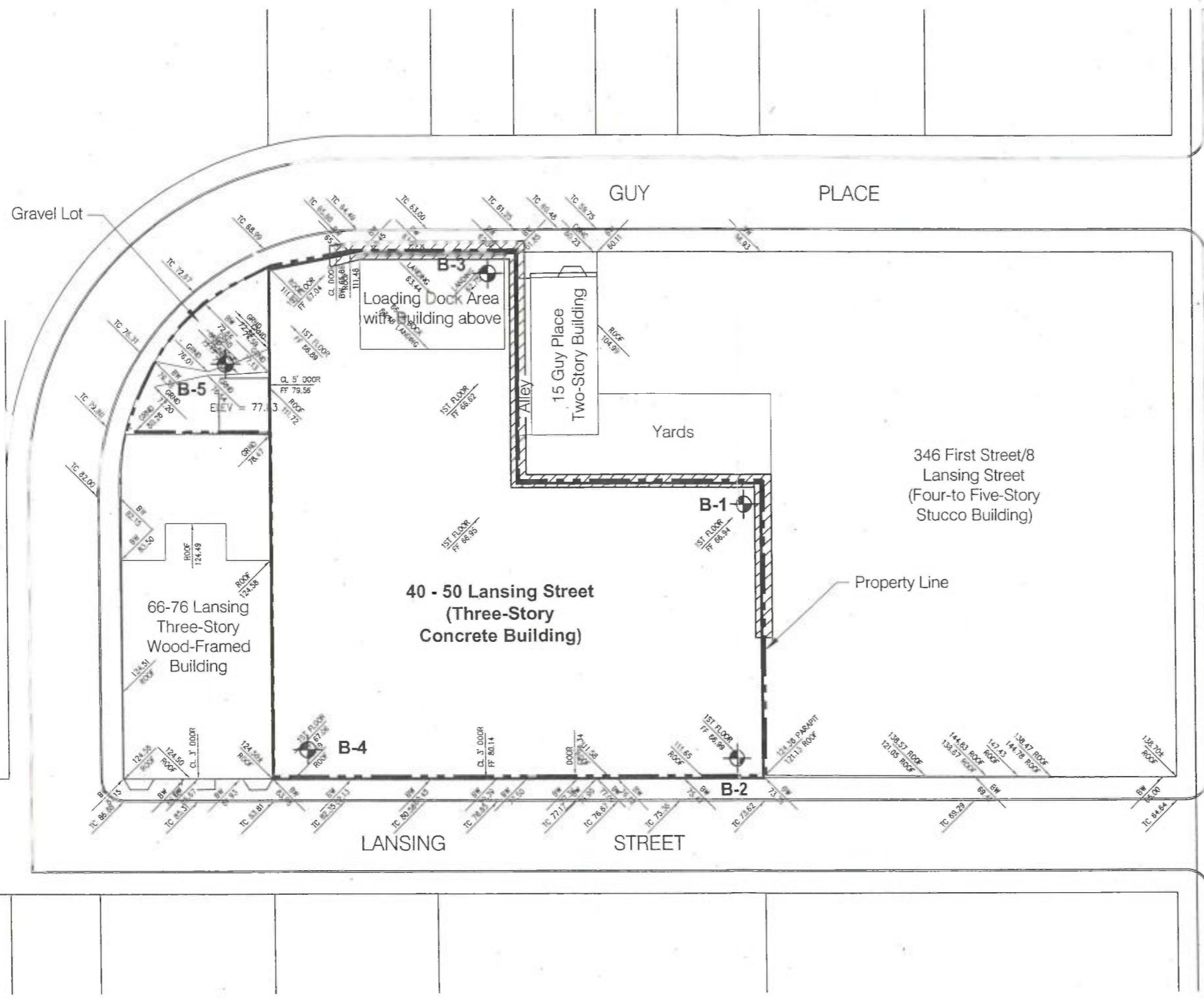
Item	Description	Cost
0.	Permit Fee	\$3,000
1.	Shore the wood frame building	\$20,000
2.	Demolish the existing foundation	See #4
3.	Drill and install new R/C caisson	\$81,000
4.	Cast new grade beam foundation	\$57,510
5.	Remove shore	See #1
6.	Re-install all MEP	\$10,000
7.	Pour new slab on grade in garage	See #4
8.	Re-level the house	Not Counted
9.	Repair all architectural finishes (window, door, wall, roofing)	Not Counted
10.	Sub-Total	\$171,510
11.	18% mark up	\$30,870
12.	Total	\$202,390

Option 2

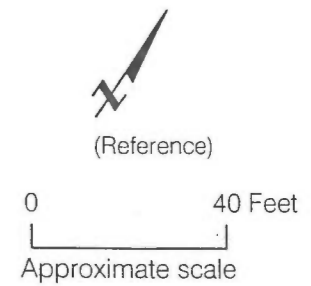
Item	Description	Cost	Delta
0.	Permit Fee	\$,3000	
1.	Partially shore the building	\$15,000	-\$5,000
2.	Partial/limited demolition of existing foundation	See #4	
3.	Offset caisson on side of existing foundation or hand dug underpinning pit	\$81,000 + Offset cost \$10,000	+\$10,000
4.	Sister on the side of the existing grade beam and new grade beam	\$50,000 – Existing grade Blam	-\$7,510
5.	Remove shore	See 1	
6.	Re-install all MEP	\$10,000	
7.	Pour new slab on grade in garage	See #4	
8.	Re-level the house	Not Counted	
9.	Repair all architectural finishes (window, door, wall, roofing)	Not Counted	
10.	Sub- Total	\$169,000	- \$2,510
11.	18% mark up	\$30,420	- \$450
12.	Total	\$ 199,420	- \$2,962

Appendix G
GEOTECHNICAL

Appendix G



- EXPLANATION
- B-1** Approximate location of boring by Treadwell & Rollo, Inc., April 2002
 - Proposed building footprint
 - Existing building footprint
 - Location where grouting loose sand prior to excavation may be required (see report text and Figure 5)
 - TC 68.99 Spot elevation referenced to San Francisco City Datum



40 - 50 LANSING STREET San Francisco, California		
SITE PLAN		
Date 07/11/02	Project No. 3430.01	Figure 2
Treadwell & Rollo		

343001_SITE_PLAN.DWG

Base map: Site Survey by KCA Engineers Inc., dated April 2002.

PROJECT:

40-50 LANSING STREET
San Francisco, California

Log of Boring B-3

Boring location: See Site Plan, Figure 2

Logged by: M. Pinheiro

Date started: 4/30/02

Date finished: 4/30/02

Drilling method: 3-inch-diameter, solid flight auger

Hammer weight/drop: 70 lbs./30 inches

Hammer type: Donut

LABORATORY TEST DATA

Sampler: Sprague & Henwood (S&H), Standard Penetration Test (SPT)

DEPTH (feet)	SAMPLES			LITHOLOGY	MATERIAL DESCRIPTION	Type of Strength Test	Confining Pressure Lbs/Sq Ft	Shear Strength Lbs/Sq Ft	Fines %	Natural Moisture Content, %	Dry Density Lbs/Cu Ft
	Sampler Type	Sample	SPT ¹ N-Value								
					Surface Elevation: 63 feet ²						
1					6-inch-thick concrete slab						
2	SPT		1	SP	SAND (SP) brown, very loose, moist, with wood debris, fine-grained sand Particle Size Analysis (see Figure B-1)				3.0	5.9	
3											
4											
5	SPT		5	ML	SANDY SILT (ML) brown, medium stiff, moist, fine-grained sand						
6											
7	S&H		11	CL	SANDY CLAY (CL) mottled dark brown and brown, stiff, moist, fine-grained sand	TxUU	750	1,590		18.9	109
8											
9											
10											
11											
12					CLAYEY SAND (SC) orange-brown, dense, moist, fine-grained sand						
13											
14	S&H		33								
15											
16											
17				SC							
18											
19	SPT		29								
20											
21											
22											
23											
24					SILTY SAND (SM) orange-brown, medium dense, moist, fine-grained sand						
25				SM							
26	SPT		25								
27											
28											
29											
30											
31											
32											

TEST GEOTECH LOG 343001.GPJ T&R.GDT 6/27/02

Boring terminated at a depth of 26.5 feet.
Boring backfilled with cement grout in accordance with
San Francisco Monitoring Wells and Water Quality
Section requirements.
Groundwater not encountered at time of drilling.

¹ Blowcounts converted to SPT N-values using factors of
0.3 and 0.5, for S&H and SPT Samplers, respectively.

² Approximate elevation based on San Francisco City
Datum.

Treadwell & Rollo

Project No.: 3430.01

Figure: A-3

BUILDING PROGRAM

1 NEW TYPE III-B, SPRINKLERED, FIVE STORY BUILDING WITH ROOF DECK OVER
TYPE II-A CONCRETE PODIUM

2 R-3 OCCUPANCY, 2 RESIDENTIAL UNITS OVER U OCCUPANCY COMMON PARKING

3 ONE EGRESS STAIR REQUIRED FOR TRAVEL LESS THAN 125' PER 1021.1 Exception 4

Floor	Occup. Group	Rating (Hr's)	Unit/Area	Area Sq Ft	SFSD Sq Ft	Occup. Load	Sprinkler	Deck Sq Ft	Notes
First	U	1	Garage	540					
	R-3	1	Common	1128	0				
			Total FL 1	1668		8.3	YES		
Second	R-3	1	Common	232					2-hour FR between units
		1	Unit 1	1331	887	6.7		123	
			Total FL 2	1563			YES		
Third	R-3	2	Common	160					2-hour FR between units
			Unit 1	478	218	4.3		88	
			Unit 2	862	202	7.5			
			Total FL 3	1500			YES		
Fourth	R-3	1	Unit 2	1584	626				
			Total FL 4	1584		7.9	YES		
Fifth	R-3	1	Unit 2	1370	1077				
			Total FL 5	1370		6.9	YES		
Sixth	R-3	1	Unit 2	1313	576				
			Total FL 6	1313		6.6	YES		
Roof	R-3	1	Unit 2					562	1-Hour Parapet
							NO		
				Total Sq Ft Unit 1	1809				
				Total Sq Ft Unit 2	5129				
				Total R-2 Sq Ft	6938				
				Building Total Sq Ft	8998				
				Total SFSD	3586				

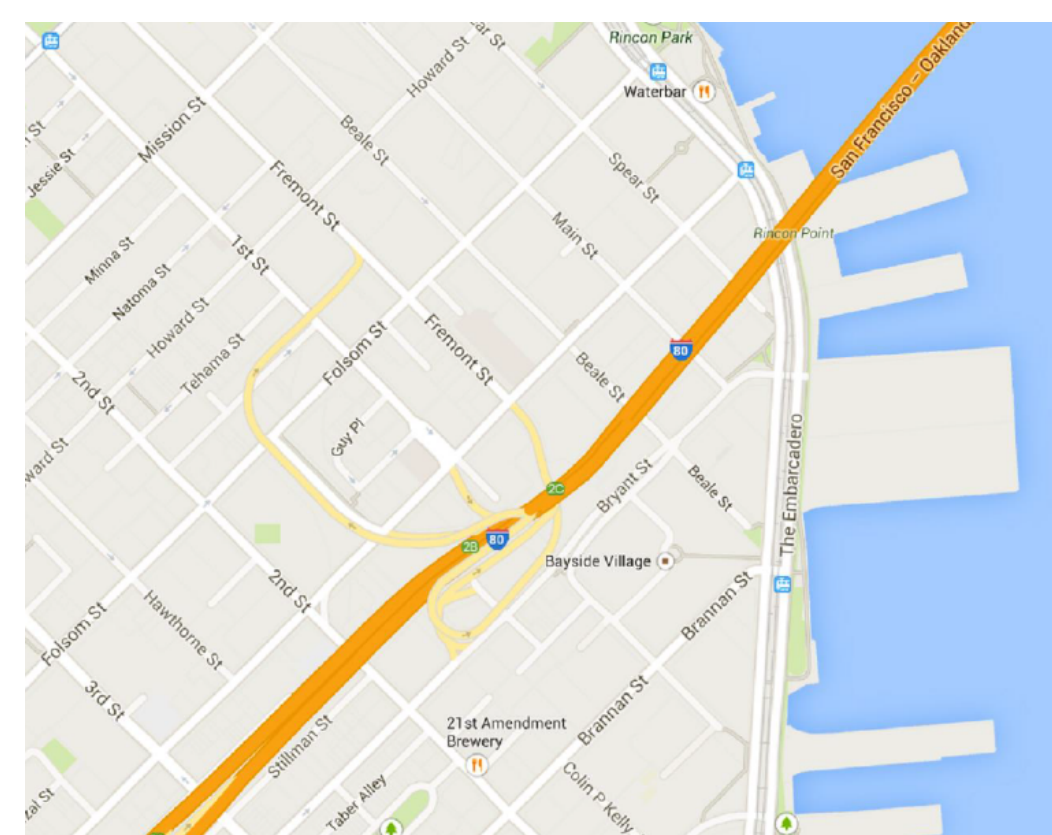
General Notes

- Codes: The design and construction of all site alterations shall comply with the 2013 California Building Code, 2013 Plumbing Code, 2013 Electrical Code, 2013 California Mechanical Code, 2013 California Fire Code, and 2013 Title 24 California Energy Efficiency Standards, including Local Amendments
- Two-Hour separation assemblies between all Units, Units and Garage, and Elevator Shafts. 90 Minute Rated doors at Two-Hour Walls
- One-Hour Assemblies within 60" of (side, rear) property lines all portions of the Building
- All penetrations in fire assemblies to comply with the Fire Rating in which they breach. Fire caulk all pipes, ducts, etc. to seal completely
- Exterior Walls Type III-B: One-hour rated walls
- Interior walls and floors: Two-hour between units
- Separate Permits required for: Sprinklers, Fire Controls, Trusses, Sidewalk & Driveway, Utility laterals,

PLANNING NOTES

- PARCEL 3749/012 : 25' X 70'
- DTR ZONING DISTRICT. RINCON HILL SUD
- 65x HEIGHT DISTRICT
- 2 UNITS PROPOSED:
- 1 AUTO PARKING SPACE
2 BIKE PARKING PROPOSED
- OPEN SPACE MET WITH REAR YARD AND DECK

LOCATION MAP



PROJECT TEAM

PARTICIPANT

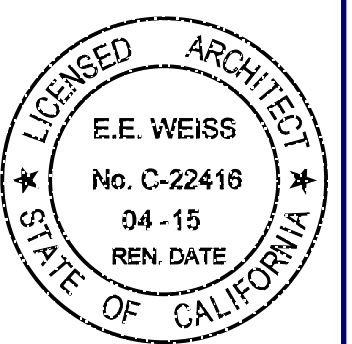
OWNER	DRAKE BAY, LLC 601 VAN NESS AVE #E3606 SAN FRANCISCO, CA 94102 [415] 355-0900
ARCHITECT	EE WEISS ARCHITECTS 21 CORTE MADERA AVE, SUITE 3B MILL VALLEY, CA 94941 [415] 381-8788 FAX [415] 381-8700 TEL
GENERAL CONTRACTOR	UNKNOWN
STRUCTURAL	DAVID KANE, S.E. HARRELL KANE STRUCTURAL ENG 237 KEARNY ST #180 SAN FRANCISCO, CA 94108 TEL: 415.501.9000 X100 dkane@hk-se.com
SURVEYOR	GLA CIVIL ENGINEERS, INC. 414 MASON ST, SUITE 404 SAN FRANCISCO, CA 94102 [415] 956-6707
GEOTECHNICAL	Earth Mechanics Consulting 360 Grand Ave, Suite 262 Oakland, CA 94610 510-839-0765 earthmech1@aol.com

15 GUY PLACE NEW CONSTRUCTION




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 21 Corte Madera Ave.
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 admin@eeeweiss.com
 Tel 415.381.8700

HISTORY	BY
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TITLE SHEET
SITE PERMIT SET

15 GUY PLACE
SAN FRANCISCO, CA 94105
ASSESSOR'S PARCEL: 3749/012

Date: 3/24/16
Time: 12:10:14 PM

03 MAR 16

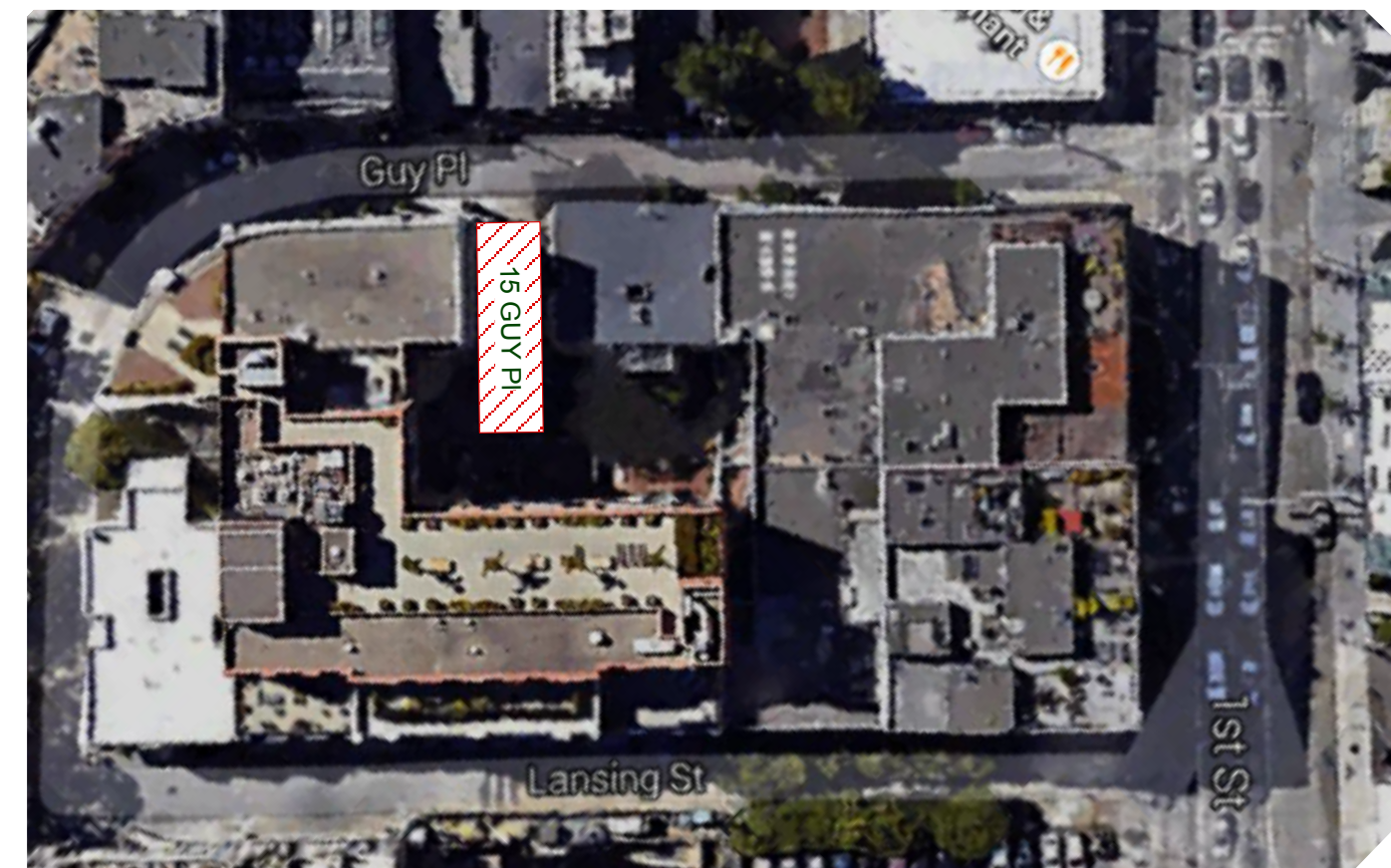
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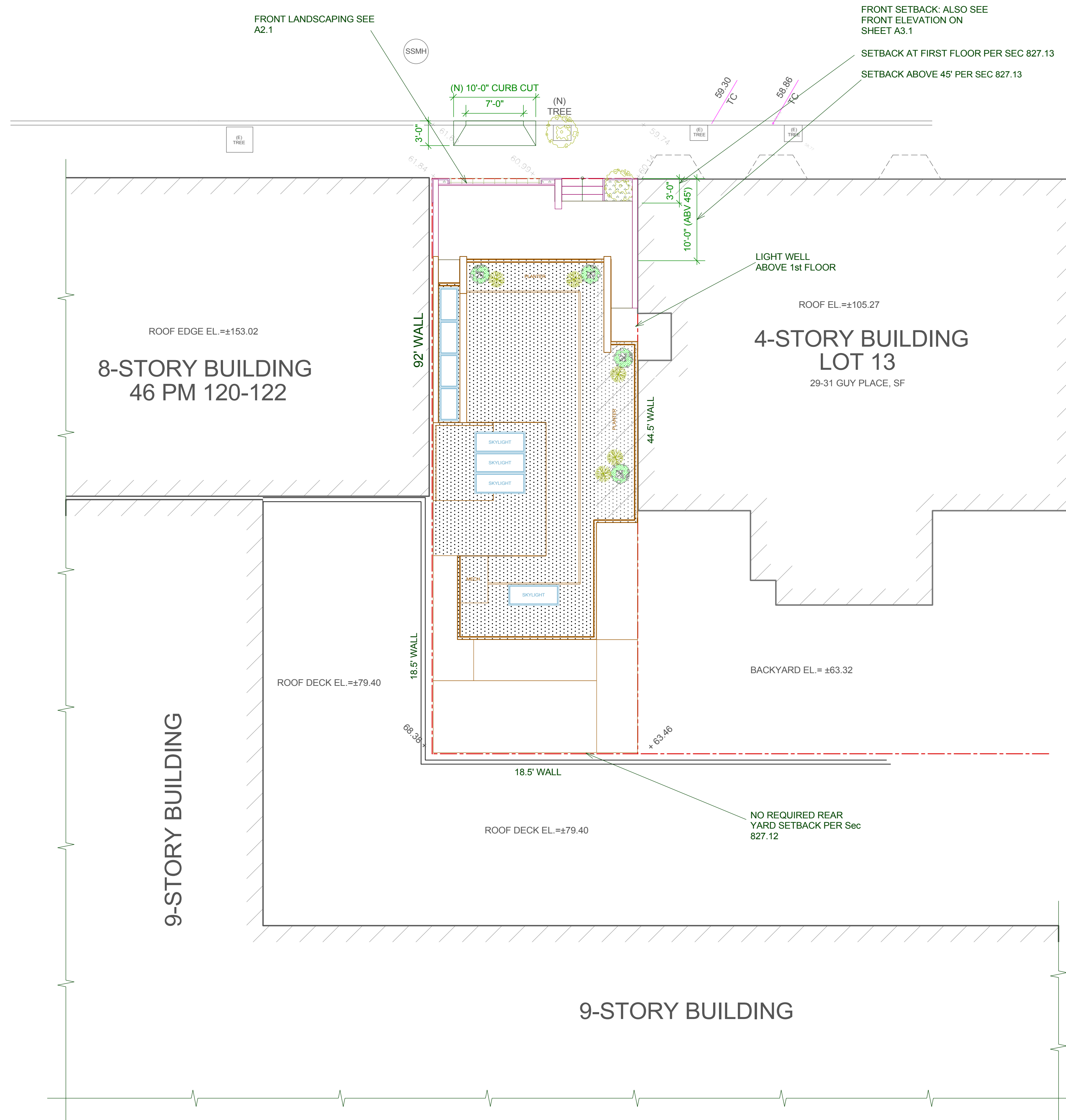
- A0.0 TITLE
- A1.1 PLAN: SITE
- A2.0 PLAN: EXISTING FIRST & SECOND
- A2.1 PLAN: FIRST & SECOND FLOOR
- A2.2 PLAN: THIRD & FOURTH FLOOR
- A2.3 PLAN: FIFTH & SIXTH FLOOR
- A2.4 PLAN: ROOF
- A3.0 ELEVATIONS: EXISTING
- A3.1 ELEVATIONS: FRONT
- A3.2 ELEVATIONS: REAR
- A3.4 ELEVATIONS: SIDE
- A4.1 SECTION
- A5.1 DETAILS
- A6.0 FIRE FLOW, AB FORMS, GREEN



3 SITE RENDERING
A1.0 Scale: 1/8" = 1'-0"

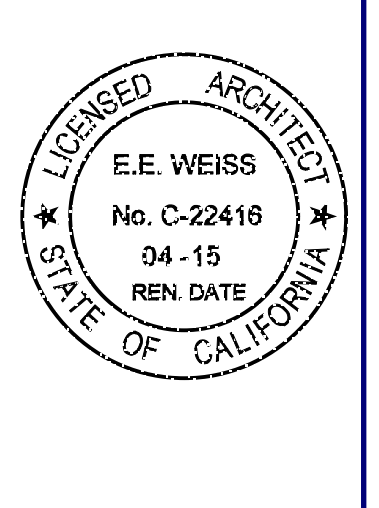


2 SITE PHOTO (EXISTING BLDG)
A1.0 Scale: 1/8" = 1'-0"



1 SITE PLAN
A1.0 Scale: 1/8" = 1'-0"

HISTORY	BY
PLANNING PERMIT 2013-0730-3155	



SITE PLAN
SITE PERMIT SET

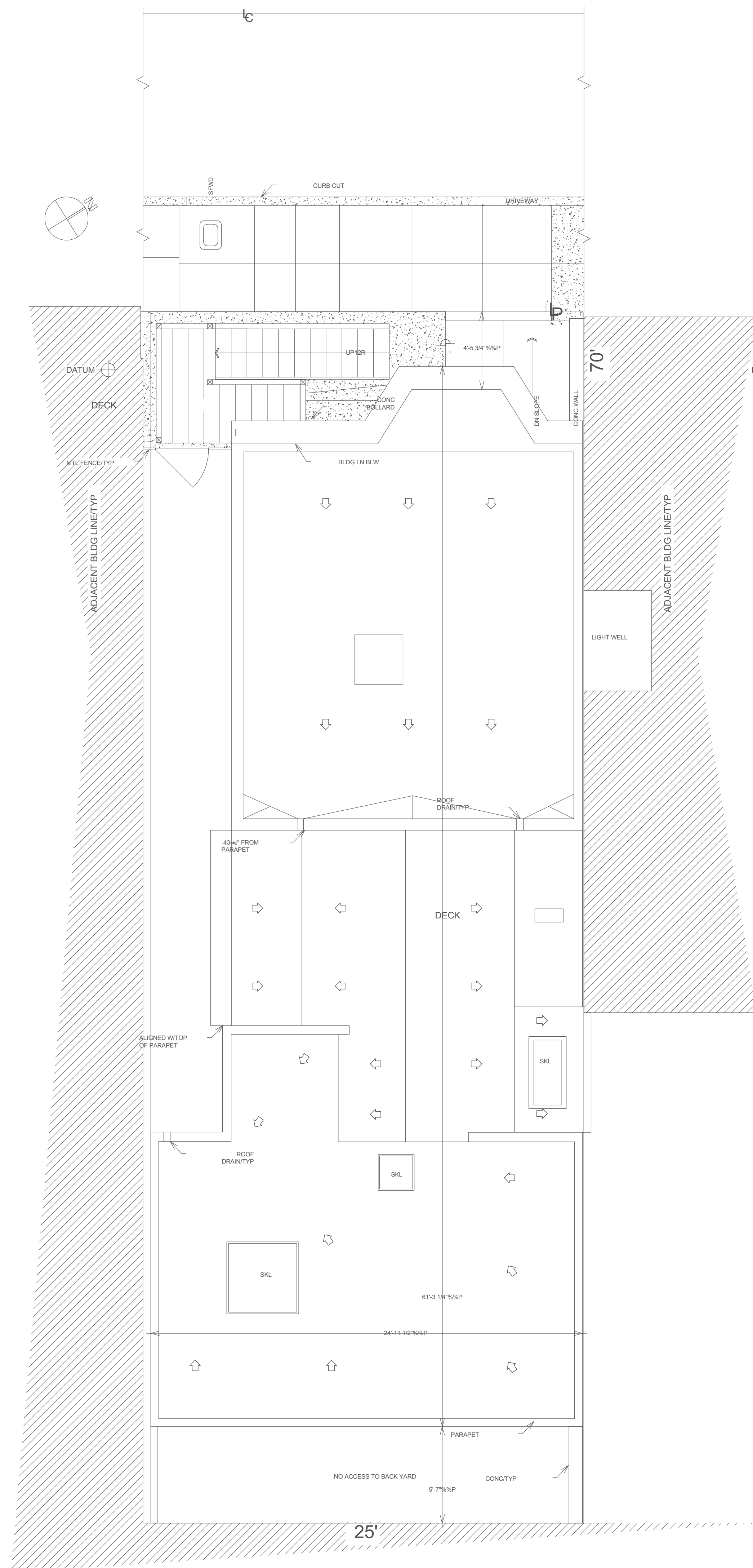
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SAN FRANCISCO, CA 94105
ASSESSOR'S PARCEL: 3748012

Date: 3/24/16
Time: 12:10:14 PM

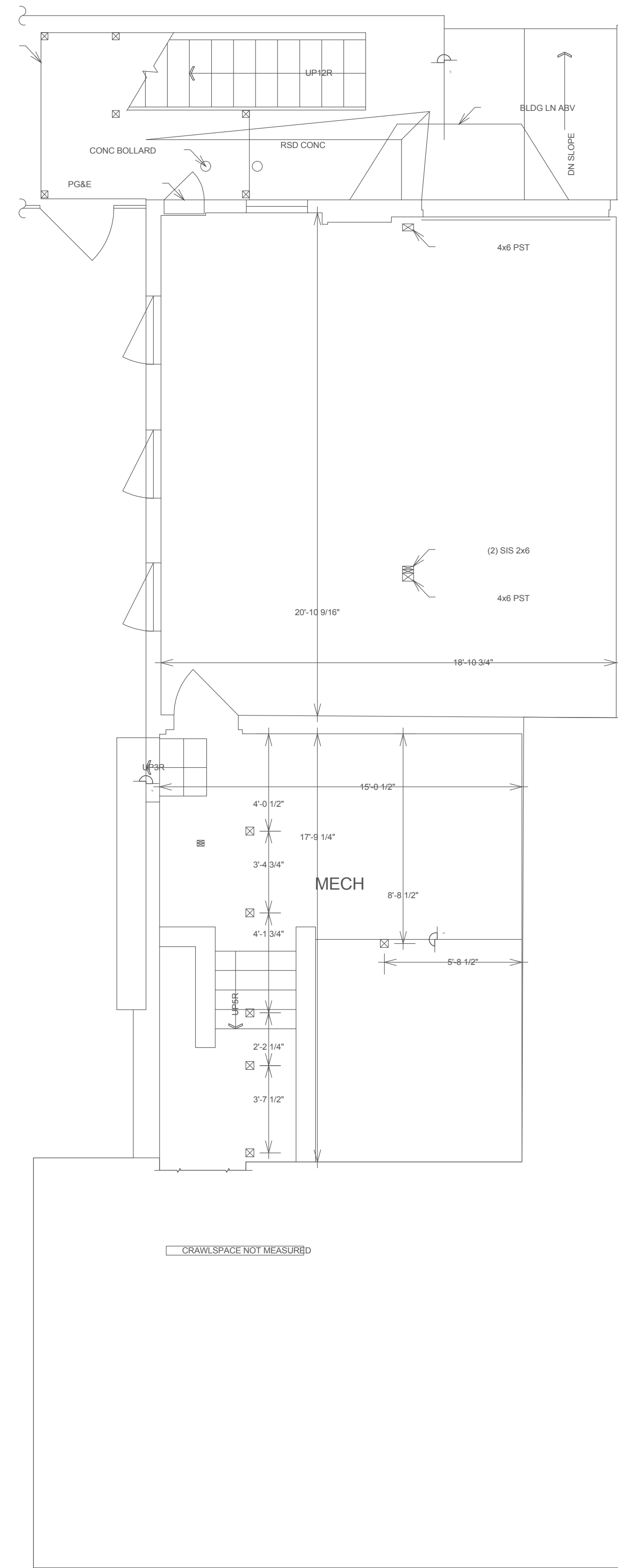
03 MAR 16

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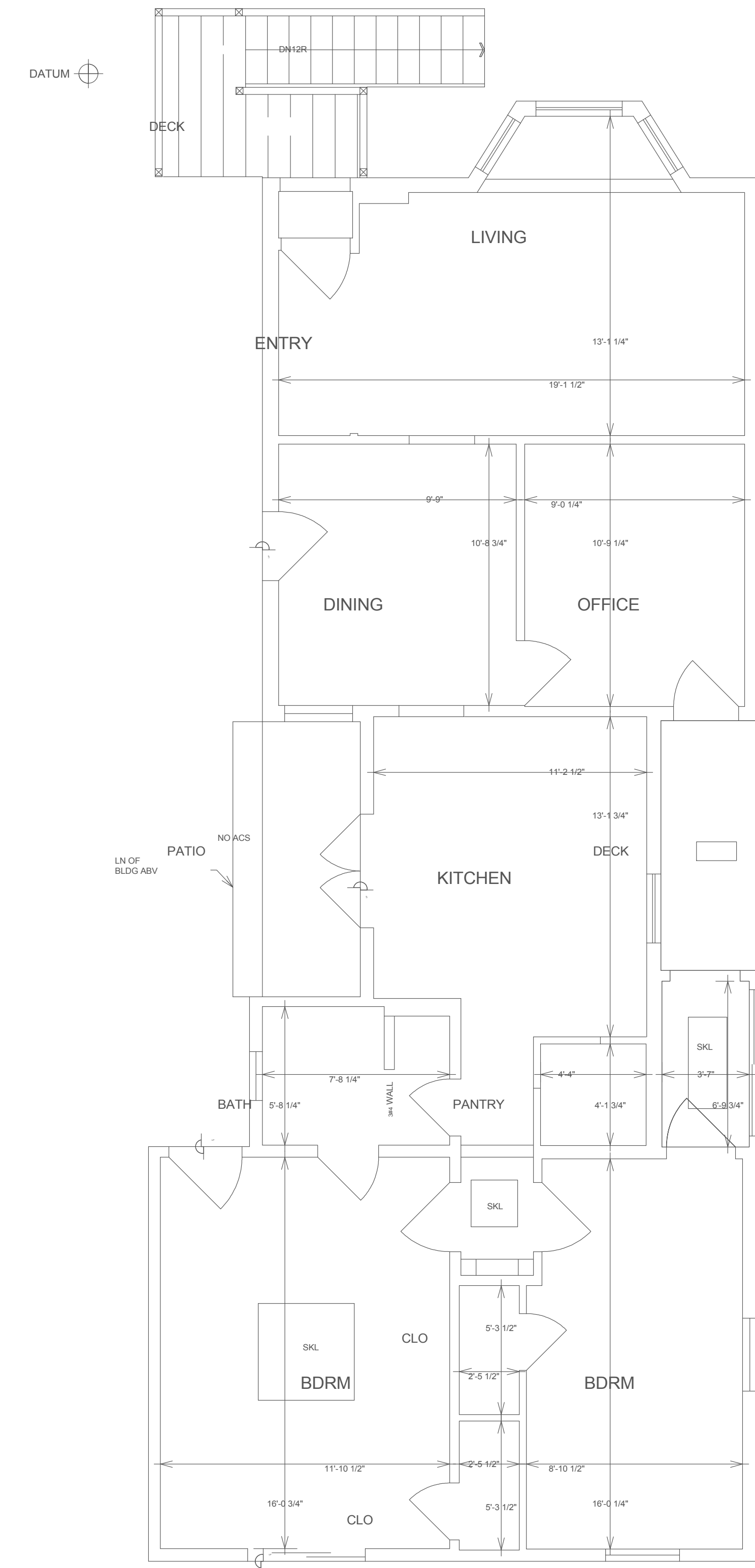
GUY PLACE



1 EXISTING ARCHITECTURAL SITE PLAN
1,750 SQFT PROPERTY LINE
SCALE: 1/4"=1'-0"



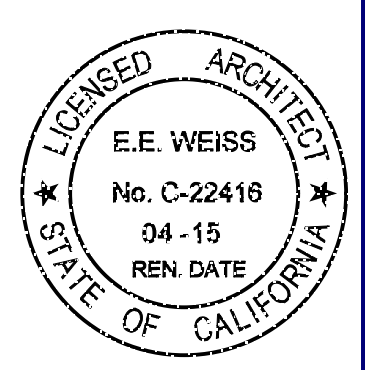
2 EXISTING GARAGE LEVEL FLOOR PLAN
728 SQFT INTERIOR
SCALE: 1/4"=1'-0"



3 EXISTING ENTRY LEVEL FLOOR PLAN
1,164 SQFT INTERIOR
169 SQFT EXTERIOR
SCALE: 1/4"=1'-0"

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EXISTING FLOOR PLANS
SITE PERMIT SET

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A2.0

FRONT LANDSCAPING:

GROSS AREA = 3' x 25' = 75sf

REQUIRED LANDSCAPE = 20% OF 75sf = 15 sf
(3) PLANTERS (36" ABOVE GRADE) = 38sf

38sf > 15sf : LANDSCAPING COMPLIES

PERMABLE IN SETBACK = 50% OF 75SF = 38sf
3' x 11" PERMEABLE PAVERS = 33sf
33sf PAVERS + 38sf PLANTER = 71sf

71sf > 38sf : PERMEABILITY COMPLIES

FIRE DEPT CONNECTION TO STANDPIPE(S)

FIRE SPRINKLER RISER LOCATION; RUN SPRINKLER MAIN UNDER SLAB. PROTECT WITH BOLLARD(S)

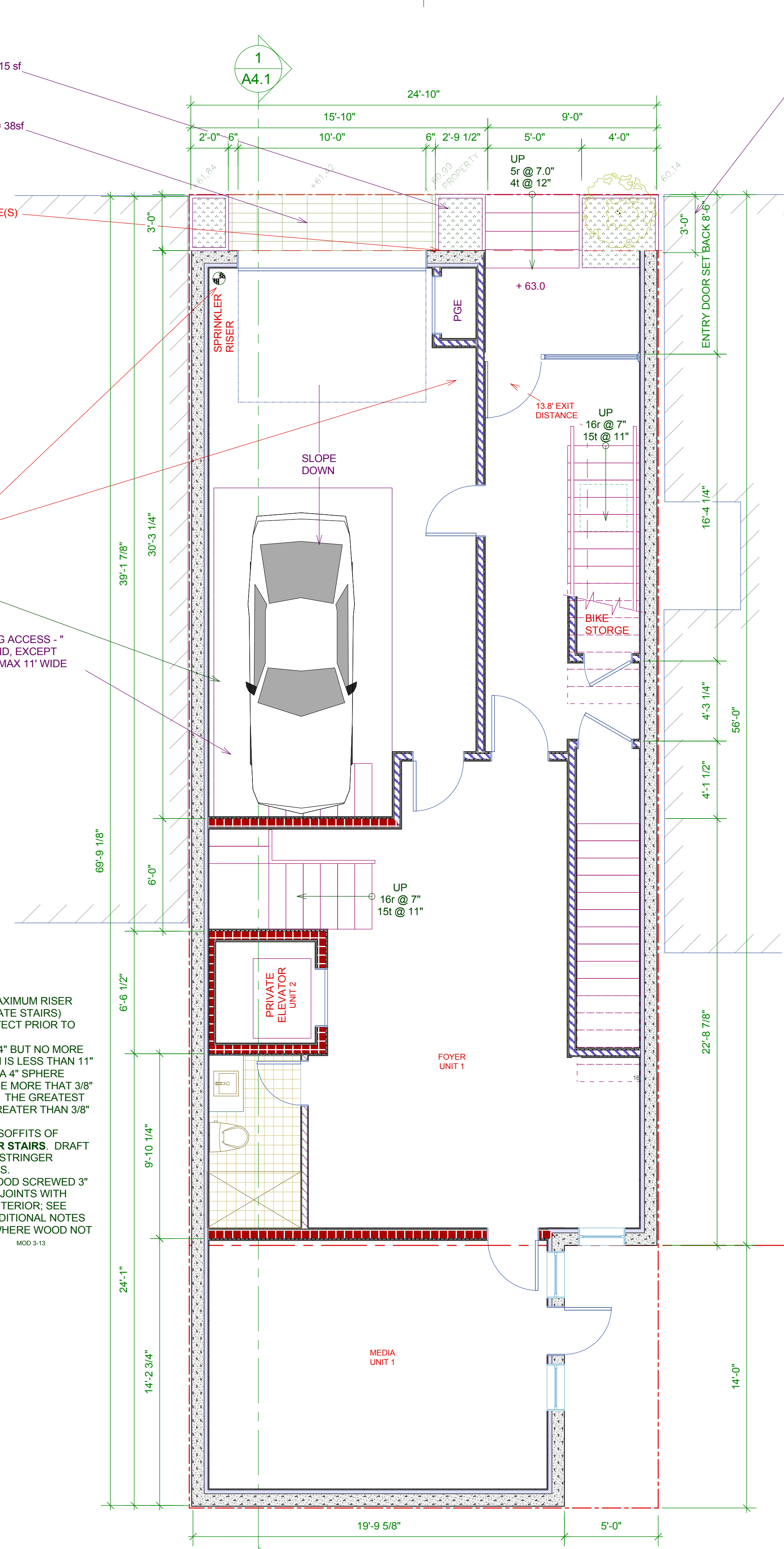
FIRE MONITORING PANEL

UNDERGROUND PARKING PER Sec 827.16:

SECTION 827.16 - PARKING AND LOADING ACCESS - " NO PARKING PERMITTED ABOVE GROUND, EXCEPT ON SLOPING SITES. PARKING ACCESS...MAX 11' WIDE EACH. 827(D)(7).

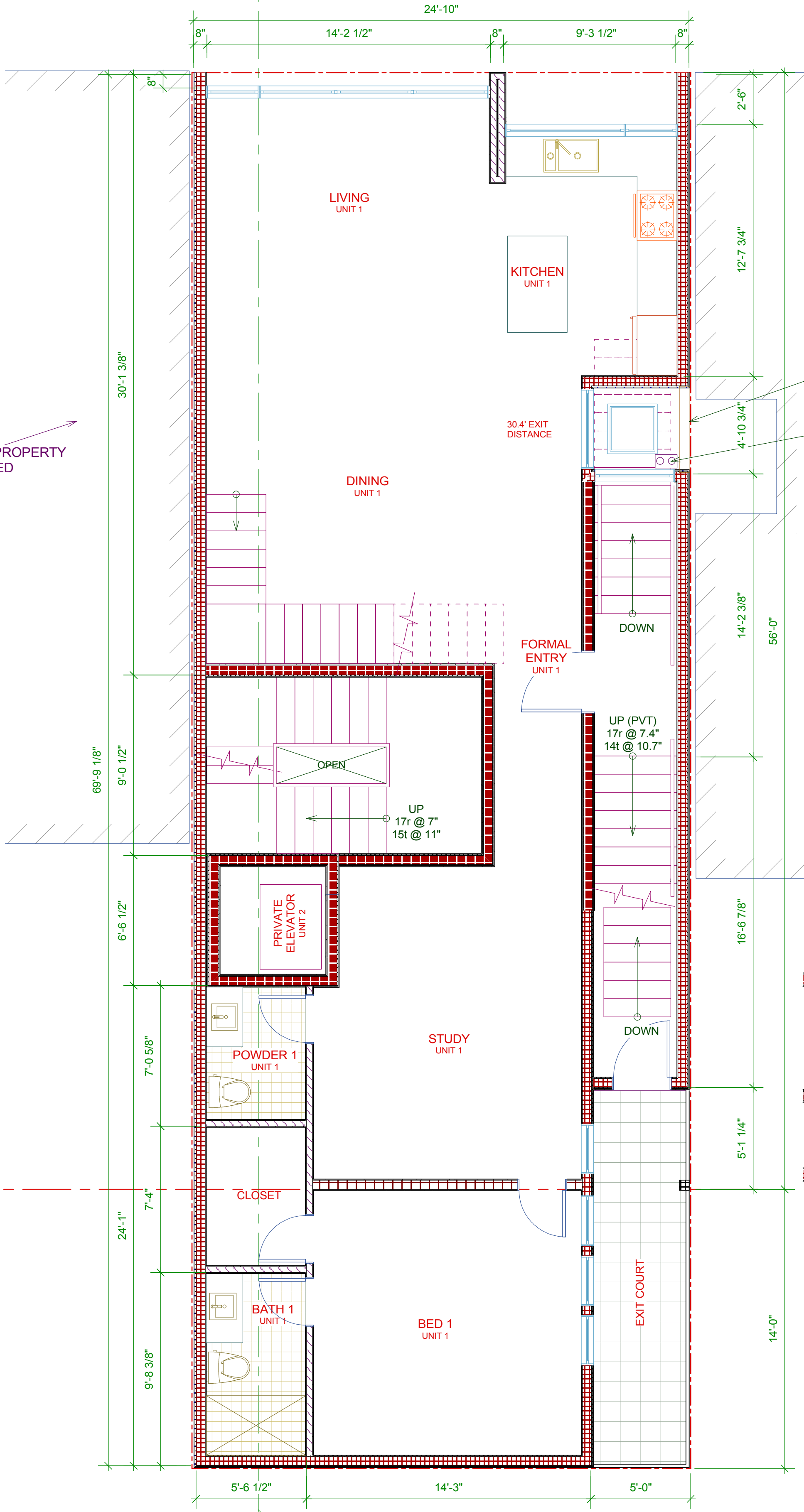
STAIR NOTES

- 7" RISER AND 11" TREAD (7.75" MAXIMUM RISER AND 10" MINIMAL TREAD AT PRIVATE STAIRS) MAXIMUM. CONFIRM WITH ARCHITECT PRIOR TO INSTALLATION.
- NOSING TO BE NOT LESS THAN 3/4" BUT NO MORE THAN 1 1/2" WHERE TREAD DEPTH IS LESS THAN 11"
- RISER TO PREVENT PASSAGE OF A 4" SPHERE
- THE HIGHEST RISER SHALL NOT BE MORE THAN 3/8" MORE THAN THE LOWEST RISER. THE GREATEST TREAD DEPTH SHALL NOT BE GREATER THAN 3/8" THAN THE SHALLOWEST TREAD
- 5/8" TYPE 'X' GWB AT WALLS AND SOFFITS OF ENCLOSED USABLE SPACE UNDER STAIRS. DRAFT STOP BLOCKS AT STUDS BEHIND STRINGER WHERE GWB IS NOT CONTINUOUS.
- WOOD STAIRS TO BE 1 1/8" PLYWOOD SCREWED 3" ON CENTER AND GLUED AT ALL JOINTS WITH UNDERLAYMENT ADHESIVE AT INTERIOR. SEE EXTERIOR STAIR NOTES FOR ADDITIONAL NOTES
- METAL STAIRS AND STRINGERS WHERE WOOD NOT PERMITTED BY CODE



FIRST FLOOR SETBACK PER SECTION 827.13

NEIGHBORING PROPERTY SHOWN HATCHED



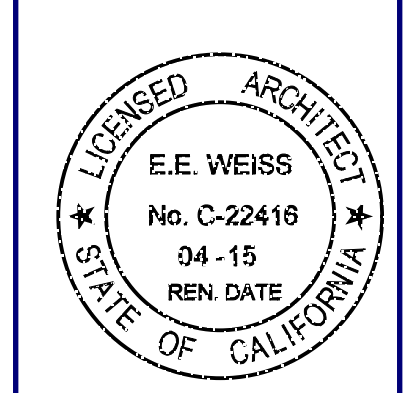
1206.3 COURTS. COURTS SHALL BE NOT LESS THAN 3 FEET IN WIDTH. COURTS HAVING WINDOWS OPENING ON OPPOSITE SIDES SHALL BE NOT LESS THAN 6 FEET IN WIDTH. COURTS SHALL BE NOT LESS THAN 10 FEET IN LENGTH. TWO STORIES ABOVE GRADE PLANE, THE COURT SHALL BE INCREASED 1 FOOT IN WIDTH AND 2 FEET IN LENGTH FOR EACH ADDITIONAL STORY.

WALL SCHEDULE

- NEW 2x6 or 2x4 TYPE III TWO-HOUR EXT WALL: (2) 5/8" TYPE 'X'GWB ON INTERIOR. (2) 5/8" GYP SHEATHING OVER NON-COMBUSTIBLE OR STEEL STUDS. BUILDING PAPER OVER GYP SHEATHING. EXT T&G P.T. PLYWOOD PER STRUCTURAL. 'Z' FLASHING AT HORIZONTAL JOINTS. ADD'L FINISH OVER EXT PLY WHERE PLY IS VISIBLE. CBC TABLE 720.1 ITEM 15-1.6, 15 1.10
- NEW 2x6 TWO-HOUR INT SOUND WALLS: STAGGER 2x4 STUDS ON 2x6 PLATES. SOUND INSUL IN ALL VOIDS. (2) LAYERS 5/8" TYPE 'X' EACH SIDE OF WOOD STUDS; STAGGER SEAMS. CBC TABLE 720.1 ITEM 14-1.5
- NEW 2x6 TWO-HOUR INT WALLS: (2) LAYERS 5/8" TYPE 'X' EACH SIDE OF WOOD STUDS; STAGGER SEAMS CBC TABLE 720.1 ITEM 15-1.6
- NEW 2x6 ONE-HOUR INT or EXT WALLS: ONE LAYER 5/8" TYPE 'X' EACH SIDE OF WOOD STUDS. EXT WALL TO HAVE EXT FINISHES PER TYPE III WALL ABOVE CBC TABLE 720.1 ITEM 15 1.12
- NEW 2x4 TWO-HOUR INT WALLS: (2) LAYERS 5/8" TYPE 'X' EACH SIDE OF WOOD STUDS; STAGGER SEAMS CBC TABLE 720.1 ITEM 14-1.5
- NEW 2x4 ONE-HOUR INT WALLS: ONE LAYER 5/8" TYPE 'X' EACH SIDE OF WOOD STUDS CBC TABLE 720.1 ITEM 14-1.3
- NEW 2x4 ONE-HOUR EXT PARAPET: 30" MIN. WALL AT ROOFS, 42" AT DECKS, WITHIN 60" OF PROPERTY LINE. ONE LAYER 5/8" TYPE 'X' SHEATHING EACH SIDE OF WOOD STUDS, BUILDING PAPER, P.T. PLYWOOD PER STRUCTURAL. EXTERIOR FINISHES WHERE PLY IS EXPOSED, NON-COMBUSTIBLE FINISH TOP 18" CBC TABLE 720.1 ITEM 15-1.1

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HISTORY	BY
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1st & 2nd FLOOR PLANS
SITE PERMIT SET

15 GUY PLACE
SAN FRANCISCO, CA 94105
ASSESSOR'S PARCEL: 3749012

Date: 3/24/16
Time: 12:10:14 PM

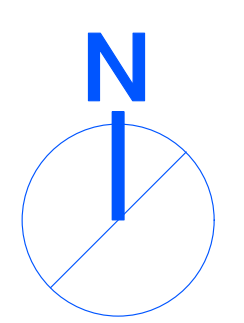
03 MAR 16

A2.1

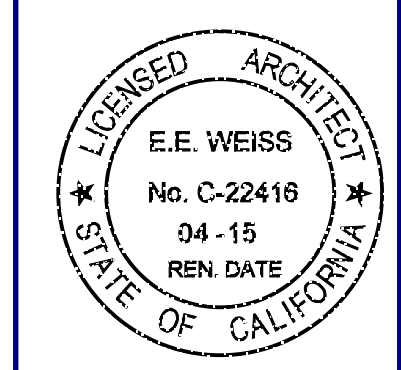
1 FIRST FLOOR PLAN
A2.1 Scale: 1/4" = 1'-0"



2 SECOND FLOOR PLAN
A2.1 Scale: 1/4" = 1'-0"



HISTORY	BY
PLANNING PERMIT 2013-0730-3155	



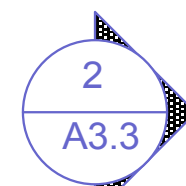
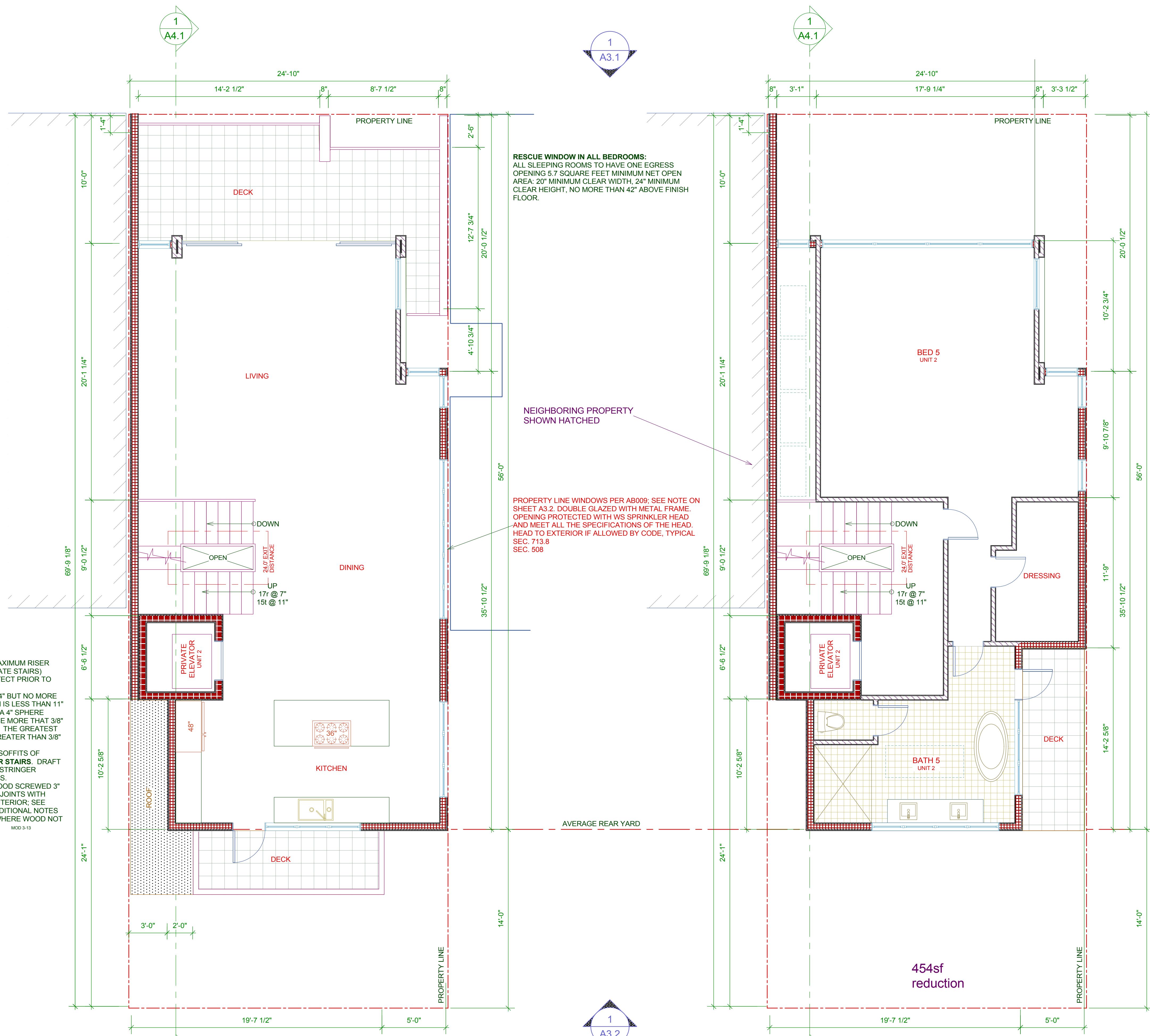
5th & 6th FLOOR PLAN
SITE PERMIT SET

15 GUY PLACE
SAN FRANCISCO, CA 94105
ASSESSOR'S PARCEL: 3748012

Date: 3/24/16
Time: 12:10:14 PM

03 MAR 16

A2.3



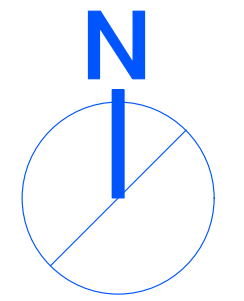
- STAIR NOTES**
- 7" RISER AND 11" TREAD (7.75" MAXIMUM RISER AND 10" MINIMAL TREAD AT PRIVATE STAIRS) MAXIMUM. CONFIRM WITH ARCHITECT PRIOR TO INSTALLATION.
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 - WOOD STAIRS TO BE 1 1/8" PLYWOOD SCREWED 3" ON CENTER AND GLUED AT ALL JOINTS WITH UNDERLAYMENT ADHESIVE AT INTERIOR; SEE EXTERIOR STAIR NOTES FOR ADDITIONAL NOTES
 - METAL STAIRS AND STRINGERS WHERE WOOD NOT PERMITTED BY CODE
- M03-3-13

- WALL SCHEDULE**
- NEW 2x6 or 2x4 TYPE III TWO-HOUR EXT WALL: (2) 5/8" TYPE 'X'GWB ON INTERIOR, (2) 5/8" GYP SHEATHING OVER NON-COMBUSTIBLE OR STEEL STUDS, BUILDING PAPER OVER GYP SHEATHING, EXT T&G P.T. PLYWOOD PER STRUCTURAL, 2" FLASHING AT HORIZONTAL JOINTS, ADD'L FINISH OVER EXT PLY WHERE PLY IS VISIBLE
CBC TABLE 720.1 ITEM 15-1.6, 15 1.10
 - NEW 2x6 TWO-HOUR INT SOUND WALLS: STAGGER 2x4 STUDS ON 2x6 PLATES, SOUND INSUL IN ALL VOIDS, (2) LAYERS 5/8" TYPE 'X' EACH SIDE OF WOOD STUDS; STAGGER SEAMS.
CBC TABLE 720.1 ITEM 14-1.5
 - NEW 2x6 TWO-HOUR INT WALLS: (2) LAYERS 5/8" TYPE 'X' EACH SIDE OF WOOD STUDS; STAGGER SEAMS
CBC TABLE 720.1 ITEM 15-1.6
 - NEW 2x6 ONE-HOUR INT or EXT WALLS: ONE LAYER 5/8" TYPE 'X' EACH SIDE OF WOOD STUDS, EXT WALL TO HAVE EXT FINISHES PER TYPE III WALL ABOVE
CBC TABLE 720.1 ITEM 15 1.12
 - NEW 2x4 TWO-HOUR INT WALLS: (2) LAYERS 5/8" TYPE 'X' EACH SIDE OF WOOD STUDS; STAGGER SEAMS
CBC TABLE 720.1 ITEM 14-1.5
 - NEW 2x4 ONE-HOUR INT WALLS: ONE LAYER 5/8" TYPE 'X' EACH SIDE OF WOOD STUDS
CBC TABLE 720.1ITEM 14-1.3
 - NEW 2x4 ONE-HOUR EXT PARAPET: 30" MIN. WALL AT ROOFS, 42" AT DECKS, WITHIN 60" OF PROPERTY LINE. ONE LAYER 5/8" TYPE 'X' SHEATHING EACH SIDE OF WOOD STUDS, BUILDING PAPER, P.T. PLYWOOD PER STRUCTURAL, EXTERIOR FINISHES WHERE PLY IS EXPOSED, NON-COMBUSTIBLE FINISH TOP 18"
CBC TABLE 720.1ITEM 15-1.1

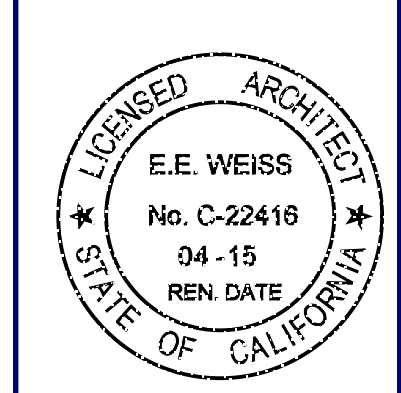
1 FIFTH FLOOR PLAN
A2.3 Scale: 1/4" = 1'-0"



2 SIXTH FLOOR PLAN
A2.3 Scale: 1/4" = 1'-0"



HISTORY	BY
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ROOF PLANS
SITE PERMIT SET

15 GUY PLACE
SAN FRANCISCO, CA 94105
ASSESSOR'S PARCEL: 3749012

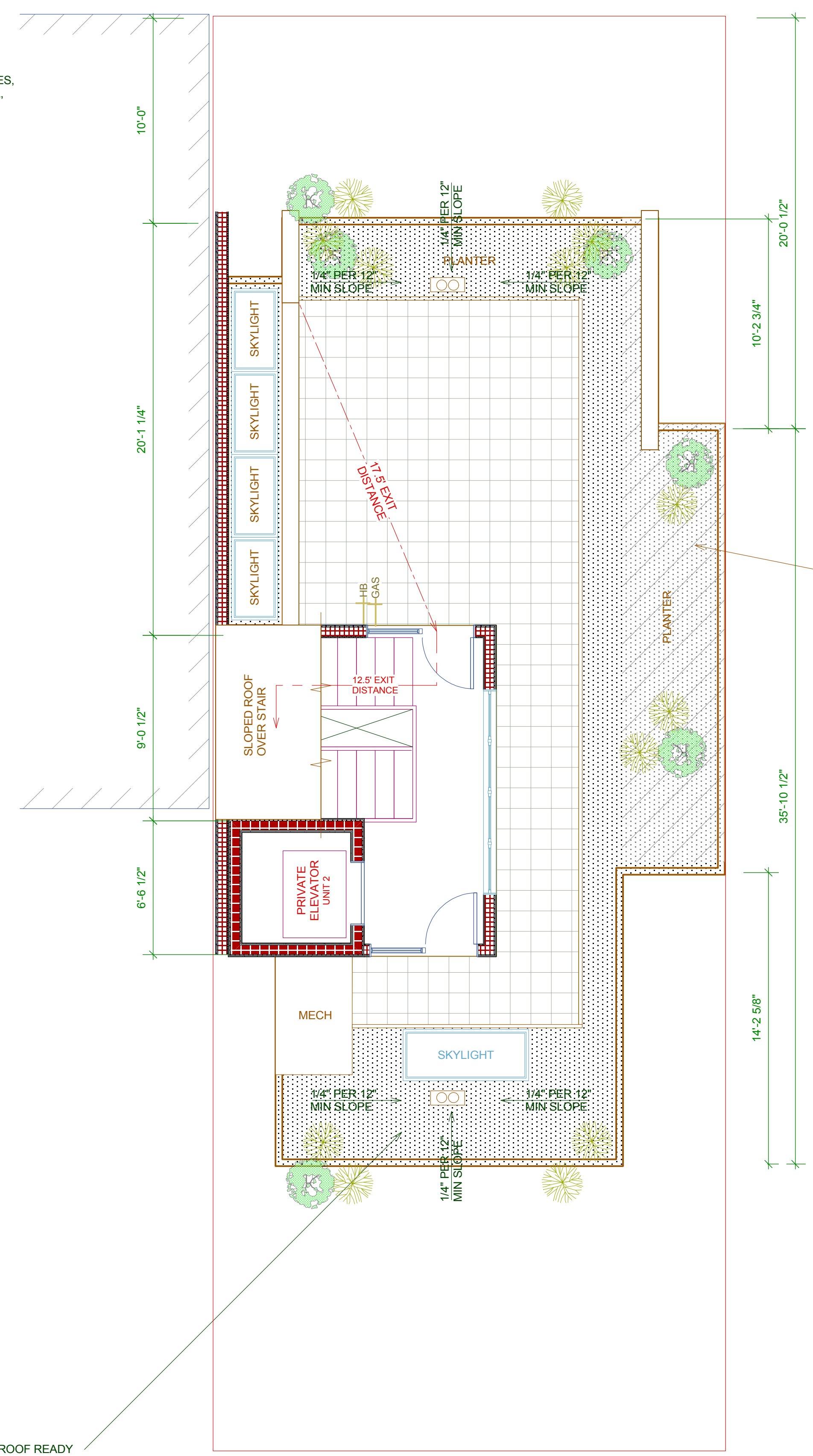
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Time: 12:10:14 PM

03 MAR 16

A2.4

FINISH ALL PARAPET FACES, PENTHOUSES, ETC WITH CEMENTIOUS SIDING. INSTALL, CAULK, PRIME AND PAINT PER MANUFACTURE'S INSTRUCTION.

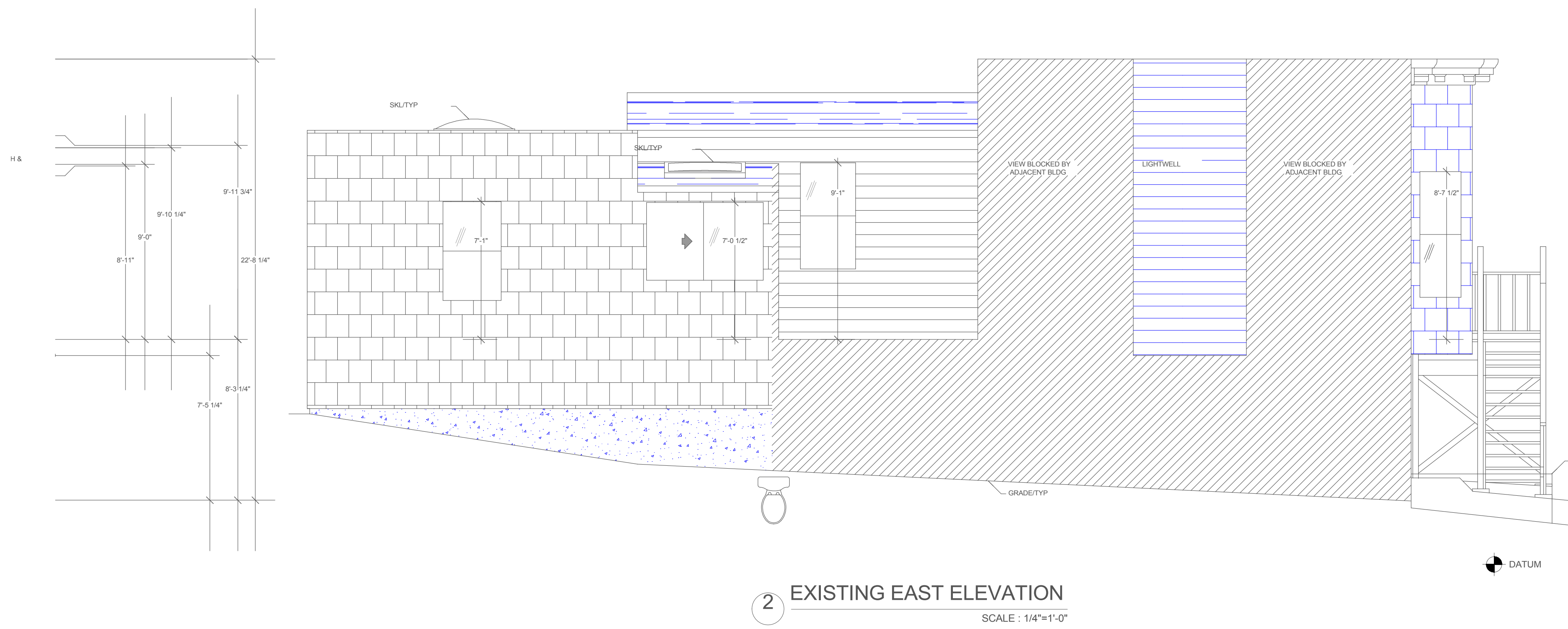
ROOF TO BE BOTH SOLAR AND GREEN ROOF READY



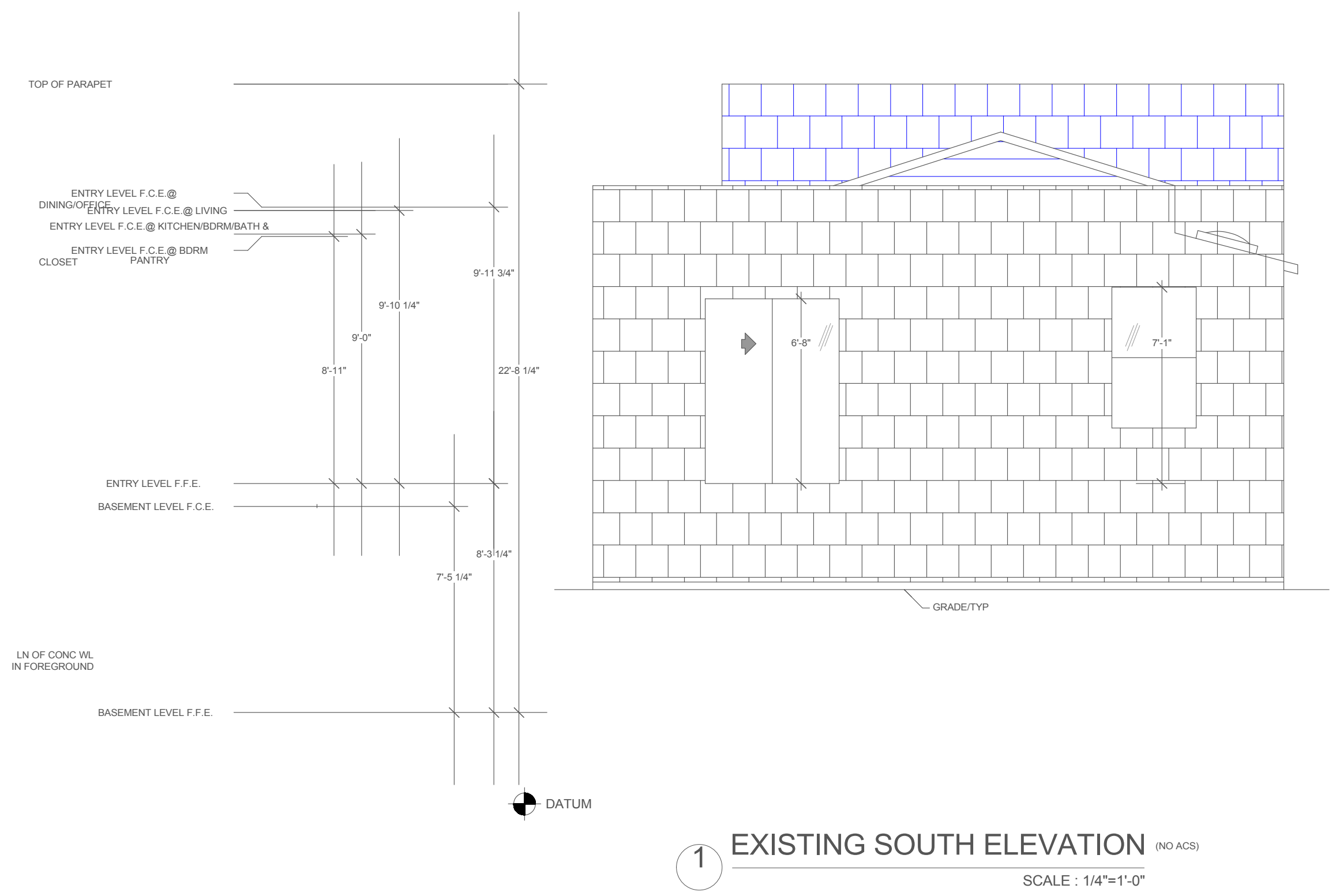
- WALL SCHEDULE**
- NEW 2x6 or 2x4 TYPE III TWO-HOUR EXT WALL: (2) 5/8" TYPE 'X'GWB ON INTERIOR, (2) 5/8" GYP SHEATHING OVER NON-COMBUSTIBLE OR STEEL STUDS, BUILDING PAPER OVER GYP SHEATHING, EXT T&G P.T. PLYWOOD PER STRUCTURAL, 'Z' FLASHING AT HORIZONTAL JOINTS, ADD'L FINISH OVER EXT PLY WHERE PLY IS VISIBLE
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CBC TABLE 720.1 ITEM 15-1.1

TWO-HOUR ROOF WITHIN 60" OF PROPERTY LINE TO LOWER PARAPET (HATCHED)

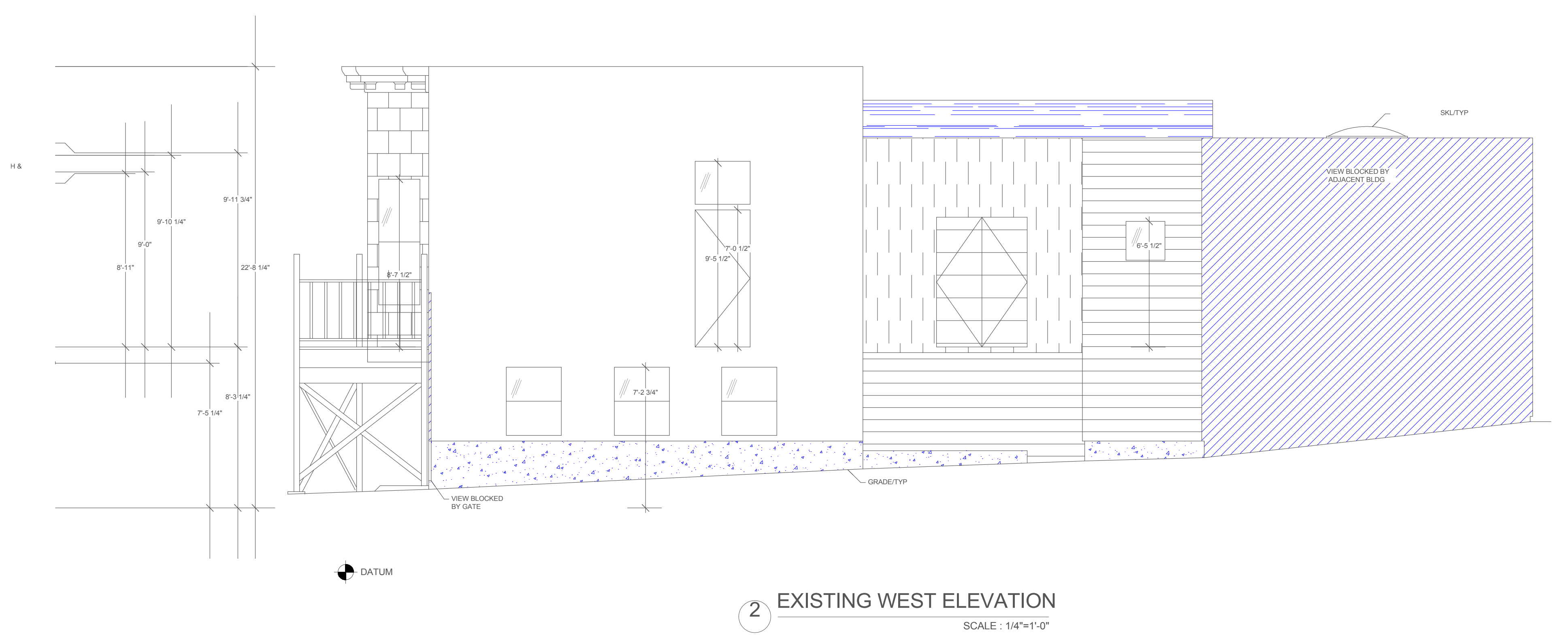
1 ROOF PLAN
A2.4 Scale: 1/4" = 1'-0"



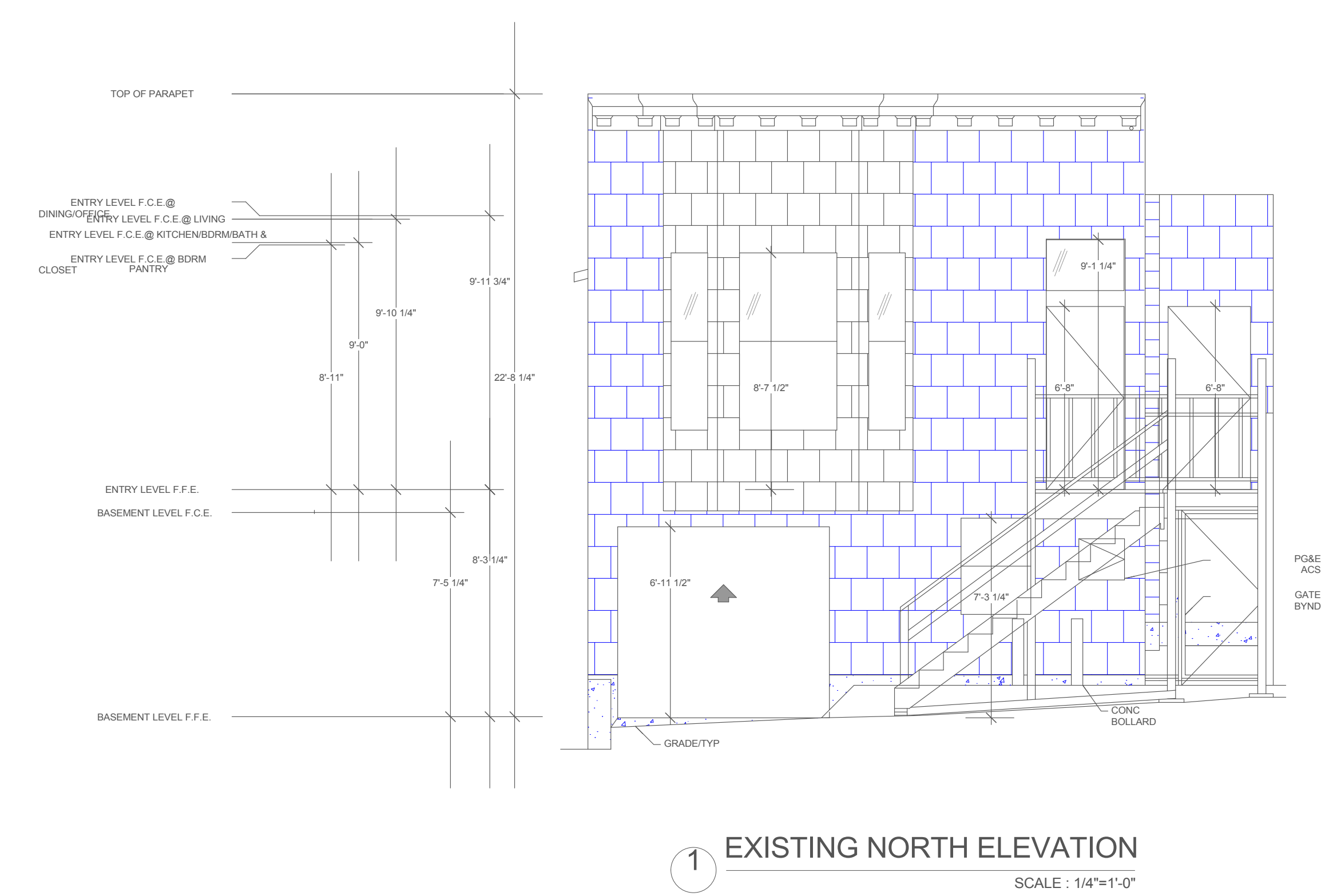
2 EXISTING EAST ELEVATION
SCALE: 1/4"=1'-0"



1 EXISTING SOUTH ELEVATION (NO ACS)
SCALE: 1/4"=1'-0"



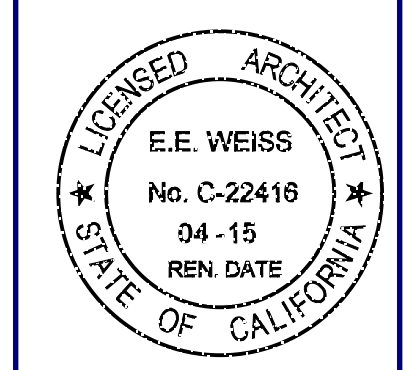
2 EXISTING WEST ELEVATION
SCALE: 1/4"=1'-0"



1 EXISTING NORTH ELEVATION
SCALE: 1/4"=1'-0"

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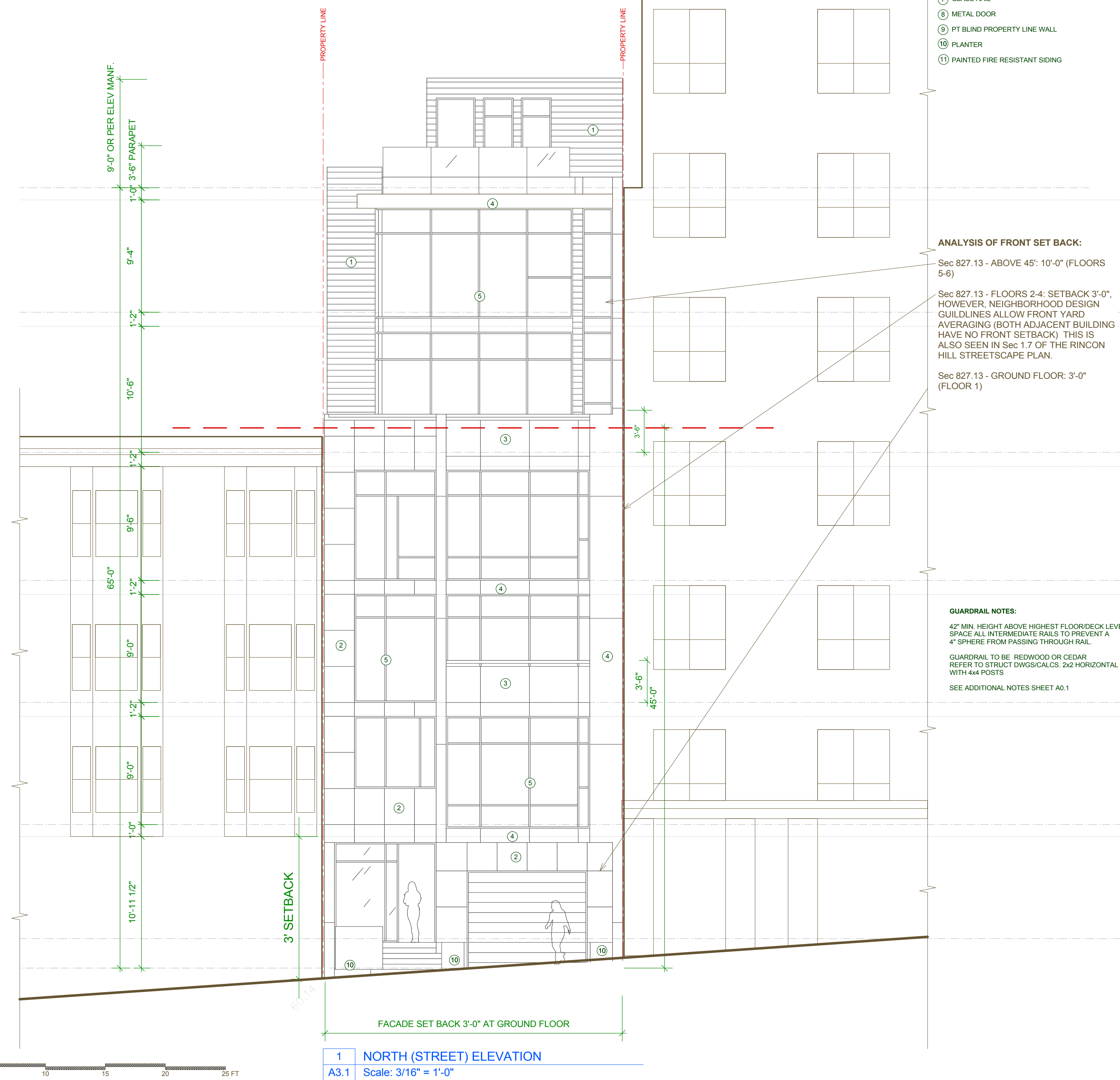
EXISTING ELEVATIONS
SITE PERMIT SET

15 GUY PLACE
SAN FRANCISCO, CA 94105
ASSESSOR'S PARCEL: 3749012

Date: 3/24/16
Time: 12:10:14 PM
03 MAR 16
A3.0



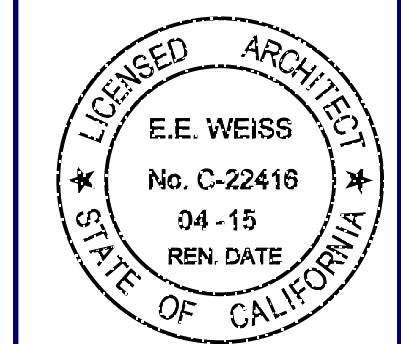
2 NORTH (STREET) ELEVATION
A3.1 Scale: 3/16" = 1'-0"



1 NORTH (STREET) ELEVATION
A3.1 Scale: 3/16" = 1'-0"

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admin@eeeweiss.com
Tel 415.381.8700

HISTORY	BY
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FRONT & REAR ELEVATIONS

SITE PERMIT SET

15 GUY PLACE

SAN FRANCISCO, CA 94105
ASSESSOR'S PARCEL: 37489012

Date: 3/24/16
Time: 12:10:14 PM

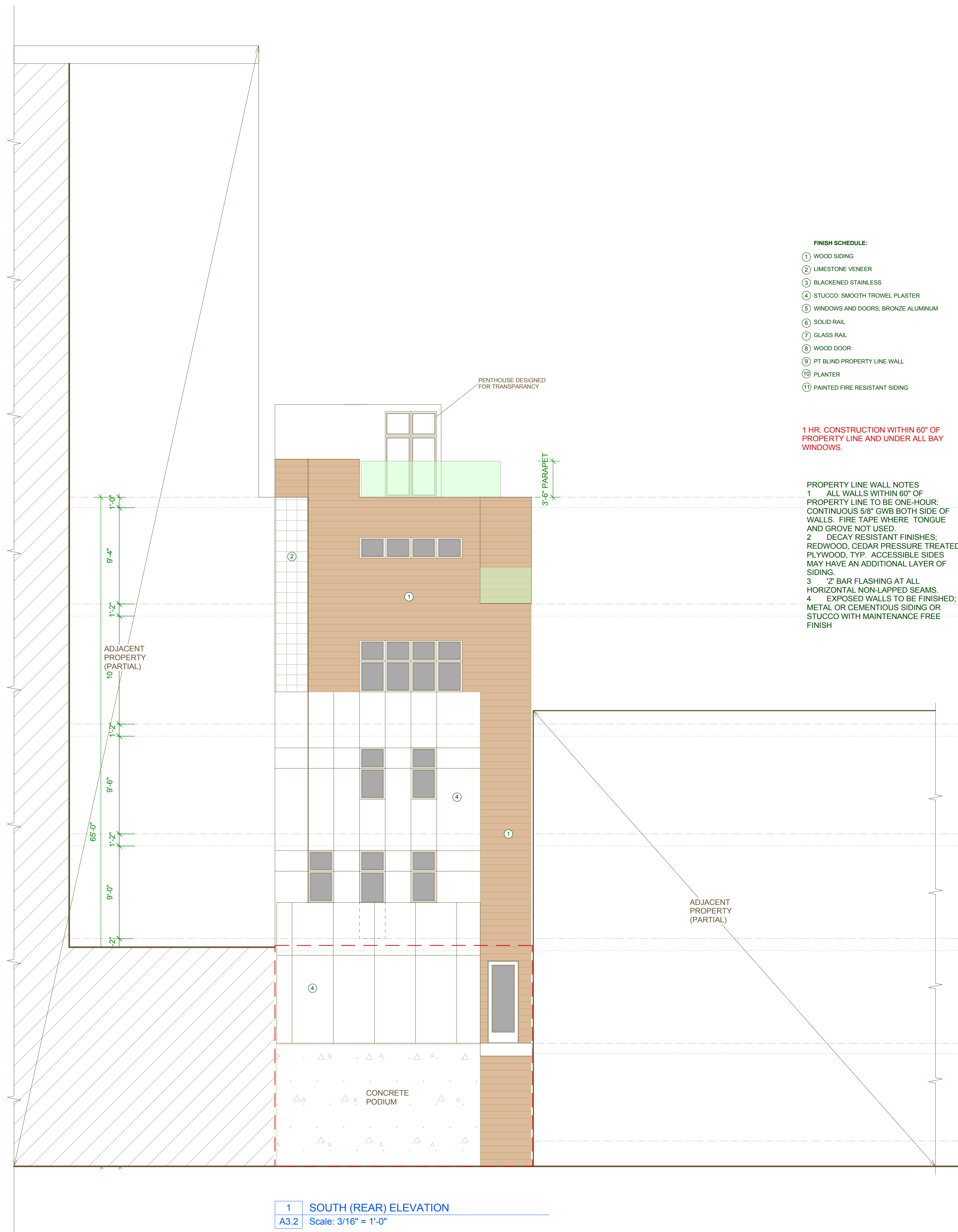
03 MAR 16

A3.1



2 REAR ELEVATION
A3.2

9'-0" OR PER LEV. MANF.



1 SOUTH (REAR) ELEVATION
A3.2 Scale: 3/16" = 1'-0"

FINISH SCHEDULE:

- ① WOOD SIDING
- ② LIMESTONE VENEER
- ③ BLACKENED STAINLESS
- ④ STUCCO: SMOOTH TROWEL PLASTER
- ⑤ WINDOWS AND DOORS: BRONZE ALUMINUM
- ⑥ SOLID RAIL
- ⑦ GLASS RAIL
- ⑧ WOOD DOOR
- ⑨ PT BLIND PROPERTY LINE WALL
- ⑩ PLANTER
- ⑪ PAINTED FIRE RESISTANT SIDING

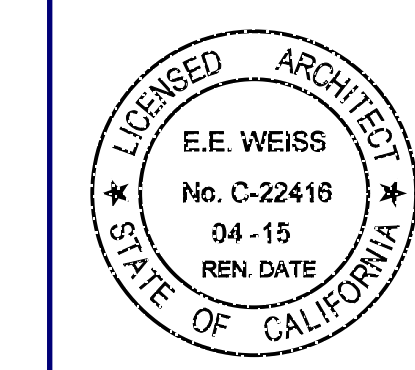
1 HR. CONSTRUCTION WITHIN 60" OF PROPERTY LINE AND UNDER ALL BAY WINDOWS.

PROPERTY LINE WALL NOTES

- 1 ALL WALLS WITHIN 60" OF PROPERTY LINE TO BE ONE-HOUR; CONTINUOUS 5/8" GWB BOTH SIDE OF WALLS. FIRE TAPE WHERE TONGUE AND GROVE NOT USED.
- 2 DECAY RESISTANT FINISHES; REDWOOD, CEDAR PRESSURE TREATED PLYWOOD, TYP. ACCESSIBLE SIDES MAY HAVE AN ADDITIONAL LAYER OF SIDING
- 3 1/2" BAR FLASHING AT ALL HORIZONTAL NON-LAPPED SEAMS.
- 4 EXPOSED WALLS TO BE FINISHED; METAL OR CEMENTIOUS SIDING OR STUCCO WITH MAINTENANCE FREE FINISH

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HISTORY	BY
PLANNING PERMIT 2013-0730-3185	



SITE PERMIT SET

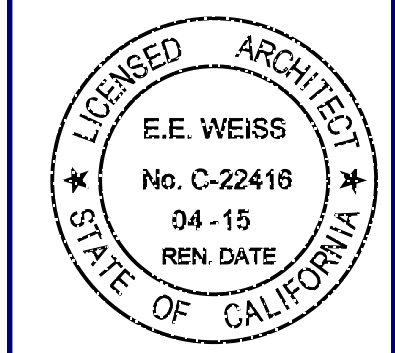
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SAN FRANCISCO, CA 94105
ASSESSOR'S PARCEL: 3748012

Date: 3/24/16
Time: 12:10:14 PM

03 MAR 16

A3.2

HISTORY	BY
PLANNING PERMIT 2013-0730-3185	



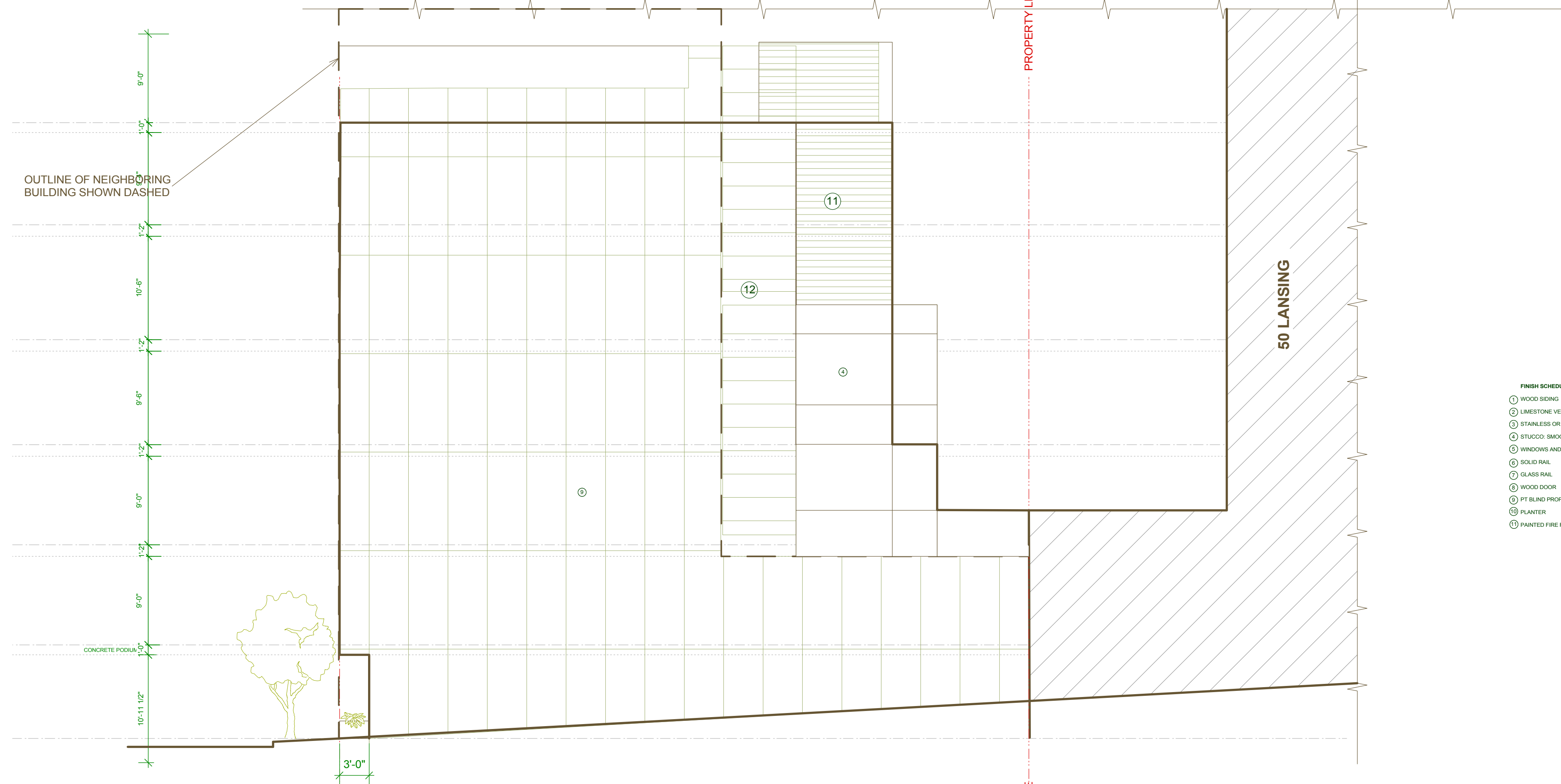
SIDE ELEVATIONS
SITE PERMIT SET

15 GUY PLACE
SAN FRANCISCO, CA 94105
ASSESSOR'S PARCEL: 37489012

Date: 3/24/16
Time: 12:10:14 PM

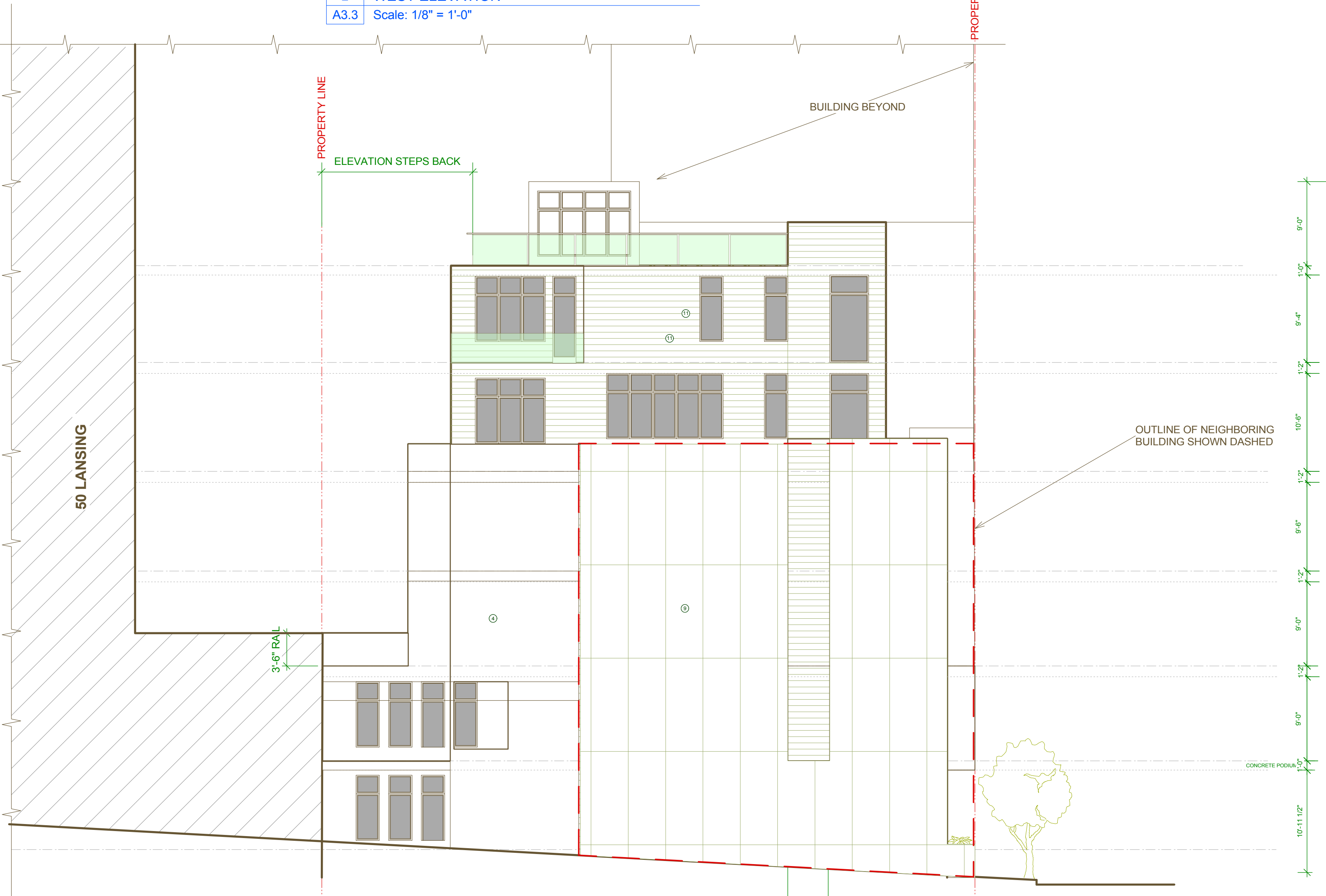
03 MAR 16

A3.3



2 WEST ELEVATION
A3.3 Scale: 1/8" = 1'-0"

- FINISH SCHEDULE:**
- ① WOOD SIDING
 - ② LIMESTONE VENEER
 - ③ STAINLESS OR COPPER FLASHING
 - ④ STUCCO SMOOTH TROWEL PLASTER
 - ⑤ WINDOWS AND DOORS, BRONZE ALUMINUM
 - ⑥ SOLID RAIL
 - ⑦ GLASS RAIL
 - ⑧ WOOD DOOR
 - ⑨ FT BRICK PROPERTY LINE WALL
 - ⑩ PLANTER
 - ⑪ PAINTED FIRE RESISTANT SIDING

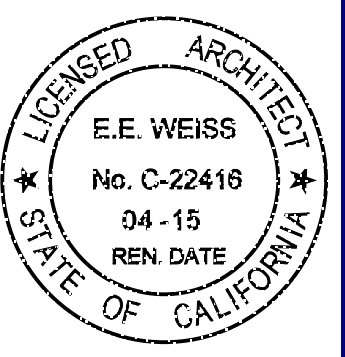


1 EAST ELEVATION
A3.3 Scale: 1/8" = 1'-0"



3 EAST ELEVATION
A3.3 Scale: 1/8" = 1'-0"

HISTORY	BY
PLANNING PERMIT 2013-0720-3185	



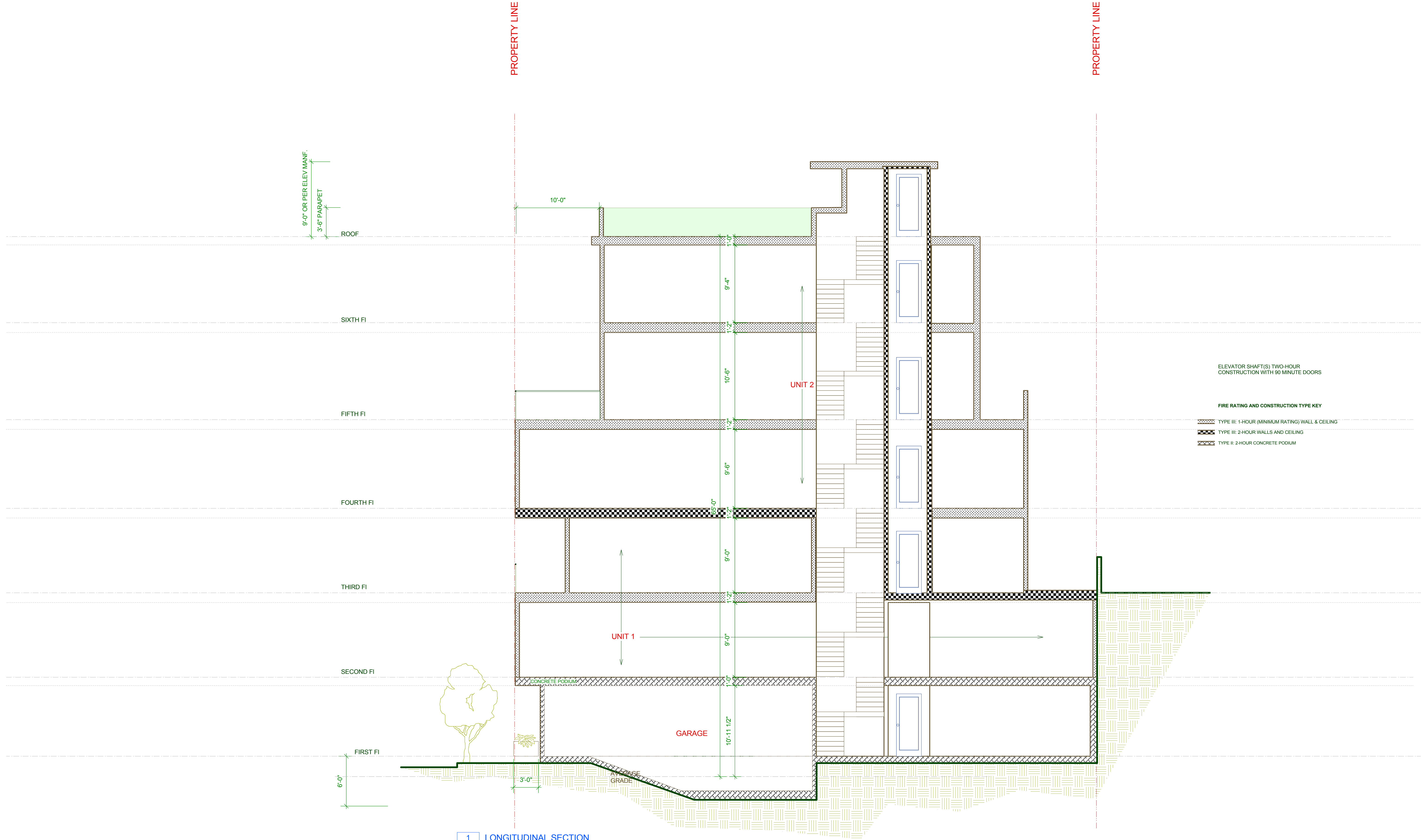
LATERAL SECTION
SITE PERMIT SET

15 GUY PLACE
 SAN FRANCISCO, CA 94105
 ASSESSOR'S PARCEL: 3748012

Date: 3/24/16
 Time: 12:10:14 PM

03 MAR 16

A4.1



1 LONGITUDINAL SECTION
A4.1 Scale: 3/16" = 1'-0"