



SAN FRANCISCO PLANNING DEPARTMENT

Discretionary Review Analysis Residential Demolition/New Construction

HEARING DATE: MARCH 3, 2016

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Date: February 22, 2016

Case No.: **2015-000164DRM**
2015-000164PRJ

Building Permit No.:

2014.12.19.4194 (demolition permit)
2014.12.19.4190 (new construction permit)

Project Address: **127 23rd Avenue**

Zoning: RH-2 (Residential House, Two-Family)
40-X Height and Bulk District

Block/Lot: 1383/004

Project Sponsor: Amanda Dunbar
Sutro Architects
915 Battery Street
San Francisco, CA 94111

Staff Contact: Alexandra Kirby – (415) 575-9133
alexandra.kirby@sfgov.org

Recommendation: **Do not take DR and approve demolition and new construction permits as proposed.**

DEMOLITION APPLICATION		NEW BUILDING APPLICATION	
Demolition Case Number	2015-000164DRM	New Building Case Number	2015-000164PRJ
Recommendation	Do Not Take DR	Recommendation	Do Not Take DR
Demolition Application Number	2014.12.19.4194	New Building Application Number	2014.12.19.4190
Number Of Existing Units	1	Number Of New Units	1
Existing Parking	1	New Parking	1
Number Of Existing Bedrooms	3	Number Of New Bedrooms	4
Existing Building Area	±2438 Sq. Ft.	New Building Area	±4024 Sq. Ft.
Public DR Also Filed?	No	Public DR Also Filed?	No
311 Expiration Date	2/26/2016	Date Time & Materials Fees Paid	N/A

PROJECT DESCRIPTION

The proposal includes the demolition of an existing two-story single-family residence and new construction of a three-story single-family residence with a partial fourth floor, which is set back 15 feet from the primary façade. The total net change will be an additional 1,586 square feet, with a total proposed square footage of 4,024 square feet, 3,436 square feet of which are habitable. The proposed project is subject to a Mandatory Discretionary Review pursuant to Planning Code Section 317 relating to residential demolition.

SITE DESCRIPTION AND PRESENT USE

The property at 127 23rd Avenue is located on the west side of 23rd Avenue between Lake and California Streets in the Outer Richmond neighborhood. The Property has 25 feet of lot frontage along 23rd Avenue with a lot depth of 120 feet. The lot slopes up steeply from the street, east to west, and contains a two-story, single-family building of approximately 2,438 square-feet. The building is setback approximately 12 feet from the front property line. The property is within a RH-2 (Residential, House, Two-Family) Zoning District with a 40-X Height and Bulk designation. According to City records, the building was constructed circa 1906. Through historic resource assessment (case number 2015-000164ENV), the project was determined not to be an historic resource for purposes of CEQA.

SURROUNDING PROPERTIES & NEIGHBORHOOD

The surrounding neighborhood consists of a mix of two- to four-story buildings, containing primarily single-family dwellings with scattered multi-unit flats and a 12-unit apartment complex at the corner of 23rd Avenue and Lake Street. The Presidio is located approximately one block to the north and small NC-1 (Neighborhood, Commercial, Cluster) zoning districts are located at intersections along California Street. The residential neighborhood contains dwellings of fairly consistent heights and depths with typical front setbacks to accommodate raised entries and driveways. The adjacent property to the north is on a lot the same size as the Subject Property (25'x 120'), containing a two-story single-family dwelling with a large third story addition. The adjacent property to the south is on a lot of equal size as the Subject Property, containing a two-story single-family dwelling.

The Subject Property is located in the Outer Richmond neighborhood within the RH-2 Zoning District in a residential district that includes primarily earlier 20th-century construction, with some contemporary infill dating from the 1960s through the 1980s.

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Posted Notice	10 days	February 22, 2016	February 18, 2016	14 days
Mailed Notice	10 days	February 22, 2016	February 22, 2016	10 days

PUBLIC COMMENT

	SUPPORT	OPPOSED	NO POSITION
Adjacent neighbor(s)	2	0	0

Other neighbors on the block or directly across the street	1	0	0
Neighborhood groups	0	0	0

REPLACEMENT STRUCTURE

The replacement structure will retain the single-family use and one-car garage. It would stand at approximately 30' in height at the primary façade and 40 feet from the curb level at the peak of the fourth floor, which will be set back 15 feet from the front façade and approximately 28 feet from the front property line. The ground floor will contain a one-car garage, entry foyer and guest bedroom. The primary entry to the residence is on the ground level. The second floor contains the primary living spaces (kitchen, dining room, living room) with access to the rear yard via a patio at grade. The third floor will contain three bedrooms and two baths with a small rear deck at the rear. The fourth floor will contain a media room measuring approximately 25 feet deep by approximately 17 feet wide with one roof deck to the rear and a second roofdeck at the front. The front deck, which features open glass railings, is setback 5 feet from the front facade. The fourth floor will be set back from the north side property line by 3 feet and the south property line by 3 feet, excluding the stair which is set back 2 feet with a pitched roof.

The Project proposes a rear yard of approximately 52 feet, approximately 2 feet beyond the 45% rear yard requirement for the Subject Property at the first and second stories, a permitted obstruction. The overall scale, design, and materials of the proposed replacement structure are compatible with the block-face and are complementary with the residential neighborhood character. The materials for the front façade are contemporary yet compatible in style, with painted horizontal wood siding, double-hung wood windows with wood trim, and wood trim to terminate the roof form at the primary façade.

PUBLIC COMMENT

The Project has completed the Section 311 and Mandatory DR notification. Staff received three letters of support from adjacent neighbors and no calls or letters in opposition to the proposed project. No separate Discretionary Review was filed.

GENERAL PLAN COMPLIANCE

The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

HOUSING ELEMENT

Objectives and Policies

OBJECTIVE 1:

IDENTIFY AND MAKE AVAILABLE FOR DEVELOPMENT ADEQUATE SITES TO MEET THE CITY'S HOUSING NEEDS, ESPECIALLY PERMANENTLY AFFORDABLE HOUSING.

Policy 1.1:

Plan for the full range of housing needs in the City and County of San Francisco, especially affordable housing.

While the project does not propose affordable housing, it will replace the existing single-family residence, assessed at a value of \$1,525,000 in March of 2015, with a new single-family residence. While the present

assessment does not qualify as demonstrably unaffordable per current Department thresholds, the affordability of the property was not taken into consideration as the property is located within a RH-2 district.

OBJECTIVE 3:

PROTECT THE AFFORDABILITY OF THE EXISTING HOUSING STOCK, ESPECIALLY RENTAL UNITS.

Policy 3.1:

Preserve rental units, especially rent controlled units, to meet the City's affordable housing needs.

No rental units are located at the subject property, thus no rental stock will be lost due to the proposed project.

OBJECTIVE 4:

FOSTER A HOUSING STOCK THAT MEETS THE NEEDS OF ALL RESIDENTS ACROSS LIFECYCLES.

Policy 4.1:

Develop new housing, and encourage the remodeling of existing housing, for families with children.

The proposal will provide a net gain of one bedroom to ameliorate the existing three-bedroom dwelling.

OBJECTIVE 11:

SUPPORT AND RESPECT THE DIVERSE AND DISTINCT CHARACTER OF SAN FRANCISCO'S NEIGHBORHOODS.

Policy 11.1:

Promote the construction and rehabilitation of well-designed housing that emphasizes beauty, flexibility, and innovative design, and respects existing neighborhood character.

The project's architecture respects the proportions of the neighborhood's mixed architectural definition, and will complement the residential character.

SECTION 101.1 PRIORITY POLICIES

Planning Code Section 101.1 establishes eight priority policies and requires review of permits for consistency, on balance, with these policies. The Project complies with these policies as follows:

1. Existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses enhanced.

The proposal does not contain any retail uses.

2. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

The existing building has been determined not to be an historic resource for purposes of CEQA.

3. That the City's supply of affordable housing be preserved and enhanced.

The proposal does not remove existing affordable housing. No rental units will be lost due to the project.

4. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

The proposal is of similar density to the surroundings and will not have impacts on MUNI. One off-street parking space will be retained.

5. A diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

The proposal is a residential use and will not impact employment.

6. The City achieves the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The proposal will conform to current codes.

7. Landmarks and historic buildings be preserved.

The proposal has been determined not an historic resource for purposes of CEQA.

8. Parks and open space and their access to sunlight and vistas be protected from development.

The proposal does not border a park and the proposal conforms to height restrictions of the district.

ENVIRONMENTAL REVIEW

The Project was issued a Categorical Exemption, Class 1 [State CEQA Guidelines Section 15301(1)(1) and 15303(b)] on March 16, 2015, and determined not to be an historic resource for purposes of CEQA.

RESIDENTIAL DESIGN TEAM REVIEW

The Residential Design Team reviewed the project. The RDT supports the Project and determines that it complies with the applicable quantitative standards of the Planning Code, including front setback, rear yard, building height and usable open space, and that its design is also consistent with the Residential Design Guidelines.

BASIS FOR RECOMMENDATION

The Department recommends that the demolition and new construction permits be approved. The Project is consistent with the Objectives and Policies of the General Plan and complies with the Residential

Design Guidelines and Planning Code. The Project meets the criteria set forth in Section 101.1 of the Planning Code in that:

- The Project will retain a single-family residence on site.
- No tenants will be displaced as a result of this Project.
- Given the scale of the Project, there will be no significant impact on the existing capacity of the local street system or MUNI.
- The RH-2 Zoning District allows a maximum of two dwelling-units on this lot. The surrounding properties are primarily single-family dwellings with few proximate multi-family buildings. The replacement Project is therefore an appropriate in-fill development.
- Although the structure is more than 50-years old, a review of the structure resulted in a determination that the existing building is not an historic resource or landmark.

RECOMMENDATION:

Case No. 2015-000164DRM – Do not take DR and approve the demolition.

Case No. 2015-000164PRJ – Do not take DR and approve the new construction permit.

DEMOLITION CRITERIA - ADMINISTRATIVE REVIEW

Existing Value and Soundness

1. Whether the Project Sponsor has demonstrated that the value of the existing land and structure of a single-family dwelling is not affordable or financially accessible housing (above the 80% average price of single-family homes in San Francisco, as determined by a credible appraisal within six months);

Criteria Not Applicable to Project

The Project is located within the RH-2 zoning district; therefore, this proposal is ineligible to be considered for administrative review under the criteria as these criteria can be considered for projects in Zoning Districts in RH-1 and RH-1(D) zoning districts only.

2. Whether the housing has been found to be unsound at the 50% threshold (applicable to one- and two-family dwellings);

Criteria Not Applicable to Project

The Project Sponsor did not submit a soundness report for the existing structure. The existing building is currently occupied by the sponsor.

DEMOLITION CRITERIA

Existing Building

1. Whether the property is free of a history of serious, continuing code violations;

Project Meets Criteria

A review of the databases for the Department of Building Inspection and the Planning Department did not show any enforcement cases or notices of violation.

2. Whether the housing has been maintained in a decent, safe, and sanitary condition;

Project Meets Criteria

The housing is free of Housing Code violations and appears to have been maintained in a decent, safe, and sanitary condition.

3. Whether the property is a "historical resource" under CEQA;

Project Meets Criteria

Although the structure is more than 50-years old, a review determination that it is not an historic resource for the purposes of CEQA.

4. If the property is an historic resource, whether the removal of the resource will have a substantial adverse impact under CEQA;

Criteria Not Applicable to Project

The property is not an historic resource.

Rental Protection

5. Whether the Project converts rental housing to other forms of tenure or occupancy;

Criteria Not Applicable to Project

The existing building is not subject to rent control as it is a single-family dwelling.

6. Whether the Project removes rental units subject to the Rent Stabilization and Arbitration Ordinance;

Criteria Not Applicable to Project

The building is not currently subject to rent control.

Priority Policies

7. Whether the Project conserves existing housing to preserve cultural and economic neighborhood diversity;

Project Does Not Meet Criteria

The Project does not meet this criterion because the existing dwelling will be demolished. Nonetheless, the Project preserves the quantity of housing. The creation of an enhanced single-family residence will preserve the cultural and economic diversity within the neighborhood.

8. Whether the Project conserves neighborhood character to preserve neighborhood cultural and economic diversity;

Project Meets Criteria

The Project will conserve the neighborhood character by constructing a replacement building that is compatible with regard to materials, massing, glazing pattern, and roofline with the dwellings in the surrounding neighborhood. By creating a compatible new building that maintains the density of a three-

unit building in a neighborhood defined by one-, two- and multi-family unit buildings, the neighborhood's cultural and economic diversity will be preserved.

9. Whether the Project protects the relative affordability of existing housing;

Project Meets Criteria

Although the existing dwelling proposed for demolition is not above the 80% average price of a single-family home and thus considered "relatively affordable and financially accessible" housing, the dwelling is not defined as an "affordable dwelling-unit" by the Mayor's Office of Housing.

10. Whether the Project increases the number of permanently affordable units as governed by Section 415;

Project Does Not Meet Criteria

The Project does not include any permanently affordable units, as the construction of the new residence does not trigger Section 415 review.

Replacement Structure

11. Whether the Project located in-fill housing on appropriate sites in established neighborhoods;

Project Meets Criteria

The Project replaces an existing single-family residence with a single-family residence in a neighborhood characterized by single-family residences with few multi-family dwellings.

12. Whether the Project creates quality, new family housing;

Project Meets Criteria

The Project will replace the existing three-bedroom dwelling with a four-bedroom dwelling and larger living spaces. The floor plans reflect such new quality, family housing.

13. Whether the Project creates new supportive housing;

Project Does Not Meet Criteria

The Project is not specifically designed to accommodate any particular Special Population Group as defined in the Housing Element.

14. Whether the Project promotes construction of well-designed housing to enhance existing neighborhood character;

Project Meets Criteria

The Project is in scale with the surrounding neighborhood and constructed of high-quality materials.

15. Whether the Project increases the number of on-site dwelling units;

Project Does Not Meet Criteria

The Project does not increase the number of dwelling units on the site.

16. Whether the Project increases the number of on-site bedrooms.

Project Meets Criteria

The Project increases the number of bedrooms on the site from three to four.

Attachments:

Design Review Checklist for replacement building
Block Book Map
Sanborn Map
Zoning Map
Aerial Photographs
Section 311 Notice
Residential Demolition Application
Prop M findings
Environmental Evaluation / Historic Resources Information
Letter of Support
Sponsor Letter
Reduced Plans
Context Photos
Color Rendering

Design Review Checklist

NEIGHBORHOOD CHARACTER (PAGES 7-10)

QUESTION	
The visual character is: (check one)	
Defined	<input type="checkbox"/>
Mixed	<input checked="" type="checkbox"/>

Comments: The surrounding neighborhood consists of primarily single-family residences with scattered three- and four-story buildings containing two- to four-unit buildings, with a larger (12-unit) building located at the corner of Lake Street and 23rd Avenue, two properties to the north. The residential neighborhood contains dwellings of fairly consistent heights and depths. The Subject Property is located within the RH-2 Zoning District in a residential district that includes primarily earlier 20th-century construction, with some contemporary infill dating from the 1960s through the 1980s. The adjacent property to the north is on a lot the same size as the Subject Property (25'x 120'), containing a two-story single-family dwelling with a large third story addition. The adjacent property to the south is on a lot of equal size as the Subject Property, containing a two-story single-family dwelling.

SITE DESIGN (PAGES 11 - 21)

QUESTION	YES	NO	N/A
Topography (page 11)			
Does the building respect the topography of the site and the surrounding area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Is the building placed on its site so it responds to its position on the block and to the placement of surrounding buildings?			
Front Setback (pages 12 - 15)			
Does the front setback provide a pedestrian scale and enhance the street?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
In areas with varied front setbacks, is the building designed to act as transition between adjacent buildings and to unify the overall streetscape?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Does the building provide landscaping in the front setback?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Side Spacing (page 15)			
Does the building respect the existing pattern of side spacing?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Rear Yard (pages 16 - 17)			
Is the building articulated to minimize impacts on light to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Is the building articulated to minimize impacts on privacy to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Views (page 18)			
Does the project protect major public views from public spaces?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Special Building Locations (pages 19 - 21)			
Is greater visual emphasis provided for corner buildings?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Is the building facade designed to enhance and complement adjacent public spaces?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Is the building articulated to minimize impacts on light to adjacent cottages?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Comments: The new building respects the existing block pattern by maintaining the front setback and not encroaching into the established mid-block open space. The overall scale of the project is consistent with the block face and is complementary to the neighborhood character. The proposed fourth story is setback beyond the existing vertical addition of the property to the south and adequate setbacks are provided at both side elevations at the third and fourth floors. The property slopes steeply upward from the front (west) to the rear (east), so the total height of the fourth floor addition stands at a height of 31' from the rear façade.

BUILDING SCALE AND FORM (PAGES 23 - 30)

QUESTION	YES	NO	N/A
Building Scale (pages 23 - 27)			
Is the building's height and depth compatible with the existing building scale at the street?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Is the building's height and depth compatible with the existing building scale at the mid-block open space?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Building Form (pages 28 - 30)			
Is the building's form compatible with that of surrounding buildings?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Is the building's facade width compatible with those found on surrounding buildings?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Are the building's proportions compatible with those found on surrounding buildings?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Is the building's roofline compatible with those found on surrounding buildings?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Comments: The replacement building is compatible with the established building scale at the street, as it retains the existing street wall and front setback. There is a predominance of three-story residences on the subject block. The height and depth of the building are compatible with the existing mid-block open space. The building's form, façade width, proportions, and roofline are compatible with the mixed neighborhood context. The proposed fourth floor will be setback approximately 15 feet from the front wall of the lower stories and will rise approximately 6 feet taller than the roofline of the third story addition of the adjacent property to the north.

ARCHITECTURAL FEATURES (PAGES 31 - 41)

QUESTION	YES	NO	N/A
Building Entrances (pages 31 - 33)			
Does the building entrance enhance the connection between the public realm of the street and sidewalk and the private realm of the building?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Does the location of the building entrance respect the existing pattern (see below) of building entrances? <i>(If yes, meets threshold. If no, consult RDT.)</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Is the building's front porch compatible with existing porches of surrounding buildings?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Are utility panels located so they are not visible on the front building wall or on the sidewalk?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Bay Windows (page 34)			
Are the length, height and type of bay windows compatible with those found on surrounding buildings?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Garages (pages 34 - 37)			
Is the garage structure detailed to create a visually interesting street frontage?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Are the design and placement of the garage entrance and door compatible with the building and the surrounding area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Is the width of the garage entrance minimized?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Is the placement of the curb cut coordinated to maximize on-street parking?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Rooftop Architectural Features (pages 38 - 41)			
Is the vertical addition designed to minimize its visibility from the street?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Are the parapets compatible with the overall building proportions and other building elements?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Are the dormers compatible with the architectural character of surrounding buildings?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Are the windscreens designed to minimize impacts on the building's design and on light to adjacent buildings?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Comments: The re-design of the entry sequence has defined a more gracious definition between the private and public realm, through use of entry stairs and landscaping. The proportion of the contemporary flush window bay is contemporary yet compatible with those found on surrounding buildings. The size of the garage door and curb cut have been minimized to the extent practical.

BUILDING DETAILS (PAGES 43 - 48)

QUESTION	YES	NO	N/A
Architectural Details (pages 43 - 44)			
Are the placement and scale of architectural details compatible with the building and the surrounding area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Windows (pages 44 - 46)			
Do the windows contribute to the architectural character of the building and the neighborhood?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Are the proportion and size of the windows related to that of existing buildings in the neighborhood?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Are the window features designed to be compatible with the building's architectural character, as well as other buildings in the neighborhood?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Are the window materials compatible with those found on surrounding buildings, especially on facades visible from the street?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Exterior Materials (pages 47 - 48)			
Are the type, finish and quality of the building's materials compatible with those used in the surrounding area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Are the building's exposed walls covered and finished with quality materials that are compatible with the front facade and adjacent buildings?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Are the building's materials properly detailed and appropriately applied?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Comments: The placement and scale of the architectural details are compatible with the mixed residential character of this neighborhood. The top of the building is capped by simple wood cornice. The fenestration is more gracious than the proportions of the surrounding buildings; however, the project proposes to use wood sash double-hung windows as a nod to the surrounding historic windows in the area.

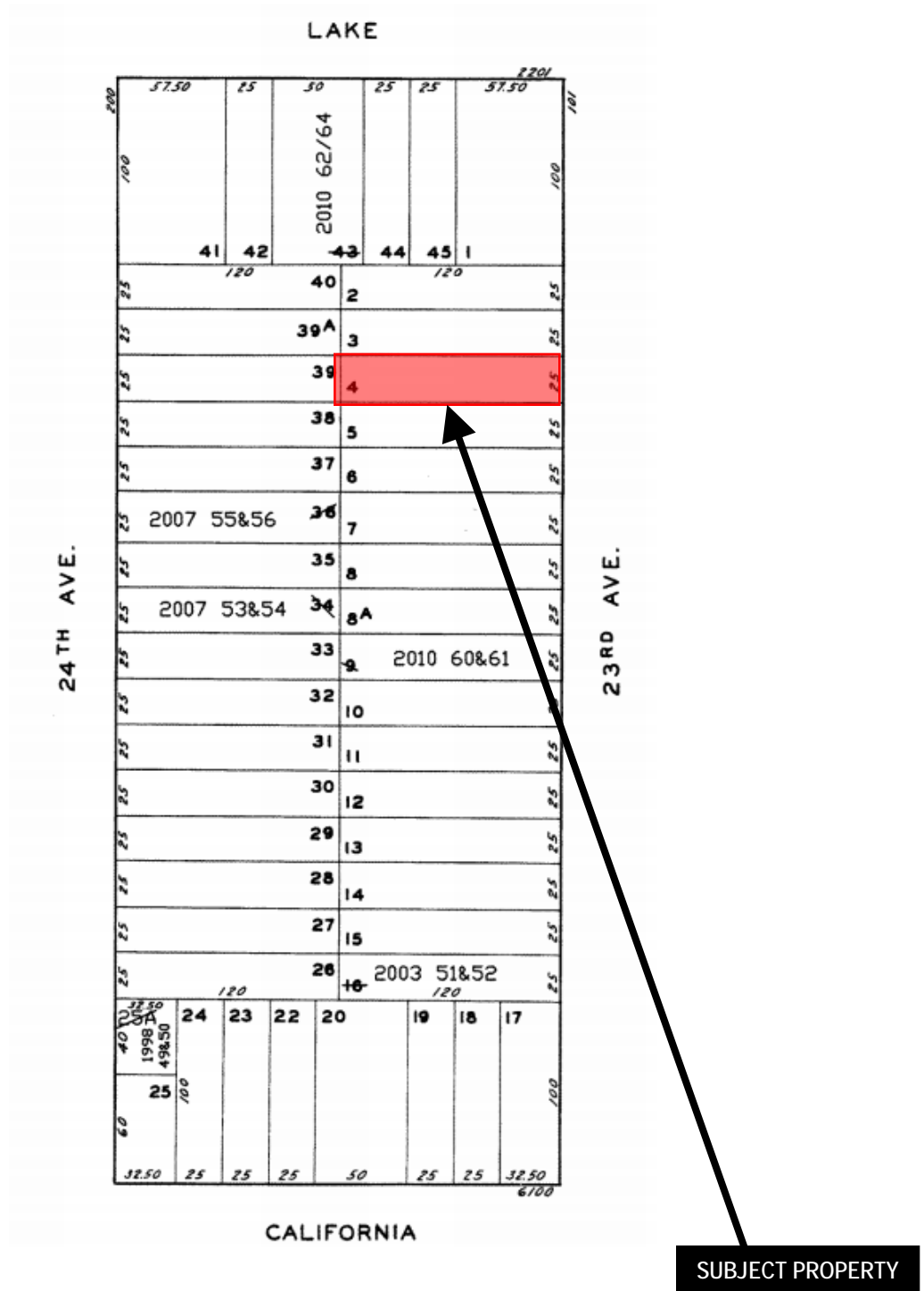
SPECIAL GUIDELINES FOR ALTERATIONS TO BUILDINGS OF POTENTIAL HISTORIC OR ARCHITECTURAL MERIT (PAGES 49 - 54)

QUESTION	YES	NO	N/A
Is the building subject to these Special Guidelines for Alterations to Buildings of Potential Historic or Architectural Merit?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Are the character-defining features of the historic building maintained?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Are the character-defining building form and materials of the historic building maintained?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Are the character-defining building components of the historic building maintained?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Are the character-defining windows of the historic building maintained?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Are the character-defining garages of the historic building maintained?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Comments: The building has been determined not to be a historic resource for the purposes of CEQA.

* All page numbers refer to the Residential Design Guidelines

Parcel Map



Discretionary Review Hearing
Case Number 2015-000164DRM
 127 23rd Ave
 Block 1383 Lot 004

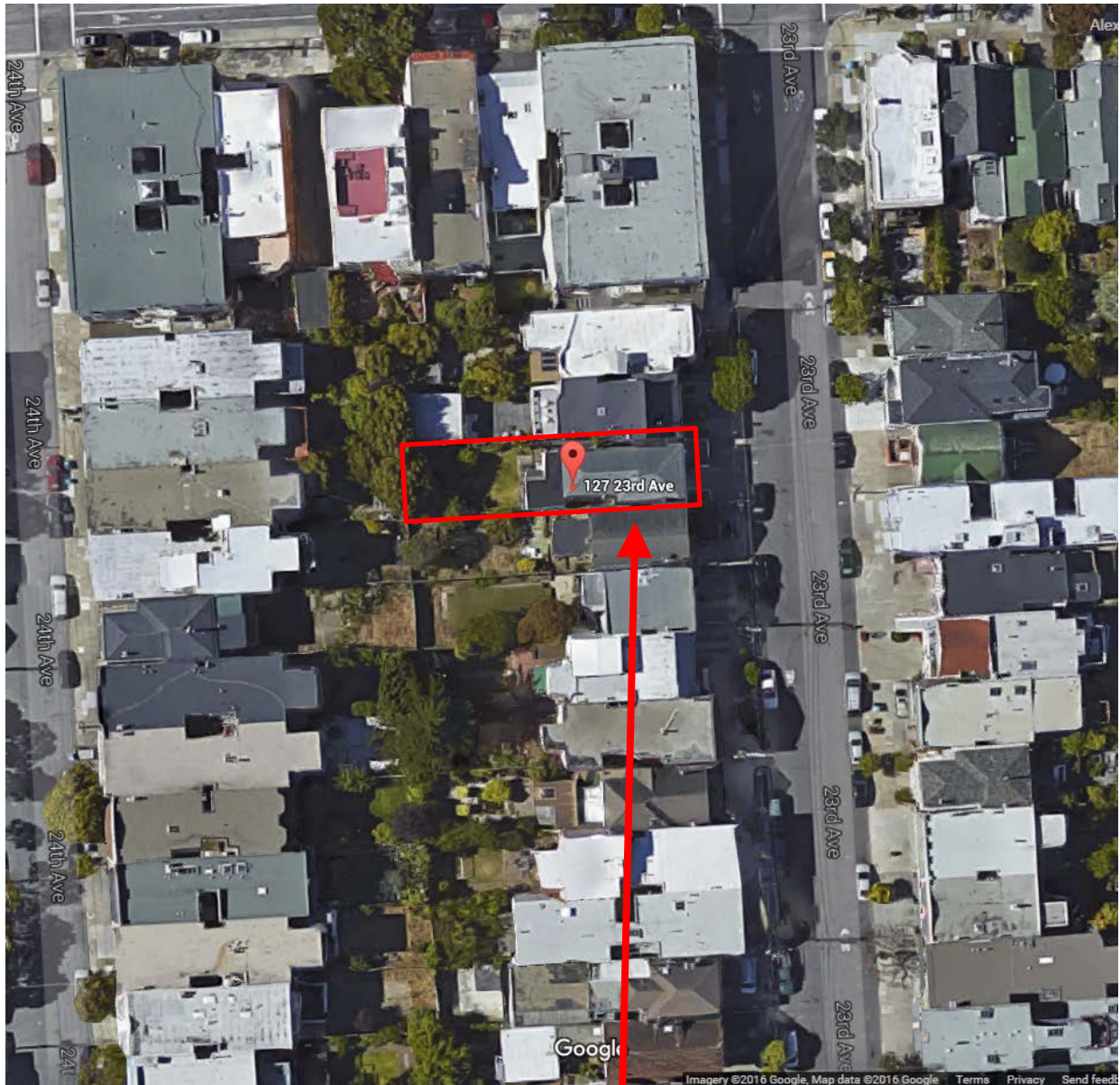
Sanborn Map*



*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Aerial Photo



SUBJECT PROPERTY



Discretionary Review Hearing
Case Number 2015-000164DRM
127 23rd Ave
Block 1383 Lot 004

Aerial Photo

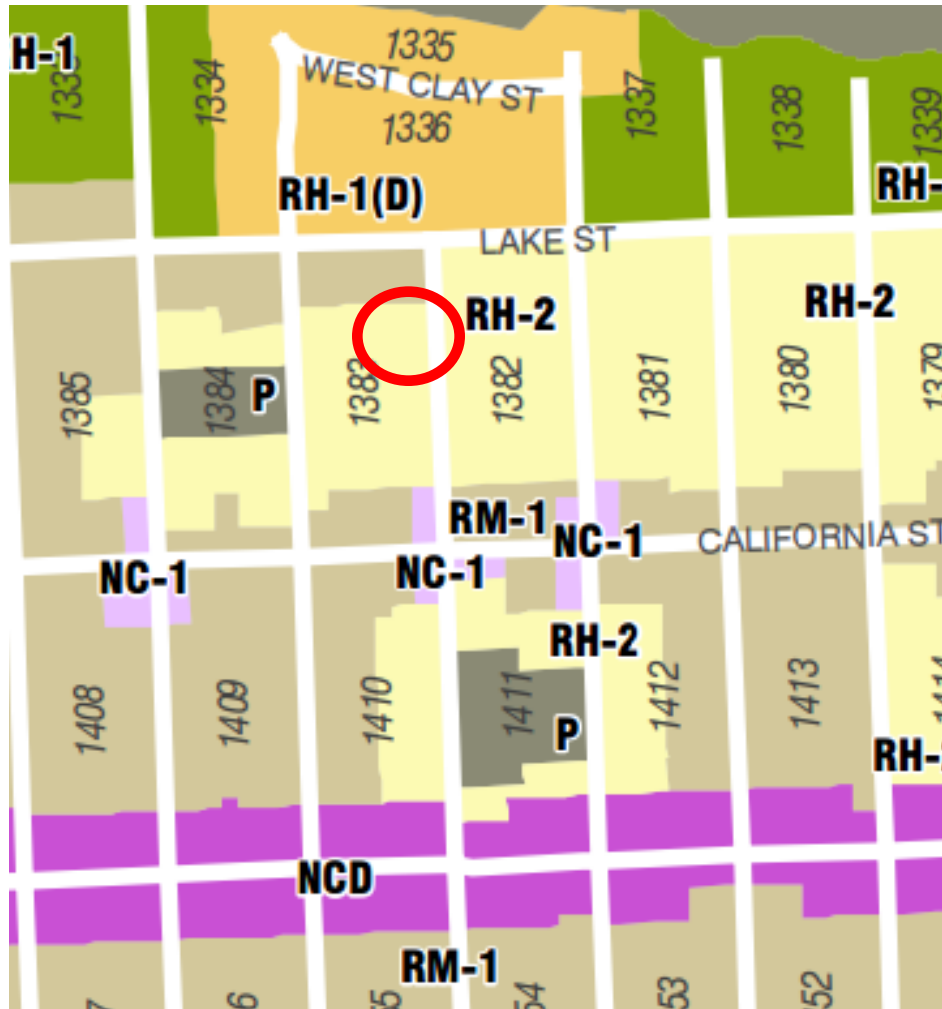
View to the south



SUBJECT PROPERTY

Discretionary Review Hearing
Case Number 2015-000164DRM
127 23rd Ave
Block 1383 Lot 004

Zoning Map



Site Photo



Discretionary Review Hearing
Case Number 2015-000164DRM
127 23rd Ave
Block 1383 Lot 004



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311/312)

On **December 19, 2014**, the Applicant named below filed Building Permit Application No. **2014.12.19.4194 (demolition)** and **2014.12.19.4190 (new construction)** with the City and County of San Francisco.

PROPERTY INFORMATION		APPLICANT INFORMATION	
Project Address:	127 23rd Avenue	Applicant:	Sutro Architects
Cross Street:	Lake and California Streets	Address:	915 Battery Street
Block/Lot No.:	1383/004	City, State:	San Francisco, CA 94111
Zoning District(s):	RH-2 / 40-X	Telephone:	(415) 956-3445

You are receiving this notice as a property owner or resident within 150 feet of the proposed project. You are not required to take any action. For more information about the proposed project, or to express concerns about the project, please contact the Applicant listed above or the Planner named below as soon as possible. If you believe that there are exceptional or extraordinary circumstances associated with the project, you may request the Planning Commission to use its discretionary powers to review this application at a public hearing. Applications requesting a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown below, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

PROJECT SCOPE		
<input checked="" type="checkbox"/> Demolition	<input checked="" type="checkbox"/> New Construction	<input type="checkbox"/> Alteration
<input type="checkbox"/> Change of Use	<input type="checkbox"/> Façade Alteration(s)	<input type="checkbox"/> Front Addition
<input type="checkbox"/> Rear Addition	<input type="checkbox"/> Side Addition	<input type="checkbox"/> Vertical Addition
PROJECT FEATURES	EXISTING	PROPOSED
Building Use	Residential	Residential
Front Setback	12'	13'
Side Setbacks	None	None
Building Depth	54'	55'
Rear Yard	55'	52'
Building Height	27'-6"	32'
Number of Stories	2	4
Number of Dwelling Units	1	1
Number of Parking Spaces	1	1
PROJECT DESCRIPTION		
The proposal is to demolish the existing non-historic two-story single-family residence (case number 2015-000164ENV) and construct a new three-story single-family residence with a partial fourth floor. See attached plans. The proposal requires a Mandatory Discretionary Review hearing before the Planning Commission (case number 2015-000164DRM), scheduled to be heard on March 3, 2016.		
The issuance of the building permit by the Department of Building Inspection or the Planning Commission project approval at a discretionary review hearing would constitute as the Approval Action for the project for the purposes of CEQA, pursuant to Section 31.04(h) of the San Francisco Administrative Code.		

For more information, please contact Planning Department staff:

Planner: Alexandra Kirby

Telephone: (415) 575-9133

E-mail: alexandra.kirby@sfgov.org

Notice Date: 1/27/2016

Expiration Date: 2/26/2016

中文詢問請電: (415) 575-9010

Para información en Español llamar al: (415) 575-9010

GENERAL INFORMATION ABOUT PROCEDURES

Reduced copies of the proposed project plans have been included in this mailing for your information. If you have questions about the plans, please contact the project Applicant listed on the front of this notice. You may wish to discuss the plans with your neighbors or neighborhood association, as they may already be aware of the project. If you have general questions about the Planning Department's review process, please contact the Planning Information Center at 1660 Mission Street, 1st Floor (415/ 558-6377) between 8:00am - 5:00pm Monday-Friday. If you have specific questions about the proposed project, you should contact the planner listed on the front of this notice.

If you believe that the impact on you from the proposed project is significant and you wish to seek to change the project, there are several procedures you may use. **We strongly urge that steps 1 and 2 be taken.**

1. Request a meeting with the project Applicant to get more information and to explain the project's impact on you.
2. Contact the nonprofit organization Community Boards at (415) 920-3820, or online at www.communityboards.org for a facilitated discussion in a safe and collaborative environment. Community Boards acts as a neutral third party and has, on many occasions, helped reach mutually agreeable solutions.
3. Where you have attempted, through the use of the above steps or other means, to address potential problems without success, please contact the planner listed on the front of this notice to discuss your concerns.

If, after exhausting the procedures outlined above, you still believe that exceptional and extraordinary circumstances exist, you have the option to request that the Planning Commission exercise its discretionary powers to review the project. These powers are reserved for use in exceptional and extraordinary circumstances for projects which generally conflict with the City's General Plan and the Priority Policies of the Planning Code; therefore the Commission exercises its discretion with utmost restraint. This procedure is called Discretionary Review. If you believe the project warrants Discretionary Review by the Planning Commission, **you must file a Discretionary Review application prior to the Expiration Date shown on the front of this notice.** Discretionary Review applications are available at the Planning Information Center (PIC), 1660 Mission Street, 1st Floor, or online at www.sfplanning.org. You must submit the application in person at the Planning Information Center (PIC) between 8:00am - 5:00pm Monday-Friday, with all required materials and a check payable to the Planning Department. To determine the fee for a Discretionary Review, please refer to the Planning Department Fee Schedule available at www.sfplanning.org. If the project includes multiple building permits, i.e. demolition and new construction, a **separate request for Discretionary Review must be submitted, with all required materials and fee, for each permit that you feel will have an impact on you.**

Incomplete applications will not be accepted.

If no Discretionary Review Applications have been filed within the Notification Period, the Planning Department will approve the application and forward it to the Department of Building Inspection for its review.

BOARD OF APPEALS

An appeal of the Planning Commission's decision on a Discretionary Review case may be made to the **Board of Appeals within 15 calendar days after the building permit is issued** (or denied) by the Department of Building Inspection. Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

ENVIRONMENTAL REVIEW

This project has undergone preliminary review pursuant to California Environmental Quality Act (CEQA). If, as part of this process, the Department's Environmental Review Officer has deemed this project to be exempt from further environmental review, an exemption determination has been prepared and can be obtained through the Exemption Map, on-line, at www.sfplanning.org. An appeal of the decision **to exempt the proposed project from CEQA may be made to the Board of Supervisors within 30 calendar days** after the project approval action identified on the determination. The procedures for filing an appeal of an exemption determination are available from the Clerk of the Board at City Hall, Room 244, or by calling (415) 554-5184.

Under CEQA, in a later court challenge, a litigant may be limited to raising only those issues previously raised at a hearing on the project or in written correspondence delivered to the Board of Supervisors, Planning Commission, Planning Department or other City board, commission or department at, or prior to, such hearing, or as part of the appeal hearing process on the CEQA decision.

APPLICATION FOR

Dwelling Unit Removal Merger, Conversion, or Demolition

1. Owner/Applicant Information

PROPERTY OWNER'S NAME: Steven Linde & Robyn Wilkinson	
PROPERTY OWNER'S ADDRESS: 127 23rd Avenue San Francisco, CA 94121	TELEPHONE: (415) 298-7548 EMAIL: robyn.wilkinson@pobox.com

APPLICANT'S NAME: Amanda Dunbar		Same as Above <input type="checkbox"/>
APPLICANT'S ADDRESS: 915 Battery Street, First Floor San Francisco, CA 94111	TELEPHONE: (415) 766-4089 EMAIL: adunbar@sutroarchitects.com	

CONTACT FOR PROJECT INFORMATION:		Same as Above <input checked="" type="checkbox"/>
ADDRESS:	TELEPHONE: () EMAIL:	

COMMUNITY LIAISON FOR PROJECT (PLEASE REPORT CHANGES TO THE ZONING ADMINISTRATOR):		Same as Above <input checked="" type="checkbox"/>
ADDRESS:	TELEPHONE: () EMAIL:	

2. Location and Classification

STREET ADDRESS OF PROJECT: 127 23rd Avenue		ZIP CODE: 95121		
CROSS STREETS: Lake Street & California Street				
ASSESSORS BLOCK/LOT: 1383 / 004	LOT DIMENSIONS: 120' x 25'	LOT AREA (SQ FT): 3,000 sq ft	ZONING DISTRICT: RH-2	HEIGHT/BULK DISTRICT: 40-x

3. Project Type and History

(Please check all that apply) <input checked="" type="checkbox"/> New Construction <input type="checkbox"/> Alterations <input checked="" type="checkbox"/> Demolition <input type="checkbox"/> Other Please clarify: _____	ADDITIONS TO BUILDING: <input type="checkbox"/> Rear <input type="checkbox"/> Front <input type="checkbox"/> Height <input type="checkbox"/> Side Yard	BUILDING PERMIT NUMBER(S):		DATE FILED:
		201412194194		12/19/2014
		201412194190		12/19/2014
		DATE OF PROPERTY PURCHASE: (MM/DD/YYYY)		
		01/04/2008		
		ELLIS ACT	YES	NO
		Was the building subject to the Ellis Act within the last decade?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

4. Project Summary Table

If you are not sure of the eventual size of the project, provide the maximum estimates.

	EXISTING USES:	EXISTING USES TO BE RETAINED:	NET NEW CONSTRUCTION AND/OR ADDITION:	PROJECT TOTALS:
PROJECT FEATURES				
Dwelling Units	1	0	1	1
Hotel Rooms	0	0	0	0
Parking Spaces	1	0	1	1
Loading Spaces	0	0	0	0
Number of Buildings	1	0	1	1
Height of Building(s)	30	0	40	40
Number of Stories	1 over basement	0	3 over basement	3 over basement
Bicycle Spaces	0	0	0	0
GROSS SQUARE FOOTAGE (GSF)				
Residential	1216	0	3245	3245
Retail	0	0	0	0
Office	0	0	0	0
Industrial/PDR <i>Production, Distribution, & Repair</i>	0	0	0	0
Parking	401	0	335	335
Other (Specify Use)	0	0	0	0
TOTAL GSF	1617	0	3580	3580

5. Additional Project Details

UNITS	EXISTING:	PROPOSED:	NET CHANGE:
Owner-occupied Units:	1	1	0
Rental Units:	0	0	0
Total Units:	1	1	0
Units subject to Rent Control:	0	0	0
Vacant Units:	0	0	0

BEDROOMS	EXISTING:	PROPOSED:	NET CHANGE:
Owner-occupied Bedrooms:	3	4	1
Rental Bedrooms:	0	0	0
Total Bedrooms:	3	4	1
Bedrooms subject to Rent Control:	0	0	0

6. Unit Specific Information

	UNIT NO.	NO. OF BEDROOMS	GSF	OCCUPANCY	ADDITIONAL CRITERIA (check all that apply)
EXISTING	1	3	385	<input checked="" type="checkbox"/> OWNER OCCUPIED <input type="checkbox"/> RENTAL	<input type="checkbox"/> ELLIS ACT <input type="checkbox"/> VACANT <input type="checkbox"/> RENT CONTROL
PROPOSED	1	4	628	<input checked="" type="checkbox"/> OWNER OCCUPIED <input type="checkbox"/> RENTAL	
EXISTING				<input type="checkbox"/> OWNER OCCUPIED <input type="checkbox"/> RENTAL	<input type="checkbox"/> ELLIS ACT <input type="checkbox"/> VACANT <input type="checkbox"/> RENT CONTROL
PROPOSED				<input type="checkbox"/> OWNER OCCUPIED <input type="checkbox"/> RENTAL	
EXISTING				<input type="checkbox"/> OWNER OCCUPIED <input type="checkbox"/> RENTAL	<input type="checkbox"/> ELLIS ACT <input type="checkbox"/> VACANT <input type="checkbox"/> RENT CONTROL
PROPOSED				<input type="checkbox"/> OWNER OCCUPIED <input type="checkbox"/> RENTAL	

7. Other Information

Please describe any additional project features that were not included in the above tables:
(Attach a separate sheet if more space is needed)

The proposal includes the demolition of the existing, single-unit building at 127 23rd Ave to be replaced by the new construction of a single-unit building at the property.

Priority General Plan Policies – Planning Code Section 101.1

(APPLICABLE TO ALL PROJECTS)

Proposition M was adopted by the voters on November 4, 1986. It requires that the City shall find that proposed alterations and demolitions are consistent with eight priority policies set forth in Section 101.1 of the Planning Code. These eight policies are listed below. Please state how the Project is consistent or inconsistent with each policy. Each statement should refer to specific circumstances or conditions applicable to the property. Each policy must have a response. If a given policy does not apply to your project, explain why it is not applicable.

Please respond to each policy; if it's not applicable explain why:

1. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses enhanced;

This is not applicable because 127 23rd Avenue exists in a residential (RH-2) district and has no effect on the neighborhood-serving retail uses.

2. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods;

The existing housing and neighborhood character will be conserved and protected. We propose to replace an existing single family residence with a new single family residence. The front elevation has been sensitively designed to blend with the existing neighborhood scale.

3. That the City's supply of affordable housing be preserved and enhanced;

The proposed project will not affect the city's supply of affordable housing since it is a demolition and new construction of a single-family dwelling. The project will instead allow a San Francisco family to stay in the city in a house that accommodates for their growing family.

4. That commuter traffic not impede Muni transit service or overburden our streets or neighborhood parking;

The proposal will have no effect on commuter traffic, transit service, or neighborhood parking. The same family that currently resides at 127 23rd Ave will continue to reside in the residence after the project is complete.

Please respond to each policy; if it's not applicable explain why:

5. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced;

127 23rd Avenue exists in a residential (RH-2) district and will have no effect on the industrial and service sectors.

6. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake;

The proposed building will meet all of the current building and life-safety codes in order to protect against injury and loss of life in an earthquake.

7. That landmarks and historic buildings be preserved; and

127 23rd Avenue is not currently considered a landmark or historic building. The proposed design of the new construction will conform to the character of the existing buildings in the surrounding area.

8. That our parks and open space and their access to sunlight and vistas be protected from development.

No development will take place that will affect parks, open space, and their access to sunlight and vistas.

This page intentionally left blank.

Dwelling Unit Demolition

(SUPPLEMENTAL INFORMATION)

Pursuant to Planning Code Section 317(d), Residential Demolition not otherwise subject to a Conditional Use Authorization shall be either subject to a Mandatory Discretionary Review hearing or will qualify for administrative approval.

Administrative approval only applies to:

- (1) single-family dwellings in RH-1 and RH-1(D) Districts proposed for Demolition that are not affordable or financially accessible housing (valued by a credible appraisal within the past six months to be greater than 80% of combined land and structure value of single-family homes in San Francisco); **OR**
- (2) residential buildings of two units or fewer that are found to be unsound housing.

Please see the Department's website under Publications for "*Loss of Dwelling Units Numerical Values*".

The Planning Commission will consider the following criteria in the review of Residential Demolitions. Please fill out answers to the criteria below:

	EXISTING VALUE AND SOUNDNESS	YES	NO
1	Is the value of the existing land and structure of the single-family dwelling affordable or financially accessible housing (below the 80% average price of single-family homes in San Francisco, as determined by a credible appraisal within six months)? If no, submittal of a credible appraisal is required with the application.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2	Has the housing been found to be unsound at the 50% threshold (applicable to one- and two-family dwellings)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3	Is the property free of a history of serious, continuing code violations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4	Has the housing been maintained in a decent, safe, and sanitary condition?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5	Is the property a <i>historical resource</i> under CEQA? If yes, will the removal of the resource have a substantial adverse impact under CEQA? <input type="checkbox"/> YES <input type="checkbox"/> NO	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	RENTAL PROTECTION	YES	NO
6	Does the Project convert rental housing to other forms of tenure or occupancy?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
7	Does the Project remove rental units subject to the Rent Stabilization and Arbitration Ordinance or affordable housing?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	PRIORITY POLICIES	YES	NO
8	Does the Project conserve existing housing to preserve cultural and economic neighborhood diversity?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9	Does the Project conserve neighborhood character to preserve neighborhood cultural and economic diversity?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10	Does the Project protect the relative affordability of existing housing?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11	Does the Project increase the number of permanently affordable units as governed by Section 415?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Dwelling Unit **Demolition**

(SUPPLEMENTAL INFORMATION CONTINUED)

	REPLACEMENT STRUCTURE	YES	NO
12	Does the Project locate in-fill housing on appropriate sites in established neighborhoods?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
13	Does the Project increase the number of family-sized units on-site?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
14	Does the Project create new supportive housing?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
15	Is the Project of superb architectural and urban design, meeting all relevant design guidelines, to enhance the existing neighborhood character?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16	Does the Project increase the number of on-site dwelling units?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
17	Does the Project increase the number of on-site bedrooms?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: Other information or applications may be required.

Signature: 

Date: Feb 17, 2015

Print name, and indicate whether owner, or authorized agent:

Amanda Dunbar - Authorized Agent

Owner / Authorized Agent (circle one)

Demolition Application Submittal Checklist

(FOR PLANNING DEPARTMENT USE ONLY)

Applications submitted to the Planning Department must be accompanied by this checklist and all required materials.

APPLICATION MATERIALS	CHECKLIST
Original Application, signed with all blanks completed	<input checked="" type="checkbox"/>
Prop. M Findings (General Plan Policy Findings)	<input checked="" type="checkbox"/>
Supplemental Information Pages for Demolition	<input checked="" type="checkbox"/>
Notification Materials Package: (See Page 4)	<input type="checkbox"/> *
Notification map	<input type="checkbox"/> *
Address labels	<input type="checkbox"/> *
Address list (printed list of all mailing data or copy of labels)	<input type="checkbox"/> *
Affidavit of Notification Materials Preparation	<input type="checkbox"/> *
Set of plans: One set full size AND two reduced size 11"x17"	<input checked="" type="checkbox"/>
Site Plan (existing and proposed)	<input checked="" type="checkbox"/>
Floor Plans (existing and proposed)	<input checked="" type="checkbox"/>
Elevations (including adjacent structures)	<input checked="" type="checkbox"/>
Current photographs	<input checked="" type="checkbox"/>
Historic photographs (if possible)	<input type="checkbox"/>
Check payable to Planning Dept. (see current fee schedule)	<input checked="" type="checkbox"/>
Letter of authorization for agent (if applicable)	<input checked="" type="checkbox"/>
Pre-Application Materials (if applicable)	<input checked="" type="checkbox"/> w/ BPA also
Other: Section Plan, Detail drawings (ie. windows, door entries, trim), Specifications (for cleaning, repair, etc.) and/or Product cut sheets for new elements (ie. windows, doors)	<input type="checkbox"/>

NOTES:

☐ Required Material. Write "N/A" if you believe the item is not applicable, (e.g. letter of authorization is not required if application is signed by property owner.)

☐ Typically would not apply. Nevertheless, in a specific case, staff may require the item.

☐* Required upon request upon hearing scheduling.

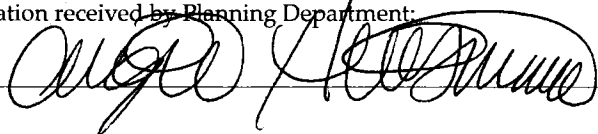
Some applications will require additional materials not listed above. The above checklist does not include material needed for Planning review of a building permit. The "Application Packet" for Building Permit Applications lists those materials.

No application will be accepted by the Department unless the appropriate column on this form is completed. Receipt of this checklist, the accompanying application, and required materials by the Department serves to open a Planning file for the proposed project. After the file is established it will be assigned to a planner. At that time, the planner assigned will review the application to determine whether it is complete or whether additional information is required in order for the Department to make a decision on the proposal.

For Department Use Only

Application received by Planning Department:

By:



Date:

3/18/15

To Whomever it May Concern,

I, Robyn Wilkinson, do hereby give Amanda Dunbar of Sutro Architects permission to submit the applications and other supporting documents on my behalf to the San Francisco Planning Department, regarding the project entitled 127 23rd Avenue.

Signed: Robyn Wilkinson ↗
Name Printed: Robyn Wilkinson
Date: 12/17/14



SAN FRANCISCO PLANNING DEPARTMENT

CEQA Categorical Exemption Determination

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address		Block/Lot(s)	
127 23rd Ave.		1383/004	
Case No.	Permit No.	Plans Dated	
2015-000164ENV	201412194194/201412194190	12/11/14	
<input type="checkbox"/> Addition/ Alteration	<input checked="" type="checkbox"/> Demolition (requires HRER if over 45 years old)	<input checked="" type="checkbox"/> New Construction	<input type="checkbox"/> Project Modification (GO TO STEP 7)
Project description for Planning Department approval. CONSTRUCT (N) 3-STORY SINGLE FAMILY RESIDENCE. & DEMOLISH 1-STORY OVER GARAGE SINGLE FAMILY RESIDENCE.			

STEP 1: EXEMPTION CLASS

TO BE COMPLETED BY PROJECT PLANNER

Note: If neither class applies, an <i>Environmental Evaluation Application</i> is required.	
<input checked="" type="checkbox"/>	Class 1 – Existing Facilities. Interior and exterior alterations; additions under 10,000 sq. ft.
<input checked="" type="checkbox"/>	Class 3 – New Construction/ Conversion of Small Structures. Up to three (3) new single-family residences or six (6) dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input type="checkbox"/>	Class__

STEP 2: CEQA IMPACTS

TO BE COMPLETED BY PROJECT PLANNER

If any box is checked below, an <i>Environmental Evaluation Application</i> is required.	
<input type="checkbox"/>	Transportation: Does the project create six (6) or more net new parking spaces or residential units? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?
<input type="checkbox"/>	Air Quality: Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g., backup diesel generators, heavy industry, diesel trucks, etc.)? (refer to EP ArcMap > CEQA Catex Determination Layers > Air Pollution Exposure Zone)
<input type="checkbox"/>	Hazardous Materials: If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential? If yes, this box must be checked and the project applicant must submit an Environmental Application with a Phase I Environmental Site Assessment. <i>Exceptions: do not check box if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Maher program, a DPH waiver from the</i>

	<i>Maher program, or other documentation from Environmental Planning staff that hazardous material effects would be less than significant (refer to EP_ArcMap > Maher layer).</i>
<input type="checkbox"/>	Soil Disturbance/Modification: Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non-archeological sensitive area? (refer to EP_ArcMap > CEQA Catex Determination Layers > Archeological Sensitive Area)
<input type="checkbox"/>	Noise: Does the project include new noise-sensitive receptors (schools, day care facilities, hospitals, residential dwellings, and senior-care facilities) fronting roadways located in the noise mitigation area? (refer to EP_ArcMap > CEQA Catex Determination Layers > Noise Mitigation Area)
<input type="checkbox"/>	Subdivision/Lot Line Adjustment: Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography)
<input type="checkbox"/>	Slope = or > 20%: Does the project involve excavation of 50 cubic yards of soil or more, square footage expansion greater than 1,000 sq. ft., shoring, underpinning, retaining wall work, or grading on a lot with a slope average of 20% or more? <i>Exceptions: do not check box for work performed on a previously developed portion of site, stairs, patio, deck, or fence work. (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography)</i> If box is checked, a geotechnical report is required and a Certificate or higher level CEQA document required
<input type="checkbox"/>	Seismic: Landslide Zone: Does the project involve excavation of 50 cubic yards of soil or more, square footage expansion greater than 1,000 sq. ft., shoring, underpinning, retaining wall work, grading –including excavation and fill on a landslide zone – as identified in the San Francisco General Plan? <i>Exceptions: do not check box for work performed on a previously developed portion of the site, stairs, patio, deck, or fence work. (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones)</i> If box is checked, a geotechnical report is required and a Certificate or higher level CEQA document required
<input type="checkbox"/>	Seismic: Liquefaction Zone: Does the project involve excavation of 50 cubic yards of soil or more, square footage expansion greater than 1000 sq ft, shoring, underpinning, retaining wall work, or grading on a lot in a liquefaction zone? <i>Exceptions: do not check box for work performed on a previously developed portion of the site, stairs, patio, deck, or fence work. (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones)</i> If box is checked, a geotechnical report will likely be required
<input type="checkbox"/>	Serpentine Rock: Does the project involve any excavation on a property containing serpentine rock? <i>Exceptions: do not check box for stairs, patio, deck, retaining walls, or fence work. (refer to EP_ArcMap > CEQA Catex Determination Layers > Serpentine)</i>
*If no boxes are checked above, GO TO STEP 3. <u>If one or more boxes are checked above, an Environmental Evaluation Application is required, unless reviewed by an Environmental Planner.</u>	
<input checked="" type="checkbox"/>	Project can proceed with categorical exemption review. The project does not trigger any of the CEQA impacts listed above.
Comments and Planner Signature (optional): Jean Poling	

STEP 3: PROPERTY STATUS – HISTORIC RESOURCE TO BE COMPLETED BY PROJECT PLANNER

PROPERTY IS ONE OF THE FOLLOWING: (refer to Parcel Information Map)	
<input type="checkbox"/>	Category A: Known Historical Resource. GO TO STEP 5.
<input checked="" type="checkbox"/>	Category B: Potential Historical Resource (over 45 years of age). GO TO STEP 4.
<input type="checkbox"/>	Category C: Not a Historical Resource or Not Age Eligible (under 45 years of age). GO TO STEP 6.

STEP 4: PROPOSED WORK CHECKLIST
TO BE COMPLETED BY PROJECT PLANNER

Check all that apply to the project.	
<input type="checkbox"/>	1. Change of use and new construction. Tenant improvements not included.
<input type="checkbox"/>	2. Regular maintenance or repair to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	3. Window replacement that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. Garage work. A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	5. Deck, terrace construction, or fences not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. Mechanical equipment installation that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. Dormer installation that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	8. Addition(s) that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
Note: Project Planner must check box below before proceeding.	
<input checked="" type="checkbox"/>	Project is not listed. GO TO STEP 5.
<input type="checkbox"/>	Project does not conform to the scopes of work. GO TO STEP 5.
<input type="checkbox"/>	Project involves four or more work descriptions. GO TO STEP 5.
<input type="checkbox"/>	Project involves less than four work descriptions. GO TO STEP 6.

STEP 5: CEQA IMPACTS – ADVANCED HISTORICAL REVIEW
TO BE COMPLETED BY PRESERVATION PLANNER

Check all that apply to the project.	
<input type="checkbox"/>	1. Project involves a known historical resource (CEQA Category A) as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	2. Interior alterations to publicly accessible spaces.
<input type="checkbox"/>	3. Window replacement of original/historic windows that are not “in-kind” but are consistent with existing historic character.
<input type="checkbox"/>	4. Façade/storefront alterations that do not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	5. Raising the building in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	6. Restoration based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.
<input type="checkbox"/>	7. Addition(s) , including mechanical equipment that are minimally visible from a public right-of-way and meet the <i>Secretary of the Interior's Standards for Rehabilitation</i> .

<input type="checkbox"/>	8. Other work consistent with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (specify or add comments):
<input type="checkbox"/>	9. Other work that would not materially impair a historic district (specify or add comments): (Requires approval by Senior Preservation Planner/Preservation Coordinator) _____
<input checked="" type="checkbox"/>	10. Reclassification of property status to Category C. (Requires approval by Senior Preservation Planner/Preservation Coordinator) a. Per HRER dated: July 28, 2014 (attach HRER) b. Other (specify):
Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST check one box below.	
<input type="checkbox"/>	Further environmental review required. Based on the information provided, the project requires an <i>Environmental Evaluation Application</i> to be submitted. GO TO STEP 6.
<input checked="" type="checkbox"/>	Project can proceed with categorical exemption review. The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. GO TO STEP 6.
Comments (optional):	
Preservation Planner Signature: Justin Greving <small>Digitally signed by Justin Greving DN: dc=org, dc=sfgov, dc=cityplanning, ou=CityPlanning, ou=Current Planning, cn=Justin Greving, email=Justin.Greving@sfgov.org Date: 2015.03.16 10:32:27 -0700</small>	

STEP 6: CATEGORICAL EXEMPTION DETERMINATION
TO BE COMPLETED BY PROJECT PLANNER

<input type="checkbox"/>	Further environmental review required. Proposed project does not meet scopes of work in either (check all that apply): <input type="checkbox"/> Step 2 – CEQA Impacts <input type="checkbox"/> Step 5 – Advanced Historical Review STOP! Must file an <i>Environmental Evaluation Application</i>.	
<input checked="" type="checkbox"/>	No further environmental review is required. The project is categorically exempt under CEQA.	
	Planner Name: Justin A Greving Project Approval Action: Building Permit *If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.	Signature: Justin Greving <small>Digitally signed by Justin Greving DN: dc=org, dc=sfgov, dc=cityplanning, ou=CityPlanning, ou=Current Planning, cn=Justin Greving, email=Justin.Greving@sfgov.org Date: 2015.03.16 10:32:27 -0700</small>
	Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code. In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the first approval action.	

**STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT
TO BE COMPLETED BY PROJECT PLANNER**

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be subject to additional environmental review pursuant to CEQA.

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address (If different than front page)		Block/Lot(s) (If different than front page)
Case No.	Previous Building Permit No.	New Building Permit No.
Plans Dated	Previous Approval Action	New Approval Action
Modified Project Description:		

DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project:	
<input type="checkbox"/>	Result in expansion of the building envelope, as defined in the Planning Code;
<input type="checkbox"/>	Result in the change of use that would require public notice under Planning Code Sections 311 or 312;
<input type="checkbox"/>	Result in demolition as defined under Planning Code Section 317 or 19005(f)?
<input type="checkbox"/>	Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption?
If at least one of the above boxes is checked, further environmental review is required CATEX FORM	

DETERMINATION OF NO SUBSTANTIAL MODIFICATION

<input type="checkbox"/>	The proposed modification would not result in any of the above changes.
If this box is checked, the proposed modifications are categorically exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice.	
Planner Name:	Signature or Stamp:



SAN FRANCISCO PLANNING DEPARTMENT

PRESERVATION TEAM REVIEW FORM

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Preservation Team Meeting Date:		Date of Form Completion	3/12/2015
--	--	--------------------------------	-----------

PROJECT INFORMATION:		
Planner:	Address:	
Justin Greving	127 23rd Avenue	
Block/Lot:	Cross Streets:	
1383/004	Lake and California streets	
CEQA Category:	Art. 10/11:	BPA/Case No.:
b	n/a	2015-000164ENV

PURPOSE OF REVIEW:			PROJECT DESCRIPTION:	
<input checked="" type="radio"/> CEQA	<input type="radio"/> Article 10/11	<input type="radio"/> Preliminary/PIC	<input type="radio"/> Alteration	<input checked="" type="radio"/> Demo/New Construction

DATE OF PLANS UNDER REVIEW:	12/11/2014
------------------------------------	------------

PROJECT ISSUES:	
<input checked="" type="checkbox"/>	Is the subject Property an eligible historic resource?
<input type="checkbox"/>	If so, are the proposed changes a significant impact?
Additional Notes:	
Submitted: Historic Resource Evaluation prepared by Left Coast Architectural History (Dated July 23, 2014)	
Proposed Project: Construct (n) 3-story single family residence. & demolish 1-story over garage single family residence.	

PRESERVATION TEAM REVIEW:			
Historic Resource Present		<input type="radio"/> Yes	<input checked="" type="radio"/> No *
		<input type="radio"/> N/A	
Individual		Historic District/Context	
Property is individually eligible for inclusion in a California Register under one or more of the following Criteria:		Property is in an eligible California Register Historic District/Context under one or more of the following Criteria:	
Criterion 1 - Event:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 1 - Event:	<input type="radio"/> Yes <input checked="" type="radio"/> No
Criterion 2 - Persons:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 2 - Persons:	<input type="radio"/> Yes <input checked="" type="radio"/> No
Criterion 3 - Architecture:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 3 - Architecture:	<input type="radio"/> Yes <input checked="" type="radio"/> No
Criterion 4 - Info. Potential:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 4 - Info. Potential:	<input type="radio"/> Yes <input checked="" type="radio"/> No
Period of Significance:	n/a	Period of Significance:	n/a
		<input type="radio"/> Contributor <input type="radio"/> Non-Contributor	

Complies with the Secretary's Standards/Art 10/Art 11:	<input type="radio"/> Yes	<input type="radio"/> No	<input checked="" type="radio"/> N/A
CEQA Material Impairment:	<input type="radio"/> Yes	<input checked="" type="radio"/> No	
Needs More Information:	<input type="radio"/> Yes	<input checked="" type="radio"/> No	
Requires Design Revisions:	<input type="radio"/> Yes	<input checked="" type="radio"/> No	
Defer to Residential Design Team:	<input checked="" type="radio"/> Yes	<input type="radio"/> No	

* If No is selected for Historic Resource per CEQA, a signature from Senior Preservation Planner or Preservation Coordinator is required.

PRESERVATION TEAM COMMENTS:
<p>According to the Historic Resource Evaluation (HRE) prepared by Left Coast Architectural History (dated July 28, 2014) and information found in the Planning Department files, the subject property at 127 23rd Avenue contains a single-story over garage wood-frame single-family residence constructed in 1909 (source: building permit). The subject property was constructed by builder William Van Herick for Elizabeth Manion, the original owner. Manion did not live in the house and in 1918 sold it to Catherine Richards. The first known occupants were John Hemme, a blacksmith, and his wife Ursula. Although the building was likely designed in the First Bay Tradition architectural style, alterations have obscured this original design intent. Known exterior alterations to the property include shingle replacement (1947), construction of a rear room (1950), stairway repair and replacement (1960), replacement of original windows with aluminum windows on primary and secondary elevations (1983, 1985, 1986), and reroofing (1991). Visual inspection reveals that stucco was applied to the primary elevation at an unknown date.</p> <p>No known historic events occurred at the subject property (Criterion 1). 127 23rd Avenue was one of two identical homes built by Van Herick on the block and does not represent a substantial or significant development in the Richmond District. Van Herick has also not been identified as a significant local builder in San Francisco and has only been credited with a few other buildings in the City. None of the owners or occupants have been identified as important to history (Criterion 2). The building was constructed in a common architectural style in the Bay Area but due to alterations no longer communicates this style. The building is not architecturally distinct such that it would qualify individually for listing in the California Register under Criterion 3.</p> <p>The subject property is not located within the boundaries of any identified historic district. The subject property is located in the Outer Richmond neighborhood. While there are select groupings of houses that represent the Richmond's construction boom during the early twentieth century, later alterations and subsequent infill of the subject block with apartment buildings in the 1960s have compromised its integrity as a whole.</p> <p>Therefore the subject property is not eligible for listing in the California Register under any criteria individually or as part of a historic district.</p>

Signature of a Senior Preservation Planner / Preservation Coordinator:	Date:
<i>Uma Da</i>	3-13-2015



127 23rd Avenue

LETTERS OF SUPPORT

SUTRO ARCHITECTS

October 2015

127 23rd Avenue – Project Approval

Dear Travis and Anna,

We, Sutro Architects, are working with Steve Linde and Robyn Wilkinson to demolish and replace their home at 127 23rd Avenue. The project includes a new 3 story home over basement. Plans reviewed are dated 07.31.2015. The goal is to build a house their family can comfortably live in for the long term, as they've been in the neighborhood for over 13 years and proudly consider this home.

If you approve of the new construction and have no complaints or concerns, please sign and date below and return this form to Steve or Robyn.

If you have any questions or concerns, please feel free to contact us at Sutro Architects.

Please keep a copy of this letter for your records.

Sincerely,

Georgianna Salz Kleman
SUTRO ARCHITECTS
915 Battery Street, First Floor
San Francisco CA 94111
415 956 3445 T
415 766 4085 D
415 956 3456 F
www.sutroarchitects.com

I, Travis Van, hereby agree to the new construction project at 127 23rd Avenue and have no complaints as to the size and scope of the building.

Signed  on 10-12-15

SUTRO ARCHITECTS

October 2015

127 23rd Avenue – Project Approval

Dear Mickey and Kate,

We, Sutro Architects, are working with Steve Linde and Robyn Wilkinson to demolish and replace their home at 127 23rd Avenue. The project includes a new 3 story home over basement. Plans reviewed are dated 07.31.2015. The goal is to build a house their family can comfortably live in for the long term, as they've been in the neighborhood for over 13 years and proudly consider this home.

If you approve of the new construction and have no complaints or concerns, please sign and date below and return this form to Steve or Robyn.

If you have any questions or concerns, please feel free to contact us at Sutro Architects.

Please keep a copy of this letter for your records.

Sincerely,

Georgianna Salz Kleman
SUTRO ARCHITECTS
915 Battery Street, First Floor
San Francisco CA 94111
415 956 3445 T
415 766 4085 D
415 956 3456 F
www.sutroarchitects.com

I, Mickey Fimbres, hereby agree to the new construction project at 127 23rd Avenue and have no complaints as to the size and scope of the building.

Signed  on 10/14/2015

SUTRO ARCHITECTS

October 2015

127 23rd Avenue – Project Approval

Dear Alex and Sarah,

We, Sutro Architects, are working with Steve Linde and Robyn Wilkinson to demolish and replace their home at 127 23rd Avenue. The project includes a new 3 story home over basement. Plans reviewed are dated 07.31.2015. The goal is to build a house their family can comfortably live in for the long term, as they've been in the neighborhood for over 13 years and proudly consider this home.

If you approve of the new construction and have no complaints or concerns, please sign and date below and return this form to Steve or Robyn.

If you have any questions or concerns, please feel free to contact us at Sutro Architects.

Please keep a copy of this letter for your records.

Sincerely,

Georgianna Salz Kleman
SUTRO ARCHITECTS
915 Battery Street, First Floor
San Francisco CA 94111
415 956 3445 T
415 766 4085 D
415 956 3456 F
www.sutroarchitects.com

I, Alex Burton, hereby agree to the new construction project at 127 23rd Avenue and have no complaints as to the size and scope of the building.

Signed Alex Burton on 10/8/2015

SUTRO ARCHITECTS

MANDATORY DISCRETIONARY REVIEW DOCUMENTS

127 23RD AVENUE
SAN FRANCISCO, CA

415.956.3445
sutroarchitects.com

915 Battery Street, First Floor San Francisco, CA 94111

SUTRO ARCHITECTS

February 19, 2016

PROJECT DESCRIPTION – 127 23rd Avenue

We are proposing to demolish an existing 1-story over basement single family residence and replace it with a new 3-story over basement new single family residence. Steve Linde and Robyn Wilkinson have lived at 127 23rd Avenue since 1999. They will live in the proposed new residence with their two children. They are committed to the neighborhood and relationships with their neighbors.

Steve and Robyn reviewed the project with their neighbors and have received only positive responses. Please see the addendum to this package for letters of support from their immediate neighbors. To date no comments or opposition to the proposed project have been received by Sutro Architects, Steve and Robyn, or the Planning Department.

A demolition and replacement of the existing single family residence is proposed to increase the connection of the first floor living level to the street and backyard; reduce overall building height; and to reduce overall construction costs. The existing first floor living level elevation is set uncomfortably far up from the street. We are proposing to lower the first floor by 2'-3". Please see sheet A1.3 for a photo of the existing residence.

The proposed new single family residence complies with the San Francisco Planning Code and with the Residential Design Guidelines. The mass and form of the proposed new single family residence blend well with the immediately adjacent neighbors and within the context of the block. Please see project renderings.

The project is not built to the full buildable envelope allowed by the planning code. Notches and setbacks have been included to respect neighboring context and maintain light and air for the neighbors. Please see A4.4 and A4.6 for proposed elevations in relation to the allowable building envelope.

We carefully designed and considered the front elevation to integrate the proposed new residence with the mixed visual character on this block of 23rd Ave. As inspiration, we are looking to two well designed classically proportioned and detailed homes on the opposite side of 23rd Avenue, 120 23rd Avenue and 124 23rd Avenue. Please see and A1.3 and A1.10.

We made several revisions at the request of the Residential Design Team and Planning Staff to ensure the project is appropriate to the immediate and neighborhood context – please see the list on the following page.

In response to Residential Design Team comments we have made the following modifications to the project:

1. Reduced the volume of the second and third floors.
 - At the second and third floors, the stair volume was shifted 2' from the south property line.
 - In addition, at the third floor we reduced the volume by 1'-0" on the east side to provide a 16'-0" setback from the front property line and by 6'-4" on the west side to reduce the bulk at the rear.
2. Reduced the height of the stair volume at the south of the proposed residence with a lowered sloped roof.
3. Eliminated solid guardrails at the rear second and third floor roof decks.
4. Eliminated a skylight at the second floor that required a property line parapet wall adjacent to the north neighbor's notch and window.
5. We modified the front elevation to add more detail, depth and to further blend with the mixed neighborhood context.
 - The entry and garage recess is centered on the windows above. A horizontal trim board has been added just above the garage to delineate between the basement and first floor. The proposed elevation follows a pattern on the block of homes with a delineation between basement parking and the first floor living level.
 - A panel was added between the upper and lower band of windows to emphasize the verticality of the elevation and center bay. The panel adds detail and additional shadow lines to the front elevation and differentiates between the first and second floor.

PENTHOUSE @
119 23RD AVE

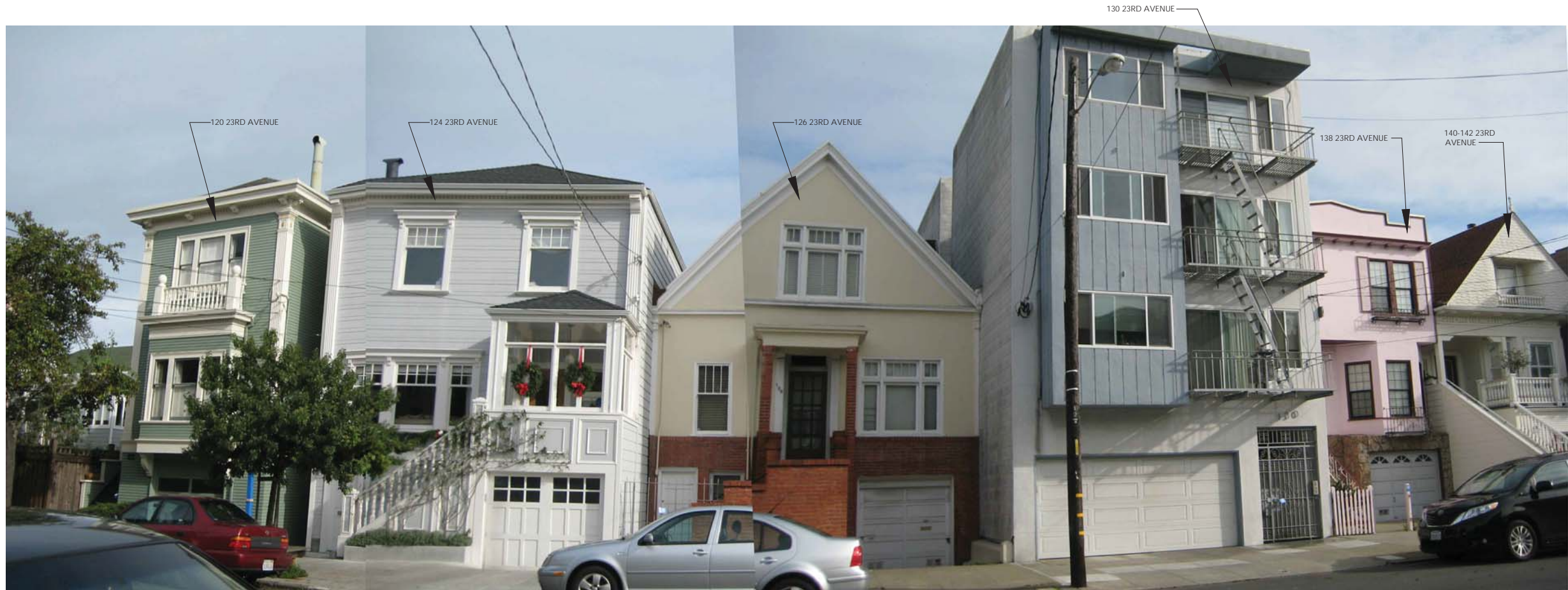


Use of these plans and specifications shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reproduction or publication by any method, in whole or in part, is prohibited. Title to the plans and specifications remains with the architect without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of these restrictions.



5

FRONT FACADES OF NEIGHBORS ON SAME SIDE OF THE STREET



6

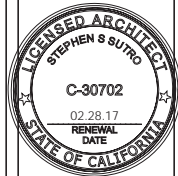
FRONT FACADES OF NEIGHBORS ON OPPOSITE SIDE OF THE STREET

SUTRO ARCHITECTS

415.956.3445
sutroarchitects.com
915 Battery Street, First Floor San Francisco, CA 94111

23RD AVENUE RESIDENCE

127 23RD AVENUE, SAN FRANCISCO, CA 94121
BLOCK 1383 LOT 004 | PROJECT NO. 2014.020



ISSUED
SITE PERMIT/DWELLING
UNIT DEMOLITION:
12.19.2014

PLAN CHECK
COMMENTS: 07.31.2015

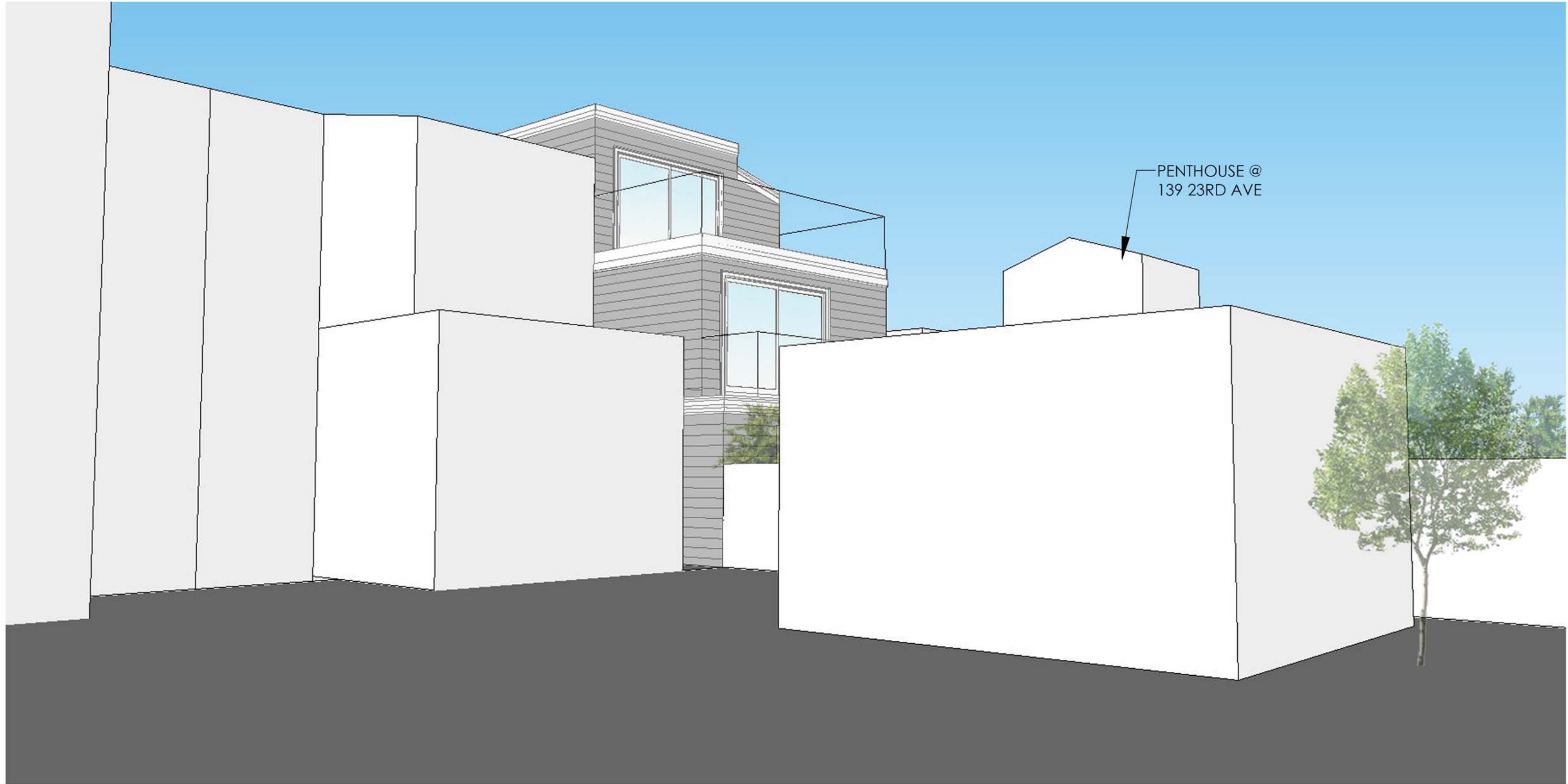
SITE PHOTOS

1/8" = 1'-0"

A1.3

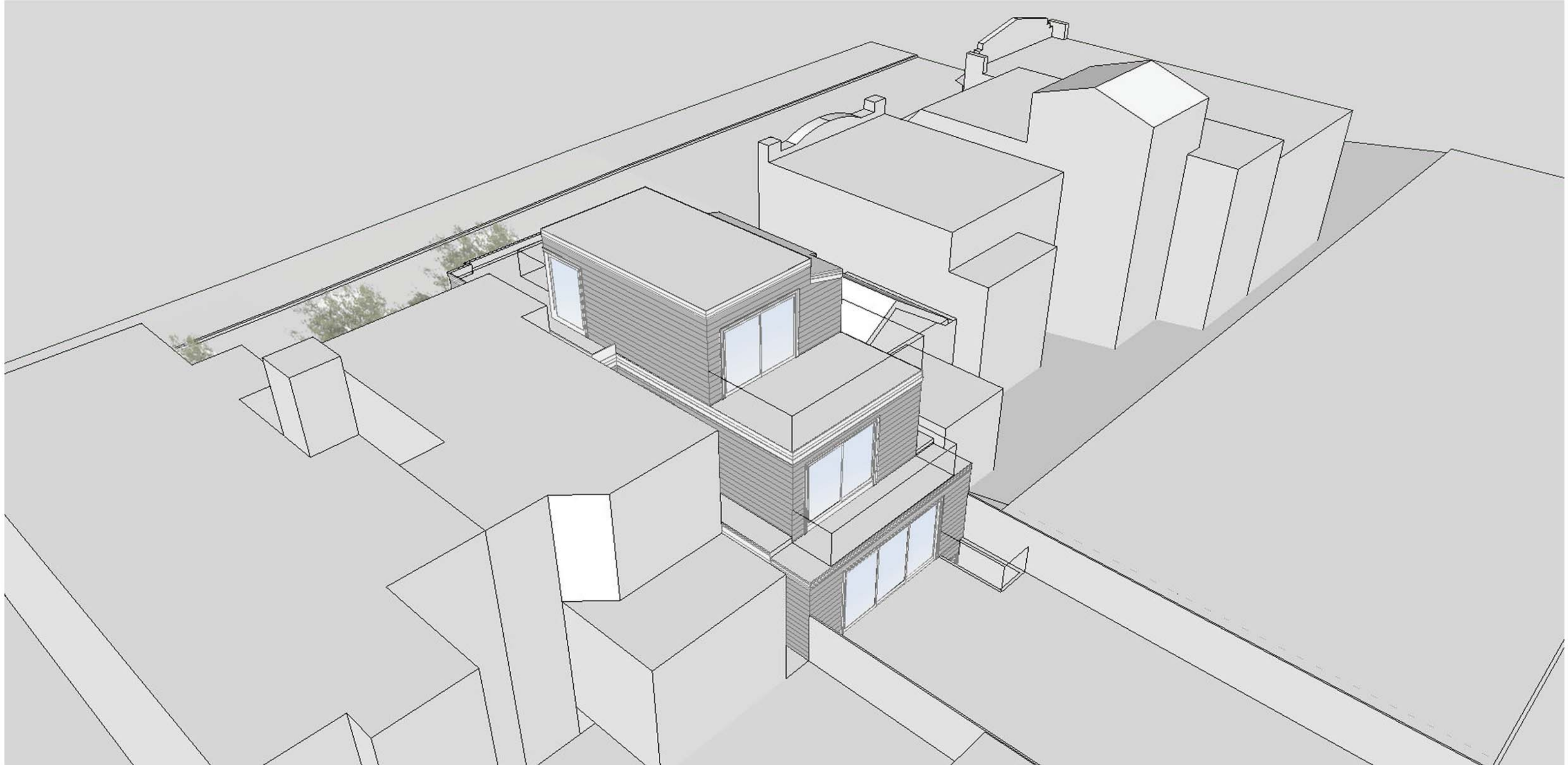






PENTHOUSE @
139 23RD AVE









	and	HD.	head	S.L.D.	see landscape drawings
<	angle	HDR.	header	S.M.D.	see mechanical drawings
@	at	HGR.	hanger	S.P.D.	see plumbing drawings
#	pound or number	H.M.	hollow metal	SPEC.	specification
±	plus or minus	HORIZ.	horizontal	SQ.	square
A.B.	anchor bolt	HR.	hour		stainless steel
A.C.	air conditioning	H.R.	handrail	STA.	station
A.D.	area drain	HT.	height	ST.STL.	stainless steel
ADJ.	adjustable	H.W.H.	hot water heater	S.S.D.	see structural drawings
A.F.F.	above finish floor			STD.	standard
AGGR.	aggregate	I.D.	inside diameter	STL.	steel
ALT.	alternate	IN.	inch	STOR.	storage
ALUM.	aluminum	INSUL.	insulation	STN.	stone
APPROX.	approximate	INT.	interior	STRUCT.	structural
ARCH.	architectural	INTER.	intermediate	SUSP.	suspended
				S.V.	sheet vinyl
B.B.	butcher block	JST.	joint	S.W.	shear wall
BD.	board	JT.	joint	SYM.	symmetrical
BITUM.	bituminous			SYS.	system
BLDG.	building				
BLK.	block	LAM.	laminated		
BLKG.	blocking	LAV.	lavatory		tread
BM.	beam	LB.	load	T.O.C.	top of curb
B.O.	bottom of	LT FIXT	light fixture	TEL.	telephone
B.P.	building paper	LN.	linear	TEMP.	tempered
B.R.	brick	LT.	light	TER.	terrazzo
BTWN.	between			T & G	tongue & groove
				THK.	thick
C.	centerline	MACH.	machine	THRU.	through
CAB.	cabinet	MAINT.	maintenance	T.M.E.	to match existing
CEM.	cement	MAT.	material	T.N.	toe nailed
CER.	ceramic	MAX.	maximum	T.O.C.	top of concrete
CHIM	chimney	MECH.	mechanical	T.O.P.	top of plate
C.J.	control joint	MEMB.	membrane	T.O.PLY	top of plywood
C.L.G.	ceiling	MTL.	metal	T.O.W.	top of wall
CLKG.	caulking	MFR.	manufacturer	T.V.	television
CLOS.	closet	MIN.	minimum	TP.	typical
CLR.	clear	MIR.	mirror		
C.M.U.	concrete masonry unit	MISC.	miscellaneous	U.B.C.	uniform building code
<	clean out	MSRY.	masonry	UNEXC.	unexcavated
C.O.L.	column	MTD.	mounted	UNF.	unfinished
CONC.	concrete	MUL.	mullion	U.O.N.	unless otherwise noted
COND.	condition	(N)	new	V.C.T.	vinyl composition tile
CONN.	connection	N.	north	VEN.	veneer
CONSTR.	construction	N.I.C.	not in contract	VERT.	vertical
CONT.	continuous	NO.OR#	number	VEST.	vestibule
COPR.	copper	NOM.	nominal	V.I.F.	verify in field
CPT.	carpet	N.T.S.	not to scale	VOL.	volume
CTR.	center				
C.W.	cold water	O.	owner		west or washer
D.	dryer	O.A.	overall		with
DBL.	double	OBS.	obscure	W.C.	water closet or wall covering
DEPT.	department	O.C.	on center	WD.	wood
DET.	detail	O.D.	outside diameter	W/D.	washer / dryer
DIA.	diameter	OFF.	offset	W.H.	water heater
DIM.	dimension	OPNG.	opening	W/O	without
DISP.	dispenser	OPP.	opposite	W.P.	work point
DN.	down			W.P.M.	waterproof membrane
DR.	door			WT.	weight
D.S.P.	dry standpipe	P.	pole	W.R.	water resistant
D.W.	dishwasher	PAC.	pacific		
DWG.	drawing	PBWL.	paper backed wire lath	W.W.M.	welded wire mesh
DWR.	drawer	PERIM.	perimeter	W.W.F.	welded wire fabric
		PG & E	pacific gas & electric company		
	east	P.I.P.	poured in place		
(E)	existing	PL.	plate		
EA.	each	P.LAM.	plastic laminate		
E.J.	expansion joint	PLAS.	plywood		
ELEV.	elevation	PLYWD.	plywood		
ELEC.	electrical	PNL.	panel		
EMER.	emergency	PNT.	paint		
ENCL.	enclosure	PR.	pair		
E.P.B.	electrical panel board	P.S.I.	per square inch		
EQ.	equal	PT.	point		
EQUIP.	equipment	P.T.	pressure treated		
EXT.	existing	PTD.	painted		
EXP.	expansion	Q.T.	quarry tile		
EXT.	exterior				
F.A.	fire alarm	(R)	existing to be removed		
F.A.U.	forced air unit	R.	riser		
F.D.	floor drain	R.A.	return air		
F.E.C.	fire extinguisher cabinet	RAD.	radius		
FIN.	finish	R.C.P.	reflected ceiling plan		
FIXT.	fixture	R.D.	roof drain		
FL.	floor	REC.	recessed		
FLASH.	flashing	REF.	reference		
FLUOR.	fluorescent	REFL.	reflected		
F.O.C.	face of concrete	REFR.	refrigerator		
F.O.F.	face of finish	REG.	register		
F.O.M.	face of masonry	REINF.	reinforced		
F.O.PLY	face of plywood	REMOV.	removable		
F.O.S.	face of studs	REQ'D.	required		
F.P.	fireproof	RESIL.	resilient		
FR.	frame	RET.	retaining		
F.R.P.	fiberglass reinforced panel	REV.	revision, revised, reversed		
FT.	foot or feet	RM.	room		
FURR.	furring	R.O.	rough opening		
FUT.	future	RWD.	redwood		
		R.W.L.	rain water leader		

OWNER:	STEVEN LINDE & ROBYN WILKINSON 127 23RD AVENUE SAN FRANCISCO, CA 94121	CONTACT: ROBYN WILKINSON TELEPHONE: 415 298.7548 EMAIL: ROBYN.WILKINSON@POBOX.COM	CONTRACTOR:	TBD	CONTACT:
ARCHITECT:	SUTRO ARCHITECTS 915 BATTERY STREET SAN FRANCISCO CA 94111	CONTACT: STEPHEN SUTRO TELEPHONE: 415.956.3445 EMAIL: SSUTRO@SUTROARCHITECTS.COM	STRUCTURAL ENGINEER:	TBD	CONTACT:

ROOM NAME

STUDIO A — room name
117 — room number

WALL TYPE

PSB

DOOR TYPE

99

WINDOW TYPE

6

RCP ELEVATION

+9'-0"

FINISH FLOOR ELEVATION

X-X'

ELEVATION DATUM

FIRST FLR FFE — datum location
EL. = +X'-X" A.F.F. — elevation

SECTION

view direction

X/A/X X — sheet number
drawing number

DETAIL

X — drawing number
A/X/Y — sheet number

ELEVATION

view direction

X/A/X X — sheet number
drawing number

INTERIOR ELEVATION

1 — drawing number
X — elevation designation
A/X/X — sheet number
2 — sheet number
3

COLUMN GRIDLINE

99

ADDENDUM

A

SITE DATA

PROJECT NAME: 23RD AVENUE RESIDENCE

PROJECT TYPE: RESIDENTIAL REMODEL

PROJECT ADDRESS: 127 23RD AVENUE, SAN FRANCISCO, CA, 94121

DESCRIPTION OF WORK: DEMOLITION OF EXISTING SINGLE-FAMILY RESIDENCE; CONSTRUCTION OF NEW SINGLE-FAMILY RESIDENCE

BUILDING DATA

APPLICABLE BUILDING CODES:

- 2013 California Building Code (CBC)
- 2013 California Electrical Code (CEC)
- 2013 California Mechanical Code (CMC)
- 2013 California Plumbing code(CPC)
- 2013 California Fire Code (CFC)
- 2013 Green Building Code
- 2013 California Energy Code
- 2013 San Francisco Building Code Amendments
- 2013 San Francisco Electrical Code Amendments
- 2013 San Francisco Mechanical Code Amendments
- 2013 San Francisco Plumbing Code Amendments
- 2013 San Francisco Green Building Code Amendments
- 2013 San Francisco Housing Code Amendments

TYPE OF CONSTRUCTION: TYPE V - B

SPRINKLER PROTECTION: NOT SPRINKLERED

OCCUPANCY TYPE / USE: R-3 / SINGLE FAMILY RESIDENCE

ASSESSOR'S BLOCK/LOT: 1383, 004

ZONING DISTRICT: RH-2

NO. OCCUPIED FLOORS: 1 EXISTING

NO. OF STORIES: 1 EXISTING

NO. OF BASEMENTS: 1 EXISTING

BUILDING HT: 23'-10" EXISTING, 37'-10" PROPOSED


GROSS FLOOR AREA: 2438 SF EXISTING, 4024 SF PROPOSED

[illegible]

PLAN CHECK
COMMENTS: 07.31.2015

PLAN CHECK
COMMENTS: 10.06.2015

PLAN CHECK
COMMENTS: 11.30.2015

PLANNING REVISIONS:
01.21.2016 

COVER SHEET /
PROJECT INFO

NTS

A0.1

Use of these plans and specifications shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reproduction or publication by any method, in whole or in part, is prohibited. Title to the plans and specifications remains with the architect without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of these restrictions.



23RD AVENUE RESIDENCE

127 23RD AVENUE, SAN FRANCISCO, CA 94121

GENERAL NOTES

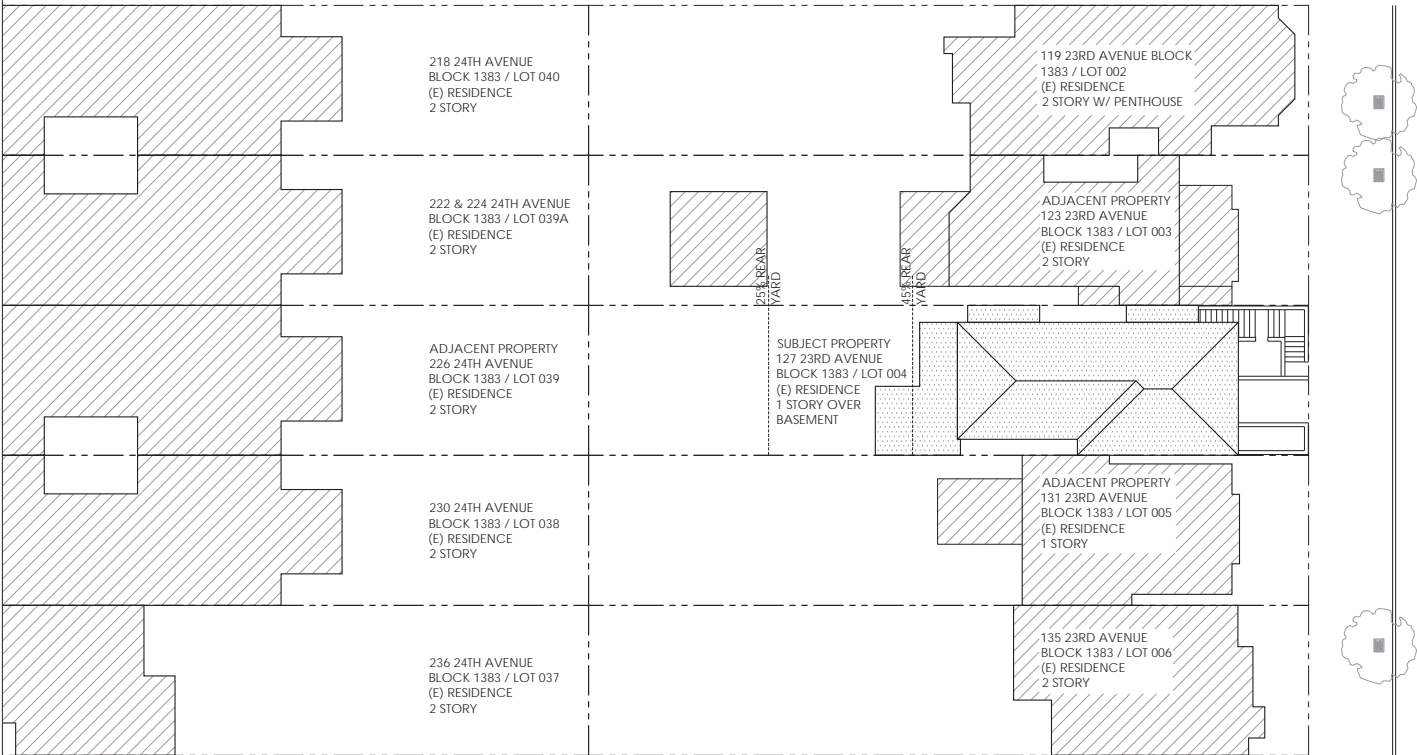
1. VERIFY ALL EXISTING DIMENSIONS & CONDITIONS AT THE SITE & NOTIFY ARCHITECT OF ANY VARIATIONS OR CONFLICTING OR MISSING DIMENSIONS OR DATA PRIOR TO BIDDING OR COMMENCING WORK. USE WRITTEN DIMENSIONS ONLY; DO NOT SCALE DRAWINGS FOR THE PURPOSE OF DETERMINING A DIMENSION DURING CONSTRUCTION.
2. CONDITIONS NOT SPECIFICALLY DETAILED SHALL BE BUILT TO CONFORM TO SIMILAR CONSTRUCTION, IN ACCORDANCE WITH THE BEST COMMON PRACTICE AND/OR MANUFACTURER'S SPECIFICATIONS FOR THE INSTALLATION OF THEIR MATERIALS OR ITEMS.
3. ALL MATERIALS, WORKMANSHIP & METHODS SHALL CONFORM TO CURRENTLY ADOPTED UNIFORM BUILDING CODE (UBC), UNIFORM PLUMBING CODE (UPC), UNIFORM MECHANICAL CODE (UMC), AND THE NATIONAL ELECTRICAL CODE (NEC) AS ADOPTED AND AMENDED BY THE STATE OF CALIFORNIA TITLE 24, CALIFORNIA ELECTRICAL CODE, CALIFORNIA CODE OF REGULATIONS & OTHER APPLICABLE CODES & ORDINANCES OF THE LOCAL JURISDICTION.
4. SAFETY: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFETY ON THE JOB SITE AND ADHERE TO ALL FEDERAL, STATE LOCAL AND O.S.H.A. SAFETY REGULATIONS.
5. CONSTRUCTION BRACING & SHORING: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL BRACING AND SHORING REQUIRED DURING CONSTRUCTION UNTIL ALL CONSTRUCTION IS COMPLETE.
6. DO NOT STORE CONSTRUCTION MATERIALS OR OPERATE CONSTRUCTION EQUIPMENT IN SUCH A MANNER THAT DESIGN LIVE LOADS OF THE STRUCTURES ARE EXCEEDED. DO NOT STORE CONSTRUCTION MATERIALS ON OVERHANGING FRAMING.
7. TREES LOCATED CLOSE TO THE CONSTRUCTION SITE SHALL BE PROTECTED FROM INADVERTANT DAMAGE FROM CONSTRUCTION EQUIPMENT BY WRAPPING TRUNKS WITH PROTECTIVE MATERIALS, AVOIDING FILL OF ANY TYPE AGAINST THE BASE OF THE TRUNKS AND AVOIDING AN INCREASE IN SOIL DEPTH AT THE FEEDING ZONE OR DRIP LINE OF THE RETAINED TREES.
8. ALL TOILETS SHALL BE ULTRA-LOW FLUSH TOILETS WITH A MAXIMUM TANK SIZE OR FLUSH CAPACITY OF 1.6 GALLONS, ALL SHOWER HEADS SHALL HAVE A MAXIMUM FLOW CAPACITY OF 2.5 GALLONS PER MINUTE, AND ALL HOT WATER FAUCETS THAT HAVE MORE THAN TEN FEET OF PIPE BETWEEN THE FAUCET AND THE HOT WATER HEATER SERVING SUCH FAUCET SHALL BE EQUIPED WITH A HOT WATER RECIRCULATING SYSTEM.
9. SHOWERS AND TUB SHALL USE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE. (CPC 420).
10. GLAZING USED IN DOORS AND PANELS OF SHOWER AND TUB ENCLOSURES SHALL BE FULLY TEMPERED GLASS, LAMINATED SAFETY GLASS OR APPORVED PLASTIC OF A SHATTER-RESISTANT TYPE. (UBC 5406 (D) 5)
11. SHOWER WALLS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE TO A HEIGHT OF 70" OR GREATER ABOVE DRAIN INLET.
12. INSTALL CERTIFIED INSULATION MATERIALS PER THE TITLE 24 MANDATORY MEASURES CHECKLIST MF-1R. INSULATION INSTALLED SHALL MEET FLAME SPREAD & SMOKE DENSITY REQUIREMENTS OF STATE OF CALIFORNIA TITLE 24, CALIFORNIA ELECTRICAL CODE, CALIFORNIA CODE OF REGULATIONS.

PLOT PLAN LEGEND

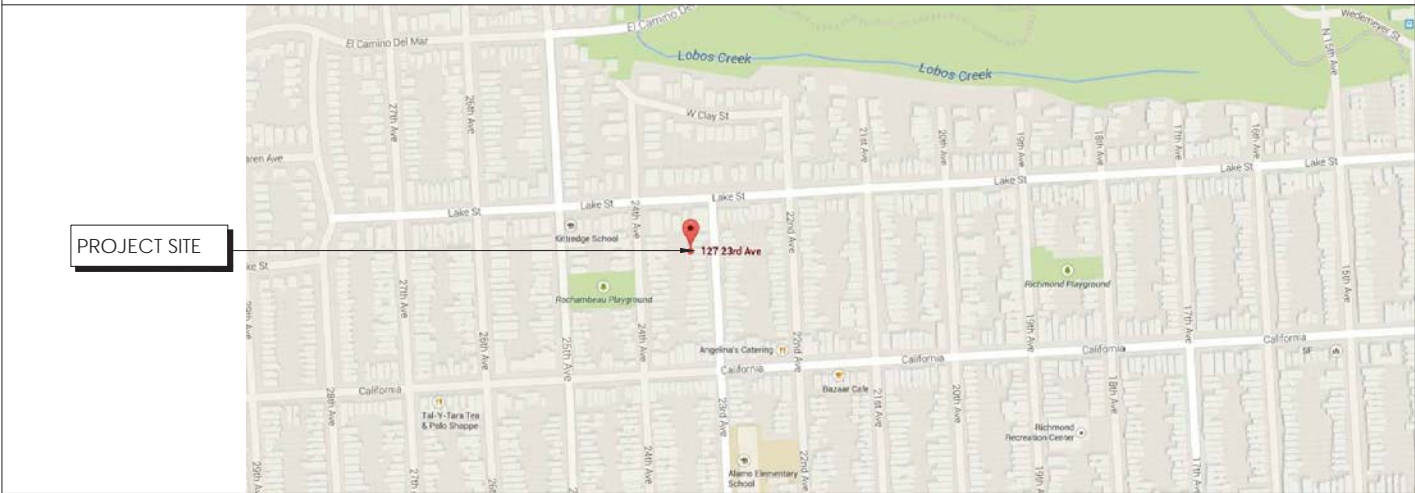
PLOT PLAN LEGEND:

- PROPERTY LINE
- ADJACENT NEIGHBOR'S BUILDING
- PROPOSED BUILDING OF SUBJECT PROPERTY
- (E) PROPERTY TO BE REMOVED

PLOT PLAN



VICINITY MAP / SITE PLAN



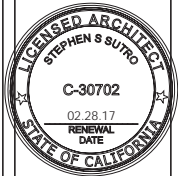
SCALE= 1/16" = 1'-0"

SUTRO ARCHITECTS

415.956.3445
sutroarchitects.com
915 Battery Street, First Floor San Francisco, CA 94111

23RD AVENUE RESIDENCE

127 23RD AVENUE, SAN FRANCISCO, CA 94121
BLOCK 1383 LOT 004 | PROJECT NO. 2014.020



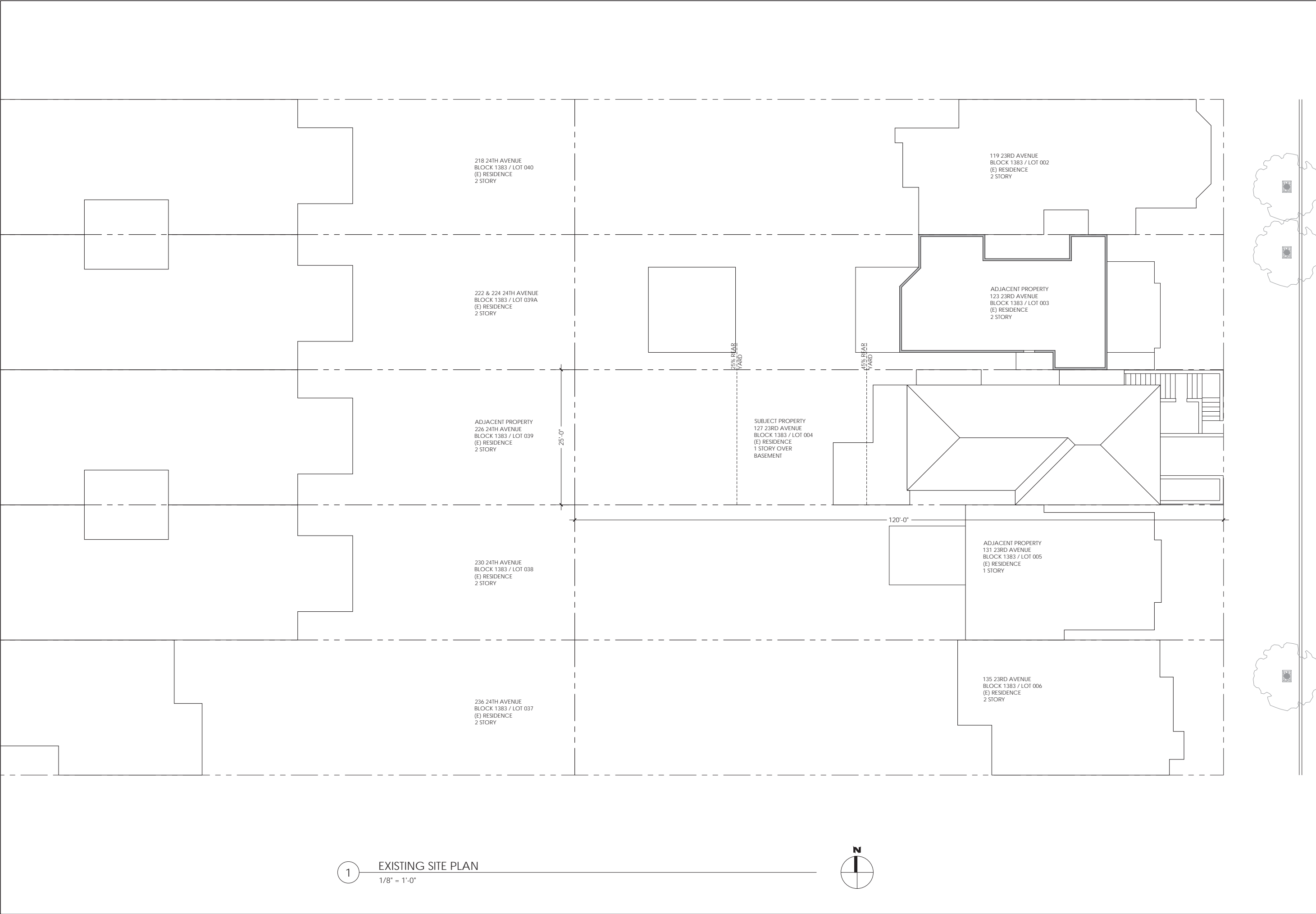
ISSUED
SITE PERMIT/DWELLING
UNIT DEMOLITION:
12.19.2014

GENERAL NOTES /
VICINITY MAP /
PLOT PLAN

AS NOTED

A0.2

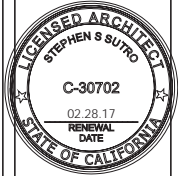
Use of these plans and specifications shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reproduction or publication by any method, in whole or in part, is prohibited. Title to the plans and specifications remains with the architect without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of these restrictions.



1

EXISTING SITE PLAN

1/8" = 1'-0"



ISSUED
SITE PERMIT/DWELLING
UNIT DEMOLITION:
12.19.2014

EXISTING SITE PLAN

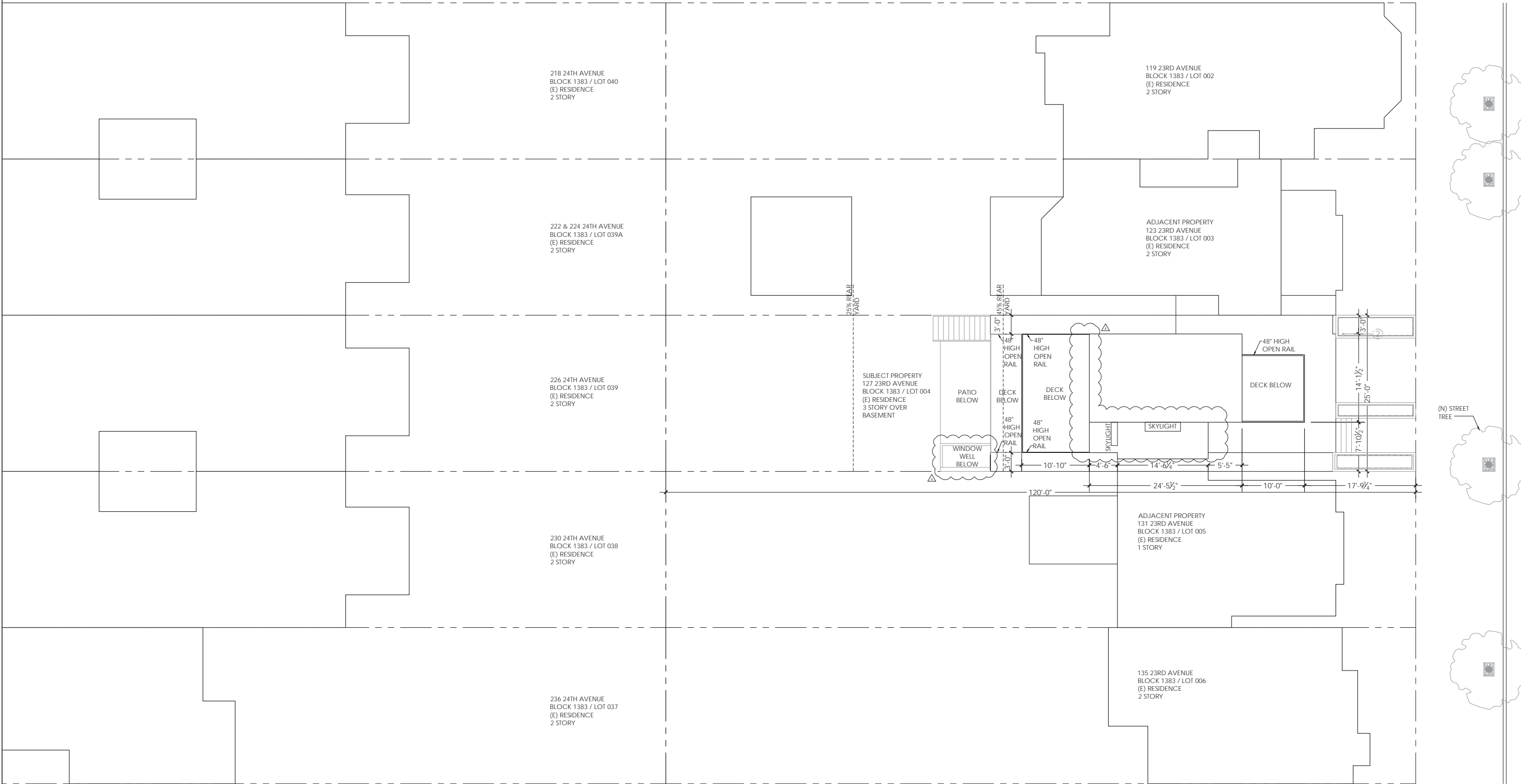
1/8" = 1'-0"

A1.0

23RD AVENUE RESIDENCE
127 23RD AVENUE, SAN FRANCISCO, CA 94121
BLOCK 1383 LOT 004 | PROJECT NO. 2014.020

SUTRO ARCHITECTS
415.956.3445
sutroarchitects.com
915 Battery Street, First Floor San Francisco, CA 94111

Use of these plans and specifications shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reproduction or publication by any method, in whole or in part, is prohibited. Title to the plans and specifications remains with the architect without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of these restrictions.



1

PROPOSED SITE PLAN

1/8" = 1'-0"



ISSUED
SITE PERMIT/DWELLING
UNIT DEMOLITION:
12.19.2014

PLAN CHECK
COMMENTS: 07.31.2015
PLANNING REVISIONS:
01.21.2016

PROPOSED SITE PLAN

1/8" = 1'-0"

A1.0

Use of these plans and specifications shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reproduction or publication by any method, in whole or in part, is prohibited. Title to the plans and specifications remains with the architect without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of these restrictions.



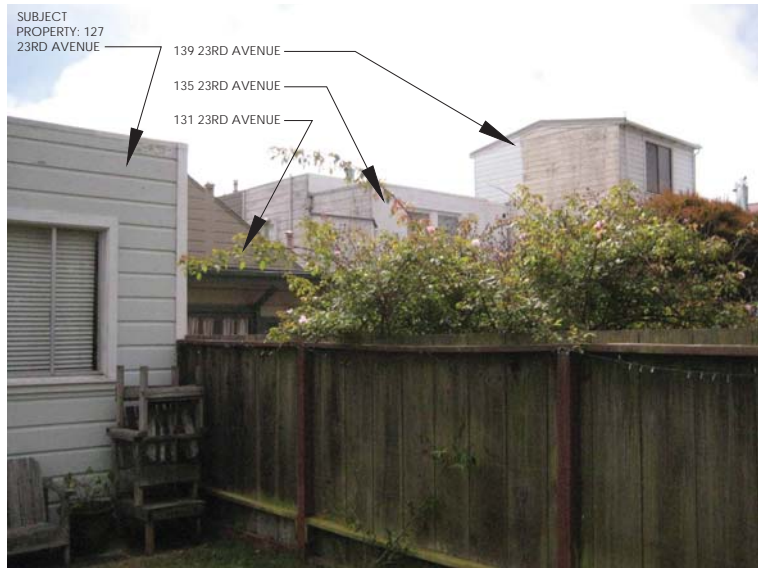
1 127 23RD AVE - FRONT FACADE



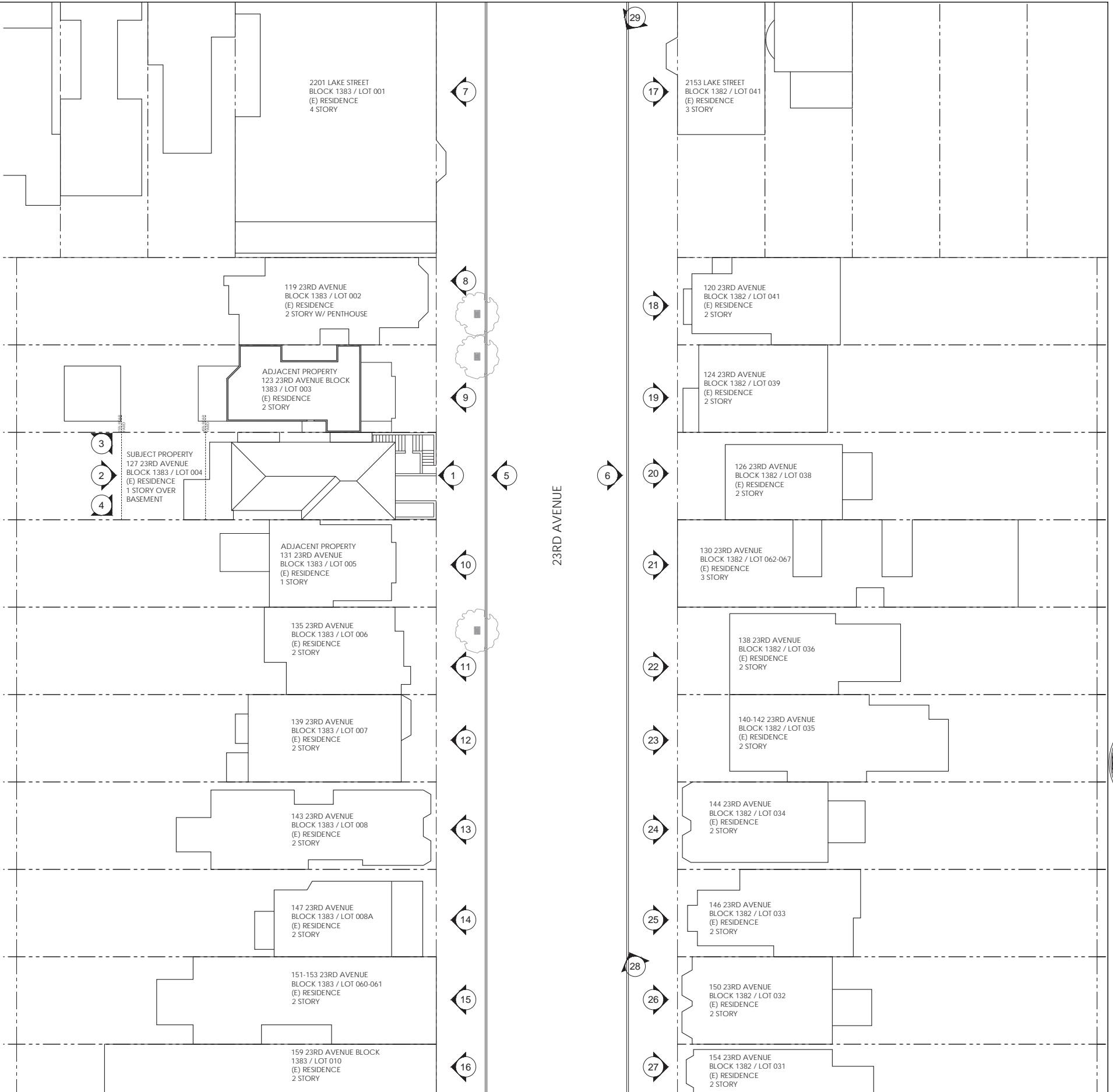
2 127 23RD AVE - REAR FACADE



3 REAR FACADES OF NEIGHBORS TO THE NORTH



4 REAR FACADES OF NEIGHBORS TO THE SOUTH



ISSUED
SITE PERMIT/DWELLING
UNIT DEMOLITION:
12.19.2014

PLAN CHECK
COMMENTS: 07.31.2015

PHOTO MAP & SITE
PHOTOS

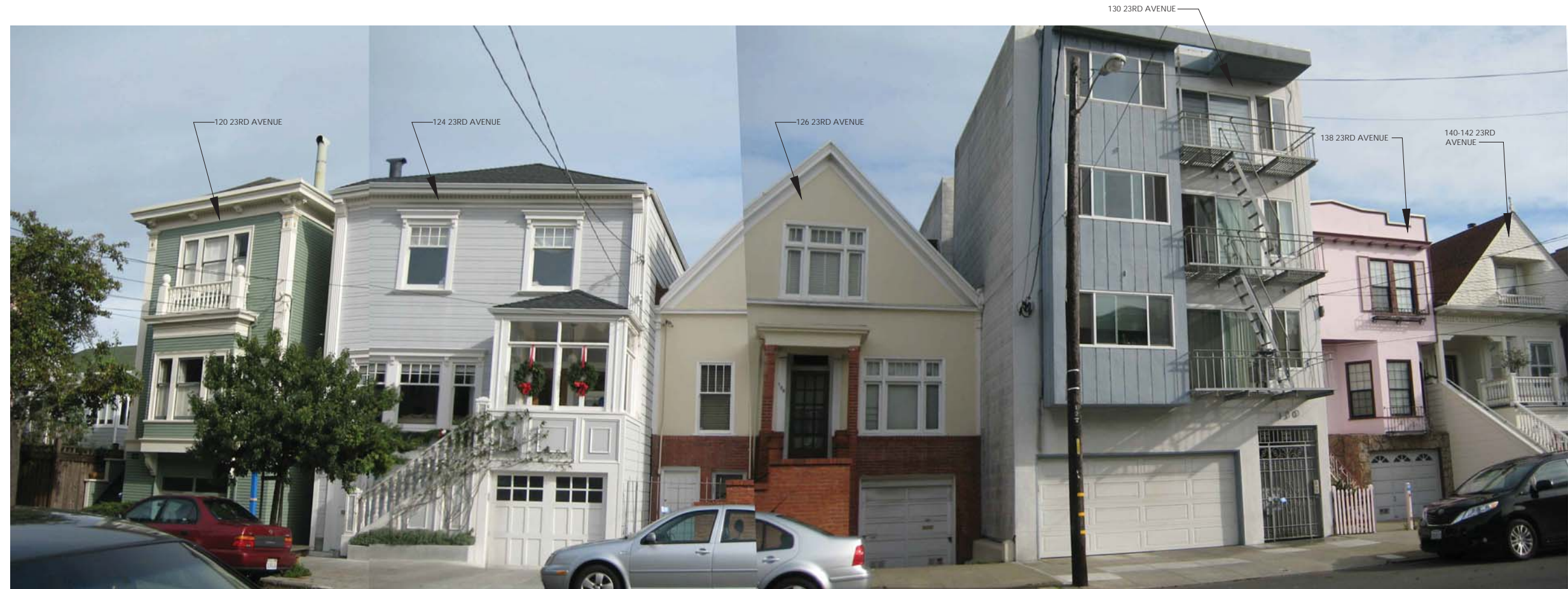
1/16" = 1'-0"

Use of these plans and specifications shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reproduction or publication by any method, in whole or in part, is prohibited. Title to the plans and specifications remains with the architect without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of these restrictions.



5

FRONT FACADES OF NEIGHBORS ON SAME SIDE OF THE STREET



6

FRONT FACADES OF NEIGHBORS ON OPPOSITE SIDE OF THE STREET

SUTRO ARCHITECTS

415.956.3445
sutroarchitects.com
915 Battery Street, First Floor San Francisco, CA 94111

23RD AVENUE RESIDENCE

127 23RD AVENUE, SAN FRANCISCO, CA 94121
BLOCK 1383 LOT 004 | PROJECT NO. 2014.020



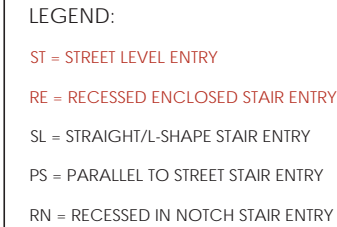
ISSUED
SITE PERMIT/DWELLING
UNIT DEMOLITION:
12.19.2014

PLAN CHECK
COMMENTS: 07.31.2015

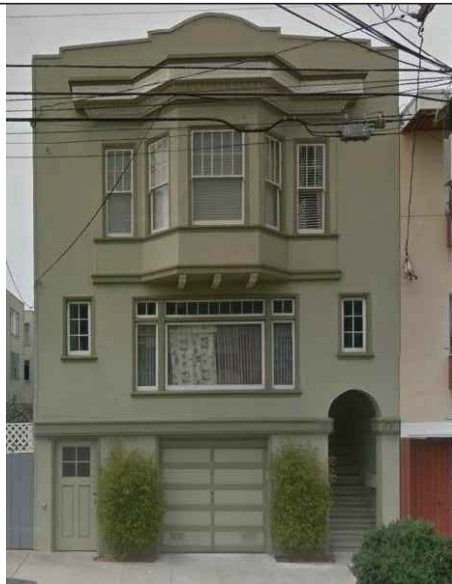
SITE PHOTOS

1/8" = 1'-0"

A1.3

[illegible]

MAP OF ENTRY STYLES



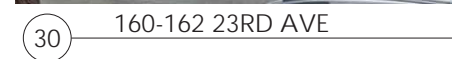
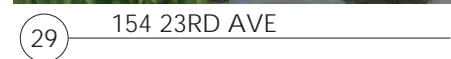
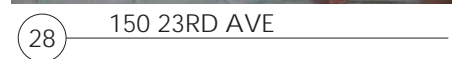
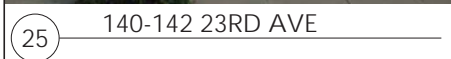
6 163 23RD AVE



12 139 23RD AVE



18 2201 LAKE ST

415.956.3445
sutfroarchitects.com

0 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99

127 23RD AVENUE, SAN FRANCISCO, CA 94121

BLOCK 1383 | LOT 004 | PROJECT NO. 2014 020



--	--

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100	101	102	103	104	105	106	107	108	109	110	111	112	113	114	115	116	117	118	119	120	121	122	123	124	125	126	127	128	129	130	131	132	133	134	135	136	137	138	139	140	141	142	143	144	145	146	147	148	149	150	151	152	153	154	155	156	157	158	159	160	161	162	163	164	165	166	167	168	169	170	171	172	173	174	175	176	177	178	179	180	181	182	183	184	185	186	187	188	189	190	191	192	193	194	195	196	197	198	199	200	201	202	203	204	205	206	207	208	209	210	211	212	213	214	215	216	217	218	219	220	221	222	223	224	225	226	227	228	229	230	231	232	233	234	235	236	237	238	239	240	241	242	243	244	245	246	247	248	249	250	251	252	253	254	255	256	257	258	259	260	261	262	263	264	265	266	267	268	269	270	271	272	273	274	275	276	277	278	279	280	281	282	283	284	285	286	287	288	289	290	291	292	293	294	295	296	297	298	299	300	301	302	303	304	305	306	307	308	309	310	311	312	313	314	315	316	317	318	319	320	321	322	323	324	325	326	327	328	329	330	331	332	333	334	335	336	337	338	339	340	341	342	343	344	345	346	347	348	349	350	351	352	353	354	355	356	357	358	359	360	361	362	363	364	365	366	367	368	369	370	371	372	373	374	375	376	377	378	379	380	381	382	383	384	385	386	387	388	389	390	391	392	393	394	395	396	397	398	399	400	401	402	403	404	405	406	407	408	409	410	411	412	413	414	415	416	417	418	419	420	421	422	423	424	425	426	427	428	429	430	431	432	433	434	435	436	437	438	439	440	441	442	443	444	445	446	447	448	449	450	451	452	453	454	455	456	457	458	459	460	461	462	463	464	465	466
---	---	---	---	---	---	---	---	---	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----

--	--

[illegible]

[illegible]

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100	101	102	103	104	105	106	107	108	109	110	111	112	113	114	115	116	117	118	119	120	121	122	123	124	125	126	127	128	129	130	131	132	133	134	135	136	137	138	139	140	141	142	143	144	145	146	147	148	149	150	151	152	153	154	155	156	157	158	159	160	161	162	163	164	165	166	167	168	169	170	171	172	173	174	175	176	177	178	179	180	181	182	183	184	185	186	187	188	189	190	191	192	193	194	195	196	197	198	199	200	201	202	203	204	205	206	207	208	209	210	211	212	213	214	215	216	217	218	219	220	221	222	223	224	225	226	227	228	229	230	231	232	233	234	235	236	237	238	239	240	241	242	243	244	245	246	247	248	249	250	251	252	253	254	255	256	257	258	259	260	261	262	263	264	265	266	267	268	269	270	271	272	273	274	275	276	277	278	279	280	281	282	283	284	285	286	287	288	289	290	291	292	293	294	295	296	297	298	299	300	301	302	303	304	305	306	307	308	309	310	311	312	313	314	315	316	317	318	319	320	321	322	323	324	325	326	327	328	329	330	331	332	333	334	335	336	337	338	339	340	341	342	343	344	345	346	347	348	349	350	351	352	353	354	355	356	357	358	359	360	361	362	363	364	365	366	367	368	369	370	371	372	373	374	375	376	377	378	379	380	381	382	383	384	385	386	387	388	389	390	391	392	393	394	395	396	397	398	399	400	401	402	403	404	405	406	407	408	409	410	411	412	413	414	415	416	417	418	419	420	421	422	423	424	425	426	427	428	429	430	431	432	433	434	435	436	437	438	439	440	441	442	443	444	445	446	447	448	449	450	451	452	453	454	455	456	457	458	459	460	461	462	463	464	465	466
---	---	---	---	---	---	---	---	---	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----

NEIGHBOR ENTRY STYLE

PHOTOS

[illegible][illegible]

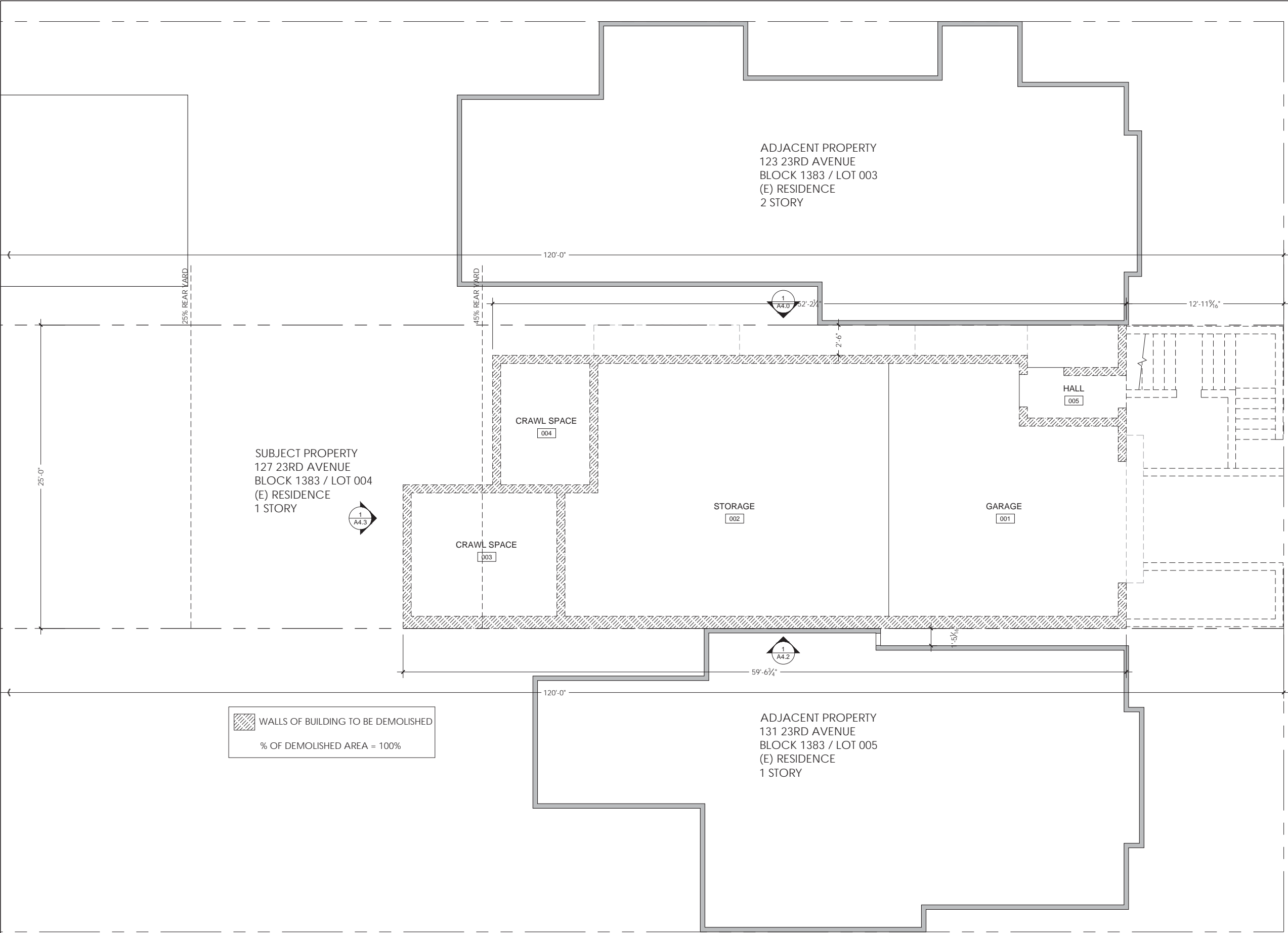
NTS

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100	101	102	103	104	105	106	107	108	109	110	111	112	113	114	115	116	117	118	119	120	121	122	123	124	125	126	127	128	129	130	131	132	133	134	135	136	137	138	139	140	141	142	143	144	145	146	147	148	149	150	151	152	153	154	155	156	157	158	159	160	161	162	163	164	165	166	167	168	169	170	171	172	173	174	175	176	177	178	179	180	181	182	183	184	185	186	187	188	189	190	191	192	193	194	195	196	197	198	199	200	201	202	203	204	205	206	207	208	209	210	211	212	213	214	215	216	217	218	219	220	221	222	223	224	225	226	227	228	229	230	231	232	233	234	235	236	237	238	239	240	241	242	243	244	245	246	247	248	249	250	251	252	253	254	255	256	257	258	259	260	261	262	263	264	265	266	267	268	269	270	271	272	273	274	275	276	277	278	279	280	281	282	283	284	285	286	287	288	289	290	291	292	293	294	295	296	297	298	299	300	301	302	303	304	305	306	307	308	309	310	311	312	313	314	315	316	317	318	319	320	321	322	323	324	325	326	327	328	329	330	331	332	333	334	335	336	337	338	339	340	341	342	343	344	345	346	347	348	349	350	351	352	353	354	355	356	357	358	359	360	361	362	363	364	365	366	367	368	369	370	371	372	373	374	375	376	377	378	379	380	381	382	383	384	385	386	387	388	389	390	391	392	393	394	395	396	397	398	399	400	401	402	403	404	405	406	407	408	409	410	411	412	413	414	415	416	417	418	419	420	421	422	423	424	425	426	427	428	429	430	431	432	433	434	435	436	437	438	439	440	441	442	443	444	445	446	447	448	449	450	451	452	453	454	455	456	457	458	459	460	461	462	463	464	465	466
---	---	---	---	---	---	---	---	---	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----

A1 10

AI.10

Use of these plans and specifications shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reproduction or publication by any method, in whole or in part, is prohibited. Title to the plans and specifications remains with the architect without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of these restrictions.



WALLS OF BUILDING TO BE DEMOLISHED
% OF DEMOLISHED AREA = 100%

1

DEMO BASEMENT FLOOR PLAN

1/4" = 1'-0"



WALL LEGEND:

- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE REMOVED
- EXISTING ELEMENTS TO BE REMOVED
- NEW WALLS
- 1 HR. FIRE-RATED WALLS



ISSUED
SITE PERMIT/DWELLING
UNIT DEMOLITION:
12.19.2014

PLAN CHECK
COMMENTS: 10.06.2015

DEMO BASEMENT
FLOOR PLAN

1/4" = 1'-0"

A2.0

23RD AVENUE RESIDENCE
127 23RD AVENUE, SAN FRANCISCO, CA 94121
BLOCK 1383 LOT 004 | PROJECT NO. 2014.020

SUTRO ARCHITECTS
415.956.3445
sutroarchitects.com
915 Battery Street, First Floor San Francisco, CA 94111

SUBJECT PROPERTY
127 23RD AVENUE
BLOCK 1383 / LOT 004
(E) RESIDENCE
1 STORY

ADJACENT PROPERTY
123 23RD AVENUE
BLOCK 1383 / LOT 003
(E) RESIDENCE
2 STORY

ADJACENT PROPERTY
131 23RD AVENUE
BLOCK 1383 / LOT 005
(E) RESIDENCE
1 STORY






Rooms and Areas:

- OFFICE [107]
- KITCHEN [106]
- DINING ROOM [102]
- ENTRY HALL [100]
- LIVING ROOM [101]
- BEDROOM #1 [103]
- BATH [104]
- BEDROOM #2 [105]
- BEDROOM #3 [108]


Dimensions and Area Calculations:

- Overall Width: 60'-7 $\frac{3}{4}$ "
- Overall Depth: 25'-0"
- Room Dimensions:
 - Office: 7'-4 $\frac{1}{2}$ " x 8'-0"
 - Kitchen: 12'-0" x 8'-0"
 - Dining Room: 14'-5 $\frac{1}{2}$ " x 3'-4"
 - Entry Hall: 30'-4 $\frac{5}{16}$ " x 3'-4"
 - Living Room: 25'-6 $\frac{3}{4}$ " x 1'-5 $\frac{1}{16}$ "
 - Bedroom #1: 19'-6" x 3'-2"
 - Bedroom #2: 14'-2" x 3'-2"
 - Bedroom #3: 14'-2" x 3'-2"
 - Bath: 3'-2" x 3'-2"
- Area Calculations:
 - Office: A4.0
 - Kitchen: A4.3
 - Dining Room: A4.2
 - Entry Hall: A4.0
 - Living Room: A4.2
 - Bedroom #1: A4.2
 - Bedroom #2: A4.2
 - Bedroom #3: A4.2
 - Bath: A4.2

1 DEMO FIRST FLOOR PLAN
1/4" = 1'-0"

 EXISTING WALLS TO REMAIN
 EXISTING WALLS TO BE REMOVED
 EXISTING ELEMENTS TO BE REMOVED
 NEW WALLS
 1 HR. FIRE-RATED WALLS

415.956.3445
sautoarchitects.com
915 Battery Street, First

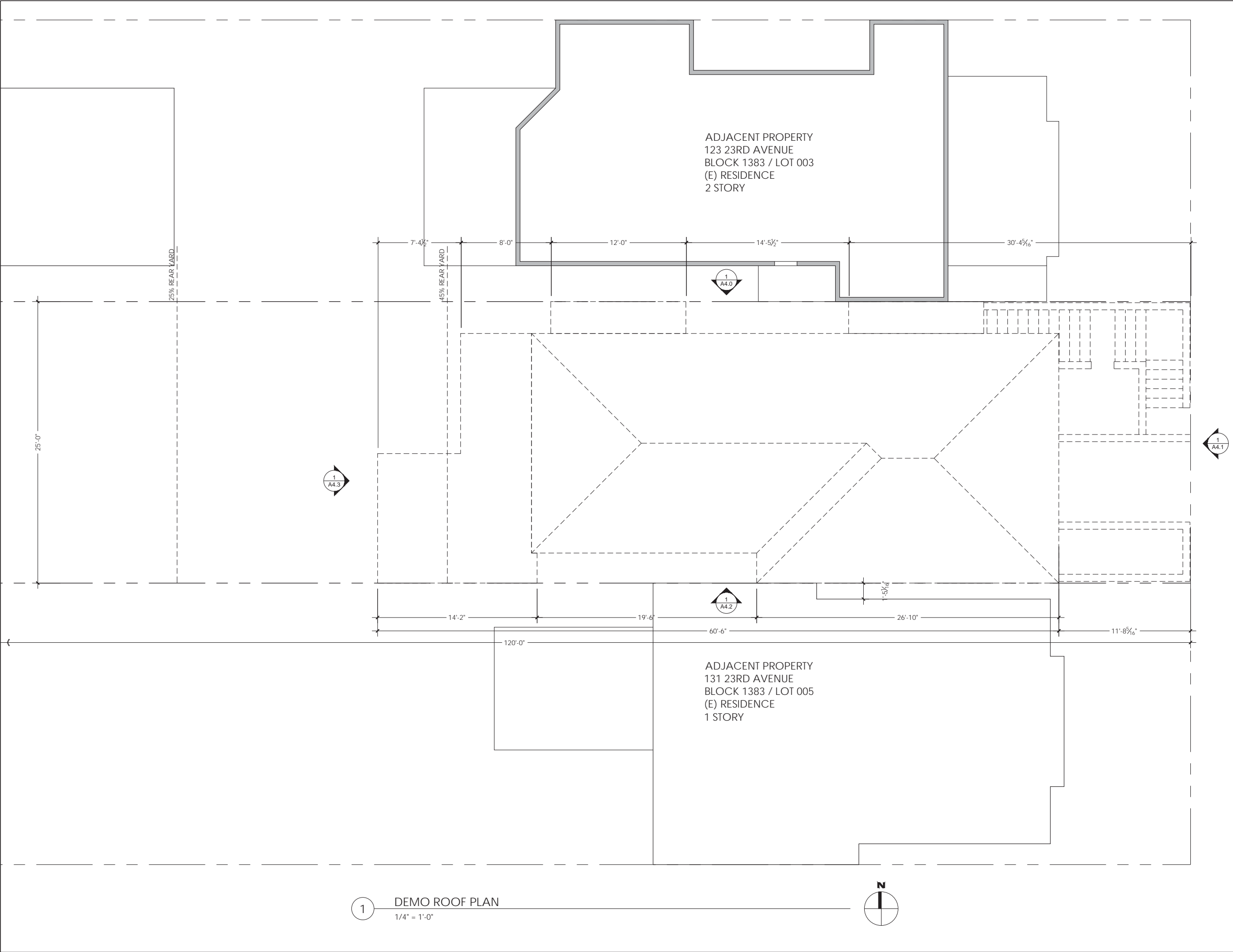


PLAN CHECK COMMENTS: 10.06.2015

1/4" = 1'-0"

A2.1

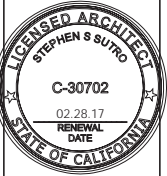
Use of these plans and specifications shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reproduction or publication by any method, in whole or in part, is prohibited. Title to the plans and specifications remains with the architect without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of these restrictions.



1 DEMO ROOF PLAN
1/4" = 1'-0"



- WALL LEGEND:
- EXISTING WALLS TO REMAIN
 - EXISTING WALLS TO BE REMOVED
 - EXISTING ELEMENTS TO BE REMOVED
 - NEW WALLS
 - 1 HR. FIRE-RATED WALLS



ISSUED
SITE PERMIT/DWELLING
UNIT DEMOLITION:
12.19.2014

PLAN CHECK
COMMENTS: 10.06.2015

DEMO ROOF PLAN

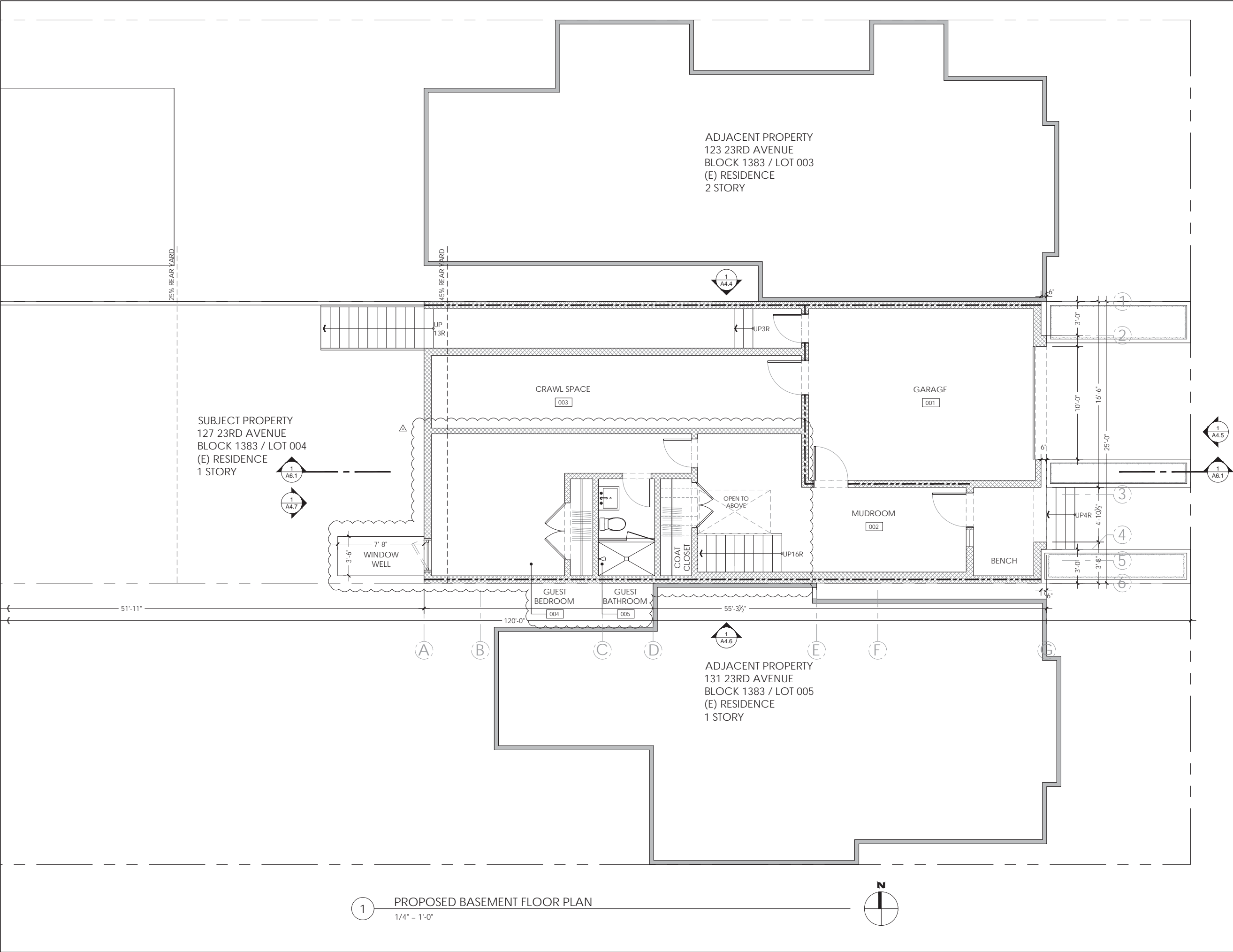
1/4" = 1'-0"

A2.2

23RD AVENUE RESIDENCE
127 23RD AVENUE, SAN FRANCISCO, CA 94121
BLOCK 1383 LOT 004 | PROJECT NO. 2014.020

SUTRO ARCHITECTS
415.956.3445
sutroarchitects.com
915 Battery Street, First Floor San Francisco, CA 94111

Use of these plans and specifications shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reproduction or publication by any method, in whole or in part, is prohibited. Title to the plans and specifications remains with the architect without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of these restrictions.



1 PROPOSED BASEMENT FLOOR PLAN
1/4" = 1'-0"



- WALL LEGEND:
- EXISTING WALLS TO REMAIN
 - EXISTING WALLS TO BE REMOVED
 - EXISTING ELEMENTS TO BE REMOVED
 - NEW WALLS
 - 1 HR. FIRE-RATED WALLS



ISSUED
SITE PERMIT/DWELLING
UNIT DEMOLITION:
12.19.2014
PLAN CHECK
COMMENTS: 07.31.2015
PLAN CHECK
COMMENTS: 10.06.2015
PLANNING REVISIONS:
01.21.2016

PROPOSED BASEMENT
FLOOR PLAN

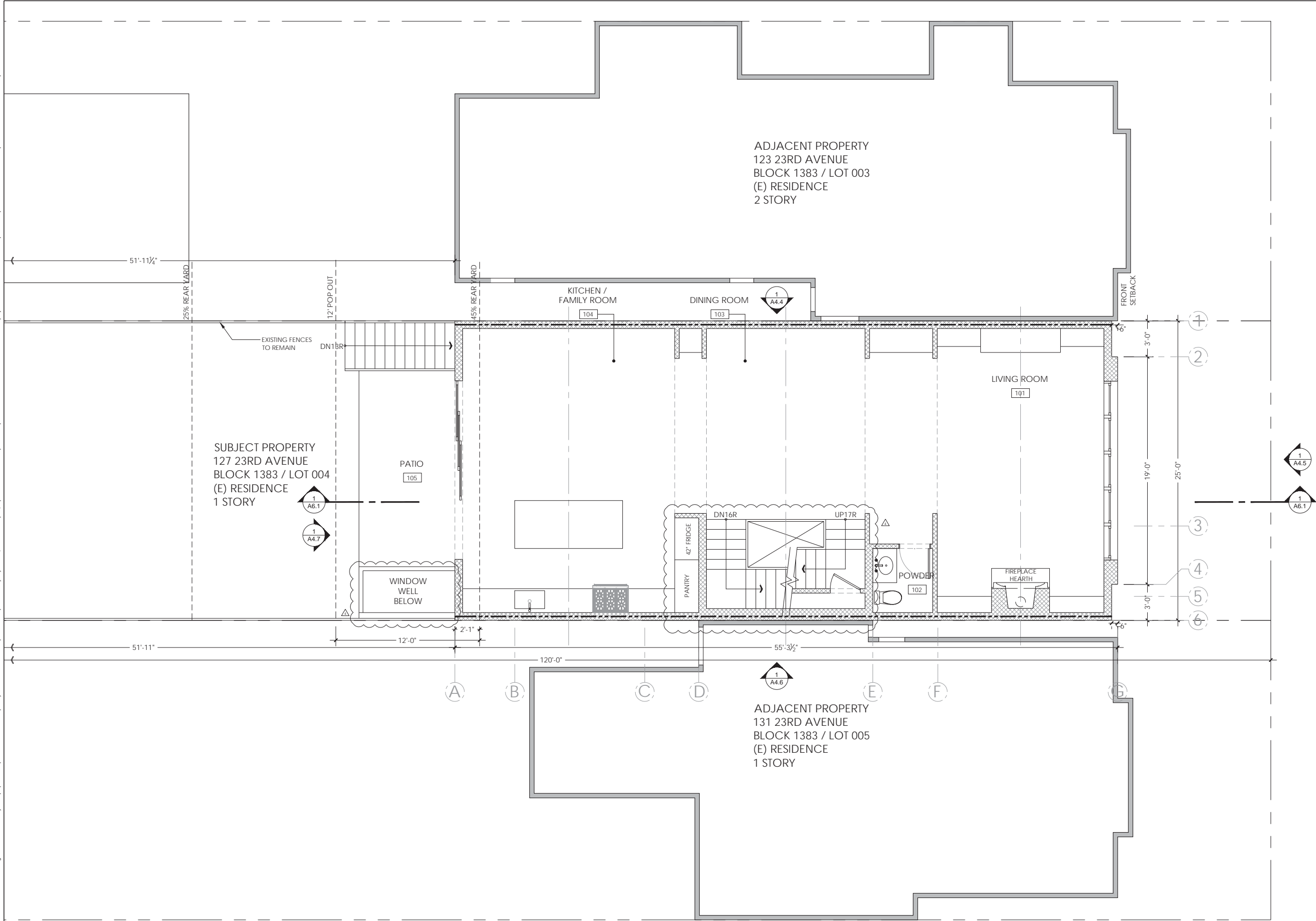
1/4" = 1'-0"

A2.3

23RD AVENUE RESIDENCE
127 23RD AVENUE, SAN FRANCISCO, CA 94121
BLOCK 1383 LOT 004 | PROJECT NO. 2014.020

SUTRO ARCHITECTS
415.956.3445
sutroarchitects.com
915 Battery Street, First Floor San Francisco, CA 94111

Use of these plans and specifications shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reproduction or publication by any method, in whole or in part, is prohibited. Title to the plans and specifications remains with the architect without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of these restrictions.

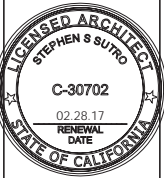


1 PROPOSED FIRST FLOOR PLAN
1/4" = 1'-0"



WALL LEGEND:

- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE REMOVED
- EXISTING ELEMENTS TO BE REMOVED
- NEW WALLS
- 1 HR. FIRE-RATED WALLS



ISSUED
SITE PERMIT/DWELLING
UNIT DEMOLITION:
12.19.2014
PLAN CHECK
COMMENTS: 07.31.2015
PLAN CHECK
COMMENTS: 10.06.2015
PLANNING REVISIONS:
01.21.2016

PROPOSED FIRST FLOOR
PLAN






1/4" = 1'-0"

A2.4

23RD AVENUE RESIDENCE
127 23RD AVENUE, SAN FRANCISCO, CA 94121
BLOCK 1383 LOT 004 | PROJECT NO. 2014.020

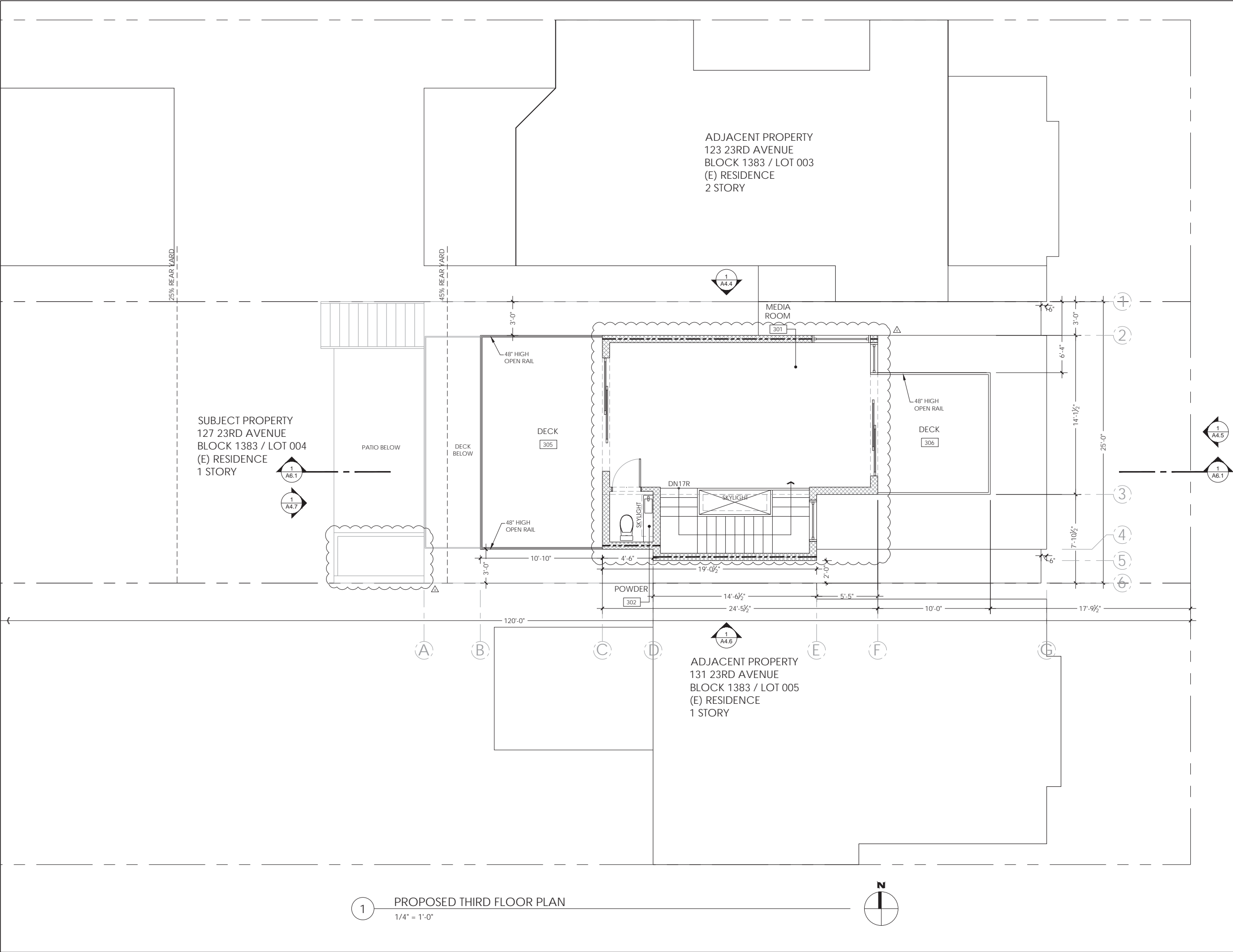
SUTRO ARCHITECTS
415.956.3445
sutroarchitects.com
915 Battery Street, First Floor San Francisco, CA 94111

[illegible]

 EXISTING WALLS TO REMAIN
 EXISTING WALLS TO BE REMOVED
 EXISTING ELEMENTS TO BE REMOVED
 NEW WALLS
 1 HR. FIRE-RATED WALLS

A2.5

Use of these plans and specifications shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reproduction or publication by any method, in whole or in part, is prohibited. Title to the plans and specifications remains with the architect without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of these restrictions.



1 PROPOSED THIRD FLOOR PLAN
1/4" = 1'-0"



- WALL LEGEND:
- EXISTING WALLS TO REMAIN
 - EXISTING WALLS TO BE REMOVED
 - EXISTING ELEMENTS TO BE REMOVED
 - NEW WALLS
 - 1 HR. FIRE-RATED WALLS

SUTRO ARCHITECTS

415.956.3445
sutroarchitects.com
915 Battery Street, First Floor San Francisco, CA 94111

23RD AVENUE RESIDENCE

127 23RD AVENUE, SAN FRANCISCO, CA 94121
BLOCK 1383 LOT 004 | PROJECT NO. 2014.020

LICENSED ARCHITECT
STEPHEN S SUTRO
C-30702
02.28.17
RENEWAL
DATE

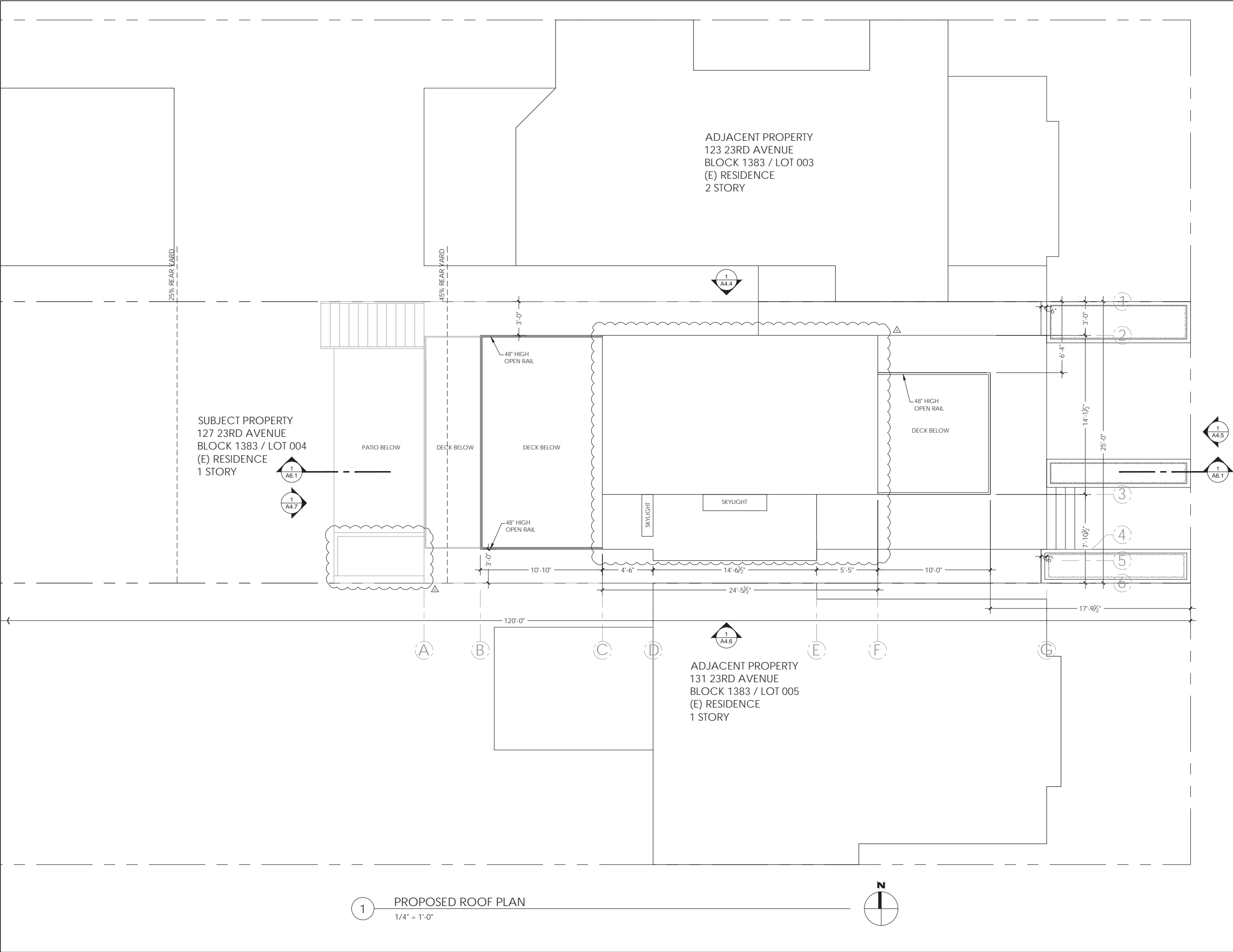
ISSUED
SITE PERMIT/DWELLING
UNIT DEMOLITION:
12.19.2014
PLAN CHECK
COMMENTS: 07.31.2015
PLAN CHECK
COMMENTS: 10.06.2015
PLANNING REVISIONS:
01.21.2016

PROPOSED THIRD
FLOOR PLAN

1/4" = 1'-0"

A2.6

Use of these plans and specifications shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reproduction or publication by any method, in whole or in part, is prohibited. Title to the plans and specifications remains with the architect without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of these restrictions.



WALL LEGEND:

- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE REMOVED
- EXISTING ELEMENTS TO BE REMOVED
- NEW WALLS
- 1 HR. FIRE-RATED WALLS

SUTRO ARCHITECTS

415.956.3445
sutroarchitects.com
915 Battery Street, First Floor San Francisco, CA 94111

23RD AVENUE RESIDENCE

127 23RD AVENUE, SAN FRANCISCO, CA 94121
BLOCK 1383 LOT 004 | PROJECT NO. 2014.020

LICENSED ARCHITECT
STEPHEN S. SUTRO
C-30702
02.29.17
RENEWAL DATE

ISSUED
SITE PERMIT/DWELLING
UNIT DEMOLITION:
12.19.2014

PLAN CHECK
COMMENTS: 07.31.2015

PLAN CHECK
COMMENTS: 10.06.2015

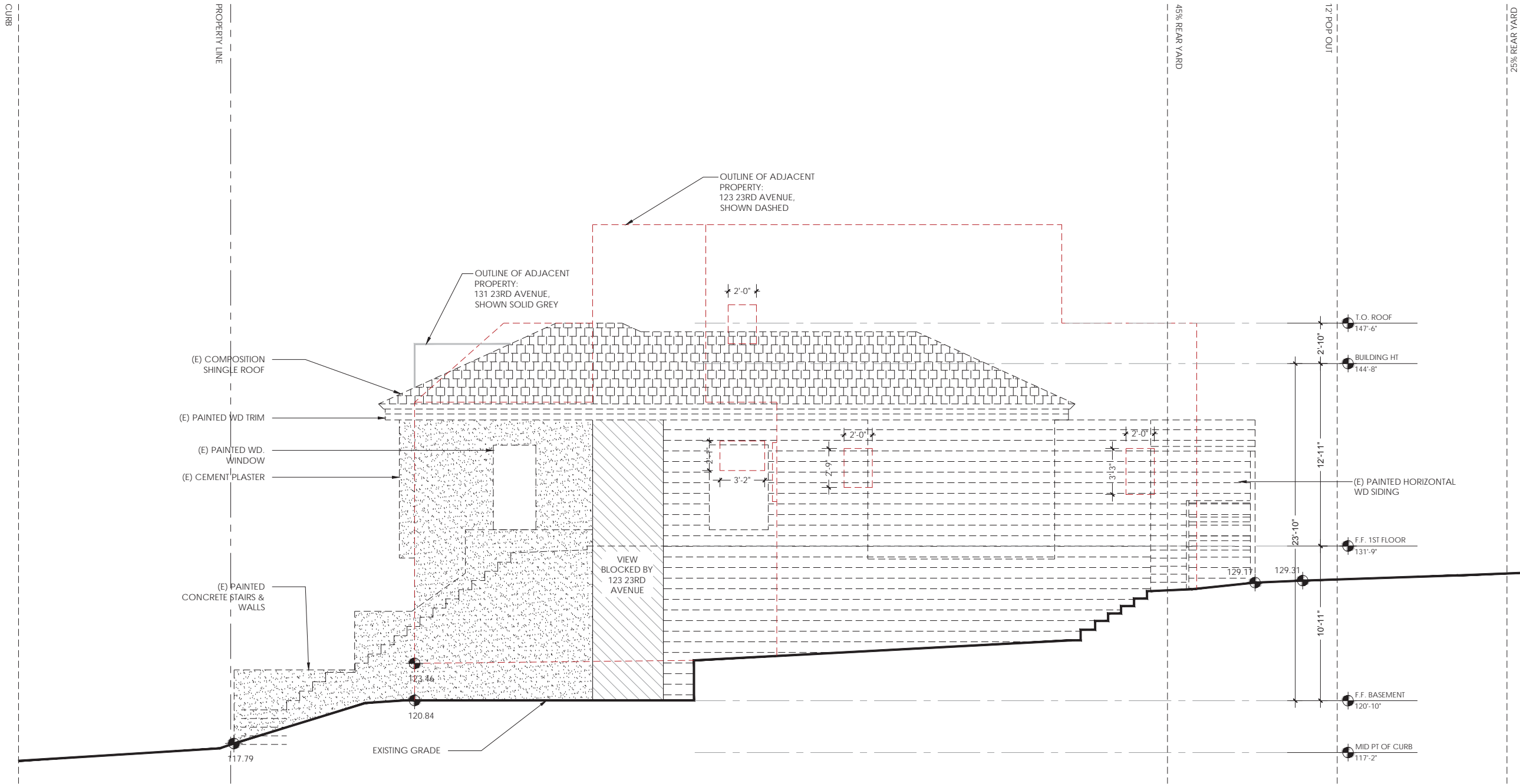
PLANNING REVISIONS:
01.21.2016

PROPOSED ROOF PLAN

1/4" = 1'-0"

A2.7

Use of these plans and specifications shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reproduction or publication by any method, in whole or in part, is prohibited. Title to the plans and specifications remains with the architect without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of these restrictions.



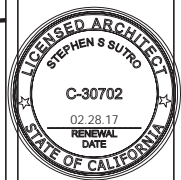
1

DEMO NORTH EXTERIOR ELEVATION
1/4" = 1'-0"

NEIGHBOR BUILDING OUTLINE
& WINDOWS SHOWN
DASHED IN RED

WALL LEGEND:

EXISTING WALLS TO BE REMOVED
EXISTING ELEMENTS TO BE REMOVED



ISSUED
SITE PERMIT/DWELLING
UNIT DEMOLITION:
12.19.2014

PLAN CHECK
COMMENTS: 10.06.2015
PLAN CHECK
COMMENTS: 11.30.2015

DEMO NORTH EXTERIOR
ELEVATION

1/4" = 1'-0"

A4.0

23RD AVENUE RESIDENCE
127 23RD AVENUE, SAN FRANCISCO, CA 94121
BLOCK 1383 LOT 004 | PROJECT NO. 2014.020

SUTRO ARCHITECTS
415.956.3445
sutroarchitects.com
915 Battery Street, First Floor San Francisco, CA 94111

135 23RD AVENUE
BLOCK 1383 / LOT 006
(E) RESIDENCE
2-STORY OVER BASEMENT

ADJACENT PROPERTY:
131 23RD AVENUE
BLOCK 1383 / LOT 005
(E) RESIDENCE
1-STORY OVER BASEMENT

SUBJECT PROPERTY:
127 23RD AVENUE
BLOCK 1383 / LOT 004
(E) RESIDENCE
1-STORY OVER BASEMENT
PROPOSED RESIDENCE
3-STORY OVER BASEMENT

ADJACENT PROPERTY:
123 23RD AVENUE
BLOCK 1383 / LOT 003
(E) RESIDENCE
2-STORY OVER BASEMENT

119 23RD AVENUE
BLOCK 1383 / LOT 002
(E) RESIDENCE
2-STORY OVER BASEMENT W/ PENTHOUSE

(E) PAINTED WD WINDOWS
(E) COMPOSITION SHINGLE ROOF
(E) PAINTED WD TRIM
(E) CEMENT PLASTER
(E) PAINTED CONCRETE STAIRS & WALLS

T.O. ROOF
147'-8"
BUILDING HT @ MID POINT OF RIDGE
144'-8"
2'-10"
12'-11"
23'-10"
27'-6"
10'-11"
F.F. 1ST FLOOR
131'-9"
F.F. BASEMENT
120'-10"
MID PT OF CURB
117'-2"

122.34
118.78
117.79
117.34
116.9
120.83
117.46
118.46
122.10
122.80
116.99
116.96

1
1/4" = 1'-0"

WALL LEGEND:
--- EXISTING WALLS TO BE REMOVED
--- EXISTING ELEMENTS TO BE REMOVED

A4.1

Use of these plans and specifications shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reproduction or publication by any method, in whole or in part, is prohibited. Title to the plans and specifications remains with the architect without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of these restrictions.

25% REAR YARD

12' POP OUT

45% REAR YARD

CURB

(E) PAINTED HORIZONTAL
WD SIDING
(E) PAINTED WOOD
WINDOW

OUTLINE OF ADJACENT
PROPERTY:
123 23RD AVENUE,
SHOWN SOLID GREY

OUTLINE OF ADJACENT
PROPERTY:
131 23RD AVENUE,
SHOWN DASHED

(E) COMPOSITION
SHINGLE ROOF
(E) PAINTED WD TRIM

(E) CEMENT PLASTER

(E) PAINTED
CONCRETE STAIRS &
WALLS

VIEW
BLOCKED BY
131 23RD
AVENUE

EXISTING GRADE

T.O. ROOF
147'-6"

BUILDING HT @ MIDPOINT OF RIDGE
144'-8"

F.F. 1ST FLOOR
131'-9"

F.F. BASEMENT
120'-10"

MID PT OF CURB
117'-2"

2'-10"

12'-11"

23'-10"

10'-11"

27'-6"

NEIGHBOR BUILDING OUTLINE
& WINDOWS SHOWN
DASHED IN RED

WALL LEGEND:

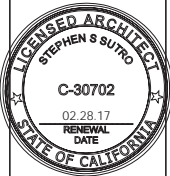
EXISTING WALLS TO BE REMOVED

EXISTING ELEMENTS TO BE REMOVED

1

DEMO SOUTH EXTERIOR ELEVATION

1/4" = 1'-0"



ISSUED
SITE PERMIT/DWELLING
UNIT DEMOLITION:
12.19.2014

PLAN CHECK
COMMENTS: 10.06.2015
PLAN CHECK
COMMENTS: 11.30.2015

DEMO SOUTH EXTERIOR
ELEVATION

1/4" = 1'-0"

A4.2

SUTRO ARCHITECTS

415.956.3445
sutroarchitects.com

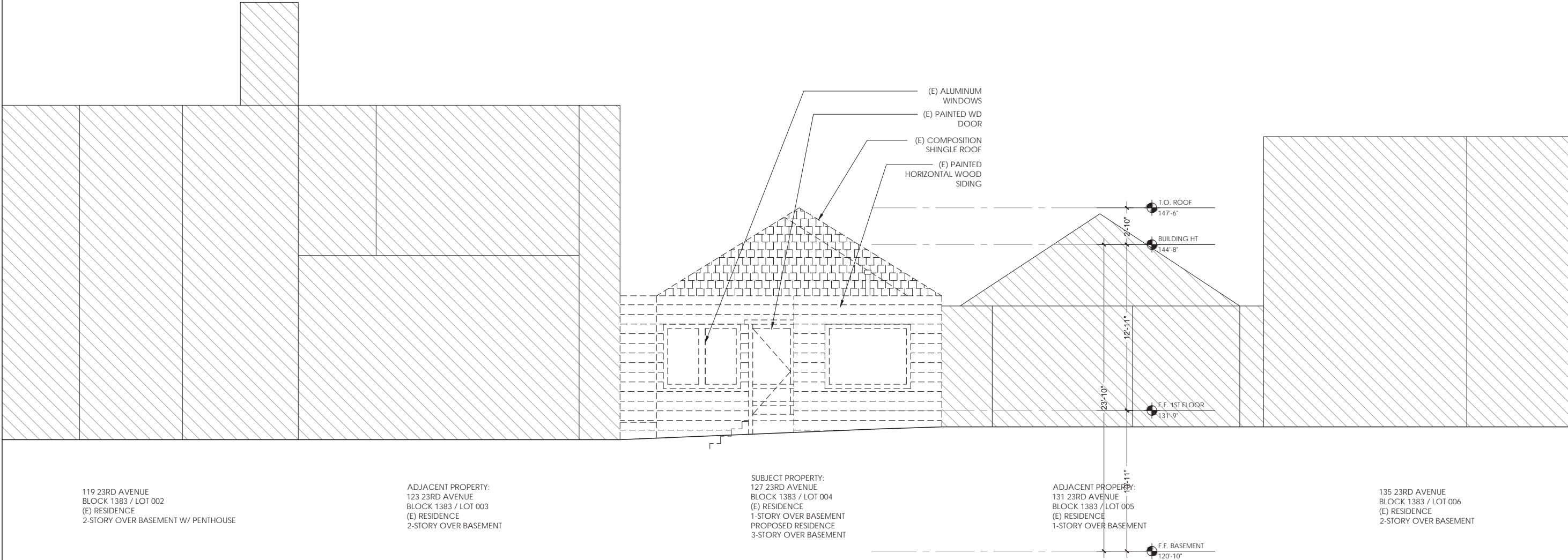
915 Battery Street, First Floor San Francisco, CA 94111

23RD AVENUE RESIDENCE

127 23RD AVENUE, SAN FRANCISCO, CA 94121

BLOCK 1383 LOT 004 | PROJECT NO. 2014.020

Use of these plans and specifications shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reproduction or publication by any method, in whole or in part, is prohibited. Title to the plans and specifications remains with the architect without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of these restrictions.



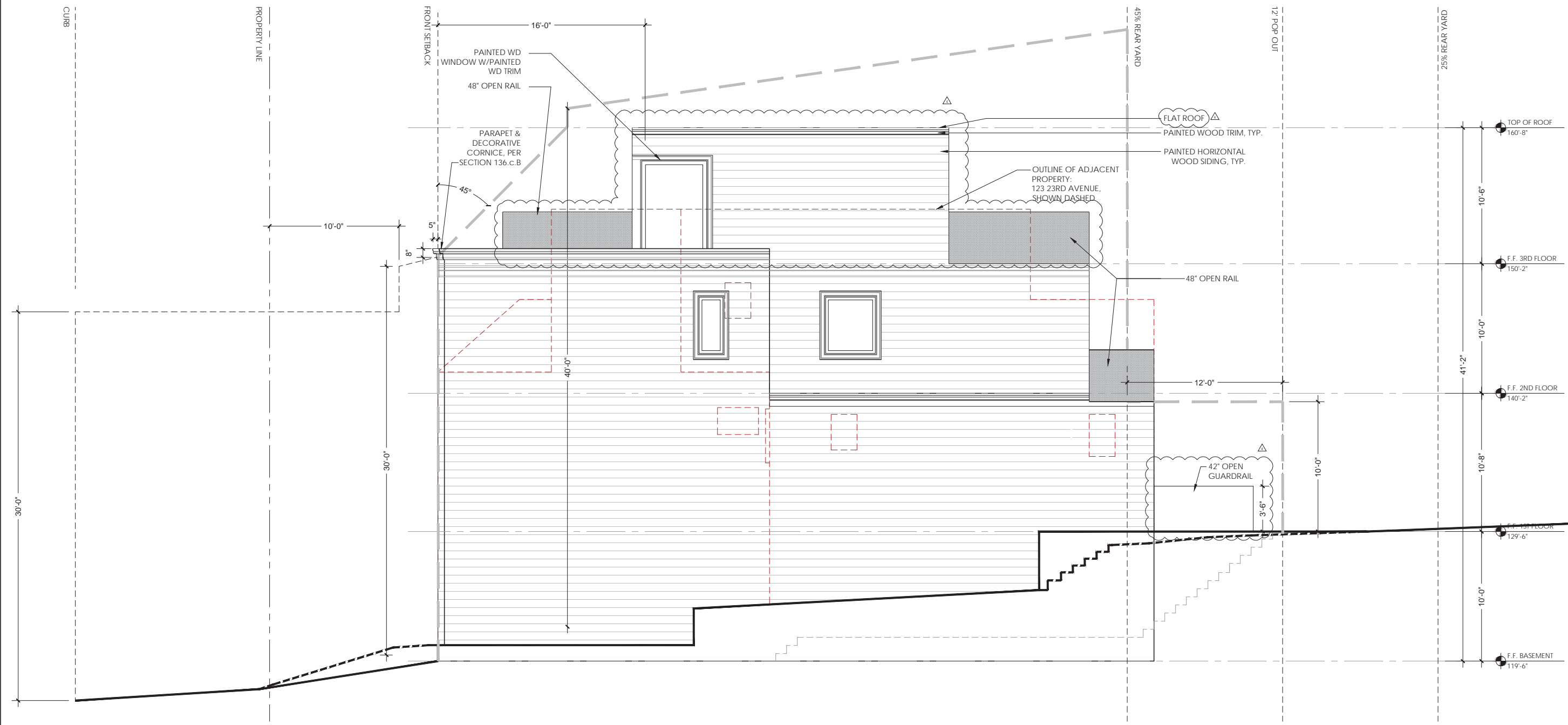
1 DEMO WEST EXTERIOR ELEVATION
1/4" = 1'-0"

WALL LEGEND:
Hatched area: EXISTING WALLS TO BE REMOVED
Dashed line: EXISTING ELEMENTS TO BE REMOVED



ISSUED
SITE PERMIT/DWELLING
UNIT DEMOLITION:
12.19.2014
PLAN CHECK
COMMENTS: 10.06.2015
DEMO WEST EXTERIOR
ELEVATION

Use of these plans and specifications shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reproduction or publication by any method, in whole or in part, is prohibited. Title to the plans and specifications remains with the architect without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of these restrictions.



1

PROPOSED NORTH EXTERIOR ELEVATION
1/4" = 1'-0"

NEIGHBOR BUILDING OUTLINE
& WINDOWS SHOWN
DASHED IN RED



ISSUED
SITE PERMIT/DWELLING
UNIT DEMOLITION:
12.19.2014

PLAN CHECK
COMMENTS: 07.31.2015
PLAN CHECK
COMMENTS: 10.06.2015
PLAN CHECK
COMMENTS: 11.30.2015
PLANNING REVISIONS:
01.21.2016

PROPOSED NORTH
EXTERIOR ELEVATION

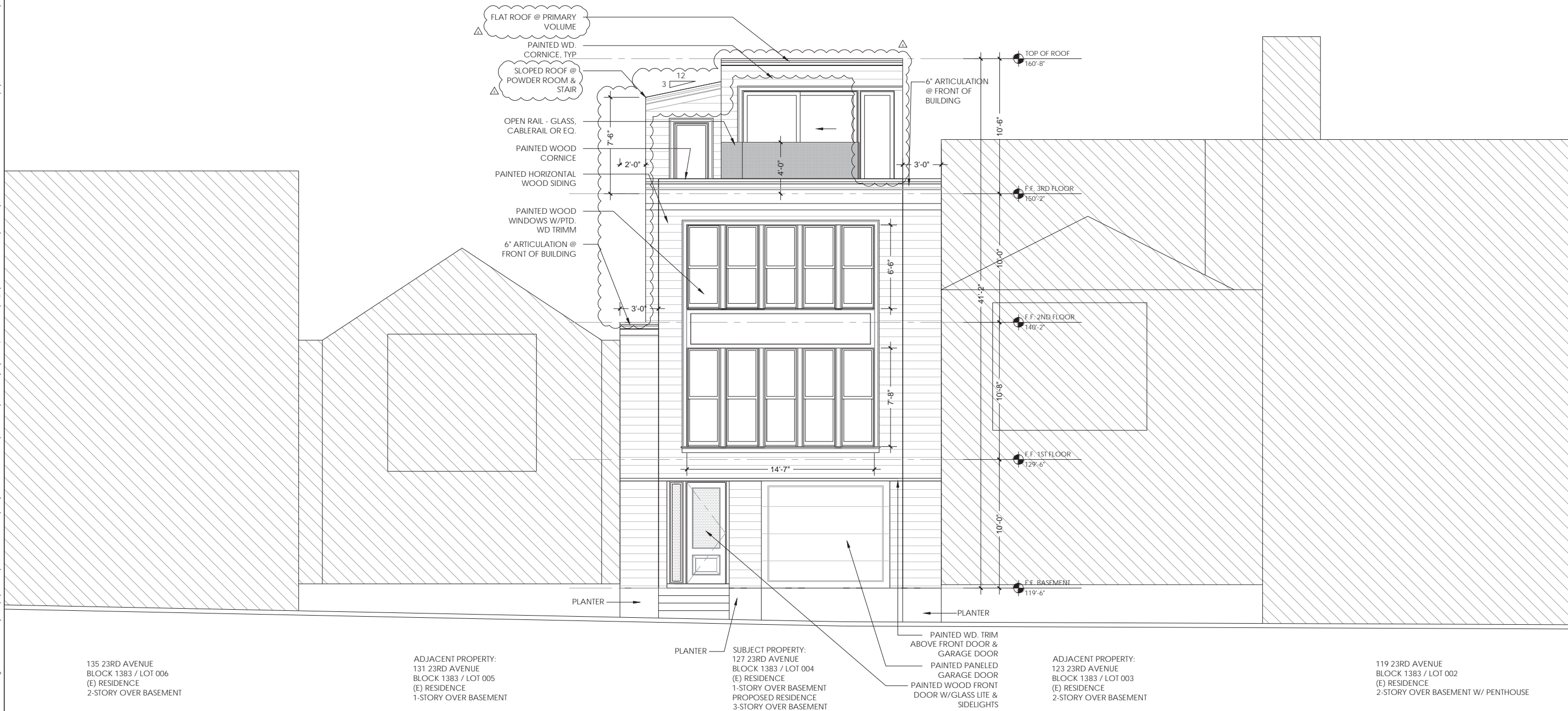
1/4" = 1'-0"

A4.4

SUTRO ARCHITECTS
415.956.3445
sutroarchitects.com
915 Battery Street, First Floor San Francisco, CA 94111

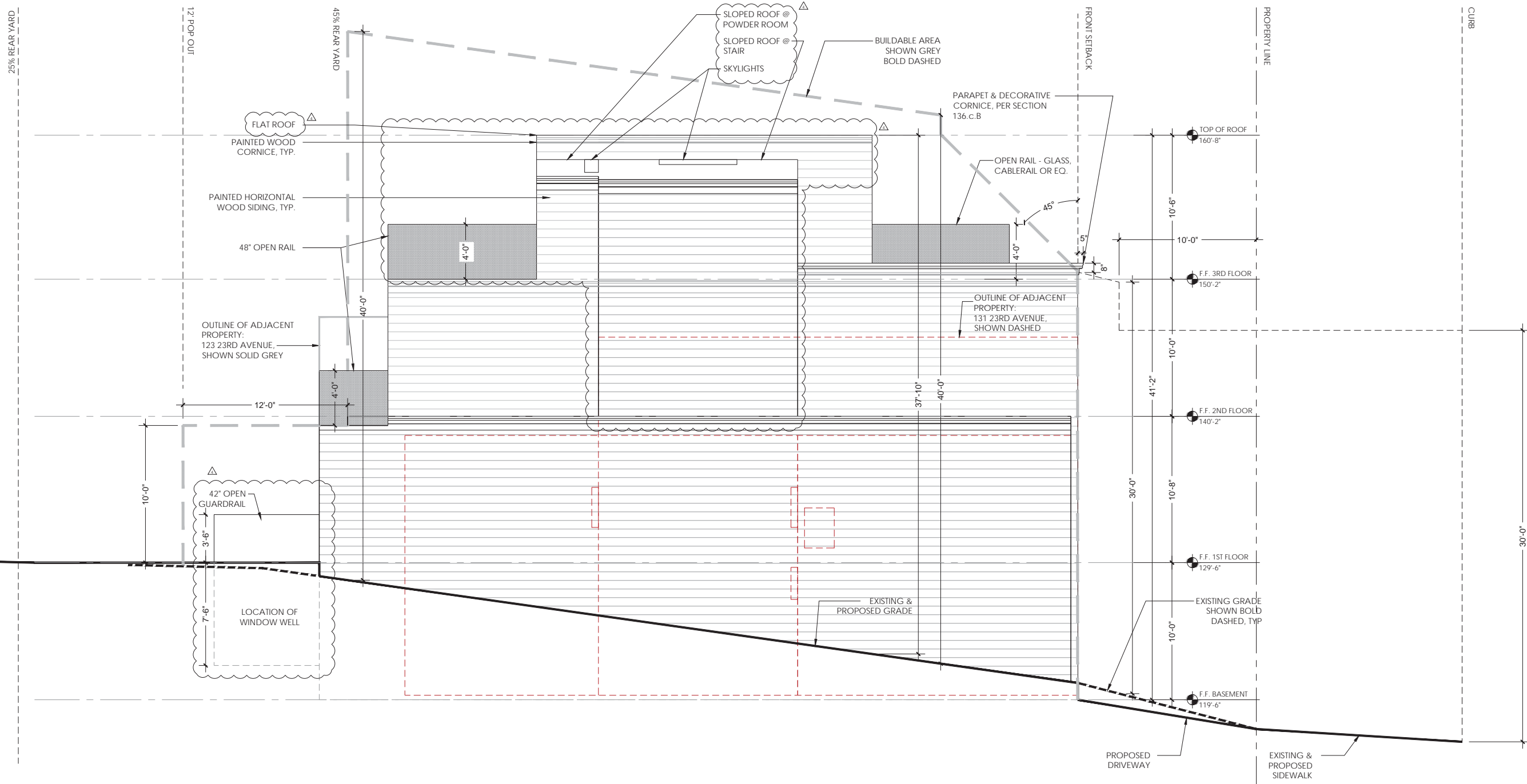
23RD AVENUE RESIDENCE
127 23RD AVENUE, SAN FRANCISCO, CA 94121
BLOCK 1383 LOT 004 | PROJECT NO. 2014.020

Use of these plans and specifications shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reproduction or publication by any method, in whole or in part, is prohibited. Title to the plans and specifications remains with the architect without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of these restrictions.



1 PROPOSED EAST EXTERIOR ELEVATION
1/4" = 1'-0"

Use of these plans and specifications shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reproduction or publication by any method, in whole or in part, is prohibited. Title to the plans and specifications remains with the architect without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of these restrictions.

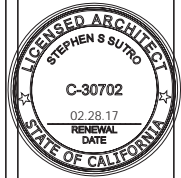


1

PROPOSED SOUTH EXTERIOR ELEVATION

1/4" = 1'-0"

NEIGHBOR BUILDING OUTLINE
& WINDOWS SHOWN
DASHED IN RED



ISSUED
SITE PERMIT/DWELLING
UNIT DEMOLITION:
12.19.2014

PLAN CHECK
COMMENTS: 07.31.2015
PLAN CHECK
COMMENTS: 10.06.2015
PLAN CHECK
COMMENTS: 11.30.2015
PLANNING REVISIONS:
01.21.2016

PROPOSED SOUTH
EXTERIOR ELEVATION

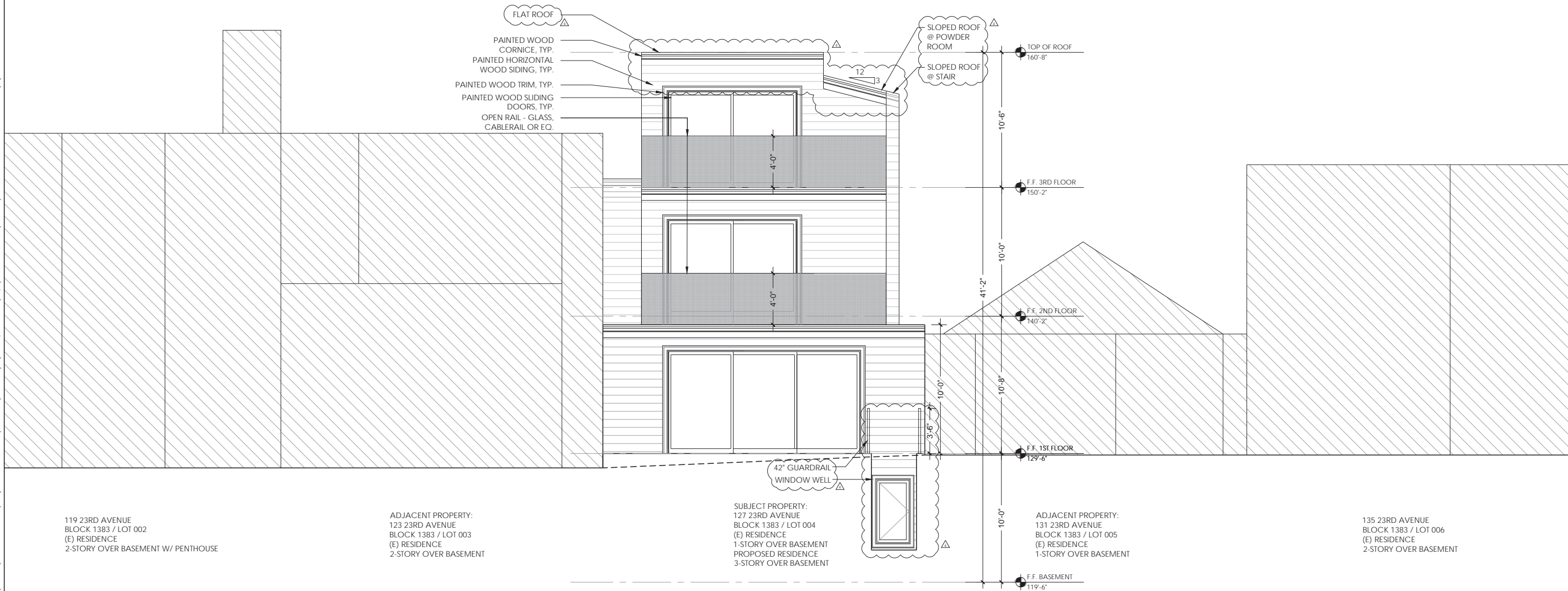
1/4" = 1'-0"

A4.6

23RD AVENUE RESIDENCE
127 23RD AVENUE, SAN FRANCISCO, CA 94121
BLOCK 1383 LOT 004 | PROJECT NO. 2014.020

SUTRO ARCHITECTS
415.956.3445
sutroarchitects.com
915 Battery Street, First Floor San Francisco, CA 94111

Use of these plans and specifications shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reproduction or publication by any method, in whole or in part, is prohibited. Title to the plans and specifications remains with the architect without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of these restrictions.



1 PROPOSED WEST EXTERIOR ELEVATION
1/4" = 1'-0"

SUTRO ARCHITECTS

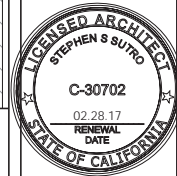
415.956.3445
sutroarchitects.com

915 Battery Street, First Floor San Francisco, CA 94111

23RD AVENUE RESIDENCE

127 23RD AVENUE, SAN FRANCISCO, CA 94121

BLOCK 1383 LOT 004 | PROJECT NO. 2014.020



ISSUED
SITE PERMIT/DWELLING
UNIT DEMOLITION:
12.19.2014

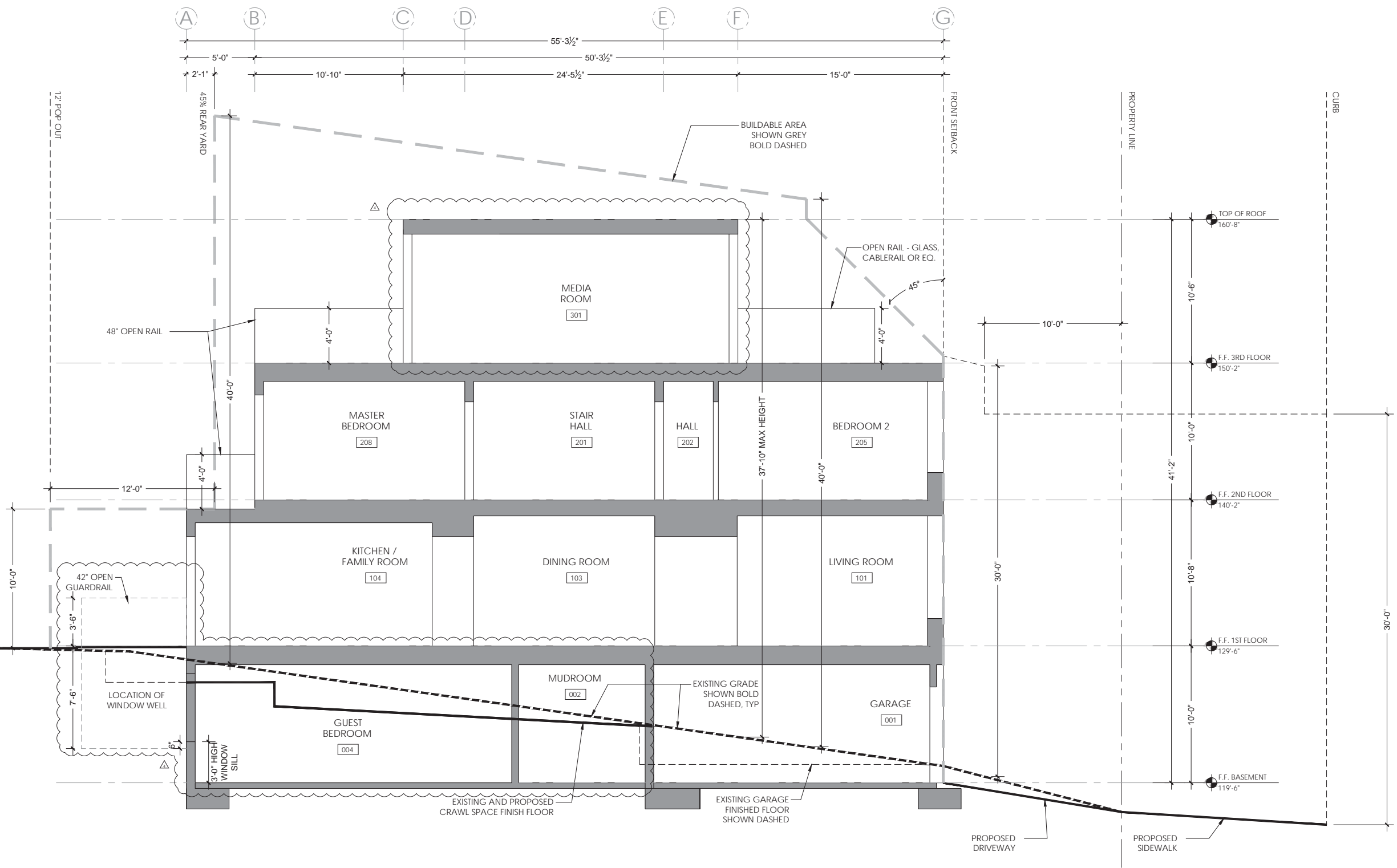
PLAN CHECK
COMMENTS: 07.31.2015
PLAN CHECK
COMMENTS: 10.06.2015
PLANNING REVISIONS:
01.21.2016

PROPOSED WEST
EXTERIOR ELEVATION

1/4" = 1'-0"

A4.7

Use of these plans and specifications shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reproduction or publication by any method, in whole or in part, is prohibited. Title to the plans and specifications remains with the architect without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of these restrictions.



1 PROPOSED SECTION
1/4" = 1'-0"



ISSUED
SITE PERMIT/DWELLING UNIT DEMOLITION: 12.19.2014
PLAN CHECK COMMENTS: 07.31.2015
PLAN CHECK COMMENTS: 10.06.2015
PLANNING REVISIONS: 01.21.2016

PROPOSED SECTION

1/4" = 1'-0"

LEGEND:

FF	FINISHED FLOOR	LANDS OF CHOW AND SZETO
GV	GAS VALVE	LOT 039
JP	JOINT POLE	REEL 690 / IMAGE 0203
SSCO	SANITARY SEWER CLEAN-OUT	
TW	TOP OF WALL	
WM	WATER METER	
— DH — DH —	OVERHEAD UTILITY LINE	
- - - - -	BUILDING OVERHANG	
- - - - -	EAVE	
—	WOOD FENCE	
12" EUC	INDICATES TREE SIZE AND TYPE	
MAG	MAGNOLIA	
JM	JAPANESE MAPLE	

NOTES:

- ALL DISTANCES ARE IN FEET AND DECIMALS THEREOF.
- THE DATE OF THE FIELD SURVEY WAS JUNE 5, 2014.
- ONLY A SIGNATURE IN BLUE INK INDICATES A TRUE AND ORIGINAL COPY.

BENCHMARK:

23RD AVE : LAKE ST INTERSECTION
SW CORNER — CROW CUT OUTER RIM SW
ELEV=115.331 (CITY OF SF DATUM)

TITLE REPORT NOTE:

NO ABSTRACT OF TITLE, NOR TITLE COMMITMENT, OR RESULTS OF A TITLE SEARCH WERE FURNISHED TO MUIR CONSULTING, INC. THERE MAY EXIST DOCUMENTS OF RECORD THAT MAY AFFECT THIS SURVEYED PARCEL THAT ARE NOT SHOWN.

UTILITY NOTE:

UTILITIES SHOWN ON THIS SURVEY ARE BASED ON SURFACE OBSERVATIONS. NO WARRANTIES ARE EXPRESSED OR IMPLIED CONCERNING THE EXISTENCE, SIZE, DEPTH, CONDITION, CAPACITY, OR LOCATION OR ANY UTILITY EXISTING ON THE SITE, WHETHER PRIVATE, MUNICIPAL, OR PUBLIC OWNED. CONTRACTOR SHALL VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION

TREE NOTE:

TREE TYPES, DRIP LINES, AND SIZE ARE FOR INFORMATIONAL PURPOSES ONLY. ACTUAL TYPE OF TREE, TREE SHAPE, AND GROVE CONFIGURATION MAY VARY FROM ACTUAL FIELD CONDITIONS. NO WARRANTIES ARE IMPLIED IN REGARD TO TREE INFORMATION.

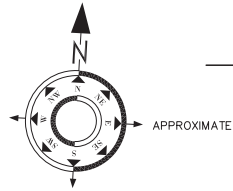
SURVEYOR'S STATEMENT

THIS SURVEY WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION.

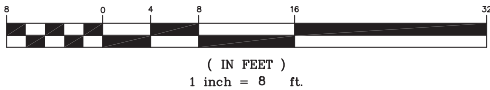
JACK M. SMITH, P.L.S. #7539
LICENSE EXPIRES: 12-31-2015



DATE



GRAPHIC SCALE



23RD AVENUE
(70' R/W)

REVISIONS

JOB NUMBER 4447-01

DRAWN BY JMS

CHECKED BY

DATE 06/10/14

DRAWING NAME

4447TOPO

SHEET NO.

1 OF 1

TOPOGRAPHIC SURVEY

OF THE LANDS OF

STEVEN LINDE AND ROBYN WILKINSON

CITY AND COUNTY OF SAN FRANCISCO

CALIFORNIA



MUIR CONSULTING, INC.

139 CHURCH AVENUE
OAKDALE, CA 95361

(209) 845-8630 FAX (209) 845-8639

LAND SURVEYING • GPS • PLANNING

www.muirconsulting.com