



# SAN FRANCISCO PLANNING DEPARTMENT

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## Discretionary Review Full Analysis

HEARING DATE SEPTEMBER 28, 2017

*Date:* September 21, 2017  
*Case No.:* 2014-1060DRP/VAR  
*Project Address:* 1870 Market Street  
*Permit Application:* 2015-0501-5151  
*Zoning:* NCT-3 (Moderate Scale Neighborhood Commercial Transit District)  
85-X Height and Bulk District  
*Block/Lot:* 0871/004  
*Project Sponsor:* Victor Quan, Bridgeway Vista LP  
P.O. Box 591841  
San Francisco, CA 94159  
*Staff Contact:* Claudine Asbagh – (415) 575-9165  
claudine.asbagh@sfgov.org  
*Recommendation:* Do not take DR and approve the project as proposed.

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**

### PROJECT DESCRIPTION

The project would demolish the existing single story private garage and construct an 85-foot tall, 8-story, approximately 16,000 square-foot building containing 10 dwelling units and approximately 400 square feet of ground floor retail. The project would require a rear yard modification (Section 134(e)(1)) because the proposed building would encroach by approximately 10 feet into the rear yard and result in a rear yard of 15' 3" where 25 feet is required. Three of the dwelling units on the lower three floors would require a Variance from the exposure requirements of the Planning Code (Section 140).

Subsequent to the Discretionary Review request (DR), the project has been revised to incorporate recommendations from the Department. Those revisions include a relocation of the massing of the building towards the eastern property line, an additional dwelling unit for a total of 10, and a reduction in the amount of ground floor retail.

### SITE DESCRIPTION AND PRESENT USE

The 2,474 square-foot project site is located on the north side of Market Street between Laguna Street and Octavia Boulevard; lot 004 of Assessor's Block 0871. The site is currently developed with a single story, approximately 500 square foot private garage. The site is located in the NCT-3 (Moderate Scale Neighborhood Commercial Transit District) Zoning District, the 85-X Height and Bulk District and the Market Octavia Plan Area.

## SURROUNDING PROPERTIES AND NEIGHBORHOOD

Surrounding properties include a six-story 19-unit residential building immediately to the north (16 Laguna), a four-story mixed-use building to the west (1874-1878 Market St.), and an 8-story mixed use building to the west (1844 Market St.). Overall the surrounding area contains diverse building types and uses, with commercial and mixed-use along Market Street, with predominantly residential uses north of the site.

The project site is located on the southern edge of the Western Addition neighborhood, adjacent to the Mission neighborhood and two blocks northwest of the South of Market neighborhood. Other zoning districts in the vicinity include: R-T-O (Residential Transit Oriented) located immediately north of the site as well as NC-3 (Moderate-Scale Neighborhood Commercial) to the west and RM-3 (Medium Density Residential Mixed) to the northwest.

## BUILDING PERMIT APPLICATION NOTIFICATION

TYPE	REQUIRED PERIOD	NOTIFICATION DATES	DR FILE DATE	DR HEARING DATE	FILING TO HEARING TIME
312 Notice	30 days	December 23, 2016 – January 23, 2017	January 23, 2017	September 28, 2017	249 days

## HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Posted Notice	20 days	September 8, 2017	September 8, 2017	20 days
Mailed Notice	20 days	September 8, 2017	September 7, 2017	21 days

## PUBLIC COMMENT

	SUPPORT	OPPOSED	NO POSITION
Adjacent neighbor(s)		2	
Other neighbors on the block or directly across the street	3		
Neighborhood groups	1		

As of the writing of this report, the Department had received inquiries about the project from two residents of 1874 Market Street that expressed concern that the project could block access to light and air.

## DR REQUESTOR

Serina Calhoun/Syncopated Architecture representing the owners of 1874 Market Street the property immediately west of the proposed project.

## DR REQUESTOR'S CONCERNS AND PROPOSED ALTERNATIVES

**Issue #1 – Building Massing:** The DR requestor expressed concern over the overall mass of the project and its potential effect on their existing roof solar panels. The DR requestor had asked for solar studies to gauge the proposed development's impact on light wells and roof however they did not receive any studies.

*Proposed Alternative: Provide additional setbacks at upper levels. Evaluate a central courtyard as opposed to providing a roof deck and single private terrace at the rear. Reduce overall height and reduce penthouses to 7 feet.*

**Issue #2 – Roof Deck:** The DR requestor expressed concern over the size of the proposed roof deck and the need for two stair penthouses, especially since one of the stair penthouses abuts an existing light well.

*Proposed Alternative: Provide open space at lower levels to eliminate need for two penthouse stair enclosures.*

**Issue #3 – Lightwells:** The DR requestor states that the proposed lightwells are insufficient in size relative to the scale of the proposed project and will reduce light and air to units at 1874 Market Street.

*Proposed Alternative: Provide additional setbacks at upper levels and remove extra space at the core of stair shaft to minimize depth of stair; this will increase depth of lightwell.*

Reference the *Discretionary Review Application* for additional information. The *Discretionary Review Application* is an attached document.

## PROJECT SPONSOR'S RESPONSE

**Issue #1 – Building Massing:** The project sponsor states:

The proposed project is an appropriate in-fill development that will add ten new dwelling units to the City's housing stock and approximately 400 square feet of commercial space in an area that encourages the development of moderate-scale buildings with a pattern of ground floor commercial with upper story residential units. The Project will also include one unit of on-site, permanently affordable housing.

The DR requester cites the Residential Design Guidelines (RDG) as the basis for their concerns. However, the RDG do not apply to NC (Neighborhood Commercial) Districts or to commercial or institutional buildings within residential districts

**Issue #2 – Roof Deck:** The project sponsor states:

The project site is a small approximately 2,474 sq ft irregularly shaped lot at 25 ft wide and average of 100 ft deep. We have to accommodate two staircases and an elevator within the proposed building envelope so that does not leave much flexibility for moving things around inside or for changing the shape or size of the matching lightwells. The location of the two staircases in our

project is limited by the separation between staircases required by the building code and the location of their lightwells. Therefore, we cannot change the location of the stair penthouses.

Some of the suggestions that DR requester has proposed as design compromises are just not workable for various reasons. Their suggestions include: reducing our project to six stories instead of eight stories, and changing the footprint of the building to a C-shaped building with a courtyard opening in the middle of the lot (this building envelope would not be code compliant).

**Issue #3 – Lightwells, Light and Air:** The Project Sponsor States:

We have made the following changes in response to concerns raised by DR requester and as good neighbor gestures:

- Lightwells have been enlarged at neighbor's request. This change was made early on in the process from the neighbor's feedback.
- The mechanical room and the elevator machine room at the roof level have been relocated away from the DR requester's building. This change reduces the shadow impact on their solar panels and was made as a response to their concerns.
- The profile of stair penthouse closest to the DR requester has been reduced to minimize the shadow impact. This change was made after filing of DR.
- The shape at the rear of the proposed building has been reversed so that the longer projecting portion of the building is on the opposite side of DR requester. This change allows more light and air at the rear of the DR requester's building at the lower level and less shading to the solar panels on their roof. This change was made after meeting with one of DR requester's tenants.

Reference the *Response to Discretionary Review* for additional information. The *Response to Discretionary Review* is an attached document.

## PROJECT ANALYSIS

**Issue #1 – Building Massing:** The Department is in support of the overall height, scale and form of the proposed project, since it is in alignment with the underlying zoning district and height/bulk limits. The project is which is consistent with the 85-X Height and Bulk District and manages to provide a transition between the larger building located immediately east of the site and the four-story building immediately to the west.

The project manages to provide a range of dwelling unit types on a relatively small lot in a manner that is consistent with development on Market Street.

**Issue #2 – Roof Deck:** The Department supports the current configuration of the open space. The Department worked with the project sponsor to increase the number of dwelling units and believes the project provides open space in a manner that is consistent with development along Market Street.

**Issue #3 – Lightwells, Light and Air:** The Department supports the project as proposed. Currently, the project includes lightwells that match the width of the lightwells on the adjacent property at 1874 Market

Street. Additionally, the third through 8<sup>th</sup> floors of the building are set back by 18 feet from the rear property line along the western side of the lot.

## **ENVIRONMENTAL REVIEW**

Pursuant to the Guidelines of the State Secretary of Resources for the implementation of the California Environmental Quality Act (CEQA), on September 15, 2017, the Planning Department of the City and County of San Francisco determined that the proposed application was exempt from further environmental review under Section 15183 of the CEQA Guidelines and California Public Resources Code Section 21083.3. The Project is consistent with the adopted zoning controls in the Market and Octavia Area Plan and was encompassed within the analysis contained in the Market and Octavia Area Plan Final EIR. Since the Final EIR was finalized, there have been no substantial changes to the Market and Octavia Area Plan and no substantial changes in circumstances that would require major revisions to the Final EIR due to the involvement of new significant environmental effects or an increase in the severity of previously identified significant impacts, and there is no new information of substantial importance that would change the conclusions set forth in the Final EIR.

## **URBAN DESIGN TEAM REVIEW (UDAT)**

The Planning Department's Urban Design Advisory Team (UDAT) provides design review for projects not subject to the Residential Design Guidelines.

UDAT found the overall massing, form and scale to be appropriate given the underlying zoning and height/bulk limits and responsive to existing building and open space. The proposed project is consistent with the scale and height of nearby properties and the Market & Octavia Area Plan Fundamental Design Guidelines. This section of Market Street has a variety of building heights with the project site immediately adjacent to an 80-foot tall building on the east, and a four-story building to the west. The project provides a transition between the two buildings

The Market Street facade incorporates contemporary references to traditional building compositions in the surrounding context (e.g. window sills, belt course and cornice). The project sponsor was responsive to UDAT's recommendation that lightwells match those of the adjacent building and that mechanical equipment be relocated so as not to impact the four-story building to the west.

**Under the Commission's pending DR Reform Legislation, this project would be referred to the Commission, as this project involves new construction on a vacant lot.**

## **BASIS FOR RECOMMENDATION**

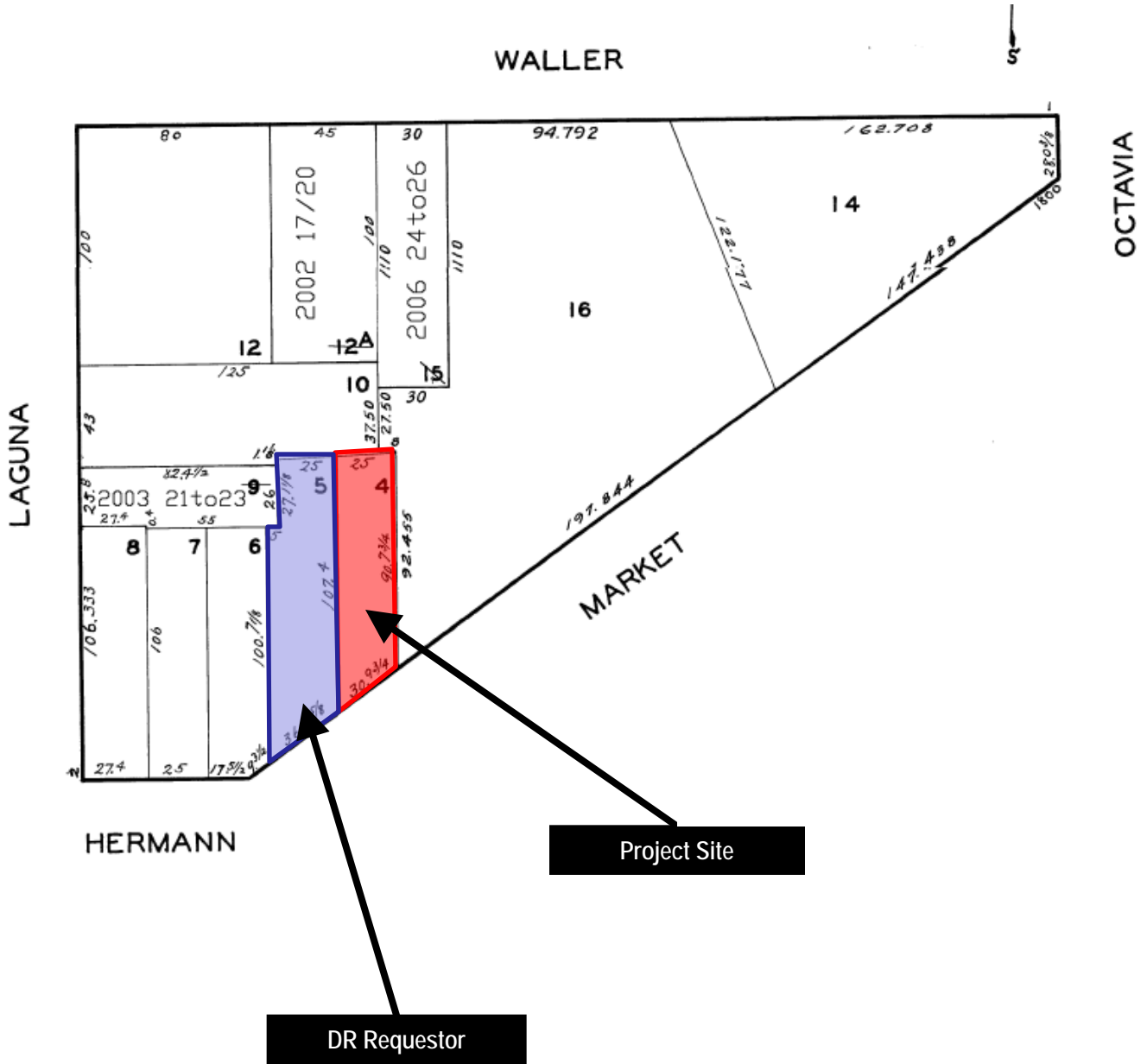
- The project is consistent with Market & Octavia Area Plan's goals and objectives in that it provides infill development that includes housing at a location well served by public transit.
- The project is consistent with Market & Octavia Area Plan Design Principles.
- The project contributes 10 new housing units to the City (including one new below market rate unit).
- The project manages to provide a range of dwelling unit types on a relatively small lot in a manner that is consistent with development on Market Street.

<b>RECOMMENDATION:</b> Do not take DR and approve the project as proposed.
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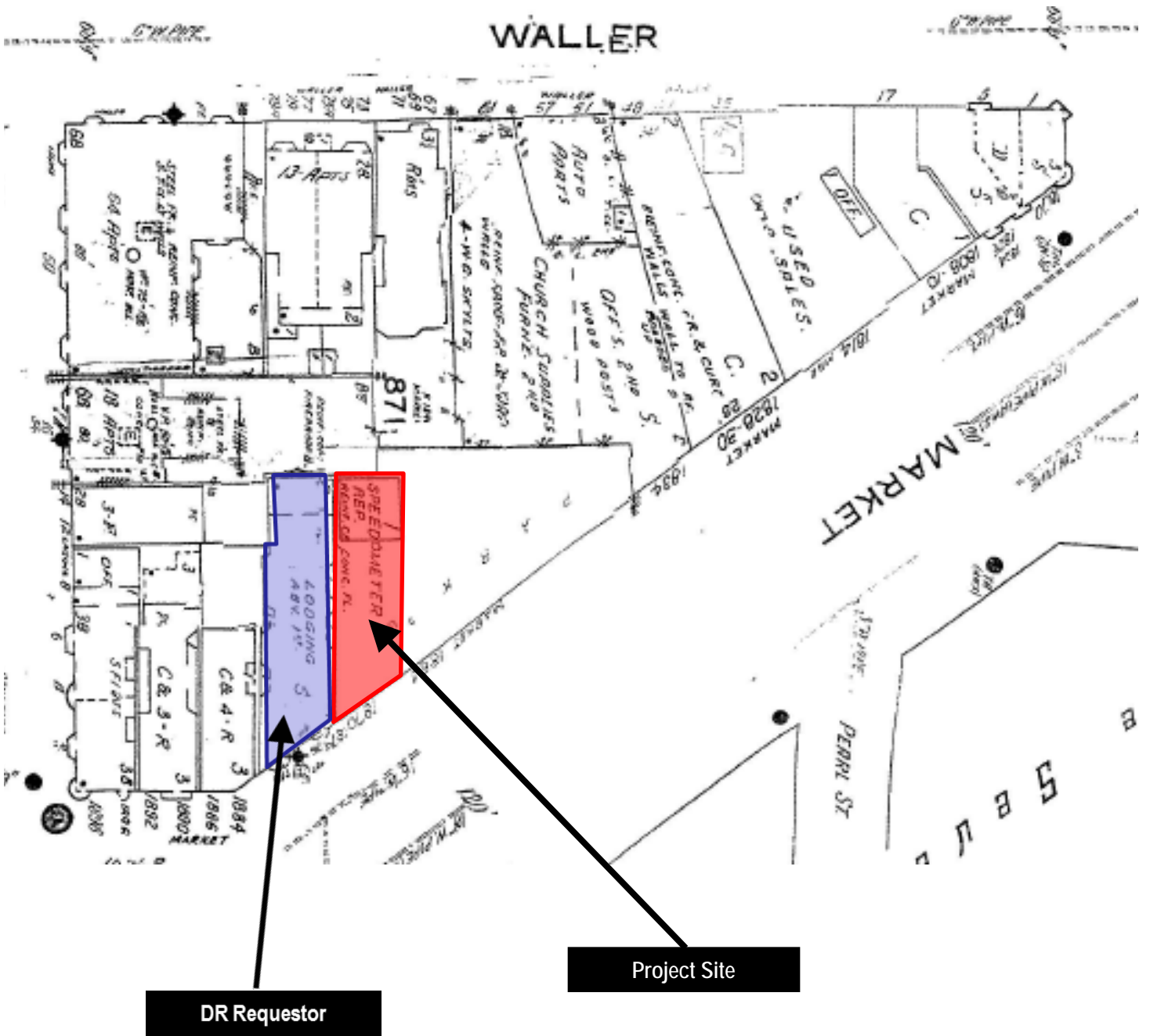
**Attachments:**

Block Book Map  
Sanborn Map  
Zoning Map  
Aerial Photographs  
Context Photos  
Section 312 Notice  
DR Application  
Response to DR Application dated September 8, 2017  
Reduced Plans

# Parcel Map



# Sanborn Map\*



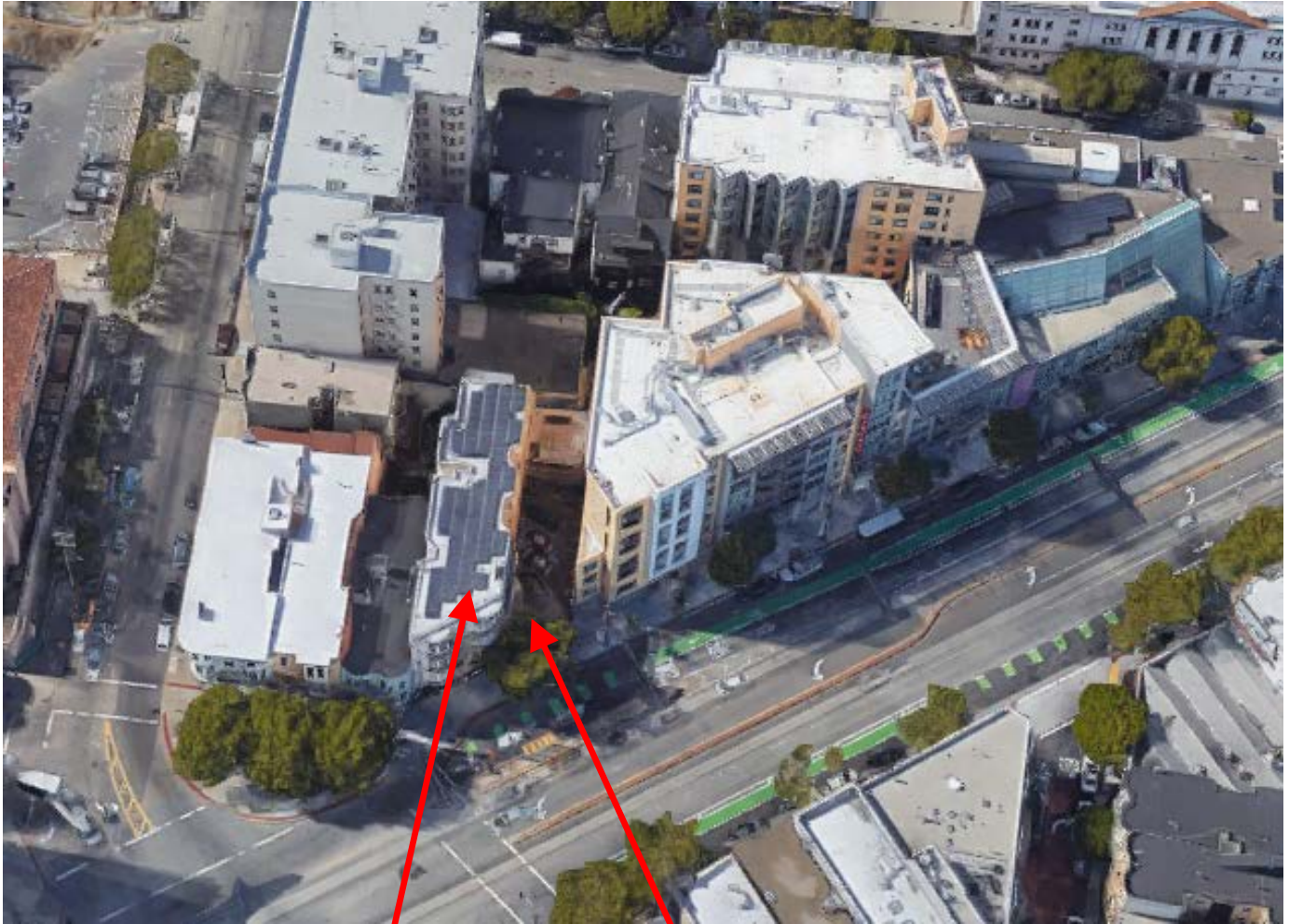
\*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Case No. 2014-1060DRP/VAR  
1870 Market Street  
Discretionary Review/ Variance



# Aerial Photo



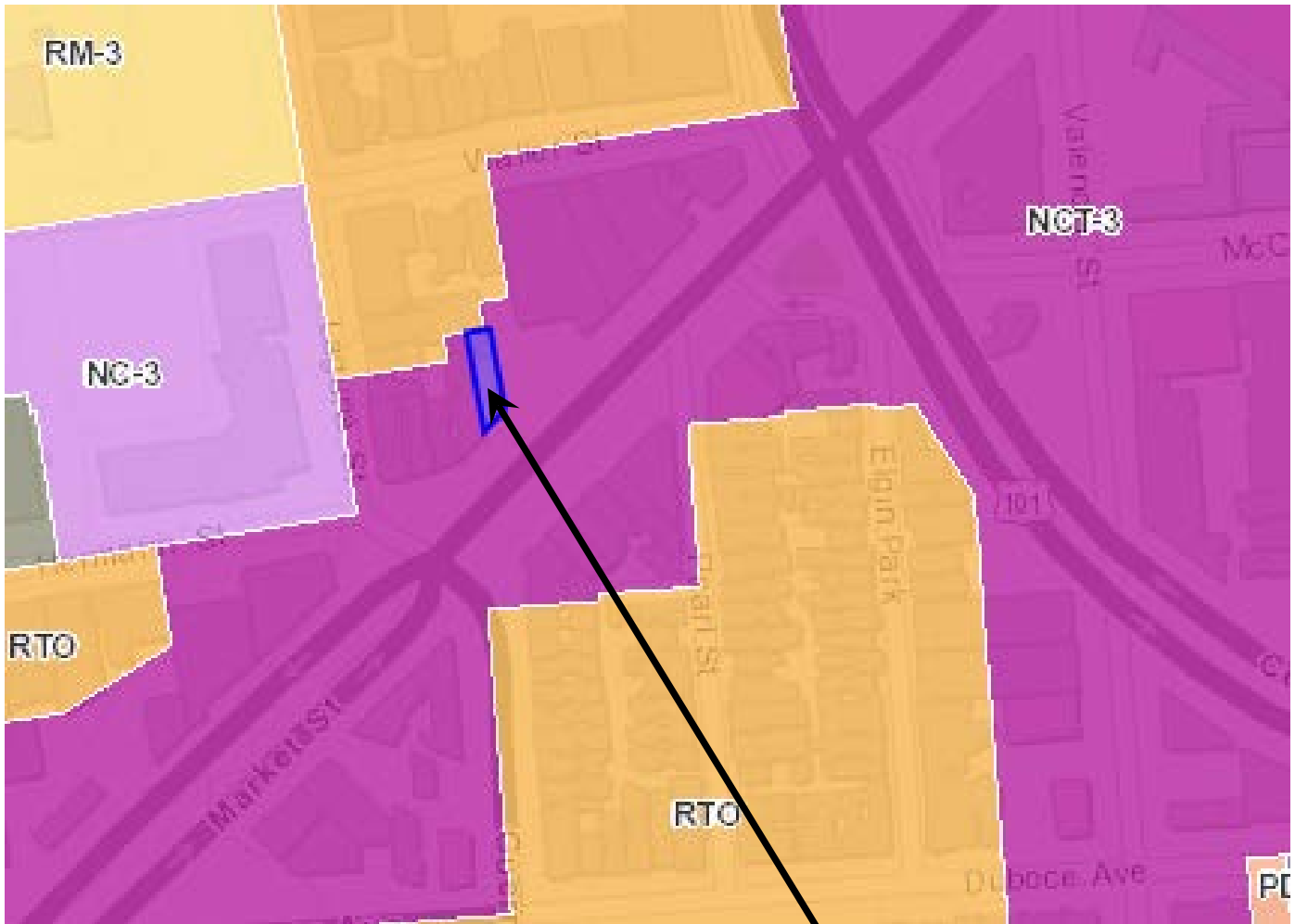
DR Requestor

Project Site



Case No. 2014-1060DRP/VAR  
1870 Market Street  
Discretionary Review/ Variance

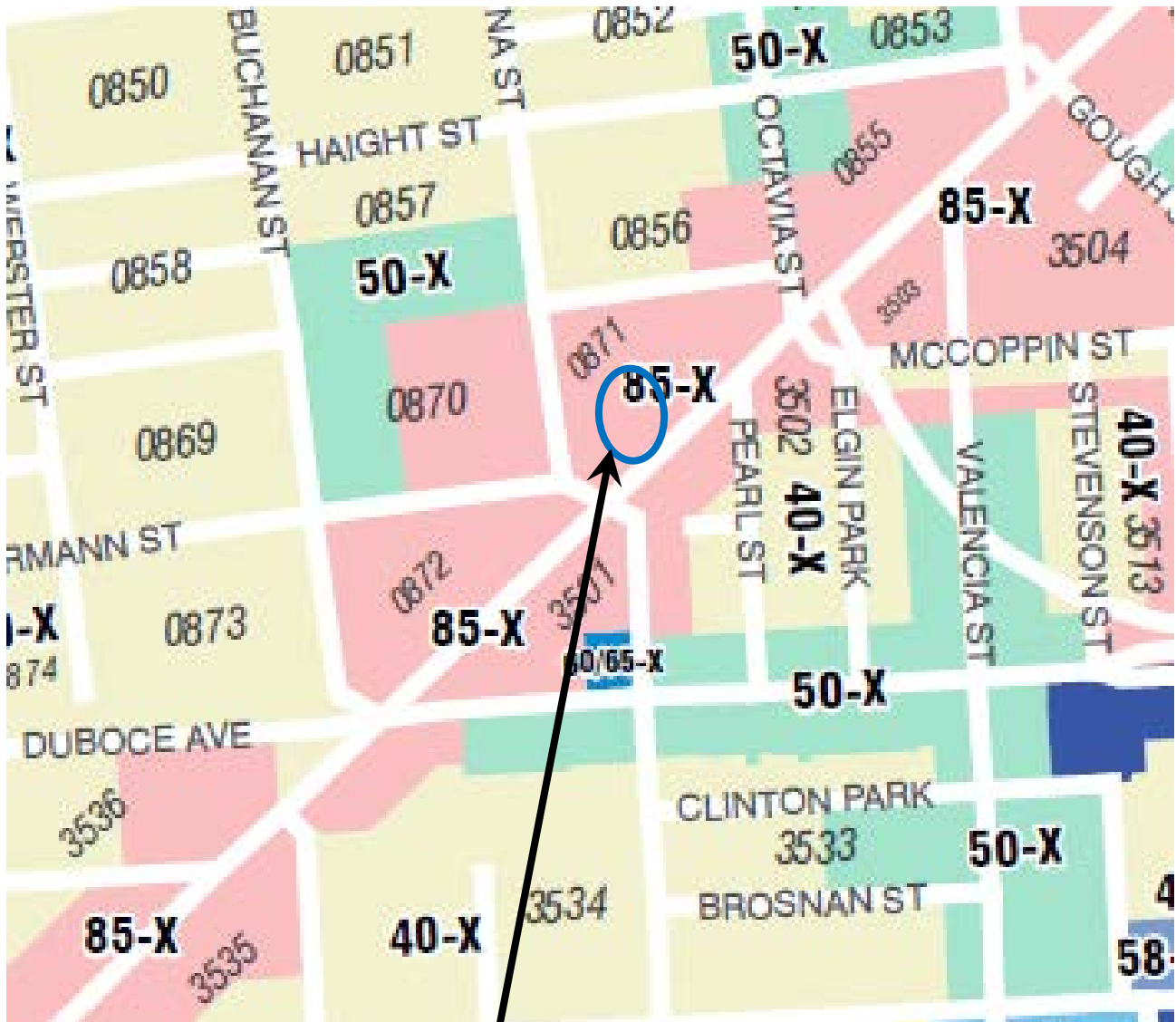
# Zoning District Map



Project Site



# Height and Bulk Map

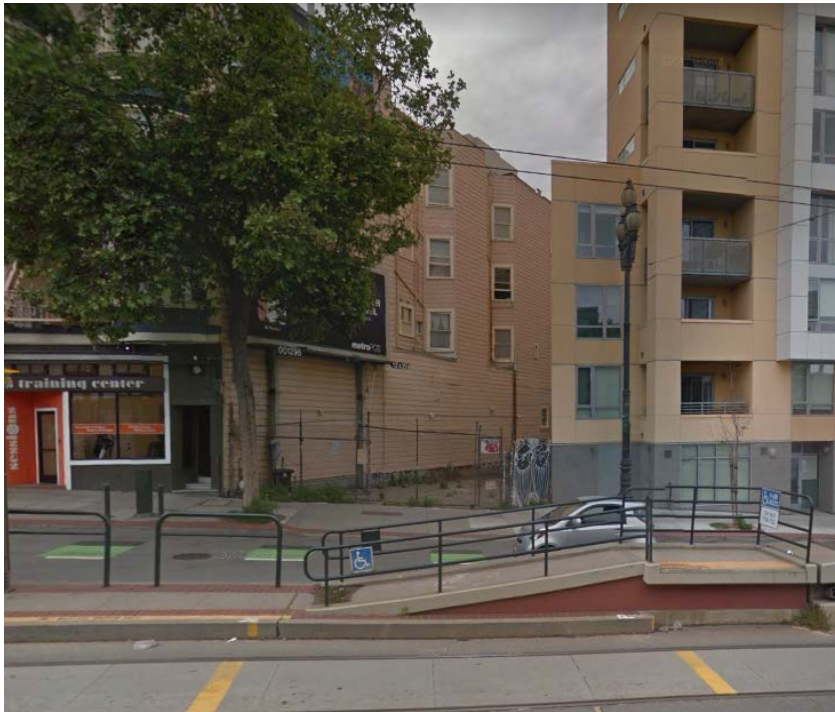


Project Site



Case No. 2014-1060DRP/VAR  
1870 Market Street  
Discretionary Review/ Variance

# Photos of Site



View looking north



Existing building





# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

## NOTICE OF BUILDING PERMIT APPLICATION (SECTION 312)

On **October 21, 2015**, the Applicant named below filed Building Permit Application No. **2015-0501-5151** with the City and County of San Francisco.

PROPERTY INFORMATION		APPLICANT INFORMATION	
Project Address:	<b>1870 Market Street</b>	Applicant:	<b>Victor Quan</b>
Cross Street(s):	<b>Laguna</b>	Address:	<b>P.O. Box 591841</b>
Block/Lot No.:	<b>0871/004</b>	City, State:	<b>San Francisco, CA 94159</b>
Zoning District(s):	<b>NCT-3 / 85-X</b>	Telephone:	<b>(415) 531-8311</b>

You are receiving this notice as a property owner or resident within 150 feet of the proposed project. You are not required to take any action. For more information about the proposed project, or to express concerns about the project, please contact the Applicant listed above or the Planner named below as soon as possible. If you believe that there are exceptional or extraordinary circumstances associated with the project, you may request the Planning Commission to use its discretionary powers to review this application at a public hearing. Applications requesting a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown below, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

PROJECT SCOPE		
<input checked="" type="checkbox"/> Demolition	<input checked="" type="checkbox"/> New Construction	<input type="checkbox"/> Alteration
<input type="checkbox"/> Change of Use	<input type="checkbox"/> Façade Alteration(s)	<input type="checkbox"/> Front Addition
<input type="checkbox"/> Rear Addition	<input type="checkbox"/> Side Addition	<input type="checkbox"/> Vertical Addition
PROJECT FEATURES	EXISTING	PROPOSED
Building Use	Garage	Residential
Front Setback	None	0
Side Setbacks	0	0
Building Depth	25'	78' 3.5" (average)
Rear Yard	None	15' 3"
Building Height	12'	85'
Number of Stories	1	98
Number of Dwelling Units	1	9
Number of Parking Spaces	6	0
PROJECT DESCRIPTION		
The proposal would demolish the existing single story private garage and construct an 85-foot tall, 8-story, approximately 13,000 square-foot building containing 9 dwelling units and 1,500 square feet of ground floor retail.		
The project requests a rear yard modification (Section 134(e)(1) and a Variance for exposure (Section 140). The Variance hearing has been scheduled for January 25, 2017 (Case No. 2014-1060VAR).		
The issuance of the building permit by the Department of Building Inspection or the Planning Commission project approval at a discretionary review hearing would constitute as the Approval Action for the project for the purposes of CEQA, pursuant to Section 31.04(h) of the San Francisco Administrative Code.		

**For more information, please contact Planning Department staff:**

Planner: Claudine Asbagh  
 Telephone: (415) 575-9165  
 E-mail: Claudine.asbagh@sfgov.org

**Notice Date: 12/23/2016**  
**Expiration Date: 01/22/2017**

# GENERAL INFORMATION ABOUT PROCEDURES

Reduced copies of the proposed project plans have been included in this mailing for your information. If you have questions about the plans, please contact the project Applicant listed on the front of this notice. You may wish to discuss the plans with your neighbors or neighborhood association, as they may already be aware of the project. If you have general questions about the Planning Department's review process, please contact the Planning Information Center at 1660 Mission Street, 1st Floor (415/ 558-6377) between 8:00am - 5:00pm Monday-Friday. If you have specific questions about the proposed project, you should contact the planner listed on the front of this notice.

If you believe that the impact on you from the proposed project is significant and you wish to seek to change the project, there are several procedures you may use. **We strongly urge that steps 1 and 2 be taken.**

1. Request a meeting with the project Applicant to get more information and to explain the project's impact on you.
2. Contact the nonprofit organization Community Boards at (415) 920-3820, or online at [www.communityboards.org](http://www.communityboards.org) for a facilitated discussion in a safe and collaborative environment. Community Boards acts as a neutral third party and has, on many occasions, helped reach mutually agreeable solutions.
3. Where you have attempted, through the use of the above steps or other means, to address potential problems without success, please contact the planner listed on the front of this notice to discuss your concerns.

If, after exhausting the procedures outlined above, you still believe that exceptional and extraordinary circumstances exist, you have the option to request that the Planning Commission exercise its discretionary powers to review the project. These powers are reserved for use in exceptional and extraordinary circumstances for projects which generally conflict with the City's General Plan and the Priority Policies of the Planning Code; therefore the Commission exercises its discretion with utmost restraint. This procedure is called Discretionary Review. If you believe the project warrants Discretionary Review by the Planning Commission, **you must file a Discretionary Review application prior to the Expiration Date shown on the front of this notice.** Discretionary Review applications are available at the Planning Information Center (PIC), 1660 Mission Street, 1st Floor, or online at [www.sfplanning.org](http://www.sfplanning.org). You must submit the application in person at the Planning Information Center (PIC) between 8:00am - 5:00pm Monday-Friday, with all required materials and a check payable to the Planning Department. To determine the fee for a Discretionary Review, please refer to the Planning Department Fee Schedule available at [www.sfplanning.org](http://www.sfplanning.org). If the project includes multiple building permits, i.e. demolition and new construction, a **separate request for Discretionary Review must be submitted, with all required materials and fee, for each permit that you feel will have an impact on you.**

**Incomplete applications will not be accepted.**

If no Discretionary Review Applications have been filed within the Notification Period, the Planning Department will approve the application and forward it to the Department of Building Inspection for its review.

## BOARD OF APPEALS

An appeal of the Planning Commission's decision on a Discretionary Review case may be made to the **Board of Appeals within 15 calendar days after the building permit is issued** (or denied) by the Department of Building Inspection. Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

## ENVIRONMENTAL REVIEW

This project has undergone preliminary review pursuant to California Environmental Quality Act (CEQA). If, as part of this process, the Department's Environmental Review Officer has deemed this project to be exempt from further environmental review, an exemption determination has been prepared and can be obtained through the Exemption Map, on-line, at [www.sfplanning.org](http://www.sfplanning.org). An appeal of the decision **to exempt the proposed project from CEQA may be made to the Board of Supervisors within 30 calendar days** after the project approval action identified on the determination. The procedures for filing an appeal of an exemption determination are available from the Clerk of the Board at City Hall, Room 244, or by calling (415) 554-5184.

Under CEQA, in a later court challenge, a litigant may be limited to raising only those issues previously raised at a hearing on the project or in written correspondence delivered to the Board of Supervisors, Planning Commission, Planning Department or other City board, commission or department at, or prior to, such hearing, or as part of the appeal hearing process on the CEQA decision.

CASE NUMBER:  
For Staff Use only

2014-1060

# APPLICATION FOR Discretionary Review

## 1. Owner/Applicant Information

DR APPLICANT'S NAME: Serina Calhoun / Syncopated Architecture		
DR APPLICANT'S ADDRESS: 657 Fillmore St.	ZIP CODE: 94117	TELEPHONE: (415 )558-9843

PROPERTY OWNER WHO IS DOING THE PROJECT ON WHICH YOU ARE REQUESTING DISCRETIONARY REVIEW NAME: Victor Quan / Bridgeway Vista LP		
ADDRESS: 2300 Bridgeway	ZIP CODE: 94965	TELEPHONE: (415 ) 531-8311

CONTACT FOR DR APPLICATION: Same as Above <input checked="" type="checkbox"/>		
ADDRESS:	ZIP CODE:	TELEPHONE: ( )
E-MAIL ADDRESS:		

## 2. Location and Classification

STREET ADDRESS OF PROJECT: 1870 Market St.	ZIP CODE: 94102
CROSS STREETS: Laguna St.	

ASSESSORS BLOCK/LOT: 0871 /004	LOT DIMENSIONS: 25' x 107.4'	LOT AREA (SQ FT): 2,474 SF	ZONING DISTRICT: NCT-3	HEIGHT/BULK DISTRICT: 85-X
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## 3. Project Description

Please check all that apply

Change of Use  Change of Hours  New Construction  Alterations  Demolition  Other Additions to Building: Rear  Front  Height  Side Yard 

Single-story private garage (present) / Zipcar parking lot (previous)

Present or Previous Use:

Proposed Use: 8-story residential (9 dwelling units) and ground floor commercial

Building Permit Application No. 2015-0501-5151

Date Filed: 5/1/2015

#### 4. Actions Prior to a Discretionary Review Request

Prior Action	YES	NO
Have you discussed this project with the permit applicant?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you discuss the project with the Planning Department permit review planner?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you participate in outside mediation on this case?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

#### 5. Changes Made to the Project as a Result of Mediation

If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes there were made to the proposed project.

On behalf of our clients, the owners of 1874 Market; the property directly to the West of the project site, we reached out to Planning staff and project sponsor several times during the process. Summarily, our client's concerns include:

- 1) The insufficient size of the proposed light wells relative to the scale of the proposed project.
- 2) The size of the proposed roof deck necessitating (2) stair penthouses - one of which abuts our property at our existing light well.
- 3) The overall mass of the project and its potential effect on our client's existing roof solar panel array, located 4-1/2 stories below the proposed project's roofline. This does not include the additional 11'-0" for the west stair #2 penthouse that abuts our property at the light well.

These concerns were brought to the attention of the project sponsor and the case planner. Subsequent revisions made to the design to alleviate such concerns included only the deepening of the proposed stair light well adjacent to the west stair #2. Based on the current drawings included with the 312 notice, the roof deck and west stair penthouse appear to remain as originally proposed. Further, we have received no response to our request for solar studies to gauge the proposed development's impact on our light wells and roof.



# Discretionary Review Request

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.

**See attachment.**

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2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how:

**See attachment.**

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3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

**See attachment.**

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CASE NUMBER:  
For Staff Use only

# Discretionary Review Application Submittal Checklist

Applications submitted to the Planning Department must be accompanied by this checklist and all required materials. The checklist is to be completed and **signed by the applicant or authorized agent.**

REQUIRED MATERIALS (please check correct column)	DR APPLICATION
Application, with all blanks completed	<input checked="" type="checkbox"/>
Address labels (original), if applicable	<input checked="" type="checkbox"/>
Address labels (copy of the above), if applicable	<input checked="" type="checkbox"/>
Photocopy of this completed application	<input checked="" type="checkbox"/>
Photographs that illustrate your concerns	<input type="checkbox"/>
Covenant or Deed Restrictions	<input type="checkbox"/>
Check payable to Planning Dept.	<input type="checkbox"/>
Letter of authorization for agent	<input checked="" type="checkbox"/>
Other: Section Plan, Detail drawings (i.e. windows, door entries, trim), Specifications (for cleaning, repair, etc.) and/or Product cut sheets for new elements (i.e. windows, doors)	<input type="checkbox"/>

NOTES:

Required Material.

Optional Material.

Two sets of original labels and one copy of addresses of adjacent property owners and owners of property across street.

For Department Use Only

Application received by Planning Department:

By: M. Corralle

Date: 1-23-17



**SAN FRANCISCO  
PLANNING  
DEPARTMENT**

**FOR MORE INFORMATION:  
Call or visit the San Francisco Planning Department**

**Central Reception**  
1650 Mission Street, Suite 400  
San Francisco CA 94103-2479

TEL: **415.558.6378**  
FAX: **415 558-6409**  
WEB: **<http://www.sfplanning.org>**

**Planning Information Center (PIC)**  
1660 Mission Street, First Floor  
San Francisco CA 94103-2479

TEL: **415.558.6377**

*Planning staff are available by phone and at the PIC counter.  
No appointment is necessary.*



Re: Discretionary Review Application – attachments to application  
PA #2015.0501-5151 – 1870 Market Street

### Discretionary Review Request

1. ***“What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City’s General Plan or the Planning Code’s Priority Policies or Residential Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.”***

The project at 1870 Market, as proposed, has a significant and negative impact on our client’s property located directly next door (to the West) at 1874 Market. The impacts are as follows:

- a. Loss of light/ventilation area to half of our client’s SRO units.
  - i. Our client has an SRO property with 30 rooms; 15 of which receive all their light and ventilation from the windows facing the proposed project.
- b. Loss of rental income due to sub-standard natural light into half of their rental rooms.
- c. Increased expenses due to reduced efficiency of solar panels on the roof.

Exceptional and extraordinary circumstances have risen from the fact that the project as proposed seems to have addressed these key issues with minimal regard. Additionally, elements of the design do not appear consistent with RDT reviews on similar projects. Finally, because our property was constructed in 1900 and is a class “A” historic resource, it will be difficult for our client to make changes to his own structure in response to the impacts caused by the proposed new construction next door.

We find that the proposed project conflicts with the City’s Residential Design Guidelines in the following ways:

- a. Building articulation to minimize impacts on light and privacy to adjacent properties (RDG, pg. 16):
  - i. The proposed project provides shared light wells, but the proposed size is very small relative to the scale of the building overall. At 85’ tall, the proposed building is twice the height of our client’s building, so the lowest level of the client’s light well will be 7 stories below the top of the proposed building. It will make those light wells VERY dark, reducing light in 15 of the 30 SRO units in the building.
  - ii. The proposed project does not provide any setbacks on the upper floors of the building to either mitigate the reduction of light into the light wells or address the potential impact on the full solar panel array installed on our client’s roof. Contrary to that, the project sponsor has actually applied for a variance to encroach into the required rear yard setback by approximately 10 feet, thereby increasing the developable area beyond what is allowed per the Planning Code. Similar RDT reviews have required additional setbacks when height increases between properties exceed 2 stories.
  - iii. The proposed structure takes full advantage of the 85’ maximum height limit and adds an additional 11’ directly adjacent to one of our light wells for the stair penthouse for a total of 96’ facing our light well. Also, the elevator and override, extend a full 17’ above the roof line. These features would not need to be extended to the roof level if open space was provided on lower levels. Similar RDT reviews have required roof deck penthouse structures to be minimized or removed altogether in favor of roof hatch access.

Re: Discretionary Review Application – attachments to application  
PA #2015.0501-5151 – 1870 Market Street

- b. Building scale to be compatible with the height and depth of surround buildings (RDG, pg. 23):
  - i. While the proposed building may be compatible in size and scale to its eastern adjacent neighbor, it offers little to bridge the extreme gap between that building and our client's building, which is much smaller in size and is listed as a Class A historic resource. No upper floor setbacks have been proposed to address this issue. Similar RDT reviews have required additional setbacks on properties where the neighboring site is 2 or more stories below the top of the proposed new building.
- c. Building height and depth to be compatible with the existing building scale at the mid-block open space (RDG, pg. 25):
  - i. The total building height and depth as proposed would encroach into and reduce the mid-block open space. While several other structures on this block may be of similar height and depth, there are also several structures at half the height on the block that will be impacted. Further, the reduction of mid-block open space is made worse by the proposal and subsequent variance application to encroach into the required rear yard setback.
- d. Sensitively locate and screen rooftop features so they do not dominate the appearance of a building (RDG, pg. 38):
  - i. The size of the proposed roof deck on the top necessitates extending both stairs all the way up to the roof. One of the stairs is directly abutting our client's light well, extending 10' above the roof level, for a total height 95'. Similar RDT reviews have required hatches, or at the very least, to minimize the height of the penthouse to a maximum of 7' above the roof line.

**2. *"The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how."***

In its current design, several inefficiencies in the layouts are apparent to us as fellow architects:

- a. The private terrace on the second floor only provides open space for 1 unit requiring a roof deck to comply with open space requirements. This is extremely inefficient. In fact, this one terrace size provides 841 sf of open space, which would satisfy the open space requirement for the entire building, if it was commonly accessed.
- b. The stairs, as designed, have wide core openings; leading to expanded width. This feature limits the size of the light wells facing our building. If re-worked, these stairs could provide an additional 12-24" of depth to the light well with minimal impact to their layouts.

The project as proposed would cause unreasonable impacts to our client's property in the following ways:

- a. Loss of light/ventilation area to half of our client's SRO units will result in a financial hardship.
  - i. Our client has an SRO property with 30 rooms; 15 of which receive all their light and ventilation from the windows facing the proposed project. The result of the proposed project will be a substantial loss of natural light; creating sub-standard conditions in half of our client's rental rooms.
- b. Increased expenses due to reduced efficiency of solar panels on the roof.



Re: Discretionary Review Application – attachments to application  
PA #2015.0501-5151 – 1870 Market Street

The project sponsor proposed only a slight increase in the depth of one of the light wells, whereas the rest of the building itself has been designed to maximize the building area as allowed by the Planning Code, and in areas such as the rear yard, exceed that which is allowed via a variance application. Additionally, they did not respond to our request for a solar study for the project.

Other properties that we believe will be adversely affected by the project as proposed are those located at 67-71 & 73-75 Waller Street as well as 10-14 Laguna Street. These buildings are similar in size with rear lots that face our client's rear lot. The proposed development is expected to have an impact on the mid-block open space that is shared by these properties as well.

**3. *"What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in Question #1."***

We respectfully request changes to the design to provide more light into our 15 units facing the new building.

Possible solutions are as follows:

- Additional side setbacks on upper stories.
- Relocation of Stair S2 away from our light well.
- Reduction in the height of all stair penthouses to the roof – 7'-0" maximum height.
- Reduced size of stair – remove the extra space at the core of the stair shaft to minimize the depth of the stair; this will increase the depth of the light well.
- Evaluate a central courtyard at lower levels rather than a private rear terrace serving only 1 unit.
- Provide open space at lower levels to remove the need for a top story roof deck altogether. An unoccupied roof would require only 1 stair to the roof for fire access and would eliminate the second stair and 17' of additional height for the elevator override.

We sincerely hope you will consider our concerns fully, and look forward to working with you to achieve a solution that works for all parties involved.

Sincerely,

A handwritten signature in black ink, appearing to read "Serina Calhoun", with a long horizontal flourish extending to the right.

Serina Calhoun  
Principal Architect  
syncopatedarchitecture  
415.558.9843  
[serina@sync-arch.com](mailto:serina@sync-arch.com)

0001-004  
VICTOR QUAN  
PO BOX 591841  
SAN FRANCISCO, CA 94159

0871-004  
VISTA BRIDGEWAY  
2300 BRIDGEWAY  
SAUSALITO, CA 94965-1767

0871-004  
OCCUPANT  
1870 MARKET ST  
SAN FRANCISCO, CA 94102-6227

0871-005  
1874 MARKET ST LLC  
1517 NORTH POINT ST #529  
SAN FRANCISCO, CA 94123-1711

0871-005  
OCCUPANT  
1874 MARKET ST  
SAN FRANCISCO, CA 94102-6227

0871-005  
OCCUPANT  
1876 MARKET ST #100  
SAN FRANCISCO, CA 94102-6227

0871-005  
OCCUPANT  
1876 MARKET ST #101  
SAN FRANCISCO, CA 94102-6227

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1876 MARKET ST #101A  
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SAN FRANCISCO, CA 94102-6227

0871-010  
16-50 LAGUNE I2 LLC  
268 BUSH ST #1688  
SAN FRANCISCO, CA 94104-3503

0871-010  
OCCUPANT  
16 LAGUNA ST #100  
SAN FRANCISCO, CA 94102-6256

0871-010  
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16 LAGUNA ST #101  
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16 LAGUNA ST #603  
SAN FRANCISCO, CA 94102-6256

0871-016  
1844 MARKET ST LLC  
201 SPEAR ST #14<sup>TH</sup>  
SAN FRANCISCO, CA 94105-1630

0871-016  
OCCUPANT  
1844 MARKET ST #102  
SAN FRANCISCO, CA 94102-6283

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SAN FRANCISCO, CA 94102-6283

0871-016  
OCCUPANT  
1844 MARKET ST #809  
SAN FRANCISCO, CA 94102-6283

0871-018  
M & K GODES  
61 ELSIE ST  
SAN FRANCISCO, CA 94110-5106

0871-020  
LEONARD HOURVITZ  
77 WALLER ST  
SAN FRANCISCO, CA 94102-6229

0871-022  
OCCUPANT  
12 LAGUNA ST  
SAN FRANCISCO, CA 94102-6260

0871-025  
CHRIS BOERNER TRS  
69 WALLER ST  
SAN FRANCISCO, CA 94102-6229

3502-040  
OCCUPANT  
1871 MARKET ST  
SAN FRANCISCO, CA 94103-1112

3502-040  
OCCUPANT  
1873 MARKET ST #3  
SAN FRANCISCO, CA 94103-1112

3502-041  
OCCUPANT  
1859 MARKET ST  
SAN FRANCISCO, CA 94103-1112

0871-016  
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SAN FRANCISCO, CA 94102-6283

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OCCUPANT  
1844 MARKET ST #807  
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OCCUPANT  
1844 MARKET ST #810  
SAN FRANCISCO, CA 94102-6283

0871-018  
OCCUPANT  
73A WALLER ST  
SAN FRANCISCO, CA 94102-6229

0871-021  
HYOJOO KANG  
10 LAGUNA ST  
SAN FRANCISCO, CA 94102-6260

0871-023  
R & R WELLINGTON  
14 LAGUNA ST  
SAN FRANCISCO, CA 94102-6260

0871-026  
CARLENE LAUGHLIN  
71 WALLER ST  
SAN FRANCISCO, CA 94102-6229

3502-040  
OCCUPANT  
1873 MARKET ST #1  
SAN FRANCISCO, CA 94103-1112

3502-040  
OCCUPANT  
1873 MARKET ST #4  
SAN FRANCISCO, CA 94103-1112

3502-042  
1853 MARKET ST LLC  
1857 MARKET ST  
SAN FRANCISCO, CA 94103-1112

0871-016  
OCCUPANT  
1844 MARKET ST #805  
SAN FRANCISCO, CA 94102-6283

0871-016  
OCCUPANT  
1844 MARKET ST #808  
SAN FRANCISCO, CA 94102-6283

0871-017  
KAH MENG CHEW  
73 WALLER ST  
SAN FRANCISCO, CA 94102-6229

0871-019  
MALIK SUMAIYA  
75 WALLER ST  
SAN FRANCISCO, CA 94102-6229

0871-022  
STEPHENS TRS  
950 BURNETT AVE  
SAN FRANCISCO, CA 94131-1511

0871-024  
LUIS NUNEZ  
67 WALLER ST  
SAN FRANCISCO, CA 94102-6229

3502-040  
ZANELLO TRS  
1869 MARKET ST  
SAN FRANCISCO, CA 94103-1112

3502-040  
OCCUPANT  
1873 MARKET ST #2  
SAN FRANCISCO, CA 94103-1112

3502-041  
KIM TRS  
1439 33<sup>RD</sup> AVE  
SAN FRANCISCO, CA 94122-3142

3502-042  
OCCUPANT  
1853 MARKET ST  
SAN FRANCISCO, CA 94103-1112

3502-042  
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1855 MARKET ST  
SAN FRANCISCO, CA 94103-1112

3502-043  
OCCUPANT  
1847 MARKET ST  
SAN FRANCISCO, CA 94103-1112

3502-044  
1841 MARKET ST LLC  
225 COLLEGE AVE  
SAN FRANCISCO, CA 94112-1109

3502-114  
OCCUPANT  
1825 MARKET ST  
SAN FRANCISCO, CA 94103-7414

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SAN FRANCISCO, CA 94103-7414

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OCCUPANT  
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SAN FRANCISCO, CA 94103-7414

3502-116  
ANDREW MATUSCHAK  
2 PEARL ST #3  
SAN FRANCISCO, CA 94103-1109

3502-043  
BORICK EZQUERRO TRS  
431 STEINER ST  
SAN FRANCISCO, CA 94117-2520

3502-043  
OCCUPANT  
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SAN FRANCISCO, CA 94103-7414

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OCCUPANT  
1831 MARKET ST  
SAN FRANCISCO, CA 94103-7414

3502-117  
JASON BEYERS  
2 PEARL ST #4  
SAN FRANCISCO, CA 94103-1109

3502-043  
OCCUPANT  
1845 MARKET ST  
SAN FRANCISCO, CA 94103-1112

3502-043  
OCCUPANT  
1851 MARKET ST  
SAN FRANCISCO, CA 94103-1112

3502-114  
J CLEANER LLC  
1001 CHURCH ST  
SAN FRANCISCO, CA 94114-3414

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1829 MARKET ST #1  
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SAN FRANCISCO, CA 94103-7414

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OCCUPANT  
1829 MARKET ST #209  
SAN FRANCISCO, CA 94103-7414

3502-115  
ORAZIO CUTINO TRS  
2 PEARL ST #2  
SAN FRANCISCO, CA 94103-1109

**RESPONSE TO**  
**DISCRETIONARY**  
**REVIEW (DRP)**



**SAN FRANCISCO PLANNING DEPARTMENT**  
1650 MISSION STREET, SUITE 400  
SAN FRANCISCO, CA 94103-2479  
MAIN: (415) 558-6378 SFPLANNING.ORG

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**Project Information**

---

Property Address: \_\_\_\_\_ Zip Code: \_\_\_\_\_

Building Permit Application(s): \_\_\_\_\_

Record Number: \_\_\_\_\_ Assigned Planner: \_\_\_\_\_

---

**Project Sponsor**

---

Name: \_\_\_\_\_ Phone: \_\_\_\_\_

Email: \_\_\_\_\_

---

**Required Questions**

---

1. Given the concerns of the DR requester and other concerned parties, why do you feel your proposed project should be approved? (If you are not aware of the issues of concern to the DR requester, please meet the DR requester in addition to reviewing the attached DR application.)  
\_\_\_\_\_  
\_\_\_\_\_
2. What alternatives or changes to the proposed project are you willing to make in order to address the concerns of the DR requester and other concerned parties? If you have already changed the project to meet neighborhood concerns, please explain those changes and indicate whether they were made before or after filing your application with the City.  
\_\_\_\_\_  
\_\_\_\_\_
3. If you are not willing to change the proposed project or pursue other alternatives, please state why you feel that your project would not have any adverse effect on the surrounding properties. Include an explanation of your needs for space or other personal requirements that prevent you from making the changes requested by the DR requester.  
\_\_\_\_\_  
\_\_\_\_\_

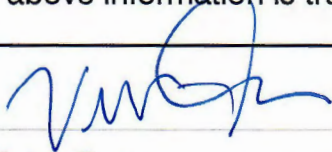
## Project Features

Please provide the following information about the project for both the existing and proposed features. **Please attach an additional sheet with project features that are not included in this table.**

	EXISTING	PROPOSED
Dwelling Units (only one kitchen per unit - additional kitchens count as additional units)	0	10
Occupied Stories (all levels with habitable rooms)	1	8
Basement Levels (may include garage or windowless storage rooms)	0	0
Parking Spaces (Off-Street)	5	0
Bedrooms	0	15
Height	15	85
Building Depth		
Rental Value (monthly)		
Property Value		

I attest that the above information is true to the best of my knowledge.

Signature:



Victor Quan

Printed Name:

Date:

9/8/2017

- Property Owner  
 Authorized Agent

*If you have any additional information that is not covered by this application, please feel free to attach additional sheets to this form.*

## DR Response attachment

1870 Market St  
Case No. 2014.1060

1) The proposed project is an appropriate in-fill development that will add ten new dwelling units to the City's housing stock and approximately 400 square feet of commercial space in an area that encourages the development of moderate-scale buildings with a pattern of ground floor commercial with upper story residential units. The Project will also include one unit of on-site, permanently affordable housing. No car parking is included as the Project is located in a transit rich location.

The DR requester cites the Residential Design Guidelines (RDG) as the basis for their concerns. However, the RDG do not apply in this zoning district (NCT-3). Quoting from the RDG:

### "HOW ARE THE GUIDELINES USED?

#### Applicability

The Residential Design Guidelines apply to all residential projects in RH (Residential House) and RM (Residential Mixed) zoning districts. **They do not apply to NC (Neighborhood Commercial) Districts** or to commercial or institutional buildings within residential districts."

2) We have made the following changes in response to concerns raised by DR requester and as good neighbor gestures:

- Lightwells have been enlarged at neighbor's request. This change was made early on in the process from the time neighbor's feedback.
- The mechanical room and the elevator machine room at the roof level have been relocated away from the DR requester's building. This change reduces the shadow impact on their solar panels and was made as a response to their concerns.
- The profile of stair penthouse closest to the DR requester has been reduced to minimize the shadow impact. This change was made after filing of DR.
- The shape at the rear of the proposed building has been reversed so that the longer projecting portion of the building is on the opposite side of DR requester. This change allows more light and air at the rear of the DR requester's building at the lower level and less shading to the solar panels on their roof. This change was made after meeting with one of DR requester's tenants.



3) The project site is a small approximately 2,474 sq ft irregularly shaped lot at 25 ft wide and average of 100 ft deep. We have to accommodate two staircases and an elevator within the proposed building envelope so that does not leave much flexibility for moving things around inside or for changing the shape or size of the matching lightwells. From our observation during a visit to DR requester's building, the combined size of their lightwells and our matching lightwells is similar to the size of the lightwell the DR requester has on the other side of the building with the adjoining neighbor. The location of the two staircases in our project is limited by the separation between staircases required by the building code and the location of their lightwells. Therefore, we cannot change the location of the stair penthouses.

Some of the suggestions that DR requester has proposed as design compromises are just not workable for various reasons. Their suggestions include: reducing our project to six stories instead of eight stories, and changing the footprint of the building to a C-shaped building with a courtyard opening in the middle of the lot (this building envelope would not be code compliant).

**BUILDING NOTES**

**CONTRACTORS RESPONSIBILITIES:**  
 -CONTRACTOR TO PROVIDE ALL WORK AND MATERIALS IN ACCORDANCE WITH THE 2013 CALIFORNIA BUILDING CODE, WITH 2013 SAN FRANCISCO AMENDMENTS; 2013 CALIFORNIA MECHANICAL, ELECTRICAL AND PLUMBING CODES; 2013 SAN FRANCISCO FIRE CODE & NFPA-13; TITLE 24 ENERGY CODE 2013 EDITION; SAN FRANCISCO HOUSING CODE 2013 EDITION; AND CALIFORNIA ADMINISTRATIVE CODE, TITLE 24, DISABLED ACCESS COMPLIANCE REGULATIONS.

-CONTRACTOR SHALL MAKE SITE INSPECTIONS AND BE RESPONSIBLE FOR ALL NEW AND DEMOLITION WORK, WHETHER DETAILED BY THE SPECIFICATIONS AND DRAWINGS, OR IMPLIED BY EXISTING CONDITIONS.

-ANY DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS, AS CONFLICTS WITH ACTUAL SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.

-CONTRACTOR SHALL PROVIDE ALL TEMPORARY SHORING AS NECESSARY.

-CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND PROVIDE ALL NECESSARY TEMPORARY UTILITY HOOK-UPS FOR ALL EQUIPMENT DURING CONSTRUCTION.

-CONTRACTOR SHALL BE RESPONSIBLE FOR DISCONNECTION / CAPPING OFF OF ALL EXISTING UTILITIES AND RE-CONNECTION WHERE RE-USE IS POSSIBLE.

-SLOPE ALL FLOORS / ROOFS TO DRAIN A MINIMUM OF 1/4" PER 1'-0", UNLESS SPECIFICALLY NOTED OTHERWISE.

-MECHANICAL AND ELECTRICAL WORK SHOWN ON DRAWINGS IS SCHEMATIC IN NATURE: CONTRACTOR TO CONFIRM FINAL LAYOUT WITH ARCHITECT, PRIOR TO PROCEEDING WITH THE WORK.

-CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE UTILITY HOOK-UPS FOR ALL HEATERS, APPLIANCES, SPRINKLERS AND ALL OTHER EQUIPMENT WHETHER OR NOT SPECIFICALLY MENTIONED ON THE DRAWINGS.

**DRAWINGS:**  
 -DO NOT SCALE DRAWINGS! ALL WRITTEN DIMENSIONS SUPERSEDE SCALED DIMENSIONS.

-ALL DIMENSIONS ARE TO "FACE OF STUD" UNLESS SPECIFICALLY NOTED OTHERWISE. EXISTING DIMENSIONS DENOTED BY "(E)" ARE TO "FACE OF EXISTING FINISH" UNLESS SPECIFICALLY NOTED OTHERWISE. ALL EXISTING DIMENSIONS SHALL BE FIELD VERIFIED PRIOR TO PROCEEDING WITH THE WORK.

-LARGE SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS. WRITTEN SPECIFICATIONS TAKE PRECEDENCE OVER ALL DRAWINGS.

**GENERAL:**  
 -GUARDRAILS TO COMPLY WITH THE CODE; OPEN GUARDRAILS SHALL HAVE OPENINGS SUCH THAT A 4" SPHERE CANNOT PASS THRU.  
 -PROVIDE IDENTIFICATION FOR ALL PUBLIC STAIRWAYS PER UBC SECTION 1006.16.  
 -COMPLY WITH UNIT SECURITY REQUIREMENTS PER SFBC SECTION 1005A.

**ASSEMBLIES**  
 (SEE COVER SHEET LEGEND FOR RATED WALL DESIGNATIONS AND OTHER WALL TYPES):

-PROVIDE MINIMUM 1-HOUR WALL AND FLOOR / CEILING ASSEMBLY BETWEEN ALL RESIDENTIAL UNITS. SEE PLANS AND BUILDING SECTIONS FOR DESIGNATIONS; AND STANDARD DETAILS FOR COMPLETE ASSEMBLY DESCRIPTIONS.

-PROVIDE MINIMUM 50 STC AND IIC REQUIREMENTS AT ALL UNITS AT FLOORS, CEILINGS, AND WALLS. SEE PLANS AND BUILDING SECTIONS FOR DESIGNATIONS; AND STANDARD DETAILS FOR ASSEMBLY DESCRIPTIONS.

-INSULATE ALL ASSEMBLIES BETWEEN HEATED AND UNHEATED AREAS: R-30 AT ROOFS, R-13 AT WALLS, R-19 AT FLOORS; MINIMUM, UNLESS SPECIFICALLY NOTED OTHERWISE. SEE TITLE 24, ENERGY COMPLIANCE STATEMENT MANDATORY MEASURES CHECKLIST FOR SPECIFIC REQUIREMENTS.

-PROVIDE VENTILATION OF ALL JOIST, STUD AND RAFTER SPACES ENCLOSED BY BUILDING ASSEMBLIES BETWEEN HEATED AND UNHEATED AREAS INCLUDING ATTICS, BASEMENTS, ROOFS, SOFFITS, PARAPET AND RAILING WALLS, ETC.

-PROVIDE MOISTURE RESISTANT GYPSUM WALL BOARD (MR GWB) ON ALL BATHROOM WALLS. DO NOT USE A CONTINUOUS VAPOR BARRIER BEHIND MR GWB. PROVIDE 30 POUND ROOFING FELT BEHIND FINISH SURFACE OF ALL TUB / SHOWER SURROUNDS, LAPPING ALL SEAMS. DO NOT USE MR GWB ON BATHROOM CEILING; USE 5/8" TYPE "X" GWB.

-SHAFT ENCLOSURES SHALL COMPLY WITH SFBC SECT. 711 & 713. PROVIDE SMOKE DAMPERS WHERE REQUIRED.

**DOORS AND WINDOWS:**  
 -MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 8-1/2 POUNDS FOR EXTERIOR DOORS AND 5 POUNDS FOR INTERIOR DOORS.

-IF A DOOR HAS A CLOSER, DOOR SHALL BE ADJUSTED SUCH THAT FROM AN OPEN POSITION OF 70 DEGREES THE DOOR WILL TAKE 3 SECONDS TO MOVE TO A POINT 3" FROM THE LATCH.

-HAND ACTIVATED DOOR LATCHING, LOCKING AND OPENING HARDWARE SHALL BE CENTERED BETWEEN 30" AND 44" ABOVE FLOOR.

-THE BOTTOM 10" OF DOOR SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE TO ALLOW THE DOOR TO BE OPENED BY A WHEEL CHAIR WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION.

-CONFIRM ALL DOOR AND WINDOW SIZES WITH ACTUAL / EXISTING ROUGH OPENING DIMENSIONS PRIOR TO ORDERING DOORS AND WINDOWS.

-ALL REQUIRED SLEEPING AREA ESCAPE / RESCUE WINDOWS BELOW 4TH FLOOR ARE DESIGNATED "RESCUE" ON FLOOR PLANS ADJACENT TO WINDOW. RESCUE WINDOWS TO COMPLY W/ CBC SECTION 310.4 AND SHALL HAVE A MIN. NET CLR. AREA OF 5.7 SQ. FT. MIN. CLR. HT. DIM: 24", MIN. CLR. WIDTH DIM: 20", MAX SILL HT. DIM: 44" AFF.

-REFER TO EXTERIOR ELEVATIONS FOR INDICATIONS OF WINDOW OPERATION AND HANDING.

-ALL DOORS AND WINDOWS BETWEEN HEATED AND UNHEATED AREAS SHALL BE PROVIDED WITH WEATHER-STRIPPING AND THRESHOLDS FOR DOORS.

-ALL PROPERTY LINE WINDOWS (INDICATED ON DRAWINGS BY "PL") SHALL BE STEEL SASH WITH FIXED WIRE GLASS, WITH SPRINKLER HEAD PROTECTION PER S.F. BUILDING CODE SECTION 503.5.

-ALL GLAZING SHALL COMPLY WITH CODE SECTION 2406; SAFETY GLASS, AND SHALL BE LOW-E WITH A U FACTOR OF .31.

-ALL INTERIOR DOORS SHALL BE SOLID CORE UNLESS SPECIFICALLY MENTIONED OTHERWISE, OR ARE REQUIRED TO BE OF OTHER MATERIALS BECAUSE OF FIRE RATING OR ANY OTHER REQUIREMENTS.

-ALL EXTERIOR DOORS OR DOORS IN NON-HEATED AREAS SHALL BE METAL DOORS WITH METAL FRAME, UNLESS SPECIFICALLY MENTIONED OTHERWISE.

**MECHANICAL, ELECTRICAL AND PLUMBING (MEP):**  
 -PARKING GARAGE(S), CORRIDORS AND STAIRS SHALL BE VENTILATED AS REQUIRED PER CODE.  
 -PROVIDE EMERGENCY / EXIT LIGHTING AT ALL EXIT PATHS OF TRAVEL AS REQUIRED PER CODE.

-ALL COMMON AREA LIGHT FIXTURES, ETC. SHALL BE FLUORESCENT UNLESS SPECIFICALLY NOTED OTHERWISE.

-PARKING GARAGE(S), COMMON HALLWAYS AND ALL OTHER COMMON AREAS, NOT WELL SERVED BY DAY LIGHTING WINDOWS, SHALL BE PROVIDED WITH ELECTRIC LIGHTING 24 HOURS PER DAY, UNLESS SPECIFICALLY NOTED OTHERWISE. ALL OTHER EXTERIOR OR EXPOSED COMMON AREAS TO DAY LIGHTING SHALL BE PROVIDED WITH SWITCHING VIA CENTRAL PHOTO-ELECTRIC SENSOR WITH TIMER CLOCK SWITCH OVERRIDE, UNLESS OTHERWISE SPECIFIED.

-STAGGER ALL ELECTRICAL AND MECHANICAL ITEMS IN ALL DEMISING WALLS AND FLOORS BETWEEN UNITS TO MAINTAIN ASSEMBLY'S ACOUSTICAL RATINGS. SEE SPECIFICATIONS AND DETAILS FOR SPECIFIC REQUIREMENTS.

-ALL ELECTRICAL RECEPTACLES IN DAMP LOCATIONS TO BE GROUND FAUL INTERRUPTER (GFI) AS REQUIRED PER CODE.

-PROVIDE UNIT SMOKE DETECTORS PER SFBC SEC. 310.9.

-PROVIDE LIGHTED EXIT SIGNAGE WITH EMERGENCY BACK-UP PER SECTION 1003.2.8

-ALL KITCHEN LIGHTING: HALF THE INSTALLED WATTAGE OF LUMINAIRES SHALL BE FLUORESCENT.

-ALL BATHROOM, LAUNDRY ROOM, AND UTILITY ROOM LIGHTING SHALL BE EITHER FLUORESCENT OR CONTROLLED BY AN OCCUPANCY SENSOR.

-ALL OTHER ROOM LIGHTING SHALL BE EITHER FLUORESCENT OR CONTROLLED BY AN OCCUPANCY SENSOR OR DIMMER SWITCH.

-ALL EXTERIOR LIGHTING SHALL BE EITHER FLUORESCENT OR CONTROLLED BY A PHOTO-TIMER OR MOTION SENSOR.

-DOMESTIC DRYER MOISTURE EXHAUST DUCT LENGTH SHALL BE LIMITED TO 14 FEET PER CODE (SFMC 504.3.2.2) UNLESS PERMITTED OTHERWISE BY LISTED DRYER MANUFACTURER. PLEASE REFER TO SHEET A0.2 FOR WHIRLPOOL DRYER VENT SPECIFICATIONS (WHICH EXCEEDS 14 FEET) FOR THIS PROJECT.

-ALL DRYER AND BATHROOM VENTS SHALL BE ROUTED HORIZONTALLY WITH OUTLETS AT LIGHTWELL.

-ENVIRONMENTAL EXHAUSTS TERMINATE TYPICALLY MINIMUM OF 3'-0" FROM OPENINGS OR PROPERTY LINE.

**WATERPROOFING:**  
 -ALL SHEET METAL WORK TO BE IN ACCORDANCE WITH CURRENT EDITION OF S.M.A.C.N.A. STANDARDS.

-PROVIDE MIN 24 ga. FULLY HOT SOLDERED GALVANIZED SHEET METAL FLASHING AT ALL WINDOW AND DOOR HEADS; INSTALL UNDER EXTERIOR SIDING OR CEMENT PLASTER AND BUILDING PAPER, AND OVER HEAD FRAME OF ALL NEW DOORS AND WINDOWS. FLASHING TO BE ETCHED PRIMED AND PAINTED TO MATCH ADJACENT FINISH SURFACE. PROVIDE ADDITIONAL FLASHING MEMBRANE PER STANDARD WINDOW FLASHING DETAIL AROUND ALL WINDOW AND DOOR OPENINGS.

-PROVIDE GALVANIZED SHEET METAL FLASHING AT ALL ROOF CONDITIONS INCLUDING BUT NOT LIMITED TO PERIMETER EDGES, VALLEYS, PARAPET CAPS, WALL / ROOF INTERSECTIONS, ROOF PENETRATIONS, ETC. ETCH, PRIME AND PAINT FINISH

-ALL NEW EXTERIOR FINISHES TO BE INSTALLED OVER A MINIMUM MOISTURE BARRIER OF TWO LAYERS OF 15 POUND (GRADE D) BUILDING PAPER.

-ALL ROOFING SHALL BE CLASS "A" FIRE RATED.

-ALL DOOR / WINDOW SADDLES TO BE STAINLESS STEEL.

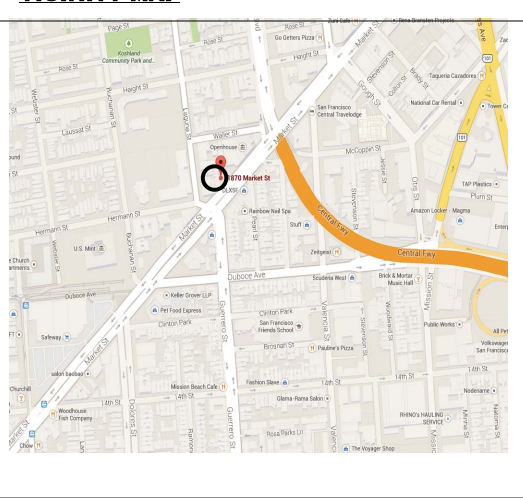
**FIRE EXTINGUISHING / FIRE ALARM SYSTEM (FIRE SPRINKLERS):**  
 -CONTRACTOR SHALL PROVIDE COMPLETE AUTOMATIC FIRE SPRINKLER SYSTEM TO COMPLY WITH ALL APPLICABLE BUILDING AND FIRE CODES. THE SYSTEM SHALL INCLUDE, BUT NOT BE LIMITED TO: ALL SPRINKLER HEADS, PIPING, CONNECTIONS, FIRE DEPARTMENT PANELS, ALARMS, PULL STATIONS, VISUAL WARNING DEVICES, AUTOMATIC SYSTEM MONITORING CONNECTION (AS REQUIRED) AND ALL ELSE AS REQUIRED.

-THIS WORK SHALL BE UNDER A SEPARATE PERMIT. THE SYSTEM SHALL BE DESIGN-BUILD; REQUIRING A COMPLETE SET OF CALCULATIONS AND DRAWINGS, AS NECESSARY FOR BUILDING AND FIRE DEPARTMENT REVIEW / APPROVAL.

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TS.03	SFPUC FORMS
TS.04	SFPUC FORMS
TS.05	GREEN POINT CHECKLIST
TS.06	CONDITIONS OF APPROVAL
TS.07	CONDITIONS OF APPROVAL
TS.07A	ACOUSTIC REPORT
TS.08	ACOUSTIC REPORT SURVEY
<b>ARCHITECTURE</b>	
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A 2.01	ELEVATION-NORTH & SOUTH
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A 3.01	BUILDING SECTION-NORTH/SOUTH
A3.5	PROPOSED STREET ELEVATION IN CONTEXT
A3.6	EXISTING STREET ELEVATION IN CONTEXT
A4.01	STAIR SECTIONS

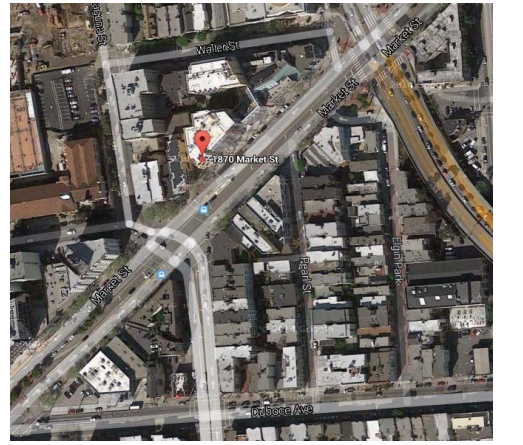
**VICINITY MAP**



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**NORTH**

**OVERVIEW PHOTO**



**SCOPE OF WORK**  
 NEW CONSTRUCTION OF AN 8 STORY BUILDING CONTAINING COMMERCIAL AND RESIDENTIAL ON THE GROUND FLOOR AND RESIDENTIAL UNITS ON THE 7 UPPER FLOORS. TOTAL OF 10 RESIDENTIAL UNITS AND 1 COMMERCIAL UNIT.

**PROJECT DIRECTORY**

**ARCHITECT:** David Sternberg  
 Sternberg Benjamin Architects Inc  
 1331 Harrison Street  
 San Francisco, CA 94103  
 Phone: 415 882 9783  
 FAX 415 882 9786  
 Email: dsternberg@sternbergbenjamin.com

**OWNER:** Bridgeway Vista LP  
 2300 Bridgeway  
 Sausalito, CA 94965  
 Phone: 415 331 8311  
 Email: vquan.sf@gamil.com

COVER SHEET

NEW 10 UNIT  
 CONDOMINIUM BUILDING  
 1870 MARKET STREET  
 BLOCK 0871, LOT 004  
 SAN FRANCISCO CA

Issuance	Date
PRE-APP	03.04.15
SITE PERMIT	04.17.15
SITE PERMIT REVISION	10.15.15
ROOF REVISION	09.14.16
NEW UNIT REV.	03.23.17
PLANNING COMMENTS	05.25.17

Date: 05.05.14  
 Scale:  
 Drawn: DS  
 Sheet:

**TS.00**

**ABBREVIATIONS**

Table with 4 columns: Abbreviation, Description, Abbreviation, Description. Includes terms like AND, ANGLE, AT, ANCHOR BOLT, ASPHALTIC CONCRETE, etc.

**BUILDING DEPARTMENT NOTES**

2013 SAN FRANCISCO BUILDING CODE (CONSISTS 2013 CALIFORNIA BUILDING CODE W/ 2013 SFBC AMENDMENTS AND 2013 CALIFORNIA GREEN BUILDING STANDARDS CODE); 2013 CALIFORNIA MECHANICAL, ELECTRICAL AND PLUMBING CODES; 2013 SAN FRANCISCO FIRE CODE & NFPA-13 2013 ENERGY CODE; 2013 SAN FRANCISCO HOUSING CODE.

**FIRE DEPARTMENT NOTES:**

2013 CBC CHAPTER 4: PER SECTION 420.5 AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS THAT HAVE AN ATTACHED GARAGE.

**FFHA COMPLIANCE**

SAFE HARBOR THE SAFE HARBOR USED IS THE HUD FAIR HOUSING ACT GUIDELINES (1991) AND THE SUPPLEMENTAL NOTICE TO THE FAIR HOUSING ACT GUIDELINES: QUESTIONS AND ANSWERS (1994), ALONG WITH ANSI A117.1-2003 FOR THE COMMON AREAS.

**PLANNING DEPARTMENT NOTES**

LOT AREA: 2,474 SQUARE FEET
ZONING DISTRICT: NCT-3 MODERATE SCALE NEIGHBORHOOD COMMUNITY TRANSIT DISTRICT: NO DENSITY LIMIT. 40% 2-BR UNITS REQUIRED. FIVE 2-BR UNITS PROVIDED OUT OF TEN UNITS TOTAL = 50% 2-BR UNITS.

**LEGEND**

Legend section containing symbols and descriptions for ELEC., MECH., PLUMBING, FIRE-LIFE SAFETY, MISC., and SECURITY. Includes items like one-way switch, fluorescent light fixture, exhaust fan, fire extinguisher cabinet, etc.

**ROOM DESIGNATION LEGEND:**

Table mapping room abbreviations to full names: BR - BEDROOM, WC - BATHROOM, DA - DRESSING AREA, AWC - HANDICAP ACCESSIBLE BATHROOM, K/L/D - KITCHEN LIVING DINING ROOM.

**WALL LEGEND:**

NON RATED: NON RATED PARTITION, NON RATED CONCRETE WALL, NON RATED CONC. BLOCK WALL.
1 HOUR RATED: FIRE PARTITION: 1 HOUR RATED, CONC. BLOCK WALL: 1 HOUR RATED.
2 HOUR RATED: CONC BLOCK WALL: 2 HOUR RATED, FIRE BARRIER: SHAFT (AND/OR EXIT ENCLOSURE) 2-HOUR RATED WALL, FIRE BARRIER: HORIZONTAL EXIT-2-HOUR RATED WALL, PRIMARY STRUCTURAL ELEMENT 2-HOUR WALL - CONCRETE.

**DPW STREET IMPROVEMENT NOTES**

DPW / BSM SITE MEETING REQUIRED; CALL 415-554-7149 TO ARRANGE APPOINTMENT WITH INSPECTOR. OFFICIAL SIDEWALK SLOPE IS 1/5" PER FOOT RISE FROM CURB GRADE TO PROPERTY LINE.



PROJECT NOTES LEGEND

NEW 10 UNIT CONDOMINIUM BUILDING 1870 MARKET STREET BLOCK 0871 LOT 004 SAN FRANCISCO CA

Table with columns: Issuance, Date. Includes entries for PRE-APP (03.04.15), SITE PERMIT (04.17.15), SITE PERMIT REVISION (10.15.15), ROOF REVISION (09.14.16), NEW UNIT REV. (03.23.17), PLANNING COMMENTS (05.25.17).

TS.01



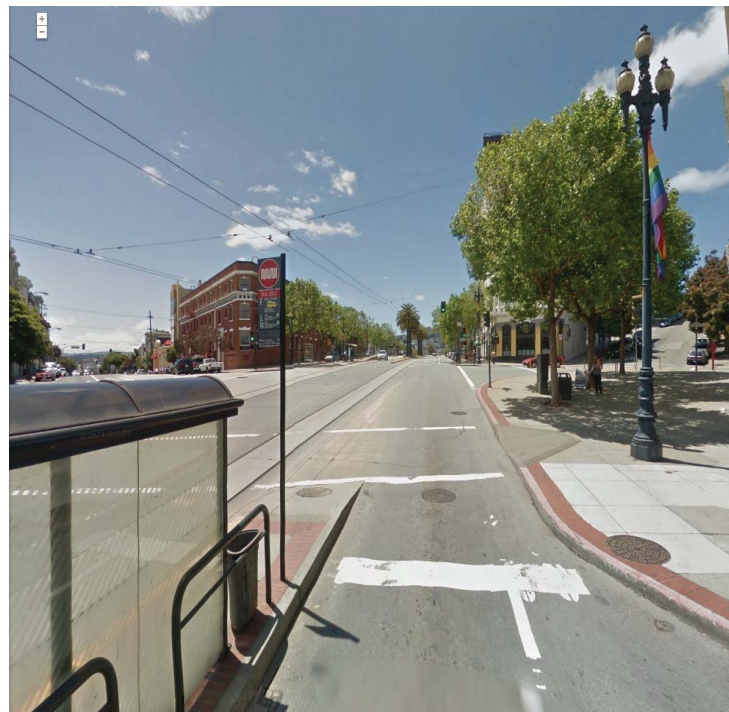
LOOKING NORTHEAST



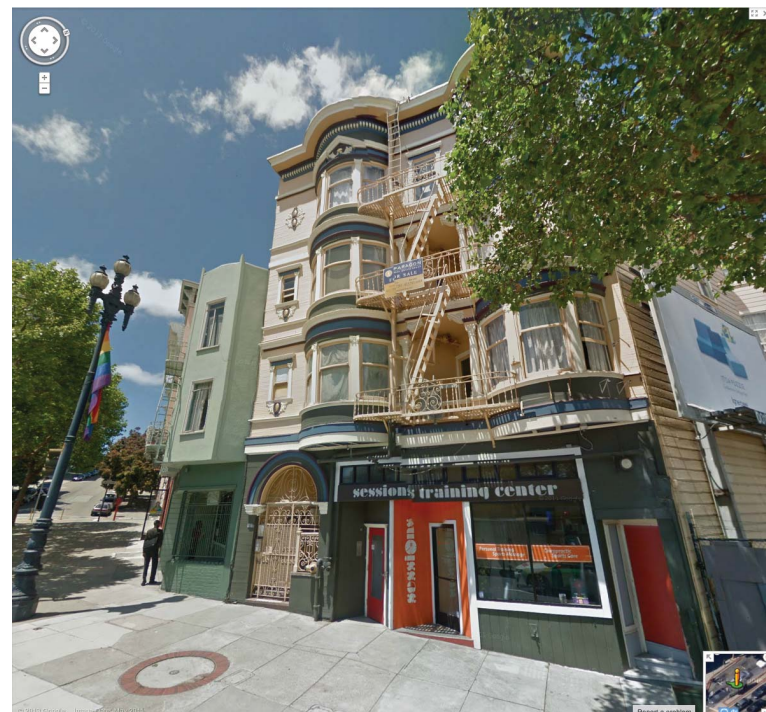
LOOKING EAST



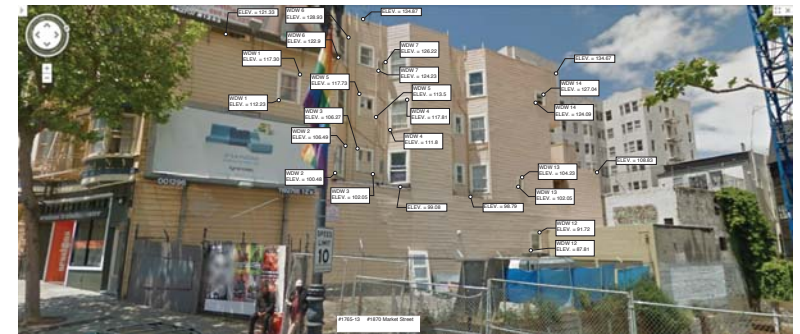
LOOKING SOUTH



LOOKING WEST



LOOKING NORTH/WEST



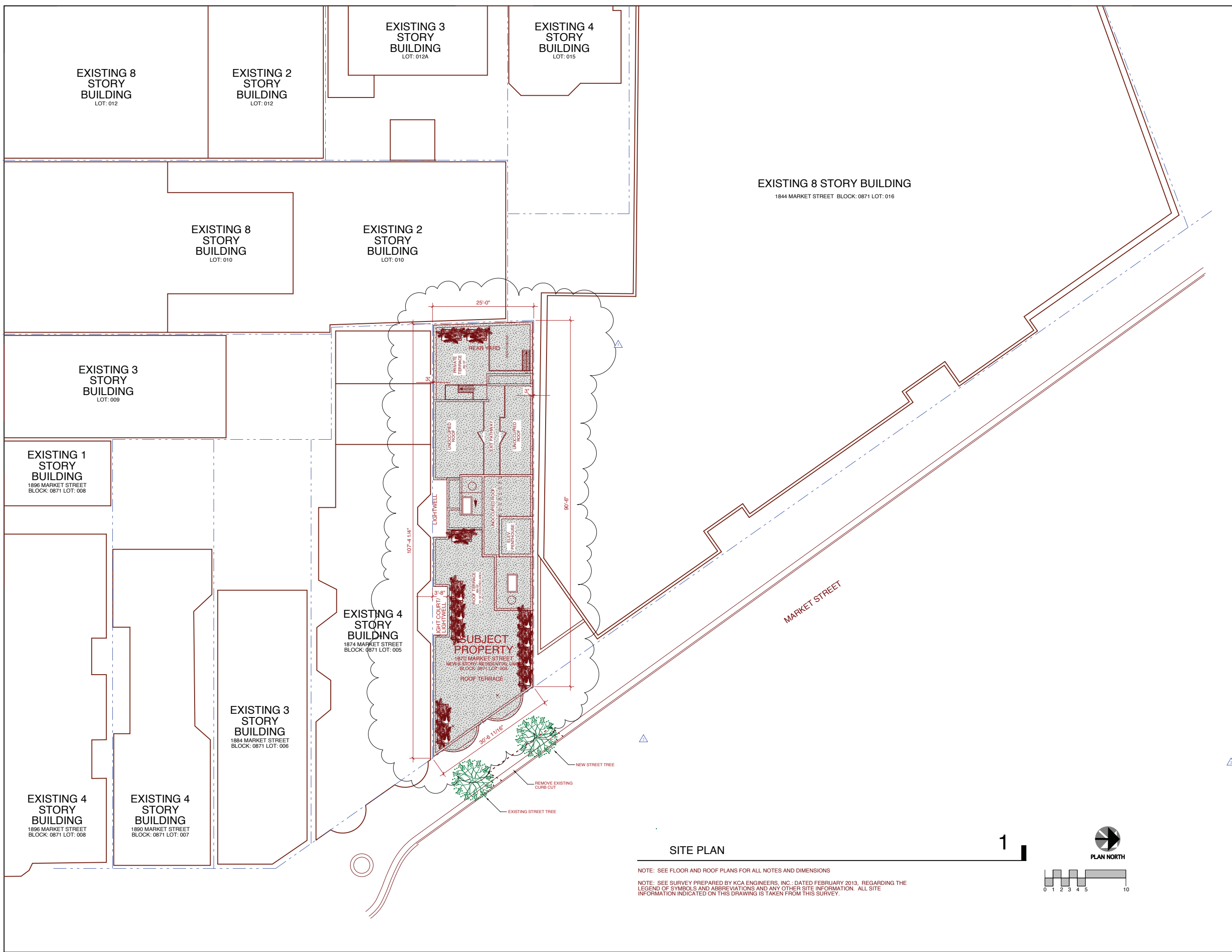
WESTERN NEIGHBOR'S PL WALL

SITE PHOTOS

NEW 9 UNIT CONDOMINIUM  
BUILDING  
1870 MARKET STREET  
BLOCK 603  
SAN FRANCISCO, CA

Instance	Date
PRE-APP	03.04.15
SITE PERMIT	04.17.15
SITE PERMIT REVISION	10.15.15
ROOF REVISION	09.14.16

Date: 05.05.14  
Scale:  
Drawn: DS  
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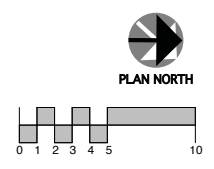


**SITE PLAN**

NOTE: SEE FLOOR AND ROOF PLANS FOR ALL NOTES AND DIMENSIONS

NOTE: SEE SURVEY PREPARED BY KCA ENGINEERS, INC., DATED FEBRUARY 2013, REGARDING THE LEGEND OF SYMBOLS AND ABBREVIATIONS AND ANY OTHER SITE INFORMATION. ALL SITE INFORMATION INDICATED ON THIS DRAWING IS TAKEN FROM THIS SURVEY.

1



1001 CALIFORNIA STREET  
SAN FRANCISCO, CA 94109  
TEL: 415.774.8888 FAX: 415.774.8888  
www.sternbergbenjamin.com

**STERNBERG BENJAMIN**  
ARCHITECTS

REGISTERED ARCHITECT  
DAVID STERNBERG  
No. C-21102  
2/13  
www.dgs.ca.gov  
STATE OF CALIFORNIA

**PROPOSED SITE PLAN**

**NEW 10 UNIT  
CONDOMINIUM BUILDING**  
1870 MARKET STREET  
BLOCK 0871 LOT 004  
SAN FRANCISCO CA

Issuance	Date
PRE-APP	03.04.15
SITE PERMIT	04.17.15
SITE PERMIT REVISION	10.15.15
ROOF REVISION	03.14.16
NEW UNIT REV	03.23.17
PLANNING COMMENTS	05.25.17
Date:	05.05.14
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<b>A0.05</b>	

**WALL LEGEND:**

**NON RATED**

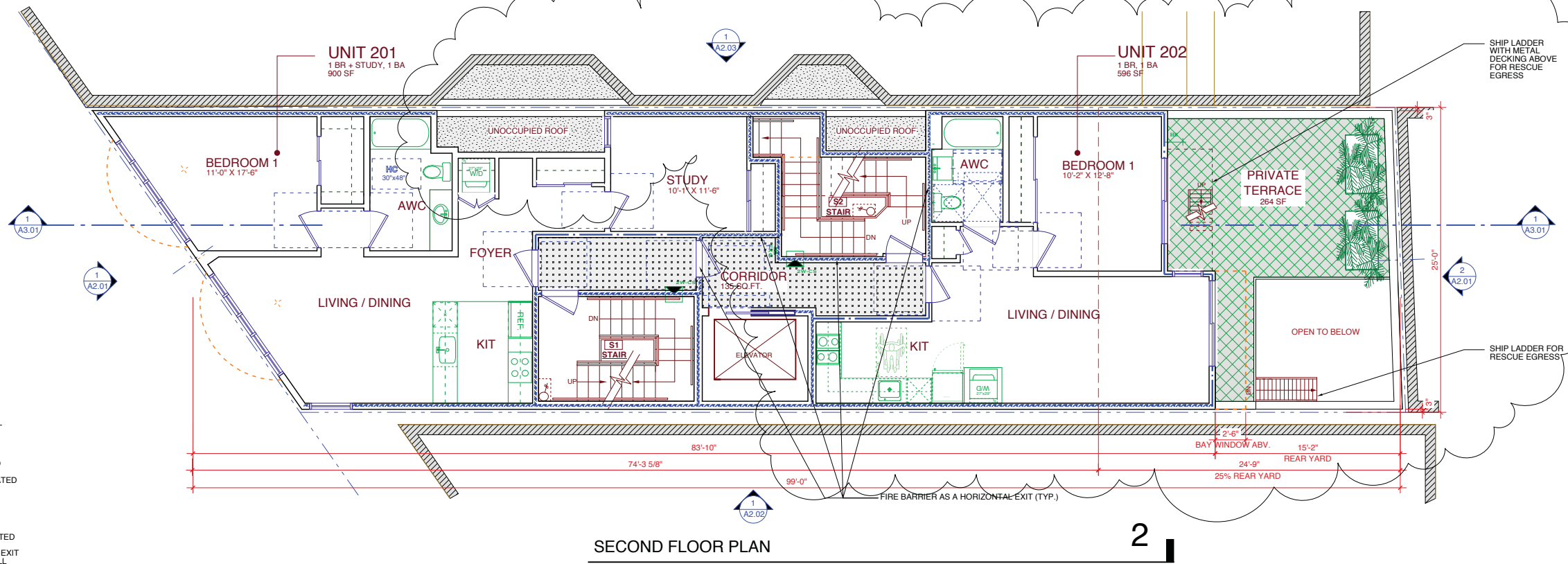
- NON RATED PARTITION
- NON RATED CONCRETE WALL
- NON RATED CONC. BLOCK WALL

**1 HOUR RATED**

- FIRE PARTITION: 1 HOUR RATED
- CONC. BLOCK WALL: 1 HOUR RATED

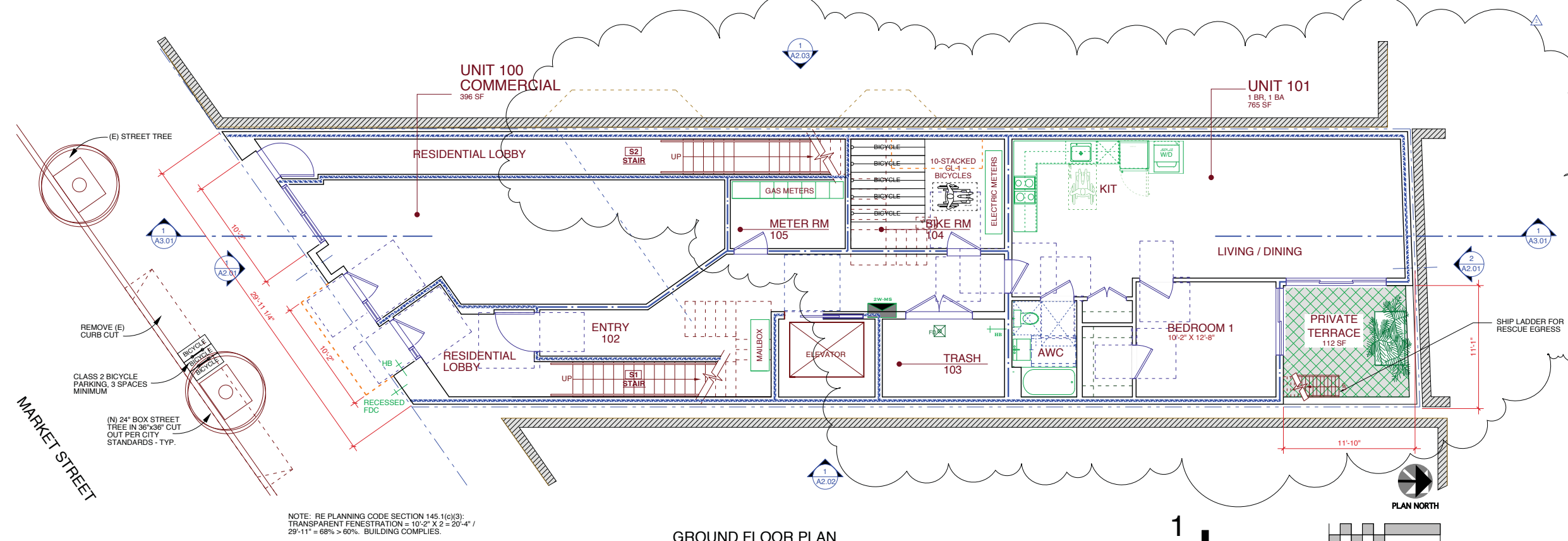
**2 HOUR RATED**

- CONC BLOCK WALL: 2 HOUR RATED
- FIRE BARRIER: SHAFT (AND OR EXIT ENCLOSURE) 2-HOUR RATED WALL
- FIRE BARRIER: HORIZONTAL EXIT-2-HOUR RATED WALL
- PRIMARY STRUCTURAL ELEMENT 2-HOUR WALL - CONCRETE



SECOND FLOOR PLAN

2



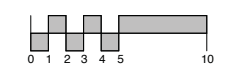
GROUND FLOOR PLAN

1

MARKET STREET

REMOVE (E) CURB CUT  
CLASS 2 BICYCLE PARKING, 3 SPACES MINIMUM  
(N) 24" BOX STREET TREE IN 36"x36" CUT OUT PER CITY STANDARDS - TYP.

NOTE: RE PLANNING CODE SECTION 145.1(c)(3); TRANSPARENT FENESTRATION = 10'-2" X 2 = 20'-4" / 29'-11" = 68% > 60%. BUILDING COMPLIES.



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GROUND FLOOR PLAN AND SECOND FLOOR PLAN

NEW 10 UNIT CONDOMINIUM BUILDING  
1870 MARKET STREET  
BLOCK 0871, LOT 004  
SAN FRANCISCO, CA

Issuance	Date
PRE-APP	03.04.15
SITE PERMIT	04.17.15
SITE PERMIT REVISION	10.15.15
ROOF REVISION	03.14.16
NEW UNIT REV.	03.23.17
PLANNING COMMENTS	05.25.17

Date: 05.05.14  
Scale:  
Drawn: DS  
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**WALL LEGEND:**

**NON RATED**

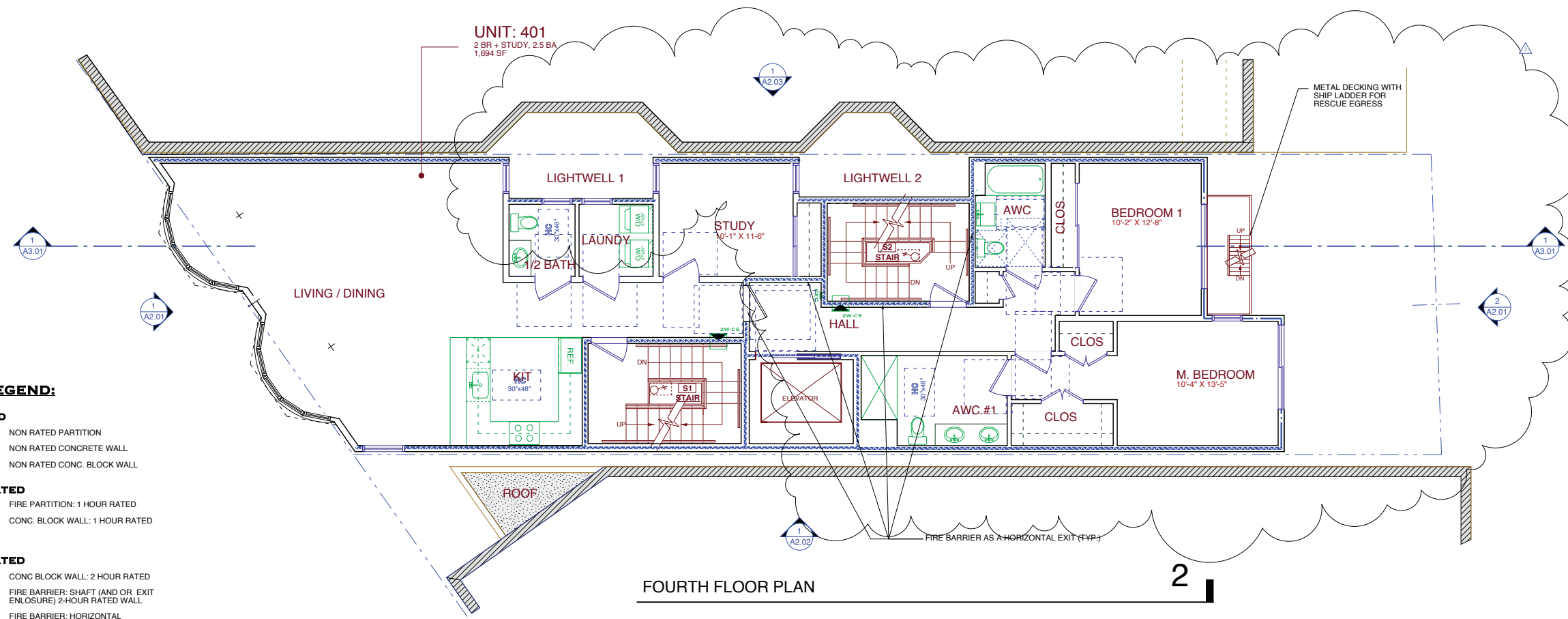
- NON RATED PARTITION
- ▬▬▬▬▬▬ NON RATED CONCRETE WALL
- ▬▬▬▬▬▬ NON RATED CONC. BLOCK WALL

**1 HOUR RATED**

- ▬▬▬▬▬▬ FIRE PARTITION: 1 HOUR RATED
- ▬▬▬▬▬▬ CONC. BLOCK WALL: 1 HOUR RATED

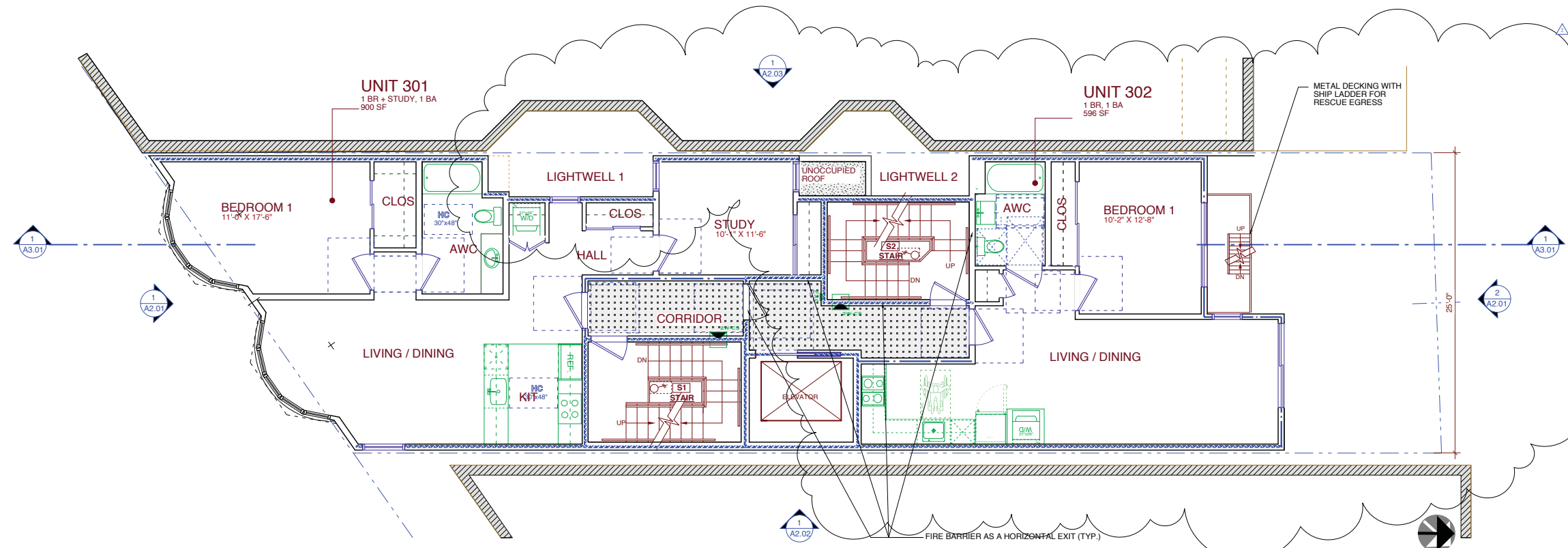
**2 HOUR RATED**

- ▬▬▬▬▬▬ CONC BLOCK WALL: 2 HOUR RATED
- ▬▬▬▬▬▬ FIRE BARRIER: SHAFT (AND OR EXIT ENCLOSURE) 2-HOUR RATED WALL
- ▬▬▬▬▬▬ FIRE BARRIER: HORIZONTAL EXIT-2-HOUR RATED WALL
- ▬▬▬▬▬▬ PRIMARY STRUCTURAL ELEMENT 2-HOUR WALL - CONCRETE



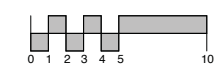
FOURTH FLOOR PLAN

2

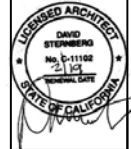


THIRD FLOOR PLAN

1



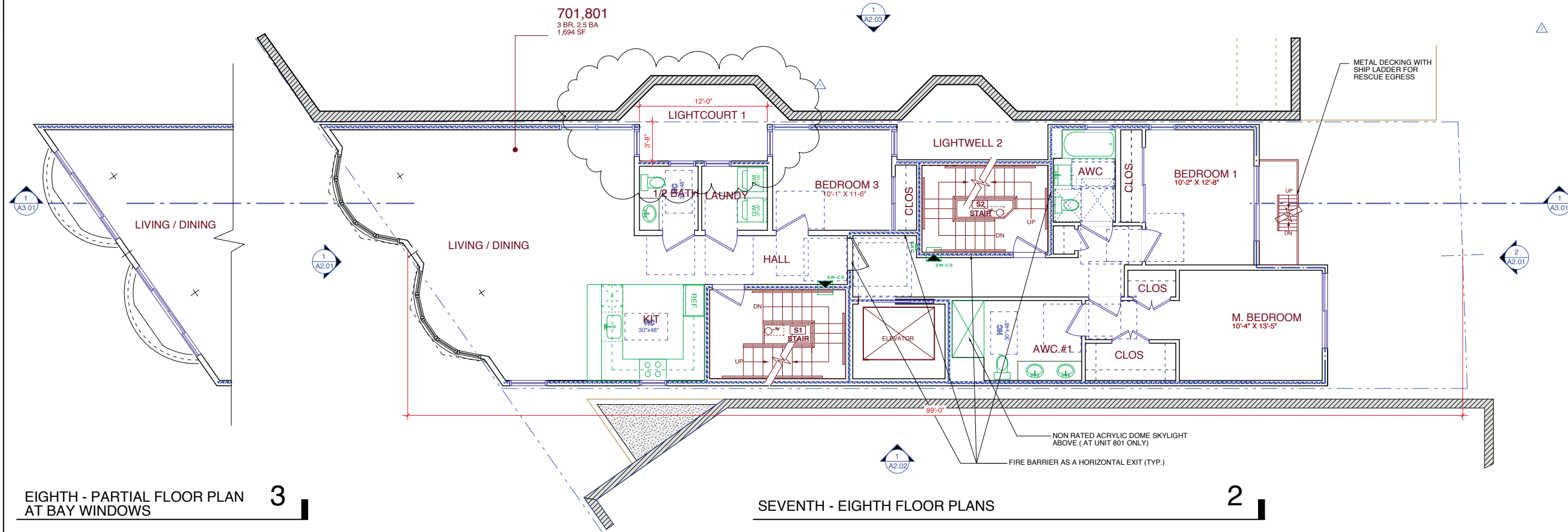
PLAN NORTH



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PLANNING COMMENTS	05.25.17

Date: 05.05.14  
Scale:  
Drawn: DS

Sheet: **A1.03**

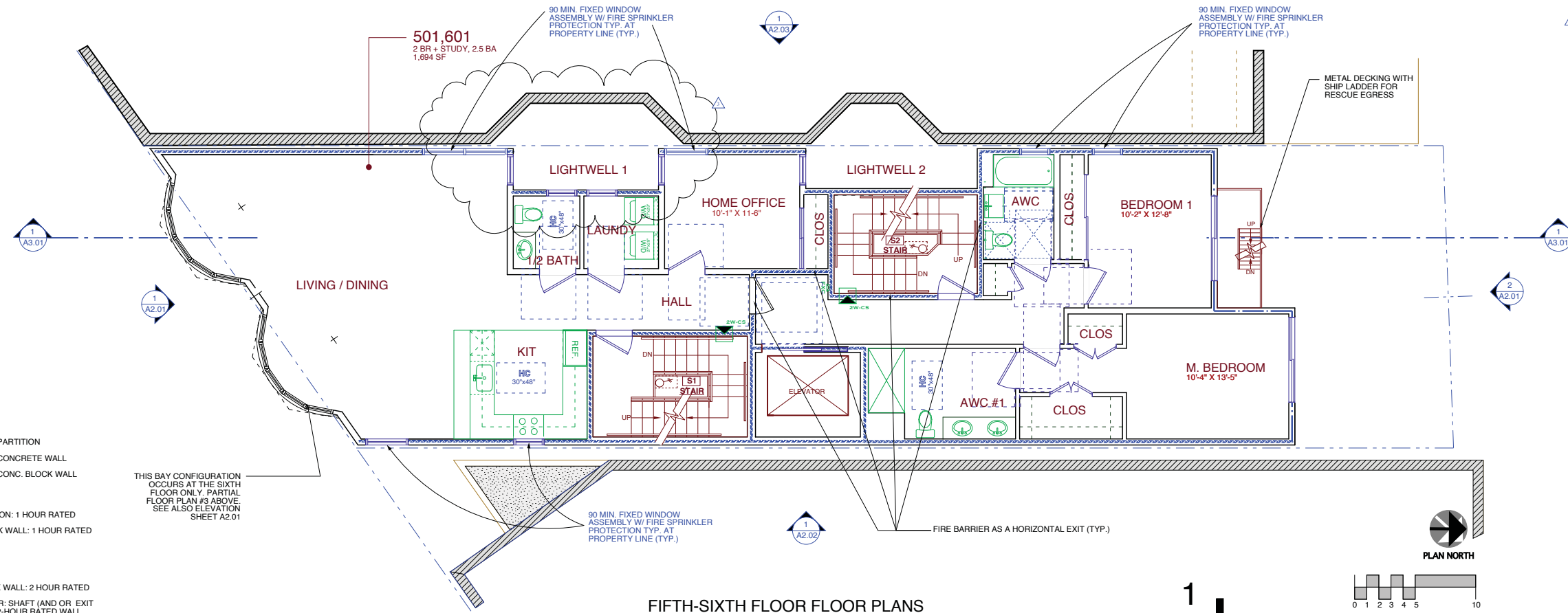


EIGHTH - PARTIAL FLOOR PLAN AT BAY WINDOWS

3

SEVENTH - EIGHTH FLOOR PLANS

2



**WALL LEGEND:**

**NON RATED**

- NON RATED PARTITION
- NON RATED CONCRETE WALL
- NON RATED CONC. BLOCK WALL

**1 HOUR RATED**

- FIRE PARTITION: 1 HOUR RATED
- CONC. BLOCK WALL: 1 HOUR RATED

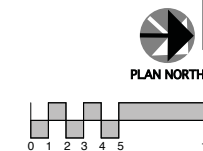
**2 HOUR RATED**

- CONC BLOCK WALL: 2 HOUR RATED
- FIRE BARRIER: SHAFT (AND OR EXIT ENCLOSURE) 2-HOUR RATED WALL
- FIRE BARRIER: HORIZONTAL EXIT: 2-HOUR RATED WALL
- PRIMARY STRUCTURAL ELEMENT 2-HOUR WALL - CONCRETE

THIS BAY CONFIGURATION OCCURS AT THE SIXTH FLOOR ONLY. PARTIAL FLOOR PLAN #3 ABOVE. SEE ALSO ELEVATION SHEET A2.01

FIFTH-SIXTH FLOOR FLOOR PLANS

1



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FIFTH THRU EIGHTH FLOOR PLANS

NEW 10 UNIT CONDOMINIUM BUILDING  
 1870 MARKET STREET  
 BLOCK 0871, LOT 004  
 SAN FRANCISCO, CA

Issuance	Date
PRE-APP	03.04.15
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PLANNING COMMENTS	05.25.17
Date:	05.05.14
Scale:	
Drawn:	DS
Sheet:	

**A1.05**



**WALL LEGEND:**

**NON RATED**

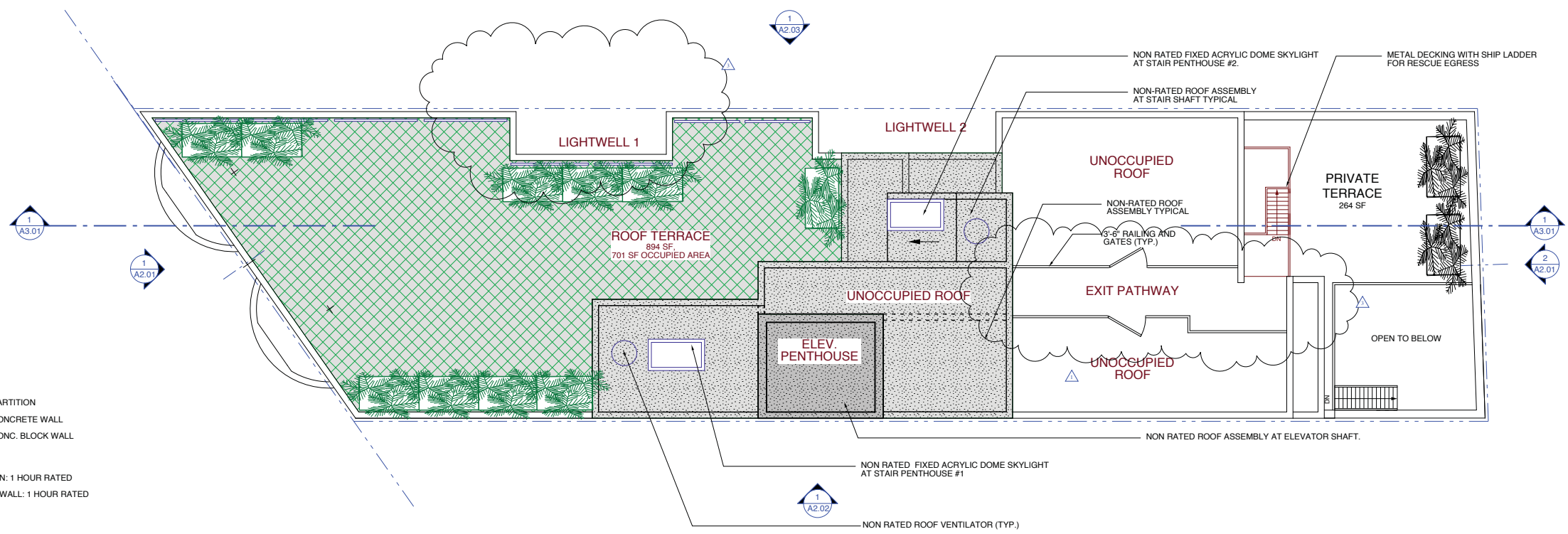
- NON RATED PARTITION
- ▬ NON RATED CONCRETE WALL
- ▬ NON RATED CONC. BLOCK WALL

**1 HOUR RATED**

- ▬ FIRE PARTITION: 1 HOUR RATED
- ▬ CONC. BLOCK WALL: 1 HOUR RATED

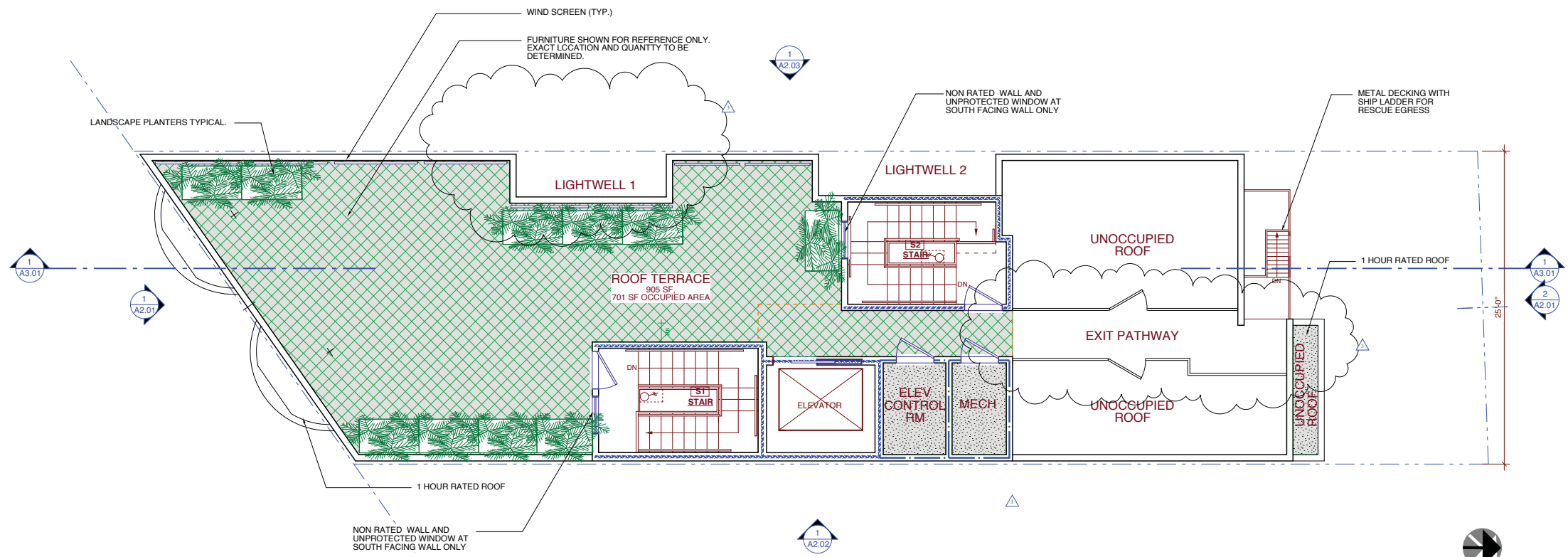
**2 HOUR RATED**

- ▬ CONC BLOCK WALL: 2 HOUR RATED
- ▬ FIRE BARRIER: SHAFT (AND OR EXIT ENCLOSURE) 2-HOUR RATED WALL
- ▬ FIRE BARRIER: HORIZONTAL EXIT-2-HOUR RATED WALL
- ▬ PRIMARY STRUCTURAL ELEMENT 2-HOUR WALL - CONCRETE



UPPER ROOF PLAN

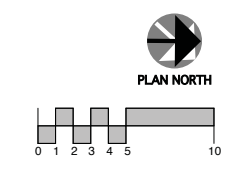
2



ROOF PLAN

1

NOTE: TOTAL ROOF AREA = 1,993 SF. 20% X 1,993 = 398.6 SF ALLOWED FOR ROOF PENTHOUSES, ROOF STAIR, ELEVATOR AND MECHANICAL PENTHOUSES TOTAL AREA = 392 SF < 398.6 SF ALLOWED. BUILDING COMPLIES.



1321 HAVEN STREET  
SAN FRANCISCO, CA 94103  
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LICENSED ARCHITECT  
DAN STERNBERG  
No. S-11182  
25.03  
EXPIRES 06/30/17  
STATE OF CALIFORNIA

ROOF PLAN

NEW 10 UNIT  
CONDOMINIUM BUILDING  
1870 MARKET STREET  
BLOCK 0871, LOT 004  
SAN FRANCISCO CA

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Scale: DS  
Sheet:

**A1.06**

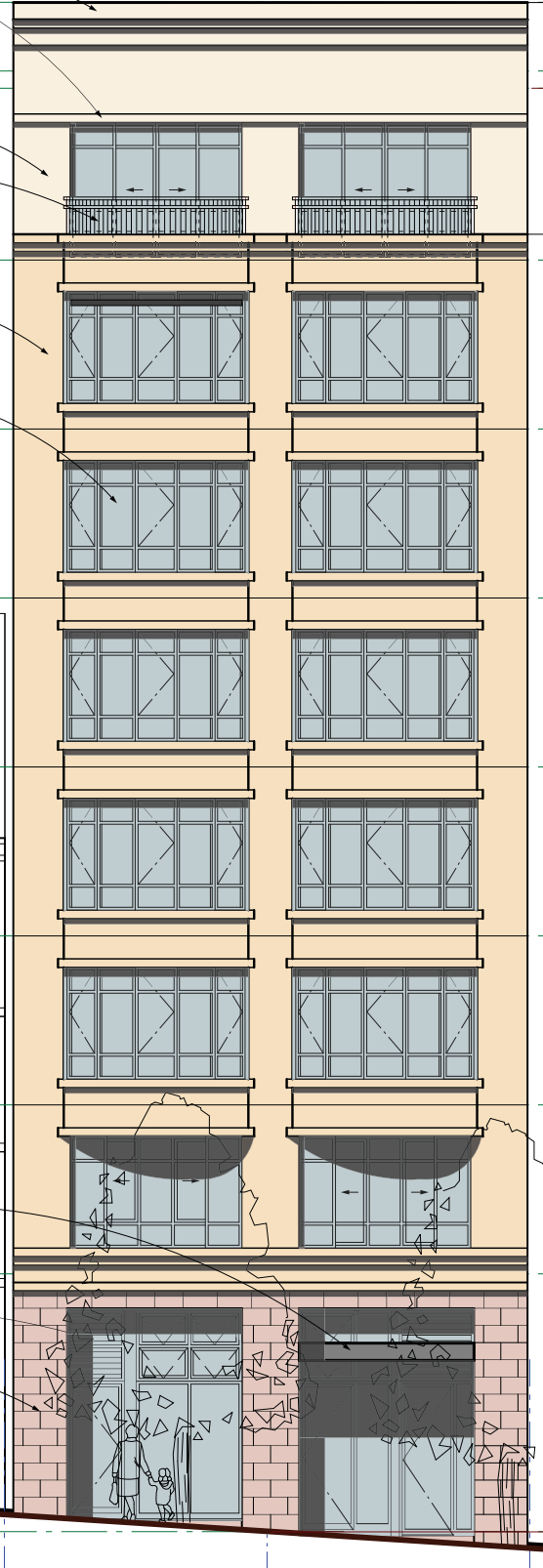
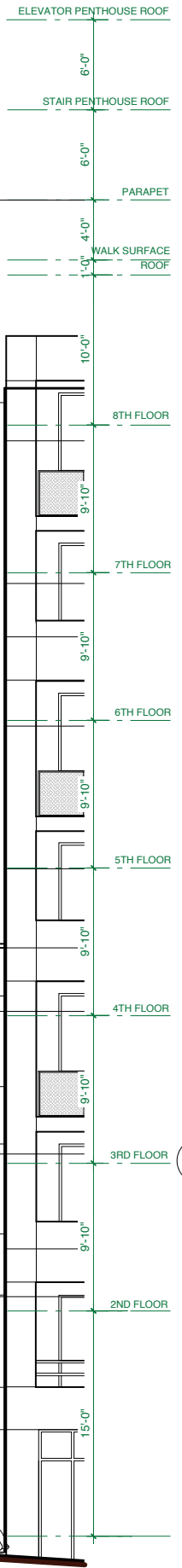
FRONT AND REAR ELEVATIONS

NEW 10 UNIT  
CONDOMINIUM BUILDING  
1870 MARKET STREET  
BLOCK 087, LOT 004  
SAN FRANCISCO, CA

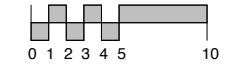
Issuance	Date
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ROOF REVISION	09.14.16
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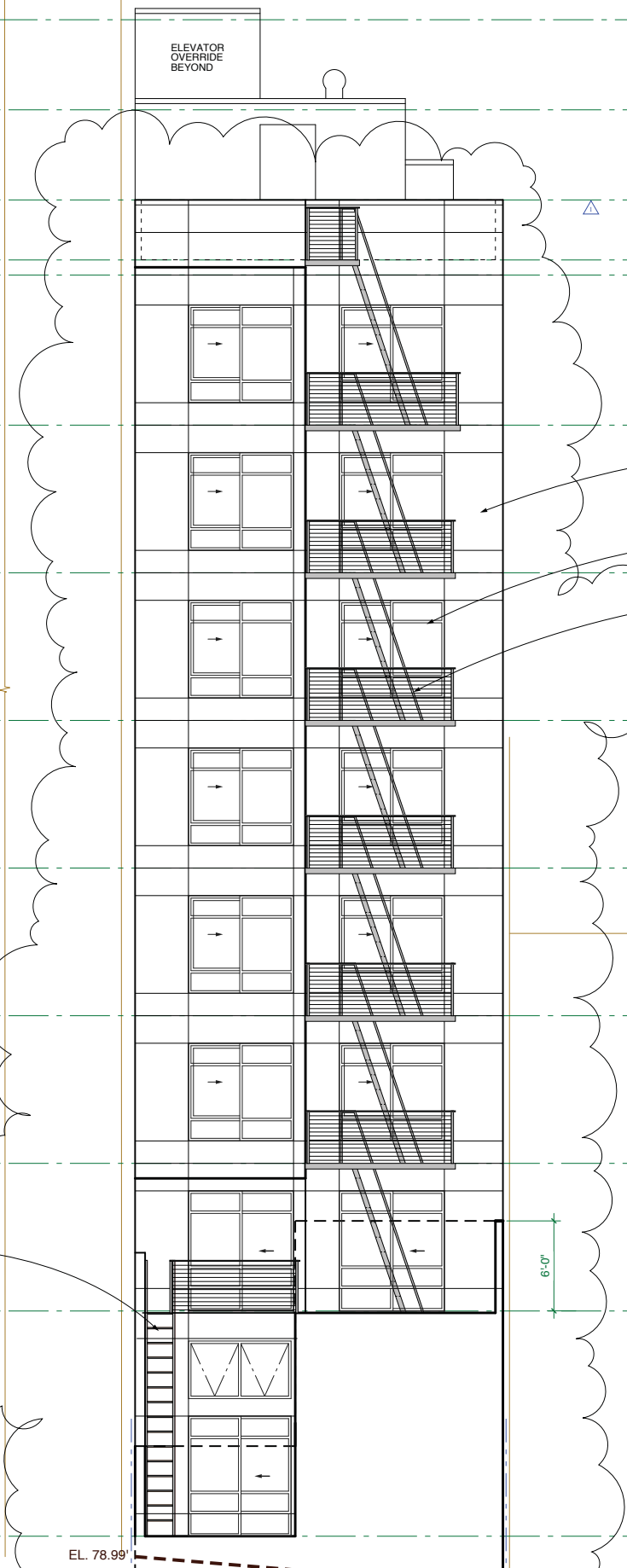
**A2.01**



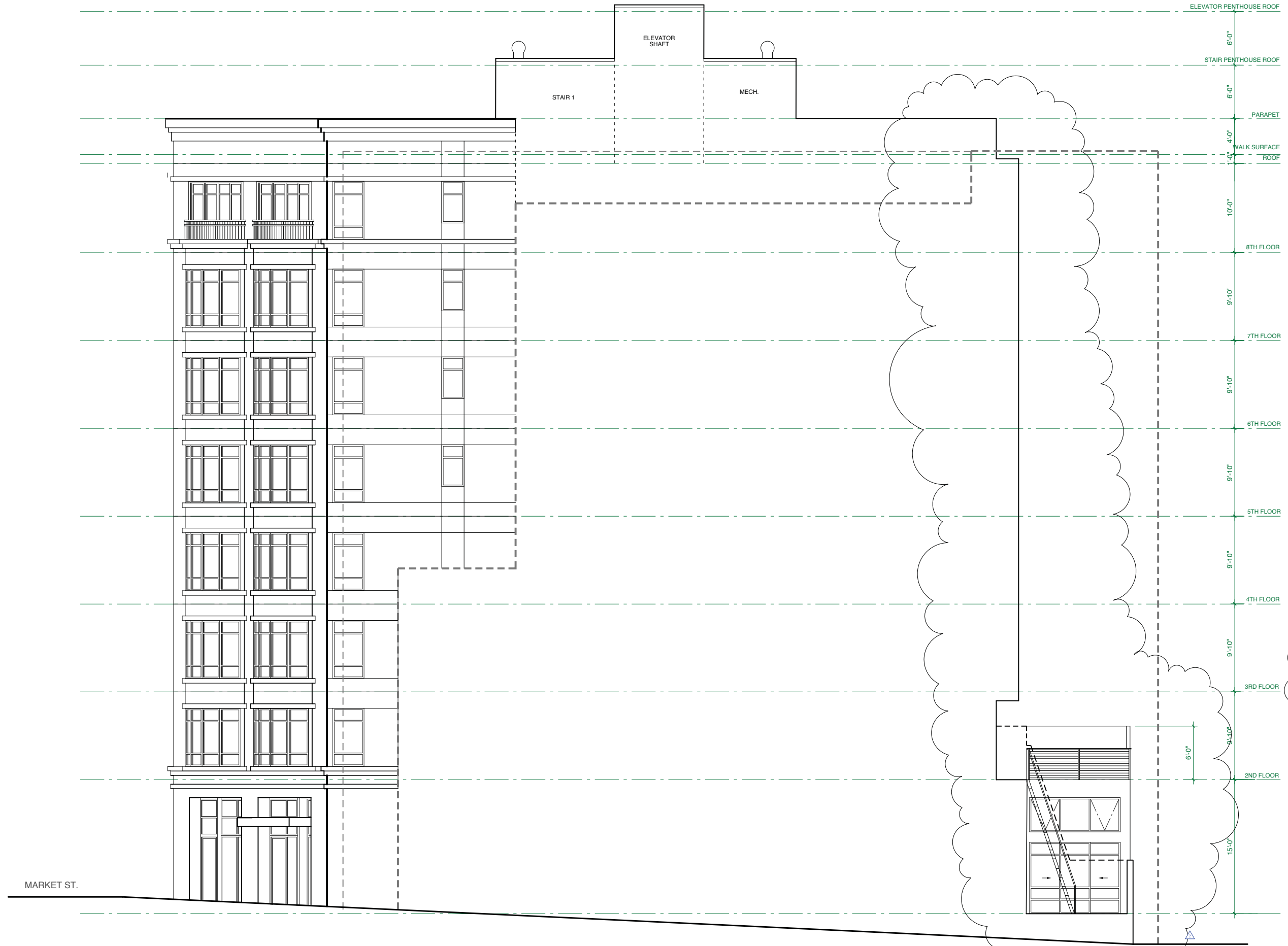
FRONT (SOUTH) ELEVATION 1



REAR (NORTH) ELEVATION 2

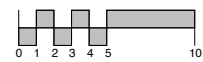


REAR (NORTH) ELEVATION 2



SIDE (EAST) ELEVATION

1



1515 MARIN AVENUE SUITE 200  
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ARCHITECTS

REGISTERED ARCHITECT  
DAVID STERNBERG  
No. C-21102  
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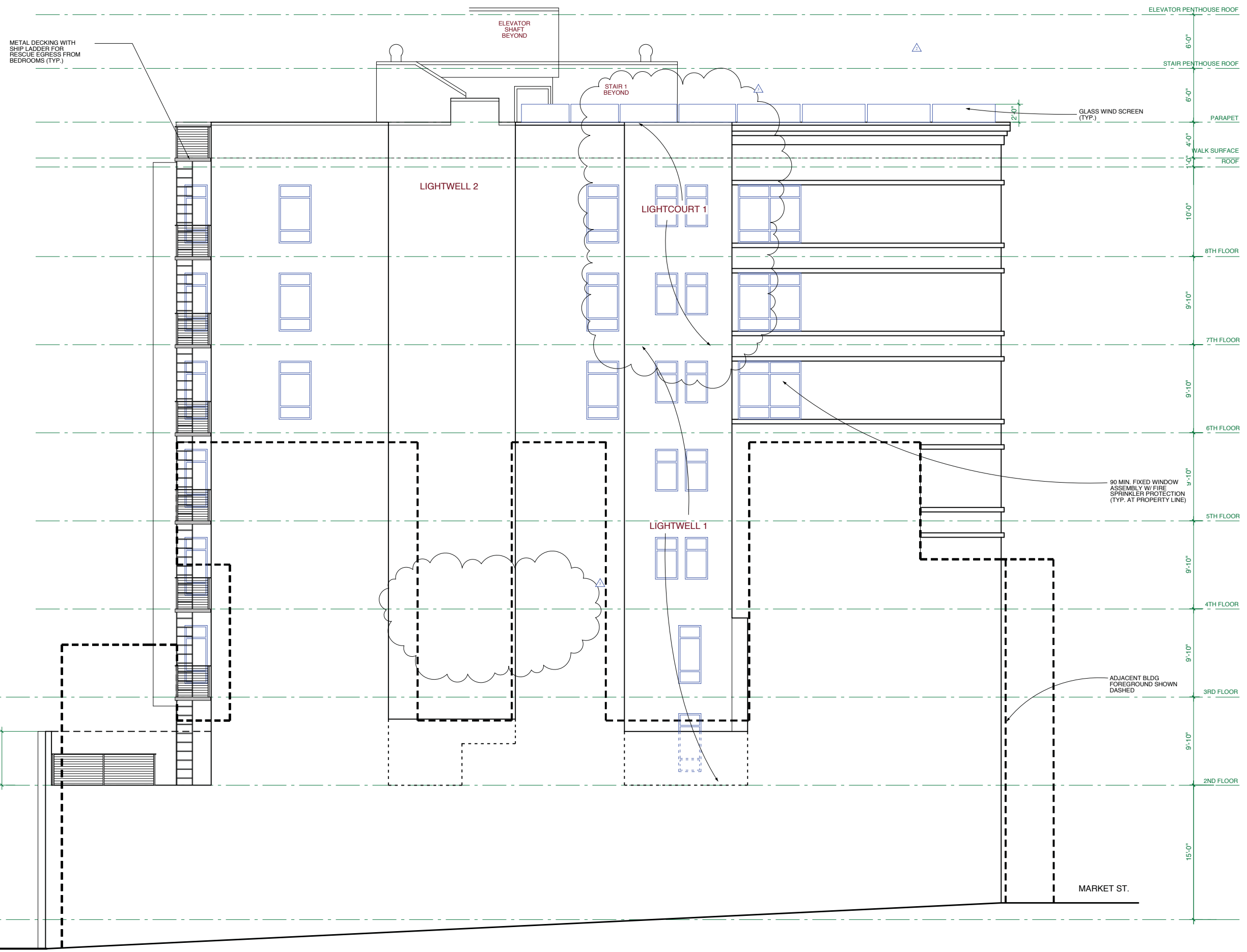
SIDE (EAST) ELEVATION

NEW 10 UNIT  
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BLOCK 0871 LOT 004  
SAN FRANCISCO CA

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**A2.02**



1375 MARSHALL STREET  
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TEL: 415.775.7675 FAX: 415.775.7676

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SIDE (WEST) ELEVATION

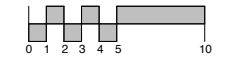
NEW 10 UNIT  
CONDOMINIUM BUILDING  
1870 MARKET STREET  
BLOCK 0871 LOT 004  
SAN FRANCISCO CA

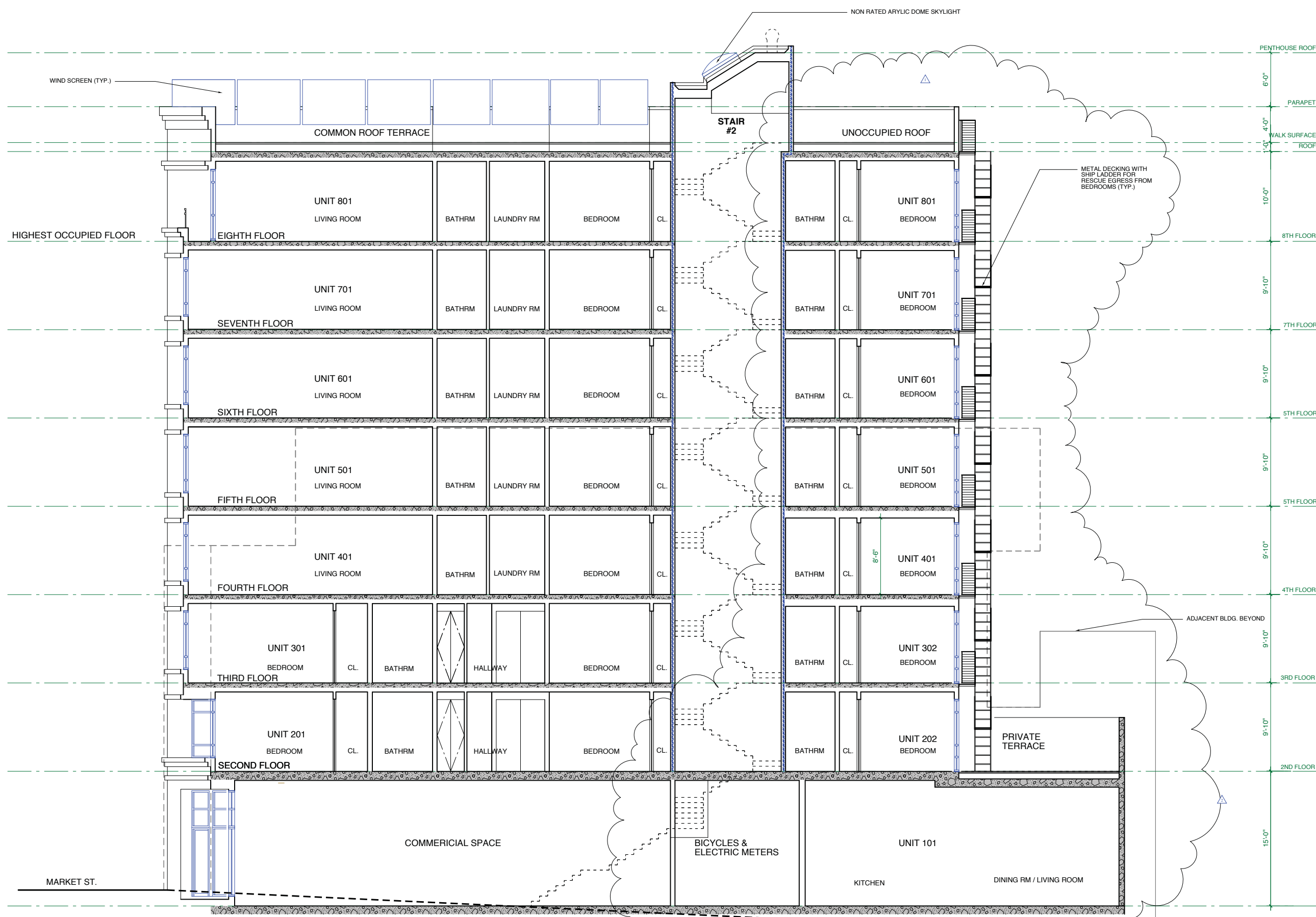
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**A2.03**

SIDE (WEST) ELEVATION **1**





1515 MARKET STREET  
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TEL: 415.774.8888 FAX: 415.774.8888

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www.sternbergbenjamin.com

BUILDING SECTION

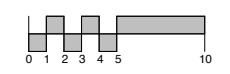
NEW 10 UNIT  
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1870 MARKET STREET  
BLOCK 0871 LOT 004  
SAN FRANCISCO CA

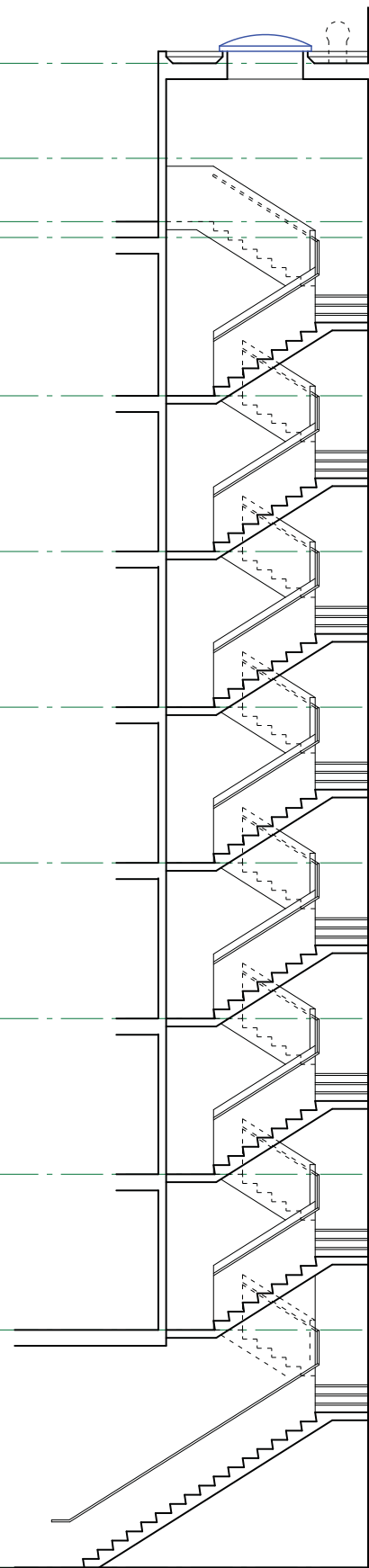
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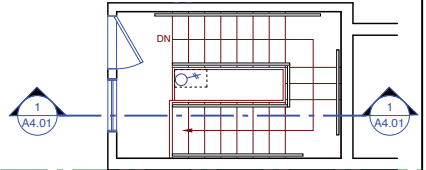
BUILDING SECTION 1



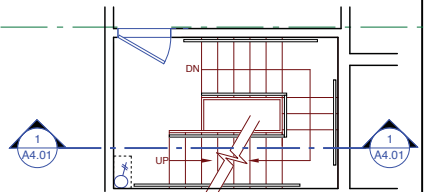


STAIR SECTION

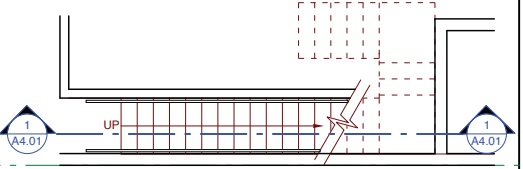
STAIR 1



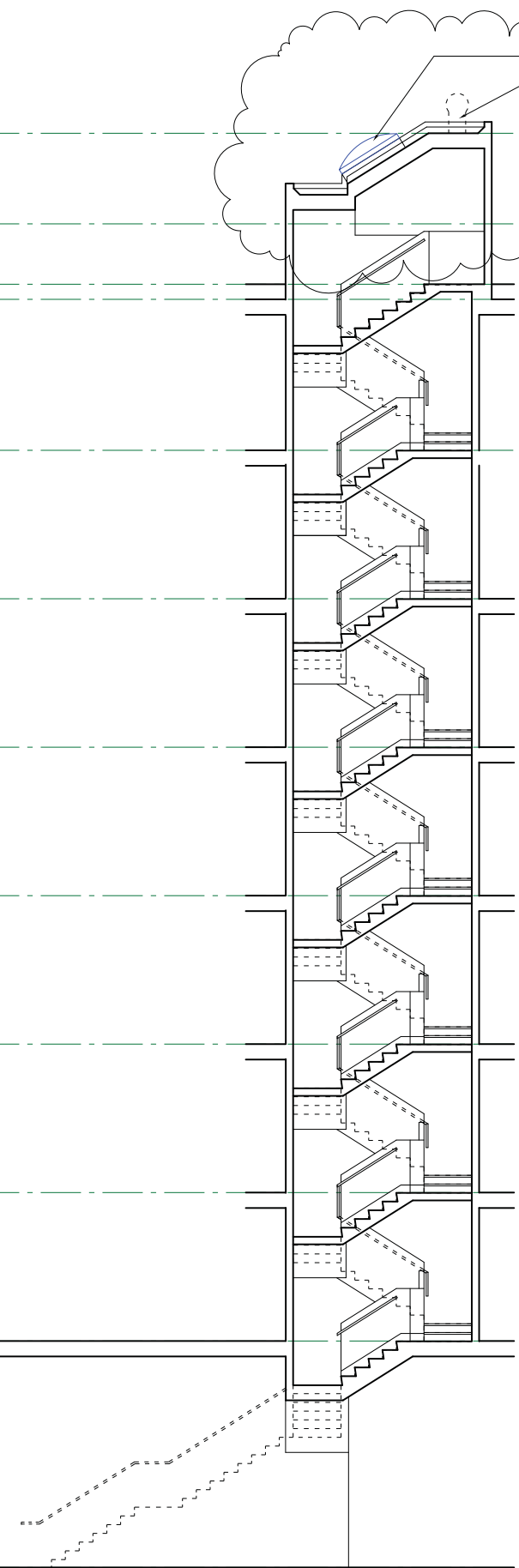
ROOF PLAN



2ND TO 8TH FLOOR PLANS

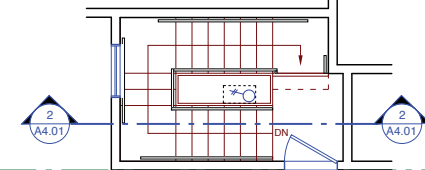


GROUND FLOOR PLAN

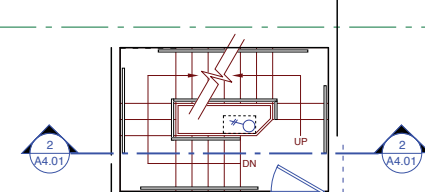


STAIR SECTION

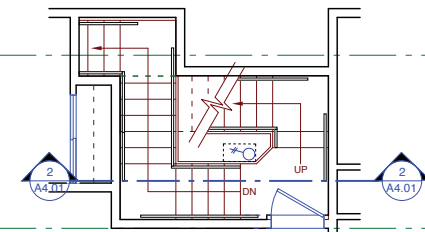
STAIR 2



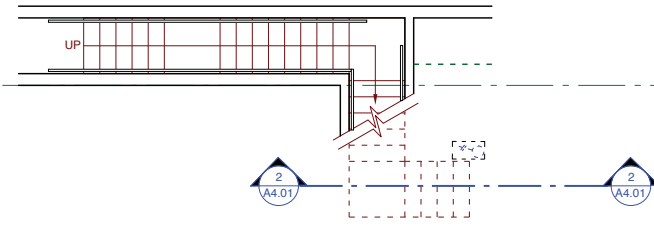
ROOF PLAN



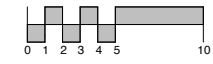
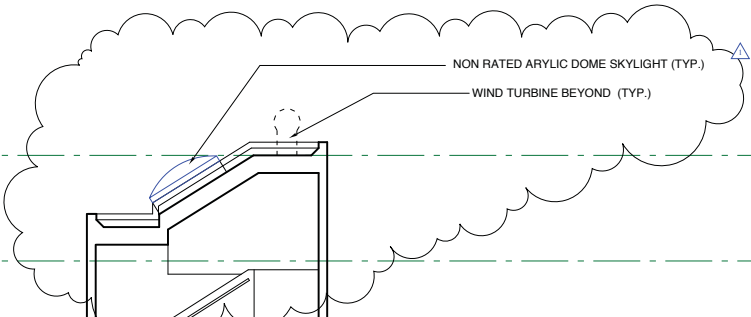
3RD TO 8TH FLOOR PLANS



2ND FLOOR PLAN



GROUND FLOOR PLAN



PENTHOUSE ROOF  
6'-0"  
PARAPET  
1'-0" 4'-0"  
WALK SURFACE ROOF  
10'-0"  
8TH FLOOR  
9'-10"  
7TH FLOOR  
9'-10"  
5TH FLOOR  
9'-10"  
5TH FLOOR  
9'-10"  
4TH FLOOR  
9'-10"  
3RD FLOOR  
9'-10"  
2ND FLOOR  
15'-0"



STAIR SECTIONS

NEW 10 UNIT  
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1870 MARKET STREET  
BLOCK 0871 LOT 004  
SAN FRANCISCO CA

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1

2