



SAN FRANCISCO PLANNING DEPARTMENT

Discretionary Review Full Analysis

HEARING DATE: JUNE 11, 2015

Date: June 2, 2015
Case No.: 2014.1022DRP
Project Address: 208 Pennsylvania Avenue
Permit Application: 2014.09.10.6023
Zoning: UMU (Urban Mixed-Use) Zoning District
40-X Height and Bulk District
Block/Lot: 4000/053-074
Project Sponsor: Justin Chu, Essex Property Trust
925 East Meadow Drive
Palo Alto, CA 94303
Staff Contact: Richard Sucre – (415) 575-9108
Richard.Sucre@sfgov.org
Recommendation: **Do Not Take DR & Approve the Project As Proposed.**

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

PROJECT DESCRIPTION

The project includes establishment of new residential dwelling units at 208 Pennsylvania Avenue. At 208 Pennsylvania Street, the proposal includes legalization of four dwelling units, thus resulting in 22 live/work units and 4 dwelling units. The proposal does not include any exterior alterations to the subject property.

SITE DESCRIPTION AND PRESENT USE

Currently, 208 Pennsylvania Avenue is a two-story, live/work building located on the west side of Pennsylvania Avenue between Mariposa and 18th Streets in San Francisco's Potrero Hill neighborhood. The subject parcel is irregularly shaped with 115-ft of frontage along Pennsylvania Avenue and a lot depth of 100-ft.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

The surrounding neighborhood is mixed in character with light industrial properties to the east and north, and residential properties to the south. The majority of the surrounding properties are either one or two-stories in height. To the east of the project site is the I-280 freeway. The surrounding area is primarily within the UMU Zoning District to the north, and RH-2 (Residential, House, Two-Family) to the south.

ISSUES & CONSIDERATIONS

- In January 2009, the subject parcels were rezoned from M-1 (Light Manufacturing) to UMU (Urban Mixed Use) as part of the Eastern Neighborhoods Area Plan.

- On September 24, 2014, the Zoning Administrator reviewed a request for a variance from the Planning Code requirements for rear yard (Planning Code Section 134), open space (Planning Code Section 135), and dwelling unit exposure (Planning Code Section 140). During this hearing, the Zoning Administrator expressed an inclination to approve the proposed variances given the existing conditions.

BUILDING PERMIT APPLICATION NOTIFICATION

TYPE	REQUIRED PERIOD	NOTIFICATION DATES	DR FILE DATE	DR HEARING DATE	FILING TO HEARING TIME
312 Notice	30 days	January 29 – February 28, 2015	February 27, 2015	June 11, 2015	92 days

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Posted Notice	10 days	June 1, 2015	June 1, 2015	10 days
Mailed Notice	10 days	June 1, 2015	June 1, 2015	10 days

PUBLIC COMMENT

	SUPPORT	OPPOSED	NO POSITION
Adjacent Neighbor(s)	0	0	-
Other Neighbors on the block or directly across the street	0	0	-
Neighborhood Groups	0	0	-

Support: (See Attached Correspondence)

- None Received

Opposed: (See Attached Correspondence)

- Corinne Woods
- John deCastro

DR REQUESTOR

- Sue Hestor**, San Franciscans for Reasonable Growth, 870 Market Street #1128

DR REQUESTORS' CONCERNS AND PROPOSED ALTERNATIVES

Issue #1: Compliance with Notice of Special Restrictions - The DR Requestor notes that the live/work complexes owned and operated by Essex Property Trust do not comply with the requirements of the Notice of Special Restrictions regarding residential occupancy and annual business tax registration. The DR Requestors also notes that development impact fees should be applied for the entire complex. The DR Requestor further claims that there is a lack of information for the annual business license of each live/work unit.

Issue #2: Lack of Due Diligence by Owner – The DR Requestor questions the cost of the current properties and the rental rate for the dwelling units. Further, the DR Requestor requested the environmental documents associated with these complexes.

Issue #3: Public Discussion of Live/Work Units – The DR Requestor requested a larger public discussion of the transition of live/work units.

Please refer to the *Discretionary Review Application* for additional information (See Attached).

PROJECT SPONSOR'S RESPONSE

Issue #1: Compliance with Notice of Special Restrictions – As noted by the Project Sponsor, “each resident must execute an Addendum, prior to leasing a live/work unit in the Bennett Lofts. As a result, Essex complies with the NSR business license requirement, and will continue to do so for the existing live/work units.”

Issue #2: Lack of Due Diligence by Owner – No Response.

Issue #3: Public Discussion of Live/Work Units – The Project Sponsor notes that “this Project is not the proper vehicle for discussing SFRG’s unrelated, broad policy concerns regarding live/work units.”

Please refer to the *Response to Discretionary Review* for additional information (See Attached).

PROJECT ANALYSIS

Department staff reviewed the DR Requestor’s concerns with the proposed project and presents the following comments:

Issue #1: Compliance with Notice of Special Restrictions – The Department has not received any information, which suggests that the Project Sponsor is not in compliance with the Notice of Special Restrictions (NSR) associated with the subject property. The Project will be subject to development impact fees, including the Eastern Neighborhoods Infrastructure Impact Fee (Planning Code Section 423), and the inclusionary affordable housing requirements (Planning Code Section 415).

Issue #2: Lack of Due Diligence by Owner – The DR Requestor’s request for information is not relevant to the analysis of the project’s compliance with the Planning Code.

Issue #3: Public Discussion of Live/Work Units – The DR Requestor’s request for a public hearing is not relevant to the analysis of the project’s compliance with the Planning Code.

The Project meets all other relevant requirements of the Planning Code, aside from those requirements requested in the variance application.

ENVIRONMENTAL REVIEW

Since the project involves legalization of a residential use and would not result in physical change in the environment, the Project is not a project per CEQA Guidelines 15378 and 15060(c)(2).

RESIDENTIAL DESIGN TEAM REVIEW

Since the proposed project is not located within a residential zoning district, it is not subject to the Residential Design Guidelines; therefore, the proposed project was not reviewed by the Residential Design Team.

URBAN DESIGN ADVISORY TEAM REVIEW

The Planning Department’s Urban Design Advisory Team (UDAT) provides design review for projects not subject to the Residential Design Guidelines.

Since the project did not involve a physical expansion or exterior alterations, UDAT did not comment upon the proposed project.

Under the Commission’s pending DR Reform Legislation, this project would be referred to the Commission, as this project involves a change in use.

BASIS FOR RECOMMENDATION

- The Project is consistent with the objectives and policies of the General Plan.
- The Project is located in a zoning district, which permits residential use.
- The Project is consistent with and respects the varied neighborhood character, and provides an appropriate massing and scale for the adjacent contexts. Project has existed within the surrounding for a number of years without adverse impact to the surrounding neighborhood.
- The Project adds new dwelling units to the City’s housing stock.
- The Project will fully utilize the Eastern Neighborhoods Area Plan controls, and will pay the appropriate development impact fees.

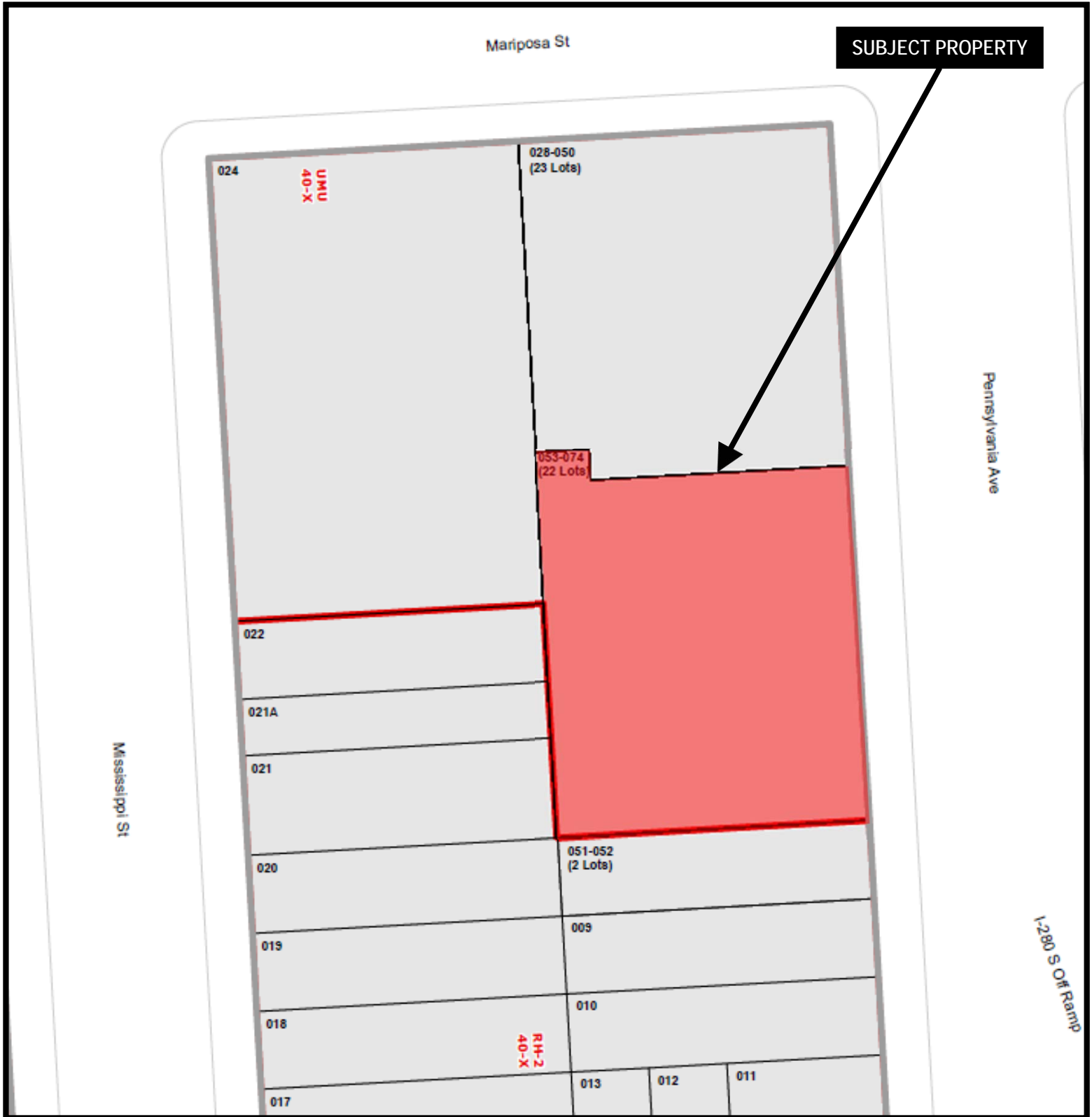
RECOMMENDATION: Do Not Take DR and Approve the Project As Proposed.

Attachments:
Block Book Map

Zoning Map
Aerial Photographs
Site Photos
Section 311 Notice
DR Application-Sue Hestor
Public Correspondence

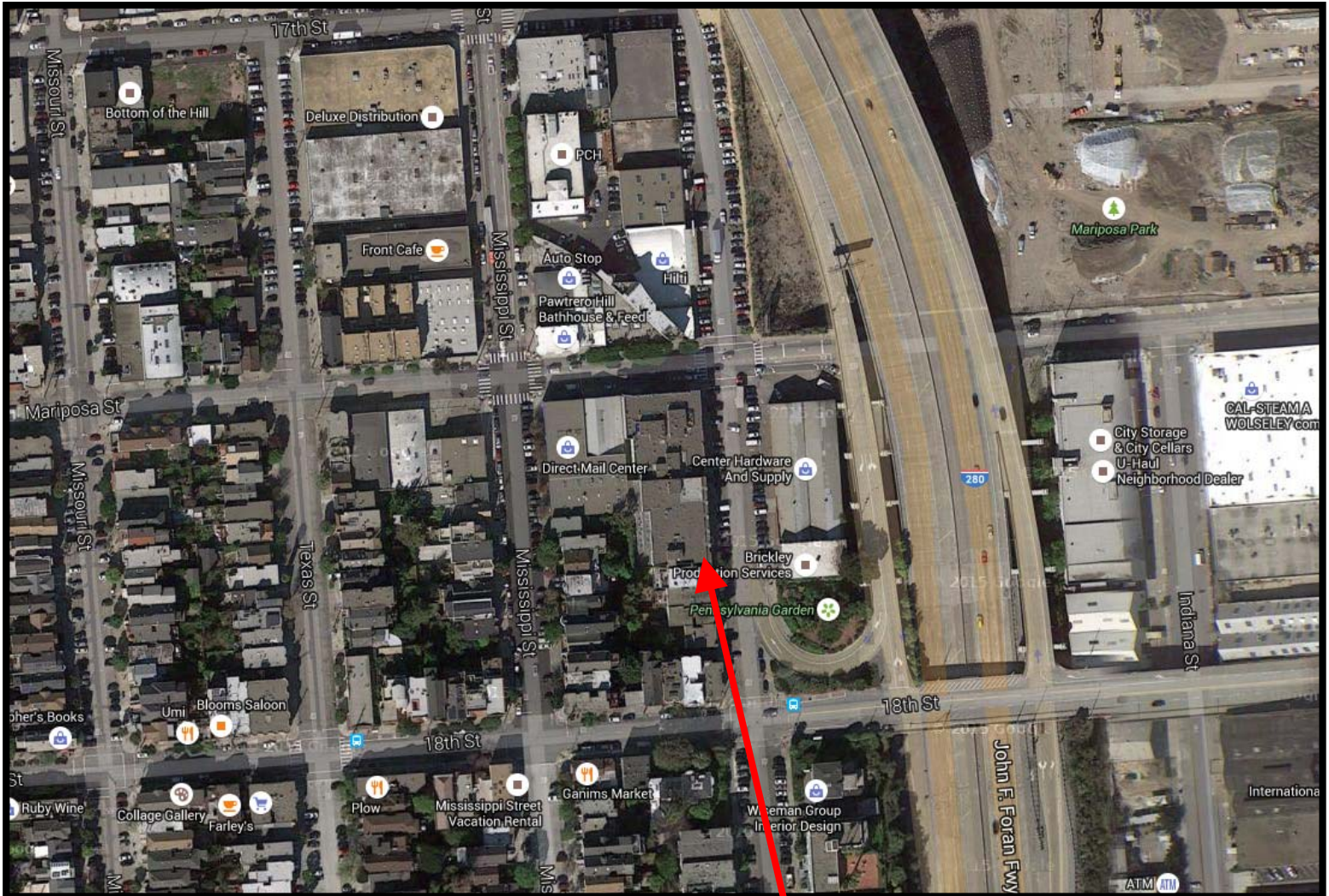
RS: G:\Documents\DR\2014.1022DRP 208 Pennsylvania St\DR_208 Pennsylvania Ave.docx

Parcel Map



Discretionary Review Hearing
Case Number 2014.1022DRP
208 Pennsylvania Avenue

Aerial Photo



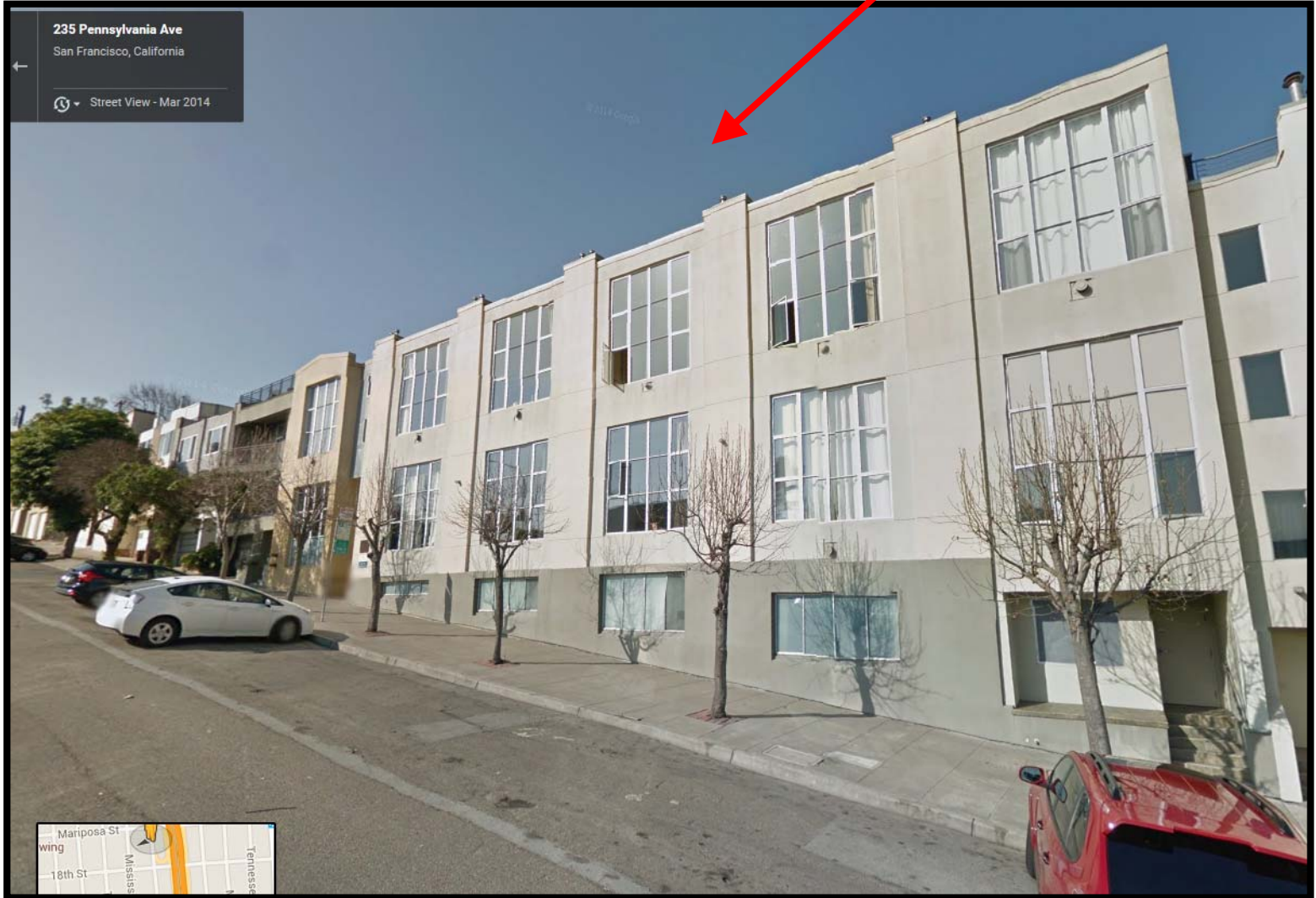
SUBJECT PROPERTY



Discretionary Review Hearing
Case Number 2014.1022DRP
208 Pennsylvania Avenue

Site Photo

SUBJECT PROPERTY

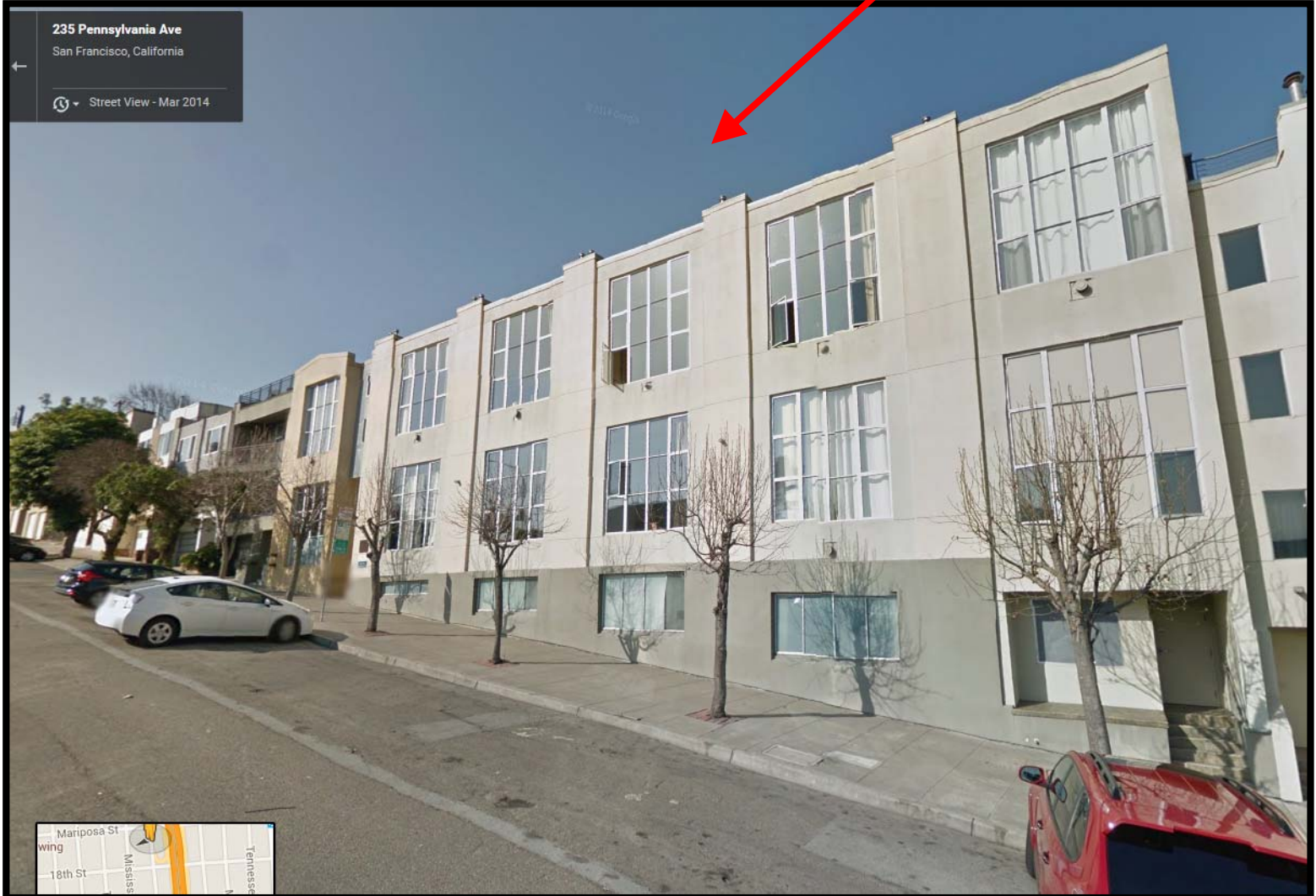


**208 Pennsylvania Avenue, March 2014
(Source: Google Maps; Accessed June 2, 2015)**

Discretionary Review Hearing
Case Number 2014.1022DRP
208 Pennsylvania Avenue

Site Photo

SUBJECT PROPERTY

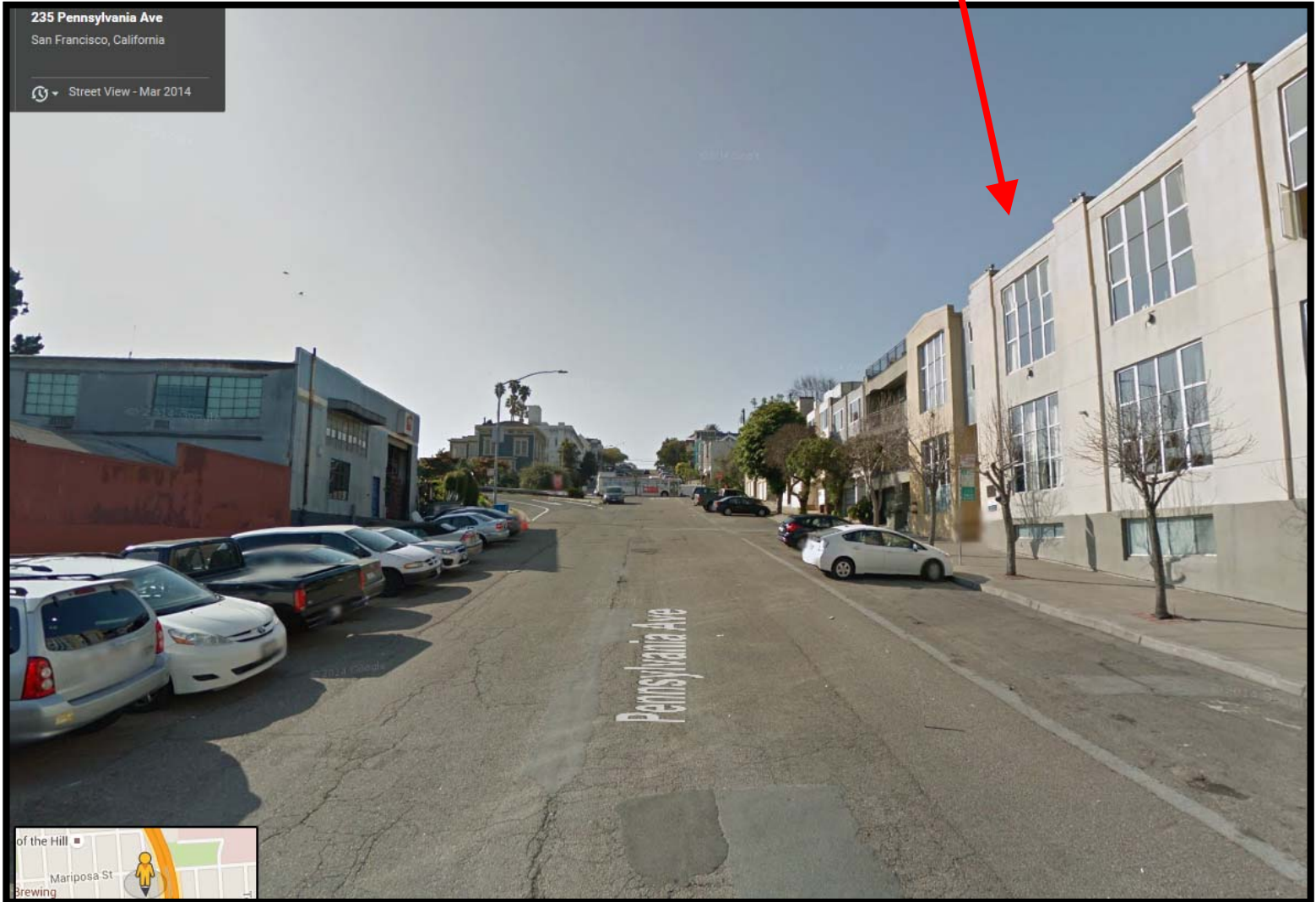


**208 Pennsylvania Avenue, March 2014
(Source: Google Maps; Accessed June 2, 2015)**

Discretionary Review Hearing
Case Number 2014.1022DRP
208 Pennsylvania Avenue

Site Photo

SUBJECT PROPERTY

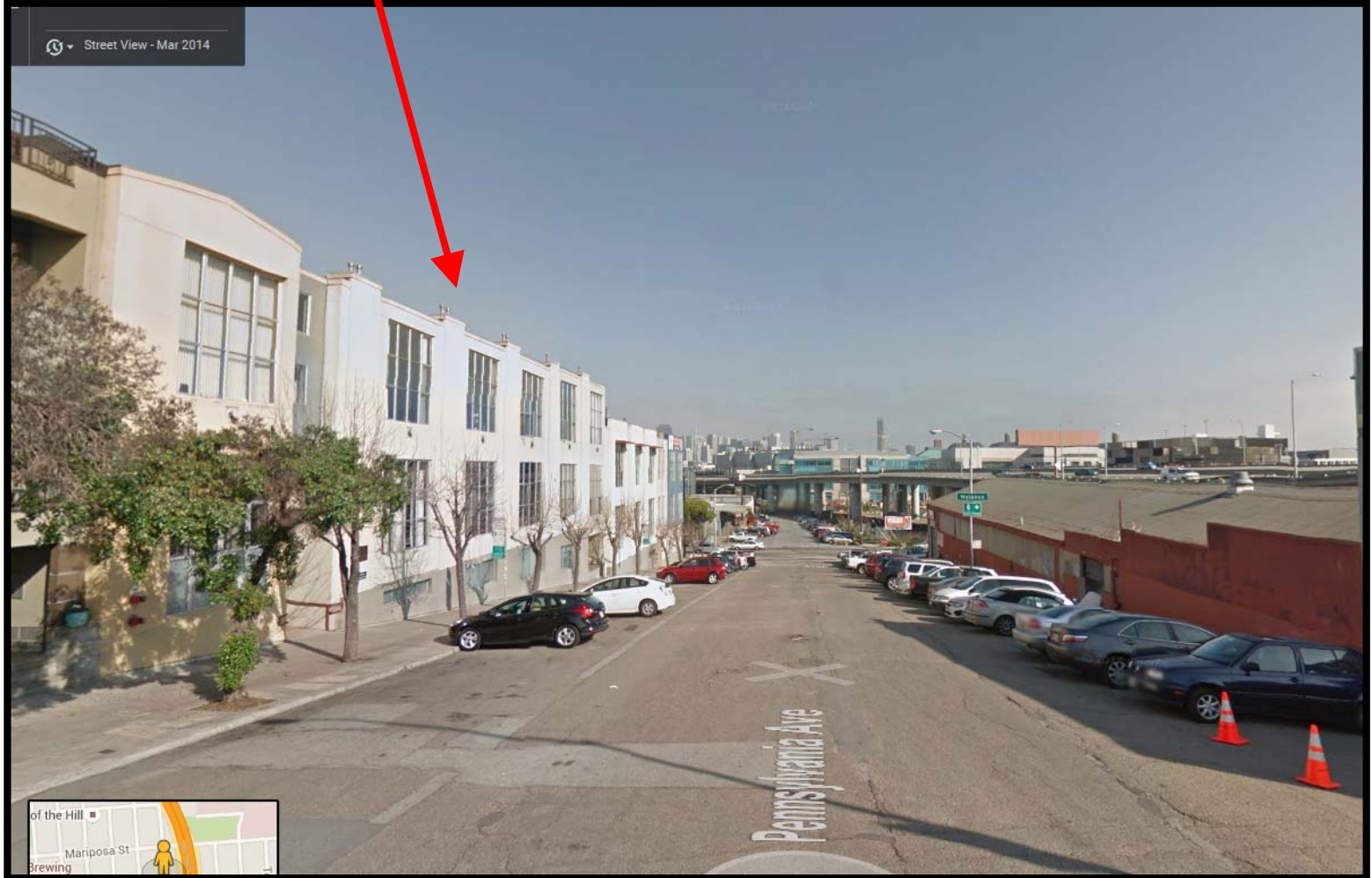


**Pennsylvania Avenue, Looking South
(Source: Google Maps; Accessed June 2, 2015)**

Discretionary Review Hearing
Case Number 2014.1022DRP
208 Pennsylvania Avenue

Site Photo

SUBJECT PROPERTY



**Pennsylvania Avenue, Looking North
(Source: Google Maps; Accessed June 2, 2015)**

Discretionary Review Hearing
Case Number 2014.1022DRP
208 Pennsylvania Avenue



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

NOTICE OF BUILDING PERMIT APPLICATION (SECTION 312)

On **October 17, 2014**, the Applicant named below filed Building Permit Application No. **2014.09.10.6023** with the City and County of San Francisco.

PROPERTY INFORMATION		APPLICANT INFORMATION	
Project Address:	208 Pennsylvania Avenue	Applicant:	Justin Chu, Essex Property Trust
Cross Street(s):	Mariposa Street and 18th Street	Address:	925 East Meadow Drive
Block/Lot No.:	4000/053-074	City, State:	Palo Alto, CA94303
Zoning District(s):	UMU / 40-X	Telephone:	(650) 463-6377

You are receiving this notice as a property owner or resident within 150 feet of the proposed project. You are not required to take any action. For more information about the proposed project, or to express concerns about the project, please contact the Applicant listed above or the Planner named below as soon as possible. If you believe that there are exceptional or extraordinary circumstances associated with the project, you may request the Planning Commission to use its discretionary powers to review this application at a public hearing. Applications requesting a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown below, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

PROJECT SCOPE		
<input type="checkbox"/> Demolition	<input type="checkbox"/> New Construction	<input type="checkbox"/> Alteration
<input checked="" type="checkbox"/> Change of Use	<input type="checkbox"/> Façade Alteration(s)	<input type="checkbox"/> Front Addition
<input type="checkbox"/> Rear Addition	<input type="checkbox"/> Side Addition	<input type="checkbox"/> Vertical Addition
PROJECT FEATURES	EXISTING	PROPOSED
Building Use	Live/Work	Live/Work & Residential
Front Setback	None	No Change
Side Setback	None	No Change
Building Depth	100-ft (Full Lot Depth)	No Change
Rear Yard (To Rear Wall)	None	No Change
Building Height	See Plans	No Change
Number of Stories	4	No Change
Number of Dwelling Units	0	4
Number of Live/Work Units	22	22
Number of Parking Spaces	25	No Change
PROJECT DESCRIPTION		
The proposal includes legalization of four dwelling units. The proposal would result in 22 live/work units and 4 dwelling units. The proposal does not include any exterior alterations to the subject property.		
In September 2014, the Zoning Administrator reviewed a request for variances from the Planning Code requirements for rear yard (Planning Code Section 134), open space (Planning Code Section 135), exposure (Planning Code Section 140) (See Case No. 2014.1022V). The issuance of the building permit by the Department of Building Inspection or the Planning Commission project approval at a discretionary review hearing would constitute as the Approval Action for the project for the purposes of CEQA, pursuant to Section 31.04(h) of the San Francisco Administrative Code.		

For more information, please contact Planning Department staff:

Planner: Rich Sucre
 Telephone: (415) 575-9108
 E-mail: richard.sucre@sfgov.org

Notice Date: 1/29/15
 Expiration Date: 2/28/15

中文詢問請電: (415) 575-9010

Para información en Español llamar al: (415) 575-9010

GENERAL INFORMATION ABOUT PROCEDURES

Reduced copies of the proposed project plans have been included in this mailing for your information. If you have questions about the plans, please contact the project Applicant listed on the front of this notice. You may wish to discuss the plans with your neighbors or neighborhood association, as they may already be aware of the project. If you have general questions about the Planning Department's review process, please contact the Planning Information Center at 1660 Mission Street, 1st Floor (415/ 558-6377) between 8:00am - 5:00pm Monday-Friday. If you have specific questions about the proposed project, you should contact the planner listed on the front of this notice.

If you believe that the impact on you from the proposed project is significant and you wish to seek to change the project, there are several procedures you may use. **We strongly urge that steps 1 and 2 be taken.**

1. Request a meeting with the project Applicant to get more information and to explain the project's impact on you.
2. Contact the nonprofit organization Community Boards at (415) 920-3820, or online at www.communityboards.org for a facilitated discussion in a safe and collaborative environment. Community Boards acts as a neutral third party and has, on many occasions, helped reach mutually agreeable solutions.
3. Where you have attempted, through the use of the above steps or other means, to address potential problems without success, please contact the planner listed on the front of this notice to discuss your concerns.

If, after exhausting the procedures outlined above, you still believe that exceptional and extraordinary circumstances exist, you have the option to request that the Planning Commission exercise its discretionary powers to review the project. These powers are reserved for use in exceptional and extraordinary circumstances for projects which generally conflict with the City's General Plan and the Priority Policies of the Planning Code; therefore the Commission exercises its discretion with utmost restraint. This procedure is called Discretionary Review. If you believe the project warrants Discretionary Review by the Planning Commission, **you must file a Discretionary Review application prior to the Expiration Date shown on the front of this notice.** Discretionary Review applications are available at the Planning Information Center (PIC), 1660 Mission Street, 1st Floor, or online at www.sfplanning.org. You must submit the application in person at the Planning Information Center (PIC) between 8:00am - 5:00pm Monday-Friday, with all required materials and a check payable to the Planning Department. To determine the fee for a Discretionary Review, please refer to the Planning Department Fee Schedule available at www.sfplanning.org. If the project includes multiple building permits, i.e. demolition and new construction, a **separate request for Discretionary Review must be submitted, with all required materials and fee, for each permit that you feel will have an impact on you.**

Incomplete applications will not be accepted.

If no Discretionary Review Applications have been filed within the Notification Period, the Planning Department will approve the application and forward it to the Department of Building Inspection for its review.

BOARD OF APPEALS

An appeal of the Planning Commission's decision on a Discretionary Review case may be made to the **Board of Appeals within 15 calendar days after the building permit is issued** (or denied) by the Department of Building Inspection. Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

ENVIRONMENTAL REVIEW

This project has undergone preliminary review pursuant to California Environmental Quality Act (CEQA). If, as part of this process, the Department's Environmental Review Officer has deemed this project to be exempt from further environmental review, an exemption determination has been prepared and can be obtained through the Exemption Map, on-line, at www.sfplanning.org. An appeal of the decision **to exempt the proposed project from CEQA may be made to the Board of Supervisors within 30 calendar days** after the project approval action identified on the determination. The procedures for filing an appeal of an exemption determination are available from the Clerk of the Board at City Hall, Room 244, or by calling (415) 554-5184.

Under CEQA, in a later court challenge, a litigant may be limited to raising only those issues previously raised at a hearing on the project or in written correspondence delivered to the Board of Supervisors, Planning Commission, Planning Department or other City board, commission or department at, or prior to, such hearing, or as part of the appeal hearing process on the CEQA decision.

208 PENNSYLVANIA AVE.

INTERIOR IMPROVEMENTS TO LIVE/WORK LOFTS AT: 208 PENNSYLVANIA AVENUE, SAN FRANCISCO, CA 94017



INTERIOR MODIFICATIONS TO LIVE/WORK LOFTS AT:

208 PENNSYLVANIA AVE.

208 Pennsylvania Ave.
San Francisco, CA 94107

GENERAL SCOPE OF WORK	PROJECT INFO	PROJECT DATA SUMMARY	DRAWING INDEX
<p>1. LEGALIZE ALL NON-CONFORMING UNITS TO COMPLY WITH CURRENT ADOPTED CODES BY CITY OF SAN FRANCISCO.</p>	<p>PROPERTY MANAGEMENT: ESSEX PROPERTY TRUST, INC. 925 E. MEADOW DRIVE PALO ALTO, CA 94303 CONTACT: JUSTIN CHU TEL: 650.484.3700</p> <p>ARCHITECT: R&S ARCHITECTURE, INC. ANDREW RAYMUNDO, ARCHITECT CONTACT: JIMMY CHANG 915 TERMINAL WAY, SUITE C SAN CARLOS, CA 94070 TEL: 650.802.6865</p>	<p>OCCUPANCY: RI-B TYPE OF CONSTRUCTION: V-A ZONE: U.M.U. SPRINKLERS: YES STORIES: FOUR EXISTING LOT AREA: 11,500 SQ.FT. EXISTING BLDG.: 10,289 SQ.FT. TOTAL NO. OF EXISTING UNITS: 26 TOTAL NO. OF EXISTING PARKING STALLS: 25 (UNCHANGED)</p>	<p>ARCHITECTURAL: A.0.0 TITLE SHEET A.0.1 GENERAL NOTES A.1.0 SITE PLAN A.2.0 EXISTING BUILDING PLANS: BASEMENT & 1ST FLOOR A.2.1 EXISTING BUILDING PLANS: 2ND FLOOR & 2ND FLOOR MEZZ A.2.2 EXISTING BUILDING PLANS: 3RD FLOOR & 3RD FLOOR MEZZ A.2.3 BUILDING PLANS: BASEMENT & 1ST FLOOR A.2.4 BUILDING PLANS: 2ND FLOOR & 2ND FLOOR MEZZ A.2.5 BUILDING PLANS: 3RD FLOOR & 3RD FLOOR MEZZ A.3.0 EXISTING PHOTOS</p> <p>ELECTRICAL: E.0.0 LEGEND, NOTES, SYMBOLS, SCHEDULES E.1.0 BASEMENT & FIRST FLOOR PLAN E.1.1 2ND & 2ND FLOOR MEZZANINE PLANS E.1.2 3RD & 3RD FLOOR MEZZANINE PLANS E.2.0 SINGLE LINE DIAGRAM E.3.0 ELECTRICAL LOAD CALCULATIONS</p>
GENERAL NOTES	APPLICABLE CODES	SYMBOLS	LOCATION MAP
<p>1. CONTRACTOR SHALL NOTIFY ARCHITECT IF THERE ARE ANY DISCREPANCIES BETWEEN THE REFERENCE DRAWINGS AND ACTUAL BUILT CONDITION, PRIOR TO CONSTRUCTION TO RESOLVE.</p> <p>2. IT IS THE INTENT OF THESE DOCUMENTS TO MAINTAIN THE EXISTING RATED WALL ASSEMBLIES.</p>	<p>2013 CALIFORNIA BUILDING CODE 2013 CALIFORNIA FIRE CODE 2013 CALIFORNIA ELECTRICAL CODE 2013 CALIFORNIA PLUMBING CODE 2013 CALIFORNIA MECHANICAL CODE 2013 ENERGY CODE COMPLIANCE ALL LOCAL CODES & ORDINANCES BY THE CITY OF SAN FRANCISCO</p>	<p>EXTERIOR ELEVATIONS ELEVATION NUMBER SHEET NUMBER</p> <p>ARCHITECTURAL DETAILS DETAIL NUMBER SHEET NUMBER</p> <p>LEGEND NOTES NOTE NUMBER</p>	

REVISIONS

TITLE SHEET

JOB: 1302	DRAWN BY: PLJ/N
SHEET NO. A0.0	

NOTES

GENERAL
 NO GUARANTEE FOR QUALITY OF CONSTRUCTION IS IMPLIED OR INTENDED BY THESE ARCHITECTURAL DOCUMENTS. THE GENERAL CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY AND ALL CONSTRUCTION DEFICIENCIES.

CONSTRUCTION IS ALWAYS LESS THAN PERFECT SINCE BUILDINGS REQUIRE THE COORDINATION AND INSTALLATION OF MANY INDIVIDUAL PARTS BY THE VARIOUS CONSTRUCTION INDUSTRY TRADES. THESE DOCUMENTS CANNOT PORTRAY ALL COMPONENTS OR ASSEMBLIES EXACTLY. IT IS THE INTENT OF THESE ARCHITECTURAL DOCUMENTS THAT THEY REPRESENT A REASONABLE STANDARD OF CARE IN THEIR CONTENT. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO FULLY RECOGNIZE AND PROVIDE THAT STANDARD OF CARE.

THE CONSTRUCTION ASSEMBLIES DEPICTED IN THESE DOCUMENTS MAY PROVIDE FOR THE CONTACT OF DISSIMILAR MATERIALS WHICH, WHEN FINISH COATED OR SUBJECTED TO MOIST WEATHER CONDITIONS MAY RESULT IN DISCOLORATION OF SOME OF THE MATERIAL SURFACES. THESE CONDITIONS MAY REQUIRE PERIODIC INSPECTION, MAINTENANCE AND/OR REPAIRING OF THESE DISCOLORATIONS OTHER THAN NON-AFFECTED SURFACES.

THESE ARCHITECTURAL CONSTRUCTION DRAWINGS DESCRIBE THE REQUIREMENTS OF THE PROJECT FOR A BUILDING SYSTEM AND TO PREPARE ESTIMATES OF QUANTITY AND COSTS OF MATERIALS REQUIRED TO CONSTRUCT THE PROJECT. THESE DRAWINGS PROVIDE FOR ONLY SCHEMATIC PLUMBING/MECHANICAL EQUIPMENT LAYOUT AND SCHEMATIC ELECTRICAL POWER AND LIGHTING LAYOUT AS PREPARED BY THE ARCHITECT WITHOUT ENGINEERING DESIGNS, DETAILS, CALCULATIONS OR SPECIFICATIONS.

BY USE OF THESE DOCUMENTS, THE CONTRACTOR ACKNOWLEDGES THAT THIS ARCHITECTURE, AS THE ARCHITECT IS THE AUTHOR OR AND THEREFORE RESPONSIBLE FOR THE INTERPRETATION OF THESE DESIGN DOCUMENTS AND THAT THE CONTENT, CONCEPTS OR BASIC DESIGN DEMONSTRATED BY THE DOCUMENTS SHALL NOT BE FURTHER DEVELOPED, INTERPRETED, CLARIFIED OR TRANSFERRED WITHOUT WRITTEN CONSENT FROM THE ARCHITECT.

CHANGES TO THE PLANS AND SPECIFICATIONS BY MEANS OF SHOP DRAWINGS BECOME THE RESPONSIBILITY OF THE PERSON INITIATING SUCH CHANGES.

ALL GENERAL NOTES, SHEET NOTES AND LEGEND NOTES FOUND IN THESE DOCUMENTS SHALL APPLY TYPICALLY THROUGHOUT. IF INCONSISTENCIES ARE FOUND IN THE VARIOUS NOTATIONS, NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING REQUESTING CLARIFICATION. IT IS THE EXPRESS INTENT OF THE PARTIES HERETO THAT THE ARCHITECT IS EXCLUDED FROM ANY LIABILITY WHATSOEVER, OCCASIONED BY THE CONTRACTORS FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

INsofar AS THERE ARE MANY VARIABLES INVOLVED IN THE EXECUTION OF THE WORK DESCRIBED IN THESE DOCUMENTS, THE ARCHITECT DOES NOT CARRY ANY WARRANTY EXPRESSED OR IMPLIED FOR THE WORK OR THE TRADES.

THESE DOCUMENTS ARE COMPLETE AS PREPARED BY THE ARCHITECT. ADDITIONAL DOCUMENTS, INCLUDING WRITTEN SPECIFICATIONS MAY BE PREPARED BY OTHERS AND USED TO SUPPLEMENT THE WORK OR FOR THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL SUPPLEMENTAL WORK IN CONFORMANCE WITH THESE DOCUMENTS.

THE CONTRACTOR SHALL, BY THE USE OF THESE DOCUMENTS, BE REQUIRED TO PROVIDE UNDERSTANDABLE AND THOROUGH INSTRUCTIONS TO THE OWNER ABOUT HISHER RESPONSIBILITIES FOR ON-SITE MAINTENANCE. THESE INSTRUCTIONS SHALL DESCRIBE PERIODIC INSPECTIONS AND PROCEDURES FOR MAINTENANCE OF BUILDING SYSTEMS AND MATERIALS. INCLUDES BUT NOT LIMITED TO: DRAINAGE, EROSION CONTROL, PLUMBING, MECHANICAL, PAINTS, WATERPROOFING, DECKING, ROOFING, GLAZING, PAINTING, SEALANTS, ETC. THE CONTRACTOR SHALL OBTAIN INFORMATION AND INSTRUCTIONS FROM THE VARIOUS SUBCONTRACTORS, INSTALLERS AND MANUFACTURERS REGARDING MAINTENANCE OF THEIR SPECIFIC PORTIONS OF WORK AND MATERIALS. ALL WARRANTIES AND/OR GUARANTEES SHALL BE IDENTIFIED. THESE INSTRUCTIONS SHALL BE WRITTEN SO AS TO HAVE THE HOMEOWNER PROMPTLY ALERT THE CONTRACTOR TO ANY UNUSUAL WEARNS OF MATERIALS OR MALFUNCTION OF COMPONENTS AND/OR ASSEMBLIES OF THE CONSTRUCTION. THE INSTRUCTIONS SHALL IDENTIFY THE EXPECTED USUAL WEARNS, MOVEMENTS OR DEFORMATION OF MATERIALS AND THEIR PROJECTED LIFE.

ALL WORK SHALL COMPLY WITH APPLICABLE CODES AND TRADE STANDARDS WHICH GOVERN EACH PHASE OF THE WORK, INCLUDING BUT NOT LIMITED TO: 2013 CALIFORNIA BUILDING CODE (CBC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA ELECTRICAL CODE (CEC), UNIFORM FIRE CODE (UFC), AMERICAN CONCRETE INSTITUTE (ACI), CALIFORNIA PLUMBING CODE (CPC), AND ALL APPLICABLE STATE AND/OR LOCAL CODES AND/OR LEGISLATION.

SITE EXAMINATION

THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL THOROUGHLY EXAMINE THE SITE AND FAMILIARIZE THEMSELVES WITH THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED. THE CONTRACTOR SHALL VERIFY AT THE SITE, ALL MEASUREMENTS AFFECTING HIS WORK AND SHALL BE RESPONSIBLE FOR THE CORRECTIONS OF SAME. NO EXTRA COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR EXPENSES DUE TO HIS NEGLIGENCE TO EXAMINE OR FAIL TO DISCOVER CONDITIONS WHICH AFFECT HIS WORK.

DIMENSION CONTROL

IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND ALL SUBCONTRACTORS TO CHECK AND VERIFY ALL CONDITIONS, DIMENSIONS, LINES AND LEVELS INDICATED, PROPER FIT AND ATTACHMENT OF ALL PARTS IS REQUIRED. SHOULD THERE BE ANY DISCREPANCIES, THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL IMMEDIATELY NOTIFY THE ARCHITECT FOR CORRECTION OR ADJUSTMENT. IN THE EVENT OF FAILURE TO DO SO, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTION OF ANY ERROR.

ALL DIMENSIONS AND CONDITIONS SHALL BE CHECKED AND VERIFIED ON THE JOB BY EACH SUBCONTRACTOR BEFORE BEING HIS WORK. ANY ERRORS, OMISSIONS OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER OR CONTRACTOR BEFORE CONSTRUCTION BEGINS. COMPLETION OF WORK BY THE CONTRACTOR AND/OR ANY SUBCONTRACTOR SHALL INDICATE A KNOWLEDGE AND ACCEPTANCE OF ALL CONDITIONS DESCRIBED IN THESE CONSTRUCTION DOCUMENTS, OR EXISTING ON SITE, WHICH COULD AFFECT THEIR WORK.

DIMENSION CONTROL HAS BEEN TAKEN FROM READY OBSERVABLE EXISTING CONDITIONS AND FIELD MEASUREMENTS. ADJUSTMENTS MAY HAVE TO BE EMPLOYED SHOULD AS-BUILT CONDITIONS VARY FROM ORIGINAL DOCUMENTS.

CONTROL OF APPROVAL

CONTRACTOR SHALL INCLUDE AND IMPLEMENT IN THE WORK ALL PERTINENT REQUIREMENTS FOR THIS PROJECT AS SET FORTH IN THE CONDITIONS OF APPROVAL BY THE CITY AGENCIES. A COPY OF THESE CONDITIONS IS AVAILABLE FROM THE OWNER AND ARCHITECT.

CONTINUING OPERATIONS

WHEN IT IS NECESSARY THAT THE OWNER CONTINUE PRESENT OCCUPANCY DURING THE CONSTRUCTION WORK, THE CONTRACTOR SHALL TAKE PRECAUTIONS WITH THE OWNER, SCHEDULE THE WORK SO AS NOT TO INTERFERE WITH NORMAL HOUSEHOLD OPERATIONS.

WORK SEQUENCE

IN THE EVENT THAT SPECIAL SEQUENCING OF THE WORK IS REQUIRED BY THE OWNER, THE CONTRACTOR SHALL ARRANGE A CONFERENCE BEFORE ANY SUCH WORK BEGINS.

MOISTURE PROTECTION

IT IS THE INTENT OF THESE DOCUMENTS TO PROVIDE DETAILS FOR CONSTRUCTION WHICH WILL RESULT IN A MOISTURE RESISTANT BUILDING ENVELOPE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT OF ANY EXCEPTION HE MAY TAKE TO ANY OF THE DETAILS OR METHODS DESCRIBED HEREIN. IF THE CONTRACTOR IS AWARE OF ALTERNATE MATERIALS OR METHODS THAT WILL BETTER SERVE THE INTENT, HE SHALL SO NOTIFY THE ARCHITECT. IN WRITING ALLOWING THE ARCHITECT TO MODIFY HIS DOCUMENTS ACCORDINGLY.

SHOULD ANY SPECIAL SITUATION OCCUR DURING CONSTRUCTION, INCLUDING VARIOUS CLIMATIC CONDITIONS WHICH NECESSITATE APPLICATIONS OR METHODS TO INSURE THE PROTECTION OF MATERIALS AND ASSEMBLIES, THE CONTRACTOR OR SUBCONTRACTOR (S) SHALL SO NOTIFY AND IMPLEMENT ANY OR ALL PROTECTIVE MEASURES.

ALL DOWNSPOUTS, SLOPPERS AND LEADERHEADS SHALL BE SIZED TO ACCOMMODATE TRIBUTARY ROOF AREAS SERVED. IT SHALL BE THE RESPONSIBILITY OF THE INSTALLER TO PROVIDE ANY AND ALL DESIGN, CALCULATIONS AND DATA THAT MAY BE REQUIRED IN SUPPORT OF THE SYSTEM. ALL RESPONSIBILITY FOR THE SYSTEM AND ITS FUNCTION SHALL BE BORNE BY THE SYSTEM DESIGNER AND/OR INSTALLER.

DEMOLITION NOTES

THESE ARCHITECTURAL DRAWINGS SHALL BE USED TO DETERMINE THE LIMITS OF NEW CONSTRUCTION AND EXISTING CONSTRUCTION TO REMAIN. THESE DRAWINGS ARE NOT INTENDED TO SHOW ALL EXISTING CONSTRUCTION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXTENT AND SCOPE OF EXISTING CONSTRUCTION TO BE REMOVED.

THE GENERAL CONTRACTOR SHALL PERFORM WORK IN OR ON THE EXISTING BUILDING. THIS CONSISTS PRINCIPALLY OF BUT NOT NECESSARILY LIMITED TO: THE CUTTING AND REPAIR OR REPLACEMENT OF PORTIONS OF THE EXISTING BUILDING AS SHOWN, OR AS NECESSARY FOR INSTALLATION OR REPAIR OF NEW WORK, OR REDEMOLING CALLED FOR IN DRAWINGS OR IN SPECIFICATIONS.

THE GENERAL CONTRACTOR SHALL MAKE ALL NECESSARY ARRANGEMENTS WITH OWNER FOR ENTRY AND EXECUTION OF WORK IN OR ON THE EXISTING BUILDING.

THE GENERAL CONTRACTOR SHALL ACCEPT THE SITE AS THEY FIND IT AND BE FAMILIAR WITH ITS CHARACTER AND THE TYPE OF WORK TO BE REMOVED. HE SHALL ENTERED OBSOLETE ON THE SITE ANY STRUCTURE OR PORTION THEREOF INDICATED TO BE REMOVED AND SHALL NOT REMOVE ANY STRUCTURE FROM THE SITE, EITHER AS A WHOLE OR SUBSTANTIALLY AS A WHOLE UNLESS NOT INDICATED. THE OWNER ASSUMES NO RESPONSIBILITY FOR THE CONDITION OF THE PORTIONS OF BUILDINGS TO BE REMOVED AND/OR DEMOLISHED.

THE GENERAL CONTRACTOR SHALL SEE THAT ALL SERVICES TO THE AREAS TO BE DEMOLISHED, SUCH AS WATER, GAS, STEAM, ELECTRICITY AND TELEPHONE LINES, ARE DISCONNECTED AT THE ENTRIES AS APPLICABLE, ALL IN ACCORDANCE WITH THE RESTRICTIVE RULES AND REGULATIONS GOVERNING THE UTILITIES INVOLVED.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES AND COORDINATE THEIR REMOVAL TO AVOID ANY INTERRUPTION OF SERVICE TO ADJACENT PROPERTIES.

THE GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL SHORING REQUIRED IN CONNECTION WITH THE DEMOLITION OPERATIONS, AND THE SUPPORTS SHALL HOLD THE EXISTING WORK THAT IS TO REMAIN IN PROPER POSITION UNTIL NEW SUPPORTING MEMBERS ARE INSTALLED TO THE PUBLIC.

AFTER WORK HAS BEEN STARTED, IT SHALL BE CARRIED OUT TO COMPLETION, PROMPTLY, EXPEDITIOUSLY AND IN AN ORDERLY MANNER USING THE METHODS COMMONLY EMPLOYED, AND AS PROVIDED UNDER THE CITY OR COUNTY CODE FOR DEMOLITION WORK AS APPLICABLE.

GENERALLY, THE GENERAL CONTRACTOR SHALL DO ANY CUTTING AND REMOVE ANY OR ALL ITEMS WHETHER SPECIFICALLY MENTIONED OR INDICATED WHICH OBVIOUSLY OR WILL INTERFERE WITH OR BECOME INCONSPICUOUS TO PROPOSED CONSTRUCTION FINISHES. WHEN ITEMS ARE QUESTIONABLE, HE SHALL NOTIFY THE ARCHITECT. THE GENERAL CONTRACTOR SHALL DISPOSE OF ITEMS TO CARE TO MAKE THAT MINIMUM CUTTING IS DONE.

SALVAGE

ALL ITEMS DEEMED SALVAGEABLE BY THE OWNER WILL EITHER BE INDICATED ON THE DRAWINGS, AND SHALL BE REMOVED PRIOR TO THE START OF DEMOLITION, OR WILL BE DIRECTED BY THE OWNER TO BE STORED BY THE CONTRACTOR AND SHALL REMAIN THE PROPERTY OF THE OWNER. ITEMS TO BE RELOCATED WILL BE INDICATED ON THE DRAWINGS, WITH THE EXCEPTION OF ANY SALVAGEABLE ITEMS AS DIRECTED BY THE OWNER TO BE RETAINED. ALL REMOVED STRUCTURES AND MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR. NO ITEMS OR CONTRACTOR SALVAGEABLE ITEMS SHALL BE STORED OR ACCUMULATED ON THE PREMISES.

SITE PROTECTION

THE GENERAL CONTRACTOR SHALL PROTECT ALL INTERIOR AND EXTERIOR EXISTING CONSTRUCTION THAT IS TO REMAIN, INCLUDING LANDSCAPING ALONG THE PROPERTY LINES, AS WELL AS ON ADJACENT LOTS. ANY DAMAGE OR LOSS RESULTING FROM NEW CONSTRUCTION WORK SHALL BE CORRECTED OR REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

THE GENERAL CONTRACTOR SHALL BE FAMILIAR WITH MUNICIPAL REGULATIONS AND CARRY OUT THE WORK IN COMPLIANCE WITH ALL FEDERAL AND STATE REQUIREMENTS TO REDUCE FIRE HAZARDS AND INJURIES TO THE PUBLIC.

THE GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL A TEMPORARY CONSTRUCTION FENCE, MEETING CITY STANDARDS, DURING CONSTRUCTION AND TAKE ALL MEASURES TO PROTECT THE PUBLIC FROM INJURY CAUSED BY SITE.

GLAZING REQUIREMENTS

ALL WINDOWS AND DOORS MUST MEET THE AIR AND INSULATION STANDARDS OF THE CURRENT ANSI AND SHALL BE CERTIFIED AND LABELED.

HEATING DESIGN TEMPERATURE

MINIMUM INSIDE WINTER DESIGN TEMPERATURE IS 10 DEGREES.

VAPOUR RETARDER AND AIR BARRIER

TO THE BEST OF THE ARCHITECTS KNOWLEDGE, THE CONSTRUCTION ASSEMBLIES REPRESENTED AND DETAILD IN THESE DOCUMENTS CONFORM TO THE SPIRIT OF CALIFORNIA ENERGY CONSERVATION REGULATIONS AS MANDATED IN THE TITLE 24 ENERGY COMPLIANCE STANDARDS. WHILE THESE REGULATIONS RELY IN A VERY TIGHT AIR AND MOISTURE EXTERIOR ENVELOPE, THE SELECTION OF SPECIFIC VAPOUR RETARDERS AND AIR BARRIERS, AND REBALANCING CLIMATIC CONDITIONS MAY AFFECT OR IMPACT OTHER MEMBERS WITHIN THE FLOOR, WALL, CEILING AND ROOF ASSEMBLIES. THE CONTRACTOR, SUBCONTRACTOR AND MATERIAL SUPPLIERS SHALL HAVE FULL RESPONSIBILITY IN SELECTION OF THESE MATERIALS AND SHALL EACH MAKE KNOWN TO ALL OTHERS ANY AND ALL EFFECTS OR IMPACTS THAT MAY OCCUR AND AFFECT THE SELECTION OF OTHER ASSEMBLY MATERIALS. PROCEDURES NECESSARY FOR PROPER CONSTRUCTION, THE CONTRACTOR SHALL FURTHER BE RESPONSIBLE FOR TESTING OF THESE ASSEMBLIES SHOULD IT BE REQUIRED OR DETERMINED TO STUDY THE PERFORMANCE OF THESE ASSEMBLIES AGAINST MOISTURE PENETRATION, MOISTURE ENTRAPMENT AND/OR ADVERSE EFFECTS ON THE DURABILITY, AESTHETICS, ENERGY USE EFFICIENCY AND REASONABLE COMFORT WITHIN THE BUILDING(S) AS MAY BE CAUSED BY MOISTURE INFILTRATION AND ENTRAPMENT.

HAZARDOUS MATERIALS

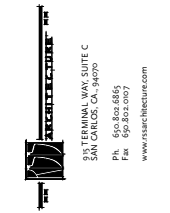
THE ARCHITECT AND THE ARCHITECTS CONSULTANTS ARE NOT 'OWNER OR OPERATOR' AS DEFINED UNDER NESHA# SECTION 112 OF THE CLEAN AIR ACT AND THEREFORE SHALL HAVE NO RESPONSIBILITY FOR THE DISCOVERY, PRESENCE, HANDLING, REMEDIATION, TRANSPORTATION, STORAGE OR DISPOSAL OF OR EXPOSURE OF PERSONS TO HAZARDOUS MATERIAL IN ANY FORM AT THE PROJECT PREMISES. INCLUDES BUT NOT LIMITED TO: ASBESTOS, ASBESTOS PRODUCTS, POLYCHLORINATED BIPHENYL (PCB), OR OTHER TOXIC SUBSTANCES.

FLASHING CONDITIONS

FLASHING CONDITIONS SHOWN IN THESE PLANS WILL REQUIRE REMOVAL OF (S) SIDING ON ADJACENT SURFACES. CONTRACTOR TO COORDINATE W/ ARCHITECT FOR FLASHING INSTALLATION FOR AREAS WHERE SIDING IS NOT SCHEDULED FOR REPLACEMENT.

ABBREVIATION LIST

SYMBOLS		ABBREVIATIONS		MATERIALS	
A	ANGLE	MAT	MATERIAL		
E	AND	MAX	MAXIMUM		
Ø	CENTER LINE	MEGL	MECHANICAL		
C	CONCRETE	MEBR	MEMBRANE		
Ø	DIMETER OR ROUND	MFR	MANUFACTURER		
d	PIVOT	MIN	MINIMUM		
#	NUMBER OF SQUARE FEET	MTR BDRM	MATR. BEDRM		
A.B.	ANCHOR BOLT	NFL	NETFL		
A.B.	ABOVE	N	NEW		
A.C. DRWS	ARCHIT. CONSTRUCTION DRAWINGS	N.I.C.	NOT IN CONTRACT		
A.C.	AREA CONCRETE	N.T.S.	NOT TO SCALE		
A.D.	AREA DRAIN				
ADH.	ADHESIVE	O	OVER		
ADJ.	ADJUSTER	ON	ON CENTER (S)		
AFF.	ASBESTOS FINISH FLOOR	OP	OPPOSITE END		
A.L.T.	ALTERNATE	OPNS	OPENING		
ALUM.	ALUMINUM	OPP	OPPOSITE		
ANG.	ANGLE	PAN.	PANTRY		
BA.	BATHROOM	PDR.	POWER ROOM		
BD.	BOARD	PL.	PLATE		
BDRM.	BEDROOM	PLAM.	PLASTIC LAMINATE		
BLDG.	BUILDING	PLSTR.	PLASTER		
BLKS.	BLOCKING	PVWD.	POLYWOOD		
B.M.	BEAM	PREFAB.	PREFABRICATED		
BTM.	BOTTOM	PREP.	PRESSURE TREATED		
BOT.	BOTTOM	PRD.	PRESSURE TREATED DOUGLAS FR		
CAB.	CABINET	PT.SLAB	POST TENSION SLAB		
CEM.	CEMENT				
CEM.	CEMENT	RAS.	RETURN AIR GRILLE		
CLD.	CEILING	REF.	REFRIGERATOR		
CLO.	CLOSET	REG.	REGISTER		
CLR.	CLEAR	REQD.	REQUIRED		
COL.	COLUMN	RFM.	ROOM		
CONC.	CONCRETE	RWD.	REWOOD		
CONST.	CONSTRUCTION	REF.	REFER		
CONT.	CONTINUOUS				
CTR.	CENTER	S.C.	SOLID CORE		
D.	DRYER	SCH.	SCHEDULE		
DBL.	DOUBLE	S.G.D.	SGLD SLDNG GLASS DOOR		
DF.	DOUBLE FR. OR DRINKING FOUNTAIN	SHT.	SHEET		
DIA.	DIAMETER	SHL.	SHIM		
DIAS.	DIAGONAL	SPEC.	SPECIFICATION		
DPT.	DIP	STL.	STEEL		
DN. RM.	DINING ROOM	S.T.C.	SOUND TRANSMISSION CLASS		
DN.	DOWN	STR.	STORAGE		
D.S.	DOWNSPOUT	STRUCT.	STRUCTURE OR STRUCTURAL		
DET.	DETAIL	SUBFLR.	SUB-FLOOR		
DWG.	DRAWING	SQ.	SQUARE		
		SQ.FT.	SQUARE FOOT		
(S) or EXIST.	EXISTING	TEL.	TELEPHONE		
EPF.	EPOXY	TER.	EXTERIOR INSULATION FINISH SYSTEM		
ELEC.	ELECTRICAL	TOH.	TOILET		
EQ.	EQUAL	TOLP.	TOILET PAPER HOLDER		
EQUIP.	EQUIPMENT	TRP.	TYPICAL		
E.W.	EACH WAY				
EXT.	EXTERIOR	U.O.N.	UNLESS OTHERWISE NOTED		
F.A.U.	FLOORED AIR UNIT	VERT.	VERTICAL		
F.A.R.	FLOOR AREA RATIO	V.D.F.R.	VERTICAL DRAN DOUGLAS FR		
FD.	FLOOR DRAIN				
FIN.	FOUNDATION	W	WITH		
F.F.C.	FREE EXPOSURE CABINET	W.	WASHER		
FN.	FINISH	WD.	WOOD		
FLASHS.	FLASHING	WN.	WINDOW		
FL.	FLOOR	W.P.	WATERPROOFING		
F.O.C.	FACE OF CONCRETE	WR. SYS. BD.	WR. SYSTEM BOARD		
F.O.M.	FACE OF MASONRY	WT.	WEIGHT		
F.O.S.	FACE OF FILD	W.W.F.	WELDED WIRE FABRIC		
FRM.	FRAME				
FT.	FEET	YD.	YARD		
FTG.	FOOTING				
GA.	GAUSE	AGENCIES			
GAR.	GARAGE	A.A.	AMERICAN INSTITUTE OF ARCHITECTS		
G.D.	GARBAGE DISPOSAL	AAC	AMERICAN CONCRETE INSTITUTE		
GFI.	GROUND FAULT INTERRUPTER	ABC	AMERICAN INSTITUTE OF STEEL CONSTRUCTION		
G.I.	GLAZED IRON	ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE		
GULLAM.	GULLAM BEAM	ANS	AMERICAN NATIONAL STANDARDS INSTITUTE		
GYP BD.	GYPSEUM BOARD	ASTM	AMERICAN SOCIETY FOR TESTING & MATERIALS		
H.B.	HYPER BB	CAC	CALIFORNIA ADMINISTRATIVE CODE		
H.C.	HOLLOW CORE	CAE	CALIFORNIA BUILDING CODE		
H.W.D.	HARDWOOD	CEC	CALIFORNIA ELECTRICAL CODE		
H.Z.	HORIZONTAL	CMC	CALIFORNIA MECHANICAL CODE		
HR.	HOUR	CPC	CALIFORNIA PLUMBING CODE		
HT.	HOT	CONC.	CONSTRUCTION SPECIFICATION INSTITUTE		
HVAC	HEATING VENTILATION & AIR CONDITIONING	CBO	INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS		
I.L.C.	IMPACT INSULATION CLASS IN	NFPA	NATIONAL FIRE PROTECTION ASSOCIATION		
IN.	INCH	SHPCA	SHEET METAL & AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION		
INCL.	INCLUDE	UBC	UNIFORM BUILDING CODE		
INSUL.	INSULATION	ULC	UNIFORM FIRE CODE		
INT.	INTERIOR	ULS	UNDERWATER LABORATORIES, INC.		
		WC	WOODWORK INSTITUTE OF CALIFORNIA		
JAN.	JANITOR	ABBREVIATED CODES & STANDARDS			
KIT.	KITCHEN	ADA	AMERICANS WITH DISABILITIES ACT		
		ADAS	AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES		
LAM.	LAMINATE				
LAUND.	LAUNDRY				
LAU.	LAUNDRY				
LB. or #	POUND				
LN.	LINEN				
LV. RM.	LIVING ROOM				
LV. WT.	LIVING WEIGHT				



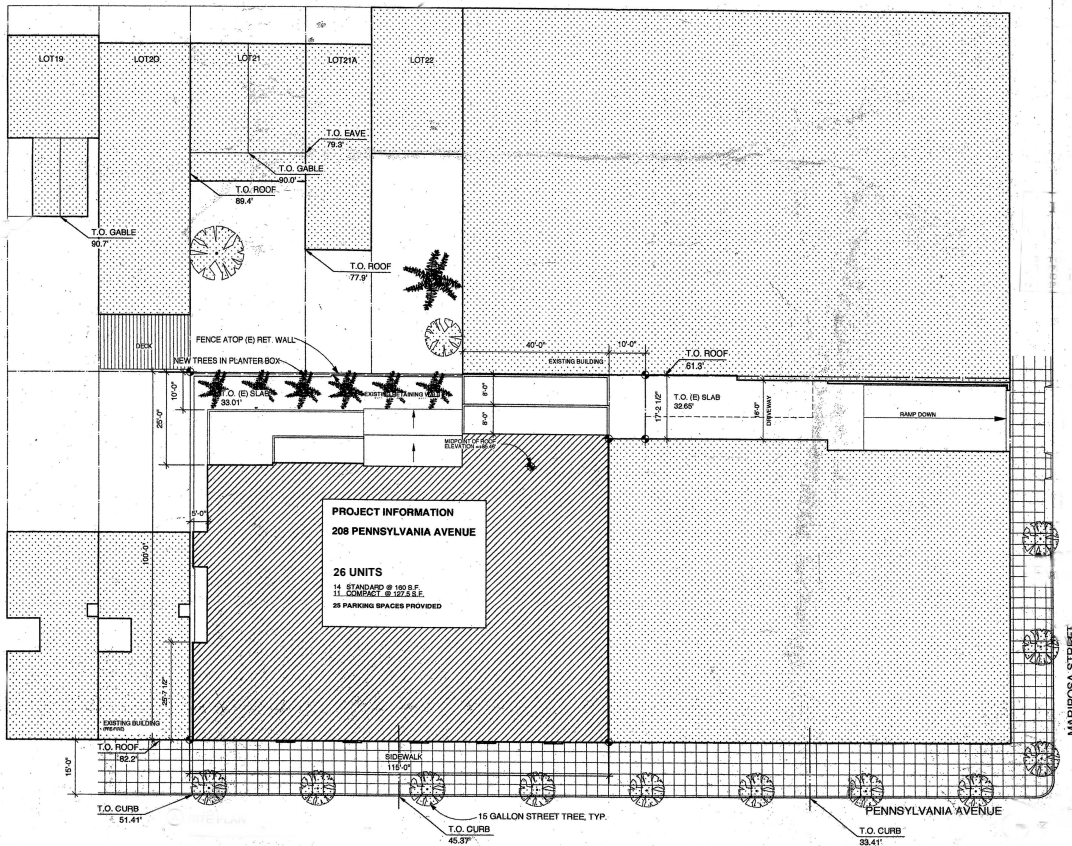
INTERIOR MODIFICATIONS TO LIVE/WORK LOFTS AT:
208 PENNSYLVANIA AVE.
 208 Pennsylvania Ave.
 San Francisco, CA 94107

REVISIONS	

GENERAL NOTES

JOB:	DRAWN BY:
1302	PL, JN

SHEET NO.
A0.1



1 SITE PLAN
SCALE: 1/16" = 1'-0"

SITE PLAN LEGEND

- EXISTING TO REMAIN
- EXISTING NEIGHBORING BUILDING
- PROJECT SITE

SITE PLAN NOTES

1. THIS PLAN IS SHOWN FOR REFERENCE INFORMATION ONLY AND IS INTENDED TO PROVIDE AN OVERALL PHASE OF THE PROJECT SITE. IT IS NOT TO BE USED TO ASCERTAIN THE PROJECT SCOPE NOR IS IT MEANT TO PROVIDE DETAILED INFORMATION FOR THE CONFIGURATION OF ANY BUILDING OR SITE COMPONENTS.



INTERIOR MODIFICATIONS TO LIVE/WORK LOFTS AT:

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SITE PLAN

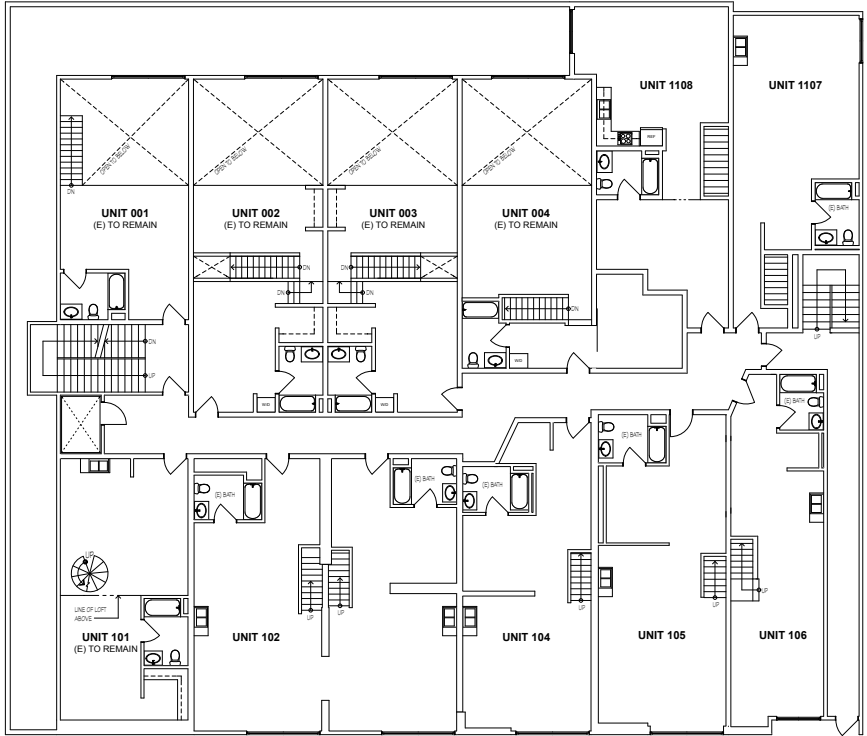
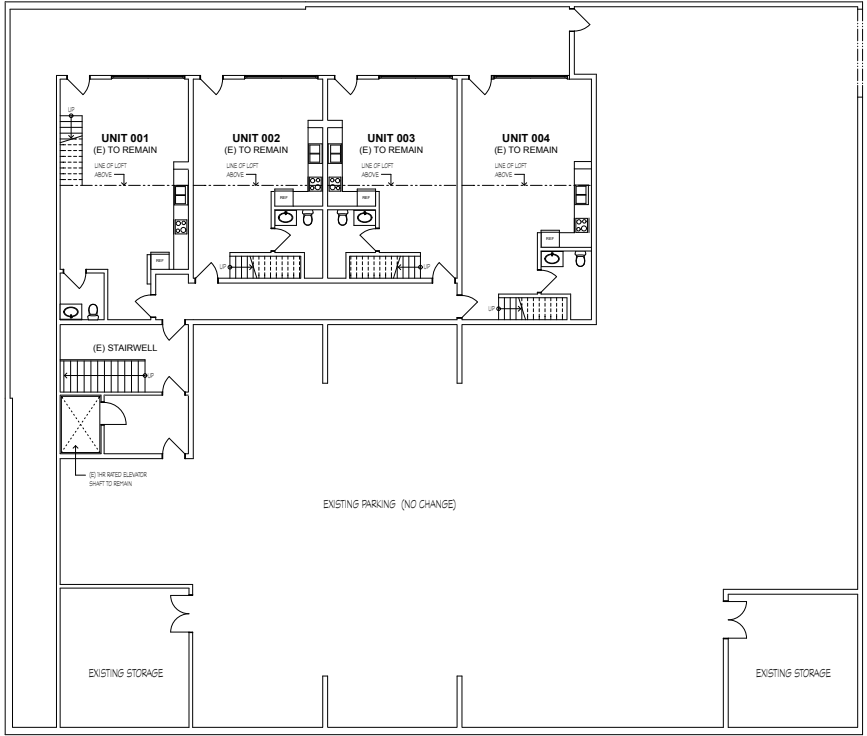
JOB: 1302	DRAWN BY: PLJ/N
SHEET NO.	



A1.0

PROPOSED UNIT DATA				26 UNITS
UNIT #	NOTES	EXISTING SQ FT	PROPOSED SQ FT	UNIT TYPE
001	(E) LIVEWORK	-	-	1BRPM
002	(E) LIVEWORK	-	-	1BRPM
003	(E) LIVEWORK	-	-	1BRPM
004	(E) LIVEWORK	-	-	1BRPM
101	(E) LIVEWORK	-	-	1BRPM
102	(E) LIVEWORK	622	1,630	1BRPM
103	(E) LIVEWORK	650	1,675	1BRPM
104	(E) LIVEWORK	696	1,690	1BRPM
105	(E) LIVEWORK	720	1,950	1BRPM
106	(E) LIVEWORK	1,675	1,675	1BRPM
107	DWELLING	843	843	STUDIO
108	DWELLING	1,126	1,126	STUDIO
109	DWELLING	878	878	1BRPM
109A	(E) LIVEWORK	830	830	1BRPM
110	(E) LIVEWORK	-	-	1BRPM
1101	(E) LIVEWORK	995	995	STUDIO
1109	(E) LIVEWORK	690	690	STUDIO
201	(E) LIVEWORK	-	-	1BRPM
202	DWELLING	2,065	1,070	1BRPM
202B	(E) LIVEWORK	-	995	1BRPM
203	(E) LIVEWORK	-	-	1BRPM
204	(E) LIVEWORK	-	-	1BRPM
205	(E) LIVEWORK	-	-	1BRPM
206	(E) LIVEWORK	-	-	1BRPM
207	(E) LIVEWORK	-	-	1BRPM
208	(E) LIVEWORK	-	-	1BRPM

BUILDING PLAN LEGEND	
	EXISTING NON-CONFORMING UNITS
	EXISTING WALL TO REMAIN
	NEW WALL TO MATCH EXISTING (NON-LOAD BEARING WALL, TYP.)



INTERIOR MODIFICATIONS TO LIVE/WORK LOFTS AT:

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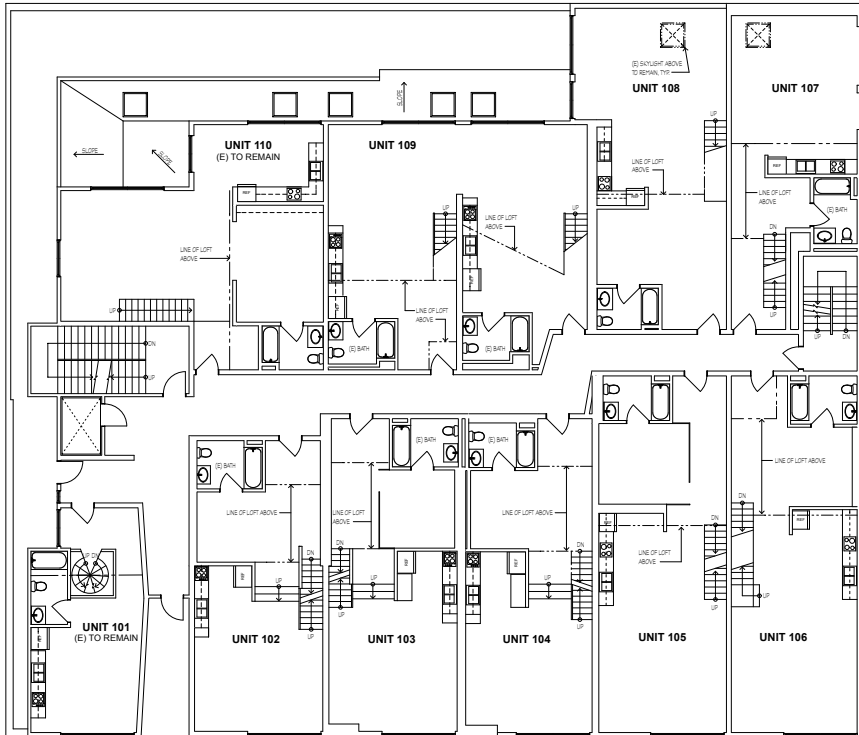
EXISTING BUILDING PLANS:
BASEMENT & 1ST FLOOR

JOB: 1302	DRAWN BY: PL, JN
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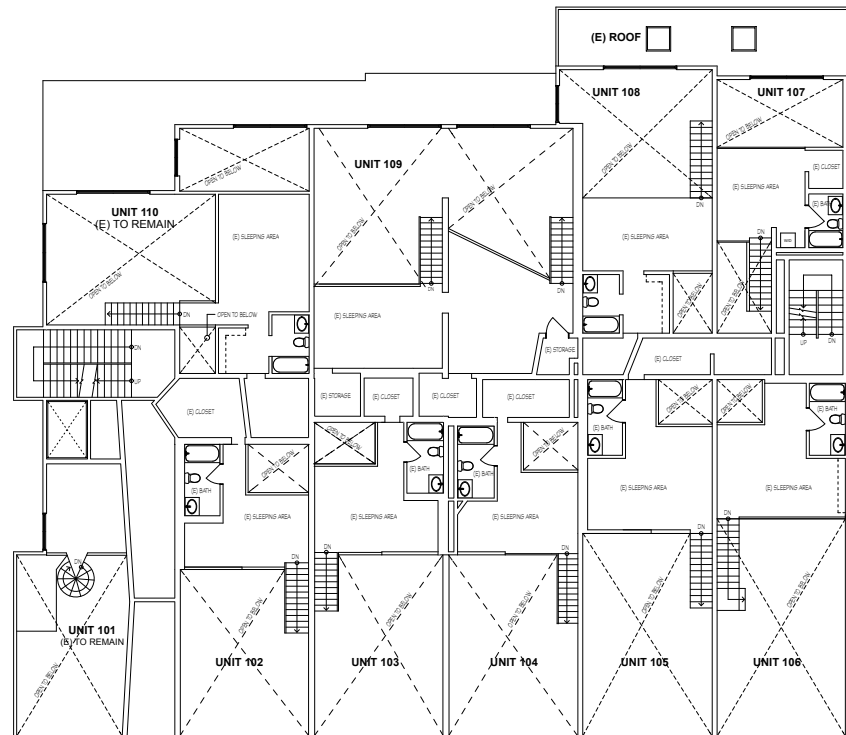
SHEET NO.
A2.0

LEGEND

SEE SHEET A2.0 FOR LEGEND NOT SHOWN



1 EXISTING 2ND FLOOR BUILDING PLAN
SCALE: 1/8" = 1'-0"



2 EXISTING 2ND FLOOR MEZZANINE BUILDING PLAN
SCALE: 1/8" = 1'-0"

INTERIOR MODIFICATIONS TO LIVE/WORK LOFTS AT:

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REVISIONS

EXISTING BUILDING PLANS:
2ND FLOOR & MEZZANINE

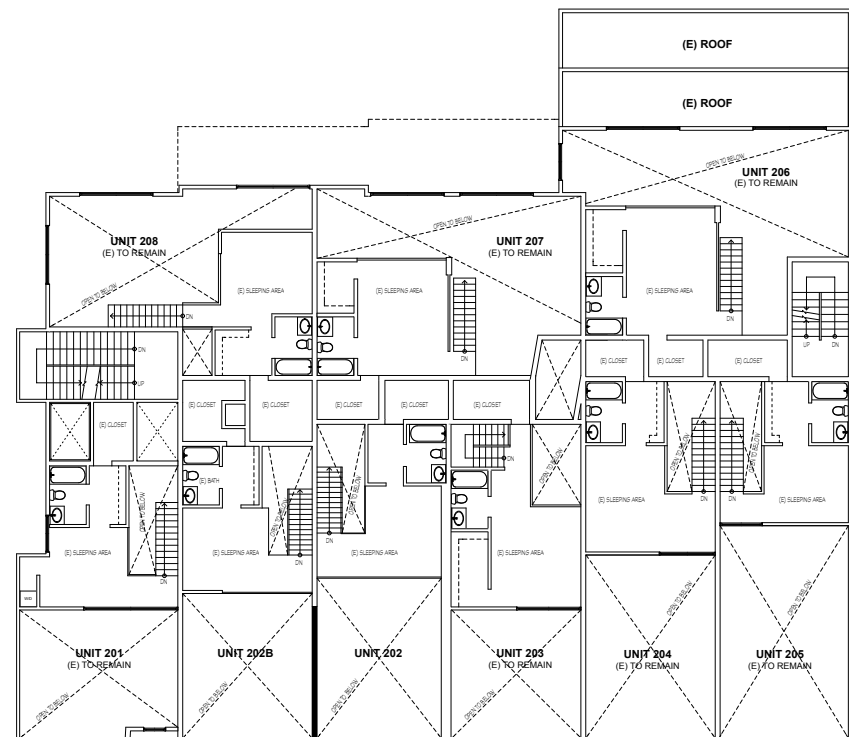
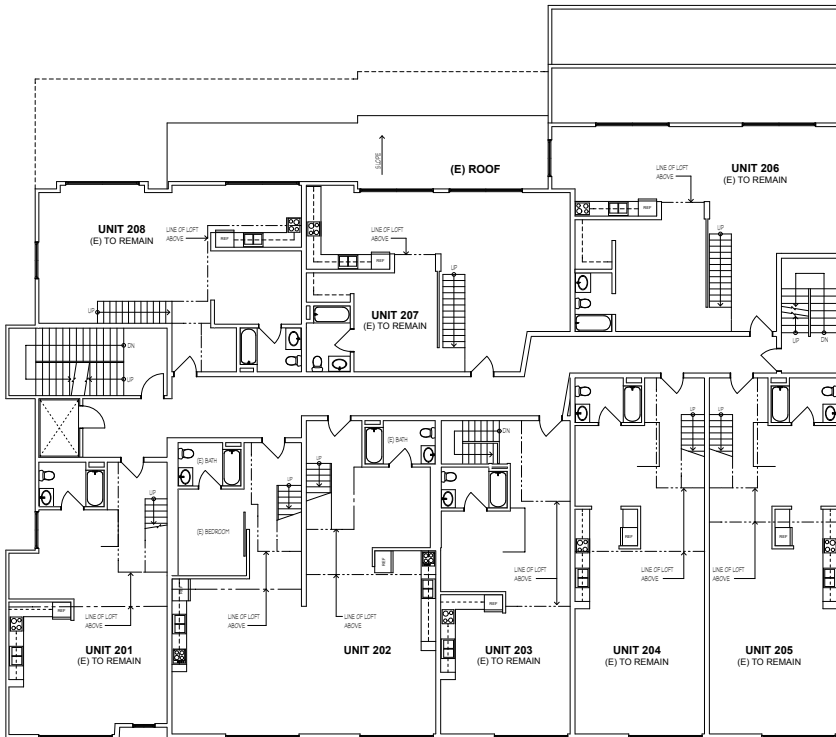
JOB: 1302	DRAWN BY: PL, JN
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SHEET NO.

A2.1

LEGEND

SEE SHEET A2.0 FOR LEGEND NOT SHOWN



1 EXISTING 3RD FLOOR BUILDING PLAN

SCALE: 1/8" = 1'-0"

2 EXISTING 3RD FLOOR MEZZANINE BUILDING PLAN

SCALE: 1/8" = 1'-0"

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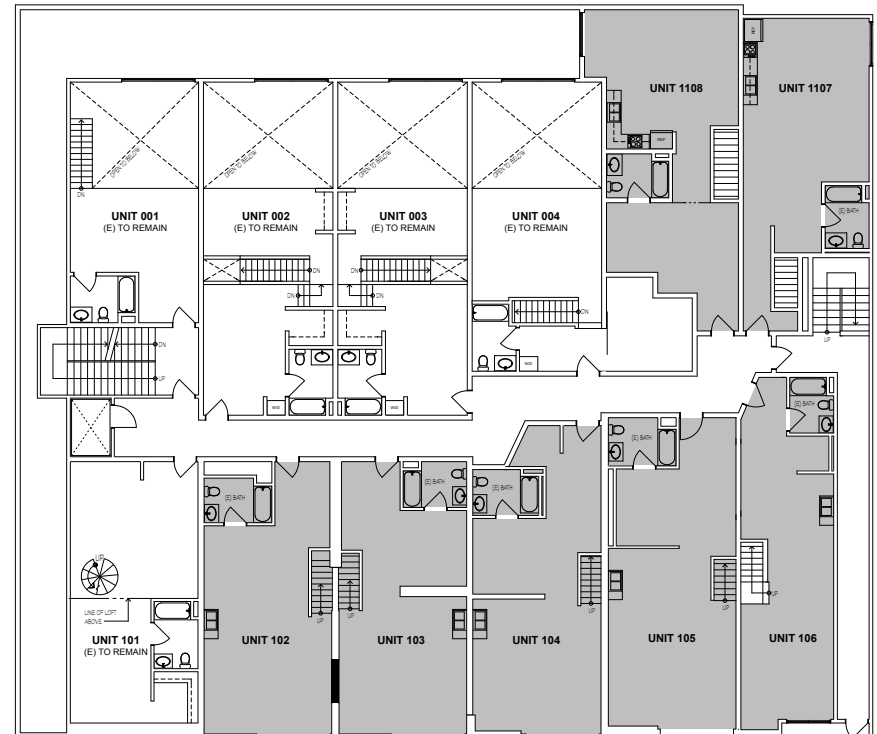
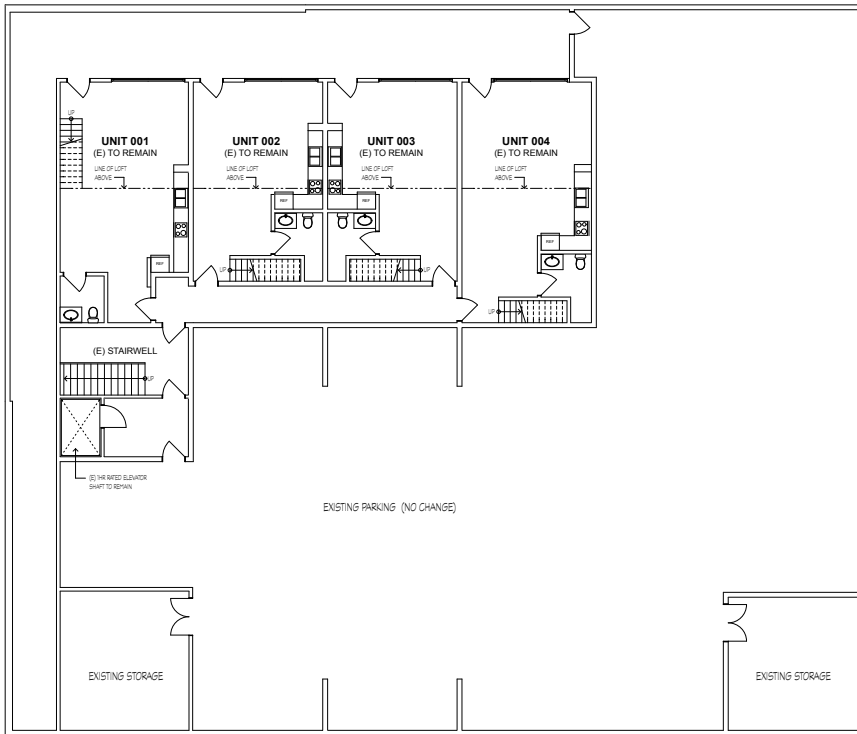
EXISTING BUILDING PLANS:
3RD FLOOR & MEZZANINE

JOB: 1302	DRAWN BY: PLJ/JN
SHEET NO.	

A2.2

LEGEND

SEE SHEET A2.0 FOR LEGEND NOT SHOWN



1 BASEMENT FLOOR BUILDING PLAN
SCALE: 1/8" = 1'-0"

2 1ST FLOOR BUILDING PLAN
SCALE: 1/8" = 1'-0"

INTERIOR MODIFICATIONS TO LIVE/WORK LOFTS AT:

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REVISIONS

BUILDING PLANS: BASEMENT & 1ST FLOOR

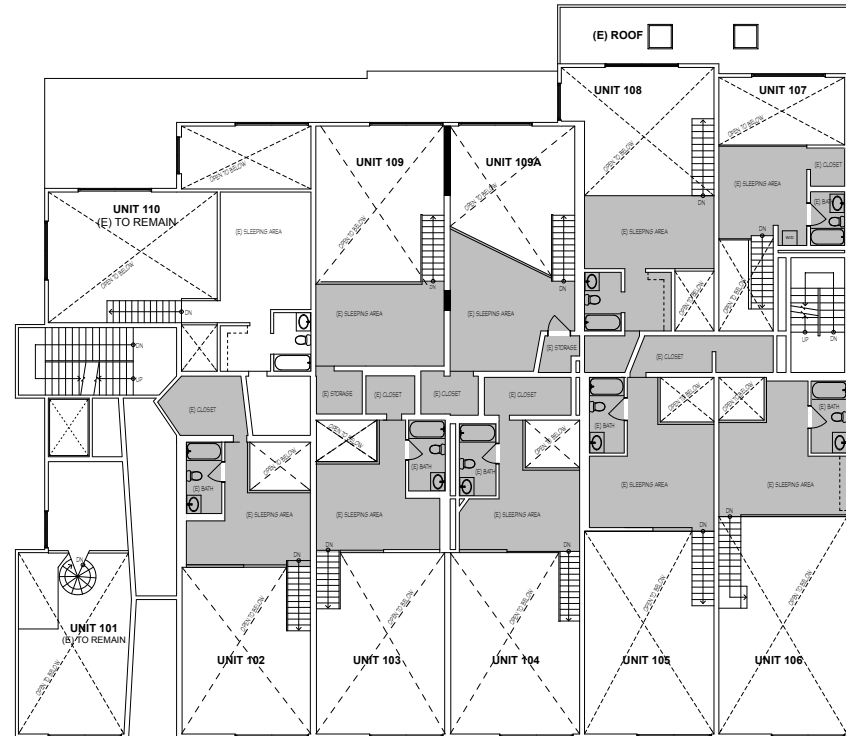
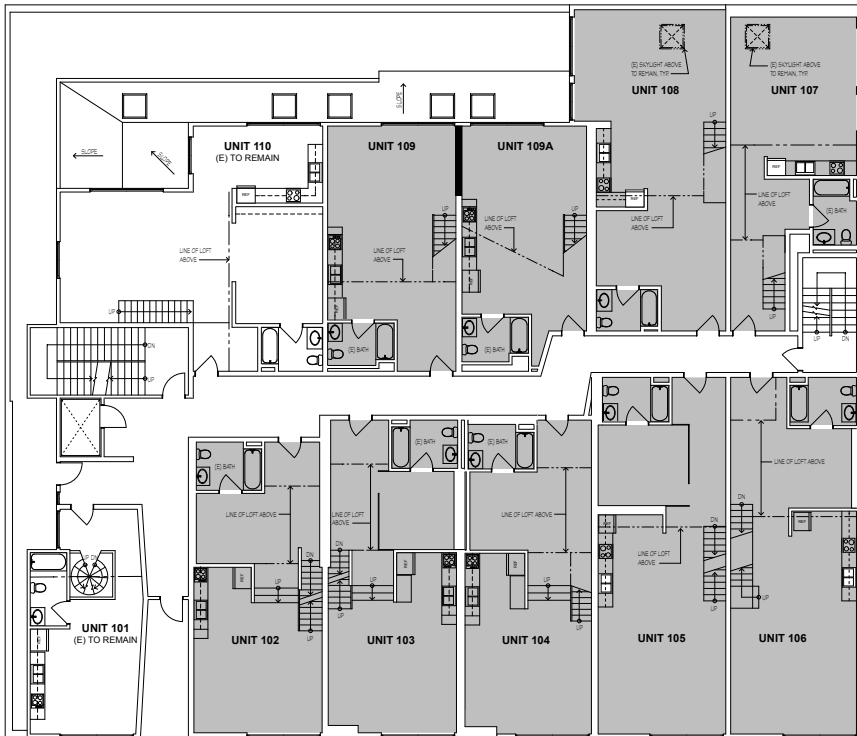
JOB: 1302	DRAWN BY: PLJ/JN
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SHEET NO.

A2.3

LEGEND

SEE SHEET A2.0 FOR LEGEND NOT SHOWN



1 2ND FLOOR BUILDING PLAN
SCALE: 1/8" = 1'-0"

2 2ND FLOOR MEZZANINE BUILDING PLAN
SCALE: 1/8" = 1'-0"

INTERIOR MODIFICATIONS TO LIVE/WORK LOFTS AT:

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REVISIONS

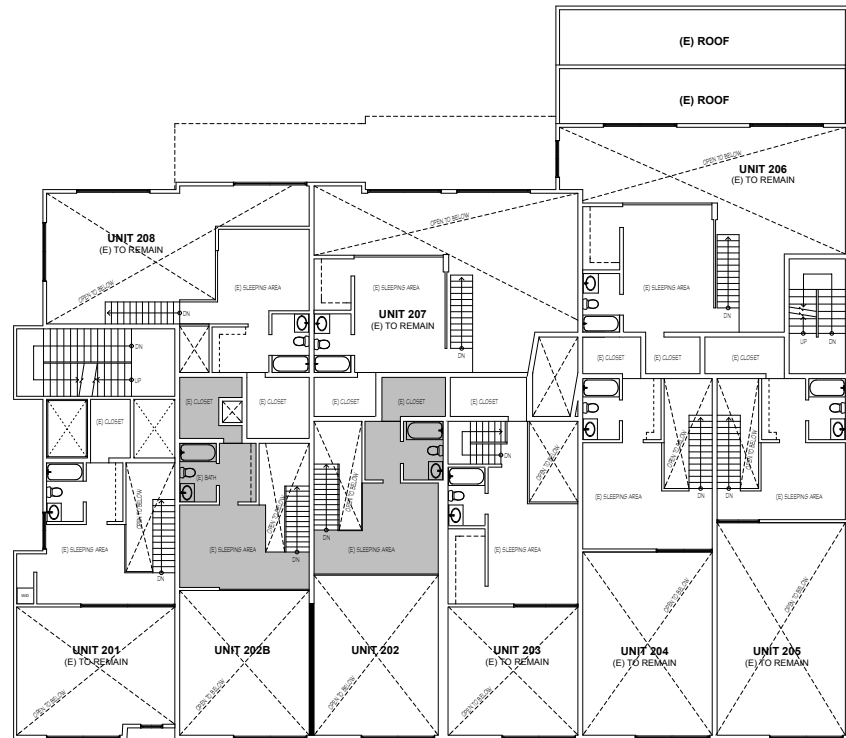
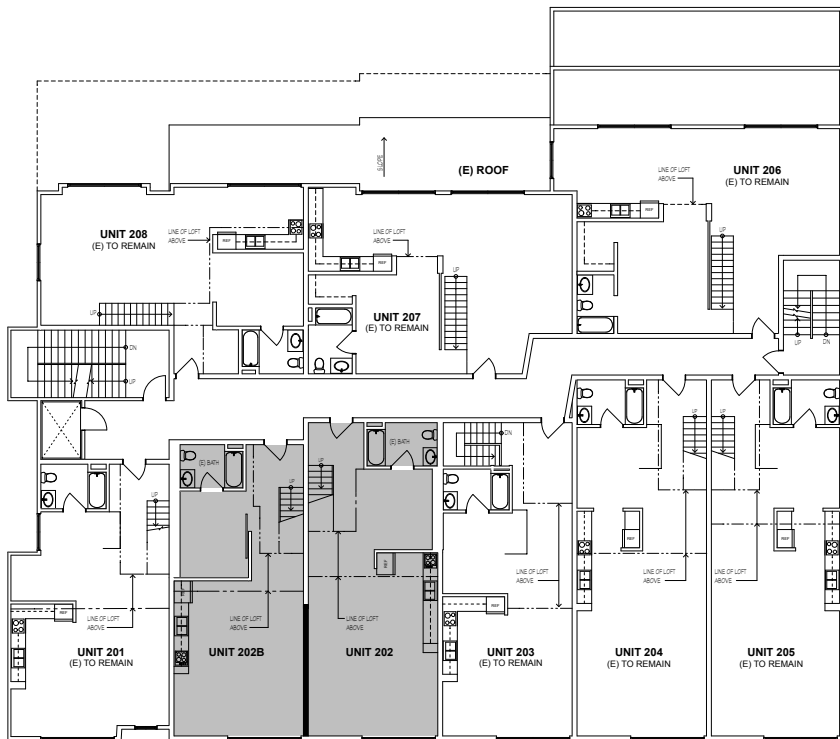
BUILDING PLANS: 2ND FLOOR & MEZZANINE

JOB:	DRAWN BY:
1302	PLJ/N

SHEET NO.
A2.4

LEGEND

SEE SHEET A2.0 FOR LEGEND NOT SHOWN



1 3RD FLOOR BUILDING PLAN
SCALE: 1/8" = 1'-0"

2 3RD FLOOR MEZZANINE BUILDING PLAN
SCALE: 1/8" = 1'-0"

INTERIOR MODIFICATIONS TO LIVE/WORK LOFTS AT:

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REVISIONS

BUILDING PLANS: 3RD FLOOR & MEZZANINE

JOB:	DRAWN BY:
1302	PLJ/N

SHEET NO.

A2.5



PATIOS @ LOWER UNITS



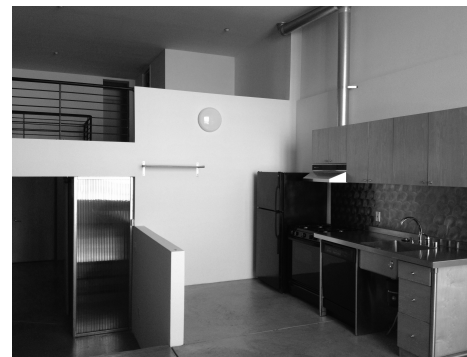
TYPICAL UNIT



TYPICAL UNIT



STREET VIEW



TYPICAL UNIT



INTERIOR MODIFICATIONS TO LIVE/WORK LOFTS AT:

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REVISIONS
EXISTING PHOTOS

JOB: 1302	DRAWN BY: PL, JN
SHEET NO. A3.0	

GENERAL NOTES

1. ALL WORK SHALL CONFORM TO THE 2011 NATIONAL ELECTRICAL CODE AND CALIFORNIA AMENDMENT (CEC-2013).
2. CONDUCTOR SIZING SHALL BE IN ACCORDANCE WITH ARTICLE 110-14(C) AND ARTICLE 310-15.
3. BONDING OF PIPING SYSTEM IN ACCORDANCE WITH ARTICLE 250-50 SHALL INCLUDE BONDING OF METALLIC WATER, GAS, FIRE SPRINKLER, COMPRESSED AIR AND OTHER METALLIC PIPING.
4. ALL ELECTRICAL EQUIPMENT AND DEVICES SHALL BE LISTED BY A NATIONALLY RECOGNIZED TESTING LABORATORY.

LEGEND

Lighting

(NOTE: LIGHTING FIXTURES ARE REFERENCED BY TAG (C). REFER TO LIGHTING FIXTURE SCHEDULE FOR DESCRIPTION.)

Switches and Devices

(NOTE: MOUNTING HEIGHTS SHALL MEASURE FORM TOP OF THE SWITCH OUTLET BOXES (48" AFF) AND BOTTOM OF THE RECEPTACLE OUTLET BOXES (15" AFF).)

(NOTE: ELECTRICAL SWITCHES AND RECEPTABLES SHALL BE LOCATED NO MORE THAN 48" TO THE TOP OF BOX, NORE LESS THAN 15" TO THE BOTTOM OF BOX ABOVE FINISHED FLOOR PER CEC-1117.6.5.

- SINGLE POLE WALL SWITCH, +48" AFF, UON (SUBSCRIPT INDICATES CONTROL).
- TWO SINGLE POLE SWITCH OR ONE 2 POLE SWITCH (WHERE SUBSCRIPT NOT SHOWN, INDICATES SLEVEL SWITCH PER TITLE 24).
- TWO POLE, THREE WAY, WALL SWITCHES, +48" AFF, UON.
- SINGLE POLE DIMMER WALL SWITCH, +48" AFF, UON.
- WALL MOUNTED OCCUPANCY SENSOR WITH MANUAL ON/OFF AND AUTOMATIC OFF. SENSOR CAN NOT HAVE AN OVERRIDE ALLOWING THE LIGHT FIXTURE TO BE CONTINUOUSLY ON. SENSOR NEEDS TO BE CERTIFIED TO COMPLY WITH 2005 TITLE 24 STANDARDS - SECTION 119-D LIGHTING REQUIREMENTS.
- DUPLEX RECEPTACLE OUTLET, NEMA 5-15R. INSTALLATION HEIGHT FROM THE BOTTOM OF THE BOX AS FOLLOWS:
 - GENERAL PURPOSE: CONVENIENCE OUTLET +15" AFF, UON.
 - KITCHEN COUNTER, ABOVE BACKSPASH AS COORDINATED W/ ARCHITECT.
 - BATHROOM SINK, ABOVE BACKSPASH AS COORDINATED W/ ARCHITECT.
 - RECEPTACLE FOR APPLIANCES: AS RECOMMENDED BY APPLIANCE MANUFACTURER.
 - ELECTRIC WATER COOLER, AS RECOMMENDED BY MANUFACTURER.
 - EXTERIOR +24" AFF, UON.
- (SUFFIX "C" INDICATES OUTLET ABOVE COUNTER OR VANTY. VERIFY EXACT LOCATION WITH ARCHITECT.)
- AS BUT GROUND FAULT INTERRUPTING (GFI).
- AS BUT HALF SWITCHED.
- AS BUT 2-CIRCUIT COMBINATION DUPLEX OR TWO DUPLEX RECEPTABLES WITH ONE CIRCUIT VIA SWITCH CONTROL, FOR DISPOSAL AND ONE CIRCUIT FOR DISHWASHER.
- AS BUT DOUBLE DUPLEX.
- 240 VOLT SINGLE PHASE APPLIANCE OUTLET NEMA TYPE AND INSTALLATION HEIGHT AS RECOMMENDED BY THE MANUFACTURER.
- MOTOR OUTLET AND CONNECTION INCLUDING MANUAL MOTOR STARTER, WHERE NOT SHOWN.
- MAGNETIC MOTOR STARTER.
- DISCONNECT SWITCH (*F* INDICATES FUSED - SIZE AS REQUIRED BY EQUIPMENT MANUFACTURER).
- MANUAL MOTOR STARTER SWITCH, HORSEPOWER RATED W/ OVERLOAD.
- CONVENIENCE RECEPTACLE IN FLOOR OUTLET BOX.
- CONVENIENCE RECEPTACLE IN CEILING OUTLET BOX.
- JUNCTION BOX (FLOOR, CEILING, AND WALL MOUNTED).

Signal

(NOTE: MOUNTING HEIGHTS MEASURED FORM THE CENTER OF OUTLETS.)

- TELEPHONE OUTLET: +15" AFF, UON.
- TELEVISION OUTLET: +15" AFF, UON.
- SELF CONTAINED SMOKE DETECTOR W/ AUDIO ALARM 120 VOLT AND BATTERY BACK. (IN HANDICAP ACCESSIBLE APARTMENT UNITS USE DEVICE WITH VISUAL ALARM.)
- PUSH BUTTON STATION: +48" AFF, UON.
- BUZZER/CHIME: +48"-67" AFF, UON. (IN HANDICAP ACCESSIBLE APARTMENT UNITS USE DEVICE WITH VISUAL SIGNAL.)

Wiring

(NOTE: WHERE RESIDENTIAL BUILDING OUTLETS AND LIGHTS ARE SHOWN, BUT INTERCONNECTION WIRING IS NOT INDICATED, THE CONTRACTOR SHALL PROVIDE COMPLETE WIRING. HE MAY USE NON-METALLIC SHEATHED CABLE FOR INTERCONNECTION WIRING AND HOME RUN TO THE LOAD CENTER, UON.

- BRANCH CIRCUIT HOMERUN. CROSS LINES INDICATE NUMBER OF #12 WIRES (UON), WHERE IN EXCESS OF 2. (NOT COUNTING REQUIRED EQUIPMENT GROUND IN PVC CONDUITS).
- CONDUIT CONCEALED IN CEILING OR WALL. NUMBER OF CONDUCTORS SHALL BE AS REQUIRED FOR THE CIRCUIT OR CONTROL SHOWN, UON.
- CONDUIT CONCEALED IN OR BELOW FLOOR OR GRADE. NUMBER OF CONDUCTORS SHALL BE AS REQUIRED FOR THE CIRCUITS OR CONTROL SHOWN, UON.
- TELEPHONE SYSTEM CONDUIT, 3/4" CO, UON.
- DATA SYSTEM CONDUIT, 3/4" CO, UON.
- GROUNDING RACEWAY AND WIRE.
- CONDUIT UP / CONDUIT DOWN.
- GROUND ROD.
- CONDUIT STUB-OUT.
- EQUIPMENT CONNECTION.

Panels

- PANELBOARDS AND LOAD CENTERS (SURFACE/RECESSED).
- TELEPHONE AND OTHER SIGNAL CABINET/BOARD.
- RELAY/CONTACTOR CABINET.

Single Line Diagram

- METER SOCKET.
- TRANSFORMER RATED METER SOCKET AND CT.
- NEUTRAL BUS.
- GROUND BUS.
- CIRCUIT BREAKER.
- FUSIBLE SWITCH.

Identification Tag

- SHEET NOTE.
- DETAIL OR SECTION.
- MECHANICAL EQUIPMENT.
- LIGHTING FIXTURE.
- REVISION.
- FEEDER TAG.
- KITCHEN OR OWNER EQUIPMENT.
- DETAIL/DIAGRAM NOTE.

Abbreviations

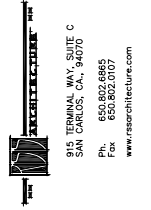
- AFF ABOVE FINISHED FLOOR
- CKT, C CIRCUIT
- C CONDUIT
- CO CONDUIT ONLY (WITH PULL WIRE)
- DISC DISCONNECT
- (E) EXISTING
- GFI GROUND FAULT INTERRUPTING
- GND GROUND
- JB JUNCTION BOX
- KAIC SHORT CIRCUIT RATING IN KILO AMPERE, SYMMETRICAL
- LTO LIGHTING
- MCC MOTOR CONTROL CENTER
- MH/HH MANHOLE/HANDHOLE
- NEC NOT IN THE ELECTRICAL WORK
- NL NIGHT LIGHT
- NTS NOT TO SCALE
- PNL PANEL
- RCPT RECEPTACLE
- SAD SEE ARCHITECTURAL DRAWINGS
- SLD SEE LANDSCAPE DRAWINGS
- SMD SEE MECHANICAL DRAWINGS
- SPD SEE PLUMBING DRAWINGS
- SWBD SWITCHBOARD
- TBD TO BE DETERMINED
- TRANS/XF TRANSFORMER
- TYP TYPICAL
- UON UNLESS OTHERWISE NOTED
- WP WEATHER PROOF

SCOPE OF WORK:

DOCUMENTING EXISTING ELECTRICAL MODIFICATIONS TO EXISTING APARTMENTS UNITS AND POSE ELECTRICAL METER ADDITION.

SHEET INDEX

SHEET #	SHEET TITLE
E0.0	LEGEND, NOTES, SYMBOLS, SCHEDULES
E1.0	BASEMENT & FIRST FLOOR PLANS
E1.1	2ND & 2ND FLOOR MEZANNINE PLANS
E1.2	3RD & 3RD FLOOR MEZANNINE PLANS
E2.0	SINGLE LINE DIAGRAM
E3.0	ELECTRICAL LOAD CALCULATIONS



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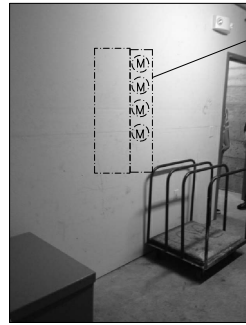
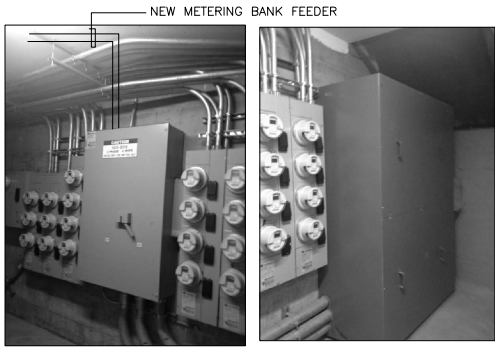
REVISIONS

LEGEND, NOTES, SYMBOLS

JOB:	DRAWN
1303	PI

SHEET NO.

E0.0



NEW METERING BANK

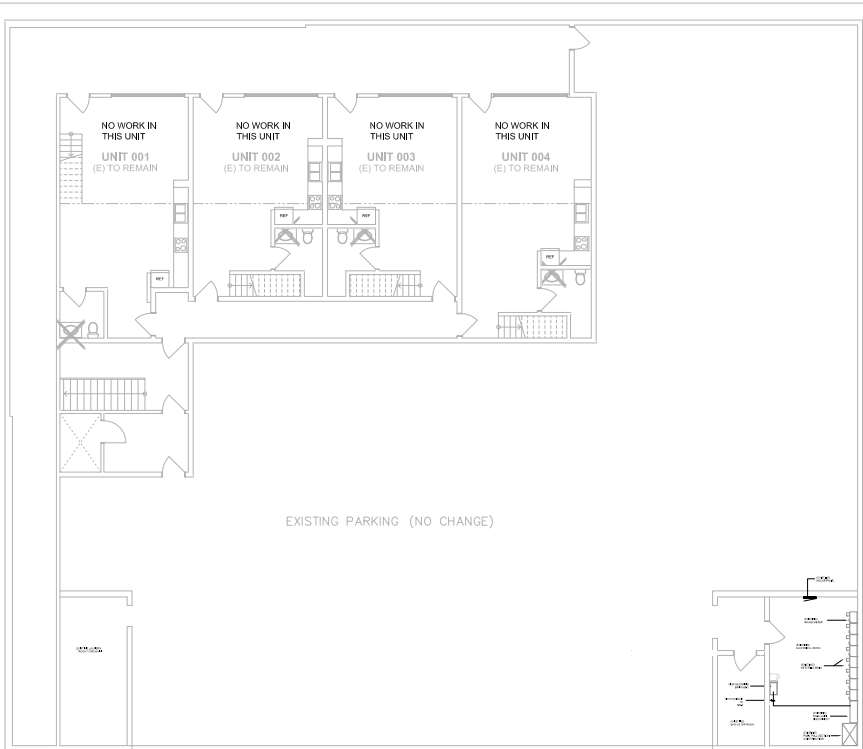
NOTE:

ALL ELECTRICAL OUTLETS, SWITCHES AND LIGHT FIXTURES ARE SHOWN FOR REFERENCE ONLY. THE ONLY SCOPE OF WORK IN SUBDIVIDED UNITS IS TO DISCONNECT EXISTING SUB-PANEL FROM EXISTING PANEL AND RE-FEED VIA NEW METERS AND FEEDERS IN THE GARAGE.

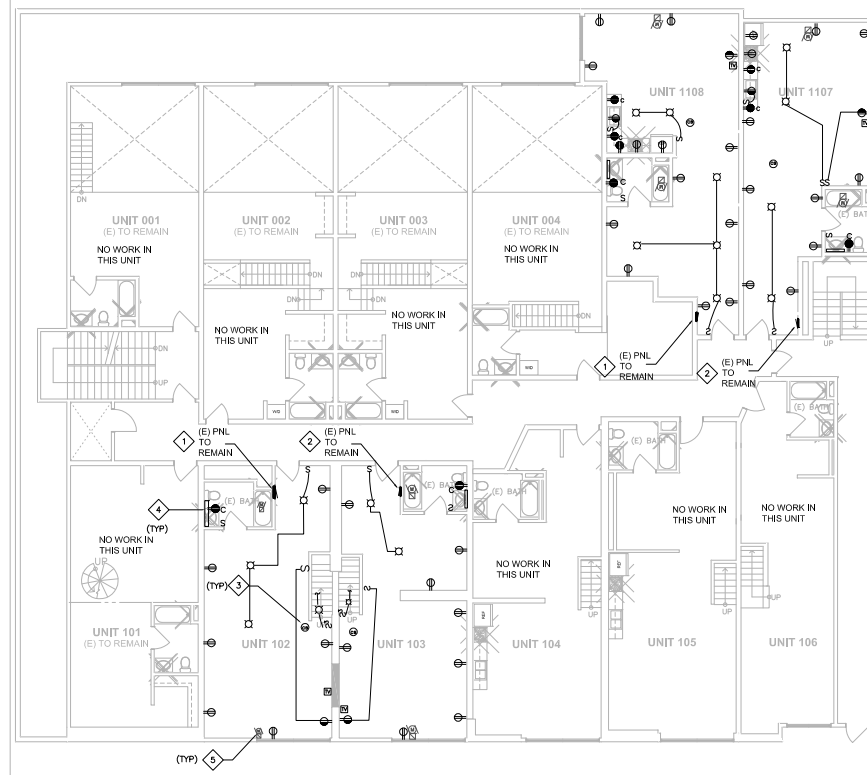
SHEET NOTES:

- 1 EXISTING PANEL TO REMAIN, DISCONNECT AND REMOVE (E) BREAKER AND FEEDER SERVING (E) SUB-PANEL IN ADJACENT UNIT. ALL OTHER BREAKERS AND WIRING TO REMAIN.
- 2 EXISTING SUB-PANEL TO REMAIN AS IS, DISCONNECT AND REMOVE EXISTING FEEDER AND CONNECT TO NEW. SEE SINGLE LINE DIAGRAM.
- 3 COMBINATION CARBON MONOXIDE AND SMOKE DETECTOR.
- 4 TYPICAL GFI OUTLET IN BATHROOM AND KITCHEN COUNTER.
- 5 EXISTING GAS HEATER.

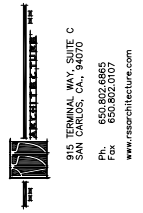
3 ELECTRICAL ROOM



1 BASEMENT PLAN
SCALE: 1/8" = 1'-0"



2 TYPICAL FIRST FLOOR BUILDING PLAN
SCALE: 1/8" = 1'-0"



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**BASEMENT &
FIRST FLOOR
PLAN**

JOB:
1303

DRAWN
PI

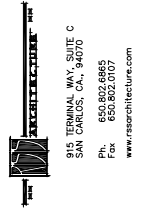
SHEET NO.

E1.0

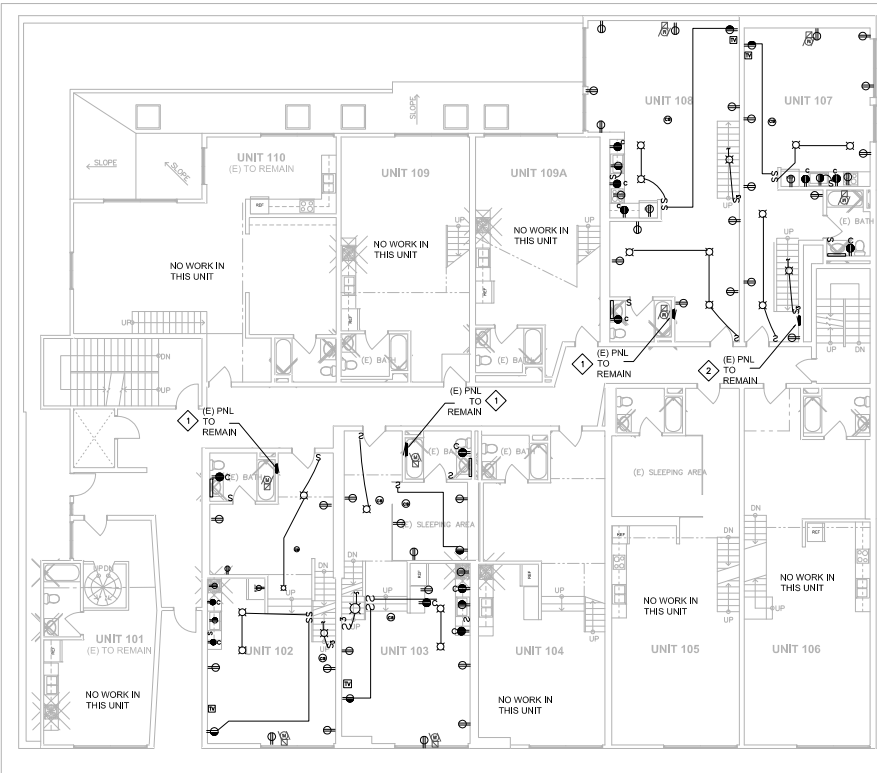
SHEET NOTES:
SEE E1-0 FOR SHEET NOTES.

NOTE:

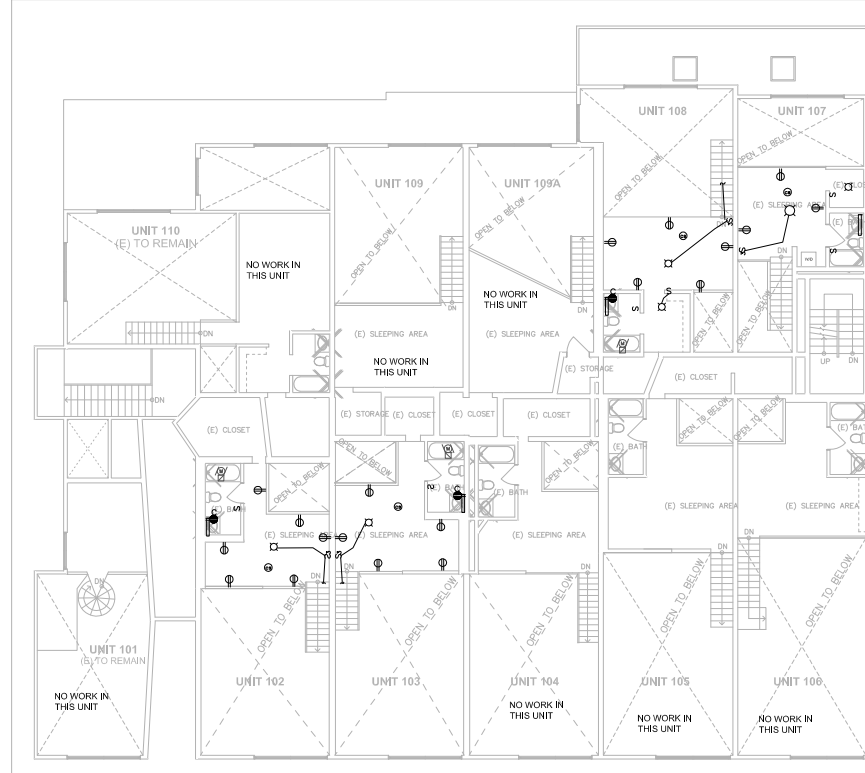
ALL ELECTRICAL OUTLETS, SWITCHES AND LIGHT FIXTURES ARE SHOWN FOR REFERENCE ONLY. THE ONLY SCOPE OF WORK IN SUBDIVIDED UNITS IS TO DISCONNECT EXISTING SUB-PANEL FROM EXISTING PANEL AND RE-FEED VIA NEW METERS AND FEEDERS IN THE GARAGE.



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1 TYPICAL 2ND FLOOR BUILDING PLAN
SCALE: 1/8" = 1'-0"



2 TYP. 2ND FLOOR MEZZANINE BUILDING PLAN
SCALE: 1/8" = 1'-0"

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REVISIONS

2ND & 2ND FLOOR MEZZANINE PLAN

JOB: 1303

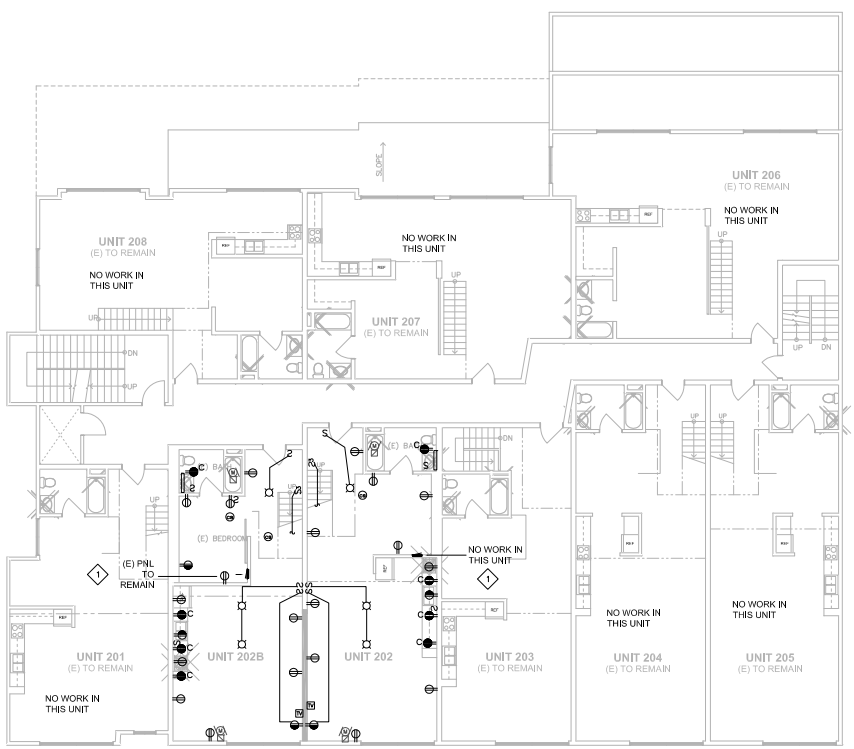
DRAWN: PI

SHEET NO.

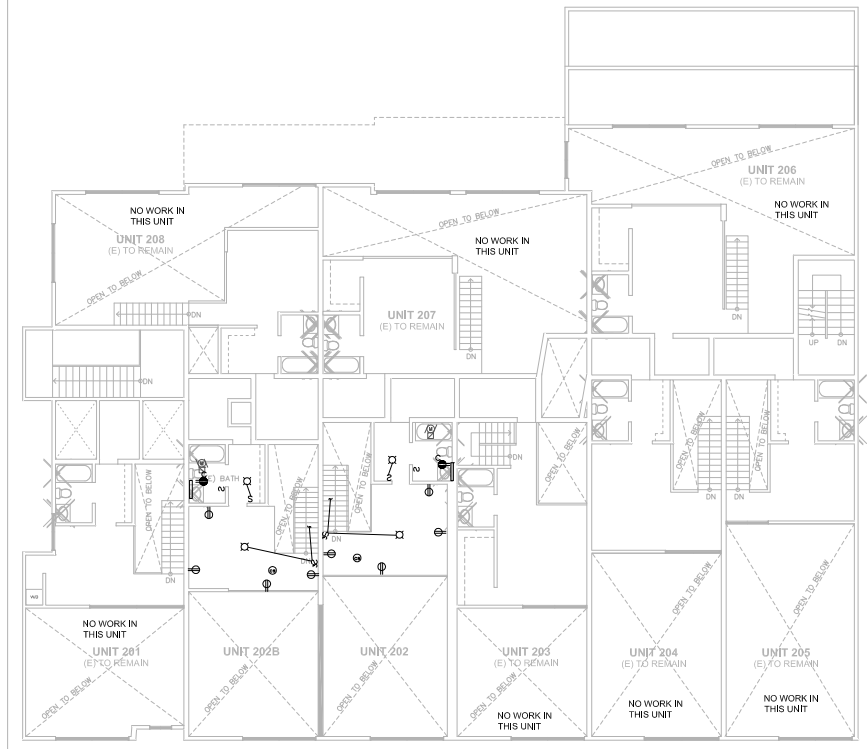
E1.1

SHEET NOTES:
SEE E1-0 FOR SHEET NOTES.

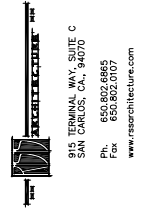
NOTE:
ALL ELECTRICAL OUTLETS, SWITCHES AND LIGHT FIXTURES ARE SHOWN FOR REFERENCE ONLY. THE ONLY SCOPE OF WORK IN SUBDIVIDED UNITS IS TO DISCONNECT EXISTING SUB-PANEL FROM EXISTING PANEL AND RE-FEED VIA NEW METERS AND FEEDERS IN THE GARAGE.



1 TYPICAL 3RD FLOOR BUILDING PLAN
SCALE: 1/8" = 1'-0"



2 TYP. 3RD FLOOR MEZZANINE BUILDING PLAN
SCALE: 1/8" = 1'-0"



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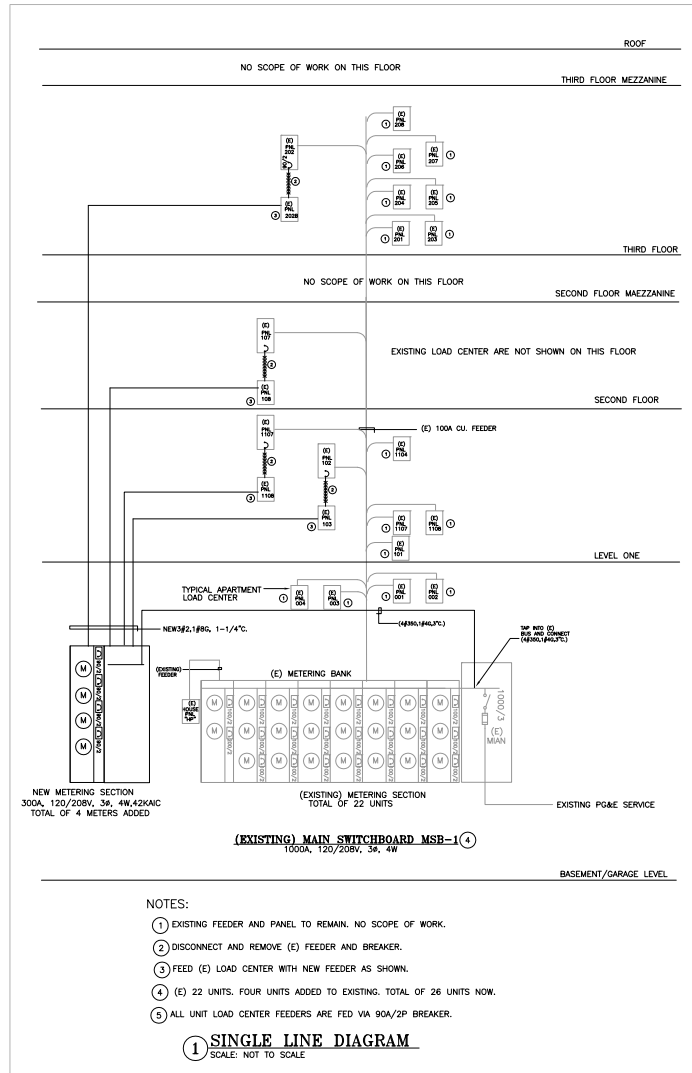
REVISIONS

3RD & 3RD FLOOR MEZZANINE PLAN

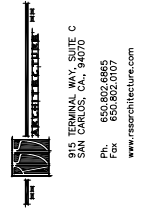
JOB: 1303 DRAWN: PI

SHEET NO.

E1.2



NOTE:
NO ELECTRICAL LOAD IS ADDED TO EXISTING SWITCHBOARD.
THIS IMPROVEMENT IS TO PROVIDE PG&E APPROVED ELECTRIC METERS TO EXISTING SPLIT APARTMENTS.



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SINGLE LINE DIAGRAM

JOB:	DRAWN
1303	PI
SHEET NO.	

E2.0

SINGLE APARTMENT CALCULATIONS (OPTIONAL METHOD - NEC 220-82)
(TO BE USED WITH 100 AMP FEEDER OR GREATER & AIR CONDITIONING)
APT. TYPE: **Unit 1**

NO	LOAD DESCRIPTION ("OTHER" LOADS)	UNIT	QTY	VOLT AMP	KVA
1	GENERAL LIGHTING AT 3W/Sq Ft.	SQ FT	1600	4800	4.80
2	SMALL APPLIANCE CIRCUIT	EA	2	1500	3.00
3	LAUNDRY CIRCUIT (ELECTRIC WASHER/DRYER)	EA	1	5000	5.00
4	GAS RANGE	EA	1	1000	0.10
5	Microwave & Hood	EA	1	900	0.80
6	DISH WASHER	EA	1	900	0.90
7	KITCHEN DISPOSAL	EA	1	750	0.75
8					
9	TOILET EXHAUST / HEATER / LIGHT	EA	1	50	0.05
10					
11					
12					
13					
TOTAL "OTHER" LOADS IN KVA					15.4
AIR CONDITIONER / HEAT PUMP AND FUN COIL LOADS (KVA)					
NO. OF BASEBOARD HEATERS		TOTAL WATTAGE OF ALL BASEBOARDS		HEATING	COOLING
2	3	4.5	1.80	1.80	1.80
BASEBOARDS CALCULATED LOAD IN KVA (85% OF TOTAL IF LESS THAN 4 OR 4% IF 4 OR MORE)				2.93	2.93
LARGEST OF THE TWO (COOLING / HEATING) KVA				2.93	2.93
FEEDER / BREAKER SIZE: LARGEST OF HEATING OR COOLING + FIRST 10 KVA OF OTHER LOAD + .4 OF REMAINDER OF OTHER LOADS:					
2.93 + 10.00 + 2.16 KVA = 15.09 KVA					
15.09 KVA EQUALS 72.82 AMPERES AT 208 VOLT SELECTED FEEDER 90 A					

SINGLE APARTMENT CALCULATIONS (OPTIONAL METHOD - NEC 220-82)
(TO BE USED WITH 100 AMP FEEDER OR GREATER & AIR CONDITIONING)
APT. TYPE: **Unit 2**

NO	LOAD DESCRIPTION ("OTHER" LOADS)	UNIT	QTY	VOLT AMP	KVA
1	GENERAL LIGHTING AT 3W/Sq Ft.	SQ FT	800	2400	2.40
2	SMALL APPLIANCE CIRCUIT	EA	2	1500	3.00
3	LAUNDRY CIRCUIT (ELECTRIC WASHER/DRYER)	EA	1	5000	5.00
4	GAS RANGE	EA	1	200	0.20
5	Microwave & Hood	EA	1	800	0.80
6	DISH WASHER	EA	1	900	0.90
7	KITCHEN DISPOSAL	EA	1	750	0.75
8					
9	TOILET EXHAUST / HEATER / LIGHT	EA	1	50	0.05
10					
11					
12					
13					
TOTAL "OTHER" LOADS IN KVA					13.1
AIR CONDITIONER / HEAT PUMP AND FUN COIL LOADS (KVA)					
NO. OF BASEBOARD HEATERS		TOTAL WATTAGE OF ALL BASEBOARDS		HEATING	COOLING
2	3	4.5	1.80	1.80	1.80
BASEBOARDS CALCULATED LOAD IN KVA (85% OF TOTAL IF LESS THAN 4 OR 4% IF 4 OR MORE)				1.80	1.80
LARGEST OF THE TWO (COOLING / HEATING) KVA				1.80	1.80
FEEDER / BREAKER SIZE: LARGEST OF HEATING OR COOLING + FIRST 8 KVA OF OTHER LOAD + .4 OF REMAINDER OF OTHER LOADS:					
1.80 + 10.00 + 1.24 KVA = 13.04 KVA					
13.04 KVA EQUALS 62.69 AMPERES AT 208 VOLT SELECTED FEEDER 70 A					

SINGLE APARTMENT CALCULATIONS (OPTIONAL METHOD - NEC 220-82)
(TO BE USED WITH 100 AMP FEEDER OR GREATER & AIR CONDITIONING)
APT. TYPE: **Unit 4**

NO	LOAD DESCRIPTION ("OTHER" LOADS)	UNIT	QTY	VOLT AMP	KVA
1	GENERAL LIGHTING AT 3W/Sq Ft.	SQ FT	600	1800	1.80
2	SMALL APPLIANCE CIRCUIT	EA	2	1500	3.00
3	LAUNDRY CIRCUIT (ELECTRIC WASHER/DRYER)	EA	1	5000	5.00
4	GAS RANGE	EA	1	200	0.20
5	Microwave & Hood	EA	1	800	0.80
6	DISH WASHER	EA	1	900	0.90
7	KITCHEN DISPOSAL	EA	1	750	0.75
8					
9	TOILET EXHAUST / HEATER / LIGHT	EA	1	50	0.05
10					
11					
12					
13					
TOTAL "OTHER" LOADS IN KVA					12.5
AIR CONDITIONER / HEAT PUMP AND FUN COIL LOADS (KVA)					
NO. OF BASEBOARD HEATERS		TOTAL WATTAGE OF ALL BASEBOARDS		HEATING	COOLING
2	3	1.95	1.95	1.95	1.95
BASEBOARDS CALCULATED LOAD IN KVA (85% OF TOTAL IF LESS THAN 4 OR 4% IF 4 OR MORE)				1.95	1.95
LARGEST OF THE TWO (COOLING / HEATING) KVA				1.95	1.95
FEEDER / BREAKER SIZE: LARGEST OF HEATING OR COOLING + FIRST 10 KVA OF OTHER LOAD + .4 OF REMAINDER OF OTHER LOADS:					
1.95 + 10.00 + 1 KVA = 12.95 KVA					
12.95 KVA EQUALS 62.26 AMPERES AT 208 VOLT SELECTED FEEDER 70 A					

SINGLE APARTMENT CALCULATIONS (OPTIONAL METHOD - NEC 220-82)
(TO BE USED WITH 100 AMP FEEDER OR GREATER & AIR CONDITIONING)
APT. TYPE: **Unit 5**

NO	LOAD DESCRIPTION ("OTHER" LOADS)	UNIT	QTY	VOLT AMP	KVA
1	GENERAL LIGHTING AT 3W/Sq Ft.	SQ FT	800	2400	2.40
2	SMALL APPLIANCE CIRCUIT	EA	2	1500	3.00
3	LAUNDRY CIRCUIT (ELECTRIC WASHER/DRYER)	EA	1	5000	5.00
4	GAS RANGE	EA	1	200	0.20
5	Microwave & Hood	EA	1	800	0.80
6	DISH WASHER	EA	1	900	0.90
7	KITCHEN DISPOSAL	EA	1	750	0.75
8					
9	TOILET EXHAUST / HEATER / LIGHT	EA	1	50	0.05
10					
11					
12					
13					
TOTAL "OTHER" LOADS IN KVA					13.1
AIR CONDITIONER / HEAT PUMP AND FUN COIL LOADS (KVA)					
NO. OF BASEBOARD HEATERS		TOTAL WATTAGE OF ALL BASEBOARDS		HEATING	COOLING
1	1.5	0.98	0.98	0.98	0.98
BASEBOARDS CALCULATED LOAD IN KVA (85% OF TOTAL IF LESS THAN 4 OR 4% IF 4 OR MORE)				0.98	0.98
LARGEST OF THE TWO (COOLING / HEATING) KVA				0.98	0.98
FEEDER / BREAKER SIZE: LARGEST OF HEATING OR COOLING + FIRST 10 KVA OF OTHER LOAD + .4 OF REMAINDER OF OTHER LOADS:					
0.98 + 10.00 + 1.24 KVA = 12.22 KVA					
12.22 KVA EQUALS 58.73 AMPERES AT 208 VOLT SELECTED FEEDER 70 A					

SINGLE APARTMENT CALCULATIONS (OPTIONAL METHOD - NEC 220-82)
(TO BE USED WITH 100 AMP FEEDER OR GREATER & AIR CONDITIONING)
APT. TYPE: **Unit 3**

NO	LOAD DESCRIPTION ("OTHER" LOADS)	UNIT	QTY	VOLT AMP	KVA
1	GENERAL LIGHTING AT 3W/Sq Ft.	SQ FT	1200	3600	3.60
2	SMALL APPLIANCE CIRCUIT	EA	2	1500	3.00
3	LAUNDRY CIRCUIT (ELECTRIC WASHER/DRYER)	EA	1	5000	5.00
4	GAS RANGE	EA	1	200	0.20
5	Microwave & Hood	EA	1	800	0.80
6	DISH WASHER	EA	1	900	0.90
7	KITCHEN DISPOSAL	EA	1	750	0.75
8					
9	TOILET EXHAUST / HEATER / LIGHT	EA	1	50	0.05
10					
11					
12					
13					
TOTAL "OTHER" LOADS IN KVA					14.3
AIR CONDITIONER / HEAT PUMP AND FUN COIL LOADS (KVA)					
NO. OF BASEBOARD HEATERS		TOTAL WATTAGE OF ALL BASEBOARDS		HEATING	COOLING
2	3	1.95	1.95	1.95	1.95
BASEBOARDS CALCULATED LOAD IN KVA (85% OF TOTAL IF LESS THAN 4 OR 4% IF 4 OR MORE)				1.95	1.95
LARGEST OF THE TWO (COOLING / HEATING) KVA				1.95	1.95
FEEDER / BREAKER SIZE: LARGEST OF HEATING OR COOLING + FIRST 10 KVA OF OTHER LOAD + .4 OF REMAINDER OF OTHER LOADS:					
1.95 + 10.00 + 1.72 KVA = 13.67 KVA					
13.67 KVA EQUALS 65.72 AMPERES AT 208 VOLT SELECTED FEEDER 70 A					

SINGLE APARTMENT CALCULATIONS (OPTIONAL METHOD - NEC 220-82)
(TO BE USED WITH 100 AMP FEEDER OR GREATER & AIR CONDITIONING)
APT. TYPE: **Unit 6**

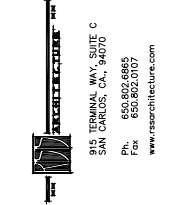
NO	LOAD DESCRIPTION ("OTHER" LOADS)	UNIT	QTY	VOLT AMP	KVA
1	GENERAL LIGHTING AT 3W/Sq Ft.	SQ FT	900	2700	2.70
2	SMALL APPLIANCE CIRCUIT	EA	2	1500	3.00
3	LAUNDRY CIRCUIT (ELECTRIC WASHER/DRYER)	EA	1	5000	5.00
4	GAS RANGE	EA	1	200	0.20
5	Microwave & Hood	EA	1	800	0.80
6	DISH WASHER	EA	1	900	0.90
7	KITCHEN DISPOSAL	EA	1	750	0.75
8					
9	TOILET EXHAUST / HEATER / LIGHT	EA	1	50	0.05
10					
11					
12					
13					
TOTAL "OTHER" LOADS IN KVA					13.4
AIR CONDITIONER / HEAT PUMP AND FUN COIL LOADS (KVA)					
NO. OF BASEBOARD HEATERS		TOTAL WATTAGE OF ALL BASEBOARDS		HEATING	COOLING
3	4.5	2.93	2.93	2.93	2.93
BASEBOARDS CALCULATED LOAD IN KVA (85% OF TOTAL IF LESS THAN 4 OR 4% IF 4 OR MORE)				2.93	2.93
LARGEST OF THE TWO (COOLING / HEATING) KVA				2.93	2.93
FEEDER / BREAKER SIZE: LARGEST OF HEATING OR COOLING + FIRST 10 KVA OF OTHER LOAD + .4 OF REMAINDER OF OTHER LOADS:					
2.93 + 10.00 + 1.36 KVA = 14.29 KVA					
14.29 KVA EQUALS 68.68 AMPERES AT 208 VOLT SELECTED FEEDER 90 A					

House Load Calculation

No.	LOAD DESCRIPTION	Sq. Ft. / typ	LIGHTING w/IF or KVA	LIGHTING Load (KVA)	POWER w/IF or KVA	POWER Load (KVA)	QTY	TOTAL KVA
1	BLDG LIGHTING			1.00		1000		0.00
2	GARAGE LIGHTING			0.50		8000		4.00
3	MISC. RECEPTION			0.20		15		1.00
4	ELEVATOR					20.00	1	20.00
5	SITE LIGHTING					2	1	2.00
6								0.00
7								0.00
8								0.00
9								0.00
10								0.00
11								0.00
12								0.00
13								0.00
14								0.00
15								0.00
16								0.00
17								0.00
18								0.00
19								0.00
20								0.00
TOTAL								35.00

MAIN SWITCHBOARD "MSB-1"

APT. TYPE	NO. OF APT.	LARGEST COOLING / HEATING VA	TOTAL OF OTHER VA	ELECTR. COOKING VA	TOTAL EACH APT. VA	TOTAL ALL APT. VA
UNIT 1	4	2,925	15,400	8,000	26,325	105,300
UNIT 2	2	1,900	15,700	8,000	25,600	52,000
UNIT 3	4	1,950	14,300	8,000	24,250	97,000
UNIT 4	6	1,950	13,700	8,000	23,650	141,900
UNIT 5	4	975	13,100	8,000	22,075	88,300
UNIT 6	8	2,925	14,600	8,000	25,525	204,200
TOTAL:					28	1,090,375 VA
DEMAND PER NEC:					0.34	294,401 VA
HOUSE LOAD:						35,000 VA
TOTAL KVA:						329 KVA
TOTAL AMP:						914 AMP
SERVICE SIZE:						1000 AMP



NUTEK ENGINEERING
171 EASY STREET
ALAMO, CA 94507
(925) 408-3741



INTERIOR MODIFICATIONS TO LIVE/WORK LOFTS:

208 PENNSYLVANIA AVE.

208 Pennsylvania Ave.
SAN FRANCISCO, CA 94107

REVISIONS

ELECTRICAL LOAD CALCULATIONS

JOB: 1303 DRAWN: PI
SHEET NO.

E3.0

APPLICATION FOR Discretionary Review

1. Owner/Applicant Information

DR APPLICANT'S NAME: SAN FRANCISANS FOR REASONABLE GROWTH		
DR APPLICANT'S ADDRESS: 870 MARICET ST #128 SF	ZIP CODE: 94102	TELEPHONE: (415) 824-1167
PROPERTY OWNER WHO IS DOING THE PROJECT ON WHICH YOU ARE REQUESTING DISCRETIONARY REVIEW NAME: ESSEX PROPERTY TRUST		
ADDRESS: 925 EAST MEADOW DRIVE PALO ALTO	ZIP CODE: 94303	TELEPHONE: (650) 463-6377
CONTACT FOR DR APPLICATION: Same as Above <input checked="" type="checkbox"/> SHE HESTON		
ADDRESS: SAME	ZIP CODE:	TELEPHONE: ()
E-MAIL ADDRESS: heston@earthlink.net		

2. Location and Classification

STREET ADDRESS OF PROJECT: 208 PENNSYLVANIA AVE		ZIP CODE: 94107
CROSS STREETS: MARIPOSA + 18 th ST		
ASSESSORS BLOCK/LOT: * 4000 / DS2-DM	LOT DIMENSIONS: 115 x 100	LOT AREA (SQ FT):
ZONING DISTRICT: UMU	HEIGHT/BULK DISTRICT: 40-X	

3. Project Description

Please check all that apply

Change of Use Change of Hours New Construction Alterations Demolition Other **LEGALIZATION**

Additions to Building: Rear Front Height Side Yard

Present or Previous Use: 22 ARTIST LIVE/WORK

Proposed Use: 4 DWELLING UNITS + 22 LIVE/WORK

Building Permit Application No. 2014.09.10.6023

Date Filed: 9/10/14

[* NO SUCH LOT NUMBERS ON ASSESSORS MAP - PIM PROBABLY LOT 27]

4. Actions Prior to a Discretionary Review Request

Prior Action	YES	NO
Have you discussed this project with the permit applicant?	<input type="checkbox"/>	<input type="checkbox"/>
Did you discuss the project with the Planning Department permit review planner?	<input type="checkbox"/>	<input type="checkbox"/>
Did you participate in outside mediation on this case?	<input type="checkbox"/>	<input type="checkbox"/>

See attached

5. Changes Made to the Project as a Result of Mediation

If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes there were made to the proposed project.

See attached

Discretionary Review Request

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and cite specific sections of the Residential Design Guidelines.

see attached

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how:

see attached

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

see attached

Discretionary Review Requests
530 + 542 + 548 Brannan Street and 208 Pennsylvania Avenue

4. **Actions Prior to Discretionary Review Request**

There were no prior discussions with project sponsor. Record requests and minimal discussions with Planning Department staff. No mediation.

Discretionary Review Request Questions

1. **Reasons for requesting Discretionary Review**

SFRG's requests for Discretionary Review do NOT oppose all legalization or conversion of Live/Work units to legal dwelling units. These live/work units are restricted to Artists and other specific industrial uses and must maintain an annual Business License for each unit. Before any conversion to or addition of a dwelling unit occurs there MUST be thorough hearings so that these complexes are brought IN TOTAL to Planning Code requirements for legal dwelling units. All inclusionary housing fees must be paid FOR THE ENTIRE COMPLEX. All transit fees, all area plan fees, all other fees must be paid FOR THE ENTIRE COMPLEX.

The live/work complexes owned and operated by Essex Property Trust operate illegally (so far as they do not comply with the requirements of the NSRs regarding restricted occupancy and annual Business Tax registration). Nor are the complexes in compliance with residential standards in the Eastern Neighborhoods Area Plan. *The Planning Code implementation of that Plan did NOT convert every live/work unit into a legal dwelling unit.*

The NSRs governing Brannan Street specifically provide -

Live/work units are a combination of residential living space with an integrated work space...not considered a dwelling unit. Use of said property for solely residential use would be a violation of the Planning Code.

Principal permitted uses permitted in the SLI (uses and floor restrictions listed). Uses NOT permitted include administrative and professional offices.

At least one occupant of each L/W unit shall hold and maintain a valid and active San Francisco Business License registered for the project location.

The NSR governing Pennsylvania is not available in the files.

These live/work projects have 1:1 parking, contrary to current Eastern Neighborhoods provisions that allow much less parking. In addition the Area plans include unit mix formulas that REQUIRE a significant proportion of FAMILY SIZED units.

The PUBLIC, COMMISSION, BOARD of SUPERVISORS must conduct an informed conversation on HOW, WHETHER and WHERE such conversions to housing are to be allowed **and on what conditions. They must include instructions to planning staff and the owners regarding compliance with NSR provisions if units remain live/work. One minimum condition of conversion to a dwelling unit must be provision of affordable housing, since live/work projects were intentionally built to avoid such provision of inclusionary housing.**

Over 5,000 live/work units were approved and built between 1994 - 2001. Virtually all south of Market, in the Mission or in Potrero in D6, D9, D10. It was 100% market rate housing in an existing community that served low and middle income residents. There was **NOT ONE UNIT OF AFFORDABLE HOUSING**. The developers hid behind the fiction of the new buildings being Artist Live/Work *commercial* buildings. Live/work construction was a major issue in the 2000 election of District Supervisors. Supervisors were elected from in these Districts who ran AGAINST further construction of live/work units (Supervisors Daly, Ammiano, Maxwell) PLUS other district Supervisors (McGoldrick, Peskin, Gonzalez) who raised the same issue. After the districted Board was seated in 2001 one of its first acts was to amending the Planning Code to outlaw these abusive live/work units in industrial areas.

These four projects were approved as COMMERCIAL LIVE/WORK projects not as residential dwelling units. When the Planning Commission approved the Brannan Street projects the zoning was SLI which totally **prohibited** housing. When the Planning Commission 208 Pennsylvania was approved the M-1 ZONING of that site allowed HOUSING but required a Conditional Use which required inclusionary units. These 4 buildings appear to be occupied outside the requirements of the Planning Code which include the NSRs imposed on the occupants of every unit in these buildings. The Brannan and Pennsylvania complexes are NOT old buildings that have evolved over time. Each was the subject of Planning Commission hearing and faced community opposition on the "Live/Work" status because the developers were misleading the public and Planning Commission as to the occupants.

There are Planning Commission approval files for both LIVE/WORK projects which have NOT been pulled -

98.173 - 530 Brannan/32 L/W units + 542 Brannan/36 L/W units + 548 Brannan/36 L/W units

96.685 - 208 Pennsylvania/22 L/W units + 1001 Mariposa/23 L/W units

Case 96.685 covered both 208 Pennsylvania with 22 L/W units PLUS 1001 Mariposa with 23 L/W units. Both complexes are now owned by the Essex Portfolio.

The files and the minutes for these projects **were not pulled. They must be pulled AND reviewed along with a permit history for both complexes after the Live/Work approval.** There should also be files for the **condo subdivision** for each individual building after construction. Please provide case numbers and files.

Lack of Information for the Annual Business License for each unit

The NSRs require that the RESIDENTS conducting a business in each unit file ANNUALLY for a Business License for the business that was REQUIRED to be conducted in each unit. Has the owner of this property informed each tenant of this annual licensing obligation and ensured that the tenants of each unit were properly conducting an appropriate business out of that unit? There is no evidence in the files of ANY compliance or inquiry.

The Live/Work projects were totally in the Southeast Quadrant which has had the same Team Leader for many years. Have there been memos or instructions to staff from the Zoning Administrator, the SE team leader, the Planning Director or others in the Planning Department that Planning does not enforce the requirement set out in the NSRs? Has there been any instruction regarding whether to inquire to the occupant or Treasurer regarding the NSR REQUIREMENT of occupancy by artists AND that a yearly Business License for the business they are required to conduct in each live/work unit must be obtained each year? Has the Planning Department even requested business license records for the past two years for the units in these two complexes? They should do so.

This issue came up in prior variance cases, among them a unit on Rincon Hill.

Lack of Due Diligence by the Owner - Essex Properties

How much did the current owner pay for these properties? Was the rental rate for the units pegged to limited Artist Live/Work occupancy, or was it based on residential rent?

The Notices of Special Restrictions were provided when Essex bought these rental complexes. What Due Diligence did Essex conduct to ensure that EACH unit of EVERY building was rented to tenants who were in compliance with the NSR restrictions on artists who kept current a Business License? **Was the purchase price reduced to account for the necessity to legalize units with non-compliant tenants in place?**

Regarding **208 Pennsylvania** what due diligence was done regarding units which had been illegally added? Was the purchase price reduced to account for the necessity to legalize units with non-compliant tenants in place?

What was the environmental document for each of these complexes? What environmental assumptions were made?

2. How this project would cause unreasonable impacts

The changes requested in the projects are outlined in these four 312 Notices, and in the associated requested variances. Those changes totally undermine any reliance on the Planning Code as a document that sets out the purposes of the Planning Code in Sec 101, particularly:

- (a) To guide, control and regulate future growth and development in accordance with the Master Plan of the City and County of San Francisco;
- (b) To protect the character and stability of residential, commercial and industrial areas within the City, and to promote the orderly and beneficial development of such areas;
- (c) To provide adequate light, air, privacy and convenience of access to property, and to secure safety from fire and other dangers...

The proposed changes obliterate Code provisions under which the projects were *originally approved* as LIMITED to artist live/work occupancy with Notice of Special Restrictions setting that out. The Planning Department and Zoning Administrator propose to wipe out the NSRs and code provisions governing housing without any discussion. It was NOT part of the Eastern Neighborhoods planning process. It was not part of the Western SoMa planning process.

The **Brannan Street** projects take this to the next step - the PENDING rezoning of Central SoMa. They have as their result, if not their intention, providing *housing* immediately adjacent to the proposed OFFICE BUILDING and park on land zoned SALI - for light industry.

There was a formal complaint by the Potrero Boosters to the ZA regarding illegal use at **208 Pennsylvania** as offices on **12/8/2000**. This is neither indicated as a complaint to Planning on the PIM map, nor any part of the discussed history of this project in the variance or 312 documents although the 2000 complaint was forwarded to both the planner and zoning administrator on 9/21/2014.

Before variance hearing I sent an email to Planning with the following language. It was not discussed at the variance hearing or in the 312 notices.

The change in the status of artist live/work units from commercial to LEGAL residential status was NOT discussed or provided for in the Eastern Neighborhoods Area Plan or the Western SOMA Area Plan hearing processes. Those hearings involved a broad swath of interested parties. This deserves a serious conversation and not be done piecemeal.

The contents of that email outlining issues regarding legalizing what have been operating as illegal units SINCE THEY WERE BUILT is hereby incorporated.

I specifically requested the permit history, all NSRs for 208 Pennsylvania and the Brannan Street projects, and files regarding meetings with DBI and the Fire Department in emails on 9/24/14 to Jeffrey Speirs, Rich Sucre and Scott Sanchez. The reply was that I will get a reply "in detail shortly." No such information was provided.

The Variance hearing went on and WITHOUT THOSE DOCUMENTS, the Zoning Administrator announced his intention to grant the requested variance.

If these projects are approved as proposed - without any further REAL discussion - the Planning Commission is openly acknowledging that ANY project, any dwelling unit count, that is approved CAN be undermined by simply building more units or constructing in such a manner that changes can be made as soon as the Final Inspection by DBI is done.

3. Alternatives or changes are needed

There must be a well-noticed PUBLIC DISCUSSION of the whole issues of transition of LIVE/WORK units - which were not constructed to meet PLANNING CODE requirements such as open space. More importantly the developers of these units consciously and VERY intentionally were built without provision of the Planning Code required on-site inclusionary dwelling units, or fees to provide construction of same. The Pennsylvania Ave project COULD have been approved via Conditional Use as legal housing and provided inclusionary housing. It didn't.

The Brannan Street complex was constructed in the SLI district which prohibited housing. The Western SOMA plan rezoned this site to RED which is a residential district designed for small scale housing. It requires a mix of units large enough for FAMILIES which is not present in these projects.

I specifically requested such a GENERAL hearing on Live/Work conversions by 9/23/14 email to the Planning Commission President, the Planning Director and the Zoning Administrator. There was no reply so far as I know.

The Planning Department must have a list of all live/work projects approved. Please provide that list.

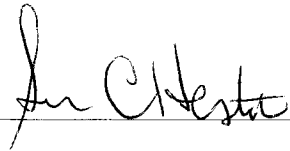
Environmental review was required to construct these projects. Please provide a copy if that review or any subsequent exemptions. Has Environmental Review adjusted its "Census" of housing based on the revisions which have been already made?

No information in the files shows that Essex conducted proper due diligence on these sites. That the sales price was not adjusted to pay for legalizing the complexes - including the payment of inclusionary housing fees for ALL UNITS or providing the full number of inclusionary units for the ENTIRE complexes. Plus Transit fees. Plus all Area Plan fees.

Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: The other information or applications may be required.

Signature: 

Date: 3/2/15

Print name, and indicate whether owner, or authorized agent:

ATTORNEY FOR SF 126
Owner / Authorized Agent (circle one)

CASE NUMBER:
For Staff Use only

Discretionary Review Application Submittal Checklist

Applications submitted to the Planning Department must be accompanied by this checklist and all required materials. The checklist is to be completed and **signed by the applicant or authorized agent.**

REQUIRED MATERIALS (please check correct column)	DR APPLICATION
Application, with all blanks completed	<input checked="" type="checkbox"/>
Address labels (original), if applicable	<input type="checkbox"/>
Address labels (copy of the above), if applicable	<input checked="" type="checkbox"/>
Photocopy of this completed application	<input checked="" type="checkbox"/>
Photographs that illustrate your concerns	<input type="checkbox"/>
Covenant or Deed Restrictions	<input type="checkbox"/>
Check payable to Planning Dept.	<input type="checkbox"/>
Letter of authorization for agent	<input checked="" type="checkbox"/>
Other: Section Plan, Detail drawings (i.e. windows, door entries, trim), Specifications (for cleaning, repair, etc.) and/or Product cut sheets for new elements (i.e. windows, doors)	<input type="checkbox"/>

NOTES:

- Required Material.
- Optional Material.
- Two sets of original labels and one copy of addresses of adjacent property owners and owners of property across street.

For Department Use Only

Application received by Planning Department:

By: M. Cornette

RECEIVED

MAR - 2 2015

CITY & COUNTY OF S.F.
PLANNING DEPARTMENT
P I C

Sucre, Richard (CPC)

From: Sanchez, Scott (CPC)
Sent: Friday, May 29, 2015 2:54 PM
To: Sucre, Richard (CPC); Teague, Corey (CPC)
Subject: FW: RE 1001 Mariposa and 208 Pennsylvania

Scott F. Sanchez
Zoning Administrator

Planning Department | City and County of San Francisco
1650 Mission Street, Suite 400, San Francisco, CA 94103
Direct: 415-558-6350 | Fax: 415-558-6409
Email: scott.sanchez@sfgov.org
Web: www.sfplanning.org

Planning Information Center (PIC): 415.558.6377 or pic@sfgov.org
Planning Information Map (PIM): <http://propertymap.sfplanning.org>



From: John deCastro [<mailto:2jbdecastro@gmail.com>]
Sent: Wednesday, May 27, 2015 9:22 PM
To: Mooreurban@aol.com
Cc: Sue Hestor; Sanchez, Scott (CPC); J.R. Eppler; Tony Kelly
Subject: RE 1001 Mariposa and 208 Pennsylvania

**RE: Pending 6/11/2015 DR hearing at Planning Commission plus variances - 2014.1021
530-548-542 Brannan** - approved 2000 (in SLI) - **98.173** - Jimmy Jen/Delta Design
1001 Mariposa + 208 Pennsylvania - approved 1997 (in North Potrero/Showplace Square) -
96.685 - Jimmy Jen/Delta Design

Kathrin Moore

When I was President of the Potrero Boosters in 1999 to 2003 we worked with the then Zoning Administrator to have the illegal units removed from the roof from 208 Pennsylvania and 1001 Mariposa St.

I am appalled that the City has not monitored the situation and the owners have again apparently built illegal units in this building. An alleged Live Work building that paid minimal impact fees to

provide services for our neighborhood. We are now reaping the fruit of the lack of these 3000+ units NOT paying impact fees with minimal money for Parks, Muni or Traffic Calming.

Please support Ms. Hestor's DR's on these properties.

John deCastro

Sucre, Richard (CPC)

From: Sue Hestor <hestor@earthlink.net>
Sent: Wednesday, May 27, 2015 6:17 PM
To: Sanchez, Scott (CPC); Haw, Christine (CPC)
Cc: Teague, Corey (CPC); Lamorena, Christine (CPC); John DeCastro; Rich.sucre@sfgov.org
Subject: Pending variances/ DR for live/work units - legal compliance issues - 6/11 hearing PLUS Academy of Art

I previously provided the Zoning Administrator's office with a 8/19/2004 **list of live/work project approvals** that I compiled as they were approved. The list includes address, no of units, staff persons initials, case number, OER determination, the dates of approval by Planning and by DBI, the block and lot number when approved. There are **5,030 live/work units** on that list. There may be occasional typos of individual items on the list, but I believe the addresses and projects are correct.

With possibly one exception, there were **ZERO** affordable units included in these projects. Because they were considered COMMERCIAL, not dwelling units, there were no affordable housing requirements or fees, no transit fees, no open space or any fees other than the usual building permit fees paid by the developers of these projects.

ISSUE NUMBER 1

Part or all of individual projects, which were approved as live/work projects under the address listed below, are currently before Planning for other entitlements, including variances.

Pending 6/11/2015 DR hearing at Planning Commission plus variances - 2014.1021

530-548-542 Brannan - approved 2000 (in SLI) - **98.173** - Jimmy Jen/Delta Design

1001 Mariposa + 208 Pennsylvania - approved 1997 (in North Potrero/Showplace Square) - **96.685**
- Jimmy Jen/Delta Design

Academy of Art University plus various enforcement actions - 2008.0586E

168-178 Bluxome + 673-683 Brannan - approved 2000 (in SLI) - **99.234** - Jimmy Jen/Delta Design

575 Harrison - approved 1996 (in SSO) - **94.483** - Jimmy Jen/Delta Design

Other live/work units/projects have come through Planning in past years with amended plans, including a variance with a live/work approval on Rincon Hill and a project with 311 notice on York Street.

I request documents specified below -

Notice of Special Restrictions -

Virtually all of the live/work projects approved from "1995" until the Code abolished further approval of most live/work projects include a specific condition requiring that **every unit in the project** have **restricted occupancy** - *each unit is required to have integrated work space principally used by one of more of the residents.*

- Has there been any interpretation of "principally used" as it applies to live/work buildings?

The NSR prohibits use of each unit as a solely residential use.

- Has there been any interpretation of "solely residential use" as it applies to live/work buildings?
- Has there been any interpretation by the Zoning Administrator, the City Attorney giving advice to the Zoning Administrator, or by anyone else in the Planning Department that the condition requiring that **every unit in the project** have **restricted occupancy** - *each unit required to have integrated work space principally used by one of more of the residents* - is no longer operative? I would like to have a copy of any such document.
- Has there been any interpretation by the Zoning Administrator, or anyone else, that a live/work unit or building is or has been converted into legal residential occupancy? Has there been any interpretation as to payment of appropriate affordable housing fees, transit fees, area plan fees, or other fees due from a project built or converted in that location?

Use restriction for the Brannan and Bluxome projects listed above - SLI Districts.

The non-residential work activity which MUST be conducted in each unit shall be limited to activities which are principal or CU uses in SLI Districts as set out in Section 817 of the Planning Code. If the use requires a CU, it shall receive a CU approval. Not permitted are dwelling units, administrative and professional offices.

- Has there been any interpretation of the restricted uses for non-residential work activity that must be conducted in units in SLI Districts? For any districts other than SLI? For the sites on Brannan and Bluxome listed above?

The NSR requires that at least one occupant of EACH unit shall hold and MAINTAIN a valid and active **SF Business License** registered for the project location which license authorizes a work activity permitted in the particular zoning district for that site district. These licenses must be renewed every year paying required fees.

- Has there been any **interpretation** of the requirement to hold and maintain a valid **Business License** for each unit. Specifically has there been any instruction from the Zoning Administrator on how Planning staff is to verify that there has been compliance with the requirement that EACH UNIT maintain a current business license when any application for entitlement, including any permit, planning Commission approval or change of use is proposed?
- Has there been any **instruction** from the Zoning Administrator, the Planning Director, any team leader or any other official in the Planning Department, regarding the requirement that **Business License** be obtained and maintained for each of the 5000+ live/work units?
- Has there been any instruction to planners reviewing applications for sites originally approved as live/work projects as to what information is to be requested and compiled on buildings/units which seek additional entitlements or permits? I specifically request any such instruction.
- At any point since these buildings were completed, has the Zoning Administrator, the Planning Director, any team leader or any other official in the Planning Department, determined that the requirement of maintaining an active yearly Business License for EACH live/work unit in EACH building, **is no longer operative**? I specifically request any such instruction.

The NSRs provide that the property owner and all successors in ownership of the live/work units shall disclose in writing, and require a signed acknowledgment thereof and for tenants such disclosure shall be incorporated in the signed lease agreement or the zoning of the project when was built. That the conditions of the NSR flow to each tenant.

- For live/work units that have been **sold as condos**, what evidence of an active Business License condition does the Department require from an owner who seeks another

entitlement? For how many years is evidence of Business License requested? What evidence is required that the owner

- For live/work buildings that are maintained as **rental units**, what evidence of an active, annual Business License for EACH UNIT is required when the **owner** seeks another entitlement? What evidence is required that the OWNER has informed each tenant of the Business License and occupancy restriction for such live/work units and ensured such compliance?

When ANY application for a variance or other entitlement for a building or unit is filed with or routed to the Planning Department, is the planner instructed to contact the Treasurer and Tax Collector to verify that (at the minimum) the particular building currently has business licenses in effect equal to the total number of units in that building? That that number of permits have been maintained consistently every year since the live/work building opened?

ISSUE NUMBER 2

Fraud in plans by Jimmy Jen/Delta Design and DBI

Each of the Live/work projects involved in the DR/variance on 6/11/15, PLUS those that are part of the student housing for the Academy of Art, were designed Jimmy Jen/Delta Design. They were built while James Hutchinson was deputy director at DBI. The construction of the Missouri/Pennsylvania project was also the subject of TWO complaints to the Zoning Administrator of (visible) illegal construction (two different Zoning Administrators).

The following 2010 article ran in the SF Chronicle about fraudulent construction plans for San Francisco projects that were the basis permits issued in San Francisco.

Building plans by Jimmy Jen and Delta Design were the basis for issuing permits for hundreds of live/work units. Among those permits and plans are those listed above for *all addresses* pending 6/11/15 Planning Commission hearing and the Academy of Art University student housing at Harrison and Bluxome streets.

Permit 'expediter' Jen jailed on fraud charges

[Jaxon Van Derbeken, Chronicle Staff Writer](#)

Thursday, August 5, 2010

An **unlicensed civil engineer and notorious San Francisco permit "expediter"** faces more than 200 felony charges for allegedly **creating bogus documentation for about 100 construction projects in the city**, prosecutors said Wednesday.

Jimmy Jen, 56, who has repeatedly been cited for violating building codes, was allegedly involved in "massive fraud" over two decades, San Francisco District Attorney Kamala Harris said during a news conference. He was jailed on **\$50 million** bail following his arrest on Tuesday and is expected to be arraigned Friday on **232 separate felony counts**. Harris said Jen is considered a **flight risk**.

Jen's employee, **Jian Min Fong**, was being held on nearly \$2.3 million bail on charges that he was involved in the scheme, which raised questions among prosecutors about the city's approval process.

A former plan checker for the city of San Francisco, Jen was well known in construction circles for his **ability to push permits through building inspectors and for his close friendship with the agency's former deputy director, Jim Hutchinson**, who left the post in 2005.

en is not a licensed surveyor and only had an "on again, off again" civil engineering license as part of his **Delta Design and Engineering Systems** business, prosecutors said. He is accused of using the names of licensed engineers and even making **fake rubber stamps** with their names on them in a variety of projects submitted for approval since 1990.

Prosecutors said he took the name and replicated the stamp of a licensed surveyor and engineer, Ching-Liu Wu, starting in 1990. Wu actually does not do surveys, he is an engineer for Bechtel, prosecutors said. Jen nevertheless used Wu's name on surveyor maps of 26 properties from 1990-95, prosecutors said. Then, from 2000-07, he used Wu's engineering stamp on 60 residential projects. Wu has said he never worked for Jen on any projects, let alone those ones, Harris said. Prosecutors believe that Jen had no license, but did the work while masquerading as Wu to get approval.

Jen is also being accused of claiming that licensed engineer Tai-Ming Chen had done work on 10 projects, notably the pending proposed renovation and other work on the landmark 1923 Alexandria movie theater. The investigation began in November 2008, when a land surveyor raised questions about a lot subdivision in one of Jen's projects on Madrid Street. He contacted Wu, triggering the probe.

Harris said the investigators soon realized that there were "very obvious" discrepancies between the approval stamps and engineers' signatures compared to the ones Jen submitted. One "curious" circumstance, she said, was that no building inspectors ever asked any questions related to the surveys or engineering plans in any of the projects. Had they done so, they would have discovered that the engineers had no role in creating the plans, she said. "We are curious about that," Harris said, noting that prosecutors are seeking to find out how 500 bogus documents could be reviewed by the Department of Building Inspection without a single question asked.

"We will find out exactly what was going on," she said, about how the documents could make it through "these offices and that office in particular over the course of two decades without notice."

Bill Strawn, spokesman for the Department of Building Inspection, said that so far no project mentioned by prosecutors has been found to be problematic.

"We are working with the D.A. on this," he said. Strawn said his office reviews 60,000 applications a year, signed under penalty of perjury as valid, and would not typically verify every detail of a submission.

Jen, who faces \$1.5 million in fines to the city for code violations on one of his projects, was named as a target of an arson investigation involving a San Francisco home, owned by his former wife, that caught fire in February 2009. He denied setting the blaze and was never charged.

TWO complaints to the Zoning Administrator were made by John DeCastro on behalf of the Potrero Hill neighborhood association regarding construction of the Missouri/Pennsylvania project. One to Mary Gallagher which resulted in immediate removal of illegal construction at 208 Pennsylvania. The second to Larry Badiner about the illegal conversion to office use and advertisement of that use by the owner. I have requested files on this but they appear to be lost.

In light of the criminal complaint about plans by Jimmy Jen and Delta Design, and in light of the supervision of his projects in DBI by Mr. Hutchinson, *what review was done of construction of the multi-building complexes listed above?*

Planning Commission hearing 6/11/15

Has the Zoning Administrator, or any other City Department competent to do so, evaluated the plans originally APPROVED by the Planning Commission against what was *actually constructed* under the approved permit at Pennsylvania and Missouri Street? At Brannan Street?

The variances for these buildings are each set out "surplus units" - is the ORIGINAL PLANS approved for construction were actually built, how did these extra units come to be constructed? Were they ever approved under a permit? Who authorized them?

How did these additional units come to be? Since there were CRIMINAL INDICTMENTS of the person/firm on the plans, and since the DBI deputy was also implicated, what steps did the Zoning Administrator take to ensure that the plans for Pennsylvania and Brannan had been built in compliance with the original authorization?

Given (a) the complaints about illegal construction at the time when the Potrero complex was built, (b) the surplus space that has appeared in these projects, (c) the CRIMINAL COMPLAINT involving the drafter of the original plans, it is reasonable to request that these matters be investigated.

I am making that request by copying Enforcement, as well as the original complainant - John DeCastro.

Sue Hestor
attorney
cell phone - 415 846 1021

I request that this be printed out and inserted in appropriate paper files at Planning
I will transfer this onto letterhead and send through the mail later this week.

Sucre, Richard (CPC)

From: corinnewoods@cs.com
Sent: Monday, June 01, 2015 9:18 AM
To: Kim, Jane (BOS); Cohen, Malia (BOS)
Cc: Sucre, Richard (CPC); Veneracion, April (BOS); Bruss, Andrea (BOS)
Subject: Live-work to residential use

Dear Jane and Malia, I've noticed a rash of applications for Discretionary Review to change live-work to residential use. The most recent ones I've seen are Case No. 2014.1022DRP (208 Pennsylvania) - District 10, and Case No. 2014.1021DRP, 2014.1021DRP_2, 2014.1021DRP_3 (530, 542 & 548 Brannan) - District 6.

Since most of the original live-work units were allowed in former industrial areas, they are mostly in District 6 and District 10, both of which have subsequently been extensively rezoned under the Eastern Neighborhoods plans.

As I remember, when live-work zoning was approved, there were several advantages for developers built in to the law: Approval over-rode existing zoning/use allowances, and in addition. there were:

- Exemptions from many city development fees
- Exemptions from open-space requirements
- Exemptions from parking requirements
- Higher density allowances than normal/customary

We all know how well that worked for the law's stated purpose of allowing artists to stay in the city, but that's another story.

If these live-work units are changed to residential use, there's obviously no way you could retroactively add open space or parking requirements, and I don't know whether Eastern Neighborhoods rezoning has changed the neighborhoods these buildings are in from industrial to residential. My question is whether the City, by approving the change of use to residential, will be able to impose any of the city development fees that were waived when they were built, such as contributions to open space or transit funds.

The planned creation of a Green Benefit District in Dogpatch/Potrero shows the dire need for neighborhood amenities in these rapidly changing areas. Funding for open space and transit improvements hasn't kept up with the pace of change.

Is there any way to capture the benefit of residential zoning for public benefits?

Thank you,

Corinne Woods