



SAN FRANCISCO PLANNING DEPARTMENT

Executive Summary Conditional Use

HEARING DATE: MAY 12, 2016

Date: May 2, 2016
Case No.: **2014.0562CUAVAR**
Project Address: **469 Eddy Street**
Zoning: RC-4 (Residential-Commercial, High Density)
North of Market Residential Special Use District Subarea No. 2
80-T Height and Bulk District
Block/Lot: 0337/014A
Project Sponsor: Nick Cranmer
2044 Fillmore Street, 3rd Floor
San Francisco, CA 94115
Staff Contact: Tina Chang – (415) 575-9197
tina.chang@sfgov.org
Recommendation: **Approval with Conditions**

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PROJECT DESCRIPTION

The proposed project would construct an 8-story, 80-foot-tall, 47,080 square foot mixed-use residential commercial building with an 8-foot tall basement as a vertical addition to the existing garage. The existing garage contains 82 off-street parking spaces and the proposed project includes 7 spaces for a net loss of 66 off-street parking spaces. The vertical addition would be set back 25-feet from the existing building face and would consist of 28 dwelling units, approximately 450 square feet of retail space, 2700 square feet of common and private open space, 7 off-street parking spaces, 29 Class 1 and three (3) Class 2 bicycle parking spaces.

SITE DESCRIPTION AND PRESENT USE

The project is located on the south side of Eddy Street, one the block bounded by Eddy Street to the north, Turk Street to the South, Leavenworth Street to the east and Hyde Street to the west. The lot currently contains a privately-owned two-story-over-basement, 30-foot tall parking garage for 82 cars, which is open to the public on a 24 hour basis. The existing on-site garage building is located within the Tenderloin National Register Historic District and is a contributing resource to that District.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

The project site is located in the Downtown / Civic Center neighborhood within the upper Tenderloin National Historic District. Land uses in the vicinity primarily include dwelling units above ground floor commercial uses. The District is described as "a largely intact, visually consistent, inner-city high-density residential area constructed during the years between the earthquake and fire of 1906 and the Great Depression. It comprises 18 whole and 15 partial city blocks in the zone where the city has required fire-

resistant construction since 1906. The district is formed around its predominant building type: a three- to seven- story, multi-unit apartment, hotel or apartment-hotel constructed of brick or reinforced concrete.”

The project site is located within the RC-4 (Residential Commercial, High Density) Zoning District. RC-4 Districts are intended to recognize, protect, conserve and enhance areas characterized by structures combining Residential uses with neighborhood-serving Commercial uses. The predominant Residential uses are preserved, while provision is made for supporting Commercial uses, usually in or below the ground story, that meet the frequent needs of nearby residents without generating excessive vehicular traffic. The compact, walkable, transit-oriented and mixed-use nature of these Districts is recognized by no off-street parking requirements. The RC-4 Districts provide for a mixture of high-density Dwellings similar to those in RM-4 (Residential, Mixed, High Density) Districts with supporting Commercial uses.

ENVIRONMENTAL REVIEW

The Project is exempt from the California Environmental Quality Act (“CEQA”) as a Class 32 categorical exemption;

On March 10, the Project was determined to be exempt from the California Environmental Quality Act (“CEQA”) as a Class 32 Categorical Exemption under CEQA as described in the determination contained in the Planning Department files for this Project;

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Classified News Ad	20 days	April 22, 2016	April 20, 2016	22 days
Posted Notice	20 days	April 22, 2016	April 22, 2016	20 days
Mailed Notice	10 days	May 2, 2016	May 2, 2016	10 days

PUBLIC COMMENT & COMMUNITY OUTREACH

- **Public Comment.** To date, the Department has received one letter of support from the San Francisco Housing Action Coalition. No members of the public have expressed opposition to the project. The Department has also received a letter from the West Tenderloin Resident Community Association (WRCA) requesting a community-serving commercial space and good neighbor agreement and expressing concerns regarding construction noise and other impacts. The Project Sponsor has indicated that the requests will be met and concerns addressed in a response letter. Both the letter from WRCA and response letter from the Project Sponsor are enclosed.
- **Community Outreach.** As summarized in the document entitled “469 Eddy Street – Neighborhood Outreach and Support”, the project sponsor has conducted outreach to the adjacent neighbors and interested community groups, including the Tenderloin Housing Clinic, the Tenderloin Neighborhood Development Corporation, the San Francisco Housing Coalition and Alliance for a Better District 6. In addition to the pre-application meeting, the Project Sponsor held two community meetings, one on December 7, 2015 and another on January 22, 2016.

ISSUES AND OTHER CONSIDERATIONS

- **Affordable Housing.** The project proposes on-site affordable housing pursuant to Section 415.6, which requires 12 percent on-site affordable units. The project proposes 28 units, therefore 3 affordable units are required.
- **Height.** The Project site is on a parcel zoned for 80-feet. However Conditional Use Authorization is required for the construction of any building exceeding a height of 50-feet in a Residential Commercial (RC) Zoning District.
- **Exposure.** The project requires a variance exposure for 10 of the units fronting the rear light court, which is not a Code-compliant rear yard.
- **Rear yard.** The project is seeking a rear yard modification pursuant to Sections 249.5 and 134(g), which is permitted in the North of Market Residential Special Use District where the project is located.
- **Shadow.** Although the preliminary shadow fan analysis prepared for the Project's Preliminary Project Assessment (PPA) found that the proposed structure could potentially cast shadow on the Turk-Hyde Mini Park, which falls under the jurisdiction of the Recreation and Park Department, a shadow analysis dated January 13, 2016 found that the Project would not cast any shadow on the subject park. Therefore the Project is compliant with Section 295.
- **Historic Preservation.** The existing three-level garage is a historic resource, contributing to the Uptown Tenderloin Historic District. The project preserves the existing building and proposes a vertical addition which has been reviewed by Historic Preservation staff. The Department has determined that the proposed project would not cause a substantial adverse change in the significance of the historical resource.
- **Entertainment Commission Recommended Noise Attenuated Conditions.** The project is located within 300 feet of a Place of Entertainment. The Entertainment Commission has recommended a set of noise attenuation conditions which have been included in the Conditions of Approval for the project.

REQUIRED COMMISSION ACTION

In order for the project to proceed, the Commission must grant conditional use authorization to approve the new construction of a building exceeding the height of 50-feet to allow the establishment of a mixed-used, eight story, approximately 80-foot tall, 47,100 gross square feet building containing 28 dwelling units and approximately 450 square feet of ground floor retail within an RC-4 (Residential Commercial, High Density) Zoning District, and an 80-T Height and Bulk District pursuant to Planning Code Sections 303, 253.

BASIS FOR RECOMMENDATION

- The project would add 28 dwelling units to the City's housing stock, in a walkable and transit-rich area suited for dense, mixed-use development.
- The project would replace a three-level parking garage with housing and retail, activating Eddy Street.
- The project is compatible with the surrounding neighborhood character in terms of height, scale and massing.
- The project is desirable for, and compatible with the surrounding neighborhood.

RECOMMENDATION: Approval with Conditions
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Attachments:

Draft Motion for Conditional Use Authorization

Exhibits:

Parcel Map
Sanborn Map
Zoning Map
Aerial Photograph
Site Photograph

Categorical Exemption

First Source Affidavit

Affordable Housing Affidavit

Project Sponsor Submittal

469 Eddy Street – Neighborhood Outreach and Support

Attachment A – Pre-Application Meeting / Community Meeting

Attachment B – Community Meeting 2

Attachment C – Letter of Support from SF HAC

Letter from West Tenderloin Resident Community Association

Response Letter from Project Sponsor

Exhibit B – Proposed Plans

Attachment Checklist

☒ Executive Summary

☒ Draft Motion

☒ Environmental Determination

☒ Zoning District Map

☐ Height & Bulk Map

☒ Parcel Map

☒ Sanborn Map

☒ Aerial Photo

☒ Context Photos

☒ Site Photos

☒ Project sponsor submittal

☒ Letter

☒ Letter in support

Drawings: Proposed Project

☐ Check for legibility

Health Dept. review of RF levels

☐ RF Report

☐ Community Meeting Notice

☒ Inclusionary Affordable Housing Program:
Affidavit for Compliance

Exhibits above marked with an "X" are included in this packet

TC

Planner's Initials

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SAN FRANCISCO PLANNING DEPARTMENT

Subject to: (Select only if applicable)

- | | |
|---|---|
| <input checked="" type="checkbox"/> Affordable Housing (Sec. 415) | <input checked="" type="checkbox"/> First Source Hiring (Admin. Code) |
| <input type="checkbox"/> Jobs Housing Linkage Program (Sec. 413) | <input checked="" type="checkbox"/> Child Care Requirement (Sec. 414) |
| <input type="checkbox"/> Downtown Park Fee (Sec. 412) | <input checked="" type="checkbox"/> Transportation Sustainability Fee (Sec. 411A) |
| | <input type="checkbox"/> Other |

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Planning Commission Draft Motion

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ADOPTING FINDINGS RELATING TO THE APPROVAL OF CONDITIONAL USE AUTHORIZATION PURSUANT TO PLANNING CODE SECTIONS 253 AND 303 TO ALLOW A BUILDING TO EXCEED A HEIGHT OF 50-FEET TO CONSTRUCT AN EIGHT-STORY, APPROXIMATELY 80-FOOT TALL MIXED-USE BUILDING CONTAINING 23 DWELLING UNITS AND 970 SQUARE FEET OF GROUND FLOOR RETAIL IN AN RC-4 (RESIDENTIAL COMMERCIAL, HIGH DENSITY) ZONING, NORTH OF MARKET RESIDENTIAL SPECIAL USE DISTRICT SUBAREA NO. 2 AND 80-T HEIGHT AND BULK DISTRICT.

PREAMBLE

On August 28, 2014, Nick Cranmer on behalf of 469 Eddy Street LLC (hereinafter "Project Sponsor") filed an Environmental Evaluation Application with the Planning Department (hereinafter "Department") for the new construction of an 8-story, 80-foot-tall, 49,500 square foot mixed-use residential commercial building with an 8-foot tall basement as a vertical addition to an existing garage two-story-over-basement garage.

On December 3, 2015 the Project Sponsor filed an application with the Department (hereinafter "Department") for Conditional Use Authorization under Planning Code Section(s) 253 and 303 to allow

the construction of a building exceeding a height of 50-feet within a Residential Commercial (RC-4) District and a 80-T Height and Bulk District.

On December 3, 2015 the Project Sponsor filed a Variance Application with the Department for exposure, pursuant to Section 140 for 10 units that do not face a public street or Code-complying rear yard and Section 134, requesting a reduction in rear yard requirements, as permitted in the North of Market Residential Special Use District.

On May 12, 2016, the San Francisco Planning Commission (hereinafter "Commission") conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Application No. 2014.0562CUAVAR.

On February 16, 2016, the Project was determined to be exempt from the California Environmental Quality Act ("CEQA") as a Class 32 Categorical Exemption under CEQA as described in the determination contained in the Planning Department files for this Project;

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

MOVED, that the Commission hereby authorizes the Conditional Use requested in Application No. 20014.0562CUAVAR, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.
2. **Site Description and Present Use.** The project is located on the south side of Eddy Street, one the block bounded by Eddy Street to the north, Turk Street to the South, Leavenworth Street to the east and Hyde Street to the west. The lot currently contains a privately-owned two-story-over-basement, 30-foot tall parking garage for 82 cars, which is open to the public on a 24 hour basis. The existing on-site garage building is located within the Tenderloin National Register Historic District and is a contributing resource to that District.
3. **Surrounding Properties and Neighborhood.** The project site is located in the Downtown / Civic Center neighborhood within the upper Tenderloin National Historic District. Land uses in the vicinity primarily include dwelling units above ground floor commercial uses. The District is described as "a largely intact, visually consistent, inner-city high-density residential area constructed during the years between the earthquake and fire of 1906 and the Great Depression. It comprises 18 whole and 15 partial city blocks in the zone where the city has required fire-resistant construction since 1906. The district is formed around its predominant building type: a

three- to seven- story, multi-unit apartment, hotel or apartment-hotel constructed of brick or reinforced concrete.”

The project site is located within the RC-4 (Residential Commercial, High Density) Zoning District. RC-4 Districts are intended to recognize, protect, conserve and enhance areas characterized by structures combining Residential uses with neighborhood-serving Commercial uses. The predominant Residential uses are preserved, while provision is made for supporting Commercial uses, usually in or below the ground story, that meet the frequent needs of nearby residents without generating excessive vehicular traffic. The compact, walkable, transit-oriented and mixed-use nature of these Districts is recognized by no off-street parking requirements. The RC-4 Districts provide for a mixture of high-density Dwellings similar to those in RM-4¹ (Residential, Mixed, High Density) Districts with supporting Commercial uses.

Within the RC-4 Zoning District, the project is also located within the North of Market Residential Special Use District Subarea No. 2, which was established to protect and enhance important housing resources in an area near downtown, conserve and upgrade existing and moderate income housing stock, preserve buildings of architectural and historic importance and preserve the existing scale of development, maintain sunlight in public spaces, encourage new infill housing at a compatible density and limit the development of tourist hotels and other commercial uses that could adversely impact the residential nature of the area and limit the number of commercial establishments which are not intended primarily for customers who are residents of the area.

4. **Project Description.** The proposed project would construct an 8-story, 80-foot-tall, 47,080 square foot mixed-use residential commercial building with an 8-foot tall basement as a vertical addition to the existing garage. The existing garage contains 82 off-street parking spaces and the proposed project includes 7 spaces for a net loss of 66 off-street parking spaces. The vertical addition would be set back 25-feet from the existing building face and would consist of 28 dwelling units, approximately 450 square feet of retail space, 2700 square feet of common and private open space, 7 off-street parking spaces, 29 Class 1 and three (3) Class 2 bicycle parking spaces.

After reviewing the historic resource evaluation provided by the Project Sponsor, the Department’s Preservation technical specialist has indicated that the proposed project would not cause a substantial adverse change in the subject individual resource such that the building would be materially impaired, and the project would not result in the removal of any character-defining features. The proposed project would be consistent with the height and massing of the Uptown Tenderloin Historic District, and the addition’s vertically-oriented window openings and proposed building materials would be consistent with the existing character of the District. The proposed new residential use with garage on the ground floor would be a compatible use in the District. The vertical addition, with its 25-foot set back would be distinct from and is

¹ RM-4 Districts are devoted almost exclusively to apartment buildings of high density, usually with smaller units, close to downtown. Buildings over 40-feet in height are very common, and other tall buildings may be accommodated in some instances.

compatible with the existing building, and would therefore not create a false sense of historical development. The distinctive materials, features, finishes and construction techniques that characterize the existing building would be preserved.

Based on the information provided and reviewed by Preservation staff, the Department has determined that the proposed project would not cause a substantial adverse change in the significance of a historical resource.

5. **Public Comment/Community Outreach.**

- a. **Public Comment.** To date, the Department has received one letter of support from the San Francisco Housing Action Coalition. No members of the public have expressed opposition to the project.
- b. **Community Outreach.** As summarized in the document entitled “469 Eddy Street – Neighborhood Outreach and Support”, the project sponsor has conducted outreach to the adjacent neighbors and interested community groups, including the Tenderloin Housing Clinic, the Tenderloin Neighborhood Development Corporation, the San Francisco Housing Coalition and Alliance for a Better District 6. In addition to the pre-application meeting, the Project Sponsor held two community meetings, one on December 7, 2015 and another on January 22, 2016.

6. **Planning Code Compliance:** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:

- A. **Front Setbacks (132.2).** Setbacks may be imposed as a condition of approval to maintain the continuity of the prevailing streetwall along a street or alley pursuant to Section 132.2.

The Department did not find that a setback to maintain a prevailing streetwall was required pursuant to Section 132.2. However, Preservation staff required that the vertical addition be setback 25-foot setback from the historic resource.

- B. **Rear Yard (Section 134).** Planning Code Section 209.3 requires that projects in the RC-4 Zoning Districts provide a minimum rear yard depth equal to 25 percent of lot depth at the first residential level and above.

The project has a lot depth of approximately 137.5 feet, with a required rear yard of approximately 34'-5". A Code-compliant rear yard is not provided. However, pursuant to Section 249.5, a reduction of rear yard requirements in the North of Market Residential Special Use District is permitted pursuant to Section 134(g), provided that open space elsewhere on the site is provided, provided that the following criteria are met:

1. The substituted open space in the proposed new or expanding structure will improve the access of light and air to and views from existing abutting properties; and

All abutting lots contain buildings that are constructed to their rear property line. As a result, no pattern of interior block open space exists near the subject property. A limited number of abutting

buildings have windows that face into light wells that abut the site. Where this is the case, matching light wells or light courts are proposed.

In addition to the front setback and reduce rear yard / light court, the project provides approximately 1,650 of usable open space on the roof, which is accessible to all residents.

2. The proposed new or expanding structure will not adversely affect the interior block open space formed by the rear yards of existing abutting properties.

All abutting lots contain buildings that are constructed to their rear property line. As a result, no pattern of interior block open space exists near our site. Based on the existing pattern of development on the block, it is unlikely that approval of the rear yard modification would impact the creation of interior block open space formed by rear yards of adjacent properties in the future.

- C. **Residential Open Space (Section 135).** Planning Code Section 209.3 requires 36 square feet of private open space per dwelling unit and 48 square feet of common open space per dwelling unit. Section 135 requires that private open space shall have a minimum horizontal dimension of six feet and a minimum area of 36 square feet if located on a deck, balcony, porch or roof, and shall have a minimum horizontal dimension of 10 feet and a minimum area of 100 square feet if located on open ground, a terrace or the surface of an inner or outer court. Common usable open space shall be at least 15 feet in every horizontal dimension and shall be a minimum area of 300 square feet.

The project has elected to meet the open space requirements of Section 135 through a combination of private and common open space. The project includes private open space that is at least 36 square feet in area and at least 6 feet in every horizontal dimension for six (6) of the 28 units: four units on the second floor and two units on the third floor. Accordingly 22 units require access to at least 48 square feet per dwelling unit of common open space for a total of 1,056 square feet. The project includes approximately 1,650 square feet of common open space on the roof, exceeding Planning Code requirements. Therefore the project complies with Section 135 of the Planning Code.

- D. **Streetscape and Pedestrian Improvements (Section 138.1).** Planning Code Section 138.1 requires one new street tree for every 20 feet of street frontage for projects proposing new construction.

The project includes the new construction of an eight-story mixed-use building with approximately 49 feet of frontage along Eddy Street and is thus required to provide three street trees. The project proposes the planting of two new street trees, and will pay an in-lieu fee for the remaining required tree. It should be noted that the location and type of trees shall be reviewed by the Department of Public Works for feasibility of planting. Should any proposed tree planted prove infeasible, an in-lieu fee of \$1,799 shall be paid.

- E. **Bird Safety (Section 139).** Planning Code Section 139 outlines the standards for bird-safe buildings, including the requirements for location-related and feature-related hazards. The subject property is not located within close proximity to a bird refuge. However, feature related hazards such as free-standing glass walls, wind barriers, skywalks and balconies that

have unbroken glazed segments 24 square feet and larger in size must also be treated with bird safe glazing. Alternatively, feature related hazards with unbroken glazed segments can be reduced to less than 24 square feet.

The project does not propose any feature related hazards. However, should feature related hazards be implemented in the project, such hazards must be treated with bird-safe glazing.

- F. **Dwelling Unit Exposure (Section 140).** Planning Code Section 140 requires that at least one room of all dwelling units face directly onto a public street, public alley at least 20 feet in width, side yard at least 25 feet in width or Code-compliant rear yard.

Ten (10) of the 28 units do not face onto a public street or Code-compliant rear yard. Therefore, a variance from exposure requirements per Section 140 and 305 is required.

- G. **Street Frontage in Residential Commercial Districts (Section 145.1).** Planning Code Section 145.1(c)(3) requires that within Residential Commercial Districts, space for “active uses” shall be provided within the first 25 feet of building depth on the ground floor. Building systems including mechanical, electrical and plumbing features may be exempted from this requirement by the Zoning Administrator only in instances where those features are provided in such a fashion as to not negatively impact the quality of the ground floor space.

Planning Code Section 145.1(c)(4) requires that ground floor non-residential uses in RC Zoning Districts have a minimum floor-to-floor height of 14 feet. Planning Code Section 145.1(c)(5) requires the floors of street-fronting interior spaces housing non-residential active uses and lobbies to be as close as possible to the level of adjacent sidewalks at the principal entrances to these spaces. Planning Code Section 145.1(c)(6) requires frontages with active uses that are not residential or PDR to be fenestrated with transparent windows and doorways for no less than 60 percent of the street frontage at the ground level and allow visibility to the inside of the building.

The project provides active uses with direct access to the sidewalk within the first 25 feet of building depth, with the exception of space allowed for parking and loading access, building egress, and access to mechanical systems. A ground floor height of 14' along the Eddy Street frontage is proposed. Additionally, aside from the solid portions of the existing historic façade, the non-residential portion of the Eddy Street façade is transparent. Therefore, the Project complies with Planning Code Section 145.1.

- H. **Section 151. Off-Street Parking:** Planning Code Section 151.1 does not require any parking in RC Zoning Districts.

Section 151.1 principally permits one car for each two dwelling units. The project proposes 7 off-street parking spaces or one parking space for every four dwelling units. Therefore, the project complies with Section 151.1.

- I. **Bicycle Parking (Section 155.1):** Planning Section 155.2 requires one Class 1 bicycle parking space per dwelling unit, and one Class 2 bicycle parking space for every 20 dwelling units. One Class 2 bicycle parking spaces is also required for every 2,500 square feet of occupied floor area, though a minimum of two Class 2 bicycle parking spaces is required.

The project requires and provides 28 Class 1 and three Class 2 bicycle parking spaces. Therefore, the project complies with Planning Code Section 155.1.

- J. **Density (Section 209.3).** The RC Zoning District permits a density of one dwelling unit per 200 square feet of lot area.

With approximately 6,873 square feet of lot area, the project site can accommodate up to 34 dwelling units. The project proposes 28 dwelling units, less than the maximum permitted density. Therefore, the project complies with density pursuant to Section 209.3

- K. **Uses (Sections 210.1).** Residential Commercial (RC) Zoning Districts principally permits higher density Dwellings with supporting Commercial uses.

The project proposes a primarily residential use building with ground floor retail, both of which are principally permitted in the RC-4 Zoning District.

- L. **Height (Section 260).** The Project is in an 80-T Height and Bulk District, which limits the height of the building to 80 feet, excluding exemptions of up to 16 feet as permitted by Planning Code Section 260.

The project proposes an approximately 80-foot tall building, with stair/ elevator shaft that rises approximately 14-feet beyond the 80-foot height limit. The project falls within height limits prescribed by the Planning Code, and therefore meets Section 260.

- M. **Bulk Limits (Section 270).** The project is in an 80-T Height and Bulk District, which limits the maximum plan length and diagonal dimension to 110 feet and 125 feet, respectively for portions of the building exceeding the setback height established pursuant to Section 132.2 and no higher than 80 feet.

A setback height pursuant to Section 132.2 was not established and the building does not exceed 80 feet. Therefore the maximum plan length and diagonal dimensions do not apply. The Project is Code-compliant with respect to bulk requirements per Section 270.

- N. **Shadows on Parks (Section 295).** Section 295 requires any project proposing a structure exceeding a height of 40 feet to undergo a shadow analysis to determine if the project would result in the net addition of shadow to properties under the jurisdiction of the Recreation and Park Department.

The preliminary shadow fan analysis prepared for the Project's Preliminary Project Assessment found that the proposed structure could potentially cast shadow on the Turk-Hyde Mini Park, which falls under the jurisdiction of the Recreation and Park Department. However a shadow analysis dated November 23, 2016 found that the Project would not cast any shadow on the subject park. Therefore the Project is compliant with Section 295.

- O. **Inclusionary Affordable Housing Program.** Planning Code Section 415 sets forth the requirements and procedures for the Inclusionary Affordable Housing Program. Under Planning Code Section 415.3, these requirements would apply to projects that consist of 10 or more units, where the first application (EE or BPA) was applied for on or after July 18, 2006. Pursuant to Planning Code Section 415.5 and 415.6, the Inclusionary Affordable Housing Program requirement for the On-site Affordable Housing Alternative is to provide 12% of the proposed dwelling units as affordable.

The Project Sponsor has demonstrated that it is eligible for the On-Site Affordable Housing Alternative under Planning Code Section 415.5 and 415.6, and has submitted a 'Affidavit of Compliance with the Inclusionary Affordable Housing Program: Planning Code Section 415,' to satisfy the requirements of the Inclusionary Affordable Housing Program by providing the affordable housing on-site instead of through payment of the Affordable Housing Fee. In order for the Project Sponsor to be eligible for the On-Site Affordable Housing Alternative, the Project Sponsor must submit an 'Affidavit of Compliance with the Inclusionary Affordable Housing Program: Planning Code Section 415,' to the Planning Department stating that any affordable units designated as on-site units shall be sold as ownership units and will remain as ownership units for the life of the project. The Project Sponsor submitted such Affidavit on July 27, 2015. The EE application was submitted on August 28, 2014. Pursuant to Planning Code Section 415.3 and 415.6, the on-site requirement is 12%. Three units of the 28 units provided will be affordable units. If the Project becomes ineligible to meet its Inclusionary Affordable Housing Program obligation through the On-site Affordable Housing Alternative, it must pay the Affordable Housing Fee with interest, if applicable.

7. **Planning Code Section 303** establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use authorization. On balance, the project complies with the criteria of Section 303, in that:

- P. The proposed use or feature, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable for, and compatible with, the neighborhood or community.

The Project will add an additional 28 dwelling units to the City's housing supply and will be designed to be compatible with the neighborhood character. The property is located in the Tenderloin Historic

District, characterized, not only by revival style architecture and common materials, such as brick, concrete, terra cotta, ceramic tile, glass, but also denser uses, such as tourist and residential hotels, mixed with medium-density buildings, such as apartment buildings above ground floor-retail.

The project will provide 16 two bedroom units, of which 2 will have two bedrooms plus a den. The remaining 12 units will contain one-bedroom plus a den. The project is desirable because it is an urban infill project that will add 28 units to the City's housing stock. The project also provides ground floor retail use, which will activate the ground floor. The site is located in the Civic Center neighborhood and is surrounded by high density dwellings with supporting retail uses appropriate for the RC-4 Zoning District. The project is appropriate sized, and serves as a transition between the 15-story building to the east and 5-story buildings to the west.

- Q. The use or feature as proposed will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity, or injurious to property, improvements, or potential development in the vicinity, with respect to aspects including, but not limited to the following:

- i. The nature of the proposed site, including its size and shape, and the proposed size, shape and arrangement of structures.

The project site is well suited for mixed-use, multi-unit residential and retail development and is surrounded by similar land uses. The Project will replace a garage and provide a matching light court in the rear, a matching light well on the western property line, and will be designed in a manner that is compatible with the Uptown Tenderloin Historic District.

The property to the east is a 15-story residential building and the property to the west is 5-story apartment building. No prevailing height characterizes on the subject block face. Within a two block radius, over a dozen buildings exceeding eight stories were also found on Turk, Ellis, O'Farrell, Hyde and Jones Streets. Accordingly, the proposed eight-story building is consistent with the neighborhood character.

- ii. The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading and of proposed alternatives to off-street parking, including provisions of car-share parking spaces, as defined in Section 166 of this Code.

The project site will not impact traffic patterns. With 7 off-street parking spaces, the project provides 75 fewer parking spaces than currently provided. There is a reduced need for automobiles in the area surrounding the Project site due to its proximity to transit, services, employment and entertainment. The Project site is well-served by numerous MUNI bus routes, including five routes that have stops within a couple blocks of the Project site (16X, 19, 27, 31 and 38). Additionally, the Project is four blocks from Market Street and several BART and MUNI stations, giving residents convenient access to jobs and retail opportunities both within and outside of San Francisco. Locating new housing along transit-rich neighborhoods helps reduce car dependency and is consistent with the City's transit first policy.

- iii. The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor.

The Project includes residential and commercial uses that are typical of the neighborhood, and will not introduce any permanent operational noises or odors that are detrimental, excessive, or atypical. Although construction will cause a temporary increase in noise, it will be limited in duration, and the Project Sponsor will fully comply with San Francisco's Noise Ordinance, which prohibits excessive noise levels from construction activity and limits permitted working hours when the Project is being built. The Project Sponsor will design building materials to avoid mirrored glass and other highly reflective materials to avoid offensive glare.

- iv. Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs.

The Project would provide an attractive, comfortable environment for its residents. Amenities include approximately 1,650 square feet of common open space in the form of a roof deck above the eighth story. The Project provides private open space for six (6) of the 28 units in the form of a light court at the rear, and decks in the front setback for units on the second and third floor. Off-street parking is provided, and will be adequately screened. The existing curb cut along the property's entire frontage along Eddy Street will be reduced to approximately 12 feet. Lighting along the building façade and at the street level will be consistent with neighborhood character.

- R. That such use or feature as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

The Project generally complies with the applicable sections of the Code. The Project complies with use and density requirements. The Project site is well-served by transit and commercial services, allowing residents to commute, shop and reach amenities by walking, transit and bicycling. The Project conforms with multiple goals and policies of the General Plan, as follows

9. **General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

HOUSING ELEMENT

Objectives and Policies

OBJECTIVE 1

IDENTIFY AND MAKE AVAILABLE FOR DEVELOPMENT ADEQUATE SITES TO MEET THE CITY'S HOUSING NEEDS, ESPECIALLY PERMANENTLY AFFORDABLE HOUSING.

Policy 1.1.

Encourage higher residential density in areas adjacent to downtown, in underutilized commercial and industrial areas proposed for conversion to housing, and in neighborhood commercial districts where higher density will not have harmful effects, especially if the higher density provides a significant number of units that are affordable to lower income households.

Policy 1.10

Support new housing projects, especially affordable housing, where households can easily rely on public transportation, walking and bicycling for the majority of daily trips.

OBJECTIVE 13

PRIORITIZE SUSTAINABLE DEVELOPMENT IN PLANNING FOR AND CONSTRUCTING
NEW HOUSING

Policy 13.1

Support “smart” regional growth that locates new housing close to jobs and transit.

Policy 13.3

Promote sustainable land use patterns that integrate housing with transportation in order to increase transit, pedestrian and bicycle mode share.

The project satisfies these objectives and policies of the General Plan’s Housing Element. The project replaces a three-level parking garage and proposes 28 dwelling units, increasing housing availability in an area adjacent to downtown, where higher density will not have harmful effects. The project site is located within a short walking distance of the Civic Center, SOMA as well as Western Addition and Nob Hill neighborhoods with a number of retail and entertainment options. It is also extremely well-served by public transit. The 16X, 19, 27, 31 and 38 lines all stop within two blocks from the Project site. The Civic Center BART and MUNI underground station is located a few blocks from the Project site, providing access to the outer reaches of San Francisco and the greater Bay Area.

OBJECTIVE 11

SUPPORT AND RESPECT THE DIVERSE AND DISTINCT CHARACTER OF SAN
FRANCISCO’S NEIGHBORHOODS.

Policy 11.1

Promote the construction and rehabilitation of well-designed housing that emphasizes beauty, flexibility, and innovative design, and respects existing neighborhood character.

Policy 11.3

Ensure densities in established residential areas promote compatibility with prevailing neighborhood character.

Policy 11.5

Ensure densities in established residential areas promote compatibility with prevailing neighborhood character.

The project satisfies these policies by proposing a project compatible with the scale of the neighborhood while providing the kind of dense residential project permitted under the code, and encouraged by the City.

The vertical addition is compatible with Uptown Tenderloin Historic District. As a distinction from the historic resource, the façade is more modern and streamlined in design, and will be built with concrete shear wall and aluminum framed windows. The retail space will exist behind the existing opening at the ground floor.

TRANSPORTATION ELEMENT
Objectives and Policies

OBJECTIVE 2:

USE THE TRANSPORTATION SYSTEM AS A MEANS FOR GUIDING DEVELOPMENT AND IMPROVING THE ENVIRONMENT.

Policy 2.1:

Use rapid transit and other transportation improvements in the City and region as the catalyst for desirable development, and coordinate new facilities with public and private development.

The Project is located in the center of the Civic Center / Downtown neighborhood, in an area that includes a number of proposed medium-rise and high-rise residential developments. The area has a number of City-wide and regional transportation options. The Project would make good use of the existing transit services available in this area and would assist in maintaining the desirable urban characteristics and services of the area.

10. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project does comply with said policies in that:

- A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

The proposed project will replace an underutilized parking garage and create an additional 28 dwelling units. The project will also increase the demand for retail services in the immediate area, as well as in adjacent neighborhoods such as Nob Hill, Hayes Valley and SOMA. Both the new retail space and the increasing demand for retail services will enhance existing retail uses and future opportunities for local employment and ownership of businesses.

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

The project site is currently used as a 82-car garage. The project will increase existing housing, and is designed to respect and diversify the existing Uptown Tenderloin Historic District. The urban fabric of the project site is comprised of buildings in various scale and proportion. The proposed 8-story building will be compatible with the neighborhood and help serve as a transition between the 15-story apartment building to the east and 5-story residential building to the west.

- C. That the City's supply of affordable housing be preserved and enhanced.

The City's supply of affordable housing will be increased with this project through the provision of on-site affordable units in compliance with Section 415.6.

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

A wide variety of goods and services are available within walking distance of the project site without reliance on private automobile use. In addition, the area is well served by public transit, providing connections to all areas of the City and to the larger regional transportation network. The Project will also provide 24 Class 1 and 4 Class 2 bicycle parking spaces, exceeding Planning Code Requirements.

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

The project does not contain any industrial uses. The Project will replace a three-level garage with housing and retail spaces. No office space is proposed.

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The project will be designed and constructed to conform to the structural and seismic safety requirements of the Building Code. This proposal will not impact the property's ability to withstand an earthquake.

- G. That landmarks and historic buildings be preserved.

The project preserves an historic building, and will be designed in a manner that is consistent with the Uptown Tenderloin Historic District.

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

The project will not affect the City's parks or open space or their access to sunlight and vistas. The project will not cast shadows on any property under the jurisdiction of, or designated for acquisition by, the Recreation and Park Commission.

11. **First Source Hiring.** The Project is subject to the requirements of the First Source Hiring Program as they apply to permits for residential development (Section 83.4(m) of the Administrative Code), and the Project Sponsor shall comply with the requirements of this Program as to all construction work and on-going employment required for the Project. Prior to the issuance of any building permit to construct or a First Addendum to the Site Permit, the Project Sponsor shall have a First Source Hiring Construction and Employment Program approved by the First Source Hiring Administrator, and evidenced in writing. In the event that both the Director of Planning and the First Source Hiring Administrator agree, the approval of the Employment Program may be delayed as needed.

The Project Sponsor completed the First Source Hiring Affidavit on July 28, 2015.

12. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
13. The Commission hereby finds that approval of the Conditional Use Authorization would promote the health, safety and welfare of the City.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Authorization No. 2014.0562CUAVAR** under Planning Code Sections 303 and 253 to allow the construction of a building exceeding a height of 50-feet in an RC-4 (Residential Commercial, High Density) Zoning District and an 80-T Height and Bulk District. The Project is subject to the following conditions attached hereto as "EXHIBIT A" in general conformance with plans on file, dated April 5, 2016 and stamped "EXHIBIT B", which is incorporated herein by reference as though fully set forth.

APPEAL AND EFFECTIVE DATE OF MOTION: Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion No. XXXXX. The effective date of this Motion shall be the date of this Motion if not appealed (After the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

Protest of Fee or Exaction: You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development.

If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission's adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator's Variance Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives **NOTICE** that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period.

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on May 12, 2016.

Jonas P. Ionin
Commission Secretary

AYES:

NAYS:

Draft Motion
Hearing Date: May 12, 2016

CASE NO. 2014.0562CUAVAR
469 Eddy Street

ABSENT:

ADOPTED: May 12, 2016

EXHIBIT A

AUTHORIZATION

This authorization is for a conditional use to allow the new construction of an 8-story, 80-foot-tall, 47,080 square foot mixed-use residential commercial building with an 8-foot tall basement as a vertical addition to the existing garage that includes 28 dwelling units, approximately 450 square feet of retail space, 2,700 square feet of common and private open space, 7 off-street parking spaces, 29 Class 1 and three (3) Class 2 bicycle parking spaces located at 469 Eddy Street, Assessor's Block 0337 and Lot 014A pursuant to Planning Code Section(s) 253 and 303 within the RC-4 (Residential-Commercial, High Density), North of Market Residential Special Use District Subarea No. 2 and a 80-T Height and Bulk District; in general conformance with plans, dated **April 5, 2016**, and stamped "EXHIBIT B" included in the docket for Case No. **2014.0562CUAVAR** and subject to conditions of approval reviewed and approved by the Commission on **May 12, 2016** under Motion No []. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

RECORDATION OF CONDITIONS OF APPROVAL

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on **May 12, 2016** under Motion No [].

PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. [] shall be reproduced on the Index Sheet of construction plans submitted with the site or building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

SEVERABILITY

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use authorization.

Conditions of Approval, Compliance, Monitoring, and Reporting PERFORMANCE

1. **Validity.** The authorization and right vested by virtue of this action is valid for three (3) years from the effective date of the Motion. The Department of Building Inspection shall have issued a Building Permit or Site Permit to construct the project and/or commence the approved use within this three-year period.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

2. **Expiration and Renewal.** Should a Building or Site Permit be sought after the three (3) year period has lapsed, the project sponsor must seek a renewal of this Authorization by filing an application for an amendment to the original Authorization or a new application for Authorization. Should the project sponsor decline to so file, and decline to withdraw the permit application, the Commission shall conduct a public hearing in order to consider the revocation of the Authorization. Should the Commission not revoke the Authorization following the closure of the public hearing, the Commission shall determine the extension of time for the continued validity of the Authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

3. **Diligent pursuit.** Once a site or Building Permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. Failure to do so shall be grounds for the Commission to consider revoking the approval if more than three (3) years have passed since this Authorization was approved.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

4. **Extension.** All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

5. **Conformity with Current Law.** No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

6. **Additional Project Authorization.** The Project Sponsor must obtain a variance from exposure requirements pursuant to Sections 140 and reduction of rear yard requirements pursuant to Section

134(g). The conditions set forth below are additional conditions required in connection with the Project. If these conditions overlap with any other requirement imposed on the Project, the more restrictive or protective condition or requirement, as determined by the Zoning Administrator, shall apply.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

DESIGN – COMPLIANCE AT PLAN STAGE

7. **Final Materials.** The Project Sponsor shall continue to work with Planning Department on the building design. Final materials, glazing, color, texture, landscaping, and detailing shall be subject to Department staff review and approval. The architectural addenda shall be reviewed and approved by the Planning Department prior to issuance.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

8. **Garbage, composting and recycling storage.** Space for the collection and storage of garbage, composting, and recycling shall be provided within enclosed areas on the property and clearly labeled and illustrated on the building permit plans. Space for the collection and storage of recyclable and compostable materials that meets the size, location, accessibility and other standards specified by the San Francisco Recycling Program shall be provided at the ground level of the buildings.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

9. **Rooftop Mechanical Equipment.** Pursuant to Planning Code 141, the Project Sponsor shall submit a roof plan to the Planning Department prior to Planning approval of the building permit application. Rooftop mechanical equipment, if any is proposed as part of the Project, is required to be screened so as not to be visible from any point at or below the roof level of the subject building.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

10. **Lighting Plan.** The Project Sponsor shall submit an exterior lighting plan to the Planning Department prior to Planning Department approval of the building / site permit application.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

11. **Transformer Vault.** The location of individual project PG&E Transformer Vault installations has significant effects to San Francisco streetscapes when improperly located. However, they may not have any impact if they are installed in preferred locations. Therefore, the Planning Department recommends the following preference schedule in locating new transformer vaults, in order of most to least desirable:

1. On-site, in a basement area accessed via a garage or other access point without use of separate doors on a ground floor façade facing a public right-of-way;
2. On-site, in a driveway, underground;

3. On-site, above ground, screened from view, other than a ground floor façade facing a public right-of-way;
4. Public right-of-way, underground, under sidewalks with a minimum width of 12 feet, avoiding effects on streetscape elements, such as street trees; and based on Better Streets Plan guidelines;
5. Public right-of-way, underground; and based on Better Streets Plan guidelines;
6. Public right-of-way, above ground, screened from view; and based on Better Streets Plan guidelines;
7. On-site, in a ground floor façade (the least desirable location).
8. Unless otherwise specified by the Planning Department, Department of Public Work's Bureau of Street Use and Mapping (DPW BSM) should use this preference schedule for all new transformer vault installation requests.

For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works at 415-554-5810, <http://sfdpw.org>

12. **Overhead Wiring.** The Property owner will allow MUNI to install eyebolts in the building adjacent to its electric streetcar line to support its overhead wire system if requested by MUNI or MTA.

For information about compliance, contact San Francisco Municipal Railway (Muni), San Francisco Municipal Transit Agency (SFMTA), at 415-701-4500, www.sfmta.org

13. **Noise, Ambient.** Interior occupiable spaces shall be insulated from ambient noise levels. Specifically, in areas identified by the Environmental Protection Element, Map1, "Background Noise Levels," of the General Plan that exceed the thresholds of Article 29 in the Police Code, new developments shall install and maintain glazing rated to a level that insulate interior occupiable areas from Background Noise and comply with Title 24.

For information about compliance, contact the Environmental Health Section, Department of Public Health at (415) 252-3800, www.sfdph.org

14. **Noise.** Plans submitted with the building permit application for the approved project shall incorporate acoustical insulation and other sound proofing measures to control noise.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

15. **Street Trees.** Pursuant to Planning Code Section 138.1 (formerly 143), the Project Sponsor shall submit a site plan to the Planning Department prior to Planning approval of the building permit application indicating that street trees, at a ratio of one street tree of an approved species for every 20 feet of street frontage along public or private streets bounding the Project, with any remaining fraction of 10 feet or more of frontage requiring an extra tree, shall be provided. The street trees shall be evenly spaced along the street frontage except where proposed driveways or other street obstructions do not permit. The exact location, size and species of tree shall be as approved by the Department of Public Works (DPW). In any case in which DPW cannot grant approval for installation of a tree in the public right-of-way, on the basis of inadequate sidewalk width, interference with utilities or other reasons regarding the public welfare, and where installation of such tree on the lot itself is also impractical, the requirements of this Section 428 may be modified or waived by the Zoning Administrator to the extent necessary.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

PARKING AND TRAFFIC

16. **Parking for Affordable Units.** All off-street parking spaces shall be made available to Project residents only as a separate “add-on” option for purchase or rent and shall not be bundled with any Project dwelling unit for the life of the dwelling units. The required parking spaces may be made available to residents within a quarter mile of the project. All affordable dwelling units pursuant to Planning Code Section 415 shall have equal access to use of the parking as the market rate units, with parking spaces priced commensurate with the affordability of the dwelling unit. Each unit within the Project shall have the first right of refusal to rent or purchase a parking space until the number of residential parking spaces are no longer available. No conditions may be placed on the purchase or rental of dwelling units, nor may homeowner’s rules be established, which prevent or preclude the separation of parking spaces from dwelling units.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

17. **Bicycle Parking.** Pursuant to Planning Code Sections 155.1, 155.4, and 155.5, the Project shall provide no fewer than **31** bicycle parking spaces (**28** Class 1 spaces for the residential portion of the Project and **3** Class 1 or 2 spaces for the commercial portion of the Project).

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

18. **Parking Maximum.** Pursuant to Planning Code Section 151.1, the Project shall provide no more than **14** off-street parking spaces.

19. **Managing Traffic During Construction.** The Project Sponsor and construction contractor(s) shall coordinate with the Traffic Engineering and Transit Divisions of the San Francisco Municipal Transportation Agency (SFMTA), the Police Department, the Fire Department, the Planning Department, and other construction contractor(s) for any concurrent nearby Projects to manage traffic congestion and pedestrian circulation effects during construction of the Project.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

PROVISIONS

20. **Child Care Fee - Residential.** The project is subject to the Residential Child Care Fee, as applicable, pursuant to Planning Code Section 414A.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

21. **First Source Hiring.** The Project shall adhere to the requirements of the First Source Hiring Construction and End-Use Employment Program approved by the First Source Hiring Administrator, pursuant to Section 83.4(m) of the Administrative Code.

For information about compliance, contact the First Source Hiring Manager at 415-581-2335, www.onestopSF.org

22. **Anti-Discriminatory Housing.** The Project shall adhere to the requirements of the Anti-Discriminatory Housing policy, pursuant to Section 1.61 of the Administrative Code.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

23. **Transportation Sustainability Fee.** The project is subject to the Transportation Sustainability Fee (TSF), as applicable, pursuant to Planning Code Section 411A.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

24. **Affordable Units**

- a. **Number of Required Units.** Pursuant to Planning Code Section 415.6, the Project is required to provide 12% of the proposed dwelling units as affordable to qualifying households, but is subject to change under a proposed Charter amendment and pending legislation if the voters approve the Charter Amendment at the June 7, 2016 election. The Project contains 28 units; therefore, 3 affordable units are required. The Project Sponsor will fulfill this requirement by providing the 3 affordable units on-site. If the number of market-rate units change, the number of required affordable units shall be modified accordingly with written approval from Planning Department staff in consultation with the Mayor's Office of Housing and Community Development ("MOHCD").

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org or the Mayor's Office of Housing and Community Development at 415-701-5500, www.sf-moh.org.

- b. **Unit Mix.** The Project contains 12 one bedrooms + den, and 16 two bedrooms, of which two provide an additional den studios; therefore, the required affordable unit mix is 1 one bedroom + den and two two-bedroom units. If the market-rate unit mix changes, the affordable unit mix will be modified accordingly with written approval from Planning Department staff in consultation with MOHCD.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org or the Mayor's Office of Housing and Community Development at 415-701-5500, www.sf-moh.org.

- c. **Unit Location.** The affordable units shall be designated on a reduced set of plans recorded as a Notice of Special Restrictions on the property prior to the issuance of the first construction permit.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org or the Mayor's Office of Housing and Community Development at 415-701-5500, www.sf-moh.org.

- d. **Phasing.** If any building permit is issued for partial phasing of the Project, the Project Sponsor shall have designated not less than twelve percent (12%) of the each phase's total number of dwelling units as on-site affordable units.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org or the Mayor's Office of Housing and Community Development at 415-701-5500, www.sf-moh.org.

- e. **Duration.** Under Planning Code Section 415.8, all units constructed pursuant to Section 415.6, must remain affordable to qualifying households for the life of the project.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org or the Mayor's Office of Housing and Community Development at 415-701-5500, www.sf-moh.org.

- f. **Other Conditions.** The Project is subject to the requirements of the Inclusionary Affordable Housing Program under Section 415 et seq. of the Planning Code and City and County of San Francisco Inclusionary Affordable Housing Program Monitoring and Procedures Manual ("Procedures Manual"). The Procedures Manual, as amended from time to time, is incorporated herein by reference, as published and adopted by the Planning Commission, and as required by Planning Code Section 415. Terms used in these conditions of approval and not otherwise defined shall have the meanings set forth in the Procedures Manual. A copy of the Procedures Manual can be obtained at the MOHCD at 1 South Van Ness Avenue or on the Planning Department or MOHCD websites, including on the internet at:

<http://sf-planning.org/Modules/ShowDocument.aspx?documentid=4451>. As provided in the Inclusionary Affordable Housing Program, the applicable Procedures Manual is the manual in effect at the time the subject units are made available for sale.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org or the Mayor's Office of Housing and Community Development at 415-701-5500, www.sf-moh.org.

- i. The affordable unit(s) shall be designated on the building plans prior to the issuance of the first construction permit by the Department of Building Inspection ("DBI"). The affordable unit(s) shall (1) reflect the unit size mix in number of bedrooms of the market rate units, (2) be constructed, completed, ready for occupancy and marketed no later than the market rate units, and (3) be evenly distributed throughout the building; and (4) be of comparable overall quality, construction and exterior appearance as the market rate units in the principal project. The interior features in affordable units should be generally the same as those of the market units in the principal project, but need not be the same make, model or type of such item as long they are of good and new quality and are consistent with then-current standards for new housing. Other specific standards for on-site units are outlined in the Procedures Manual.
- ii. If the units in the building are offered for sale, the affordable unit(s) shall be sold to first time home buyer households, as defined in the Procedures Manual, whose gross annual income, adjusted for household size, does not exceed an average of ninety (90) percent of Area

- Median Income under the income table called “Maximum Income by Household Size derived from the Unadjusted Area Median Income for HUD Metro Fair Market Rent Area that contains San Francisco.” The initial sales price of such units shall be calculated according to the Procedures Manual. Limitations on (i) reselling; (ii) renting; (iii) recouping capital improvements; (iv) refinancing; and (v) procedures for inheritance apply and are set forth in the Inclusionary Affordable Housing Program and the Procedures Manual.
- iii. The Project Sponsor is responsible for following the marketing, reporting, and monitoring requirements and procedures as set forth in the Procedures Manual. MOHCD shall be responsible for overseeing and monitoring the marketing of affordable units. The Project Sponsor must contact MOHCD at least six months prior to the beginning of marketing for any unit in the building.
 - iv. Required parking spaces shall be made available to initial buyers or renters of affordable units according to the Procedures Manual.
 - v. Prior to the issuance of the first construction permit by DBI for the Project, the Project Sponsor shall record a Notice of Special Restriction on the property that contains these conditions of approval and a reduced set of plans that identify the affordable units satisfying the requirements of this approval. The Project Sponsor shall promptly provide a copy of the recorded Notice of Special Restriction to the Department and to MOHCD or its successor.
 - vi. The Project Sponsor has demonstrated that it is eligible for the On-site Affordable Housing Alternative under Planning Code Section 415.6 instead of payment of the Affordable Housing Fee, and has submitted the *Affidavit of Compliance with the Inclusionary Affordable Housing Program: Planning Code Section 415* to the Planning Department stating that any affordable units designated as on-site units shall be sold as ownership units and will remain as ownership units for the life of the Project.
 - vii. If the Project Sponsor fails to comply with the Inclusionary Affordable Housing Program requirement, the Director of DBI shall deny any and all site or building permits or certificates of occupancy for the development project until the Planning Department notifies the Director of compliance. A Project Sponsor’s failure to comply with the requirements of Planning Code Section 415 et seq. shall constitute cause for the City to record a lien against the development project and to pursue any and all available remedies at law.
 - viii. If the Project becomes ineligible at any time for the On-site Affordable Housing Alternative, the Project Sponsor or its successor shall pay the Affordable Housing Fee prior to issuance of the first construction permit. If the Project becomes ineligible after issuance of its first construction permit, the Project Sponsor shall notify the Department and MOHCD and pay interest on the Affordable Housing Fee and penalties, if applicable.

MONITORING - AFTER ENTITLEMENT

25. **Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

26. **Revocation due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

OPERATION

27. **Garbage, Recycling, and Composting Receptacles.** Garbage, recycling, and compost containers shall be kept within the premises and hidden from public view, and placed outside only when being serviced by the disposal company. Trash shall be contained and disposed of pursuant to garbage and recycling receptacles guidelines set forth by the Department of Public Works.

For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works at 415-554-5810, <http://sfdpw.org>

28. **Sidewalk Maintenance.** The Project Sponsor shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Streets and Sidewalk Maintenance Standards.

For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works, 415-695-2017, <http://sfdpw.org>

29. **Noise Control.** The premises shall be adequately soundproofed or insulated for noise and operated so that incidental noise shall not be audible beyond the premises or in other sections of the building and fixed-source equipment noise shall not exceed the decibel levels specified in the San Francisco Noise Control Ordinance.

For information about compliance with the fixed mechanical objects such as rooftop air conditioning, restaurant ventilation systems, and motors and compressors with acceptable noise levels, contact the Environmental Health Section, Department of Public Health at (415) 252-3800, www.sfdph.org

For information about compliance with the construction noise, contact the Department of Building Inspection, 415-558-6570, www.sfdbi.org

For information about compliance with the amplified sound including music and television contact the Police Department at 415-553-0123, www.sf-police.org

30. **Community Liaison.** Prior to issuance of a building permit to construct the project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator with written notice of the name, business address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator shall be made aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

31. **Lighting.** All Project lighting shall be directed onto the Project site and immediately surrounding sidewalk area only, and designed and managed so as not to be a nuisance to adjacent residents. Nighttime lighting shall be the minimum necessary to ensure safety, but shall in no case be directed so as to constitute a nuisance to any surrounding property.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

32. **Entertainment Commission-Recommended Noise Attenuation Conditions For Chapter 116 Residential Projects.** The project sponsor shall comply with the “recommended noise attenuation conditions for chapter 116 residential projects,” which were recommended by the entertainment commission on august 25, 2015. These conditions state:

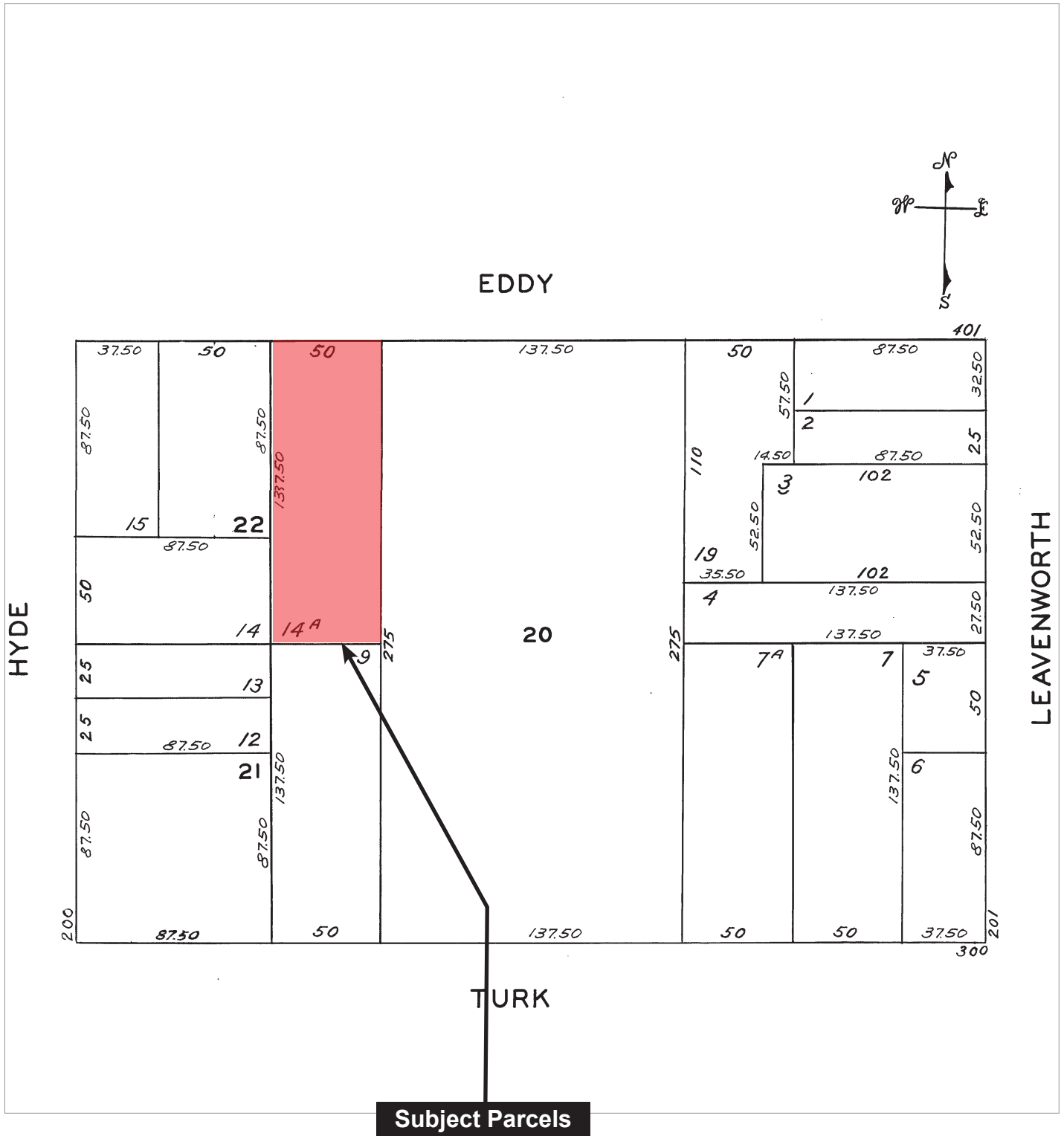
- a. Community Outreach: Project Sponsor shall include in its community outreach process any businesses located within 300 feet of the proposed project that operate between the hours of 9PM-5AM. Notice shall be made in person, written or electronic form.
- b. Sound Study: Project sponsor shall conduct an acoustical sound study, which shall include sound readings taken when performances are taking place at the proximate Places of Entertainment, as well as when patrons arrive and leave these locations at closing time. Readings should be taken at locations that most accurately capture sound from the Place of Entertainment to best of their ability. Any recommendation(s) in the sound study regarding window glaze ratings and soundproofing materials including but not limited to walls, doors, roofing, etc. shall be given highest consideration by the project sponsor when designing and building the project.
- c. Design Considerations:
 - i. During design phase, project sponsor shall consider the entrance and egress location and paths of travel at the Place(s) of Entertainment in designing the location of (a) any entrance/egress for the residential building and (b) any parking garage in the building.

- ii. In designing doors, windows, and other openings for the residential building, project sponsor should consider the POE's operations and noise during all hours of the day and night.
- d. Construction Impacts: Project sponsor shall communicate with adjacent or nearby Place(s) of Entertainment as to the construction schedule, daytime and nighttime, and consider how this schedule and any storage of construction materials may impact the POE operations.
- e. Communication: Project Sponsor shall make a cell phone number available to Place(s) of Entertainment management during all phases of development through construction. In addition, a line of communication should be created to ongoing building management throughout the occupation phase and beyond.

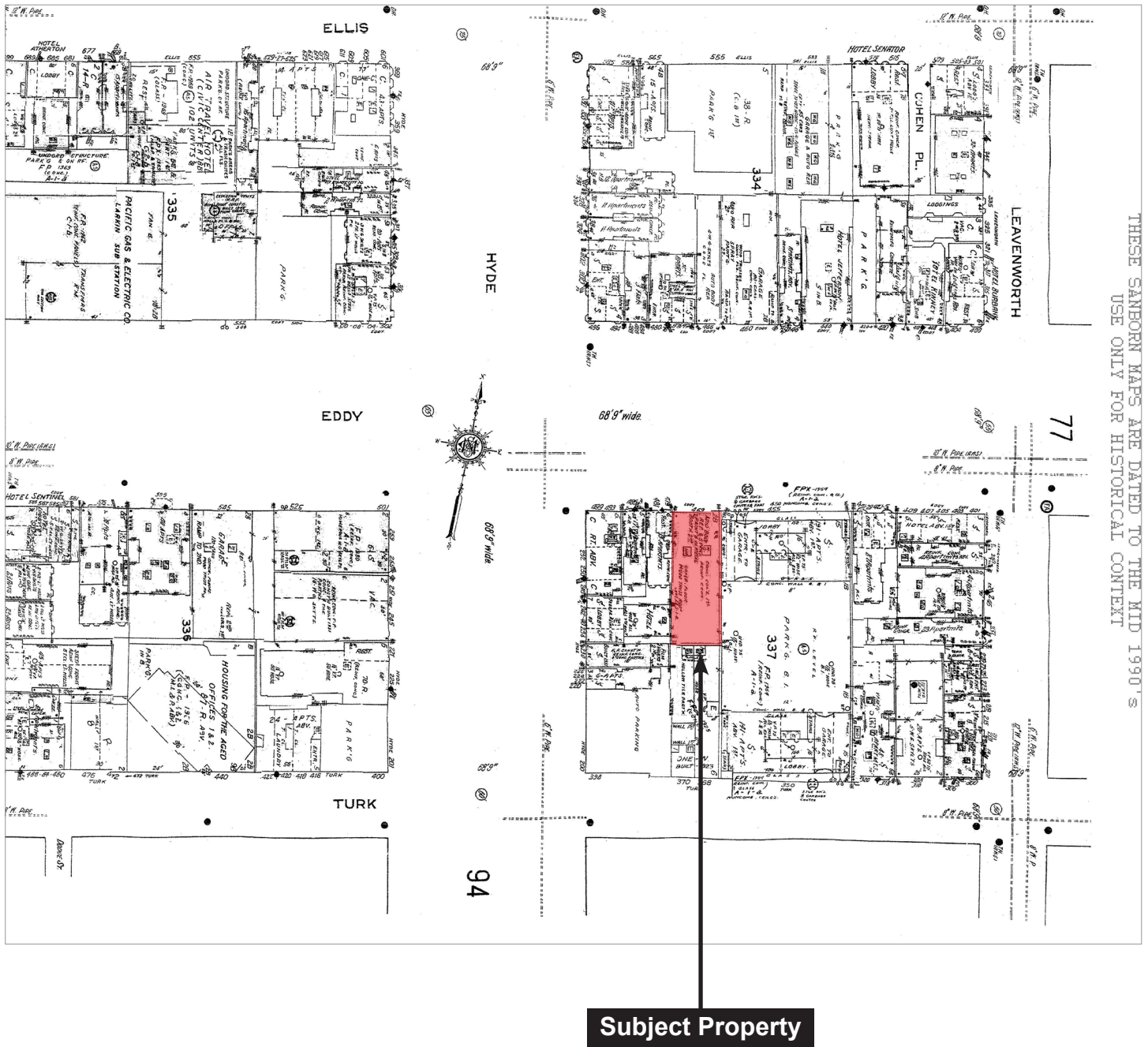
Exhibits

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Parcel Map



Sanborn Map

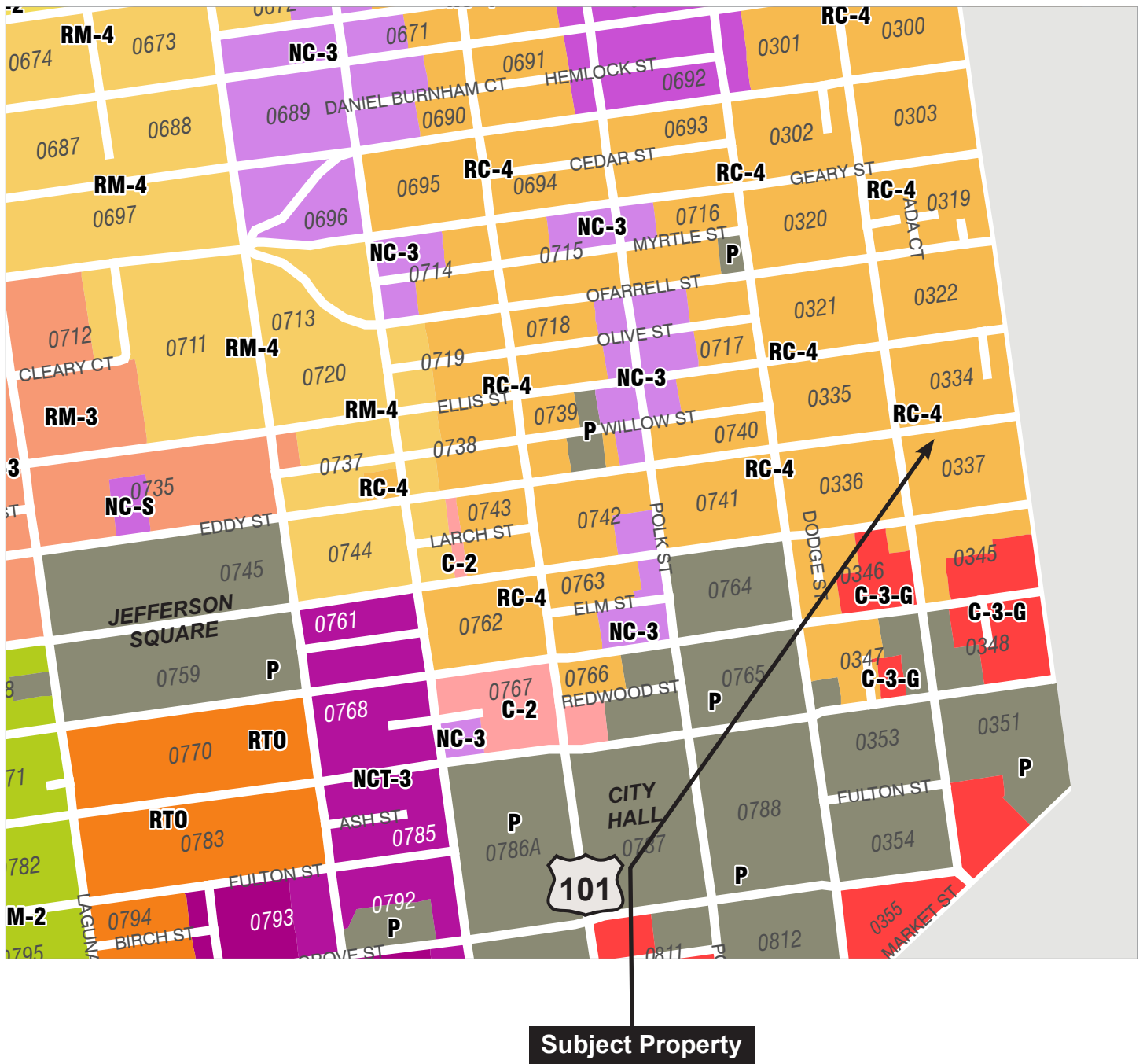


*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.

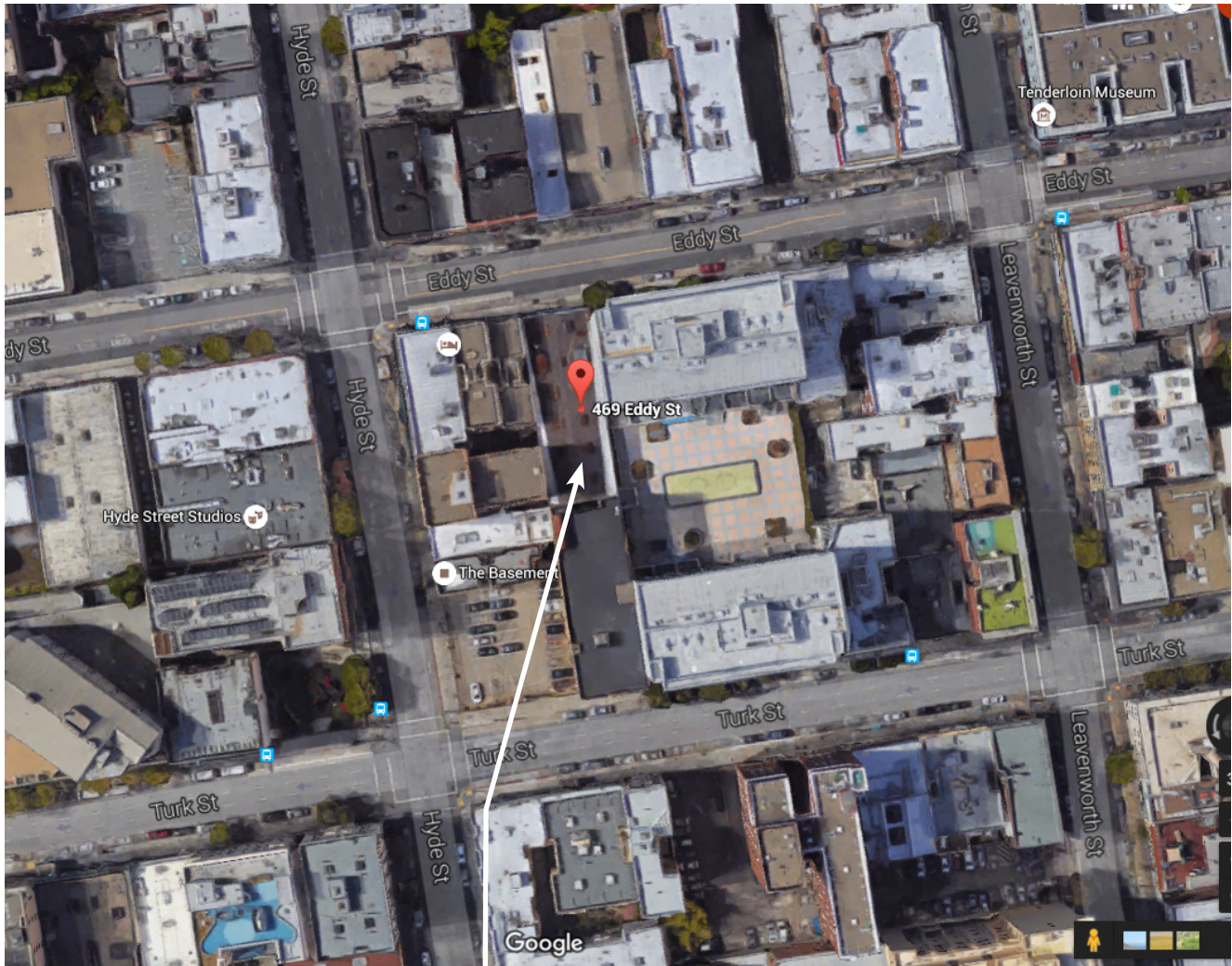
SAN FRANCISCO
PLANNING DEPARTMENT

Case Number 2014.0562CUAVAR
Conditional Use Authorization
469 Eddy Street

Zoning Map



Aerial



Subject Property

Site Photo - Looking South



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SAN FRANCISCO PLANNING DEPARTMENT

Certificate of Determination Exemption from Environmental Review

Case No.: 2014.0562ENV
Project Title: 469 Eddy Street
Zoning: RC-4 (Residential-Commercial, High Density) Use District
80-T Height and Bulk District
North of Market Residential-2
Fringe Financial Services RUD
Block/Lot: 0337/014A
Lot Size: 6,875 square feet
Project Sponsor: Nick Cranmer
(415) 501-0931
Staff Contact: Justin Horner – (415) 575-9023
Justin.Horner@sfgov.org

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

PROJECT DESCRIPTION:

469 Eddy Street (Assessor's Block 0337, Lot 14A) is located in San Francisco's Downtown/Civic Center neighborhood on the south side of Eddy Street, on the block bounded by Eddy Street to the north, Turk Street to the south, Leavenworth Street to the east, and Hyde Street to the west. The lot currently contains a privately-owned two-story-over-basement, 30-foot-tall parking garage for 82 cars, which is open to the

(Continued on next page)

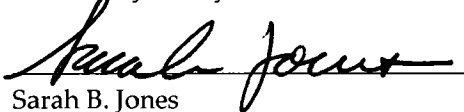
EXEMPT STATUS:

Categorical Exemption, Class 32 (California Environmental Quality Act [CEQA] Guidelines Section 15332) See page 2.

(Continued on next page)

DETERMINATION:

I do hereby certify that the above determination has been made pursuant to State and local requirements.


Sarah B. Jones
Environmental Review Officer


Date

cc: Nick Cranmer, Project Sponsor
Tina Chang, Current Planner
Lily Yegazu, Preservation Planner
Supervisor Jane Kim, District 6, (via Clerk of the Board)

Virna Byrd, M.D.F.

PROJECT DESCRIPTION (continued):

public on a 24 hour basis. The existing on-site garage building is located within the Tenderloin National Register Historic District and is a contributing resource to that District. The proposed project would construct an 8-story, 80-foot-tall, 49,500 SF mixed-use residential commercial building with an 8-foot tall basement as a vertical addition to the existing garage. The existing garage contains 82 off-street parking spaces and the proposed project would include 16 spaces, for a net loss of 66 off-street parking spaces. The vertical addition would be set back 25 feet from the existing building face and would consist of 29 dwelling units and approximately 2,600 sf of ground-floor commercial space, a ground-floor parking garage for 16 cars, and basement storage. The existing building façade would be rehabilitated, with its existing character-defining features, including stucco walls, metal sash windows, cornice and decorative trim, preserved.

PROJECT APPROVALS

The proposed project requires the following Planning approvals:

Conditional Use Authorization.

- a) *New Construction over 50 feet in height (Section 253):* Conditional Use Authorization is required for new construction of a building greater than 50 feet in height in an RC District.
- b) *Bulk (Section 270):* the project is located in the 80-T Height and Bulk District. Deviations from the bulk limits outlined in the Code Section require Conditional Use Authorization by the Planning Commission.

Variances.

- a) *Rear Yard (Section 134):* the project requires a rear yard of at least 25 percent of the lot depth beginning with the lowest story containing a dwelling unit. Plans indicate that the rear yard is approximately 24 feet deep. Twenty-five percent of the lot depth is 34.4 feet, so the rear yard does not meet the Code requirement. In the North of Market Residential Special use District (Section 249.5), the rear yard requirement may be substituted with an equivalent amount of open space elsewhere in the project, provided it meets requirements, as determined by the Zoning Administrator.
- b) *Exposure (Section 140):* Planning Code Section 140 requires that all dwelling units face directly onto an open area that must face either, i) a public street, alley or side yard at least 25 feet in width; ii) a Code-complying rear yard; or iii) an open area that meets certain dimensional requirements. It appears that the 22 units that face the rear yard and lightwell will not meet this requirement. A variance is required if this original design is retained.

A Building Permit issued by the Department of Building Inspection.

The issuance of a Conditional Use Authorization by the Planning Commission is the Approval Action for the project. The Approval Action date establishes the start of the 30-day appeal period for this CEQA exemption determination pursuant to Section 31.04(h) of the San Francisco Administrative Code.

EXEMPT STATUS (continued):

CEQA Guidelines Section 15332, or Class 32, provides an exemption from environmental review for in-fill development projects that meet the following conditions. As discussed below, the proposed project satisfies the terms of the Class 32 exemption.

- a) *The project is consistent with applicable general plan designations and policies as well as with applicable zoning designations.*

The San Francisco General Plan, which provides general policies and objectives to guide land use decisions, contains some policies that relate to physical environmental issues. The proposed project would not obviously or substantially conflict with any such policy, and would be consistent with the San Francisco General Plan and with applicable zoning designations. The site is located within the RC-4 (Residential-Commercial, High Density) Use District, which is intended to recognize, protect, conserve, and enhance areas characterized by structures combining Residential uses with neighborhood-serving Commercial uses. The predominant Residential uses are preserved, while provision is made for supporting Commercial uses, usually in or below the ground story, that meet the frequent needs of nearby residents without generating excessive vehicular traffic. Thus, the proposed project, which includes residential uses with ground floor commercial, is consistent with all General Plan designations and applicable zoning plans and policies.

- b) *The development occurs within city limits on a site of less than five acres surrounded by urban uses.*

The 6,785-square-foot (0.15-acre) project site is located within a fully developed area of San Francisco. The surrounding uses are mixed-use residential over retail and commercial. Thus, the proposed project would be properly characterized as an infill development surrounded by urban uses on a site of less than five acres.

- c) *The project site has no habitat for endangered, rare or threatened species.*

The 6,785-square-foot project site is located within a developed urban area and is fully occupied by existing development. The project site has no value as habitat for rare, threatened, or endangered species.

- d) *Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.*

Traffic: The project site is located in San Francisco's Downtown/Civic Center neighborhood on the south side of Eddy Street, on the block bounded by Eddy Street to the north, Turk Street to the south, Leavenworth Street to the east, and Hyde Street to the west. Street parking is available on all adjacent streets, with weekly restrictions for street-cleaning.

The proposed project includes the construction of 29 dwelling units and 2,600 sf of retail space. Using the Planning Department's 2002 *Transportation Impact Analysis Guidelines for Environmental*

Review (October 2002), the proposed project is estimated to generate a total of 673 daily person-trips, which includes a total of 71 daily vehicle-trips. The residential use would generate 283 daily person-trips and 12 daily vehicle-trips, and the commercial use would generate 390 daily person-trips and 59-vehicle trips.¹ During the PM peak, the project as a whole would generate 84 person-trips, which includes a total of 7 vehicle trips. Forty-nine of these PM peak person-trip and two of the vehicle-trips would be generated by the residential use, and 35 of the peak person-trips and five of the PM peak vehicle-trips would be generated by the commercial use. These trips would be distributed among various modes of transportation, including single occupancy vehicles, carpools, public transit, walking, and bicycling. Of the 84 PM peak person-trips from the proposed residential and commercial uses, 16 would be vehicle trips, 35 would be transit trips, 27 would be walking, and five are classified as Other (including bicycling). Mode split and vehicle occupancy data for the residential uses were obtained from the 2000 Census "Journey to Work" and Citywide Travel Behavior Survey figures. The incremental increase in traffic from the proposed project would not be considered a substantial increase relative to the existing capacity of the local street system. Furthermore, the analysis does not take into account the reduction of vehicle trips that would result from the removal of the existing private garage. The change in traffic in the project area as a result of the proposed project would be indiscernible to most drivers. The proposed project would add a negligible increment to the cumulative long-term traffic increase on the neighborhood's roadway network. Thus, the project would not substantially affect the neighborhood's existing traffic conditions.

Transit, Bicycle and Pedestrian Circulation. The project is expected to generate 234 daily transit person-trips, thirty-five of which would occur in the p.m. peak hour. The project site is well served by Muni. The 31-Balboa line runs along Eddy Street in front of the project, and the project is within one block of the 19-Polk, four blocks from Market Street. The project site is within four blocks of Bicycle Routes 16, 20, 25, and 50. Additionally, sidewalks are wide enough to support the anticipated increase in pedestrian use. Thus, the project would not substantially affect the neighborhood's existing conditions for transit, bicycle, and pedestrian circulation.

Increased Traffic Hazards. The proposed project does not include any design features that would substantially increase traffic hazards (e.g., creating a new sharp curve or dangerous intersections), and would not include any incompatible uses; therefore, there would no impacts associated with traffic hazards for the proposed project. Also, the proposed project will replace an automobile garage with a residential and commercial use that will result in fewer cars accessing the site each day.

Construction Impacts. The proposed project would be constructed over a period anticipated to last approximately 21 months, beginning in the fourth quarter of 2016. Construction activities would include daily vehicle trips generated by the arrival and departure of construction workers. Trucks would haul excavated materials away from the site and haul assembly materials to the site. Van Ness Avenue, 9th Street, Hyde Street and Polk Street would all be used to access the site

¹ *Transportation Impact Analysis Guidelines, Transportation Calculations.* This document (and all other documents cited in this report, unless otherwise noted), is available for review at 1650 Mission Street, Suite 400, San Francisco, CA, as part of Case No. 2014.0562E at 1650 Missions Street, Suite 400, San Francisco, CA, 94103.

to haul building materials. Construction of the proposed project would not require any lane closures.

Throughout the construction period, there would be a flow of construction-related trucks into and out of the site. The project sponsor and construction contractor(s) would meet with the Traffic Engineering Division of the Department of Parking and Traffic (DPT), the Fire Department, Muni's Street Operations and Special Events Office, and other City agencies to determine feasible traffic modifications to reduce traffic congestion and other potential traffic disruption and pedestrian circulation effects during construction of the project. The effect of construction truck traffic would be a temporary lessening of the capacities of local streets due to the slower movement and larger turning radii of trucks, which may affect both traffic and transit operations. Construction workers who drive to the site could cause a temporary increase in parking demand, and the project applicant would make accommodations for construction worker parking. Therefore, it is anticipated that construction workers would be accommodated without substantially affecting area wide parking conditions. The impacts of construction on parking and traffic would be limited in scope and temporary in duration, and would not be significant.

Noise: The proposed project is located at 465 Eddy Street. Initial research by the Planning Department indicated that existing ambient noise levels along a segment of Eddy Street are below 65 dBA Ldn (a day-night averaged sound level). An Environmental Noise Report prepared in February, 2015 found that the ambient noise level was closer to 70.7 dBA_{Ldn}. The project involves the siting of new noise-sensitive uses (i.e. residential uses) and therefore required an acoustical analysis demonstrating that the building would meet Title 24 noise insulation standards. Such a noise study was prepared for the proposed project.²

The study concluded that the project's expected exterior wall system, with a rating of OITC 45, should be sufficient to mitigate outdoor to indoor noise transmission and to meet Title 24 interior noise requirements. The Report also laid out recommended OITC ratings for all residential unit window assemblies facing Eddy Street, and called for makeup air ventilation systems³ for all residential units facing Eddy Street

The project sponsor has agreed to all of the recommendations outlined in the study, ensuring residential units would meet Title 24 standards for interior noise. As a result, the project would have no significant impacts with respect to noise.

Noises generated by residential uses are common and generally accepted in urban areas. An approximate doubling of traffic volumes in the area would be necessary to produce an increase in ambient noise levels noticeable to most people. The proposed project would not cause a doubling

² Shen Milson & Wilke, 2015. *469 Eddy Street Residential Development, Environmental Noise Report*, Feb 10.

³ Building Code: "if interior noise levels are met by requiring that windows be unopenable or closed, the design of the structure must also specify a ventilation or air-conditioning system to provide a habitable interior environment."

in traffic volumes and therefore would not cause a noticeable increase in the ambient noise level in the project vicinity.

Project construction would temporarily and intermittently increase noise and possibly vibration levels around the project site and may be considered an annoyance by occupants of nearby properties. Noise and vibration levels over the estimated 21 month construction period would fluctuate depending on the construction phase, equipment type and duration of use, distance between noise source and listener, and presence or absence of barriers. Construction noises associated with the proposed project would include minor excavation, truck traffic, and finishing. Of these, excavation and site work would likely generate the most construction-related noise.

Throughout the construction period there would be truck traffic to and from the site, hauling away excavated materials and debris, or delivering building materials. It is anticipated that the construction hours would be working hours from 7AM to 5PM during the week, with possible limited work during weekends.

The San Francisco Noise Ordinance (Article 29 of the Police Code) regulates construction-related noise. Although not listed as a mitigation measure, it is required by law and would serve to reduce negative impacts of the proposed project on sensitive receptors. The ordinance requires that noise levels from individual pieces of construction equipment, other than impact tools, not exceed 80 dBA⁴ at a distance of 100 feet from the source. Impact tools, such as jackhammers, must have both the intake and exhaust muffled to the satisfaction of the Director of the Department of Public Works or the Director of Building Inspection. Section 2908 of the Ordinance prohibits construction work between 8:00 p.m. and 7:00 a.m., if noise would exceed the ambient noise level by five dBA at the project property line, unless a special permit is authorized by the Director of Public Works or the Director of Building Inspection. The project must comply with regulations set forth in the Noise Ordinance.

Sensitive receptors are people requiring quiet, for sleep or concentration, such as residences, schools, or hospitals, and people themselves who may be relatively more susceptible to adverse health impacts from their environment, such as immune-compromised individuals, populations with elevated levels of chronic illness, children, and the aged. The nearest sensitive receptors to the project site would be nearby residents, including residents of the buildings immediately east, west and north of the project site along Eddy Street, as well as rear neighbors along Turk Street. Construction activities other than pile driving typically generate noise levels no greater than 90 dBA (for instance, for excavation) at 50 feet from the activity, while other activities, such as concrete work, are less noisy. Closed windows typically can reduce daytime interior noise levels to an acceptable level. Therefore, for nearby sensitive receptors, although construction noise could be annoying at times, it would not be expected to exceed noise levels commonly experienced in an urban environment, and would not be considered significant. The proposed building would not use pile driving. The proposed project would not create unusual levels of ground borne vibration that would disturb nearby residents or businesses, and vibration impacts

⁴ dBA is the symbol for decibels using the A-weighted scale. A decibel is a unit of measurement for sound loudness (amplitude). The A-weighted scale is a logarithmic scale that approximates the sensitivity of the human ear.

would be less than significant. Given the above-mentioned City noise regulations and the temporary nature of construction work, construction noise would have a less-than-significant impact on the environment. Although some increase in noise would be associated with the construction phase of the proposed project, such occurrences would be limited to certain hours of the day and would be intermittent and temporary in nature. Construction noise is regulated by the San Francisco Noise Ordinance (Article 29 of the City Police Code). Section 2907 of the Police Code requires that noise levels from individual pieces of construction equipment, other than impact tools.

Air Quality: In accordance with the state and federal Clean Air Acts, air pollutant standards are identified for the following six criteria air pollutants: ozone, carbon monoxide (CO), particulate matter (PM), nitrogen dioxide (NO₂), sulfur dioxide (SO₂) and lead. These air pollutants are termed criteria air pollutants because they are regulated by developing specific public health- and welfare-based criteria as the basis for setting permissible levels. The Bay Area Air Quality Management District (BAAQMD) in their *CEQA Air Quality Guidelines* (May 2011), has developed screening criteria to determine if projects would violate an air quality standard, contribute substantially to an air quality violation, or result in a cumulatively considerable net increase in criteria air pollutants within the San Francisco Bay Area Air Basin. If a proposed project meets the screening criteria, then the project would result in less-than-significant criteria air pollutant impacts. A project that exceeds the screening criteria may require a detailed air quality assessment to determine whether criteria air pollutant emissions would exceed significance thresholds. The proposed project's 29 dwelling units are well below the Bay Area Air Quality Management District's (BAAQMD) screening levels for construction-related or operations-related criteria air pollutants.⁵

In addition to criteria air pollutants, individual projects may emit toxic air contaminants (TACs). TACs collectively refer to a diverse group of air pollutants that are capable of causing chronic (i.e., of long-duration) and acute (i.e., severe but short-term) adverse effects to human health, including carcinogenic effects. In response to growing concerns of TACs and their human health effects, the San Francisco Board of Supervisors approved a series of amendments to the San Francisco Building and Health Codes, generally referred to as the Enhanced Ventilation Required for Urban Infill Sensitive Use Developments or Health Code, Article 38 (Ordinance 224-14, effective December 8, 2014)(Article 38). The purpose of Article 38 is to protect the public health and welfare by establishing an Air Pollutant Exposure Zone and imposing an enhanced ventilation requirement for all urban infill sensitive use development within the Air Pollutant Exposure Zone. Projects within the Air Pollutant Exposure Zone require special consideration to determine whether the project's activities would expose sensitive receptors to substantial air pollutant concentrations or add emissions to areas already adversely affected by poor air quality. The proposed project is not within an Air Pollutant Exposure Zone. Therefore, the proposed project would not result in a significant impact with respect to siting new sensitive receptors in areas with substantial levels of air pollution.

⁵ BAAQMD, *CEQA Air Quality Guidelines*, May 2011, Chapter 3.

The proposed project would require construction activities for the approximate 21-month construction phase. However, construction emissions would be temporary and variable in nature and would not be expected to expose sensitive receptors to substantial air pollutants. Furthermore, the proposed project would be subject to, and comply with, California regulations limiting idling to no more than five minutes,⁶ which would further reduce nearby sensitive receptors' exposure to temporary and variable TAC emissions. Therefore, construction period TAC emissions would not result in a significant impact with respect to exposing sensitive receptors to substantial levels of air pollution.

In view of the above, the proposed project would not result in adverse impact with respect to exposing sensitive receptors to substantial levels of air pollution.

Water Quality: The proposed project would not generate substantial wastewater or result in discharges that would have the potential to degrade water quality or contaminate a public water supply. Project-related wastewater and stormwater would flow into the City's combined sewer system and would be subject to the standards contained in the City's National Pollutant Discharge Elimination System (NPDES) Permit for the Southeast Water Pollution Control Plan prior to discharge.

Therefore, the proposed project would not result in adverse impacts related to water quality.

- e) *The site can be adequately served by all required utilities and public services.*

The project site is located in a dense urban area where all public services and facilities are available; no expansion of public services or utilities is anticipated. Therefore, the proposed project would not result in adverse impacts related to utilities and public services.

DISCUSSION OF ENVIRONMENTAL ISSUES:

Guidelines Section 15300.2, subdivision (c), provides that a categorical exemption shall not be used for an activity where there is a reasonable possibility that the activity will have a significant effect on the environment due to unusual circumstances. As discussed above, the proposed project would not have a significant effect on traffic, noise, air quality and water quality. In addition, the proposed project would not have a significant effect on the environment due to unusual circumstances for other environmental topics.

CEQA Guidelines Section 15300.2, subdivision (f), provides that a categorical exemption shall not be used for a project that may cause a substantial adverse change in the significance of a historical resource. For the reasons discussed below under "Historic Architectural Resources," there is no possibility that the proposed project would have a significant effect on a historic resource.

⁶ California Code of Regulations, Title 13, Division 3, § 2485. This regulation applies to on-road heavy duty vehicles and not off-road equipment.

Historic Architectural Resource In evaluating whether the proposed project would be exempt from environmental review under the California Environmental Quality Act (CEQA), the Planning Department must first determine whether the building located at 469 Eddy Street is a historical resource as defined by CEQA. As described in the Planning Department's Historic Resource Evaluation Response, the building is located within the Uptown Tenderloin National Register Historic District with a survey rating of 1D (Contributor to a District).⁷

The existing building at 469 Eddy Street is a rectangular shaped, two-story-over-basement, reinforced concrete garage structure. It was designed by the O'Brien Brothers, who specialized in auto-related buildings, and can be considered master designers based on the findings of the *Van Ness Auto Row Support Structures* survey.⁸ The primary character-defining features of the building include the building's façade (height, width, and shape); its gabled parapet with stepped top; stucco cladding; metal sash windows; three garage door openings; cornice; and decorative trim over the doors and windows.

The Department's Preservation staff reviewed the proposed project and the historic resource evaluation provided by the project sponsor.⁹ The proposed project is for a vertical addition containing residential units over the existing two-story-plus-basement garage. The existing building façade would be rehabilitated with the existing character-defining features, including the stucco walls, metal sash windows, cornice and decorative trim, preserved. The vertical addition would be set back 25 feet from the building face.

The Preservation technical specialist has indicated that the proposed project would not cause a substantial adverse change in the subject individual resource such that the building would be materially impaired, and the project would not result in the removal of any character-defining features.¹⁰ The proposed project would be consistent with the height and massing of the Uptown Tenderloin Historic District, and the addition's vertically-oriented window openings and proposed building materials would be consistent with the existing character of the District. The proposed new residential use with garage on the ground floor would be a compatible use in the District. The vertical addition, with its 25-foot set back, would be distinct from the existing building, is compatible with it, and would not create a false sense of historical development. The distinctive materials, features, finishes and construction techniques that characterize the existing building would be preserved.

Based on the information provided and review by Preservation staff, the Department has determined that the proposed project would not cause a substantial adverse change in the significance of a historical resource.

⁷ San Francisco Planning Department, *469 Eddy Street: Historic Resource Evaluation Response*, January 25, 2016.

⁸ San Francisco Planning Department, *Van Ness Auto Row Support Structures, A Survey of Automobile-Related Buildings along the Van Ness Avenue Corridor*, William Kostura, 2010.

⁹ Richard Brandi, *Historical Resource Evaluation: 469 Eddy Street*, October 19, 2015.

¹⁰ San Francisco Planning Department, *469 Eddy Street: Historic Resource Evaluation Response*, January 25, 2016.

PUBLIC NOTICE AND COMMENT

On December 23, 2014, the Planning Department mailed a "Notification of Project Receiving Environmental Review" to community organizations, tenants of the affected property and properties adjacent to the project site, and those persons who own property within 300 feet of the project site. There were two responses to the notice.

A neighbor expressed concerns about long construction duration, and noise and dust from construction. A neighborhood organization expressed similar concerns, including regarding construction-related noise.

Project-related demolition, excavation, grading, and other construction activities may cause wind-blown dust that could contribute particulate matter into the local atmosphere. To reduce construction dust impacts, the proposed project will be required to adhere to the dust control requirements set forth in the Construction Dust Ordinance contained in San Francisco Health Code Article 22B and San Francisco Building Code Section 106.A.3.2.6. Construction noise would be subject to the San Francisco Noise Ordinance (Article 29 of the San Francisco Police Code), which includes restrictions on noise levels of construction equipment and hours of construction.

A community organization expressed concern that further development of market rate housing in the Tenderloin will increase housing costs beyond the incomes of current residents and increase the possibility of Ellis Act evictions. The organization requested environmental review of the cumulative impact of this and a number of other recent market rate developments in the Tenderloin.

CEQA generally does not require the analysis of economic impacts. While there could potentially be an impact to home values or rents in the area, such an occurrence would be a socioeconomic impact, which is beyond the scope of CEQA. As stated in CEQA Guidelines Section 15131(a), "[e]conomic or social effects of a project shall not be treated as significant effects on the environment. An EIR may trace a chain of cause and effect from a proposed decision on a project through anticipated economic or social changes resulting from the project to physical changes caused in turn by the economic or social changes. The intermediate economic or social changes need not be analyzed in any detail greater than necessary to trace the chain of cause and effect. The focus of the analysis shall be on the physical changes." In general, analysis of the potential adverse physical impacts resulting from economic activities has been concerned with the question of whether an economic change would lead to physical deterioration in a community. The construction of 469 Eddy Street would not create an economic change that would lead to the physical deterioration of the surrounding neighborhood.

SUMMARY

CEQA State Guidelines Section 15300.2 states that a categorical exemption shall not be used for an activity where there is a reasonable possibility that the activity will have a significant effect on the environment due to unusual circumstances. There are no unusual circumstances surrounding the current proposal that would suggest a reasonable possibility of a significant effect. The proposed project would have no significant environmental effects. The project would be exempt under the above-cited classification. For the above reasons, the proposed project is appropriately exempt from environmental review pursuant to Section 15332 of the CEQA Guidelines.



SAN FRANCISCO
PLANNING
DEPARTMENT

AFFIDAVIT FOR FIRST SOURCE HIRING PROGRAM

Administrative Code

Chapter 83

1650 Mission Street, Suite 400 • San Francisco CA 94103-2479 • 415.558.6378 • <http://www.sfplanning.org>

Section 1: Project Information

PROJECT ADDRESS 469 Eddy Street		BLOCK/LOT(S) 0337/014A	
BUILDING PERMIT APPLICATION NO.		CASE NO. (IF APPLICABLE) 2014.0562CUA	MOTION NO. (IF APPLICABLE)
PROJECT SPONSOR JS Sullivan Development	MAIN CONTACT Charles Shin		PHONE 415-501-0962
ADDRESS 2044 Fillmore Street, 3rd Floor			
CITY, STATE, ZIP San Francisco, CA 94115		EMAIL c.shin@js-sullivan.com	
ESTIMATED RESIDENTIAL UNITS 28 units	ESTIMATED SQ FT COMMERCIAL SPACE 1,000 SF	ESTIMATED HEIGHT/FLOORS 80 feet	ESTIMATED CONSTRUCTION COST \$10 million
ANTICIPATED START DATE September 2016			

Section 2: First Source Hiring Program Verification

CHECK ALL BOXES APPLICABLE TO THIS PROJECT	
<input type="checkbox"/>	Project is wholly Residential
<input type="checkbox"/>	Project is wholly Commercial
<input checked="" type="checkbox"/>	Project is Mixed Use
<input checked="" type="checkbox"/>	A: The project consists of ten (10) or more residential units;
<input type="checkbox"/>	B: The project consists of 25,000 square feet or more gross commercial floor area.
<input type="checkbox"/>	C: Neither 1A nor 1B apply.
NOTES: <ul style="list-style-type: none">• If you checked C, this project is <u>NOT</u> subject to the First Source Hiring Program. Sign Section 4: Declaration of Sponsor of Project and submit to the Planning Department.• If you checked A or B, your project <u>IS</u> subject to the First Source Hiring Program. Please complete the reverse of this document, sign, and submit to the Planning Department prior to any Planning Commission hearing. If principally permitted, Planning Department approval of the Site Permit is required for all projects subject to Administrative Code Chapter 83.• For questions, please contact OEWD's CityBuild program at CityBuild@sfgov.org or (415) 701-4848. For more information about the First Source Hiring Program visit www.workforcedevelopmentsf.org• If the project is subject to the First Source Hiring Program, you are required to execute a Memorandum of Understanding (MOU) with OEWD's CityBuild program prior to receiving construction permits from Department of Building Inspection.	

Continued...

Section 3: First Source Hiring Program – Workforce Projection

Per Section 83.11 of Administrative Code Chapter 83, it is the developer's responsibility to complete the following information to the best of their knowledge.


Provide the estimated number of employees from each construction trade to be used on the project, indicating how many are entry and/or apprentice level as well as the anticipated wage for these positions.

Check the anticipated trade(s) and provide accompanying information (Select all that apply):

TRADE/CRAFT	ANTICIPATED JOURNEYMAN WAGE	# APPRENTICE POSITIONS	# TOTAL POSITIONS	TRADE/CRAFT	ANTICIPATED JOURNEYMAN WAGE	# APPRENTICE POSITIONS	# TOTAL POSITIONS
Abatement Laborer		0	2	Laborer		0	6
Boilermaker		-	-	Operating Engineer		0	2
Bricklayer		-	-	Painter		0	2
Carpenter		4	10	Pile Driver		-	-
Cement Mason		1	4	Plasterer		0	4
Drywall/Latherer		3	10	Plumber and Pipefitter		0	4
Electrician		2	6	Roofer/Water proofer		0	3
Elevator Constructor		0	2	Sheet Metal Worker		0	4
Floor Coverer		0	4	Sprinkler Fitter		0	3
Glazier		0	5	Taper		0	5
Heat & Frost Insulator		-	-	Tile Layer/ Finisher		0	3
Ironworker		0	3	Other:		-	-
		TOTAL:	46			TOTAL:	36

- | | | |
|--|-------------------------------------|-------------------------------------|
| | YES | NO |
| 1. Will the anticipated employee compensation by trade be consistent with area Prevailing Wage? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 2. Will the awarded contractor(s) participate in an apprenticeship program approved by the State of California's Department of Industrial Relations? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 3. Will hiring and retention goals for apprentices be established? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 4. What is the estimated number of local residents to be hired? | | <u>30</u> |

Section 4: Declaration of Sponsor of Principal Project

PRINT NAME AND TITLE OF AUTHORIZED REPRESENTATIVE	EMAIL	PHONE NUMBER
Charles Shin	c.shin@js-sullivan.com	415-501-0962
I HEREBY DECLARE THAT THE INFORMATION PROVIDED HEREIN IS ACCURATE TO THE BEST OF MY KNOWLEDGE AND THAT I COORDINATED WITH OEWD'S CITYBUILD PROGRAM TO SATISFY THE REQUIREMENTS OF ADMINISTRATIVE CODE CHAPTER 83.		
 (SIGNATURE OF AUTHORIZED REPRESENTATIVE)		7/28/15 (DATE)

FOR PLANNING DEPARTMENT STAFF ONLY: PLEASE EMAIL AN ELECTRONIC COPY OF THE COMPLETED AFFIDAVIT FOR FIRST SOURCE HIRING PROGRAM TO OEWD'S CITYBUILD PROGRAM AT CITYBUILD@SFGOV.ORG

Cc: Office of Economic and Workforce Development, CityBuild
 Address: 1 South Van Ness 5th Floor San Francisco, CA 94103 Phone: 415-701-4848
 Website: www.workforcedevelopmentsf.org Email: CityBuild@sfgov.org

Affidavit for Compliance with the Inclusionary Affordable Housing Program: Planning Code Section 415

07/27/15

Date

I, Nicolas Cranmer, do hereby declare as follows:

a. The subject property is located at (address and block/lot):

469 Eddy Street

Address

0337/014A

Block / Lot

b. The proposed project at the above address is subject to the Inclusionary Affordable Housing Program, Planning Code Section 415 et seq.

The Planning Case Number and/or Building Permit Number is:

2014.0562CUA

Planning Case Number

n/a

Building Permit Number

This project requires the following approval:

☒ Planning Commission approval (e.g. Conditional Use Authorization, Large Project Authorization)

☐ This project is principally permitted.

The Current Planner assigned to my project within the Planning Department is:

Tina Chang

Planner Name

Is this project within the Eastern Neighborhoods Plan Area?

☐ Yes (if yes, please indicate Tier) _____

☒ No _____

This project is exempt from the Inclusionary Affordable Housing Program because:

☐ This project uses California Debt Limit Allocation Committee (CDLAC) funding.

☐ This project is 100% affordable.

c. This project will comply with the Inclusionary Affordable Housing Program by:

☐ Payment of the Affordable Housing Fee prior to the first site or building permit issuance (Planning Code Section 415.5).

☒ On-site or Off-site Affordable Housing Alternative (Planning Code Sections 415.6 and 416.7).

Affidavit for **Compliance with the Inclusionary Affordable Housing Program**

d. If the project will comply with the Inclusionary Affordable Housing Program through an **On-site** or **Off-site Affordable Housing Alternative**, please fill out the following regarding how the project is eligible for an alternative and the accompanying unit mix tables on page 4.

- ☒ **Ownership.** All affordable housing units will be sold as ownership units and will remain as ownership units for the life of the project.
- ☐ **Rental.** Exemption from Costa Hawkins Rental Housing Act.² The Project Sponsor has demonstrated to the Department that the affordable units are not subject to the Costa Hawkins Rental Housing Act, under the exception provided in Civil Code Sections 1954.50 through one of the following:
- ☐ Direct financial contribution from a public entity.
 - ☐ Development or density bonus or other public form of assistance.
 - ☐ Development Agreement with the City. The Project Sponsor has entered into or has applied to enter into a Development Agreement with the City and County of San Francisco pursuant to Chapter 56 of the San Francisco Administrative Code and, as part of that Agreement, is receiving a direct financial contribution, development or density bonus, or other form of public assistance.

e. The Project Sponsor acknowledges that failure to sell the affordable units as ownership units or to eliminate the on-site or off-site affordable ownership-only units at any time will require the Project Sponsor to:

- (1) Inform the Planning Department and the Mayor's Office of Housing and, if applicable, fill out a new affidavit;
- (2) Record a new Notice of Special Restrictions; and
- (3) Pay the Affordable Housing Fee plus applicable interest (using the fee schedule in place at the time that the units are converted from ownership to rental units) and any applicable penalties by law.

f. The Project Sponsor must pay the Affordable Housing Fee in full sum to the Development Fee Collection Unit at the Department of Building Inspection for use by the Mayor's Office of Housing prior to the issuance of the first construction document, with an option for the Project Sponsor to defer a portion of the payment to prior to issuance of the first certificate of occupancy upon agreeing to pay a deferral surcharge that would be deposited into the Citywide Affordable Housing Fund in accordance with Section 107A.13.3 of the San Francisco Building Code.

g. I am a duly authorized officer or owner of the subject property.

I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct.
Executed on this day in:

San Francisco, CA
Location

07/24/15
Date


Signature

Nicolas Crnamer
Name (Print), Title

cc: Mayor's Office of Housing
Planning Department Case Docket
Historic File, if applicable
Assessor's Office, if applicable

415-501-0931
Contact Phone Number

Unit Mix Tables

NUMBER OF ALL UNITS IN PRINCIPAL PROJECT:					
Total Number of Units	SRO	Studios	One-Bedroom Units	Two-Bedroom Units	Three-Bedroom Units
28				28	

If you selected an On-site or Off-Site Alternative, please fill out the applicable section below:

- ☒ On-site Affordable Housing Alternative (Charter Section 16.110 (g) and Planning Code Section 415.6): calculated at 12% of the unit total.

NUMBER OF AFFORDABLE UNITS TO BE LOCATED ON-SITE					
Total Affordable Units	SRO	Studios	One-Bedroom Units	Two-Bedroom Units	Three-Bedroom Units
3				3	

- ☐ Off-site Affordable Housing Alternative (Planning Code Section 415.7): calculated at 20% of the unit total.

NUMBER OF AFFORDABLE UNITS TO BE LOCATED OFF-SITE					
Total Affordable Units	SRO	Studios	One-Bedroom Units	Two-Bedroom Units	Three-Bedroom Units
Area of Dwellings in Principal Project (in sq. feet)	Off-Site Project Address				
Area of Dwellings in Off-Site Project (in sq. feet)					
Off-Site Block/Lot(s)	Motion No. (if applicable)			Number of Market-Rate Units in the Off-site Project	

- ☐ Combination of payment of a fee, on-site affordable units, or off-site affordable units with the following distribution:

Indicate what percent of each option would be implemented (from 0% to 99%) and the number of on-site and/or off-site below market rate units for rent and/or for sale.

1. Fee _____ % of affordable housing requirement.

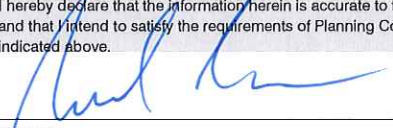
2. On-Site _____ % of affordable housing requirement.

NUMBER OF AFFORDABLE UNITS TO BE LOCATED ON-SITE					
Total Affordable Units	SRO	Studios	One-Bedroom Units	Two-Bedroom Units	Three-Bedroom Units

3. Off-Site _____ % of affordable housing requirement.

NUMBER OF AFFORDABLE UNITS TO BE LOCATED OFF-SITE					
Total Affordable Units	SRO	Studios	One-Bedroom Units	Two-Bedroom Units	Three-Bedroom Units
Area of Dwellings in Principal Project (in sq. feet)	Off-Site Project Address				
Area of Dwellings in Off-Site Project (in sq. feet)					
Off-Site Block/Lot(s)	Motion No. (if applicable)			Number of Market-Rate Units in the Off-site Project	

Affidavit for **Compliance with the Inclusionary Affordable Housing Program**

CONTACT INFORMATION AND DECLARATION OF SPONSOR OF PRINCIPAL PROJECT	CONTACT INFORMATION AND DECLARATION OF SPONSOR OF OFF-SITE PROJECT (IF DIFFERENT)
Company Name JS Sullivan Development	Company Name
Print Name of Contact Person Nicolas Cranmer	Print Name of Contact Person
Address 2044 Fillmore Street, 3rd Floor	Address
City, State, Zip San Francisco, CA 94115	City, State, Zip
Phone, Fax 415-501-0931	Phone, Fax
Email n.cranmer@js-sullivan.com	Email
I hereby declare that the information herein is accurate to the best of my knowledge and that I intend to satisfy the requirements of Planning Code Section 415 as indicated above. 	I hereby declare that the information herein is accurate to the best of my knowledge and that I intend to satisfy the requirements of Planning Code Section 415 as indicated above.
Signature Nicolas Cranmer, Project Manager	Signature
Name (Print), Title	Name (Print), Title

**Before the
San Francisco Planning Commission**

**Project Sponsor's Submittal in Support of
Conditional Use Application**

Planning Code Sections 303 and 253

for

**Mixed Use Residential and Commercial Project at
469 Eddy Street (Block 337, Lot 014A)**

Planning Department Case No. 2014.0562C

**Project Sponsor:
JS Sullivan Development, LLC**

Hearing Date: May 12, 2016

Attorneys for Project Sponsor:

REUBEN, JUNIUS & ROSE, LLP

One Bush Street, Suite 600, San Francisco, CA 94104
Tel No.: (415) 567-9000 Fax No.: (415) 399-9480

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A. INTRODUCTION

JS Sullivan Development, LLC (“Project Sponsor”) proposes to restore the historic parking structure façade of a three-level parking garage (two story over basement) and construct a new building at 469 Eddy Street, Block 0337/Lot 014A (“Project Site”), comprised of 28 dwelling units, approximately 700 square feet of ground floor commercial space, and eight parking spaces located in a ground-level garage (“Project”). The Project Site is located on the south side of Eddy Street between Leavenworth and Hyde Streets, and is within the RC-4 Zoning District, and the 80-T Height and Bulk District.

The Project requires Conditional Use Authorization to exceed a height of 50 feet in an RC (Residential) Zoning District pursuant to Planning Code Section 253. Accordingly, the Project Sponsor submits this application (“Application”) pursuant to Planning Code Section 303 to obtain a conditional use authorization for the Project. The Project promotes the public welfare, convenience and necessity, and meets all other requirements of San Francisco’s General Plan and the Planning Code.

B. SITE INFORMATION

Street Address:	469 Eddy Street
Cross Streets:	Leavenworth and Hyde Streets
Assessor’s Block/Lot:	0337/014A
Zoning District:	RC-4
Height/Bulk District:	80-T
Planning Areas:	North of Market Residential Special Use District
Site Size:	6,875 square feet
Dimensions:	Approximately 137 feet, 6 inches x 50 feet
Existing Improvements:	Three-level parking structure (two-story over basement)
Existing Use:	Parking garage

C. PROJECT SUMMARY

Proposed Use:	Mixed-use residential building with ground floor commercial space and pre-existing basement garage.
Building Height:	80 feet

Gross Square Footage: Approx. 29,100 square feet of housing
 Approx. 700 square feet of retail/commercial
 Approx. 4,000 square feet of parking area
 Approx. 6,245 square feet of circulation
 Approx. 3,800 square foot common roof deck

Total Gross Floor Area = 47,080 square feet

Number of Stories: 8 stories over pre-existing basement garage

D. COMPLIANCE WITH SECTION 303 (CONDITIONAL USE) CRITERIA

The Project requires conditional use authorization by the Planning Commission to authorize construction in excess of 50 feet in an RC zoning district, per Planning Code Section 253. Under Section 303(c), the City Planning Commission shall approve the application and authorize a conditional use if the facts presented establish the following:

1. Desirability and Compatibility of Project

Planning Code section **303(c)(1)** requires that facts be established which demonstrate the following:

That the proposed use or feature, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable for, and compatible with, the neighborhood or the community.

a. 90% of the Units are 2-Bedroom Units

The proposed Project will provide 28 out of 28 residential units as 2-bedroom units (or 1-bedroom plus den)—100% of units. The Project will therefore further the City's General Plan policy to encourage family housing.

The proposed Project is desirable because it is an urban infill project that will add 28 family housing units to the city's housing supply. The Project also provides for ground floor commercial uses. This Project Site is well suited for development for a mixed-use, multi-unit residential and commercial building. The Project is located in the Civic Center neighborhood and is surrounded by large multi-story residential buildings and a variety of commercial uses. The Project Site is currently occupied by a two-story over basement parking garage. The front façade of the parking garage will be preserved and incorporated into the new mixed-use building.

2. Effect of Project on Health, Safety, Convenience or General Welfare

Planning Code section **303(c)(2)** requires that facts be established which demonstrate the following:

That such use or feature as proposed will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity, or injuries to property, improvements or potential development in the vicinity, with respect to aspects including but not limited to the following:

- (a) The nature of the proposed site, including its size and shape, and the proposed size, shape and arrangement of the structure.
 - (b) The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading.
 - (c) The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor.
 - (d) Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs.
- (a) The Nature of the Project Site is appropriate for the Project
- The Project is compatible with the neighborhood, which is primarily residential buildings with ground floor commercial uses. The Project Site is currently a gap in the predominant street wall. The adjacent property to the west is the 14-story Mosser residential building. The adjacent property to the east is a four-story residential building. The remainder of the buildings on the block are mid-rise residential buildings. A number of high-rise office buildings are located in the neighborhood to the south, between the Project Site and Mission Street.*
- (b) The Project has adequate off-street parking
- The Project will partially retain the pre-existing ground-level garage use, which will provide nine off-street parking spaces for 28 units, or 0.32 spaces per unit.*
- (c) The Project will not Produce Noxious Emissions
- The Project will consist of high-quality residential units and ground floor commercial space. The proposed uses will not generate any noxious or offensive emissions, noise, glare, dust or odors.*
- (d) Appropriate Treatment has been Given to Landscaping, Open Space, Parking, Loading, Service Areas and Lighting

The proposed Project is intended to produce an environment where families can enjoy an attractive, safe and comfortable environment. The Project will provide eight independent off-street parking spaces.

The Project will provide both private and common usable open space, including six private decks totaling 1,050 square feet and common open space of 3,800 square feet provided on a roof deck.

Lighting along the building façade and at the street level, and installation of street trees, will improve neighborhood safety and esthetics.

3. Compliance with the General Plan

Planning Code Section 303(c)(3) requires that facts be established that demonstrate the following:

That such use or feature as proposed will comply with the applicable provisions of this code and will not adversely affect the General Plan.

The Project will comply with the Planning Code and will affirmatively promote, will be consistent with, and will not adversely affect the General Plan, including the following objectives and policies:

Housing Element Objectives and Policies

The objectives and policies of the Housing Element of the General Plan encourage the provision of new housing, the affordability of housing and a quality living environment.

Housing Supply

Objective 1. Provide new housing, especially permanently affordable housing, in appropriate locations which meets identified housing needs and takes into account the demand for affordable housing created by employment demand.

Policy 1.1. Encourage higher residential density in areas adjacent to downtown, in underutilized commercial and industrial areas proposed for conversion to housing, and in neighborhood commercial districts where higher density will not have harmful effects, especially if the higher density provides a significant number of units that are affordable to lower income households.

Policy 1.7. Encourage and support the construction of quality, new family housing.

Housing Density, Design and Quality of Life

Objective 11. In increasing the supply of housing, pursue place making and neighborhood building principles and practices to maintain San Francisco's desirable urban fabric and enhance livability in all neighborhoods.

Policy 11.1. Use new housing development as a means to enhance neighborhood vitality and diversity.

Policy 11.2. Ensure housing is provided with adequate public improvements, services, and amenities.

Policy 11.8. Strongly encourage housing project sponsors to take full advantage of allowable building densities in their housing developments while remaining consistent with neighborhood character.

The Project proposes to convert an existing three-level parking garage (two levels over basement) to more desirable family housing with ground floor commercial space. The Project appropriately locates infill housing in an established residential neighborhood and increases the city's supply of affordable housing. The Project will create new affordable housing units within the Project. The Project's architectural design is compatible with the existing scale and character of the neighborhood.

The Project promotes neighborhood-serving commercial activities by providing pedestrian-friendly ground floor commercial space.

Commerce and Industry Element Objectives and Policies

Objective 6. Maintain and strengthen viable neighborhood commercial areas easily accessible to City residents.

Policy 6.9. Regulate uses so that traffic impacts and parking problems are minimized.

The Project redevelops the Project Site with infill residential use. The Project is consistent with the objectives of the zoning district by proposing ground floor commercial space and 28 housing units. The Project's ground floor commercial component will help the city to maintain a viable neighborhood-commercial area that is accessible to city residents. The Project minimizes parking problems by providing eight independently accessible off-street parking spaces in a ground-level parking garage.

Urban Design Element Objectives and Policies

The Project promotes the Urban Design Element's objectives and policies as follows:

City Pattern

- Objective 1. Emphasis of the characteristic pattern, which gives to the City and its neighborhoods an image, a sense of purpose and a means of orientation.
- Policy 1.2. Protect and reinforce the existing street pattern, especially as it is related to topography.
- Policy 1.3. Recognize that buildings, when seen together, produce a total effect that characterizes the City and its districts.

The Project will enhance the neighborhood by reinforcing the urban nature of the street pattern. The Project will result in a better utilization of the Project Site than that of the existing three-level parking garage. The Project Site is located in an established residential neighborhood.

Neighborhood Environment

- Objective 4. Improvement of the neighborhood environment to increase personal safety, comfort, pride and opportunity.
- Policy 4.12. Install, promote and maintain landscaping in public and private areas.

The Project will improve the safety of the neighborhood by providing ground floor commercial uses with pedestrian level interest and by increasing the number of pedestrians in the neighborhood. Improved lighting and landscaping will benefit the neighborhood safety and aesthetics. Removal of a former 24-hour parking garage will increase neighborhood safety by removing an area of potential nighttime criminal activity, noise and other disturbance.

E. NEIGHBORHOOD SUPPORT

The Tenderloin Neighborhood Development Corporation, a provider of affordable housing and services for low income residents of the Tenderloin District, supports the Project.

F. GENERAL PLAN PRIORITY POLICIES

Planning Code Section 101.1 establishes the following eight priority planning policies and requires review of permits for consistency with said policies. The Project and this Conditional Use application are consistent with each of these policies as follows:

1. That Existing Neighborhood-Serving Retail Uses Be Preserved and Enhanced and Future Opportunities for Resident Employment in and Ownership of Such Businesses Enhanced

The Project Site contains only a parking garage. Opportunities for resident

employment will be enhanced by construction of new ground floor commercial space to replace the parking garage.

2. That Existing Housing And Neighborhood Character Be Conserved And Protected In Order To Preserve The Cultural And Economic Diversity Of Our Neighborhoods

The Project conserves and enhances neighborhood character by providing a quality new residential building in an established residential neighborhood.

3. That the City's Supply Of Affordable Housing Be Preserved And Enhanced

The Project will further this priority policy by creating affordable housing units within the Project in accordance with the City's inclusionary housing program.

4. That Commuter Traffic Not Impede MUNI Transit Service Or Overburden Our Streets or Neighborhood Parking

The Project is too small to impede Muni transit service or overburden streets or parking.

5. That A Diverse Economic Base Be Maintained By Protecting Our Industrial And Service Sectors From Displacement Due To Commercial Office Development, and That Future Opportunities for Resident Employment and Ownership in These Sectors Be Enhanced

The Project does not involve any commercial office development.

6. That The City Achieve the Greatest Possible Preparedness to Protect Against Injury And Loss of Life in an Earthquake

The Project will conform to the structural and seismic requirements of the San Francisco Building Code.

7. That Landmarks And Historic Buildings Be Preserved

The Project will preserve the existing building façade.

8. That Our Parks And Open Space And Their Access To Sunlight And Vistas Be Protected From Development

The Project will not adversely affect any parks or open space. There are no parks or open space on the subject block.

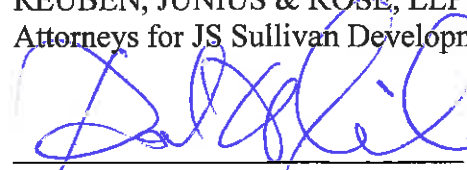
G. CONCLUSION

The Project satisfies the criteria of the Planning Code and the General Plan for approval of a Conditional Use Authorization for a building over 50 feet in height. The Project will provide 28 units of new family housing for San Francisco, including onsite affordable housing units. 100 percent of the units will be 2-bedroom (or 1-bedroom plus den) units. The proposal furthers the objectives and policies of the City's General Plan, and will be a positive infill addition to the neighborhood, providing increased pedestrian activity, new lighting and landscaping, improved safety and aesthetics, and a more appropriate and productive use of the Project Site.

For all of the above reasons, we request that you authorize the conditional use. Thank you for your consideration.

Respectfully,

REUBEN, JUNIUS & ROSE, LLP
Attorneys for JS Sullivan Development, LLC



David Silverman

Dated: April 14, 2016

By:

469 Eddy Street - Neighborhood Outreach and Support

The Project Sponsor has conducted extensive outreach to the community, and has received substantial support for the proposed project. Highlights of the neighborhood outreach and responses received from neighborhood organizations are set forth below:

- Pre-Application Meeting:** JS Sullivan held a pre-application community meeting on October 14, 2014 at the Planning Department. JS Sullivan mailed an invitation to 527 nearby residents and property owners and 14 neighborhood organizations. City Planner Kanishka Burns attended, in addition to the project architect and three community members. There was general support for the project; one attendee expressed a desire to see a grocery store locate in the commercial space. (See attachment A).
- The Mosser Company:** JS Sullivan has held three meetings with the owner of the adjacent Mosser Towers apartment building—The Mosser Company. The first meeting was held on-site at 455 Eddy Street with Melissa Farris on May 27, 2014. Two subsequent meetings were held with Neveo Mosser on June 17, 2014 and December 16, 2015 at his office. The Mosser Company is generally supportive of the project and think it will be a great addition to the neighborhood.
- Tenderloin Housing Clinic:** JS Sullivan met with Randy Shaw on June 20, 2014. Randy, whom was instrumental in the designation of the Tenderloin Neighborhood as an historic district, has shown strong support for the proposed project, which incorporates a 25-foot setback from the preserved historic facade.
- Tenderloin Neighborhood Development Corporation:** JS Sullivan met with TNDC, the owner of the adjacent building located at 481 Eddy Street on March 10, 2015. JS Sullivan toured TNDC's apartment building and discussed our proposed project. TNDC raised concerns related to construction impacts to residents and how the proposed building might impact access to light and air for their residents. As a result of the meeting, JS Sullivan revised the project to provide a matching lightwell along the western boundary of the site. A subsequent meeting was held with TNDC on June 5, 2015 to present the revised design and discuss ways that we might mitigate construction impacts.
- Community Meeting:** JS Sullivan held a community meeting at 484 Eddy Street (across the street from the project site) on December 7, 2015. JS Sullivan prepared an invitation that was distributed by TNDC Staff to all residents. Various staff members from TNDC were in attendance. After a formal presentation and waiting an hour, TNDC requested a second community meeting due to low resident turnout.

Community Meeting #2:

JS Sullivan held a second community meeting at 484 Eddy Street (across the street from the project site) on January 22, 2016. Approximately 15-20 TNDC residents and staff attended the meeting.

Questions and concerns raised by TNDC residents and staff included: loss of off-street parking for the neighborhood; construction impacts, notification and schedule; definitions of “market-rate” housing and income requirements for on-site units; perceived gentrification of the Tenderloin and desire to see more affordable housing—market-rate housing doesn’t belong in the Tenderloin; desire to see a symbiotic relationship between new and existing residents; management structure of development once construction is completed—HOA; first source hiring compliance; and how commercial space might be used. (See Attachment B for sign-in sheet).

SF Housing Action Coalition:

Presented the project to the San Francisco Housing Action Coalition on December 9, 2015. SFHAC has endorsed the project and provided a letter of support. (See Attachment C).

Attachment A: Pre-Application Community Meeting



September 26, 2014

Dear Neighbor:

You are invited to a neighborhood Pre-Application meeting to review and discuss the development proposal at 469 Eddy Street, cross street Hyde Street (Block/Lot#: 0337/014A; Zoning: RC-4/80-T), in accordance with the San Francisco Planning Department's Pre-Application procedures. The Pre-Application meeting is intended as a way for the Project Sponsor to discuss the project and review the proposed plans with adjacent neighbors and neighborhood organizations before the submittal of an application to the City. This provides neighbors an opportunity to raise questions and discuss any concerns about the impacts of the project before it is submitted for the Planning Department's review. Once a Building Permit has been submitted to the City, you may track its status at www.sfgov.org/dbi.

The Pre-Application meeting is required because this project includes New Construction. The development proposal includes historic restoration of the existing building and construction of an 8-story, 80-foot-tall, 49,500 SF mixed-use residential-commercial building. The new building would include a total of 29 dwelling units (3 1-bedroom, 26 2-bedroom), approximately 2,300 SF of ground floor commercial space, and a parking garage for 16 cars.

Project Summary

	Existing	Proposed	Permitted
Dwelling Units	0	29	34
Building Square Footage (SF)	20,000	49,500	N/A
Stories	2	8	8
Building Height (ft)	30	80	80
Building Depth (ft)	138	138	138

Meeting Information

Property Owner Name: 469 Eddy Street LLC
Project Sponsor: JS Sullivan Development LLC
Contact Information: Nick Cranmer; n.cranmer@js-sullivan.com; 415-501-0931
Meeting Address: San Francisco Planning Department,
1650 Mission Street, Suite 400
Date of meeting: Tuesday, October 14th, 2014
Time of meeting: 4:00pm



Summary of discussion from the Pre-Application Community Meeting

Meeting Date: Tuesday October 14, 2014
Meeting Time: 4:00pm
Meeting Address: San Francisco Planning Department
Property Address: 469 Eddy Street
Property Owner Name: 469 Eddy Street LLC
Property Sponsor: JS Sullivan Development LLC

After a presentation by the architect, there was discussion of the project and location of the neighbor's property, and business, across the street. There was general support for the project and no major questions or concerns were raised by the attendees other than a desire to see a grocery store locate in the commercial space.



Meeting Date: Tuesday October 14, 2014
Meeting Time: 4:00pm
Meeting Address: San Francisco Planning Department
Property Address: 469 Eddy Street
Property Owner Name: 469 Eddy Street LLC
Property Sponsor: JS Sullivan Development LLC

Please print your name below, state your address and/or affiliation with a neighborhood group, and provide your phone number. Providing your name below does not represent support or opposition to the project; it is for documentation purposes only.

	Name/Organization	Address	Phone #	Email	Send Plans?
1	Sunny Simmons Caroline Smith	466 Eddy	707-496-5550	ndim207@gmail.com	Yes
2	Karla Juarez	350 Turk St #T911	415-657-6553	Chavezbandad@hotmail.com	Yes
3					
4					
5					
6					
7					
8					

BLOCK	LOT	OWNER	OADDR	CITY	STATE	ZIP
0001	001	RADIUS SERVICES NO. 033714AT	469 EDDY ST	SULLIVANJS	14	0918
0001	002					
0001	003	RADIUS SERVICES	1221 HARRISON ST #18	SAN FRANCISCO	CA	94103
0001	004	JS SULLIVAN	2044 FILLMORE ST 3RD/FL	SAN FRANCISCO	CA	94115
0001	005					
0334	011	460 EDDY ST PTNRSHIP	195 PIEDMONT AV	SAN BRUNO	CA	94066-3924
0334	011	OCCUPANT	460 EDDY ST	SAN FRANCISCO	CA	94109-8110
0334	011	OCCUPANT	464 EDDY ST	SAN FRANCISCO	CA	94109-8110
0334	013	SUNNY SIMMONS	1301 KANSAS ST	SAN FRANCISCO	CA	94107-3242
0334	013	OCCUPANT	466 EDDY ST	SAN FRANCISCO	CA	94109-8110
0334	014	TENDERLOIN NGHBRHD DVLPMT CORP	201 EDDY ST	SAN FRANCISCO	CA	94102-2715
0334	014	OCCUPANT	476 EDDY ST	SAN FRANCISCO	CA	94109-8111
0334	014	OCCUPANT	480 EDDY ST #102	SAN FRANCISCO	CA	94109-8111
0334	014	OCCUPANT	480 EDDY ST #104	SAN FRANCISCO	CA	94109-8111
0334	014	OCCUPANT	480 EDDY ST #202	SAN FRANCISCO	CA	94109-8111
0334	014	OCCUPANT	480 EDDY ST #204	SAN FRANCISCO	CA	94109-8111
0334	014	OCCUPANT	480 EDDY ST #206	SAN FRANCISCO	CA	94109-8111
0334	014	OCCUPANT	480 EDDY ST #208	SAN FRANCISCO	CA	94109-8111
0334	014	OCCUPANT	480 EDDY ST #210	SAN FRANCISCO	CA	94109-8111
0334	014	OCCUPANT	480 EDDY ST #212	SAN FRANCISCO	CA	94109-8111
0334	014	OCCUPANT	480 EDDY ST #302	SAN FRANCISCO	CA	94109-8111
0334	014	OCCUPANT	480 EDDY ST #304	SAN FRANCISCO	CA	94109-8111
0334	014	OCCUPANT	480 EDDY ST #306	SAN FRANCISCO	CA	94109-8111
0334	014	OCCUPANT	480 EDDY ST #308	SAN FRANCISCO	CA	94109-8111
0334	014	OCCUPANT	480 EDDY ST #310	SAN FRANCISCO	CA	94109-8111
0334	014	OCCUPANT	480 EDDY ST #312	SAN FRANCISCO	CA	94109-8111
0334	014	OCCUPANT	480 EDDY ST #402	SAN FRANCISCO	CA	94109-8111
0334	014	OCCUPANT	480 EDDY ST #404	SAN FRANCISCO	CA	94109-8111
0334	014	OCCUPANT	480 EDDY ST #406	SAN FRANCISCO	CA	94109-8111
0334	014	OCCUPANT	480 EDDY ST #408	SAN FRANCISCO	CA	94109-8111
0334	014	OCCUPANT	480 EDDY ST #410	SAN FRANCISCO	CA	94109-8111
0334	014	OCCUPANT	480 EDDY ST #412	SAN FRANCISCO	CA	94109-8111
0334	014	OCCUPANT	480 EDDY ST #502	SAN FRANCISCO	CA	94109-8111
0334	014	OCCUPANT	480 EDDY ST #504	SAN FRANCISCO	CA	94109-8111
0334	014	OCCUPANT	480 EDDY ST #506	SAN FRANCISCO	CA	94109-8111
0334	014	OCCUPANT	480 EDDY ST #508	SAN FRANCISCO	CA	94109-8111
0334	014	OCCUPANT	480 EDDY ST #510	SAN FRANCISCO	CA	94109-8111
0334	014	OCCUPANT	480 EDDY ST #512	SAN FRANCISCO	CA	94109-8111
0334	014	OCCUPANT	480 EDDY ST #602	SAN FRANCISCO	CA	94109-8111
0334	014	OCCUPANT	480 EDDY ST #604	SAN FRANCISCO	CA	94109-8111
0334	014	OCCUPANT	480 EDDY ST #606	SAN FRANCISCO	CA	94109-8111
0334	014	OCCUPANT	480 EDDY ST #608	SAN FRANCISCO	CA	94109-8111
0334	014	OCCUPANT	480 EDDY ST #610	SAN FRANCISCO	CA	94109-8111
0334	014	OCCUPANT	480 EDDY ST #612	SAN FRANCISCO	CA	94109-8111
0337	009	KDM	1300 ELMER ST	BELMONT	CA	94002-4011
0337	009	OCCUPANT	370 TURK ST	SAN FRANCISCO	CA	94102
0337	013	ORIT YOUNESSIAN	1860 EL CAMINO REAL # 108	BURLINGAME	CA	94010-3106
0337	013	OCCUPANT	230 HYDE ST	SAN FRANCISCO	CA	94102-3324
0337	013	OCCUPANT	234 HYDE ST	SAN FRANCISCO	CA	94102-3324
0337	014	MIDORI HOUSING CORP	1385 MISSION ST #200	SAN FRANCISCO	CA	94103-2631
0337	014	OCCUPANT	240 HYDE ST #101	SAN FRANCISCO	CA	94102-3386
0337	014	OCCUPANT	240 HYDE ST #102	SAN FRANCISCO	CA	94102-3386
0337	014	OCCUPANT	240 HYDE ST #103	SAN FRANCISCO	CA	94102-3386
0337	014	OCCUPANT	240 HYDE ST #104	SAN FRANCISCO	CA	94102-3386
0337	014	OCCUPANT	240 HYDE ST #105	SAN FRANCISCO	CA	94102-3386
0337	014	OCCUPANT	240 HYDE ST #106	SAN FRANCISCO	CA	94102-3386
0337	014	OCCUPANT	240 HYDE ST #107	SAN FRANCISCO	CA	94102-3386
0337	014	OCCUPANT	240 HYDE ST #108	SAN FRANCISCO	CA	94102-3386
0337	014	OCCUPANT	240 HYDE ST #200	SAN FRANCISCO	CA	94102-3386
0337	014	OCCUPANT	240 HYDE ST #201	SAN FRANCISCO	CA	94102-3386
0337	014	OCCUPANT	240 HYDE ST #202	SAN FRANCISCO	CA	94102-3386
0337	014	OCCUPANT	240 HYDE ST #203	SAN FRANCISCO	CA	94102-3386
0337	014	OCCUPANT	240 HYDE ST #204	SAN FRANCISCO	CA	94102-3386
0337	014	OCCUPANT	240 HYDE ST #205	SAN FRANCISCO	CA	94102-3386
0337	014	OCCUPANT	240 HYDE ST #206	SAN FRANCISCO	CA	94102-3386

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0337	014A	BORGFELDT CO INC	PO BOX 808	DANVILLE	CA	94526-0808
0337	014A	OCCUPANT	469 EDDY ST	SAN FRANCISCO	CA	94109-8104
0337	020	CENTRAL TWRS JNT VENTURE	350 TURK ST	SAN FRANCISCO	CA	94102-3747
0337	020	OCCUPANT	350 TURK ST #T201	SAN FRANCISCO	CA	94102-3747
0337	020	OCCUPANT	350 TURK ST #T202	SAN FRANCISCO	CA	94102-3747
0337	020	OCCUPANT	350 TURK ST #T203	SAN FRANCISCO	CA	94102-3747
0337	020	OCCUPANT	350 TURK ST #T204	SAN FRANCISCO	CA	94102-3747
0337	020	OCCUPANT	350 TURK ST #T205	SAN FRANCISCO	CA	94102-3747
0337	020	OCCUPANT	350 TURK ST #T206	SAN FRANCISCO	CA	94102-3747
0337	020	OCCUPANT	350 TURK ST #T207	SAN FRANCISCO	CA	94102-3747
0337	020	OCCUPANT	350 TURK ST #T208	SAN FRANCISCO	CA	94102-3747
0337	020	OCCUPANT	350 TURK ST #T209	SAN FRANCISCO	CA	94102-3747
0337	020	OCCUPANT	350 TURK ST #T210	SAN FRANCISCO	CA	94102-3747
0337	020	OCCUPANT	350 TURK ST #T211	SAN FRANCISCO	CA	94102-3747
0337	020	OCCUPANT	350 TURK ST #T212	SAN FRANCISCO	CA	94102-3747
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0337	020	OCCUPANT	350 TURK ST #T306	SAN FRANCISCO	CA	94102-3747
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0337	020	OCCUPANT	350 TURK ST #T308	SAN FRANCISCO	CA	94102-3747
0337	020	OCCUPANT	350 TURK ST #T309	SAN FRANCISCO	CA	94102-3747
0337	020	OCCUPANT	350 TURK ST #T310	SAN FRANCISCO	CA	94102-3747
0337	020	OCCUPANT	350 TURK ST #T311	SAN FRANCISCO	CA	94102-3747
0337	020	OCCUPANT	350 TURK ST #T312	SAN FRANCISCO	CA	94102-3747
0337	020	OCCUPANT	350 TURK ST #T313	SAN FRANCISCO	CA	94102-3747
0337	020	OCCUPANT	350 TURK ST #T401	SAN FRANCISCO	CA	94102-3747
0337	020	OCCUPANT	350 TURK ST #T402	SAN FRANCISCO	CA	94102-3747
0337	020	OCCUPANT	350 TURK ST #T403	SAN FRANCISCO	CA	94102-3747
0337	020	OCCUPANT	350 TURK ST #T404	SAN FRANCISCO	CA	94102-3747
0337	020	OCCUPANT	350 TURK ST #T405	SAN FRANCISCO	CA	94102-3747
0337	020	OCCUPANT	350 TURK ST #T406	SAN FRANCISCO	CA	94102-3747
0337	020	OCCUPANT	350 TURK ST #T407	SAN FRANCISCO	CA	94102-3747
0337	020	OCCUPANT	350 TURK ST #T408	SAN FRANCISCO	CA	94102-3747
0337	020	OCCUPANT	350 TURK ST #T409	SAN FRANCISCO	CA	94102-3747
0337	020	OCCUPANT	350 TURK ST #T410	SAN FRANCISCO	CA	94102-3747
0337	020	OCCUPANT	350 TURK ST #T411	SAN FRANCISCO	CA	94102-3747
0337	020	OCCUPANT	350 TURK ST #T412	SAN FRANCISCO	CA	94102-3747
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0337	020	OCCUPANT	350 TURK ST #T501	SAN FRANCISCO	CA	94102-3747
0337	020	OCCUPANT	350 TURK ST #T502	SAN FRANCISCO	CA	94102-3747
0337	020	OCCUPANT	350 TURK ST #T503	SAN FRANCISCO	CA	94102-3747
0337	020	OCCUPANT	350 TURK ST #T504	SAN FRANCISCO	CA	94102-3747
0337	020	OCCUPANT	350 TURK ST #T505	SAN FRANCISCO	CA	94102-3747
0337	020	OCCUPANT	350 TURK ST #T506	SAN FRANCISCO	CA	94102-3747
0337	020	OCCUPANT	350 TURK ST #T507	SAN FRANCISCO	CA	94102-3747
0337	020	OCCUPANT	350 TURK ST #T508	SAN FRANCISCO	CA	94102-3747
0337	020	OCCUPANT	350 TURK ST #T509	SAN FRANCISCO	CA	94102-3747
0337	020	OCCUPANT	350 TURK ST #T510	SAN FRANCISCO	CA	94102-3747
0337	020	OCCUPANT	350 TURK ST #T511	SAN FRANCISCO	CA	94102-3747
0337	020	OCCUPANT	350 TURK ST #T512	SAN FRANCISCO	CA	94102-3747
0337	020	OCCUPANT	350 TURK ST #T513	SAN FRANCISCO	CA	94102-3747
0337	020	OCCUPANT	350 TURK ST #T601	SAN FRANCISCO	CA	94102-3747
0337	020	OCCUPANT	350 TURK ST #T602	SAN FRANCISCO	CA	94102-3747
0337	020	OCCUPANT	350 TURK ST #T603	SAN FRANCISCO	CA	94102-3747
0337	020	OCCUPANT	350 TURK ST #T604	SAN FRANCISCO	CA	94102-3747
0337	020	OCCUPANT	350 TURK ST #T605	SAN FRANCISCO	CA	94102-3747
0337	020	OCCUPANT	350 TURK ST #T606	SAN FRANCISCO	CA	94102-3747
0337	020	OCCUPANT	350 TURK ST #T607	SAN FRANCISCO	CA	94102-3747
0337	020	OCCUPANT	350 TURK ST #T608	SAN FRANCISCO	CA	94102-3747
0337	020	OCCUPANT	350 TURK ST #T609	SAN FRANCISCO	CA	94102-3747
0337	020	OCCUPANT	350 TURK ST #T610	SAN FRANCISCO	CA	94102-3747
0337	020	OCCUPANT	350 TURK ST #T611	SAN FRANCISCO	CA	94102-3747

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We

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0337	022	OCCUPANT	481 EDDY ST #408	SAN FRANCISCO	CA	94109-8138
0337	022	OCCUPANT	481 EDDY ST #501	SAN FRANCISCO	CA	94109-8138
0337	022	OCCUPANT	481 EDDY ST #502	SAN FRANCISCO	CA	94109-8138
0337	022	OCCUPANT	481 EDDY ST #503	SAN FRANCISCO	CA	94109-8138
0337	022	OCCUPANT	481 EDDY ST #504	SAN FRANCISCO	CA	94109-8138
9999	999

DOWNTOWN CIVIC CENTER

Carolynn Abst
Lower Polk Neighbors
1033 Polk Street
San Francisco, CA 94109

Don Falk
Tenderloin Neighborhood Development
Corporation
201 Eddy Street
San Francisco, CA 94102

Ian Lewis
HERE Local 2
209 Golden Gate Avenue
San Francisco, CA 94102

James Haas
Civic Center Stakeholder Group
163 Prospect Avenue
San Francisco, CA 94110

Jane Kim
Board of Supervisors
1 Dr. Carlton B Goodlett Place, Room #244
San Francisco, CA 94102-4689

Jason Henderson
Market/Octavia Community Advisory
Comm.
300 Buchanan Street, Apt. 503
San Francisco, CA 94102

Ken Baxter
Citizens for Change
355 11th Street, Suite 200
San Francisco, CA 94103

London Breed
Board of Supervisors
1 Dr. Carlton B Goodlett Place, Room #244
San Francisco, CA 94102-4689

Marlayne Morgan
Cathedral Hill Neighbors Association
1450 Sutter Street
San Francisco, CA 94109

Marvis Phillips
Alliance for a Better District 6
230 Eddy Street #1206
San Francisco, CA 94102-6526

Randy Shaw
Tenderloin Housing Clinic
126 Hyde Street
San Francisco, CA 94102

Ted Olsson
Market/Octavia Community Advisory
Comm.
30 Sharon Street
San Francisco, CA 94114-1709

Tiffany Bohee
Office of Community Investment and
Infrastructure, City and County of San
Francisco
1 South Van Ness Avenue, 5th Floor
San Francisco, CA 94103

William Bulkley
Hayes Valley Neighborhood Association
1800 Market St., PMB #104
San Francisco, CA 94102

Attachment B: Community Meeting 2 (Sign-In Sheet)



Meeting Date: January 22, 2016
 Meeting Time: 4:00pm
 Meeting Address: 484 Eddy Street
 Property Address: 469 Eddy Street
 Property Owner Name: 469 Eddy Street LLC
 Property Sponsor: JS Sullivan Development LLC

Please print your name below, state your address and/or affiliation with a neighborhood group, and provide your phone number. Providing your name below does not represent support or opposition to the project; it is for documentation purposes only.

	Name/Organization	Address	Phone #	Email	Send Plans?
1	Leslie Bourne	481 EDDY #301	354-4842		
2	Maurice Robinson	260 Market Street #304	415-865-9884		
3	CAL #41612				
4	Codie Walker	480 Eddy #412			
5	Lorenzo Listena	125 Taylor	415-318-3925		
6	Sin Cheung	149 Taylor	415-533-5071		
7	SUREN CHEN	145 Taylor #103	415-419-4997		
8	Poco Young	480 Eddy #102	415-567-4888		

Attachment C: SFHAC Letter of Support



95 Brady Street
San Francisco, CA 94103
415 541 9001
info@sfhac.org
www.sfhac.org

Nick Cranmer, Project Manager
JS Sullivan Development
2044 Fillmore Street, 3rd Floor
San Francisco, CA 94115

March 3, 2016

Re: 469 Eddy Street – Mixed-use Development

Dear Mr. Cranmer,

Thank you for presenting your plans for 469 Eddy Street to the San Francisco Housing Action Coalition's (SFHAC) Project Review Committee on December 9, 2015. Upon thorough review and discussion, our members believe the project has merit and aligns with our goals of increasing the supply of well-designed, well-located housing at all levels of affordability in San Francisco. Please review our letter, which explains how your project meets our guidelines, as well as areas suggested for improvement. We have also attached our report card, which grades your project according to each guideline. We've attached a copy of our Project Review Guidelines for your reference.

Project Description: The project would retain an existing two-story parking garage, which has been determined to be a historic resource, and repurpose it for 28 two-bedroom homes with ground-floor retail and subterranean parking for nine cars.

Land Use: The site currently accommodates about 60 parked cars daily. Housing is a much better use, considering the building's proximity to jobs and transit.

Density: While the building could include up to 34 homes, you are only building 28 units in order to retain the existing historic structure. We appreciate those efforts and believe your decision is appropriate in this circumstance.

Affordability: This will be an ownership building. Our members are very supportive that you have chosen to provide the below-market-rate (BMR) units on-site, which we don't see often in for-sale projects. Three of the units will be BMRs, or 12 percent.

Parking and Alternative Transportation: The project provides nine parking spaces, a low ratio of about 0.3 spaces per unit. We strongly encourage you to increase your bike parking count from one space per unit to one space per bedroom, which is becoming the new standard in San Francisco. The site is also within walking distance of the Civic Center and Powell Street BART Stations.

Preservation: We feel your team has done an excellent job addressing the historic resource.

Nick Cramer
March 3, 2016
Page Two

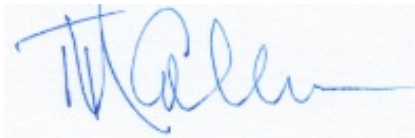
Urban Design: Our members applaud the diversity in your building. The upper floors create continuity with the existing structure. However, we wish there was more transparency on the ground floor to the street. Your plans also include a generous amount of open space and remove one curb cut.

Environmental Features: You stated your project would meet Title 24 but not exceed the requirements. We encourage you to pursue more features that further green the project, particularly those that address water conservation.

Community Input: Our members believe you have done an excellent job in reaching out to and engaging the community. You've met with several local Tenderloin organizations and individuals, including the Tenderloin Housing Development Corporation, Tenderloin Housing Clinic and Randy Shaw.

Thank you for presenting your plans for 469 Eddy Street to our Project Review Committee. We are pleased to endorse the project without reservation. Please keep us abreast of any changes and let us know how we may be of assistance.

Sincerely,

A handwritten signature in blue ink, appearing to read "Tim Colen", with a long horizontal flourish extending to the right.

Tim Colen
Executive Director

SFHAC Project Review Guidelines

Land Use: Housing should be an appropriate use of the site given the context of the adjacent properties and the surrounding neighborhood and should enhance neighborhood livability.

Density: The project should take full advantage of the maximum unit density and/or building envelope, allowable under the zoning rules.

Affordability: The need for affordable housing, including middle income (120-150 of Area Median Income) housing, is a critical problem and SFHAC gives special support to projects that propose creative ways to expand or improve unit affordability beyond the legally mandated requirements.

Parking and Alternative Transportation: SFHAC expects the projects it endorses to include creative strategies to reduce the need for parking, such as ample bicycle storage, provision of space for car-share vehicles on-site or nearby, un-bundling parking cost from residential unit cost, and measures to incentivize transit use. Proximity to transit should result in less need for parking.

In districts with an as-of-right maximum and discretionary approval up to an absolute maximum, SFHAC will support parking exceeding the as-of-right maximum only to the extent the Code criteria for doing so are clearly met. In districts where the minimum parking requirement is one parking space per residential unit (1:1), the SFHAC will not, except in extraordinary circumstances, support a project with parking in excess of that amount.

Preservation: If there are structures of significant historic or cultural merit on the site, their retention and/or incorporation into the project consistent with historic preservation standards is encouraged. If such structures are to be demolished, there should be compelling reasons for doing so.

Urban Design: The project should promote principles of good urban design: Where appropriate, contextual design that is compatible with the adjacent streetscape and existing neighborhood character while at the same time utilizing allowable unit density: pleasant and functional private and/or common open space; pedestrian, bicycle and transit friendly site planning; and design treatments that protect and enhance the pedestrian realm, with curb cuts minimized and active ground floor uses provided.

Projects with a substantial number of multiple bedroom units should consider including features that will make the project friendly to families with children.

Nick Cramer
March 3, 2016
Page Four

Environmental Features: SFHAC is particularly supportive of projects that employ substantial and/or innovative measures that will enhance their sustainability and reduce their carbon footprint.

Community Input: Projects for which the developer has made a good faith effort to communicate to the community and to address legitimate neighborhood concerns, without sacrificing SFHAC's objectives, will receive more SFHAC support.



San Francisco Housing Action Coalition (SFHAC) Project Report Card

Address: 469 Eddy Street

Project Sponsor: JS Sullivan Development

Date of SFHAC Review: December 9, 2016

Grading Scale:

1 = Fails to meet project review guideline criteria

2 = Meets some project review guideline criteria

3 = Meets basic project review guideline criteria

4 = Exceeds basic project review guideline criteria

5 = Goes far beyond of what is required

Criteria for SFHAC Endorsement:

1. The project must have been presented to the SFHAC Project Review Committee;
2. The project must score a minimum of 3/5 on any given guideline.

<i>Guideline</i>	<i>Comments</i>	<i>Grade</i>
Land Use	The project will repurpose a parking garage for 60 cars with 28 homes, ground-floor retail and subterranean parking for nine cars.	5
Density	Although the building could include up to 34 units, the developer reduced the count to 28 in order to retain the existing historic structure.	5
Affordability	The for-sale project would include three below-market-rate units on-site. Most ownership projects pay the in-lieu fee, so we give extra support to this choice.	5
Parking and Alternative Transportation	The project would provide nine parking spaces, a low ratio of 0.3 spaces per unit. We would prefer one bike parking space per bedroom. The site is within walking distance to BART.	4
Preservation	Our members feel this project does an excellent job at addressing the historic resource.	5
Urban Design	Our members appreciate the building's diversity and the continuity the upper floors create with the existing structure. We would appreciate more transparency at the ground floor to the street.	4
Environmental Features	The project will meet the Title 24 requirements. We hope the project sponsors pursue more features to further green the building, particularly those that address water conservation.	3
Community Input	The project sponsor has met with the Tenderloin Neighborhood Development Corporation, Tenderloin Housing Clinic and Randy Shaw.	5
Additional Comments	There are no comments to add.	
Final Comments	The SF Housing Action Coalition endorses the project at 469 Eddy Street.	4.5/5

Please see attached letter for further explanation.



February 19, 2016

Nicolas Cranmer, Project Manager
JS Sullivan Development
2044 Fillmore Street 3rd Floor
San Francisco, CA 94115

Dear Nicolas Cranmer,

RE: 469 Eddy Street Development

The West Tenderloin Resident Community Association would like to thank you for reaching out to the residents of Cameo Apartments (481 Eddy Street) and Yosemite Apartments (480 Eddy Street) on January 22, 2016. We appreciate the second presentation that provided another opportunity for our residents to learn more and comment on the project.

As you are aware, the above-referenced development is directly adjacent to the Cameo Apartments and right across the street from the Yosemite Apartments. Residents of both apartment buildings along with six others are members of the West Tenderloin Resident Community Association (WRCA) organized with a mission to champion the enhancement of the quality of life for Tenderloin Residents while maintaining the cultural and ethnic diversity of the entire neighborhood.

With that in mind, we would like JS Sullivan to address the following concerns and consider a proposal for community benefits specifically addressing a community-serving space on the development:

1. **Construction Mitigation and Resident Safety.** We are anxious about the noise and other construction impacts that may affect both buildings, but especially for the residents of the Cameo Apartments. We would like to make sure JS Sullivan will implement construction hazards and noise management measures consistent with existing city policies. We ask that construction related "disruptive activities" such as use of heavy trucks, pile driving, etc. to be limited to 9am-5pm. We ask JS Sullivan to provide assistance to temporarily relocate Cameo residents who live adjacent to the construction site and are negatively impacted by the disruptive activities of construction. We also urge JS Sullivan to ensure pedestrian safety and that the



construction site is secure throughout the construction process, including 24-hour security on site.

2. **Community-Serving Commercial Space and/or Community Room.** The Tenderloin Neighborhood has distinct community needs for its diverse population including affordability and access. We ask JS Sullivan to work with the Tenderloin Neighborhood Development Corporation (TNDC), the WRCA, and other existing neighborhood non-profits/organizations to dedicate the commercial space for either a community-serving retail or as a much needed community space for the neighborhood. We urge JS Sullivan to work with the community in finding ways to make sure that this space can be used for community serving endeavors. We suggest that JS Sullivan assign a community liaison who will work directly with the community in formulating a concrete plan on how we can make the best usage of the commercial space.
3. **Good Neighbor Agreement.** The Tenderloin neighborhood has well-established residents who have lived and worked here for decades. We ask JS Sullivan to develop together with WRCA representatives and Tenderloin Neighborhood Development Corporation a "Good Neighbor Agreement" where at a minimum the following points are addressed:
 - New neighbors will do their best to positively engage with all residents of the neighborhood, recognizing that there is a rich history of community, diversity, and struggle in the communities they are joining.
 - New neighbors will not disrupt or attempt to dislocate services, agencies, organizations, or residents (housed or un-housed) already existing in the neighborhood
 - New neighbors will actively support the use of designated public space, including public restrooms, by all residents of the neighborhood.

We ask that the "Good Neighbor Agreement" be distributed and signed as part of the requirements for purchase of the units from the 469 Eddy St. development. This will help ensure a common understanding of the neighborhood for the new incoming residents and assure the current residents.



www.thewrca.org | 415-735-4360 | thewrca@gmail.com | 149 Taylor Street, San Francisco, CA 94102

We hope this letter will provide a process for a mutually beneficial community benefit agreement between JS Sullivan Development and the WRCA on the above items before the Planning Commission hearing.

Thank you again for reaching out to the residents of Cameo and Yosemite Apartments. We propose to meet to discuss our proposals further as early as the end of February or beginning of March.

We look forward to working with you towards making a very positive impact on this part of the neighborhood.

Sincerely,

A handwritten signature in black ink, appearing to read "K. Clements", written over a horizontal line.

Kurt D. Clements, esq
President, WRCA

A handwritten signature in black ink, appearing to read "Thawabah", written over a horizontal line.

Mohammad Thawabah
Council Member, WRCA
Resident, Yosemite Apartments

A handwritten signature in black ink, appearing to read "Leslie Rene Bourne", written over a horizontal line.

Leslie Rene Bourne
Resident Representing Cameo Apartments

CC: Residents of Cameo and Yosemite Apartments SF Planning Commission
Jane Kim, District 6 Supervisor The Tenderloin People's Congress
Aaron Peskin, Land Use & Transportation Committee Member, District 3 Supervisor
Tenderloin Neighborhood Development Corporation
C.C. Clements, RA



February 26, 2016

Kurt Clements, President
West Tenderloin Resident Community Association
149 Taylor Street
San Francisco, CA 94102

Dear Mr. Clements:

We appreciate your attendance and participation at our second community meeting with the Tenderloin Neighborhood Development Corporation (TNDC) residents on January 22, 2016. We believe that our project will be a great addition to the neighborhood, as it brings 28 new mixed-income family housing units with ground floor commercial to the Tenderloin, while preserving the historic facade of the existing building. The project will enhance the neighborhood by reinforcing the urban nature of the street pattern and result in a better utilization of the site than that of the existing three-level parking garage, which stood vacant and inactive for three years prior to purchase by JS Sullivan. Improved lighting and landscaping will also benefit the neighborhood safety and aesthetics. The following are responses to your letter dated February 19, 2016:

- Construction Mitigation and Resident Safety: We are in the process of finalizing a benefits agreement with TNDC, which will address all of your construction-related concerns. Unfortunately, we will not be able to provide temporary relocations for residents of the Cameo Apartment building. However, we fully intend to comply with all city requirements to mitigate construction impacts. JS Sullivan is a unique developer, as we are both the developer and builder of our projects, which provides us greater control and oversight of the construction process. We will ensure 24-hour security of the site.
- Community-Serving Commercial Space: The commercial space is especially small (less than 700 SF), however, we plan to dedicate the space to a small community-serving business. We will work with the community and our broker to identify a retailer or business best suited for the space.
- Good Neighbor Agreement: We will work with the future residents of 469 Eddy Street to be good neighborhoods and active in their community, however, we cannot legally force them to sign any agreement that would restrict their rights as owners. As I mentioned during the community meeting, the development will be managed by a Home Owners Association (HOA) board. JS Sullivan will sit on the HOA board for not less than 10 years following construction. During that time we will work with the tenants to be good neighbors.



We are happy to meet with the West Tenderloin Resident Community Association (WRCA), however there appears to be a duplication of efforts between TNDC and WRCA, as we have already started the process of negotiating a benefits agreement with TNDC to mitigate construction impacts. We propose that you work through TNDC (the property owner and property manager of your apartment buildings) to achieve your desired intent. Please contact Alexandra Goldman, TNDC Community Planner and Interim Senior Community Organizing Manager, at (415) 358-3920.

Sincerely,

Nicolas Cranmer
Project Manager
JS Sullivan Development

Cc: Alexandra Goldman, TNDC
Tina Chang, San Francisco Planning Department

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Exhibit B

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ABBREVIATIONS			
A.C.–A/C	Asphalt concrete	NOM.	Nominal
ACOUS.	Acoustical	N.T.S.	Not to scale
ADJ.	Adjacent	O.C.	On center
ALUM.	Aluminum	O.D.	Outside diameter
AGG.	Aggregate	OPNG.	opening
APPROX.	Approximate	OPP.	opposite
ARCH.	Architectural/ Architect	OPP.HD.	Opposite hand
B.C.	Bottom of conc./ curb	OZ.	Ounce
BLDG.	Building	PERF.	Peforated
B.O.	Bottom of	PL.	Plastic
BLK.	Blocking/ block	P/L	Property line
BM.	Beam	PLAS	Plaster
BTWN.	Between	PLYWD.	Plywood
B.U.R.	Built–up roof	PR.	Pair
B.W.	Bottom of wall		
CAB.	Cabinet		
C.B.	Catch basin		
CEM.	Cement		
C.L.	Centerline		
CLG.	Ceiling		
CMU.	Concrete masonry unit		
CNTL. JT.	Control joint		
C.O.	Cleanout		
COL.	Column		
CONC.	Concrete		
CONT.	Continuous		
CTR.	Center		
DEMO.	Demolition		
D.F.	Drinking fountain		
DIA.	Diameter		
DIM.	Dimensions		
DISP.	Dispenser		
DN.	Down		
DWGS.	Drawings		
(E)	Existing		
EA.	Each		
ELEC.	Electrical		
ELEV.	Elevation		
EQ.	Equal		
e	Equal		
EQUIP.	Equipment		
EX.	Existing		
EXP.	Expansion		
EXT.	Exterior		
F.D.	Floor drain		
FDN.	Foundation		
F.F.	Finished Floor		
FIN.	Finish		
FL.	Floor		
FLR.	Floor		
FNDN.	Foundation		
F.O.C.	Face of concrete		
F.O.FRM'G	Face of framing		
F.O.F	Face of finish		
F.O.P	Face of plywood		
F.O.SHT'G.	Face of sheathing		
GA.	Gauge		
GALV.	Galvanized		
G.B.	Grab bar		
GL.	Glass		
GSM.	Galvanized sheet metal		
GYP.	Gypsum		
H.B.	Hose bid		
H.C.	Handicapped		
HDWE.	Hardware		
H.M.	Hollow metal		
HORIZ.	Horizontal		
H.P.	High point		
HT.	Height		
I.D.	Inside diameter		
JAN.	Janitor		
JT.	Joint		
LAM.	Laminate		
L.ARCH.	Landscape architect		
LAV.	Lavatory		
LB.	Pound		
LT.	Light		
MAX.	Maximum		
MECH.	Mechanical		
MFR.	Manufacturer		
MIN.	Minimum		
MISC.	Miscellaneous		
MTD.	Mounted		
MTL.	Metal		
N.	North		
(N)	New		
N.I.C.	Not in contract		

PROJECT DESCRIPTION
THE PROPOSED PROJECT WOULD INCLUDE HISTORIC RESTORATION OF THE EXISTING BUILDING AND CONSTRUCTION OF AN 8–STORY, 80–FOOT–TALL, 47,100 SF MIXED–USE RESIDENTIAL–COMMERCIAL BUILDING. THE NEW BUILDING WOULD INCLUDE A TOTAL OF 28 DWELLING UNITS , APPROXIMATELY 430 SF OF GROUND FLOOR COMMERCIAL SPACE, AND PARKING GARAGE FOR 7 CARS.

SYMBOLS	
	Reference Point
	Wall, floor and roof type
	Door number (for door schedule)
	Window number (for window schedule)
	Window number – obscured glass
	Detail number Sheet location
	Section number Sheet location
	Interior elevation number Specific wall Sheet location
	Sheet note designation and number
	Room number (for finish schedule)
	Existing Sprinkler: Pendant Concealed
	Existing Sprinkler: Pendant Semi–recessed
	Existing Sprinkler: Sidewall
	Existing Sprinkler: Upright with Riser
	Existing Sprinkler: Pendant
	Existing Sprinkler: Pendant Online
	Existing Sprinkler: Line
	Below Market Rate
	Property Line
	Handicap Accessible
	Bicycle Parking Stall
	Car Parking Stall

SHEET INDEX		
A–0.1	TITLE PAGE	N.T.S.
A–0.2	PROJECT DATA	N.T.S.
A–0.3	STREET VIEW	N.T.S.
A–0.3A	RENDERING	N.T.S.
A–0.4	SITE PLAN	1/8"=1'–0"
A–0.4A	SITE PLAN – SPOT ELEVATION	1/8"=1'–0"
A–0.5	EXISTING SITE PLAN	1/8"=1'–0"
A–0.6	FIRE RATED DIAGRAM	1/16"=1'–0"
A–0.7	FIRE PROTECTION DIAGRAM	1/16"=1'–0"
A–0.8	EXIT DIAGRAM	1/16"=1'–0"
A–0.9	ACCESSIBILITY PLANS	1/16"=1'–0"
A–0.9A	ACCESSIBILITY DIAGRAM	N.T.S.
A–0.9B	ACCESSIBILITY DIAGRAM	AS SHOWN
A–0.10	REMOVAL DIAGRAM	N.T.S.
A–0.11	GREEN POINT	N.T.S.
A–1.1	BUILDING PLAN	1/8"=1'–0"
A–1.2	BUILDING PLAN	1/8"=1'–0"
A–1.3	BUILDING PLAN	1/8"=1'–0"
A–1.01	ENLARGED BASEMENT PLAN	1/4"=1'–0"
A–1.02	ENLARGED BASEMENT PLAN	1/4"=1'–0"
A–1.11	ENLARGED GROUND FLOOR PLAN	1/4"=1'–0"
A–1.12	ENLARGED GROUND FLOOR PLAN	1/4"=1'–0"
A–1.21	ENLARGED LEVEL 2 PLAN	1/4"=1'–0"
A–1.22	ENLARGED LEVEL 2 PLAN	1/4"=1'–0"
A–1.31	ENLARGED LEVEL 3 PLAN	1/4"=1'–0"
A–1.32	ENLARGED LEVEL 3 PLAN	1/4"=1'–0"
A–1.41	ENLARGED LEVEL 4–8 PLAN	1/4"=1'–0"
A–1.42	ENLARGED LEVEL 4–8 PLAN	1/4"=1'–0"
A–1.51	ENLARGED ROOF PLAN	1/4"=1'–0"
A–1.52	ENLARGED ROOF PLAN	1/4"=1'–0"
A–2.1	SECTION	1/8"=1'–0"
A–2.2	SECTION	1/8"=1'–0"
A–2.3	SECTION	1/8"=1'–0"
A–3.1	ELEVATIONS	1/8"=1'–0"
A–3.1A	ENLARGED ELEVATION	1/4"=1'–0"
A–3.2	ELEVATIONS	1/8"=1'–0"
A–3.3	ELEVATIONS	1/8"=1'–0"
A–3.4	ELEVATIONS	1/8"=1'–0"
A–5.1	WALL SECTION	1–1/2"=1'–0"
A–6.1	GLAZING SCHEDULE	N.T.S.
A–6.1A	NATURAL LIGHT ANALYSIS	N.T.S.
A–6.2	GLAZING TYPES	1/4"=1'–0"
A–6.3	GLAZING TYPES	1/4"=1'–0"
A–7.0	UNIT TYPE SCHEDULE	1/8"=1'–0"
S–1.1	SITE SURVEY	AS SHOWN



PROJECT DATA	
PROJECT SITE:	469 EDDY STREET, SAN FRANCISCO, CA
CROSS STREET:	HYDE STREET
NEIGHBORHOOD	TENDERLOIN
BLOCK/LOT	0337 / 014A
PARCEL SIZE:	6,875 SQ. FT
ZONING:	RC–4
HEIGHT	80–X
CONSTRUCTION:	TYPE IB

DIRECTORY		
OWNERS:	<u>JS SULLIVAN DEVELOPMENT</u> 2044 FILLMORE STREET, 3RD FLR SAN FRANCISCO, CA 94115 t: 415.206.1528f	CHARLES SHIN
ARCHITECT:	<u>NATOMA ARCHITECTS</u> 1022 NATOMA STREET #3 SAN FRANCISCO, CA 94103 t: 415.626.8977 x105 f: 415.626.8978 nkaye@saitowitz.com	NEIL KAYE
STORM WATER:	<u>BKF ENGINEERS</u> 255 SHORELINE DRIVE REDWOOD CITY, CA 94065 p: 925.940.2218 c: 925.357.7610 jwhite@bkf.com	JASON WHITE
STRUCTURAL:	<u>NISHKIAN MENNINGER</u> 600 HARRISON STREET #110 SAN FRANCISCO, CA 94107 f: 415.836.9316 twong@nishkian.com	TREVOR WONG
MEP:	<u>ACIES</u> 111 WEST EVELYN AVENUE SUNNYVALE, CA 94086 p: 408.552.5255 x142 c: 408.307.6700 rene@acies.net	RENE TANAG

REVISIONS		
OWNER:		
JS SULLIVAN DEVELOPMENT 2044 FILLMORE STREET, 3RD FLOOR SAN FRANCISCO, CA 94115		
ARCHITECT:		
STANLEY SAITOWITZ NATOMA ARCHITECTS Inc. 1022 Natoma Street, No. 3 San Francisco, CA 94103 T 415.626.8977 F 415.626.8978		
STORM WATER		
BKF ENGINEERS 1646 N. California Blvd #400 Walnut Creek, CA 94596 P 925.940.2218 C 925.357.7610		
STRUCTURAL		
NISHKIAN MENNINGER 1200 Folsom St San Francisco, CA 94107 P 415.543.5071		
MEP		
ACIES 3371 Olcott St Santa Clara, CA 95054 P 408.552.5255 ex 142 P 408.307.6700		
CODE CONSULTANT		
ZARI GROUP 755 Baywood Drive Petaluma, CA 94954 P 888.779.3397 C 925.381.2322		
469 EDDY STREET, SAN FRANCISCO, CA		
TITLE:		
TITLE PAGE		
SET:	PLANNING COMMISSION	
DATE:	04-05-2016	
SCALE:	NTS	
DRAWN:	SSJNAI 	
SHEET NO:		
A0.1		

Green Building: Site Permit Submittal

BASIC INFORMATION:

These facts, plus the primary occupancy, determine which requirements apply. For details, see AB 093 Attachment A Table 1.

Project Name 469 EDDY	Block/Lot 0337 / 014A	Address 469 EDDY STREET
Gross Project Area 47,100 SF	Primary Occupancy R2 - RESIDENTIAL	Number of occupied floors 8
Design Professional/Applicant: Sign & Date		

Instructions:

As part of application for site permit, this form acknowledges the specific green building requirements that apply to a project under San Francisco Green Building Code, California Title 24 Part 11, and related codes. Attachment C3, C4, C5, C6, C7, or C8 will be due with the applicable addendum. To use the form:

(a) Provide basic information about the project in the box at left. This info determines which green building requirements apply.

AND

(b) Indicate in one of the columns below which type of project is proposed. If applicable, fill in the blank lines below to identify the number of points the project must meet or exceed. A LEED or GreenPoint checklist is not required to be submitted with the site permit application, but using such tools as early as possible is strongly recommended.

Solid circles in the column indicate mandatory measures required by state and local codes. For projects applying LEED or GreenPoint Rated, prerequisites of those systems are mandatory. See relevant codes for details.

ALL PROJECTS, AS APPLICABLE	
Construction activity stormwater pollution prevention and site runoff controls - Provide a construction site Stormwater Pollution Prevention Plan and implement SFPUC Best Management Practices.	●
Stormwater Control Plan: Projects disturbing ≥5,000 square feet must implement a Stormwater Control Plan meeting SFPUC Stormwater Design Guidelines	●
Water Efficient Irrigation - Projects that include ≥ 1,000 square feet of new or modified landscape must comply with the SFPUC Water Efficient Irrigation Ordinance.	●
Construction Waste Management – Comply with the San Francisco Construction & Demolition Debris Ordinance	●
Recycling by Occupants: Provide adequate space and equal access for storage, collection and loading of compostable, recyclable and landfill materials. See Administrative Bulletin 088 for details.	●

GREENPOINT RATED PROJECTS	
Proposing a GreenPoint Rated Project (Indicate at right by checking the box.)	●
Base number of required Greenpoints:	75
Adjustment for retention / demolition of historic features / building:	
Final number of required points (base number +/- adjustment)	
GreenPoint Rated (i.e. meets all prerequisites)	●
Energy Efficiency: Demonstrate a 10% energy use reduction compared to Title 24, Part 6 (2013).	●
Meet all California Green Building Standards Code requirements (CalGreen measures for residential projects have been integrated into the GreenPoint Rated system.)	●

Notes

1) New residential projects of 4 or more occupied floors must use the "New Residential High-Rise" column. New residential with 3 or fewer occupied floors must use the "New Residential Low Rise" column.
2) LEED for Homes Mid-Rise projects must meet the "Silver" standard, including all prerequisites. The number of points required to achieve Silver depends on unit size. See LEED for Homes Mid-Rise Rating System to confirm the base number of points required.

LEED PROJECTS						
	New Large Commercial	New Low Rise Residential	New High Rise Residential	Large First Time Commerical Interior	Commercial Major Alteration	Residential Major Alteration
Type of Project Proposed (Indicate at right)						
Overall Requirements:						
LEED certification level (includes prerequisites):	GOLD	SILVER	SILVER	GOLD	GOLD	GOLD
Base number of required points:	60	2	50	60	60	60
Adjustment for retention / demolition of historic features / building:				n/a		
Final number of required points (base number +/- adjustment)				50		
Specific Requirements: (n/r indicates a measure is not required)						
Construction Waste Management – 75% Diversion AND comply with San Francisco Construction & Demolition Debris Ordinance - LEED MR 2, 2 points	●	●	●	●	Meet C&D ordinance only	●
Energy Use Comply with California Title-24 Part 6 (2013) and meet LEED minimum energy performance (LEED EA p2)	●	LEED prerequisite	●	●	LEED prerequisite only	
Renewable Energy or Enhanced Energy Efficiency Effective 1/1/2012: Generate renewable energy on-site ≥1% of total annual energy cost (LEED EAc2), OR Demonstrate at least 10% energy use reduction (compared to Title 24 Part 6 2013), OR Purchase Green-E certified renewable energy credits for 35% of total electricity use (LEED EAc6).	●	n/r	n/r	n/r	n/r	n/r
Enhanced Commissioning of Building Energy Systems LEED EA 3	●	Meet LEED prerequisites				
Water Use - 30% Reduction LEED WE 3, 2 points	●	Meet LEED prerequisite	●	Meet LEED prerequisite		
Enhanced Refrigerant Management LEED EA 4	●	n/r	n/r	●	●	n/r
Indoor Air Quality Management Plan LEED IEQ 3.1	●	CalGreen 4.504.1	CalGreen 4.504.1	CalGreen 5.504.3	CalGreen 5.504.3	CalGreen 4.504.1
Low-Emitting Materials LEED IEQ 4.1, 4.2, 4.3, and 4.4	●	●	●	●	●	●
Bicycle parking: Provide short-term and long-term bicycle parking for 5% of total motorized parking capacity each, or meet San Francisco Planning Code Sec 155, whichever is greater, or meet LEED credit SSc4.2.	●	See San Francisco Planning Code 155		●	See San Francisco Planning Code 155	
Designated parking: Mark 8% of total parking stalls for low-emitting, fuel efficient, and carpool/van pool vehicles.	●			●	n/r	n/r
Water Meters: Provide submeters for spaces projected to consume more than 1,000 gal/day, or more than 100 gal/day if in building over 50,000 sq. ft.	●	n/r	n/r	●	● (addition only)	n/r
Air Filtration: Provide at least MERV-8 filters in regularly occupied spaces of mechanically ventilated buildings (or LEED credit IEQ 5).	●	n/r	n/r	●	●	n/r
Air Filtration: Provide MERV-13 filters in residential buildings in air-quality hot-spots (or LEED credit IEQ 5). (SF Health Code Article 38 and SF Building Code 1203.5)	n/r	●	●	n/r	n/r	●
Acoustical Control: Wall and roof-ceilings STC 50, exterior windows STC 30, party walls and floor-ceilings STC 40.	●	See CBC 1207		●	● (envelope alteration & addition only)	n/r

OTHER APPLICABLE NON-RESIDENTIAL PROJECTS		
Requirements below only apply when the measure is applicable to the project. Code references below are applicable to New Non-Residential buildings. Corresponding requirements for additions and alterations can be found in Title 24 Part 11, Division 5.7. Requirements for additions or alterations apply to applications received July 1, 2012 or after. ³	Other New Non-Residential	Addition ≥1,000 sq ft OR Alteration ≥\$200,000 ³
Type of Project Proposed (Check box if applicable)		
Energy Efficiency: Comply with California Energy Code, Title 24, Part 6 (2013).	●	●
Bicycle parking: Provide short-term and long-term bicycle parking for 5% of total motorized parking capacity each, or meet San Francisco Planning Code Sec 155, whichever is greater (or LEED credit SSc4.2).	●	●
Fuel efficient vehicle and carpool parking: Provide stall marking for low-emitting, fuel efficient, and carpool/van pool vehicles; approximately 8% of total spaces.	●	●
Water Meters: Provide submeters for spaces projected to consume >1,000 gal/day, or >100 gal/day if in buildings over 50,000 sq. ft.	●	Addition only
Indoor Water Efficiency: Reduce overall use of potable water within the building by 20% for showerheads, lavatories, kitchen faucets, wash fountains, water closets, and urinals.	●	●
Commissioning: For new buildings greater than 10,000 square feet, commissioning shall be included in the design and construction of the project to verify that the building systems and components meet the owner's project requirements. OR for buildings less than 10,000 square feet, testing and adjusting of systems is required.	●	● (Testing & Balancing)
Protect duct openings and mechanical equipment during construction	●	●
Adhesives, sealants, and caulks: Comply with VOC limits in SCAQMD Rule 1168 VOC limits and California Code of Regulations Title 17 for aerosol adhesives.	●	●
Paints and coatings: Comply with VOC limits in the Air Resources Board Architectural Coatings Suggested Control Measure and California Code of Regulations Title 17 for aerosol paints.	●	●
Carpets: All carpet must meet one of the following: 1. Carpet and Rug Institute Green Label Plus Program, 2. California Department of Public Health Standard Practice for the testing of VOCs (Specification 01350), 3. NSF/ANSI 140 at the Gold level, 4. Scientific Certifications Systems Sustainable Choice, OR 5. California Collaborative for High Performance Schools EQ 2.2 and listed in the CHPS High Performance Product Database AND carpet cushion must meet Carpet and Rug Institute Green Label. AND indoor carpet adhesive & carpet pad adhesive must not exceed 50 g/L VOC content.	●	●
Composite wood: Meet CARB Air Toxics Control Measure for Composite Wood	●	●
Resilient flooring systems: For 80% of floor area receiving resilient flooring, install resilient flooring complying with the VOC-emission limits defined in the 2009 Collaborative for High Performance Schools (CHPS) criteria or certified under the Resilient Floor Covering Institute (RFCI) FloorScore program.	●	●
Environmental Tobacco Smoke: Prohibit smoking within 25 feet of building entries, outdoor air intakes, and operable windows.	●	●
Air Filtration: Provide at least MERV-8 filters in regularly occupied spaces of mechanically ventilated buildings.	●	●
Acoustical Control: Wall and roof-ceilings STC 50, exterior windows STC 30, party walls and floor-ceilings STC 40.	●	● (envelope alteration & addition only)
CFCs and Halons: Do not install equipment that contains CFCs or Halons.	●	●
Additional Requirements for New A, B, I, OR M Occupancy Projects 5,000 - 25,000 Square Feet		
Construction Waste Management – Divert 75% of construction and demolition debris AND comply with San Francisco Construction & Demolition Debris Ordinance.	●	Meet C&D ordinance only
Renewable Energy or Enhanced Energy Efficiency Effective January 1, 2012: Generate renewable energy on-site equal to ≥1% of total annual energy cost (LEED EAc2), OR demonstrate a 10% energy use reduction compared to Title 24 Part 6 (2013), OR purchase Green-E certified renewable energy credits for 35% of total electricity use (LEED EAc6).	●	n/r

REVISIONS	

OWNER:
JS SULLIVAN DEVELOPMENT
2044 FILLMORE STREET, 3RD FLOOR
SAN FRANCISCO, CA 94115

ARCHITECT:
STANLEY SAITOWITZ |
NATOMA ARCHITECTS Inc.
1022 Natoma Street, No. 3
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T 415.626.9977 F 415.626.8978

STORM WATER:
BKF ENGINEERS
1646 N. California Blvd #400
Walnut Creek, CA 94596
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MEP:
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P 408.307.6700

CODE CONSULTANT:
ZARI GROUP
755 Baywood Drive
Petaluma, CA 94954
P 888.779.3397 C 925.381.2322

469 EDDY
469 EDDY STREET, SAN FRANCISCO, CA

TITLE:
GREEN POINT

SET: PLANNING COMMISSION
DATE: 04-05-2016
SCALE: N.T.S.
DRAWN: SSJNAI
© 2016 GREEN POINT ARCHITECTS

SHEET NO:
A0.11

PLANNING DATA

ADDRESS: 469 EDDY STR., SAN FRANCISCO, CA

CROSS STREET: HYDE STREET

BLOCK/LOT: 0337 / 014A

ENVIRONMENTAL/PROP K: 98.891E/98.791K

PROJECT DESCRIPTION: THE PROPOSED PROJECT WOULD INCLUDE HISTORIC RESTORATION OF THE EXISTING BUILDING AND CONSTRUCTION OF AN 8-STORY, 80-FOOT-TALL, 47,100 SF MIXED-USE RESIDENTIAL-COMMERCIAL BUILDING. THE NEW BUILDING WOULD INCLUDE A TOTAL OF 28 DWELLING UNITS, APPROXIMATELY 430 SF OF GROUND FLOOR COMMERCIAL SPACE, AND PARKING GARAGE FOR 7 CARS.

CODE USED: 2013 CALIFORNIA BUILDING CODE, 2013 SF PLANNING CODE, 2013 CALIFORNIA MECHANICAL CODE, 2013 CALIFORNIA PLUMBING CODE, 2013 CALIFORNIA ELECTRICAL CODE, 2013 CALIFORNIA ENERGY CODE, 2013 CALIFORNIA FIRE CODE, 2013 NFPA 72 (FIRE ALARMS), 2013 NFPA 13 / 13R (SPRINKLERS), CALIFORNIA GOVERNMENT CODE

ZONING: RC-4

EXISTING SITE CONDITION: 30 ft TALL 20,685 SQ FT PARKING AND AUTO REPAIR STRUCTURE. THE NEW STRUCTURE IS TO BE SET BACK 25' FROM THE FACE OF THE EXISTING BUILDING

OCCUPANCY: A-2 RETAIL
S-2 PARKING, STORAGE
R-2: RESIDENTIAL

ACCESSIBILITY: PROJECT IS A COVERED, MULTISTORY, MIXED USE CONDOMINIUM RESIDENTIAL BUILDING WITH ONE ELEVATOR. AS PER THE CALIFORNIA DISABLED ACCESS REGULATIONS BOOK SEC 11, THIS IS A MULTI-LEVEL, ELEVATOR BUILDING . IT IS IN FULL COMPLIANCE WITH CBC SECTION 11-B, ACCESSIBLE IN ALL COMMON AREAS.

NUMBER OF STORIES: 8 STORIES / 80 FEET (AUTOMATIC SPRINKLED)
THE ENTIRE BUILDING IS TO BE FULLY SPRINKLED. THIS WILL BE UNDER SEPARATE PERMIT. SEE ADDENDUM SCHEDULE.
INSTALL TYPE 1 DRY/WET COMBINATION STANDPIPE.

HEIGHT: 80 FEET TO ROOFLINE
THE ELEVATOR, AND STAIR EXTEND AN ADDITIONAL 14 FEET ABOVE THE ESTABLISHED ROOF LINE. THESE FEATURES REPRESENT LESS THAN 20% OF TOTAL ROOF AREA. THERE IS A 4 FOOT PARAPET

LOT SIZE/AREA: LENGTH: 137'-6"
WIDTH: 50'
AREA: 6,875 SQ FT

LOT COVERAGE: THE EXISTING BUILDING COVERS 100% OF THE LOT (LEVELS 1 AND 2)

THE ADDITION (LEVELS 3 TO 8) IS SETBACK 25' FROM THE FRONT PROPERTY LINE. THIS FRONT YARD ACCOUNTS FOR 18% OF THE LOT AREA.
THERE IS ALSO A REAR YARD (LEVEL 1 TO 8) AT THE REAR OF THE LOT WHICH IS 9% OF THE LOT AREA.
THIS REAR YARD MEETS ALL CITY EXPOSURE REQUIREMENTS

OPEN SPACE: PRIVATE DECKS
TWO @ 150 SQ FT
TWO @ 72 SQ FT
TWO @ 275 SQ FT = 995 SQ FT

COMMON DECKS
REQUIRED: 22 UNITS * 36 * 1.33 = 1,050 SQ FT
PROVIDED:ROOF = 1,660 SQ FT

PARKING: 7 PARKING STALL PROVIDED. ONE STALL TO BE HC VAN

OFF STREET LOADING
AS PER TABLE 152 NO OFFSTREET LOADING SPACES ARE REQUIRED:
1. RESIDENTAIL NET SQUARE FOOTAGE = 29,105 SQ FT < 100,000 SQ FT
2. COMMERCIAL NET SQUARE FOOTAGE = 700 SQ FT < 10,000 SQ FT

BIKE STALLS: RESIDENTIAL = 28 CLASS 1 STALLS
= 3 CLASS 2 STALL ON SIDEWALK

STREET TREES: THERE ARE NO EXISTING STREET TREES.
THE PROJECT WILL PROVIDE 2 NEW STREET TREES (SEE SITE PLAN) TO COMPLY WITH THE 1 TREE PER 20 FT OF FRONTAGE

EXTERIOR MATERIALS: CAST IN PLACE CONCRETE, ALUMINUM FRAMED WINDOWS, AND CEMENT FIBER BOARD RAIN SCREEN.

BUILDING DATA

GENERAL

DATA	ALLOWED	PROPOSED
CONSTRUCTION TYPE	1B	1B
OCCUPANCY GROUP	A2, R2, S2	A2, R2, S2
BUILDING HEIGHT	160'	80'
AREA PER FLOOR (R2 LIMITS)	UL	4,500
NO. OF STORIES*	11	8
NO. OF UNITS	N/A	N/A
FIRE SPRINKLER	REQ	FULLY SPRINKLERED

GROSS BUILDING AREA
CALCULATION FOR
TABLE 503:

OCCUPANCY	ALLOWED	PROPOSED	ALLOWED	PROPOSED
A2	11 STOR	1 STOR	UL SF	430 SF
S2	11 STOR	1 STOR	158,000 SF	6,600 SF
R2	11 STOR	8 STOR	UL SF	5,400 SF

CONSTRUCTION TYPE and
BUILDING TYPE:

THE PROPOSED BUILDING IS TO BE TYPE 1B.
PLEASE REFER TO ASSEMBLY DIAGRAM (A0.6) FOR DESCRIPTION OF ALL RATED ASSEMBLIES.
AS PER TABLE 508.3.3 THE MAXIMUM HORIZONTAL FIRE SEPERATION BETWEEN ALL LISTED ASSEMBLIES IN A SPRINKLED BUILDING IS 1 HOUR; THEREFORE TABLE 601 GOVERNS

BUILDING ELEMENT	TYPE 1B
PRIMARY STRUCTURAL FRAME	2
BEARING WALL EXTERIOR	2
BEARING WALL INTERIOR	2
NONBEARING WALLS & PARTITIONS EXTERIOR	SEE TABLE 602
NONBEARING WALLS & PARTITIONS INTERIOR	0
FLOOR CONSTRUCTION & SECONDARY MEMBERS	2
ROOF CONSTRUCTION & SECONDARY MEMBERS	1

FIRE SEPARATION DISTANCE = X (FT)	OCCUPANCY R2)
X<5	1
5<X<10	1
10<X<30	1
X>30	0

ALL PROPERTY LINE WINDOWS SHALL BE AS PER SFBC AB-009

OCCUPANCY SEPARATION:
AS PER SECTION 508
AND TABLE 508.4

1 HR SLAB BETWEEN 1ST STORY S2 GARAGE AND 2ND STORY R-2 RESIDENTIAL AS PER CBC TABLE 508.4

2 HR NON COMBUSTIBLE BETWEEN S2 GARAGE AND EXIT LOBBY / PATHS.

1 HR NON COMBUSTIBLE BETWEEN A2 AND R2 PER 508.4

1HR NON COMBUSTIBLE BETWEEN ALL RESIDENTIAL UNITS

TYPE 1B CONSTRUCTION
2 HR. WALLS:

STRUCTURAL FRAME, AND BEARING WALLS BOTH INTERIOR AND EXTERIOR AS PER CBC TABLE 601

TYPE 1B CONSTRUCTION
2 HR. SHAFT WALLS:

ALL STAIRS W/ 2 HR ENCLOSURE AS PER CBC SEC. 707.4
1-1/2 HR DOOR AS PER CBC SEC. 715.4

TYPE 1B CONSTRUCTION
1 HR. WALLS:

ALL CORRIDORS LEADING TO EXIT ENCLOSURES

TYPE 1B CONSTRUCTION.
NR WALLS:

NON BEARING INTERIOR PARTITIONS. NON RATED DOORS

PROPERTY LINE PARAPET
WALLS

ALL PROPERTY LINE PARAPET WALLS TO BE 1HR RATED (MINIMUM)

STRUCTURE:

THE ENTIRE STRUCTURAL COMPONENT OF THE BUILDING IS TO BE NON COMBUSTIABLE CONCRETE CONSTRUCTION.
THE FLOOR SLABS ARE TO BE POST TENSIONED POURED IN PLACE CONCRETE.
SUPPORTING WALLS AND COLUMNS ARE TO BE POURED IN PLACE CONCRETE.

FLOOR AREA CALCULATIONS:

	A	S	R-2	Circ	Utility Rm.	Total	Deck
Level -1	-	6,300	-	300	-	6,600	
Level 1	700	4,000	-	1,450	430	6,580	
Level 2	-	-	4,715	685	-	5,400	500
Level 3	-	-	4,065	685	-	4,750	550
Level 4	-	-	4,065	685	-	4,750	
Level 5	-	-	4,065	685	-	4,750	
Level 6	-	-	4,065	685	-	4,750	
Level 7	-	-	4,065	685	-	4,750	
Level 8	-	-	4,065	685	-	4,750	
Roof	-	-	-	-	-	-	1,650
Total	700	10,300	29,105	6,245	-	47,080	2,700

One Bedroom + Den	12	43 %
Two Bedroom	14	50 %
Two Bedroom + Den	02	07 %
Total	28	

OCCUPANCY LOAD
CALCULATIONS

Occupancy	Area	Factor	Load	Egress width req.	Notes
A-2 (Ground)	700	15	46.67	9.33	1 exit permitted (< 49 occupant load per table 1015.1)
S (Basement Storage)	6,300	300	21.0	6.30	1 exit stair permitted (< 29 occupant load per table 1015.1)
S (Ground Parking)	4,000	200	20.0	6.00	1 exit stair permitted (< 29 occupant load per table 1015.1)
R-2	4,715	200	23.6	7.07	2 exits required. Stair width to be 48" per CBC 1009.4
O (Roof Common Deck)	1,650	15	110.00	33.00	2 exits required. Stair width to be 48" per CBC 1009.4

EMERGENCY ESCAPE:

AS PER CBC SECTION 1029 EXCEPTION 1, TYPE 1 CONSTRUCTION EQUIPED WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM NEED NOT PROVIDE EMERGENCY ESCAPE AND RESCUE OPENING

GARAGE VENTILLATION:

TOTAL GARAGE (S-2) AREA = 4,000 SQ FT
IN ACCORDANCE WITH CBC SEC 406.6.2 A MECHANICAL VENTILATION SYSTEM WILL BE PROVIDED

GROUP R LIGHT AND
VENTILATION:

LIGHT: ALL HABITABLE ROOMS (EXCEPT BATHROOMS AS PER CBC 1203.2) HAVE NATURAL LIGHT GREATER THAN 8% OF THE FLOOR AREA.

VENTILLATION: ALL ROOMS REQUIRED BY CBC 1203.1 SHALL BE PROVIDED WITH MECHANICAL VENTILATION

ELEVATOR:

ELEVATOR TO BE OTIS 3500 LB GEN 2-A MACHINEROOM-LESS ELEVATOR. ELEVATOR IS STRETCHER ACCESSIBLE.

EMERGENCY STANDBY POWER PER CBC. 1007.4 NOT REQUIRED. INSTEAD HORIZONTAL EXITS ARE PROVIDED PER CBC. 1025.2 AND 1007.6.2 WITH A 2HR WALL AND 90 MINUTE CORRIDOR DOOR.

TRASH:

TRASH ROOM SHALL COMPLY WITH SFAB-088 COLLECTION AND STORAGE OF TRASH, RECYCLING, AND COMPOSTABLE MATERIALS.

PLUMBING FIXTURES:

AS PER SFBC 2902.1
1. ONE UNISEX BATHROOM PROVIDED FOR COMMERCIAL SPACE 105 47 (LOAD) / 75 SQ FT=1
ASSUME RESTAURANT (A2) OCCUPANCY

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469 EDDY
469 EDDY STREET, SAN FRANCISCO, CA

TITLE:
PROJECT DATA

SET: PLANNING COMMISSION

DATE: 04-05-2016

SCALE: N.T.S.

DRAWN: SSJNAI
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SHEET NO:
A0.2

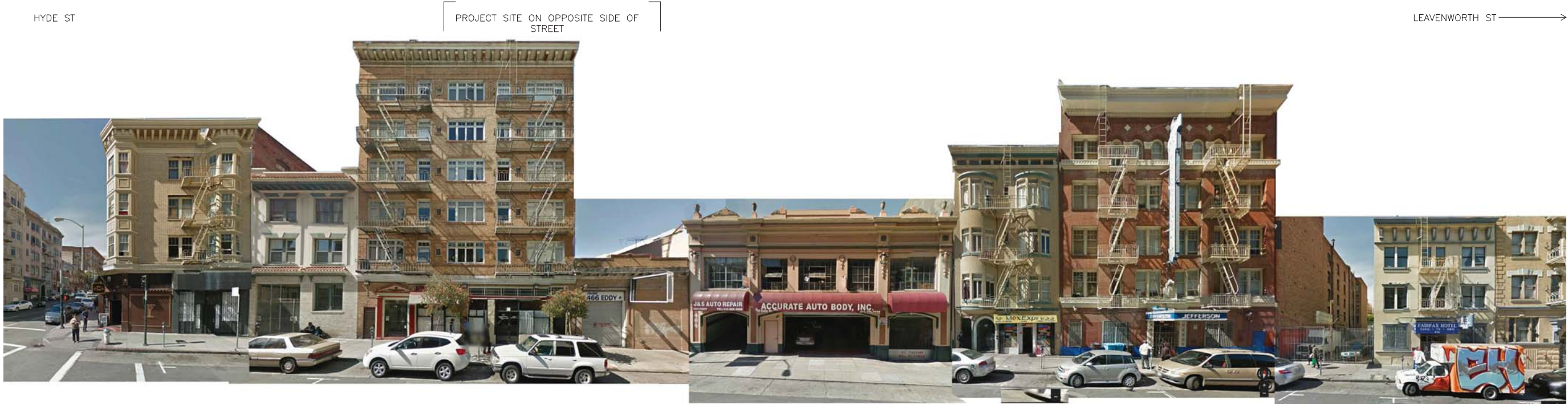
PROJECT DATA

1



EDDY STREET (NORTH) ELEVATION

1



EDDY STREET (SOUTH) ELEVATION - OPPOSITE SIDE

2

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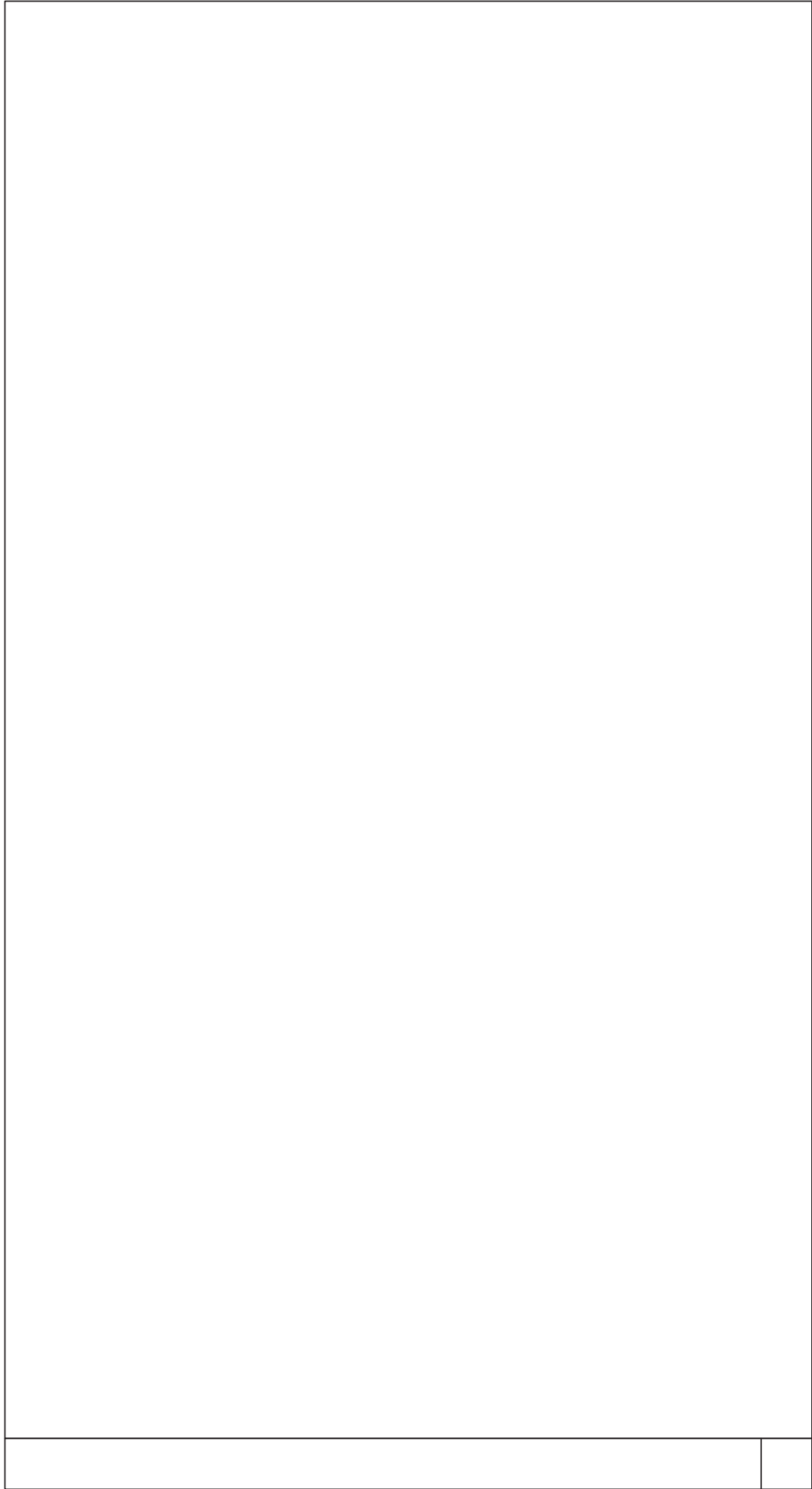
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STREET ELEVATION

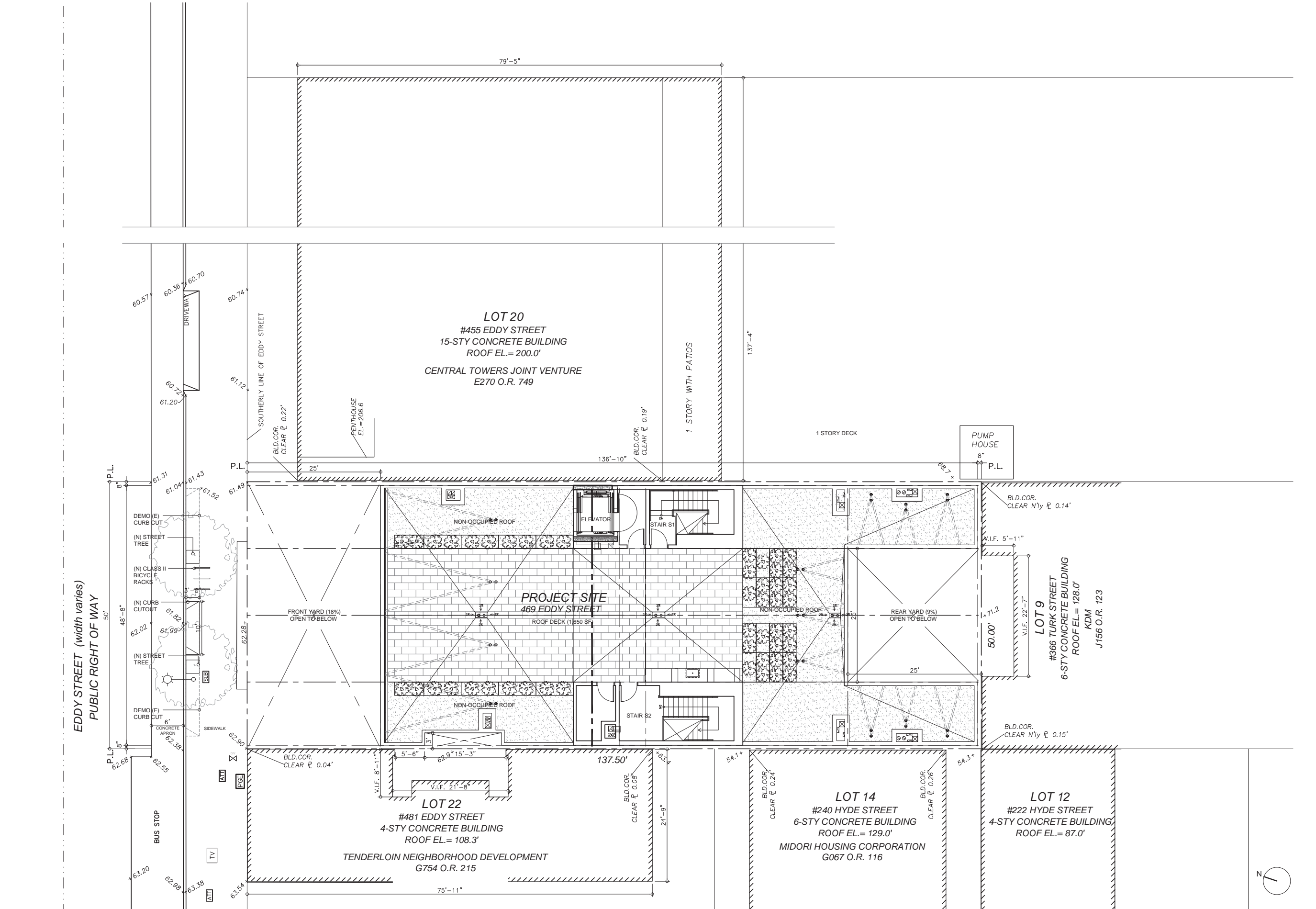
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NORTHWEST STREET VIEW

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469 EDDY STREET, SAN FRANCISCO, CA				
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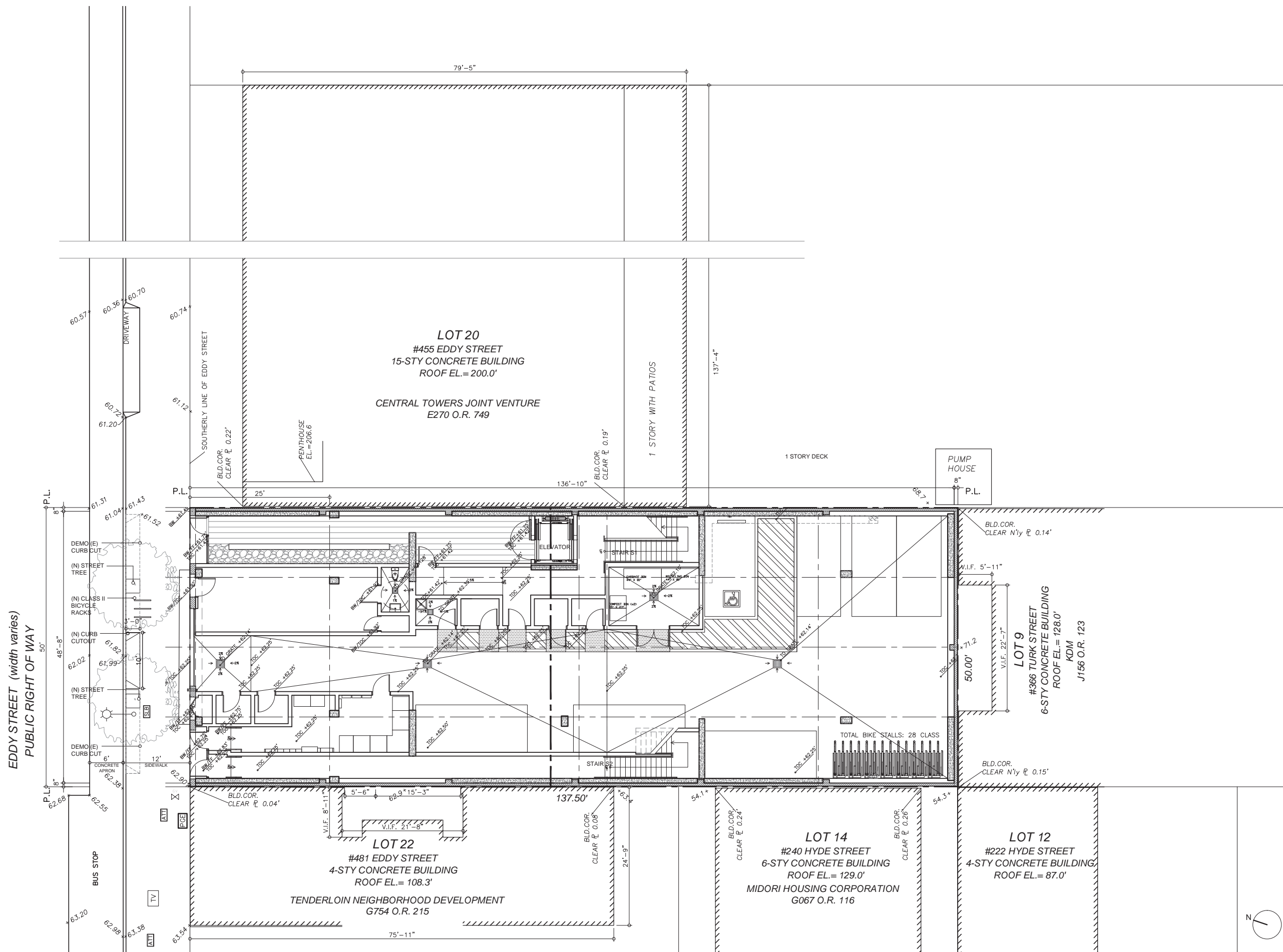
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469 EDDY

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TITLE:	
SITE PLAN	
SET:	PLANNING COMMISSION
DATE:	04-05-2016
SCALE:	1/8" = 1'-0"
DRAWN:	SSJNAI

SHEET NO:
A0.4



REVISIONS	

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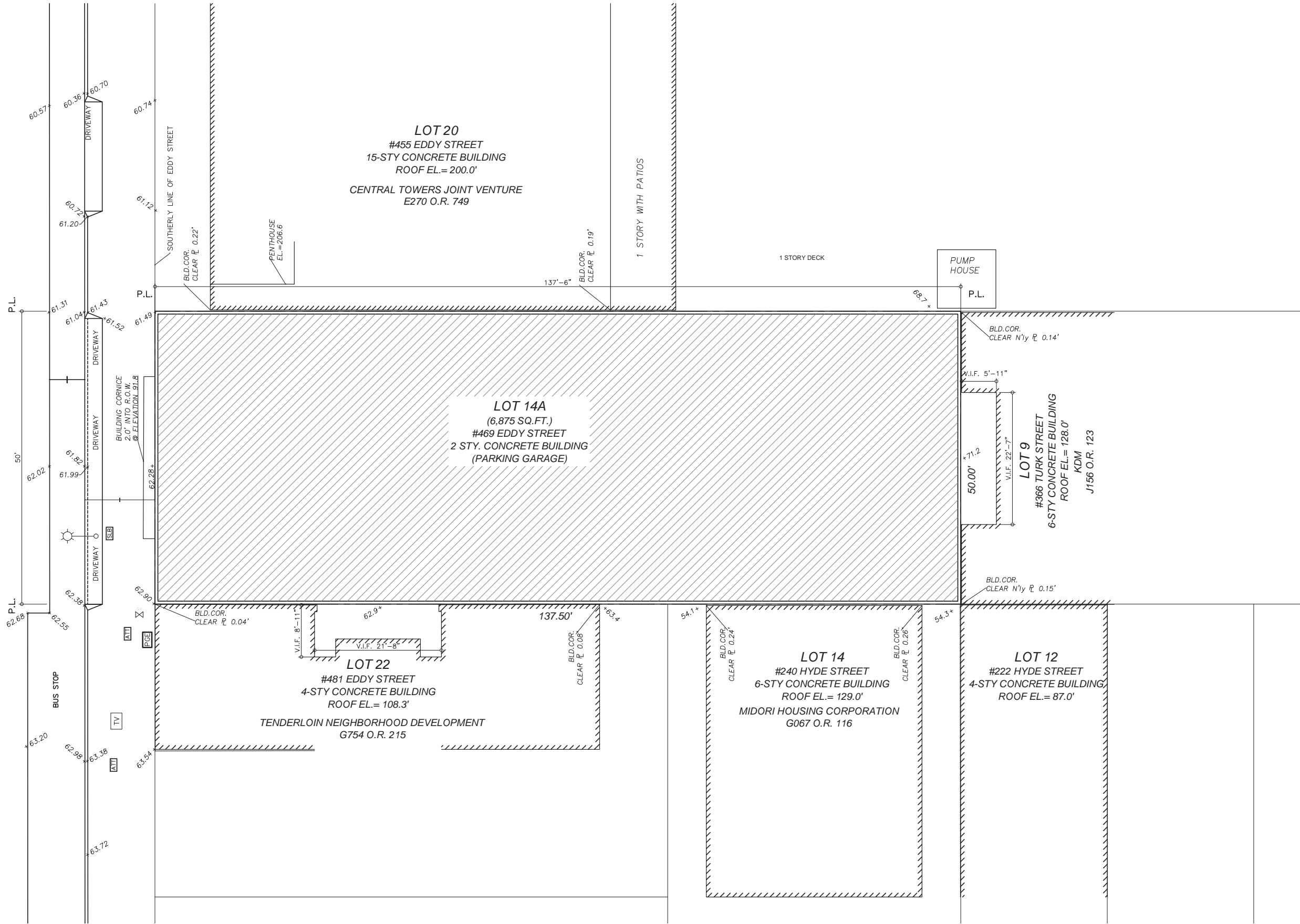
469 EDDY

469 EDDY STREET, SAN FRANCISCO, CA

TITLE: ELEVATION PLAN	
SET:	PLANNING COMMISSION
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EDDY STREET (width varies)
PUBLIC RIGHT OF WAY



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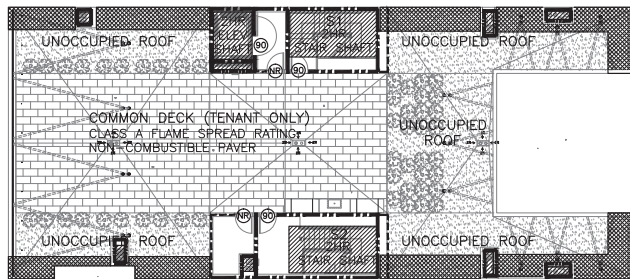
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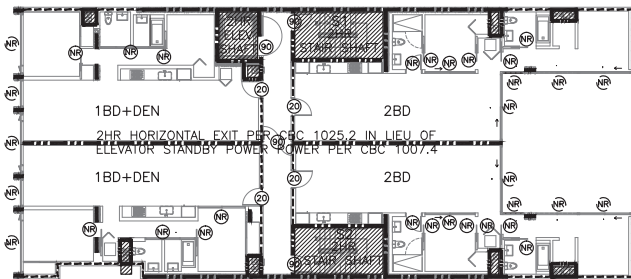
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SET:	PLANNING COMMISSION
DATE:	04-05-2016
SCALE:	1/8" = 1'-0"
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SHEET NO: A0.5	

EXISTING SITE PLAN

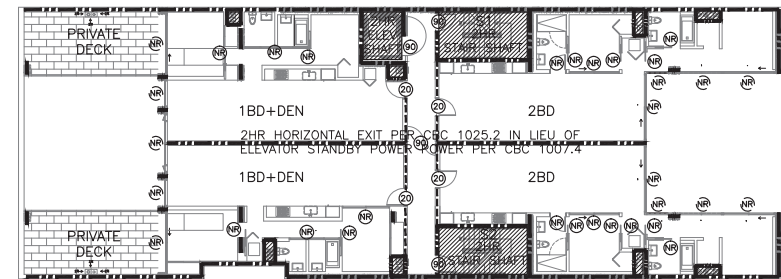
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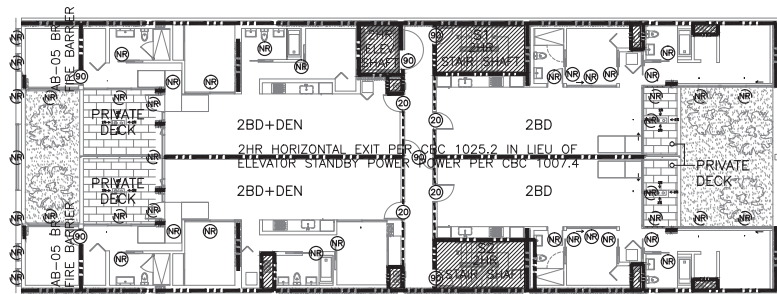
FIRE RATING DIRAGRAM - ROOF



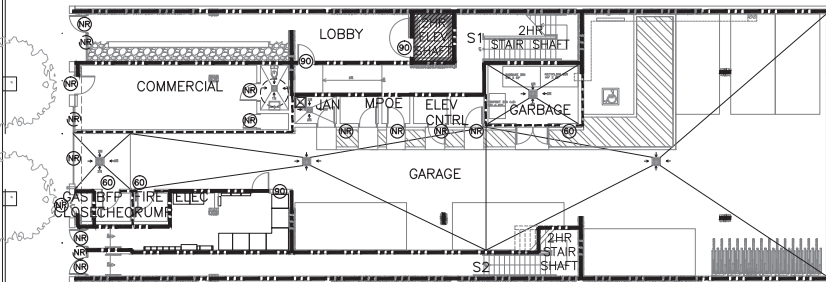
FIRE RATING DIRAGRAM - LEVEL 4-8



FIRE RATING DIRAGRAM - LEVEL 3






FIRE RATING DIRAGRAM - LEVEL 2





FIRE RATING DIRAGRAM - GROUND LEVEL (EXIT LEVEL)

FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (HOURS)	
C.B.C. TABLE 601	
BUILDING ELEMENT	TYPE IB
PRIMARY STRUCTURAL FRAME	2
BEARING WALL EXTERIOR	2
BEARING WALL INTERIOR	2
NONBEARING WALLS & PARTITIONS EXTERIOR	SEE TABLE 602
NONBEARING WALLS & PARTITIONS INTERIOR	0
FLOOR CONSTRUCTION & SECONDARY MEMBERS	2
ROOF CONSTRUCTION & SECONDARY MEMBERS	1

FIRE RATING DIAGRAM - CBC 601, 602 RATINGS

SYMBOL	WALL/FLOOR RATING & APPLICATION	2013 CBC SECTION
	NON RATED	
	INTERIOR NON BEARING WALLS, PARTITIONS	TABLE 601
	ELEVATOR UPS BATTERY < 50 GAL	TABLE 509
	STORAGE < 100 SF	TABLE 509
	1 HOUR RATED	
	PRIMARY STRUCTURAL FRAME	TABLE 601
	INTERIOR BEARING WALLS	TABLE 601
	TYPICAL FLOOR (BESIDES 510.5 RQ'MNTS)	TABLE 601
	ROOF	TABLE 601
	CORRIDOR WALLS	708.1, 1018.1
	DWELLING SEPARATION	420, 708.1
	R-2 TO U SEPARATION	406.3.4, 508.4
	GARBAGE/STORAGE > 100 SF	509
	2 HOUR RATED	
	INTERIOR/EXTERIOR BEARING WALLS	TABLE 601, 602.2
	SHAFT WALLS >3 STORIES	713.4 1009.3.1.2
	LOBBY/VESTIBULE WALLS AS EXIT	1027.1 EX.1
	STAIR VESTIBULE WALLS	909.20
	HORIZONTAL EXIT WALL	1025.2
	FIRE BARRIER	707
	PGE GAS ROOM	PGE J-16
	FLOOR	601

SYMBOL	DOOR/WNDW RATING & APPLICATION	2013 CBC SECTION
(NR)	NON RATED DOORS IN NON RATED WALLS WITHIN DWELLINGS & ROOMS	TABLE 601
	DOORS @ STREET > 20' FROM THE C.L. OF ROAD	705.8
	DOORS @ REAR YARD >20' FROM P.L.	705.8
(20)	20 MINUTE CORRIDOR DOOR	716.5
(60)	60 MINUTE 1 HR SHAFT DOOR 1 HR ROOM	716.5
(90)	90 MINUTE 2 HR SHAFT DOOR 2 HR VESTIBULE DOOR 2 HR FIRE BARRIER	716.5 716.5 716.5
(20)	120 MINUTE PGE GAS METER ROOM	PGE J-16

SYMBOL	DOOR/WNDW RATING & APPLICATION	2013 CBC SECTION
(NR)	WINDOWS @ STREET	705.8
	> 20' FROM THE C.L. OF ROAD	
	WINDOWS @ REAR YARD	705.8
	>20' FROM P.L.	
	WINDOWS PERPENDICULAR TO P.L. AT LIGHT WELL	705.8.1.2
	2 HOUR SHAFT WALLS >3 STORIES	713.4, 1009.3.1.2
	2 HOUR ROOF 4' INBOARD OF P.L. IN LIEU OF PARAPET	706.6 EX.4
<p>SMOKE GASKETED</p> <p>MAX. TRANSMIT. TEMP END POINT SHALL NOT EXCEED 450F ABOVE AMBIENT AFTER 30 MIN. OF FIRE EXPOSURE. ALL 90 MINUTE ELEVATOR SHAFT DOORS ARE TO BE SMOKE ACTIVATED WITH MAGNETIC LOCKS AND CLOSERS</p> <p>AS PER CBC TBL 601 ALL PRIMARY STRUCTURAL FRAMING ELEMENTS, BEARING WALLS AND FLOOR CONSTRUCTION SHALL BE RATED 2HRS. IN ADDITION APART FROM THOSE ITEMS LISTED IN SECTION 603 ALL CONSTRUCTION SHALL BE NON COMBUSTIBLE</p>		

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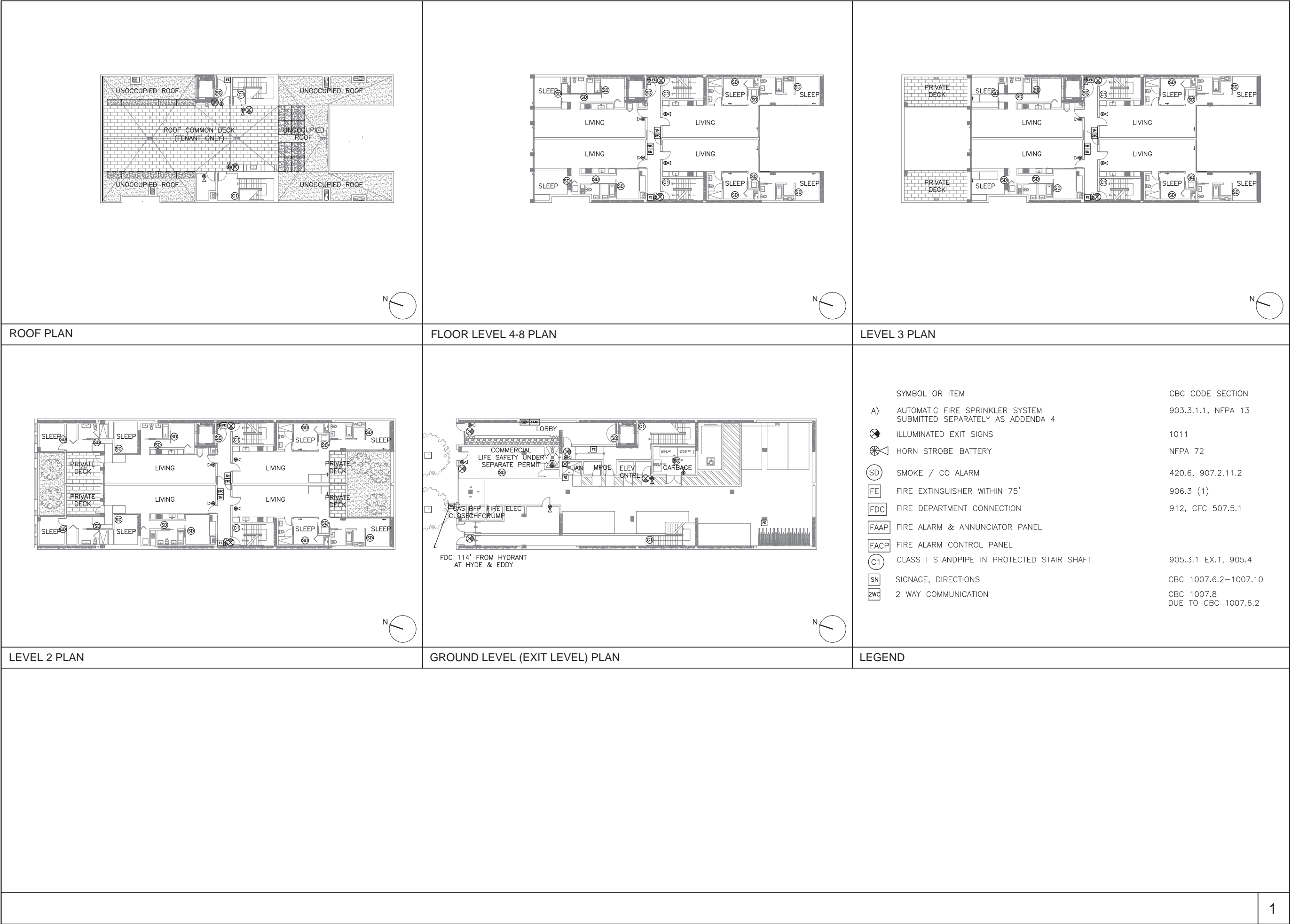
469 EDDY
469 EDDY STREET, SAN FRANCISCO, CA

TITLE:
FIRE RATED

SET:	PLANNING COMMISSION
DATE:	04-05-2016
SCALE:	1/16"=1'-0"
DRAWN:	SSJNAI C:\PROGRAMS\STANLEY\SAFOWM2\I C:\STANLEY\SAFOWM2\I

SHEET NO:

A0.6



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Walnut Creek, CA 94596
P 925.940.2218 C 925.357.7610

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755 Baywood Drive
Petaluma, CA 94954
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469 EDDY

469 EDDY STREET, SAN FRANCISCO, CA

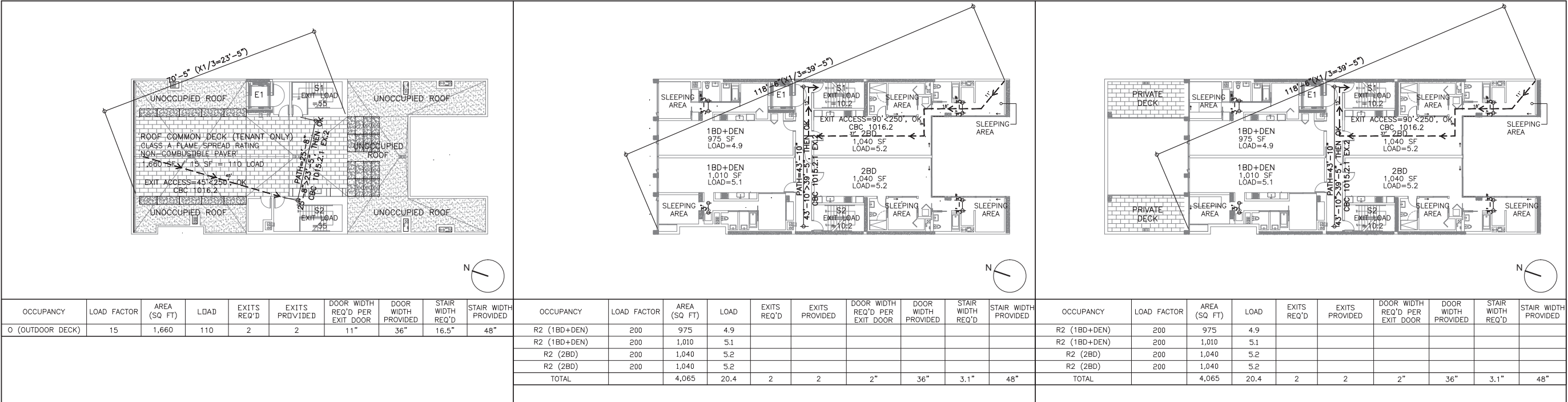
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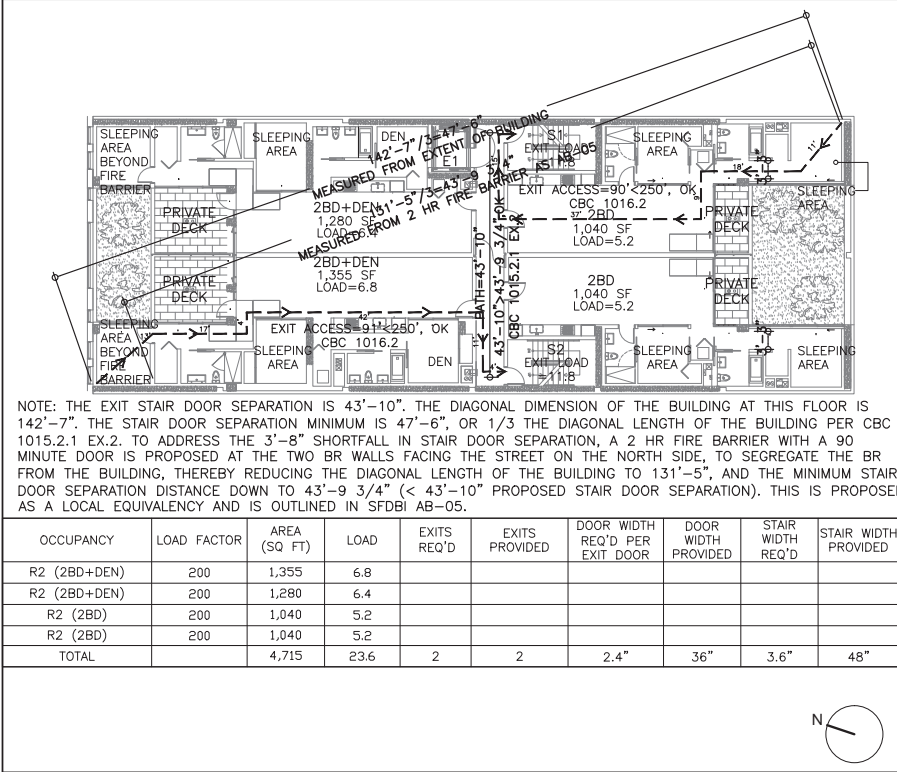
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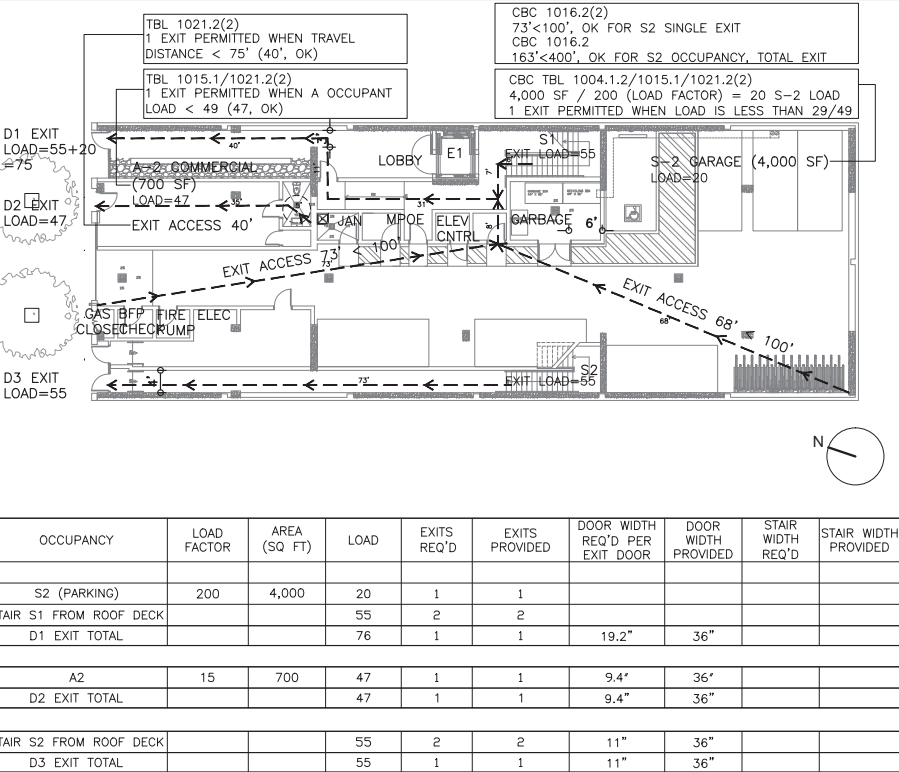
EXITING DIAGRAM / LOAD - ROOF



EXITING DIAGRAM / LOAD- LEVEL 2

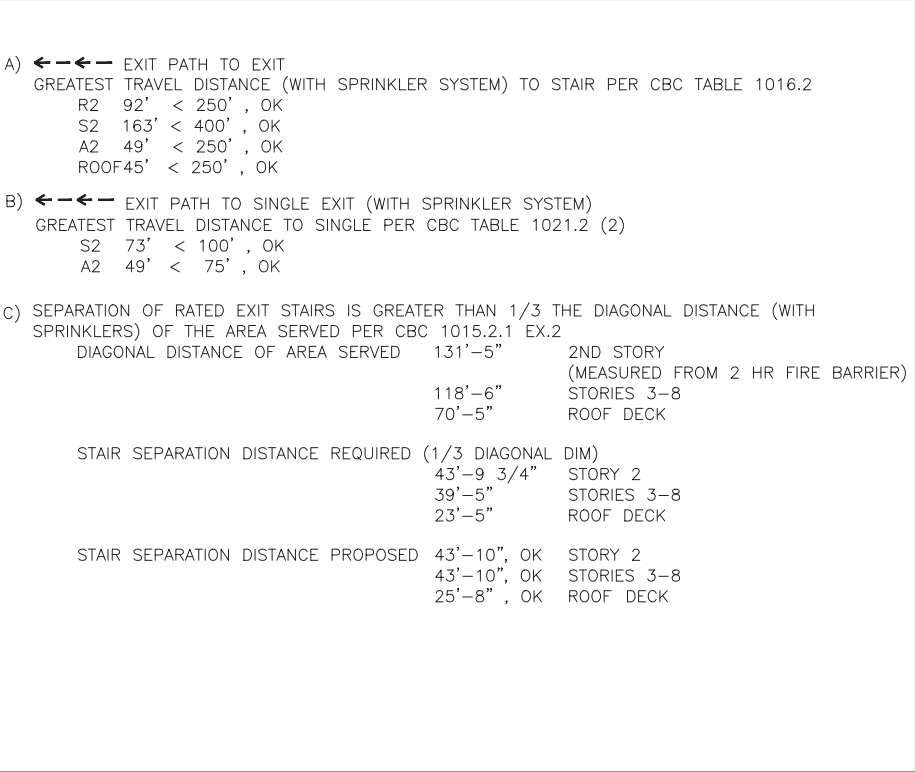
- THERE ARE 4 OCCUPANCY LOADS UNDER CONSIDERATION:
- OCCUPANT LOAD (GARAGE S-2) IS 20 < 49, OK. AS SUCH 1 MEANS OF EGRESS IS ALLOWED WITH SPRINKLERS PER CBC 1021.2(2). EXIT DISTANCE (GARAGE S-2) TO STAIR IS 73' < 100', OK. UP TO 100' TRAVEL DISTANCE IS ALLOWED WITH SPRINKLERS PER CBC 1021.2(2).
 - OCCUPANT LOAD (COMMERCIAL A-2) IS 47 < 49'. AS SUCH 1 MEANS OF EGRESS IS ALLOWED PER CBC 1015.1 & 1021.2(2). EXIT DISTANCE (COMMERCIAL A-2) IS 40' < 75'. AS SUCH IT 1 MEANS OF EGRESS IS ALLOWED PER CBC 1021.2(2).
 - TYP RESIDENTIAL FLOOR (R-2): OCCUPANT LOAD IS 24 AND HAS BEEN PROVIDED WITH 2 MEANS OF EGRESS.
 - ROOF DECK (NON OCCUPANCY): OCCUPANT LOAD IS 110 AND PER CBC TBL 1019.1, 2 EXITS ARE REQUIRED. THIS LOAD GOVERNS EXIT REQUIREMENTS.

EXITING DIAGRAM / LOAD - LEVELS 4-8



EXITING DIAGRAM / LOAD - GROUND

EXITING DIAGRAM / LOAD - LEVEL 3



EXITING DIAGRAM - EXIT PATH, DISTANCE, SEPARATION

- GENERAL
- PER 1008.1.2 DOOR MAY SWING OPPOSITE TO PATH OF TRAVEL AS OCCUPANT LOAD IS LESS THAN 50
 - NO TRAVEL DISTANCE ALONG A DEAD-END CORRIDOR IS GREATER THAN 50 FEET PER CBC 1018.4.
 - GREATEST COMMON PATH OF TRAVEL (S1 STAIR/LOBBY) IS 71' < 100' (S-2) < 125' (R-2), OK PER 1014.3.
 - MINIMUM STAIR WIDTH IS 48" WHICH EXCEEDS A LOAD BASED CALCULATION PER 1005.3.1 AND THE DIMENSION IN CBC 1009.4
 - MINIMUM CORRIDOR WIDTH IS 48" WHICH EXCEEDS A LOAD BASED CALCULATION PER 1005.3.2 AND THE DIMENSION IN CBC 1018.2
 - MINIMUM DOOR WIDTH IS 36" WHICH EXCEEDS A LOAD BASED CALCULATION PER 1005.3.2 AND THE DIMENSION IN CBC 1008.1.1

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TITLE:
EXITING DIAGRAM

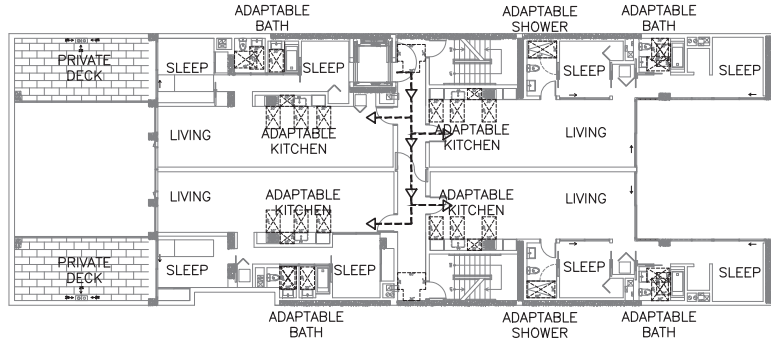
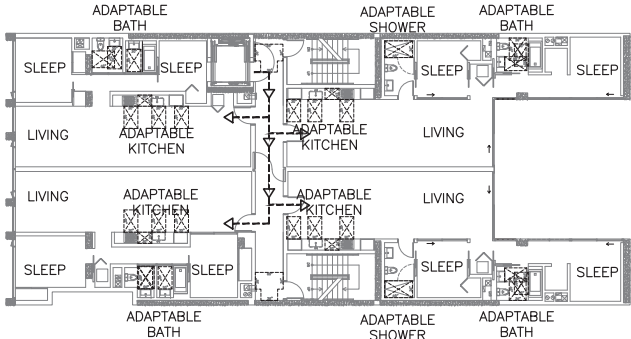
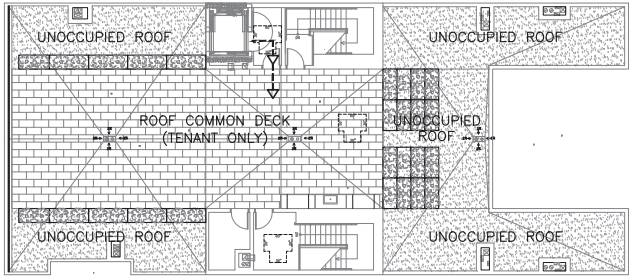
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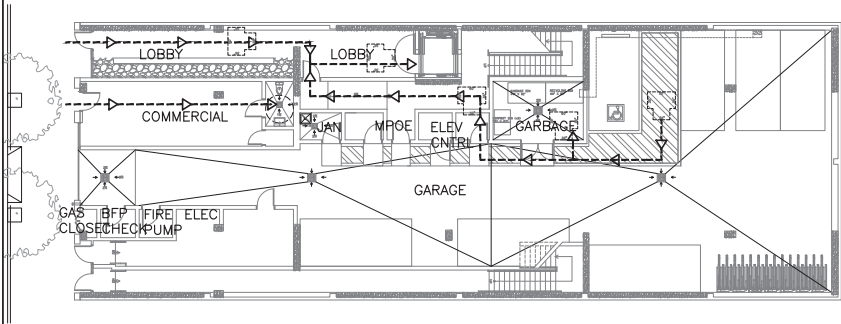
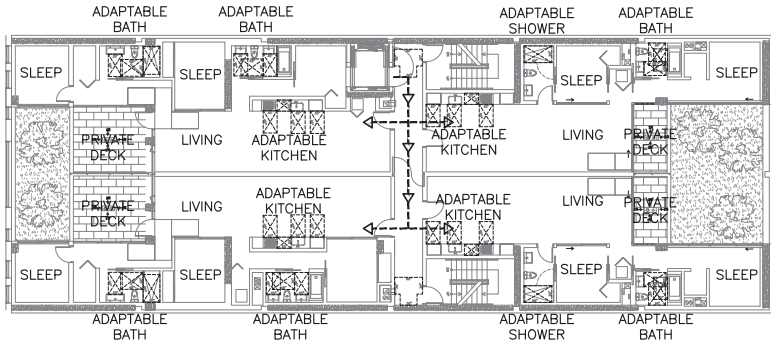
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ACCESSIBILITY DIAGRAM - ROOF

ACCESSIBILITY DIAGRAM LEVELS 4-8

ACCESSIBILITY DIAGRAM - LEVEL 3



ACCESSIBILITY DIAGRAM - LEVEL 2

ACCESSIBILITY DIAGRAM - GROUND LEVEL

LEGEND

- A) THIS IS A PRIVATELY FUNDED COVERED MULTIFAMILY DWELLING BUILDING AND COMPLIES WITH CBC CHAPTER 11A.
- B) KITCHENS INCLUDE A 24" X 30" AREA FOR SINKS AND WORKSPACE PER CBC 1133A.4
- C) KITCHENS INCLUDE A MINIMUM 30" WIDE MINIMUM REMOVABLE BASE CABINET BELOW THE SINK PER CBC 1133A.3
- D) KITCHEN COUNTERS TO BE 36" HIGH AND STONE OR CULTURED STONE AND EXEMPT FROM THE REPOSITIONING OR BREAD BOARD REQUIREMENT PER CBC 1133A.4.1 (EX2)
- E) 1134A.2, OPTION 1: DWELLING TYPES 1A, 1B, 2A, 2B
ONE ADAPTABLE BATHROOM ITEMS 1-10: TUB, TOILET, LAV

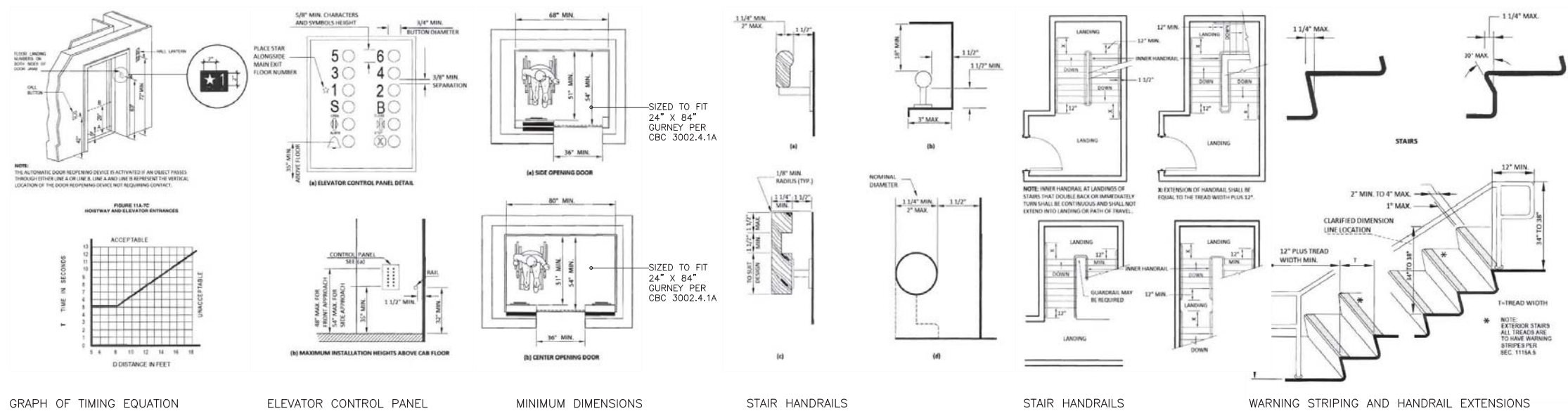
1134A.2, OPTION 2: DWELLING TYPES 3, 4, 5, 6, 7
ONE ADAPTABLE BATHROOM ITEMS 1-10: SHOWER, TOILET, LAV
SECOND NON ADAPTABLE BATHROOM: ITEMS 8-12
- F) 36" X 60" SHOWERS WITH A 36" CLEAR ENTRY PER CBC 11A-9K

- G) TOILETS INCLUDE A 36" X 48" CLEAR SPACE PER CBC 11A-9M AND 1134A.7
- H) TUBS INCLUDE A 30" X 48" CLEAR SPACE PER CBC 1134A.5
- I) BATH LAVS INCLUDE 30" X 48" CLEARANCES PER CBC 11A-9D AND 1134A.4
- J) TOILETS, TUBS, SHOWERS INCLUDE BLOCKING PER 11A-9B, 11A-9G, 1A-9I (A), 11A-9K, 1134A.5.2, 1134A.6.4. IN CASES WHERE BLOCKING IS NOT POSSIBLE IN THE RETURN WALL, THEN ALTERNATE BLOCKING AT THE REAR WALL TO ACCOMMODATE A FOLDAWAY GRAB BAR PER 1134A.7.2

REVISIONS	
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<div>469 EDDY</div> <div>469 EDDY STREET, SAN FRANCISCO, CA</div>	
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SHEET NO: A0.9	

WALLS, PARTITIONS AND FLOOR/CEILING ASSEMBLIES SEPARATING DWELLING UNITS FROM EACH OTHER OR FROM 630 PUBLIC OR SERVICE AREAS SHALL HAVE A SOUND TRANSMISSION CLASS (STC) OF NOT LESS THAN 50 (45 IF FIELD TESTED) FOR AIR-BORNE NOISE WHEN TESTED IN ACCORDANCE WITH ASTM E 90. PENETRATIONS OR OPENINGS IN CONSTRUCTION ASSEMBLIES FOR PIPING; ELECTRICAL DEVICES; RECESSED CABINETS; BATHTUBS; SOFFITS; OR HEATING, VENTILATING OR EXHAUST DUCTS SHALL BE SEALED, LINED, INSULATED OR OTHERWISE TREATED TO MAINTAIN THE REQUIRED RATINGS. THIS REQUIREMENT SHALL NOT APPLY TO DWELLING UNIT ENTRANCE DOORS; HOWEVER, SUCH DOORS SHALL BE TIGHT FITTING TO THE FRAME AND SILL.

2013 CBC APPENDIX 1207.3:
STRUCTURE BORNE SOUND INSULATION
FLOOR/CEILING ASSEMBLIES
BETWEEN DWELLING UNITS OR BETWEEN A
DWELLING UNIT AND A PUBLIC OR SERVICE AREA
WITHIN THE STRUCTURE SHALL HAVE AN IMPACT
INSULATION CLASS (LIC) RATING OF NOT LESS
THAN 50 (45 IF FIELD TESTED) WHEN TESTED IN
ACCORDANCE WITH ASTM E 492.



(a) PARALLEL APPROACH

30" MIN.

48" MIN.

12" MIN.

36" MIN.

12" MIN.

60" MIN.

(b) CLEAR FLOOR SPACE

30" MIN.

48" MIN.

(c) FORWARD APPROACH

30" MIN.

48" MIN.

60" MIN.

(d) DOOR THRESHOLDS AND CLEARANCES

DOOR IN SERIES

DOORS AT OPPOSITE WALLS

BOTH DOORS OPEN OUT

VESTIBULE—SERVING OTHER THAN A REQUIRED EXIT STAIRWAY

DOOR THRESHOLDS

DOOR CLEARANCES

HINGE SIDE APPROACH

LATCH SIDE APPROACH

CLEAR DOOR WIDTH AND DEPTH: SWING DOOR

FRONT APPROACH

SIDE APPROACH

FRONT APPROACH

LATCH SIDE APPROACH

WALKING PARALLEL TO A WALL

HC VAN STALL SIGNAGE PER CBC 1109A.8.8

- *INT'L SYMBOL OF ACCESSIBILITY
- *MIN. 70 S.I.
- *REFLECTIVE
- *WHITE ON BLUE
- *80" MIN AFF ON POST
- *36" MIN AFF ON WALL

70 SQ. INCHES ACCESSIBILITY SIGN PER SECTION 1109A.8.8

WHEEL STOP

PEDESTRIAN ROUTE

STRIPES AT 36" ON CENTER

NO PARKING


5' MIN. AT TYPICAL ACCESSIBLE PARKING STALL

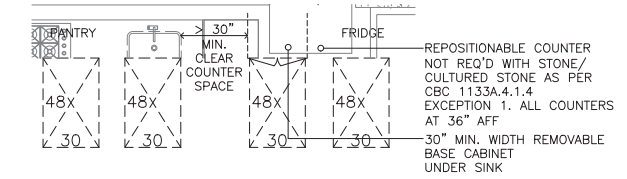
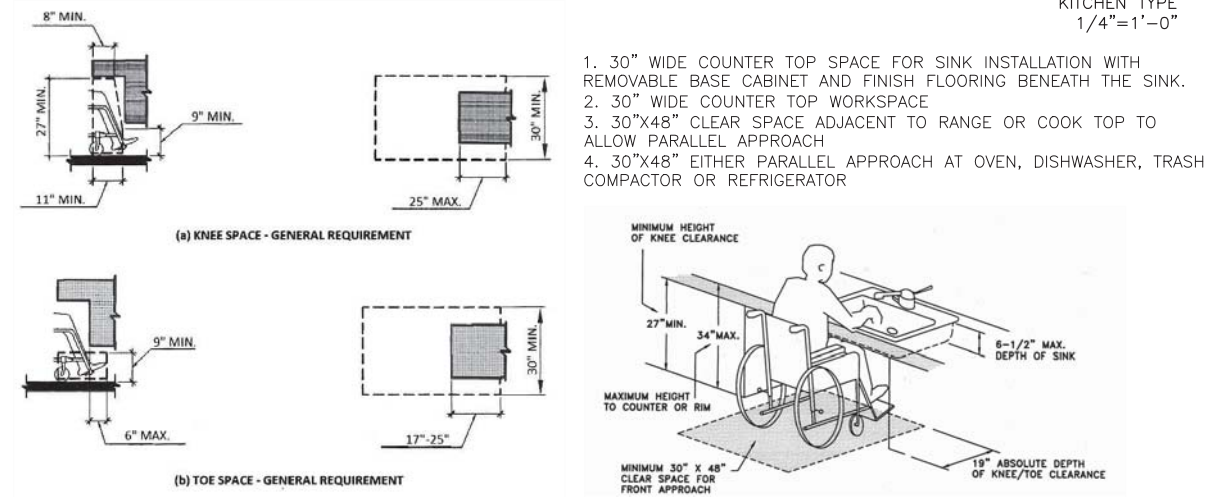
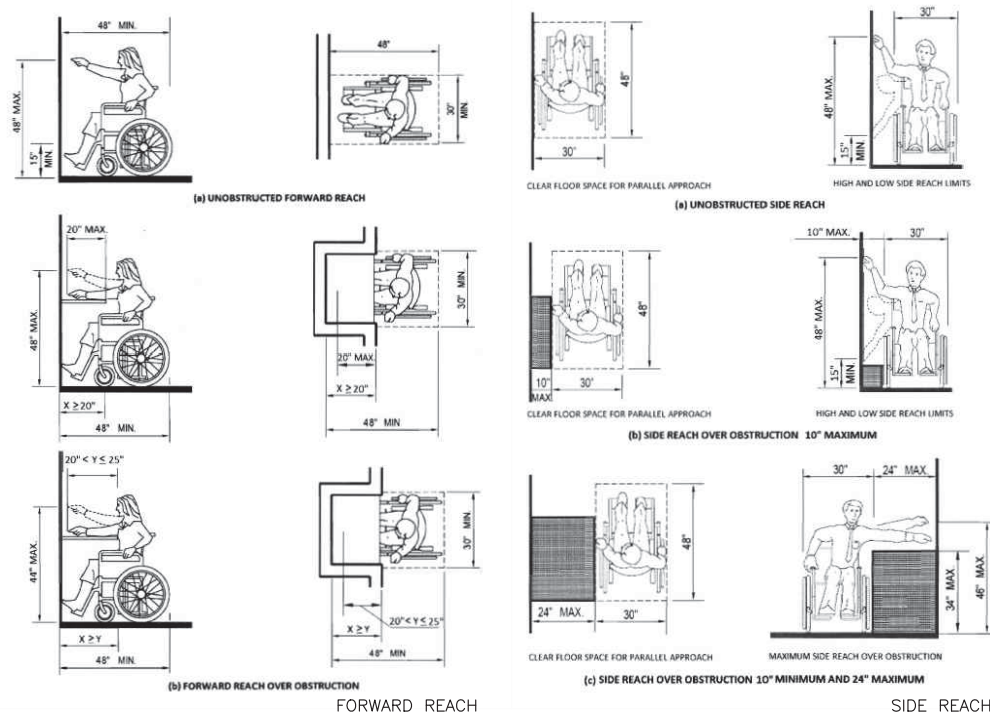
8' MIN. AT VAN ACCESSIBLE PARKING STALL

DOOR ACCESSIBILITY DIAGRAMS (CONTINUED)	4	PROTRUDING	5	HC PARKING	7
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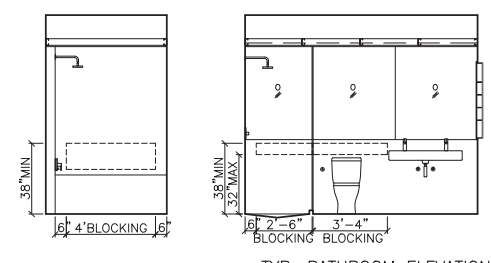
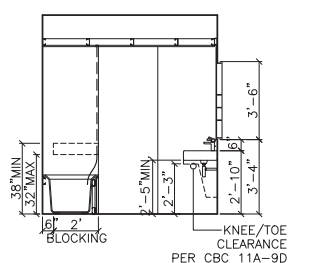
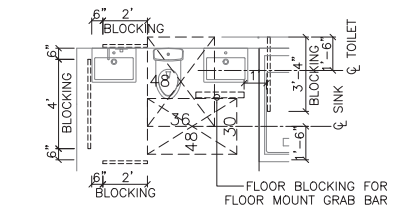
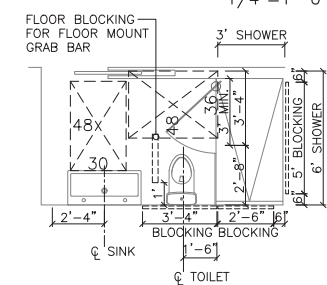
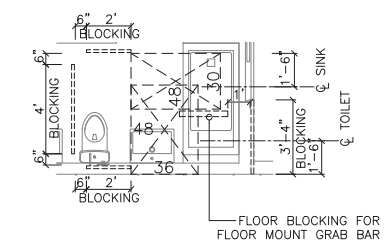
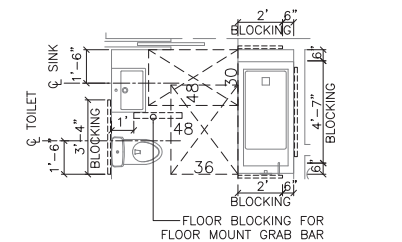
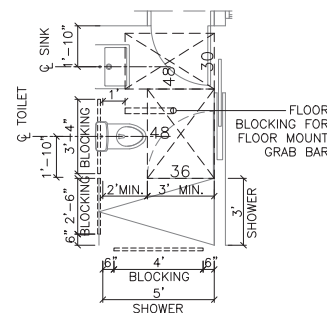
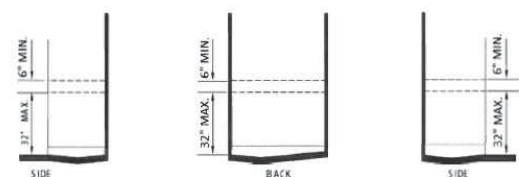
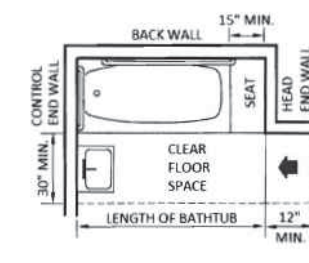
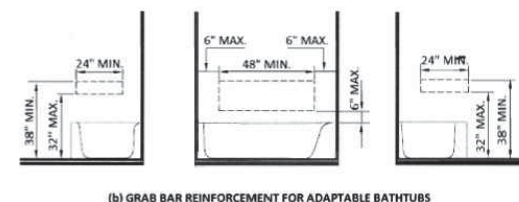
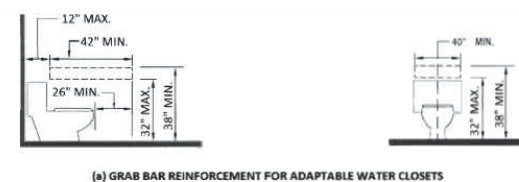
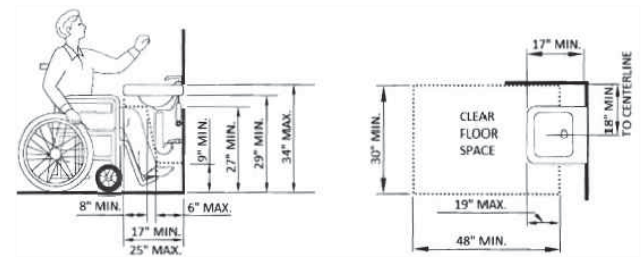
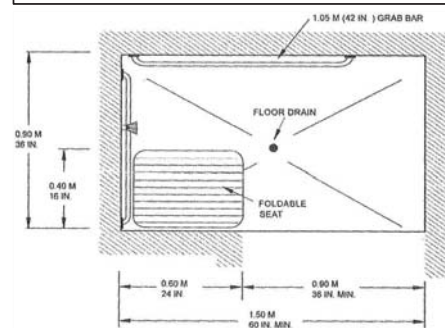
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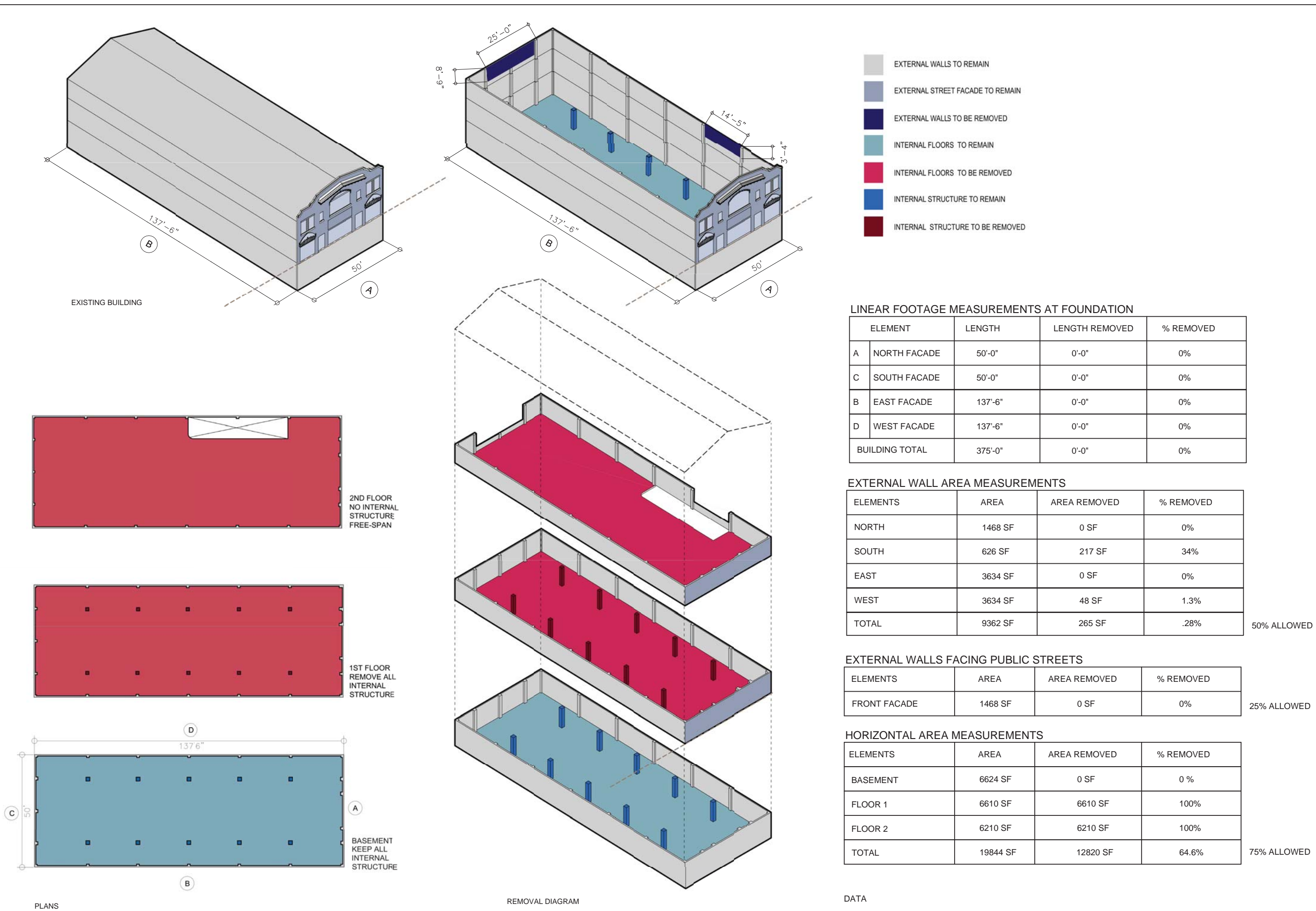


KITCHEN TYPE
1/4"=1'-0"

1. 30" WIDE COUNTER TOP SPACE FOR SINK INSTALLATION WITH REMOVABLE BASE CABINET AND FINISH FLOORING BENEATH THE SINK.
2. 30" WIDE COUNTER TOP WORKSPACE
3. 30"x48" CLEAR SPACE ADJACENT TO RANGE OR COOK TOP TO ALLOW PARALLEL APPROACH
4. 30"x48" EITHER PARALLEL APPROACH AT OVEN, DISHWASHER, TRASH COMPACTOR OR REFRIGERATOR



REINFORCEMENT FOR GRAB BARS
NOTE: AREAS OUTLINED IN DASHED LINES REPRESENT LOCATIONS
FOR FUTURE INSTALLATION OF GRAB BARS



REVISIONS

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REMOVAL
DIAGRAM

SET:

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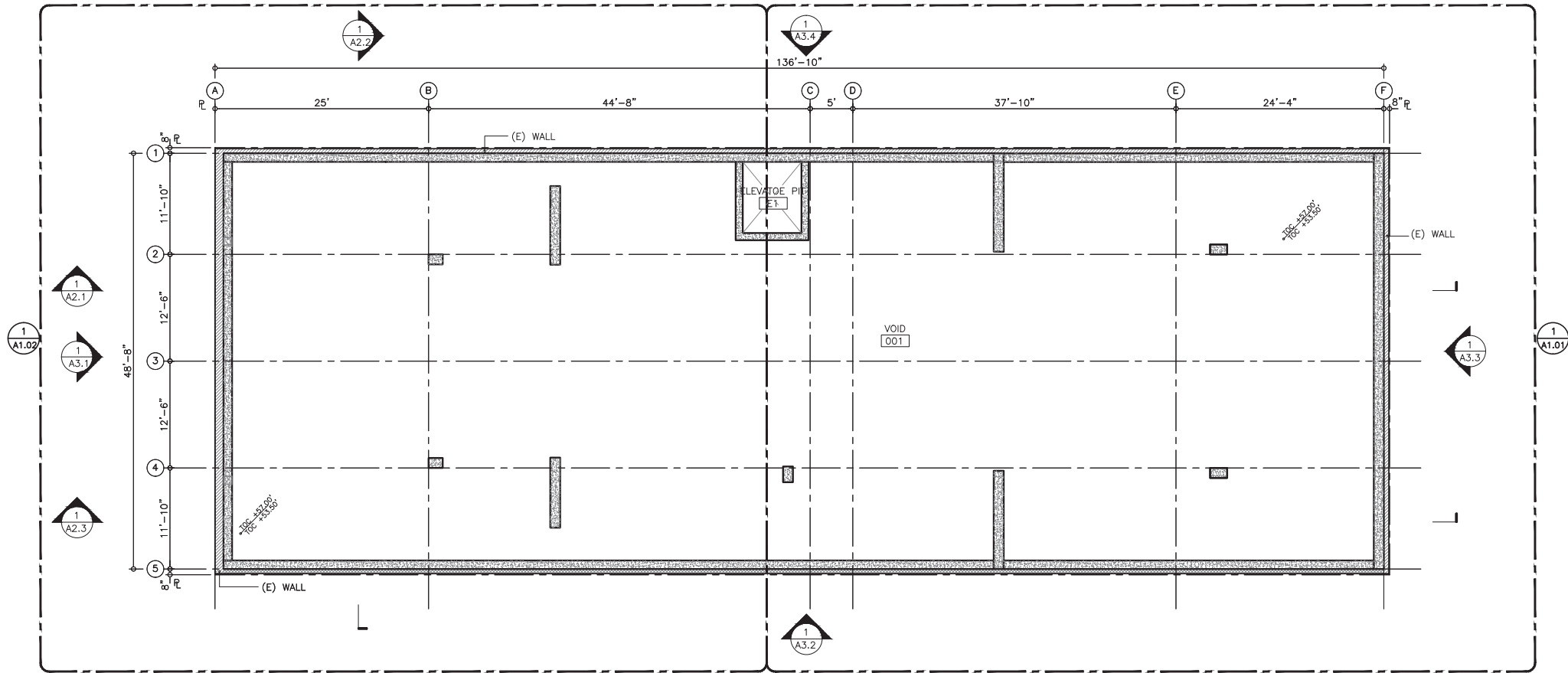
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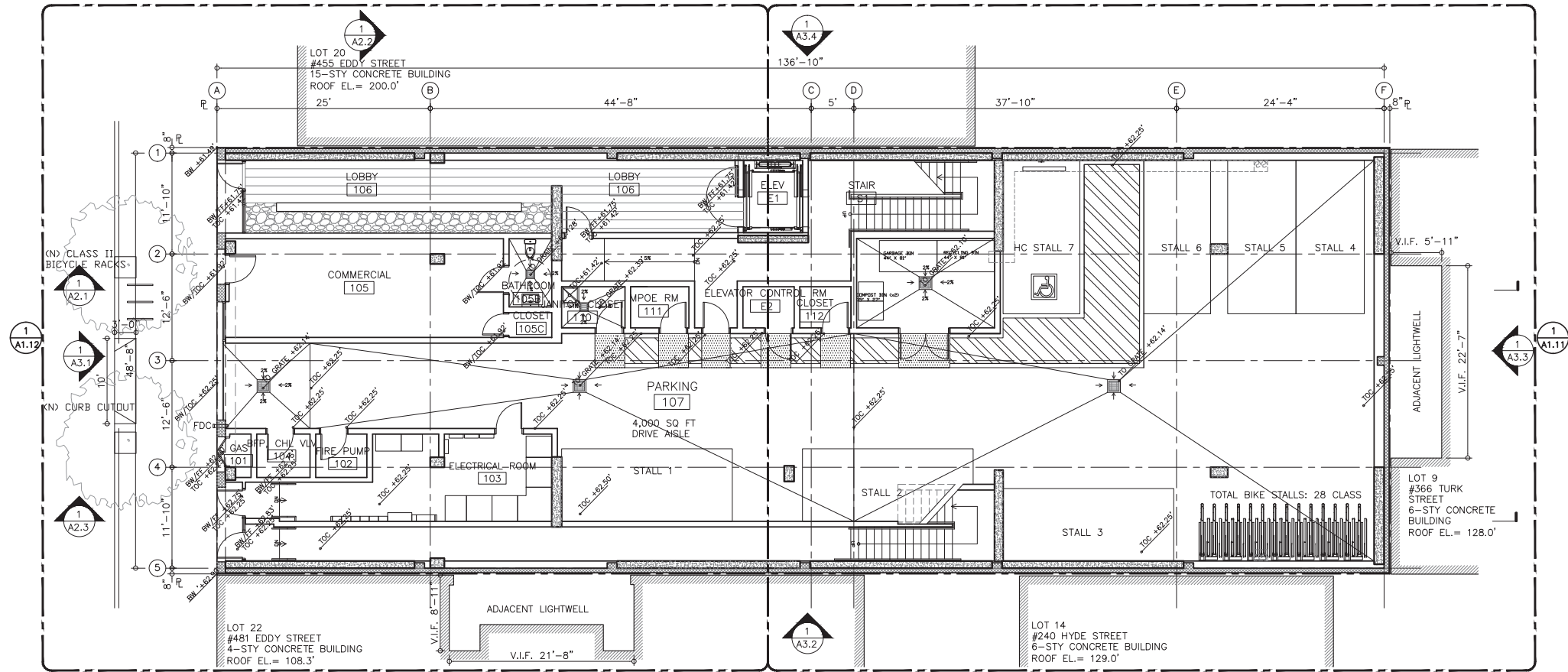
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BASEMENT FLOOR PLAN

1



GROUND FLOOR PLAN

1

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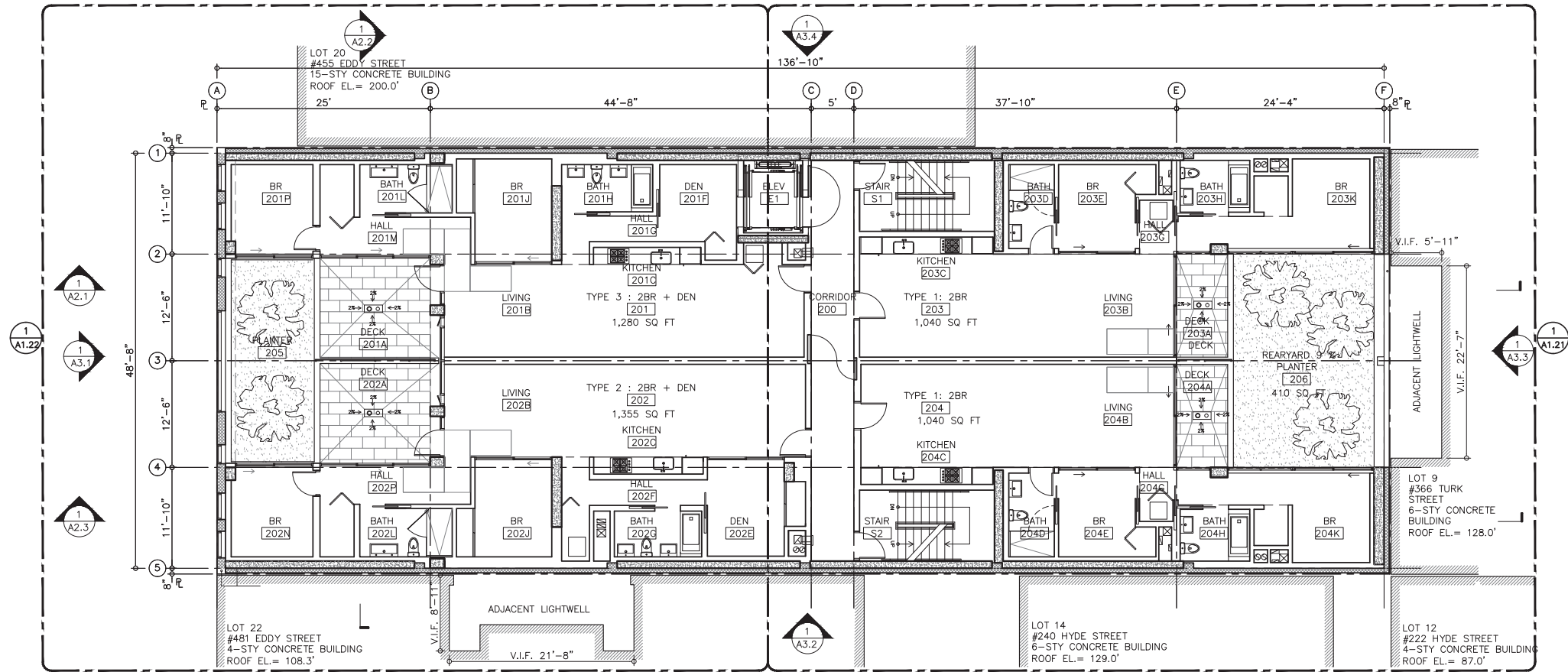
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SECOND FLOOR PLAN

1

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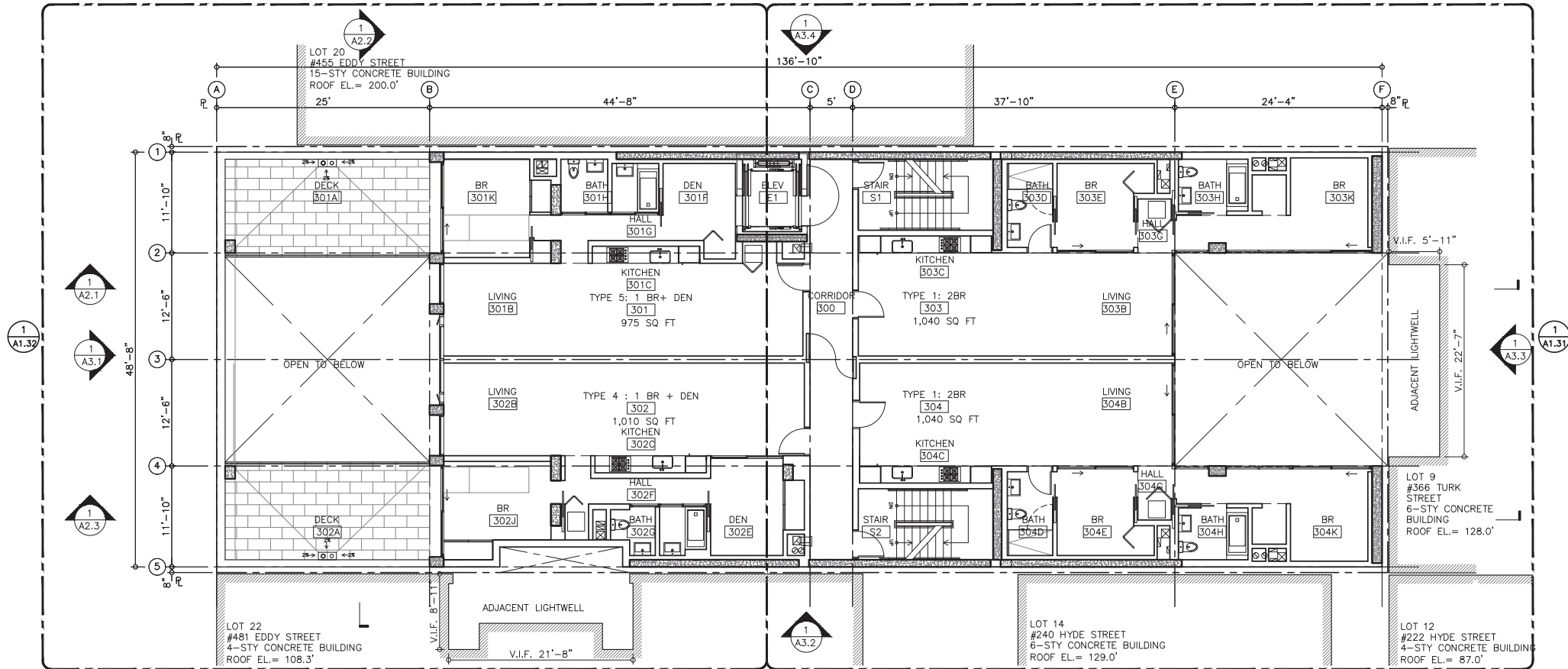
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THIRD FLOOR PLAN

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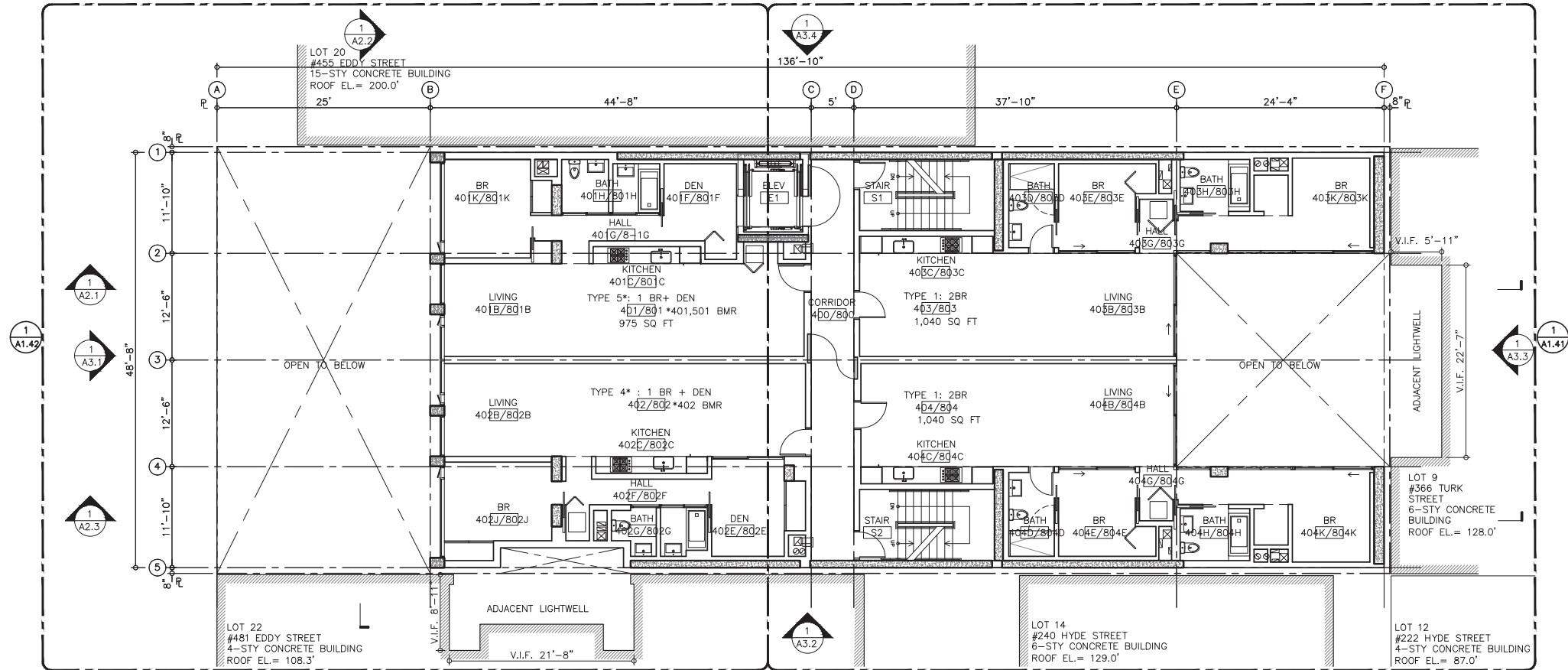
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TITLE:
PLAN

SET:	PLANNING COMMISSION
DATE:	04-05-2016
SCALE:	1/8" = 1'-0"
DRAWN:	SSJNAI © 2016 STANLEY SAIOWITZ NATOMA ARCHITECTS INC.

SHEET NO:
A1.4



REVISIONS	

OWNER:
JS SULLIVAN DEVELOPMENT
2044 FILLMORE STREET, 3RD FLOOR
SAN FRANCISCO, CA 94115

ARCHITECT:
STANLEY SAIOWITZ |
NATOMA ARCHITECTS Inc.
1022 Natoma Street, No. 3
San Francisco, CA 94103
T: 415.626.8977 F: 415.626.8978

STORM WATER:
BKF ENGINEERS
1646 N. California Blvd #400
Walnut Creek, CA 94596
P: 925.940.2218 C: 925.357.7610

STRUCTURAL:
NISHKIAN MENNINGER
1200 Folsom St
San Francisco, CA 94107
P: 515.543.5071

MEP:
ACIES
3371 Olcott St
Santa Clara, CA 95054
P: 408.553.5255 ex 142
P: 408.307.6700

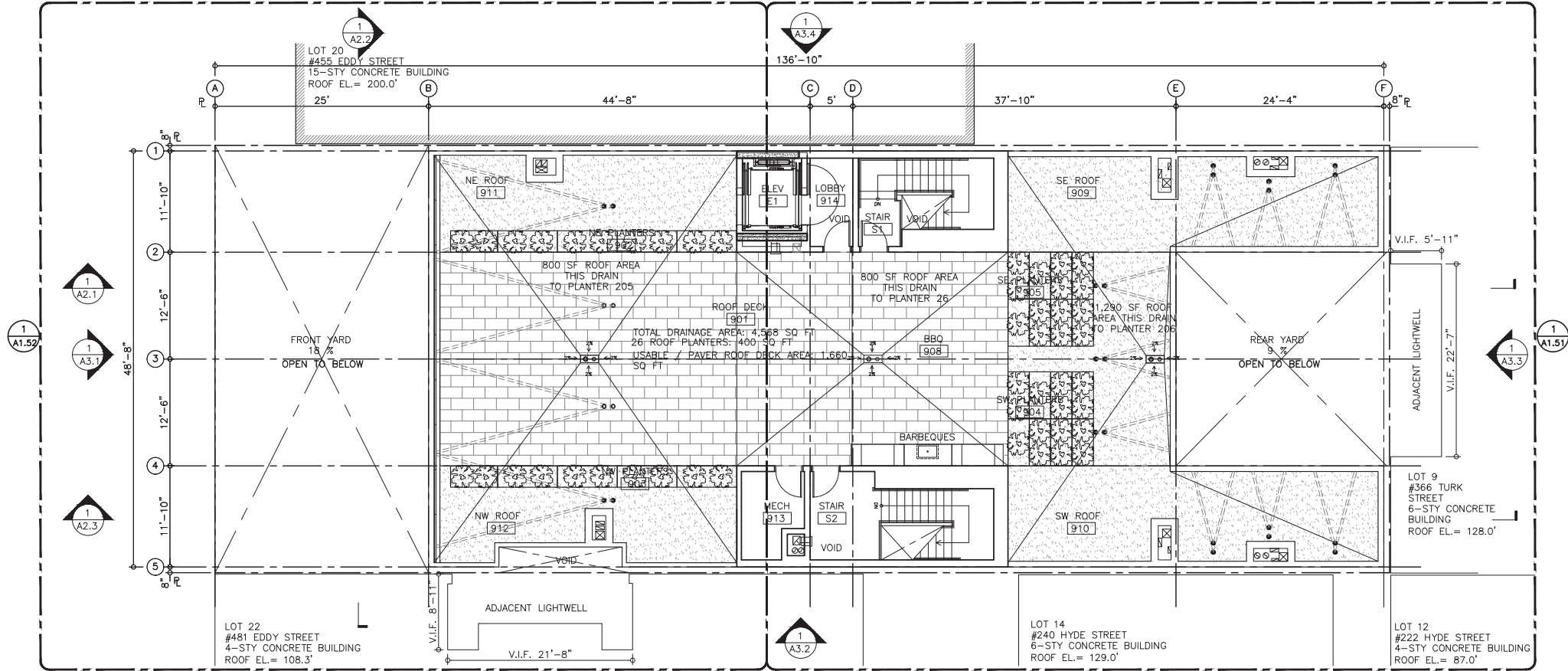
CODE CONSULTANT:
ZARI GROUP
755 Baywood Drive
Petaluma, CA 94954
P: 888.779.3397 C: 925.381.2322

469 EDDY
469 EDDY STREET, SAN FRANCISCO, CA

TITLE:
PLAN

SET:	PLANNING COMMISSION
DATE:	04-05-2016
SCALE:	1/8" = 1'-0"
DRAWN:	SSJNAI © 2016 STANLEY SAIOWITZ & NATOMA ARCHITECTS INC.

SHEET NO:
A1.5



- EBM LEGEND
- EBM ANCHOR, TYP.
 - EBM FLUSH ANCHOR, TYP.
 - EBM CDA SUSPENSION LINE, TYP.



REVISIONS	

OWNER:
JS SULLIVAN DEVELOPMENT
2044 FILLMORE STREET, 3RD FLOOR
SAN FRANCISCO, CA 94115

ARCHITECT:
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NATOMA ARCHITECTS Inc.
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San Francisco, CA 94103
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STORM WATER:
BKF ENGINEERS
1646 N. California Blvd #400
Walnut Creek, CA 94596
P: 925.940.2218 C: 925.357.7610

STRUCTURAL:
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P: 408.307.6700

CODE CONSULTANT:
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755 Baywood Drive
Petaluma, CA 94954
P: 888.779.3397 C: 925.381.2322

469 EDDY

469 EDDY STREET, SAN FRANCISCO, CA

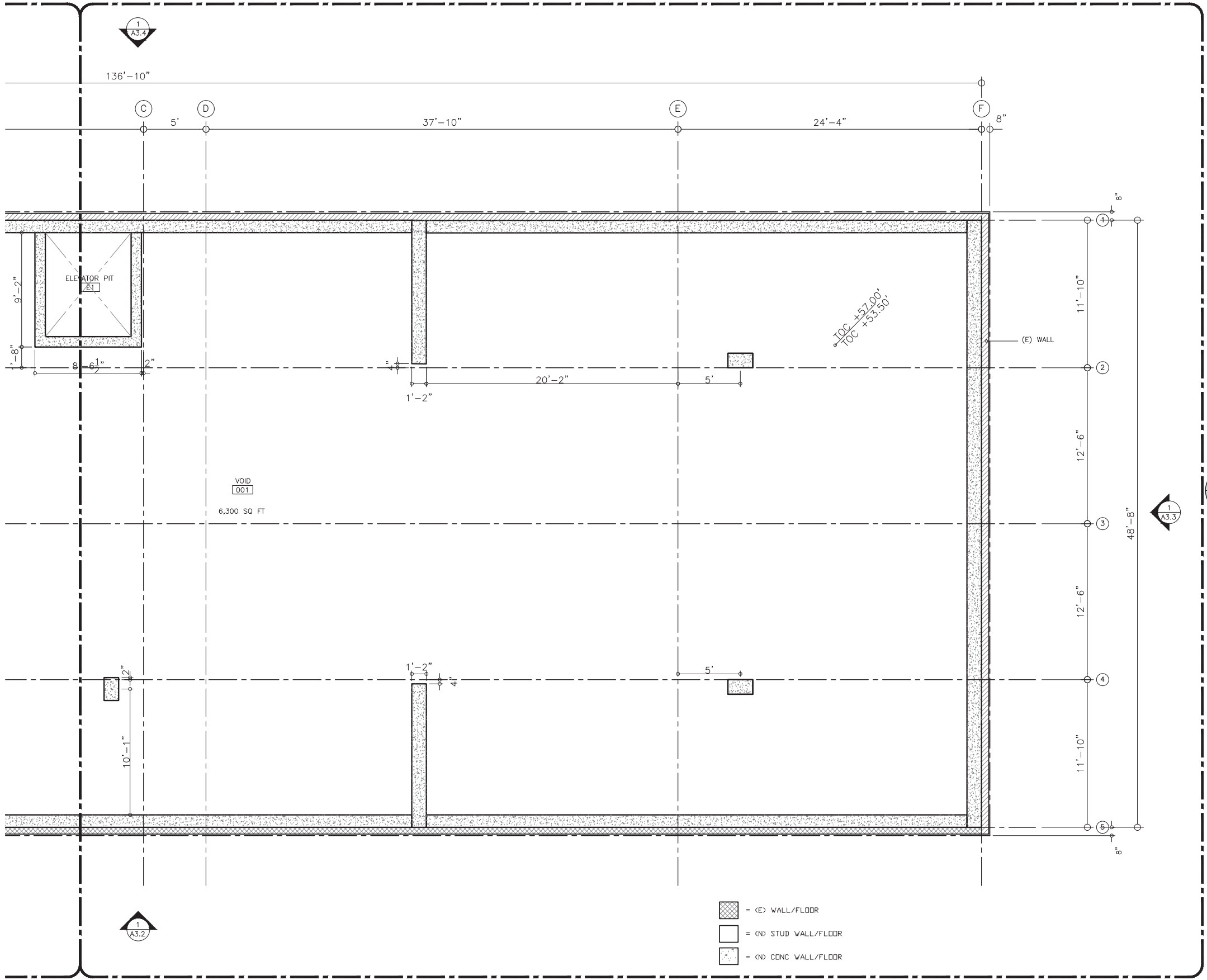
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PLAN

SET:	PLANNING COMMISSION
DATE:	04-05-2016
SCALE:	1/8" = 1'-0"
DRAWN:	SSJNAI

SHEET NO:
A1.6

ROOF PLAN

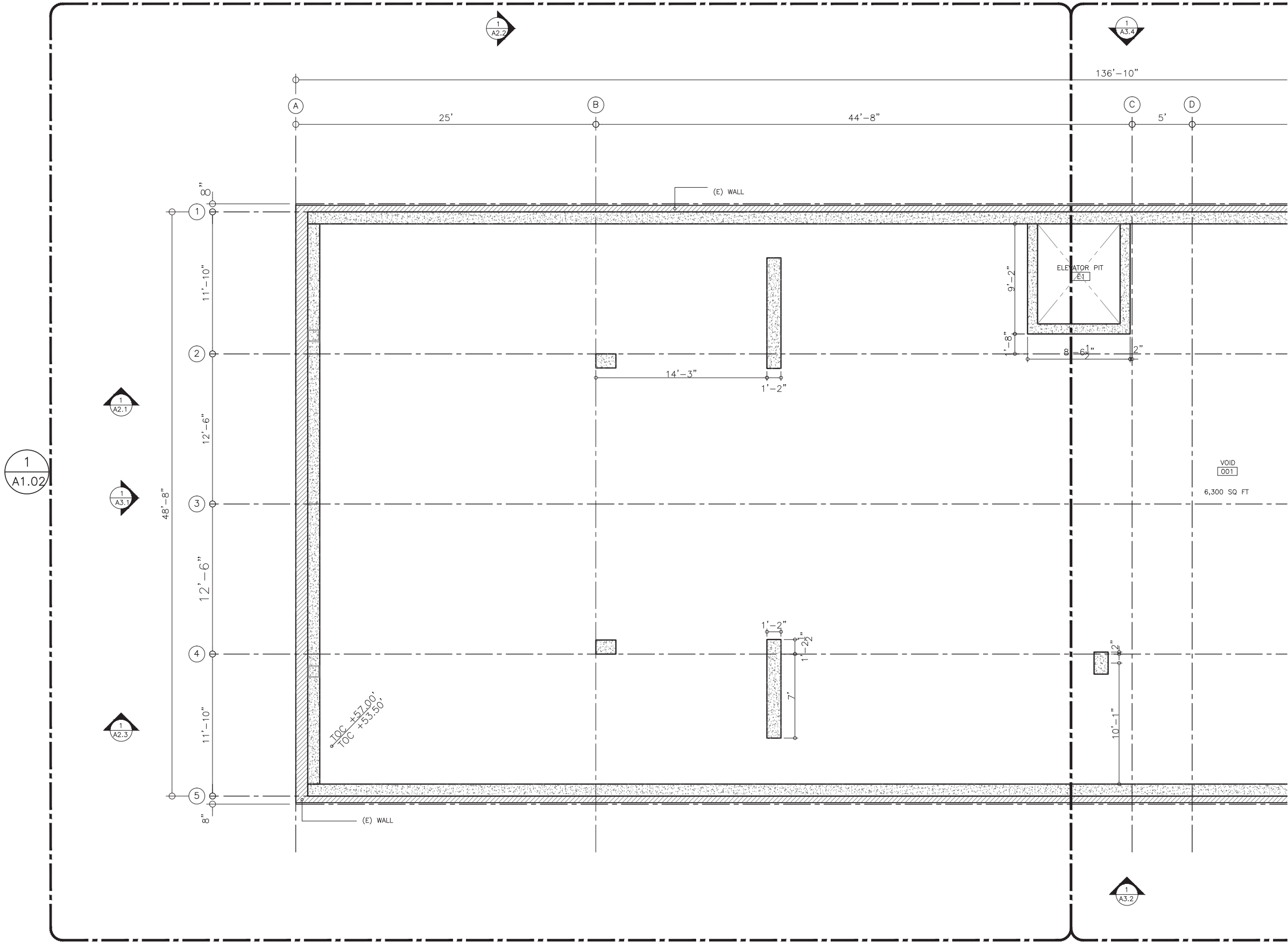
1



ENLARGED BASEMENT FLOOR PLAN

1

REVISIONS	
OWNER: JS SULLIVAN DEVELOPMENT 2044 FILLMORE STREET, 3RD FLOOR SAN FRANCISCO, CA 94115	
ARCHITECT: STANLEY SAIOWITZ NATOMA ARCHITECTS Inc. 1022 Natoma Street, No. 3 San Francisco, CA 94103 T 415.626.8977 F 415.626.8978	
STORM WATER: BKF ENGINEERS 1646 N. California Blvd #400 Walnut Creek, CA 94596 P 925.940.2218 C 925.357.7610	
STRUCTURAL: NISHKIAN MENNINGER 1200 Folsom St San Francisco, CA 94107 P 415.543.5071	
MEP: ACIES 3371 Olcott St Santa Clara, CA 95054 P 408.553.5255 ex 142 P 408.307.6700	
CODE CONSULTANT: ZARI GROUP 755 Baywood Drive Petaluma, CA 94954 P 888.779.3397 C 925.381.2322	
469 EDDY 469 EDDY STREET, SAN FRANCISCO, CA	
TITLE: ENLARGED PLAN BASEMENT	
SET:	PLANNING COMMISSION
DATE:	04-05-2016
SCALE:	1/4" = 1'-0"
DRAWN:	SSJNAI © 2016 EDDY STREET ARCHITECTS © 2016 EDDY STREET ARCHITECTS
SHEET NO: A1.01	



ENLARGED BASEMENT FLOOR PLAN

1



REVISIONS	

OWNER:
JS SULLIVAN DEVELOPMENT
2044 FILLMORE STREET, 3RD FLOOR
SAN FRANCISCO, CA 94115

ARCHITECT:
STANLEY SAIOWITZ |
NATOMA ARCHITECTS Inc.
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STORM WATER:
BKF ENGINEERS
1646 N. California Blvd #400
Walnut Creek, CA 94596
P: 925.940.2218 C: 925.357.7610

STRUCTURAL
NISHKIAN MENNINGER
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San Francisco, CA 94107
P: 415.543.5071

MEP
ACIES
3371 Olcott St
Santa Clara, CA 95054
P: 408.553.5255 ex 142
P: 408.307.6700

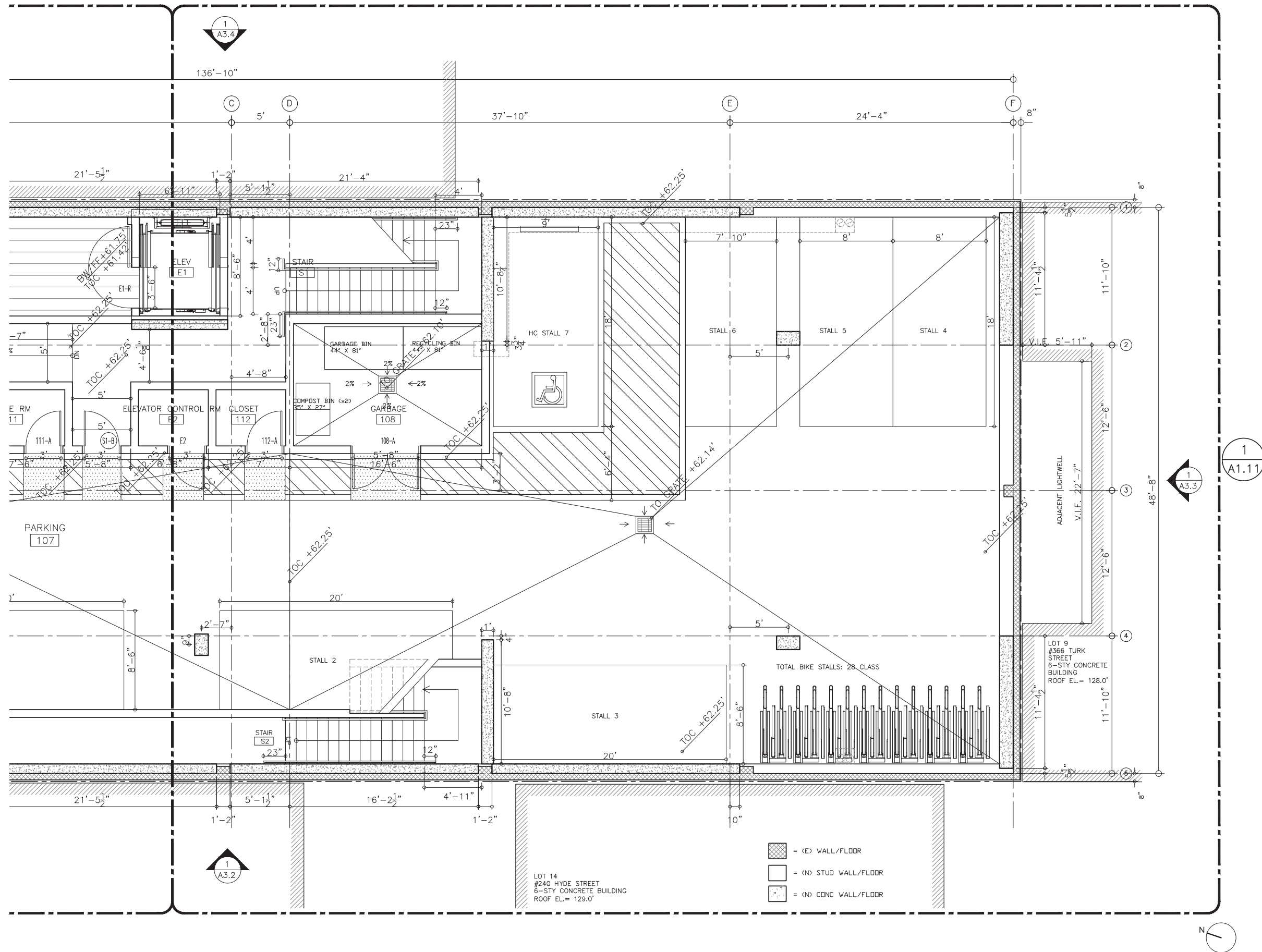
CODE CONSULTANT
ZARI GROUP
755 Baywood Drive
Petaluma, CA 94954
P: 888.779.3397 C: 925.381.2322

469 EDDY
469 EDDY STREET, SAN FRANCISCO, CA

TITLE:
**ENLARGED PLAN
BASEMENT**

SET:	PLANNING COMMISSION
DATE:	04-05-2016
SCALE:	1/4" = 1'-0"
DRAWN:	SSJNAI © 2016 EDDY STREET PROJECT © 2016 EDDY STREET PROJECT

SHEET NO:
A1.02



REVISIONS	

OWNER:
JS SULLIVAN DEVELOPMENT
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SAN FRANCISCO, CA 94115

ARCHITECT:
STANLEY SAIOWITZ | NATOMA ARCHITECTS Inc.
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STORM WATER:
BKF ENGINEERS
1646 N. California Blvd #400
Walnut Creek, CA 94596
P: 925.940.2218 C: 925.357.7610

STRUCTURAL:
NISHKIAN MENNINGER
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P: 415.543.5071

MEP:
ACIES
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P: 408.307.6700

CODE CONSULTANT:
ZARI GROUP
755 Baywood Drive
Petaluma, CA 94954
P: 888.779.3397 C: 925.381.2322

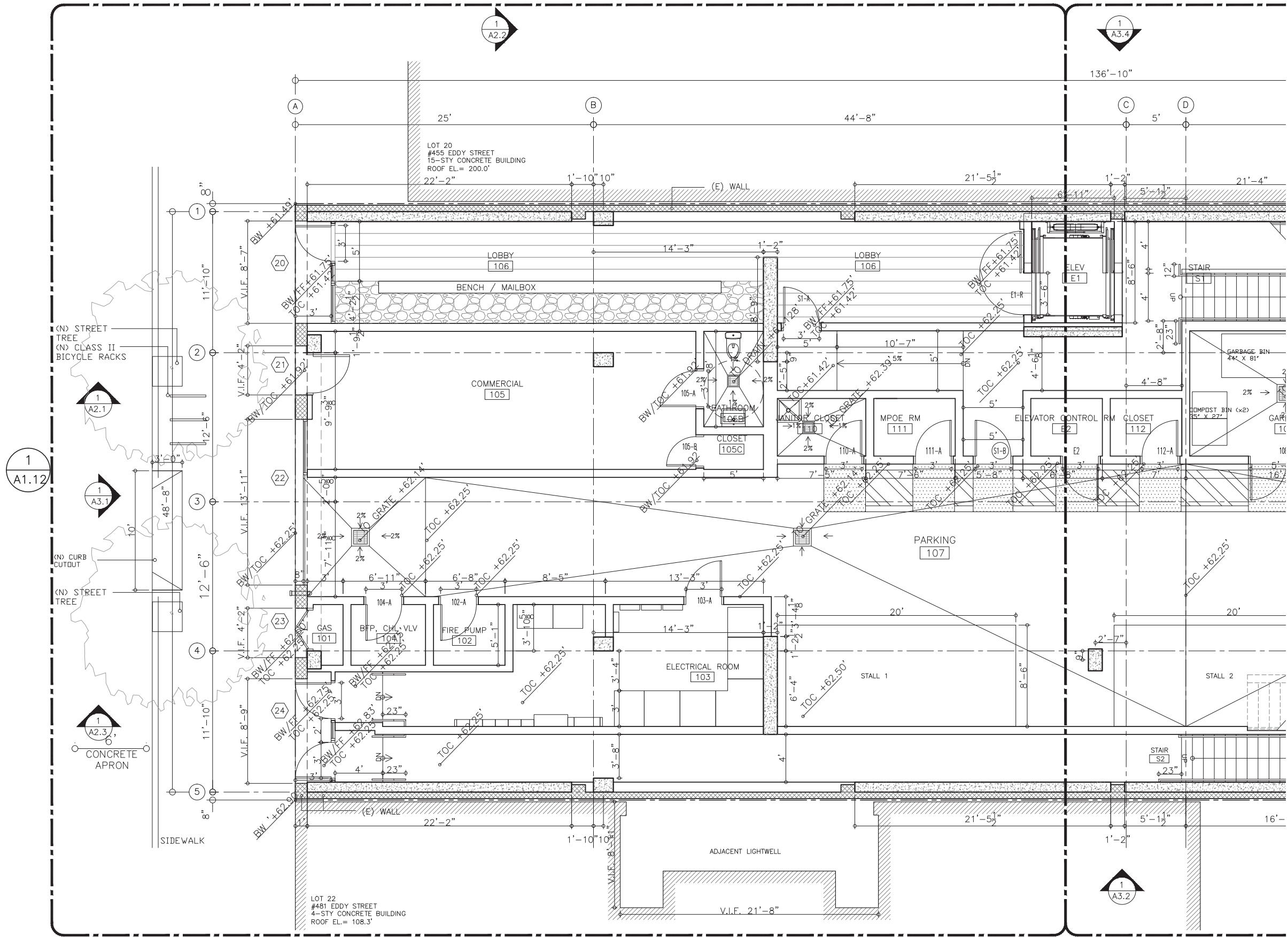
469 EDDY

469 EDDY STREET, SAN FRANCISCO, CA

TITLE:
**ENLARGED PLAN
GROUND FLOOR**

SET:	PLANNING COMMISSION
DATE:	04-05-2016
SCALE:	1/4" = 1'-0"
DRAWN:	SSJNAI © 2016 STANLEY SAIOWITZ NATOMA ARCHITECTS INC.

SHEET NO:
A1.11



ENLARGED GROUND FLOOR PLAN

1

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STORM WATER:
BKF ENGINEERS
1646 N. California Blvd #400
Walnut Creek, CA 94596
P: 925.940.2218 C: 925.357.7610

STRUCTURAL:
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P: 415.543.5071

MEP:
ACIES
3371 Olcott St
Santa Clara, CA 95054
P: 408.553.5255 ex 142
P: 408.307.6700

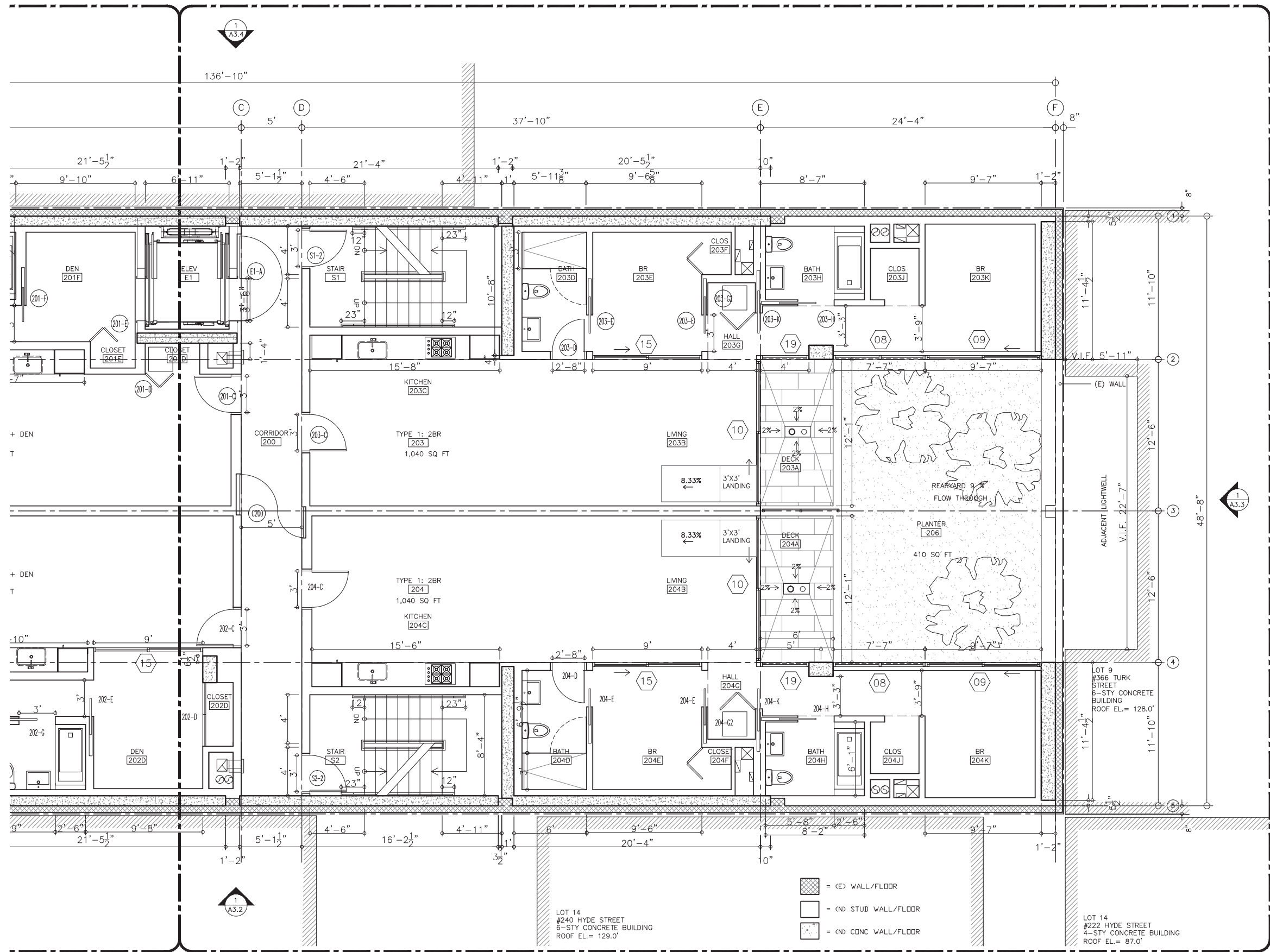
CODE CONSULTANT:
ZARI GROUP
755 Baywood Drive
Petaluma, CA 94954
P: 888.779.3397 C: 925.381.2322

469 EDDY
469 EDDY STREET, SAN FRANCISCO, CA

TITLE:
**ENLARGED PLAN
GROUND FLOOR**

SET:	PLANNING COMMISSION
DATE:	04-05-2016
SCALE:	1/4" = 1'-0"
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SHEET NO:
A1.12



REVISIONS

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STORM WATER:
BKF ENGINEERS
1646 N. California Blvd #400
Walnut Creek, CA 94596
P: 925.940.2218 C: 925.357.7610

STRUCTURAL:
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P: 408.307.6700

CODE CONSULTANT:
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755 Baywood Drive
Petaluma, CA 94954
P: 888.779.3397 C: 925.381.2322

469 EDDY STREET, SAN FRANCISCO, CA

469 EDDY

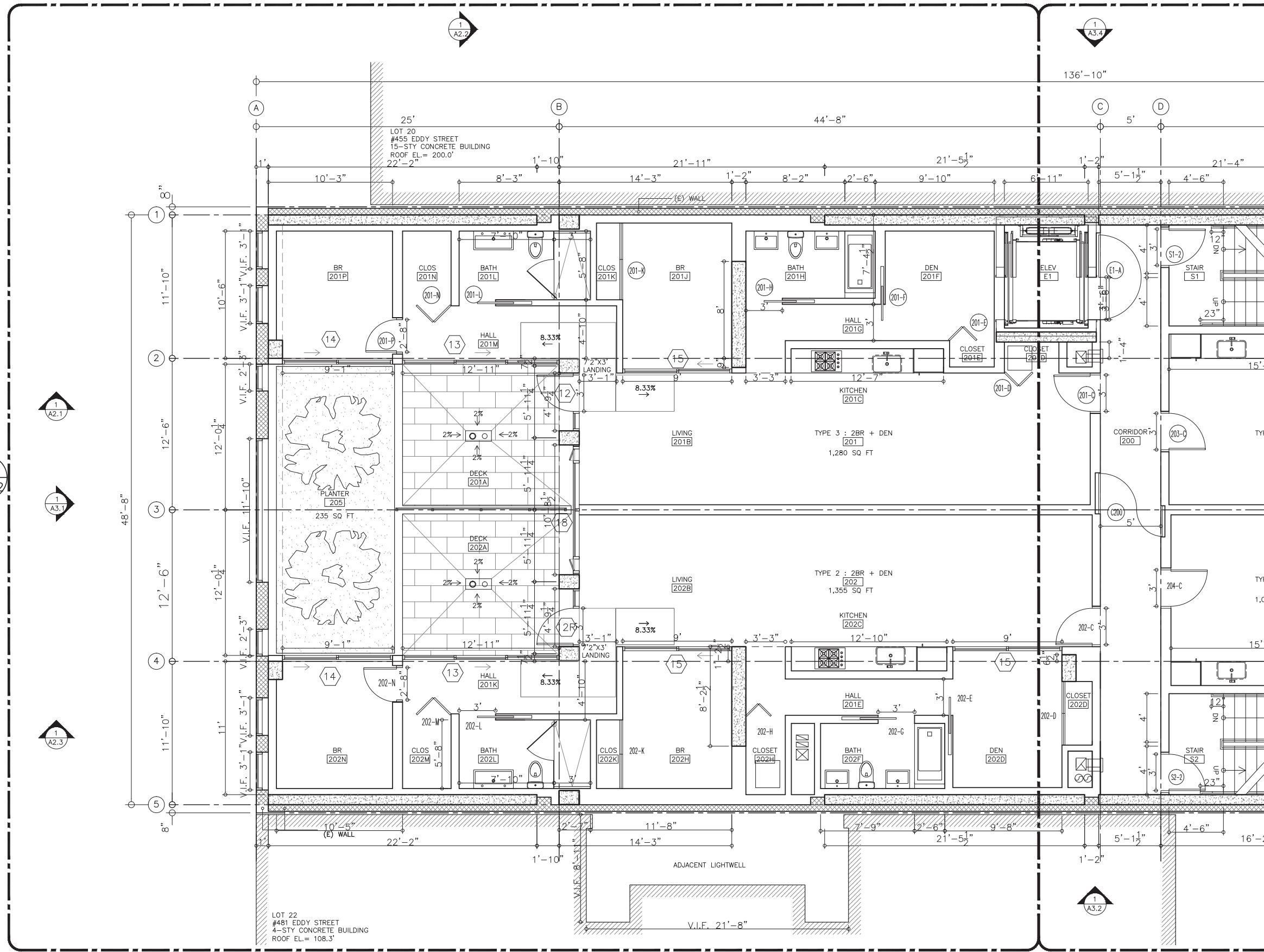
TITLE:
ENLARGED PLAN
LEVEL 2

SET: PLANNING
COMMISSION
DATE: 04-05-2016
SCALE: 1/4" = 1'-0"
DRAWN: SSJNAI
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NATOMA ARCHITECTS INC.

SHEET NO:
A1.21

ENLARGED LEVEL 2 PLAN

1



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STORM WATER:
BKF ENGINEERS
1646 N. California Blvd #400
Walnut Creek, CA 94596
P 925.940.2218 C 925.357.7610

STRUCTURAL:
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CODE CONSULTANT:
ZARI GROUP
755 Baywood Drive
Petaluma, CA 94954
P 888.779.3397 C 925.381.2322

469 EDDY

469 EDDY STREET, SAN FRANCISCO, CA

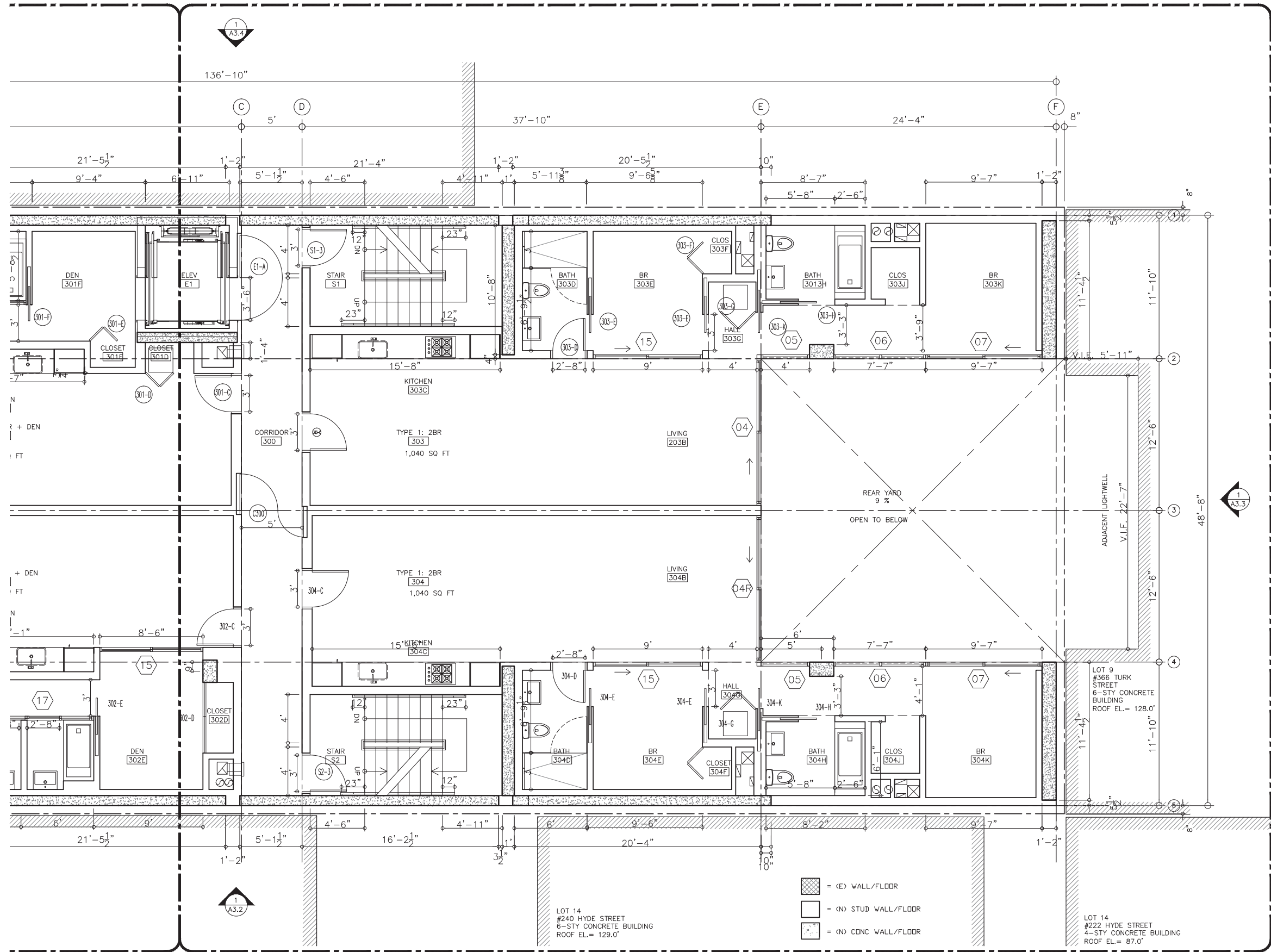
TITLE:
**ENLARGED PLAN
LEVEL 2**

SET: PLANNING
COMMISSION
DATE: 04-05-2016
SCALE: 1/4" = 1'-0"
DRAWN: SSJNAI
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SHEET NO:
A1.22

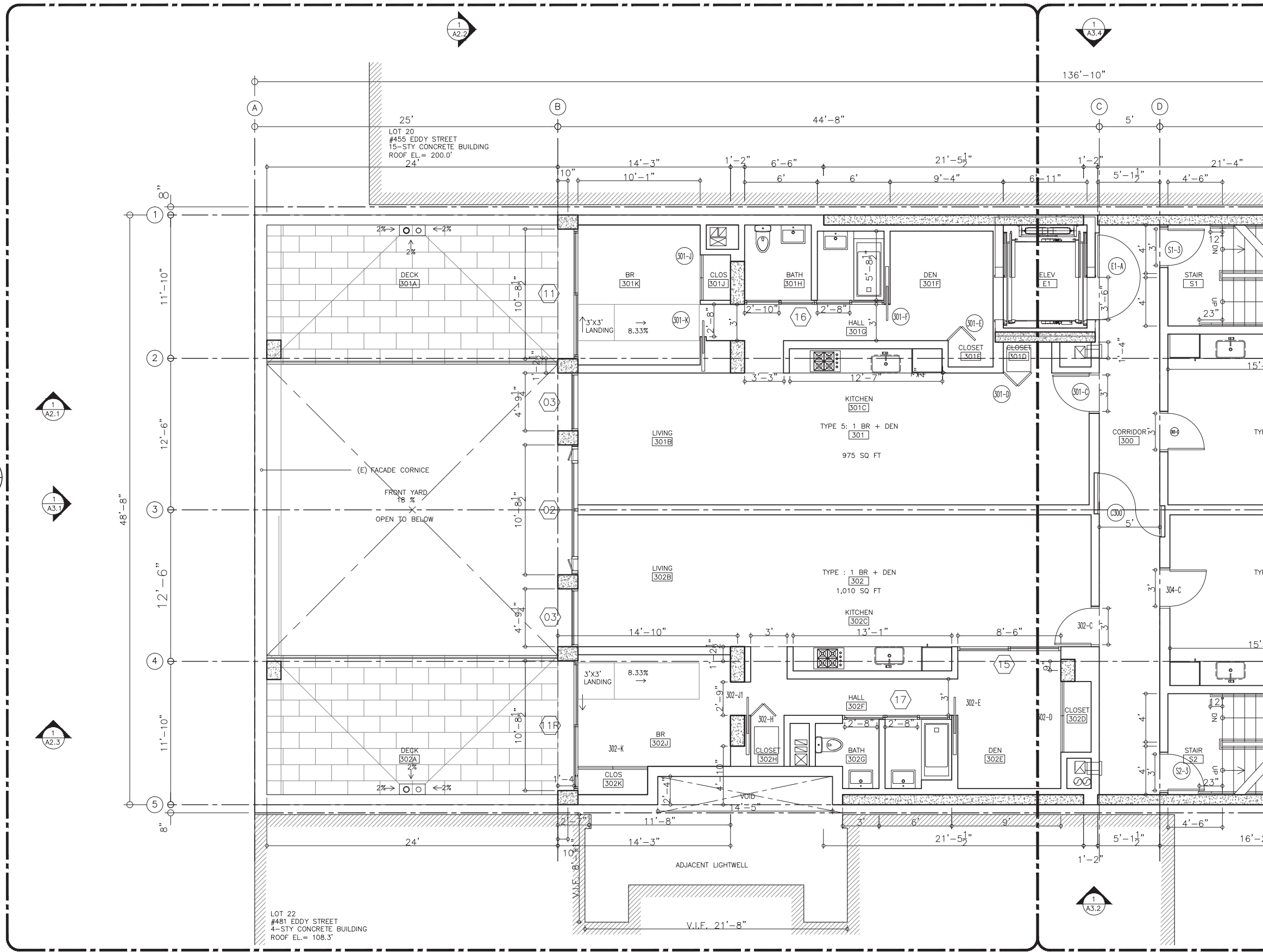
ENLARGED LEVEL 2 PLAN

1



REVISIONS	
OWNER: JS SULLIVAN DEVELOPMENT 2044 FILLMORE STREET, 3RD FLOOR SAN FRANCISCO, CA 94115	
ARCHITECT: STANLEY SAIOWITZ NATOMA ARCHITECTS Inc. 1022 Natoma Street, No. 3 San Francisco, CA 94103 T 415.626.8977 F 415.626.8978	
STORM WATER: BKF ENGINEERS 1646 N. California Blvd #400 Walnut Creek, CA 94596 P 925.940.2218 C 925.357.7610	
STRUCTURAL: NISHKIAN MENNINGER 1200 Folsom St San Francisco, CA 94107 P 415.543.5071	
MEP: ACIES 3371 Olcott St Santa Clara, CA 95054 P 408.553.5255 ex 142 P 408.307.6700	
CODE CONSULTANT: ZARI GROUP 755 Baywood Drive Petaluma, CA 94954 P 888.779.3397 C 925.381.2322	
TITLE: ENLARGED PLAN LEVEL 3	
SET:	PLANNING COMMISSION
DATE:	04-05-2016
SCALE:	1/4" = 1'-0"
DRAWN:	SSJNAI © 2016 STANLEY SAIOWITZ NATOMA ARCHITECTS INC.
SHEET NO: A1.31	

ENLARGED LEVEL 3 PLAN



ENLARGED LEVEL 3 PLAN

1

REVISIONS	

OWNER:
JS SULLIVAN DEVELOPMENT
2044 FILLMORE STREET, 3RD FLOOR
SAN FRANCISCO, CA 94115

ARCHITECT:
STANLEY SAIOWITZ |
NATOMA ARCHITECTS Inc.
1022 Natoma Street, No. 3
San Francisco, CA 94103
T 415.626.8977 F 415.626.8978

STORM WATER:
BKF ENGINEERS
1646 N. California Blvd #400
Walnut Creek, CA 94596
P 925.940.2218 C 925.357.7610

STRUCTURAL:
NISHKIAN MENNINGER
1200 Folsom St
San Francisco, CA 94107
P 415.543.5071

MEP:
ACIES
3371 Olcott St
Santa Clara, CA 95054
P 408.553.5255 ex 142
C 408.307.6700

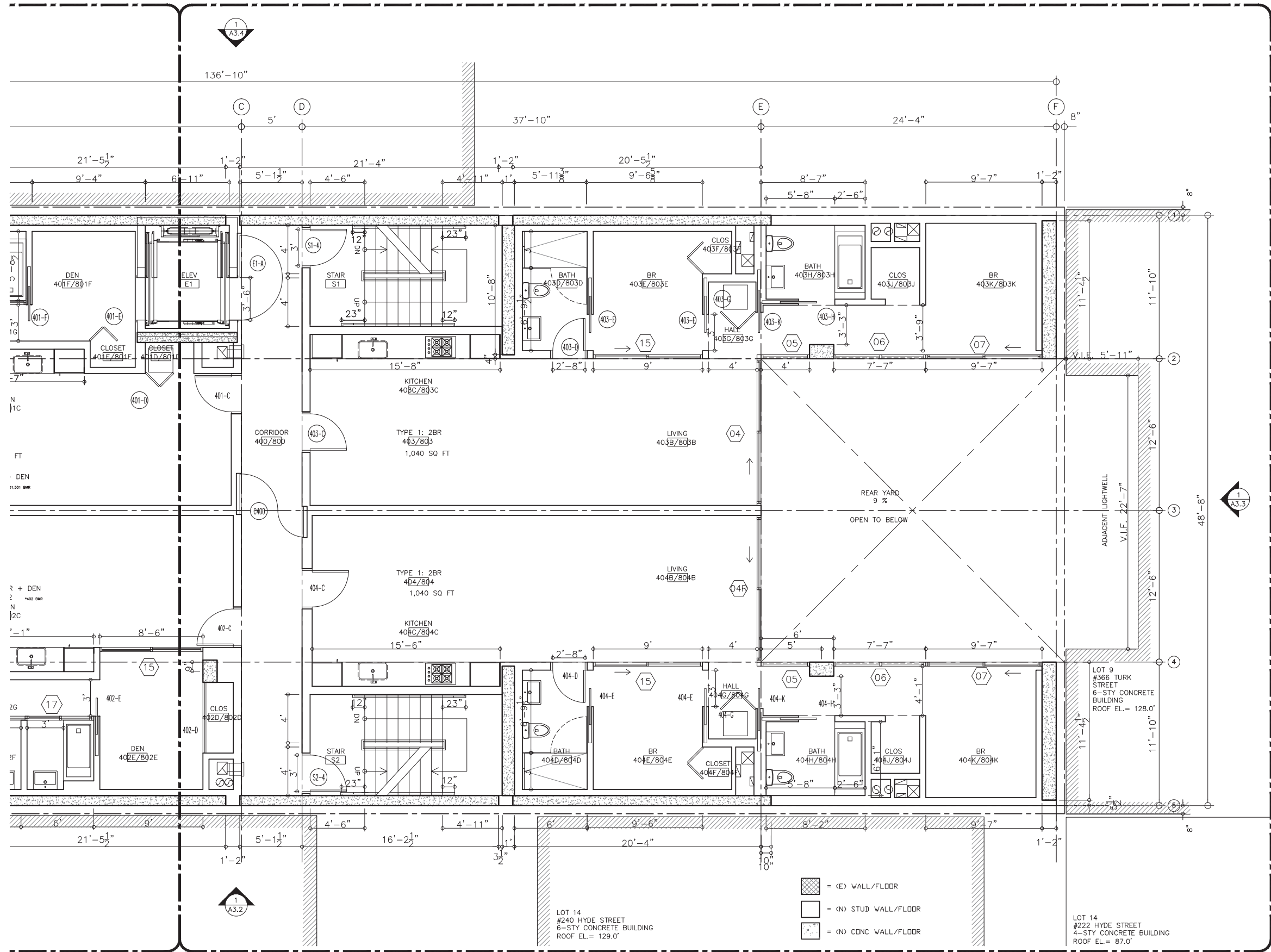
CODE CONSULTANT:
ZARI GROUP
755 Baywood Drive
Petaluma, CA 94954
P 888.779.3397 C 925.381.2322

469 EDDY
469 EDDY STREET, SAN FRANCISCO, CA

TITLE:
**ENLARGED PLAN
LEVEL 3**

SET: PLANNING
COMMISSION
DATE: 04-05-2016
SCALE: 1/4" = 1'-0"
DRAWN: SSJNAI
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SHEET NO:
A1.32



REVISIONS	

OWNER:
JS SULLIVAN DEVELOPMENT
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SAN FRANCISCO, CA 94115

ARCHITECT:
STANLEY SAIOWITZ | NATOMA ARCHITECTS Inc.
1022 Natoma Street, No. 3
San Francisco, CA 94103
T: 415.626.8977 F: 415.626.8978

STORM WATER:
BKF ENGINEERS
1646 N. California Blvd #400
Walnut Creek, CA 94596
P: 925.940.2218 C: 925.357.7610

STRUCTURAL:
NISHKIAN MENNINGER
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MEP:
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P: 408.553.5255 ex 142
F: 408.307.6700

CODE CONSULTANT:
ZARI GROUP
755 Baywood Drive
Petaluma, CA 94954
P: 888.779.3397 C: 925.381.2322

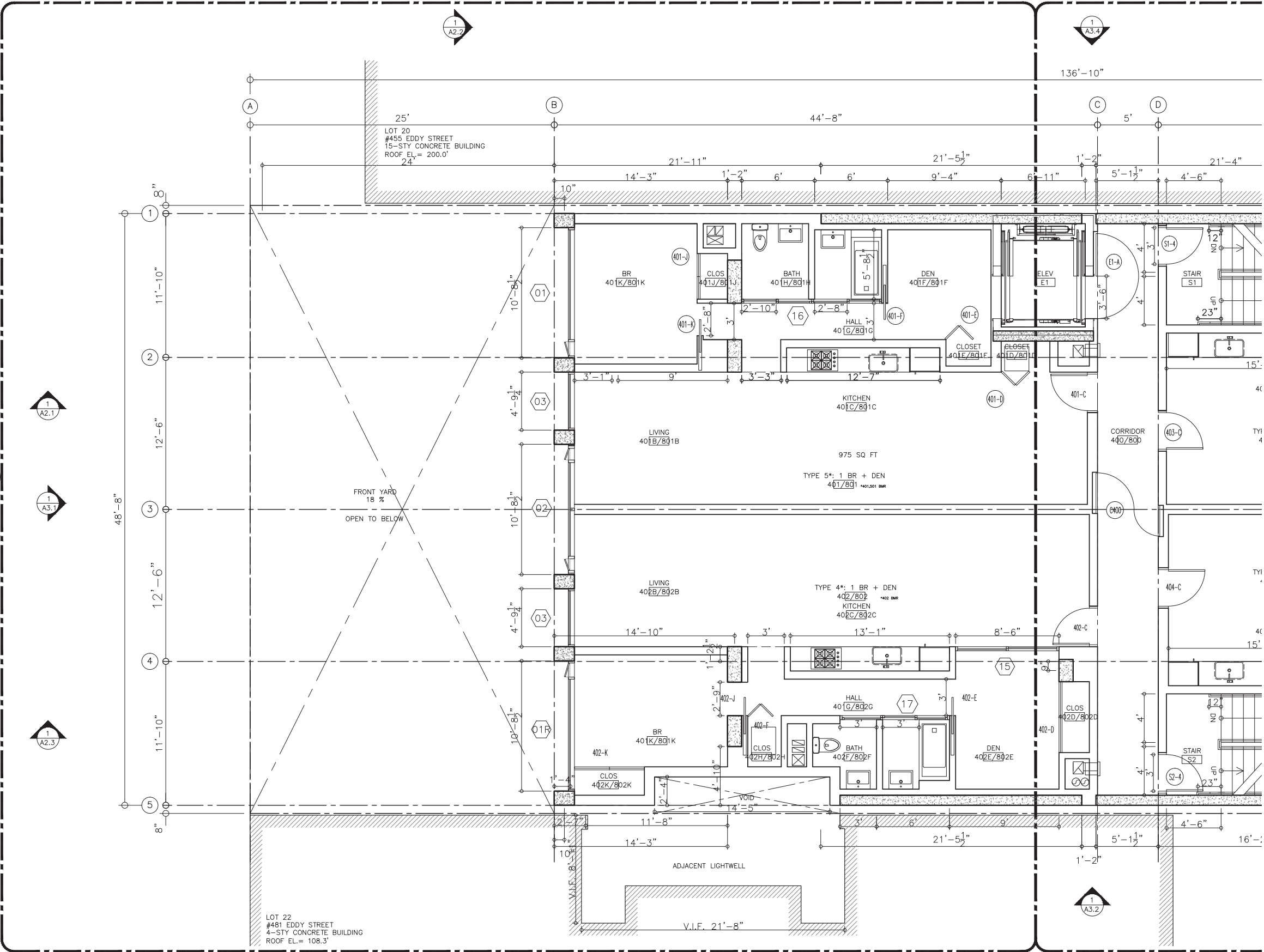
469 EDDY

469 EDDY STREET, SAN FRANCISCO, CA

TITLE:
**ENLARGED PLAN
LEVEL 4-8**

SET:	PLANNING COMMISSION
DATE:	04-05-2016
SCALE:	1/4" = 1'-0"
DRAWN:	SSJNAI © 2016 STANLEY SAIOWITZ & ASSOCIATES, INC.

SHEET NO:
A1.41



REVISIONS	

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JS SULLIVAN DEVELOPMENT
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SAN FRANCISCO, CA 94115

ARCHITECT:
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NATOMA ARCHITECTS Inc.
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San Francisco, CA 94103
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STORM WATER:
BKF ENGINEERS
1646 N. California Blvd #400
Walnut Creek, CA 94596
P 925.940.2218 C 925.357.7610

STRUCTURAL:
NISHKIAN MENNINGER
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P 408.553.5255 ex 142
C 408.307.6700

CODE CONSULTANT:
ZARI GROUP
755 Baywood Drive
Petaluma, CA 94954
P 888.779.3397 C 925.381.2322

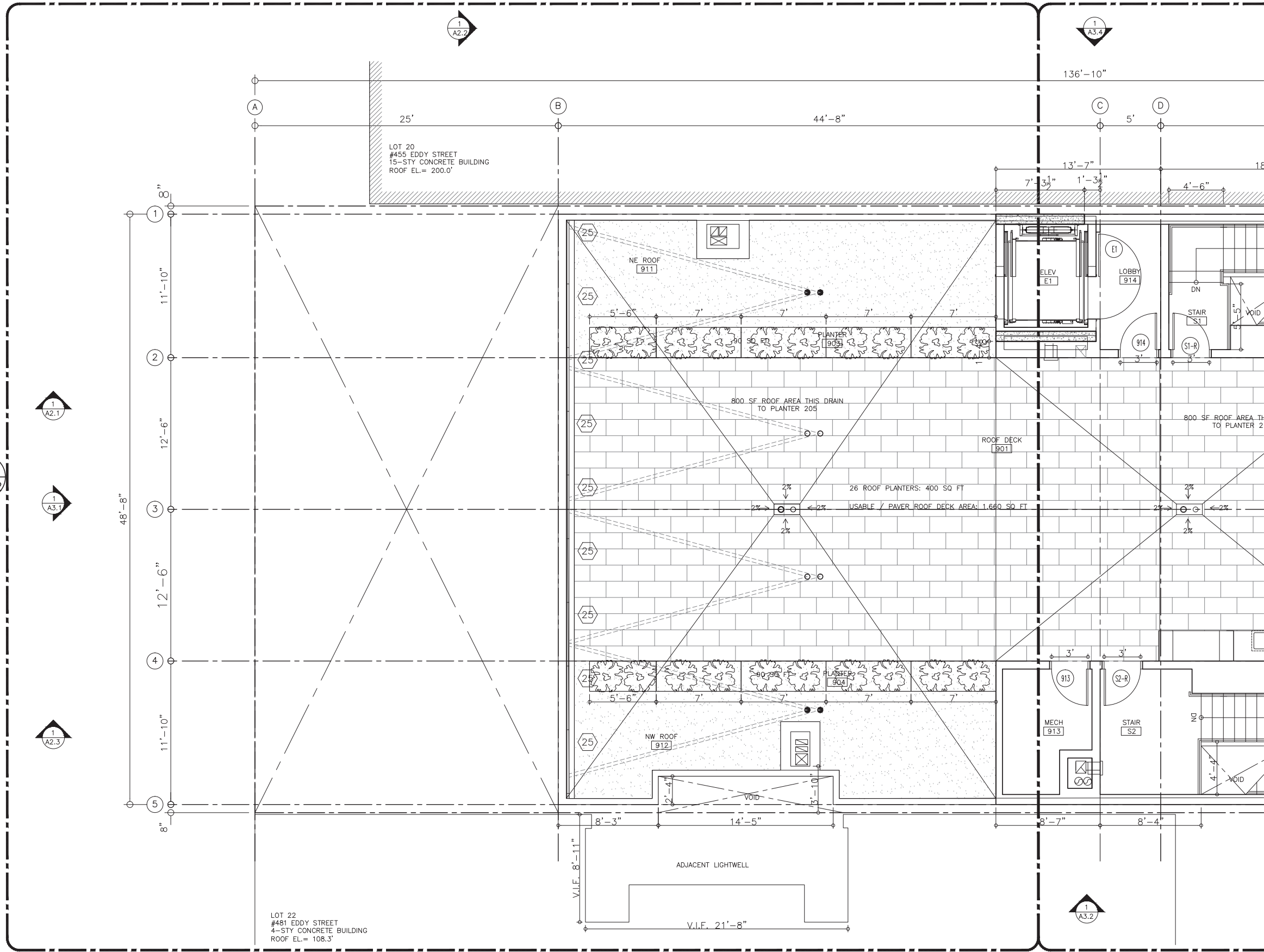
469 EDDY

469 EDDY STREET, SAN FRANCISCO, CA

TITLE:
**ENLARGED PLAN
LEVEL 4-8**

SET:	PLANNING COMMISSION
DATE:	04-05-2016
SCALE:	1/4" = 1'-0"
DRAWN:	SSJNAI © 2016 STANLEY SAIKOWITZ NATOMA ARCHITECTS INC.

SHEET NO:
A1.42



ENLARGED ROOF PLAN

1

REVISIONS	

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2044 FILLMORE STREET, 3RD FLOOR
SAN FRANCISCO, CA 94115

ARCHITECT:
STANLEY SAIOTOWITZ |
NATOMA ARCHITECTS Inc.
1022 Natoma Street, No. 3
San Francisco, CA 94103
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STORM WATER:
BKF ENGINEERS
1646 N. California Blvd #400
Walnut Creek, CA 94596
P 925.940.2218 C 925.357.7610

STRUCTURAL:
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P 408.307.6700

CODE CONSULTANT:
ZARI GROUP
755 Baywood Drive
Petaluma, CA 94954
P 888.779.3397 C 925.381.2322

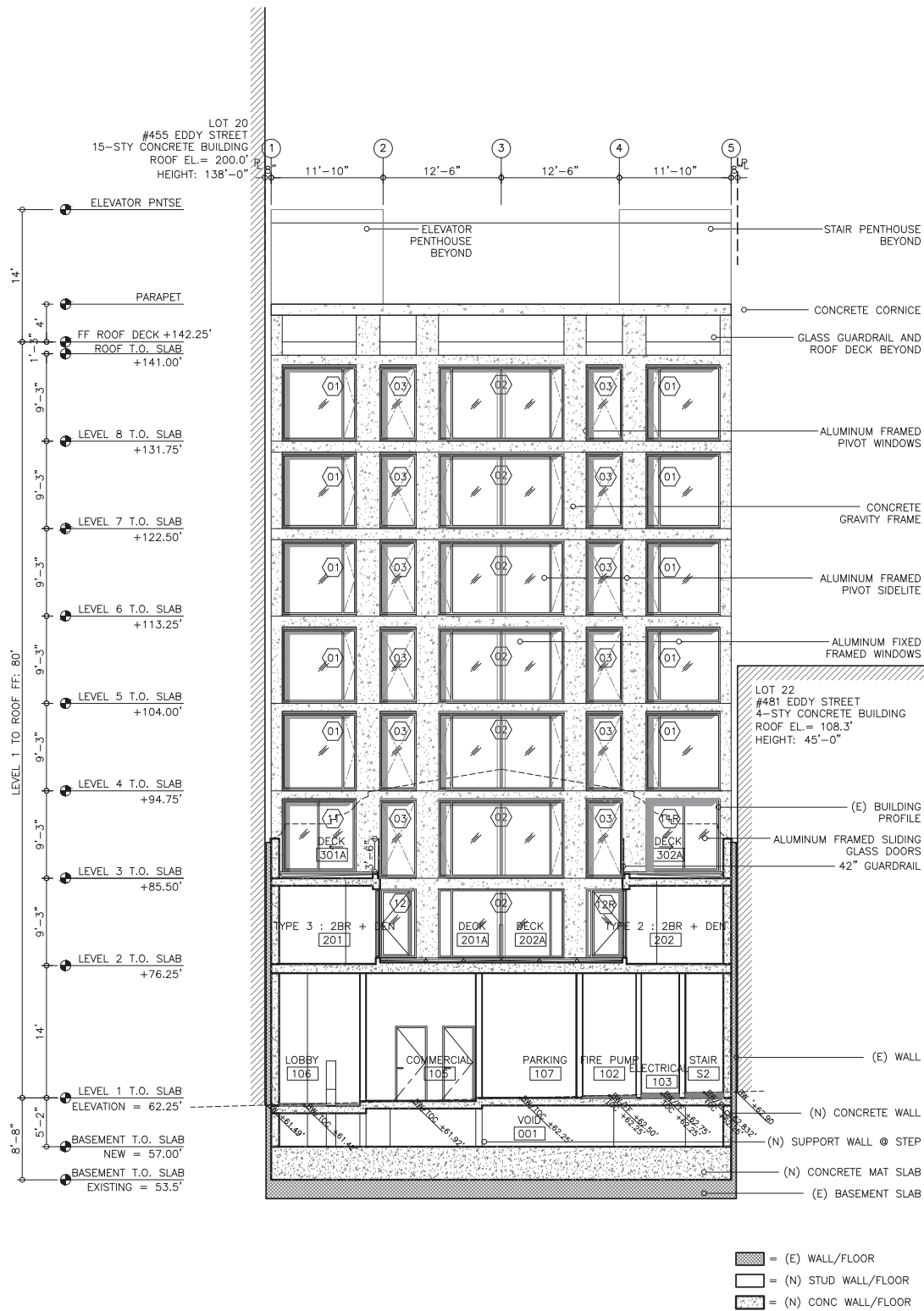
469 EDDY

469 EDDY STREET, SAN FRANCISCO, CA

TITLE:
**ENLARGED PLAN
ROOF**

SET:	PLANNING COMMISSION
DATE:	04-05-2016
SCALE:	1/4" = 1'-0"
DRAWN:	SSJNAI © 2016 STANLEY SAIOTOWITZ NATOMA ARCHITECTS

SHEET NO:
A1.52



REVISIONS	

OWNER:
JS SULLIVAN DEVELOPMENT
2044 FILLMORE STREET, 3RD FLOOR
SAN FRANCISCO, CA 94115

ARCHITECT:
STANLEY SAIOWITZ | NATOMA ARCHITECTS Inc.
1022 Natoma Street, No. 3
San Francisco, CA 94103
T 415.626.8977 F 415.626.8978

STORM WATER:
BKF ENGINEERS
1646 N. California Blvd #400
Walnut Creek, CA 94596
P 925.940.2218 C 925.357.7610

STRUCTURAL
NISHKIAN MENNINGER
1200 Folsom St
San Francisco, CA 94107
P 415.543.5071

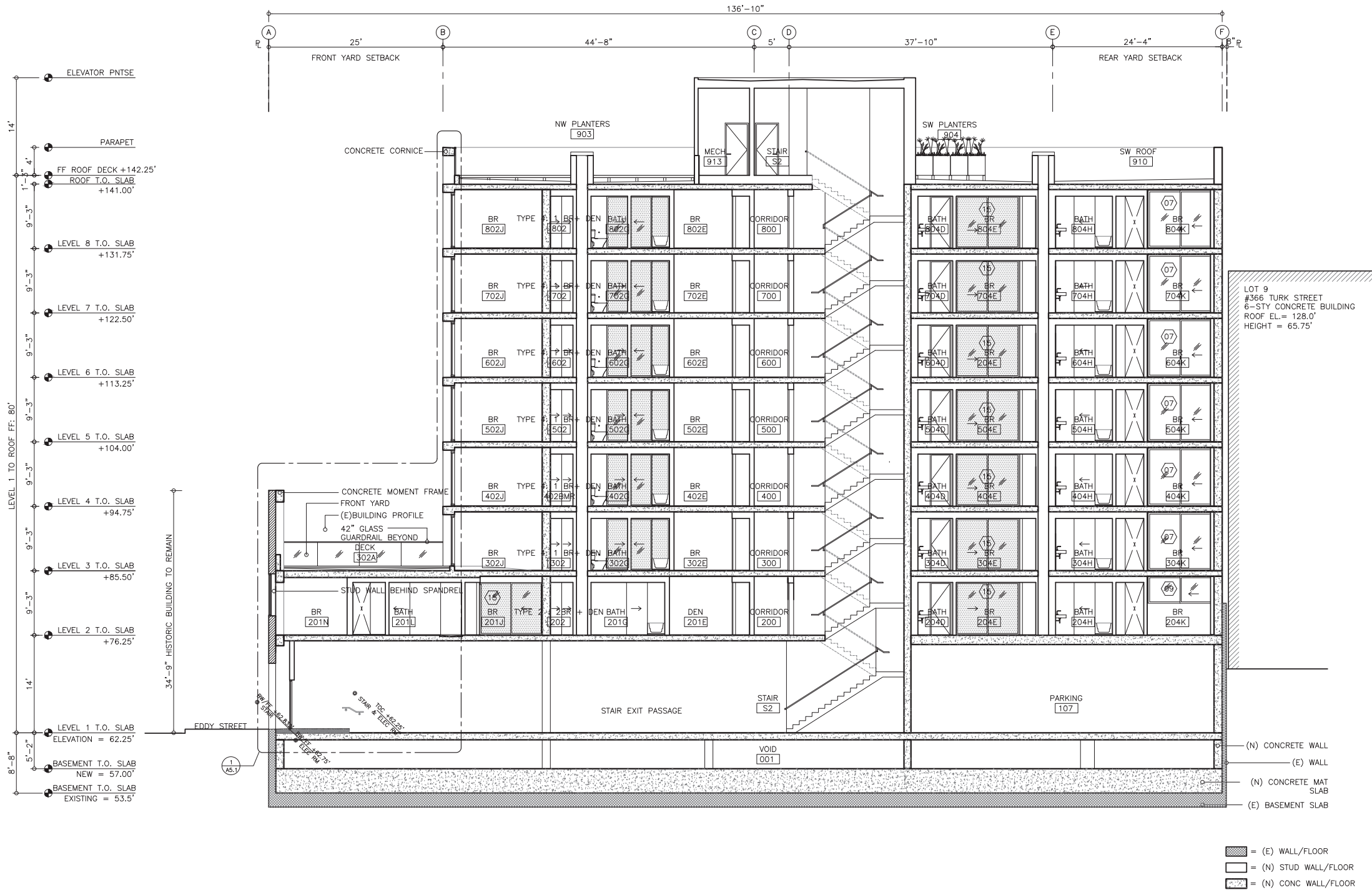
MEP
ACIES
3371 Olcott St
Santa Clara, CA 95054
P 408.553.5255 ex 142
P 408.307.6700

CODE CONSULTANT
ZARI GROUP
755 Baywood Drive
Petaluma, CA 94954
P 888.779.3397 C 925.381.2322

469 EDDY

469 EDDY STREET, SAN FRANCISCO, CA

TITLE:	
SECTION	
SET:	PLANNING COMMISSION
DATE:	04-05-2016
SCALE:	1/8" = 1'-0"
DRAWN:	SSJNAI © 2016 STANLEY SAIOWITZ & NATOMA ARCHITECTS INC.
SHEET NO:	
A2.2	



REVISIONS	

OWNER:
JS SULLIVAN DEVELOPMENT
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SAN FRANCISCO, CA 94115

ARCHITECT:
STANLEY SAIOTWITZ | NATOMA ARCHITECTS Inc.
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San Francisco, CA 94103
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STORM WATER:
BKF ENGINEERS
1646 N. California Blvd #400
Walnut Creek, CA 94596
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STRUCTURAL:
NISHKIAN MENNINGER
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San Francisco, CA 94107
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CODE CONSULTANT:
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755 Baywood Drive
Petaluma, CA 94954
P 888.779.3397 C 925.381.2322

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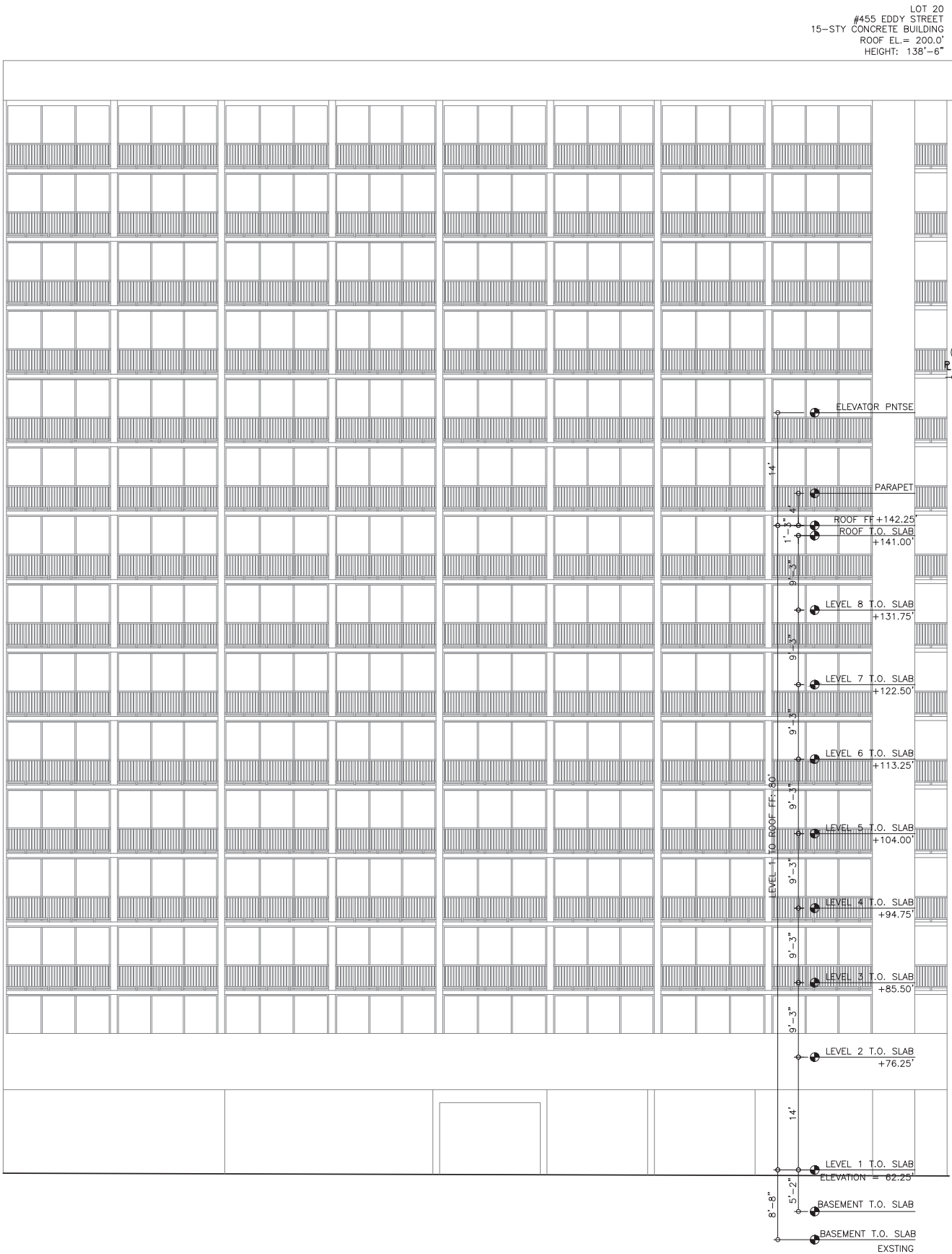
469 EDDY STREET, SAN FRANCISCO, CA

TITLE:
SECTION

SET:	PLANNING COMMISSION
DATE:	04-05-2016
SCALE:	1/8" = 1'-0"
DRAWN:	SSJNAI © 2016 STANLEY SAIOTWITZ NATOMA ARCHITECTS INC.

SHEET NO:
A2.3

SECTION 1



NORTH ELEVATION

REVISIONS	
OWNER: JS SULLIVAN DEVELOPMENT 2044 FILLMORE STREET, 3RD FLOOR SAN FRANCISCO, CA 94115	
ARCHITECT: STANLEY SAIOWITZ NATOMA ARCHITECTS Inc. 1022 Natoma Street, No. 3 San Francisco, CA 94103 T 415.626.9977 F 415.626.8978	
STORM WATER: BKF ENGINEERS 1646 N. California Blvd #400 Walnut Creek, CA 94596 P 925.940.2218 C 925.357.7610	
STRUCTURAL: NISHKIAN MENNINGER 1200 Folsom St San Francisco, CA 94107 P 415.543.5071	
MEP: ACIES 3371 Olcott St Santa Clara, CA 95054 P 408.553.5255 ex 142 P 408.307.6700	
CODE CONSULTANT: ZARI GROUP 755 Baywood Drive Petaluma, CA 94954 P 888.779.3397 C 925.381.2322	
TITLE: ELEVATION	
SET:	PLANNING COMMISSION
DATE:	04-05-2016
SCALE:	1/8" = 1'-0"
DRAWN:	SSJNAI © 2016 STANLEY SAIOWITZ NATOMA ARCHITECTS INC.
SHEET NO: A3.1	



REVISIONS	

OWNER:
JS SULLIVAN DEVELOPMENT
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ARCHITECT:
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San Francisco, CA 94103
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STORM WATER:
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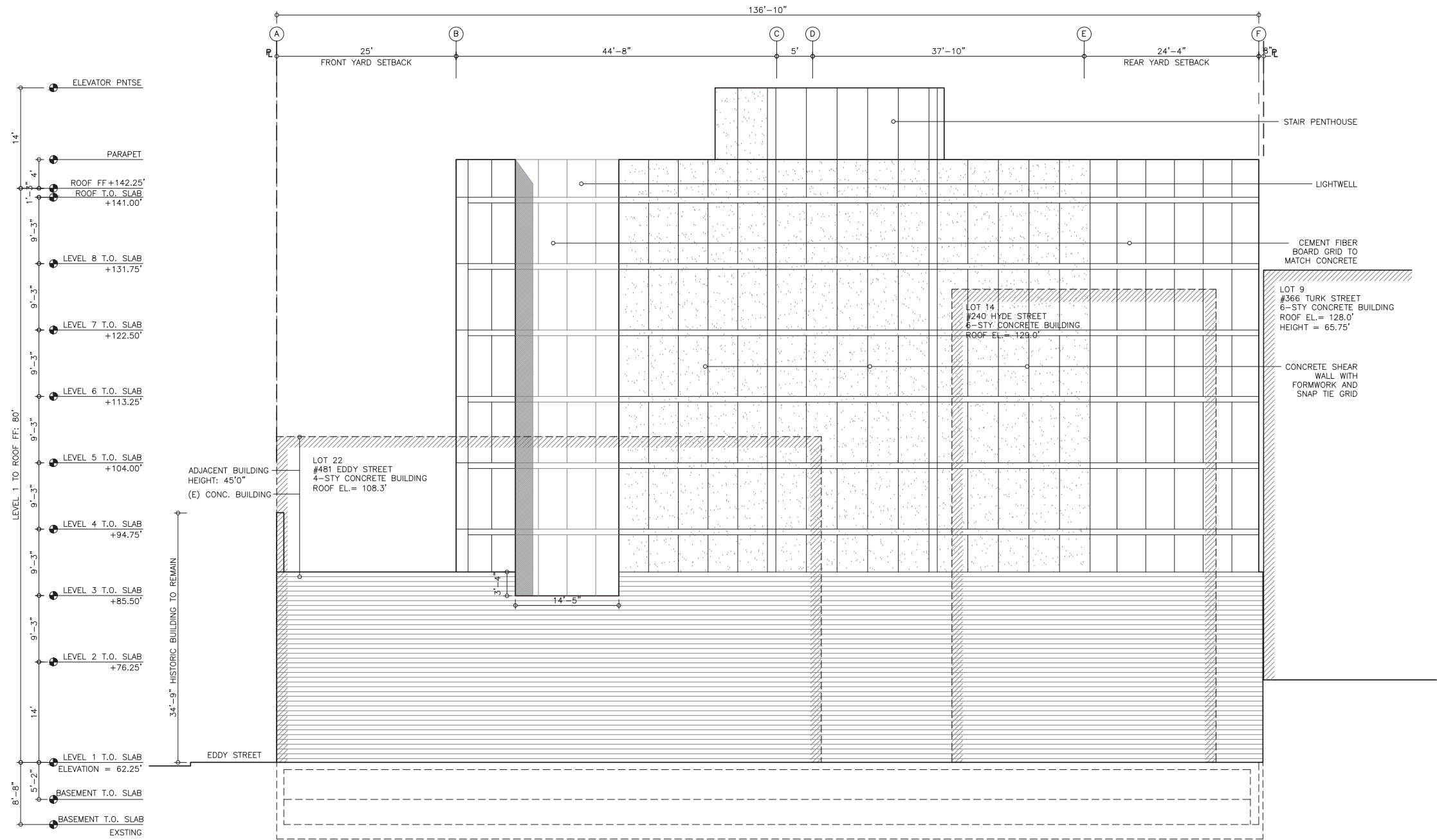
469 EDDY

469 EDDY STREET, SAN FRANCISCO, CA

TITLE:
ELEVATION

SET:	PLANNING COMMISSION
DATE:	04-05-2016
SCALE:	3/8" = 1'-0"
DRAWN:	SSJNAI © 2016 STANLEY SAIOWITZ & NATOMA ARCHITECTS INC.

SHEET NO:
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TITLE:
ELEVATION

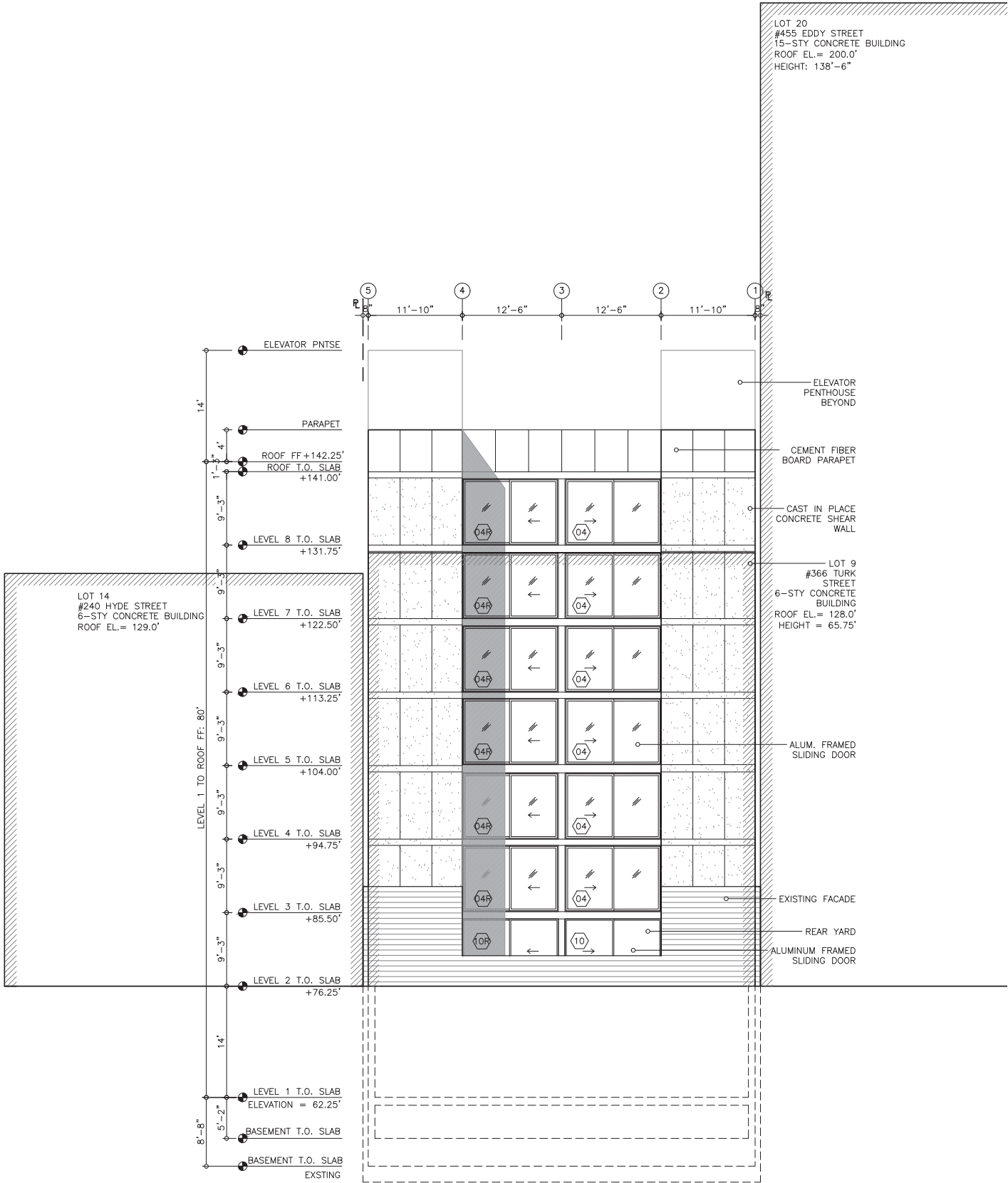
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WEST ELEVATION

1

SOUTH ELEVATION1



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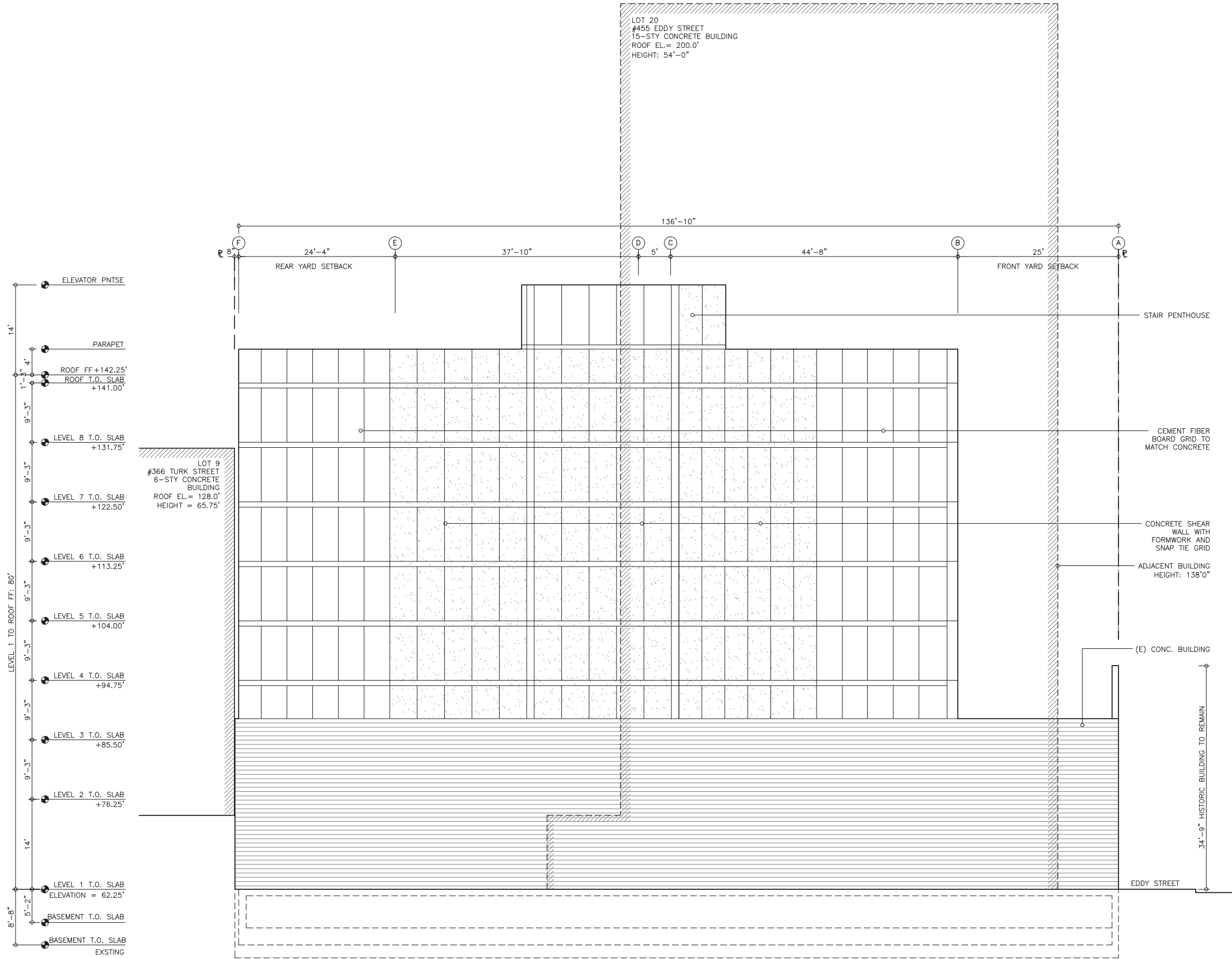
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TITLE:
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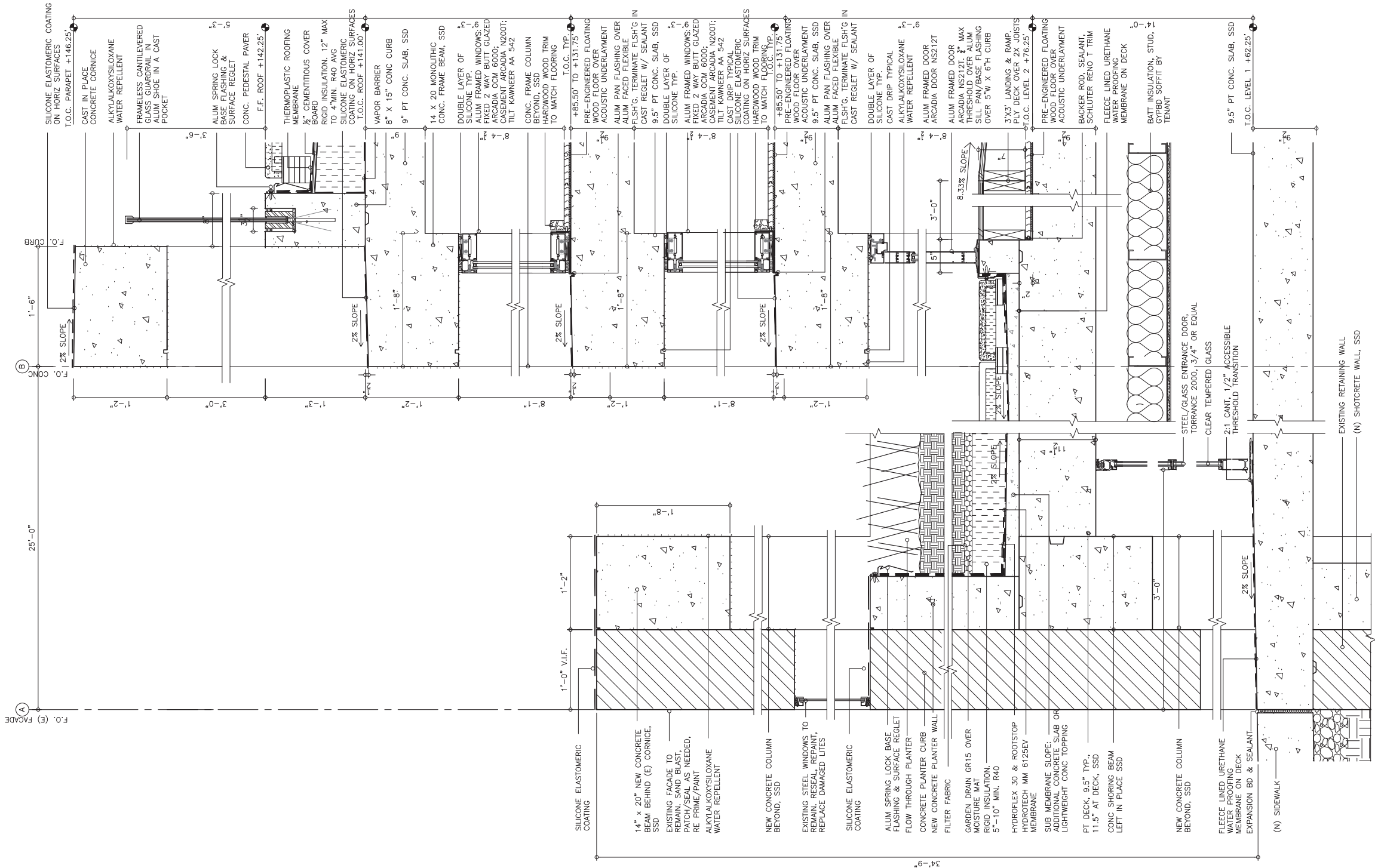
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469 EDDY 469 EDDY STREET, SAN FRANCISCO, CA	
TITLE: ELEVATION	
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DATE:	04-05-2016
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SHEET NO: A3.4	

EAST ELEVATION



WALL SECTION

1

469 EDDY

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TITLE: WALL SECTION		SET: PLANNING COMMISSION	
DATE: 04-05-2016		SCALE: 1 1/2" = 1'-0"	
DRAWN: SSINAI		SHEET NO: A5.1	

GLAZING TYPE

FWS
EXTERIOR FIXED ALUMINUM FRAMED GLASS WINDOW ADJACENT TO SLIDING DOORS AND SWING DOORS. GLAZING TO BE TEMPERED, LOW-E, DOUBLE PANE INSULATING UNITS, THERMALLY BROKEN. BRONZE ANODIZED OR CHARCOAL KYNAR. ARCADIA 5000 OR EQUIVALENT.

FWC
EXTERIOR FIXED ALUMINUM FRAMED GLASS WINDOW ADJACENT TO CASEMENT WINDOWS AND AS TRANSOM WINDOW ABOVE ALUMINUM FRAMED DOORS. GLAZING TO BE TEMPERED, LOW-E, DOUBLE PANE INSULATING UNITS, THERMALLY BROKIEEN. BRONZE ANODIZED OR CHARCOAL KYNAR. ARCADIA N200T OR EQUIVALENT.

SGD
EXTERIOR APPLICATION ALUMINUM FRAMED SLIDING GLASS DOOR. GLAZING TO BE TEMPERED, LOW-E, DOUBLE PANE INSULATING UNITS, THERMALLY BROKEN. ADA THRESHOLD FLUSH WITH INTERIOR AND EXTERIOR. BRONZE ANODIZED OR CHARCOAL KYNAR. ARCADIA 5000, OR EQUIVALENT.

SGD-I
INTERIOR APPLICATION ALUMINUM FRAMED SLIDING GLASS DOOR. GLAZING TO BE TEMPERED, SINGLE PANE, CHEMICALLY ETCHED FOR PRIVACY. ADA THRESHOLD FLUSH WITH INTERIOR AND EXTERIOR. EXTERIOR 3/4" RECTANGULAR OFFSET PULL. CLEAR ANODIZED. ARCADIA 5000, OR EQUIVALENT.

TLW
EXTERIOR APPLICATION ALUMINUM FRAMED TILT WINDOW. GLAZING TO BE TEMPERED, LOW-E, DOUBLE PANE INSULATING UNITS, THERMALLY BROKEN. INCLUDE HARDWARE TO LIMIT OPENING TO 3.5". BRONZE ANODIZED OR CHARCOAL KYNAR. KAWNER AA542 OR EQUIVALENT.

CSW
EXTERIOR APPLICATION ALUMINUM FRAMED CASEMENT GLASS WINDOW. GLAZING TO BE TEMPERED, LOW-E, DOUBLE PANE INSULATING UNITS., THERMALLY BROKEN. INCLUDE HARDWARE TO LIMIT OPENING TO 3.5". BRONZE ANODIZED OR CHARCOAL KYNAR. ARCADIA N200T OR EQUIVALENT.

BGW
EXTERIOR APPLICATION 4 WAY BUTT GLAZED FIXED WINDOW. GLAZING TO BE TEMPERED, LOW-E, DOUBLE PANE INSULATING UNITS, THERMALLY BROKEN. BRONZE ANODIZED OR CHARCOAL KYNAR. ARCADIA UW3091 OR EQUIVALENT.

STD
EXTERIOR APPLICATION ALUMINUM GLASS SWING TERRACE DOOR. GLAZING TO BE TEMPERED, LOW-E, DOUBLE PANE INSULATING UNITS, THERMALLY BROKEN. THIN PROFILE FRAME. ANODIZED TO MATCH DOOR FRAME. ADA THRESHOLD FLUSH WITH INTERIOR AND EXTERIOR. BRONZE ANODIZED OR CHARCOAL KYNAR. ARCADIA 8250E OR EQUIVALENT.

SRD (NEW AT GAS)
EXTERIOR APPLICATION ALUMINUM FRAMED, PAIR SWING, STOREFRONT DOORS, WITHOUT GLASS. THIN PROFILE FRAME. ADA THRESHOLD FLUSH WITH INTERIOR AND EXTERIOR. ARCADIA NS212T OR EQUIVALENT. BLACK KYNAR OR BRONZE ANODIZED. FACE FASTEN BRONZE ANODIZED OR BLACK KYNAR 1/8" THICK PERFORATED ALUMINUM TO EXTERIOR DOOR FRAME, JAMB, ADJACENT SIDEWALL, AND HEAD. USE BLACK STAINLESS SELF DRILLING PAN HEAD SCREWS. AT SIDEWALL USE BLACK PAINTED GALVANIZED 7/8" HAT CHANNELS. ARCADIA NS212 OR EQUIVALENT.

SRDT (NEW AT COMMERICAL)
EXTERIOR APPLICATION ALUMINUM GLASS SWING STOREFRONT DOOR, THERMAL. GLAZING TO BE TEMPERED, LOW-E, DOUBLE PANE INSULATING UNITS, THERMALLY BROKEN. THIN PROFILE FRAME. ANODIZED TO MATCH DOOR FRAME. ADA THRESHOLD FLUSH WITH INTERIOR AND EXTERIOR. ARCADIA NS212T OR EQUIVALENT. BLACK KYNAR OR BRONZE ANODIZED. FACE FASTEN BRONZE ANODIZED OR BLACK KYNAR 1/8" THICK PERFORATED ALUMINUM TO EXTERIOR DOOR FRAME, JAMB, ADJACENT SIDEWALL, AND HEAD. USE BLACK STAINLESS SELF DRILLING PAN HEAD SCREWS. AT SIDEWALL USE BLACK PAINTED GALVANIZED 7/8" HAT CHANNELS. ARCADIA NS212T OR EQUIVALENT.

SFDT (NEW)
EXTERIOR APPLICATION STEEL FRAMED SWING DOOR. GLAZING TO BE TEMPERED, LOW-E, DOUBLE PANE INSULATING UNITS. ADA THRESHOLD FLUSH WITH INTERIOR AND EXTERIOR. BLACK. TORRANCE 3/4" 2000 OR EQUIVALENT.

SFWT (NEW)
EXTERIOR APPLICATION STEEL FRAMED FIXED WINDOW. GLAZING TO BE TEMPERED, LOW-E, DOUBLE PANE INSULATING UNITS. BLACK. TORRANCE 1" 2000 OR EQUIVALENT.

SFP (NEW)
EXTRIOR APPLICATION STEEL FRAMED FIXED WINDOW. GLAZING TO BE TEMPERED, LOW-E, DOUBLE PANE INSULATING UNITS. BLACK. TORRANCE 1" 2000 OR EQUIVALENT.

EWS(NEW)
EXISTING EXTERIOR STEEL FRAMED FIXED WINDOW CONVERTED TO SPANDREL. REPLACE BROKEN LITES AND RESEAL. BLACK. PAINT REAR OF GLASS WITH BLACK SPANDREL GLAZING PAINT. GRIND/SAND FRAME OF RUST, PRIME , AND PAINT.

FWC(NEW)
EXISTING EXTERIOR STEEL FRAMED FIXED WINDOW WITH CLEAR LITES. REPLACE BROKEN LITES AND RESEAL. PAINT REAR OF GLASS WITH BLACK SPANDREL GLAZING PAINT. BLACK. GRIND/SAND FRAME OF RUST, PRIME, AND PAINT.

GRD (NEW)
GARAGE SECTIONAL DOOR, MATCHING STOREFRONT SIDE LITE, AND MATCHING TRANSOM HEADER MOCK WINDOWS ABOVE GARAGE DOOR, ALL WITH SIMILAR GRID PATTERN. BLACK ANODIZED OR CHARCOAL KYNAR ALUMINUM FRAMES. SINGLE GLAZED OBSCURE TEMPERED GLASS ON GARAGE DOOR AND SPANDREL HEAD WINDOWS. DUAL GLAZED, LOW E, THERMALLY BROKEN, AT SIDE LITE COMMERCIAL WINDOW. ANGLE TO ANGLE "Z" SHAPPED JAMB FRAME BETWEEN GARAGE DOOR AND COMMERCIAL SIDE LITE JAMB WITH BLACK ANODIZED OR CHARCIOAL KYNAR FASCIA OVER "Z" FRAME. INCLUDE STEEL LEDGER FACE FASTENED TO CONCRETE DROP BEAM TO RECEIVE MOCK SPAMNDREL WINDOW JAMB ABOVE AND TO SERVE AS BUTT JOINT LINE WITH TOP OF GARAGE DOOR BELOW. GARAGE DOOR WITH: EXTERIOR REMOTE CONTROL SENSOR AND KEYPAD OVER RIDE; INTERIOR APPROACH SENSOR AND BUTTON OVER RIDE; INTERIOR CHAIN OR CRANK OVER RIDE IN CASE OF BLACK OUTS; BOTTOM SWEEP SENSOR; INFRARED SIDE SENSOR; AUTOMATIC LIGHT ACTIVATION; RAILS HUNG FROM SLAB WITH ACOUSTIC SPRINGS(PAC INTL RSIC GDS), THE INTENT IS FOR ALL APPLICATIONS TO APPEAR AS ONE GRID. BP GLASS GARAGE DOOR & ENTRY SYSTEMS, GARAGE AND STOREFRONT COMBO OR EQUAL.

SFD (@ ELEC AND EXIT - NON-THERMAL)
EXTERIOR APPLICATION STEEL FRAMED SWING DOOR. GLAZING TO BE TEMPERED, LOW-E. ADA THRESHOLD FLUSH WITH INTERIOR AND EXTERIOR. BLACK. TORRANCE 1900 EQUIVALENT.

SFW (@ ELEC AND EXIT - NON-THERMAL)
EXTERIOR APPLICATION STEEL FRAMED FIXED WINDOW. GLAZING TO BE TEMPERED, LOW-E. BLACK. TORRANCE 1900 OR EQUIVALENT.

AGG
42"H INTERIOR TEMPERED GLASS GUARDRAIL

ALL DOORS AND WINDOWS @ (E)BUILDING FACADE REPLACE (N)GLAZING SYSTEM. SEE LOCATION @ ELEVATION FOR OBSCURE GLASS

WINDOW GLAZING SCHEDULE

WINDOW MARK	R.O. SIZE WxH (VERIFY ALL UNITS IN FIELD)	UNIT VENT SIZE WxH (VERIFY ALL UNITS IN FIELD)	VENTS PER APPLICATION	WINDOW TYPE	VENTING	LOCK	OBSCURE	NOTES
01	10'-8" X 8'-1"	1'-5" x 7'-9"	1	CSW FWC	OX	NO	NO	
01R					XO			
02	10'-8" X 8'-1"	1'-5" x 7'-9"	2	BGW TLW	XOX	NO	NO	
03	4'-9" X 8'-1"	4'-6" X 7'-9"	1	PGW	X	NO	NO	
04	10'-10" X 8'-5½"	5'-6" X 8'-9"	1	SGD	OX	NO	NO	4" MAX SAFETY LOCK
04R					XO			
05	4'-0" X 8'-5½"	NA	NA	FWS	NA	NO	YES	
06	7'-7" X 8'-5½"	NA	NA	FWS	NA	NO	YES	
07	9'-7" X 8'-5½"	4'-9" X 8'-3"	1	SGD	OX	YES	NO	4" MAX SAFETY LOCK
07R					XO			
08	7'-7" X 3'-10½"	NA	NA	FWS	NA	NO	YES	
09	9'-7" X 3'-10½"	4'-9" X 3'-7"	1	SGD	OX	YES	NO	
10	10'-10" X 7'-10"	5'-5" X 7'-7"	1	SGD	OX	YES	NO	
10R					XO			
11	10'-0" X 7'-10"	5'-3" X 7'-7"	1	SGD	OX	YES	NO	
11R					XO			
12	4'-9" X 7'-5"	3'-0" X 7'-2"	1	STD FWS	OX	YES	NO	LEFT SIDELITE
12R					XO			RIGHT SIDELIGHT
13	12'-11" X 7'-5"	4'-3½" X 7'-2"	1	SGD	OXO	YES	YES	
14	10'-3" X 4'-5"	5'-1½" X 4'-2"	1	SGD	XO	YES	YES	
15	9'-0" X 7'-6"	4'-4" X 7'-6"	1	SGD-I	XO	YES	YES	
16	9'-0" X 7'-6"	4'-4" X 7'-6"	2	SGD-I	OXXO	YES	YES	
17	9'-0" X 7'-6"	4'-4" X 7'-6"	2	SGD-I	OXXO	YES	YES	
18	10'-8" X 7'-5"	1'-5" x 7'-2"	2	BGW TLW	XOX	NO	NO	
19	4'-0" X 7'-10"	NA	NA	FWS	NA	NO	YES	
20A	8'-0" X 3'-4"	NA	NA	SFDT	NA	YES	NO	
20B	4'-11" X 8'-0"	NA	NA	SFWT	NA	NO	NO	
20C	8'-5" X 3'-0"	NA	NA	SFWT	NA	NO	NO	
21A	3'-2" X 7'-0"	NA	NA	SRDT	NA	YES	NO	PERFORATED METAL COVER
21B	3'-2" X 3'-9"	NA	NA	FWC	NA	NO	NO	TRANSOM, PERFORATED METAL COVER
22A	3'-8" X 10'-4"	NA	NA	GRD	NA	NO	NO	
22B	9'-3" X 9'-0"	NA	NA	GRD	NA	NO	NO	
22C	9'-3" X 1'-4"	NA	NA	GRD	NA	NO	NO	TRANSOM
23A	3'-2" X 7'-0"	NA	NA	SRD	NA	YES	NO	PERFORATED METAL COVER
23B	3'-2" X 3'-2"	NA	NA	FWC	NA	NO	NO	PERFORATED METAL COVER
24A	3'-4" X 7'-0"	NA	NA	SFD	NA	YES	NO	
24A-R	3'-4" X 7'-0"	NA	NA	SFD	NA	YES	NO	
24B	1'-8" X 7'-0"	NA	NA	SFW	NA	NO	NO	
24C	2'-3" X 8'-4"	NA	NA	SFW	NA	NO	NO	TRANSOM
25	5'-3" X 3'-6"	NA	NA	AGC	NA	NO	NO	
30	6'-2" X 3'-1"	NA	NA	EWG	NA	NO	NO	EXISTING. SEE GLAZING TYPE.
31	4'-2" X 2'-2"	NA	NA	EWG	NA	NO	NO	EXISTING. SEE GLAZING TYPE.
32	8'-11" X 11'-10"	NA	NA	EWS	NA	NO	NO	EXISTING. SEE GLAZING TYPE.

GENERAL NOTES

1. ALL WINDOWS IN THIS PROJECT REQUIRE SAFETY GLAZING; EACH FIXED AND SLIDING PANEL SHALL BE IDENTIFIED BY A PERMANENT LABEL THAT SPECIFIES THE LABELER AND STATE THAT SAFETY GLAZING MATERIAL HAS BEEN UTILIZED IN THE INSTALLATION.
2. IT IS THE ARCHITECTURAL INTENT THAT WINDOW TYPES ARE NOT INSTALLED AS INDIVIDUAL SINGLE UNITS, BUT APPEARS AS A SINGLE MONOLITHIC MULTIPLE BAY UNIT.
3. THE MINIMUM NET GLAZED AREA SHALL BE NOT LESS THAN 8% OF THE FLOOR AREA OF THE HABITABLE ROOM SERVED. BATHROOMS, STUDIES, AND CLOSETS ARE EXCLUDED.
4. MECHANICAL VENTILATION PROVIDED AT BATHROOMS PER CMC. HABITABLE SPACES MAY HAVE EITHER NATURAL VENTILATION PER CBC 1203.4 OR MECHANICAL VENTILATION PER CBC 1203.1 AND CMC. THE OPENABLE AREA OF THE OPENINGS TO THE OUTDOORS SHALL NOT BE LESS THAN 4% OF THE FLOOR AREA BEING VENTILATED
5. ALL DOORS SHALL RECEIVE A CONTINUOUS SEALED PAN FLASHING.
6. TYPICALLY, SEE PLANS, SECTIONS, AND EXTERIOR ELEVATIONS FOR LOCATION AND ELEVATION TYPE VIEW OF WINDOWS. EACH WINDOW HAS AN INDIVIDUAL MARK NUMBER. NOTIFY ARCHITECT FOR ANY WINDOW WHICH IS NOT SO IDENTIFIED.
7. NOMINAL WINDOW SIZES ARE GIVEN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE ACTUAL OPENING SIZES AND THE REQUIRED WINDOW DIMENSIONS WITH THE SUPPLIER. IT IS ALSO THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY ALL SIZES AND NOTIFY THE ARCHITECT OF ANY CHANGES REQUIRED FOR THE MANUFACTURER TO PRODUCE THE WINDOWS AS INDICATED ON THESE DRAWINGS.
8. THE VENT OPERATION AND DESIGNATION IS VIEWED FROM THE EXTERIOR SIDE. AT THE INTERIOR CONDITIONS, THE VIEW IS FROM THE ROOM BEING SERVED. AT ELEVATION VIEWS, THE ARROW INDICATES THE DIRECTION OF THE SLIDING PANEL. THE CODE FOR THE DRAWINGS AND SCHEDULE ARE AS FOLLOWS: X = OPERABLE VENT; O = STATIONARY PANEL.
9. PROVIDE STANDARD HARDWARE AS INDICATED IN THE BROCHURE LITERATURE FROM THE MANUFACTURER.
10. THE CONTRACTOR WILL BE RESPONSIBLE TO VERIFY ALL GLASS SUBJECT TO HUMAN IMPACT IN ORDER TO PROVIDE CODE APPROVED SAFETY GLAZING AS PER CBC SECTION 2406. TEMPERED GLASS REQUIRED AT ALL WINDOWS FROM FINISH FLOOR TO 18".
11. THE CONTRACTOR WILL VERIFY THE SPECIFIC GLAZING UNIT THAT MEETS THE REQUIREMENTS OF THE TITLE 24 REPORT; DOUBLE PANE TYPE INSULATING UNIT. PROVIDE CLEAR GLAZING UNITS WITH LOW -E COATING AND FILLED WITH ARGON GAS IF REQUIRED. IF GLASS TINTING IS CONSIDERED, VERIFY WITH ARCHITECT FOR DESIGN CONFORMANCE.
12. THE CONTRACTOR TO VERIFY THAT INSTALLED WINDOWS WILL MEET C.E.C. STANDARDS FOR AIR LEAKAGE, CERTIFICATION AND WEATHER STRIPPING AS DOCUMENTED IN THE TITLE 24 REPORT.
13. THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR ARCHITECT’S REVIEW PRIOR TO PRODUCTION.
14. FIRE RATED WINDOWS ARE TO CONFORM TO CBC SECTION 716 SLIDING DOOR IS ALWAYS ON INSIDE TRACK.
15. ALL DOOR SILLS OVER WELDED STAINLESS OR RIVETED + SILICONE ALUMINUM PAN FLASHING.
16. ALL DOORS AND WINDOWS @ EXISTING BUILDING FACADE REPLACE NEW GLAZING SYSTEM. SEE LOCATION @ ELEVATION FOR OBSCURE GLASS.
17. THE VENT OPERATION AND DESIGNATION IS VIEWED FROM THE EXTERIOR SIDE. AT THE INTERIOR CONDITIONS, THE VIEW IS FROM THE OUTSIDE OF THE ROOM BEING SERVED. SLIDING DOOR IS ALWAYS ON INSIDE TRACK. AT ELEVATION VIEWS, THE ARROW INDICATES THE DIRECTION OF THE SLIDING PANEL. THE DRAWING SYMBOL ARE AS FOLLOWS: X = OPERABLE VENT; O = STATIONARY PANEL; --> DIRECTION OF SLIDING PANEL; < SWING DOOR WITH HINGE SIDE AT VERTEX.

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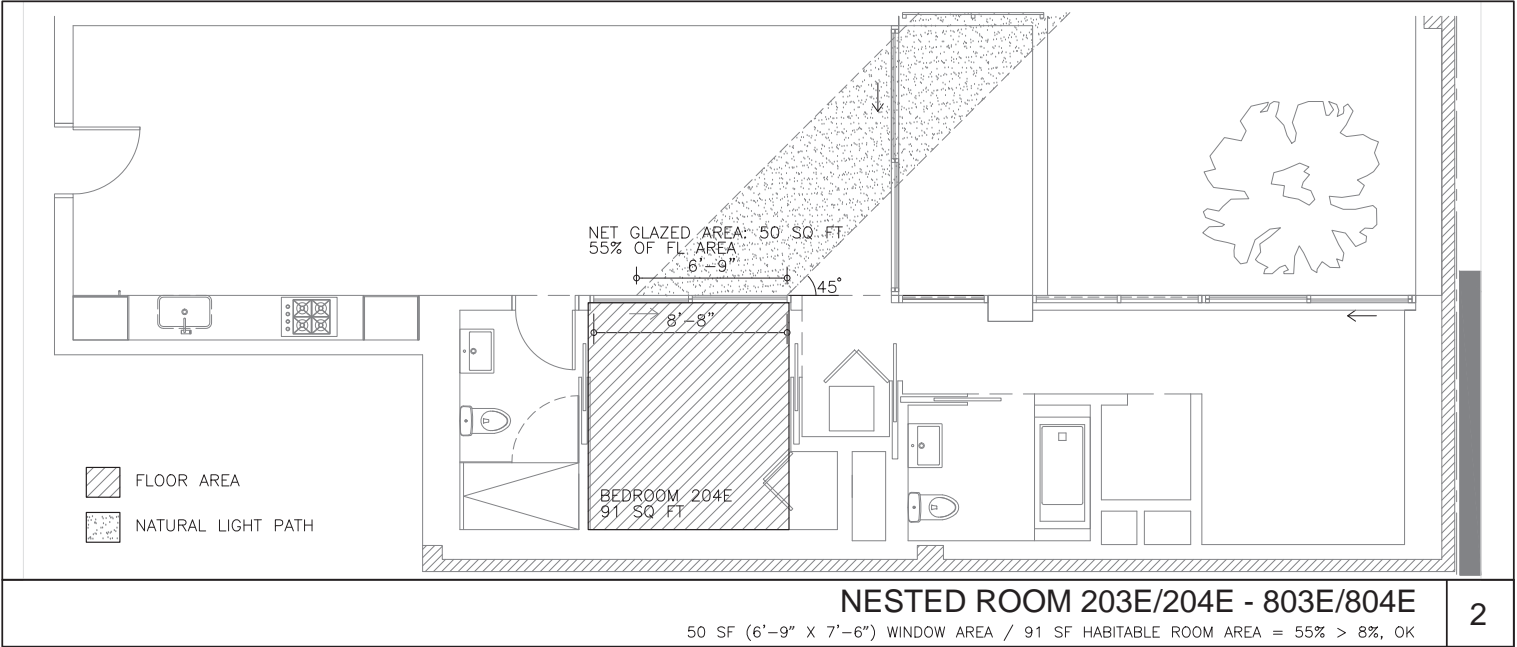
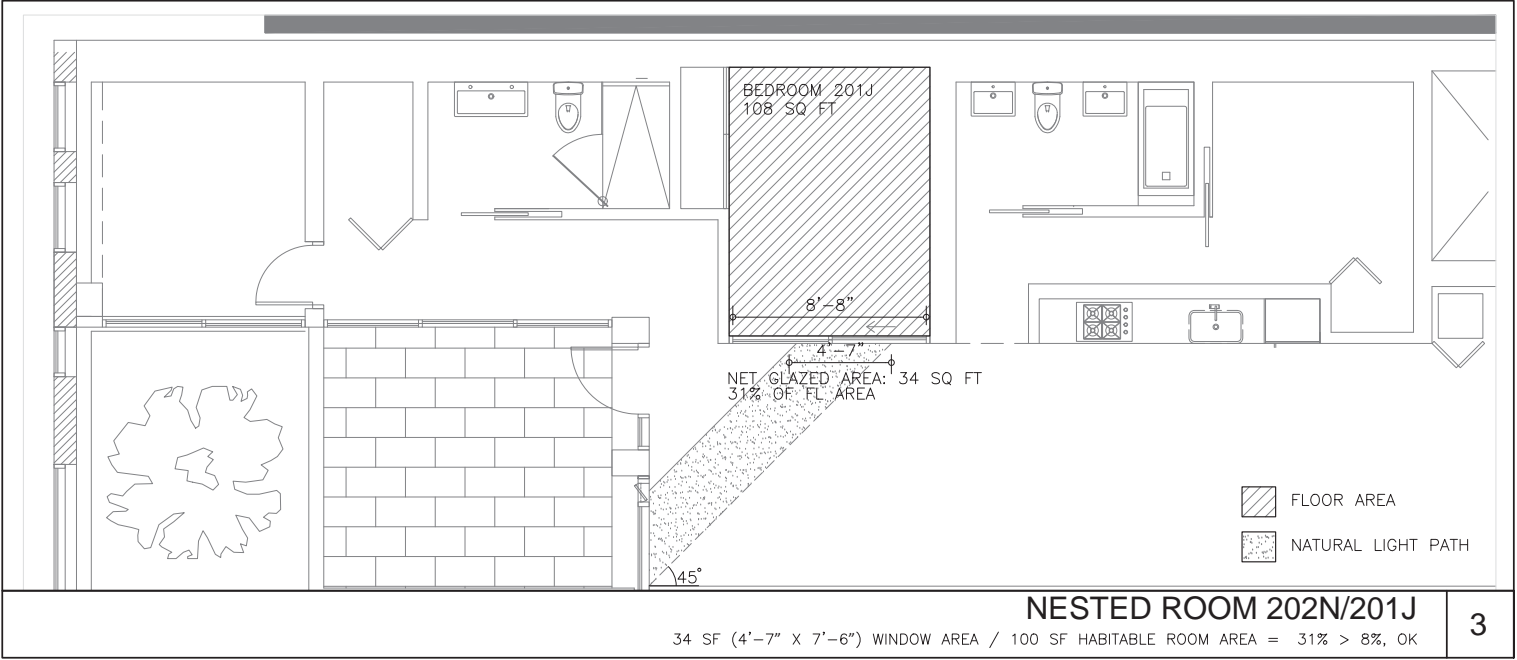
469 EDDY STREET, SAN FRANCISCO, CA

TITLE:
GLAZING
SCHEDULE

SET:	PLANNING COMMISSION
DATE:	04-05-2016
SCALE:	1/4 = 1'-0"
DRAWN:	SSJNAI © LICENSED CONSULTANT (E) © LICENSED ARCHITECT (E)

SHEET NO:

A6.1



NATURAL LIGHT PER CBC/SFBC 1205.2				
THE MINIMUM NET GLAZED AREA SHALL BE NOT LESS THAN 8% OF THE FLOOR AREA OF THE (HABITABLE) ROOM SERVED. KITCHENS, OFFICES/STUDY, MEDIA ROOMS, HALLS, CLOSETS, BATHS EXCLUDED				
ROOM TYPE	ROOM NUMBER	AREA	WINDOW AREA	% OF FLOOR AREA
LIVING	201B-801B 202B-802B	195 SQ FT	74 SQ FT	38% > 8%
	203B-803B 204B-804B	254 SQ FT	87 SQ FT	34% > 8%
BEDROOM	201P, 202N	100 SQ FT	67 SQ FT	67% > 8%
	201J-202J*	108 SQ FT	34 SQ FT	31% > 8%
	203K-803K 204K-804K	98 SQ FT	68 SQ FT	69% > 8%
	203E-803E* 204E-804E*	91 SQ FT	50 SQ FT	55% > 8%
	301-801E 302-802J	116 SQ FT	80 SQ FT	55% > 8%
*NESTED ROOMS WITH INDIRECT NATURAL LIGHT (SEE DIAGRAM 1. AND 2.)				
TYPICAL ROOM LIGHT CALCULATIONS				1

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P 408.307.6700

CODE CONSULTANT:
ZARI GROUP
755 Baywood Drive
Petaluma, CA 94954
P 888.779.3397 C 925.381.2322

469 EDDY
469 EDDY STREET, SAN FRANCISCO, CA

TITLE:
NATURAL
LIGHT

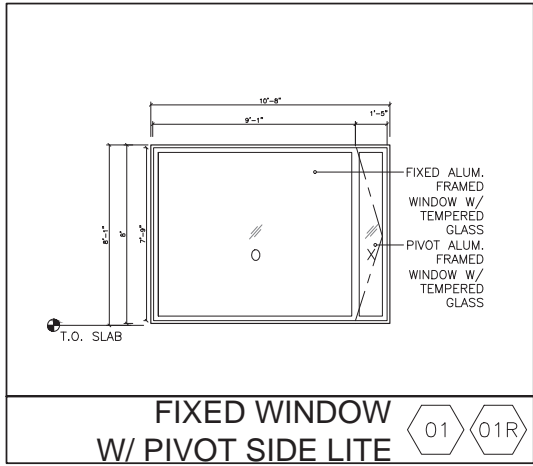
SET: PLANNING
COMMISSION

DATE: 04-05-2016

SCALE: N.T.S.

DRAWN: SSJNAI
© 2016 EDDY STREET ARCHITECTS |
© 2016 EDDY STREET ARCHITECTS

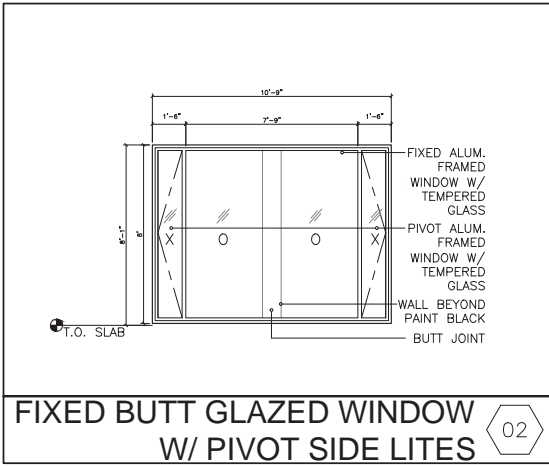
SHEET NO:
A6.1A



FIXED WINDOW
W/ PIVOT SIDE LITE

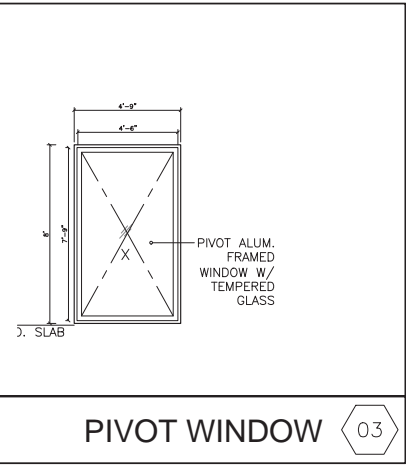
01

01R



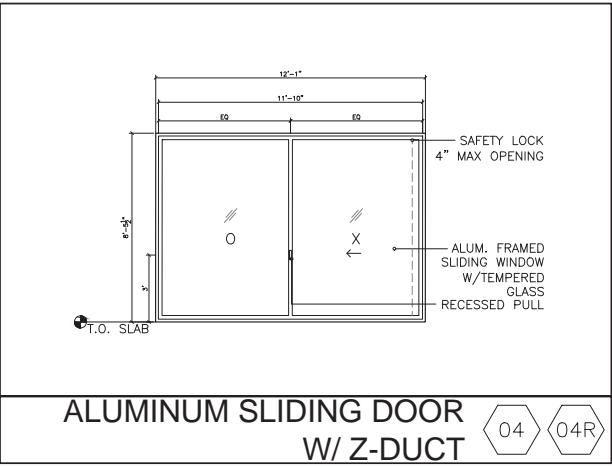
FIXED BUTT GLAZED WINDOW
W/ PIVOT SIDE LITES

02



PIVOT WINDOW

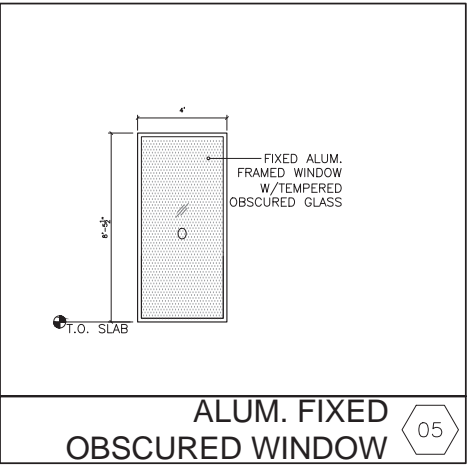
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ALUMINUM SLIDING DOOR
W/ Z-DUCT

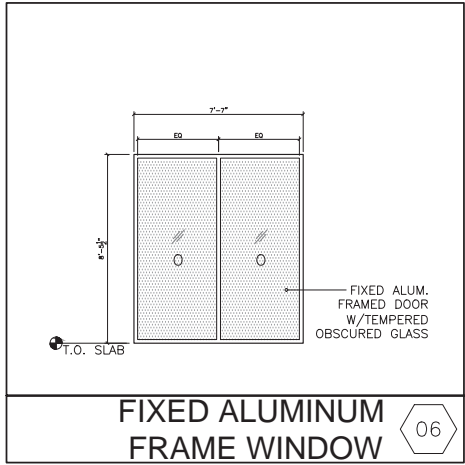
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04R



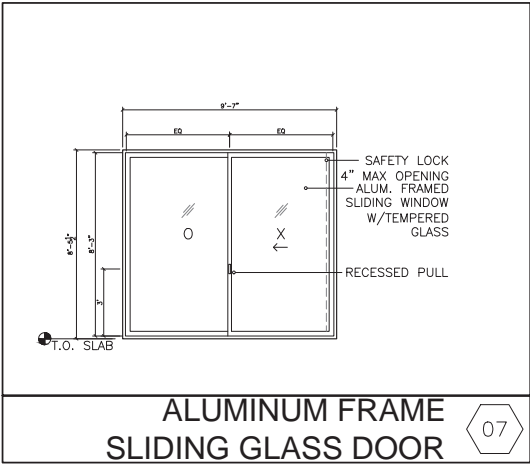
ALUM. FIXED
OBSCURED WINDOW

05



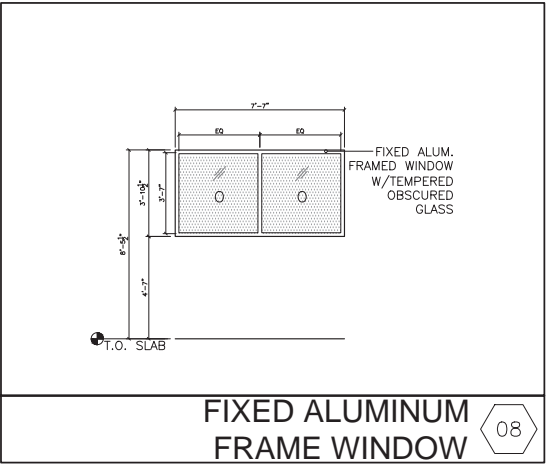
FIXED ALUMINUM
FRAME WINDOW

06



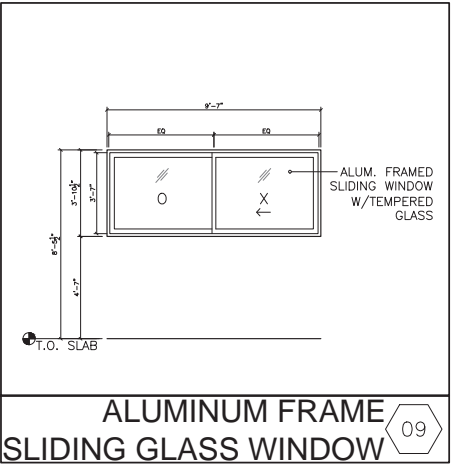
ALUMINUM FRAME
SLIDING GLASS DOOR

07



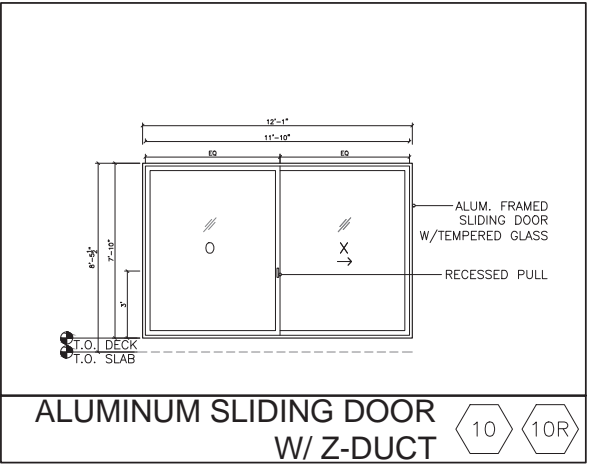
FIXED ALUMINUM
FRAME WINDOW

08



ALUMINUM FRAME
SLIDING GLASS WINDOW

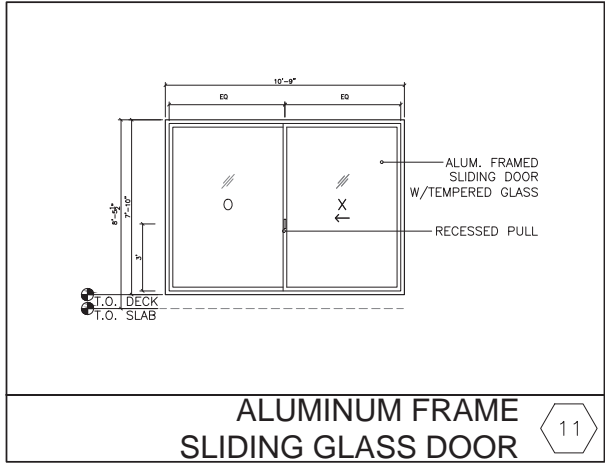
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ALUMINUM SLIDING DOOR
W/ Z-DUCT

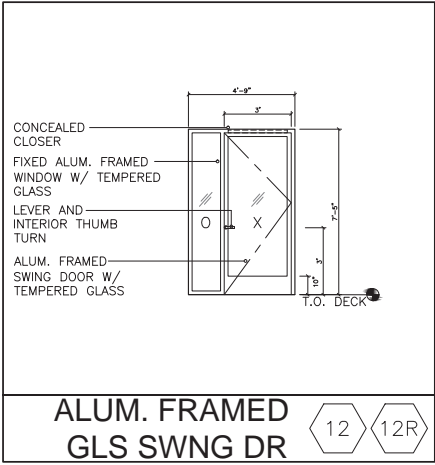
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10R



ALUMINUM FRAME
SLIDING GLASS DOOR

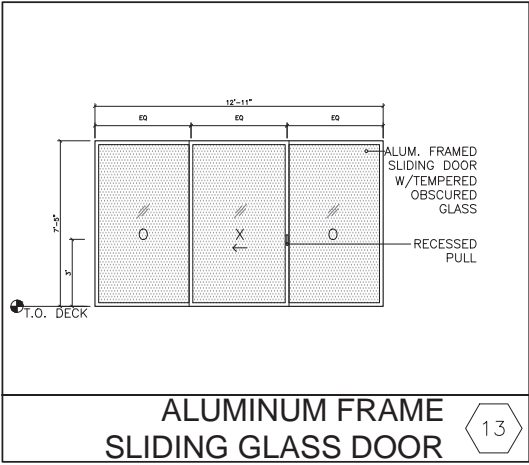
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ALUM. FRAMED
GLS SWNG DR

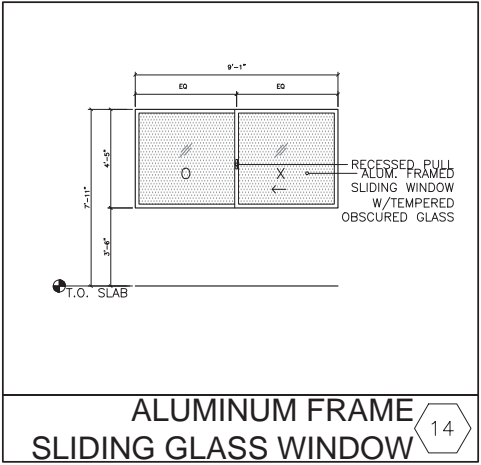
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12R



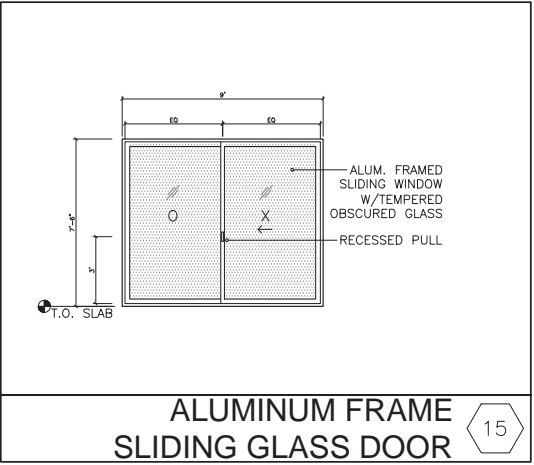
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SLIDING GLASS DOOR

13



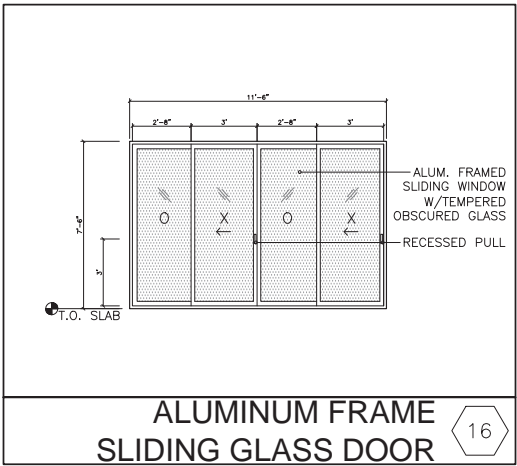
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SLIDING GLASS WINDOW

14



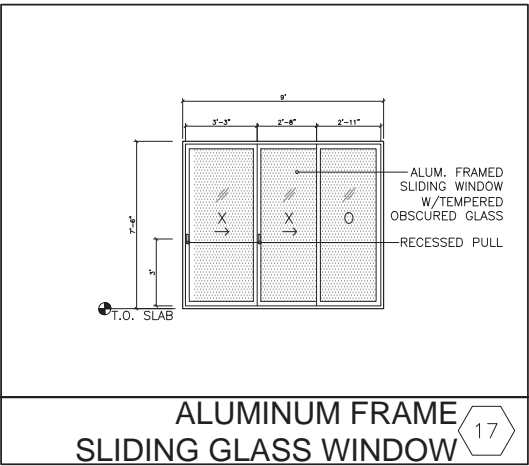
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SLIDING GLASS DOOR

15



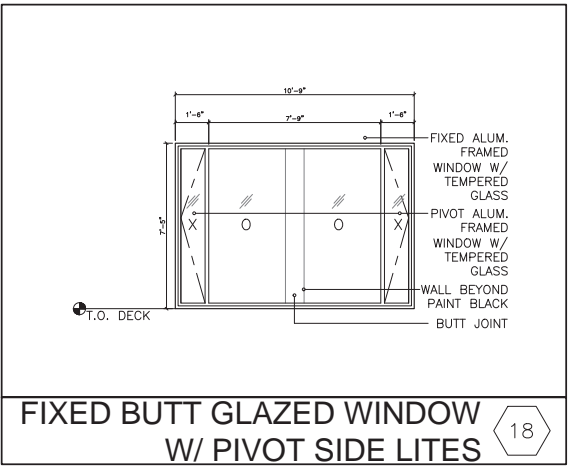
ALUMINUM FRAME
SLIDING GLASS DOOR

16



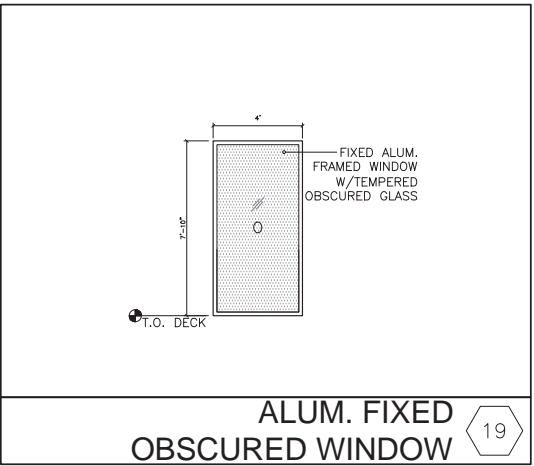
ALUMINUM FRAME
SLIDING GLASS WINDOW

17



FIXED BUTT GLAZED WINDOW
W/ PIVOT SIDE LITES

18



ALUM. FIXED
OBSCURED WINDOW

19

REVISIONS	

OWNER:
JS SULLIVAN DEVELOPMENT
2044 FILLMORE STREET, 3RD FLOOR
SAN FRANCISCO, CA 94115

ARCHITECT:
STANLEY SAIKOWITZ |
NATOMA ARCHITECTS Inc.
1022 Natoma Street, No. 3
San Francisco, CA 94103
T: 415.626.8977 F: 415.626.8978

STORM WATER:
BKF ENGINEERS
1646 N. California Blvd #400
Walnut Creek, CA 94596
P: 925.940.2218 C: 925.357.7610

STRUCTURAL:
NISHKIAN MENNINGER
1200 Folsom St
San Francisco, CA 94107
P: 415.543.5071

MEP:
ACIES
3371 Olcott St
Santa Clara, CA 95054
P: 408.553.5255 ex 142
P: 408.307.6700

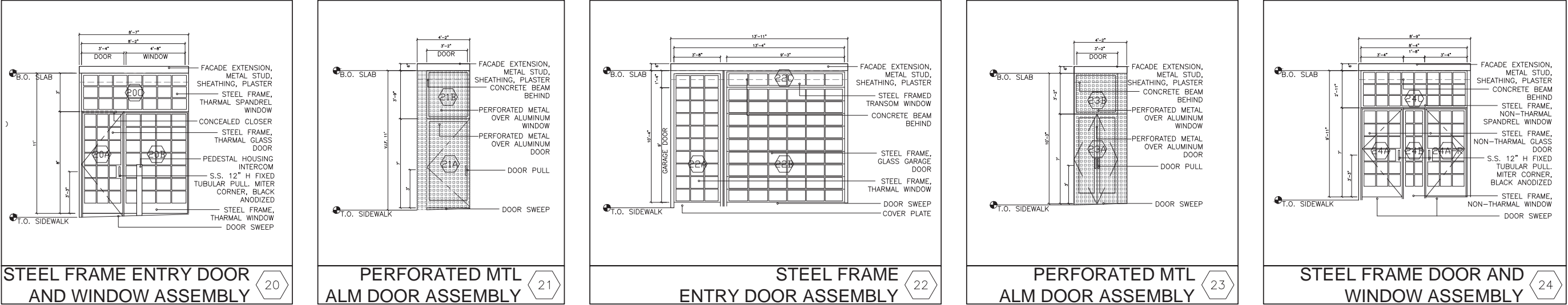
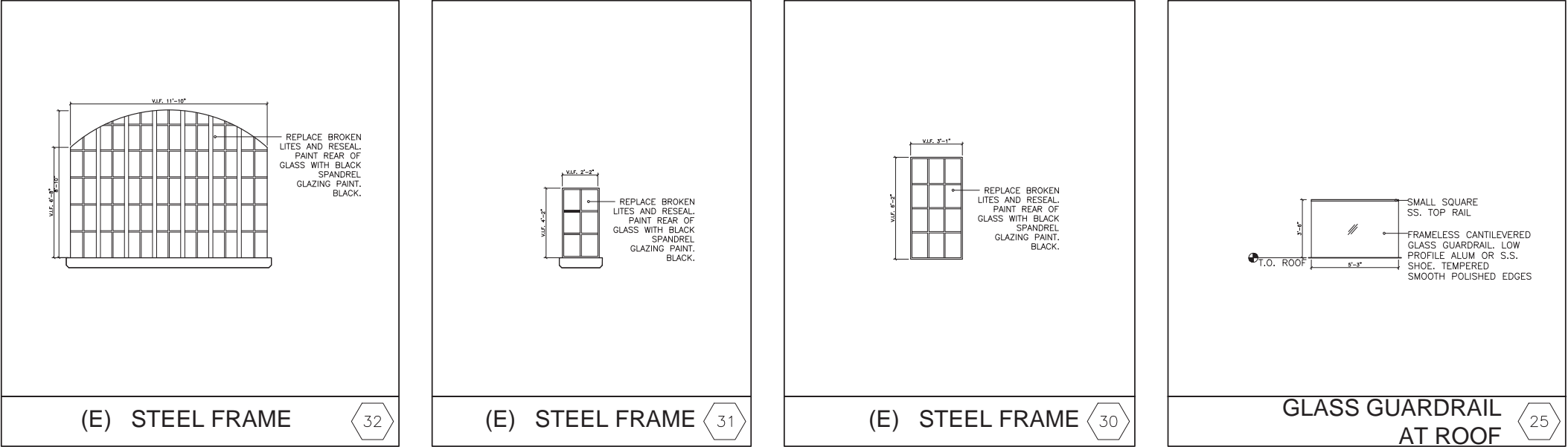
CODE CONSULTANT:
ZARI GROUP
755 Baywood Drive
Petaluma, CA 94954
P: 888.779.3397 C: 925.381.2322

469 EDDY STREET, SAN FRANCISCO, CA

TITLE:
**GLAZING
TYPES**

SET:	PLANNING COMMISSION
DATE:	04-05-2016
SCALE:	1/4" = 1'-0"
DRAWN:	SSJNAI © 2016 STANLEY SAIKOWITZ NATOMA ARCHITECTS INC.

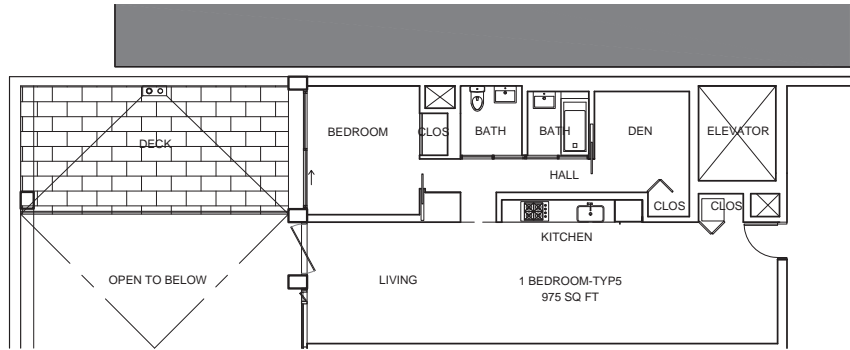
SHEET NO:
A6.2



REVISIONS		
OWNER:		
JS SULLIVAN DEVELOPMENT 2044 FILLMORE STREET, 3RD FLOOR SAN FRANCISCO, CA 94115		
ARCHITECT:		
STANLEY SAIOWITZ NATOMA ARCHITECTS Inc. 1022 Natoma Street, No. 3 San Francisco, CA 94103 T 415.626.8977 F 415.626.8978		
STORM WATER:		
BKF ENGINEERS 1646 N. California Blvd #400 Walnut Creek, CA 94596 P 925.940.2218 C 925.357.7610		
STRUCTURAL:		
NISHKIAN MENNINGER 1200 Folsom St San Francisco, CA 94107 P 415.543.5071		
MEP:		
ACIES 3371 Olcott St Santa Clara, CA 95054 P 408.553.5255 ex 142 P 408.307.6700		
CODE CONSULTANT:		
ZARI GROUP 755 Baywood Drive Petaluma, CA 94954 P 888.779.3397 C 925.381.2322		

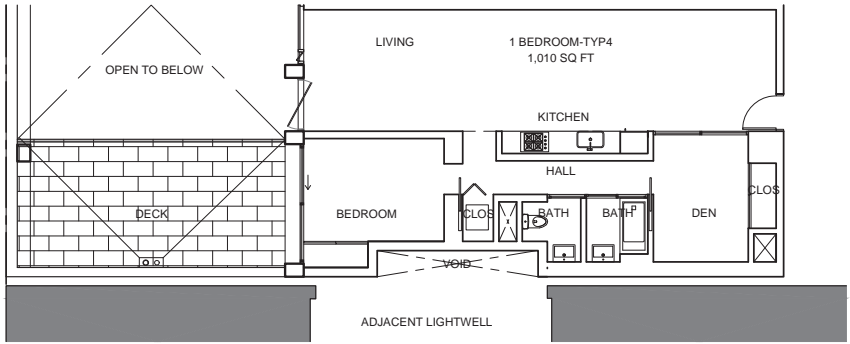
469 EDDY
469 EDDY STREET, SAN FRANCISCO, CA

TITLE: EXISTING GLAZING TYPES	
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DATE:	04-05-2016
SCALE:	1/4 = 1'-0"
DRAWN:	SSJNAI © 2016 STANLEY SAIOWITZ NATOMA ARCHITECTS INC.
SHEET NO: A6.3	



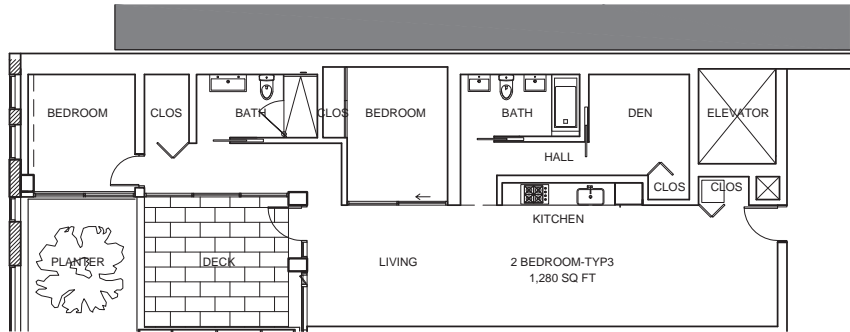
TYPE 5 UNIT PLAN

5



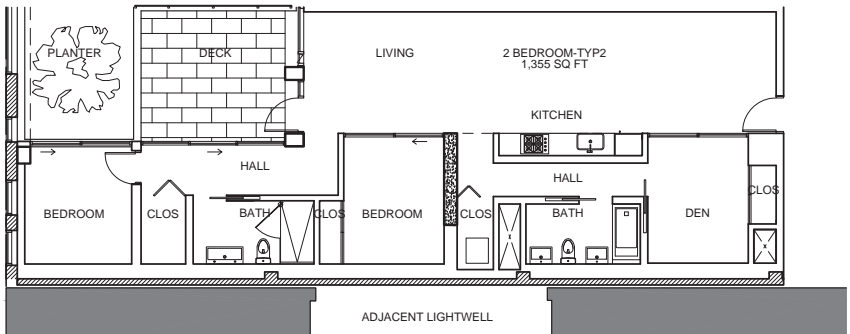
TYPE 4 UNIT PLANS

4



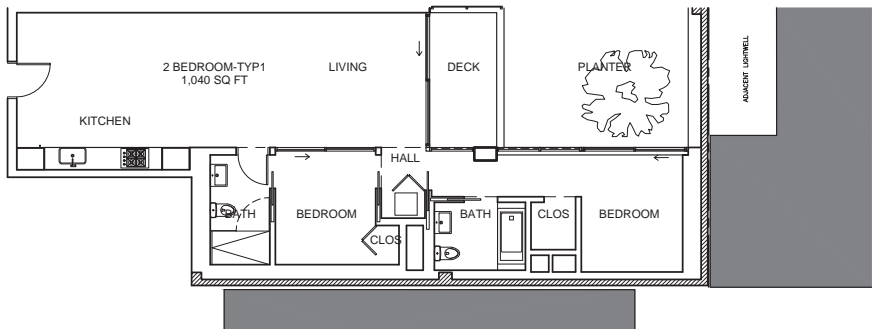
TYPE 3 UNIT PLAN

3



TYPE 2 UNIT PLANS

2



TYPE 1 UNIT PLAN

1

UNIT SCHEDULE

	TYPE 1 2-BEDROOM (1,040 SQ FT)	TYPE 2 2-BEDROOM (1,355 SQ FT)	TYPE 3 2-BEDROOM (1,280 SQ FT)	TYPE 4 1-BEDROOM (1,010 SQ FT)	TYPE 5 1-BEDROOM (975 SQ FT)
LEVEL 1	—	—	—	—	—
LEVEL 2	2	1	1	—	—
LEVEL 3	2	—	—	1	1
LEVEL 4	2	—	—	1 BMR	1 BMR
LEVEL 5	2	—	—	1	1 BMR
LEVEL 6	2	—	—	1	1
LEVEL 7	2	—	—	1	1
LEVEL 8	2	—	—	1	1
	16 TWO-BEDROOM UNITS			12 ONE-BEDROOM UNITS (INCLUDING 3 BMR UNITS)	
TOTAL	28 UNITS (INCLUDING 3 BMR UNITS)				

REVISIONS

OWNER:

JS SULLIVAN DEVELOPMENT
2044 FILLMORE STREET, 3RD FLOOR
SAN FRANCISCO, CA 94115

ARCHITECT:

STANLEY SAIOWITZ |
NATOMA ARCHITECTS Inc.
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STORM WATER:

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CODE CONSULTANT:

ZARI GROUP
755 Baywood Drive
Petaluma, CA 94954
P 888.779.3397 C 925.381.2322

469 EDDY
469 EDDY STREET, SAN FRANCISCO, CA

TITLE:

UNIT PLANS
AND SCHED

SET:

PLANNING
COMMISSION

DATE:

04-05-2016

SCALE:

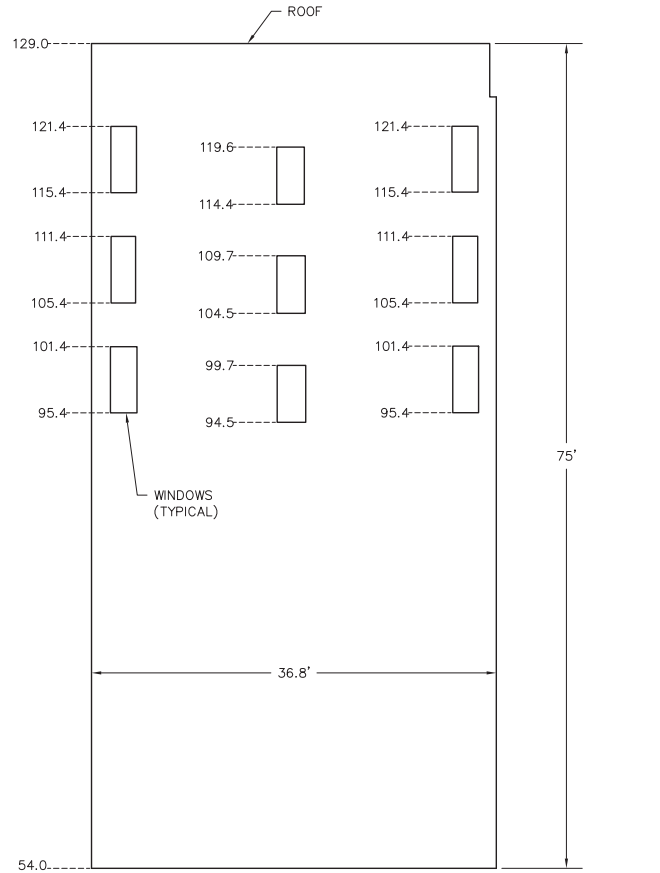
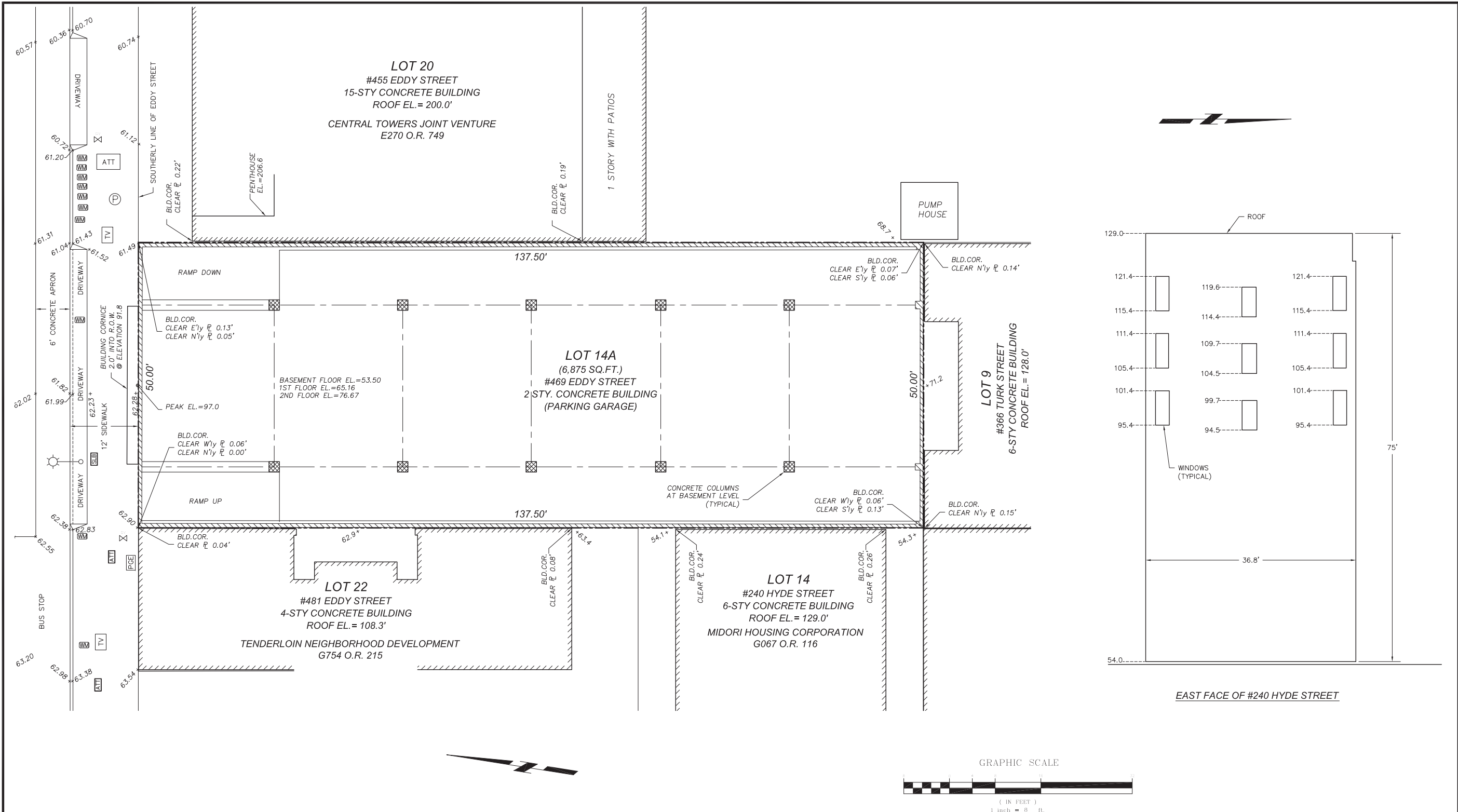
1/8" = 1'-0"

DRAWN:

SSJNAI
© 2016 EDDY STREET PROJECT

SHEET NO:

A7.0



SURVEYOR'S CERTIFICATE:

To JS SULLIVAN DEVELOPMENT, LLC, to OLD REPUBLIC TITLE COMPANY and to _____:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 2, 3, 4, 5, 6(a), 6(b), 7(a), 7(c), 8, 9, 10(a), 10(b), 11(a), 13, 16, 17, 20(a) and 21 of Table A thereof. The field work was completed on April 8, 2014.



Daniel J. Westover
SIGNATURE
Registration number: PLS-7779
DATE APRIL 22, 2014

336 CLAREMONT BLVD. STE 2
SAN FRANCISCO, CA 94127
(415) 242-5400
www.westoversurveying.com

WS
WESTOVER
SURVEYING

NO.	DATE	COMMENTS	JOB NO.
			14019

SURVEY DATE: 4/8/2014
DRAWN BY: DJW
CHECKED BY: DJW
SCALE: 1"=8'

WINDOW DETAIL OF #240 HYDE ST.

469 EDDY STREET
LOT 14A OF ASSESSOR'S BLOCK 0337
SAN FRANCISCO, CALIFORNIA

~SHEET~
1 OF 1