



SAN FRANCISCO PLANNING DEPARTMENT

Executive Summary Conditional Use Authorization

HEARING DATE: DECEMBER 10, 2015
CONSENT

Date: December 3, 2015
Case No.: **2014-003270CUA**
Project Address: **1126 Howard Street**
Zoning: RED (Residential Enclave) Zoning District
Western SOMA Special Use District
40-X Height and Bulk District
Block/Lot: 3727/014
Project Sponsor: John Kevlin, Reuben, Junius & Rose LLP
One Bush Street, Suite 600
San Francisco, CA 94104
Staff Contact: Richard Sucre – (415) 575-9108
richard.sucre@sfgov.org
Recommendation: **Approval with Conditions**

1650 Mission St.
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Information:
415.558.6377

PROJECT DESCRIPTION

The proposed project includes a change in use of 18,819 square feet from retail to office. The proposed project also includes exterior alterations, including replacement of the ground floor storefront windows, replacement of the windows on the second and third floors and installation of rooftop mechanical equipment. The project would also implement a Historic Building Maintenance Plan (HBMP) to ensure an on-going program of maintenance and rehabilitation.

SITE DESCRIPTION AND PRESENT USE

The project is located on a midblock rectangular through lot measuring 50-ft by 165-ft (approximately 8,245 square feet in size) on the east side of Howard Street between 7th and 8th Streets (Block 3727, Lot 014). The project site has 50-ft of frontage along Howard Street and 50-ft of frontage along Natoma Street. Constructed in 1930, 1126 Howard Street is a three-story former warehouse designed in an Art Deco architectural style. Currently, the existing building is vacant and was last legally used for retail use.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

The area surrounding the project site is mixed-use in character, and is located across from the Howard & Langton Mini Park. A variety of residential uses, commercial establishments, and light industrial properties are located within the surrounding area, including several apartment buildings, an art gallery, and a print shop. Along Howard Street, buildings in the immediate vicinity typically range from two to three stories in height, and contain residential, commercial or light industrial uses. Adjacent to the subject property is a five-story condominium and a three-story former warehouse. Along Natoma Street, buildings in the immediate vicinity are predominantly two-to-three-stories tall, and largely residential in

character. Other zoning districts within the vicinity of the project site include: WMUG (Western SoMa Mixed-Use General), Folsom St NCT (Neighborhood Commercial Transit), and MUO (Mixed Use Office).

ENVIRONMENTAL REVIEW

The Project is exempt from the California Environmental Quality Act (“CEQA”) as a Class 1 Categorical Exemption.

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Classified News Ad	20 days	November 20, 2015	November 20, 2015	20 days
Posted Notice	20 days	November 20, 2015	November 20, 2015	20 days
Mailed Notice	20 days	November 20, 2015	November 20, 2015	20 days

The proposal requires a Section 312 Neighborhood notification, which was conducted in conjunction with the Conditional Use Authorization notice.

PUBLIC COMMENT

As of December 3, 2015, the Department has not received any correspondence regarding the proposed project.

ISSUES AND OTHER CONSIDERATIONS

- Office Use in Qualified Historic Properties: Within the RED Zoning District, office use is generally not permitted except within qualified historic properties and with Conditional Use Authorization from the Planning Commission, as noted in Planning Code Sections 813.48 and 813.53. Per Planning Code Section 803.9(b), office use may be permitted in the RED Zoning District if the subject property is one of the following: 1) a designated landmark building per Article 10 of the Planning Code, 2) buildings designated as Category I-IV pursuant to Article 11 of this Code and located within the Extended Preservation District, or 3) a building listed in or determined individually eligible for the National Register of Historic Places or the California Register of Historical Resources by the State Office of Historic Preservation. As adopted by the Historic Preservation Commission in February 2011, 1126 Howard Street was assigned a California Historic Resource Status Code (CHRSC) of “3B,” which designates it as “appears eligible for NR both individually and as a contributor to a NR eligible district through survey evaluation.” Therefore, 1126 Howard Street qualifies for use of Planning Code Section 803.9(b).
- Office Development Authorization: Since the proposal is less than 25,000 square feet, the proposed project does not require an Office Development Authorization per Planning Code Sections 320 and 321.
- Historic Preservation Commission (HPC): On October 7, 2015, the HPC reviewed the proposed change in use and the associated Historic Building Maintenance Plan (HBMP), and found the project to be compliant with the Secretary of the Interior’s Standards for Rehabilitation. The HPC

also determined that the proposed project would enhance the feasibility of preserving the existing building, as noted in HPC Resolution No. 751.

- Development Impact Fees: Given the change in use from retail use to office, the Project does not trigger any development impact fees, such as Transit Impact Development Fee (See Planning Code Section 411), Jobs-Housing Linkage Fee (See Table 413.6B of the Planning Code), or Eastern Neighborhoods Infrastructure Impact Fees (See Table 423.3B of the Planning Code).

REQUIRED COMMISSION ACTION

In order for the project to proceed, the Commission must grant Conditional Use Authorization, pursuant Planning Code Sections 303, 803.9(b), 813.48, to allow office use in a qualified historic property and allow a change in use of 18,819 square feet from retail to office in the RED (Residential Enclave) Zoning District, Western SoMa Special Use District, and a 40-X Height and Bulk District.

BASIS FOR RECOMMENDATION

- The project promotes adaptive reuse within a qualified historic property, which is encouraged by the Western SoMa Area Plan.
- The project would maintain the subject building's historic character, would rehabilitate a historic resource, and would assist in maintaining the area's diverse economic base.
- The Zoning Administrator has determined that the office use would enhance the feasibility of preserving the subject property.
- The proposed use is supported by the Historic Preservation Commission, as documented in HPC Resolution No. 751.
- The project meets all applicable requirements of the Planning Code.
- The project is desirable for, and compatible with the surrounding neighborhood.

RECOMMENDATION: Approval with Conditions
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Attachments:

Draft Motion
Parcel Map
Sanborn Map
Zoning Map
Height and Bulk Map
Aerial Photos
Site Photos
Architectural Drawings
Historic Preservation Commission Resolution No. 751
Environmental Determination

Attachment Checklist

- | | |
|---|---|
| <input checked="" type="checkbox"/> Executive Summary | <input checked="" type="checkbox"/> Project sponsor submittal |
| <input checked="" type="checkbox"/> Draft Motion | Drawings: <u>Existing Conditions</u> |
| <input type="checkbox"/> Environmental Determination | <input checked="" type="checkbox"/> Check for legibility |
| <input checked="" type="checkbox"/> Zoning District Map | Drawings: <u>Proposed Project</u> |
| <input checked="" type="checkbox"/> Height & Bulk Map | <input checked="" type="checkbox"/> Check for legibility |
| <input checked="" type="checkbox"/> Parcel Map | <input type="checkbox"/> Health Dept. Review of RF levels |
| <input checked="" type="checkbox"/> Sanborn Map | <input type="checkbox"/> RF Report |
| <input checked="" type="checkbox"/> Aerial Photo | <input type="checkbox"/> Community Meeting Notice |
| <input type="checkbox"/> Context Photos | <input type="checkbox"/> Inclusionary Affordable Housing Program:
Affidavit for Compliance |
| <input checked="" type="checkbox"/> Site Photos | |

Exhibits above marked with an "X" are included in this packet

RS

Planner's Initials

RS: G:\Documents\Conditional Use Authorization\2014-003270CUA 1126 Howard St\ExecutiveSummary_1126 Howard St.doc



SAN FRANCISCO PLANNING DEPARTMENT

Subject to: (Select only if applicable)

- | | |
|--|--|
| <input type="checkbox"/> Affordable Housing (Sec. 415) | <input type="checkbox"/> First Source Hiring (Admin. Code) |
| <input type="checkbox"/> Jobs Housing Linkage Program (Sec. 413) | <input type="checkbox"/> Child Care Requirement (Sec. 414) |
| <input type="checkbox"/> Downtown Park Fee (Sec. 412) | <input type="checkbox"/> Other (EN Impact Fee, Sec. 423) |

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Planning Commission Draft Motion

HEARING DATE: DECEMBER 10, 2015

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Recommendation: **Approval with Conditions**

ADOPTING FINDINGS RELATING TO THE APPROVAL OF A CONDITIONAL USE AUTHORIZATION PURSUANT TO SECTIONS 303, 803.9(B) AND 813.48 OF THE PLANNING CODE TO PERMIT OFFICE USE WITHIN A QUALIFIED HISTORIC BUILDING AND ALLOW A CHANGE IN USE OF 18,819 SQUARE FEET FROM RETAIL TO OFFICE USE AT 1126 HOWARD STREET, LOT 014 IN ASSESSOR'S BLOCK 3727 WITHIN THE RED (RESIDENTIAL ENCLAVE) DISTRICT, WESTERN SOMA SPECIAL USE DISTRICT, AND A 40-X HEIGHT AND BULK DISTRICT.

PREAMBLE

On December 31, 2014, John Kevlin of Reuben, Junius & Rose LLP (hereinafter "Project Sponsor") on behalf of Alan Sagatleyan of Parkside Lending LLC (Property Owner) filed an application with the Planning Department (hereinafter "Department") for Conditional Use Authorization under Planning Code Sections 303, 803.9(b) and 813.48 of the Planning Code to permit office use within a qualified historic property to allow a change in use of 18,819 square feet from retail to office use at 1126 Howard Street within the RED (Residential Enclave) Zoning District, Western SOMA Special Use District and a 40-X Height and Bulk District.

On October 7, 2015, the San Francisco Historic Preservation Commission reviewed the proposed project, and provided a recommendation on the project's feasibility to preserve the subject building, as noted in

HPC Resolution No. 751. Subsequently, the Zoning Administrator has determined that the proposed office use would enhance the feasibility to preserve the subject building.

On December 10, 2015, the Commission conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Application No. 2014-003270CUA.

On December 30, 2014, the Project was determined to be exempt from the California Environmental Quality Act ("CEQA") as a Class 1 Categorical Exemption under CEQA as described in the determination contained in the Planning Department files for this Project.

The Planning Department, Jonas P. Ionin, is the custodian of records, located in the File for Case No. 2014-003270CUA at 1650 Mission Street, Fourth Floor, San Francisco, California.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

MOVED, that the Commission hereby authorizes the Conditional Use requested in Application No. 2014-003270CUA, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.
2. **Site Description and Present Use.** The project is located on a midblock rectangular through lot measuring 50-ft by 165-ft (approximately 8,245 square feet in size) on the east side of Howard Street between 7th and 8th Streets (Block 3727, Lot 014). The project site has 50-ft of frontage along Howard Street and 50-ft of frontage along Natoma Street. Constructed in 1930, 1126 Howard Street is a three-story former warehouse designed in an Art Deco architectural style. Currently, the existing building is vacant and was last legally used for retail.
3. **Surrounding Properties and Neighborhood.** The area surrounding the project site is mixed-use in character, and is located across from the Howard & Langton Mini Park. A variety of residential uses, commercial establishments, and light industrial properties are located within the surrounding area, including several apartment buildings, an art gallery, and a print shop. Along Howard Street, buildings in the immediate vicinity typically range from two to three stories in height, and contain residential, commercial or light industrial uses. Adjacent to the subject property is a five-story condominium and a three-story former warehouse. Along Natoma Street, buildings in the immediate vicinity are predominantly two-to-three-stories tall, and largely residential in character. Other zoning districts within the vicinity of the project site include:

WMUG (Western SoMa Mixed-Use General), Folsom St NCT (Neighborhood Commercial Transit), and MUO (Mixed Use Office).

4. **Project Description.** The proposed project includes a change in use of 18,819 square feet from retail to office. The proposed project also includes exterior alterations, including replacement of the ground floor storefront windows, replacement of the windows on the second and third floors and installation of rooftop mechanical equipment. The project would also implement a Historic Building Maintenance Plan (HBMP) to ensure an on-going program of maintenance and rehabilitation.
5. **Public Comment.** The Department has not received any public correspondence regarding the proposed project.
6. **Planning Code Compliance:** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:

- A. **Office Use in Historic Buildings in the RED Zoning District.** In qualified historic properties, Planning Code Section 803.9(b) states that office use is principally permitted if the Zoning Administrator, with the advice of the Historic Preservation Commission, determines that the proposed use will enhance the feasibility of preserving the building. Further, the Project requires Conditional Use Authorization from the Planning Commission, and must not contain any nighttime entertainment use.

1126 Howard Street is a qualified historic property, since it was determined to be individually-eligible for listing in the National Register of Historic Places within the South of Market Historic Resource Survey, which was adopted by the Historic Preservation Commission in February 2011. In addition, the proposal was reviewed by the Historic Preservation Commission on October 7, 2015, and was determined to enhance the feasibility of preserving the subject building, as documented in HPC Resolution No. 0751. The proposed project does not contain any nighttime entertainment uses. The Zoning Administrator has reviewed the Project, and has determined that the proposed use would enhance the feasibility of preserving the existing building. Therefore, the Project qualifies for use of Planning Code Section 803.9(b).

- B. **Open Space.** Planning Code Section 135.3 requires one square foot of useable open space for every fifty (50) square feet of occupied floor area of new office use within the RED Zoning District.

For the proposed 18,819 sq ft of office space, the Project is required to provide approximately 376 square feet of useable open space. The Project does not include any on-site open space. Per Planning Code Section 307(h), the Zoning Administrator may grant administrative relief from the non-residential open space requirement, and allow for the payment of the open space in-lieu fee, per Planning Code Section 426.

- C. **Off-Street Parking.** In the RED Zoning District, Planning Code Section 151.1 outlines parking maximums rather than parking minimums. Currently, the project is not required to provide off-street parking for the proposed uses.

The Project does not provide any off-street parking.

- D. **Bicycle Parking.** Planning Section 155.2 of the Planning Code requires at least one Class 1 bicycle parking spaces for every 5,000 sq. ft. of office use, and a minimum of two Class 2 bicycle parking space for any office use greater than 5,000 gsf, but less than 50,000 sq. ft. Therefore, the Project is required to provide 3 Class 1 bicycle parking spaces and 2 Class 2 bicycle parking spaces.

The Project will provide 16 Class 1 bicycle parking spaces. Therefore, the proposed project complies with Planning Code Section 155.2.

- E. **Shower Facility and Clothes Locker Requirement.** Planning Section 155.4 of the Planning Code requires at least one shower and six clothes lockers when gross square footage exceeds 10,000 square feet but is not greater than 20,000 square feet of the office use floor area.

The Project will provide one shower and six clothes lockers. Therefore, the Project meets this Planning Code requirement.

7. **Planning Code Section 303** establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use approval. On balance, the project does comply with said criteria in that:

- (1) The proposed new uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.

The Project includes a change in use from retail to office within a qualified historic property. The size and intensity of the new office use is necessary and desirable for this neighborhood and the surrounding community because the new use will allow for the rehabilitation of a historic landmark and will improve the character of the surrounding neighborhood through the implementation of a Historic Building Maintenance Plan (HBMP). The immediate area is extremely varied in character and features a variety of uses, including light industrial, commercial, and residential. The subject building is a well-preserved historic resource and contributes to the street wall, texture and character of the surrounding neighborhood. The new office use will complement the mix of goods and services currently available in the surrounding district and will contribute to the economic vitality of the neighborhood by preserving, rehabilitating and restoring a historic resource, which is a positive contribution to the neighborhood.

- (2) That such use or feature as proposed will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity, or injurious to

property, improvements or potential development in the vicinity, with respect to aspects including but not limited to the following:

- i. Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

The height and bulk of the existing building will remain the same. The Project will preserve and rehabilitate the exterior of the subject building, and will remove inappropriate alterations that have occurred over the project's lifetime. The Project will incorporate new compatible alterations, including new upper story windows and a new storefront. The proposed use would be complimentary to the surrounding neighborhood, which already has a wide mix of uses from residential to commercial to industrial. Overall, this work will be beneficial to the surrounding neighborhood and the historic resource.

- ii. The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

The Planning Code does not require off-street parking for the Project. The Project would not generate significant amounts of vehicular trips from the immediate neighborhood or citywide. The subject property is easily accessible by public transit.

- iii. The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

The Project will comply with the City's requirements to minimize noise, glare, odors, or other harmful emissions. As a change in use from retail to office, the Project is not expected to result in noxious or offensive emissions.

- iv. Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

The Project will add new exterior lighting, historically-appropriate windows on the upper levels and a new compatible storefront on the ground floor. This new work will be beneficial to the surrounding neighborhood because it will improve the larger neighborhood character and would reactivate a vacant storefront. The proposal will not include loading or service areas, unusual lighting or signage.

- (3) That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

The Project complies with all relevant requirements and standards of the Planning Code and is consistent with objectives and policies of the General Plan.

- (4) That the use as proposed would provide development that is in conformity with the purpose of the applicable Neighborhood Commercial District.

The Project is not located in a Neighborhood Commercial District.

8. **General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

COMMERCE AND INDUSTRY

Objectives and Policies

OBJECTIVE 2:

MAINTAIN AND ENHANCE A SOUND AND DIVERSE ECONOMIC BASE AND FISCAL STRUCTURE FOR THE CITY.

Policy 2.1:

Seek to retain existing commercial and industrial activity and to attract new such activity to the City.

OBJECTIVE 3:

PROVIDE EXPANDED EMPLOYMENT OPPORTUNITIES FOR CITY RESIDENTS, PARTICULARLY THE UNEMPLOYED AND ECONOMICALLY DISADVANTAGE.

Policy 3.4:

Assist newly emerging economic activities.

The Project will introduce a new office use within the neighborhood, which will enhance the diverse economic base of the City.

URBAN DESIGN

Objectives and Policies

OBJECTIVE 2:

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWING.

Policy 2.4:

Preserve notable landmarks and areas of historic, architectural or aesthetic value, and promote the preservation of other buildings and features that provide continuity with past development.

Policy 2.5:

Use care in remodeling of older buildings, in order to enhance rather than weaken the original character of such buildings.

The Project will preserve, reuse, and rehabilitate a historic resource according to the Secretary of the Interior's Standards for Rehabilitation. The Project will provide for a compatible new use, which will result in removing incompatible alterations to the subject property.

WESTERN SOMA AREA PLAN

LAND USE

Objectives and Policies

OBJECTIVE 1.2:

ENCOURAGE PRESERVATION OF EXISTING AND VIABLY APPROPRIATE NEW LAND USES IN LOCATIONS THAT PROVIDE THE GREATEST OPPORTUNITIES FOR SUCCESS AND MINIMIZE CONFLICT WITH RESIDENTIAL USES.

Policy 1.2.6:

Include development impact fees from the Western SoMa SUD in the Eastern Neighborhoods Community Benefit Fund.

NEIGHBORHOOD ECONOMY

Objectives and Policies

OBJECTIVE 2.1:

RETAIN AND ENCOURAGE GROWTH OPPORTUNITIES.

Policy 2.1.7:

Encourage innovation, creativity and start-up business opportunities through adaptive re-use programs that encourage building rehabilitation over demolition and new construction proposals.

URBAN DESIGN AND BUILT FORM

Objectives and Policies

OBJECTIVE 2.1:

Reinforce the diversity of the existing built form and the warehouse, industrial and alley character.

Policy 5.1.3:

Encourage and support the preservation and adaptive re-use of historic and social heritage neighborhood resources.

Policy 5.1.4:

Continue to develop and codify a clear and coherent historic resource adaptive re-use program for the Western SoMa SUD that reinforces and builds on the Secretary of the Interior adaptive re-use standards.

Policy 5.1.6:

Encourage a mix of uses rather than mixed use developments.

PRESERVATION/SOCIAL HERITAGE AND CULTURAL PRESERVATION

Objectives and Policies

OBJECTIVE 6.2:

Protect historic and cultural resources.

Policy 6.2.2:

Protect individually designated resources and resources that are valuable as a group.

OBJECTIVE 6.3:

Demonstrate leadership through preservation, rehabilitation and adaptive re-use.

Policy 6.3.2:

Preserve, restore, and rehabilitate social heritage assets with an appropriate re-use that responds to the “adaptive re-use analysis” and “adaptive re-use programs” proposed in the Western SoMa SUD.

Generally, the Western SoMa Area Plan encourages the preservation and reuse of historic buildings. The Project is consistent with the policies and objectives of the Western SoMa Area Plan. The Project will contribute to the economic diversity and mixed-use character of the neighborhood and will reuse and restore a historic resource.

9. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project does comply with said policies in that:
 - A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

The Project will not significantly affect the availability neighborhood serving retail uses, as numerous retail uses will still be present in the area. The existing building did not contain any neighborhood-serving retail uses. The proposal will introduce a new office use, which will bring new patrons to the area that will frequent the surrounding retail uses.
 - B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

The existing building does not contain any existing housing. The Project will not impact the existing housing or neighborhood character, which already includes residential, commercial, and light industrial uses.

- C. That the City's supply of affordable housing be preserved and enhanced,

The Project will not impact any of the existing housing, since no housing exists on the project site.

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

The Project will not alter the existing commuter traffic patterns. The existing building is within walking distance to public transportation options. The location of the site will enable employees and visitors to the building to walk, bike, or use public transit. Parking is not required for the new office use per Planning Code Section 151.1.

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

Currently, the existing building is vacant, and was most recently used for retail. The existing building did not contain any industrial or service sector jobs. The Project will assist in maintaining a diverse economic base by introducing new office use. No industrial or service sector jobs will be impacted by the Project.

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The Project will conform to the structural and seismic safety requirements of the City Building Code. The proposal will not impact the property's ability to withstand an earthquake.

- G. That landmarks and historic buildings be preserved.

1126 Howard Street is a historic resource. As recognized by the Historic Preservation Commission (HPC) in HPC Resolution No. 0671, the proposed project will enhance the feasibility to preserve the existing building by converting the building into office use.

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

The Project will have no negative impact on existing parks and open spaces. The Project has no impact on open spaces.

10. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
11. The Commission hereby finds that approval of the Conditional Use Authorization would promote the health, safety and welfare of the City.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Application No. 2014-003270CUA** under Planning Code Sections 303, 803.9(b) and 813.48 to establish office use within a qualified historic property and a change the use of 18,819 square feet from retail to office at 1126 Howard Street within the RED (Residential Enclave) Zoning District, Western SOMA Special Use District, and a 40-X Height and Bulk District. The project is subject to the following conditions attached hereto as "EXHIBIT A" in general conformance with plans on file, dated September 16, 2015, and stamped "EXHIBIT B", which is incorporated herein by reference as though fully set forth.

APPEAL AND EFFECTIVE DATE OF MOTION: Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion No. XXXXX. The effective date of this Motion shall be the date of this Motion if not appealed (After the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

Protest of Fee or Exaction: You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development.

If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission's adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator's Variance Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives **NOTICE** that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period.

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on December 10, 2015.

Jonas P. Ionin
Commission Secretary

AYES:

NAYS:

ABSENT:

ADOPTED: December 10, 2015

EXHIBIT A

AUTHORIZATION

This authorization is for a conditional use to establish office use within a qualified historic property and a change in use of 18,819 square feet from retail to office located at 1126 Howard Street, Block 3727 and Lot 014 pursuant to Planning Code Section 303, 803.9(b) and 813.48 within the RED Zoning District, Western SOMA Special Use District, and a 40-X Height and Bulk District; in general conformance with information stamped "EXHIBIT B" included in the docket for Case No. 2014-003270CUA and subject to conditions of approval reviewed and approved by the Commission on December 10, 2015 under Motion No. XXXXX. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

RECORDATION OF CONDITIONS OF APPROVAL

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on December 10, 2015 under Motion No. XXXXX.

PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. XXXXX shall be reproduced on the Index Sheet of construction plans submitted with the Site or Building permit application for the Project. The Index Sheet of the construction plans shall reference to the Office Development Authorization and any subsequent amendments or modifications.

SEVERABILITY

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new authorization.

Conditions of Approval, Compliance, Monitoring, and Reporting

PERFORMANCE

Validity. The authorization and right vested by virtue of this action is valid for three (3) years from the effective date of the Motion. The Department of Building Inspection shall have issued a Building Permit or Site Permit to construct the project and/or commence the approved use within this three-year period.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

Expiration and Renewal. Should a Building or Site Permit be sought after the three (3) year period has lapsed, the project sponsor must seek a renewal of this Authorization by filing an application for an amendment to the original Authorization or a new application for Authorization. Should the project sponsor decline to so file, and decline to withdraw the permit application, the Commission shall conduct a public hearing in order to consider the revocation of the Authorization. Should the Commission not revoke the Authorization following the closure of the public hearing, the Commission shall determine the extension of time for the continued validity of the Authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

Diligent Pursuit. Once a site or Building Permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. Failure to do so shall be grounds for the Commission to consider revoking the approval if more than three (3) years have passed since this Authorization was approved.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

Extension. All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

Conformity with Current Law. No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

DESIGN

Final Materials. The Project Sponsor shall continue to work with Planning Department on the building design. Final materials, glazing, color, texture, landscaping, and detailing shall be subject to Department staff review and approval. The architectural addenda shall be reviewed and approved by the Planning Department prior to issuance.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

Garbage, Composting and Recycling Storage. Space for the collection and storage of garbage, composting, and recycling shall be provided within enclosed areas on the property and clearly labeled and illustrated on the architectural addenda. Space for the collection and storage of recyclable and compostable materials that meets the size, location, accessibility and other standards specified by the San Francisco Recycling Program shall be provided at the ground level of the buildings.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org.

MONITORING

Enforcement. Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

Revocation due to Violation of Conditions. Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

PARKING AND TRAFFIC

Bicycle Parking. Pursuant to Planning Code Sections 155.2, the Project shall provide no fewer than 5 bicycle parking spaces (3 Class 1 spaces and 2 Class 2 spaces).

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

OPERATION

Community Liaison. Prior to issuance of a building permit to construct the project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator with written notice of the name, business address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator shall be made

aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.

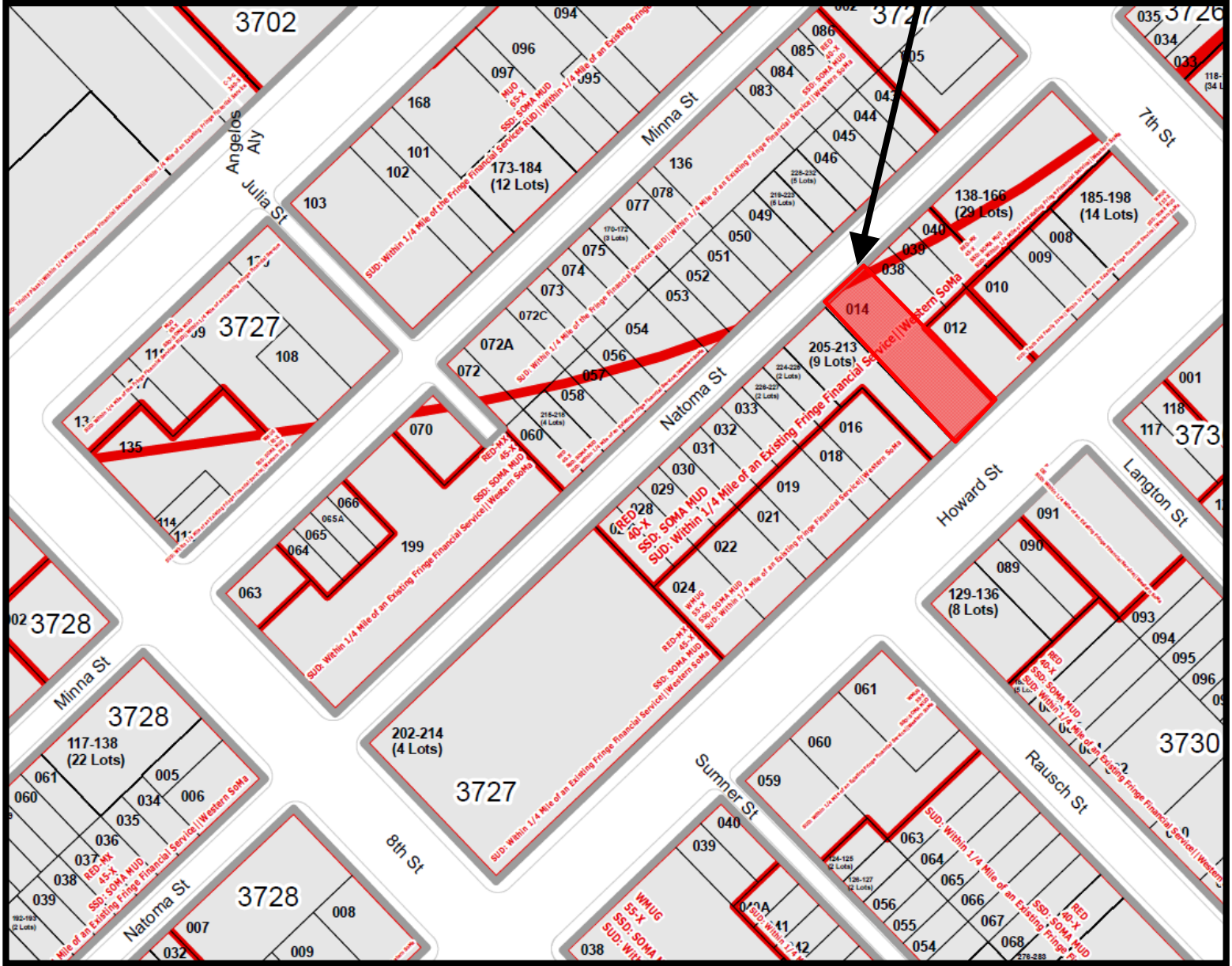
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

Sidewalk Maintenance. The Project Sponsor shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Streets and Sidewalk Maintenance Standards.

For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works, 415-695-2017, <http://sfdpw.org>

Parcel Map

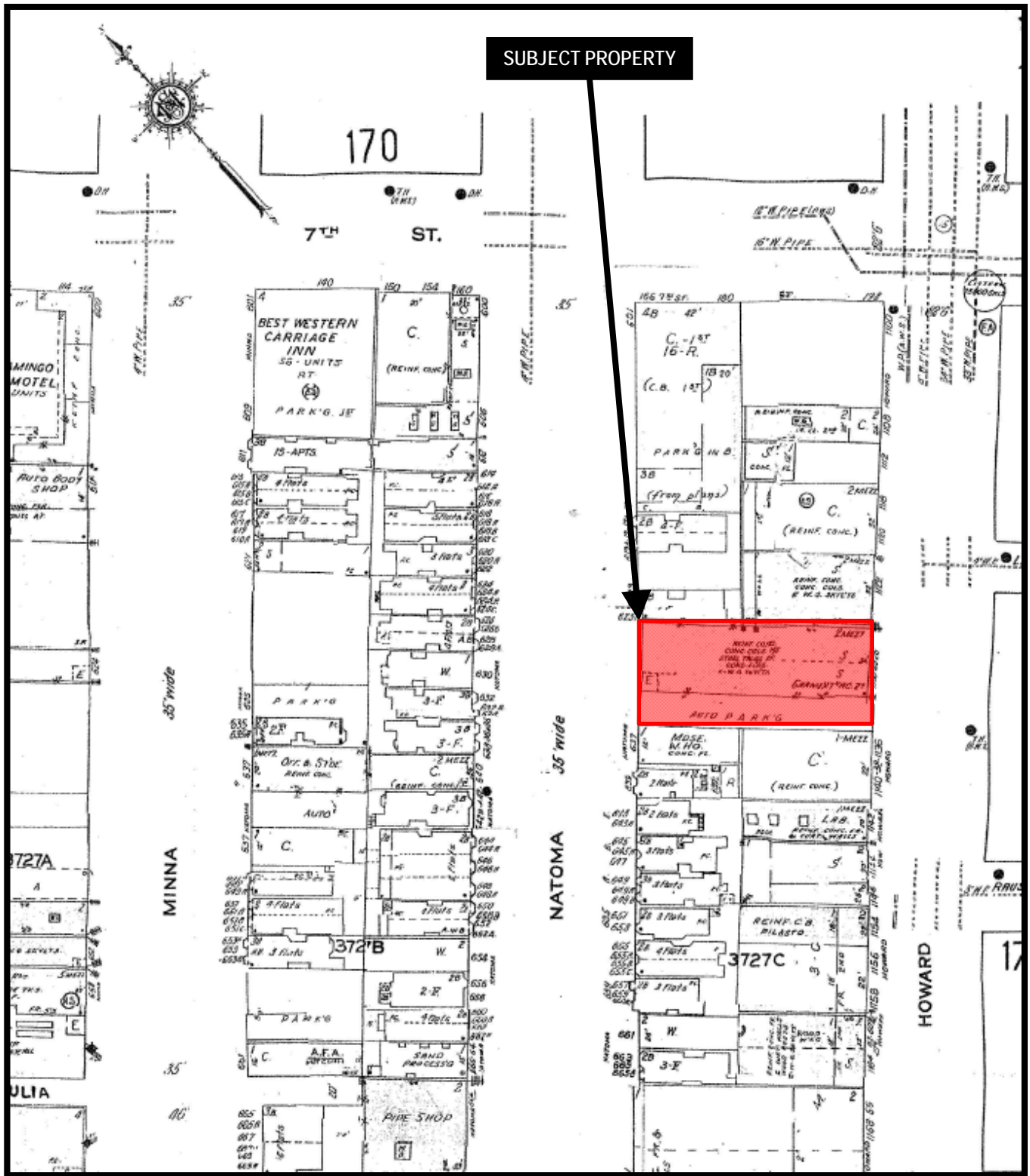
SUBJECT PROPERTY



Conditional Use Authorization Hearing
Case Number 2014-003270CUA
1126 Howard Street



Sanborn Map*

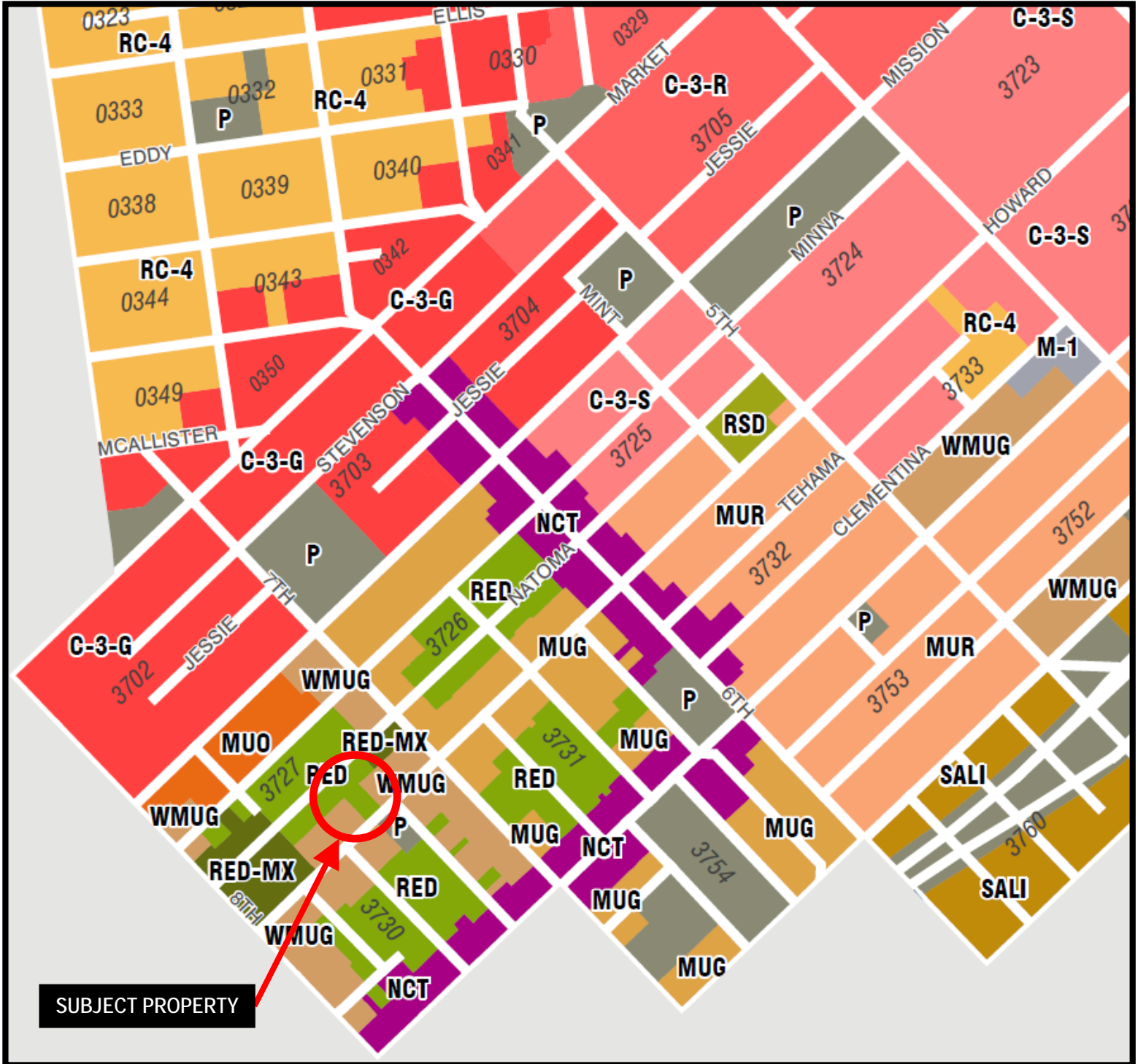


*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.

Conditional Use Authorization Hearing
Case Number 2014-003270CUA
1126 Howard Street



Zoning Map

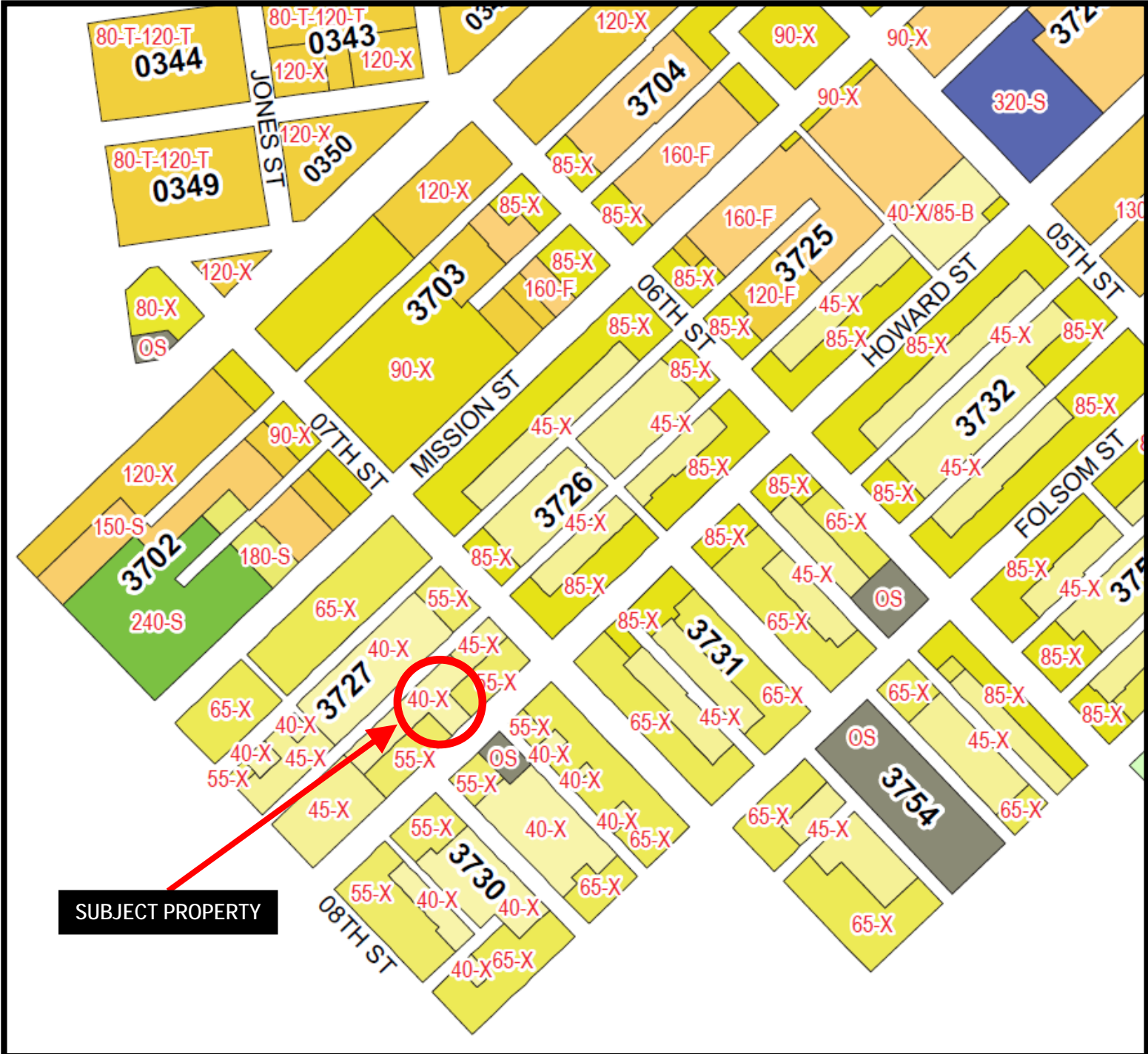


SUBJECT PROPERTY



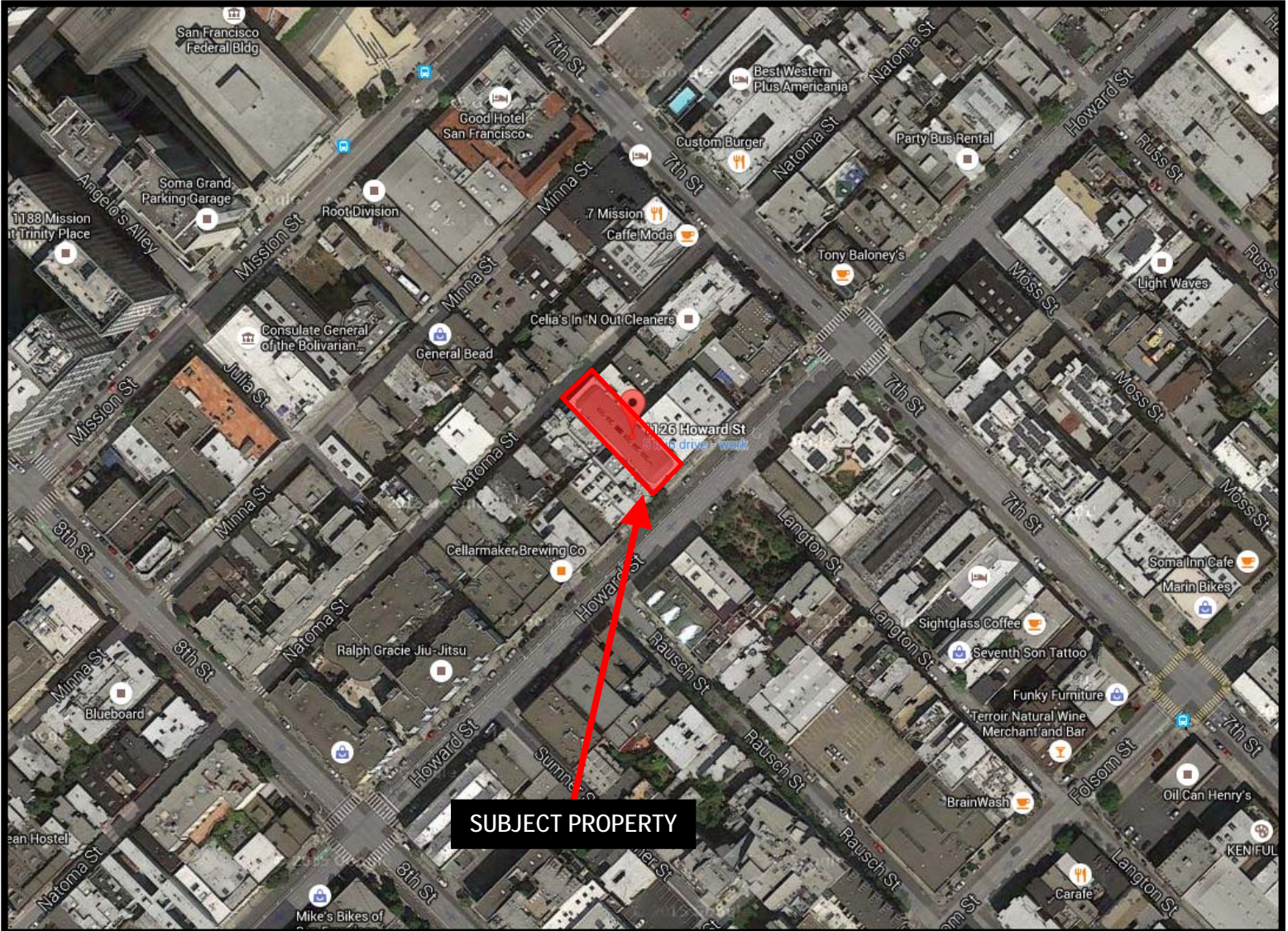
Conditional Use Authorization Hearing
Case Number 2014-003270CUA
1126 Howard Street

Height & Bulk Map



Conditional Use Authorization Hearing
Case Number 2014-003270CUA
1126 Howard Street

Aerial Photo



Conditional Use Authorization Hearing
Case Number 2014-003270CUA
1126 Howard Street

Site Photo



1126 Howard Street (Google Maps, July 2015)

Conditional Use Authorization Hearing
Case Number 2014-003270CUA
1126 Howard Street

Site Photo



1126 Howard Street, View along Natoma Street (Google Maps, February 2015)

Conditional Use Authorization Hearing
Case Number 2014-003270CUA
1126 Howard Street

REUBEN, JUNIUS & ROSE, LLP

December 2, 2015

Sent Via Hand Delivery

President Rodney Fong
San Francisco Planning Commission
1650 Mission Street, Suite 400
San Francisco, CA 94103

Re: 1126 Howard Street – Conditional Use Request
Case No. 2014.003270CUA
Hearing Date: December 10, 2015
Our File No.: 8588.01

Dear President Fong:

This office represents Parkside Lending, the project sponsor (“Project Sponsor”) of the renovation and office conversion of the existing commercial building located at 1126 Howard Street (the “Property”). The Property consists of two stories plus a mezzanine and a total of 18,819 square feet. The Project Sponsor proposes to establish office use in the entire building in order to relocate its existing company to the Property.

The Project should be approved for the following reasons:

- The Project will allow for the expansion of a San Francisco-based, non-tech company from 75 to 150 employees.
- The Property is zoned RED, which prohibits PDR uses.
- The Project will result in the rehabilitation and ongoing maintenance of an individually-important historic building.
- No office allocation is required since only 18,819 square feet of office is being created.

A. Legal and Policy Background

The Project proposes one of the few permitted non-residential uses in the existing commercial building.

James A. Reuben | Andrew J. Junius | Kevin H. Rose | Daniel A. Frattin
Sheryl Reuben¹ | David Silverman | Thomas Tunny | Jay F. Drake | John Kevin
Lindsay M. Petrone | Melinda A. Sarjapur | Mark H. Loper | Jody Knight | Jared Eigerman^{2,3} | John McInerney III²

1. Also admitted in New York 2. Of Counsel 3. Also admitted in Massachusetts

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1. Non-Residential Uses Significantly Restricted in the RED District

The existing commercial building was constructed in 1930 and in 2013 was rezoned into a Residential Enclave zoning district ("RED"). The RED district prohibits almost all non-residential uses, including all PDR uses. However, the RED district does allow for retail and office uses in buildings that have been determined individually eligible for the California Register of Historical Resources. The building was determined individually eligible as a result of the Planning Department's South of Market historic resources survey.

2. PDR Protection Zones in Eastern Neighborhoods

There are several zones throughout the Eastern Neighborhoods where PDR use is protected, both in the Planning Code and by express policies. The SLI, SALI, PDR-1-D and PDR-1-G zoning districts were established with the express intent of encouraging and preserving PDR uses. As the Planning Department has been studying future zoning in the Central SoMa Plan area, some concern has been raised about preserving existing PDR space in the future zoning for the area. In September of 2014, Supervisor Kim sponsored emergency legislation that prohibited any project eliminating existing PDR use in the Central SoMa Plan area. The legislation was enacted and the moratorium will be in place until after the Central SoMa Area Plan is approved.

The Property is not located in any PDR-protective zoning district. Further, the Property is not located within the Central SoMa PDR moratorium area. Again, PDR use is prohibited in the RED zoning district.

B. San Francisco-Based, Non-Tech Company

The Project Sponsor, Parkside Lending, was founded in San Francisco 11 years ago, and its principals, Matt Ostrander and Alan Sagtelyan, have worked in San Francisco for over 25 years. Parkside Lending provides mortgage financing for one- to four-unit family housing. They offer a wide variety of credit to all types of borrowers. They are an approved seller and servicer for Fannie Mae, Freddie Mac, the Department of Housing and Urban Development, the Veterans Administration, the Department of Agriculture, and Ginnie Mae. Parkside Lending is unique in that it offers low down payment loans and other credit options to serve the needs of lower income borrowers.

Parkside Lending currently employs 75 people in San Francisco. It is not a tech company and a significant portion of its employees (more than 30%) do not have college degrees.

Parkside Lending currently operates at 180 Redwood Street just off of Civic Center. In 2014, due to increasing rent, they purchased the Property in order to move their operations and

stabilize their location within San Francisco. The new space will also allow them to increase their San Francisco-based workforce from 75 to 150 employees within the next 18 months.

Beyond providing mortgage lending to borrowers along a wide spectrum of economic levels, Parkside Lending includes community service as part of its mission. In recent years, Parkside Lending has dedicated significant time and resources to raising money for the victims of the Nepal earthquake, for the National Parks Conservation Association, and the Community Heroes Program (a pilot school program that emphasizes community service to their students). They also run an annual food drive during the holidays. Parkside Lending is a member of the San Francisco philanthropic community that actively contributes to in-need communities and charitable causes.

Parkside Lending's CEO, Matt Ostrander, is a valuable resource in San Francisco's financial services industry. He is currently the President of Residential Real Estate for the California Mortgage Bankers Association (CMBA) and serves on the Freddie Mac Advisory Board. Matt has recently chaired several CBMA conferences here in San Francisco, including the Western Secondary Marketing Conference and the California Sales and Marketing Conference.

The Project would maintain a San Francisco-based, non-tech company in the city, as well as allow it to double its workforce in the coming years.

D. Benefits of the Project

- Allows a San Francisco-based company to maintain its operations in the city despite increasing office rents;
- Provides a sensitive office use that will not be offensive or cause conflicts with surrounding residential uses;
- Rehabilitates and maintains in perpetuity a priority historic building in West SoMa;
- Creates employment space for workers in a transit rich area of the City.

E. Conclusion

The Project would provide a space for a San Francisco-based company for many years to come. It would also provide new employment opportunities for those with and without college degrees, as Parkside Lending intends to increase its workforce from 75 to 150 employees in the next 18 months. Parkside Lending has made a positive contribution to San Francisco's business

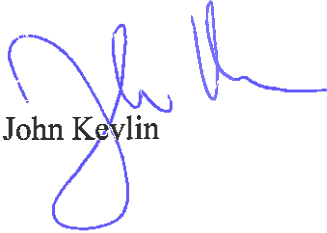
President Fong and Commissioners
December 2, 2015
Page 4

and employment community for 11 years, and the Project would allow it to stabilize its operations.

For these reasons, we respectfully request that the Planning Commission approve the conditional use application for the proposed office use at the Property.

Very truly yours,

REUBEN, JUNIUS & ROSE, LLP



John Kevlin

Enclosures

cc: Vice President Cindy Wu
Commissioner Mike Antonini
Commissioner Rich Hillis
Commissioner Christine Johnson
Commissioner Kathrin Moore
Commissioner Dennis Richards
Commission Secretary Jonas Ionin
Planner Rich Sucre
Project Sponsor

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REUBEN, JUNIUS & ROSE, LLP

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SAN FRANCISCO PLANNING DEPARTMENT

Historic Preservation Commission Resolution No. 0751

HEARING DATE: October 7, 2015

Case No.: 2014-003270CUA
Project Address: 1126 Howard Street
Zoning: RED (Residential Enclave) Zoning District
Block/Lot: 3727/014
Project Sponsor: John Kevlin, Rueben & Junius
Staff Contact: Richard Sucre – (415) 575-9108
richard.sucre@sfgov.org
Reviewed By: Tim Frye, Preservation Coordinator
tim.frye@sfgov.org

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

ADOPTING FINDINGS PURSUANT TO PLANNING CODE SECTION 803.9(B) REGARDING THE FEASIBILITY OF PRESERVING A HISTORIC BUILDING AT 1126 HOWARD STREET (ASSESSOR'S BLOCK 3727, LOT 014), LOCATED WITHIN RED (RESIDENTIAL ENCLAVE) ZONING DISTRICT, WESTERN SOMA SPECIAL USE DISTRICT AND 40-X HEIGHT AND BULK DISTRICT.

PREAMBLE

1. WHEREAS, on December 31, 2014, the Project Sponsor (Rueben & Junius) filed a Conditional Use Authorization Application with the San Francisco Planning Department for 1126 Howard Street (Block 3727, Lot 014).
2. WHEREAS, the proposed project intends to utilize Planning Code Section 803.9(b) to allow a change in use of 18,819 square feet from retail to office at 1126 Howard Street. Pursuant to Planning Code Section 803.9(b), the following provision is intended to support the economic viability of buildings of historic importance within an Eastern Neighborhoods Mixed Use District:

This subsection applies only to buildings in RED and RED-MX Districts that are a designated landmark building per Article 10 of the Planning Code, buildings designated as Category I-IV pursuant to Article 11 of this Code and located within the Extended Preservation District, or a building listed in or determined individually eligible for the National Register of Historic Places or the California Register of Historical Resources by the State Office of Historic Preservation.

A. Retail and office uses, as defined in Planning Code Sections 890.104 and 890.70, respectively, are permitted only with conditional use authorization, pursuant to Planning Code Section 303, provided that:

- i. The project does not contain any nighttime entertainment use.

- ii. Prior to the issuance of any necessary permits, the Zoning Administrator, with the advice of the Historic Preservation Commission, determines that allowing the use will enhance the feasibility of preserving the building
3. WHEREAS, on October 7, 2015, the Department presented the proposed project to the Historic Preservation Commission. The Commission's comments on the compliance of the proposed project with the Secretary of the Interior's Standards for Rehabilitation and the ability of the proposed project to enhance the feasibility of the historic resource would be forwarded to the Planning Commission for consideration under Planning Code Section 803.9(b).

THEREFORE BE IT RESOLVED that the Historic Preservation Commission has reviewed the proposed project at 1126 Howard Street, on Lot 014 in Assessor's Block 3727, and this Commission has provided the following comments:

- The proposed project is compliant with the Secretary of the Interior's Standards of Rehabilitation.
- The Historic Building Maintenance Plan appropriately outlines a program for cyclical maintenance, repair and restoration, and proactively seeks to rectify inappropriate alterations to the subject property, thus reinforcing the building's historic character.

BE IT FURTHER RESOLVED that the Historic Preservation Commission hereby directs its Recording Secretary to transmit this Resolution, and other pertinent materials in the Case File No. 2014-003270CUA to the Planning Commission.

I hereby certify that the foregoing Resolution was ADOPTED by the Historic Preservation Commission at its regularly scheduled meeting on October 7, 2015.

Jonas P. Ionin
Commission Secretary

PRESENT: Hasz, Hyland, Johnck, Matsuda and Wolfram

ABSENT: Johns and Pearlman

ADOPTED: October 7, 2015



SAN FRANCISCO PLANNING DEPARTMENT

CEQA Categorical Exemption Determination

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address		Block/Lot(s)	
1126-1130 Howard Street		3727/014	
Case No.	Permit No.	Plans Dated	
2014-002209ENV			
<input checked="" type="checkbox"/> Addition/ Alteration	<input type="checkbox"/> Demolition (requires HRER if over 45 years old)	<input type="checkbox"/> New Construction	<input type="checkbox"/> Project Modification (GO TO STEP 7)
Project description for Planning Department approval. Change of use from retail to office. Interior tenant improvements. Change of use to office would create a lower occupancy rate.			

STEP 1: EXEMPTION CLASS

TO BE COMPLETED BY PROJECT PLANNER

Note: If neither class applies, an <i>Environmental Evaluation Application</i> is required.	
<input checked="" type="checkbox"/>	Class 1 – Existing Facilities. Interior and exterior alterations; additions under 10,000 sq. ft.
<input type="checkbox"/>	Class 3 – New Construction/ Conversion of Small Structures. Up to three (3) new single-family residences or six (6) dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input type="checkbox"/>	Class__

STEP 2: CEQA IMPACTS

TO BE COMPLETED BY PROJECT PLANNER

If any box is checked below, an <i>Environmental Evaluation Application</i> is required.	
<input type="checkbox"/>	Transportation: Does the project create six (6) or more net new parking spaces or residential units? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?
<input type="checkbox"/>	Air Quality: Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g., backup diesel generators, heavy industry, diesel trucks, etc.)? (refer to EP_ArcMap > CEQA Catex Determination Layers > Air Pollution Exposure Zone)
<input type="checkbox"/>	Hazardous Materials: If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential? If yes, this box must be checked and the project applicant must submit an Environmental Application with a Phase I Environmental Site Assessment. <i>Exceptions: do not check box if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Maher program, a DPH waiver from the</i>

	<i>Maher program, or other documentation from Environmental Planning staff that hazardous material effects would be less than significant (refer to EP_ArcMap > Maher layer).</i>
<input type="checkbox"/>	Soil Disturbance/Modification: Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non-archeological sensitive area? (refer to EP_ArcMap > CEQA Catex Determination Layers > Archeological Sensitive Area)
<input type="checkbox"/>	Noise: Does the project include new noise-sensitive receptors (schools, day care facilities, hospitals, residential dwellings, and senior-care facilities) fronting roadways located in the noise mitigation area? (refer to EP_ArcMap > CEQA Catex Determination Layers > Noise Mitigation Area)
<input type="checkbox"/>	Subdivision/Lot Line Adjustment: Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography)
<input type="checkbox"/>	Slope = or > 20% : Does the project involve excavation of 50 cubic yards of soil or more, square footage expansion greater than 1,000 sq. ft., shoring, underpinning, retaining wall work, or grading on a lot with a slope average of 20% or more? <i>Exceptions: do not check box for work performed on a previously developed portion of site, stairs, patio, deck, or fence work. (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography)</i> If box is checked, a geotechnical report is required and a Certificate or higher level CEQA document required
<input type="checkbox"/>	Seismic: Landslide Zone: Does the project involve excavation of 50 cubic yards of soil or more, square footage expansion greater than 1,000 sq. ft., shoring, underpinning, retaining wall work, grading –including excavation and fill on a landslide zone – as identified in the San Francisco General Plan? <i>Exceptions: do not check box for work performed on a previously developed portion of the site, stairs, patio, deck, or fence work. (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones)</i> If box is checked, a geotechnical report is required and a Certificate or higher level CEQA document required
<input type="checkbox"/>	Seismic: Liquefaction Zone: Does the project involve excavation of 50 cubic yards of soil or more, square footage expansion greater than 1000 sq ft, shoring, underpinning, retaining wall work, or grading on a lot in a liquefaction zone? <i>Exceptions: do not check box for work performed on a previously developed portion of the site, stairs, patio, deck, or fence work. (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones)</i> If box is checked, a geotechnical report will likely be required
<input type="checkbox"/>	Serpentine Rock: Does the project involve any excavation on a property containing serpentine rock? <i>Exceptions: do not check box for stairs, patio, deck, retaining walls, or fence work. (refer to EP_ArcMap > CEQA Catex Determination Layers > Serpentine)</i>
*If no boxes are checked above, GO TO STEP 3. If one or more boxes are checked above, an <u>Environmental Evaluation Application</u> is required, unless reviewed by an Environmental Planner.	
<input checked="" type="checkbox"/>	Project can proceed with categorical exemption review. The project does not trigger any of the CEQA impacts listed above.
Comments and Planner Signature (optional): Laura Lynch <small>Digitally signed by Laura Lynch DN: cn=Laura Lynch, o=San Francisco Planning and Environmental Review, ou=Environmental Planning, email=llynch@sfplanning.org, c=US Date: 21.11.2014 17:28:00 -0800</small>	

**STEP 3: PROPERTY STATUS – HISTORIC RESOURCE
TO BE COMPLETED BY PROJECT PLANNER**

PROPERTY IS ONE OF THE FOLLOWING: (refer to Parcel Information Map)	
<input checked="" type="checkbox"/>	Category A: Known Historical Resource. GO TO STEP 5.
<input type="checkbox"/>	Category B: Potential Historical Resource (over 45 years of age). GO TO STEP 4.
<input type="checkbox"/>	Category C: Not a Historical Resource or Not Age Eligible (under 45 years of age). GO TO STEP 6.

**STEP 4: PROPOSED WORK CHECKLIST
TO BE COMPLETED BY PROJECT PLANNER**

Check all that apply to the project.	
<input type="checkbox"/>	1. Change of use and new construction. Tenant improvements not included.
<input type="checkbox"/>	2. Regular maintenance or repair to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	3. Window replacement that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. Garage work. A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	5. Deck, terrace construction, or fences not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. Mechanical equipment installation that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. Dormer installation that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	8. Addition(s) that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
Note: Project Planner must check box below before proceeding.	
<input type="checkbox"/>	Project is not listed. GO TO STEP 5.
<input type="checkbox"/>	Project does not conform to the scopes of work. GO TO STEP 5.
<input type="checkbox"/>	Project involves four or more work descriptions. GO TO STEP 5.
<input type="checkbox"/>	Project involves less than four work descriptions. GO TO STEP 6.

**STEP 5: CEQA IMPACTS – ADVANCED HISTORICAL REVIEW
TO BE COMPLETED BY PRESERVATION PLANNER**

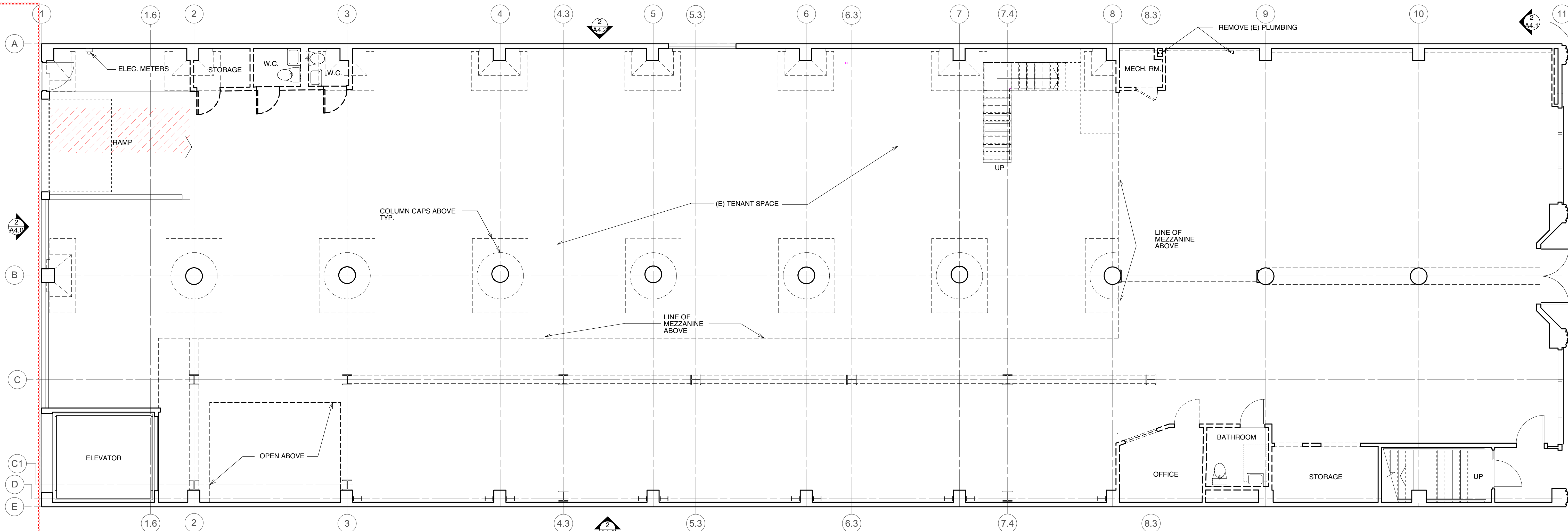
Check all that apply to the project.	
<input type="checkbox"/>	1. Project involves a known historical resource (CEQA Category A) as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	2. Interior alterations to publicly accessible spaces.
<input type="checkbox"/>	3. Window replacement of original/historic windows that are not "in-kind" but are consistent with existing historic character.
<input type="checkbox"/>	4. Façade/storefront alterations that do not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	5. Raising the building in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	6. Restoration based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.
<input type="checkbox"/>	7. Addition(s) , including mechanical equipment that are minimally visible from a public right-of-way and meet the <i>Secretary of the Interior's Standards for Rehabilitation</i> .

<input checked="" type="checkbox"/>	<p>8. Other work consistent with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (specify or add comments):</p> <p>The proposed work involves interior improvements (i.e. creation of new restrooms, stairs, and walkway at the mezzanine level) and will not alter any identified character defining features of the historic property.</p>
<input type="checkbox"/>	<p>9. Other work that would not materially impair a historic district (specify or add comments):</p> <p>(Requires approval by Senior Preservation Planner/Preservation Coordinator) _____</p>
<input type="checkbox"/>	<p>10. Reclassification of property status to Category C. (Requires approval by Senior Preservation Planner/Preservation Coordinator)</p> <p>a. Per HRER dated: _____ (attach HRER)</p> <p>b. Other (specify): _____</p>
<p>Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST check one box below.</p>	
<input type="checkbox"/>	<p>Further environmental review required. Based on the information provided, the project requires an <i>Environmental Evaluation Application</i> to be submitted. GO TO STEP 6.</p>
<input checked="" type="checkbox"/>	<p>Project can proceed with categorical exemption review. The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. GO TO STEP 6.</p>
<p>Comments (optional):</p>	
<p>Preservation Planner Signature: tina tam</p>	

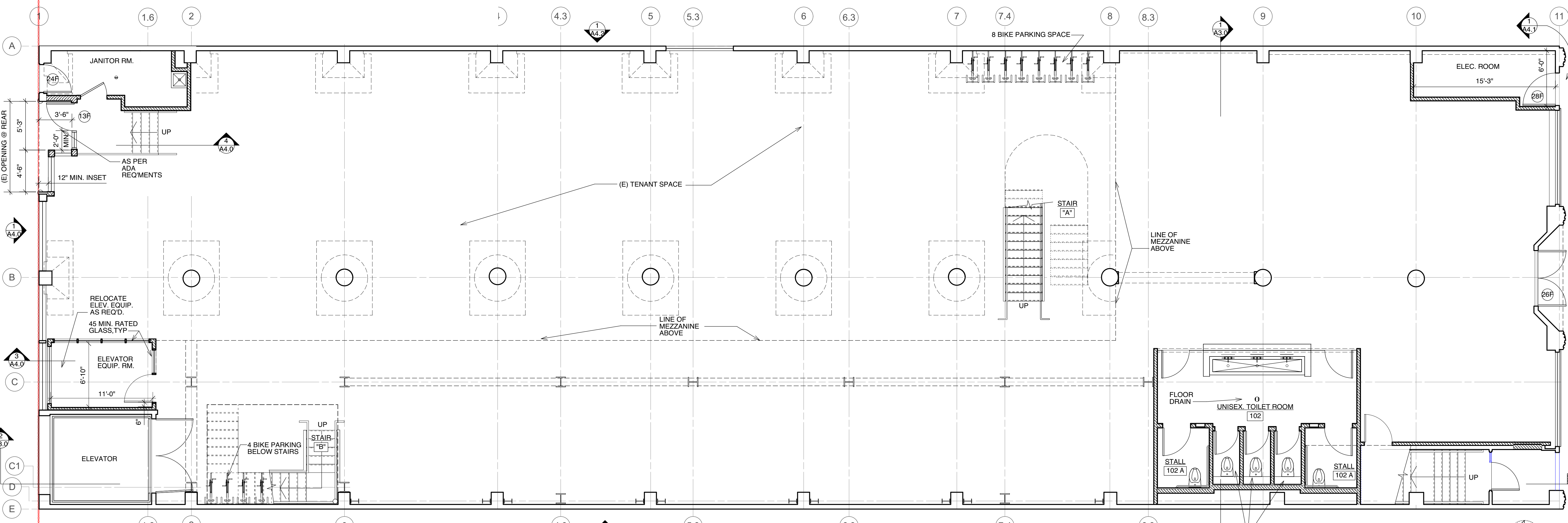
Digitally signed by Tina Tam
DN: cn=tina tam, o=San Francisco Planning Department, ou=City Planning, email=tina.tam@sfgov.org
Date: 2014.12.30 11:55:49 -0800

**STEP 6: CATEGORICAL EXEMPTION DETERMINATION
TO BE COMPLETED BY PROJECT PLANNER**

<input type="checkbox"/>	<p>Further environmental review required. Proposed project does not meet scopes of work in either (check all that apply):</p> <p><input type="checkbox"/> Step 2 – CEQA Impacts</p> <p><input type="checkbox"/> Step 5 – Advanced Historical Review</p> <p>STOP! Must file an <i>Environmental Evaluation Application</i>.</p>	
<input checked="" type="checkbox"/>	<p>No further environmental review is required. The project is categorically exempt under CEQA.</p>	
<p>Planner Name: Laura C. Lynch</p>	<p>Signature:</p>	
<p>Project Approval Action: Building Permit *If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.</p>	<p>Laura Lynch</p> <p><small>Digitally signed by Laura Lynch DN: cn=Laura Lynch, o=SF Planning Department, ou=Environmental Planning, email=laura.lynych@sfgov.org, c=US Date: 2014.12.30 11:39:31 -0800</small></p>	
<p>Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code.</p> <p>In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the first approval action.</p>		



EXISTING / DEMO FIRST FLOOR PLAN



PROPOSED FIRST FLOOR PLAN

TOPETCHER
ARCHITECTURE INC
828 DIVISADERO
SAN FRANCISCO
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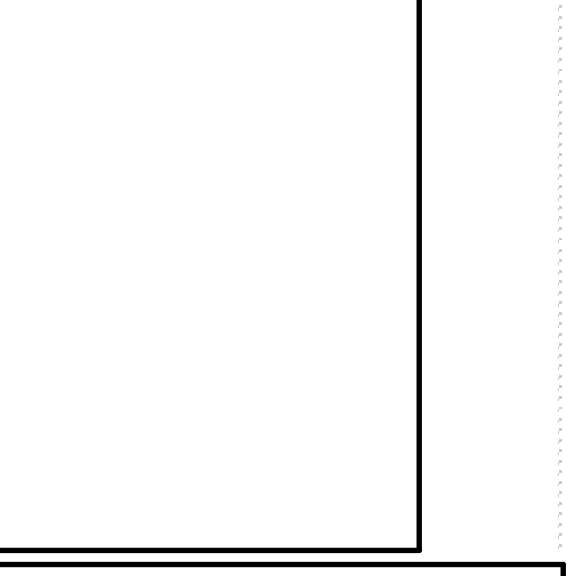
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DATE	ACTION
JUNE 20, 2015	PROGRESS PRINT
SEPT. 16, 2015	NOPDR. #1 REVISIONS

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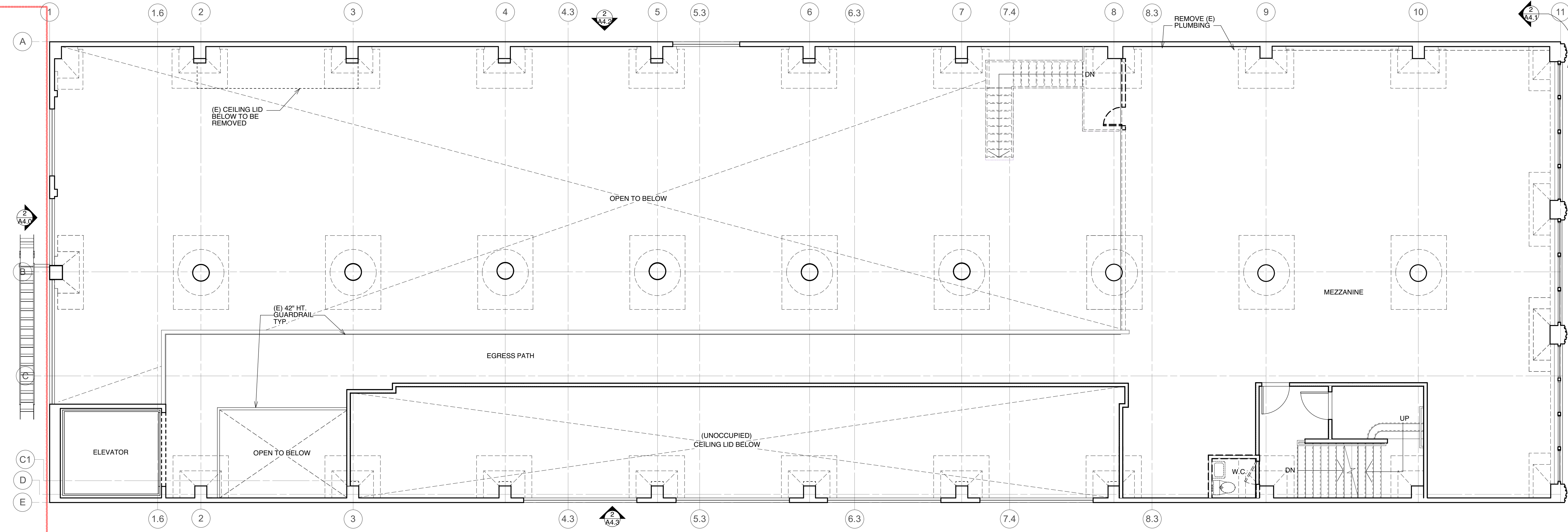
TENANT IMPROVEMENT
1126-1130 HOWARD STREET
SAN FRANCISCO, CA. 94103
BLOCK # 3727 LOT # 014

SHEET TITLE
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(E) 1ST FLR / DEMO PLN

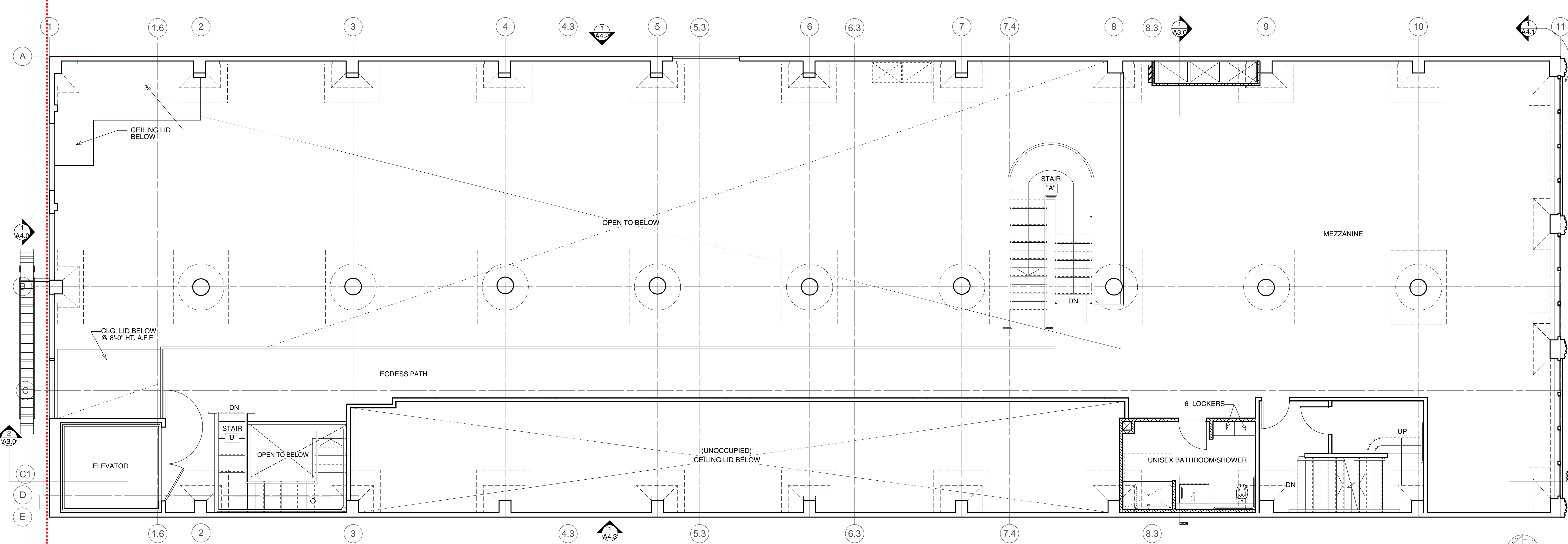
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MARK:2 TOPETCHER ARCHITECT CA, LLC P C 21679... EXP. 5/17
SHEET
A
2.0



EXISTING/DEMO MEZZANINE



PROPOSED MEZZANINE

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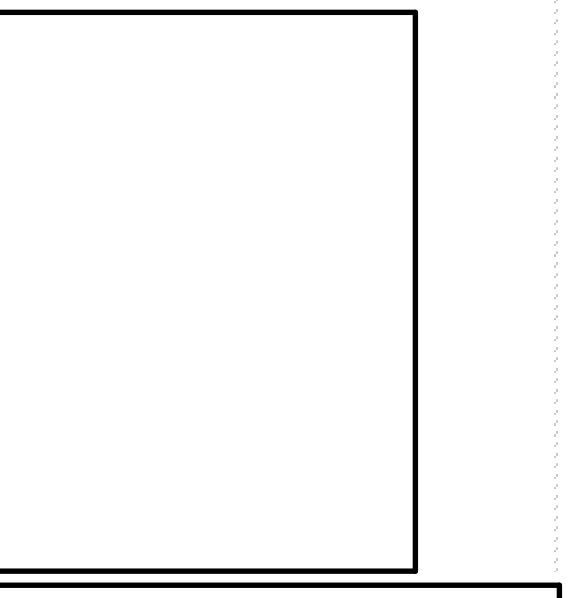
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SEPT. 16, 2015	NOPDR. #1 REVISIONS

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TENANT IMPROVEMENT
1126-1130 HOWARD STREET
SAN FRANCISCO, CA. 94103
BLOCK # 3727 LOT # 014

SHEET TITLE
(P) MEZZANINE
(E)/DEMO MEZZANINE

SCALE: 3/16"=1'-0"
JOB NO. 14.12



MARK J. TOPETCHER ARCHITECT, CAL. LIC. # C21489, EXP. 5/17

SHEET
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DATE	ACTION
MARCH 8, 2014	PROGRESS PRINT
SEPT 12, 2014	PROGRESS PRINT
OCT. 23, 2014	TENANT IMPROVEMENT

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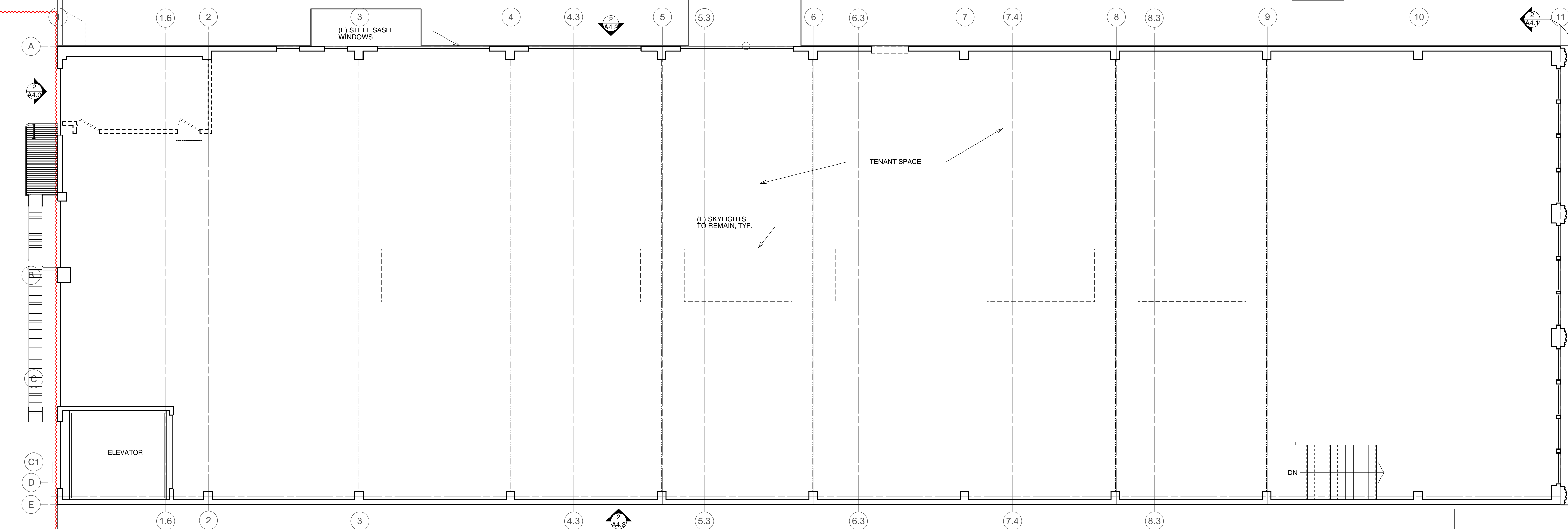
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1130 HOWARD STREET
SAN FRANCISCO, CA. 94103
BLOCK # 3727 LOT # 014

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(E)/DEMO 2ND FLOOR

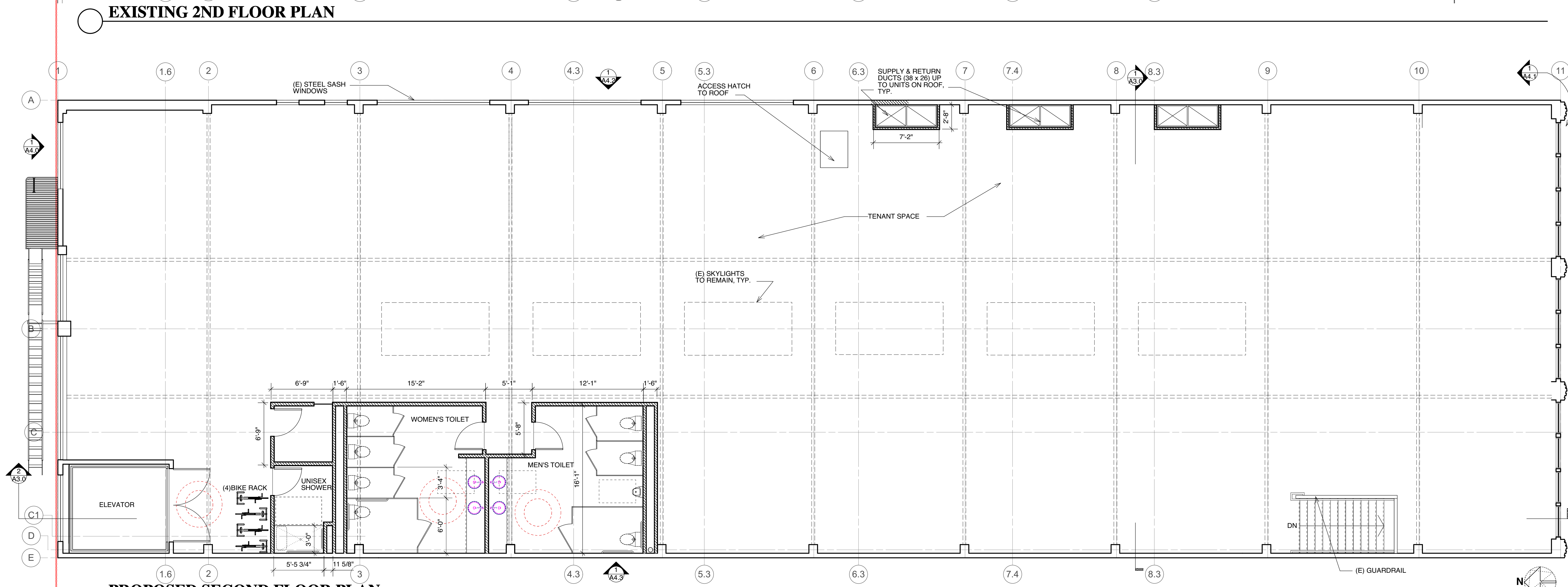
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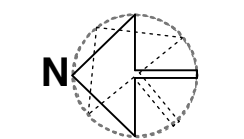
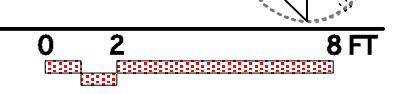
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EXISTING 2ND FLOOR PLAN



PROPOSED SECOND FLOOR PLAN



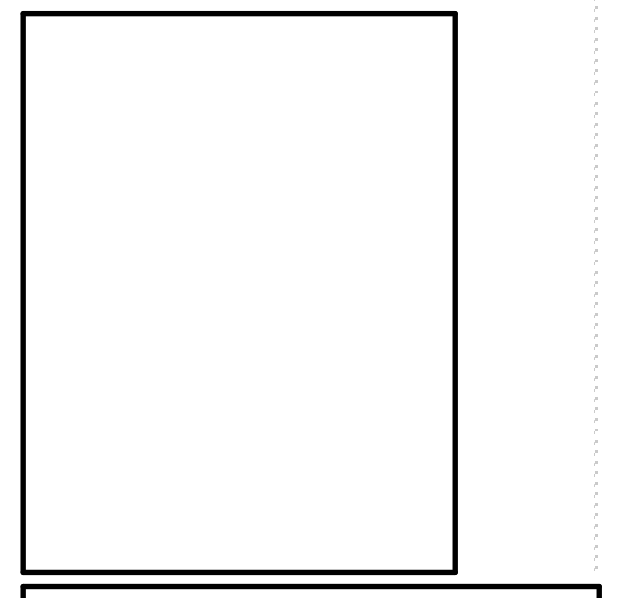
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DATE	ACTION
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TENANT IMPROVEMENT
1126-1130 HOWARD STREET
SAN FRANCISCO, CA. 94103
BLOCK # 3727 LOT # 014

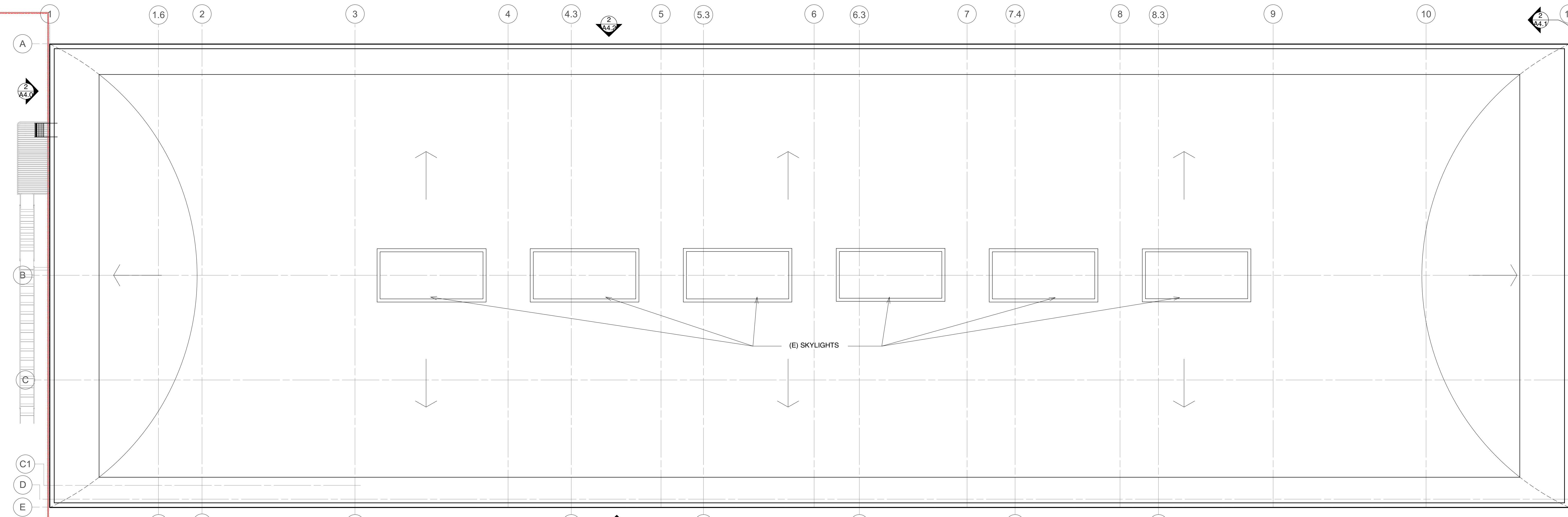
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(P) ROOF PLAN
(E) ROOF PLAN

SCALE: **3/16"=1'-0"** JOB NO. **14.12**

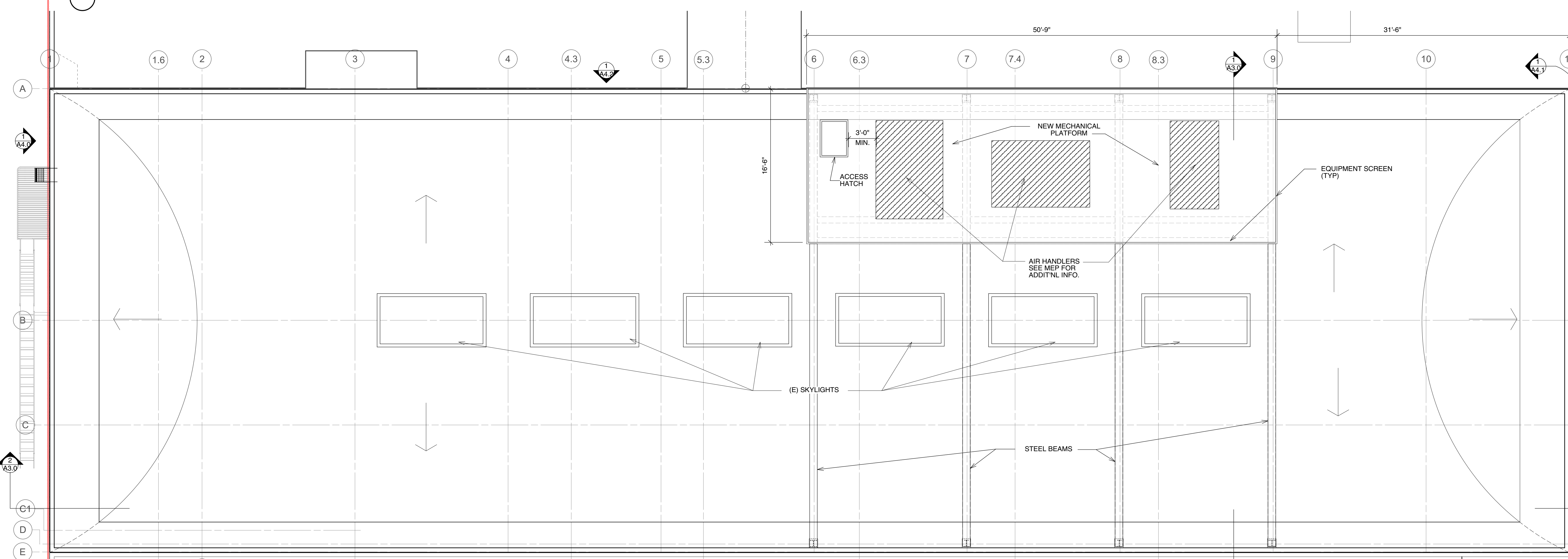


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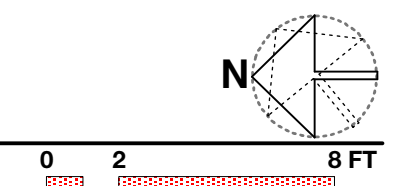
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EXISTING ROOF PLAN



PROPOSED ROOF PLAN



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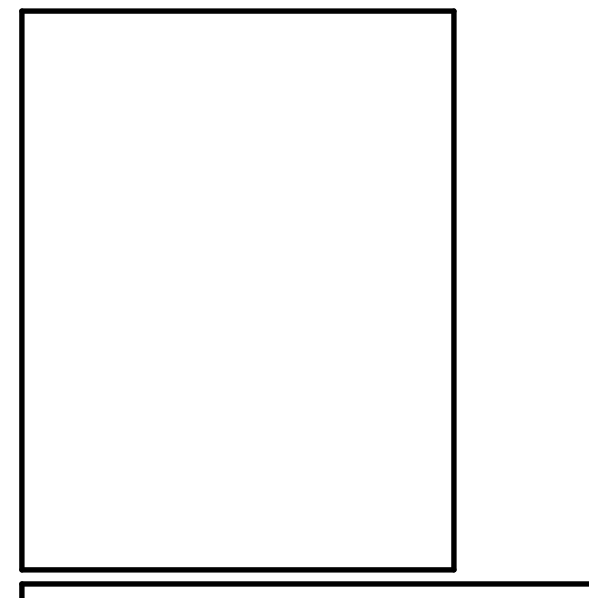
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SEPT. 16, 2015	NOPDR. #1 REVISIONS

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TENANT IMPROVEMENT
1126-1130 HOWARD STREET
SAN FRANCISCO, CA. 94103
BLOCK # 3727 LOT # 014

SHEET TITLE
BUILDING SECTIONS

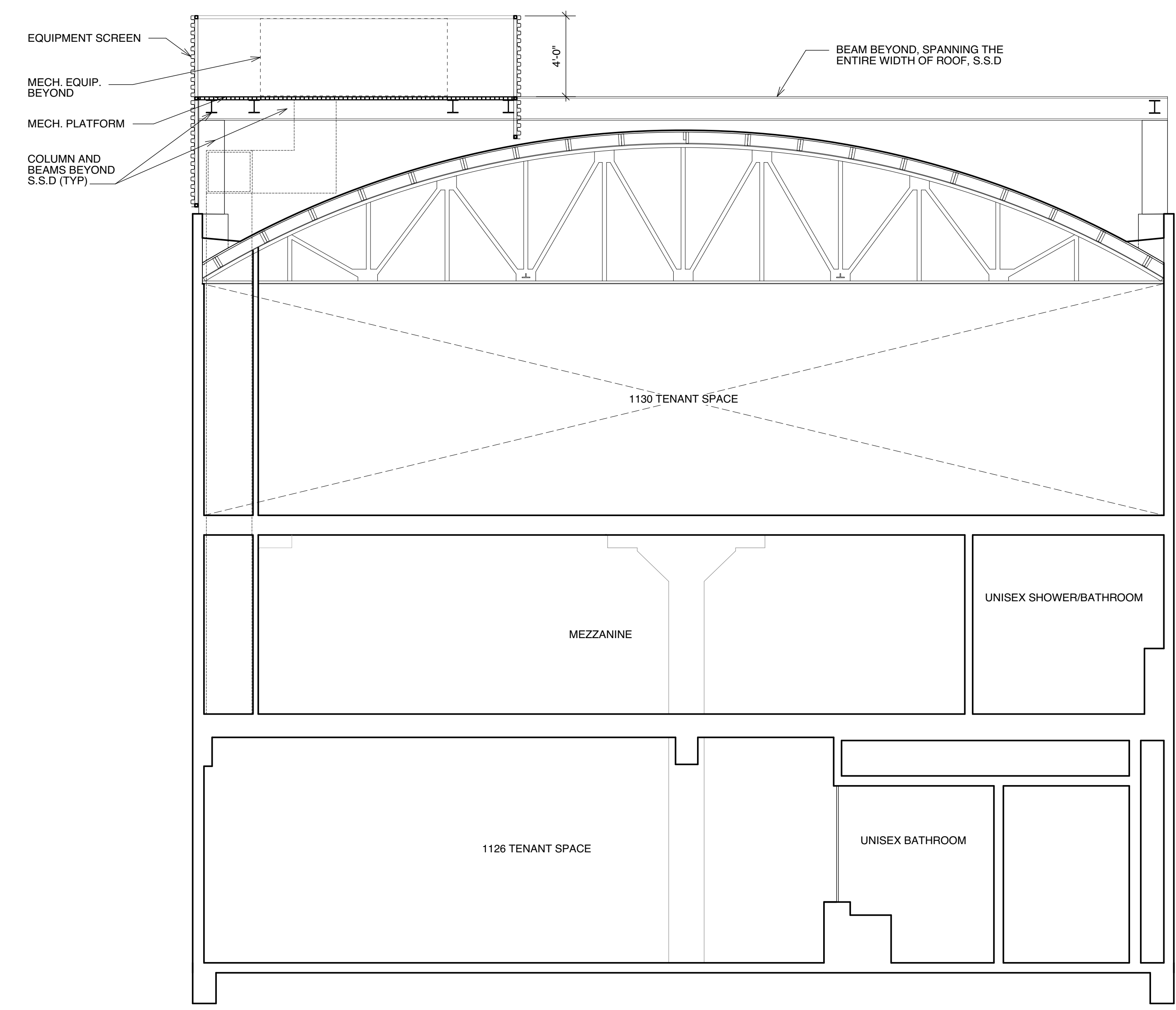
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JOB NO. 14.12



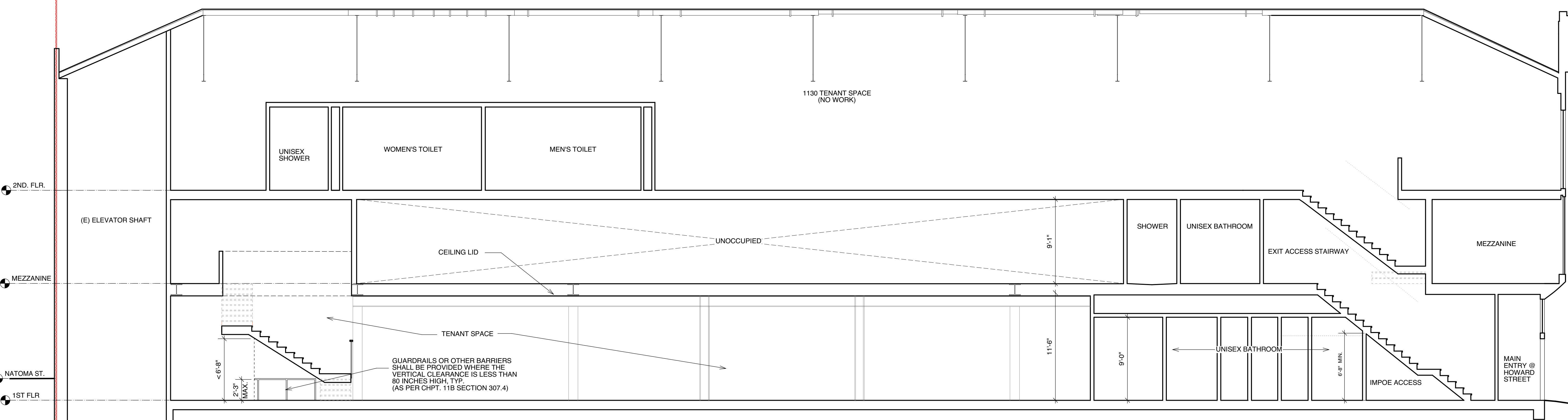
MARK J. TOPETCHER ARCHITECT CA LIC # C 21478 EXP 5/17

SHEET

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3.0



1 BUILDING SECTION
1/4" = 1'-0"



2 BUILDING SECTION
3/16" = 1'-0"

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DATE	ACTION
JUNE 20, 2015	PROGRESS PRINT
SEPT. 16, 2015	NOPDR. #1 REVISIONS

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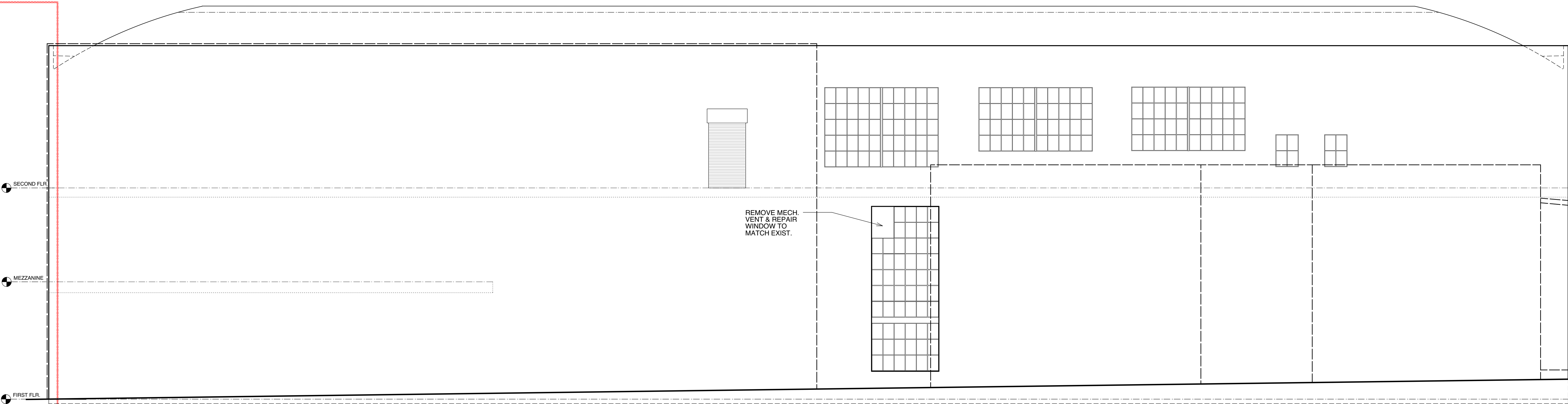
TENANT IMPROVEMENT
1126-1130 HOWARD STREET
SAN FRANCISCO, CA. 94103
BLOCK # 3727 LOT # 014

SHEET TITLE
EXIST. & PROPOSED
EAST ELEVATIONS

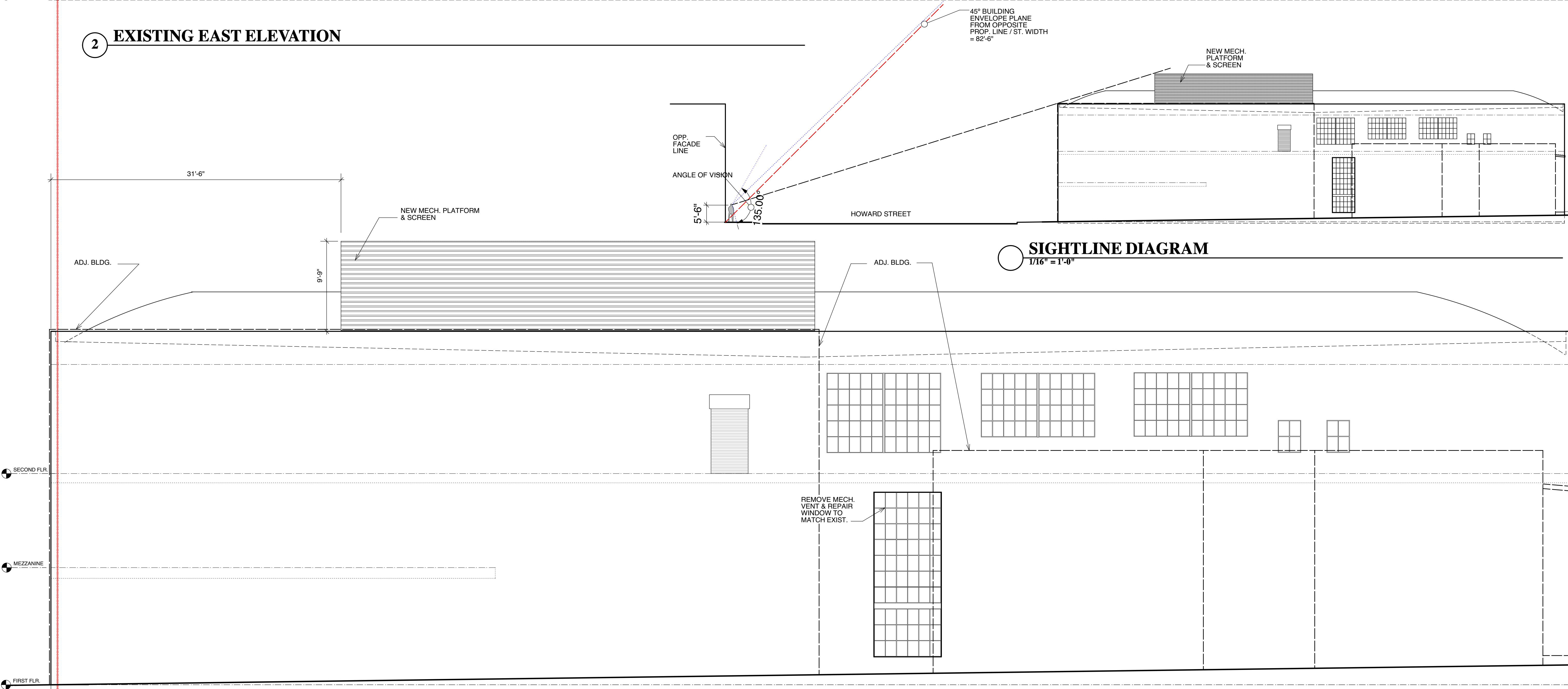
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JOB NO. 14.12

MARK J. TOPETCHER, ARCHITECT CA. LIC. # C 21678, EXP. 5/17

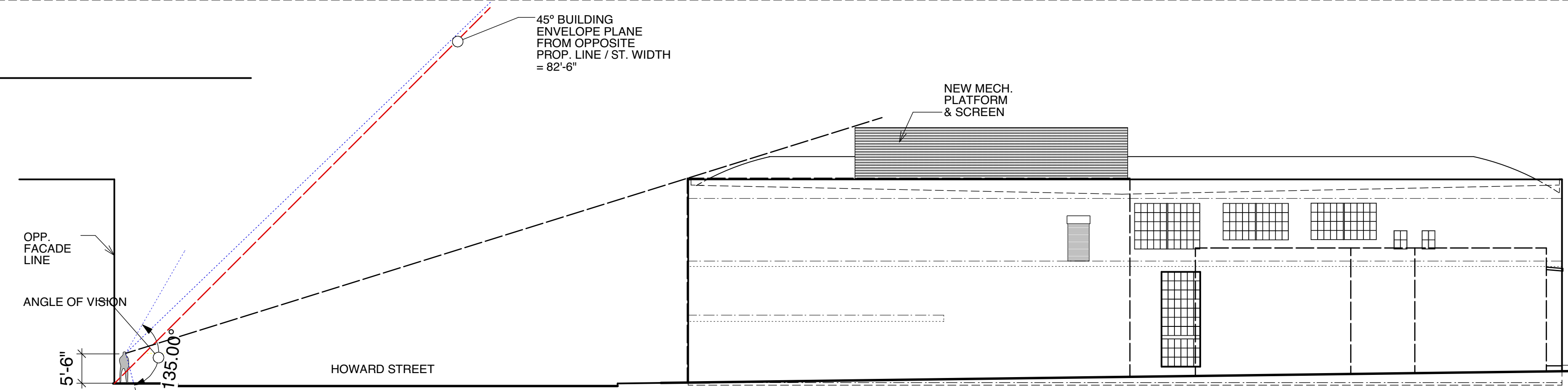
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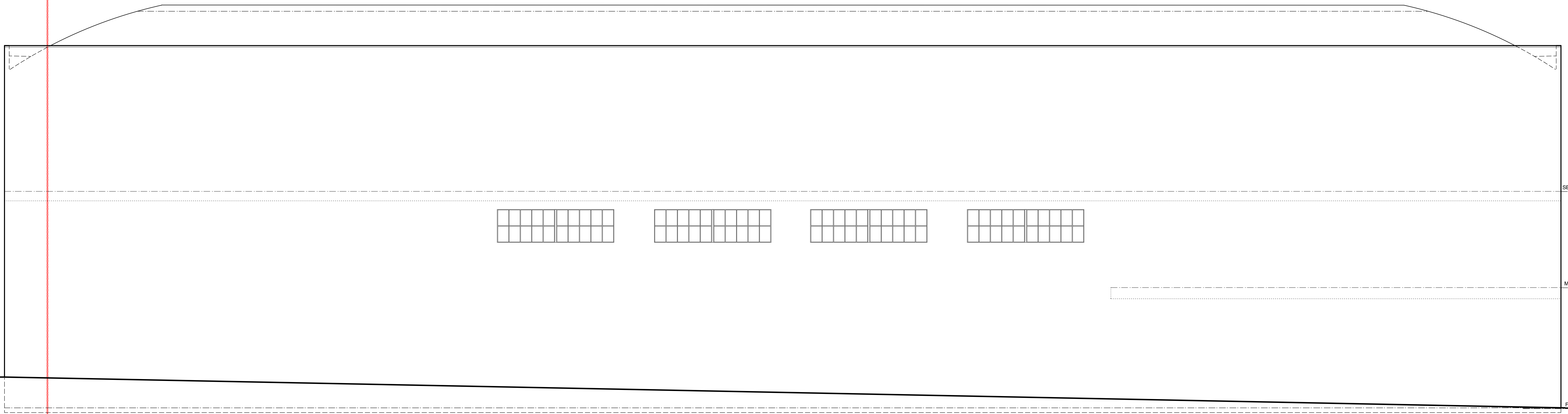
2 EXISTING EAST ELEVATION



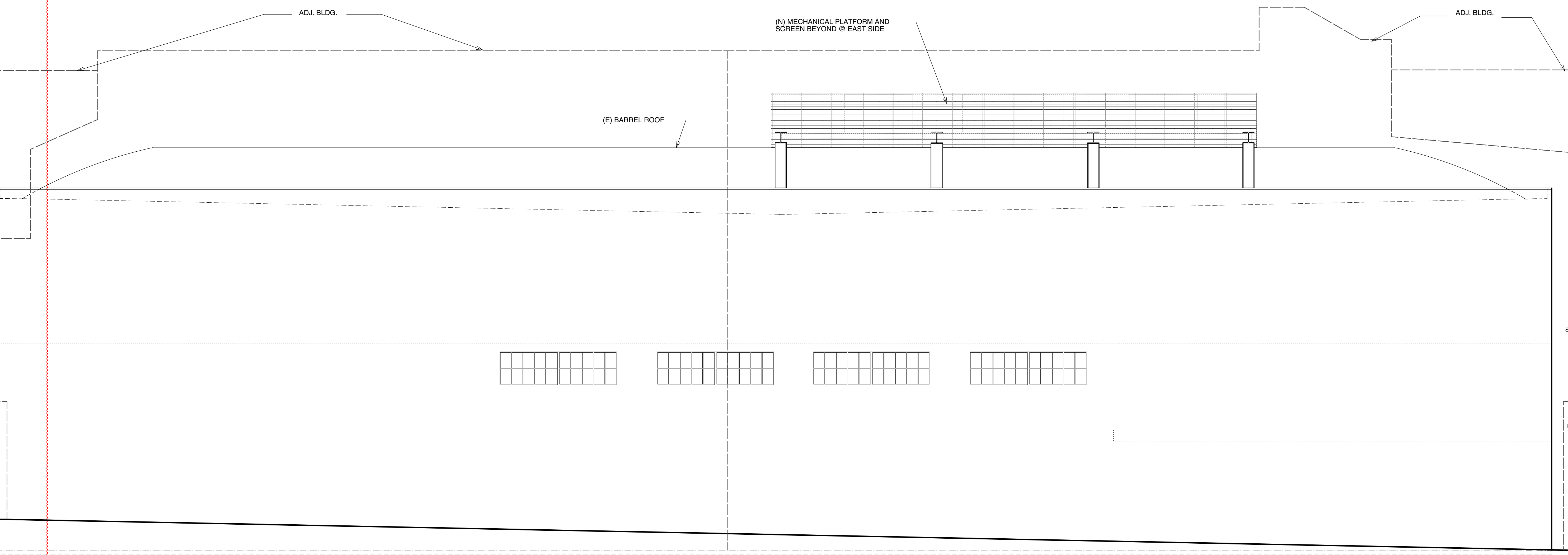
1 PROPOSED EAST ELEVATION



SIGHTLINE DIAGRAM
1/16"=1'-0"



2 EXISTING WEST ELEVATION



1 PROPOSED WEST ELEVATION

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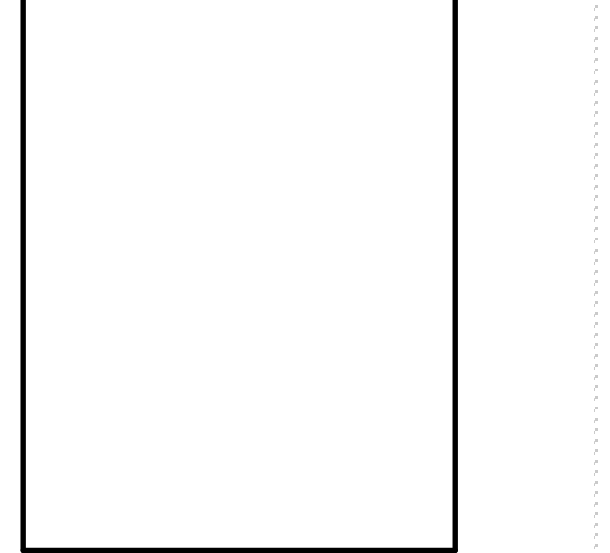
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TENANT IMPROVEMENT
 1126-1130 HOWARD STREET
 SAN FRANCISCO, CA. 94103
 BLOCK # 3727 LOT # 014

SHEET TITLE
EXIST. & PROPOSED WEST ELEVATIONS

SCALE: **3/16"=1'-0"** JOB NO. **14.12**



MARK J. TOPETCHER ARCHITECT CA. LIC. # C 21679 - EXP. 5/17

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HISTORIC BUILDING MAINTENANCE PLAN for 1126-1130 HOWARD STREET

The following report has been prepared for Alan Sagatleyan of 1126 Howard Street LLC.

1126-1130 Howard Street in San Francisco is a designated historic resource under the California Environmental Quality Act (CEQA), the property is being rehabilitated and converted to office use in accordance with San Francisco Planning Code Section 803.9. Per San Francisco Planning Department requirements, qualified historic buildings in the Western SOMA district that are to be converted to office use are to submit an Historic Building Maintenance Plan (HBMB) for the property for review by the San Francisco Historic Preservation Commission (SFHPC).

Description:

This report addresses considerations for future work affecting historic elements and materials of the property located at 1126-1130 Howard Street, San Francisco, California. General observations of the exterior of the building were from street level and from the roof. The interior was observed from each level. The project proposes to restore or rehabilitate missing or damaged historic elements as identified in the Sept. 16, 2015 Drawing Set – NOPDR #1 Revisions prepared by Topetcher Architecture, Inc.

Maintenance Plan Approach:

All future modifications are to comply with *The Secretary of the Interior's Standards for Rehabilitating Historic Buildings*: the benchmark by which Federal agencies and many local government bodies evaluate rehabilitative work on historic properties. The Standards are a useful analytic tool for understanding and describing the potential impacts of substantial changes to historic resources. Compliance with the Standards does not determine whether a project would cause a substantial adverse change in the significance of a historic resource. Rather, projects that comply with the Standards benefit from a regulatory presumption that they would have a less-than-significant adverse impact on a historic resource. Projects that do not comply with the Standards may or may not cause a substantial adverse change in the significance of a historic resource.

The Secretary of the Interior offers the following four sets of Standards to guide the treatment of historic properties: Preservation, Rehabilitation, Restoration, and Reconstruction. According to the Guidelines for Preserving, Rehabilitating, Restoring and Reconstructing Historic Buildings, the four distinct treatments are defined as follows:

Preservation: The *Standards for Preservation* “require retention of the greatest amount of historic fabric, along with the building’s historic form, features, and detailing as they have evolved over time.”

Rehabilitation: The *Standards for Rehabilitation* “acknowledge the need to alter or add to a historic building to meet continuing new uses while retaining the building’s historic character.”

Restoration: The *Standards for Restoration* “allow for the depiction of a building at a particular time in its history by preserving materials from the period of significance and removing materials from other periods.”

Reconstruction: The *Standards for Reconstruction* “establish a limited framework for re-creating a vanished or non-surviving building with new materials, primarily for interpretive purposes.”

Typically, one set of standards is chosen for a project based on the project scope. A future project may include the removal of features that are not character-defining, alterations, and/or additions to 1126-1130 Howard Street, to meet the evolving use of the historic building. Therefore, the *Standards for Rehabilitation* are most appropriately applied to the subject property.

The Secretary of the Interior’s Standards for Rehabilitation:

Standard 1: A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.

Standard 2: The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize the property will be avoided.

Standard 3: Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historical properties, will not be undertaken.

Standard 4: Changes to a property that have acquired significance in their own right will be retained and preserved.

Standard 5: Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.

Standard 6: Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

Standard 7: Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

Standard 8: Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measure will be undertaken.

Standard 9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and environment.

Standard 10: New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment *would be unimpaired*.

EXTERIOR

Photograph courtesy of City and County of San Francisco Planning Department: Photograph circa 1975.



Howard Street façade, circa 1975.

Building Feature: Exterior Walls

Existing Conditions:

Overall the building appears to be in good condition. The primary facades: south (Howard Street) and north (Natoma Street) are parged with a cementitious coating and painted. Large portions of the east and west facades abut adjacent buildings; the portions exposed to the exterior are board-formed concrete and have what appears to be both older and more recent paint finishes. It appears some previous repairs have been completed below several of the punched window sills and they are showing some deformation.

Specific concerns relative to existing conditions are detailed within individual sections that follow.

Maintenance Plan:

Perform visual inspection of walls with binoculars, spotting scope, or similar every 5 years for cracks and other deformations, especially around openings. Sound walls below and around windows at previous repair locations to ensure they are securely bonded. Repair as needed.

Maintaining a cohesive parge coat where it currently exists and paint finish on all facades is essential to protecting the concrete substrate. If lead paint is present, encapsulation is an appropriate treatment, as the existing paint finishes appear to be well adhered. Abatement or full removal are not currently necessary.

New paint finishes should be compatible with underlying coatings and should be “breathable”. Generally, elastomeric coatings are not recommended unless absolutely necessary, and then, should have a high perm rating. Elastomeric paint is not recommended for wood substrates.

Periodic Exterior Cleaning Recommendations:

Soiling is likely to occur over time. The type of dirt or paint on the surface should be identified and the expectations for cleaning results should be established before beginning cleaning work. For additional information, refer to the National Park Service’s *Preservation Brief 6: Dangers of Abrasive Cleaning to Historic Buildings*.



Portions of walls below windows have had prior repairs

DOORS, WINDOWS AND GLAZING

Building Feature: Natoma Street Windows – Original Steel Sash within Wood Framing

Existing Conditions:

Original steel multi-lite window sash are extant at all levels along the Natoma Street elevation, on portions of the north half of the east elevation that are not obscured by abutting buildings and on the mezzanine level at the west elevation. The windows are rectangular, typically fixed sash with an operable awning-swing sash in a portion of each window system. The number of lites and size of each operable sash varies. These windows range from good to fair condition. Primary issues include areas of cracked and deteriorated or missing glazing putty, improperly installed glazing and sealant repairs, deteriorated paint finishes and typical surface corrosion. Windows are glazed with a combination of clear and different patterns of obscure glazing; wire glass exists in some locations.

Maintenance Plan:

Inspect fixed and operable steel window sash for operability, deterioration, and water protection. Replace areas of missing, deteriorated, or cracked glazing putty as needed. Restore steel window sash and frames as needed. Prepare, prime, paint and seal window sashes and install new sealant

at perimeters between adjacent materials. Where resetting glass, completely prepare, prime and paint frame prior to setting glass for best protection of the steel.

Perform visual inspection of steel windows with binoculars, spotting scope, or similar annually for paint and sealant failure and other signs of deterioration. Repair as needed.

Prepare, prime, paint and seal steel multi-lite window sash and install new perimeter sealant every 10 years, or as needed.

Special Considerations:

Conduct a window pane survey to define various types of glazing and determine original design. Remove existing mismatched glazing in conflict with survey findings or broken lites. Consider weight and profile of steel with regards to accommodating new glazing system. Explore potential for energy efficient replacement glass, laminated glass and/or glazing films.



Natoma Street windows-original steel



Typical failed glazing putty

Existing Conditions:

Windows on the primary, Howard Street elevation are aluminum replacement sash within original wood frames. The sash are in relatively good condition with localized areas of improperly applied sealant repairs. Interior wood frame components are often nicked at corner edges, slightly worn and need fresh coats of paint. Evidence of water intrusion was observed as there are stains along the sills at the second floor level.

The aluminum frame storefront windows set in original wood frames are located at both outer bays at the first floor of this façade. The aluminum frames and large panes of glass appear to be in good condition.

Maintenance Plan:

Non-original windows on the Howard Street façade are slated for replacement. Per building permit #2013 0821 4910, the proposed new windows will be clad wood sash set in the extant historic wood frames (if repairable) or set in new wood frames to match the existing historic frames in-kind. Sash on the mezzanine and second floor levels will be six lites over one fixed lite and the upper sash will be an awning operable sash. Lites in the upper sash are of similar size and proportion to the lites of

the windows on the Natoma façade and are more compatible with the historic character of the original windows.

Existing non-original storefront windows at level one will be replaced with new storefronts that are four lites over two lites, banked in groups of four. Similar to the windows described above, the upper sash will be an awning operable sash. Both storefronts will be of the same design.

Inspect framing, glazing seals and sealants for deterioration annually. Install new sealant every 10 years, or as needed. Prepare, prime, paint and seal wood frames frequently.



Howard Street windows-aluminum replacements

Building Feature: Exterior Doors – Howard Street

Description:

A non-original metal security gate and an aluminum storefront door at the west end of the building (1130 Howard Street) provides an entrance door for upper-level building access.

Existing Conditions:

The storefront door is non-original and appears to be in good condition; it is recessed from the façade in a vestibule. The gate is mounted within portions of an original wood door frame; this frame is accented at the head with a stepped trim feature. Above the trim is a non-original aluminum fixed transom. At the east end of the façade is a similar wood door frame, and the door and transom openings are boarded up.

The main entrance doors, centered on the façade, are newer replacement storefront-type doors, are in good condition.

Maintenance Plan:

Inspect door hardware, glazing seals and sealants. Lubricate doors and operating hardware. Install weather-stripping as needed.

Inspect door hardware, glazing seals, sealants and weather stripping for deterioration annually. Repair as needed. Refinish doors and door frames frequently. Touch up finish every 5 years or as needed. Lubricate doors and operating hardware annually. Install new sealant every 10 years, or as needed.

Consider replacement of the security gates at entrances. Replacement gates should be more compatible with the building's architectural character. Design of gates and access should be in compliance with accessibility guidelines. Consider installation of more historically-sensitive door hardware in coordination with security measures.

Special Considerations:

Hardware should meet ADA requirements.



Non-original metal security gate and aluminum storefront door in vestibule



Original door frame and transom frame



Main entrance doors are non-original and in good condition

Building Feature: Exterior Doors – Natoma Street

Description:

Entrance door at west end of the façade provides lower-level building access & general building egress. There are two coiling metal roll-up doors: one near each end of this façade.

Existing Conditions:

The person door at the east end is wood with recessed panels and appears to be original. Above this door is an original window opening and a boarded up transom that contains two vents. The door is in fairly good condition, but needs new paint finish. For security and weather-tightness, this door will be replaced with a new metal door as part of the new work.

The roll up door west of the person door is slated to be removed and a new storefront system will be installed in its place. The proposed storefront system compliments the existing historic steel windows of size and arrangement of lites and is a compatible new feature.

The other roll up door at the west end of the facade is proposed to remain and it is in good condition.

Maintenance plan:

Inspect door hardware, glazing seals and sealants. Lubricate doors and operating hardware. Install weather-stripping as required. Prepare, prime, paint and seal door and frames to adjacent parged concrete as needed.

Inspect door hardware, glazing seals, sealants and weather stripping for deterioration annually. Lubricate doors and operating hardware annually. Repaint doors and door frames every frequently. Touch up finish every 5 years or as needed. Install new perimeter sealant every 10 years or as needed.

Special Considerations:

Hardware must meet ADA requirements at new storefront entrance.



Original wood door to be replaced with metal; metal coiling door to be replaced with new storefront

EXTERIOR ELEMENTS

Building Feature: Fluted Pilasters and Cornice – Howard Street

Existing Conditions:

The fluted pilasters and cornice/parapet trim at Howard Street are character-defining features of the primary façade. They define the structural bays of the building from the exterior and reinforce the Art Deco architectural style.

Maintenance Plan:

These elements appear to be in good condition, and paint coatings are well-adhered. No spalling or cracking was observed. Perform visual inspection of projecting pilasters and all fluted ornamentation with binoculars, spotting scope, or similar every 5 years for cracks and other deformations, especially around openings. Repair as needed.

Patch concrete, where possible if needed, with compatible cementitious parge coat. Patch holes from previous interventions that may have introduced ferrous anchors: such as lighting, signs, mechanical and electrical conduit work, etc. Repair and re-secure concrete surface as needed. Prepare, prime, paint and properly seal.



Detail of fluted column, triangular parapet and star medallion

Building Feature: Arched Entrance Opening, Sunburst Panels and Chevron molding Belt Course

Existing Conditions:

The arched entrance opening is a character-defining feature of the primary façade as it defines the building entrance and reinforces the Art Deco architectural style of the building. The sunburst corners above the arch and the chevron molding belt course band that spans at the first floor level between the pilasters of the two exterior bays are also character-defining features.

Maintenance Plan:

These elements appear to be in good condition and paint coatings are well-adhered. No spalling or cracking was observed. Perform visual inspection of projecting pilasters and all fluted ornamentation, the vertical tile accents in the band between the pilasters, and the star medallion at the triangular parapet with binoculars, spotting scope, or similar every 5 years for cracks and other deformations, especially around openings. Repair as needed.

Patch concrete, where possible if needed, with compatible cementitious parge coat. Patch holes from previous interventions that may have introduced ferrous anchors: such as lighting, signs, mechanical and electrical conduit work, etc. Repair and re-secure concrete surface as needed. Prepare, prime, paint and properly seal.



Arched entrance and sunburst ornaments



Vertical rectangular projecting ornamentation on the face of the band between the pilasters has been painted over and is obscured

Building Feature: Granite Tile Bulkhead and Pilaster Bases

Existing Conditions:

The fluted pilasters at Howard Street are finished with black granite tile bases and the storefronts sit on a black granite tile bulkhead at grade level. The granite tile is non-original, but reinforces the Art Deco architectural style and may replace or cover original material of the same or similar configuration.

Maintenance Plan:

Granite tile accents appear to be in fairly good condition. No spalling or cracking was observed. Perform visual inspection of granite tile finishes up close every 5 years for cracks, open mortar joints, sufficient adherence to substrate, and other deformations. Ensure a cohesive sealant joint is maintained where granite tile intersect the columns and around window storefronts. Repair and repoint as needed to maintain weather-tightness.



Black granite tile column bases and storefront bulkhead

Building Feature: Metal Fire Escape at Natoma Street

Existing Conditions:

The metal fire escape extends down from the roof near the east corner of the building and extends across the elevation toward the west. It appears to be in good condition, with some evidence of minor flaking paint and some corrosion.

Maintenance Plan:

Inspect structural connections annually for proper attachment, damage and signs of corrosion. Repair deteriorated metal as needed. Prepare, prime, paint and seal metal fire escape every 10 years, or as needed.

Special Considerations:

Metals should be compatible with, or isolated from, adjacent materials to avoid galvanic action and corrosion.



Metal fire escape at Natoma facade

Building Feature: General Flashing and Sealing

Description:

All flashing components are considered in conjunction with other building elements noted throughout.

Maintenance Plan:

Inspect flashing in connection with adjacent components and assemblies for paint or coating conditions, sealant failure and other signs of deterioration. Repair as needed. Prepare, prime, paint and seal.

Special Considerations:

Metals should be compatible with, or isolated from, adjacent materials to avoid galvanic action and corrosion.

ROOF

Building Feature: Roofing Membrane

Existing Conditions:

Roofing material is comprised of asphalt rolled roofing over wood substrate and it was reportedly installed in 1989 by others. Specific roofing products and the presence of insulation have not been confirmed. Near the base of the barrel vaulted portions of the roof, there is what appears to be an elastomeric or an assumed waterproof paint coating (white band around the perimeter) that has been applied to bridge over the lower portions of the asphalt, covering the perimeter gutters to facilitate drainage.

This material typically extends up the back side of parapets and, laps the top edge of the parapet to act as flashing in some locations. A few areas of biological growth in combination with silt deposits indicate localized ponding in the drain areas. Given the shape of the roof, and consistent slope, it appears to be appropriately draining towards outlets; however, two roof drains that were observed need to be addressed where one needs to be cleaned and the other was left unprotected from debris.

Maintenance Plan:

Inspect roofing membrane for signs of deterioration and water penetration annually. Install patches and repair as needed per roofing manufacturer's specifications. Ensure that roof drains are appropriately protected to accommodate water and deters debris and that water and debris is properly flowing through the channels of roof drainage.

Special Considerations:

If inspection reveals existing or potential greater damage, consider full replacement of roofing membrane. When replacement of the roofing membrane occurs, coordinate replacement with all necessary flashing and waterproofing, including at skylights, penetrations, bracings, and install new sheet metal parapet flashing where it does not currently exist. Roof drainage and proper slope should also be coordinated during roofing replacement.

Inspect existing flashing for defects and deterioration annually, including all related sealant. Prepare, prime, paint and seal visible flashing every 5 years, or as needed. Install new sealant at flashing and roofing elements every 10 years, or as needed.



Row of skylights



Detail of membrane installation



Coating (elastomeric?) at roof perimeter gutters



Clogged drain

Building Feature: Parapets

Existing Conditions:

The parapet walls are painted concrete and lapped with a white paint coating on their interior face (assumed to be elastomeric) to protect gutters and facilitate perimeter drainage. The parapet walls are low and are not currently braced.

The capital atop the triangular parapet has a vertical crack near the center on its interior surface that was previously repaired. The triangular parapet, itself, has a horizontal crack that traverses a span across the spring points of the triangle.

Maintenance Plan:

Inspect the center triangular parapet and stepped ornament as soon as possible to ensure visible cracks are not a potential hazard. Repair these cracks immediately as if found to be structurally unstable and to prevent further deterioration and water ingress. Inspect parapet walls and metal copings (where they exist) around the roof perimeter for deterioration annually. Repair as needed. Prepare, prime, paint and seal copings every 5 years, or as needed as it is essential to eliminate water intrusion from the roof into the walls. Coordinate inspection and repair work in connection with general concrete and roofing repairs.



Crack at center parapet



Typical low, un-braced parapet with metal coping

Building Feature: Skylights and Mechanical Penetrations

Existing Conditions:

There is a row of six skylights along the apex of the barrel vaulted roof. Per building permit issued in 2013, the skylights were upgraded or replaced. They appear to be steel framed and are hip-shaped. There are vents at one corner of each skylight and these appear to be in good condition. One skylight is partially overlaid with plexi-glass, assumed to be a temporary repair. Sealant repairs at this skylight are inappropriately installed and openings in the joints were observed. There are reported leaks at one of the skylights.

The skylights are set atop galvanized metal curbs; the bottom of the curb flashing is approximately three inches from the roof surface. Although this distance is low for industry standards, the vaulted roof appears capable of shedding water away from the skylight openings.

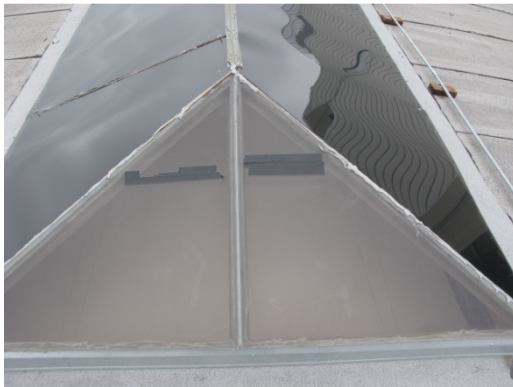
Miscellaneous mechanical penetrations are typically located near the perimeter of the roof and generally appear to be in fair condition. Some are dented or bent.

Maintenance Plan:

Inspect skylights for broken or cracked glass and inspect sheet metal ventilator for deterioration, paint finish and integrity of flashing. Patch sheet metal and repair as needed. Replace broken lites.

Inspect skylights for deterioration and water protection annually, including metal corrosion as well as paint and glazing sealant failure. Repair as needed. Install sealant and/or glazing putty as needed. Prepare, prime, paint and seal every 5 years.

Inspect all mechanical penetrations immediately to ensure they are properly flashed at the roof. Ensure flashing is well sealed.



Temporary repair at one skylight



Openings in sealant joint at repaired skylight



Typical skylight



Typical skylight vent



Miscellaneous roof equipment



Typical mechanical penetrations



Missing drain cover

INTERIOR ELEMENTS

Building Feature: Concrete Walls, Ceilings and Structural Columns

Existing Conditions:

Walls are unfinished board formed concrete throughout and ceilings at first floor and mezzanine are also unfinished board formed concrete. Some cracking at the walls was observed; however the walls are in good overall condition. The ceilings appear to be in good condition, with no visible deficiencies. The board formed concrete is a character-defining of the building.

The cylindrical concrete columns with their splayed conical capitals are unique features of the building on the first and mezzanine levels. In addition, the square concrete pilasters are also character-defining. These structural elements are typically in good condition.

Maintenance Plan:

Inspect for cracks or spalls every five years at all columns and walls, including first level.



Concrete columns and board formed concrete; wood floor and board formed ceiling at Mezzanine.

Building Feature: Exposed Arched Metal Trusses, Exposed Wood Roof Framing and Board Sheathing, and Wood Floors

Existing Conditions:

The roof structure is exposed at the upper floor. Open-web arched steel joists bear on square concrete pilasters and carry wood rafters that support exposed board sheathing. The roof system and the volume of the space at the upper floor are in good condition and are character-defining features of the building.

The mezzanine and the upper floor have wood board flooring. The floors are generally in good condition, exhibiting typical wearing patterns. Flooring at the window sills at the second floor along the Howard Street side has some water damage from prior window leaks.

Maintenance Plan:

Generally inspect the wood roof sheathing with binoculars annually for water intrusion. Inspect areas where penetrations exist to ensure that water is not migrating to the interior. Survey conditions of the roof structure before and after undertaking any roof work.



Exposed roof framing structure



Moisture stains on board sheathing at penetration



Wood sills and frames at Howard Street



Water damaged wood sills and wood floor at Howard Street