



SAN FRANCISCO PLANNING DEPARTMENT

Discretionary Review Abbreviated Analysis HEARING DATE: APRIL 28, 2016

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

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415.558.6409

Planning
Information:
415.558.6377

Date: April 21, 2016
Case No.: **2014.001194DRP**
Project Address: **2079 15th Avenue**
Permit Application: 2013.12.11.3907
Zoning: RH-1(D) (One Family, Detached Dwelling)
40-X Height and Bulk District
Block/Lot: 2135/001O
Project Sponsor: Khoan Duong
3246 17th Street
San Francisco, CA 94110
Staff Contact: Jeff Horn – (415) 575-6925
jeffrey.horn@sfgov.org
Recommendation: **Do not take DR and approve as proposed**

PROJECT DESCRIPTION

The request is for a Discretionary Review of Building Permit Application No. 2014.04.11.3071 proposing to construct a one-story vertical addition, excavation and expansion of the existing basement level, excavation of a new lower basement level at the rear, a horizontal rear and side addition, removal of side yard encroachments, and interior and exterior alterations. No change is proposed for the detached garage at the rear of the property.

PROJECT BACKGROUND

On November 21, 2014, Mary Gallagher filed an application with the Planning Department (hereinafter "Department") for a Variance (2014.001944VAR) to Planning Code Section 133, to encroach into the required side yard along the project's northern property line. On June 24, 2015, the Zoning Administer for the San Francisco Planning Department conducted a duly noticed public hearing at a regularly scheduled meeting on Variance Application 2014.001944VAR, the Zoning Administer took the matter under advisement pending the closure of the 311 notification period or Discretionary Review hearing. The Project Sponsor has withdrawn the request for Variance.

SITE DESCRIPTION AND PRESENT USE

The subject lot is located on the west side of 15th Avenue between Quintara and Pacheco Streets, measures 31'x127'-6" and is down-sloping toward the rear property line. The subject property presents to 15th Avenue as a 1-story structure. The down-sloping lot results in a 2½-story building height at the rear elevation. At the rear of the property there is a 1-story garage accessed from a shared alleyway. The total building area is 1,167 square feet with a 598-square-foot basement and 510-square-foot detached garage.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

The project site is located in the Inner Sunset, District 14 and within the RH-1 (D) Zoning District. The closest non RH-1 (D) parcels are located approximately 200 feet from the subject property. Parcels within the immediate vicinity consist of residential single-family dwellings of a two-story design and construction dates of approximately 1940.

BUILDING PERMIT NOTIFICATION

TYPE	REQUIRED PERIOD	NOTIFICATION DATES	DR FILE DATES	DR HEARING DATE	FILING TO HEARING TIME
311 Notice	30 days	June 12 – July 12, 2015	July 10, 2015	April 28, 2016	293 days

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Posted Notice	10 days	April 18, 2016	April 18, 2016	10 days
Mailed Notice	10 days	April 18, 2016	April 18, 2016	10 days

PUBLIC COMMENT

	SUPPORT	OPPOSED	NO POSITION
Adjacent neighbor(s)	-	1 (DR Requestor)	-
Other neighbors on the block or directly across the street	-	See below	-
Neighborhood groups	-	See below	-

DR REQUESTORS

Alice Lee, 2073 15th Avenue, San Francisco, CA 94116

Requestor is the abutter located directly north of the subject property.

Neighbor opposition:

Approximately 40 letters were received in opposition to the proposed Variance. These letters were included in the DR filer's supplemental materials.

DR REQUESTOR'S CONCERNS AND PROPOSED ALTERNATIVES

See attached *Discretionary Review Application*, dated July 10, 2015

PROJECT SPONSOR'S RESPONSE TO DR APPLICATION

See attached *Response to Discretionary Review*, dated April 13, 2016.

ENVIRONMENTAL REVIEW

The Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15301 (Class One - Minor Alteration of Existing Facility, (e) Additions to existing structures provided that the addition will not result in an increase of more than 10,000 square feet).

RESIDENTIAL DESIGN TEAM REVIEW

The Residential Design Team (RDT) reviewed the project following the submittal of the Request for Discretionary Review on October 7, 2015 and found that the proposed project did not meet the standards of the Residential Design Guidelines (RDGs). The RDT was not in support of the proposed horizontal addition within the required 3-foot side yard nor did the RDT support the Variance request.

In response to the RDT's comments, the project sponsor revised the project to not encroach within the required set yard setback beyond the existing condition. The Residential Design Team reviewed the revised project and DR Request on February 3, 2016 and found that with the revised project, no exceptional or extraordinary circumstances related to the project or the DR requestor's concerns. The RDT found that the height and overall depth of the rear addition is in keeping with the development pattern of lots on the same block face. The side setbacks provide adequate light and air for adjacent properties.

Under the Commission's pending DR Reform Legislation, this project would not be referred to the Commission as this project does not contain or create any exceptional or extraordinary circumstances.

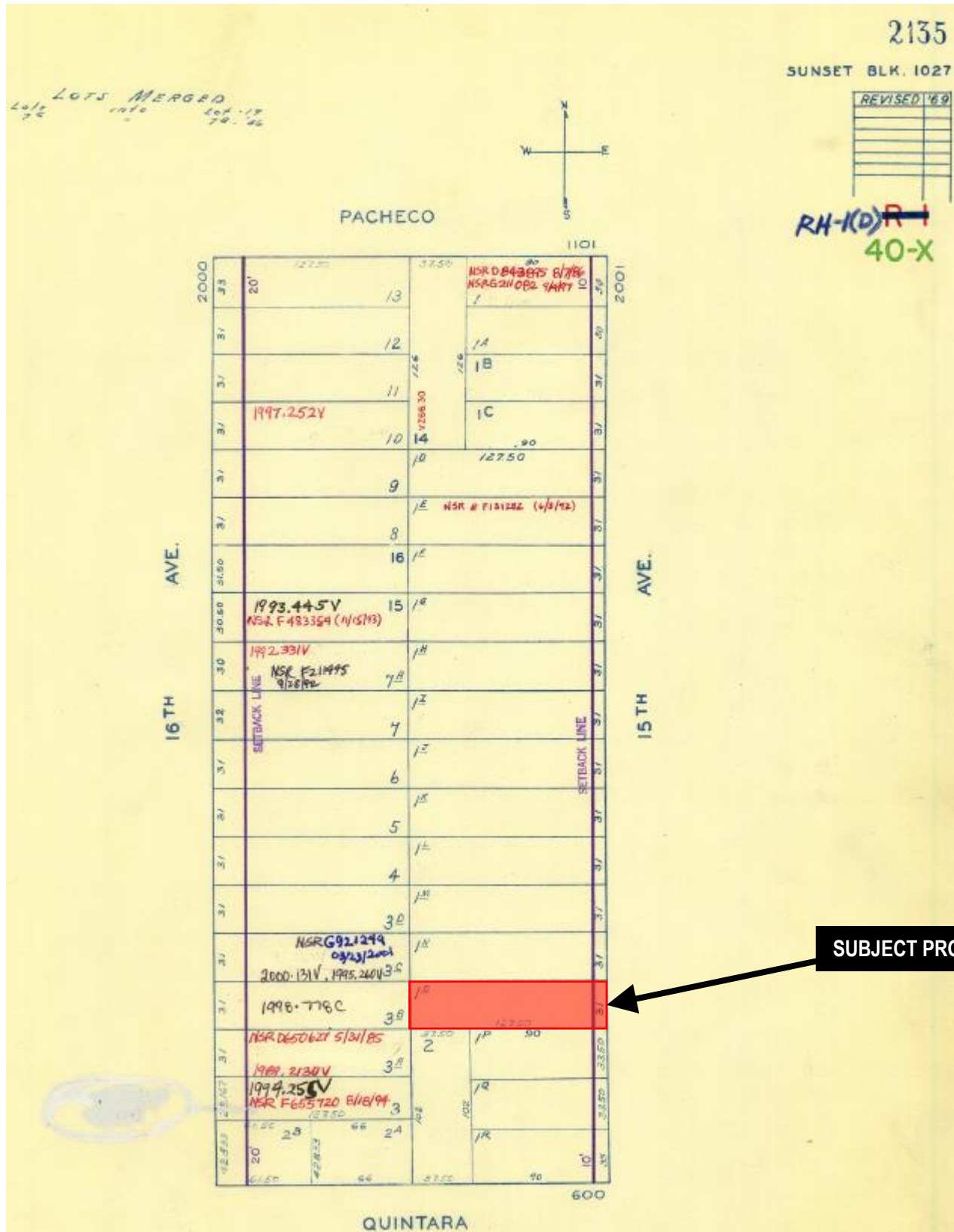
RECOMMENDATION:	Do not take DR and approve project as proposed
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Attachments:

Parcel Map
Sanborn Map
Zoning Map
Aerial Photographs
Context Photographs
Section 311 Notice
DR Application
Response to DR Application dated April 18, 2016
Supplemental DR materials
Supplemental Project Sponsor materials
Reduced Plans

JH: I:\Cases\2014\2014-001944DRP - 2079 15th Avenue\2079 15th Ave_DR Analysis.doc

Parcel Map



SUBJECT PROPERTY



Discretionary Review Hearing
Case Number 2014-001944DRP
 2079 15th Avenue

Sanborn Map*



*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Discretionary Review Hearing
Case Number 2014-001944DRP
2079 15th Avenue

Aerial Photo

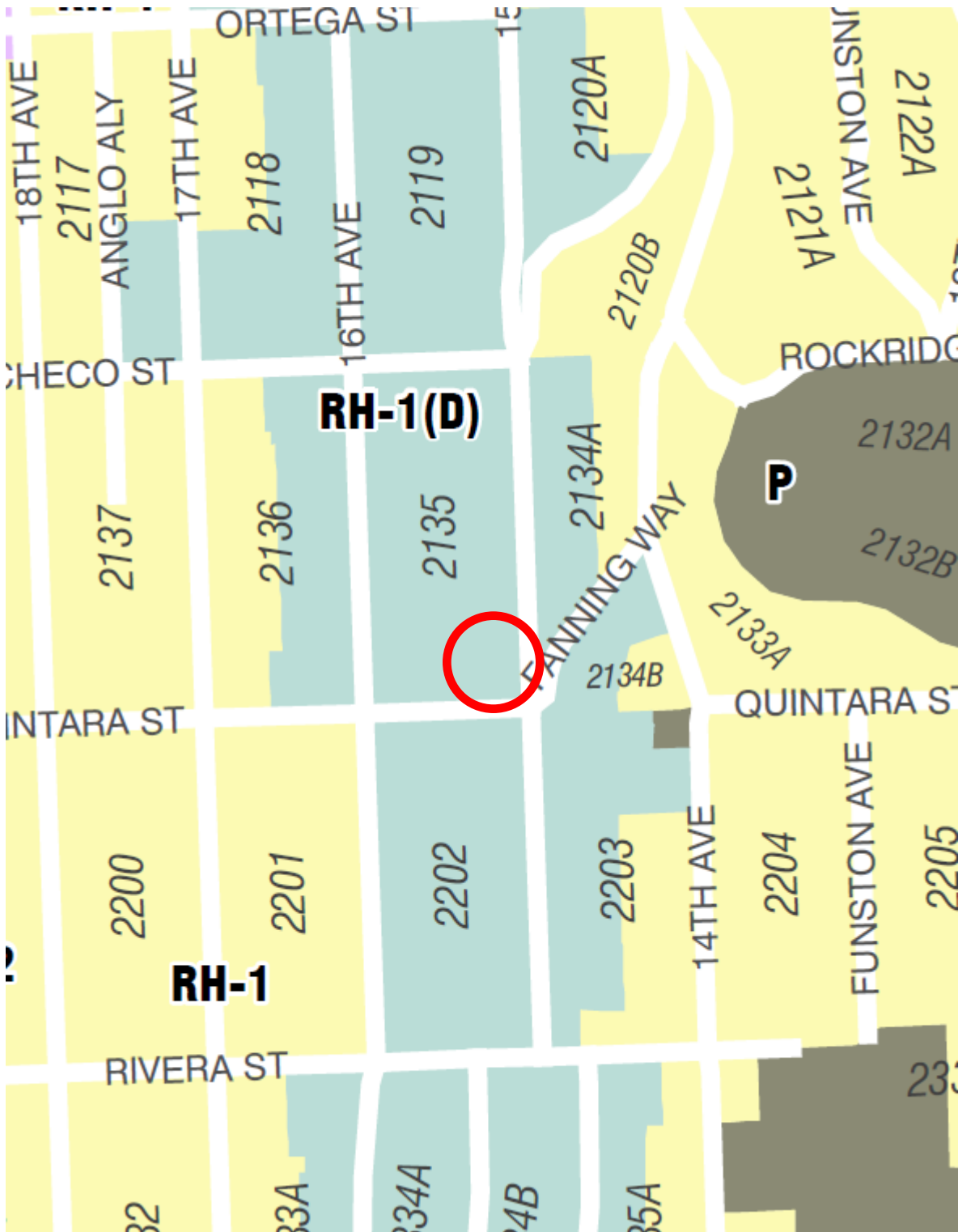


SUBJECT PROPERTY



Discretionary Review Hearing
Case Number 2014-001944DRP
2079 15th Avenue

Zoning Map



Discretionary Review Hearing
Case Number 2014-001944DRP
2079 15th Avenue

Site Photo



Discretionary Review Hearing
Case Number 2014-001944DRP
2079 15th Avenue



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311/312)

On **April 11, 2014** the Applicant named below filed Building Permit Application No. **2014.04.11.3071** with the City and County of San Francisco.

PROPERTY INFORMATION		APPLICANT INFORMATION	
Project Address:	2079 15th Avenue	Applicant:	Khoan Duong
Cross Street(s):	Quintara and Pacheco Streets	Address:	3246 17th Street
Block/Lot No.:	2135/0010	City, State:	San Francisco, CA 94110
Zoning District(s):	RH-1(D) / 40-X	Telephone:	(415) 558.9550

You are receiving this notice as a property owner or resident within 150 feet of the proposed project. You are not required to take any action. For more information about the proposed project, or to express concerns about the project, please contact the Applicant listed above or the Planner named below as soon as possible. If you believe that there are exceptional or extraordinary circumstances associated with the project, you may request the Planning Commission to use its discretionary powers to review this application at a public hearing. Applications requesting a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown below, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

PROJECT SCOPE		
<input type="checkbox"/> Demolition	<input type="checkbox"/> New Construction	<input checked="" type="checkbox"/> Alteration
<input type="checkbox"/> Change of Use	<input checked="" type="checkbox"/> Façade Alteration(s)	<input type="checkbox"/> Front Addition
<input checked="" type="checkbox"/> Rear Addition	<input checked="" type="checkbox"/> Side Addition	<input checked="" type="checkbox"/> Vertical Addition
PROJECT FEATURES	EXISTING	PROPOSED
Building Use	Residential	No Change
Front Setback	14 feet, 7 inches	No Change
North Side Setback	1 foot, 11 inches	0 feet
South Side Setback	3 feet, 9 inches	No Change
Building Depth	50 feet, 4 inches	62 feet, 5 inches
Rear Yard	62 feet, 8 inches	50 feet, 7 inches
Building Height (measured above curb)	14 feet, 11 inches	21 feet, 6 inches
Number of Stories	1 over basement	2 over basement
Number of Dwelling Units (legal)	1	No Change
Number of Parking Spaces	2 (detached garage)	No Change
PROJECT DESCRIPTION		
<p>The proposal is to construct a one-story vertical addition, a rear horizontal addition, a north side addition, and extensive interior and exterior alterations. The illegal basement second dwelling unit within the basement will also be removed as part of the project. The project requires a side yard variance because the north side of the building will encroach into the required side yard. The variance hearing will be noticed to the public at a later date pursuant to record No. 2014-001944VAR. No change is proposed for the detached garage at the rear of the property. See attached plans.</p> <p>The issuance of the building permit by the Department of Building Inspection or the Planning Commission project approval at a discretionary review hearing would constitute as the Approval Action for the project for the purposes of CEQA, pursuant to Section 31.04(h) of the San Francisco Administrative Code.</p>		

For more information, please contact Planning Department staff:

Planner: Michael Smith

Telephone: (415) 558-6322

E-mail: michael.e.smith@sfgov.org

中文詢問請電: (415) 575-9010

Para información en Español llamar al: (415) 575-9010

Notice Date: 6/12/2015

Expiration Date: 7/12/2015

GENERAL INFORMATION ABOUT PROCEDURES

Reduced copies of the proposed project plans have been included in this mailing for your information. If you have questions about the plans, please contact the project Applicant listed on the front of this notice. You may wish to discuss the plans with your neighbors or neighborhood association, as they may already be aware of the project. If you have general questions about the Planning Department's review process, please contact the Planning Information Center at 1660 Mission Street, 1st Floor (415/ 558-6377) between 8:00am - 5:00pm Monday-Friday. If you have specific questions about the proposed project, you should contact the planner listed on the front of this notice.

If you believe that the impact on you from the proposed project is significant and you wish to seek to change the project, there are several procedures you may use. **We strongly urge that steps 1 and 2 be taken.**

1. Request a meeting with the project Applicant to get more information and to explain the project's impact on you.
2. Contact the nonprofit organization Community Boards at (415) 920-3820, or online at www.communityboards.org for a facilitated discussion in a safe and collaborative environment. Community Boards acts as a neutral third party and has, on many occasions, helped reach mutually agreeable solutions.
3. Where you have attempted, through the use of the above steps or other means, to address potential problems without success, please contact the planner listed on the front of this notice to discuss your concerns.

If, after exhausting the procedures outlined above, you still believe that exceptional and extraordinary circumstances exist, you have the option to request that the Planning Commission exercise its discretionary powers to review the project. These powers are reserved for use in exceptional and extraordinary circumstances for projects which generally conflict with the City's General Plan and the Priority Policies of the Planning Code; therefore the Commission exercises its discretion with utmost restraint. This procedure is called Discretionary Review. If you believe the project warrants Discretionary Review by the Planning Commission, **you must file a Discretionary Review application prior to the Expiration Date shown on the front of this notice.** Discretionary Review applications are available at the Planning Information Center (PIC), 1660 Mission Street, 1st Floor, or online at www.sfplanning.org. You must submit the application in person at the Planning Information Center (PIC) between 8:00am - 5:00pm Monday-Friday, with all required materials and a check payable to the Planning Department. To determine the fee for a Discretionary Review, please refer to the Planning Department Fee Schedule available at www.sfplanning.org. If the project includes multiple building permits, i.e. demolition and new construction, a **separate request for Discretionary Review must be submitted, with all required materials and fee, for each permit that you feel will have an impact on you.**

Incomplete applications will not be accepted.

If no Discretionary Review Applications have been filed within the Notification Period, the Planning Department will approve the application and forward it to the Department of Building Inspection for its review.

BOARD OF APPEALS

An appeal of the Planning Commission's decision on a Discretionary Review case may be made to the **Board of Appeals within 15 calendar days after the building permit is issued** (or denied) by the Department of Building Inspection. Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

ENVIRONMENTAL REVIEW

This project has undergone preliminary review pursuant to California Environmental Quality Act (CEQA). If, as part of this process, the Department's Environmental Review Officer has deemed this project to be exempt from further environmental review, an exemption determination has been prepared and can be obtained through the Exemption Map, on-line, at www.sfplanning.org. An appeal of the decision **to exempt the proposed project from CEQA may be made to the Board of Supervisors within 30 calendar days** after the project approval action identified on the determination. The procedures for filing an appeal of an exemption determination are available from the Clerk of the Board at City Hall, Room 244, or by calling (415) 554-5184.

Under CEQA, in a later court challenge, a litigant may be limited to raising only those issues previously raised at a hearing on the project or in written correspondence delivered to the Board of Supervisors, Planning Commission, Planning Department or other City board, commission or department at, or prior to, such hearing, or as part of the appeal hearing process on the CEQA decision.

APPLICATION FOR Discretionary Review

1. Owner/Applicant Information

DR APPLICANT'S NAME: Alice Lee		
DR APPLICANT'S ADDRESS: 2073 15th Avenue	ZIP CODE: 94116	TELEPHONE: (415) 577-4945
PROPERTY OWNER WHO IS DOING THE PROJECT ON WHICH YOU ARE REQUESTING DISCRETIONARY REVIEW NAME: Zhang XiaoDong & Chen Rurong		
ADDRESS: 2526 32nd Ave	ZIP CODE: 94116	TELEPHONE: (415) 665-4098
CONTACT FOR DR APPLICATION: Same as Above <input checked="" type="checkbox"/> <input type="checkbox"/>		
ADDRESS:	ZIP CODE:	TELEPHONE: ()
E-MAIL ADDRESS: locelia85@gmail.com		

2. Location and Classification

STREET ADDRESS OF PROJECT: 2079 15th Ave.		ZIP CODE: 94116		
CROSS STREETS: Quintara / Pacheco				
ASSESSORS BLOCK/LOT: 2135 /0010	LOT DIMENSIONS: 127.5 x 31	LOT AREA (SQ FT): 3952	ZONING DISTRICT: RH-1(D)	HEIGHT/BULK DISTRICT: 40X

3. Project Description

Please check all that apply

Change of Use ☐ Change of Hours ☐ New Construction ☐ Alterations ☒ Demolition ☐ Other ☐**Additions to Building:** Rear ☒ Front ☒ Height ☒ Side Yard ☒
Single Family Home with illegal basement

Present or Previous Use:

Proposed Use: 4000sqft, 4 stories home, 5 bedrooms, 6 and 1/2 bathrooms, 5 additional rooms.

Building Permit Application No. 201404113071 & 2014.001944VAR

Date Filed: 04/11/14

4. Actions Prior to a Discretionary Review Request

Prior Action	YES	NO
Have you discussed this project with the permit applicant?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you discuss the project with the Planning Department permit review planner?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you participate in outside mediation on this case?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

5. Changes Made to the Project as a Result of Mediation

If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes there were made to the proposed project.

- (1) Lowering height of 2079's North wall by 18" for a width of 5ft, to the length of the first 38 ft.
- (2) 2'1" separation from property line at the rear of project 2079.
- (3) Shortening the length of the building 6". (4) Making the North facing bathroom windows (2079)translucent.
- None of the above proposal solves the problem of blocking of natural light to the North side neighbor's (2073) South side windows. (See Attached B.4)

Discretionary Review Request

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and cite specific sections of the Residential Design Guidelines.

The Project is an extensive "remodel" (nearly triple the current square footage) and will be the first (if approved) building in the neighborhood with four floors of occupancy. The project DOES NOT meet the minimum standards of the Planning Code, requesting side yard and non-conforming structure variances. The Project gives the strong impression of a demolition as all exterior and interior walls, roof, foundations, floors etc...will have to be removed. The Plans submitted incorrectly identify a garden wall as a foundation.(See Attached B.1)

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how:

The overall size of the project and the requested variances are not "reasonable" and cause direct harm to the neighbors. The project violates the Residential Design Guidelines as it requests variances and does not provide "good neighbor" gestures such as light wells and code required setbacks. The Sponsor cannot demonstrate any extraordinary and exceptional circumstance to justify the variances. Numerous concerned neighbors oppose the project as out of character with the neighborhood. (See Attached B.2).

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

I. Following Planning Code Section 133 in RH-1(D) district with 3ft side yard setback to the property line.

II. Adequate light well.

III. Change 2079's Flat roof with parapet walls to a sloped roof and lower the height of the roof.

IV. Modify 2079's North and West side windows.

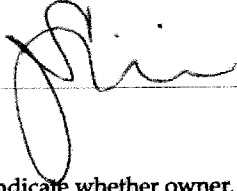
V. Reduce the rear addition. (See Attached B.3)

Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: The other information or applications may be required.

Signature: _____



Date: _____

7-9-15

Print name, and indicate whether owner, or authorized agent:

Stephen M. Williams

Owner / Authorized Agent (circle one)

Discretionary Review Application Submittal Checklist

Applications submitted to the Planning Department must be accompanied by this checklist and all required materials. The checklist is to be completed and **signed by the applicant or authorized agent**.

REQUIRED MATERIALS (please check correct column)	DR APPLICATION
Application, with all blanks completed	<input checked="" type="checkbox"/>
Address labels (original), if applicable	<input checked="" type="checkbox"/>
Address labels (copy of the above), if applicable	<input checked="" type="checkbox"/>
Photocopy of this completed application	<input checked="" type="checkbox"/>
Photographs that illustrate your concerns	<input type="checkbox"/>
Covenant or Deed Restrictions	<input type="checkbox"/>
Check payable to Planning Dept.	<input checked="" type="checkbox"/>
Letter of authorization for agent	<input checked="" type="checkbox"/>
Other: Section Plan, Detail drawings (i.e. windows, door entries, trim), Specifications (for cleaning, repair, etc.) and/or Product cut sheets for new elements (i.e. windows, doors)	<input type="checkbox"/>

NOTES:

☐ Required Material.☒ Optional Material.☐ Two sets of original labels and one copy of addresses of adjacent property owners and owners of property across street.

RECEIVED

JUL 10 2015

For Department Use Only

Application received by Planning Department:

By: Isoken OmokaroCITY & COUNTY OF S.F.
PLANNING DEPARTMENT
P.L.D.Date: 7-10-15


ALICE LEE
2073 15th Avenue
San Francisco, CA 94116

July 8, 2015

To Whom It May Concern:

This will confirm that we have retained the Law Office of STEPHEN M. WILLIAMS to represent our interest in a Discretionary Review matter before the Planning Commission concerning the proposed project at 2079 15th Avenue, San Francisco, CA 94116.

Sincerely,

A handwritten signature in cursive script, reading "Alice M. Lee", positioned above a horizontal line.

Alice Lee.

ATTACHMENT TO APPLICATION REQUESTING DISCRETIONARY REVIEW

PROPERTY ADDRESS: 2079 15th Avenue
ASSESSOR'S PARCEL NO: Block 2135, Lot 001O
ZONING DISTRICT RH-1(D) /40-X
APPLICATION NO: 201404113071 & 2014.001944VAR

ACTIONS PRIOR TO DISCRETIONARY REVIEW REQUEST

When this project was first reviewed, the Dept. noted that it invaded the side-yards and requested that the sponsors "revise your plans such that the proposed addition respects the side yard requirement or seek and justify a variance." The sponsors were also asked to provide additional information on the demolition calculations and on the openings of the adjacent buildings. The plans have been corrected to provide additional information to attempt to justify the project, but still misidentify the location of the foundations of the building in an attempt to justify the demolition. After presenting the project to the local neighbors, the sponsors have continued to ignore the neighbors' suggestions and proposals to follow the RH-1(D) code of 3ft side yard setback. Many neighbors have submitted variant opposition letters to the planning and zoning department. Some neighbors spoke against the variance at the zoning hearing June 24th, 2015.

B. DISCRETIONARY REVIEW REQUEST**1. Reasons for Requesting Discretionary Review**

The project requires variances and does not comply with the Planning Code. The resulting new building creates an overwhelming vertical presence on the steep hill at the rear and goes deeper into the rear yard than its neighbors. The side yard variance request moves the new blank vertical wall to the north property line and would permanently and negatively impact the neighbor's building and the access to southern light and natural direct sunlight. The proposal to nearly triple the size of the building is far out of the prevailing scale of the built environment on this steep hill side and the project will affect the livability of the nearby residences. Because of the new two floor addition, the project will require new structural improvements to the building (such as sheer wall etc) but the full extent of the demolition mandated by the Building Code is not shown on the plans.

This is further an exceptional and extraordinary circumstance in that the design, materials and massing of the proposed new structure are out of character with the architecture of this neighborhood, and clearly inconsistent with the City's Residential Design Guidelines. The subject building is on a block face with a slope and all of the small, wood frame buildings on the block face (including both adjacent buildings) make a stepped down pattern on the hillside. The new rear addition also goes further into the rear yard than both adjacent buildings and is not "notched" as required by the RDG's.

The Commission should at a minimum, require the proposed project to be modified to comply with the RDG's: 1) Eliminate the variances from the Project 2) Add good neighbor gestures

such as light wells and setbacks as required by the Residential Design Guidelines; 3) Reduce the mass at the rear of the building by matching or averaging the height and depth between the adjacent buildings.

2. Adverse Effects on the Neighborhood

Golden Gate Heights is a special place that should be protected.

Golden Gate heights is a distinctive neighborhood with a clear context of two -three-story buildings of the age and design of the buildings in the inner Sunset. This block face in particular has a clear setback and roof pattern on 15th Avenue and as viewed from the west on 14th Avenue and other streets. The buildings step up as the street ascends from south to north. The prevalent pattern of the area provides side yard setbacks, and the houses were constructed beginning in 1920. The subject building was designed by famed architect E.E. Young. Materials are generally wood siding with wooden windows and cornices. If there is no side yard setback from 2079's project, the 2073's South-sided windows will be almost completely blocked of sunlight permanently. This will impact the quality of life.

The proposal will create a jarring physical presence on the street with its "loft-like" appearance and nearly all glass rear and front facades.

The project as proposed would have the following adverse effects:

A. The height and scale of the proposed project would negatively impact the prevailing scale of the built environment on 15th Avenue

The reasons for Requesting Discretionary Review of this project is the fact that the proposal is out of scale with the neighbor AND seeks a side yard variance to eliminate the mandatory three foot (3') setback and move the new oversized wall to the property line. This project will be the only 4 story house in the neighborhood.

The height and scale of the proposed project would negatively impact the prevailing scale of the built environment on this block face of 15th Avenue. Given the strong level of opposition against the project (without a setback) by the neighbors, the sponsors should not be permitted to triple its size AND obtain variances to move the new oversized building directly to the property line in violation of the code, to the detriment of the neighbors.

B. Loss of sound affordable home due to demolition

Preventing demolition of sound affordable (and usually rent-controlled) housing is the number one priority policy of the City. As this Commission is well aware, all demolitions are automatically referred to a mandatory discretionary review and, require findings under Planning Code Section 317 that a Conditional Use Authorization is warranted and that the criteria of section 317 can be met. In this instance, the Department should have determined that this major "alteration" is a demolition and asked the developers for appraisal information.

A review of the project shows that it is clearly a demolition under any definition applied. ALL of the exterior walls will be altered or removed. All of the interior walls will be altered or removed. The demolition plans provided by the developer are pure fantasy in that it envisions that the perimeter walls

and old foundation built in 1920 will be used to support two additional floors above. Further, the claim that the foundation is on the north property side yard is obviously untrue. The original outline of the building from the Sanborn Maps and historic aerial photos show that the new drawings submitted by the sponsors clearly misidentify the location of the foundations. The difference is startling.

All floors and ceilings on all levels will be removed. This is virtually and practically impossible unless it is a demolition since 100% of all interior partitions are being removed and 75% on the lower level will be removed. At one point the planner asked for more details on the demolition calculations and for a detailed explanation of what was to remain and what was being removed-- those details were provided but are incorrect.

Light and air issues are major concerns for the neighboring buildings on both sides of the proposed structure, as well as for the scale and feeling of this neighborhood. The interesting variation in building lines, which currently allows sunlight to reach each home would be negatively impacted, adding shadows and darkness.

C. The design features and materials of the proposed project are incompatible with neighborhood character/in conflict with the Residential Design Guidelines.

The prevalent style of the neighborhood is “craftsmen” consistent with the surrounding Inner Sunset neighborhood, constructed in the years immediately preceding the Second World War. Materials are generally wood siding or stucco, with wooden windows and rustic cornices. The proposed flat roof with parapet walls, glass facades and other modern additions are completely out of place.

In addition to the height and mass of the proposed new building, the proposed design, window pattern, and materials would be incompatible with this block and would contrast sharply with the overall character of the neighborhood.

• **Rear Addition is Inappropriate:**

The Project as proposed does not comply with the Residential Design Guidelines and the General Plan. The request for variances to construct a building completely out of character with the neighborhood cannot be justified. The four stories of occupancy is unprecedented in the area.

3. Suggested Changes to the Proposed Project

I. Follow Planning Code Section 133 in RH-1(D) district with 3ft side yard setbacks to the property line

By following the 3 feet side yard setbacks (RDG, page 8, side yards, Planning Code Section 133) by project sponsor (2079), (RDG, Design Principles, page 5, item #3, maintain light to adjacent properties by providing adequate setbacks), their immediate North side neighbor (2073) will have some sun light on their four South side upper level windows. If 2079 does not follow the code, (2073) will be the only house on the block deprived of natural sunlight. Their huge project, a 4 story building almost tripling in size, the only 4 story building in the neighborhood, needs to

follow code, (RDG, page 16, Planning Code Section 101 states that one of the purposes of the Planning Code is to provide adequate light, air, privacy and convenience of access to property in San Francisco) because neighbors at (2073) will be deprived of light, air, privacy (no access to 2079's north wall except trespassing into 2073's property to build and maintain 2079's north wall), and convenience of access.

Even with the side yard setback, all (5) lower windows of 2073 will be permanently blocked from sunlight because (2079) is much bigger (4,000 sq. ft.) and taller than (2073) and using 2 parapet walls as roof instead of a sloped roof.

II. Adequate light well

North side neighbor (2073) has adequate light well on their North wall for immediate South side neighbor (2069).

North side neighbor (2083) of the project (2079) has a light well on their North wall. Most all the houses on this block have light well built into them. So (2079) should follow the neighborhood pattern, and have adequate light well built into the design. A light well preserves and enhances the enjoyment and quality of life in a family home zoned RH-1(D), (RDG page 16, Light, item #3).

III. Change 2079's flat roof with parapet walls to a sloped roof and lower the height of the roof

Because 2079's roof is 2 solid parapet walls (flat roof) and much higher than (2073), eliminate the need for parapet walls with a sloped roof compatible with surrounding buildings, (RDG page 16, Light, item #2 and RDG page 30). None of the buildings in the neighborhood has 2 solid parapet walls flat roof. By lowering the roof height and providing setbacks on the upper floors of (2079), neighbor (2073) will receive more sunlight, (RDG page 24, building scale at the street guideline: design the height and depth to be compatible with the existing building scale at the street if a proposed building is taller than surrounding buildings).

IV. Modify 2079's North and West side windows

Modify the North side window of 2079 which is facing directly neighbor's (2073) windows, to prevent invasion of privacy. Backyard neighbors are very much concern of the extensive glaring from their rear windows, and also invasion of privacy.

V. Reduce the rear addition

The rear yard extension should be reduced to no more than three floors. No portion of the new addition should extend past the building to the north or south. The building already provides the smallest rear yard on the block and the proposal inappropriately increases the encroachment and impacts neighboring buildings.

4. Changes made to the Project as a Result of Mediation

The following proposals were offered by project sponsor 2079, 15th avenue:

1) Lowering of height of 2079's North side wall by 18" for a width of 5 feet, to the length of the first 38ft:

From the light shadow study, the blockage of sunlight to the South windows of 2073 is almost the same with the blockage of sunlight from the project as proposed without the 3 foot setback. There is no improvement with this proposal.

The 3 foot setback yields more sunlight to 2073's South side windows compared to lowering 2079's North side wall by 18" for 5 feet width and 38 feet length.

2) 2feet1" separation from property line at the rear of project 2079:

The proposed site at the rear does not correspond to the location of the windows of 2073. It does not provide any improvement to sunlight to 2073's South side windows.

3) Shortening of the length of the building by 6":

Does not adequately address the issue of blockage of sunlight to South side windows of 2073.

4) Making their north-facing bathroom window translucent glass:

None of the above proposals solves the problem of blockage of natural sunlight to North side neighbor 2073's South side windows. Their proposal is detrimental to neighbors at 2073 by blocking natural sunlight, view, air, sky exposure and deprive 2073's neighbors of privacy because there is no access to 2079 north side wall except to trespass in 2073 neighbor's property. Those were the reasons why 2073 owner cannot accept their alternate offers.

RESPONSE TO
DISCRETIONARY
REVIEW (DRP)



San Francisco
Planning

SAN FRANCISCO PLANNING DEPARTMENT
1650 MISSION STREET, SUITE 400
SAN FRANCISCO, CA 94103-2479
MAIN: (415) 558-6378 SFPLANNING.ORG

Project Information

Property Address: **2079 15th Avenue** Zip Code: **94116**
Building Permit Application(s): **201404113071**
Record Number: **2014001944DRP** Assigned Planner: **Jeff Horn**

Project Sponsor

Name: **Leo and Rene Zhang** Phone: **(415) 216-9984**
Email: **zurongc@yahoo.com**

Required Questions

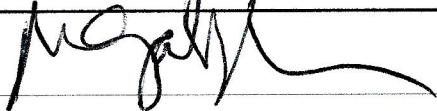
1. Given the concerns of the DR requester and other concerned parties, why do you feel your proposed project should be approved? (If you are not aware of the issues of concern to the DR requester, please meet the DR requester in addition to reviewing the attached DR application.)
- Concerns of DR requester are loss of view and light from her second-story kitchen window. Views are not protected in San Francisco unless the interested party has purchased an easement. There are no extraordinary/exceptional circumstances: this proposal adds a second story onto a one-story house and includes a small rear addition -- smaller than some other additions on the block, one of which was approved with a side-yard variance. This project originally proposed the same kind of variance but it was withdrawn.
2. What alternatives or changes to the proposed project are you willing to make in order to address the concerns of the DR requester and other concerned parties? If you have already changed the project to meet neighborhood concerns, please explain those changes and indicate whether they were made before or after filing your application with the City.
- We have made six changes: 1)shortened the building on the top two floors; 2)brought the 1st floor deck closer to the house, 3)set the north wall of the rear away from the property line by 2 feet, 4) changed windows that overlap in elevation with the DR requestor's from clear to obscure, 5)lowered the north corner of the building 18 inches and 6)replacing that by moving all of the second floor 3 feet away from the property, resulting in a 7'1.5" space between the project and the DR requestor's house.
3. If you are not willing to change the proposed project or pursue other alternatives, please state why you feel that your project would not have any adverse effect on the surrounding properties. Include an explanation of your needs for space or other personal requirements that prevent you from making the changes requested by the DR requester.
- We have made all of the changes above (see Exhibits H and I to the letter to the Commission). We have additionally met, called and emailed with the DR requestor many, many times while waiting an exceptionally long time (nine months) for the DR hearing to be scheduled (DR was filed 7/12/2015).

Project Features

Please provide the following information about the project for both the existing and proposed features. Please attach an additional sheet with project features that are not included in this table.

	EXISTING	PROPOSED
Dwelling Units (only one kitchen per unit - additional kitchens count as additional units)	1*	1
Occupied Stories (all levels with habitable rooms)	2	4
Basement Levels (may include garage or windowless storage rooms)	0	0
Parking Spaces (Off-Street)	2	2
Bedrooms	3	5
Height	12'11"	20'6"
Building Depth	50'***	61'11"***
Rental Value (monthly)	\$5495***	unknown***
Property Value	\$1,497,507***	unknown***

I attest that the above information is true to the best of my knowledge.

Signature: 	Date: 4/13/16
Printed Name: Mary Gallagher	<input type="checkbox"/> Property Owner <input checked="" type="checkbox"/> Authorized Agent

If you have any additional information that is not covered by this application, please feel free to attach additional sheets to this form.

Footnotes

* Permit History shows legal use is 1 unit in RH-1(D). Clients purchased in 2013. Sales disclosures verify a kitchen downstairs with an interior connection. Knowing the kitchen was not legal, new owners showed its removal on the plans filed in 2014. Under the new Avalos legislation this is not deemed an "unauthorized unit" because it does not have both features required of this definition: no interior connection (there is an open stair) and a separate entrance (it does have this). Notably, it was also last rented not separately but together with the rooms upstairs. It is currently vacant.

** With existing rear deck and stairs the current home is 70 feet long. The alterations will remove the rear stairs and deck and extend the rear building wall on the three main floors by less than 2 feet and then add a new room at a new lower level that will extend 10 feet beyond the main building wall.

*** Current rent and property value from Zillow on 4/13/2016. Using Zillow sf price for this neighborhood (\$792/sf, which is presumably habitable sf), new value would be roughly\$2.9 million.



Rodney Fong, President
San Francisco Planning Commission
1650 Mission Street, Suite 400
San Francisco, CA 94103

April 18, 2016

RE: **2079 15th Avenue**
Discretionary Review Request: 2014-001944DRP
BPA No.: 2014.04113071; 2014.001944VAR
Hearing Date: April 28, 2016

President Fong and Members of the Commission:

INTRODUCTION

This office represents DR Requester Ms. Alice Lee, the owner, and more than two decades long resident, of the single-family residence at 2073, 15th Avenue in the Inner Sunset neighborhood of San Francisco. Ms. Alice Lee lives in her home with her brother, children and extended family.

Zhang Xiao Dong and Chen Rurong ("Project Sponsors"), the developers that own the building at 2079 15th Avenue (Blk/Lot: 2135/001O) directly to the south of the Lee's building, have requested a permit to partially demolish the existing building (built in 1920) and rebuild a larger, and taller building in its place ("the Project"). DR requester believes that the plans are inaccurate depiction of the existing building with regards to

- (a) Not using the main building exterior walls for Demolition Calculation
- (b) Inconsistent in calculation for basement proposal.

The plan submitted for this proposed project has been inconsistent and deceptive. Ms Lee ("DR Requester") request that the Commission take Discretionary Review of the proposed expansion and demolition of the existing 96-year-old house. The Project will block air and natural sunlight of their south facing windows. The project will expand the footprint of the building beyond its existing foundations, and create new living space through a below grade excavation.

However, the project as proposed does not accurately reflect the building's foundation, and represents an existing non-load-bearing wall as a foundation wall. The Commission should not allow the proposed project to go forward without demanding a qualified independent inspection of the foundation and subbasement.

PROJECT HISTORY

The Proposed Project plans to almost completely demolish the existing building in order to build a horizontal rear yard addition, a side yard addition, a vertical addition, a subsurface excavation and expansion, and to add to the existing non-conforming building

on the north side of the property. The DR Requester's north adjacent property will be substantially affected by the proposed project due to the blocking of air and light, as well as the decreased privacy and potential for subsurface damage to DR Requester's property.

The Project Sponsors originally applied for permits to complete this remodel on April 11 2014 (Exhibit 1). The permit was received by the Planning Department and assigned to Planner Michael Smith for review. There were problems with this project submission almost from the start. Despite hiring a professional architecture firm, to produce the plans, the Planning Department informed the project sponsors in a July 11, 2014 Notice of Planning Department Requirements #1, that there were several problems with their building permit application, including: 1) lack of required environmental review; 2) lack of a required pre-application meeting with the neighborhood; 3) lack of side yard setbacks on the north side as required by Planning Code Section 133; 4) lack of front setback as required by Planning Code Section 132; 5) lack of demolition calculations required under Planning Code Section 317; 6) plan sets which lacked adequate site plans; 7) plan sets which lacked adequate floor plans; 8) plan sets which lacked adequate markings for site plan elevations; 9) plan sets which do not depict street trees as required (See Exhibit 2)

The existing structure at 2079 15th Ave does not observe the required 3' side yard setbacks for this RH-1 district under Planning Code Section 133. The Planning Code Section 188 does not allow the alteration or expansion of an existing non-complying structure unless it is brought into compliance or receives a variance. Because the existing structure encroaches into the side yard, it is a legal non-complying structure, and therefore the Project Sponsors were required to request a variance under Planning Code Section 188.

In order for the Zoning Administrator to approve this Project, the Project Sponsor *must* show *extraordinary and exceptional circumstances* that justify granting variances and show the variances do not hurt the neighbors. There is no doubt that the variances will directly and dramatically hurt the northern property and other neighbors. A legal non-conforming structure cannot be increased to the detriment of the neighbors.

The Project Sponsors submitted a variance application on Sept 11, 2014 (Exhibit 3). The application for the variance was strongly opposed by the neighbors who submitted 22 separate letters, including opposition letter from retired Zoning Administrator Mr. Robert Passmore, (pro bono) to Planner Michael Smith and Zoning Administrator Mr. Scott Sanchez, protesting the variance (Exhibit 4). As a result of this protest, the plan submitted by the Project Sponsor, and the Discretionary Review initiated by DR Requester the variance application was put on hold.

As a result, the Project Sponsor's most recent plan sets have abandoned the expansion up to the property line which was previously envisioned, in favor of excavating up to the property line below ground, and maintaining the 3-foot side setback for the second story only. Project Sponsor's claim eliminating a variance is a "concession", but for DR

Requester, this is merely a small step toward a project which follows the law and respects the planning code requirements. There are issues remaining to be corrected, because the plan submitted in support of this project still contain inaccuracies.

REASONS FOR TAKING DR AND OBJECTING THE PROJECT AS PROPOSED

In San Francisco, the type of building setbacks, respect for air and light, mid-block open space, which DR Requester and the other neighbors are fighting for, are the norm; and are protected by the Planning Code and Residential Design Guidelines. As the design guidelines point out, “[a] single building out of context with its surroundings can be disruptive to the neighborhood character and, if repeated often enough, to the image of the City as a whole.” Residential Design Guidelines pg. 3.

This is an important reason why San Francisco has a detailed and rigorous Planning Code, which requires repeatedly submitting to reviews and inspections of what a project sponsor wants and is doing. The Project Sponsor's plan have submitted permit application based on calculation which inaccurately depict the Project Sponsors plan. For these reasons, DR requestor asks the Commission to take DR and deny approval of the project as proposed.

1. The Project Sponsors Have Submitted Plans with Misrepresentations and Inaccuracies

The Project Sponsors are requesting approval of an expansion on the northeast corner of the project building to allow them to excavate up to the property line a below grade basement expansion. Labeling this an “expansion” is a pretty piece of maneuvering because by calling it an expansion, the Project Sponsors have avoided the much more significant and expensive permitting and approval process which is associated with a demolition permit.

In this instance, the distinction between a demolition permit and an expansion permit comes down to Planning Code Section 317, which establishes a precise formula for determining if a project is an expansion or demolition based on the proportion of the existing walls which are to be demolished. According to that formula, if less than 50% of the existing front and rear façade, and less than 65% of all exterior walls are torn the job may be called an expansion as opposed to a demolition. The Project Sponsors have produced plan sets that show that the proposed project meets these criteria, but these plans are incorrectly drawn, mislabeled, inaccurate and contain misleading information.

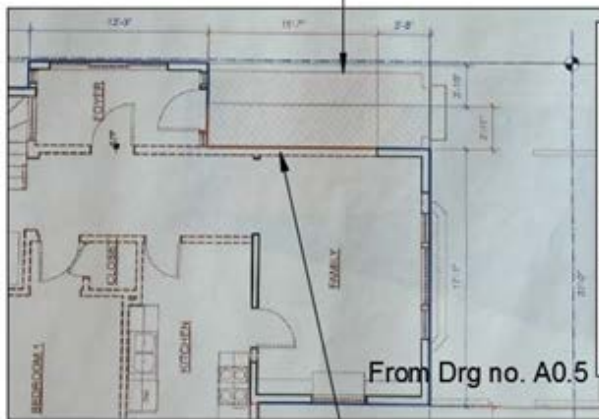
The most recent plan set from December 21, 2015 includes a number of representations of what wall sections will be torn down for the purposes of the Section 317 calculations. According to the plans the rear façade will clearly be completely altered and yet the table on plans indicate that 2’11” of the rear façade will somehow be retained.

This is belied by the depiction of the existing basement on plan page A1.1 in which the entire rear wall is marked as walls to be demolished. A comparison of the existing building and proposed building on plan page A1.1 also shows that there is a rear expansion

a) The exterior wall

Instead of using the external wall of the main building, the low wall of the Front Porch is used as the exterior wall for demolition calculation. The Front Porch is not part of the main building. A review of the Sanborn Fire insurance map of this area shows that in 1941 the Front Porch did not exist. (The house was built in 1920).

This merely is a low wall of the Front Porch. It is not the Exterior Wall. It is not the basement wall.

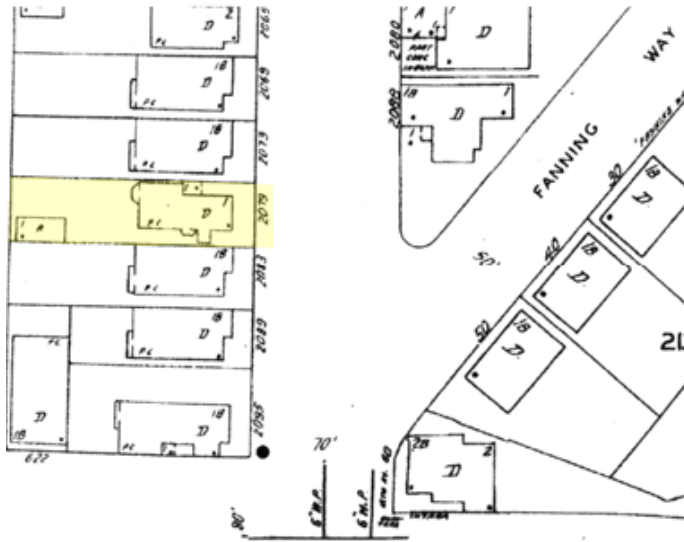


This is the exterior wall. It is located at 5'3" away from the common boundary line.



Front porch

Report from Tim Kelly showing all the building in 1938, and the Sanborn map of 1950 show a consistent North side of the building of 2079 with no Front Porch low wall.



A review of the building permits associated with the site review that there was no permit associated with the wall or any other kind of permit that would result a new weight bearing wall being put in.

The calculation for demolition should be based on the linear feet at foundation level of the exterior wall that is 5'3" setback from the property line, because the plans show that this wall bears the weight of the building and extends down to the foundation.

Project sponsors' current calculations include the entrance porch wall as an existing exterior wall which will be retained for the purposes of the Code Sec 317 calculation.

The calculation should not be based on the Front Porch wall on the property line, because this is not an exterior wall, does not bear the weight of the building, and is not supported by a foundation wall footing sufficient to hold up the building. The planning code does not define "exterior wall" however a review of the use of the term in the code shows that "exteriors walls" as found at Planning Code Sections 102.10; 102.22; 172(d); and 270(d)(3)(G) all refer to the exterior walls "of buildings" or "structures". This indicates that this is a reference to building exterior walls such as the currently existing building wall shown below. These references suggest that including the Front Porch wall shown below, as an "exterior wall" is incorrect for the purposes of Planning Code Section 317.

The Front Porch wall is shown on the right side of the right image above. The Front Porch wall clearly is not supporting any building weight, whereas the exterior wall of the building (which rests on the actual foundation) clearly supports the entire weight of the building and roof on that corner.

By double counting this as an exterior wall, the Project Sponsors are able to avoid having to apply for a demolition permit, and its heightened standards for application and approval. However, the project plans reveal that this is clearly a demolition because so much of the original house is being torn down. The Project Sponsors' gamesmanship

with the submitted plan sets creates an exceptional and extraordinary circumstance in that as it stands the City has no way of knowing if the plans submitted are accurate.

If these plans are approved, there will be an unreasonable impact on DR Requester, whose north adjacent property will be at risk for subsurface collapse. In the context of the steeply graded slope where these houses are situated, this subsurface structural danger is even more acute, because a collapse of either house's foundation could lead to the entire building sliding off of its foundation and down the hill. One only need be briefly reminded of the debacle around the downhill collapse of 149 Mangels Avenue in 2007, to remember that accurate plan sets and proper permitting of foundation and structural work, IS in fact incredibly important to the safety and habitability not only of the subject property but also the entire block.

All these information adds to the clear pattern of inaccuracy and misleading statement by the Project Sponsor.

b) Crawl space

The drawings revision dated June 12, 2015 (attached as Exhibit 6) clearly depict a crawl space ending 11'6" from the eastern most wall of the building. There is no crawl space at all below the entrance porch at the northeast corner of the building nor below any of the last 11'6" of the building before the eastern foundation. On the plan set dated December 21, 2015, the size of the crawl space has clearly been changed. The December 21, 2015 plan set shows the crawl space extending below the entire entrance porch and also all the way to the east exterior wall.

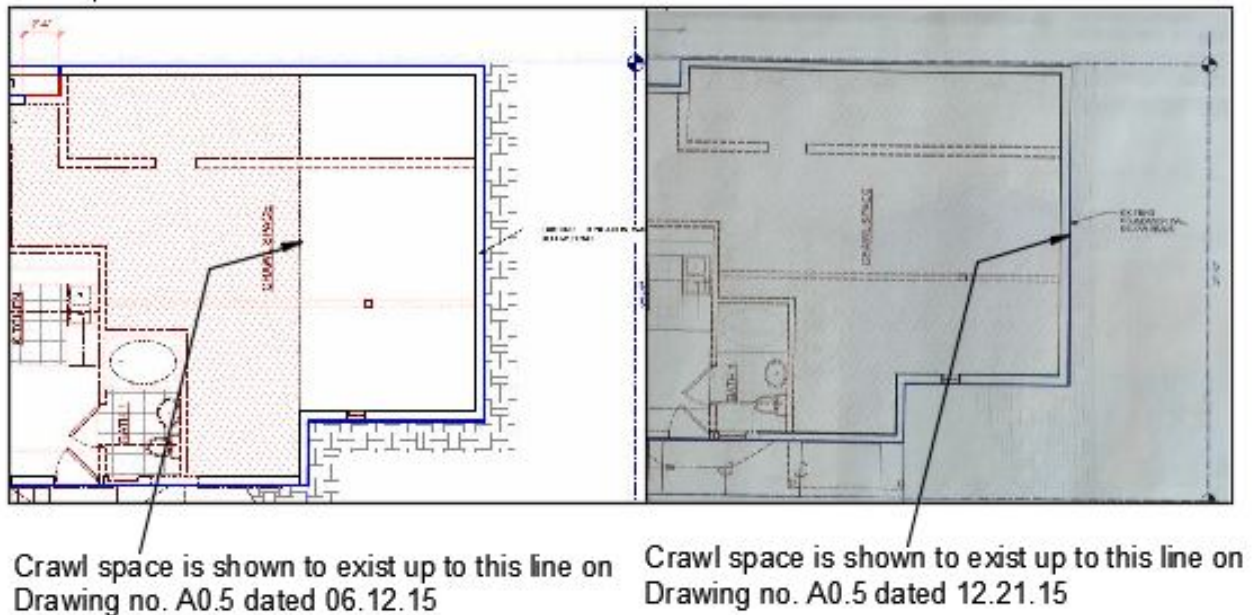
More Inconsistency of drawings:

Drawing A0.5 dated 06.12.15 – Basement Plan;

1. No crawl space exists below the entrance porch.
2. No crawl space exists all the way up to East exterior wall.

However, it is different on drawing A0.5 dated 12.21.15 – Basement Plan,
(also on Drawing nos. A.0.4 and A0.5 of 12.21.15)

1. Crawl space is shown below the entrance porch.
2. Crawl space is shown all the way up to East exterior wall.



In this case the basement expansion envisioned by the Project Sponsors will require the excavation of the unfinished sub-basement, which currently exists as a crawl space. The size of this crawl space has been represented differently on various plan sets produced by the project sponsor.

The Project Sponsors have submitted drawings containing inaccuracies and misrepresentations of both the existing building and the related information in the proposal.

Such erroneous information might achieve a more favorable review by the planning authorities.

2. The Plans' Inaccuracies (Planned Inaccuracies) Are Designed to Avoid Requesting a Variance Under Planning Code Section 133

Planning Code Section 133 requires that all residential buildings in this neighborhood maintain 3-foot side setbacks from their property lines. The existing project building is not set back from the property line along its north side. The project building was constructed before the current Planning Code was enacted, and therefore its non-compliant state is acceptable, but may not be changed without either being brought into conformance with the Code, or being granted a Variance.

The Project Sponsors have requested a variance to allow them to ignore the setback requirements of the Planning Code. The Residential Design Team in reviewing this application requested that the Project Sponsors "provide a code complying project" The RDT also stated an unwillingness to support "any variances" for the project (Exhibit 8) The Commission should require that Code complaint side setbacks be maintained along

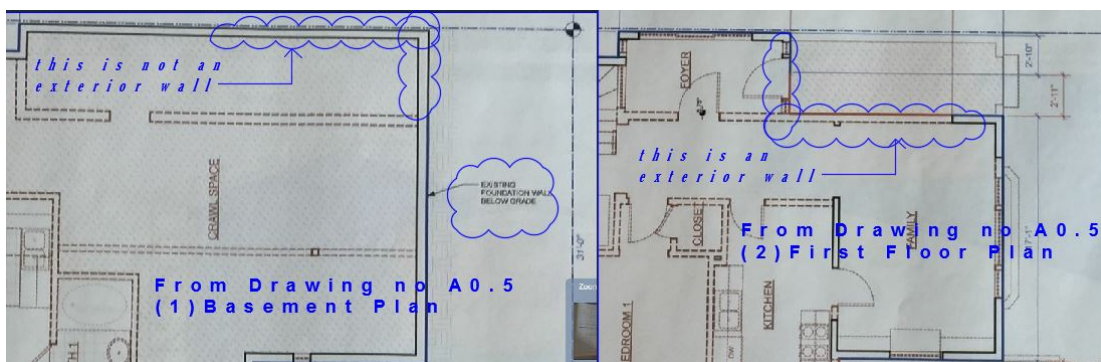
the entire northern exterior wall. While this will mean moving a substantial portion of the existing wall, this is a reasonable request in light of the other major alterations which will be going on at the same time. Once the interior walls have been removed, and the basement is being excavated, and the rear addition is being added, and the rear retaining wall is being expanded, and another floor is being inserted, moving a small wall section back a few feet should be a comparatively minor undertaking.

3. The Plans' Inaccuracies (Planned Inaccuracies) Are ALSO Designed to Avoid the Requirements of Planning Code Sec 317(2)(B)

All of this is important here because of the requirements the Planning Code imposes on demolitions versus expansions. Under Planning Code Section 317, a Project Sponsor who proposes tearing down only 50% of the combined front and rear facades and 65% of the total existing exterior walls may apply for a variance or an expansion permit. A Project Sponsor who tears down 51% of the combined front and rear façade and 66% of the existing exterior walls must go through the much more rigorous process of applying for a demolition permit. As the Commission is well aware, all demolitions are automatically sent through a Mandatory Discretionary Review, and require findings under Planning Code Section 317 that a Conditional Use Authorization is warranted and that the criteria of Section 317 can be met. In this instance the Department should have seen through the Project Sponsors' smokescreen and realized that this major alteration was indeed actually a demolition and required the developers to provide appraisal information.

A review of the project clearly demonstrates that it is a demolition under any reasonable definition. All of the interior walls are to be removed on all floors. The existing second unit will be completely demolished, and its kitchen and all internal walls will be ripped out. The rear façade will clearly be completely altered and the entire rear of the building will be expanded along all stories, and yet the plans indicate (A0.5 "Linear Feet Measurement") that 2'11" of the rear façade will somehow be retained.

In addition, the project sponsors' current calculations include the entire Front Porch wall as an existing exterior wall which will not be torn down for the purposes of the Code Sec 317 calculation. Including this wall, works for the sponsors in two ways. One, it is more wall that is not being torn down (decreasing the amount of teardown). Two, it increases the overall size of the existing building, making the remaining tear downs seem proportionally smaller.



It's like a tax dodge (probably Panamanian) that allows a person to pay taxes at a lower rate AND report less income. As a result, the Project Sponsors get to avoid the pesky complications that stem from following the law, and make sure they get what they want.

The calculation should not be based on the Front Porch wall on the property line, because this is not an exterior wall, does not bear the weight of the building, and is not supported by a foundation wall footing sufficient to hold up the building. The planning code does not define "exterior wall" however a review of the use of the term in the code shows that "exteriors walls" as found at Planning Code Sections 102.10; 102.22; 172(d); and 270(d)(3)(G) all refer to the exterior walls "of buildings" or "structures". This indicates that this is a reference to building exterior walls such as the currently existing building wall shown below. These references suggest that including the Front Porch wall shown below, as an "exterior wall" is incorrect for the purposes of Planning Code Section 317.

4. Project Is Uncharacteristically Large and Out of Place in The Neighborhood

Allowing a new building with a nearly 40-foot-tall, 4-story in the rear addition, over 4000 square feet with 5 bedrooms (potential more bedrooms) and 6 bathrooms in a neighborhood currently characterized by smaller houses would fundamentally change the character of the neighborhood. In the current climate of rapid development and red hot real estate prices this is exactly the type of development that leads to massive changes in the character of existing built-in neighborhoods like this one. This directly violates the General Plan Priority Policy No. 2 which requires that "existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods."

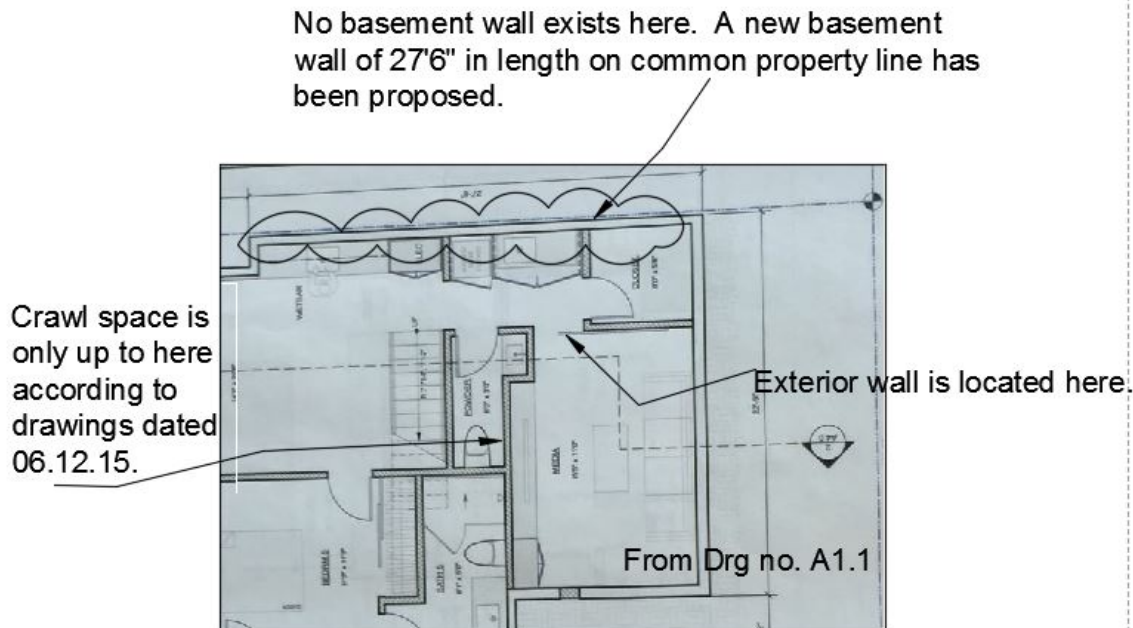
5. The Project Creates Unreasonable Impacts On the Privacy of All Adjacent Neighbors

The four story rear expansion proposed by the Project Sponsors would create building with three sides of glass walls that stick out farther into the mid-block open space behind the project building than any other building on the block. The resulting floor to ceiling windows will tower over the nearby neighbors looking down into neighboring bedrooms, kitchens and living rooms on three side of the proposed building. This is a highly unreasonable impact, and the Commission should not allow the project sponsors to go forward with this aspect of their design. The Commission should require that no portion of the new rear addition be allowed to extend past the north and south adjacent buildings.

6. Basement Expansion Beyond Existing Foot Print of the Building

The “new” basement is set out without any set back from the property line.

The wall in question here is outside the current envelope of the building.



Request for Further Review by The Planning Department

The inconsistent, inaccurate, and deceitful plans submitted by the Project Sponsors, have made it difficult if not impossible to understand what exactly the Project Sponsors want. However, what is clear is that the plans submitted do not comply with the legal requirements for plan submissions. The plans are inaccurate and contain erroneous information. This project should not be approved.

The Commission should take DR and demand that the Planning Department thoroughly and completely review the project to ensure that all the plans and calculations submitted are accurate.

CONCLUSION

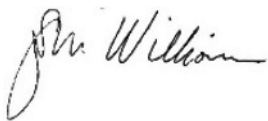
DR Requester Requests that the Commission take DR and deny the project as proposed. DR Requester would like to see the following changes implemented: the proposed plan sets must accurately depict the property. The proposed plan sets must be revised to present accurate calculations under Planning Code Section 317(2)(B)-(C). This means accurately representing the existing exterior walls for the purposes of the calculations and not using walls, which are not currently building exterior walls in making the calculations.

DR Requester is concerned about the continued non-code complaint condition of the side yard setbacks, which will persist under the instant proposal. In light of the substantial modifications which will be taking place, there is no reason why the 3' side setbacks observed by every other house on the block should not be implemented here as well. The Commission should deny the requested variance in favor of requiring a completely code compliant project be put forth.

DR Requester objects the proposed basement expansion. DR Requester Requests that the expansion of basement should be within the Existing Building's structural foot print, within the confines of the Existing Structural Exterior walls at the northeastern corner of the site.

The expansion of basement should not go up to our common property line beyond the existing exterior (and foundation) wall of the building which is 5'3" away from the northern property line. This is supposed to be a simple **remodeling** project and not a **massive demolition and rebuilding**.

VERY TRULY YOURS,

A handwritten signature in cursive script, appearing to read "Stephen M. Williams".

STEPHEN M. WILLIAMS

PS: We just received the new plan of April 18th. We do not have enough time to review their new plan.

Exhibit 1



SAN FRANCISCO PLANNING DEPARTMENT

Report for: 2079 15TH AVE



Property Report: 2079 15TH AVE

General information related to properties at this location.

PARCELS (Block/Lot):

2135/0010

ADDRESSES:

2079 15TH AVE, SAN FRANCISCO, CA 94116

NEIGHBORHOOD:

Inner Sunset

CURRENT PLANNING TEAM:

SW Team

PLANNING DISTRICT:

District 14: Inner Sunset

SUPERVISOR DISTRICT:

District 7 (Norman Yee)

CENSUS TRACTS:

2010 Census Tract 030302

TRAFFIC ANALYSIS ZONE:

Traffic Analysis Zone: 500

RECOMMENDED PLANTS:

Would you like to grow plants that create habitat and save water? Check out the plants that we would recommend for this property at [SF Plant Finder](#).

CITY PROPERTIES:

None

PORT FACILITIES:

None

ASSESSOR'S REPORT:

Address:	2079 15TH AV
Parcel:	21350010
Assessed Values:	
Land:	\$662,987.00
Structure:	\$254,995.00
Fixtures:	-
Personal Property:	-
Year Built:	1920
Building Area:	1,551 sq ft
Parcel Area:	3,952.5 sq ft
Units:	1
Stories:	1

Zoning Report: 2079 15TH AVE

Planning Department Zoning and other regulations.

ZONING DISTRICTS:

RH-1(D) - RESIDENTIAL- HOUSE, ONE FAMILY- DETACHED

HEIGHT & BULK DISTRICTS:

40-X

SPECIAL USE DISTRICTS:

None

SPECIAL SIGN DISTRICTS:

None

LEGISLATIVE SETBACKS:10 ft**COASTAL ZONE:**

Not in the Coastal Zone

PORT:

Not under Port Jurisdiction

LIMITED AND NONCONFORMING USES:

None

NEIGHBORHOOD-SPECIFIC IMPACT FEE AREAS:

In addition to those impact fees that apply throughout the City, the following neighborhood-specific impact fees apply to this particular property:

None

An overview of Development Impact Fees can be found on the [Impact Fees](#) website.

REDEVELOPMENT AREAS:

None

OTHER INFORMATION:

Control: *Slope of 20% or greater*

Description: CEQA Impact: an Environmental Evaluation Application may be required for some types of development.

Added: 3/19/2013

PLANNING AREAS:

None

MAYOR'S INVEST IN NEIGHBORHOODS INITIATIVE AREA:

None

COMMUNITY BENEFIT DISTRICT:

None

SCHOOLS:

None within 1,000ft

NOTICE OF SPECIAL RESTRICTIONS:

None

ZONING LETTERS OF DETERMINATION:

None

Historic Preservation Report: 2079 15TH AVE

Historic preservation surveys and evaluations. The Historic Resource status shown on this page is tentative, to confirm the status of your property please speak to a Preservation Technical Specialist. Tel: 415-558-6377; Email: pic@sfgov.org

HISTORIC EVALUATION:

Parcel:	21350010
Building Name:	
Address:	2079 15TH AV
Planning Dept. Historic Resource Status:	<u>C - No Historic Resource Present / Not Age Eligible</u>

ARTICLE 10 DESIGNATED HISTORIC DISTRICTS AND LANDMARKS:

None

ARTICLE 11 PRESERVATION DESIGNATION:

None

NATIONAL REGISTER HISTORIC DISTRICTS:

None

CALIFORNIA REGISTER HISTORIC DISTRICTS:

None

HISTORIC RESOURCE EVALUATION RESPONSES:

Planning App. No.:	2014.0730E
Date:	6/5/2014
Decision:	No Historic Resource Present
Further Information:	<u>View</u>

HISTORIC SURVEYS:

None

HISTORIC CONTEXT STATEMENTS:

None

ARCHITECTURE:

Unknown

Planning Applications Report: 2079 15TH AVE

Permits are required in San Francisco to operate a businesses or to perform construction activity. The Planning Department reviews most applications for these permits in order to ensure that the projects comply with the [Planning Code](#). The 'Project' is the activity being proposed.

PLANNING APPLICATIONS:

2014-001944DRPJeffrey Horn Tel: 415-575-6925**Discretionary Review - Public Initiated (DRP)** 2079 15TH AVE

Discretionary Review application on BPA 2014.04.11.3071: REMODEL OF SFD, TO BE EXPANDED VERTICALLY BY ADD A 2ND FLOOR ABOVE (E) 1ST FLOOR & NEW SUB-BASEMENT @ REAR OF BUILDING. BASEMENT TO BE EXPANDED WITHIN (E) BUILDING AREA.

OPENED	STATUS	ADDRESS	FURTHER INFO
7/17/2015	Under Review 1/6/2016	2079 15TH AVE 94116	View

RELATED RECORDS: [2014-001944PRJ](#)
- [2014-001944DRP](#)

2015-007870GENJosephine Chen Tel: 415-575-9199**Generic (GEN)** 2079 15th Ave

Record Request

OPENED	STATUS	ADDRESS	FURTHER INFO
6/17/2015	Closed 6/18/2015	2079 15TH AVE 94116	View

RELATED RECORDS: None

2014-001944PRJJeffrey Horn Tel: 415-575-6925**Project Profile (PRJ)** 2079 15TH AVE

REMODEL OF SFD, TO BE EXPANDED VERTICALLY BY ADD A 2ND FLOOR ABOVE (E) 1ST FLOOR & NEW SUB-BASEMENT @ REAR OF BUILDING. BASEMENT TO BE EXPANDED WITHIN (E) BUILDING AREA.

OPENED	STATUS	ADDRESS	FURTHER INFO
11/21/2014	Under Review 8/13/2015	2079 15TH AVE 94116	View

RELATED RECORDS: [2014-001944PRJ](#)
- [2014-001944DRP](#)
- [2014-001944VAR](#)

RELATED BUILDING PERMITS: [201404113071](#)

2014-001944VARJeffrey Horn Tel: 415-575-6925**Variance (VAR)** 2079 15TH AVE

Variance request to the side yard setback to permit a vertical and rear expansion.

OPENED	STATUS	ADDRESS	FURTHER INFO
11/21/2014	On Hold 2/26/2016	2079 15TH AVE 94116	View

RELATED RECORDS: [2014-001944PRJ](#)
- [2014-001944VAR](#)

2014.0730Planning Information Center Tel: 558-6377**Project Profile (PRJ)** 2079 15TH AV

Vertical expansion of a single-family dwelling by adding a second floor above existing plus a sub-basement at the rear portion of the building.

OPENED	STATUS	ADDRESS	FURTHER INFO
5/9/2014	Closed	2079 15TH AVE 94116	View

RELATED RECORDS: [2014.0730](#)
- [2014.0730E](#)

RELATED BUILDING PERMITS: None

2014.0730E

[Gretchen Hilyard](#) Tel: 415-575-9109

Environmental (ENV) 2079 15TH AV

Vertical expansion of a single-family dwelling by adding a second floor above existing plus a sub-basement at the rear portion of the building.

OPENED	STATUS	ADDRESS	FURTHER INFO
5/9/2014	Closed - CEQA Clearance Issued 6/5/2014	2079 15TH AVE 94116	View

RELATED RECORDS: [2014.0730](#)
- [2014.0730E](#)

1997.252

[Planning Information Center](#) Tel: 558-6377

Project Profile (PRJ) 2079 15TH AV

The proposal is to enlarge the existing one-car garage structure at the rear yard of the lot to accomodate one (1) more parking space for a total of two(2) parking spaces for a total of two (2) parking spaces to serve the existing two-story, single - family house. Rear Yard Variance sought per sec.134

OPENED	STATUS	ADDRESS	FURTHER INFO
4/17/1997	Closed	2079 15TH AV, SAN FRANCISCO, CA 94116	View

RELATED RECORDS: [1997.252](#)
- [1997.252V](#)

RELATED BUILDING PERMITS: [9704518S](#)

1997.252V

[Max Putra](#) Tel: 415-575-9180

Variance (VAR) 2079 15TH AV

The proposal is to enlarge the existing one-car garage structure at the rear yard of the lot to accomodate one (1) more parking space for a total of two(2) parking spaces for a total of two (2) parking spaces to serve the existing two-story, single - family house. Rear Yard Variance sought per sec.134

OPENED	STATUS	ADDRESS	FURTHER INFO
4/17/1997	Closed - Approved 6/6/1997	2079 15TH AV, SAN FRANCISCO, CA 94116	View

RELATED RECORDS: [1997.252](#)
- [1997.252V](#)

SHORT TERM RENTALS:

None

Building Permits Report: 2079 15TH AVE

Applications for Building Permits submitted to the Department of Building Inspection.

BUILDING PERMITS:

Permit: **201404113071**
Form: 3 - Alterations With Plans
Filed: 4/11/2014
Address: 2079 15TH AV
Parcel: 2135/001O
Existing: 1 FAMILY DWELLING
Proposed: 1 FAMILY DWELLING
Existing Units: 1
Proposed Units: 1
Status: FILED, FILING, TRIAGE
Status Date: 4/11/2014 2:19:08 PM
Description: REMODEL OF SFD, TO BE EXPANDED VERTICALLY BY ADD A 2ND FLOOR ABOVE (E) 1ST FLOOR & NEW SUB-BASEMENT @ REAR OF BUILDING. BASEMENT TO BE EXPANDED WITHIN (E) BUILDING AREA.
Cost: \$375,000.00

Permit: **201206213191**
Form: 8 - Alterations Without Plans
Filed: 6/21/2012
Address: 2079 15TH AV
Parcel: 2135/001O
Existing: 1 FAMILY DWELLING
Proposed: 1 FAMILY DWELLING
Existing Units: 1
Proposed Units: 1
Status: COMPLETE
Status Date: 6/28/2012
Description: TO COMPLY WITH 201164767 TO REDUCE THE FRONT FENCE TO BELOW 3 FT HEIGHT
Cost: \$200.00

Permit: **9704518S**
Form: 2 - New Wood Construction
Filed: 3/11/1997
Address: 2079 15TH AV
Existing:
Proposed: PRKNG GARAGE/PRIVATE
Existing Units: 0
Proposed Units: 0
Status: COMPLETE
Status Date: 3/15/1999
Description: ERECT A ONE STORY GARAGE
Cost: \$10,000.00

Permit: **9321007**
Form: 3 - Alterations With Plans
Filed: 11/30/1993
Address: 2079 15TH AV
Existing: 1 FAMILY DWELLING
Proposed: 1 FAMILY DWELLING
Existing Units: 1
Proposed Units: 1

Status: COMPLETE
 Status Date: 5/13/1994
 Description: REMOVE & REPLACE KITCHEN CABINETRY COUNTER/APPLIANCES
 Cost: \$11,000.00

Permit: **8611609**
 Form: 8 - Alterations Without Plans
 Filed: 9/19/1986
 Address: 2079 15TH AV
 Existing: 1 FAMILY DWELLING
 Proposed: 1 FAMILY DWELLING
 Existing Units: 1
 Proposed Units: 1
 Status: COMPLETE
 Status Date: 12/19/1986
 Description: REPAIR DRY ROT
 Cost: \$3,500.00

Permit: **8501756**
 Form: 3 - Alterations With Plans
 Filed: 2/20/1985
 Address: 2079 15TH AV
 Existing: 1 FAMILY DWELLING
 Proposed: 1 FAMILY DWELLING
 Existing Units: 1
 Proposed Units: 1
 Status: EXPIRED, EXPIRED
 Status Date: 3/4/1986
 Description: ENLARGE EXISTING FENCE DOOR TO 7'-0"-6'-0" WITH RED WOOD.
 Cost: \$350.00

Permit: **8412568**
 Form: 6 - Demolition
 Filed: 11/27/1984
 Address: 2079 15TH AV
 Existing: PRKNG GARAGE/PUBLIC
 Proposed:
 Existing Units: 0
 Proposed Units: 0
 Status: EXPIRED, EXPIRED
 Status Date: 3/4/1986
 Description: DEMOLITION
 Cost: -

Permit: **8412072**
 Form: 3 - Alterations With Plans
 Filed: 11/9/1984
 Address: 2079 15TH AV
 Existing: 1 FAMILY DWELLING
 Proposed: 1 FAMILY DWELLING
 Existing Units: 1
 Proposed Units: 1
 Status: CANCELLED
 Status Date: 8/8/1985

Description:	REMOVE & BUILD GARAGE STRUCTURE
Cost:	\$300.00

Miscellaneous Permits Report: 2079 15TH AVE

Depending on the activity being proposed a permit may need to be obtained from the Fire Department, Health Department, Police Department, Alcoholic Beverage Commission or other organization. The Planning Department reviews most applications for these permits in order to ensure compliance with the Planning Code.

MISCELLANEOUS PERMITS REVIEWED BY THE PLANNING DEPT:

None

Complaints Report: 2079 15TH AVE

The Planning Department and the Department of Building Inspection operate programs that ensure compliance with the San Francisco Planning Code and Building Inspection Commission Codes respectively. Additionally, they respond to customer complaints of potential code violations and initiate fair and unbiased enforcement action to correct those violations and educate property owners to maintain code compliance.

COMPLAINTS - PLANNING DEPT:

None

Appeals Report: 2079 15TH AVE

Planning Projects, Building Permits and Zoning Determinations appealed to the San Francisco Board of Appeals.

APPEALS:

None

Block Book Notifications Report: 2079 15TH AVE

A Block Book Notification (BBN) is a request made by a member of the public to be notified of permits on any property that is subject to the San Francisco Planning Code.

BLOCK BOOK NOTIFICATIONS:

None

The Disclaimer: The City and County of San Francisco (CCSF) does not guarantee the accuracy, adequacy, completeness or usefulness of any information. CCSF provides this information on an 'as is' basis without warranty of any kind, including but not limited to warranties of merchantability or fitness for a particular purpose, and assumes no responsibility for anyone's use of the information.

Exhibit 2



SAN FRANCISCO PLANNING DEPARTMENT

Notice of Planning Department Requirements #1

July 11, 2014

Khoan Dong
John Lum Architecture Inc.
3246 17th Street
San Francisco, CA 94110

RE: 2079 15th Avenue (Address)
 2135/001O (Assessor's Block/Lot)
 2014.04.11.3071 (Building Permit Application Number)

Your Building Permit Application No. 2014.04.11.3071 has been received by the Planning Department and has been assigned to planner Michael Smith. He has begun review of your application but the following information is required before it is accepted as complete and/or is considered Code-complying. Time limits for review of your project will not commence until we receive the requested information or materials and verify their accuracy. Please note that further comments may follow review of the requested information.

In order to proceed with our review of your Building Permit Application, the following is required:

1. **Environmental Review.** As the existing building is over 50 years and proposed for major alteration, an Environmental Evaluation application is required. Furthermore, your project requires environmental review because the site has a slope of 20% or greater. An application is available at the Planning Information Counter 1660 Mission Street, 1st floor or at www.sfplanning.org.
2. **Pre-Application Meeting.** Your pre-application meeting materials are incomplete because you did not include a copy of the neighbors and neighborhood groups that were invited to the meeting. Please provide this information.
3. **Side Yards.** Pursuant to Section 133 of the Planning Code, the subject property must maintain a three-foot side yard on either side of the building. Any new addition must respect the side yard requirement even if the existing building does not meet the requirement. Your project does not comply with the side yard requirements because it does not maintain a side yard on the north side of the building. You will either need to revise your plans such that the proposed addition respects the side yard requirement or seek and justify a variance from this Code provision.
4. **Front Setback.** Pursuant to Section 132 of the Planning Code, the required front setback for the subject property is 15-feet measured from the front property line. Although the existing building encroaches six-inches into this required open area, the proposed addition must respect the front

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

setback requirement. Your project does not comply with the front setback requirement because the proposed addition encroaches six-inches into the required front setback. You will either need to revise your plans such that the proposed addition respects the front setback requirement or seek and justify a variance from this Code provision.

5. **Demolition.** More information is needed to determine whether or not your project constitutes residential demolition pursuant to Section 317 of the Planning Code. For graphic representation, please provide a separate set of existing elevations with the exterior vertical surface area to be removed shaded. Below each elevation provide the total square footage of surface area for the elevation, the total square footage of surface area to be removed from that elevation, and the percentage of surface area to be removed. On your existing floor and roof plans provide the same information above for the horizontal surface area to be removed for each floor above the ground floor. Furthermore, on your separate set of existing floor plans provide separate measurements of the lineal feet of walls at the foundation level for each side of the building and calculate the percentage to be removed. Dimension the exterior walls in lineal feet and provide calculations for the lineal feet of wall to be removed. All of this information must be added to your plan set within a table that breaks down the information pursuant to Section 317 of the Planning Code. Please note that any existing wall that will become an internal wall counts towards your demolition calculations. Your project will be subject to the demolition procedures of Section 317 of the Code if the Department determines your project to be a demolition.
6. **Site Plan.** Please revise your existing and proposed site plans to indicate the full-width of the adjacent properties. Additionally, please provide the following dimensions: front setback for adjacent buildings; existing and proposed building depth measured to the rearmost wall; provide color panoramic photos of the existing building located within the rear yard, and the rear elevations of the subject and adjacent buildings. Also provide a color photo of the adjacent light wells.
7. **Floor Plans.** Please provide existing floor plans for the subject building. For reference, also provide floor plans for the existing building located within the rear yard.
8. **Context Elevations.** Please provide elevations of the adjacent buildings on your existing and proposed side elevations. All of the adjacent buildings' side facing windows must also be indicated on your side context elevations. For ease of reference, please provide the existing and proposed elevations on the same sheet.
9. **Street Tree.** Your project requires two new street trees. Please revise your site plan to indicate these required street trees. You will also need to obtain a street tree feasibility referral from DPW. Please contact Sally Bentz at DPW at 415.641.2675 or Sally.Bentz@sfdpw.org to obtain the referral.

Please note that further comment may follow review of the requested information.

NOPDR #1 sent to:
Khoan Dong
3246 17th Street
San Francisco, CA 94110

July 11, 2014
2014.04.11.3071
2079 15th Avenue

Please direct any questions concerning this notice to the assigned planner, **Michael Smith** at (415) 558-6322 or michael.e.smith@sfgov.org. Contact the assigned planner to set up any meeting, should one be necessary. Please do not come to the Planning Department to discuss this notice without an appointment.

Thank you for your attention to this notice. An early and complete response on your part will help expedite our review of your permit application.

Exhibit 3

CASE NUMBER:
For Staff Use only

APPLICATION FOR Variance from the Planning Code

1. Owner/Applicant Information

PROPERTY OWNER'S NAME: RENEE CHEN & LEO ZHANG	
PROPERTY OWNER'S ADDRESS: 2526 32nd Ave San Francisco, CA 94116	TELEPHONE: (415) 665-4098
	EMAIL: TTelectric@comcast.net
APPLICANT'S NAME: MARY GALLAGHER Same as Above <input type="checkbox"/>	
APPLICANT'S ADDRESS: 208 FRANKFORT ST DALY CITY, CA 94014	TELEPHONE: (415) 845-3248
	EMAIL: mg@mgaplanning.com
CONTACT FOR PROJECT INFORMATION: MARY GALLAGHER Same as Above <input checked="" type="checkbox"/>	
ADDRESS:	TELEPHONE: ()
	EMAIL:

2. Location and Classification

STREET ADDRESS OF PROJECT: 2079 15TH AVE	ZIP CODE: 94116
CROSS STREETS: QUINTARA AND PACHECO STS.	
ASSESSORS BLOCK/LOT: 2135 10010	LOT DIMENSIONS: 127'6" x 31'
LOT AREA (SQ FT): 3952 sq ft	ZONING DISTRICT: RH-1(D)
HEIGHT/BULK DISTRICT: 40-X	

zero zero one "letter O"

w/10' legislated front setback

3. Project Description

(Please check all that apply) <input type="checkbox"/> Change of Use <input type="checkbox"/> Change of Hours <input type="checkbox"/> New Construction <input checked="" type="checkbox"/> Alterations <input type="checkbox"/> Demolition <input type="checkbox"/> Other Please clarify:	ADDITIONS TO BUILDING: <input checked="" type="checkbox"/> Rear <input checked="" type="checkbox"/> Front <input checked="" type="checkbox"/> Height <input checked="" type="checkbox"/> Side Yard	PRESENT OR PREVIOUS USE: single family house
		PROPOSED USE: single family house
	BUILDING APPLICATION PERMIT NO.: 201404113071	DATE FILED: 4/11/2014

Assigned to Michael Smith

4. Project Summary Table

If you are not sure of the eventual size of the project, provide the maximum estimates.

	EXISTING USES	EXISTING USES TO BE RETAINED	NET NEW CONSTRUCTION AND/OR ADDITION	PROJECT TOTALS:
PROJECT FEATURES				
Dwelling Units	1	1	0	1
Hotel Rooms	0	0	0	0
Parking Spaces	2	2	0	2
Loading Spaces	0	0	0	0
Number of Buildings	2	2	0	2
Height of Building(s)	14' 11"	14' 11"	+ 6' 6"	21' 6"
Number of Stories	1 @ front; 2 @ rear	same	+ 1 @ front + 2 @ rear	2 @ front, 4 @ rear
Bicycle Spaces	0	0	0	0
GROSS SQUARE FOOTAGE (GSF)				
Residential	* 1551 sf	1551 sf	2430 sf	3981 sf
Retail	0	0	0	0
Office	0	0	0	0
Industrial/PDR <small>Production, Distribution, & Repair</small>	0	0	0	0
(separate building) Parking	600	600	0	600 sf (separate building)
Other (Specify Use)	—	—	—	—
TOTAL GSF	2151	2151	2430	4581
<p>Please describe what the variance is for and include any additional project features that are not included in this table. Please state which section(s) of the Planning Code from which you are requesting a variance. (Attach a separate sheet if more space is needed)</p> <p>* per tax assessor</p> <p>SEE ATTACHED</p>				

Variance Findings

Pursuant to Planning Code Section 305(c), before approving a variance application, the Zoning Administrator needs to find that the facts presented are such to establish the findings stated below. In the space below and on separate paper, if necessary, please present facts sufficient to establish each finding.

1. That there are exceptional or extraordinary circumstances applying to the property involved or to the intended use of the property that do not apply generally to other property or uses in the same class of district;
2. That owing to such exceptional or extraordinary circumstances the literal enforcement of specified provisions of this Code would result in practical difficulty or unnecessary hardship not created by or attributable to the applicant or the owner of the property;
3. That such variance is necessary for the preservation and enjoyment of a substantial property right of the subject property, possessed by other property in the same class of district;
4. That the granting of such variance will not be materially detrimental to the public welfare or materially injurious to the property or improvements in the vicinity; and
5. That the granting of such variance will be in harmony with the general purpose and intent of this Code and will not adversely affect the Master Plan.

SEE ATTACHED

Priority General Plan Policies Findings

SEE ATTACHED

Proposition M was adopted by the voters on November 4, 1986. It requires that the City shall find that proposed projects and demolitions are consistent with eight priority policies set forth in Section 101.1 of the City Planning Code. These eight policies are listed below. Please state how the project is consistent or inconsistent with each policy. Each statement should refer to specific circumstances or conditions applicable to the property. Each policy must have a response. IF A GIVEN POLICY DOES NOT APPLY TO YOUR PROJECT, EXPLAIN WHY IT DOES NOT.

1. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses enhanced;

1. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses enhanced;

2. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods;

2. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods;

3. That the City's supply of affordable housing be preserved and enhanced;

3. That the City's supply of affordable housing be preserved and enhanced;

4. That commuter traffic not impede Muni transit service or overburden our streets or neighborhood parking;

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SEE ATTACHED

Proposition M was adopted by the voters on November 4, 1986. It requires that the City shall find that proposed projects and demolitions are consistent with eight priority policies set forth in Section 101.1 of the City Planning Code. These eight policies are listed below. Please state how the project is consistent or inconsistent with each policy. Each statement should refer to specific circumstances or conditions applicable to the property. Each policy must have a response. IF A GIVEN POLICY DOES NOT APPLY TO YOUR PROJECT, EXPLAIN WHY IT DOES NOT.

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3. That the City's supply of affordable housing be preserved and enhanced;

4. That commuter traffic not impede Muni transit service or overburden our streets or neighborhood parking;

5. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced;

6. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake;

7. That landmarks and historic buildings be preserved; and

8. That our parks and open space and their access to sunlight and vistas be protected from development.

Estimated Construction Costs

TYPE OF APPLICATION: <i>Variance for a Residential Addition & Remodel</i>	
OCCUPANCY CLASSIFICATION: <i>R-3</i>	
BUILDING TYPE: <i>V-B</i>	
TOTAL GROSS SQUARE FEET OF CONSTRUCTION: <i>3939sf</i>	BY PROPOSED USES: <i>residential</i>
ESTIMATED CONSTRUCTION COST: <i>\$425,000</i>	
ESTIMATE PREPARED BY: <i>John Lum ARCHITECTURE, INC</i>	
FEE ESTABLISHED:	

Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: The other information or applications may be required.

Signature: *MCGall*

Date: *9/11/14*

Print name, and indicate whether owner, or authorized agent:

AGENT
Owner / Authorized Agent (circle one)



MARY GALLAGHER URBAN PLANNING
MG@MGAPLANNING.COM

415-845-3248
MGAPLANNING.COM

VARIANCE APPLICATION FOR 2079 15th Avenue: Description, Variance Findings and Prop M Findings

1. Variance Description

The project proposes to enlarge the existing single family home by adding a story in front and two stories in back (one of which will consist of just a single room at ground level facing the back yard), to remove a non-complying portion of the building that is located in the south side yard and to modernize the front facade. Because the zoning is RH-1(D) and the lot width is 31 feet, there is a side yard requirement of 3 feet on each side under Planning Code Section 133(a)3. The existing building is situated within both side yards and is therefore non-complying. Although the proposal will remove the existing building from the south side yard, it also will extend wholly into the 3 feet side yard on the north side at all levels for a maximum length of 52 feet 6 inches.

2. Variance Findings

a. That there are exceptional or extraordinary circumstances applying to the property involved or to the intended use of the property that do not apply generally to other property or uses in the same class of district.

The side yard pattern on the project side of the block is one of open side yards of between 3 and 6 feet on *only* the south side only of each lot. The predominate side yard width is 4 feet. North side yards are entirely developed for nearly every home on this side of the entire block. (See Sanborn Map and Overhead View of Side Yards, attached.) Therefore there is a conflict between Planning Code Section 133, which requires a 3 feet side yards on *both* sides of the lot and the established neighborhood pattern on this block, in which there is a side yard on just *one* side of the lot. This situation is exceptional to this street, as most RH-1(D) districts maintain side yards on each side of existing buildings.

b. That owing to such exceptional or extraordinary circumstances the literal enforcement of specified provisions of this Code would result in practical difficulty or unnecessary hardship not created by or attributable to the applicant or the owner of the property.

The existing building is located within portions of both side yards, thereby breaking the pattern of open side yards on the south side of the lot. The proposed building responds to the existing pattern on the block face by locating the expanded envelope in part within the permitted building envelope and in part in the north side yard while leaving the south side yard open. Furthermore, the proposal removes existing structure from the south side yard, which will result in a home that matches the

building pattern on the block face. Literal enforcement of the code would result in an addition that would create an open side yard only on the second floor, because both side yards are already occupied by the existing building on the ground floor. The visual impact would be inconsistent with and jarring to the established pattern of homes on the block, would result in an awkward floor plan and would not lead to the removal of the non-complying portions of the building in the south side yard. This would constitute not only a practical difficulty for the owner of the property but would work against instead of in concert with the continuity of the established pattern on the block face.

c. That such variance is necessary for the preservation and enjoyment of a substantial property right of the subject property, possessed by other property in the same class of district.

One only needs to look up and down this block face to see that almost every building maintains the development pattern that the project sponsor requests: these are all 2-story at front, single-family homes that are built to or near the property line on their north sides and maintain an open south side yard. (See Overhead View and Sanborn Map of the open south and developed north side yards for other buildings on the block.) In requesting the side yard variance, the owners ask for just this established pattern and nothing more.

d. That the granting of such variance will not be materially detrimental to the public welfare or materially injurious to the property or improvements in the vicinity.

As indicated above, not only will the variance not be harmful to other property, it will enhance and strengthen the established pattern on the block both in its additions in the north side yard and buildable area and in its deletions from the south side yard. The existing building stands out like a sore thumb on this block face both because it is the only single-story home but also because it is currently developed in both the north and south side yards. Once completed, the project will mirror the established development pattern.

e. That the granting of such variance will be in harmony with the general purpose and intent of this Code and will not adversely affect the Master Plan.

The purpose and intent of the Code and Master Plan are to provide for the orderly development of land in ways that preserve and enhance the existing built environment. Usually, Code requirements reflect and work in concert with existing and established development patterns, especially patterns that are characteristic of a block. In this rare case we have an established side yard pattern that is reflected in only one-half the side yard requirement and in fact contradict and work against the other half of the requirement. So while not meeting the black and white quantitative code requirement of Section 133, the proposal clearly does meet the purpose and intent of this section as it applies to this block face. The proposal also broadly meets the following Master Plan policies:

Objective 4, Policy 4.1: *Develop new housing, and encourage the remodeling of existing housing, for families with children.* The proposal remodels and enlarges an existing single family home. Specifically, it adds two bedrooms to an existing three-bedroom home and

improves the circulation of the home while also providing for amenities such as a fitness room.

Objective 11, Policy 11.1: *Promote the construction and rehabilitation of well-designed housing that emphasizes beauty, flexibility, and innovative design, and respects existing neighborhood character.* Although the project technically triggers the requirement for a variance to the side yard requirements, in fact the proposal responds to the precise existing pattern of development on the block. The addition and facade changes are in the scale and using the same materials found in the block but in a straightforward modern design that enhances not only the building but the block.

Objective 11, Policy 11.3: *Ensure growth is accommodated without substantially and adversely impacting existing residential neighborhood character.* As noted above, the project provides for enlarged units without any sacrifice to existing neighborhood character, and in fact the proposal brings the building into closer conformance with the established pattern of adjacent buildings.

PROPOSITION M FINDINGS

1. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses enhanced.

Existing neighborhood-serving retail uses would not be displaced or otherwise adversely affected by the project as the existing building does not contain commercial uses.

2. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

The project enlarges a legally existing residential unit, providing family-sized housing in a scale and in a pattern of development commensurate with the neighborhood.

3. That the City's supply of affordable housing be preserved and enhanced.

The project updates and enlarges a market rate single family home. It will have no effect on affordable housing and will provide the owners with greater flexibility and functionality.

4. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

The project has no effect on MUNI transit or parking as no changes to parking are proposed and no additional units are being added.

5. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

The Project is not a commercial office development and will not adversely affect the industrial or service sectors.

6. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The proposal will comply with San Francisco's current Building Code standards, meeting all current earthquake safety standards.

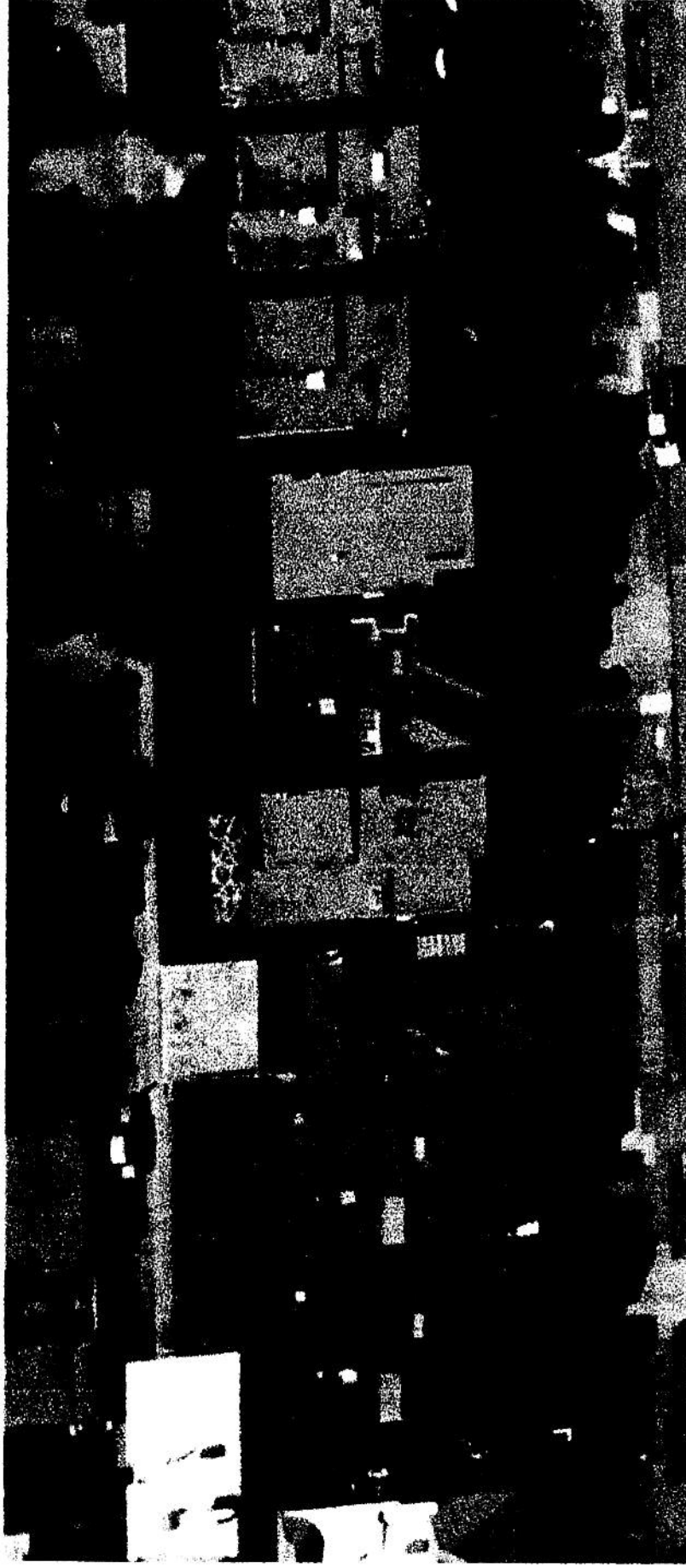
7. That landmarks and historic buildings be preserved.

The building is classified as non-historic and not within a designated or potential historic district.

8. That our parks and open space and their access to sunlight and vistas be protected from development.

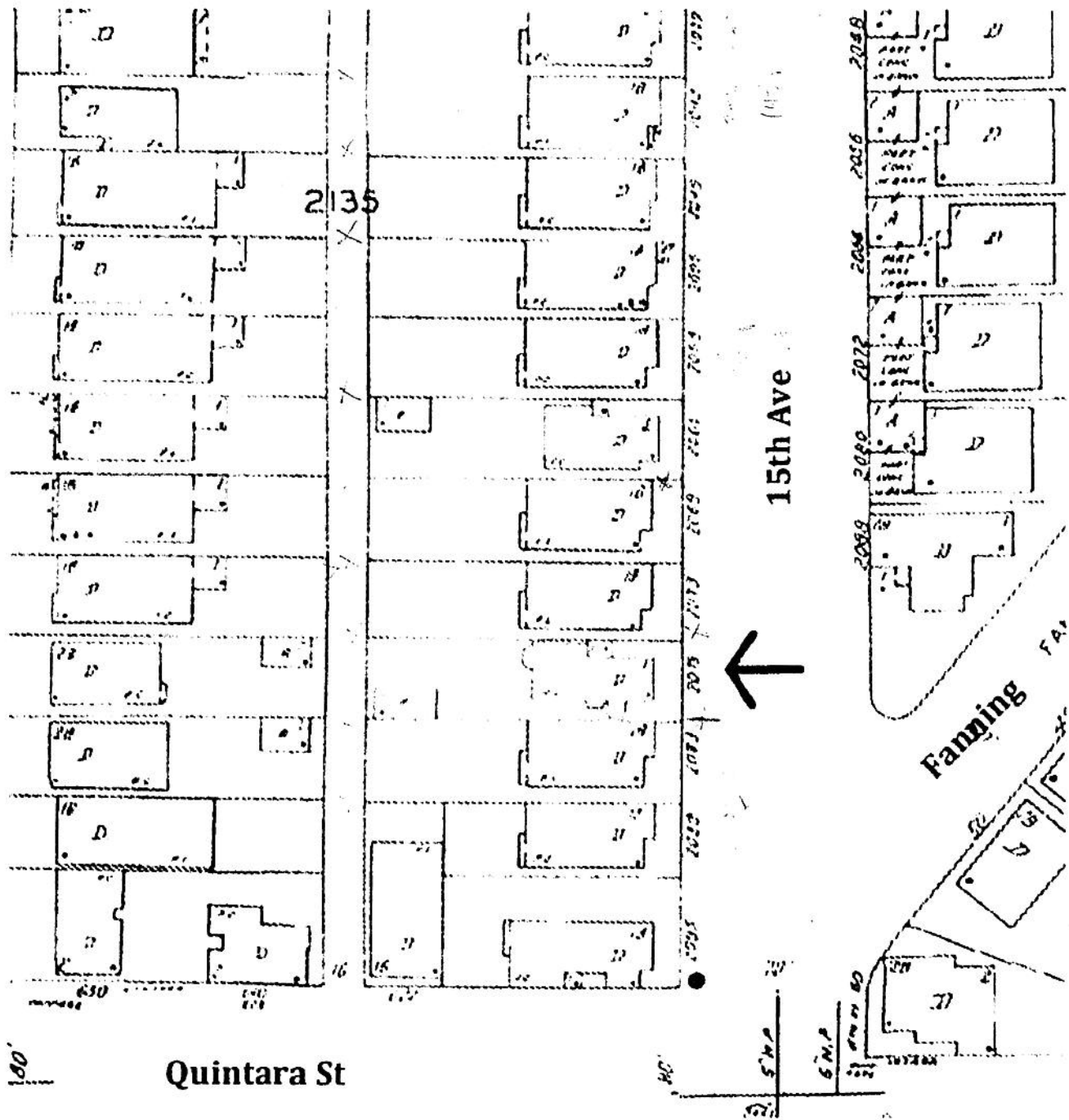
The project will not have any impact on existing parks and open spaces. The project does not propose any changes to height absent an open rooftop deck railing and is not subject to the requirements of Planning Code Section 295 – Height Restrictions on Structures Shadowing Property under the Jurisdiction of the Recreation and Park Commission.

2079 15th Ave -- Overhead View of Sideyards



—— Property Line

2079 15th Ave Sanborn Map



CASE NUMBER:
For Staff Use only

Application Submittal Checklist

Applications listed below submitted to the Planning Department must be accompanied by this checklist and all required materials. The checklist is to be completed and signed by the applicant or authorized agent and a department staff person.

APPLICATION MATERIALS	CHECKLIST
Application, with all blanks completed	<input type="checkbox"/>
300-foot radius map, if applicable	<input type="checkbox"/>
Address labels (original), if applicable	<input type="checkbox"/>
Address labels (copy of the above), if applicable	<input type="checkbox"/>
Site Plan	<input type="checkbox"/>
Floor Plan	<input type="checkbox"/>
Elevations	<input type="checkbox"/>
Section 303 Requirements	<input checked="" type="checkbox"/>
Prop. M Findings	<input type="checkbox"/>
Historic photographs (if possible), and current photographs	<input type="checkbox"/>
Check payable to Planning Dept.	<input type="checkbox"/>
Original Application signed by owner or agent	<input type="checkbox"/>
Letter of authorization for agent	<input type="checkbox"/>
Other: Section Plan, Detail drawings (ie. windows, door entries, trim), Specifications (for cleaning, repair, etc.) and/or Product cut sheets for new elements (ie. windows, doors)	<input type="checkbox"/>

NOTES:

- ☐ Required Material. Write "N/A" if you believe the item is not applicable, (e.g. letter of authorization is not required if application is signed by property owner.)
- ☒ Typically would not apply. Nevertheless, in a specific case, staff may require the item.
- ☐ Two sets of original labels and one copy of addresses of adjacent property owners and owners of property across street.

After your case is assigned to a planner, you will be contacted and asked to provide an electronic version of this application including associated photos and drawings.

Some applications will require additional materials not listed above. The above checklist does not include material needed for Planning review of a building permit. The "Application Packet" for Building Permit Applications lists those materials.

No application will be accepted by the Department unless the appropriate column on this form is completed. Receipt of this checklist, the accompanying application, and required materials by the Department serves to open a Planning file for the proposed project. After the file is established it will be assigned to a planner. At that time, the planner assigned will review the application to determine whether it is complete or whether additional information is required in order for the Department to make a decision on the proposal.

For Department Use Only

Application received by Planning Department:

By: _____

Date: _____

October 2, 2014

San Francisco Planning Department
1650 Mission Street, Suite 400
San Francisco, CA 94103

RE: Variance Application for 2079 15th Avenue

To whom it may concern:

We are the owners of 2079 15th Avenue. We authorize Mary Gallagher to act as our agent in the filing and consideration of a variance for our property.

Sincerely,

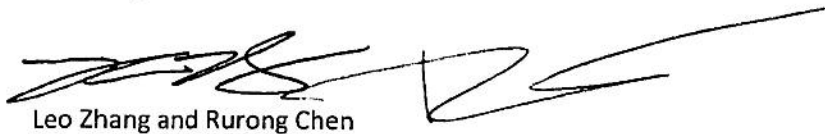

Leo Zhang and Rurong Chen

Exhibit 4

February 26, 2015

Mr. Michael Smith
City Planner
San Francisco Planning Department
1650 Mission Street, Suite 400
San Francisco, CA 94103-2479

Re: 2079, 15th Ave.---Proposed Virtual Demolition and New Construction Variance
application for 2079, 15th Ave., San Francisco

Dear Mr. Smith:

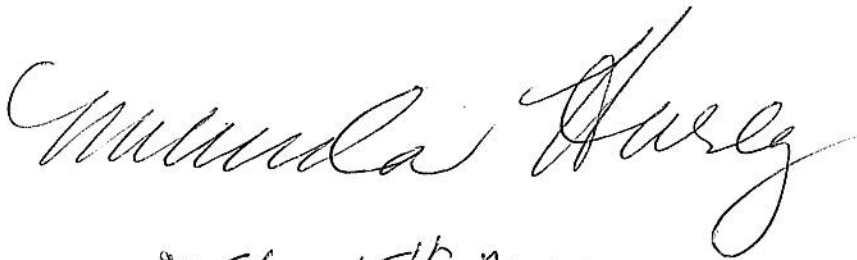
We are writing to you to strongly oppose the variance application for 2079, 15th Ave., and the virtual demolition and the design, size and height of the replacement house. It is impossible to construct an addition more than twice the size of the existing building and not demolish the building. Major earthwork and foundation must be done for the new building.

The planned expansion will change the character of the neighborhood. The proposed size is overwhelming in mass and height as compared to the neighborhood. The rear of the proposed expanded building will be four stories high versus the rear of adjacent houses are two stories high. By almost tripling the present size and four stories high in the rear is not characteristic of single-family residence of our neighborhood. There are no other four-story buildings on the block.

Since the project sponsors are requesting such a large and over-whelming project, please require that they follow requirements of the Planning Code for Rh 1-(D). We hope the Planning Dept. will support the neighbors and require a reduction in size of the proposed building.

Thank you for your consideration.

Sincerely,

A handwritten signature in cursive script, appearing to read "Munda Hureg".

2056, 15th Avenue
S.F. ca 94116

February 26, 2015

Mr. Michael Smith
City Planner
San Francisco Planning Department
1650 Mission Street, Suite 400
San Francisco, CA 94103-2479

Re: 2079, 15th Ave.---Proposed Virtual Demolition and New Construction Variance
application for 2079, 15th Ave., San Francisco

Dear Mr. Smith:

We are writing to you to strongly oppose the variance application for 2079, 15th Ave., and the virtual demolition and the design, size and height of the replacement house. It is impossible to construct an addition more than twice the size of the existing building and not demolish the building. Major earthwork and foundation must be done for the new building.

The planned expansion will change the character of the neighborhood. The proposed size is overwhelming in mass and height as compared to the neighborhood. The rear of the proposed expanded building will be four stories high versus the rear of adjacent houses are two stories high. By almost tripling the present size and four stories high in the rear is not characteristic of single-family residence of our neighborhood. There are no other four-story buildings on the block.

Since the project sponsors are requesting such a large and over-whelming project, please require that they follow requirements of the Planning Code for Rh 1-(D). We hope the Planning Dept. will support the neighbors and require a reduction in size of the proposed building.

Thank you for your consideration.

Sincerely,



2079, 15th Ave - SF 94106

February 26, 2015

Mr. Michael Smith
City Planner
San Francisco Planning Department
1650 Mission Street, Suite 400
San Francisco, CA 94103-2479

Re: 2079, 15th Ave.---Proposed Virtual Demolition and New Construction Variance
application for 2079, 15th Ave., San Francisco

Dear Mr. Smith:

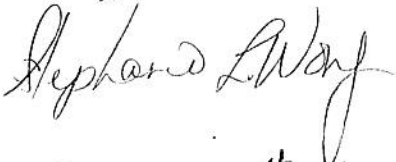
We are writing to you to strongly oppose the variance application for 2079, 15th Ave., and the virtual demolition and the design, size and height of the replacement house. It is impossible to construct an addition more than twice the size of the existing building and not demolish the building. Major earthwork and foundation must be done for the new building.

The planned expansion will change the character of the neighborhood. The proposed size is overwhelming in mass and height as compared to the neighborhood. The rear of the proposed expanded building will be four stories high versus the rear of adjacent houses are two stories high. By almost tripling the present size and four stories high in the rear is not characteristic of single-family residence of our neighborhood. There are no other four-story buildings on the block.

Since the project sponsors are requesting such a large and over-whelming project, please require that they follow requirements of the Planning Code for Rh 1-(D). We hope the Planning Dept. will support the neighbors and require a reduction in size of the proposed building.

Thank you for your consideration.

Sincerely,



2049, 15th Avenue
S.F. CA 94116

February 26, 2015

Mr. Michael Smith
City Planner
San Francisco Planning Department
1650 Mission Street, Suite 400
San Francisco, CA 94103-2479

Re: 2079, 15th Ave.---Proposed Virtual Demolition and New Construction Variance
application for 2079, 15th Ave., San Francisco

Dear Mr. Smith:

We are writing to you to strongly oppose the variance application for 2079, 15th Ave., and the virtual demolition and the design, size and height of the replacement house. It is impossible to construct an addition more than twice the size of the existing building and not demolish the building. Major earthwork and foundation must be done for the new building.

The planned expansion will change the character of the neighborhood. The proposed size is overwhelming in mass and height as compared to the neighborhood. The rear of the proposed expanded building will be four stories high versus the rear of adjacent houses are two stories high. By almost tripling the present size and four stories high in the rear is not characteristic of single-family residence of our neighborhood. There are no other four-story buildings on the block.

Since the project sponsors are requesting such a large and over-whelming project, please require that they follow requirements of the Planning Code for Rh 1-(D). We hope the Planning Dept. will support the neighbors and require a reduction in size of the proposed building.

Thank you for your consideration.

Sincerely,

Michael Hurley

2056 , 15th Avenue
S.F. CA 94116

March 27, 2015

Mr. Michael Smith
City Planner
San Francisco Planning Department
1650 Mission St. Suite 400
San Francisco, CA 94103-2479

Re: 2079 15th. Ave; Proposed Virtual Demolition and New Construction Variance application

Dear Mr. Smith,

We strongly oppose the variance application for 2079 15th. Ave., for virtual demolition of the existing structure and construction of an oversized replacement house. To construct an "addition" more than twice the size of the existing would require the existing one to be demolished, and major earthwork and foundation work.

The proposed structure would be very much out of the character of the neighborhood, and would change the existing feel, much for the worse. The new structure would be massively larger than anything else around. The rear of the new building would be twice as high as the adjacent houses — four stories as compared to the existing two story buildings around it. There are no other four-story buildings on the block, and such a structure would be a significant departure from the single-family structures in our neighborhood.

We are in no way opposed to the owners of 2079 15th. Ave. making improvements; quite the contrary. We only ask that those improvements be in keeping with the character of our neighborhood. Please require the project sponsors to follow requirements of the Planning Code for Rh 1-D. We hope the Planning Department will support the neighbors and require a more reasonable plan for the new/upgraded building.

Thank you,

Sincerely,

A handwritten signature in cursive script, appearing to read "Brion Moss & Tia Winn".

Brion Moss and Tia Winn
2062 15th. Ave
San Francisco, CA 94116

February 24, 2015

Mr. Michael Smith
City Planner
San Francisco Planning Dept.
1650 Mission Street, Suite 400
San Francisco, CA 94103-2479

Re: 2079, 15th Ave., San Francisco Variance application, Proposed Virtual Demolition and New Construction

Dear Mr. Smith:

We are writing to express our strong objection to the project...both the virtual demolition and the design, size and height of the replacement project and the proposed variance. The first issue is the de facto demolition of the existing house. It is impossible to construct an "addition" more than twice the size of the existing building and not demolish the building. The existing walls and foundations cannot hold new additional floors and will have to be entirely replaced. We are having an architect review the proposal, but this is obviously skirting the law and important policy against demolition of sound affordable single-family homes.

The current building was constructed at roughly the same time as all of the other buildings on the block and they all share a time frame and style which would be disrupted by a new, mostly glass facade. The current proposed design of the building is stark and modern. The proposed size is overwhelming in mass and height and bulk as compared to the existing neighborhood. There are no other four-story buildings on the block, on the adjacent blocks, or anywhere to be found in the area. When viewed from the west, it will give the appearance of a four story building and will appear to cover the entire lot. Obviously, such height and bulk is out of character. There are no four story buildings anywhere in the area. It is completely out of character with the neighborhood.

Adding insult to injury is the request for a variance. Because the project sponsors are requesting such a large and over-whelming project, at least require that they meet the zoning for the lot. Going up and back on the lot AND seeking a variance has a tremendous negative impact on our building and the light and vistas we receive into our windows. If you are going to approve the project, at least have it meet the minimum requirements of the Planning Code for RH 1-(D).

The proposal will be far too prominent and oversized for our neighborhood. We hope that the Planning Dept. will support the neighbors and require a reduction in the size of the proposed building. We ask that the Dept. help us reach a compromise on this matter with the owners. Thank you.

Sincerely,

Alice M Lee and family .
2073 , 15th Avenue
SAN FRANCISCO, CA 94116
Phone - 415-577-4945.

December 19, 2014

Mr. Scott F. Sanchez
Zoning Administrator
1650 Mission Street, Ste. 400
San Francisco, CA 94103

Re: Variance Application for 2079, 15th Avenue, San Francisco, CA
Building Application Permit No. 201404113071

Dear Mr. Sanchez:

We oppose granting variance for 2079 15th Avenue, San Francisco, CA, because we are the immediate north side neighbor and we believe that the house at 2079 and the proposed expansion of 2079 is encroached on our property. We are concerned about the possible impact of 2079's proposed expansion and particularly shadowing nature and impact on our south side windows.

The existing building at 2079 is situated within both north and south side yards and is therefore non-complying. The proposal will extend wholly into the 3 feet side yard on the north side at all levels for a maximum length of 52 feet 6 inches.

Sincerely,

Alice M. Lee

Alice M. Lee
2073, 15th Avenue
San Francisco, CA 94116
Phone: (415) 577-4945

Yuo Sang Hyok & Gee Sook
2083 15th Ave
San Francisco, CA 94116

January 17, 2015

Mr Scott F. Sanchez
Zoning Administrator
Office of the Zoning Administrator
1650 Mission St, Suite 400, San Francisco, CA 94103

Re: Application for variance for 2079 15th Ave, San Francisco, CA


Dear Mr. Sanchez:

We are the immediate south side neighbors of 2079 15th Avenue. We oppose the application for a variance for 2079 and the project itself because 2079's expansion is not following RH-1(D) code and this has detrimental effects on the neighbors. Building into the existing side yard setback will have a negative impact on our home, especially with the addition of two additional stories at the rear without any setbacks. They are adding a full sub-basement, basement and two additional stories to the existing house which makes it 4 stories in the rear because of the steep hill.

If there are unforeseen damage to our foundation and pipes from their construction, we want the city planning and zoning department to hold them accountable. The owners do not live in the building and have been renting it out short term to a revolving series of visitors which has been very disruptive to our quiet single family neighborhood.

The project creates the appearance of an apartment building or boarding house with multiple bedrooms and bathrooms and we feel the short term rentals will become full time and at a greater volume if the project is approved. A building of this size is simply out of character with our neighborhood.

Sincerely,

Sang Yuo Jan 23.15
 1/23/15

Yuo Sang Hyok & Gee Sook
2083 15th Ave
San Francisco, CA 94116

January 17, 2015

Mr Michael Smith
City Planner
San Francisco Planning Department
1650 Mission St, Suite 400, San Francisco, CA 94103

Re: Application for variance for 2079 15th Ave, San Francisco, CA

Dear Mr. Smith:

We are the immediate south side neighbors of 2079 15th Avenue. We oppose the application for a variance for 2079 and the project itself because 2079's expansion is not following RH-1(D) code and this has detrimental effects on the neighbors. Building into the existing side yard setback will have a negative impact on our home, especially with the addition of two additional stories at the rear without any setbacks. They are adding a full sub-basement, basement and two additional stories to the existing house which makes it 4 stories in the rear because of the steep hill.

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Sincerely,

Smy Xuo


Jan. 23. 15
1/23/15

January 28, 2015

Mr. Scott F. Sanchez:
Zoning Administrator
Office of the Zoning Administrator
1650 Mission Street, Suite 400
San Francisco, CA 94103

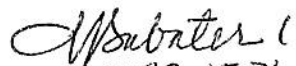
Re: Application for Variance for 2079, 15th Avenue, San Francisco, CA for addition & remodel
Building permit application no. 201404113071

Dear Mr. Sanchez:

As a member of the neighborhood for many years, we oppose granting variance for 2079, 15th Ave. Submitted plans encroached into the north side yard are not in compliance with RH-1(D) code 133. Section 188 of the planning code prohibits enlargement and alterations to a non-complying structure. The planned expansion will change the character of the neighborhood by blocking sunlight and vistas to their north side neighbor's southern windows.

The owners do not live in the building and have been renting it out short term to a series of visitors. If the project is approved, there may be an increase in short term rentals, disrupting the neighborhood. The proposed building will almost triple the present size and will be 4 stories high in the rear versus adjacent homes which are 2 stories high. The extensive size and 4 stories in the rear are not characteristic of a single family residence of our neighborhood. Thank you for your time.

Sincerely,

 (MARIA SABATER)
2089 15TH AVE.
SAN FRANCISCO, CA
94116

December 25, 2014

Mr. Scott F. Sanchez:
Zoning Administrator
Office of the Zoning Administrator
1650 Mission Street, Ste. 400
San Francisco, CA 94103

Re: Application for variance for 2079, 15th Avenue, San Francisco

Dear Mr. Sanchez:

I am one of the neighbors of 2079. We oppose the application for variance because we feel it is unfair to allow 2079 to expand their house up to where the fence is. Since the proposed house will be much taller, it will cover up the view from the windows and block the sunlight from entering the south side windows of 2073, 15th Avenue. A taller house will cast shadows and block the view of the neighboring homes.

Sincerely,

Agnes Hsu
1953 - 17th Ave.
S.F. Ca. 94116

December 25, 2014

Mr. Scott F. Sanchez:
Zoning Administrator
Office of the Zoning Administrator
1650 Mission Street, Ste. 400
San Francisco, CA 94103

Re: Application for variance for 2079, 15th Avenue, San Francisco

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Sincerely,

(Mrs.) Margaret K. Chung
Address: 2011 15th Av.
S.F., CA 94116

December 25, 2014

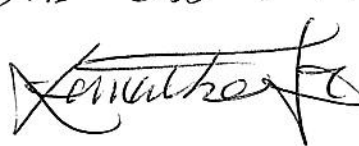
Mr. Scott F. Sanchez:
Zoning Administrator
Office of the Zoning Administrator
1650 Mission Street, Ste. 400
San Francisco, CA 94103

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Sincerely,

2017 15th AVE STE CA 94116
LEMBITZE LAU 

December 25, 2014

Mr. Scott F. Sanchez:
Zoning Administrator
Office of the Zoning Administrator
1650 Mission Street, Ste. 400
San Francisco, CA 94103

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Sincerely,

Beatrice Olivas
+ Asa Donohugh

2069 15th Avenue

December 25, 2014

Mr. Scott F. Sanchez:
Zoning Administrator
Office of the Zoning Administrator
1650 Mission Street, Ste. 400
San Francisco, CA 94103

Re: Application for variance for 2079, 15th Avenue, San Francisco

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Sincerely, *Ana Escobar*

15th Ave, 2080 S. F. 94116.

Yuo Sang Hyok & Gee Sook
2083 15th Ave
San Francisco, CA 94116

January 17, 2015

Mr Scott F. Sanchez
Zoning Administrator
Office of the Zoning Administrator
1650 Mission St, Suite 400, San Francisco, CA 94103

Re: Application for variance for 2079 15th Ave, San Francisco, CA


Dear Mr. Sanchez:

We are the immediate south side neighbors of 2079 15th Avenue. We oppose the application for a variance for 2079 and the project itself because 2079's expansion is not following RH-1(D) code and this has detrimental effects on the neighbors. Building into the existing side yard setback will have a negative impact on our home, especially with the addition of two additional stories at the rear without any setbacks. They are adding a full sub-basement, basement and two additional stories to the existing house which makes it 4 stories in the rear because of the steep hill.

If there are unforeseen damage to our foundation and pipes from their construction, we want the city planning and zoning department to hold them accountable. The owners do not live in the building and have been renting it out short term to a revolving series of visitors which has been very disruptive to our quiet single family neighborhood.

The project creates the appearance of an apartment building or boarding house with multiple bedrooms and bathrooms and we feel the short term rentals will become full time and at a greater volume if the project is approved. A building of this size is simply out of character with our neighborhood.

Sincerely,

Sang Xuo Jan 23, 15
 1/23/15

Already sent original.

January 28, 2015

Mr. Michael Smith

City Planner
San Francisco Planning Dept.
1650 Mission Street, Suite 400
San Francisco, CA 94103


Re: Application for Variance for 2079, 15th Avenue, San Francisco, CA for addition & remodel
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Sincerely,

 (MARIA SABATER)
12089 15 TH AVE.
SAN FRANCISCO, CA
94116

December 25, 2014

Mr. Michael Smith:
City Planner
San Francisco Planning Department
1650 Mission Street, Ste. 400
San Francisco, CA 94103

Re: Application for variance for 2079, 15th Avenue, San Francisco

Dear Mr. Smith:

I am one of the neighbors of 2079. We oppose the application for variance because we feel it is unfair to allow 2079 to expand their house up to where the fence is. Since the proposed house will be much taller, it will cover up the view from the windows and block the sunlight from entering the south side windows of 2073, 15th Avenue. A taller house will cast shadows and block the view of the neighboring homes.

Sincerely,

Agnes Hu
1953-17th. AVE.
S.F. Ca. 94116

December 25, 2014

Mr. Michael Smith:
City Planner
San Francisco Planning Department
1650 Mission Street, Ste. 400
San Francisco, CA 94103

Re: Application for variance for 2079, 15th Avenue, San Francisco

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Sincerely,


+ Asa Donohugh

2069 15th Avenue

December 25, 2014


Mr. Michael Smith:
City Planner
San Francisco Planning Department
1650 Mission Street, Ste. 400
San Francisco, CA 94103

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Sincerely,

2017 15th AVE S.F. CA 94116
LEMAIRE LAW 

December 25, 2014

Mr. Michael Smith:
City Planner
San Francisco Planning Department
1650 Mission Street, Ste. 400
San Francisco, CA 94103

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Sincerely,

(Mrs.) Mary K. Choy
Address 2011 15th Av.
S.F., CA 94116

December 25, 2014

Mr. Michael Smith:
City Planner
San Francisco Planning Department
1650 Mission Street, Ste. 400
San Francisco, CA 94103

Re: Application for variance for 2079, 15th Avenue, San Francisco

Dear Mr. Smith:

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Sincerely, *Ana Encobar*

15th Ave. 2079

S.F. ca 94116

Yuo Sang Hyok & Gee Sook
2083 15th Ave
San Francisco, CA 94116

January 17, 2015

Mr Michael Smith
City Planner
San Francisco Planning Department
1650 Mission St, Suite 400, San Francisco, CA 94103

Re: Application for variance for 2079 15th Ave, San Francisco, CA

Dear Mr. Smith:

We are the immediate south side neighbors of 2079 15th Avenue. We oppose the application for a variance for 2079 and the project itself because 2079's expansion is not following RH-1(D) code and this has detrimental effects on the neighbors. Building into the existing side yard setback will have a negative impact on our home, especially with the addition of two additional stories at the rear without any setbacks. They are adding a full sub-basement, basement and two additional stories to the existing house which makes it 4 stories in the rear because of the steep hill.

If there are unforeseen damage to our foundation and pipes from their construction, we want the city planning and zoning department to hold them accountable. The owners do not live in the building and have been renting it out short term to a revolving series of visitors which has been very disruptive to our quiet single family neighborhood.

The project creates the appearance of an apartment building or boarding house with multiple bedrooms and bathrooms and we feel the short term rentals will become full time and at a greater volume if the project is approved. A building of this size is simply out of character with our neighborhood.

Sincerely,

Smy Xuo


Jan. 23. 15
1/23/15

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December 19, 2014

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San Francisco Planning Dept.
1650 Mission Street, Ste. 400
San Francisco, CA 94103

Re: Variance Application for 2079, 15th Avenue, San Francisco, CA
Building Application Permit No. 201404113071

Dear Mr. Smith:

We oppose granting variance for 2079 15th Avenue, San Francisco, CA, because we are the immediate north side neighbor and we believe that the house at 2079 and the proposed expansion of 2079 is encroached on our property. We are concerned about the possible impact of 2079's proposed expansion and particularly shadowing nature and impact on our south side windows.

The existing building at 2079 is situated within both north and south side yards and is therefore non-complying. The proposal will extend wholly into the 3 feet side yard on the north side at all levels for a maximum length of 52 feet 6 inches.

Sincerely,

Alice M. Lee

Alice M. Lee
2073, 15th Avenue
San Francisco, CA 94116
Phone: (415) 577-4945

2073, 15th Avenue
San Francisco, Ca 94116

May 7, 2015

Scott Sanchez
Zoning Administrator
Office of the Zoning Administrator
1650 Mission Street, Suite 400
San Francisco, Ca 94103

Re: Revised drawing of 2079, 15th Ave, San Francisco (submitted by Mary Gallagher)

Dear Mr. Sanchez:

Recently Mary Gallagher sent us an email outlining proposed changes in the plans for remodeling 2079, 15th Ave. The eighteen inch step down at the front yield less sunlight to the south facing upper story windows on 2073th Ave, when compared with the three foot set back study. We discussed this with homeowners Leo Zhang and Rene Chen, along with Mary Gallagher at the on site meeting on February 18, 2015.

The proposed 2 foot setback from the property line would not run the entire length of the property at 2079, but only starting from the location they choose, which is 2/5 of the rear of the building. Such a change would expose only one of the windows on the upper level out of four to direct sunlight. The five lower story windows would remain in permanent darkness.

Almost every home's upper story windows on the same block of 15th Avenue get direct sunlight. Story poles and light/shadow study show 2073's south side windows will be blocked from direct sunlight if 2079, 15th Avenue is allowed to build on the north side property line.

The owners of 2079, 15th Avenue insist they are not demolishing their one story building to rebuild a four story house from 1551 square feet to 3967 square feet. How can an old foundation built in 1920 support a house three times the size of the original by modern seismic standards. It is nearly impossible to build a house triple in size without an extensive demolition.

As aforementioned, no hardship exists that justifies a variance of the city mandated set back requirement. They need to respect and follow the RH-1(D) code and have a 3 foot setback and an adequate lightwell. As their immediate north side neighbors, we would be the ones who would be most affected, permanently losing the natural sunlight from the south side of our house.

Thank you very much for not compromising the city code RH-1(D) and requiring an adequate lightwell.

Sincerely,



Alice Lee and Cecelia Low

2079-15th Ave
June 11, 2015

2073, 15th Avenue
San Francisco, Ca 94116

May 7, 2015

Mr. Michael Smith
City Planner
San Francisco Planning Department
1650 Mission Street, Suite 400
San Francisco, Ca 94103

Re: Revised drawing of 2079, 15th Ave, San Francisco (submitted by Mary Gallagher)

Dear Mr. Smith:

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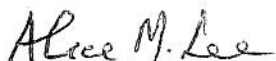
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Thank you very much for not compromising the city code RH-1(D) and requiring an adequate lightwell.

Sincerely,



Alice Lee and Cecelia Low

EXHIBIT 4

Confidential

4-2-2015

Mr. Michael Smith

City Planner, San Francisco Planning Department

1650 Mission Street, Suite 400

San Francisco, CA 94103-2479

Variance Protest

"The lack of sunlight adversely impacts the livability of the neighbor's home." Dick Morten, a SF City Resident

Subject Property, 2079 15TH Avenue, SF
Proposed: 2430 Sq. Ft. Addition Remodel Project, RH1 (D) Zone

Recommendation:

Deny or Modify the building permit application at
2079 15th Avenue, SF.

If the applicant wants to construct this proposed project, they need to adhere to the RH1 (D) City Building code that requires a three foot setback and construct an adequate light well and modify their roof line so that it will allow the neighbor's South facing windows to continue to have access to sunlight. The proposed project would block these windows by variance.

Residential Design Guidelines, San Francisco Planning:

"The Residential Design Guidelines (Guidelines) articulate expectations regarding the character of the built environment and are intended to promote design that will protect neighborhood character, enhancing the attractiveness and quality of life in the City."

The Design Principles found in this document indicate the aspects of a project that will be evaluated in making a determination of compliance with the Guidelines.

Residential Design Guidelines, Design Principles Page 5, Item # 3, states:

(3) Maintain light to adjacent properties by providing adequate setbacks.

Proposed Remodel Project That Requires a City Code Variance

- 1) The proposed project residence at 2079 15th Avenue is currently 1551 sq. ft.
- 2) The proposed remodel project will add an additional 2430 sq. ft.
- 3) The 2079 15th Avenue home will be 3981 sq. ft. when completed.
- 4) Story poles, light and the shadow study clearly demonstrated sun blockage all day of the South facing windows of neighbor's property.

Complaints:

- 1) By granting a variance, the proposed project would be permitted to be built on their North side property line in a RH1 (D) zone,
- 2) By granting a variance, proposed project will block the sun from nine South facing windows on North side neighbor's home beginning early morning and continuing all day.

- 3) By granting a variance, this project will violate the San Francisco Residential Design Guidelines and Principles,
- 4) By granting a variance, the project contractor for 2079 would be required to trespass on North side neighbors' property,
- 5) By granting a variance, future maintenance would require the owner of 2079 to trespass on North side neighbors property to perform maintenance, disturbing neighbors' right to privacy,
- 6) By granting a variance, a compromised quality of life precedent will be established in our RH1 (D) neighborhood zone.
- 7) By granting a variance, the North side neighbor's home will be the only home on the block that will have their upper story windows blocked from having access to direct sunlight.

Next Door Neighbor to the North:

- 1) Cecelia Low and Alice Lee are long time residents at 2073 15th Avenue.
- 2) Cecelia Low and Alice Lee are strongly protesting the current project design and the granting of a variance.
- 3) Dick Allen, a long time nearby neighbor, is also strongly protesting the project.
 - (a) Mr. Allen can observe from his home, from early morning to late afternoon, the negative impact the proposed project will have on Cecelia and Alice's home.
 - (b) Mr. Allen is aware that the next door neighbor's home in Golden Gate Heights is the home being most adversely impacted by the proposed remodel project.
 - (c) Mr. Allen is very disappointed the applicant's team would so blatantly attempt to disrupt the **quality of life** Cecelia and Alice have enjoyed living in their home for many years
 - (d) Mr. Allen is aware that the applicant is asking for a special **favor, a zoning variance**, from the San Francisco Planning Code. However, the applicant is unwilling to accommodate his neighbor's request to make a design adjustment to their 2430 sq. ft. addition so the sun would not be blocked from their South facing windows all day.

Attempt to resolve blocked sun conflict:

Sidewalk meeting at 2079 15th Avenue, on Wednesday, February 18, 2015 at 12:30 PM with Leo Zhang and Renee Chen project applicant, their building permit advisor Mary Gallagher, and Lum Architects with the next door neighbor Alice Lee, advisors Steve Williams and Bob Passmore. Neighbor Dick Allen was also present.

- 1) The goal of the meeting was to resolve the blocked sun issue and discuss set back issues.
- 2) Mary Gallagher informed us the Planning Department has approved the applicant's permit and the Zoning Administrator would grant the variance without alterations.

Second Attempt to resolve blocked sun conflict:

- 1) Evening of March 3, 2015 at the Golden Gate Heights Neighborhood Association Board meeting.
- 2) Alice Lee presented her concerns about her home losing sunlight from her South facing windows.
- 3) Leo Zhang presented his project and said it would meet City codes. (obviously not true due to the Variance Application)
- 4) Leo also agreed to meet with the neighbor again.
- 5) Frank Noto GGNA Board member suggested the two parties meet with a mediation service that is recommended in the Variance Application to resolve proposed project issues.

Third Attempt to resolve blocked sun conflict:

- 1) On the morning of March 4, Alice met with Leo and his wife Renee, and treated them at a local café. Leo told Alice that the City is allowing him to build on their property line. They offered Alice money to build a skylight. Alice refused because there are nine windows in her home that will be affected. Also her roof is old.
- 2) Leo accused Alice of not cooperating and would hire a lawyer. Leo claimed that he was cooperating. Leo made it clear they would not modify their building plans to accommodate their neighbor's request.

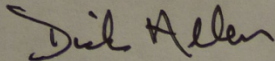
Solution to allow sunlight to neighbor's South facing windows:

- 1) Proposed project at 2079 should have a 3 foot set back from the North property line as required by RH-1 (D) City code:
 - (a) The project owner does not have a hardship to justify a variance from the City Building Code.
 - (b) With a code complying 3 foot setback, the proposed project would be 3,500 sq. ft. instead of 3981 sq. ft.
- 2) Within the 2430 sq. ft. proposed project addition, require an adequate light well, a modified roof line and setback that will allow the sun to continue to illuminate the neighbor's South facing windows.

Note: an adequate light well is a Golden Gate Heights Neighborhood design feature in our RH1 (D) zone that can enhance a next door neighbor's access to sun light.
- 3) A light well, modified roof line and set back can preserve and enhance the enjoyment and quality of life in a family home zoned RH1-(D) located in Golden Gate Heights.
- 4) If there is not adequate support for a 3 foot setback, light well, modified roof line, then the Planning Commission should enforce the City Code and disallow the variance.
- 5) As a neighbor, I want to appeal to the Commissioners to put yourselves in Cecelia and Alice's position and understand how the proposed project will negatively impact their quality of life by permanently taking away their privacy and sunlight from all their south facing windows.

Commissioners, please keep in mind; this is a very large project. The front of the proposed project facing the street is designed to be two stories high, and four stories high in the rear. There is a lot of flexibility within the 3981 sq. foot project to accommodate the neighbor's very reasonable request to retain access to sunlight and to build their project within their own property without trespassing.

Respectively submitted by,

A handwritten signature in dark ink, appearing to read "Dick Allen". The signature is fluid and cursive, with the first name "Dick" and last name "Allen" clearly distinguishable.

Dick Allen

Golden Gate Heights Neighbor

Batteryrow@gmail.com

June 20, 2015

Mr. Scott Sanchez
Zoning Administrator
1650 Mission Street, Suite 400
San Francisco, CA 94103

Subject: Zoning Hearing for application for variance for #2079, 15th Avenue, SF, CA.

Dear Mr. Sanchez,

As a concerned citizen and a relative of one of the neighbors, I am asking that you do not approve the variance that is being requested by the owners of the property on #2079, 15th Avenue, San Francisco.

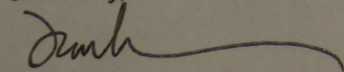
The large size and nature of the proposed re-building on this site is out of scale with the neighborhood and does not blend in with the surrounding smaller single family homes. It will have an extremely adverse impact on the character of the neighborhood and greatly reduce the quality of life for the neighbors, particularly for the owner of the home immediately to the north of the project at #2073, 15th Avenue.

The much increased height of the proposed building will seriously block and deprive sunlight to the neighbor. This is a quality of life issue. Sunlight is essential and important to everyone's health and well-being. The proposed size and height of the building will offer sunlight to the applicant at #2079, 15th Avenue, but it will take this vital resource away from its neighbor at #2073, 15th Avenue. By taking away sunlight, it will greatly diminish the health and well-being of this neighbor. It seems to me the needs of the applicant will be met by the new building plan at the expense of the neighbor's welfare. That is not fair or just.

So, I am appealing to your sense of fairness. I am requesting that you do not approve the current building plan. I ask that you require the applicant to include a 3-foot setback from the property line as defined by law if the applicant wants to rebuild and increase the height of the building. It is the legal, fair and neighborly thing to do.

Thank you for your kind consideration.

Sincerely,



Jack Lee
2345 Erin Place
South San Francisco, CA 94080

Mr. Scott Sanchez
Zoning Administrator
Office of the Zoning Administrator
1650 Mission Street, Suite 400
San Francisco, CA 94103

Re: Zoning hearing for application for variance for 2079, 15th Avenue

Dear Mr. Sanchez:

I am one of the neighbors of 2079. We strongly oppose granting the variance for 2079's owners for the following reasons.

1. Variance request is not qualified.

There are no exceptional or extraordinary circumstances applying to 2079. 2079 is located in a regular rectangular lot like other lots in the neighborhood. Most of the houses located on the same block have side yard setbacks on both north and south side, like other houses in the neighborhood.

2. Hardship Claim is not justified.

Building 2079's new project with a 3 foot setback as required by the Code would not result in unnecessary hardship to the owners. With the 3 foot setback, the new project will still be a lot larger than other houses in the neighborhood.

3. Unnecessary Privilege

The privilege of acquiring this variance is not necessary for 2079's owners for the preservation and enjoyment of a substantial property right of the subject property. Subject property will be more than double it's original size of 1551 sq.ft. without such a variance. The typical neighborhood houses are 1500 to 2000 sq.ft. If variance is granted, subject property will be the only special privileged house on the block allowed side yard addition.

4. Permanent deprivation of rights

The granting of such variance will be materially detrimental or materially injurious to their immediate north side neighbors' house at 2073 by permanently blocking natural sunlight, view, air and sky exposure to their south facing windows as demonstrated by light and shadow studies and story poles. Most of the houses on the same block enjoy natural sunlight, view, air and sky exposure. Privacy of 2073's owners will be taken away because there is no access to build and maintain 2079's north facing wall except through 2073's property.

5. Disrupt neighborhood harmony

The granting of such variance will not be in harmony with the general purpose and intent of this code and will adversely affect the Master Plan. By building on the north side property line, there is no access to 2079's north wall except to trespass in neighbors'

house at 2073 which will disrupt neighborhood harmony. The 3 foot setback allows space for fire access and maintenance access.

Thank you for your consideration.

Roland Lee

ROLAND LEE

2206, Ceelia Ave

SF 94116

2355 Erin Place
So. San Francisco, CA
94080

06/20/15

Mr. Scott Sanchez
Zoning Administrator
Office of the Zoning Administrator
1650 Mission Street, Suite 400
San Francisco, CA 94103

Re: Zoning hearing for application for variance for
2079, 15th Avenue

Dear Mr. Sanchez -

We have recently been made aware of the application for variance at the above address. The request appeared to be a Code violation as well as inconsideration to staying in harmony with the neighborhood.

The neighborhood was built with 3 foot setback and new projects should not be considered if Code violations are in place. It appeared that if variance is granted, the above owner will be the only privileged home owner in the neighborhood.

Most importantly, the granting of such variance and building of such massive structure will deny the next door neighbor at #2013 natural light, view, air and sky exposure.

Living in an urban area, neighbors must

live in harmony and enjoy the peaceful nature that the view, light, fresh air and beauty that the surrounding has to offer. There are also logistic considerations such as the approval would deny access for maintenance and emergency entry.

Putting oneself into the shoes of the neighbor at #2073 (who will be most impacted by the building), for whatever good or necessary intention that the owner at #2079 may have, one person's desire for enjoyment should not supersede the enjoyment privilege at the expense of another. This is the essence of humanity and grace.

I thank you for your consideration.

Sincerely,

Lorraine Kucz
(LORRAINE KUCZ)

From: Celia Lo (locelia85@gmail.com)
To: rhl72001@yahoo.com;
Date: Thursday, 2 July 2015, 10:08

----- Forwarded message -----

From: Robert Passmore <robert@hokeynet.net>
Date: Wed, Jun 24, 2015 at 1:10 AM
Subject: 2079, 15th Ave. Variance Proposals Is Not Justified
To: Scott.Sanchez@sfgov.org

Dear Mr. Sanchez:

At the request of Cecelia Lo and Alice Lee, in February of this year I made a site visit to 2079 15th Ave, the property adjacent to it to the north, 2073 15th Ave, and the nearby neighborhood to give my pro bono advice as to Cecelia and Alice whether or not I thought the proposed side yard variance could be justified under applicable Planning Code regulations. I also reviewed the proposed plans provided by representatives of the project sponsor. At that time it was very clear that the proposed encroachment into the Code required side yard would have a significant detrimental impact on the livability of the adjacent dwelling to the north. Although the plans have been modified some since my visit, the proposal is still injurious to the neighbor, and I must add, that the proposal also appears be both out of scale and character with most of the surrounding neighborhood due to the proposed floor area and overall building bulk.

I believe none of the five required variance findings are met sufficiently to justify granting the proposed variance for a dwelling of the proposed bulk. The only exceptional circumstance appears to be the desire of the project sponsor to build a large dwelling that uses as much of the property width as possible. I believe this is a self induced hardship, not one which is necessary in order to build a reasonably sized single family dwelling.

!. The proposed project negatively impacts 2073 15th Ave., making it less livable by reducing sunlight, air and sky exposure for the Kitchen and other rooms on the south side of that dwelling. I fear, if approved, the proposal may set a potentially dangerous precedent for the neighborhood by allowing virtual demolition of an existing house and creating a 5BR, 4 bath + 2 1/2 bath, large living room, dining room and kitchen, study, media room, and gym-family room having a total floor area of approx. 4000 sq.ft. (my estimate) on 4 living levels. The existing house has 3 bedroom with approximately 1500 sq.ft. (my estimate) on two living levels.

2. It appeared to me that the immediate neighborhood is more typically 3 and 4 bedroom houses, generally 1500/2000 square feet in floor area. There are a number of smaller homes that could be replaced with homes like the one being proposed if approval of this project sets a precedent. Such new buildings would be out of character with the neighborhood.

3. A finding of hardship is required to grant a variance. The variance is to occupy the currently required 3 ft. side yard. The proposed occupancy of the side yard represents approximately 450 sq. ft. of additional floor area. I believe that without this area the house could still contain nearly 3500 sq. ft. without even a loss of bedrooms. What is the hardship?

4. Two of the bedrooms are on the basement level with separate outside access, making them convenient for occupancy inconsistent with this neighborhood.

5. The neighbors proposed changes to the proposed plans to the project sponsor with the objective of reducing the size of the building and its impact on south facing windows sunlight, and to be more consistent with the neighborhood pattern. Negotiations were unsuccessful.

In conclusion I believe the subject variance should be denied unless significant modifications are made to the proposed plans to reduce the negative impacts on the adjacent dwelling to the north.

Sincerely, Robert W. Passmore

|||

RECEIVED

JUL 10 2015

CITY & COUNTY OF S.F.
PLANNING DEPARTMENT
RECEPTION DESK

July 10, 2015

Reconsideration Request for secondary review of building permit application no.
2014.04.11.3071 with the City and County of San Francisco

Mr. Scott Sanchez
Zoning Administrator
San Francisco Planning Dept.
1650 Mission St., Suite 400
San Francisco, CA 94103

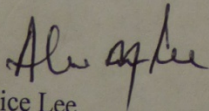
We are writing for reconsideration request for secondary review of building permit application no. 2014.04.11.3071 with the City and County of San Francisco because the project sponsor of 2079, 15th Ave. has misidentified the garden wall as foundation of the house. Historic envelope of the building as shown on Sanborn map and aerial photographs taken in 1950 do not show the small garden wall. The small garden wall was added later on without a permit after the house was built. The demolition calculation is done incorrectly because of the assumption that garden wall is the foundation. For north side setback, the real foundation is more than 5 feet away but in 311 notice, it is stated erroneously that it is "1 foot 11 inches away and proposed is no change". The north wall has to be moved more than 5 feet to get to the north side property line.

311 notice erroneously stated that the existing house has south side setback of 3 feet 9 inches so proposed is no change. The existing house has south side setback of about 13 inches only, so the whole south wall has to be removed to setback of 3 feet 9 inches. The demolition calculations do not take into consideration this south wall and other walls that must be removed, and erroneously do not include those demolition numbers in the demolition calculations.

Project address: 2079, 15th Ave., San Francisco, CA 94116

Your reconsideration is very much appreciated. Thank you very much for your time and consideration.

Respectfully,



Alice Lee
2073, 15th Ave.
San Francisco, CA 94116

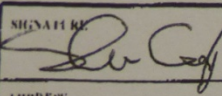
CC: Mr. Michael Smith, City Planner

Petition Opposing Plans to Construct Over-Sized Development at 2079 15th Ave —Side Yards, Light, Air and Neighborhood Compatibility should be maintained

3+ over 4000 sq ft

5 bathroom
4 levels

We, the undersigned, are opposed to the virtual demolition of the sound existing house and the proposed construction of a new over-sized building at 2079 15th Ave. The Project is out-of-scale with the existing neighborhood and will have tremendous negative impacts on light, air and scale of neighboring parcels. A project of the height (four stories) and mass contemplated is not compatible with our neighborhood. We object to any project which creates such negative impacts and the project should be required to be compatible with the historic Golden Gate Heights Neighborhood.

SIGNATURE 	PRINTED NAME Shawn Carly	TEL. NO. 415-246-2500
ADDRESS 2139 15 th Ave	E-MAIL ShawnCarly@gmail.com	

SIGNATURE	PRINTED NAME	TEL. NO.
ADDRESS	E-MAIL	

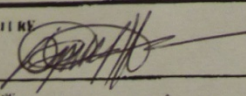
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ADDRESS	E-MAIL	

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ADDRESS	E-MAIL	

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SIGNATURE 	PRINTED NAME Agnes Hsu	TEL. NO.
ADDRESS 1953-17th Ave.	E-MAIL	

SIGNATURE	PRINTED NAME	TEL. NO.
ADDRESS	E-MAIL	

SIGNATURE	PRINTED NAME	TEL. NO.
ADDRESS	E-MAIL	

SIGNATURE	PRINTED NAME	TEL. NO.
ADDRESS	E-MAIL	

SIGNATURE	PRINTED NAME	TEL. NO.
ADDRESS	E-MAIL	

Mr. Scott Sanchez
Zoning Administrator
Office of the Zoning Administrator
1650 Mission Street, Suite 400
San Francisco, CA 94103

Re: Public hearing of application for variance for 2079, 15th Avenue

Dear Mr. Sanchez:

We are the immediate north side neighbors of 2079 for 20 years. We strongly oppose granting the variance for 2079's owners for the following reasons.

1. No exceptional circumstances for Variance Request

There are no exceptional or extraordinary circumstances to justify the variance. Pointing out neighborhood pattern is not justification to break the Code established by the Planning Dept. in the sixties.

2. There is no Hardship to applicant

Building 2079's new project with a 3 foot setback as required by the Code would not result in unnecessary hardship to the developer. He can develop and expand the subject dwelling in compliance with the applicable standards of the Planning Code. Any hardship is self induced by the project sponsor in wanting more building area than is reasonable and appropriate in this neighborhood.

3. Unnecessary Privilege

The privilege of acquiring this variance is not necessary for 2079's owners for the preservation and enjoyment of a substantial property right of the subject property. Subject property will be more than double it's original size of 1551 sq.ft. without such a variance, bigger than the typical neighborhood houses of 1500 to 2000 sq.ft.

4. Permanent deprivation of rights

(a)The granting of such variance will be materially detrimental or materially injurious to our house at 2073 by permanently blocking natural sunlight, view, air and sky exposure to our 9 south facing windows as demonstrated by light and shadow studies and story poles. The sponsors have situated their house to provide more than the 3' setback on the South side to maximize sunlight to all their windows.

(b)Granting them a variance to build on the property line instead of building with a 3 foot setback that is required by Code will result in invasion of privacy because 2079's owners, builders and workers will be trespassing into our property to build and maintain their north facing wall because there is no access to their north wall.

5. Disrupt neighborhood harmony

The granting of such variance will not be in harmony with the general purpose and intent of this code and will adversely affect the Master Plan. It does not enhance the existing

built environment. Building on the property line is not an existing and established development pattern.

Thank you for your consideration.

Respectfully,

Robert Lee 3245 Quintana - 294116

Robert Lee.



MARY GALLAGHER URBAN PLANNING
MG@MGAPLANNING.COM

415-845-3248
MGAPLANNING.COM

April 18, 2016

San Francisco Planning Commission
1650 Mission Street, Suite 400
San Francisco, CA 94102

RE: 2079 15th Avenue, 2014001944DRP (permit 201404113071) for hearing April 28, 2016

President Fong and Commissioners:

Before you on April 28 is a DR on an alteration permit that would add a second story to a one-story home on a very large (3952.5 sf) down sloping lot. I am working with home owners, Leo and Rene Zhang, to obtain the plans for their home. At the rear, the primary building wall of the home would be three floors, horizontally extended just 4 feet beyond the primary existing rear wall and lined up with the DR applicant's house; a new room would be added 10 feet beyond and one-story below the primary rear wall. The DR filer is the immediate next door neighbor who will be losing the ocean/sunset view from her second story kitchen window, a view she has benefitted from for many years because the existing project-site home is only a single story now.

The resulting project will be two-stories at street level -- like every home on the street -- and will be of the approximate depth of both immediately adjacent homes on three floors; it's new lowest floor will not extend as far into the lot as other rear additions on the block, and because the room is sunken low into the site, it will not unduly impact any other property (see Exhibit A). Apart from the new second floor, the four-foot horizontal addition, and new one-story sub-basement room, new square footage will result from a combination of excavation under the existing home and finishing of currently unconditioned space -- in other words, from within the existing building envelope. The gross square footage will be 3,742; the occupied area will be 2,950 sf. The envelope will be just slightly larger than the DR applicant's, and notably smaller than the several other houses on the block that have been approved with rear additions.

Development Pattern on the Block Face

Most of the block face (but not the subject home) was developed in 1939 by Henry Doelger. He created a subdivision of lots that are up to 35-feet wide on and near the corners and 31 feet wide on the interior. Both the subject property and the DR applicant's lot are 31 feet wide. On all interior lots Doelger placed two-story stucco box homes 25 to 26 feet wide, sitting on or just adjacent to their north property lines, leaving an open side yard on the south side only of roughly 4 to 5 feet (Exhibits B and C, Sanborn/Assessor's Maps and Overhead Photo). Only the three lots to the south of the project site, which are wider and carved out of the corner, have larger side yards.

Nearly all of the homes were designed with south wall windows looking onto these open south side yards (Exhibit D). It was only long after the homes were built that the area was zoned RH-1(D), which requires side yards on both sides of the lot. The requirement is obviously not reflective of the existing pattern; rather it is reflective of very basic and now long-outdated controls. (More contemporary controls, such as performance-based controls, would require maintenance of the existing pattern -- open side yards on the south side only.)

Because the existing building occupies parts of both code-required side yards and because the street pattern is of one side yard only (on the south side), the original plan called for removing the ground floor construction in the south side yard and building straight up on the north side, reinforcing the existing pattern on the block face. The original proposal was supported by the RDT and the project planner. Leo and Rene would not have gone forward with this proposal had it not had Department support.

Alteration Versus Demolition

The DR applicant repeatedly refers to this project as a demolition, knowing full well it is not. It is substantially within the required calculations of an alterations. Furthermore, one of the reasons it is even looked at for its demolition calculations is because we are removing the existing ground floor construction in the south side yard to bring this building in *closer conformity* with both the existing pattern on the block and the Planning Code's side yard requirements.

Building Envelope Relative to the Neighborhood

The existing building is the only one-story home on the block face. The surrounding Doelger homes are all two-story but are not of a single and uniform height. Their roof lines vary up and down the block by up to a six feet difference in height. The project presents a roofline at 20'6", which will be within the range of heights on the block (see Exhibit E). The proposed roofline is 2'3" taller than the DR applicant's and 3 to 4 feet *lower* than the next three houses down the street. Almost all of the roofs are nearly flat, with many having false fronts of several styles, and some without false fronts. The DR applicant's home and the home at 2065 15th, the latter of which is taller than the proposed building, are near- flat (see also Exhibit A). No matter what is considered "roofline" (the false front or flat roof), the proposed project will not be the tallest home on the block -- or even within its part of the block. Moreover, the variation in heights, like the variation in facade detail and incorporation of only a south side yard, is not a mistake that needs correction. These are all defining characteristics of this subdivision.

Even if the character of the neighborhood demanded a lower roof -- which it does not -- the roof can't be made any lower than it already is. The floor-to-ceiling height of the street-facing floors is only nine feet. A height reduction would result in either floor-to-ceiling heights under 9 feet or demolition of the existing ground level floor plate so it could be lowered. The removal of the largest existing floor plate would automatically make this project a demolition.

In depth, the project only adds four feet from the shallowest existing rear wall. The new three-story rear wall will not protrude as deep into the lot as the DR applicant's own top floor pop-out and will only be about six inches past the DR applicant's shorter primary rear building wall.

The rear sub-basement floor, which the DR applicant likes to call "the only 4th floor on the block" was purposefully tucked into the hillside below the rest of the house to avoid the kind of protrusions that other neighbors have had approved one- and two-stories above this level (see Exhibit F). The DR applicant states the project site already has the smallest rear yard on the block. This is demonstrably not true. Many homes on this block have rear yard garages or open parking, accessed by a mid-block easement, which result in rear yards between the two structures that are the same or smaller than the subject property's yard will be (see Exhibit G). And because the project removes an existing rear stair, the rear yard is enlarging in depth by Planning Code measurement standards.

Interaction with Neighbors and Changes Made to the Project

Leo and Rene and/or architects from John Lum's office and/or the surveyor and/or I have exchanged perhaps a hundred emails, spoken by phone over a dozen times and met in person four times subsequent to the pre-application meeting. At the DR applicant's request, Leo and Rene commissioned a shadow study, put up story poles, surveyed the shared side property line, and provided plans in four different formats. During this period of time Leo and Rene altered the plans six times to address the DR applicant's concerns (see Exhibits H and I). They shortened the building about a foot in length, brought the first floor deck in a foot from the rear and three feet in from the property line, made the north-facing windows that are near the DR applicant's south-facing windows obscure glass instead of clear glass, set the north wall of the rear of the building two feet away from the property line, lowered the front north corner of the building 18 inches and, more recently, superseded the previous two changes by pulling the entire second story and new rear subbasement room three feet away from the north property line, thus obviating the need for a variance.

Leo and Rene, along with an interpreter to help them with their English, went door-to-door in the neighborhood last year to introduce themselves and explain their project. Many neighbors told them they were good friends with either the DR applicant or her sister and so could not offer their support to Leo and Rene regardless of the project's merit. Others said they had been told Leo and Rene's building would be much taller than every house on the street, which is demonstrably not true (again -- see Exhibit E). Some others did sign Leo and Rene's petition in support of the project, which is attached as Exhibit J.

Project Effect on the DR Applicant's Home

The concern the DR applicant has expressed is for the impact to her second-story, south-facing kitchen window which currently enjoys a view to the Pacific Ocean and direct sunlight. Because the project's second story north wall will be a total of 7' 1" away from the DR applicant's south-facing windows (3' away from the shared property line plus 4'1" feet away from the DR applicant's home), the project will only affect the kitchen window in winter (see Exhibit K, Shadow Study). We believe, from looking at the overhead views, the DR applicant may also have a skylight in the kitchen which brings in light year-round. And in any

case Leo and Rene offered to pay for the installation of a sky light if there wasn't one.¹ We believe most or all other second-story south-facing windows in the DR applicant's house are in rooms that also have windows in the rear (west) wall, which rooms receive direct late afternoon sun and enjoy and will continue to enjoy unfettered ocean views.

Most buildings on the 31-foot wide interior lots of this block face have south-facing windows that look on side yards that are between 4 and 5 feet wide. The DR applicant's home has a 4'1" south side yard. But because we are pulling the second floor addition in three feet, the distance between the DR applicant's second story south-facing windows and the project's north wall will be 7'1". This comes at the expense of Leo and Rene's property, which will be the only one having two open side yards instead of one and whose second story will be more narrow than anyone else's building on the block (24 feet wide versus 25 to 26 feet wide).

The DR applicant asks for a "light well" in the project, opposite her kitchen, stating her property has such a light well to benefit her neighbor to the north and that most other buildings on the block face have such a light well. What the DR applicant has is a small notch at the top of her north wall (see Exhibit L). The DR applicant would not allow us in her home to view or measure this notch but you can see from the photo it is probably not more than a few feet wide and only occurs in the top couple feet of the building. Instead of adding such a notch, which would allow only incrementally negligible additional sunlight -- and even that only in winter -- Leo and Rene moved the entire top floor back three feet from the property line. So where the DR applicant's north side neighbor has a 5-foot wide open area for the length of the building and a three foot long notch for perhaps another 2 feet of side yard depth at just that notch location, the DR applicant will have 7'1" of open width for the entire length of the building.

Avalos Unauthorized Unit Legislation

This month the new Avalos legislation takes effect. It requires conditional use for the merger or other removal of an "unauthorized unit." In this legislation such a unit is defined as having *both* of these two characteristics:

- 1) it cannot have interior connection to the rest of the house and
- 2) it must have a separate exterior access.

The existing downstairs rooms do have a separate exterior access but also have an interior connection and so these rooms are exempt from the Avalos legislation and their removal does not require conditional use.

The planner assigned to this case, Jeff Horn, and the Zoning Administrator have both looked at the legislation relative to the proposal and found this project exempt from the Avalos legislation and the

¹ Mr. Williams told me in a phone conversation he believed there was already a skylight in the kitchen. At the variance hearing the DR applicant testified as to the skylight offer but stated she did not want one because, "our roof is so old we don't want to damage our roof" (audio timestamp 1:19, available online at <http://commissions.sfplanning.org/vhaudio/20150624.mp3>). The DR applicant has not let the architects or Leo and Rene see the kitchen or any other room to assess light impacts, but we know either the kitchen already has a skylight or that one could be there because Leo and Rene offered to pay for its installation.

conditional use requirement. Mr. Horn additionally visited the site to verify the interior connection. Because the Zoning Administrator is not planning on attending this hearing and we are uncertain of Mr. Horn's attendance, we ask any Commissioner interested in this issue to please call Mr. Horn and/or Mr. Sanchez in advance of the hearing.

Notably, the home is vacant. The former tenants -- who occupied the entire building as a single unit -- have written the City to support the project and acknowledge advance notice of DR and appeal rights.

Summary

This is not a spec development. Owners Leo and Rene Zhang are Chinese emigrants who have worked a lifetime to put themselves in a position to create a home for their extended family: for themselves; for Yitian, their daughter; and for Leo's sister, her son and one other nephew. The house is not large by today's standards; it is 3742 gsf and 2950 habitable sf on a 3952.5 sf lot.

The Zhangs are not in high tech; they do not bankroll political campaigns; Mark Zuckerberg will not be putting in any calls to the Mayor on their behalf. These are hardworking people who thru grit and determination over 20 years have worked their way into this home. They have followed every rule in the book, gone above and beyond every process requirement and suggestion; changed their project six times for a neighbor wanting to keep a view; and waited *over nine months* since the filing of the DR (which was on July 12, 2015) for this hearing.

We respectfully ask you for the approval of Leo and Rene's plans on April 28.

Sincerely



Mary Gallagher
on behalf of Leo and Rene Zhang

Exhibits Attached

List of Exhibits

Exhibit A: Overhead View 1

Exhibit B: Sanborn and Assessor's Maps

Exhibit C: Overhead View 2

Exhibit D: South-facing Windows

Exhibit E: Building Heights on the Block

Exhibit F: Elevation and Other Rear Additions on the Block Face

Exhibit G: Other Yards on the Block Affected by Rear Yard Parking

Exhibit H: Project Changes at Rear

Exhibit I: Project Changes at Front

Exhibit J: Petition in Support of the Project

Exhibit K: Shadow Study

Exhibit L: DR Applicant's North Side Notch

Exhibit M: Shadow Cast by DR Filer's House on Neighbor

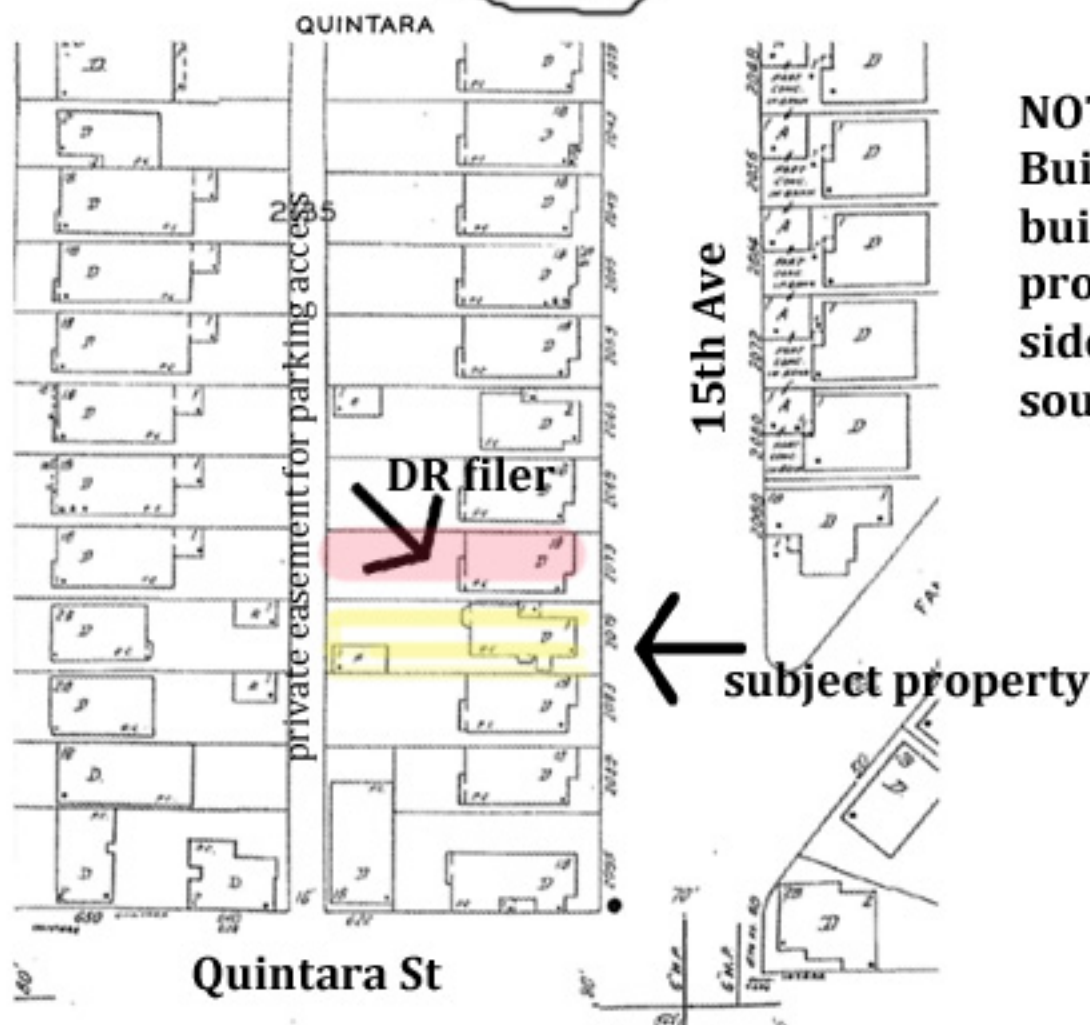
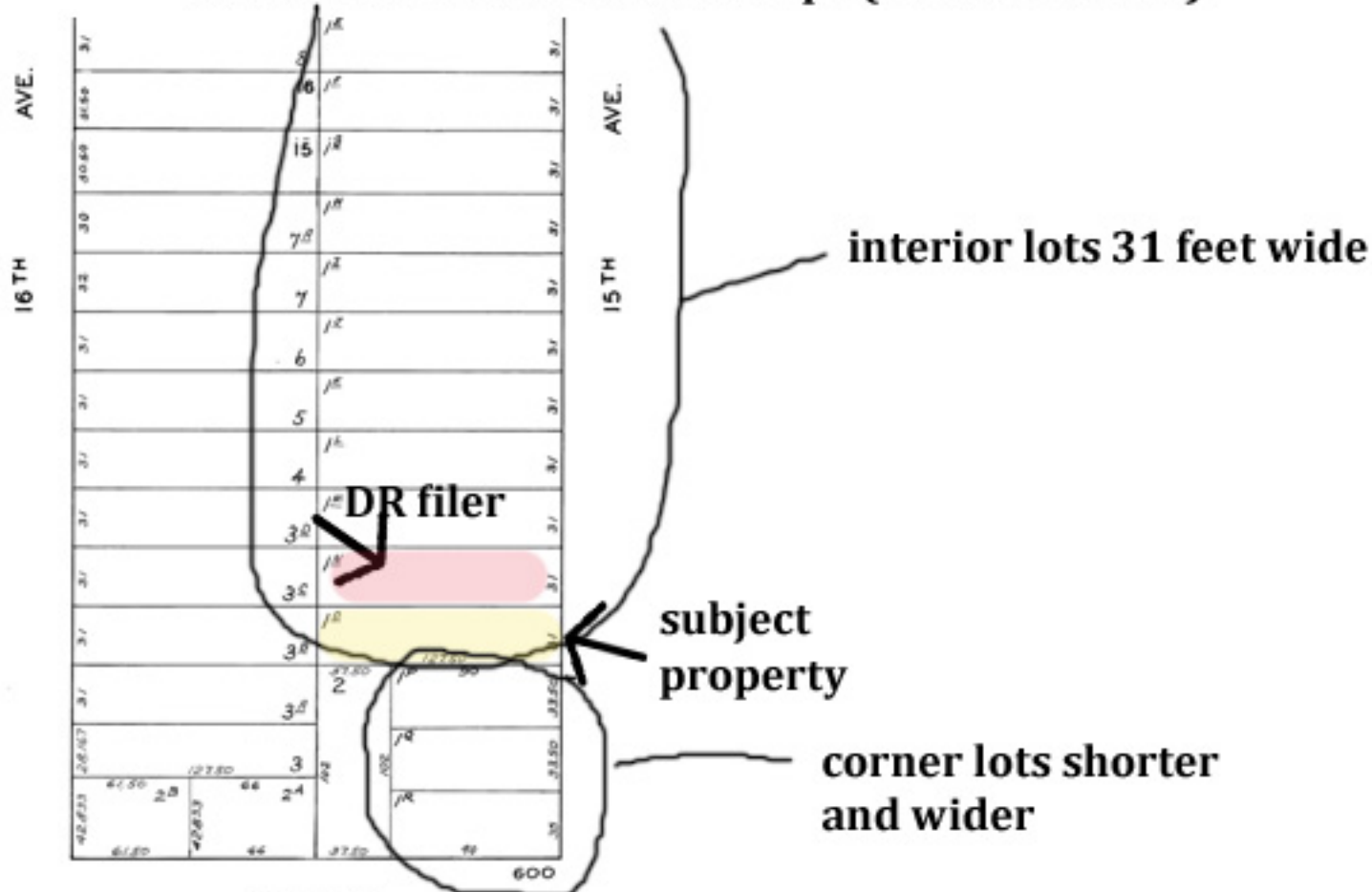
Project superimposed over existing building

2079 15th Ave

EXHIBIT A

www.kcra.com

Tax Assessor and Sanborn Maps (2079 15th Ave)



2079 15th Ave -- Overhead View of Sideyards



— Property Line

Open side yards are on south side of each lot. On the north side, homes are built up to or just off the property line.



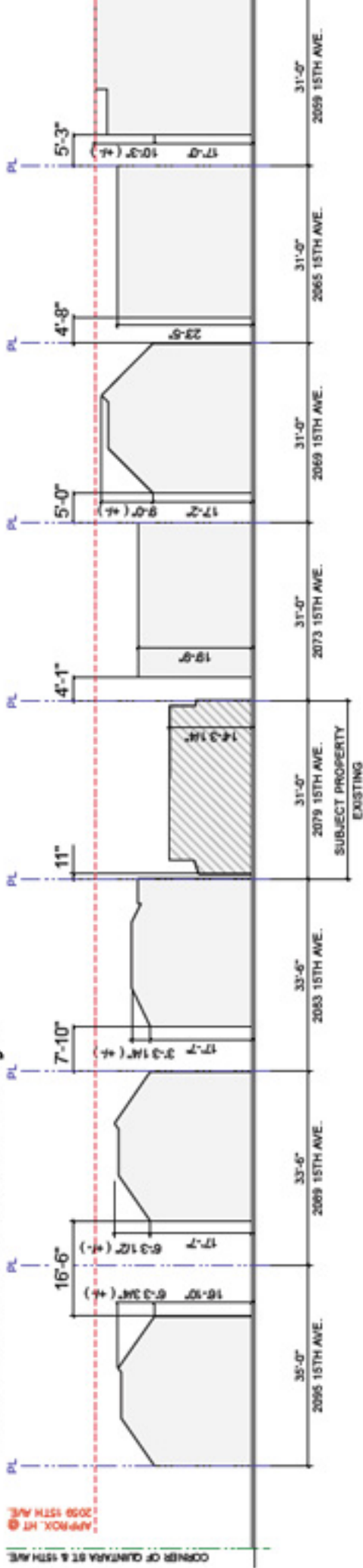
DR filer's home casting shadow on their neighbor's south-facing windows. This is the situation up and down the block.
(Photo taken 7/30/14, 3 pm)



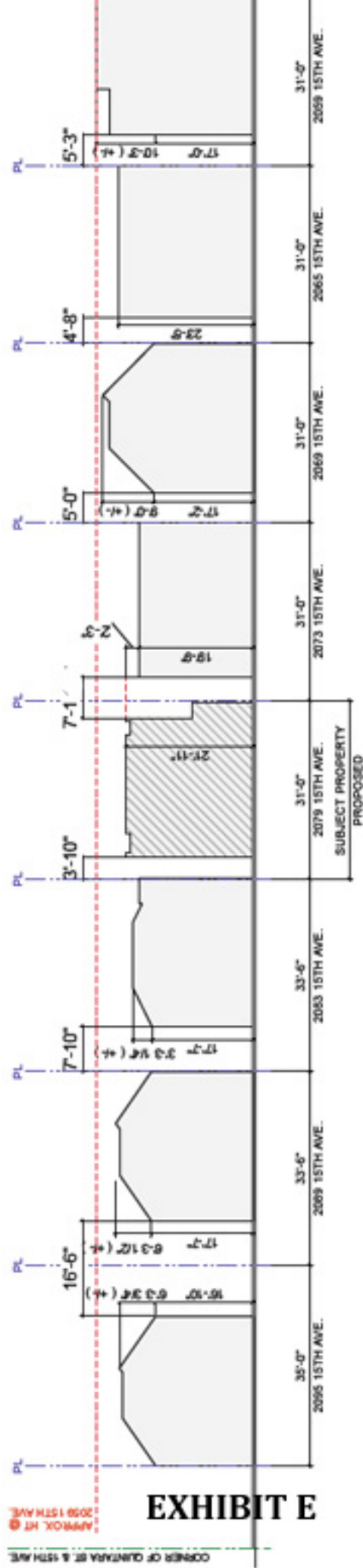
EXHIBIT D

The proposed second floor will create the largest separation between buildings on ANY of the 31-foot wide interior lots.

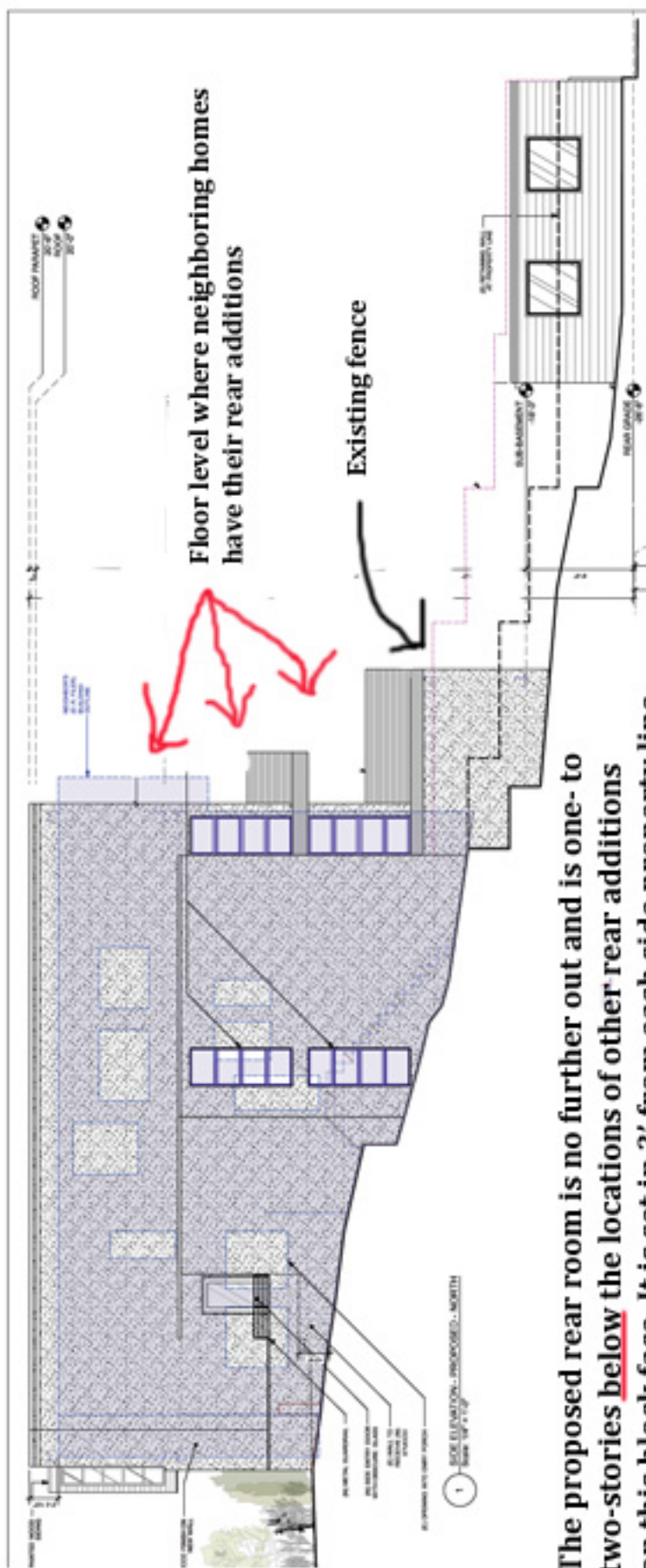
The proposed addition will result in a height well within the range of heights in the immediate vicinity.



1 BUILDING HEIGHT COMPARISON: EXISTING



2 BUILDING HEIGHT COMPARISON: PROPOSED



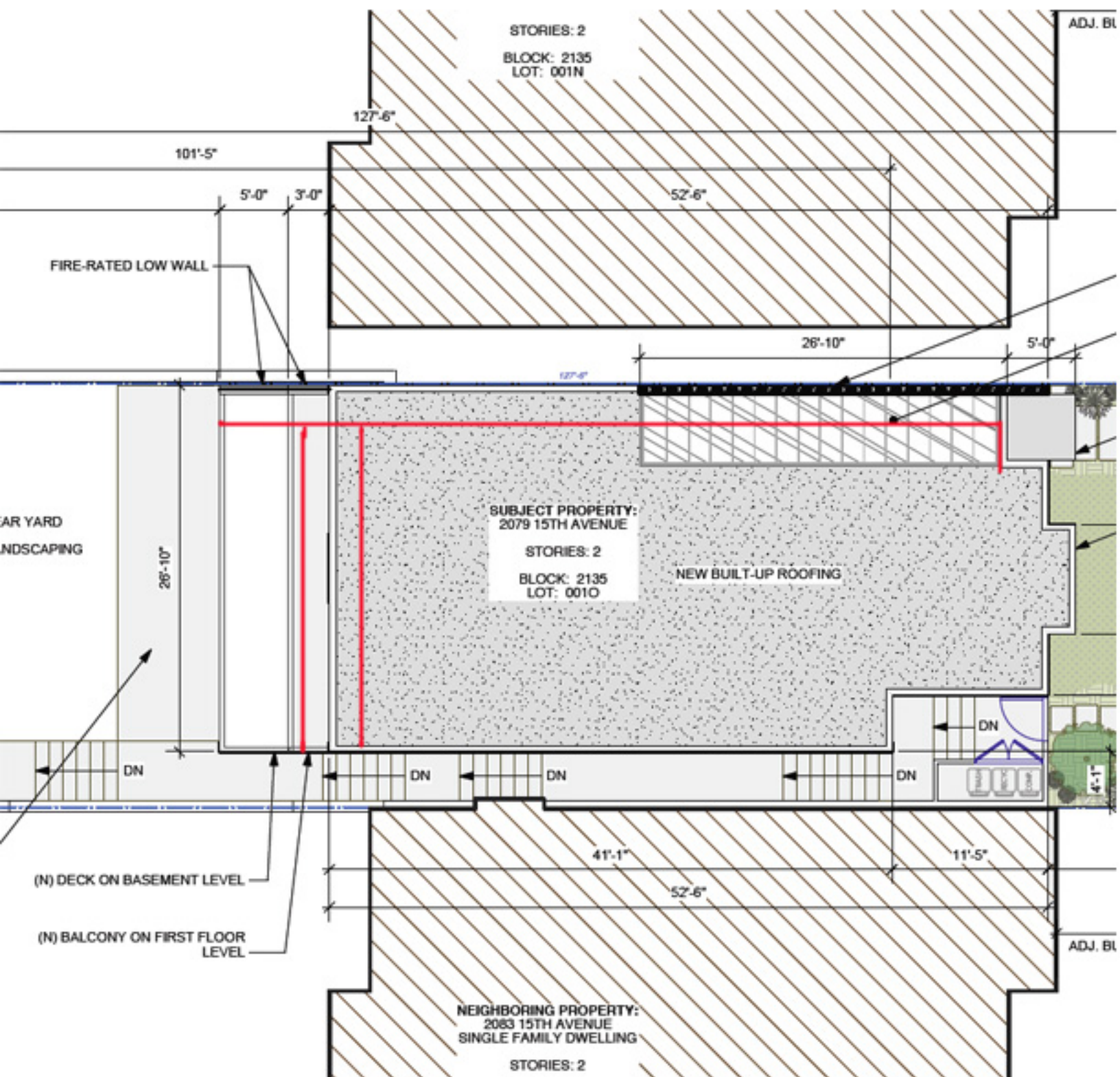
The proposed rear room is no further out and is one- to two-stories below the locations of other rear additions on this block face. It is set in 3' from each side property line and is almost entirely below existing fence height.

This house received a side yard variance for all three stories of addition.





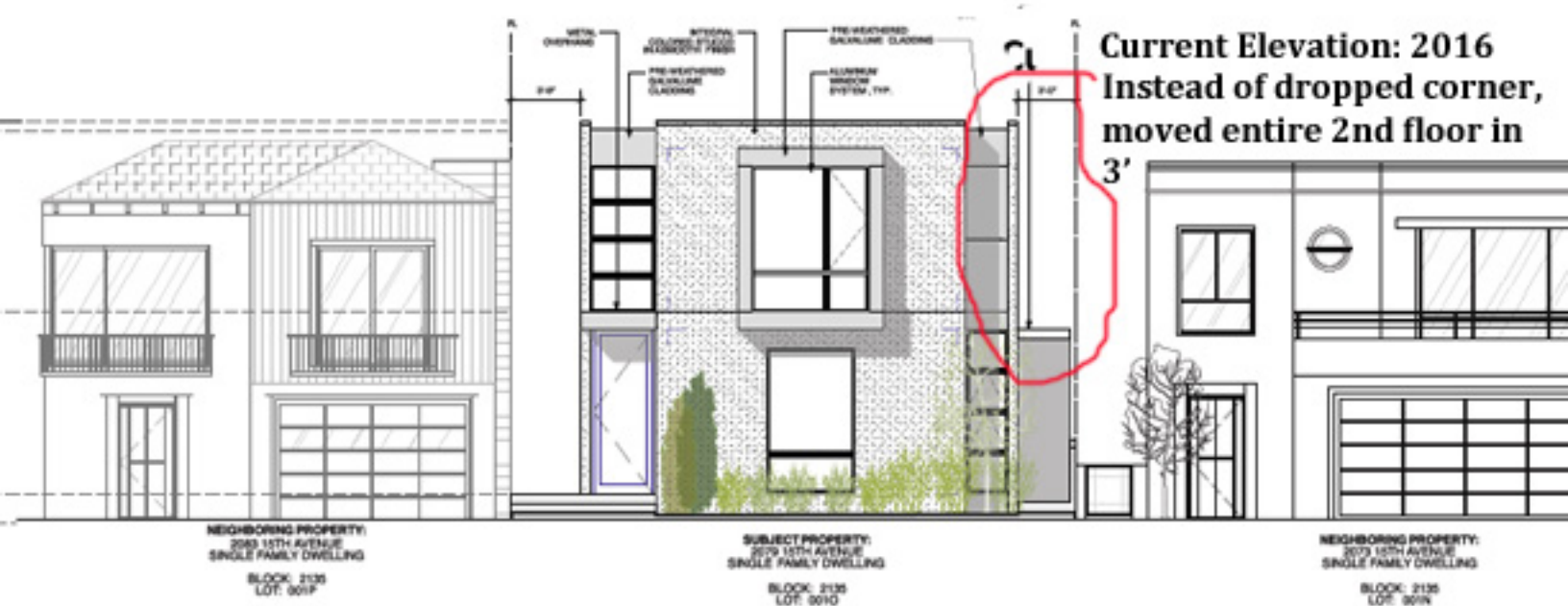
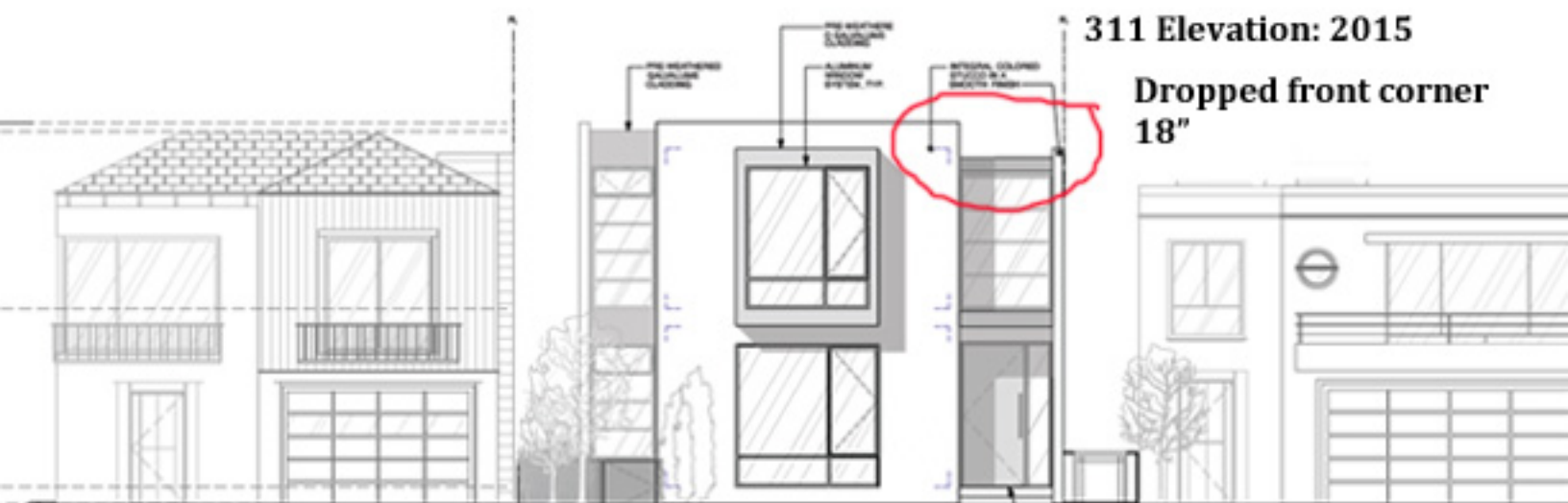
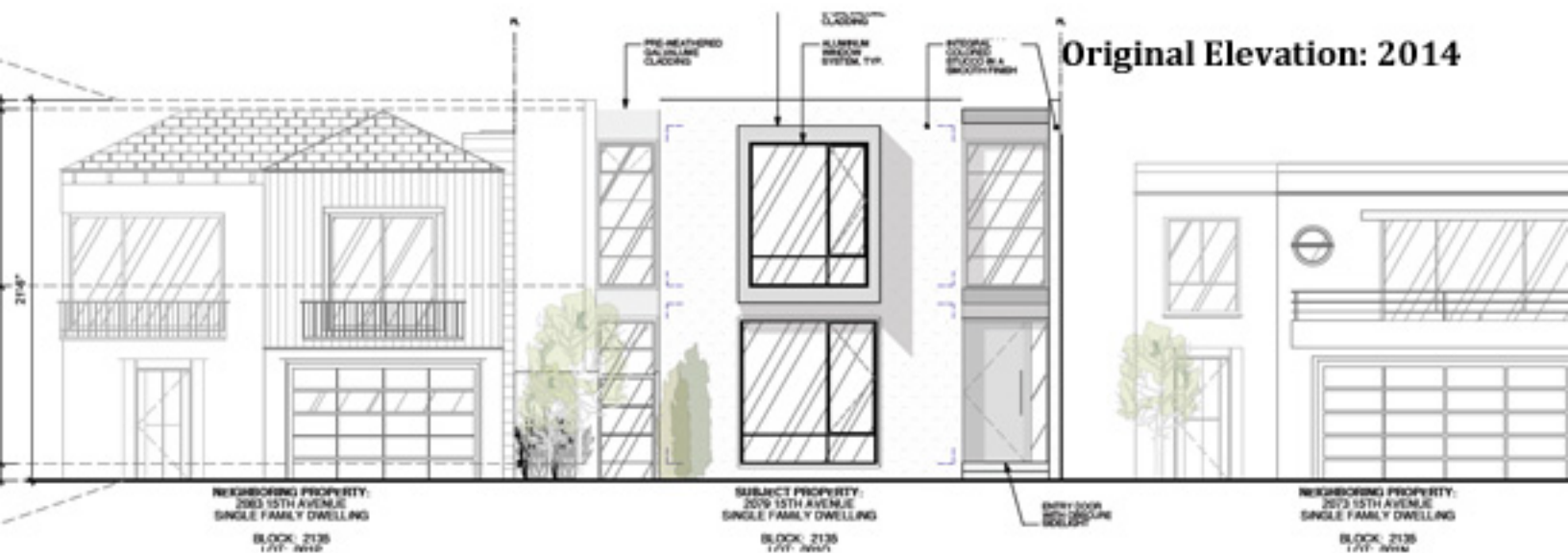
Many yards on the block are shortened by garages or open parking. The project site does not have and will not have the smallest yard on the block.



This is the original 2014 submittal: changes, as compared with the current plans are marked in red.

- 1) Rear addition on all floors was brought from lining up with DR filer's pop-out to within 6 inches of their shorter primary wall;
- 2) Ground level deck pulled in a foot;
- 3) Rear of addition was initially at property line, then pulled back 2 feet;
- 4) Front corner of building (see Exhibit I next page) was dropped 18";
- 5) Now the rear and entire 2nd story are pulled back 3 feet to supersede changes 4 and 5;
- 6) North side windows overlapping neighbor's were clear -- now obscure;

EXHIBIT H





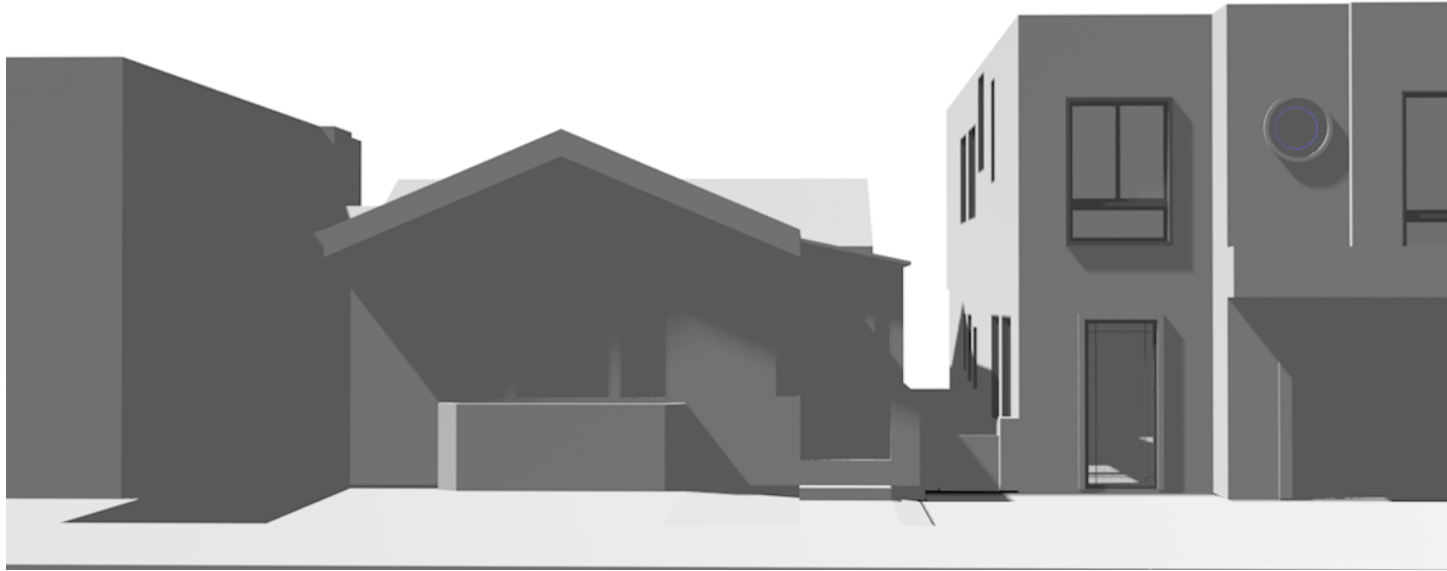
1

MARCH 20 - 10AM : EXISTING



2

MARCH 20 - 10AM : PROPOSED



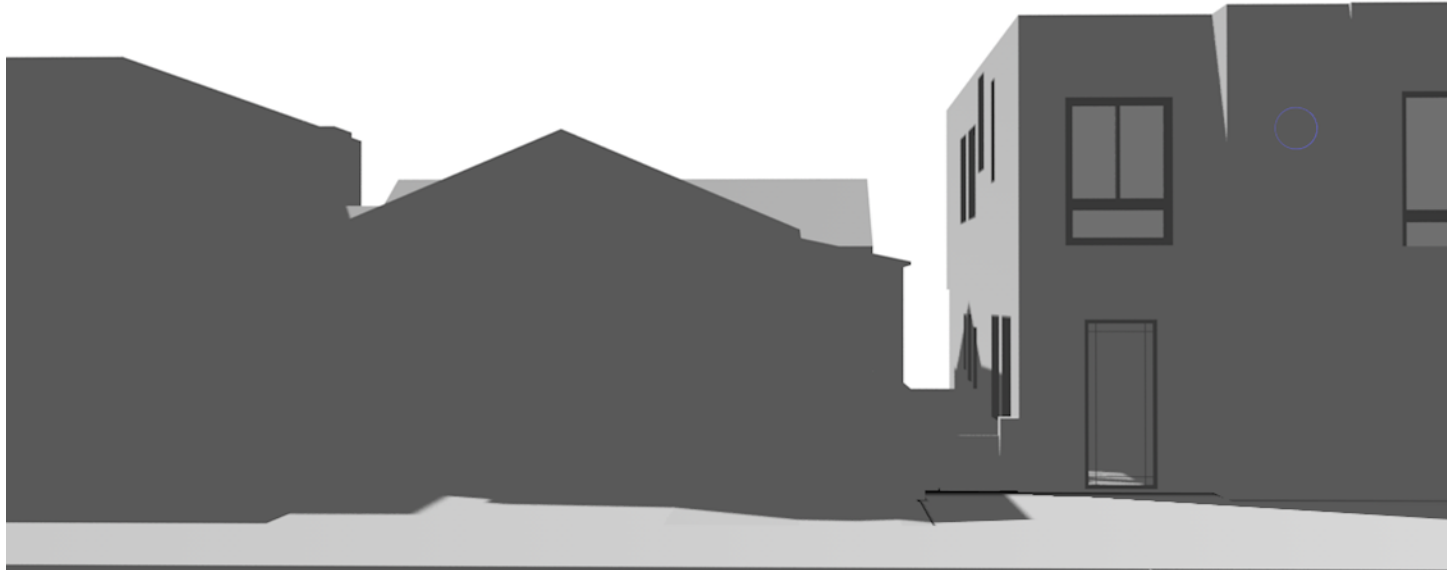
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MARCH 20 - 12PM : EXISTING



2

MARCH 20 - 12PM : PROPOSED



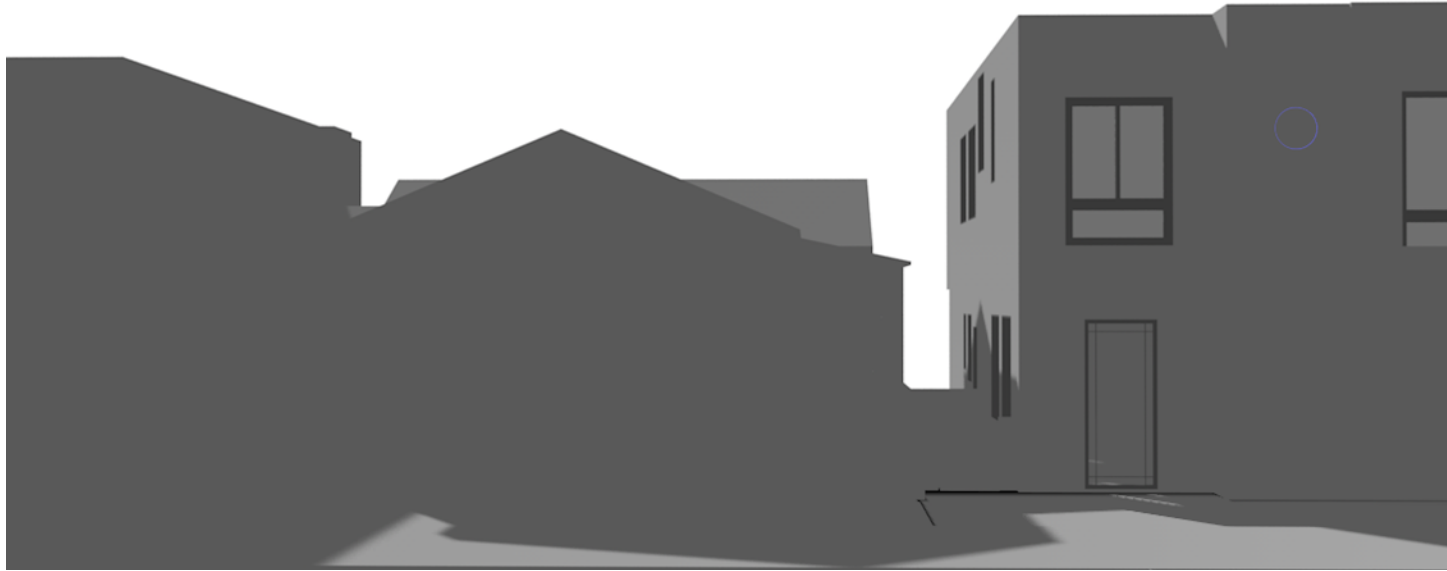
1

MARCH 20 - 2PM : EXISTING



2

MARCH 20 - 2PM : PROPOSED



1

MARCH 20 - 4PM : EXISTING



2

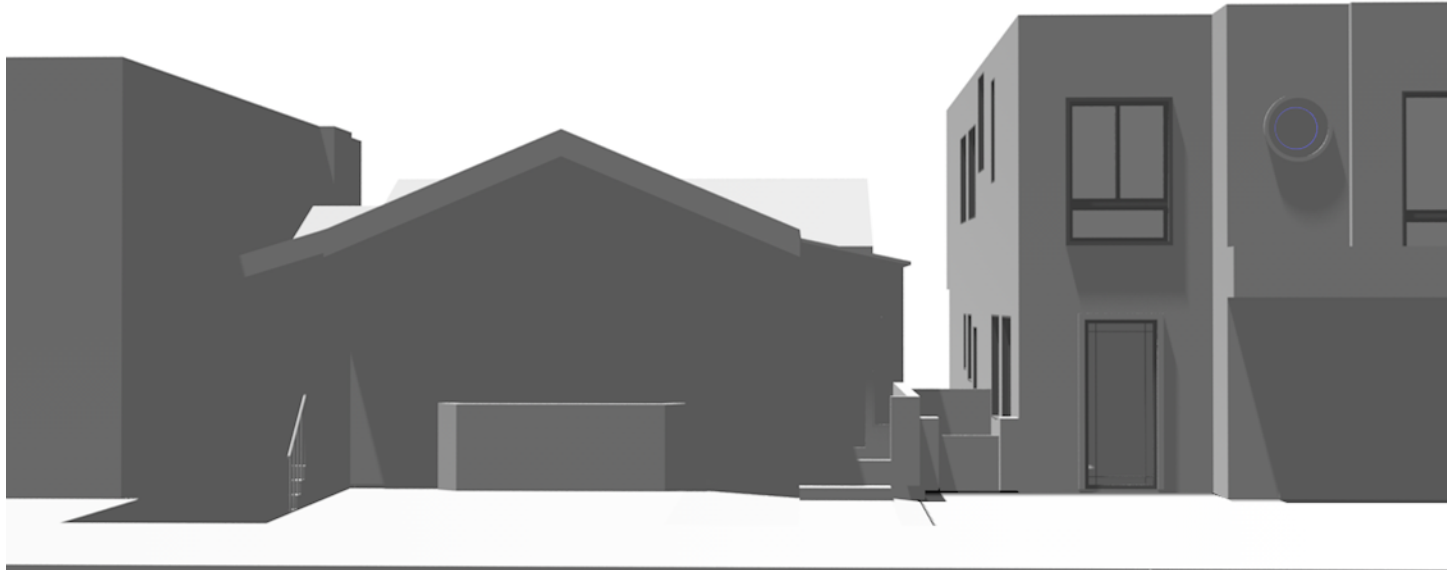
MARCH 20 - 4PM : PROPOSED



1 JUNE 21 - 10AM : EXISTING



2 JUNE 21 - 10AM : PROPOSED



1

JUNE 21 - 12PM : EXISTING



2

JUNE 21 - 12PM : PROPOSED



1

JUNE 21 - 2PM : EXISTING



2

JUNE 21 - 2PM : PROPOSED



1

JUNE 21 - 4PM : EXISTING



2

JUNE 21 - 4PM : PROPOSED



1

SEPTEMBER 23 - 10AM : EXISTING



2

SEPTEMBER 23 - 10AM : PROPOSED



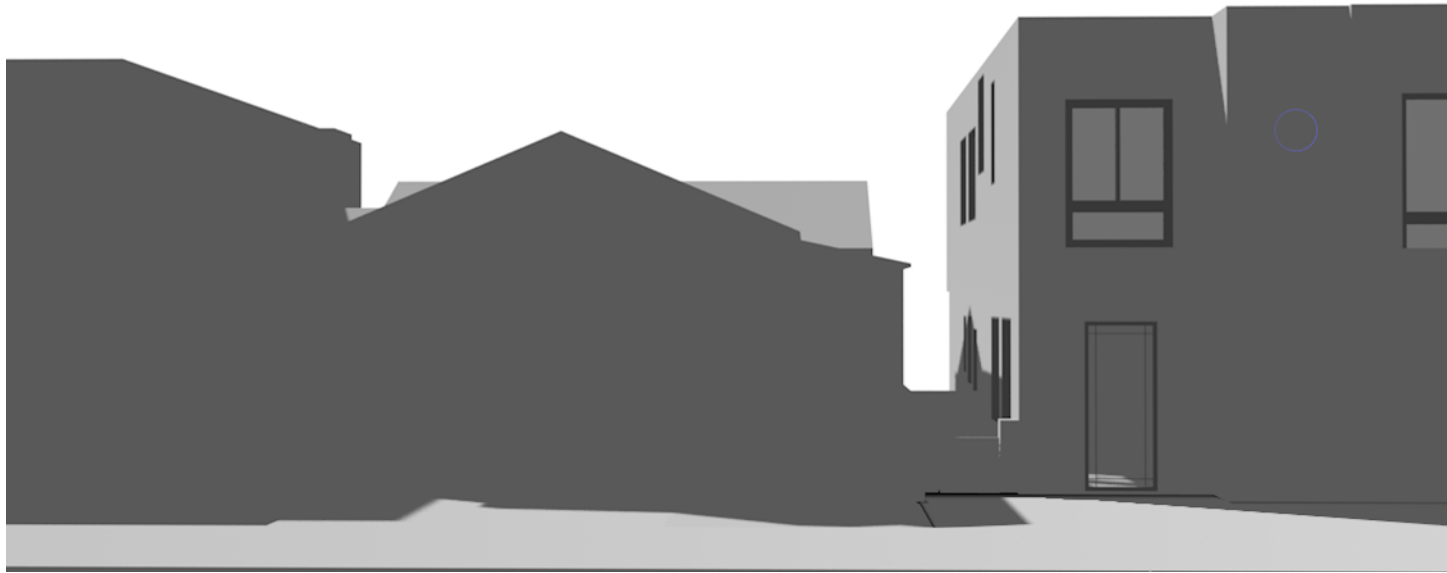
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SEPTEMBER 23 - 12PM : EXISTING



2

SEPTEMBER 23 - 12PM : PROPOSED



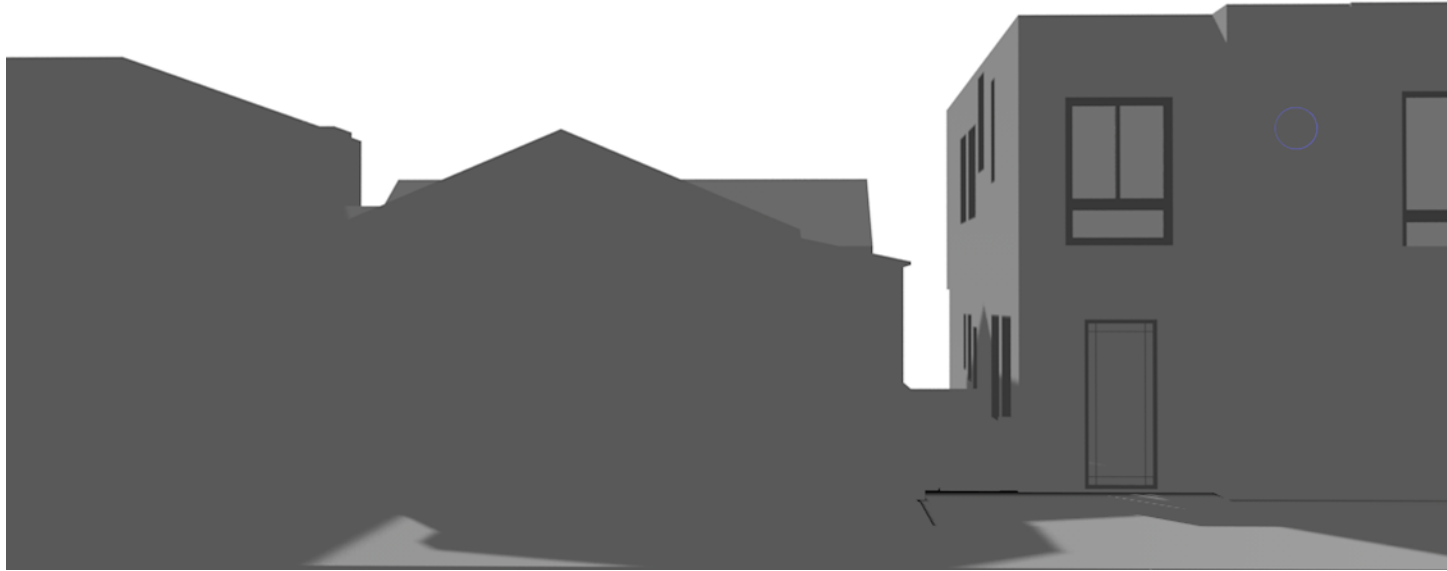
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SEPTEMBER 23 - 2PM : EXISTING



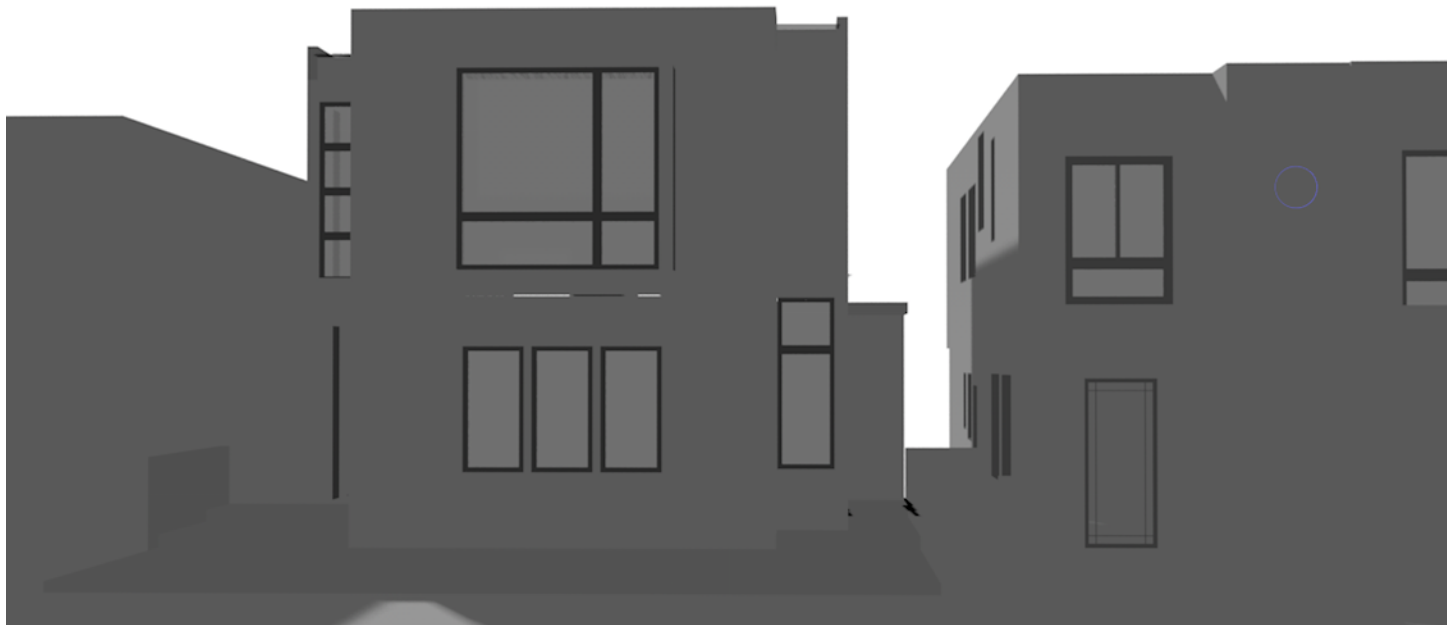
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SEPTEMBER 23 - 2PM : PROPOSED



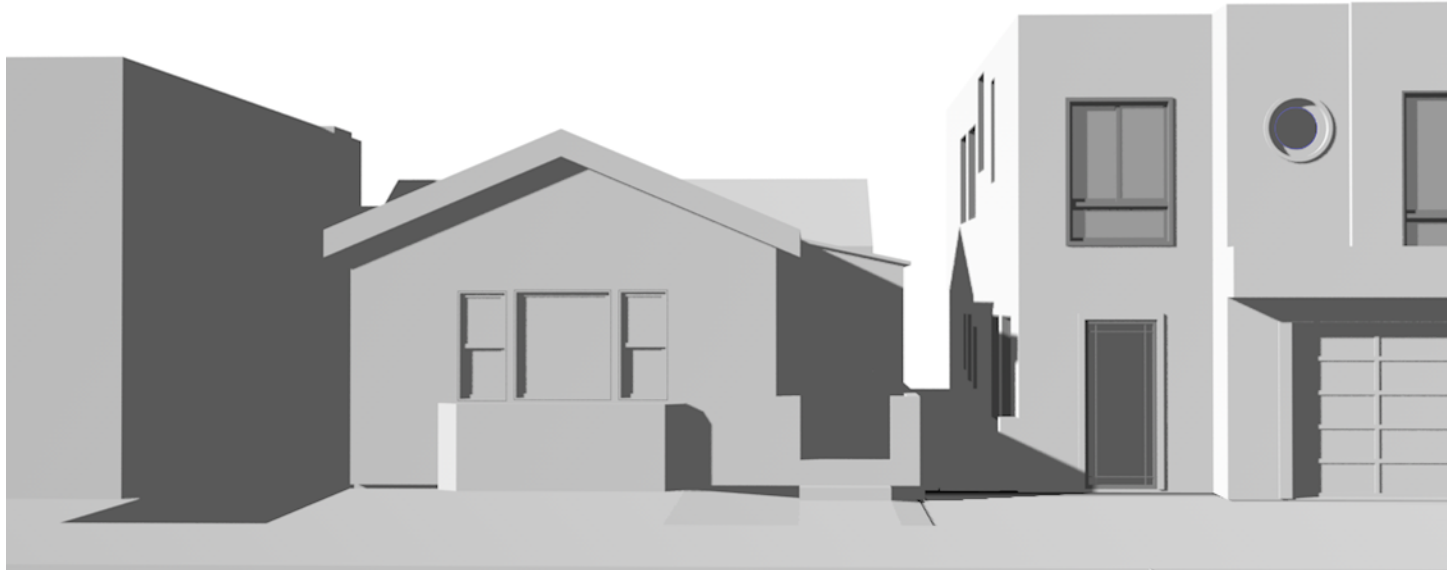
1

SEPTEMBER 23 - 4PM : EXISTING



2

SEPTEMBER 23 - 4PM : PROPOSED



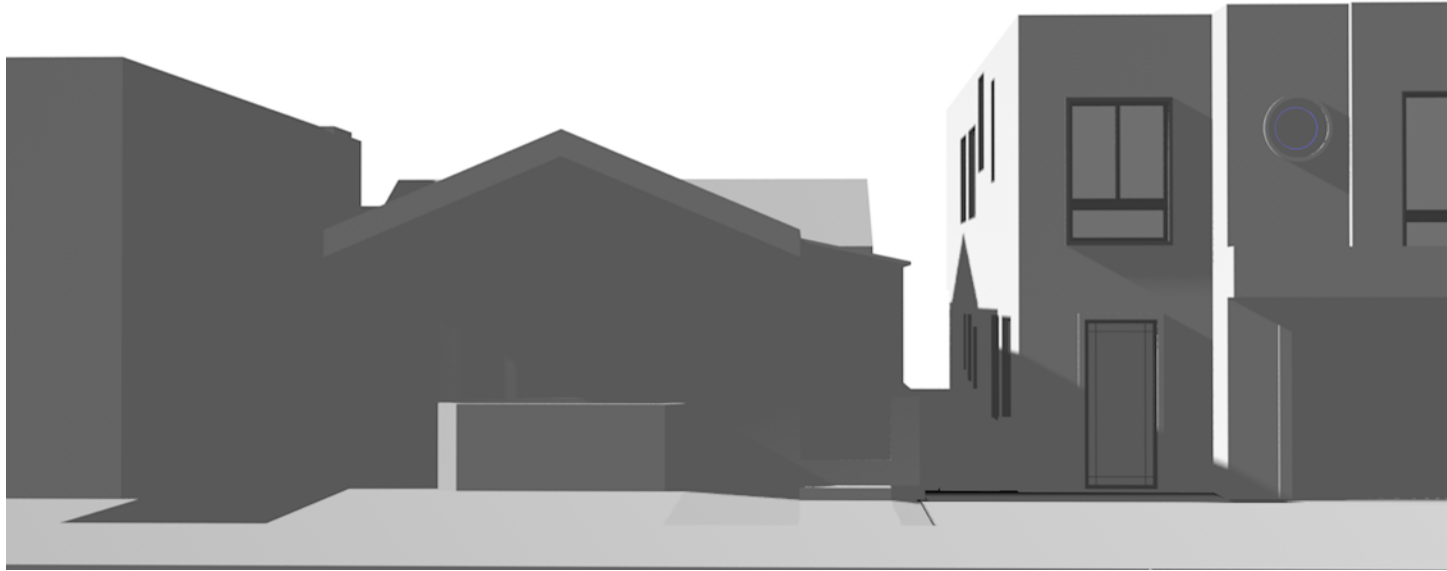
1

DECEMBER 22 - 10AM : EXISTING



2

DECEMBER 22 - 10AM : PROPOSED



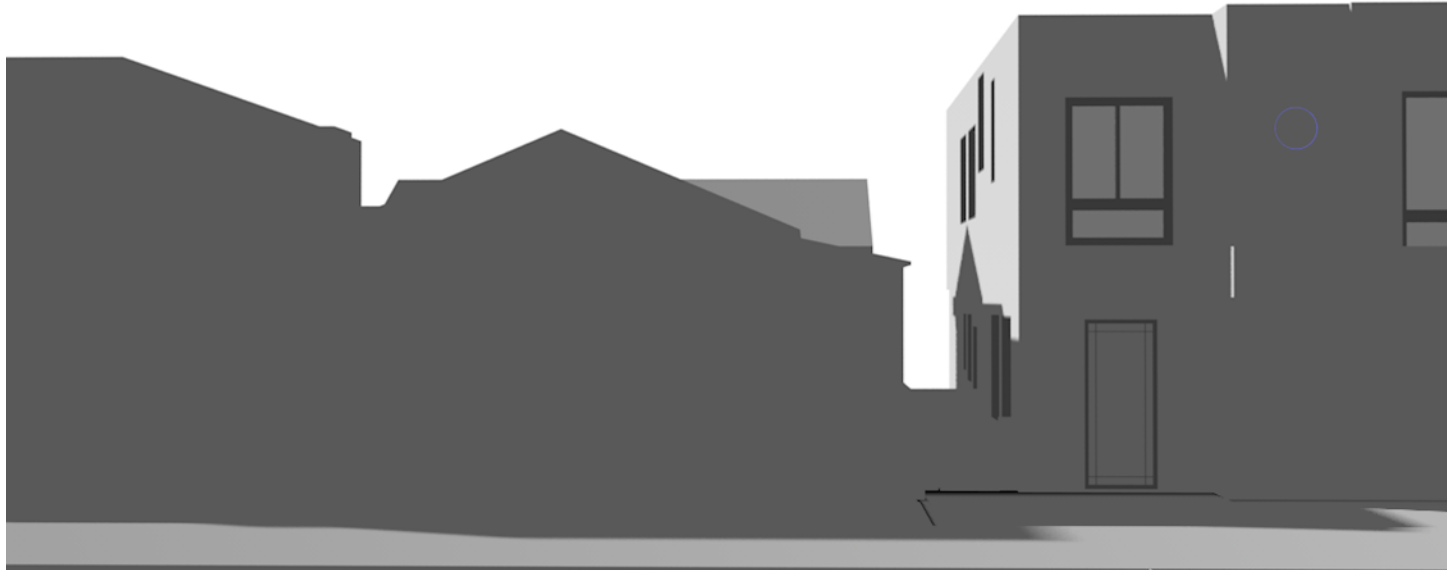
1

DECEMBER 22 - 12PM : EXISTING



2

DECEMBER 22 - 12PM : PROPOSED



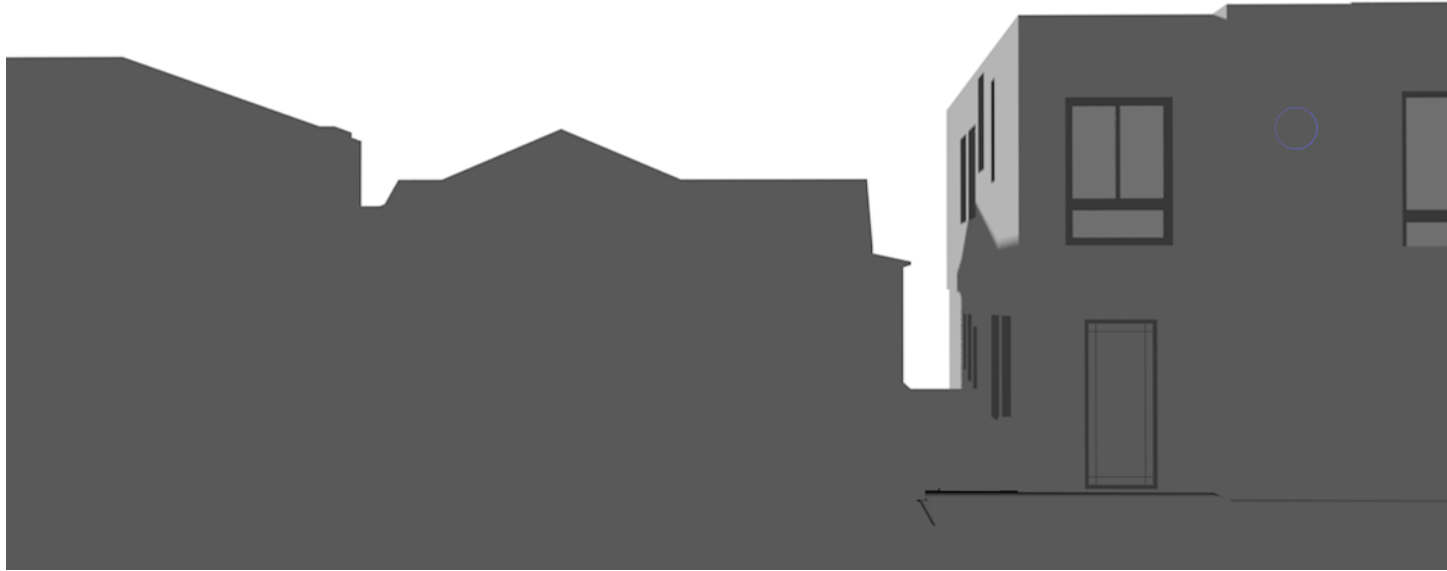
1

DECEMBER 22 - 2PM : EXISTING



2

DECEMBER 22 - 2PM : PROPOSED



1

DECEMBER 22 - 4PM : EXISTING



2

DECEMBER 22 - 4PM : PROPOSED

This is the notch in the top of the DR filer's home that she asks be included in 2079. There is five feet between the DR filer's north wall and her north neighbor's south wall. There will be 7 feet 1 inch between the project addition and the DR filer's house -- allowing more sun at more times of the year.



EXHIBIT L

2073 15th

DR filer's
house
casting shadow
on their neighbor.
The notch makes
no appreciable
difference in sunlight
at most times of the year
and most times of the day.

2069 15th

EXHIBIT M

CHEN/ZHANG RESIDENCE - REMODEL

2079 15TH AVENUE
SAN FRANCISCO, CA 94116

ABBREVIATIONS:

& ~ @ #	AND ANGLE AT NUMBER
CL FL (E) (N) (R)	CENTER LINE PROPERTY LINE EXISTING NEW REPLACE
ABV. ADJ. ALUM. ARCH. ASPH. BD. BASE BD. BLDG. BLK. BLKG. BOT. BM. B.U. CLG. CNTRL. CONT. CTR. CLR. C.L. D.B.L. D.F. DIM. DN. D.P. D.S. DWG. E. EA. EL. OR ELEV. ELEC. EQ. EXP. EXT. F.A.U. FDN. F.F. F.F.E. FIN. F.O.C. F.O.S. F.O.P. F.P. FURN. GA. GALV. GND. GYP.BD. H.C. HDR. HDWD. H.V.A.C. I.D. INSUL. INT. JST. MAX. M.C. MECH. MEMB. MANUF. MIN. MTL. N. N.I.C. NO. O/ O.C. OFCI. OPNG. O.D. P.C. PL. PLYWD. P.T. PT. PTD. R. RET. AIR RM. RDWD. R.W.L.	ABOVE ADJACENT ALUMINUM ARCHITECTURE ASPHALT BOARD BASE BOARD BUILDING BLOCK BLOCKING BOTTOM BEAM BUILT-UP CEILING CONTROL CONTINUOUS CENTER CLEAR CENTER LINE DOUBLE DOUGLAS FIR DIMENSION DOWN DOUBLE POLE DOWN SPOUT DRAWING EAST EACH ELEVATION ELECTRICAL EQUAL EXPOSED EXTERIOR FORCED-AIR UNIT FOUNDATION FINISHED FLOOR FINISHED FLOOR ELEVATION FINISH FACE OF CONCRETE FACE OF STUD FACE OF PLYWOOD FIRE PLACE FIRNACE GAUGE GALVANIZED GROUND GYPSUM BOARD HOLLOW CORE HEADER HARD WOOD HEATING, VENTILATION, AIR CONDITIONING INSIDE DIMENSION INTERIOR JOIST MAXIMUM MEDICINE CABINET MECHANICAL MEMBRANE MANUFACTURER MINIMUM METAL NORTH NOT IN CONTRACT NUMBER OVER ON CENTER OWNER FURNISHED, CONTRACTOR INSTALLED OPENING OUTSIDE DIMENSION PLUMBING CHASE PLATE PLYWOOD PRESSURE TREATED POINT PAINTED RADIUS RETURN AIR ROOM REDWOOD RAIN WATER LEADER

ABBREVIATIONS (CONT.):

S S.S.D. SQ. FT. SHT. SHTG. SIM. S.P. SQ. S.S.T. STD. SUP. AIR T&G TBD THK. T.O.P. T.O.S. T.O.F.F. T.O.W. T.P. T.R. TYP. U.O.N. VAR. V.D.C. VERT. V.L.F. W. W/ W.C. WD. WP W.H.	SOUTH SEE STRUCTURAL DRAWINGS SQUARE FOOT SHEET SHEATHING SIMILAR SINGLE POLE SQUARE STAINLESS STEEL STEEL STANDARD SUPPLY AIR TONGUE AND GROOVE TO BE DETERMINED THICK TOP OF PLATE TOP OF SLAB TOP OF FINISHED FLOOR TOP OF WALL TOILET PAPER HOLDER TOWEL RACK TYPICAL UNLESS OTHERWISE NOTED VARIES VERIFY DURING CONSTRUCTION VERTICAL WEST WITH WATER CLOSET WOOD WATER PROOF WATER HEATER
--	---

SYMBOLS:

EXISTING WALL	
NEW WALL	
LINE OVERHEAD OR HIDDEN	
CENTERLINE	
PROPERTY LINE	
DIMENSION TO FACE OF FINISH	
DIMENSION TO CL OF STUD	
DATUM LINE	
WINDOW SYMBOL	
DOOR SYMBOL	
COLOR SYMBOL	
FLOOR SYMBOL	
SECTION MARKER	
ELEVATION MARKER	
INTERIOR ELEVATION MARKER	
PLAN DETAIL MARKER	
DETAIL MARKER	
REVISION MARKER	

GENERAL NOTES:

AIA DOCUMENT 201, "GENERAL CONDITIONS FOR THE PERFORMANCE OF A CONTRACT", ARE HEREBY INCORPORATED INTO THESE DRAWINGS AND SHALL BE CONSIDERED AS PART OF THE REQUIREMENTS FOR THE COMPLETION OF WORK. SUPPLEMENTARY CONDITIONS TO THE CONTRACT ALSO APPLY.

- ALL CONSTRUCTION SHALL CONFORM TO CURRENT SAN FRANCISCO CODES AND ANY OTHER GOVERNING CODES, AMENDMENTS, RULES, REGULATIONS, ORDINANCES, LAWS, ORDERS, APPROVALS, ETC. THAT ARE REQUIRED BY APPLICABLE PUBLIC AUTHORITIES. IN THE EVENT OF CONFLICT THE MOST STRINGENT REQUIREMENTS SHALL APPLY.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS, AND DIMENSIONS FOR ACCURACY AND CONFIRMING THE WORK CAN BE BUILT OR DEMOLISHED AS SHOWN BEFORE PROCEEDING WITH THE WORK. IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION QUESTIONS, THE GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK IN QUESTION OR RELATED WORK.

ANY ERRORS, OMISSIONS OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT, BEFORE PROCEEDING WITH THE WORK.

CONTRACTOR SHALL THOROUGHLY EXAMINE THE PREMISES AND SHALL BASE HIS BID ON THE EXISTING CONDITIONS, NOTWITHSTANDING ANY INFORMATION SHOWN OR NOT SHOWN ON THE DRAWINGS.

CONTRACTOR TO MAINTAIN ALL PROPER WORKMAN'S COMPENSATION AND LIABILITY INSURANCE THROUGHOUT THE DURATION OF PROJECT.

SUBSTITUTIONS, REVISIONS, OR CHANGES MUST HAVE PRIOR APPROVAL OF THE ARCHITECT.

DURING THE BIDDING AND NEGOTIATION PERIOD THE GENERAL CONTRACTOR AND SUBCONTRACTOR(S) SHALL CONFIRM IN WRITING APPROX. ON-SITE DELIVERY DATES FOR ALL CONSTRUCTION MATERIALS AS REQUIRED BY THE CONSTRUCTION DOCUMENTS AND SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY POSSIBLE CONSTRUCTION DELAYS AFFECTING OCCUPANCY THAT MAY ARISE DUE TO THE AVAILABILITY OF THE SPECIFIED PRODUCT.

ALL WORK SHALL BE PERFORMED SUCH THAT DAMAGE TO EXISTING LANDSCAPE AND/OR PERSONAL PROPERTY IS PREVENTED OR MINIMIZED.

CONTRACTOR SHALL TAKE MEASURES TO PROTECT ADJACENT PROPERTIES. USE VISQUEEN, PLYWOOD, ETC. TO MINIMIZE NOISE, DUST, ETC.

IN THE EVENT THAT FOUNDATION EXCAVATION MIGHT AFFECT ADJACENT PROPERTIES, CONTRACTOR SHALL TAKE ALL APPROPRIATE STEPS TO NOTIFY THE PROPERTY OWNER OF THE CONDITION, AND TO ADEQUATELY PROTECT THE ADJACENT STRUCTURE.

WRITTEN DIMENSIONS REFER TO: FACE OF FINISH OR CENTER-LINE UNLESS OTHERWISE NOTED. EXTERIOR WALLS ARE DIMENSIONED TO FACE OF SHEATHING, U.O.N.

DIMENSIONS ARE TO TOP OF FIN. FLOOR, SLAB OR DECK IN SECTION OR ELEVATION, UNLESS OTHERWISE NOTED.

"SIM." OR "SIMILAR" MEANS COMPARABLE CHARACTERISTICS FOR THE ITEM NOTED. VERIFY DIMENSIONS AND ORIENTATION ON PLAN.

"TYP." OR TYPICAL MEANS IDENTICAL FOR ALL SIMILAR CONDITIONS UNLESS NOTED OTHERWISE.

DIMENSIONS NOTED "CLR" OR "CLEAR" ARE MINIMUM REQUIRED DIMENSIONS AND CLEARANCES MUST BE ACCURATELY MAINTAINED.

CONTRACTOR TO VERIFY DIMENSIONS AND CONDITIONS IN FIELD. IF CONDITIONS ARE SIGNIFICANTLY DIFFERENT THAN REPRESENTED IN DRAWINGS, VERIFY CONDITIONS WITH ARCHITECT.

ALL MATERIALS AND EQUIPMENT TO BE NEW UNLESS OTHERWISE NOTED.

ALL MATERIALS AND EQUIPMENT TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.

WINDOW AND DOOR SIZES ARE NOMINAL DIMENSIONS. REFER TO MANUFACTURER'S SPECIFICATIONS FOR ACTUAL ROUGH OPENINGS.

WHERE LOCATIONS OF WINDOWS AND DOORS ARE NOT DIMENSIONED THEY SHALL BE CENTERED IN THE WALL OR PLACED TWO STUD WIDTHS FROM ADJACENT WALLS AS INDICATED ON DRAWINGS, UNLESS OTHERWISE NOTED.

ALL CHANGES IN FLOOR MATERIAL SHALL OCCUR AT CENTERLINE OF DOOR OR FRAMED OPENING, UNLESS OTHERWISE INDICATED ON THE DRAWINGS.

SEALANT, CAULKING, FLASHING, ETC. LOCATIONS SHOWN ON DRAWINGS ARE INTENDED TO BE INCLUSIVE. FOLLOW MANUFACTURER'S INSTALLATION RECOMMENDATIONS AND STANDARD INDUSTRY AND BUILDING PRACTICES.

ALL ATTICS, RAFTER SPACES, SOFFITS, CRAWL SPACES, ETC. TO BE FULLY VENTILATED PER APPLICABLE CODE.

PROVIDE WOOD BLOCKING FOR ALL TOWEL BARS, ACCESSORIES, ETC.

MEET ALL CALIFORNIA ENERGY CONSERVATION REQUIREMENTS INCLUDING BUT NOT LIMITED TO:

- MINIMUM ROOF/CEILING INSULATION R-19
- MINIMUM WALL INSULATION IN FRAMED EXTERIOR WALLS R-13
- MINIMUM FLOOR INSULATION OVER CRAWL OR UNOCCUPIED SPACES R-13
- ALL INSULATION TO MEET CEC QUALITY STANDARDS.
- INFILTRATION CONTROL:
 - DOORS AND WINDOWS WEATHER-STRIPPED.
 - EXHAUST SYSTEMS DAMPENED.
 - DOORS AND WINDOWS CEC CERTIFIED AND LABELED.
 - ALL JOINTS AND PENETRATIONS CAULKED AND SEALED.
- DUCTS CONSTRUCTED AND INSTALLED PER UMC.
- ELECTRICAL OUTLET PLATE/GASKETS SHALL BE INSTALLED ON ALL RECEPTACLES, SWITCHES AND ELECTRICAL BASES ON EXTERIOR WALLS.

SMOKE ALARMS ARE TO BE INSTALLED IN ALL SLEEPING ROOMS. SMOKE ALARMS SHALL BE HARDWIRED TO 110V HOUSE WIRING AND WIRED TOGETHER IN SERIES. MINIMUM ONE ALARM PER STORY. REF. PLANS FOR LOCATIONS.

GENERAL CONTRACTOR IS TO COORDINATE INSTALLATION OF N.I.C. ITEMS WITH OTHER TRADES.

LOCATIONS/SPECIFICATION OF SAFETY GLAZING (TEMPERED GLASS) ARE SOLE RESPONSIBILITY OF CONTRACTOR. ALL DOORS W/ GLAZING AND ALL GLAZING OF WINDOWS WITHIN 24" OF EDGE OF ANY DOOR SHALL BE WITH TEMPERED GLASS (UBC SECTION 2406)

PROJECT DATA:

CODES:

2013 CALIFORNIA BUILDING CODE
2013 CALIFORNIA MECHANICAL CODE
2013 CALIFORNIA ELECTRICAL CODE
2013 CALIFORNIA PLUMBING CODE
2013 CALIFORNIA FIRE CODE
2013 CALIFORNIA RESIDENTIAL CODE
2013 CALIFORNIA ENERGY CODE
2013 CALIFORNIA GREEN BUILDING STANDARDS CODE
APPLICABLE SAN FRANCISCO MUNICIPAL CODES

PROJECT ADDRESS:

2079 15TH AVENUE
SAN FRANCISCO, CA 94116

PROJECT DESCRIPTION:

- RENOVATION OF A SINGLE-FAMILY RESIDENCE
- ADDITION OF (N) SUB-BASEMENT W/ HOME GYM
- REMODEL OF BASEMENT BEDROOM & BATH
- ADDITION OF (N) FAMILY ROOM, LAUNDRY, BEDROOM & MEDIA ROOM
- REMODEL OF 1ST FLR. KITCHEN, LIVING ROOM, STUDY & ENTRY
- ADDITION OF (N) POWDER ROOM & MUD ROOM
- REPLACE (E) INTERIOR STAIR
- ADDITION OF (N) 2ND FLR.
- REPLACE (E) DECK(S) AND PAVED AREAS IN SIDE & REAR YARDS

BUILDING INFORMATION:

OCCUPANCY:	GROUP R, DIVISION 3
CONSTRUCTION TYPE:	TYPE V-B (PER C.B.C. TABLE 601)
MINIMUM ROOF CLASS:	CLASS B ROOF

PLANNING INFORMATION:

BLOCK / LOT:	2135 / 0010
ZONING DISTRICT:	RH-1 (D)
LOT SIZE:	3,952.5 SQ. FT.
BUILDING HEIGHT:	40 FEET MAX.
NO. OF STORIES:	2 OVER BASEMENT

GROSS FLOOR AREA:	OCCUPIED FLOOR AREA:
PER SFPCC2013 SEC. 102.9__	PER SFPCC2013 SEC. 102.10
(E) GARAGE AREA: 510 SQ. FT. (non-habitable)	N/A
(E) BASEMENT AREA: 582 SQ. FT. (habitable)	486 SQ. FT.
(E) 1ST FLOOR AREA: 1,158 SQ. FT. (habitable)	1,024 SQ. FT.
(E) TOTAL FLOOR AREA: 1,740 SQ. FT. (habitable) 510 SQ. FT. (non-habitable)	1,510 SQ. FT.
(E) GARAGE AREA: 510 SQ. FT. (non-habitable)	N/A
(N) LOWER BASEMENT: 363 SQ. FT. (habitable)	288 SQ. FT.
(N) BASEMENT AREA: 1,014 SQ. FT. (habitable)	733 SQ. FT.
(N) 1ST FLOOR AREA: 1,249 SQ. FT. (habitable)	1109 SQ. FT.
(N) 2ND FLOOR AREA: 1,116 SQ. FT. (habitable)	821 SQ. FT.
(N) TOTAL FLOOR AREA: 3,742 SQ. FT. (habitable) 510 SQ. FT. (non-habitable)	2,950 SQ. FT.
NET CHANGE: +1,946 SQ. FT. (habitable) +0 SQ. FT. (non-habitable)	+1,440 SQ. FT.

PROJECT PARTICIPANTS:

OWNER:
RENEE CHEN & LEO ZHANG
2079 15TH AVENUE
SAN FRANCISCO, CA 94116

GENERAL CONTRACTOR:
T.B.D.

PLANNING CONSULTANT:
MARY GALLAGHER
t. 415 . 845 . 3248

ARCHITECT:
JOHN LUM ARCHITECTURE
3245 17TH STREET
SAN FRANCISCO, CA 94110

PROJECT MANAGER:
KHUON DUONG
t. 415 . 558 . 8550 x13
f. 415 . 558 . 0554

STRUCTURAL ENGINEER:
T.B.D.

DRAWING INDEX:

ARCHITECTURAL

1.	A0.0	TITLE SHEET
2.	A0.1	SITE PLAN - EXISTING
3.	A0.2	SITE PLAN - PROPOSED
4.	A0.3	SITE PHOTOGRAPHS
5.	A1.0	GARAGE & LOWER BASEMENT PLAN - EXISTING/DEMO & PROPOSED
6.	A1.1	BASEMENT PLAN - EXISTING/DEMOLITION & PROPOSED
7.	A1.2	1ST FLOOR PLAN - EXISTING/DEMOLITION & PROPOSED
8.	A1.3	2ND FLOOR PLAN - PROPOSED
9.	A1.4	ROOF PLAN - EXISTING/DEMOLITION & PROPOSED
10.	A3.0	EXTERIOR ELEVATIONS 1 - EXISTING/DEMOLITION & PROPOSED
11.	A3.1	EXTERIOR ELEVATIONS 2 - EXISTING/DEMOLITION & PROPOSED
12.	A3.2	EXTERIOR ELEVATIONS 3 - EXISTING/DEMOLITION & PROPOSED
13.	A3.3	EXTERIOR ELEVATIONS 4 - EXISTING/DEMOLITION & PROPOSED
14.	A4.0	BUILDING SECTION - EXISTING & PROPOSED
15.	A7.0	DEMOLITION CALCULATIONS - VERTICAL ELEMENTS
16.	A7.1	DEMOLITION CALCULATIONS - VERTICAL ELEMENTS
17.	A7.2	DEMOLITION CALCULATIONS - VERTICAL ELEMENTS
18.	A7.3	DEMOLITION CALCULATIONS - HORIZONTAL ELEMENTS
19.	A7.4	CEQA
20.	A7.5	CEQA

NOT FOR
CONSTRUCTION

CHEN/ZHANG - RES REMODEL
2079 15TH AVENUE
SAN FRANCISCO, CA 94116
BLOCK 2135 - LOT 0010

rene chen and leo zhang
2556 32nd avenue
san francisco, ca 94116

client:

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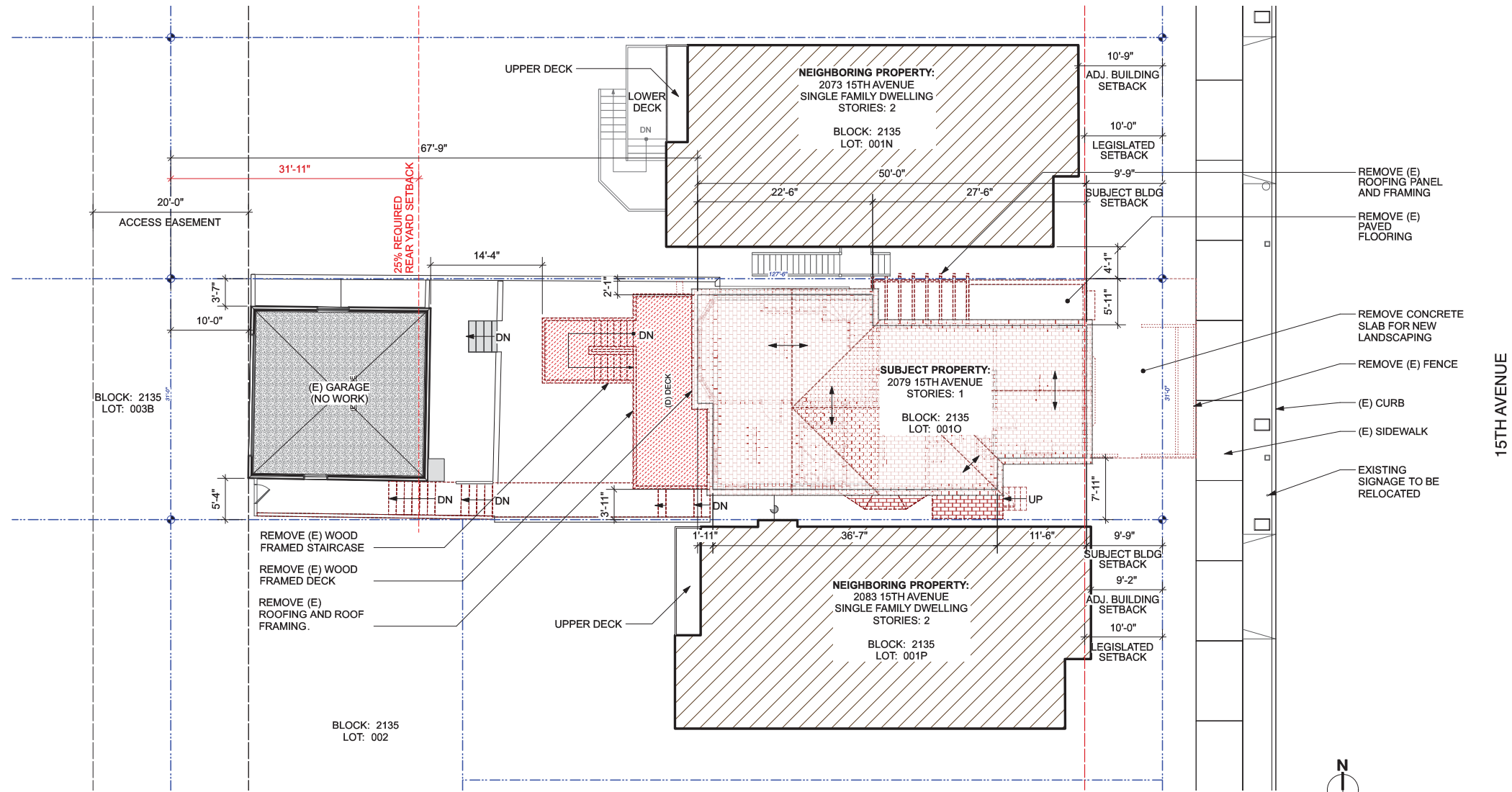
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12.21.15	post 311 plans r-4	kd
04.18.16	D.R. Hearing	rk

project name : CHEN/ZHANG
project number : 00000
scale : NTS

TITLE SHEET

A0.0

JOHN LUM ARCHITECTURE, INC.
3245 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL 415 558 8550 FAX 415 558 0554



1 SITE PLAN - EXISTING/DEMO
Scale: 1/8" = 1'-0"



JOHN LUM ARCHITECTURE, INC.
2246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL 415 558 9550 FAX 415 558 0554

NOT FOR
CONSTRUCTION

CHEN/ZHANG - RES REMODEL
2079 15TH AVENUE
SAN FRANCISCO, CA 94116
BLOCK 2135 - LOT 0010

rene chen and leo zhang
2556 32nd avenue
san francisco, ca 94116

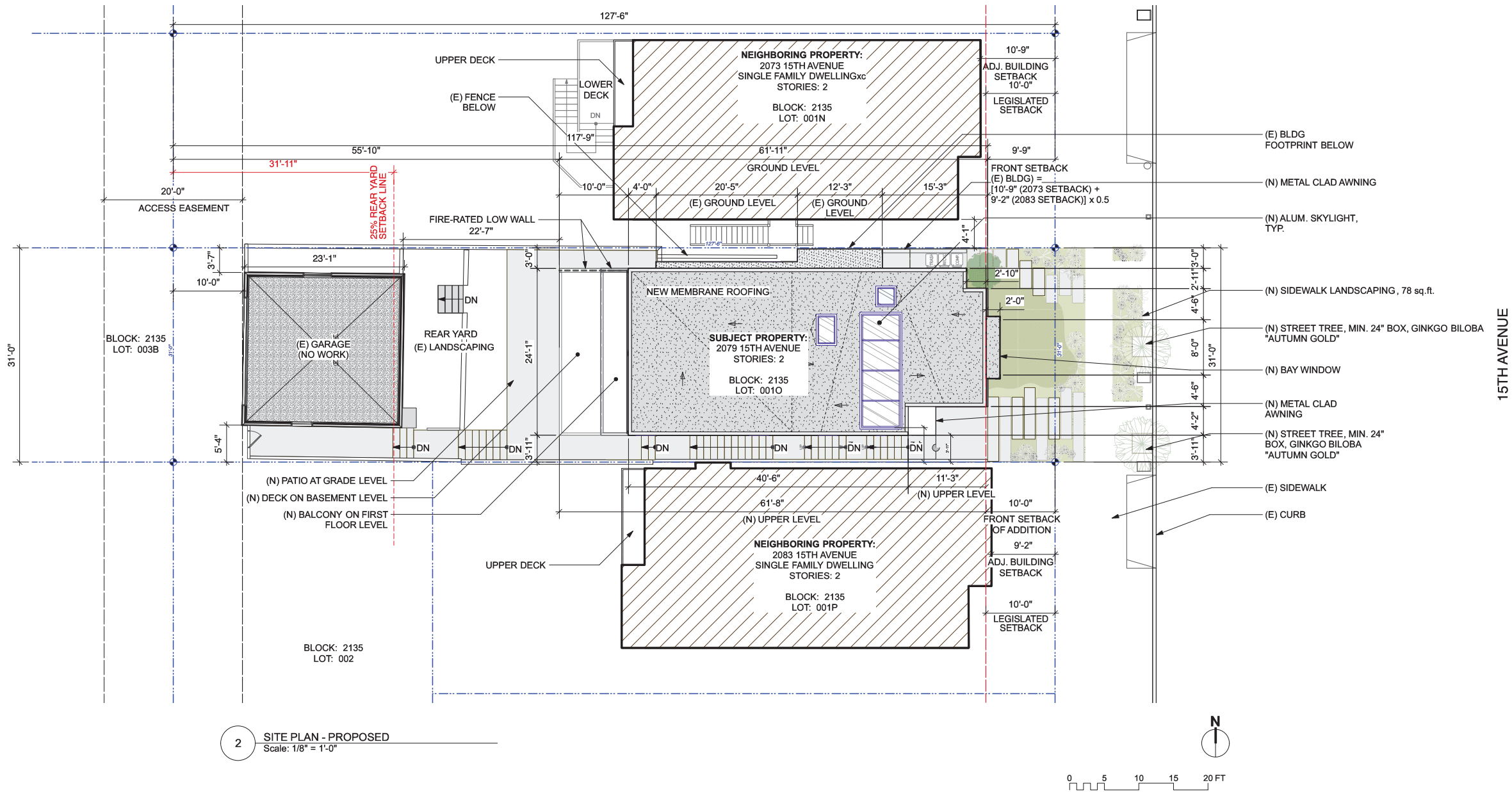
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04.18.16	D.R. Hearing	rk

project name : CHEN/ZHANG
project number : 00000
scale : 1/8" = 1'-0"

SITE PLAN -
EXISTING/DEMOLITION



NOT FOR CONSTRUCTION

CHEN/ZHANG - RES REMODEL
2079 15TH AVENUE
SAN FRANCISCO, CA 94116
BLOCK 2135 - LOT 0010

client:
rene chen and leo zhang
2556 32nd avenue
san francisco, ca 94116

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04.18.16	D.R. Hearing	rk

project name : CHEN/ZHANG
project number : 00000
scale : 1/8" = 1'-0"

**SITE PLAN
- PROPOSED**



SOUTHERN ADJ. BREEZEWAY - EAST ELEVATION



SUBJECT PROPERTY FRONT ELEVATION - EAST



SUBJECT PROPERTY FRONT ELEVATION - EAST



SUBJECT PROPERTY FRONT ELEVATION - EAST



NORTHERN ADJ. BREEZEWAY - EAST ELEVATION



NEIGHBORHOOD MAP



SOUTHERN ADJ. BDG. & SUB. PROPERTY FRONT ELEVATION - EAST



NORTHERN ADJ. BDG. & SUB. PROPERTY FRONT ELEVATION - EAST



NORTHERN ADJ. BDG. & SUB. PROP. REAR ELEVATION - WEST



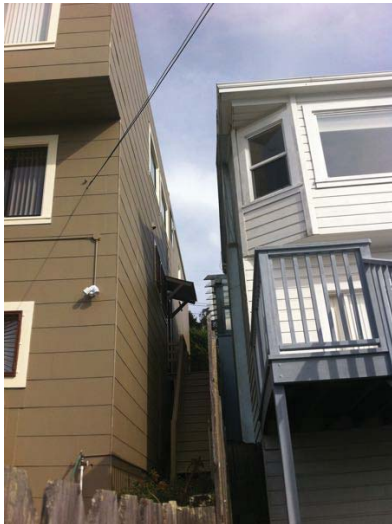
SUB. PROP. GARAGE REAR ELEVATION - WEST



SOUTHERN ADJ. BDG. & SUB. PROP. REAR ELEVATION - WEST



NORTHERN ADJ. BDG. REAR ELEVATION - WEST



NORTHERN ADJ. BREEZEWAY - WEST ELEVATION



SUBJECT PROPERTY REAR ELEVATION - WEST



SUBJECT PROPERTY REAR ELEVATION - WEST



SOUTHERN ADJ. BREEZEWAY - WEST ELEVATION



SOUTHERN ADJ. BDG. REAR ELEVATION - WEST



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3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
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NOT FOR
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CHEN/ZHANG - RES REMODEL
2079 15TH AVENUE
SAN FRANCISCO, CA 94116
BLOCK 2135 - LOT 0010

rene chen and leo zhang
2556 32nd avenue
san francisco, ca 94116

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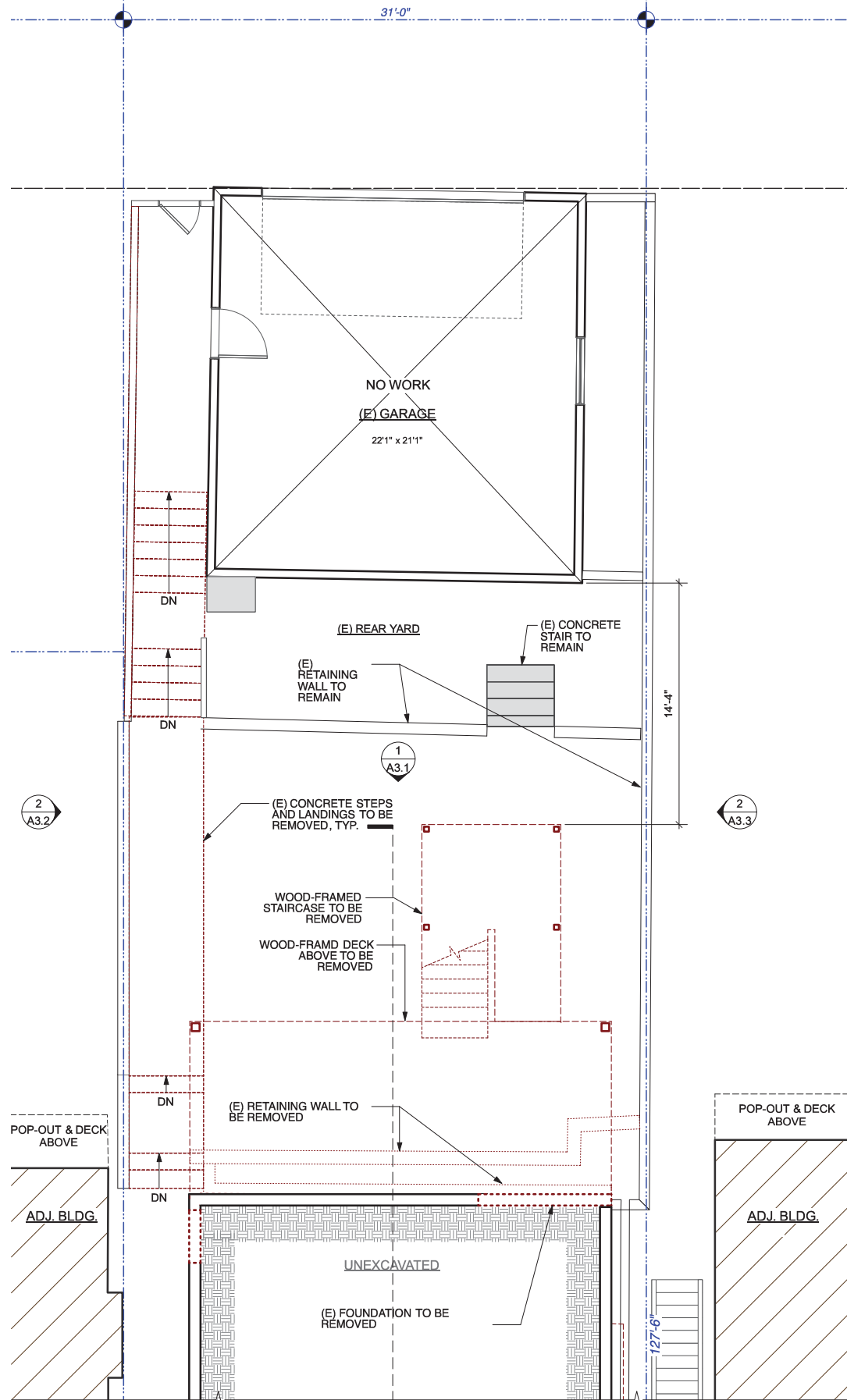
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04.18.16	D.R. Hearing	rk

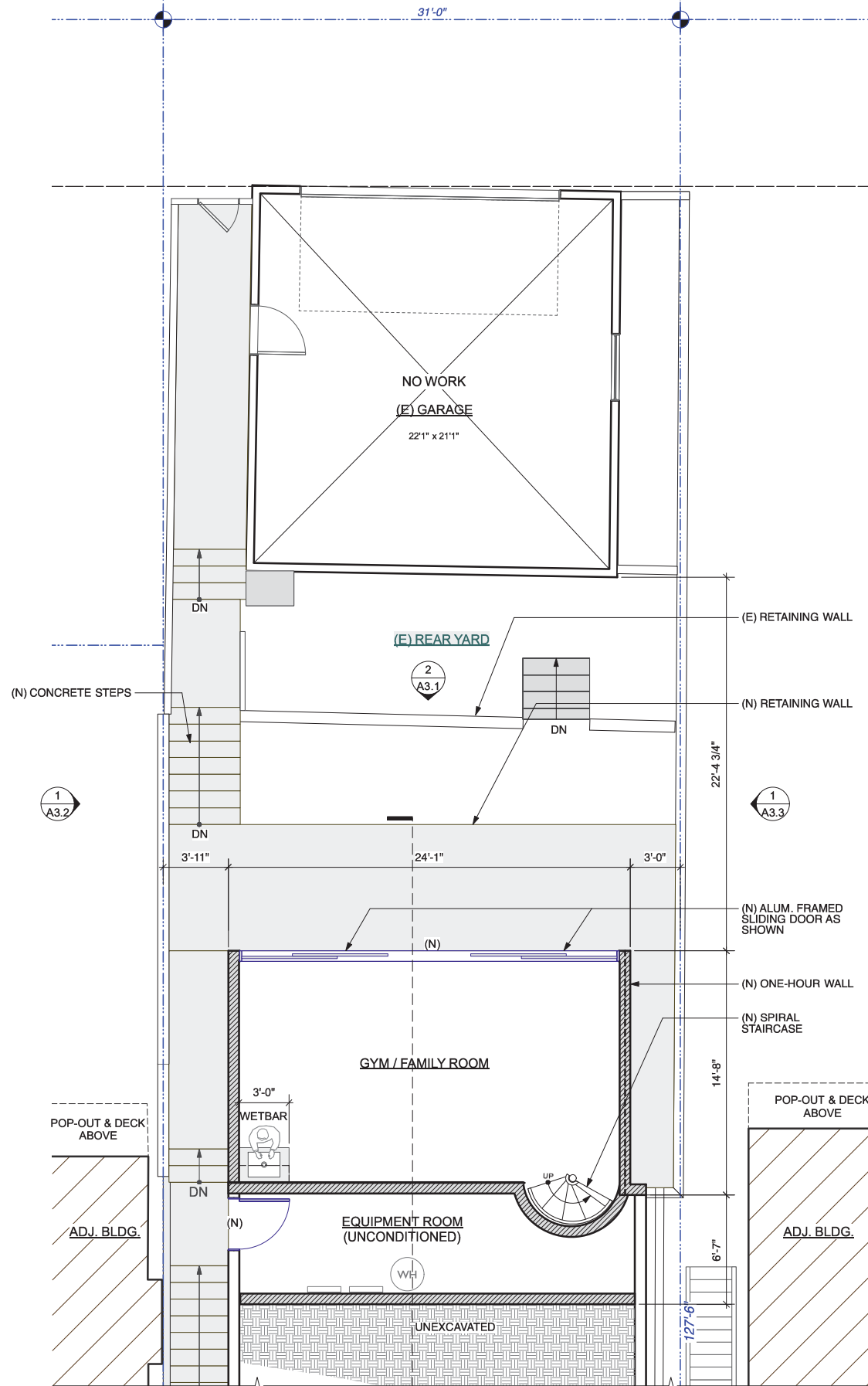
project name : CHEN/ZHANG
project number : 00000
scale : NTS

SITE PHOTOGRAPHS

A0.3



1 LOWER BASEMENT PLAN - EXISTING
Scale: 1/4" = 1'-0"



2 LOWER BASEMENT PLAN - PROPOSED
Scale: 1/4" = 1'-0"

EXISTING AREA STATISTICS	
EXISTING:	
GARAGE =	510 SQ FT
(1ST FLR) LIVING =	1,158 SQ FT
(BASEMENT) LIVING =	582 SQ FT
DEMOLITION LEGEND	
	EXISTING WALL
	DEMO. WALL
	AREA TO BE DEMOLISHED
WALL TYPE	
	EXISTING WALL
	NEW INTERIOR WALL: 5/8" GYPSUM BOARD, O/ 2X4 WD. STUDS, O/ STRUCTURAL PLYWD. (WHERE OCCURS, S.S.D.) O/ 5/8" GYPSUM BOARD
	NEW EXTERIOR WALL (NON-RATED): (N) FINISH MATERIAL (REFER TO EXTERIOR ELEV.) O/ 2 LAYERS GRADE 'D' BUILDING PAPER, O/ EXTERIOR GRADE PLYWOOD, O/ 2X6 WD. STUDS W/ R19 THERMAL INSULATION, O/ 5/8" GYPSUM BOARD (INTERIOR FACE)
	NEW EXTERIOR WALL (ONE-HOUR FIRE-RATED): (N) FINISH MATERIAL (REFER TO EXTERIOR ELEV.) O/ 2 LAYERS GRADE 'D' BUILDING PAPER, O/ EXTERIOR GRADE PLYWOOD, O/ 2X6 WD. STUDS W/ R19 THERMAL INSULATION, O/ 5/8" GYPSUM BOARD (INTERIOR FACE)
PROPOSED AREA STATISTICS	
PROPOSED:	
(E) GARAGE =	491 SQ FT
(2ND FLR) LIVING =	1,177 SQ FT
(1ST FLR) LIVING =	1,302 SQ FT
(BASEMENT) LIVING =	1,004 SQ FT
(SUB-BASEMENT) LIVING =	379 SQ FT



NOT FOR
CONSTRUCTION

CHEN/ZHANG - RES REMODEL
2079 15TH AVENUE
SAN FRANCISCO, CA 94116
BLOCK 2135 - LOT 0010

client:
rene chen and leo zhang
2556 32nd avenue
san francisco, ca 94116

REDUCED SET
SCALE = 45%

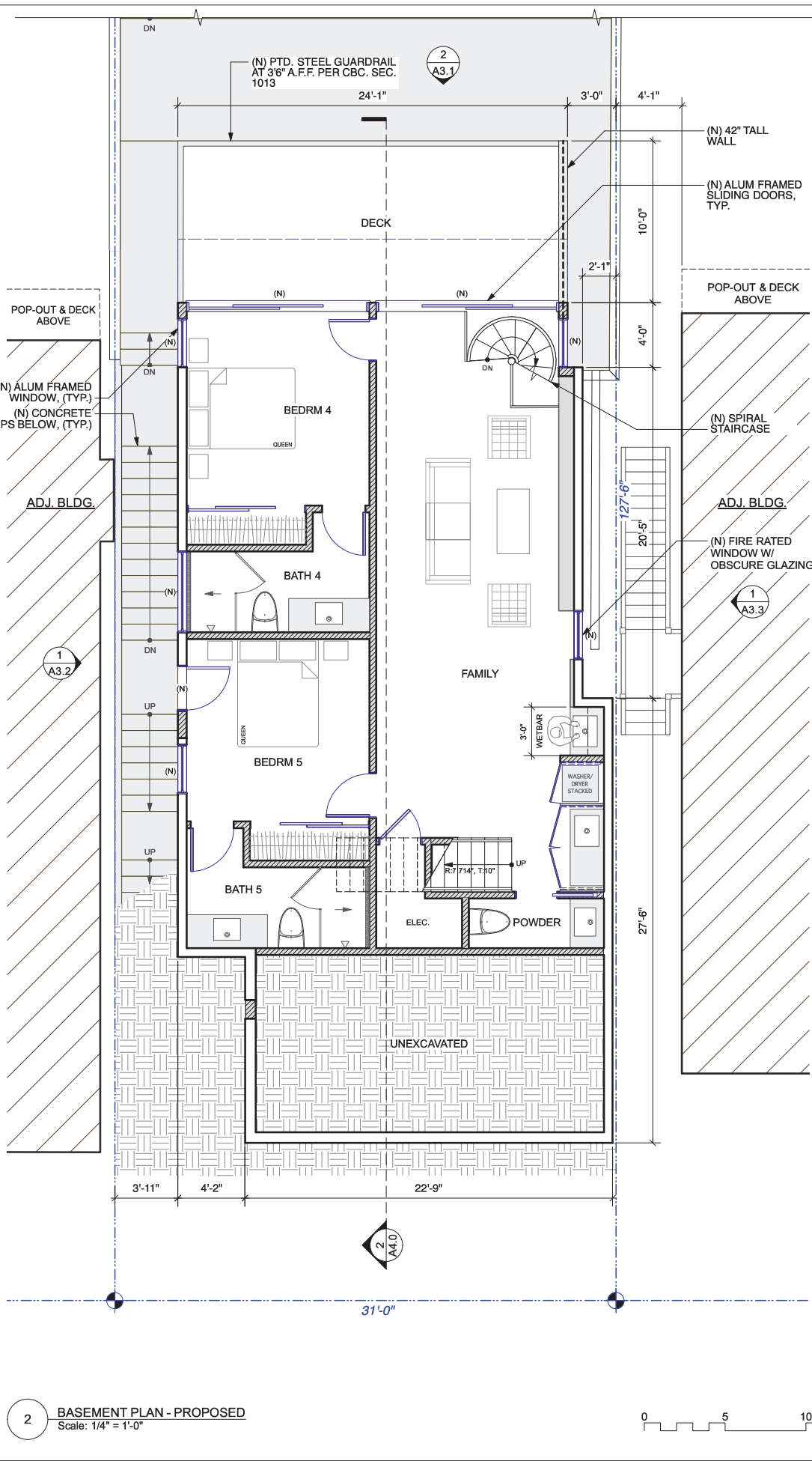
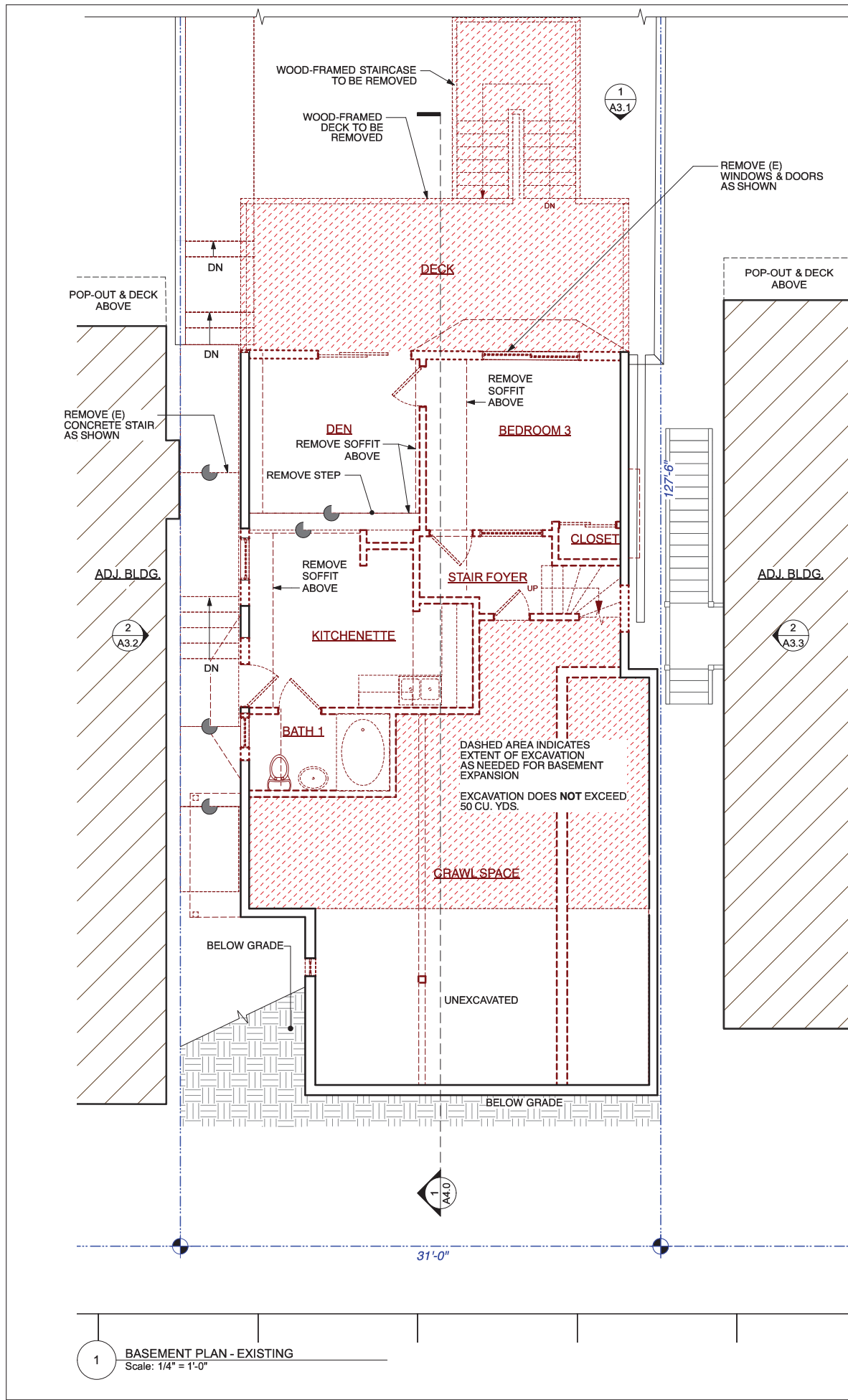
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06.12.15	post 311 plans	kd
12.21.15	post 311 plans r-4	kd
04.18.16	D.R. Hearing	rk

project name : CHEN/ZHANG
project number : 00000
scale : 1/4" = 1'-0"

FLOOR PLANS
-LOWER BASEMENT-
EXISTING/DEMOLITION &
PROPOSED

A1.0

JOHN LUM ARCHITECTURE INC.
2846 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL 415 558 9550 FAX 415 558 0554



EXISTING AREA STATISTICS	
EXISTING:	
GARAGE =	510 SQ FT
(1ST FLR) LIVING =	1,158 SQ FT
(BASEMENT) LIVING =	582 SQ FT
DEMOLITION LEGEND	
	EXISTING WALL
	DEMO. WALL
	AREA TO BE DEMOLISHED
PROPOSED AREA STATISTICS	
PROPOSED:	
(E) GARAGE =	491 SQ FT
(2ND FLR) LIVING =	1,177 SQ FT
(1ST FLR) LIVING =	1,302 SQ FT
(BASEMENT) LIVING =	1,004 SQ FT
(SUB-BASEMENT) LIVING =	379 SQ FT
WALL TYPE	
	EXISTING WALL
	NEW INTERIOR WALL: 5/8" GYPSUM BOARD, O/ 2X4 WD. STUDS, O/ STRUCTURAL PLYWD. (WHERE OCCURS, S.S.D.) O/ 5/8" GYPSUM BOARD
	NEW EXTERIOR WALL (NON-RATED): (N) FINISH MATERIAL (REFER TO EXTERIOR ELEV.), O/ 2 LAYERS GRADE 'D' BUILDING PAPER, O/ EXTERIOR GRADE PLYWOOD, O/ 2X6 WD. STUDS W/ R/19 THERMAL INSULATION, O/ 5/8" GYPSUM BOARD (INTERIOR FACE)
	NEW EXTERIOR WALL (ONE-HOUR FIRE-RATED): (N) FINISH MATERIAL (REFER TO EXTERIOR ELEV.), O/ 2 LAYERS GRADE 'D' BUILDING PAPER, O/ EXTERIOR GRADE PLYWOOD, O/ 2X6 WD. STUDS W/ R/19 THERMAL INSULATION, O/ 5/8" GYPSUM BOARD (INTERIOR FACE)

NOT FOR
CONSTRUCTION

CHEN/ZHANG - RES REMODEL
2079 15TH AVENUE
SAN FRANCISCO, CA 94116
BLOCK 2135 - LOT 0010

client:
rene chen and leo zhang
2556 32nd avenue
san francisco, ca 94116

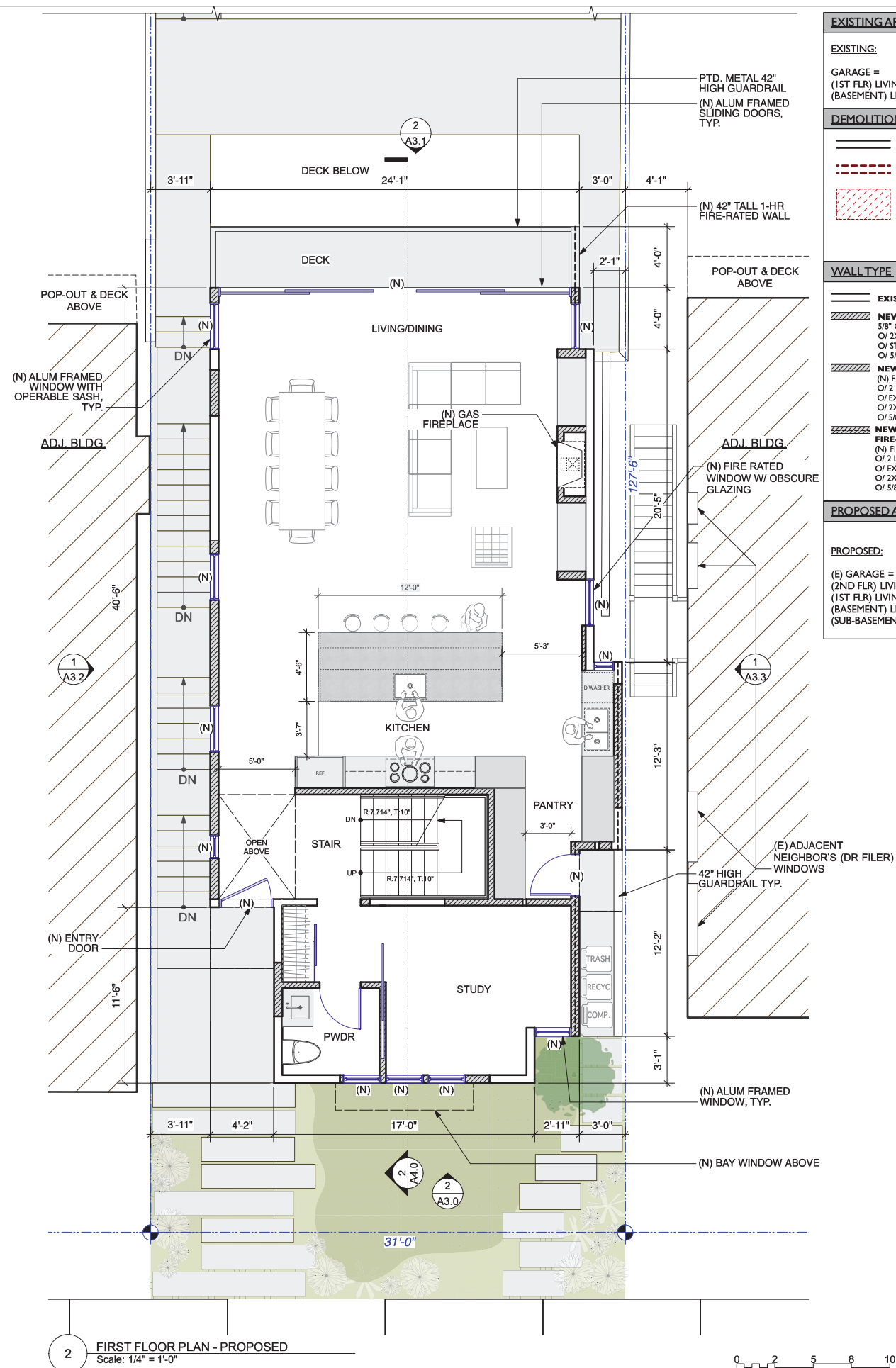
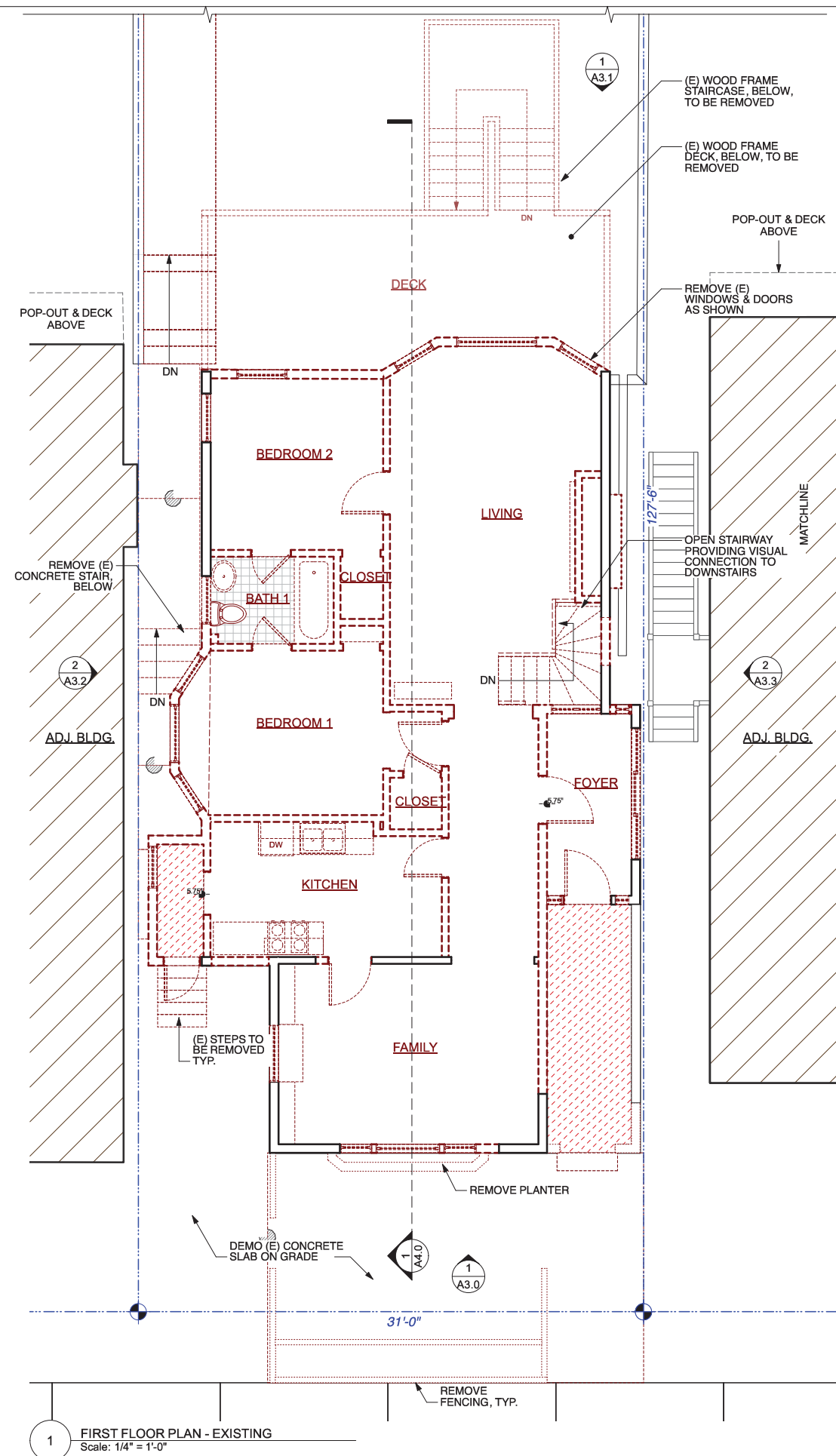
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SCALE = 45%








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06.12.15	post 311 plans	kd
12.21.15	post 311 plans r-4	kd
04.18.16	D.R. Hearing	rk

project name : CHEN/ZHANG
project number : 00000
scale : 1/4" = 1'-0"

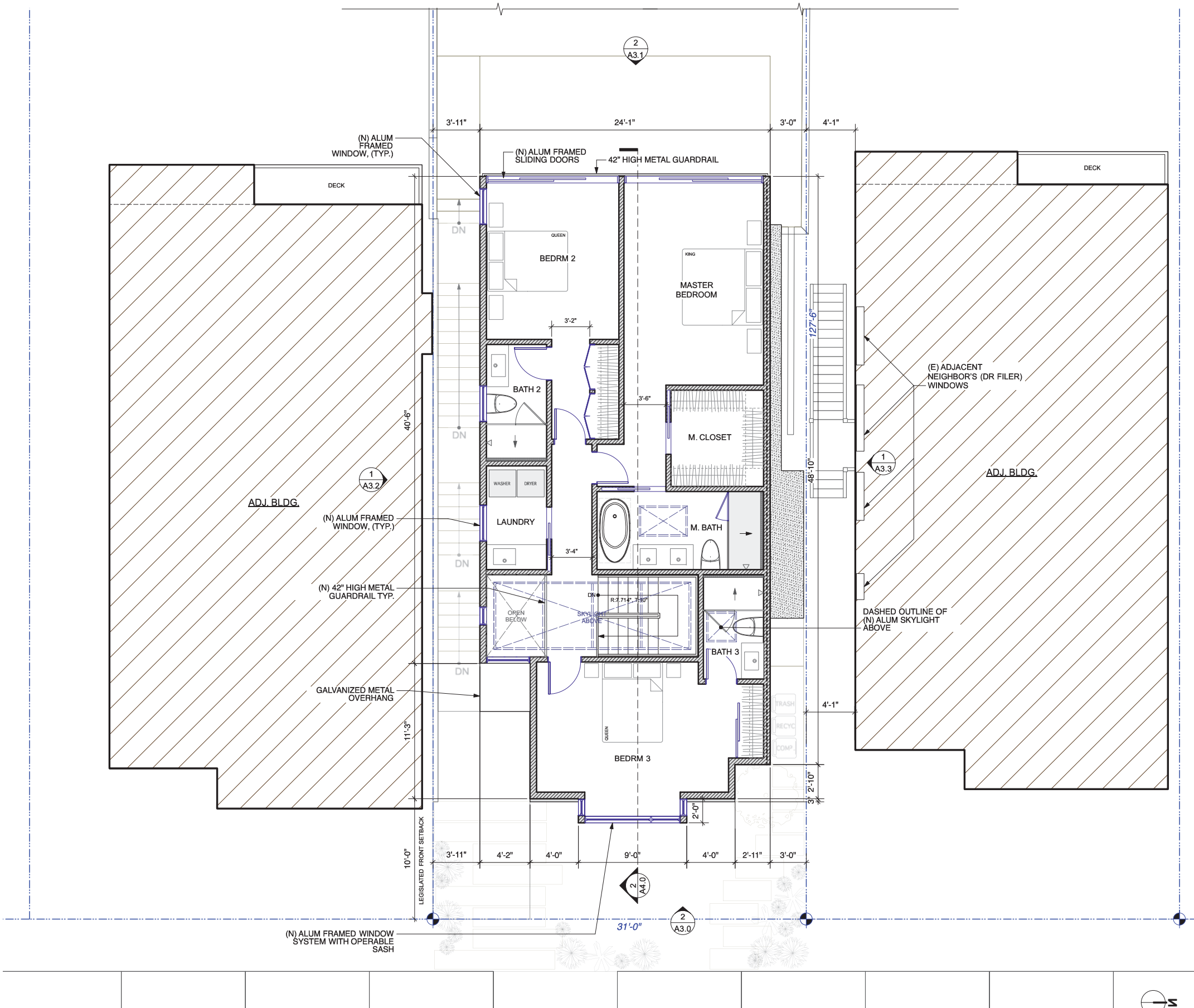
FLOOR PLANS
-BASEMENT-
EXISTING/DEMOLITION &
PROPOSED

A1.1



EXISTING AREA STATISTICS		
EXISTING:		
GARAGE =		510 SQ FT
(1ST FLR) LIVING =		1,158 SQ FT
(BASEMENT) LIVING =		582 SQ FT
DEMOLITION LEGEND		
	EXISTING WALL	
	DEMO. WALL	
	AREA TO BE DEMOLISHED	
WALL TYPE		
	EXISTING WALL	
	NEW INTERIOR WALL:	
	5/8" GYPSUM BOARD,	
	O/ 2X4-WD. STUDS,	
	O/ STRUCTURAL PLWYWD. (WHERE OCCURS, S.S.D)	
	O/ 5/8" GYPSUM BOARD	
	NEW EXTERIOR WALL (NON-RATED):	
	(N) FINISH MATERIAL (REFER TO EXTERIOR ELEV.)	
	O/ 2 LAYERS GRADE "D" BUILDING PAPER,	
	O/ EXTERIOR GRADE PLYWOOD,	
	O/ 2X6-WD. STUDS W/ R19 THERMAL INSULATION,	
	O/ 5/8" GYPSUM BOARD (INTERIOR FACE)	
	NEW EXTERIOR WALL (ONE-HOUR FIRE-RATED):	
	(N) FINISH MATERIAL (REFER TO EXTERIOR ELEV.)	
	O/ 2 LAYERS GRADE "D" BUILDING PAPER,	
	O/ EXTERIOR GRADE PLYWOOD,	
	O/ 2X6-WD. STUDS W/ R19 THERMAL INSULATION,	
	O/ 5/8" GYPSUM BOARD (INTERIOR FACE)	
PROPOSED AREA STATISTICS		
PROPOSED:		
(E) GARAGE =		491 SQ FT
(2ND FLR) LIVING=		1,177 SQ FT
(1ST FLR) LIVING =		1,302 SQ FT
(BASEMENT) LIVING =		1,004 SQ FT
(SUB-BASEMENT) LIVING =		379 SQ FT

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06.12.15	post 311 plans	kd
12.21.15	post 311 plans r-4	kd
04.18.16	D.R. Hearing	rk



EXISTING AREA STATISTICS

EXISTING:
GARAGE = 510 SQ FT
(1ST FLR) LIVING = 1,158 SQ FT
(BASEMENT) LIVING = 582 SQ FT

DEMOLITION LEGEND

EXISTING WALL

DEMO. WALL

AREA TO BE DEMOLISHED

WALL TYPE

EXISTING WALL

NEW INTERIOR WALL:
5/8" GYPSUM BOARD,
O/ 2X4 WD. STUDS,
O/ STRUCTURAL PLYWD. (WHERE OCCURS, S.S.D.)
O/ 5/8" GYPSUM BOARD

NEW EXTERIOR WALL (NON-RATED):
(N) FINISH MATERIAL (REFER TO EXTERIOR ELEV.)
O/ 2 LAYERS GRADE 'D' BUILDING PAPER,
O/ EXTERIOR GRADE PLYWOOD,
O/ 2X6 WD. STUDS W/ R19 THERMAL INSULATION,
O/ 5/8" GYPSUM BOARD (INTERIOR FACE)

NEW EXTERIOR WALL (ONE-HOUR FIRE-RATED):
(N) FINISH MATERIAL (REFER TO EXTERIOR ELEV.)
O/ 2 LAYERS GRADE 'D' BUILDING PAPER,
O/ EXTERIOR GRADE PLYWOOD,
O/ 2X6 WD. STUDS W/ R19 THERMAL INSULATION,
O/ 5/8" GYPSUM BOARD (INTERIOR FACE)

CHEN/ZHANG - RES REMODEL
2079 15TH AVENUE
SAN FRANCISCO, CA 94116
BLOCK 2135 - LOT 0010

REDUCED SET
SCALE = 45%

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06.12.15	post 311 plans	kd
12.21.15	post 311 plans r-4	kd
04.18.16	D.R. Hearing	rk

project name : CHEN/ZHANG
project number : 00000
scale : 1/4" = 1'-0"

FLOOR PLANS
-SECOND FLOOR-
EXISTING/DEMOLITION &
PROPOSED

A1.3

NOT FOR
CONSTRUCTION

client:
rene chen and leo zhang
2556 32nd avenue
san francisco, ca 94116

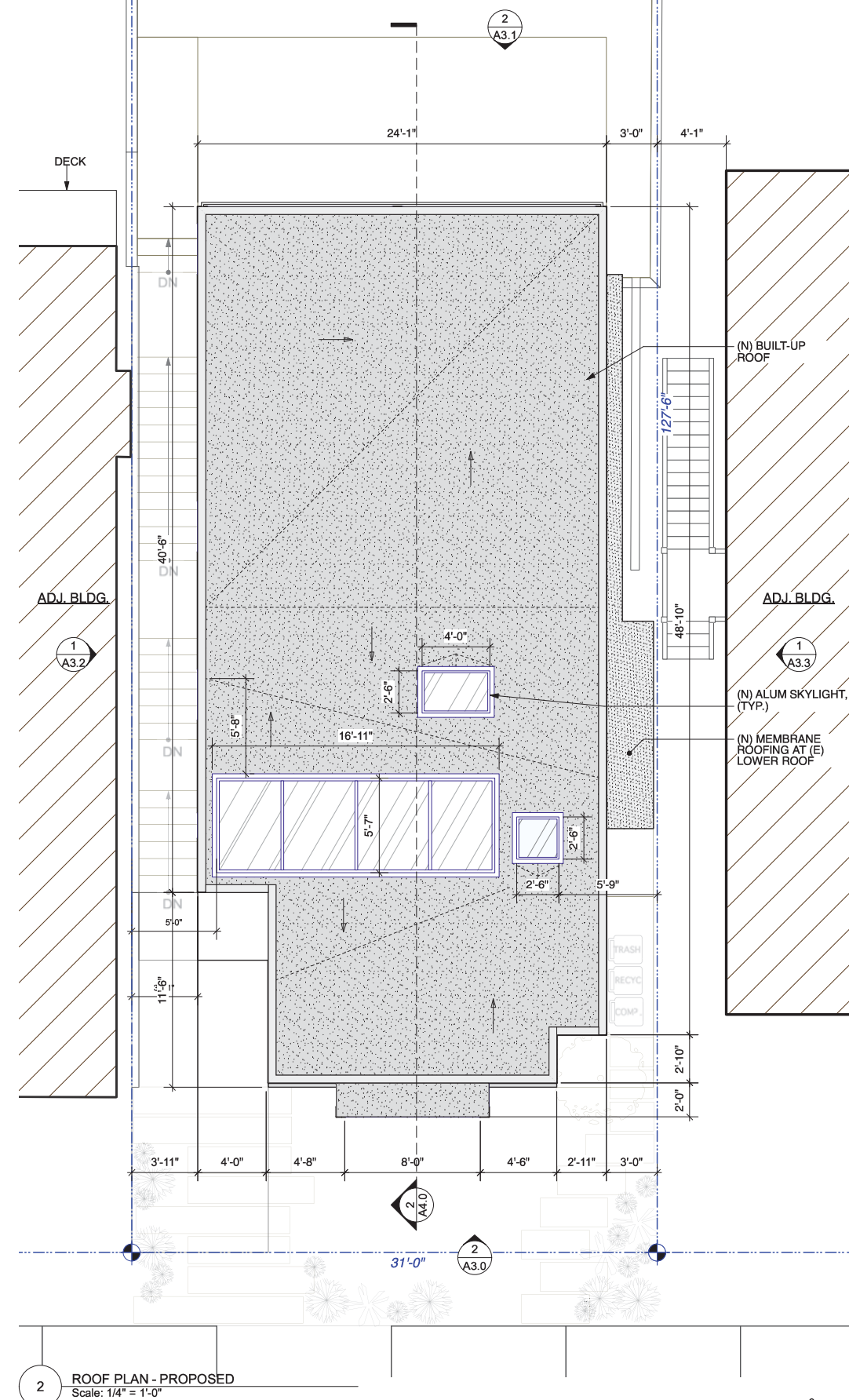
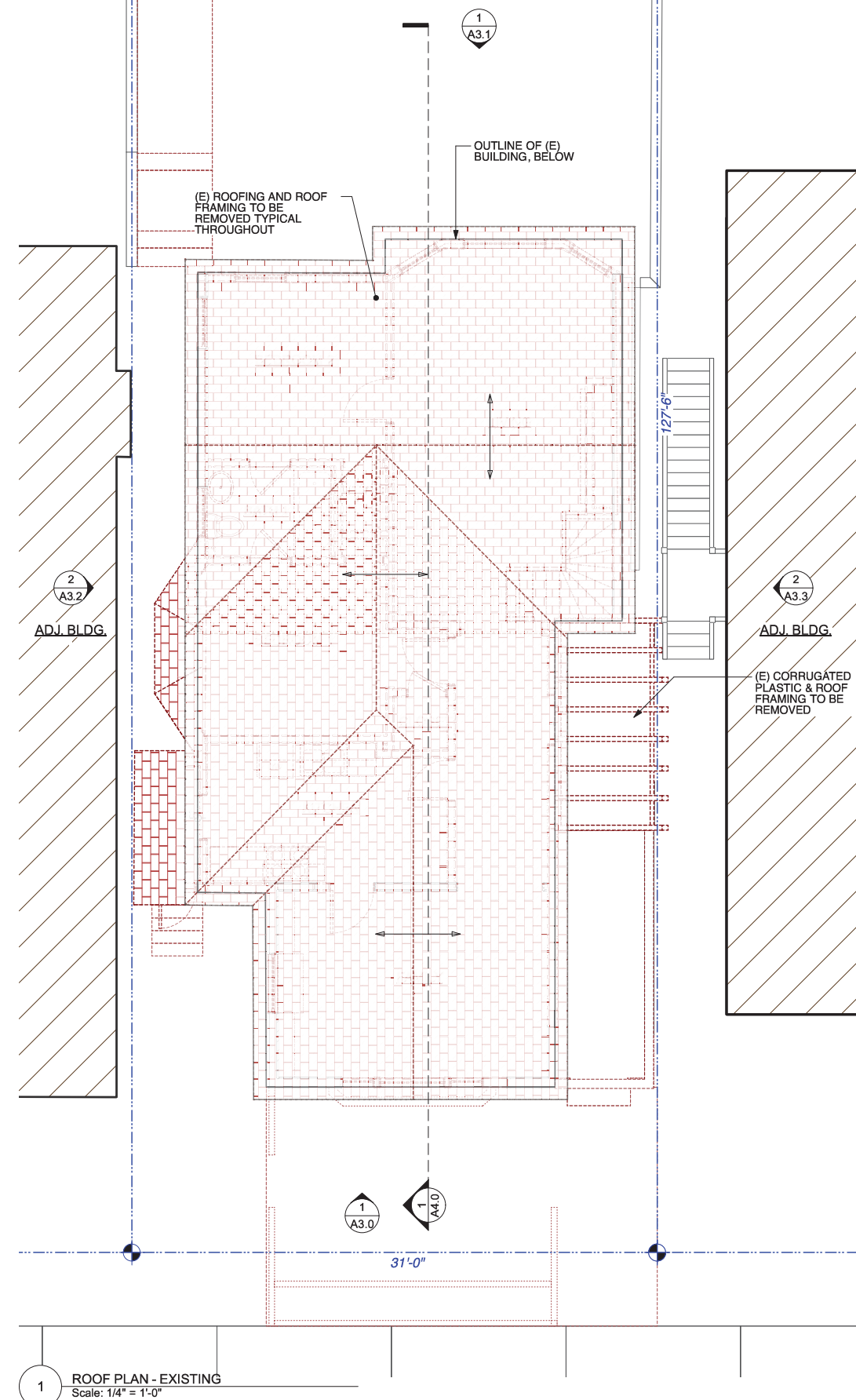
JOHN LUM ARCHITECTURE INC.
2846 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL 415 558 9550 FAX 415 558 0554



0 2 5 8 10 FT



1 SECOND FLOOR PLAN - PROPOSED
Scale: 1/4" = 1'-0"



EXISTING AREA STATISTICS

EXISTING:

GARAGE =

(1ST FLR) LIVING =

(BASEMENT) LIVING =

510 SQ FT

1,158 SQ FT

582 SQ FT

DEMOLITION LEGEND

EXISTING WALL

DEMO. WALL

AREA TO BE DEMOLISHED

WALL TYPE

EXISTING WALL

NEW INTERIOR WALL:

5/8" GYPSUM BOARD,
O/ 2X4 WD. STUDS,
O/ STRUCTURAL PLWYWD. (WHERE OCCURS, S.S.D)

NEW EXTERIOR WALL (NON-RATED):

(N) FINISH MATERIAL (REFER TO EXTERIOR ELEVS.)
O/ 2 LAYERS GRADE 'D' BUILDING PAPER,
O/ EXTERIOR GRADE PLYWOOD,
O/ 2X6 WD. STUDS W/ R19 THERMAL INSULATION,
O/ 5/8" GYPSUM BOARD (INTERIOR FACE)

NEW EXTERIOR WALL (ONE-HOUR FIRE-RATED):

(N) FINISH MATERIAL (REFER TO EXTERIOR ELEVS.)
O/ 2 LAYERS GRADE 'D' BUILDING PAPER,
O/ EXTERIOR GRADE PLYWOOD,
O/ 2X6 WD. STUDS W/ R19 THERMAL INSULATION,
O/ 5/8" GYPSUM BOARD (INTERIOR FACE)

CHEN/ZHANG - RES REMODEL
2079 15TH AVENUE
SAN FRANCISCO, CA 94116
BLOCK 2135 - LOT 0010

**NOT FOR
CONSTRUCTION**

client: rene chen and leo zhang
2526 32nd avenue
san francisco, ca 94116

JOHN LUM ARCHITECTURE INC.
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL 415 558 9550 FAX 415 558 0554

REDUCED SET SCALE = 45%		
date :	issues/ revisions :	by :
02.12.14	progress set	kd
04.10.14	311 submittal	kd
11.21.14	variance submittal	kd
04.23.15	311 submittal r-2	kd
05.05.15	311 submittal r-3	kd
06.12.15	post 311 plans	kd
12.21.15	post 311 plans r-4	kd
04.18.16	D.R. Hearing	rk

project name : CHEN/ZHANG
project number : 00000
scale : 1/4" = 1'-0"

FLOOR PLANS
-ROOF-
EXISTING/DEMOLITION &
PROPOSED

AI.4



JOHN LUM ARCHITECTURE INC.
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL: 415 558 9550 FAX: 415 558 0554

NOT FOR
CONSTRUCTION

CHEN/ZHANG - RES REMODEL
2079 15TH AVENUE
SAN FRANCISCO, CA 94116
BLOCK 2135 - LOT 0010

rene chen and leo zhang
2526 32nd avenue
san francisco, ca 94116

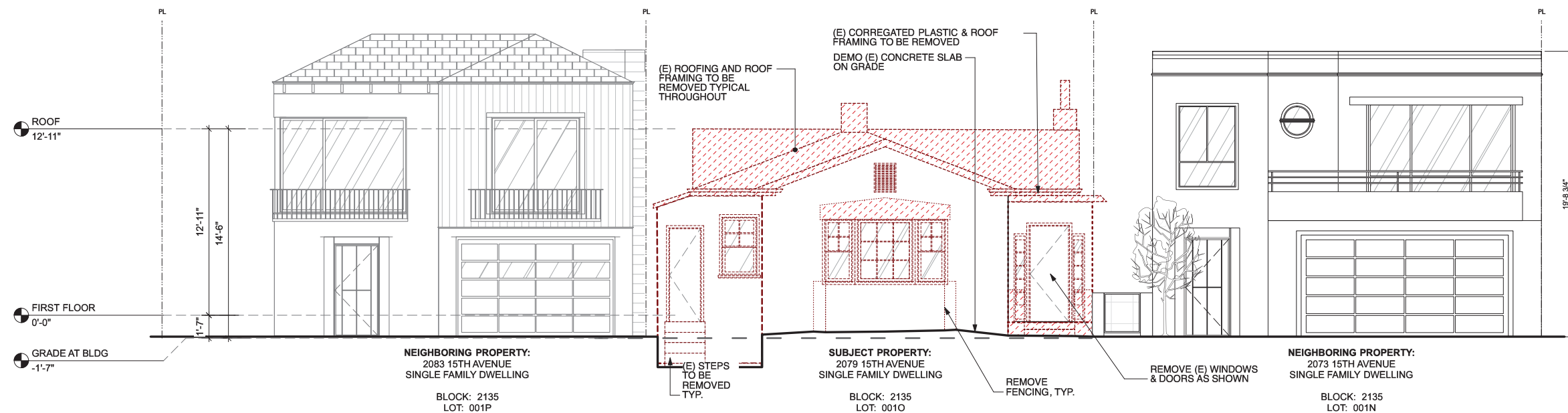
client:

REDUCED SET
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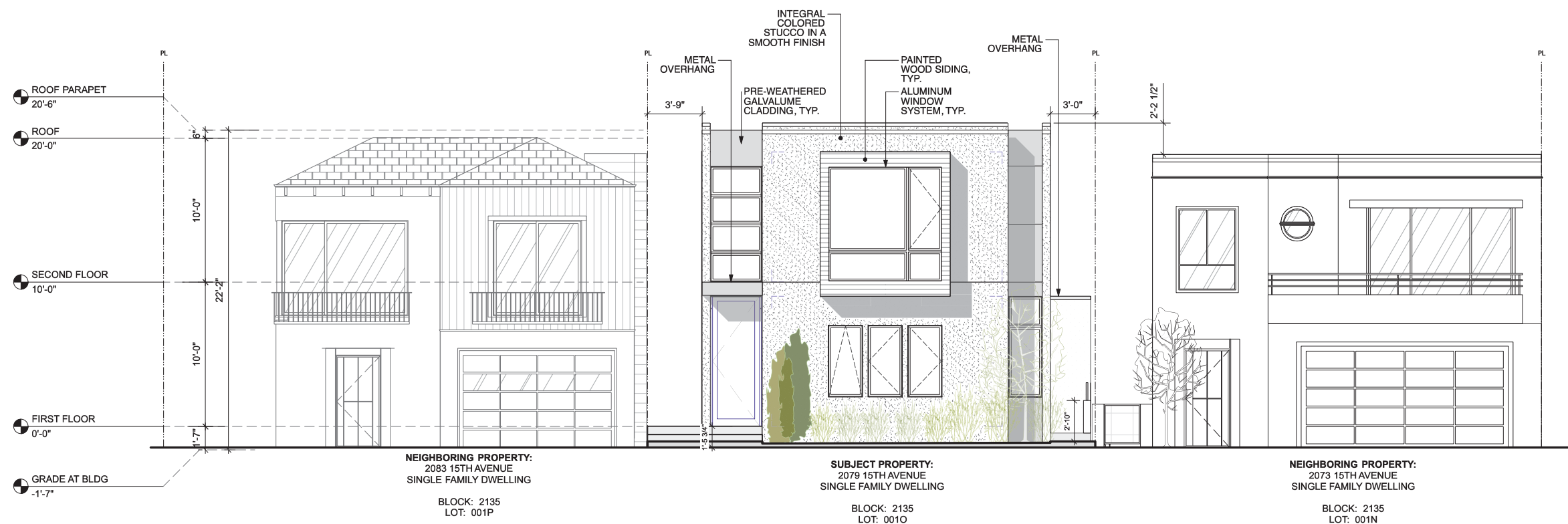
date :	issues/ revisions :	by :
02.12.14	progress set	kd
04.10.14	311 submittal	kd
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04.23.15	311 submittal r-2	kd
05.05.15	311 submittal r-3	kd
06.12.15	post 311 plans	kd
12.21.15	post 311 plans r-4	kd
04.18.16	D.R. Hearing	rk

project name : CHEN/ZHANG
project number : 00000
scale : 1/4" = 1'-0"

EXTERIOR ELEVATIONS I
-
EXISTING/DEMOLITION
& PROPOSED
A3.0



1 FRONT ELEVATION - EXISTING - EAST
Scale: 1/4" = 1'-0"



2 FRONT ELEVATION - PROPOSED - EAST
Scale: 1/4" = 1'-0"

0 2 5 8 10 FT



JOHN LUM ARCHITECTURE INC.
3248 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
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NOT FOR
CONSTRUCTION

CHEN/ZHANG - RES REMODEL
2079 15TH AVENUE
SAN FRANCISCO, CA 94116
BLOCK 2135 - LOT 001O

client:
rene zhang and jiao zhang
2526 32nd avenue
san francisco, ca 94116

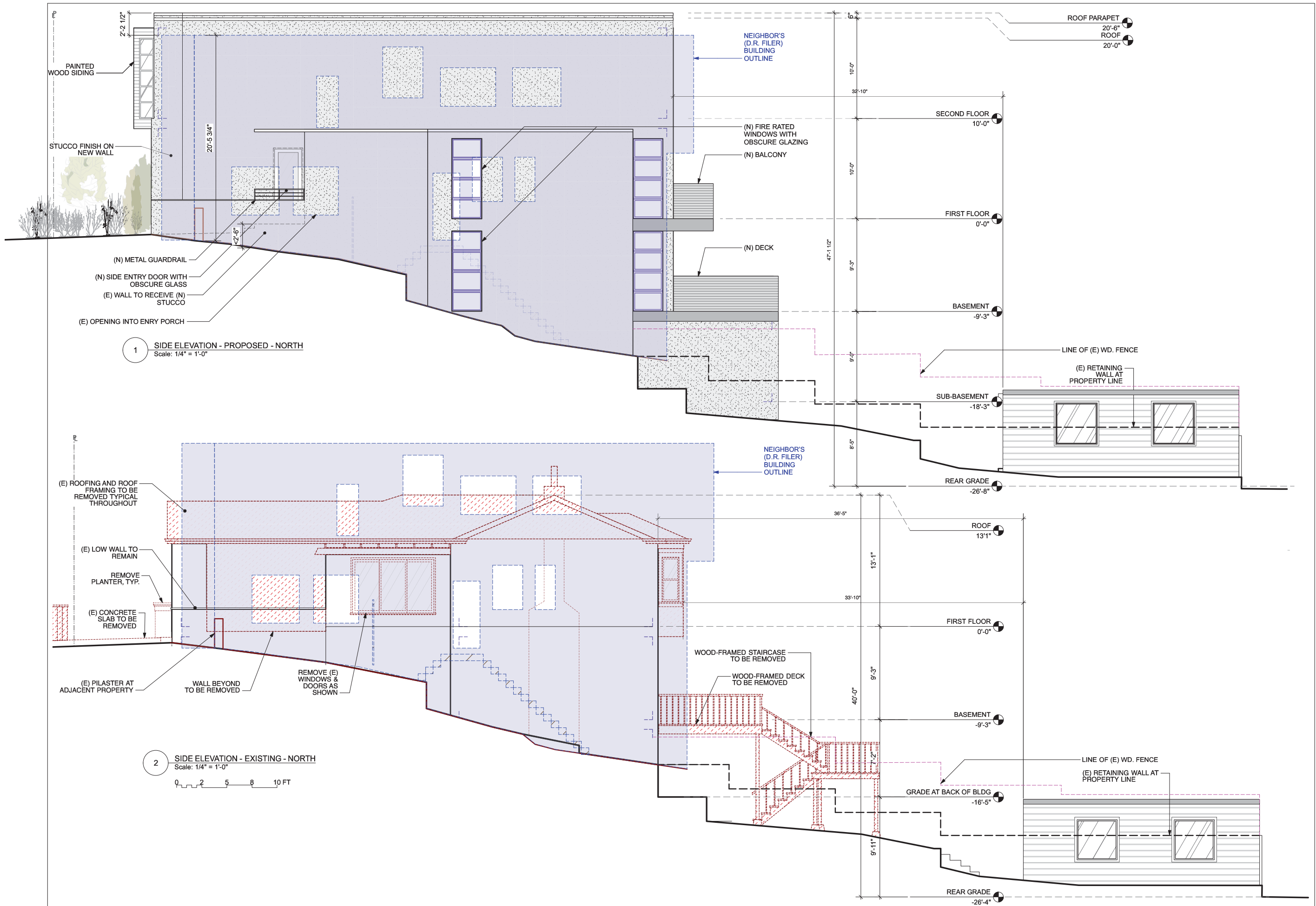
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date :	issues/ revisions :	by :
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04.10.14	311 submittal	kd
11.21.14	variance submittal	kd
04.23.15	311 submittal r-2	kd
05.05.15	311 submittal r-3	kd
06.12.15	post 311 plans	kd
12.21.15	post 311 plans r-4	kd
04.18.16	D.R. Hearing	rk

project name : CHEN/ZHANG
project number : 00000
scale : 1/4" = 1'-0"

EXTERIOR ELEVATIONS 2
- EXISTING/DEMOLITION
& PROPOSED

A3.1



**NOT FOR
CONSTRUCTION**

CHEN/ZHANG - RES REMODEL
2079 15TH AVENUE
SAN FRANCISCO, CA 94116
BLOCK 2135 - LOT 0010

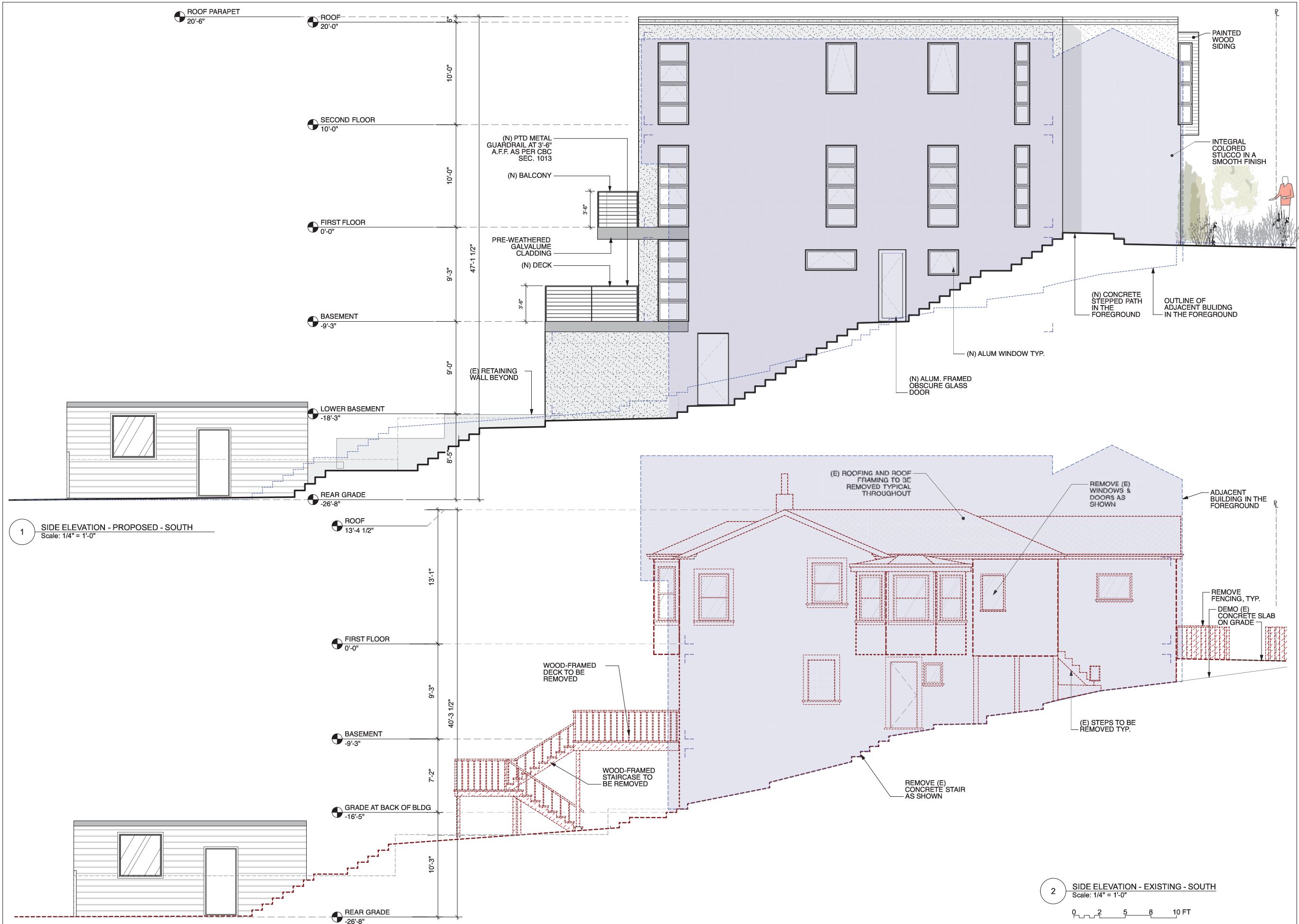
client:
rene zhang and leo zhang
2556 32nd avenue
san francisco, ca 94116

**REDUCED SET
SCALE = 45%**

date :	issues/ revisions :	by :
02.12.14	progress set	kd
04.10.14	311 submittal	kd
11.21.14	variance submittal	kd
04.23.15	311 submittal r-2	kd
05.05.15	311 submittal r-3	kd
06.12.15	post 311 plans	kd
12.21.15	post 311 plans r-4	kd
04.18.16	D.R. Hearing	rk

project name : CHEN/ZHANG
project number : 00000
scale : 1/4" = 1'-0"

**EXTERIOR ELEVATIONS 3
-EXISTING/DEMOLITION
& PROPOSED**



JOHN LUM ARCHITECTURE, INC.
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NOT FOR
CONSTRUCTION

CHEN/ZHANG - RES REMODEL
2079 15TH AVENUE
SAN FRANCISCO, CA 94116
BLOCK 2135 - LOT 0010

client:
rene chen and leo zhang
2556 32nd avenue
san francisco, ca 94116

REDUCED SET
SCALE = 45%

date :	issues/ revisions :	by :
02.12.14	progress set	kd
04.10.14	311 submittal	kd
11.21.14	variance submittal	kd
04.23.15	311 submittal r-2	kd
05.05.15	311 submittal r-3	kd
06.12.15	post 311 plans	kd
12.21.15	post 311 plans r-4	kd
04.18.16	D.R. Hearing	rk

project name : CHEN/ZHANG
project number : 00000
scale : 1/4" = 1'-0"

EXTERIOR ELEVATIONS 4
- EXISTING/DEMOLITION
& PROPOSED

A3.3



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NOT FOR
CONSTRUCTION

CHEN/ZHANG - RES REMODEL
2079 15TH AVENUE
SAN FRANCISCO, CA 94116
BLOCK 2135 - LOT 0010

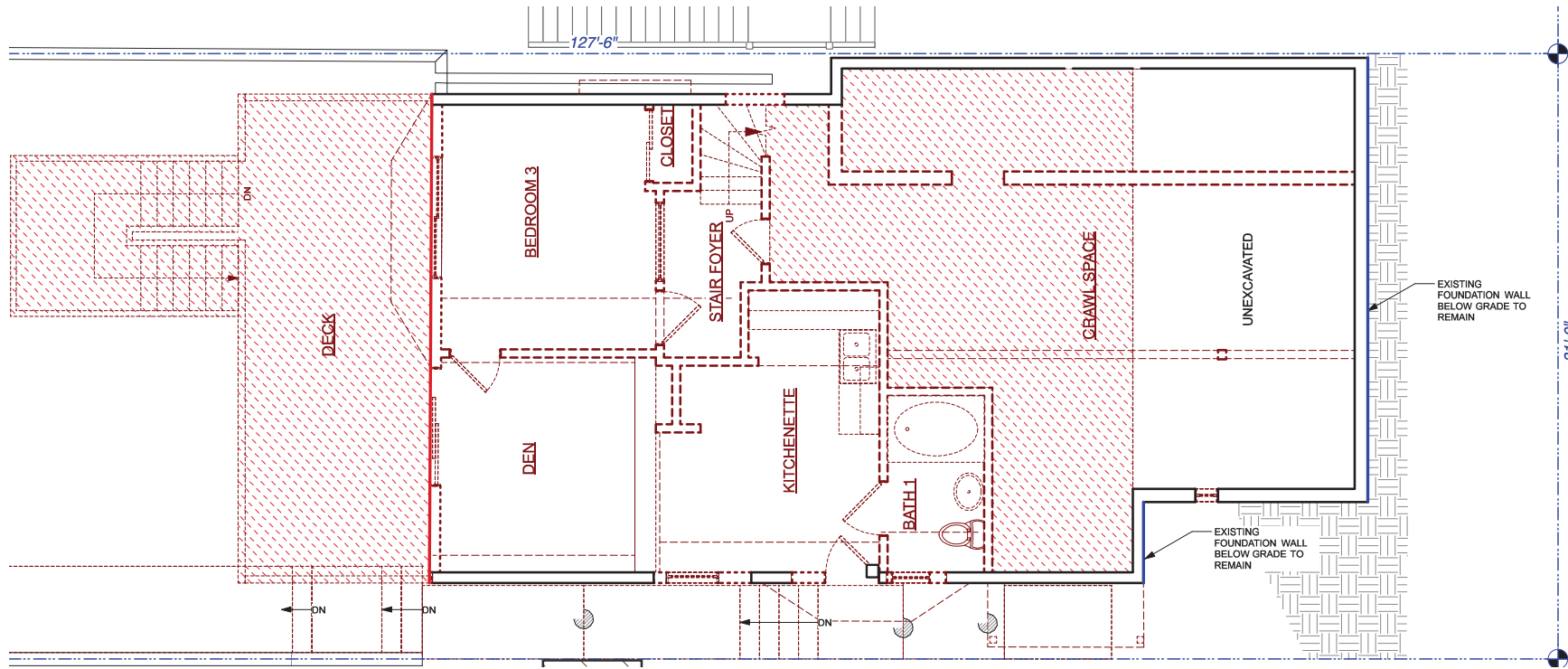
client:
rene chen and leo zhang
2556 32nd avenue
san francisco, ca 94116

REDUCED SET
SCALE = 45%

date :	issues/ revisions :	by :
02.12.14	progress set	kd
04.10.14	311 submittal	kd
11.21.14	variance submittal	kd
04.23.15	311 submittal r-2	kd
05.05.15	311 submittal r-3	kd
06.12.15	post 311 plans	kd
12.21.15	post 311 plans r-4	kd
04.18.16	D.R. Hearing	rk

project name : CHEN/ZHANG
project number : 00000
scale : 1/4" = 1'-0"

SECTIONS
- EXISTING & PROPOSED



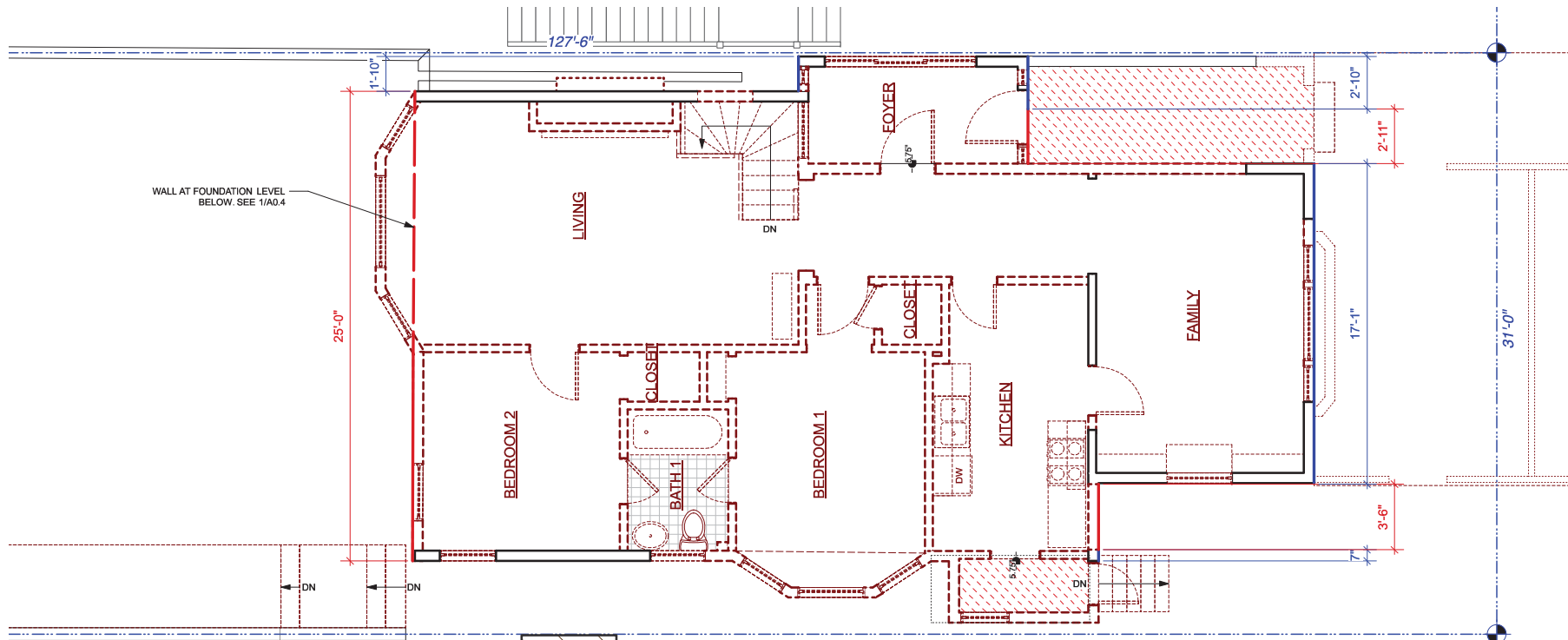
1 BASEMENT PLAN - SUM OF THE FRONT FACADE AND THE REAR FACADE
Scale: 1/4" = 1'-0"

SYMBOLS:	
TO BE RETAINED	
TO BE REMOVED	

SEC. 317 (2) (B) - PART 1
REMOVAL OF MORE THAN 50% OF THE SUM OF THE FRONT AND REAR FACADE MEASURED IN LINEAL FEET AT THE FOUNDATION LEVEL

SUM OF FRONT FACADE AND REAR FACADE

ELEMENT	(E) LENGTH (FT.)	TO BE REMOVED (FT.)	% TO BE REMOVED	TO BE RETAINED (FT.)	% TO BE RETAINED
A: FRONT(EAST) FACADE	26'11"	6'-5"		20'-6"	
C: REAR(WEST) FACADE	26'10"	25'-0"		1'-10"	
TOTALS:	53'-9"	31'-5"	58.4%	22'-4"	41.6%



2 FIRST FLOOR PLAN - SUM OF THE FRONT FACADE AND REAR FACADE
Scale: 1/4" = 1'-0"

DETERMINATION:

PASSED SEC. 317 (2) (B)

"A MAJOR ALTERATION OF A RESIDENTIAL BUILDING THAT PROPOSES THE REMOVAL OF MORE THAN 50% OF THE SUM OF THE FRONT FACADE AND REAR FACADE AND ALSO PROPOSES THE REMOVAL OF MORE THAN 65% OF THE SUM OF ALL EXTERIOR WALLS, MEASURED IN LINEAL FEET AT THE FOUNDATION LEVEL."

PROPOSED SUM OF ALL EXTERIOR WALLS TO BE REMOVED IS < 65%.
(SHEET A7.1)

REDUCED SET
SCALE = 45%

date :	issues/ revisions :	by :
02.12.14	progress set	kd
04.10.14	311 submittal	kd
11.21.14	variance submittal	kd
04.23.15	311 submittal r-2	kd
05.05.15	311 submittal r-3	kd
06.12.15	post 311 plans	kd
12.21.15	post 311 plans r-4	kd
04.18.16	D.R. Hearing	rk

project name : CHEN/ZHANG
project number : 00000
scale : 1/4" = 1'-0"

DEMOLITION
CALCULATIONS
- SUM OF FRONT FACADE
AND REAR FACADE

A7.0

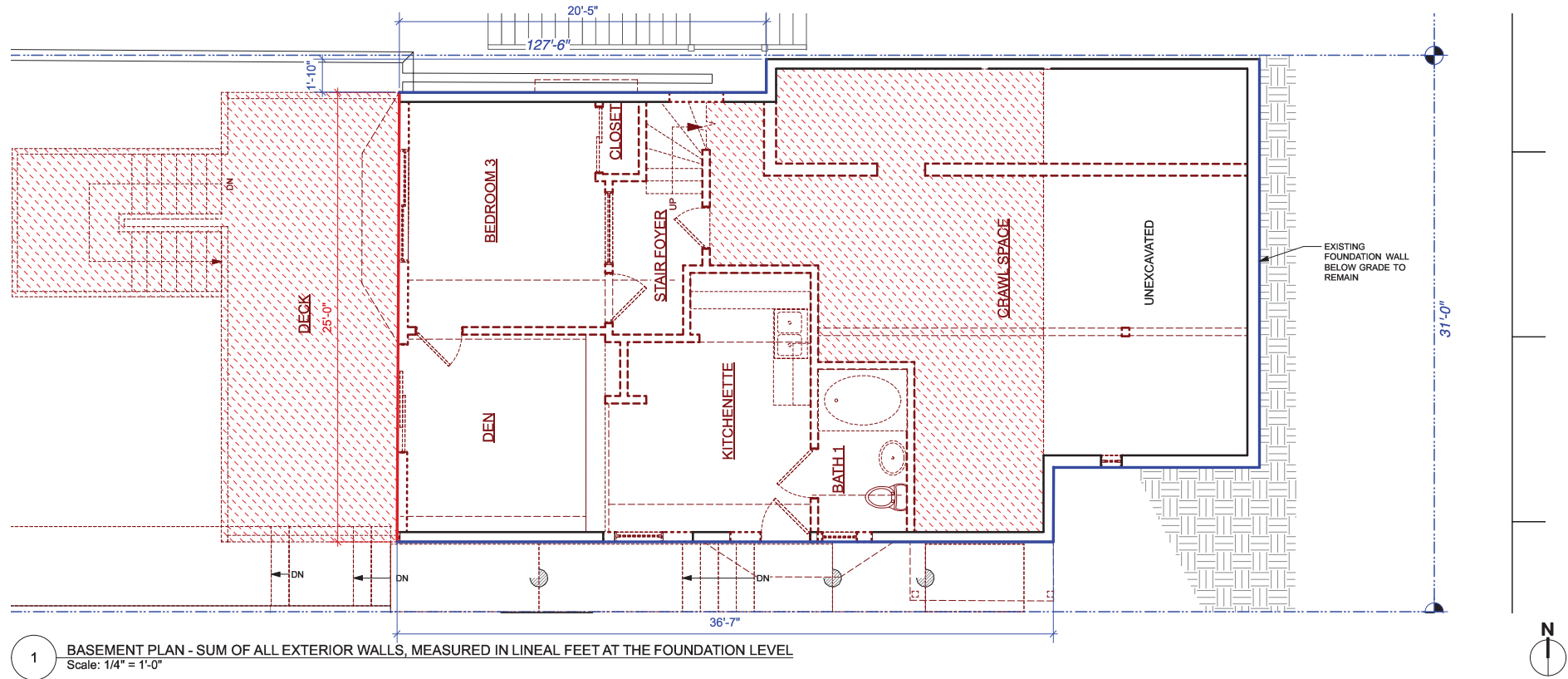
NOT FOR
CONSTRUCTION

CHEN/ZHANG - RES REMODEL
2079 15TH AVENUE
SAN FRANCISCO, CA 94116
BLOCK 2135 - LOT 0010

rene chen and leo zhang
2556 32nd avenue
san francisco, ca 94116

client:

JOHN LUM ARCHITECTURE INC.
2246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL 415 558 9550 FAX 415 558 0554



1 BASEMENT PLAN - SUM OF ALL EXTERIOR WALLS, MEASURED IN LINEAL FEET AT THE FOUNDATION LEVEL
Scale: 1/4" = 1'-0"

SYMBOLS:
TO BE RETAINED
TO BE REMOVED

SEC. 317 (2) (B) - PART 2
REMOVAL OF MORE THAN 65% OF THE SUM
OF ALL EXTERIOR WALLS MEASURED IN
LINEAL FEET AT THE FOUNDATION LEVEL

LINEAR FOOTAGE MEASUREMENT

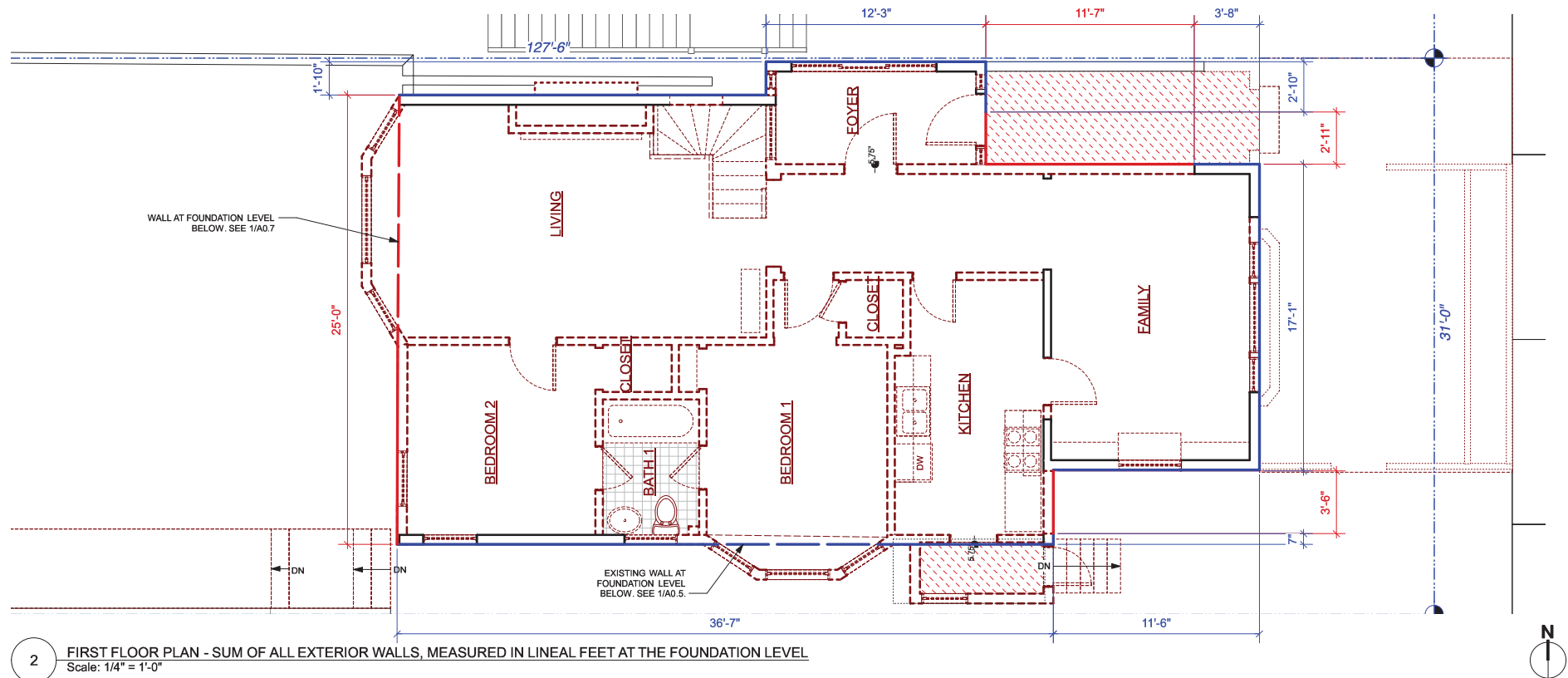
ELEMENT	(E) LENGTH (ft.)	TO BE REMOVED (ft.)	% TO BE REMOVED	TO BE RETAINED (FT.)	% TO BE RETAINED
A: FRONT(EAST) FACADE	26'-11"	6'-5"		20'-6"	
C: REAR(WEST) FACADE	26'-10"	25'-0"		1'-10"	
B: SIDE 1(NORTH) FACADE	47'-11"	11'-7"		36'-4"	
D: SIDE 2(SOUTH) FACADE	48'-1"	0		48'-1"	
TOTALS:	149'-9"	43'-0"	28.7%	106'-9"	71.3%

DETERMINATION:

PASSED SEC. 317 (2) (B)

"A MAJOR ALTERATION OF A RESIDENTIAL BUILDING THAT PROPOSES THE REMOVAL OF MORE THAN 50% OF THE SUM OF THE FRONT FACADE AND REAR FACADE AND ALSO PROPOSES THE REMOVAL OF MORE THAN 65% OF THE SUM OF ALL EXTERIOR WALLS, MEASURED IN LINEAL FEET AT THE FOUNDATION LEVEL."

PROPOSED SUM OF ALL EXTERIOR WALLS IS < 65%



2 FIRST FLOOR PLAN - SUM OF ALL EXTERIOR WALLS, MEASURED IN LINEAL FEET AT THE FOUNDATION LEVEL
Scale: 1/4" = 1'-0"



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NOT FOR
CONSTRUCTION

CHEN/ZHANG - RES REMODEL
2079 15TH AVENUE
SAN FRANCISCO, CA 94116
BLOCK 2135 - LOT 0010

rene chen and leo zhang
2556 32nd avenue
san francisco, ca 94116

client:

REDUCED SET
SCALE = 45%

date :	issues/ revisions :	by :
02.12.14	progress set	kd
04.10.14	311 submittal	kd
11.21.14	variance submittal	kd
04.23.15	311 submittal r-2	kd
05.05.15	311 submittal r-3	kd
06.12.15	post 311 plans	kd
12.21.15	post 311 plans r-4	kd
04.18.16	D.R. Hearing	rk

project name : CHEN/ZHANG
project number : 00000
scale : 1/4" = 1'-0"

DEMOLITION
CALCULATIONS
- EXTERIOR WALLS
MEASURED IN LINEAL
FEET AT FDN LEVEL

A7.1

SYMBOLS:

TO BE RETAINED	
TO BE REMOVED	

SEC. 317 (2) (C) - PART 1

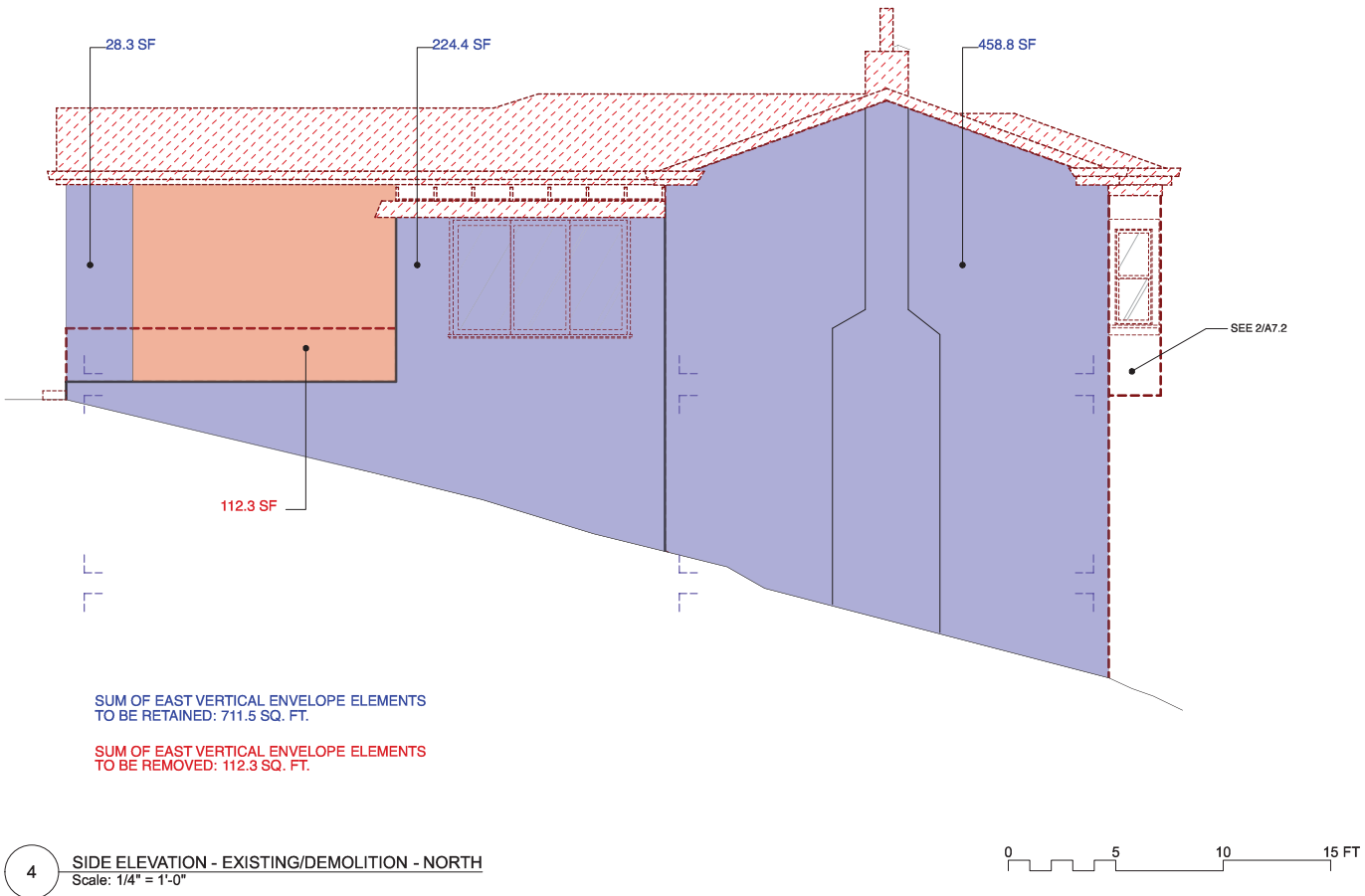
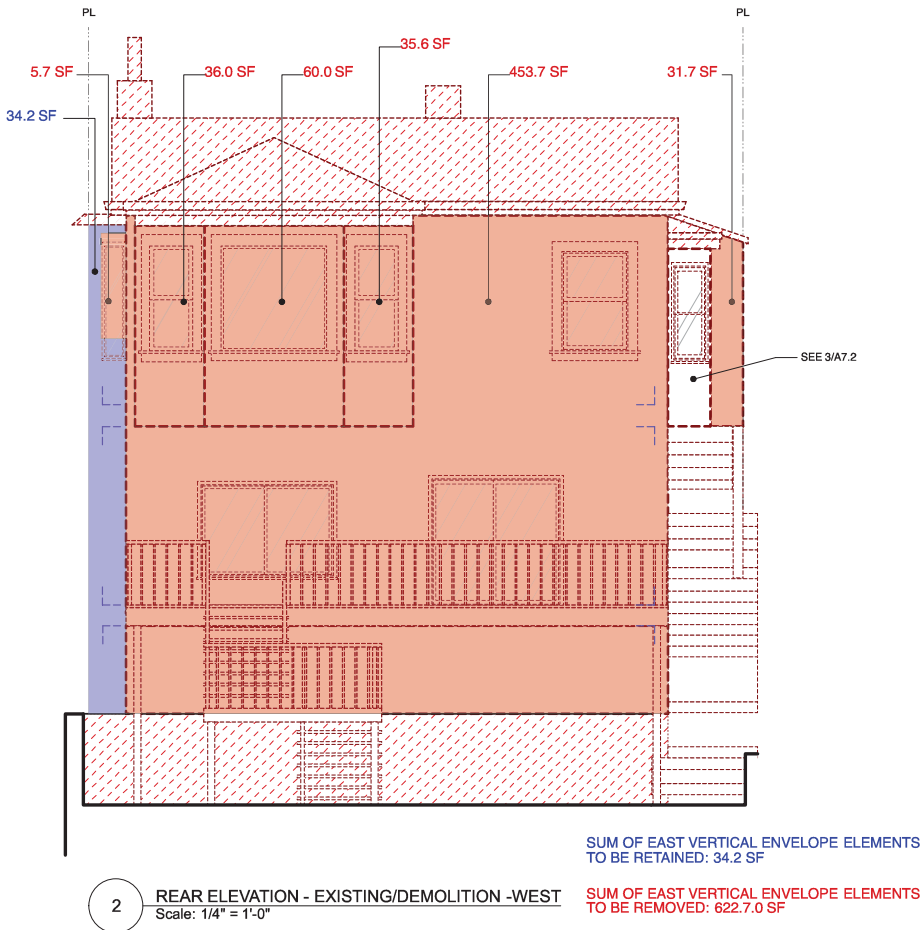
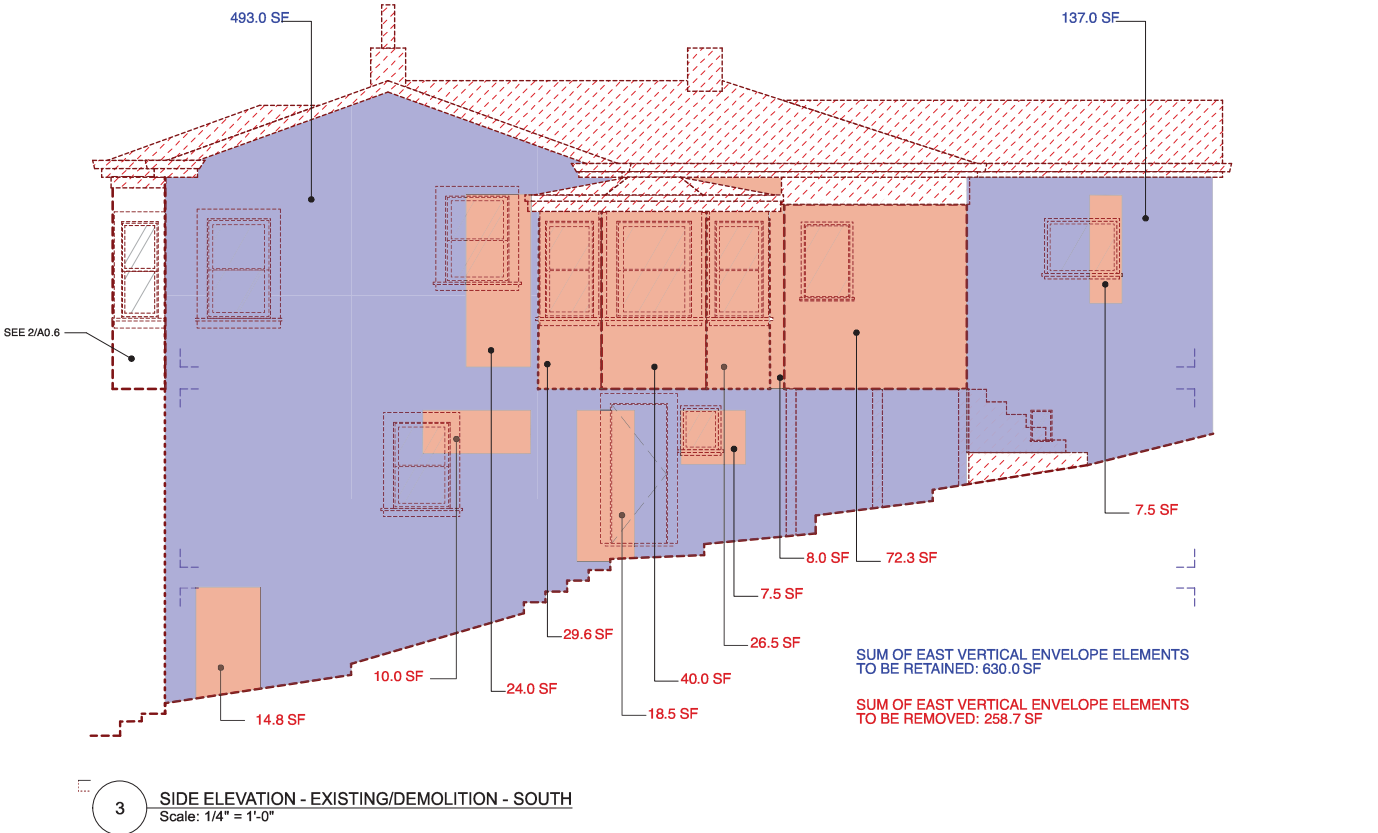
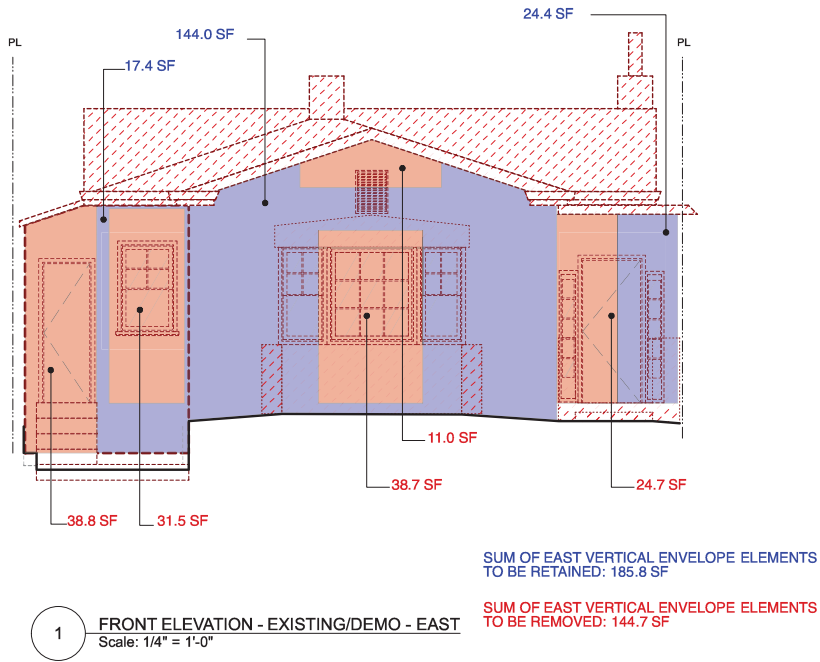
REMOVAL OF MORE THAN 50% OF THE VERTICAL ENVELOPE ELEMENTS OF THE EXISTING BUILDING, AS MEASURED IN SQUARE FEET OF ACTUAL SURFACE AREA.

VERTICAL ELEMENTS	(E) AREA (sq. ft.)	TO BE REMOVED (sq. ft.)	% TO BE REMOVED	TO BE RETAINED (SQ. FT.)	% TO BE RETAINED
A: FRONT(EAST) FACADE	330.5	144.7		185.8	
B: SIDE 1(NORTH) FACADE	823.8	112.3		711.5	
C: REAR(WEST) FACADE	656.9	622.7		34.2	
D: SIDE 2(SOUTH) FACADE	888.7	258.7		630.0	
VERTICAL TOTAL:	2,699.9	1,138.4	42.2%	1,561.5	57.8%

DETERMINATION:
PASSED SEC. 317 (2) (C)

A MAJOR ALTERATION OF A RESIDENTIAL BUILDING THAT PROPOSES THE REMOVAL OF MORE THAN 50% OF THE VERTICAL ENVELOPE ELEMENTS AND MORE THAN 50% OF THE HORIZONTAL ELEMENTS OF THE EXISTING BUILDING, AS MEASURED IN SQUARE FEET OF ACTUAL SURFACE AREA

PROPOSED REMOVAL OF VERTICAL ENVELOPE ELEMENTS IS < 50%
PROPOSED REMOVAL OF HORIZONTAL ELEMENTS IS < 50% (SHEET A7.3)



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CONSTRUCTION

CHEN/ZHANG - RES REMODEL
2079 15TH AVENUE
SAN FRANCISCO, CA 94116
BLOCK 2135 - LOT 0010

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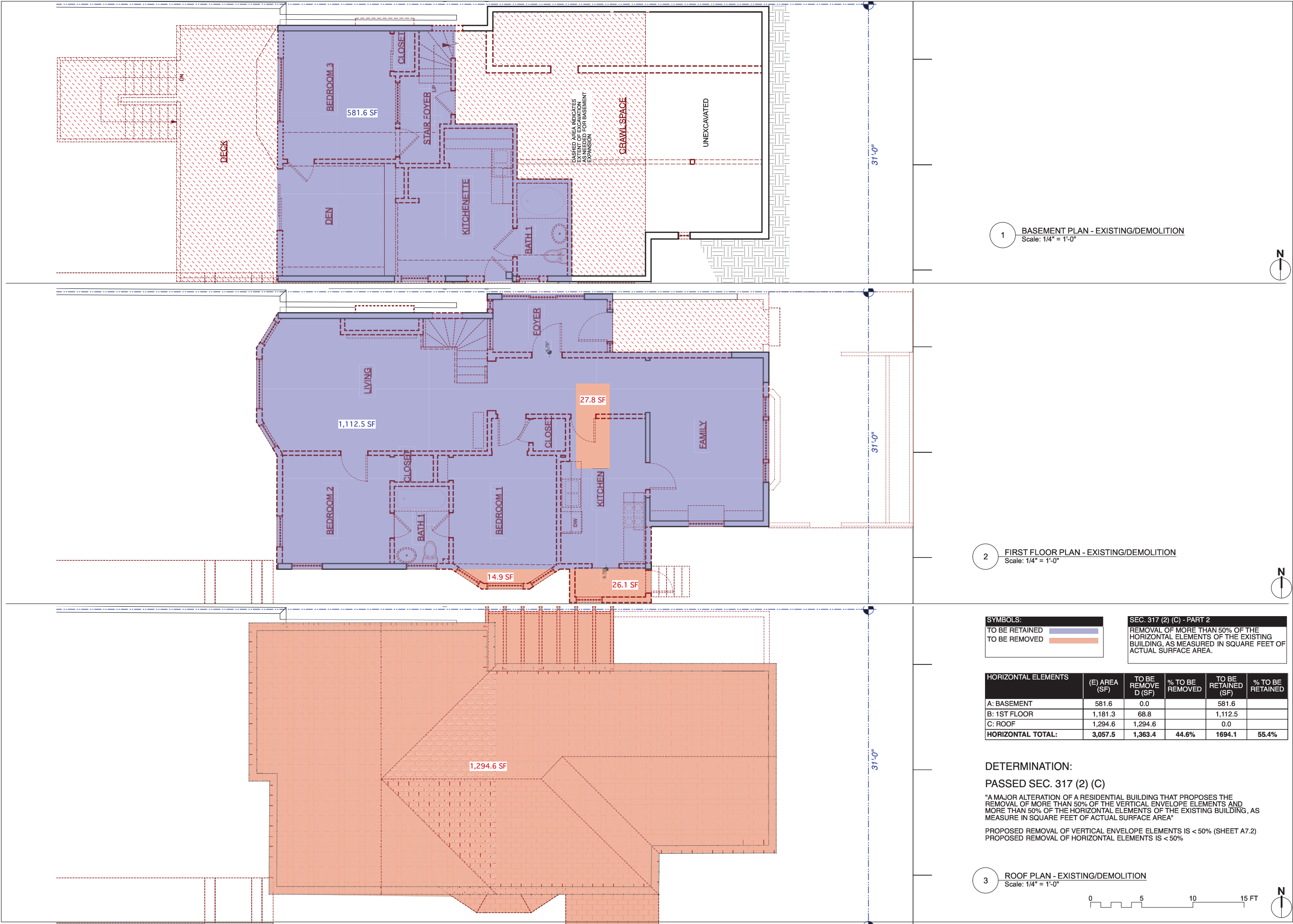
client:

REDUCED SET
SCALE = 45%

date :	issues/ revisions :	by :
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04.10.14	311 submittal	kd
11.21.14	variance submittal	kd
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05.05.15	311 submittal r-3	kd
06.12.15	post 311 plans	kd
12.21.15	post 311 plans r-4	kd
04.18.16	D.R. Hearing	rk

project name : CHEN/ZHANG
project number : 00000
scale : 1/4" = 1'-0"

DEMOLITION
CALCULATIONS
- VERTICAL ELEMENTS
A7.2



NOT FOR CONSTRUCTION

CHEN/ZHANG - RES REMODEL
2079 15TH AVENUE
SAN FRANCISCO, CA 94116
BLOCK 2135 - LOT 0010

client:
rene chen and leo zhang
2556 32nd avenue
san francisco, ca 94116

**REDUCED SET
SCALE = 45%**

date :	issues/ revisions :	by :
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05.05.15	311 submittal r-3	kd
06.12.15	post 311 plans	kd
12.21.15	post 311 plans r-4	kd
04.18.16	D.R. Hearing	rk

project name : CHEN/ZHANG
project number : 00000
scale : 1/4" = 1'-0"

**DEMOLITION
CALCULATIONS
- HORIZONTAL ELEMENTS**
A7.3



SAN FRANCISCO
PLANNING DEPARTMENT

CEQA Categorical Exemption Determination

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address		Block/Lot(s)	
2079 15th Avenue		2135/0010	
Case No.	Permit No.	Plans Dated	
2014.0730E		4/10/2014	
<input checked="" type="checkbox"/> Addition/ Alteration	<input type="checkbox"/> Demolition (requires HRER if over 50 years old)	<input type="checkbox"/> New Construction	<input type="checkbox"/> Project Modification (GO TO STEP 7)
Project description for Planning Department approval. Vertical expansion of a single-family dwelling by adding a second floor above existing plus a sub-basement at the rear portion of the building.			

STEP 1: EXEMPTION CLASS
TO BE COMPLETED BY PROJECT PLANNER

Note: If neither class applies, an *Environmental Evaluation Application* is required.*

<input checked="" type="checkbox"/>	Class 1 – Existing Facilities, interior and exterior alterations, additions under 10,000 sq. ft., change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input type="checkbox"/>	Class 3 – New Construction, Up to three (3) new single-family residences or six (6) dwelling units in one building, commercial/office structures; utility extensions.
<input type="checkbox"/>	Class__

STEP 2: CEQA IMPACTS
TO BE COMPLETED BY PROJECT PLANNER

If any box is checked below, an *Environmental Evaluation Application* is required.

<input type="checkbox"/>	Transportation: Does the project create six (6) or more net new parking spaces or residential units? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?
<input type="checkbox"/>	Air Quality: Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities) within an air pollution hot spot? (refer to EP_ArcMap > CEQA Catex Determination Layers > Air Pollution Hot Spots)
<input type="checkbox"/>	Hazardous Materials: If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential? If yes, this box must be checked and the project applicant must submit an Environmental Application with a Phase I Environmental Site Assessment. <i>Exceptions: do not check box if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Maher program, a DPH waiver from the Maher program, or other documentation from Environmental Planning staff that hazardous material effects would be less than significant (refer to EP_ArcMap > Maher layer).</i>

SAN FRANCISCO
PLANNING DEPARTMENT 04.28.2014

<input type="checkbox"/>	Soil Disturbance/Modification: Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non-archeological sensitive area? (refer to EP_ArcMap > CEQA Catex Determination Layers > Archeological Sensitive Area)
<input type="checkbox"/>	Noise: Does the project include new noise-sensitive receptors (schools, day care facilities, hospitals, residential dwellings, and senior-care facilities) fronting roadways located in the noise mitigation area? (refer to EP_ArcMap > CEQA Catex Determination Layers > Noise Mitigation Area)
<input type="checkbox"/>	Subdivision/Lot Line Adjustment: Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography)
<input type="checkbox"/>	Slope = or > 20%: Does the project involve excavation of 50 cubic yards of soil or more, square footage expansion greater than 1,000 sq. ft., shoring, underpinning, retaining wall work, or grading on a lot with a slope average of 20% or more? <i>Exceptions: do not check box for work performed on a previously developed portion of site, stairs, patio, deck, or fence work.</i> (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography) If box is checked, a geotechnical report is required and a Certificate or higher level CEQA document required
<input type="checkbox"/>	Seismic Landslide Zone: Does the project involve excavation of 50 cubic yards of soil or more, square footage expansion greater than 1,000 sq. ft., shoring, underpinning, retaining wall work, grading—including excavation and fill on a landslide zone – as identified in the San Francisco General Plan? <i>Exceptions: do not check box for work performed on a previously developed portion of the site, stairs, patio, deck, or fence work.</i> (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report is required and a Certificate or higher level CEQA document required
<input type="checkbox"/>	Seismic Liquefaction Zone: Does the project involve excavation of 50 cubic yards of soil or more, square footage expansion greater than 1000 sq ft, shoring, underpinning, retaining wall work, or grading on a lot in a liquefaction zone? <i>Exceptions: do not check box for work performed on a previously developed portion of the site, stairs, patio, deck, or fence work.</i> (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report will likely be required
<input type="checkbox"/>	Serpentine Rock: Does the project involve any excavation on a property containing serpentine rock? <i>Exceptions: do not check box for stairs, patio, deck, retaining walls, or fence work.</i> (refer to EP_ArcMap > CEQA Catex Determination Layers > Serpentine)

*If no boxes are checked above, GO TO STEP 3. If one or more boxes are checked above, an *Environmental Evaluation Application* is required, unless reviewed by an Environmental Planner.

☒ Project can proceed with categorical exemption review. The project does not trigger any of the CEQA impacts listed above.

Comments and Planner Signature (optional): Joy Navarrete

STEP 3: PROPERTY STATUS – HISTORIC RESOURCE
TO BE COMPLETED BY PROJECT PLANNER

PROPERTY IS ONE OF THE FOLLOWING: (refer to Parcel Information Map)

<input type="checkbox"/>	Category A: Known Historical Resource. GO TO STEP 5.
<input type="checkbox"/>	Category B: Potential Historical Resource (over 50 years of age). GO TO STEP 4.
<input type="checkbox"/>	Category C: Not a Historical Resource or Not Age Eligible (under 50 years of age). GO TO STEP 6.

SAN FRANCISCO
PLANNING DEPARTMENT 04.28.2014

2

STEP 4: PROPOSED WORK CHECKLIST
TO BE COMPLETED BY PROJECT PLANNER

Check all that apply to the project.

<input type="checkbox"/>	1. Change of use and new construction. Tenant improvements not included.
<input type="checkbox"/>	3. Regular maintenance or repair to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	4. Window replacement that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	5. Garage work. A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	6. Deck, terrace construction, or fences not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. Mechanical equipment installation that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	8. Dormer installation that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	9. Addition(s) that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.

Note: Project Planner must check box below before proceeding.

<input checked="" type="checkbox"/>	Project is not listed. GO TO STEP 5.
<input type="checkbox"/>	Project does not conform to the scopes of work. GO TO STEP 5.
<input type="checkbox"/>	Project involves four or more work descriptions. GO TO STEP 5.
<input type="checkbox"/>	Project involves less than four work descriptions. GO TO STEP 6.

STEP 5: CEQA IMPACTS – ADVANCED HISTORICAL REVIEW
TO BE COMPLETED BY PRESERVATION PLANNER

Check all that apply to the project.

<input type="checkbox"/>	1. Project involves a known historical resource (CEQA Category A) as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	2. Interior alterations to publicly accessible spaces.
<input type="checkbox"/>	3. Window replacement of original/historic windows that are not "in-kind" but are consistent with existing historic character.
<input type="checkbox"/>	4. Façade/storefront alterations that do not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	5. Raising the building in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	6. Restoration based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.
<input type="checkbox"/>	7. Addition(s), including mechanical equipment that are minimally visible from a public right-of-way and meet the <i>Secretary of the Interior's Standards for Rehabilitation</i> .

SAN FRANCISCO
PLANNING DEPARTMENT 04.28.2014

3

<input type="checkbox"/>	8. Other work consistent with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (specify or add comments):
<input checked="" type="checkbox"/>	9. Reclassification of property status to Category C. (Requires approval by Senior Preservation Planner/Preservation Coordinator) a. Per HRER dated: (attach HRER) b. Other (specify): per PTR form dated 5/29/2014

Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST check one box below.

<input type="checkbox"/>	Further environmental review required. Based on the information provided, the project requires an <i>Environmental Evaluation Application</i> to be submitted. GO TO STEP 6.
<input checked="" type="checkbox"/>	Project can proceed with categorical exemption review. The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. GO TO STEP 6.

Comments (optional):

grace a. hildebrand 6/5/14

Preservation Planner Signature:

STEP 6: CATEGORICAL EXEMPTION DETERMINATION
TO BE COMPLETED BY PROJECT PLANNER

<input type="checkbox"/>	Further environmental review required. Proposed project does not meet scopes of work in either (check all that apply): <input type="checkbox"/> Step 2 – CEQA Impacts <input type="checkbox"/> Step 5 – Advanced Historical Review STOP! Must file an <i>Environmental Evaluation Application</i> .
<input checked="" type="checkbox"/>	No further environmental review is required. The project is categorically exempt under CEQA.

Planner Name: gracie hildebrand	Signature or Stamp: gracie a. hildebrand 6-5-2014
---------------------------------	---

Project Approval Action: Select One
If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.

Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code.
In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the first approval action.

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PLANNING DEPARTMENT 04.28.2014

4

STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT
TO BE COMPLETED BY PROJECT PLANNER

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be subject to additional environmental review pursuant to CEQA.

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address (If different than front page)		Block/Lot(s) (If different than front page)
Case No.	Previous Building Permit No.	New Building Permit No.
Plans Dated	Previous Approval Action	New Approval Action
Modified Project Description:		

DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project:

<input type="checkbox"/>	Result in expansion of the building envelope, as defined in the Planning Code;
<input type="checkbox"/>	Result in the change of use that would require public notice under Planning Code Sections 311 or 312;
<input type="checkbox"/>	Result in demolition as defined under Planning Code Section 317 or 19005(f)?
<input type="checkbox"/>	Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption?

If at least one of the above boxes is checked, further environmental review is required. CATEx FORM

DETERMINATION OF NO SUBSTANTIAL MODIFICATION

<input type="checkbox"/>	The proposed modification would not result in any of the above changes.
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If this box is checked, the proposed modifications are categorically exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice.

Planner Name:	Signature or Stamp:
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SAN FRANCISCO
PLANNING DEPARTMENT 04.28.2014

5

CHEN/ZHANG - RES REMODEL
2079 15TH AVENUE
SAN FRANCISCO, CA 94116
BLOCK 2135 - LOT 0010

REDUCED SET
SCALE = 45%

date :	issues/ revisions :	by :
02.12.14	progress set	kd
04.10.14	311 submittal	kd
11.21.14	variance submittal	kd
04.23.15	311 submittal r-2	kd
05.05.15	311 submittal r-3	kd
06.12.15	post 311 plans	kd
12.21.15	post 311 plans r-4	kd
04.18.16	D.R. Hearing	rk

project name : CHEN/ZHANG
project number : 00000
scale : NTS

CEQA

A7.4

NOT FOR
CONSTRUCTION

client:

rene chen and leo zhang
2556 32nd avenue
san francisco, ca 94116

JOHN LUM ARCHITECTURE INC.
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL 415 559 9550 FAX 415 559 0554



SAN FRANCISCO
PLANNING DEPARTMENT

PRESERVATION TEAM REVIEW FORM

Preservation Team Meeting Date: Date of Form Completion 5/29/2014

PROJECT INFORMATION:		
Planner:	Address:	
Gretchen Hilyard	2079 15th Avenue	
Block/Lot:	Cross Streets:	
2135/0010	Quintara Street	
CEQA Category:	Art. 10/11:	BPA/Case No.:
B	n/a	2014.0730E

PURPOSE OF REVIEW:		PROJECT DESCRIPTION:	
<input checked="" type="checkbox"/> CEQA	<input type="checkbox"/> Article 10/11	<input checked="" type="checkbox"/> Preliminary/PIC	<input checked="" type="checkbox"/> Alteration
		<input type="checkbox"/> Demo/New Construction	

DATE OF PLANS UNDER REVIEW: 4/10/2014

PROJECT ISSUES:	
<input checked="" type="checkbox"/> Is the subject Property an eligible historic resource?	
<input type="checkbox"/> If so, are the proposed changes a significant impact?	
Additional Notes:	
Submitted: Supplemental Information Form prepared by Tim Kelley Consulting (March 2014).	
Proposed project: vertical expansion of single-family dwelling by adding a 2nd floor and sub-basement at the rear.	

PRESERVATION TEAM REVIEW:			
Historic Resource Present:		<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No *
		<input type="checkbox"/> N/A	
Individual		Historic District/Context	
Property is individually eligible for inclusion in a California Register under one or more of the following Criteria:		Property is in an eligible California Register Historic District/Context under one or more of the following Criteria:	
Criterion 1 - Event:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Criterion 1 - Event:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Criterion 2 - Persons:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Criterion 2 - Persons:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Criterion 3 - Architecture:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Criterion 3 - Architecture:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Criterion 4 - Info. Potential:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Criterion 4 - Info. Potential:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Period of Significance:		Period of Significance:	
<input type="checkbox"/> Contributor		<input type="checkbox"/> Non-Contributor	

Complies with the Secretary's Standards/Art 10/Art 11:	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
CEQA Material Impairment:	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	
Needs More Information:	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	
Requires Design Revisions:	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	
Defer to Residential Design Team:	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	

* If No is selected for Historic Resource per CEQA, a signature from Senior Preservation Planner or Preservation Coordinator is required.

PRESERVATION TEAM COMMENTS:

According to the Supplemental Information Form for Historic Resource Determination prepared Tim Kelley Consulting (dated March 2014) and information found in the Planning Department files, the subject property at 2079 15th Avenue contains a 1-1/2-story-over basement; wood frame single-family residence constructed in 1920 in a vernacular style with some Craftsman style detailing. The original architect was Edward E. Young and the original owner was Mona Williams. The building has undergone many alterations over time, including: termite repairs (1978), demolition of the rear garage (1985), dry rot repair of front stairs (1986), construction of a new garage (1998). Visual inspection indicates that the front porch was enclosed, the primary entrance moved, the porch flooring altered, and the primary façade replaced at unknown dates.

No known historic events occurred at the property (Criterion 1). None of the owners or occupants have been identified as important to history (Criterion 2). The subject building is a non-descript example of a Vernacular style single-family property with some Craftsman style details. The building is not architecturally distinct such that it would qualify individually for listing in the California Register under Criterion 3.

The subject property is not located within the boundaries of any identified historic districts. The subject property is located within the Inner Sunset neighborhood. The area displays two separate periods of residential development — 1915-1920 and 1939-1946. According to Tim Kelley Consulting, there is a fair amount of uniformity among the 1930s and 1940s buildings on the block. The buildings on the east side of 15th Avenue between Quintara and Pacheco Streets were constructed in 1946 by Henry Doelger as part of the Golden Gate Heights subdivision and Golden Gate Heights was not studied for historic district potential as part of this project. The subject property sits on the west side of the block, which exhibits a variety of architectural styles and range of construction dates from 1915 to 1946. The area around the subject property does not contain a significant concentration of historically or aesthetically unified buildings such that the area would qualify as a historic district.

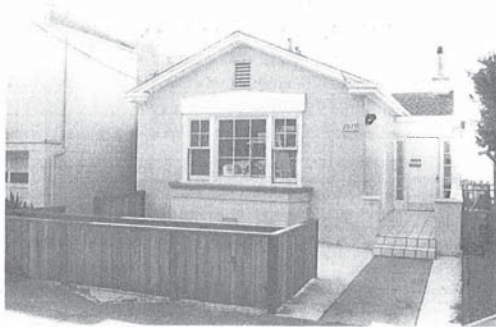
Therefore, the subject property is not eligible for listing in the California Register under any criteria individually or as part of a historic district.

Signature of a Senior Preservation Planner / Preservation Coordinator:	Date:
<i>Mona Williams</i>	6.5.2014

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PLANNING DEPARTMENT

PART I HISTORICAL RESOURCE EVALUATION

2079 15TH AVENUE
SAN FRANCISCO, CALIFORNIA



TIM KELLEY CONSULTING, LLC
HISTORICAL RESOURCES
2912 DIAMOND STREET #330
SAN FRANCISCO, CA 94131
415.337-5824
TIM@TIMKELLEYCONSULTING.COM

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project name : CHEN/ZHANG
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A7.5

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