



SAN FRANCISCO PLANNING DEPARTMENT

Memo to the Planning Commission

HEARING DATE: AUGUST 4, 2016

Date: July 25, 2016
Case No.: 2014-001259DRP-02
Project Address: 60 Russell Street
Permit Application: 2014.11.07.1023
Zoning: RH-2 [Residential House, Two-Family]
40-X Height and Bulk District
Block/Lot: 0123/009
Project Sponsor: Monica Ream
IFR Design Studio
1140 Carleton Street
Berkeley, CA 94702
Staff Contact: Nicholas Foster – (415) 575-9167
nicholas.foster@sfgov.org
Recommendation: **Take DR and approve as project with modifications**

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BACKGROUND

At the June 23, 2016 Planning Commission hearing, the Commission voted +4-1 (Antonini against, Fong and Johnson absent) to continue the Discretionary Review item to July 14, 2016. At that hearing, the Commission requested the following:

1. Project Sponsor and DR Requestors to continue to work together to find a resolution to the outstanding differences surrounding the proposed project.
2. Staff to conduct an additional site visit to ascertain the existing conditions of the subject property, specifically related to the functionality of the below-grade space used for storage, and whether or not the foundation walls were accurately measured related to demolition calculations.
3. Project Sponsor architect to modify the plan submittal to show additional information pertaining to the existing conditions, including additional site context information (e.g. topography, relationship of the subject property to adjacent properties, etc.)

Since the continuance of the June 23, 2016 hearing, the following has occurred:

1. Staff conducted a site visit on June 28, 2016 with the Project Sponsor architect as well as an architect retained by the DR Requestors team.
2. Project Sponsor met with DR Requestors team on July 8 and July 11, 2016.
3. Project Sponsor made modifications to the Project (see below for full list of modifications).

The Project Sponsor was unable to meet the deadline for submitting materials in order for the Department to review in advance of the July 14, 2016 Planning Commission hearing. As a result, on July

13, 2016, the Department requested a continuance on the case until the next available Planning Commission hearing date (October 13, 2016).

At the July 14, 2016 Planning Commission hearing, the Commission voted +6-1 (Johnson against) to continue the Discretionary Review item to August 4, 2016.

DEPARTMENT-RECOMMENDED MODIFICATIONS:

Since the continuance of the July 14, 2016 hearing, and after meeting with the Project Sponsor to discuss design modifications to the Project, the Department is recommending the following modifications to the Project:

- 1) Reduce the overall height of the building by at least 12”;
- 2) Eliminate the Floor 2 balcony along the rear façade;
- 3) Reduce the amount of overall glazing along the rear façade;
- 4) Lower the west lightwell (abutting 64 Russell Street) such that the subject property’s west light well reaches the lowest height of the abutting property’s windows;
- 5) Provide a 2’ side setback of the railings along the Floor 3 roof deck; and
- 6) Change the Floor 3 roof deck railing from glass to an open-designed railing.

PROJECT SPONSOR MODIFICATIONS

After meeting with the Department, the Project Sponsor has made the following modifications to the Project:

- 1) Reduced overall height (18” at the rear, and 9” at the front, with additional reduction of roof parapet at the rear):
 - a) Lowered the entire building by approximately 6” (as part of this modification, one step was deleted from both the front and back porches);
 - b) Reduced the clear ceiling height at back 1/2 of Floor 3 (e.g. stair landing, hallway, nursery/office, master bathroom) by 9” (reduces from 9’-0” down to 8’-3);
 - c) Reduced the clear ceiling height at Floor 1 by 1” (reduces from 8’-11 ¼” down to 8’-10 ¼”)
 - d) Reduced roof assembly thickness by 2”; and
 - e) Lowered the rear roof parapet by 18” (to achieve a 36” net lowering at the rear).
- 2) Eliminated Floor 2 balcony:
 - a) Eliminated the projecting balcony at Floor 2 from the rear elevation;
- 3) Reduced rear façade glazing/rear façade improvements:
 - a) Reduced the amount of glazing on the rear façade: 50% reduction at Floor 2, and 35% reduction across all three floors.
 - b) Re-configured rear glazing and trim details to echo the aesthetic of the front façade.
- 4) Adjacent lightwell (64 Russell Street):

- a) Lowered the West lightwell 2'-5" (6" reduction at Floor 1 and 1'-11" additional reduction) to match the height of neighbor's (64 Russell) window sills (adjacent light well);
- 5) Provided setback of Floor 3 roof deck guardrail/design:
- a) Provided a 2' setback of the Floor 3 guardrail on all three sides (from both property lines as well as from the rear).
- 6) Replaced guardrail materials:
- a) Replaced all glass guardrails with open metal guardrails on Floor 3;

Additional design changes that have been offered by the Project Sponsor, but are not depicted on the plan submittal include:

- 1) Providing frosted glazing at all light well windows, for increased privacy to 64 Russell neighbor;
- 2) Painting the light well walls a bright reflective color at all areas below neighbor's roof line to reflect maximum light into 64 Russell's light well windows;
- 3) Provide acoustic isolation measures at garage per acoustic consultant's recommendations to reduce audible sound of mechanized car parker for 64 Russell neighbor; and
- 4) Place the hydraulic machine for mechanized car parker at East side of basement, in acoustic enclosure, to further reduce audible sound of mechanized car parker for 64 Russell neighbor.

After reviewing the updated plans submitted to the Department on July 22, 2016, the Department has re-evaluated the Project for conformity with: 1) the current CEQA Categorical Exemption Determination (Class I) and 2) Planning Code Section 317 demolition calculations ("Tantamount to Demolition"). Therefore, the Department recommends that the Commission take Discretionary Review and approve the Project with the modifications outlined in this memorandum, under the heading labeled "Department-Recommended Modifications."

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| RECOMMENDATION: Take DR and approve the project with modifications |
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Attachments:

- Memo from Project Sponsor (dated 7/25/16)
- Public Comment (received since 6/23/16 CPC hearing date)
- Updated plan set (dated 7/22/16)

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REUBEN, JUNIUS & ROSE, LLP

July 25, 2016

By E-mail

President Rodney Fong
San Francisco Planning Commission
1650 Mission Street, Suite 400
San Francisco, CA 94103

**Re: 60 Russell Street
Brief in Opposition to Discretionary Review Request
Planning Case Number: 2014-001259DRP
Continued Hearing Date: August 4, 2016
Our File No.: 10425.01**

Dear President Fong and Commissioners:

We represent Phillip and Kristin Sprincin (“**Sprincins**”), owners of 60 Russell Street (the “**Property**”). The Sprincins, who recently had twins, want to raise their family in the Russian Hill home that they love, but at 771 square-feet, the house is too small to comfortably accommodate them. Therefore, the Sprincins propose to construct a modest 1,573 square-foot addition and reconfigure the house to create a more functional home (the “**Project**”).

The Sprincins have been sensitive to the neighborhood in crafting the Project, proposing a home well under the 40-foot height limit and preserving a greater rear yard than required by Code. In addition, the Project has undergone multiple rounds of changes since the pre-app meeting in response to neighbor concerns, with the Project as currently proposed designed to minimize impacts on neighbors while providing a livable home.

A. Property and Project Overview

The Property is a small house on a substandard 20-foot by 60-foot lot. There is variability in building height on Russell, with a mix of one- two- and three-story buildings. However, the Property happens to be next to two of the shortest buildings on the block, one of which is a garage. The other next door building belongs to DR Requestor Tracey Luke, who also plans to add an addition to her home. The two buildings directly across Russell are two-story over garage

James A. Reuben | Andrew J. Junius | Kevin H. Rose | Daniel A. Frattin | John Kevin
Tuija I. Catalano | Jay F. Drake | Lindsay M. Petrone | Sheryl Reuben¹ | Thomas Tunny
David Silverman | Melinda A. Sarjapur | Mark H. Loper | Jody Knight | Stephanie L. Haughey
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¹ Also admitted in New York. ² Of Counsel. ³ Also admitted in Massachusetts.

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buildings with walkup entrances, with which the home at 60 Russell will be entirely compatible both in scale and architectural style.

The Property is adjacent to buildings on Union Street, which is parallel to, and higher in elevation than, Russell Street. DR Requestor John Borruso lives in a building next to the adjacent Union Street buildings. Currently, the Union Street buildings tower over 60 Russell. After the Project, the Union Street buildings will remain higher than 60 Russell because of the topography of the streets. With the most recent height reduction, 60 Russell is proposed to be 30 feet 10 inches at the rear and 33 feet 3 inches at the front, to the top of the parapet.

The existing 771-square-foot house contains two small bedrooms, one bathroom and a tiny kitchen and awkwardly configured common area. The Project proposes to add 1,573 square feet and reconfigure the home to include three bedrooms and a small nursery/office, as well as two bathrooms and a powder room. The Project also proposes a small third floor terrace. The previously proposed balcony off the living room has been eliminated, and the third floor terrace significantly reduced by two feet on each side. The terrace, which is next to the nursery, is not intended to be used by guests, or as outdoor living space, but is simply a small area where the family can step outside, since the only other outdoor space is now the rear yard at the first level. The Project will retain a rear yard of 16 feet 6 inches, greater than the 15 feet required by Code.

The Project also proposes a two-car garage accessed with a car lift that lowers one of the cars down from street level. Mr. Sprincin works for a local construction company, and his workplace moves all over the Bay Area, sometimes requiring him to drive to multiple jobsites in a day. The garage would allow one car for Mr. Sprincin's work and one for the family to be kept inside the home, preventing additional parking problems on narrow Russell Street. The second car does not impact the height of the ground floor front facade, which is instead required by the walkup entrance.

Concerns have been expressed about the noise caused by the lift. To respond to these concerns, the Sprincins have moved the pump mechanism to the other side of the house away from 64 Russell. They will also add any soundproofing deemed necessary by an acoustic consultant to the wall between 60 Russell and 64 Russell. The sound of the lift and pump are approximately equivalent of a blender or vacuum cleaner used inside the home, but will then be further muffled by soundproofing.

The Project establishes a front facade compatible with the Russell streetfront and in compliance with Planning Department requirements, including a flat front, projecting cornice and walkup entrance. The shallowness of the building, at 43 feet 4 inches, significantly constrains placement of the internal stairs. The Project team explored flipping the front facade, which was not feasible because the stairs would eliminate the lightwell at 60 Russell that will match the lightwell at 64 Russell. The team also looked at replacing the first floor walkup with a second floor walkup, but

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that was also not feasible because internal circulation would then eliminate a significant amount of living space, including a large portion of the common living space and most of the nursery/office area. The configuration as proposed is that which achieves the design considerations of the Planning Department, provides the living space needed by the family, and minimizes the impact on the neighbors.

Shadow studies show a minimal shadow impact. Because the house is on the north side of Russell, it will not shadow Russell Street. The Project also casts minimal shadows on the homes of the DR Requestors, which each shadow themselves more. In addition, in fully matching the lightwell at 64 Russell, the Project will increase light to 64 Russell, as compared to a vertical addition with the offset lightwell that currently exists.

B. Project Revisions to Address Neighbor Concerns

The Sprincins held a pre-application neighbor meeting on September 22, 2014. While many neighbors expressed support for the Project, some expressed concern about the Project height. After the meeting, the Project team reached out to each of the neighbors who expressed concerns at the meeting, and met with DR Requestor Tracey Luke who had not attended. After the neighbor meetings and RDT review, the Project was revised to provide a matching lightwell to respond to Ms. Luke's concerns about light, and the building was reduced by 10 inches from the originally proposed height of 34 feet.

This matter was first heard by the Commission on June 23, 2016, at which time concerns were expressed which the Project team took seriously and acted on. After the hearing, the Sprincins conducted several email exchanges and meetings with their neighbors. They also made the following changes to the Project:

- Lowered the entire building by 6 inches by removing one step from both the front and back porches;
- Lowered the rear roof parapet an additional 18 inches for 24 inches of net lowering at the rear;
- Removed the projecting balcony from the rear elevation and replaced it with French doors with Juliet balconies that have no walking surface outside of the building;
- Reduced the amount of glazing on the rear, with 50% reduction at Level 2 and 33% overall reduction across all three levels;

- Re-configured rear glazing and trim details to echo the aesthetic of the front façade;
- Replaced all glass guardrails with open metal guardrails;
- Lowered the floor of the West light well to match the height of 64 Russell's light well window sills;
- Provided frosted glazing at all light well windows for increased privacy to 64 Russell;
- Agreed to paint the light well walls a bright reflective color at all areas below the 64 Russell roof line to reflect maximum light into 64 Russell's light well windows;
- Added acoustic insulation measures at the West wall of the garage to reduce audible sound of the mechanized car parking for 64 Russell;
- Placed the hydraulic machine for the mechanized car parking at the East side of the basement, in an acoustic enclosure to minimize sound from the car stacker; and
- Offered the Union Street neighbors input regarding the roof color and composition.

After the matter was continued again on July 14, 2016, the Sprincins made changes to further minimize the impact of the addition on neighbors, including reducing the third floor terrace by two feet on all three sides, and reducing the height of the building by an additional foot at the rear, achieved by reducing level one by one inch, reducing the back half of level three by nine inches, and reducing the roof assembly thickness by two inches.

Throughout the approval process, the Sprincins have strived to design a project that provides a livable, modern single family home, while also protecting the light, air and privacy of the neighbors, and fulfilling the aesthetic considerations of the Planning Department. Through multiple rounds of changes, the Sprincins sought to ever more minimize any potential impacts on neighbors, resulting in the Project as currently proposed, which provides an attractive, appropriate and compatible family home to the neighborhood.

C. Consistency with Residential Design Guidelines

The Project is consistent with, and fulfills the goals of, the Residential Design Guidelines, as follows:

1. Building Scale and Form

Design the height and depth of the building to be compatible with the existing building scale at the Street (RDG, Page 24).

The Project is compatible with the height of the buildings on the block. The block contains a mix of one-, two- and three-story buildings, with two two-story over garage buildings directly across Russell Street. In addition, the Project proposes a greater than required rear yard, which is significantly larger than the small or non-existent rear yards provided by the surrounding buildings, many of which are far deeper than 60 Russell. In addition, after the Project the Union Street buildings to the rear will continue to be higher than the rear elevation of 60 Russell.

2. Site Design

Respect the topography of the site and the surrounding area...This can be achieved by designing the building so it follows the topography in a manner similar to surrounding buildings (RDG, Page 11).

The topography of Russell Street rises from West to East. Existing buildings exhibit a pattern of varied heights with building roof elevations generally increasing from the West end of Russell to the East end and culminating at the top of Russell Street at the intersection with Hyde Street. Existing buildings include recessed step up entries from Russell Street. The topography of the area slopes in two directions, placing Russell Street parallel to and lower than Union Street. Buildings fronting onto Russell Street are generally lower in elevation compared to their Union Street neighbors. The Project is compatible with these overall topographic patterns along Russell Street and relative to its Union Street neighbors.

3. Neighborhood Character

Design buildings to be responsive to the overall neighborhood context, in order to preserve the existing visual character (RDG, Page 7).

The Project is consistent with the character of the neighborhood, which contains both single-family and multi-family buildings and heights of one to three stories. A roof deck that was originally planned was eliminated to protect neighbor privacy and ensure compatibility of the Project with surrounding properties. The height of the building was lowered, the design of the

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front windows changed, and the walkup front entrance added in response to RDT comments to make the Project compatible with similar two-story over garage buildings on the block. The Project is compatible with unifying design characteristics, including its proposed flat front, projecting cornice and walkup entrance, which provides a strong streetwall presence. The building conforms with, and contributes to, the character defining features of Russell Street as identified by the Historic Preservation Planners. The Project will provide a high quality building sensitive to the context of the area.

4. Protection of Light to Neighboring Property

Provide shared light wells to provide more light to both properties. (RDG, Page 16).

The Project provides a matching light well to increase the light to 64 Russell. To further protect 64 Russell from any light impacts, the Project has now lowered the floor of the light well to match the height of 64 Russell's light well window sills.

D. Conclusion

The Sprincins propose a Project that will create a modern usable, but modest single family home, giving them a place where they can stay and raise their children. The Project is consistent with the existing neighborhood character and the Residential Design Guidelines. It also furthers the orderly development of Russian Hill, and specifically Russell Street, providing an attractive and compatible streetfront presence.

The DR Requestors identify no issues with the Project rising to the threshold of the "exceptional and extraordinary circumstances" required to approve the DR Request beyond the changes already proposed by the Sprincins. Therefore, we respectfully request the Planning Commission approve the Project as currently proposed.

Thank you for your consideration. I look forward to presenting this Project to you on August 4.

Very truly yours,

REUBEN, JUNIUS & ROSE, LLP



Jody Knight

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From: [Kat Stark](#)
To: [Foster, Nicholas \(CPC\)](#)
Subject: 60 Russell St Discretionary Review, Case 2014-001259DRP-02
Date: Friday, July 22, 2016 4:16:14 PM

Hi Nick,

I am a neighbor of the Sprincins and would like to strongly urge the Planning Commission to approve the project at the discretionary review hearing on August 4th.

Please note that the project is at the right height and the appearance of the project fits in with the other buildings on Russell street. In fact, it will much look better than what is there now. I support this project and believe San Francisco needs more family housing like this one. This is a sound project that includes solar panels and is supported by the Planning Department.

The Sprincins are a wonderful family and I am hoping this project gets approved. This project will make our neighborhood more beautiful.

Please let me know if you need any additional information. Thank you.

Best,
Kathleen Stark

From: [Lael Beer](#)
To: [Foster, Nicholas \(CPC\)](#)
Subject: 60 Russell St Discretionary Review, Case 2014-001259DRP-02
Date: Friday, July 22, 2016 12:29:28 PM

Dear Mr. Foster,

My name is Lael Beer and my husband and I are residents in the Russian Hill neighborhood. I am writing to you today to urge you to support the above Case at the August 4th review hearing.

The family home remodel proposed complies with the height restrictions in the neighborhood and is designed to fit with the other residences on Russell Street. Once completed, it will be a great improvement over how the home looks now. The redesign also supports the inclusion of solar panels which supports the city's energy initiatives.

Yes remodels are difficult to live through, but they are happening all over Russian Hill right now. As residents, we should be able to improve our properties. The Sprincin Family is trying to make a better space for their growing family.

I urge you to support their efforts to raise their twins in our neighborhood by approving their remodel on August 4th.

Kind regards,
Lael Beer

Resident at 990 Green Street
Sent from my iPhone

From: [danielle.siegel](mailto:danielle.siegel@sfgov.org)
To: [Foster, Nicholas \(CPC\)](mailto:nicholas.foster@sfgov.org)
Subject: 60 Russell St Discretionary Review, Case 2014-001259DRP-02
Date: Friday, July 22, 2016 9:34:39 AM

DATE: July 22, 2016

TO: Nicholas Foster <nicholas.foster@sfgov.org>
SF Planning Commissioners

FROM: Russell Street Neighbors

RE: 60 Russell Street Proposal, Case 2014-001259DRP-02

We live on Russell Street, a small one-block street, and support Phillip & Kristin Sprincin's development proposal and their right to develop within the City's by-right zoning rules.

The proposal meets the City's rear yard requirement. Most of the surrounding properties do not meet the requirement.

The proposal would add two stories up to the height limit, thereby making a substandard lot more livable. It would not tower over the Russell Street properties as does the 1924 Hyde Street project approved a few years ago, which added a floor. The buildings fronting Union Street rise 2-4 stories above Russell Street properties.

We also support Phillip's and Kristin's desire to invest in San Francisco and the neighborhood to create a family residential unit. Phillip grew up in the Mission District, and the proposed project would allow him to stay in San Francisco and raise his family.

Phillip and Kristin have met a number of times with the concerned residents of Union and Russell Street. The noise issue regarding the automatic garage has been resolved. The issues of the Union Street neighbors have also been addressed in the revisions submitted to the Commission at the last hearing. They modified their design not because it needed to be modified given the City's development regulations for this site, but out of interests in compromise to be good neighbors. However, it appears that some of those neighbors are simply using the process to undermine approval, kill the project, and force Phillip and his family out of the City, which is not so neighborly.

Please approve this project development application in the interests of keeping San Francisco residents and families in the city.

Sincerely,

The Russell Street Neighbors:

Scott Edmondson & Marie Summers
BJ & Danielle Siegel

From: [Michael Gordon](#)
To: [Foster, Nicholas \(CPC\)](#)
Subject: 60 Russell St. Discretionary Review, Case 2014-001259DRP-02
Date: Friday, July 22, 2016 9:18:59 AM

Dear Mr. Foster. I have lived four buildings down from 60 Russell St. for 31 years and know something about this neighborhood. I have attended meetings that discussed openly the pluses and minuses of the above project. Both parties have met again at your department's suggestion and changes in the plans were made. I would like to go on record as supporting the completion of the proposed project. And look forward to seeing them raise their newborn twins, Katherine and Patrick here.

Thank you for your consideration,
Michael R. Gordon
38 Eastman Place

From: [Rick Bond](#)
To: [Foster, Nicholas \(CPC\)](#)
Subject: 60 Russell St Discretionary Review, Case 2014-001259DRP-02
Date: Thursday, July 21, 2016 7:53:21 PM

Hi Nick,

I'm writing again in support of Philip and Kristin's home expansion. Their plans will grace our little street with another lovely single-family home--a rarity in our neighborhood. (I have one, 21 Russell.)

Their expanded home will be the right scale for our street, in keeping with the codes, and it will look much better than the current facade.

Finally, they have two kids! Our city has lost so many families. Let's please allow those who are willing to brave the expense raise their families here.

Thank you,

Rick Bond

21 Russell Street

From: [Lisa A Abramson](#)
To: [Foster, Nicholas \(CPC\)](#)
Subject: 60 Russell St Discretionary Review, Case 2014-001259DRP-02
Date: Thursday, July 21, 2016 4:10:32 PM

Hi Nick,

How are you? Hope you're doing well and having a nice day. I'm writing a note to support Kristin and Phillip Sprincin and requesting that the Planning Commission **approve the project** at the discretionary review hearing on August 4th.

60 Russell St Discretionary Review, Case 2014-001259DRP-02

They are wonderful people and San Francisco needs more family housing like they are proposing. They have two adorable young twin children and they need to create a home for them.

The project is the right height, and is not too tall for the neighborhood, for a family home, or for the site conditions.

The appearance of the project fits in with the other buildings on Russell street. And it will even look much better than what is there now!!!

Also, this is a sound project that includes solar panels and is supported by the Planning Department.

Please let me know if you need further details regarding my support of this project.

All the best,

Lisa

Lisa A Abramson
415-218-4583

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Executive Coach
www.lisaabramson.com

From: sfp@igc.org
To: [Foster, Nicholas \(CPC\)](#)
Cc: [Phillip Sprincin](#); [Scott Edmondson](#)
Subject: 60 Russell St Discretionary Review, Case 2014-001259DRP-02
Date: Thursday, July 21, 2016 11:02:09 PM

DATE: July 22, 2016

TO: SF Planning Commissioners

FROM: Russell Street Neighbors

RE: 60 Russell Street Proposal, Case 2014-001259DRP-02

We live on Russell Street, a small one-block street, and support Phillip & Kristin Sprincin's development proposal and their right to develop within the City's by-right zoning rules.

The proposal meets the City's rear yard requirement. Most of the surrounding properties do not meet the requirement.

The proposal would add two stories up to the height limit, thereby making a substandard lot more livable. It would not tower over the Russell Street properties as does the 1924 Hyde Street project approved a few years ago, which added a floor. The buildings fronting Union Street rise 2-4 stories above Russell Street properties.

We also support Phillip's and Kristin's desire to invest in San Francisco and the neighborhood to create a family residential unit. Phillip grew up in the Mission District, and the proposed project would allow him to stay in San Francisco and raise his family.

Phillip and Kristin have met a number of times with the concerned residents of Union and Russell Street. The noise issue regarding the automatic garage has been resolved. The issues of the Union Street neighbors have also been addressed in the revisions submitted to the Commission at the last hearing. They modified their design not because it needed to be modified given the City's development regulations for this site, but out of interests in compromise to be good neighbors. However, it appears that some of those neighbors are simply using the process to undermine approval, kill the project, and force Phillip and his family out of the City, which is not so neighborly.

Please approve this project development application in the interests of keeping San Francisco residents and families in the city.

Sincerely,

The Russell Street Neighbors:

Scott Edmondson & Marie Summers,

LAW OFFICES OF
DILLINGHAM & MURPHY, LLP

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July 22, 2016

Via Email

Nick Foster

nicholas.foster@sfgov.org

Dear Mr. Foster:

Re: 60 Russell Street, Discretionary Review, Case 2014-001259DRP-02

The undersigned urges that the Planning Commission approve the above project at the discretionary review hearing on August 4th. I was present to speak against a continuance at the hearing on July 14th. Unfortunately, I cannot be present for the hearing on August 4th as I must be in Alberta, Canada on business.

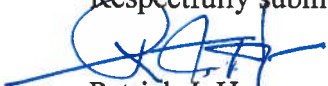
In the interest of substantial fairness, a point I advanced at the July 14 hearing, the Planning Commission should approve this project at the August 4 hearing for the following reasons:

1. This project will substantially improve the appearance of Russell street since it will be a much better looking structure than what is there now;
2. The project fits within the guidelines for residential housing, as it is the correct height for a family home and for these site conditions;
3. My understanding is that San Francisco is crying out for more family housing, just like this; and,
4. This project has been approved by the Planning Department.

Two observations with regard to this project: First, if the Planning Commission is concerned that there is so much organized opposition to this project that there will be a potential appeal from their decision, then deferring a favorable decision while trying to solve the seemingly endless issues raised by the opposition does no one a favor and simply allows the opposition to win its battle of financial attrition by virtue of utilizing time which is rent money from the applicants themselves who cannot fit their family of 2 adults and 2 infants into the existing structure. Second, it would appear that a not insignificant number of the group objecting to the project inhabit structures that go all the way from one property line to another. Thus, these opponents have no setbacks. As such, they seem to keep advancing various thoughts and concepts that would cause the Sprincins to have to provide them with even more setback than what is required by San Francisco's planning rules. This is both unfair and unrealistic and the commission should disregard these types of claims for the reason that these folks knowingly purchased or built to the property line.

For all of the foregoing reasons, I reiterate that the Planning Commission should approve the project at the discretionary review hearing on August 4th.

Respectfully submitted,



Patrick J. Hagan

CHARLES M. SPRINCIN

140 S. Van Ness Ave.
San Francisco, CA 94103
(415) 302 5572
charles@sprincin.com

July 20, 2016

To: San Francisco Planning Commission
Re: 60 Russell Street Discretionary Review
Case No. 2014-001259DRP-02

Please approve the plans prepared by Phillip and Kristin Sprincin for their home at 60 Russell St. They need the additional space for their new family. Even after the remodel the home will be a modest 2,300 sq.ft. on three levels.

The property is just 20 feet wide. The height limit at the property is 40 feet. The home they have designed is but 33 feet in height, a full 7 feet lower than the permitted limit.

There is a property, fronting on Union Street, which shares a portion of its common rear lot line with 60 Russell. That property - built before there were land use statues prohibiting such activity - has a zero rear yard with lot line windows facing 60 Russell. It is also much taller than will be the remodeled home at 60 Russell.

As you well know, lot line windows are not legal in San Francisco. Owners of property with lot line windows have no legal rights for protection of light, air or view from their illegal lot line windows. Yet the owner of the Union St. apartment building with lot line windows does object to the planned remodel at 60 Russell - in an effort to preserve lot line window 'privacy.' They have asked you to eliminate a four foot deep deck; that fully complies with all land use codes and your Residential Guidelines, that makes the small living room of this single family home open to the outside.

Please approve this small home remodel, which has been modified after further consultation with the neighbors. It is faithful to all applicable Residential Design Guidelines which you have set. I would ask you to give to Phillip and Kristin equal protection under the laws guaranteed to all citizens and to approve their fully code complying home. Please do not bow to the NIMBY's tactic of 'death by a thousand nicks.'

My son and daughter-in-law have labored for almost two years to get a simple remodel permit. They have had to move out of 60 Russell when their twins were born almost 3 months ago because it's too small. If you deny them the right to remodel 60 Russell - as they would want and need for their family - then you will be telling this family that the City no longer wants middle class families to raise their children in San Francisco.

It is time to stop the NIMBY's from making it so damn costly and difficult for families to upgrade their homes to adjust for larger family size. Please help Phillip and Kristin - so that they can continue to live and work in San Francisco.

Sincerely,

A handwritten signature in black ink, appearing to read 'Charles M. Sprincin', written over a horizontal line.

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SPRINCIN RESIDENCE REMODEL AND ADDITION

SYMBOLS

| | | | | | |
|--|---------------------------|--|--|--|--|
| | Concrete | | Caulking | | Building Section / Elevation Reference |
| | Gravel | | Intermittent Wd. blkg., section | | Interior Elevation Identification |
| | Sand or Fill | | Continuous Wd. framing, section | | Detail Drawing Identification |
| | Center lines, projections | | Property lines, Boundary lines, or F.F.Level lines | | Level Line Control Point or Datum |
| | Earth or Backfill | | Hidden, Future, Overhead or Deleted lines | | Grid Reference Symbol |
| | Brick | | Ceiling Height Mark | | Wall Type |
| | Concrete Block | | Stair Direction Symbol | | Revision Number |
| | Steel | | Point Elevation (plan) | | |
| | Laminated wood, section | | Existing Contours elevation noted on high side | | |
| | Finish wood, section | | New Contours elevation noted on high side | | |
| | Plywood, section | | Window Mark | | |
| | Insulation: non-rigid | | Door Mark | | |
| | Insulation: rigid | | | | |
| | Stucco on lath | | | | |
| | Gypsum board | | | | |
| | Acoustic Tile | | | | |
| | Mortar, grout | | | | |

BUILDING INFORMATION

| | | | |
|-------------------------------|-------------------|-----------------------|---------------|
| Site Information | | | |
| Address: | 60 Russell Street | | |
| Block: | 0123 | | |
| Lot: | 009 | | |
| Zoning: | RH-2 | | |
| Construction Type: | V - B | | |
| Occupancy: | R-3 | | |
| Lot Size: | 1,197 sf | | |
| Max Allowed Height: | 40 ft | | |
| Building Data | | | |
| Dwelling Units: | Allowable | Existing | Proposed |
| | 2 | 1 | 1 |
| Building Square Footage: | | | |
| First Floor: | Unlimited | 771 sf | 819 sf |
| Second Floor: | Unlimited | n/a | 847 sf |
| Third Floor: | Unlimited | n/a | 678 sf |
| Total Square Footage: | Unlimited | 771 sf | 2,344 sf |
| Total Addition: | | | 1,573 sf |
| No. of Stories: | Unlimited | 1 | 3 |
| Building Height: | 40' | 14'-2" | 31'-7" |
| Building Depth: | Unlimited | 43'-4" | 43'-4" |
| Parking Spaces: | Unlimited | 0 | 2 (stacked) |
| Sprinklers: | Not Required | None | Sprinklered |
| Occupancy Calculations | | | |
| | Proposed Gross SF | Floor Area Allowances | Occupant Load |
| | | (CBC 1004.1.1) | |
| First Floor - Living | 521 | 200 gross sf/occupant | 2.6 |
| First Floor - Garage | 216 | 200 gross sf/occupant | 1.1* |
| Second Floor | 808 | 200 gross sf/occupant | 4.0 |
| Third Floor | 719 | 200 gross sf/occupant | 3.6 |
| Total | 2264 | | 10.2 |

* PER CBC 1004.1: "WHERE OCCUPANTS FROM ACCESSORY AREAS EGRESS THROUGH A PRIMARY SPACE, THE CALCULATED OCCUPANT LOAD FOR THE PRIMARY SPACE SHALL INCLUDE THE TOTAL OCCUPANT LOAD OF THE PRIMARY SPACE PLUS THE OCCUPANTS EGRESSING THROUGH IT FROM THE ACCESSORY AREA." THE GARAGE IS AN ACCESSORY AREA TO THE HOUSE, BUT THESE OCCUPANTS DO NOT EGRESS THROUGH THE PRIMARY SPACE, BUT INSTEAD HAVE A DIRECT EXIT TO THE PUBLIC WAY. THEREFORE, THE OCCUPANT LOAD OF THE GARAGE IS NOT COUNTED IN THE TOTAL.

DESCRIPTION OF WORK

LOWER (E) RESIDENCE BY 16". ADD TWO STORIES TO THE EXISTING ONE STORY SINGLE-FAMILY RESIDENCE. INFILL TRADESMAN'S PATH ON WEST SIDE OF HOUSE. INFILL THREE SMALL LIGHTWELLS. REPLACE (E) FOUNDATION. EXTENSIVE REMODEL OF INTERIOR OF THE HOUSE. ADD GARAGE (WITHIN EXISTING BUILDING FOOTPRINT) WITH 2-CAR MECHANIZED STACKED PARKING. ADD NEW DRIVEWAY WITH CURB CUT. RAISE SURFACE OF REAR YARD TO MATCH SIDE NEIGHBOR. REPLACE (E) WOOD DECK IN REAR YARD. ADD SOLAR PANELS TO ROOF. ADD FIRE SPRINKLER SYSTEM THROUGHOUT RESIDENCE.

REDUCED BUILDING HEIGHT, SEE SECTIONS AND ELEVATIONS

SHEET INDEX

| | |
|-----------|--|
| A-0.0 | Cover Sheet |
| A-1.0 | Site Plans |
| A-2.0 | Existing Floor Plan & Demolition Plan |
| A-2.1 | Proposed Floor Plans |
| A-2.2 | Proposed Floor and Roof Plans |
| A-2.3 | Shadow Study for 64 Russell St. |
| A-2.4 | Shadow Study for 64 Russell St. |
| A-2.5 | Shadow Study for 64 Russell St. |
| A-2.6 | Shadow Study for 64 Russell St. |
| A-2.7 | Exterior Walls Removal Analysis Plan |
| A-3.0 | Existing Exterior Elevations |
| A-3.1 | Existing Exterior Elevations |
| A-3.2 | Existing Building Section |
| A-3.3 | Proposed Exterior Elevation |
| A-3.4 | Proposed Exterior Elevation |
| A-3.5 | Proposed Exterior Elevation |
| A-3.6 | Proposed Exterior Elevation |
| A-3.7 | Proposed Building Section |
| A-3.8 | Proposed Building Section |
| A-3.9 | Shadow Study for 1243 Union St. |
| A-3.10 | Vertical Envelope Elements Removal Analysis |
| A-3.11 | Vertical Envelope Elements Removal Analysis |
| A-3.12 | Relative Heights 60 Russell St. vs. 1243 Union St. |
| 23 | TOTAL NUMBER OF SHEETS |

GENERAL NOTES

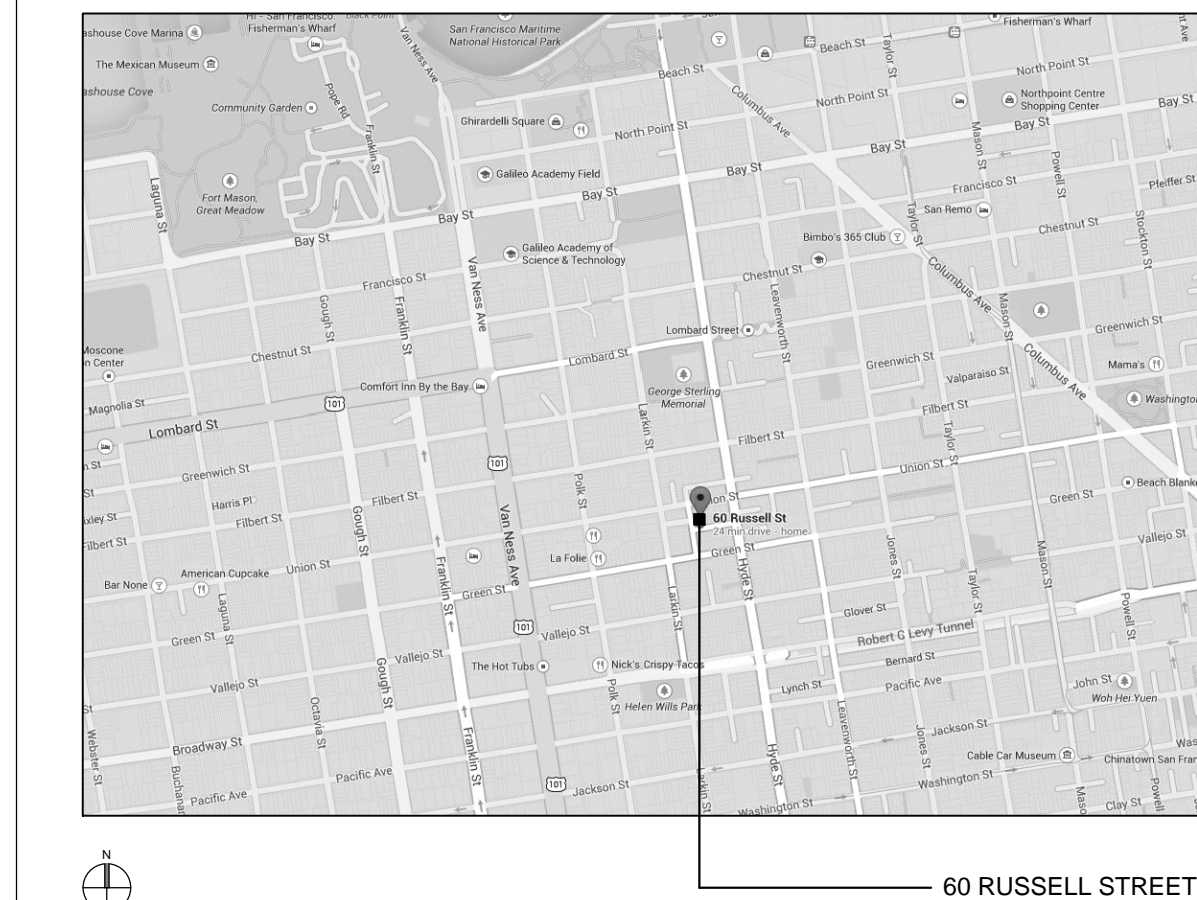
- ALL WORK SHALL COMPLY WITH THE FOLLOWING CODES:
 - 2013 CALIFORNIA BUILDING CODE
 - 2013 CALIFORNIA ELECTRICAL CODE
 - 2013 CALIFORNIA PLUMBING CODE
 - 2013 CALIFORNIA MECHANICAL CODE
 - 2013 CALIFORNIA ENERGY CODE
 - 2013 CALIFORNIA FIRE CODE
 - 2013 CALGREEN CODE
 - CITY OF SAN FRANCISCO MUNICIPAL CODE- LATEST ADOPTED ADDITION
 - CITY OF SAN FRANCISCO GREEN BUILDING CODE
 - CONSTRUCTION AND DEMOLITION DEBRIS: 100% OF MIXED DEBRIS MUST BE TRANSPORTED BY A REGISTERED HAULER TO A REGISTERED FACILITY AND BE PROCESSED FOR RECYCLING, IN COMPLIANCE WITH THE SAN FRANCISCO CONSTRUCTION & DEMOLITION DEBRIS ORDINANCE.
 - PEST PROTECTION: ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE CLOSED WITH CEMENT MORTAR, CONCRETE MASONRY, OR A SIMILAR METHOD ACCEPTABLE TO DBI FOR PROTECTION AGAINST RODENTS.
 - MOISTURE CONTENT OF BUILDING MATERIALS. VERIFY WALL AND FLOOR FRAMING DOES NOT EXCEED 19% MOISTURE CONTENT PRIOR TO ENCLOSURE. MATERIALS WITH VISIBLE SIGNS OF MOISTURE DAMAGE SHALL NOT BE INSTALLED. MOISTURE CONTENT SHALL BE VERIFIED IN COMPLIANCE WITH THE FOLLOWING: (CALGREEN 4.505.3)
 - MOISTURE CONTENT SHALL BE DETERMINED WITH EITHER A PROBE-TYPE OR A CONTACT-TYPE MOISTURE METER. EQUIVALENT MOISTURE VERIFICATION METHODS MAY BE APPROVED BY THE ENFORCING AGENCY AND SHALL SATISFY REQUIREMENTS IN SECTION 101.8.
 - MOISTURE READINGS SHALL BE TAKEN AT A POINT 2 FEET (610 mm) TO 4 FEET (1219 mm) FROM THE GRADE-STAMPED END OF EACH PIECE TO BE VERIFIED.
 - AT LEAST THREE RANDOM MOISTURE READINGS SHALL BE PERFORMED ON WALL AND FLOOR FRAMING WITH DOCUMENTATION ACCEPTABLE TO THE ENFORCING AGENCY PROVIDED AT THE TIME OF APPROVAL TO ENCLOSURE THE WALL AND FLOOR FRAMING. INSULATION PRODUCTS WHICH ARE VISIBLY WET OR HAVE A HIGH MOISTURE CONTENT SHALL BE REPLACED PRIOR TO ENCLOSURE IN WALL OR FLOOR CAVITIES. MANUFACTURERS' DRYING RECOMMENDATIONS SHALL BE FOLLOWED FOR WET-APPLIED INSULATION PRODUCTS PRIOR TO ENCLOSURE.
 - DESIGN AND INSTALL HVAC SYSTEM TO ACCA MANUAL J.D. AND S (CALGREEN 4.507.2)
 - HVAC INSTALLER QUALIFICATIONS: HVAC SYSTEM INSTALLERS MUST BE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS, SUCH AS VIA STATE CERTIFIED APPRENTICESHIP PROGRAM, PUBLIC UTILITY TRAINING PROGRAM (WITH CERTIFICATION AS INSTALLER QUALIFICATION), OR OTHER PROGRAM ACCEPTABLE TO THE DEPARTMENT OF BUILDING INSPECTION (CALGREEN 702.1)
 - COMPOSITE WOOD PRODUCTS: HARDWOOD PLYWOOD, PARTICLEBOARD, AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON INTERIOR OR EXTERIOR SHALL MEET CARB AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD. SEE CALGREEN TABLE 4.504.5.
 - INTERIOR PAINTS AND COATINGS: COMPLY WITH VOC LIMITS IN THE AIR RESOURCES BOARD ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE AND CALIFORNIA CODE OF REGULATION TITLE 17 FOR AEROSOL PAINTS. SEE CALGREEN TABLE 4.503.3.
 - LOW-VOC AEROSOL PAINTS AND COATINGS: MEET BAAQMD VOC LIMITS (REGULATION 8, RULE 49) AND PROCUT-WEIGHTED MIR LIMITS FOR ROC. (CALGREEN 4.504.2.3).
 - LOW VOC CAULKS, CONSTRUCTION ADHESIVES AND SEALANTS: MEET SCAQMD RULE 1168. SEE CALGREEN TABLES 4.504.1 AND 4.502.2. (CALGREEN 4.504.2.1)
- TYPE OF CONSTRUCTION: TYPE V NON-RATED.
- THE STANDARD A.I.A. GENERAL CONDITIONS ARE HEREBY MADE A PART OF THESE DRAWINGS.
- DO NOT SCALE DRAWINGS FOR DIMENSIONS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO COMMENCEMENT OF ANY WORK DIMENSIONS ARE TO FINISH UNLESS OTHERWISE NOTED.
- CLARIFY ALL DISCREPANCIES BETWEEN THESE AND ACTUAL SITE CONDITIONS WITH THE ARCHITECT BEFORE PERFORMING THE WORK.
- THE CONTRACTOR SHALL:
 - FURNISH, PAY FOR AND FILE ALL NECESSARY PERMITS, FEES, INSPECTIONS, ETC. EXCEPT FOR PLAN CHECK AND ZONING FEES, WHICH WILL BE PAID FOR BY THE OWNER.
 - GUARANTEE ALL WORK FOR ONE YEAR AS EVIDENCED BY THE DATE OF THE FINAL OF PAYMENT.
 - PROVIDE A RELEASE OF ALL SUBCONTRACTOR LIENS BEFORE FINAL PAYMENT IS MADE.
 - INSTALL ALL MATERIAL AND EQUIPMENT IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
 - PROTECT EXISTING VEGETATION FROM DAMAGE DURING THE COURSE OF THE WORK.
 - PROVIDE STRICT CONTROL OF JOB CLEANUP TO REMOVE DUST AND DEBRIS FROM CONSTRUCTION AREA AT ALL TIMES.
- ALL INSPECTIONS ARE REQUIRED PER CBC, SECTION 108.4
- ALL SPECIAL INSPECTION AGENCIES, INDIVIDUALS AND SHOP FABRICATORS SHALL BE APPROVED BY THE BUILDING DEPARTMENT PRIOR TO ANY WORK BEING PERFORMED. SUBMIT ALL DOCUMENTATION FOR APPROVAL.
- THIS BUILDING MEETS THE ENERGY BUILDING DESIGN REQUIREMENTS OF TITLE 24. SEE SHEET T1.1 FOR COMPLIANCE.
- INSULATION SHALL MEET CALIFORNIA ENERGY COMMISSION QUALITY STANDARDS AND BE CERTIFIED BY THE MANUFACTURER.
- FIRESTOPS SHALL BE PROVIDED IN ALL LOCATIONS SPECIFIED BY THE CBC, SECTION 717.

IMAGE OF EXISTING RESIDENCE



IMAGE OF FRONT (SOUTHERN) ELEVATION OF EXISTING RESIDENCE, AS VIEWED FROM RUSSELL STREET.

VICINITY MAP



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SPRINCIN RESIDENCE

60 Russell Street
San Francisco, CA

IFR DESIGN Project Number: 1402

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|-----|------------|----------------------|
| | 09.22.2014 | Neighbor Meeting |
| | 11.07.2014 | Planning |
| | 11.18.2015 | 311 Notification |
| △ | 07.22.2016 | Revisions |

COVER SHEET & SITE PLAN

Scale: As Noted
Drawn By: Ian F. Ream

A0.0

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SPRINCIN RESIDENCE

60 Russell Street
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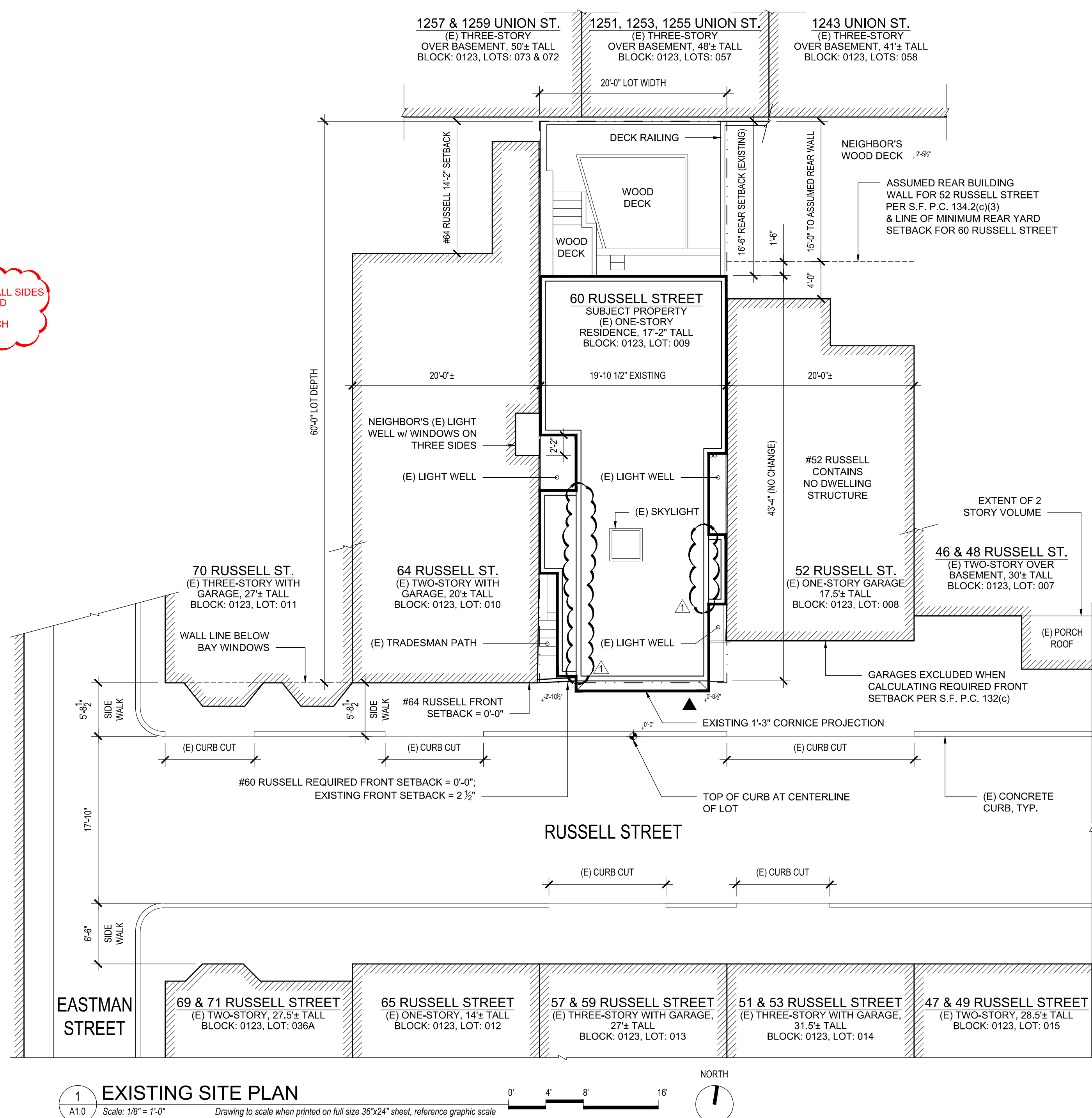
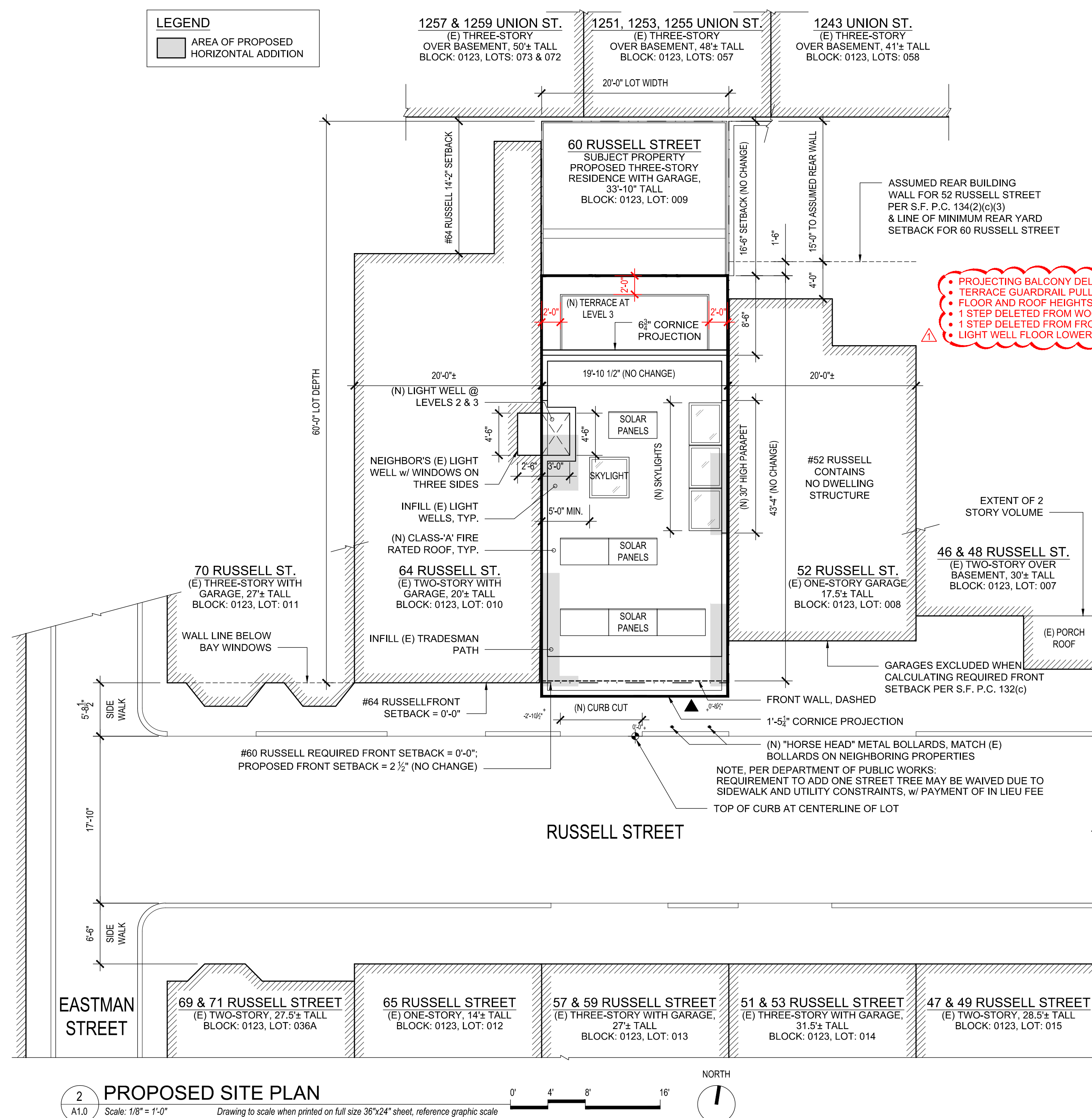
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SITE PLANS

Scale: As Noted
Drawn By: Ian F. Ream

A1.0



2 PROPOSED SITE PLAN

A1.0 Scale: 1/8" = 1'-0"

Drawing to scale when printed on full size 36"x24" sheet, reference graphic scale

1 EXISTING SITE PLAN

A1.0 Scale: 1/8" = 1'-0"

Drawing to scale when printed on full size 36"x24" sheet, reference graphic scale

DEMOLITION: LINEAR FOOTAGE

| ELEMENT | LENGTH (LF) | REMOVED (LF) | % REMOVED |
|-------------------------|-------------|--------------|-----------|
| SOUTH ELEVATION (FRONT) | 14'-1" | 11'-8" | 83% |
| NORTH ELEVATION (REAR) | 21'-0" | 14'-1" | 67% |
| FRONT AND REAR | 35'-1" | 25'-9" | 74% |
| SOUTH FACING WING WALLS | 2'-2" | 2'-2" | 100% |
| EAST ELEVATION (SIDE) | 43'-4" | 24'-6" | 57% |
| WEST ELEVATION (SIDE) | 43'-4" | 16'-7" | 38% |
| TOTALS: | 123'-11" | 69'-0" | 56% |

DEMOLITION: AREA

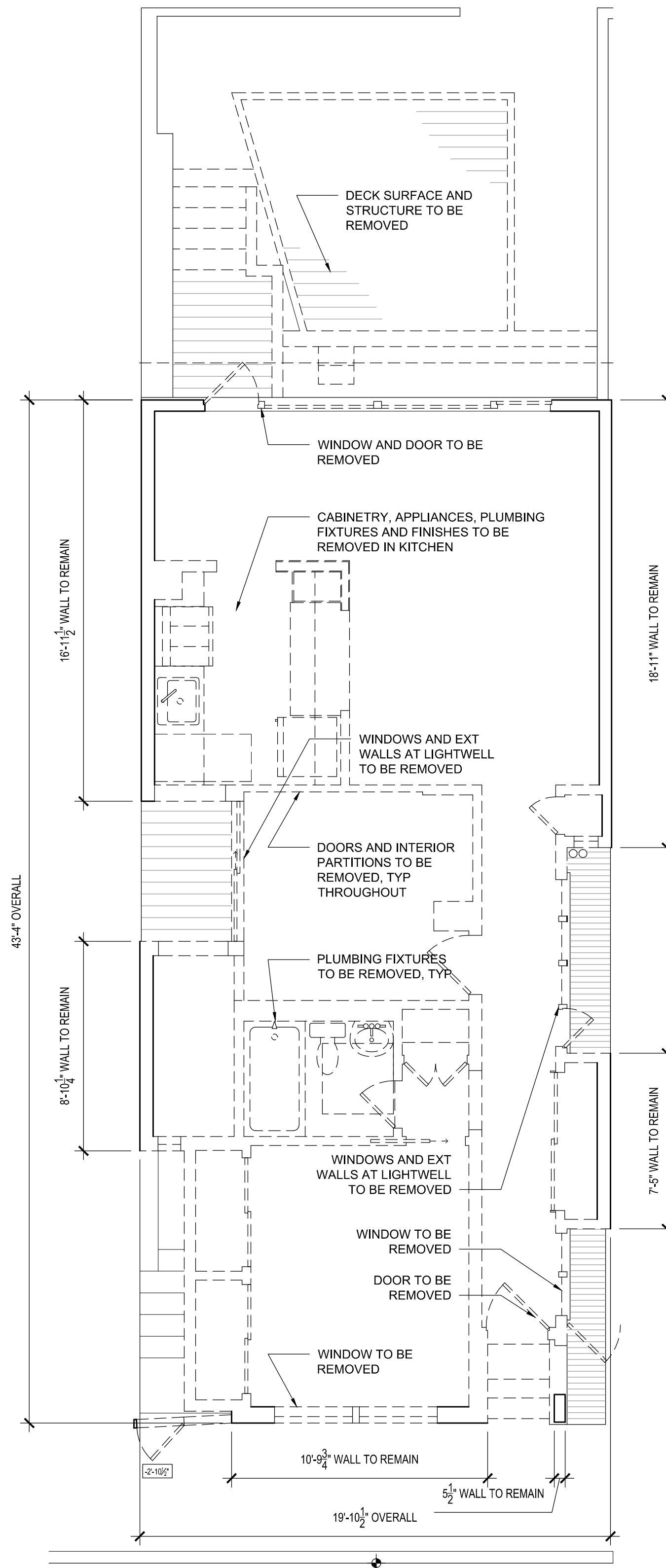
| VERTICAL ELEMENT | AREA (SF) | REMOVED (SF) | % REMOVED |
|-------------------------|-----------|--------------|-----------|
| SOUTH ELEVATION (FRONT) | 293 | 187 | 67% |
| NORTH ELEVATION (REAR) | 379 | 123 | 32% |
| EAST ELEVATION (SIDE) | 822 | 415 | 50% |
| WEST ELEVATION (SIDE) | 874 | 413 | 47% |
| TOTALS: | 2,368 | 1,138 | 48% |

DEMOLITION: AREA

| HORIZONTAL ELEMENT | AREA (SF) | REMOVED (SF) | % REMOVED |
|--------------------|-----------|--------------|-----------|
| FLOOR | 834 | 834 | 100% |
| ROOF | 782 | 782 | 100% |
| TOTALS: | 1,616 | 1,616 | 100% |

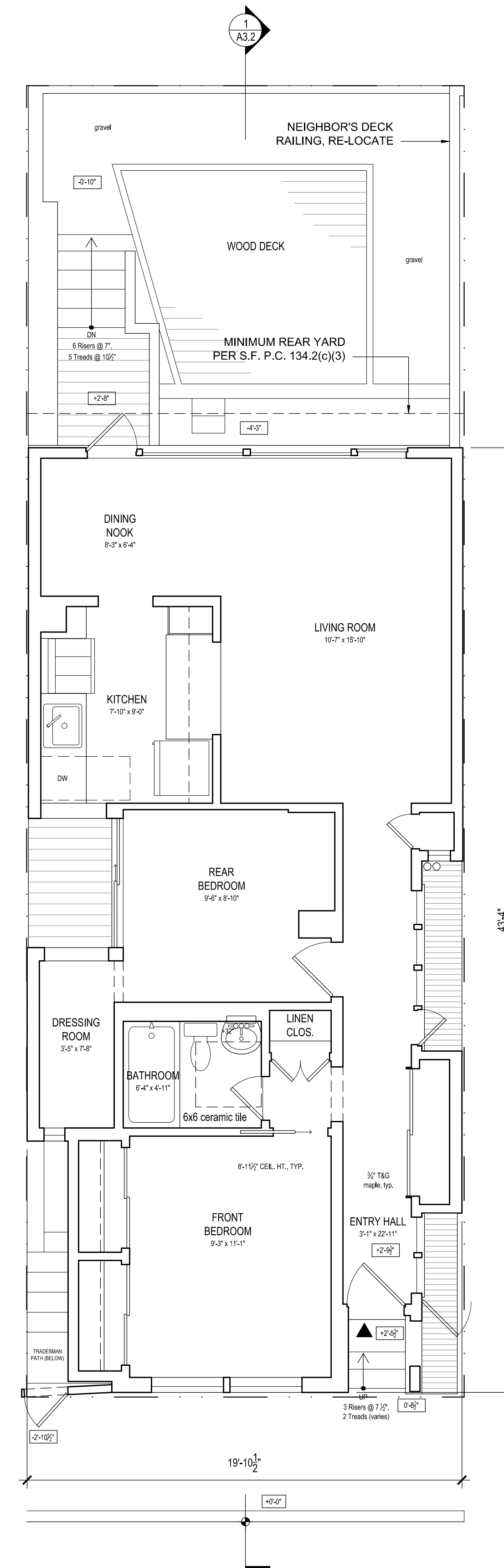
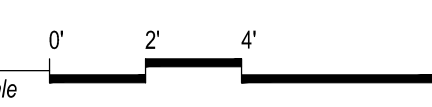
DEMO PLAN WALL LEGEND

- (E) WALL TO REMAIN
- WALL TO BE REMOVED



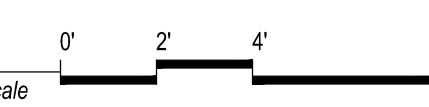
RUSSELL STREET

2 DEMOLITION PLAN
A2.0 Scale: 1/4" = 1'-0" Drawing to scale when printed on full size 36"x24" sheet, reference graphic scale



RUSSELL STREET

1 EXISTING FLOOR PLAN - LEVEL 1
A2.0 Scale: 1/4" = 1'-0" Drawing to scale when printed on full size 36"x24" sheet, reference graphic scale



SPRINCIN RESIDENCE

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EXISTING FLOOR PLAN & DEMOLITION PLAN

Scale: As Noted
Drawn By: Ian F. Ream

A2.0

FLOOR PLAN NOTES

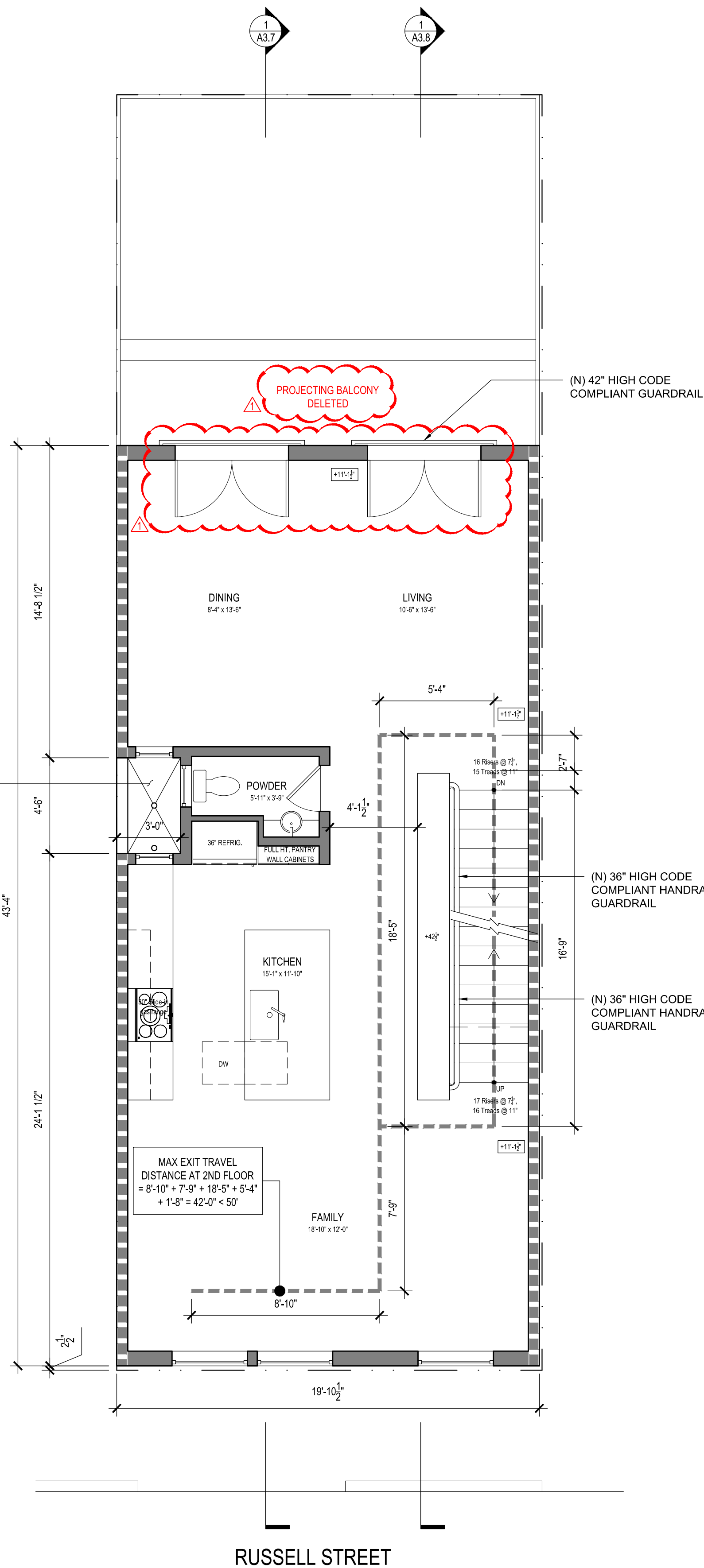
1. FIRE SEPARATION DISTANCE (FSD) COMPLIES WITH CBC TABLE 602. EXTERIOR WALLS WITHIN 5' OF THE PROPERTY LINE ARE REQUIRED TO BE ONE HOUR RATED. IN AREAS OF REMODEL, EXISTING EXTERIOR WALLS TO REMAIN WILL HAVE 5/8" TYPE X GYP. BD. APPLIED TO INTERIOR SURFACE.
2. GARAGE VENTILATION PER 406.3.3 SF BUILDING CODE: VENTILATION SHALL BE PROVIDED AS FOLLOWS: NATURAL VENTILATION SHALL BE REQUIRED, AND SUCH SPACE SHALL BE PROVIDED WITH VENTILATION OUTLETS IN THE WALLS OR EXTERIOR DOORS. THE TOTAL NET AREA OF SUCH VENTILATION OUTLETS SHALL BE 200 SQUARE INCHES FOR A SPACE UP TO 1,000 SQUARE FEET IN AREA AND SHALL BE INCREASED 30 SQUARE INCHES FOR EACH ADDITIONAL 200 SQUARE FEET OF FLOOR AREA UP TO MAXIMUM FLOOR AREA OF 3,000 SQUARE FEET.
3. ROOF DECK DRAINAGE SHALL BE CONVEYED DIRECTLY TO BUILDING DRAIN OR SEWER PER SFBC 1403.7
4. ROOF DECK SHALL MEET ALL REQUIREMENTS PER SFBC 1509.6
5. TEMPERED GLAZING: (CBC SEC 2406) ALL GLAZING SUBJECT TO HUMAN IMPACT SHALL BE TEMPERED. TEMPERED GLASS IS REQUIRED WHEN LESS THAN 60" FROM FLOOR AND WITHIN 24" RADIUS OF ANY DOOR EDGE, AT STAIR LANDINGS, OR WITHIN FIVE FEET OF THE TOP OR BOTTOM OF STAIRS.
6. EGRESS: (CBC 1026.2 & 1026.3) EVERY SLEEPING ROOM AND ANY BASEMENT MUST HAVE AT LEAST ONE OPERABLE WINDOW OR DOOR APPROVED FOR EMERGENCY RESCUE, WHICH MUST HAVE 20" MIN CLEAR WIDTH AND 24" MIN CLEAR HEIGHT, 5.7 MIN SF NET CLEAR OPENING (5.0 MIN FOR FLOOR AT GRADE), BOTTOM OF CLEAR OPENING NO MORE THAN 44" FROM THE FLOOR.
7. TOILETS: (CPC 407.8) MAINTAIN MINIMUM DIMENSION OF 15" FROM CENTERLINE TO WALL ON EITHER SIDE, AND A MINIMUM OF 24" CLEAR IN FRONT OF TOILET
8. VENTILATION: (CBC 1203) ROOMS CONTAINING BATHTUBS, SHOWERS, SPAS, AND SIMILAR BATHING FIXTURES SHALL BE MECHANICALLY VENTILATED. ROOMS CONTAINING A WATER CLOSET SHALL HAVE AN EXHAUST FAN WITH A MINIMUM OF 50 CFM.
9. HANDRAILS AND GUARDS: (CBC 1012 AND 1013) HANDRAILS SHALL BE 34" TO 38" HIGH ABOVE TREAD NOSING AND GUARDS SHALL BE 42" HIGH MINIMUM. OPEN SPACE SHALL NOT ALLOW A 4" DIAMETER SPHERE TO PASS THROUGH. HANDRAIL ENDS RETURNED TO WALL OR ROUNDED TERMINATIONS OR BENDS. STARTING OR VOLUTE NEWEL MAY BE USED AT FIRST TREAD. HANDRAILS AND GUARDS SHALL BE MOUNTED SO THAT THE COMPLETED RAIL AND SUPPORTING STRUCTURE ARE CAPABLE OF WITHSTANDING A LOAD OF AT LEAST 200 POUNDS APPLIED AT ANY DIRECTION AT ANY POINT OF THE RAIL. (CBC 1607.7.1.1)
10. STAIRS: (CBC 1009) MAXIMUM RISER HEIGHT SHALL BE 7 7/8" AND THE MINIMUM TREAD DEPTH SHALL BE 10". (CBC 1009.4.2 EXP-5) THE TOLERANCE BETWEEN THE LARGEST AND SMALLEST TREAD DEPTH OR RISER HEIGHT SHALL NOT EXCEED 3/8". (CBC 1009.4.4) STAIRWAYS SHALL HAVE MINIMUM HEADROOM CLEARANCE 80" MEASURED VERTICALLY FROM A LINE CONNECTING THE EDGE OF THE NOSING. (CBC 1009.2)

WALL LEGEND

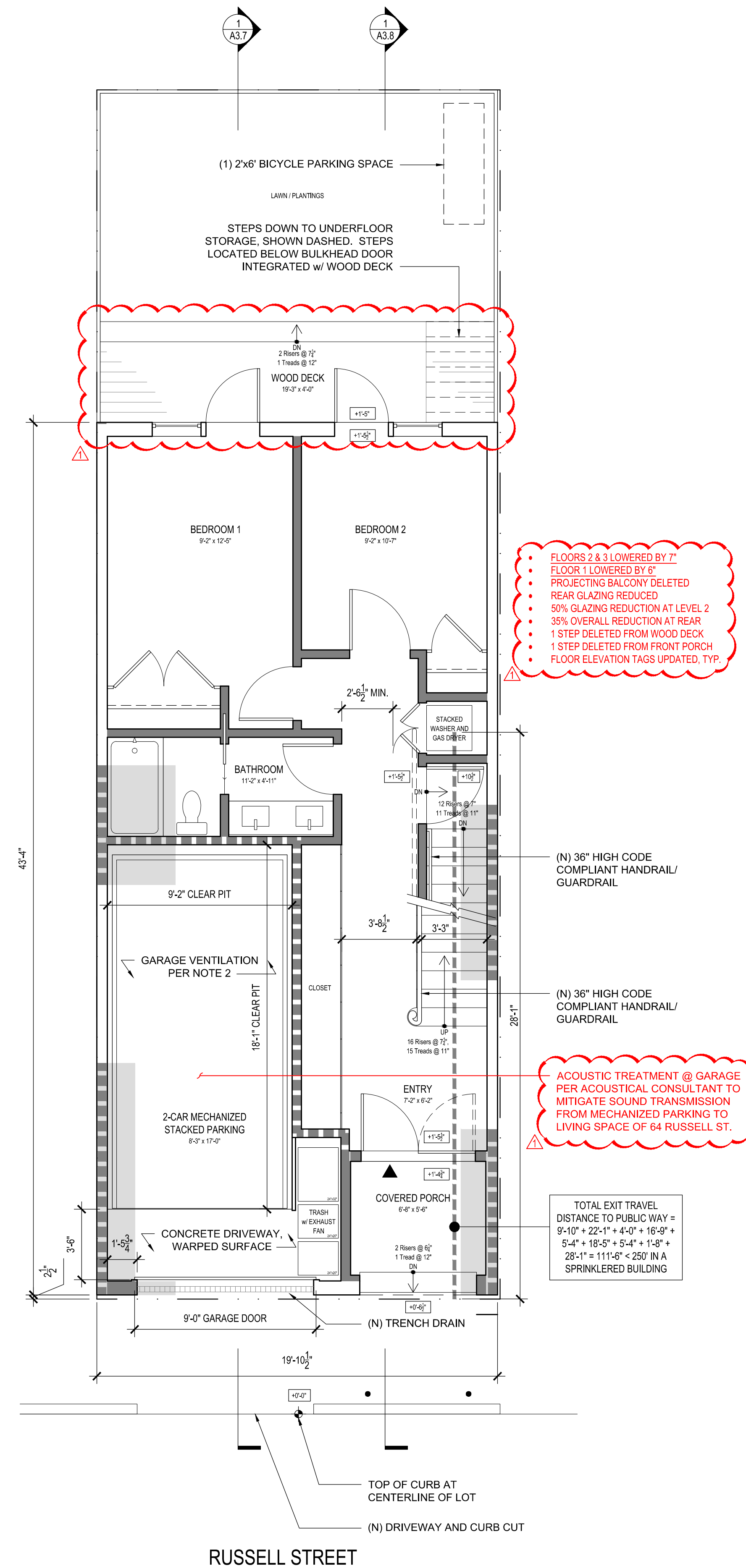
- (E) WALL TO REMAIN
- NEW WALL
- NEW 1-HR RATED WALL
- AREA OF PROPOSED HORIZONTAL ADDITION

LIGHT WELL AT LEVELS 2 & 3, SIMILAR TO WEST NEIGHBOR'S LIGHT WELL. FLAT ROOF OF LEVEL 1 BELOW

2'-5" LIGHT WELL FLOOR HEIGHT REDUCTION (6" FLOOR 1 + 11-11" ADDITIONAL LOWERING) SET FLOOR TO MATCH NEIGHBOR'S WINDOW SILLS



2 PROPOSED FLOOR PLAN - LEVEL 2
Scale: 1/4" = 1'-0"
Drawing to scale when printed on full size 36"x24" sheet, reference graphic scale



1 PROPOSED FLOOR PLAN - LEVEL 1
Scale: 1/4" = 1'-0"
Drawing to scale when printed on full size 36"x24" sheet, reference graphic scale

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PROPOSED FLOOR PLANS

Scale: As Noted
Drawn By: Ian F. Ream

A2.1

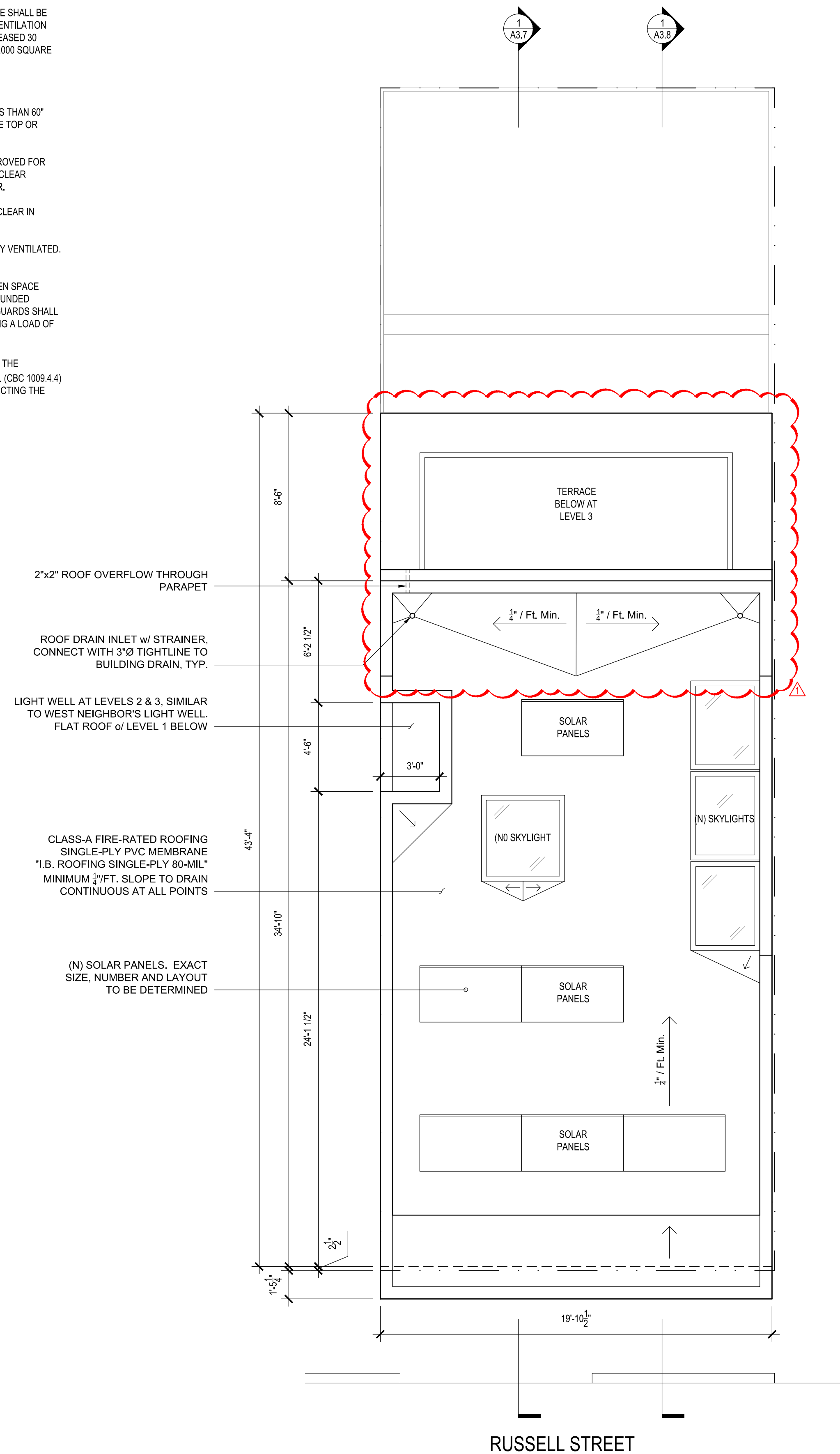
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FLOOR PLAN NOTES

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5. TEMPERED GLAZING: (CBC SEC 2406)
ALL GLAZING SUBJECT TO HUMAN IMPACT SHALL BE TEMPERED. TEMPERED GLASS IS REQUIRED WHEN LESS THAN 60" FROM FLOOR AND WITHIN 24" RADIUS OF ANY DOOR EDGE, AT STAIR LANDINGS, OR WITHIN FIVE FEET OF THE TOP OR BOTTOM OF STAIRS.
6. EGRESS: (CBC 1026.2 & 1026.3)
EVERY SLEEPING ROOM AND ANY BASEMENT MUST HAVE AT LEAST ONE OPERABLE WINDOW OR DOOR APPROVED FOR EMERGENCY RESCUE, WHICH MUST HAVE 20" MIN CLEAR WIDTH AND 24" MIN CLEAR HEIGHT, 5.7 MIN SF NET CLEAR OPENING (5.0 MIN FOR FLOOR AT GRADE), BOTTOM OF CLEAR OPENING NO MORE THAN 44" FROM THE FLOOR.
7. TOILETS: (CPC 407.8)
MAINTAIN MINIMUM DIMENSION OF 15" FROM CENTERLINE TO WALL ON EITHER SIDE, AND A MINIMUM OF 24" CLEAR IN FRONT OF TOILET
8. VENTILATION: (CBC 1203)
ROOMS CONTAINING BATHTUBS, SHOWERS, SPAS, AND SIMILAR BATHING FIXTURES SHALL BE MECHANICALLY VENTILATED. ROOMS CONTAINING A WATER CLOSET SHALL HAVE AN EXHAUST FAN WITH A MINIMUM OF 50 CFM.
9. HANDRAILS AND GUARDS: (CBC 1012 AND 1013)
HANDRAILS SHALL BE 34" TO 38" HIGH ABOVE TREAD NOSING AND GUARDS SHALL BE 42" HIGH MINIMUM. OPEN SPACE SHALL NOT ALLOW A 4" DIAMETER SPHERE TO PASS THROUGH. HANDRAIL ENDS RETURNED TO WALL OR ROUNDED TERMINATIONS OR BENDS. STARTING OR VOLUTE NEWEL MAY BE USED AT FIRST TREAD. HANDRAILS AND GUARDS SHALL BE MOUNTED SO THAT THE COMPLETED RAIL AND SUPPORTING STRUCTURE ARE CAPABLE OF WITHSTANDING A LOAD OF AT LEAST 200 POUNDS APPLIED AT ANY DIRECTION AT ANY POINT OF THE RAIL. (CBC 1607.7.1.1)
10. STAIRS: (CBC 1009)
MAXIMUM RISER HEIGHT SHALL BE 7 7/8" AND THE MINIMUM TREAD DEPTH SHALL BE 10". (CBC 1009.4.2 EXP-5) THE TOLERANCE BETWEEN THE LARGEST AND SMALLEST TREAD DEPTH OR RISER HEIGHT SHALL NOT EXCEED 1/8". (CBC 1009.4.4)
STAIRWAYS SHALL HAVE MINIMUM HEADROOM CLEARANCE 80" MEASURED VERTICALLY FROM A LINE CONNECTING THE EDGE OF THE NOSING. (CBC 1009.2)

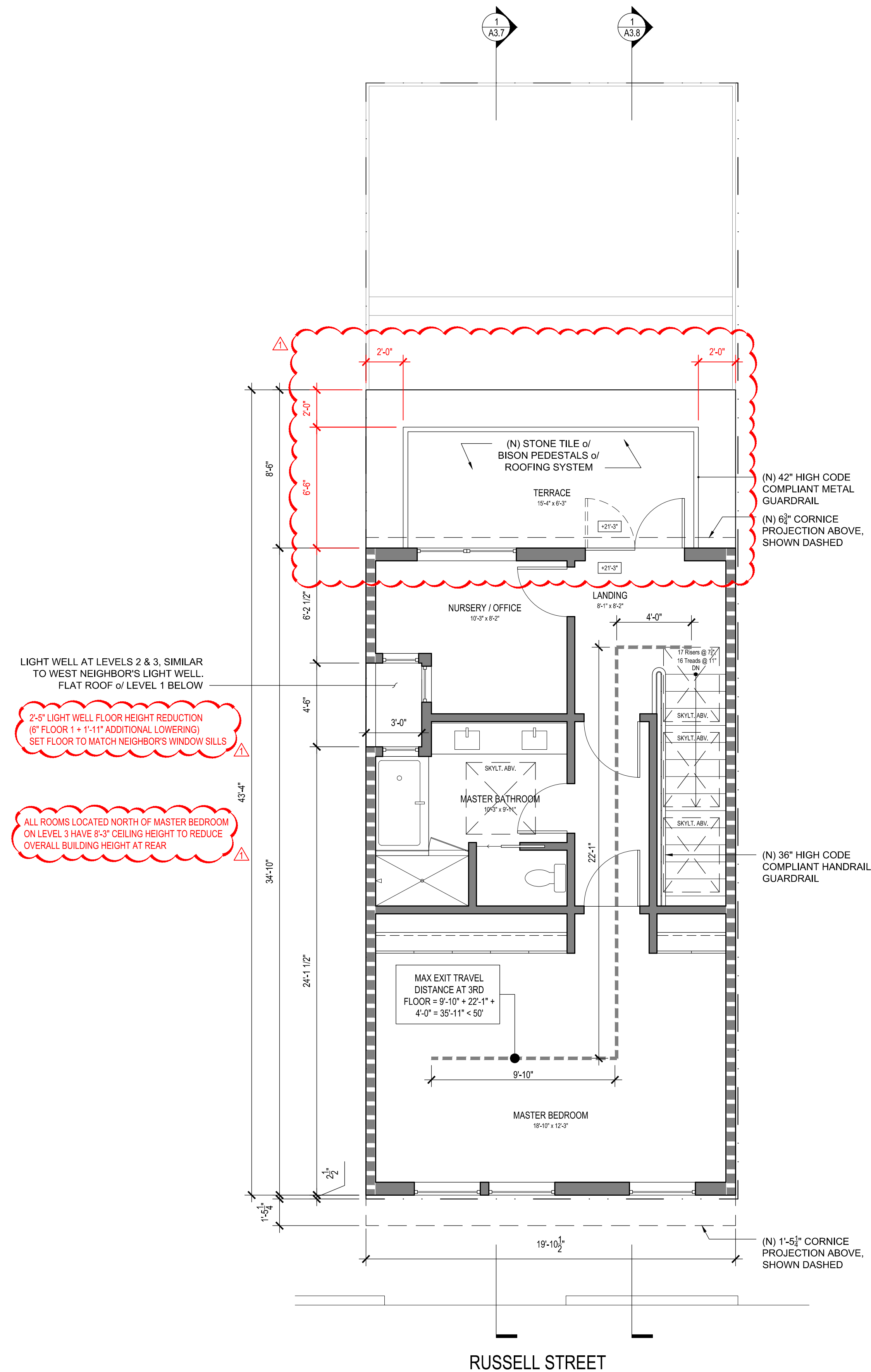
WALL LEGEND

- (E) WALL TO REMAIN
- NEW WALL
- NEW 1-HR RATED WALL
- AREA OF PROPOSED HORIZONTAL ADDITION



2 PROPOSED ROOF PLAN

Scale: 1/4" = 1'-0" Drawing to scale when printed on full size 36"x24" sheet, reference graphic scale



1 PROPOSED FLOOR PLAN - LEVEL 3

Scale: 1/4" = 1'-0" Drawing to scale when printed on full size 36"x24" sheet, reference graphic scale

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| 11.07.2014 | Planning | |
| 11.18.2015 | 311 Notification | |
| 07.22.2016 | Revisions | |

PROPOSED FLOOR AND ROOF PLANS

Scale: As Noted
Drawn By: Ian F. Ream

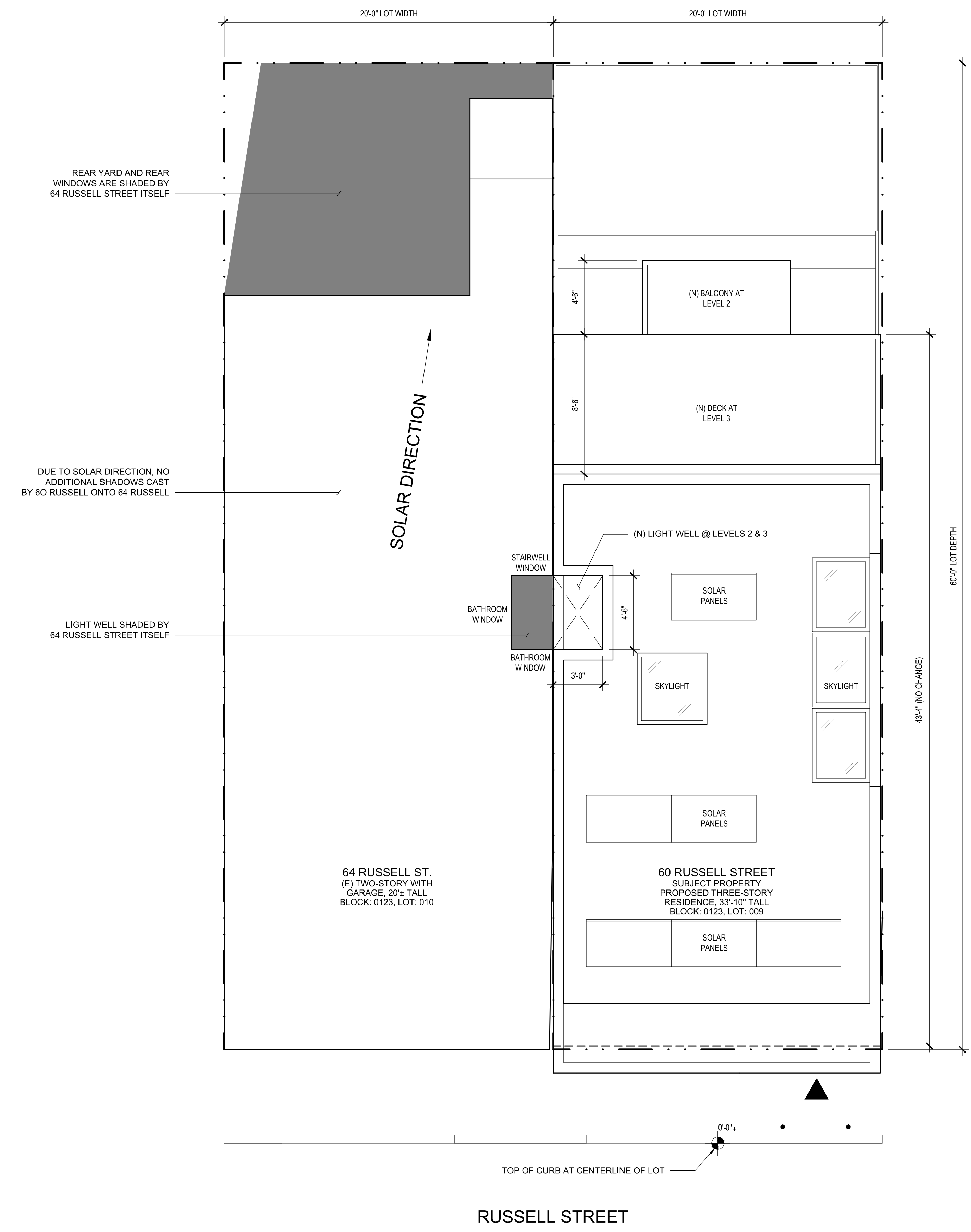
A2.2

SHADOW LEGEND

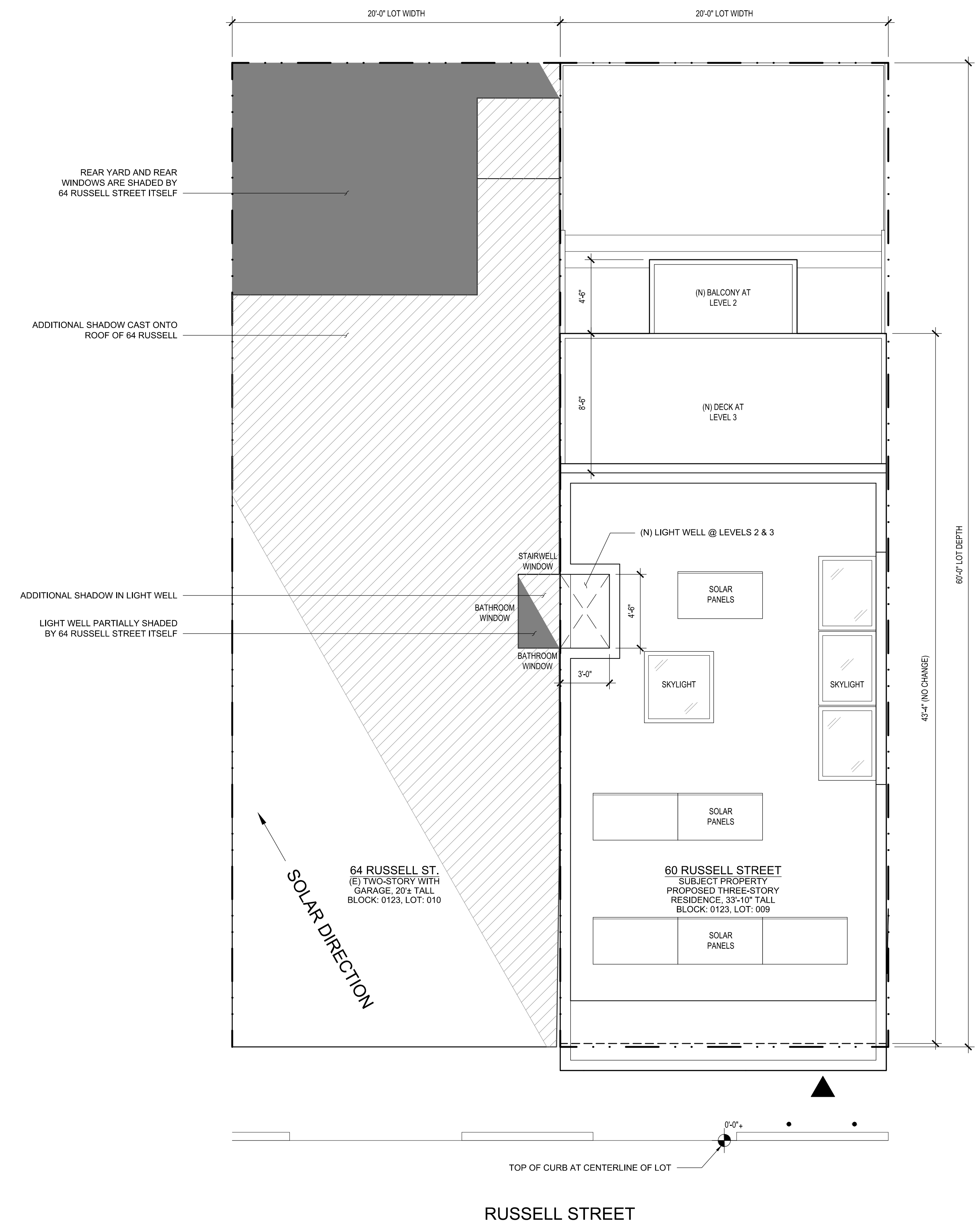
EXISTING SHADOWS CAST BY 64 RUSSELL STREET

ADDITIONAL SHADOWS CAST BY PROPOSED ADDITION TO 60 RUSSELL STREET

NOTE: THIS GRAPHIC ONLY DEPICTS SHADOWS CAST BY 60 RUSSELL STREET AND 64 RUSSELL STREET, WHICH FALL ON 64 RUSSELL STREET. SHADOWS CAST BY OTHER PROPERTIES AND/OR FALLING ONTO OTHER PROPERTIES ARE NOT DEPICTED IN THIS GRAPHIC.



2 DECEMBER 21st - NOON 12:00pm
 Scale: 1/4" = 1'-0"
 Drawing to scale when printed on full size 36"x24" sheet, reference graphic scale



1 DECEMBER 21st - MORNING 9:22am
 Scale: 1/4" = 1'-0"
 Drawing to scale when printed on full size 36"x24" sheet, reference graphic scale

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| 11.07.2014 | Planning | |
| 11.18.2015 | 311 Notification | |
| 02.19.2016 | Shadow Study | |

SHADOW STUDY FOR 64 RUSSELL ST.

Scale: As Noted
 Drawn By: Ian F. Ream

A2.3

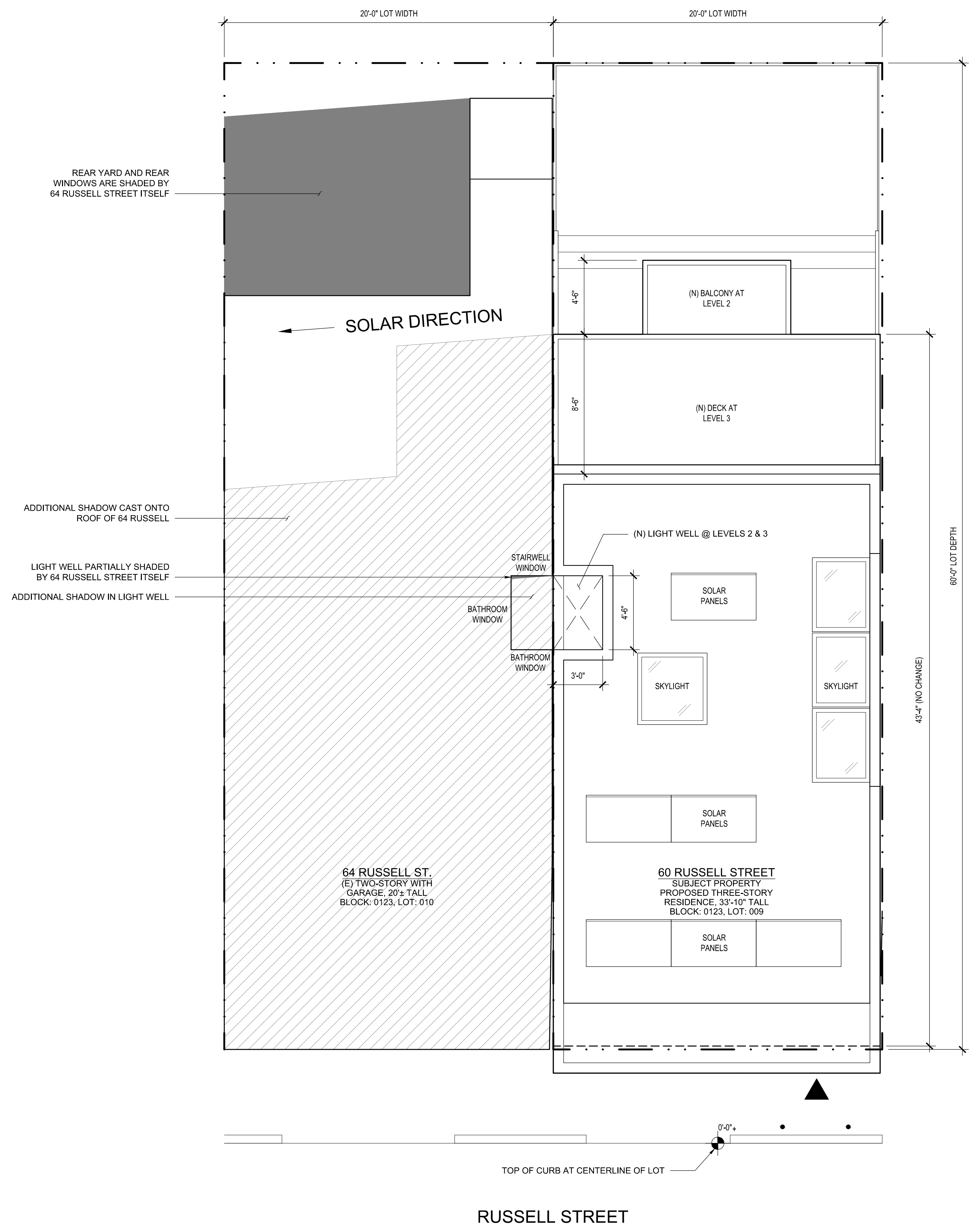
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SHADOW LEGEND

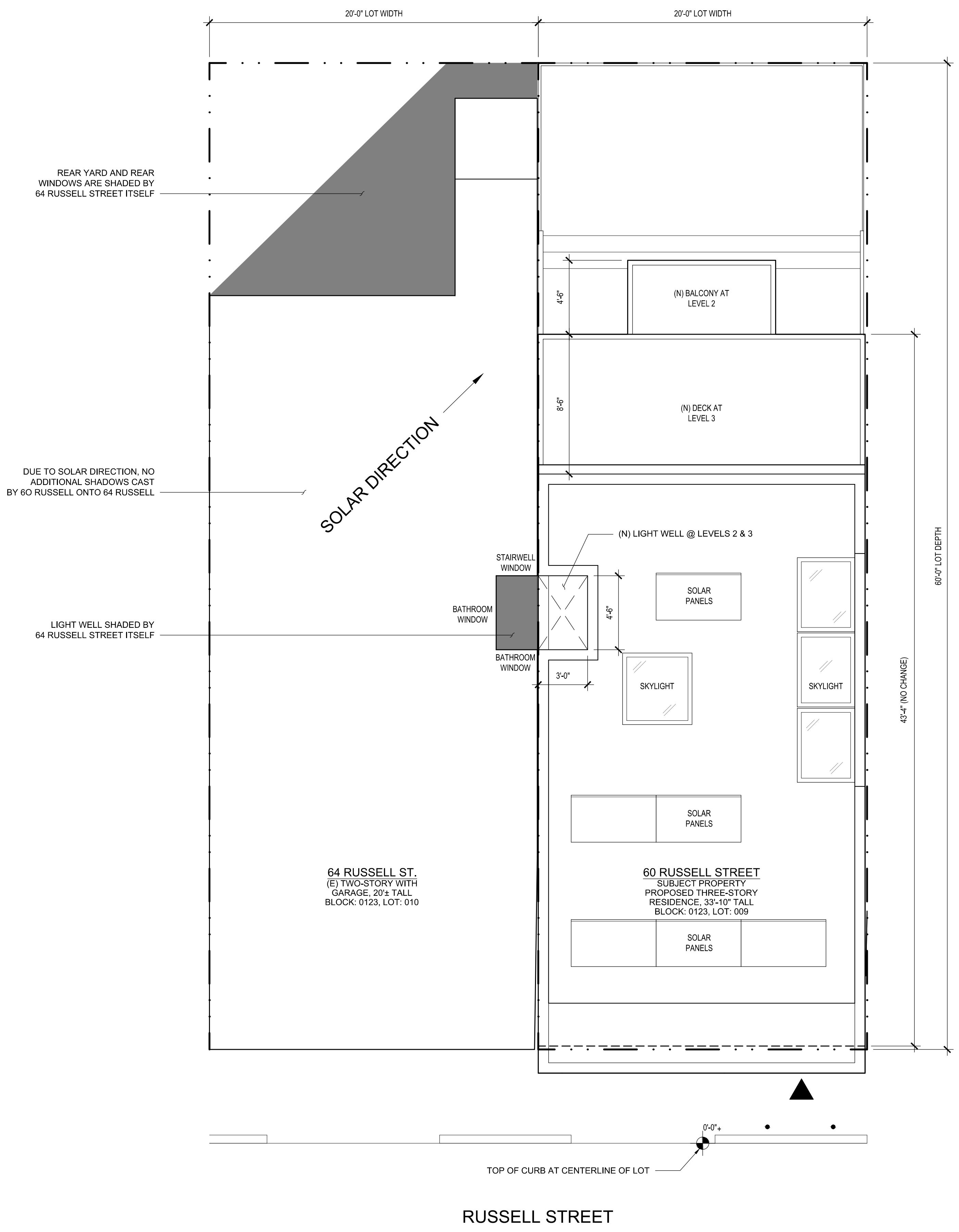
EXISTING SHADOWS CAST BY 64 RUSSELL STREET

ADDITIONAL SHADOWS CAST BY PROPOSED ADDITION TO 60 RUSSELL STREET

NOTE: THIS GRAPHIC ONLY DEPICTS SHADOWS CAST BY 60 RUSSELL STREET AND 64 RUSSELL STREET, WHICH FALL ON 64 RUSSELL STREET. SHADOWS CAST BY OTHER PROPERTIES AND/OR FALLING ONTO OTHER PROPERTIES ARE NOT DEPICTED IN THIS GRAPHIC.



2 JUNE 21st - MORNING 7:48am
 Scale: 1/4" = 1'-0" Drawing to scale when printed on full size 36"x24" sheet, reference graphic scale



1 DECEMBER 21st - AFTERNOON 4:55pm
 Scale: 1/4" = 1'-0" Drawing to scale when printed on full size 36"x24" sheet, reference graphic scale

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|------------|------------------|----------------------|
| 09.22.2014 | Neighbor Meeting | |
| 11.07.2014 | Planning | |
| 11.18.2015 | 311 Notification | |
| 02.19.2016 | Shadow Study | |

SHADOW STUDY FOR 64 RUSSELL ST.

Scale: As Noted
 Drawn By: Ian F. Ream

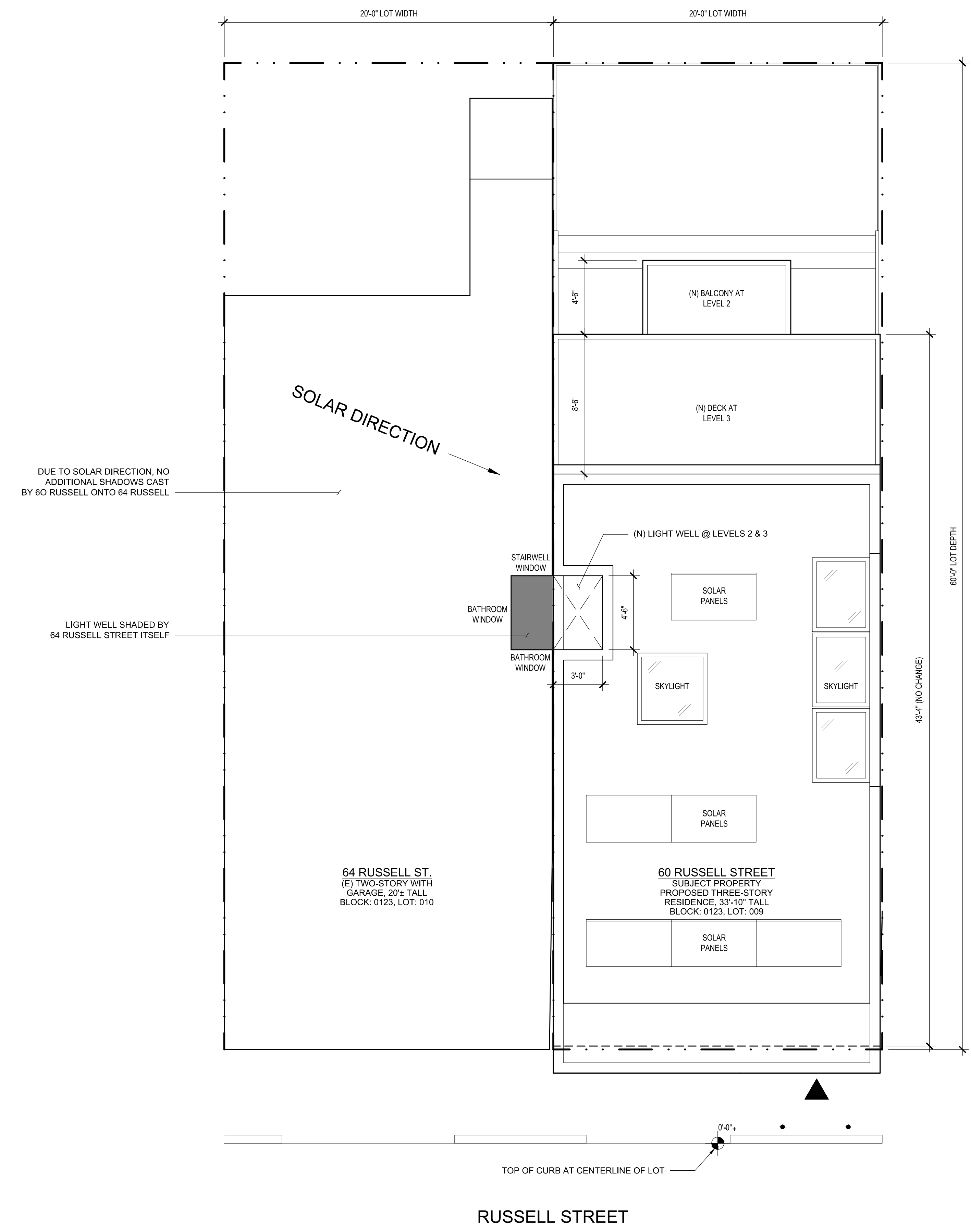
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SHADOW LEGEND

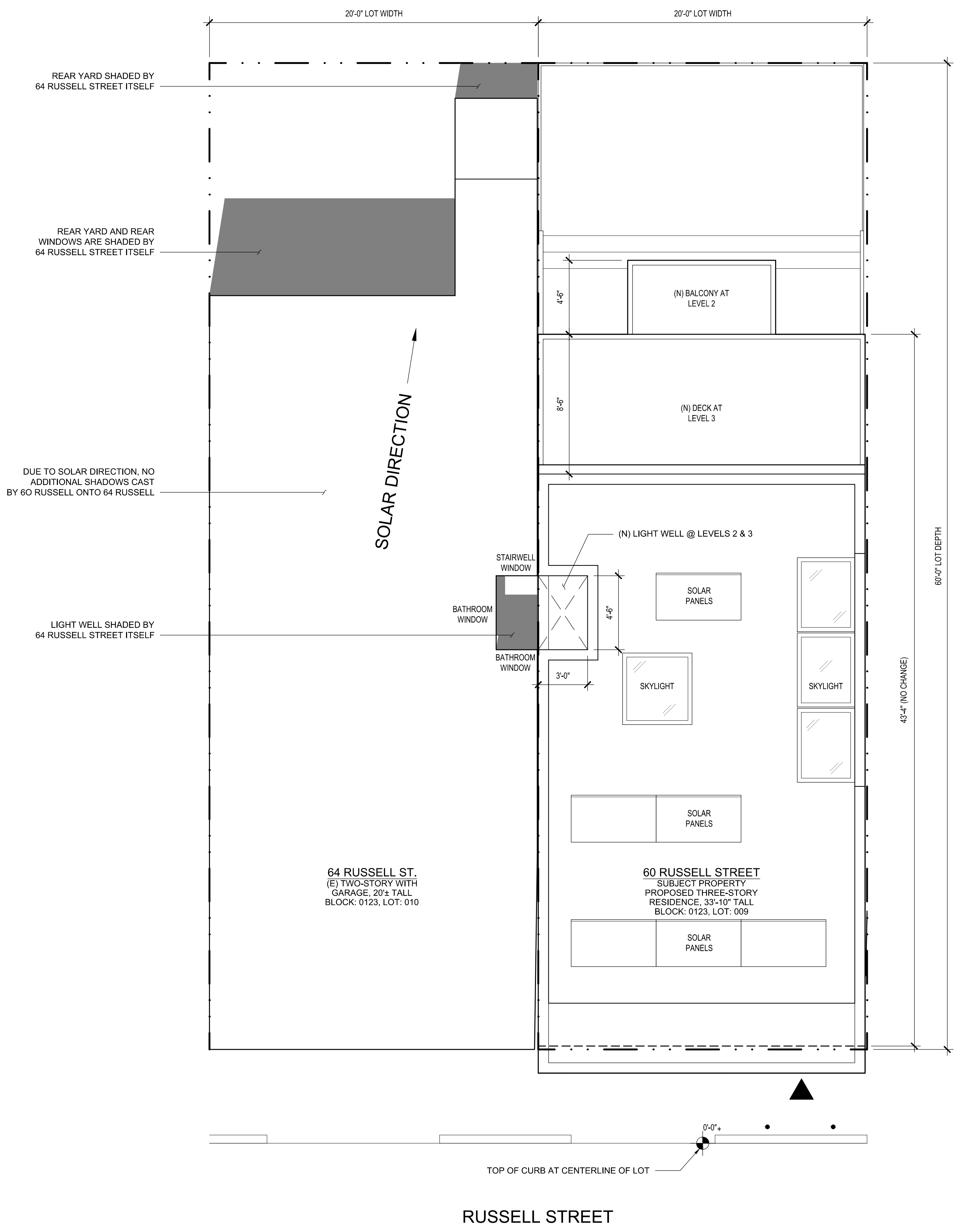
EXISTING SHADOWS CAST BY 64 RUSSELL STREET

ADDITIONAL SHADOWS CAST BY PROPOSED ADDITION TO 60 RUSSELL STREET

NOTE: THIS GRAPHIC ONLY DEPICTS SHADOWS CAST BY 60 RUSSELL STREET AND 64 RUSSELL STREET, WHICH FALL ON 64 RUSSELL STREET. SHADOWS CAST BY OTHER PROPERTIES AND/OR FALLING ONTO OTHER PROPERTIES ARE NOT DEPICTED IN THIS GRAPHIC.



2 JUNE 21st - AFTERNOON 6:35pm
 Scale: 1/4" = 1'-0" Drawing to scale when printed on full size 36"x24" sheet, reference graphic scale



1 JUNE 21st - NOON 12:00pm
 Scale: 1/4" = 1'-0" Drawing to scale when printed on full size 36"x24" sheet, reference graphic scale

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| 11.18.2015 | 311 Notification | |
| 02.19.2016 | Shadow Study | |

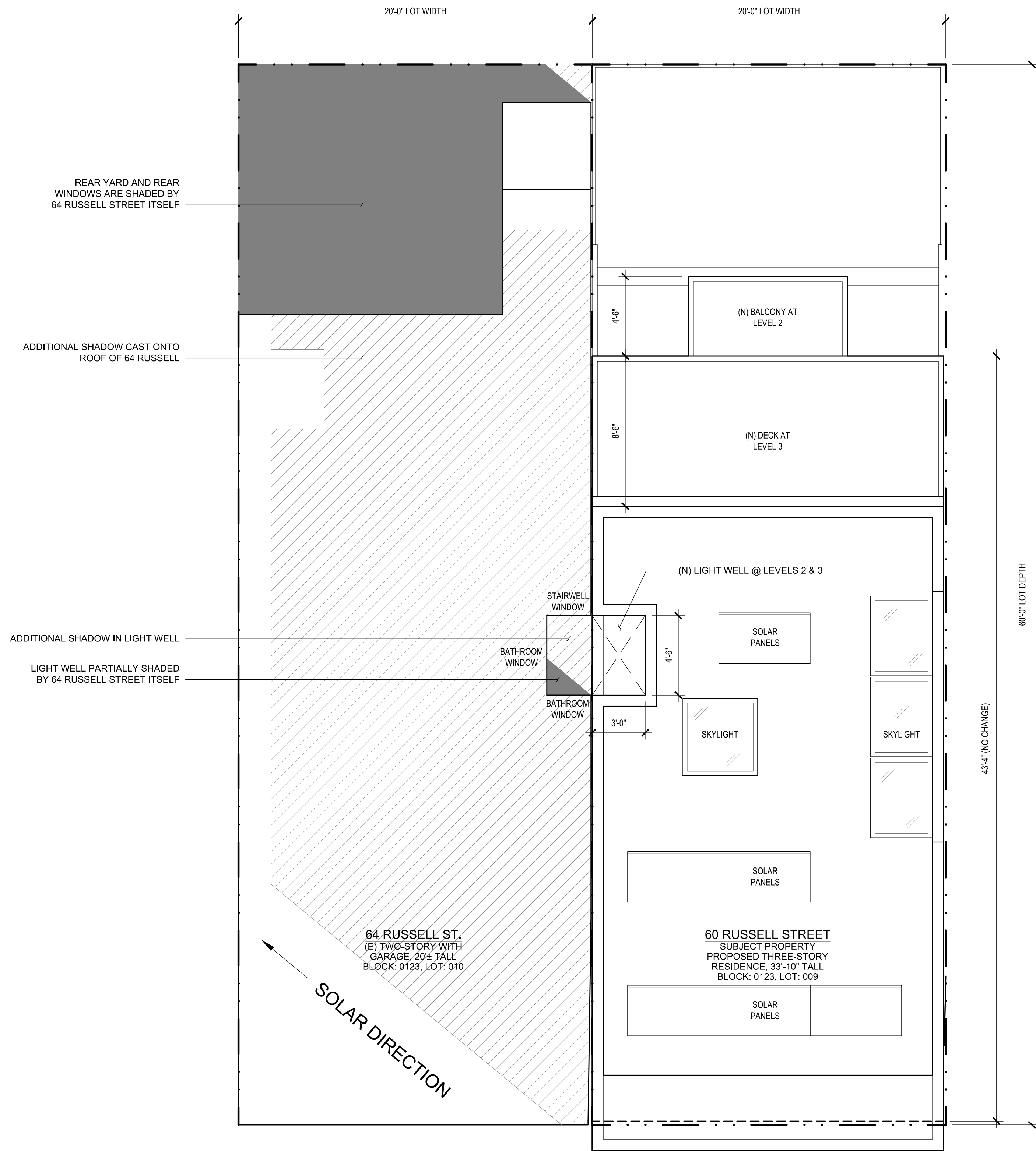
SHADOW STUDY FOR 64 RUSSELL ST.

Scale: As Noted
 Drawn By: Ian F. Ream

A2.5

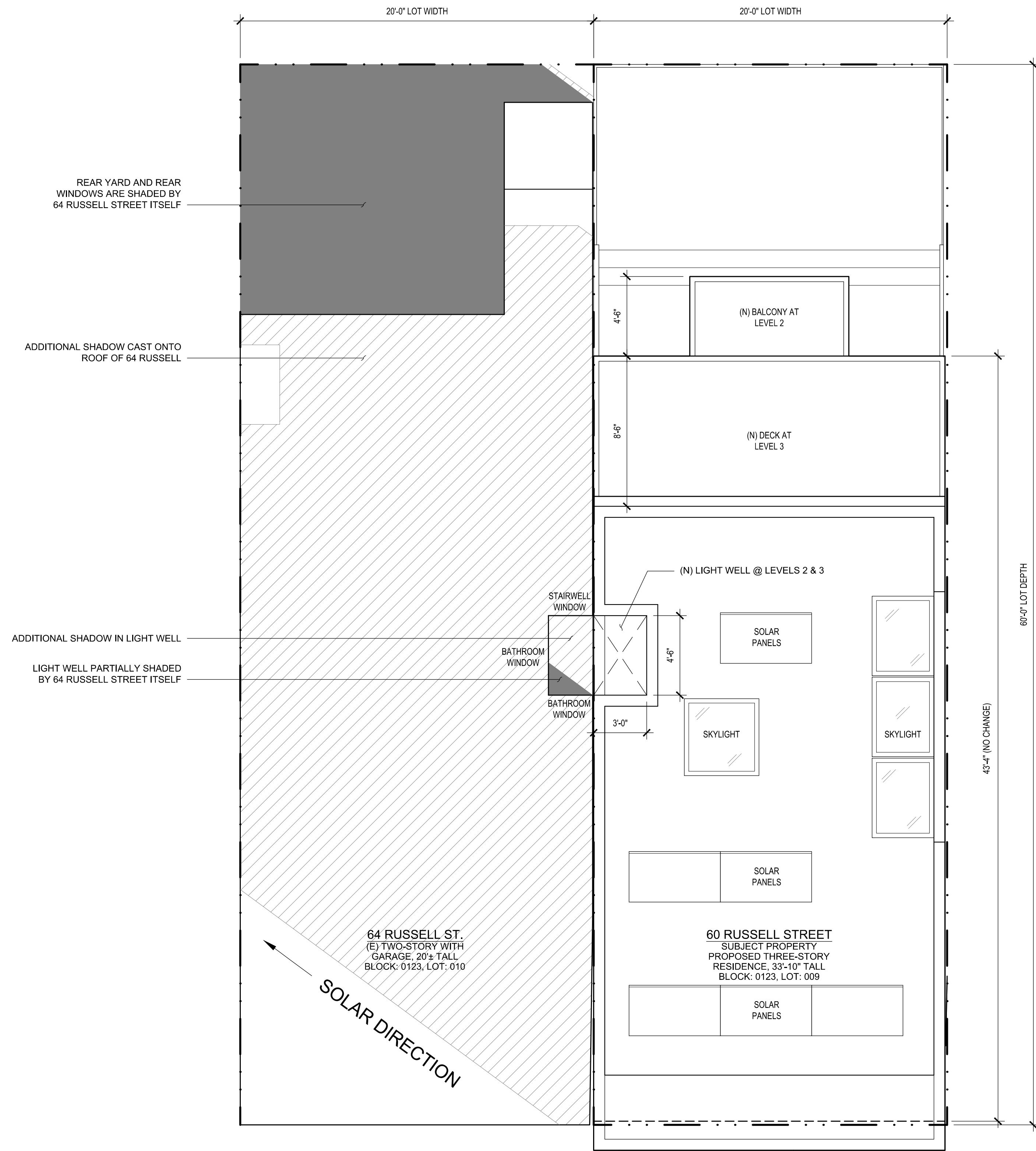
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2 SEPTEMBER 21st - MORNING 10:00am
Scale: 1/4" = 1'-0" Drawing to scale when printed on full size 36"x24" sheet, reference graphic scale

NOTE: THIS GRAPHIC ONLY DEPICTS SHADOWS CAST BY 60 RUSSELL STREET AND 64 RUSSELL STREET, WHICH FALL ON 64 RUSSELL STREET. SHADOWS CAST BY OTHER PROPERTIES AND/OR FALLING ONTO OTHER PROPERTIES ARE NOT DEPICTED IN THIS GRAPHIC.



1 MARCH 21st - MORNING 10:00am
Scale: 1/4" = 1'-0" Drawing to scale when printed on full size 36"x24" sheet, reference graphic scale

SHADOW LEGEND

- EXISTING SHADOWS CAST BY 64 RUSSELL STREET
- ADDITIONAL SHADOWS CAST BY PROPOSED ADDITION TO 60 RUSSELL STREET

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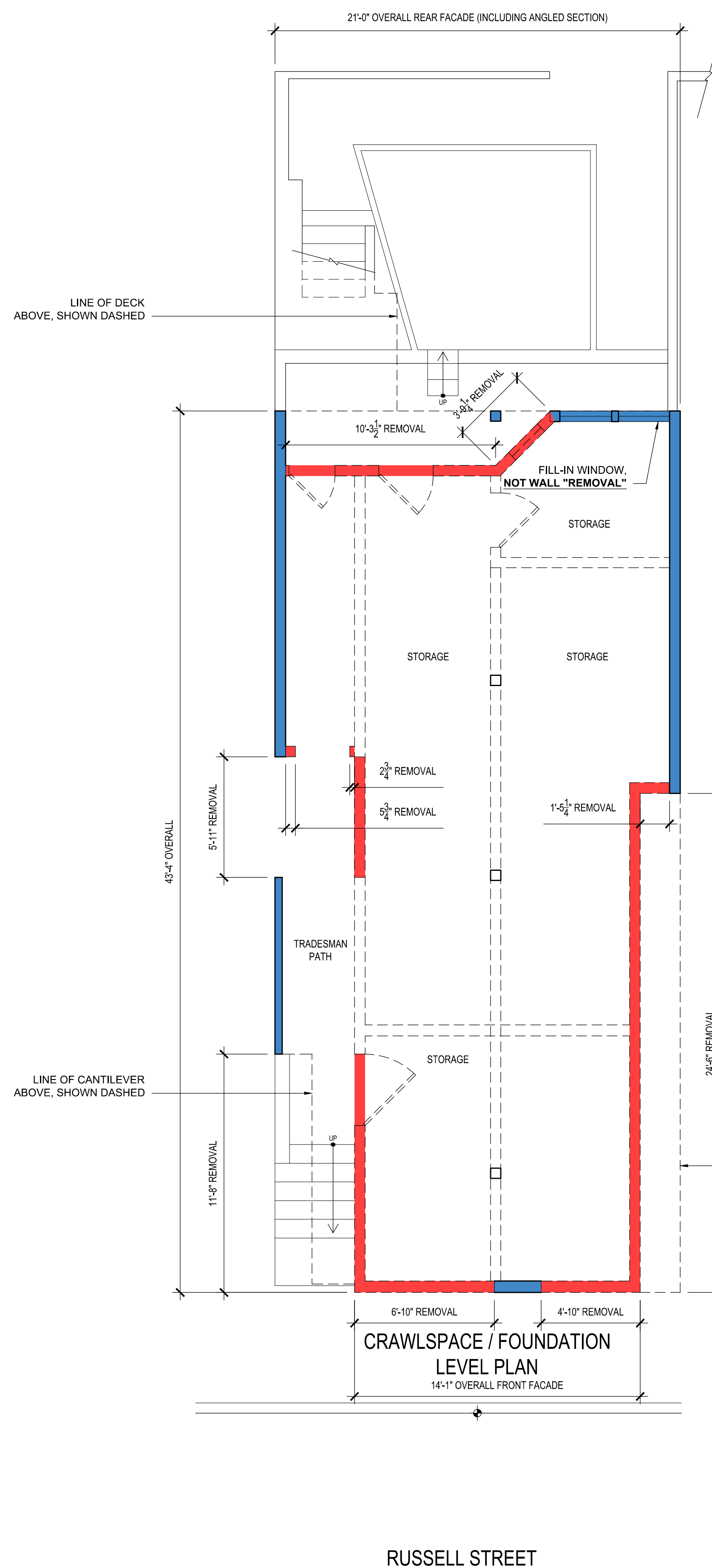
| No. | Date | Issues and Revisions |
|------------|------------------|----------------------|
| 09.22.2014 | Neighbor Meeting | |
| 11.07.2014 | Planning | |
| 11.18.2015 | 311 Notification | |
| 03.01.2016 | Shadow Study | |

SHADOW STUDY FOR 64 RUSSELL ST.

Scale: As Noted
Drawn By: Ian F. Ream

A2.6

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EXTERIOR WALL REMOVAL: LINEAR FEET

| ELEMENT | LENGTH (LF) | REMOVED (LF) | % REMOVED |
|--------------------------------|-------------|--------------|-----------|
| SOUTH ELEVATION (FRONT FACADE) | 14'-1" | 11'-8" | 83% |
| NORTH ELEVATION (REAR FACADE) | 21'-0" | 14'-1" | 67% |
| FRONT AND REAR FACADES | 35'-1" | 25'-9" | 74% |
| SOUTH FACING WING WALLS | 2'-2" | 2'-2" | 100% |
| EAST ELEVATION (SIDE) | 43'-4" | 24'-6" | 57% |
| WEST ELEVATION (SIDE) | 43'-4" | 16'-7" | 38% |
| TOTALS: | 123'-11" | 69'-0" | 56% |

DETERMINATION:

NOT RESIDENTIAL DEMOLITION
SUM OF ALL EXTERIOR WALLS REMOVED = 56% < 65%

SEC. 317(b)(2)(B):
"A major alteration of a Residential Building that proposes the Removal of more than 50% of the sum of the Front Facade and Rear Facade and also proposes the Removal of more than 65% of the sum of all exterior walls, measured in lineal feet at the foundation level"

Per S.F. Zoning Controls on the Removal of Dwelling Units, p.8 Notes & Clarifications #4.:
"Where an existing window is removed and filled-in with solid wall and a new window is installed in a different location on the same wall, there is no "Removal". This is simply remodeling, because there is no change to the exterior volume of the building and the majority of the wall structure remains in place. If a bay projecting beyond the existing wall plane were installed instead of a window within the existing wall plane, the vertical area of the bay would count as removal."

EXISTING WALLS TO REMAIN TO BE SUPPORTED BY FOUNDATIONS. EXISTING HORIZONTAL ELEMENTS TO BE REMOVED WITHOUT COMPROMISING STRUCTURAL INTEGRITY OF SUPPORTING WALLS. NEW HORIZONTAL ELEMENTS TO BE SUPPORTED BY EXTERIOR WALLS WITHOUT COMPROMISING STRUCTURAL INTEGRITY OF WALLS.

WALL REMOVAL ANALYSIS PLAN LEGEND

- █ EXTERIOR WALL / FACADE TO REMAIN
- █ EXTERIOR WALL TO BE REMOVED

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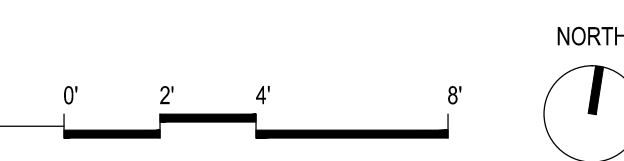
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EXTERIOR WALLS REMOVAL ANALYSIS PLAN

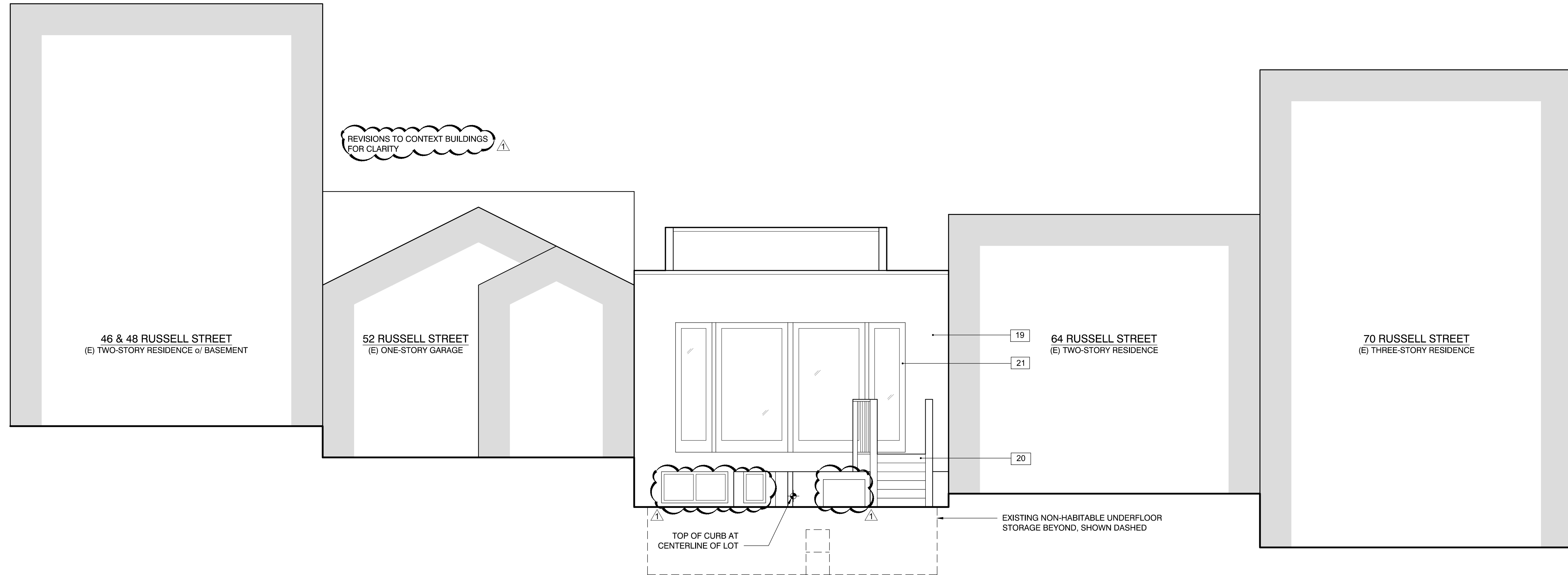
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A2.7

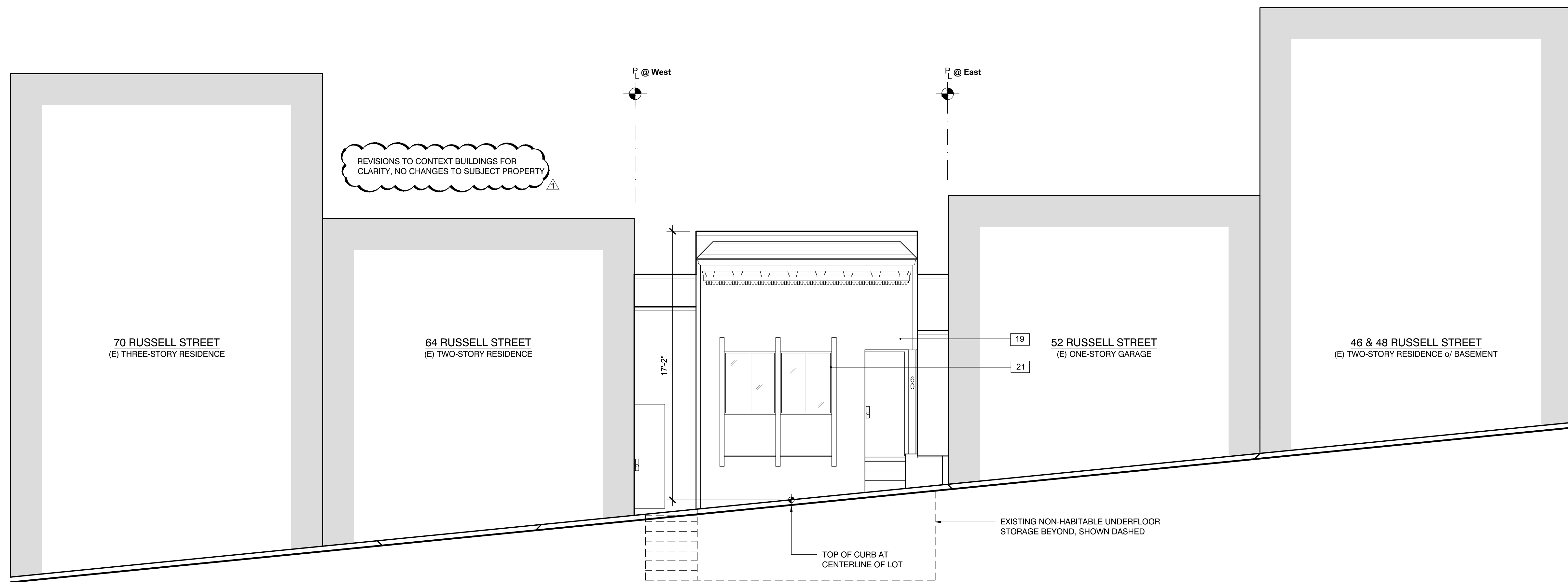


ELEVATION & SECTION KEY NOTES

- 1 CONCRETE FOUNDATION, MATCH (E) FOUNDATION PROFILE
- 2 SMOOTH T&G WOOD SIDING, PAINTED
- 3 BUILT-UP WOOD CORNICE, PAINTED
- 4 WOOD TRIM, PAINTED
- 5 REDWOOD DECK / STAIRS
- 6 WOOD STAIRS / PORCH, PAINTED
- 7 WOOD ENTRY DOOR w/ GLAZED LITES, PAINTED
- 8 ALUMINUM CLAD WOOD DOOR / WINDOW, PAINTED
- 9 42" HIGH CODE-COMPLIANT METAL GUARDRAIL
- 10 42" HIGH PARAPET / GUARDRAIL
- 11 NOT USED
- 12 EXTERIOR LIGHT FIXTURE, SHIELDED
- 13 METAL ADDRESS NUMBERS, 4" TALL
- 14 SKYLIGHT
- 15 SOLAR PANELS, EXACT SIZE, NUMBER AND LOCATION T.B.D.
- 16 METAL FLASHING, PAINTED
- 17 ROOF OVERFLOW SCUPPER, PAINTED METAL
- 18 AUTOMATIC GARAGE DOOR, WOOD PANEL w/ VENTS, PAINTED
- 19 EXISTING WOOD SIDING, TO BE REPLACED
- 20 EXISTING REDWOOD DECK / STAIRS, TO BE REPLACED
- 21 EXISTING WINDOW / DOOR, TO BE REMOVED
- 22 BUILT-UP WOOD WATER TABLE TRIM w/ METAL FLASHING, PAINTED
- 23 PROJECTING WINDOW / DOOR HOOD TRIM, PAINTED WOOD



2 EXISTING NORTH EXTERIOR ELEVATION
 Scale: 1/4" = 1'-0" Drawing to scale when printed on full size 36"x24" sheet, reference graphic scale



1 EXISTING SOUTH EXTERIOR ELEVATION
 Scale: 1/4" = 1'-0" Drawing to scale when printed on full size 36"x24" sheet, reference graphic scale

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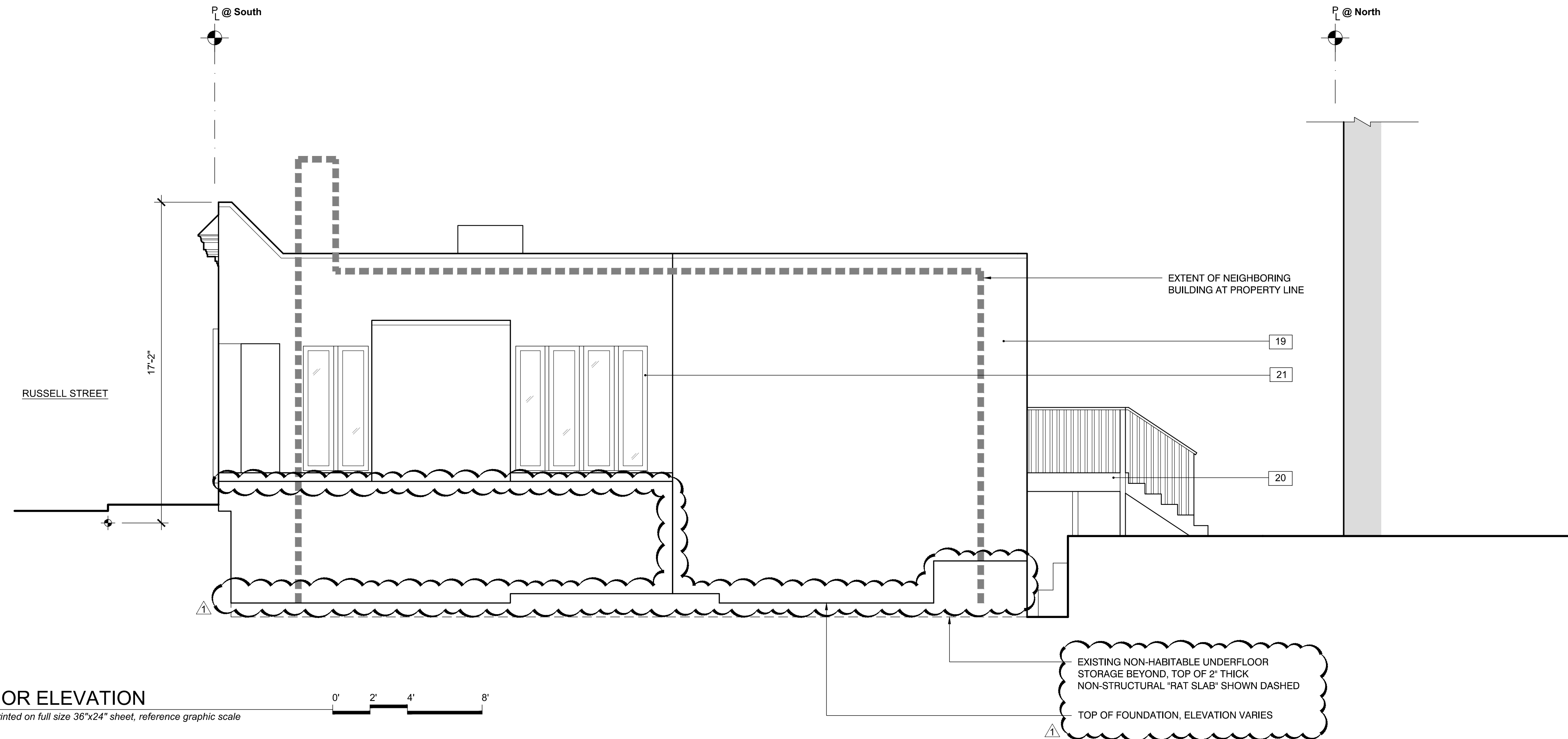
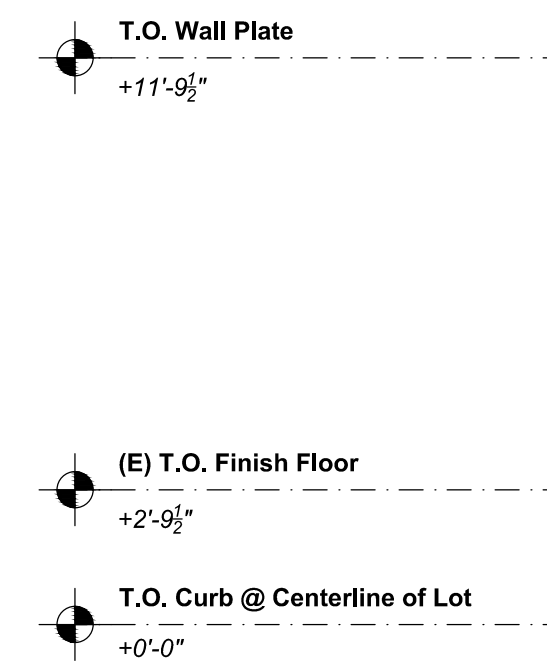
EXISTING EXTERIOR ELEVATIONS

Scale: As Noted
 Drawn By: Ian F. Ream

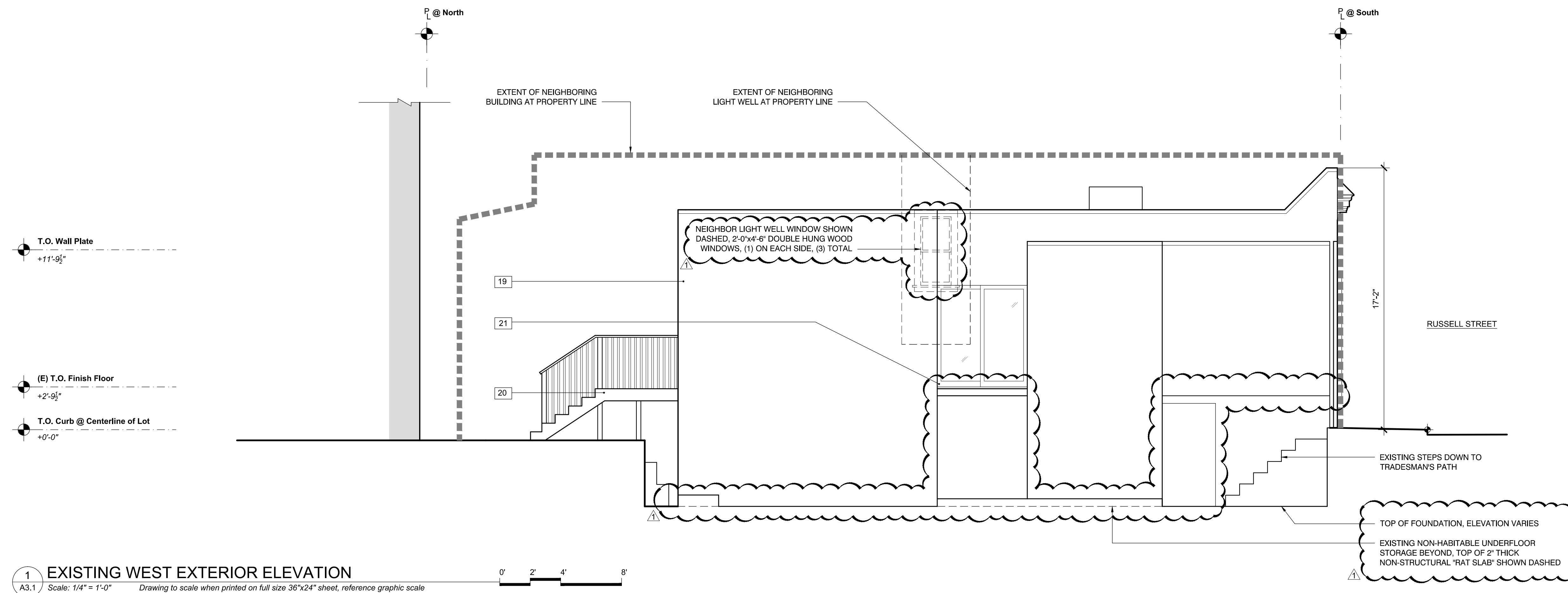
A3.0

ELEVATION & SECTION KEY NOTES

- 1 CONCRETE FOUNDATION, MATCH (E) FOUNDATION PROFILE
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- 19 EXISTING WOOD SIDING, TO BE REPLACED
- 20 EXISTING REDWOOD DECK / STAIRS, TO BE REPLACED
- 21 EXISTING WINDOW / DOOR, TO BE REMOVED
- 22 BUILT-UP WOOD WATER TABLE TRIM w/ METAL FLASHING, PAINTED
- 23 PROJECTING WINDOW / DOOR HOOD TRIM, PAINTED WOOD



2 EXISTING EAST EXTERIOR ELEVATION
 A3.1 Scale: 1/4" = 1'-0" Drawing to scale when printed on full size 36"x24" sheet, reference graphic scale



1 EXISTING WEST EXTERIOR ELEVATION
 A3.1 Scale: 1/4" = 1'-0" Drawing to scale when printed on full size 36"x24" sheet, reference graphic scale

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EXISTING EXTERIOR ELEVATIONS

Scale: As Noted
 Drawn By: Ian F. Ream

A3.1

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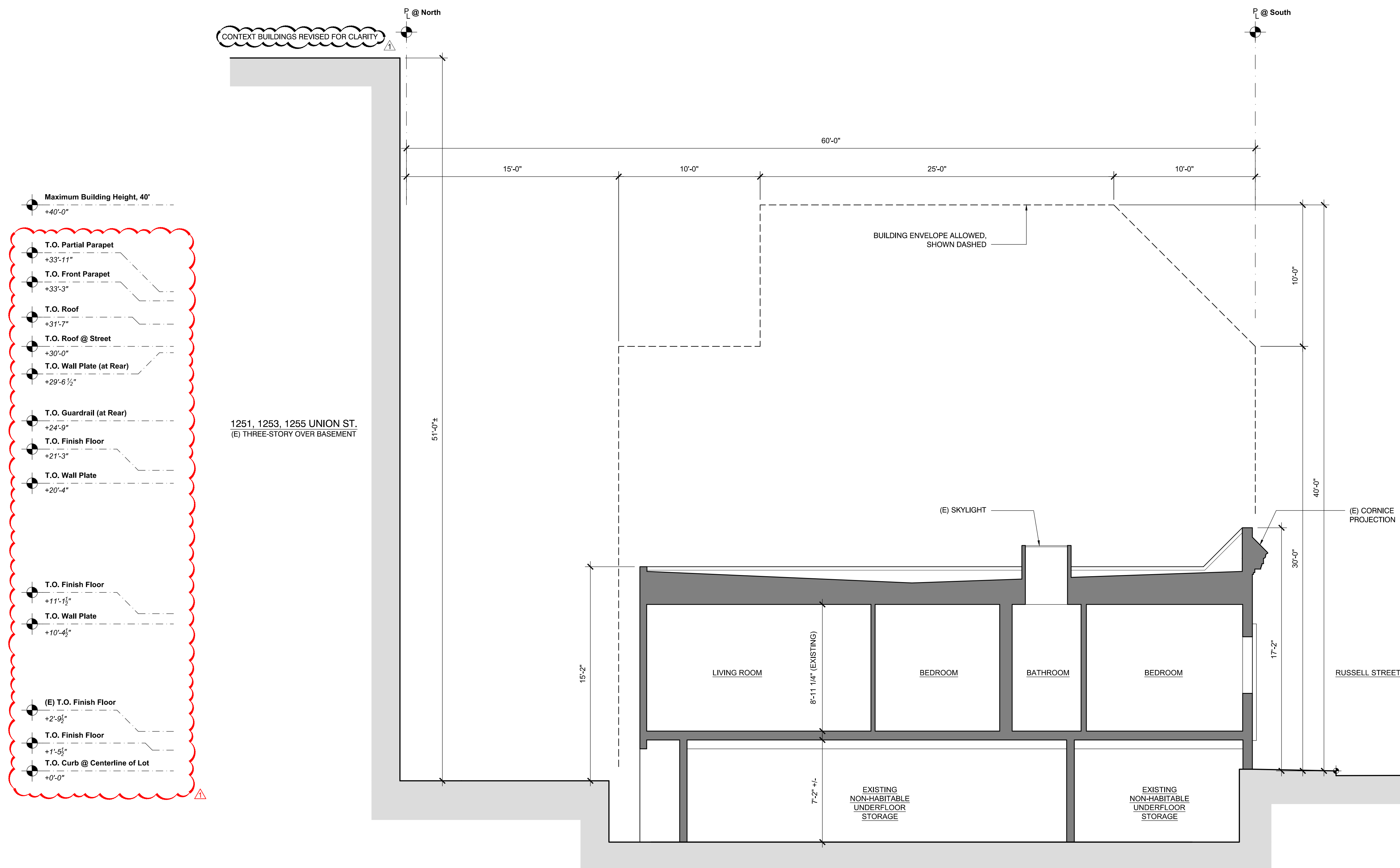
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EXISTING BUILDING SECTION

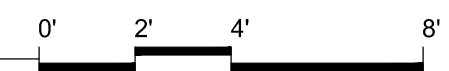
Scale: As Noted
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A3.2



- Maximum Building Height, 40'
+40'-0"
- T.O. Partial Parapet
+33'-11"
- T.O. Front Parapet
+33'-3"
- T.O. Roof
+31'-7"
- T.O. Roof @ Street
+30'-0"
- T.O. Wall Plate (at Rear)
+29'-6 1/2"
- T.O. Guardrail (at Rear)
+24'-9"
- T.O. Finish Floor
+21'-3"
- T.O. Wall Plate
+20'-4"
- T.O. Finish Floor
+11'-1 1/2"
- T.O. Wall Plate
+10'-4 1/2"
- (E) T.O. Finish Floor
+2'-9 1/2"
- T.O. Finish Floor
+1'-5 1/2"
- T.O. Curb @ Centerline of Lot
+0'-0"

1 EXISTING LONGITUDINAL BUILDING SECTION
Scale: 1/4" = 1'-0" Drawing to scale when printed on full size 36"x24" sheet, reference graphic scale



ELEVATION & SECTION KEY NOTES

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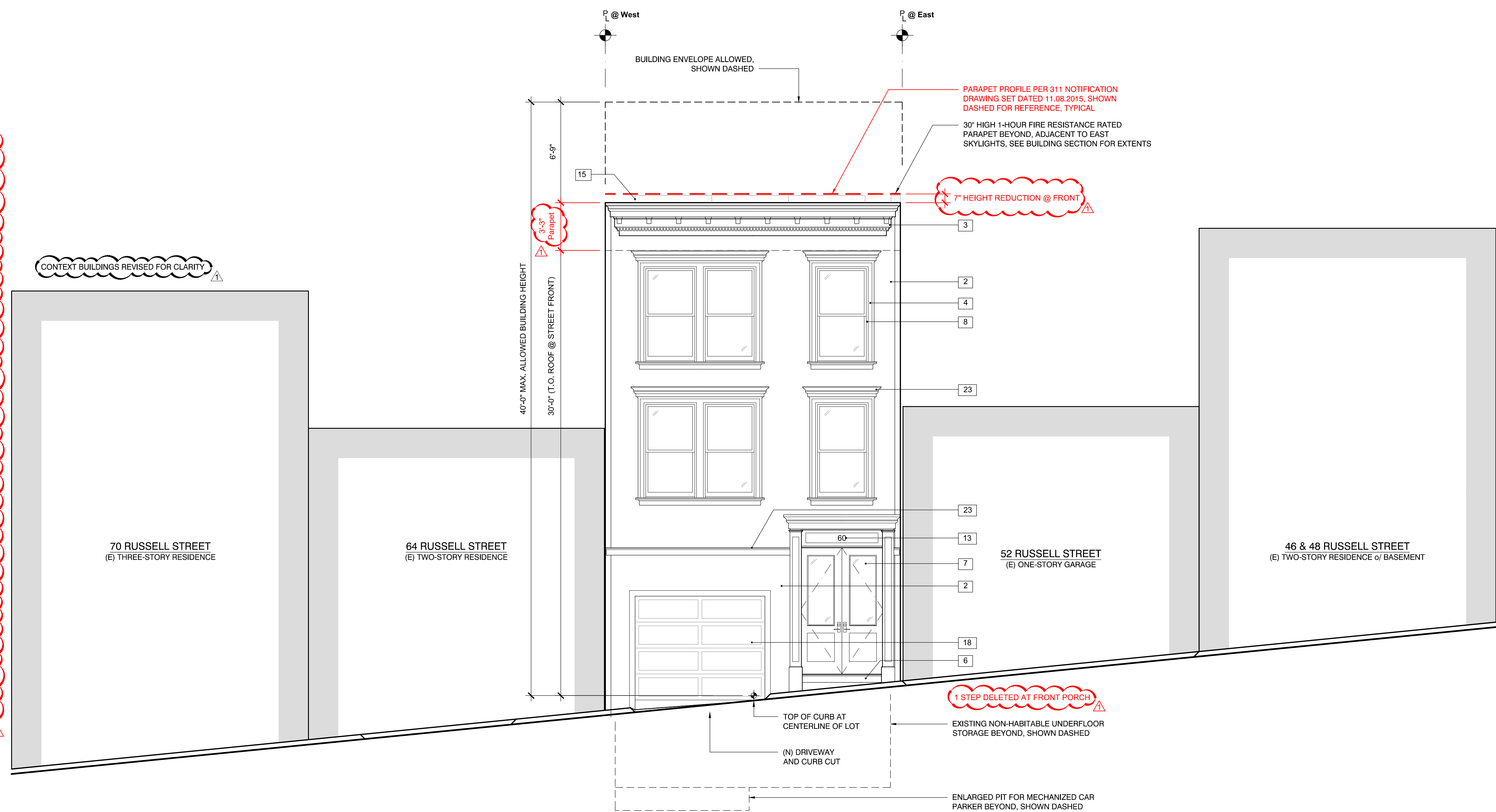
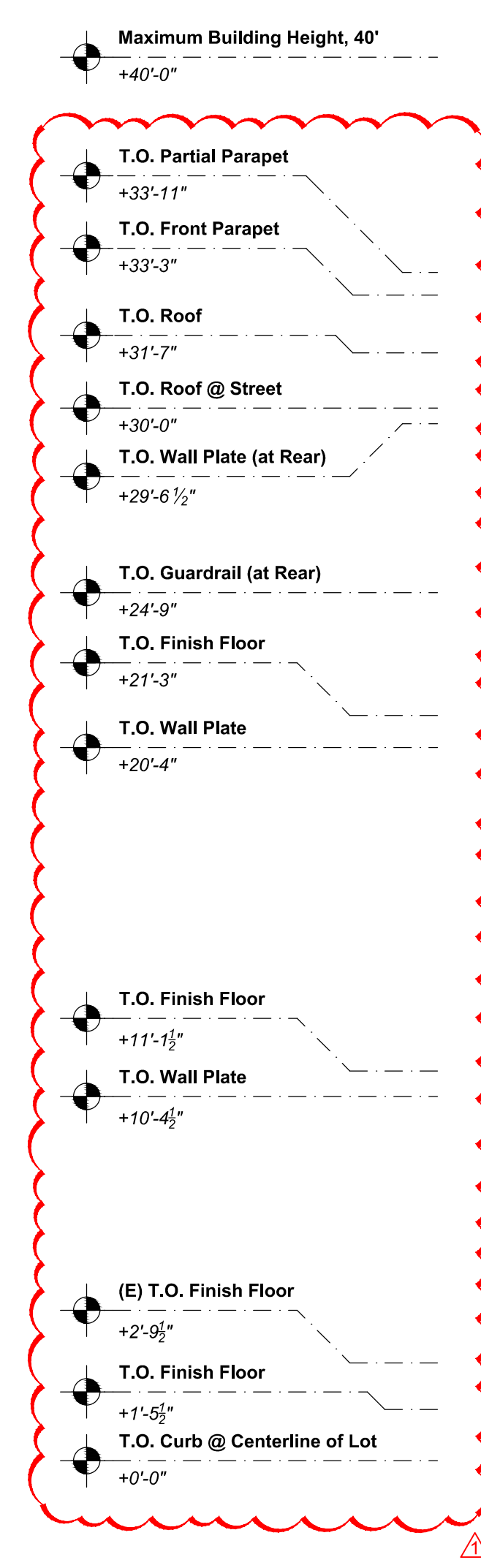
| No. | Date | Issues and Revisions |
|------------|------|----------------------|
| 09.22.2014 | | Neighbor Meeting |
| 11.07.2014 | | Planning |
| 11.18.2015 | | 311 Notification |
| 07.22.2016 | | Revisions |

PROPOSED EXTERIOR ELEVATION

Scale: As Noted
Drawn By: Ian F. Ream

A3.3

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1 PROPOSED SOUTH EXTERIOR ELEVATION
A3.3 Scale: 1/4" = 1'-0" Drawing to scale when printed on full size 36"x24" sheet, reference graphic scale

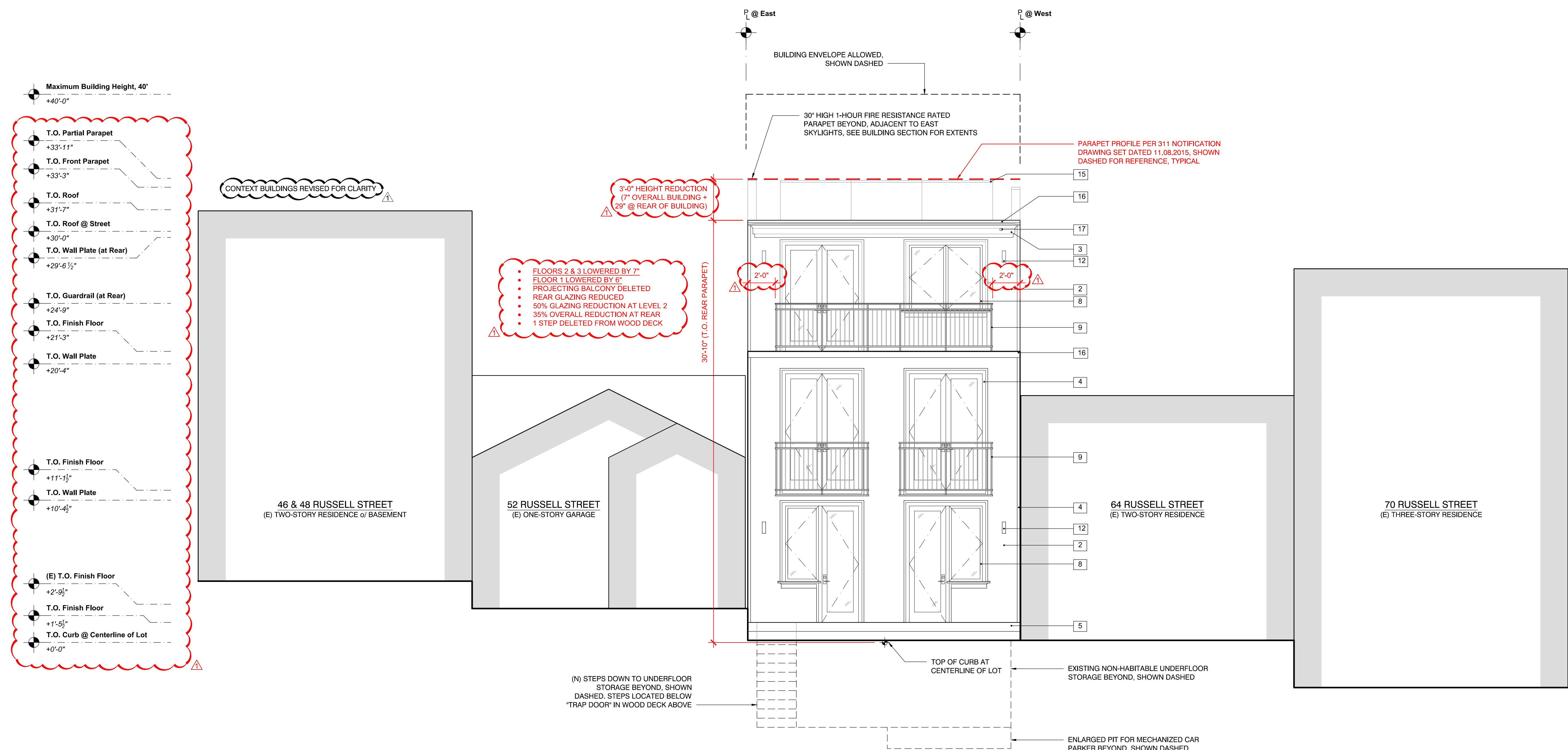
ELEVATION & SECTION KEY NOTES

- 1 CONCRETE FOUNDATION, MATCH (E) FOUNDATION PROFILE
- 2 SMOOTH T&G WOOD SIDING, PAINTED
- 3 BUILT-UP WOOD CORNICE, PAINTED
- 4 WOOD TRIM, PAINTED
- 5 REDWOOD DECK / STAIRS
- 6 WOOD STAIRS / PORCH, PAINTED
- 7 WOOD ENTRY DOOR w/ GLAZED LITES, PAINTED
- 8 ALUMINUM CLAD WOOD DOOR / WINDOW, PAINTED
- 9 42" HIGH CODE-COMPLIANT METAL GUARDRAIL
- 10 42" HIGH PARAPET / GUARDRAIL
- 11 NOT USED
- 12 EXTERIOR LIGHT FIXTURE, SHIELDED
- 13 METAL ADDRESS NUMBERS, 4" TALL
- 14 SKYLIGHT
- 15 SOLAR PANELS, EXACT SIZE, NUMBER AND LOCATION T.B.D.
- 16 METAL FLASHING, PAINTED
- 17 ROOF OVERFLOW SCUPPER, PAINTED METAL
- 18 AUTOMATIC GARAGE DOOR, WOOD PANEL w/ VENTS, PAINTED
- 19 EXISTING WOOD SIDING, TO BE REPLACED
- 20 EXISTING REDWOOD DECK / STAIRS, TO BE REPLACED
- 21 EXISTING WINDOW / DOOR, TO BE REMOVED
- 22 BUILT-UP WOOD WATER TABLE TRIM w/ METAL FLASHING, PAINTED
- 23 PROJECTING WINDOW / DOOR HOOD TRIM, PAINTED WOOD

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1 PROPOSED NORTH EXTERIOR ELEVATION
A3.4 Scale: 1/4" = 1'-0" Drawing to scale when printed on full size 36"x24" sheet, reference graphic scale

SPRINCIN RESIDENCE

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| 07.22.2016 | Revisions | |

PROPOSED EXTERIOR ELEVATION

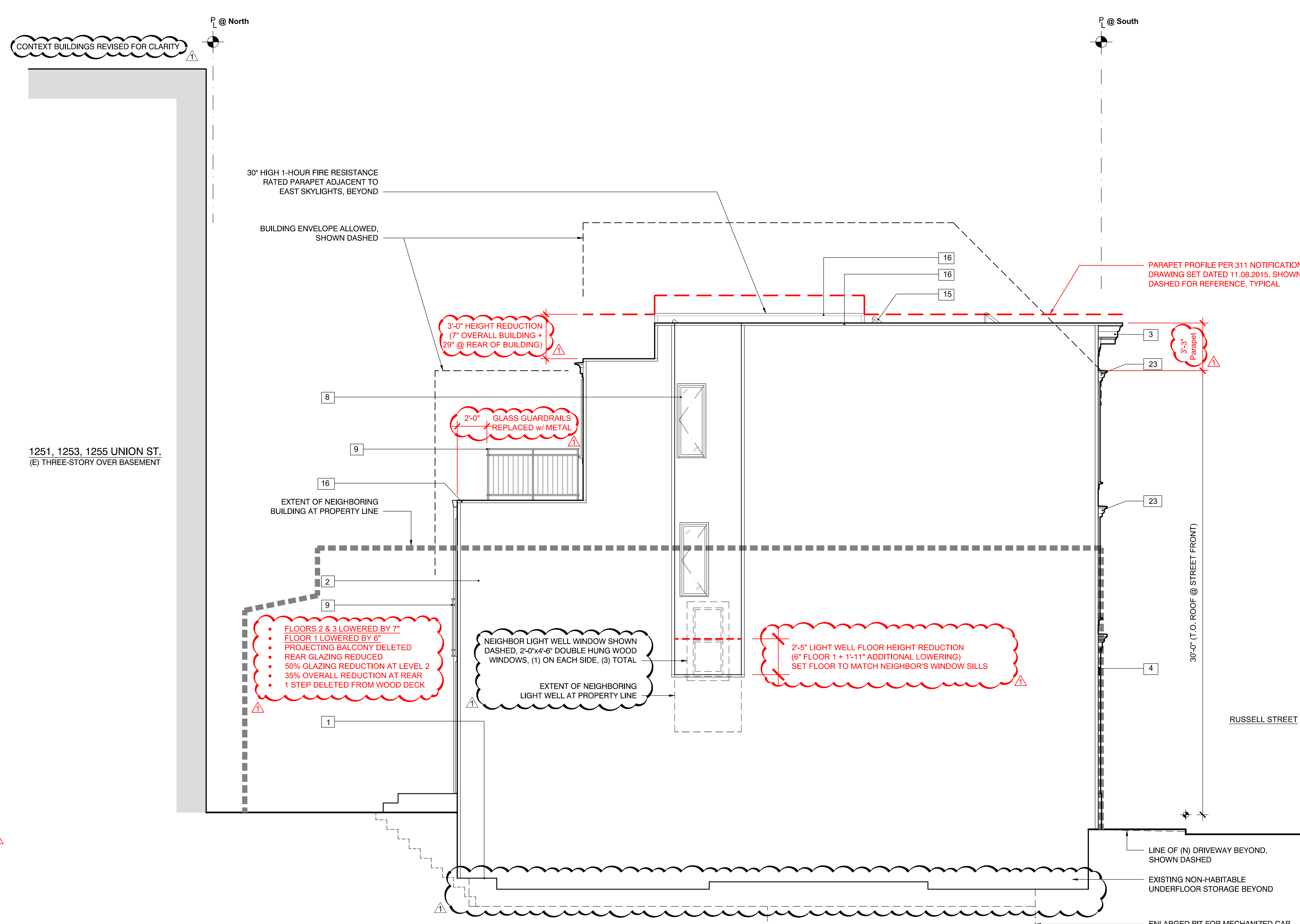
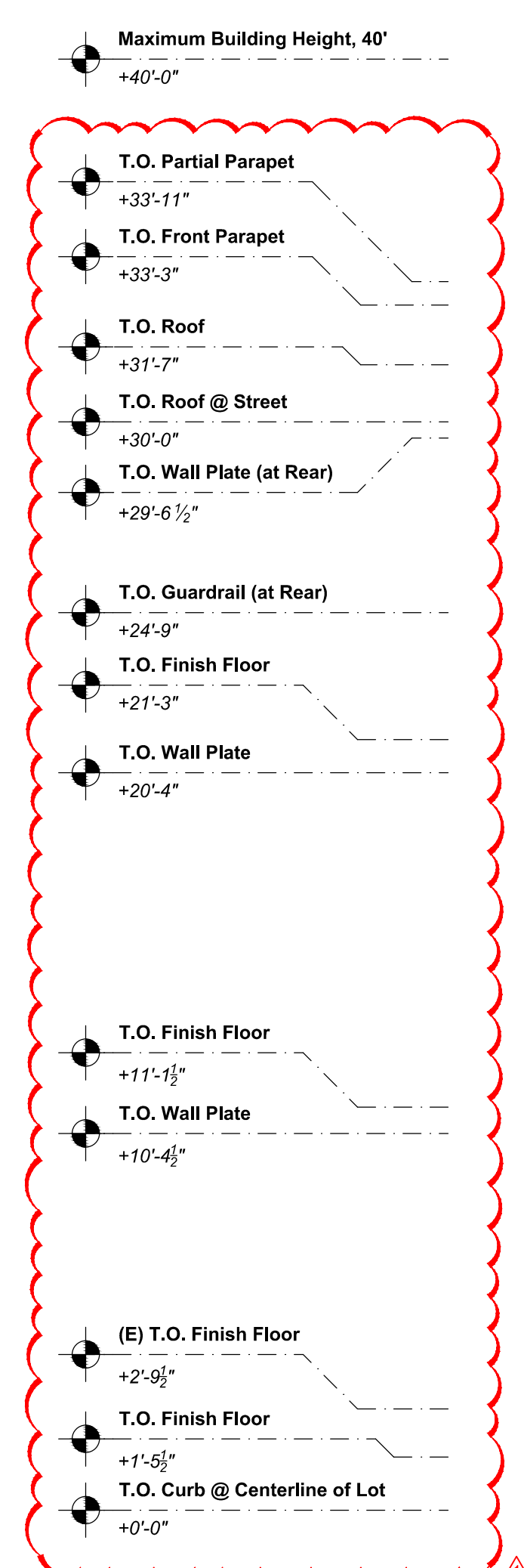
Scale: As Noted
Drawn By: Ian F. Ream

A3.4

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ELEVATION & SECTION KEY NOTES

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- 14 SKYLIGHT
- 15 SOLAR PANELS, EXACT SIZE, NUMBER AND LOCATION T.B.D.
- 16 METAL FLASHING, PAINTED
- 17 ROOF OVERFLOW SCUPPER, PAINTED METAL
- 18 AUTOMATIC GARAGE DOOR, WOOD PANEL w/ VENTS, PAINTED
- 19 EXISTING WOOD SIDING, TO BE REPLACED
- 20 EXISTING REDWOOD DECK / STAIRS, TO BE REPLACED
- 21 EXISTING WINDOW / DOOR, TO BE REMOVED
- 22 BUILT-UP WOOD WATER TABLE TRIM w/ METAL FLASHING, PAINTED
- 23 PROJECTING WINDOW / DOOR HOOD TRIM, PAINTED WOOD



- FLOORS 2 & 3 LOWERED BY 7"
- FLOOR 1 LOWERED BY 6"
- PROJECTING BALCONY DELETED
- REAR GLAZING REDUCED
- 50% GLAZING REDUCTION AT LEVEL 2
- 35% OVERALL REDUCTION AT REAR
- 1 STEP DELETED FROM WOOD DECK

1 PROPOSED WEST EXTERIOR ELEVATION
A3.5 Scale: 1/4" = 1'-0" Drawing to scale when printed on full size 36"x24" sheet, reference graphic scale

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PROPOSED EXTERIOR ELEVATION

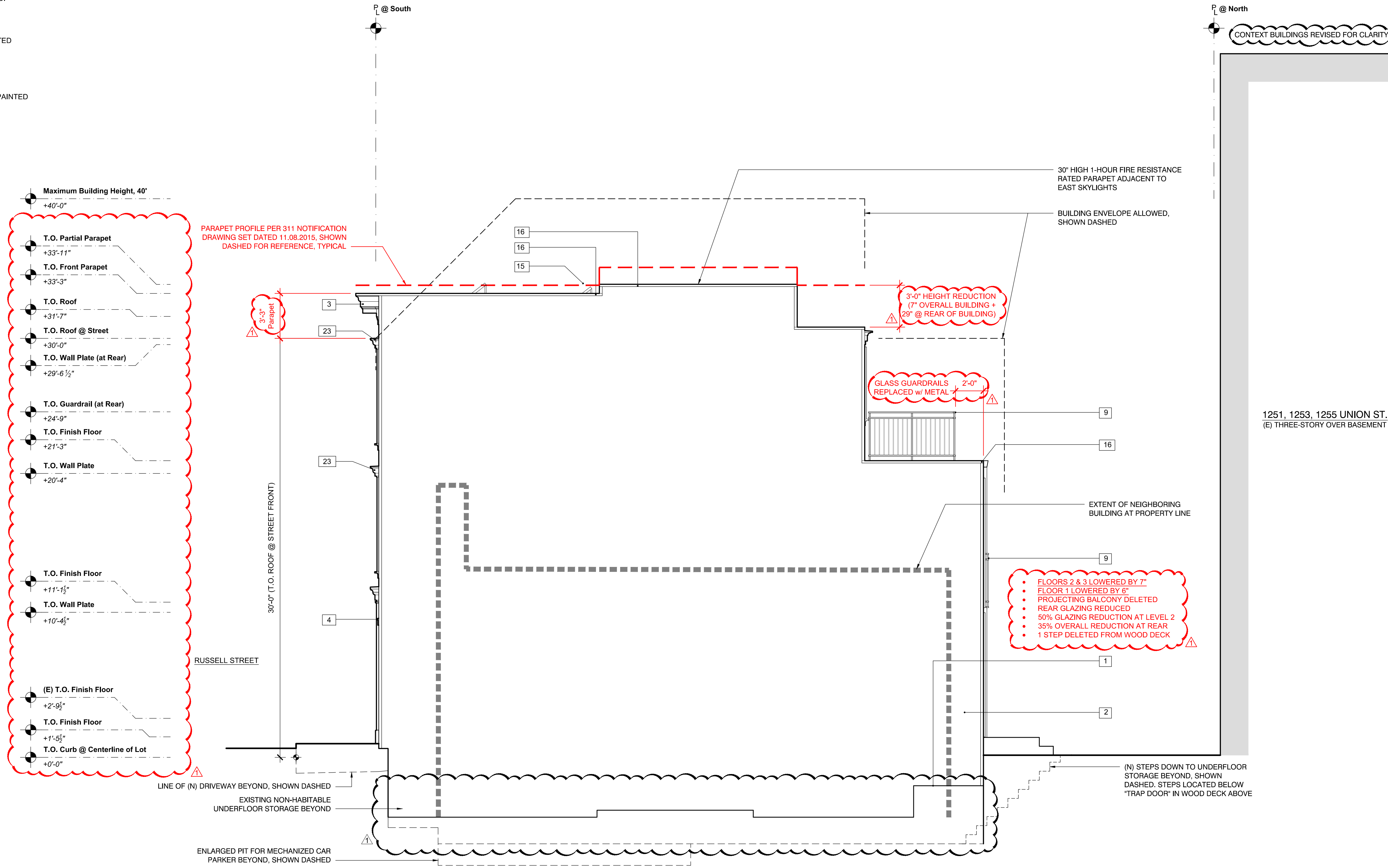
Scale: As Noted
Drawn By: Ian F. Ream

A3.5

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ELEVATION & SECTION KEY NOTES

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- 19 EXISTING WOOD SIDING, TO BE REPLACED
- 20 EXISTING REDWOOD DECK / STAIRS, TO BE REPLACED
- 21 EXISTING WINDOW / DOOR, TO BE REMOVED
- 22 BUILT-UP WOOD WATER TABLE TRIM w/ METAL FLASHING, PAINTED
- 23 PROJECTING WINDOW / DOOR HOOD TRIM, PAINTED WOOD



1 PROPOSED EAST EXTERIOR ELEVATION
 Scale: 1/4" = 1'-0" Drawing to scale when printed on full size 36"x24" sheet, reference graphic scale

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PROPOSED EXTERIOR ELEVATION

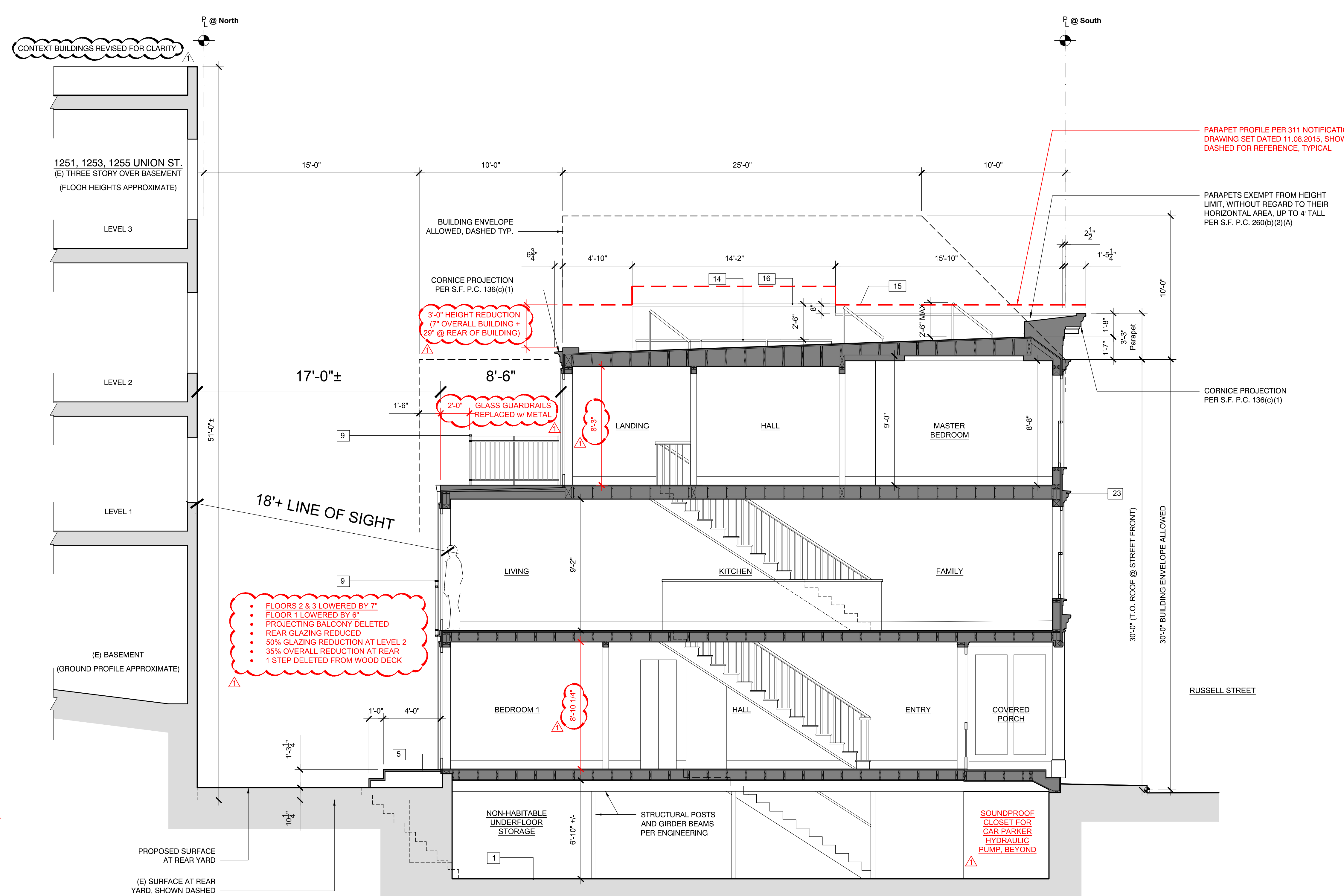
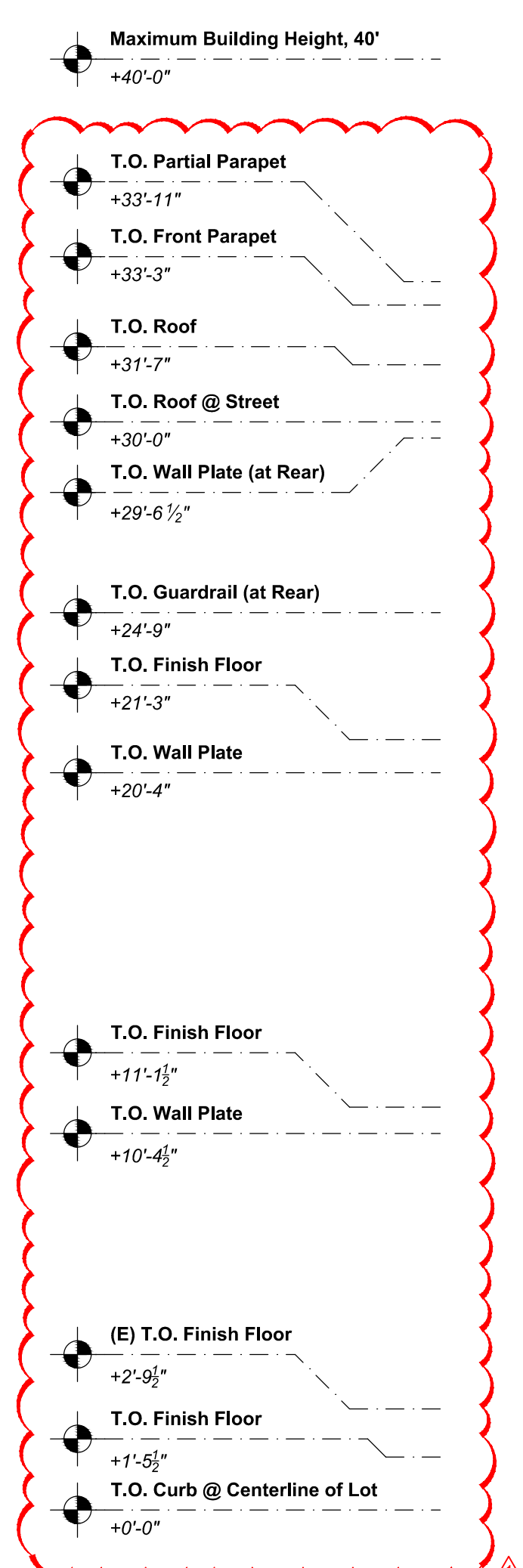
Scale: As Noted
 Drawn By: Ian F. Ream

A3.6

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ELEVATION & SECTION KEY NOTES

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- 23 PROJECTING WINDOW / DOOR HOOD TRIM, PAINTED WOOD



1 PROPOSED LONGITUDINAL BUILDING SECTION
A3.8 Scale: 1/4" = 1'-0" Drawing to scale when printed on full size 36"x24" sheet, reference graphic scale

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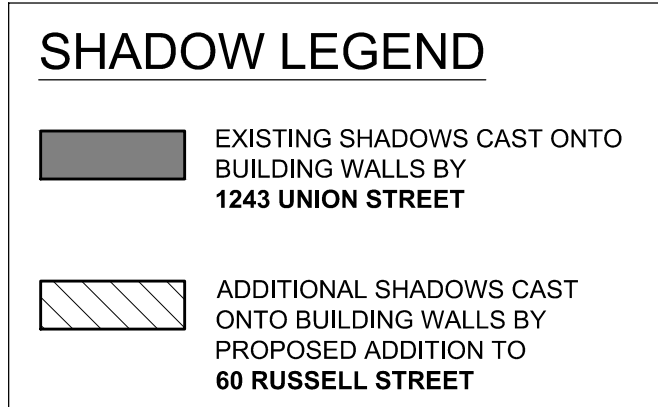
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PROPOSED BUILDING SECTION

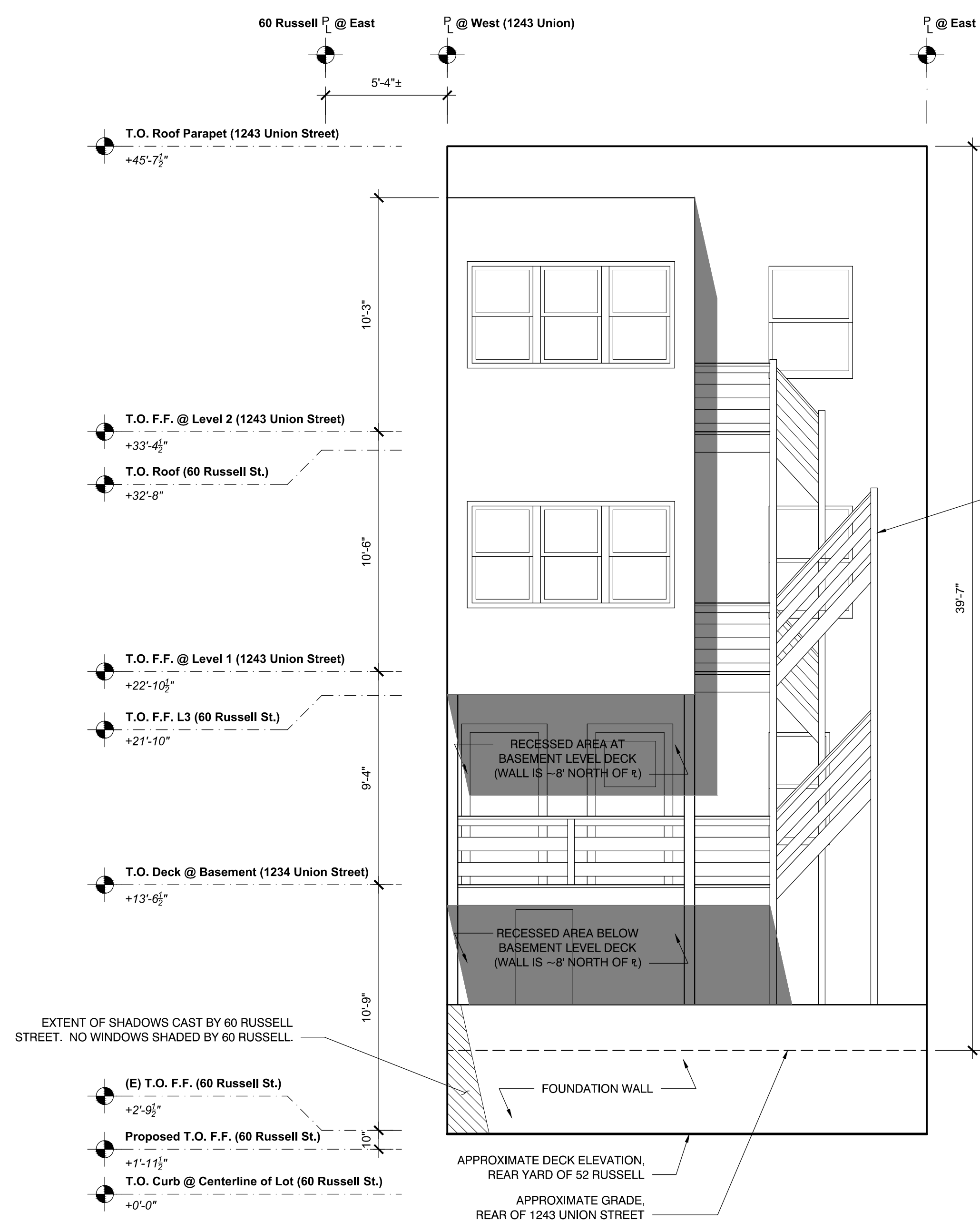
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Drawn By: Ian F. Ream

A3.8

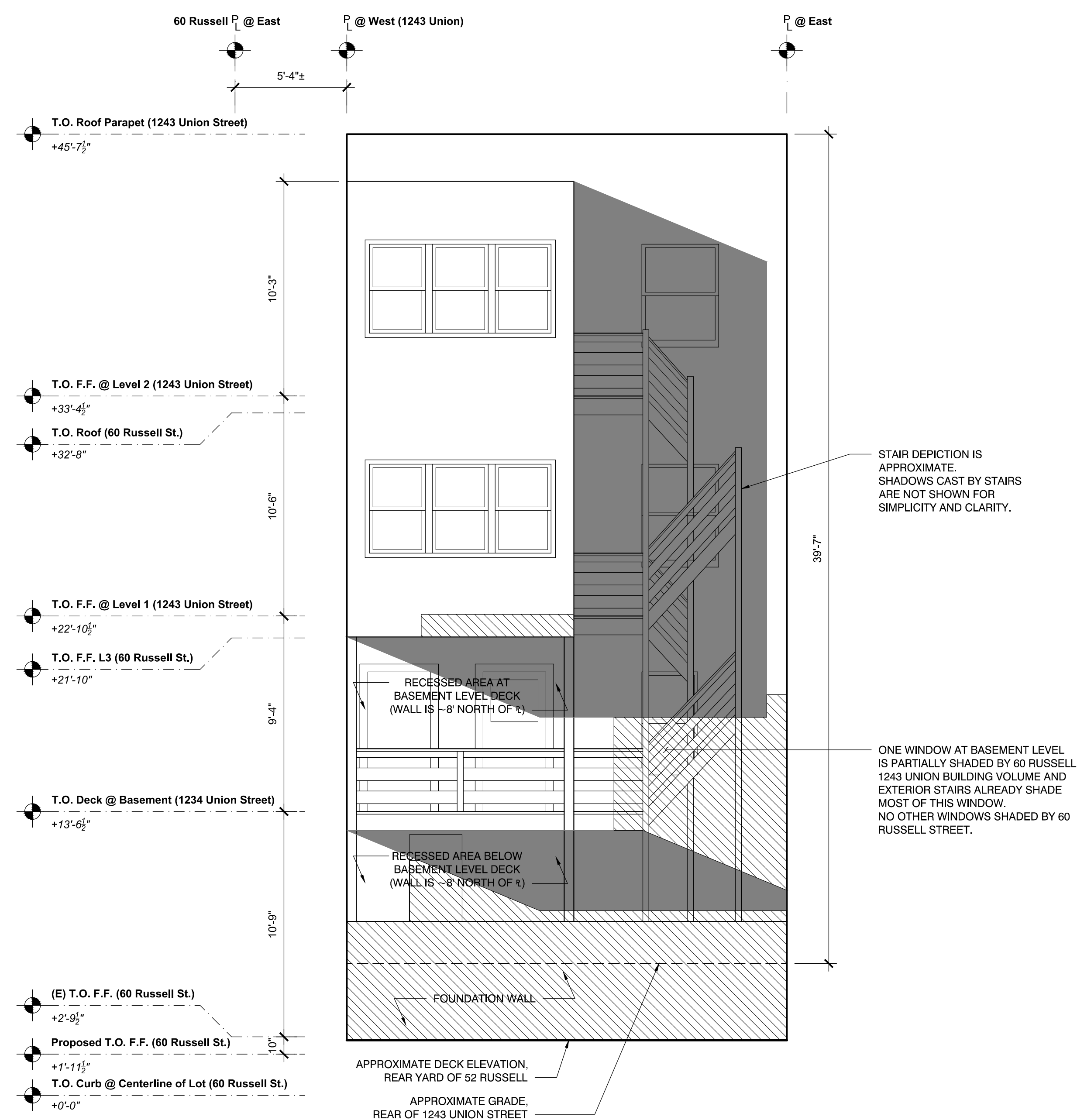


NOTE: THIS GRAPHIC ONLY DEPICTS SHADOWS CAST BY 60 RUSSELL STREET AND 1243 UNION STREET, WHICH FALL ON 1243 UNION STREET. SHADOWS CAST BY OTHER PROPERTIES AND/OR FALLING ONTO OTHER PROPERTIES ARE NOT DEPICTED IN THIS GRAPHIC.

NOTE: EXTERIOR STAIRCASE AT 1243 UNION STREET CASTS SHADOWS ONTO 1243 UNION STREET; THESE SHADOWS HAVE NOT BEEN DEPICTED FOR SIMPLICITY AND CLARITY



2 DECEMBER 21st - NOON 12:00pm SOUTH ELEVATION
Scale: 1/4" = 1'-0" Drawing to scale when printed on full size 36"x24" sheet, reference graphic scale



1 DECEMBER 21st - AFTERNOON 2:55pm SOUTH ELEVATION
Scale: 1/4" = 1'-0" Drawing to scale when printed on full size 36"x24" sheet, reference graphic scale

SPRINCIN RESIDENCE

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SHADOW STUDY FOR 1243 UNION ST.

Scale: As Noted
Drawn By: Ian F. Ream

A3.9

REMOVAL: AREA

| VERTICAL ENVELOPE ELEMENT | AREA (SF) | REMOVED (SF) | % REMOVED |
|--------------------------------|-----------|--------------|-----------|
| SOUTH ELEVATION (FRONT FACADE) | 293 | 187 | 67% |
| NORTH ELEVATION (REAR FACADE) | 379 | 123 | 32% |
| EAST ELEVATION (SIDE) | 822 | 415 | 50% |
| WEST ELEVATION (SIDE) | 874 | 413 | 47% |
| TOTALS: | 2,368 | 1,138 | 48% |

REMOVAL: AREA

| HORIZONTAL ELEMENT | AREA (SF) | REMOVED (SF) | % REMOVED |
|--------------------|-----------|--------------|-----------|
| FLOOR | 834 | 834 | 100% |
| ROOF | 782 | 782 | 100% |
| TOTALS: | 1,616 | 1,616 | 100% |

DETERMINATION:

NOT RESIDENTIAL DEMOLITION
VERTICAL ENVELOPE ELEMENTS REMOVED = 48% < 50%

SEC. 317(b)(2)(C):
"A major alteration of a Residential Building that proposes the Removal of more than 50% of the Vertical Envelope Elements and more than 50% of the Horizontal Elements of the existing building, as measured in square feet of actual surface area."

SEC. 317(b)(5):
"Horizontal Elements" shall mean all roof areas and all floor plates, except floor plates at or below grade."

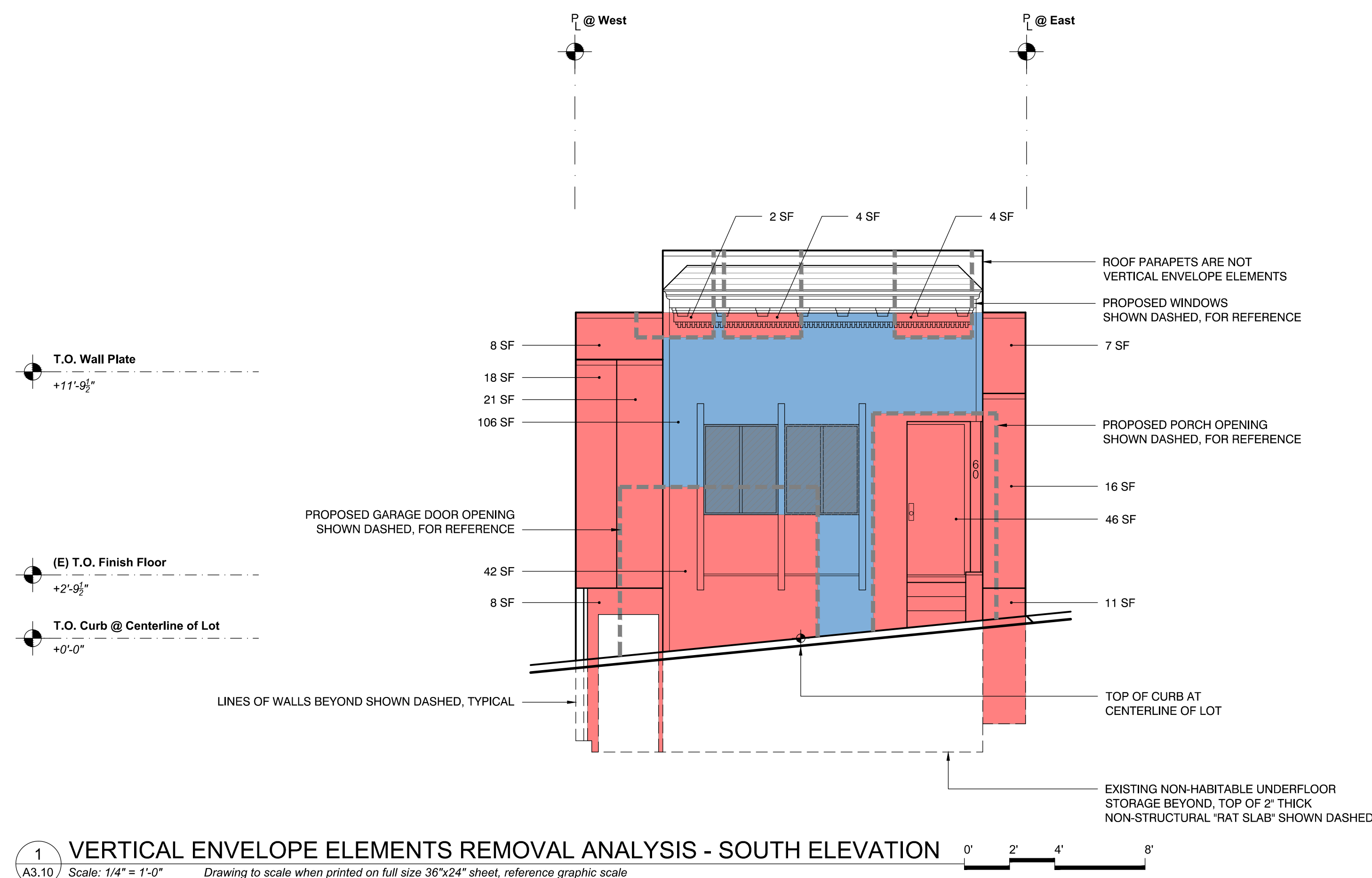
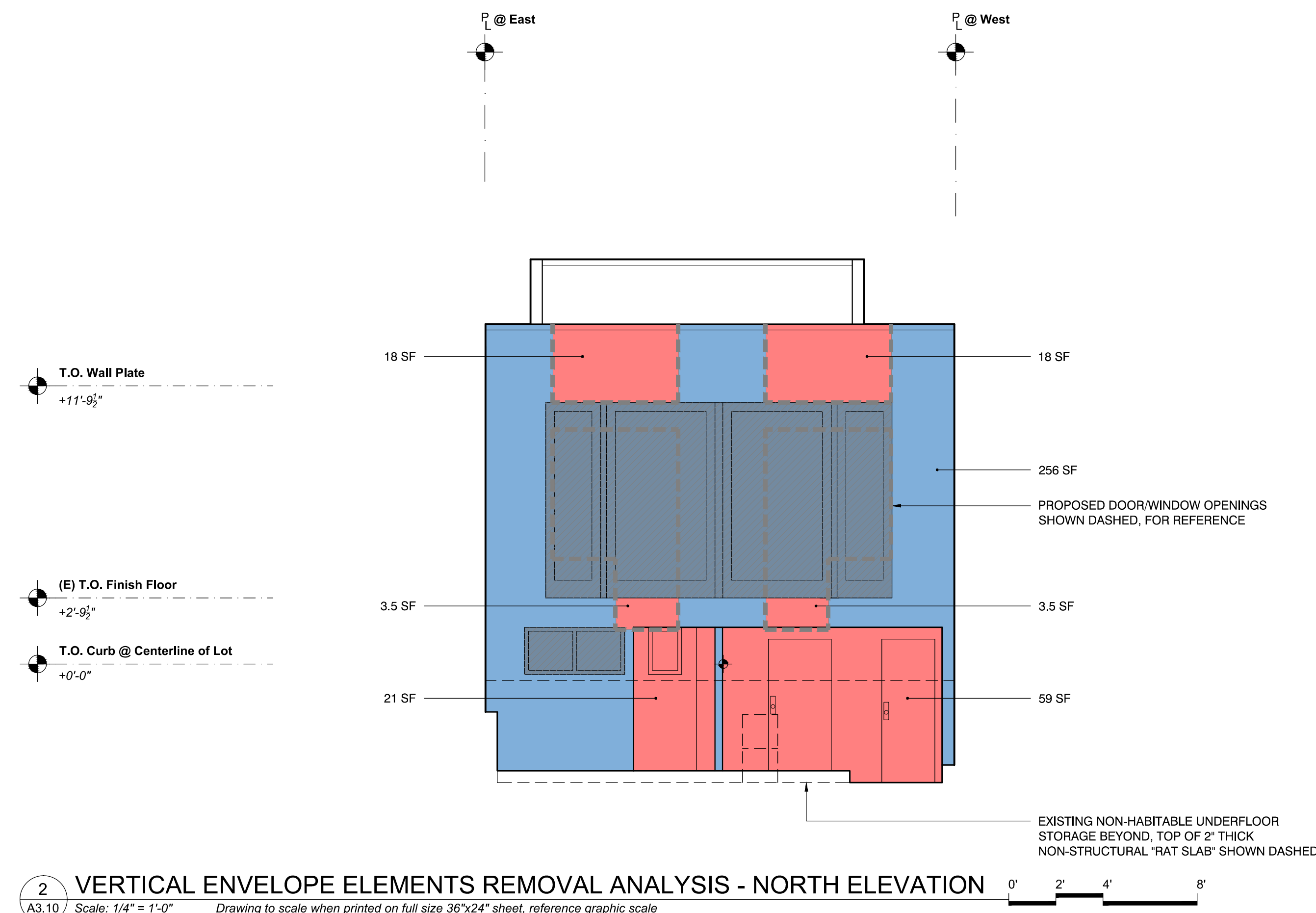
SEC. 317(b)(14):
"Vertical Envelope Elements" shall mean all exterior walls that provide weather and thermal barriers between the interior and exterior of the building, or that provide structural support to other elements of the building envelope."

Per S.F. Zoning Controls on the Removal of Dwelling Units, p.8 Notes & Clarifications #4.:
"Where an existing window is removed and filled-in with solid wall and a new window is installed in a different location on the same wall, there is no "Removal". This is simply remodeling, because there is no change to the exterior volume of the building and the majority of the wall structure remains in place. If a bay projecting beyond the existing wall plane were installed instead of a window within the existing wall plane, the vertical area of the bay would count as removal."

EXISTING WALLS TO REMAIN TO BE SUPPORTED BY FOUNDATIONS. EXISTING HORIZONTAL ELEMENTS TO BE REMOVED WITHOUT COMPROMISING STRUCTURAL INTEGRITY OF SUPPORTING WALLS. NEW HORIZONTAL ELEMENTS TO BE SUPPORTED BY EXTERIOR WALLS WITHOUT COMPROMISING STRUCTURAL INTEGRITY OF WALLS.

VERTICAL ENVELOPE ELEMENT LEGEND

- VERTICAL ENVELOPE ELEMENT TO BE REMOVED
- VERTICAL ENVELOPE ELEMENT TO REMAIN
- WALL OPENING TO BE FILLED-IN, REMODELED
NOT WALL OR FACADE REMOVAL



SPRINCIN RESIDENCE

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VERTICAL ENVELOPE ELEMENTS REMOVAL ANALYSIS

Scale: As Noted
Drawn By: Ian F. Ream

A3.10

REMOVAL: AREA

| VERTICAL ENVELOPE ELEMENT | AREA (SF) | REMOVED (SF) | % REMOVED |
|--------------------------------|-----------|--------------|-----------|
| SOUTH ELEVATION (FRONT FACADE) | 293 | 187 | 67% |
| NORTH ELEVATION (REAR FACADE) | 379 | 123 | 32% |
| EAST ELEVATION (SIDE) | 822 | 415 | 50% |
| WEST ELEVATION (SIDE) | 874 | 413 | 47% |
| TOTALS: | 2,368 | 1,138 | 48% |

REMOVAL: AREA

| HORIZONTAL ELEMENT | AREA (SF) | REMOVED (SF) | % REMOVED |
|--------------------|-----------|--------------|-----------|
| FLOOR | 834 | 834 | 100% |
| ROOF | 782 | 782 | 100% |
| TOTALS: | 1,616 | 1,616 | 100% |

DETERMINATION:
NOT RESIDENTIAL DEMOLITION
VERTICAL ENVELOPE ELEMENTS REMOVED = 48% < 50%

SEC. 317(b)(2)(C):
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SEC. 317(b)(5):
"Horizontal Elements" shall mean all roof areas and all floor plates, except floor plates at or below grade."

SEC. 317(b)(14):
"Vertical Envelope Elements" shall mean all exterior walls that provide weather and thermal barriers between the interior and exterior of the building, or that provide structural support to other elements of the building envelope."

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VERTICAL ENVELOPE ELEMENT LEGEND

- VERTICAL ENVELOPE ELEMENT TO BE REMOVED
- VERTICAL ENVELOPE ELEMENT TO REMAIN
- WALL OPENING TO BE FILLED-IN, REMODELED
NOT WALL OR FACADE REMOVAL

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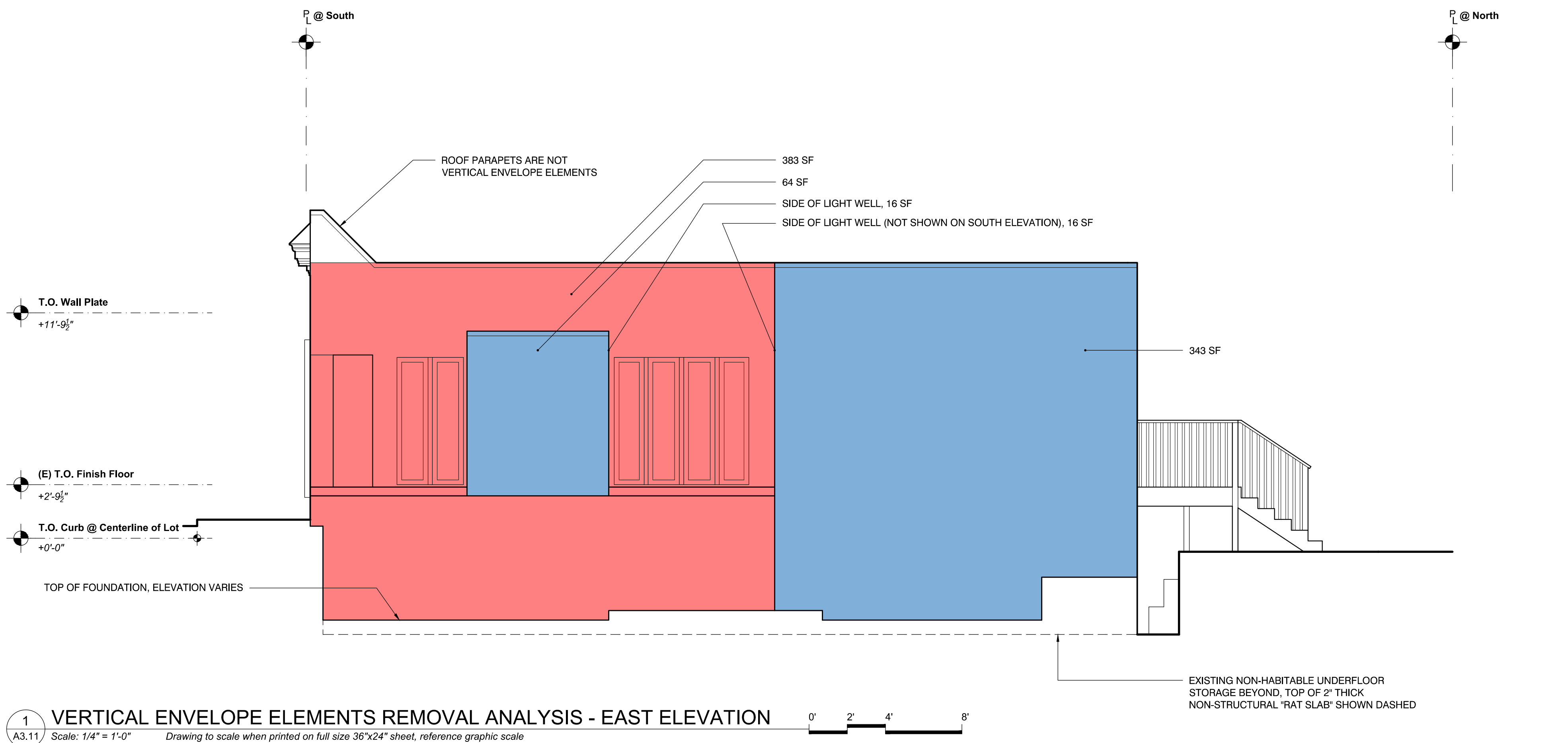
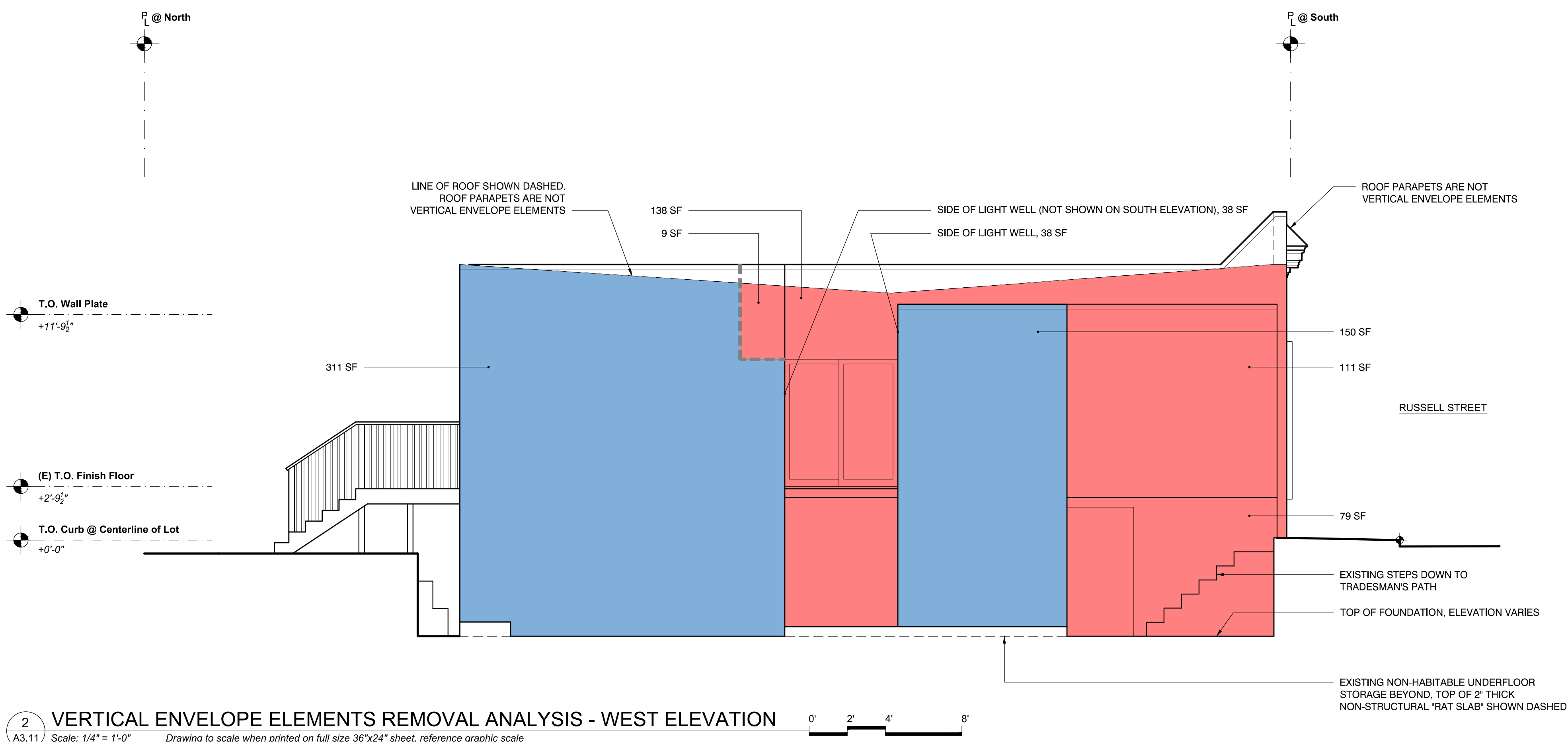
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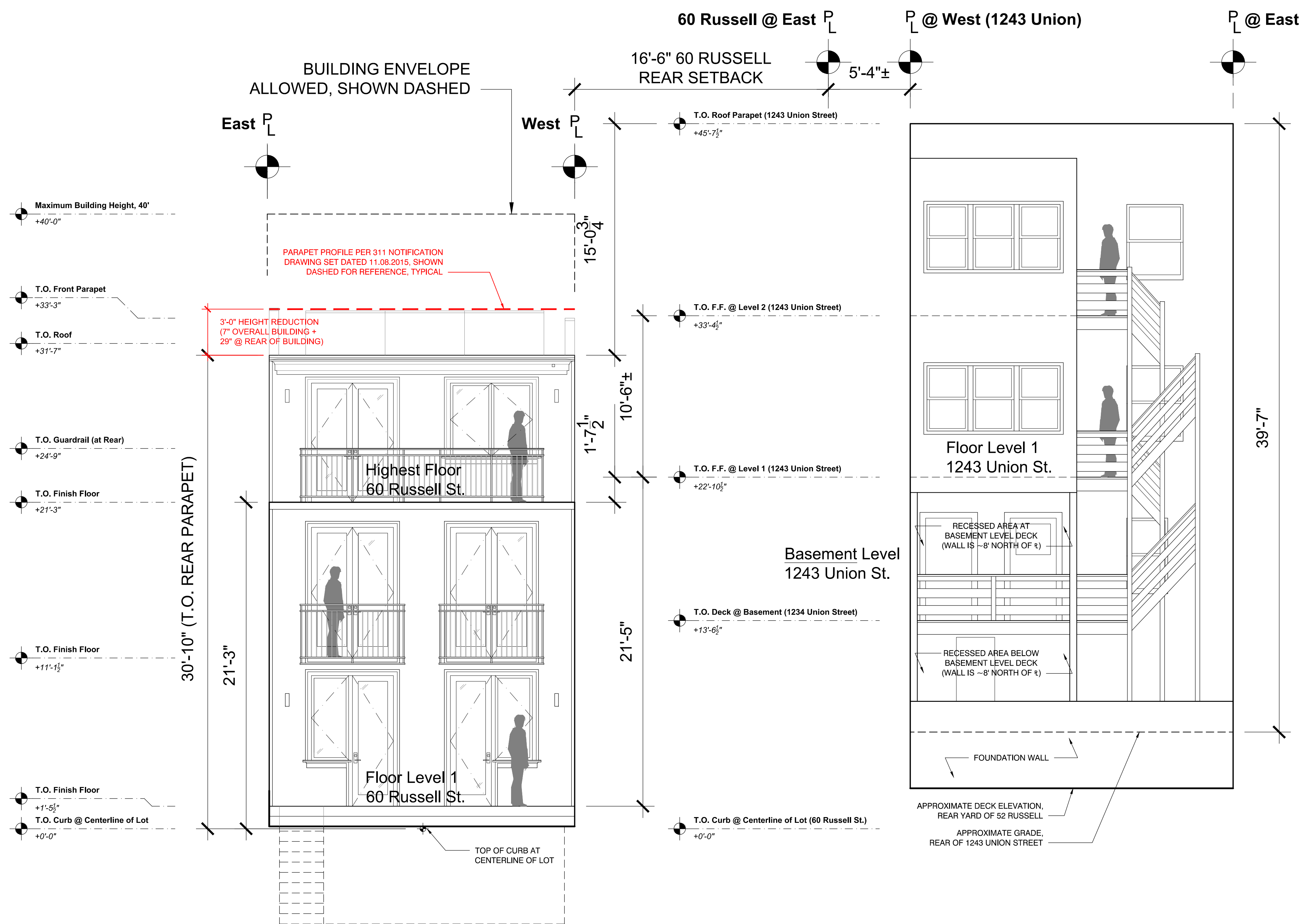
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VERTICAL ENVELOPE ELEMENTS REMOVAL ANALYSIS

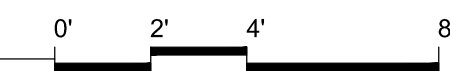
Scale: As Noted
Drawn By: Ian F. Ream

A3.11





1 SIDE-BY-SIDE REAR ELEVATIONS, 60 RUSSELL vs. 1243 UNION
A3.12 Scale: 1/4" = 1'-0" Drawing to scale when printed on full size 36"x24" sheet, reference graphic scale



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RELATIVE HEIGHTS 60 RUSSELL ST. vs. 1243 UNION ST.

Scale: As Noted
Drawn By: Ian F. Ream

A3.12