



# SAN FRANCISCO PLANNING DEPARTMENT

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## Staff-Initiated Discretionary Review Full Analysis

HEARING DATE JUNE 15, 2017

*Date Prepared:* June 5, 2017  
*Case No.:* 2014-000599DRM  
*Project Address:* 1228 FUNSTON AVENUE  
*Permit Application:* 2014.02.06.7948  
*Zoning:* RH-2 (Residential House, Two-Family)  
40-X Height and Bulk District  
*Block/Lot:* 1738/039  
*Project Sponsor:* Eduardo Paniagua  
176 Randall Street  
San Francisco, CA 94131  
*Staff Contact:* Laura Ajello – (415) 575-9142  
[laura.ajello@sfgov.org](mailto:laura.ajello@sfgov.org)  
*Recommendation:* Take Discretionary Review and approve with modifications

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**

### PROJECT DESCRIPTION

The project is a staff-initiated Discretionary Review (DR). The project sponsor is seeking legalization of unpermitted exterior alterations on a circa 1912 three-story single-family house in an RH-2 Zoning District.

The exterior alterations that were made without permit are as follows:

1. Demolition of a 20' wide by 25' deep one-story shed structure located in the rear yard.
2. Construction of a three-story horizontal addition at the rear of the single-family house.
3. Construction of a two-story deck and spiral stair located at the rear of the house.
4. Front façade alterations to windows, trim and the front entry.

The project, as currently proposed for legalization by the applicant would restore the front façade. The restoration work is supported by the Planning Department. However, the additions cannot be approved by the Department because they do not conform to the Residential Design Guidelines. Demolition of the shed structure can be supported because it appears to have been built without permit and would require a rear yard variance approval to construct today.

Planning staff provided the applicant with a list of modifications that would allow project approval by the Planning Department but which the applicant has declined to adopt. Thus, the Planning Department has initiated a Discretionary Review in order to have the Planning Commission take action on this matter.

## **PROJECT HISTORY**

May 14, 2014 – First Notice of Planning Department Requirements letter was sent to the applicant by the Planning Department (see Exhibits).

June 11, 2014 – Residential Design Team (RDT) comments were sent to the applicant (see Exhibits, Second Notice of Planning Department Requirements letter). The RDT comments were as follows:

- The proposed ground floor should not extend any deeper than the existing ground floor.
- The depth of the proposed second and third floors should align with the depth of the adjacent neighbor's rear wall at the pop-out.

June 1, 2015 – Planning enforcement complaint opened by staff after it was discovered that construction of a rear addition and deck had already been completed without permit.

November 5, 2015 – The Central Permit Bureau (Department of Building Inspection) requested return of the building permit application form and plans because the permit had been withdrawn by the applicant.

June 17, 2016 – The building permit application was reinstated and returned to the Planning Department.

July 19, 2016 – Third Notice of Planning Department Requirements letter was sent to the applicant (see Exhibits). The 2014 RDT comments were provided once more.

February 9, 2017 – Fourth Notice of Planning Department Requirements letter was sent to the applicant (see Exhibits). The notice outlined requirements that needed to be fulfilled prior to submittal of the DR to be initiated by Department staff.

March 1, 2017 – The Discretionary Review application was submitted. The applicant agreed to restore the front facade as requested by the Department but has not agreed to reduce the size of the rear addition. No new work other than restoration of the front façade is proposed by the applicant.

## **SITE DESCRIPTION AND PRESENT USE**

The project site is located on the east side of Funston Avenue between Lincoln Way and Irving Street in the Inner Sunset neighborhood. The subject parcel measures approximately 25 wide by 120 feet deep with an area of 3,000 square feet. The lot contains a three-story single-family building constructed in 1912. The Assessor Record lists the building area as 2,047 square feet with four bedrooms and three bathrooms. The Building Permit Supplement form lists the new area as 1,124 gross square feet.

## **SURROUNDING PROPERTIES AND NEIGHBORHOOD**

The subject block of this Inner Sunset neighborhood is characterized by three-story, two-family homes and small apartment buildings. Golden Gate Park is located to the north, across Lincoln Way. The Inner Sunset Neighborhood Commercial District is located south of the project site. A large four-story apartment complex, zoned RM-4, is located directly across from the subject site.

**HEARING NOTIFICATION**

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Posted Notice	10 days	June 5, 2017	June 5, 2017	10 days
Mailed Notice	10 days	June 5, 2017	June 5, 2017	10 days

No Building Permit Application Section 311 notice was mailed since the project did not reach a state of compliance.

**PUBLIC COMMENT**

	SUPPORT	OPPOSED	NO POSITION
Adjacent neighbors	--	--	--
Other neighbors on the block or directly across the street	--	--	--
Neighborhood groups	--	--	--

The Department has not directly received any letters or phone calls in support of or in opposition to the project. Since no building permit notification was mailed and given the 10-day notice for DR applications there was insufficient time for public comment prior to the creation of the Commission packets.

**STAFF INITATED DISCRETIONARY REVIEW CONCERNS AND PROPOSED ALTERNATIVES**

**Issue #1:** This project, which includes an oversized rear addition to a single-family house and façade changes, was built with complete disregard of City permit requirements, review procedures and processes designed to preserve neighborhood character and allow neighbors to be informed and participate in the review process. Enforcement-related cases such as this require an enormous amount of staff time.

**Issue #2:** The original footprint of the building can be seen in the attached aerial photographs and Sanborn map. The project as constructed does not appropriately respond to development on the adjacent lots and would block sunlight access to adjacent buildings including a cottage residence located at the rear of the adjacent lot to the north. The façade changes eliminated character-defining features, which closely resembled those front entry, window and trim details on the adjacent matching building to the south (see photographs in Exhibits).

The Department supports the restoration of the front façade as proposed and can support a reduction in mass at the rear of the house consistent with the depth of the adjacent like building to the south with five foot side setbacks above the ground floor, as described in the project analysis below.

**PROJECT SPONSOR’S RESPONSE**

The applicant simply states in the DR application that “everything in the project is within Code and within right. There are no changes needed.”

The applicant's original DR proposal included an additional option for legalization of the changes made to the front façade. The building is potentially historic due to its age so proposed alterations to the front façade would first require completion of an Environmental Evaluation Application. The modifications that were made to the façade eliminated character-defining features and are not supported by staff. The photographs submitted by the applicant (see Exhibits) do not focus on the subject property but do clearly show two similar adjacent buildings to the south of the subject property. One building has a number of original features intact while the other has been completely stripped of all character-defining features. The plans include historic façade photographs from the Assessor's office on which the restoration is based.

The applicant's proposal to retain the large rear addition and deck, which are in close proximity to the small cottage residence on the adjacent lot to the north, does not address Residential Design Guidelines.

## **PROJECT ANALYSIS**

There is no permit record of the large rear yard shed that was demolished and it is not shown on historic Sanborn maps. Photographs show a one story building with a corrugated metal roof. The Department can support the de facto demolition of the unwarranted oversized shed located in the required rear yard that was constructed without permits.

The applicant has agreed to restore the covered entry, windows, window trim and column capitals on the front façade and the Department has concluded that the proposed restoration is acceptable. However, the applicant's proposal to legalize the three-story rear addition that extends to the side property lines conflicts with the Residential Design Guidelines. A smaller addition with similar massing to the adjacent building to the south and side setbacks on upper floors can be supported by the Department. To date, no alternative plans that would reduce the size of the addition have been submitted for review.

The original proposal was reviewed by the Residential Design Team in 2014. After realizing that construction had been completed without permit approval, the as-built conditions were reviewed in 2016. The original RDT comments were reaffirmed and clarified.

## **ENVIRONMENTAL REVIEW**

If the project is approved as proposed by Department staff it would be exempt from the California Environmental Quality Act ("CEQA") as a Class 1 categorical exemption. Deviation from staff recommendations for the restoration of the front façade would require completion of the Environmental Evaluation Application to determine the level of environmental review.

## **RESIDENTIAL DESIGN TEAM REVIEW**

The applicant's first proposal was reviewed by the Residential Design Team (since renamed Residential Design Advisory Team) and later re-reviewed in light of the illegal construction. The Department supports the proposed front façade restoration and can support a three-story rear addition with a reduction in massing and no rear deck and stair. The 2016 RDAT comments were consistent with the original comments but further clarified:

- The ground floor should not extend any deeper than the original ground floor depth but can be extended laterally to each side property line;
- No deck or stairs higher than three feet above grade should be located beyond the rear addition; and
- The second and third stories should extend no deeper than the original second and third stories at the rear; side setbacks of at least five feet in width must be provided above the ground floor.

These modifications would render the project approvable. The applicant has not proposed any alternatives to the addition and deck other than legalization as-built. Given the choice of making the modifications requested by the Department or pursuing a staff-initiated DR, the applicant filed a DR application on March 22, 2017.

### **BASIS FOR RECOMMENDATION**

The Department recommends the Planning Commission take Discretionary Review and approve the application with the modifications supported by Preservation staff and the Residential Design Advisory Team:

- Restoration of the building façade, as recommended by staff, will meet all applicable requirements of the Planning Code and conform to the Residential Design Guidelines.
- The project as-built and proposed for legalization by the applicant does create exceptional and extraordinary circumstances because it would legalize a large addition that is not sensitive to the surround buildings and would not have been approved by the Department.
- The project, if legalized without the staff-recommended modifications, will allow a rear addition with excessive volume in relation to the adjacent structures and will result in an inappropriate precedent or expectation for legalization of similar projects elsewhere in this neighborhood and citywide.

<b>RECOMMENDATION:</b> <b>Take DR and approve with modifications.</b>
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#### **Attachments:**

Design Review Checklist  
Block Book Map  
Sanborn Map  
Zoning Map  
Aerial Photographs  
Context Photos  
Notice of Planning Department Requirements #1 dated May 14, 2014  
Notice of Planning Department Requirements #2 dated June 11, 2014  
Notice of Planning Department Requirements #3 dated July 19, 2016  
Notice of Planning Department Requirements #4 dated February 9, 2017  
Project Sponsor Submittal, including:

- DR Application
- Photographs
- Reduced Plans

## Design Review Checklist

### NEIGHBORHOOD CHARACTER (PAGES 7-10)

QUESTION	
The visual character is: (check one)	
Defined	
Mixed	X

**Comments:** Subject property is bordered on the north by two small rear cottages with detached garages at the front and on the south with two twin homes, one with character-defining details intact, the other completely stripped. Opposite blockface is dominated by large apartment buildings that appear as one structure and a grocery store with a large surface parking lot.

### SITE DESIGN (PAGES 11 - 21)

QUESTION	YES	NO	N/A
<b>Topography (page 11)</b>			
Does the building respect the topography of the site and the surrounding area?			X
Is the building placed on its site so it responds to its position on the block and to the placement of surrounding buildings?			X
<b>Front Setback (pages 12 - 15)</b>			
Does the front setback provide a pedestrian scale and enhance the street?			X
In areas with varied front setbacks, is the building designed to act as transition between adjacent buildings and to unify the overall streetscape?			X
Does the building provide landscaping in the front setback?	X		
<b>Side Spacing (page 15)</b>			
Does the building respect the existing pattern of side spacing?			X
<b>Rear Yard (pages 16 - 17)</b>			
Is the building articulated to minimize impacts on light to adjacent properties?		X	
Is the building articulated to minimize impacts on privacy to adjacent properties?		X	
<b>Views (page 18)</b>			
Does the project protect major public views from public spaces?		X	
<b>Special Building Locations (pages 19 - 21)</b>			
Is greater visual emphasis provided for corner buildings?			X
Is the building facade designed to enhance and complement adjacent public spaces?			X
Is the building articulated to minimize impacts on light to adjacent cottages?		X	

**Comments:** Landscaping and permeable area in front setback increased. Rear addition built without permit or regard to 2014 RDT comments; the overall three-story volume is excessive in relation to the immediate neighborhood context at the mid-block open space; and the building does not address a rear cottage on the adjacent lot to the north. RDT 2014 comments: *The ground floor should not extend any deeper*

than the existing ground floor. The depth of the second and third floors should align with the depth of the adjacent neighbor's rear wall at the pop out. (RDGs pages 21, 25 - 27)

**BUILDING SCALE AND FORM (PAGES 23 - 30)**

QUESTION	YES	NO	N/A
<b>Building Scale (pages 23 - 27)</b>			
Is the building's height and depth compatible with the existing building scale at the street?	X		
Is the building's height and depth compatible with the existing building scale at the mid-block open space?		X	
<b>Building Form (pages 28 - 30)</b>			
Is the building's form compatible with that of surrounding buildings?			
Is the building's facade width compatible with those found on surrounding buildings?		X	
Are the building's proportions compatible with those found on surrounding buildings?		X	
Is the building's roofline compatible with those found on surrounding buildings?	X		

**Comments:** Depth of building extends to 25% rear (based on adjacent rear cottage) and is constructed less than 5' from the cottage and greater than 5' beyond the adjacent former twin building.

**ARCHITECTURAL FEATURES (PAGES 31 - 41)**

QUESTION	YES	NO	N/A
<b>Building Entrances (pages 31 - 33)</b>			
Does the building entrance enhance the connection between the public realm of the street and sidewalk and the private realm of the building?		X	
Does the location of the building entrance respect the existing pattern of building entrances?	X		
Is the building's front porch compatible with existing porches of surrounding buildings?		X	
Are utility panels located so they are not visible on the front building wall or on the sidewalk?			X
<b>Bay Windows (page 34)</b>			
Are the length, height and type of bay windows compatible with those found on surrounding buildings?	X		X
<b>Garages (pages 34 - 37)</b>			
Is the garage structure detailed to create a visually interesting street frontage?			X
Are the design and placement of the garage entrance and door compatible with the building and the surrounding area?			X
Is the width of the garage entrance minimized?			X
Is the placement of the curb cut coordinated to maximize on-street parking?			X
<b>Rooftop Architectural Features (pages 38 - 41)</b>			



Is the stair penthouse designed to minimize its visibility from the street?			X
Are the parapets compatible with the overall building proportions and other building elements?			X
Are the dormers compatible with the architectural character of surrounding buildings?			X
Are the windscreens designed to minimize impacts on the building’s design and on light to adjacent buildings?			X

**Comments:** Applicant has agreed to restore façade features that were illegally removed (wood windows, window trim and front entry).

**BUILDING DETAILS (PAGES 43 - 48)**

QUESTION	YES	NO	N/A
<b>Architectural Details (pages 43 - 44)</b>			
Are the placement and scale of architectural details compatible with the building and the surrounding area?		X	
<b>Windows (pages 44 - 46)</b>			
Do the windows contribute to the architectural character of the building and the neighborhood?		X	
Are the proportion and size of the windows related to that of existing buildings in the neighborhood?	X		
Are the window features designed to be compatible with the building’s architectural character, as well as other buildings in the neighborhood?		X	
Are the window materials compatible with those found on surrounding buildings, especially on facades visible from the street?	X		
<b>Exterior Materials (pages 47 - 48)</b>			
Are the type, finish and quality of the building’s materials compatible with those used in the surrounding area?	X		
Are the building’s exposed walls covered and finished with quality materials that are compatible with the front facade and adjacent buildings?	X		
Are the building’s materials properly detailed and appropriately applied?		X	

**Comments:** Original windows previously replaced. Unwarranted work cannot be legalized. New illegally installed windows on front façade include sliders. Wood double- or single-hung and casement windows, with wood trim and covered front entry to be restored. Column capitals also to be restored.

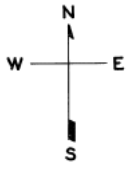
**SPECIAL GUIDELINES FOR ALTERATIONS TO BUILDINGS OF POTENTIAL HISTORIC OR ARCHITECTURAL MERIT (PAGES 49 – 54)**

QUESTION	YES	NO	N/A
Is the building subject to these Special Guidelines for Alterations to Buildings of Potential Historic or Architectural Merit?			X

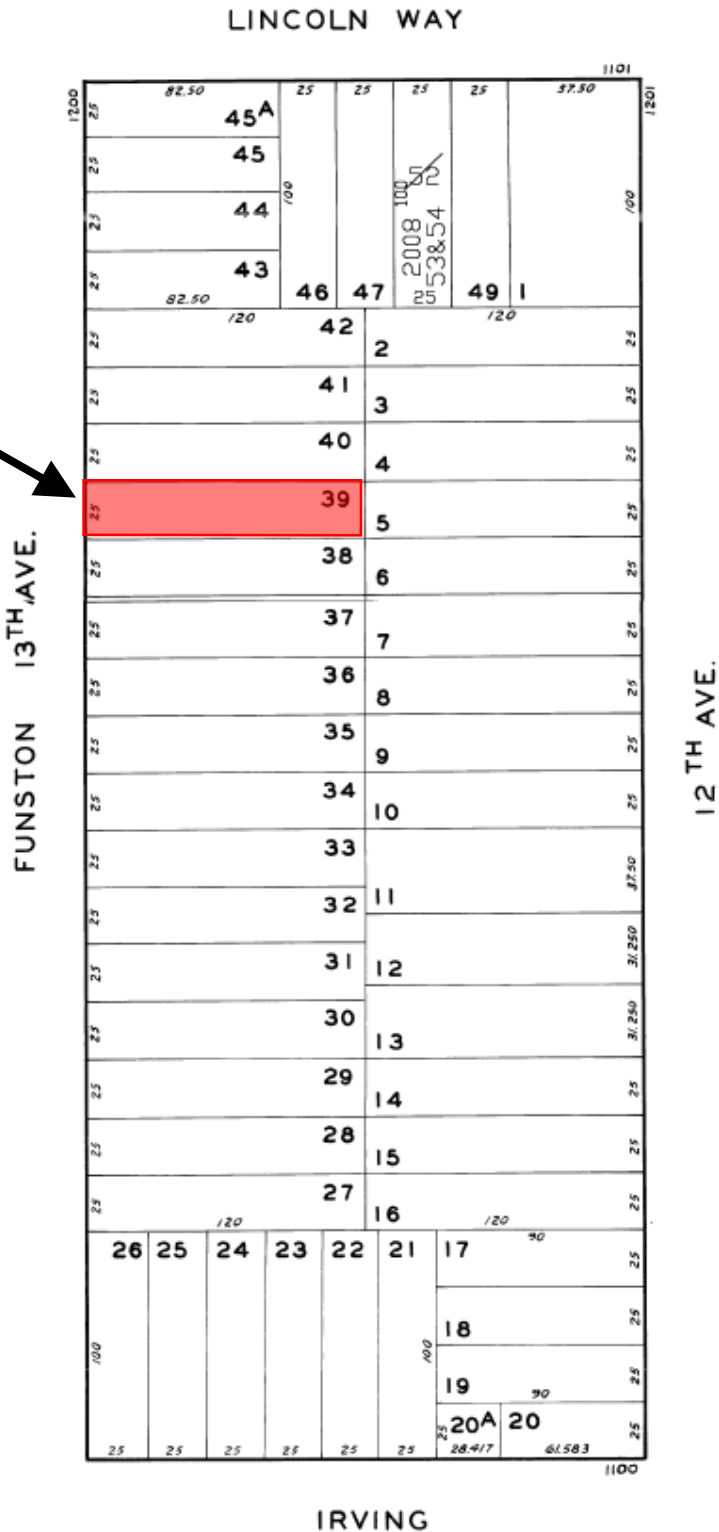
Are the character-defining features of the historic building maintained?		X	
Are the character-defining building form and materials of the historic building maintained?			X
Are the character-defining building components of the historic building maintained?			X
Are the character-defining windows of the historic building maintained?			X
Are the character-defining garages of the historic building maintained?			X

**Comments:** Status = Type B, unknown/age eligible. Subject property is not subject to Article 10. Building is one of three adjacent like buildings constructed in the same year. As seen in applicant’s photographs, the middle building is most intact, the subject building had similar window trim and front entry prior to illegal construction.

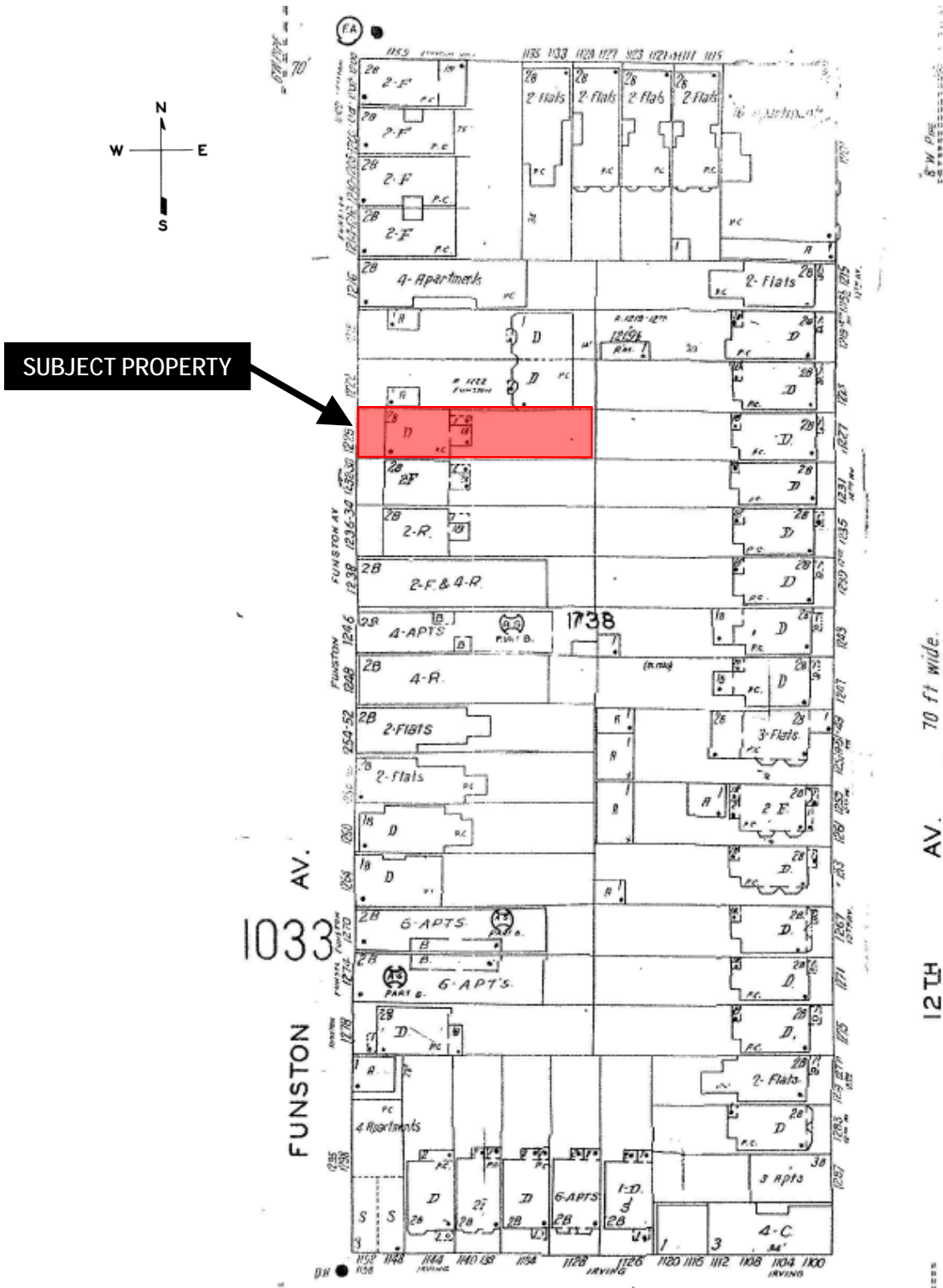
# Parcel Map



**SUBJECT PROPERTY**



# Sanborn Map\*



\*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.

Discretionary Review Hearing  
 Case Number 2014-000599DRM  
 1228 Funston Avenue



# Aerial Photo 1

## Subject Blockface

SUBJECT PROPERTY



# Aerial Photo 2

**Subject Blockface – Photo dated 6/13/2014**  
**Note former building footprint and building in rear yard**

SUBJECT PROPERTY



# Aerial Photo 3

## Side by Side Footprint Comparison

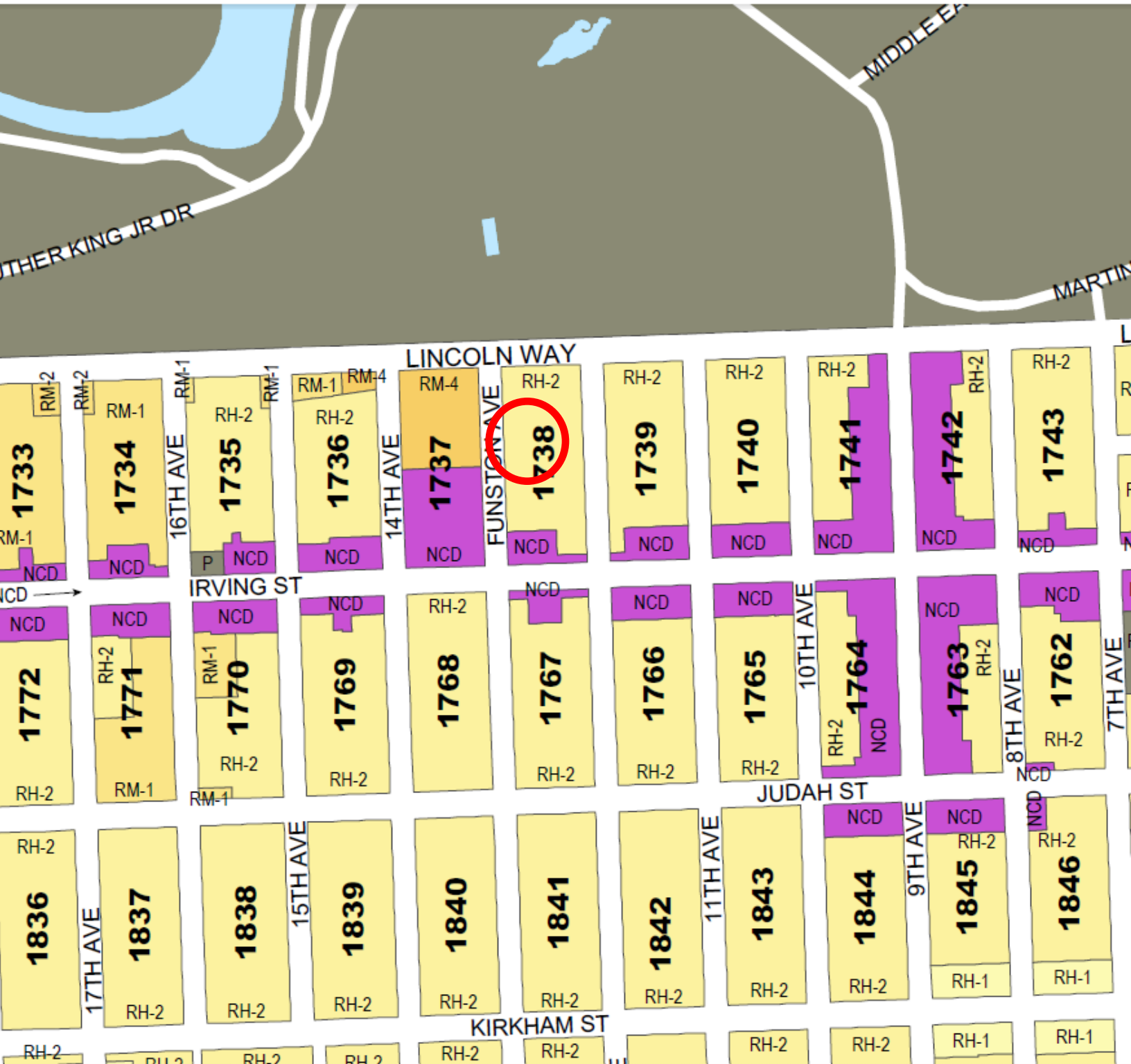
SUBJECT PROPERTY  
May 2013



SUBJECT PROPERTY  
June 2015



# Zoning Map



Discretionary Review Hearing  
Case Number 2014-000599DRM  
1228 Funston Avenue



# Site Photo 1

## Current Condition

SUBJECT PROPERTY



Discretionary Review Hearing  
Case Number 2014-000599DRM  
1228 Funston Avenue

# Site Photo 2

## Previous Condition

SUBJECT PROPERTY



Discretionary Review Hearing  
Case Number 2014-000599DRM  
1228 Funston Avenue

# Site Photo 3

## Bird's-Eye View Rear Elevation

SUBJECT PROPERTY



Discretionary Review Hearing  
Case Number 2014-000599DRM  
1228 Funston Avenue

# Site Photo 4

## Bird's-Eye View Rear Elevation - Previous Condition

SUBJECT PROPERTY



Discretionary Review Hearing  
Case Number 2014-000599DRM  
1228 Funston Avenue

# Site Photo 3

## Rear Elevation

SUBJECT PROPERTY



Discretionary Review Hearing  
Case Number 2014-000599DRM  
1228 Funston Avenue

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# SAN FRANCISCO PLANNING DEPARTMENT

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## Notice of Planning Department Requirements #1

May 14, 2014

Rodrigo Santos  
Santo & Urrutia  
[rsantos@santosurrutia.com](mailto:rsantos@santosurrutia.com)

Yakuh Askew  
YA Studio  
[yakuh@ya-studio.com](mailto:yakuh@ya-studio.com)

**RE: 1228 Funston Avenue** (Address of Permit Work)  
**1738/039** (Assessor's Block/Lot)  
**2014.02.06.7948** (Building Permit Application Number)

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**

Your Building Permit Application #2014.02.06.7948 has been received by the Planning Department and has been assigned to Sara Vellve who has begun review of your application. The following information is required before the permit is accepted as complete and/or is considered Code-complying. Time limits for review of your project will not commence until we receive the requested information or materials and verify their accuracy.

In order to proceed with our review of your Building Permit Application, the following is required:

1. **Buildable Area:** Aerial photos of the property suggest that the existing ground floor projection beyond the second and third floor "pop out" is shorter than depicted on the plans.
  - a. Provide photos of the existing ground-floor development taken from the rear yard and from the third floor looking to grade.
  - b. If the projection is different from what is currently depicted on the plans, adjust the plans to reflect the change and recalculate the average rear yard line.
  - c. Once the above information is provided the Department will review the proposed horizontal addition to determine its compliance with the Planning Code and Residential Design Guidelines.
2. **Street Tree** – If the addition of gross floor area is equal to 20% or more of the gross floor area of the existing building the *Checklist for Tree Planting and Protection* must be completed and submitted for review. Provide the calculation on the plans for review.
3. **Rear Yard Structure** – This structure is not represented on the Sanborn Map and there does not appear to be a permit for its construction. In addition, it exceeds the size of a permitted obstruction which is 10' x 10' or 100 square feet. Please provide a permit, photos of the interior and exterior of the structure, and provide a valid rationale as to how it complies with the Planning Code. If a permit or valid rationale is not provided for the structure it will need to be modified to comply with the Planning Code.

NOPDR #1 sent to:  
Rodrigo Santos  
[rsantos@santosurrutia.com](mailto:rsantos@santosurrutia.com)

Yakuh Askew  
[yakuh@ya-studio.com](mailto:yakuh@ya-studio.com)

May 14, 2014  
1228 Funston Avenue  
2014.02.06.7948

4. **Plans** – Please make the following plan revisions.

- a. Include a dimension line that represents the 25% required rear yard.
- b. On the site plan, dimension the size of the rear yard structure, existing and proposed building depth and side setbacks for the proposed deck and stair.
- c. Notate any proposed changes in materials or windows on the front elevation. If changes are not proposed notate so.
- d. Differentiate the existing building from the proposed building on the proposed side elevations.

**Please note that further comment may follow review of the requested information.**

**Please provide the requested information within thirty (30) days.** The application will be sent back to the Department of Building Inspection for cancellation if we do not receive the requested information in this time. Please contact the assigned planner if you need more time to prepare the requested information.

**All plans submitted must be to an appropriate scale: site plan 1/8" = 1'; floor plans 1/4" = 1'. Plans should be clearly labeled.**

**All plan revisions must be filed at the Department of Building Inspection, Permit Processing Center, 1660 Mission Street, 2<sup>nd</sup> Floor.** Do not submit plans directly to the Planning Department. Plans will not be accepted by mail or messenger, and all plans must be signed by preparer, architect or engineer.

Please respond fully with all requested information and/or plan revisions as described above. You may file any plan revisions responding to this notice at no extra charge. However, please be advised that failure to address all the items listed above, leading to additional requests for revisions beyond those filed in response to this notice, will require a Back-Check Fee for Permit Revisions (\$238 per hour, Planning Code Sections 355(a)2). If you file additional plan revisions in the future, those plan revisions will be subject to the Back-Check Fee.

Planning Department Applications and Publications are available at the Planning Information Center, 1660 Mission Street, 1<sup>st</sup> floor or via the Department website: [www.sfplanning.org](http://www.sfplanning.org).

Please direct any questions concerning this notice to the assigned planner, **Sara Vellve at (415) 558 - 6263 or [sara.vellve@sfgov.org](mailto:sara.vellve@sfgov.org)**. Contact the assigned planner to set up any meeting, should one be necessary. Please do not come to the Planning Department to discuss this notice without an appointment.

Thank you for your attention to this notice. An early and complete response on your part will help expedite our review of your permit application.





# SAN FRANCISCO PLANNING DEPARTMENT

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## Notice of Planning Department Requirements #2

June 11, 2014

Rodrigo Santos  
Santo & Urrutia  
[rsantos@santosurrutia.com](mailto:rsantos@santosurrutia.com)

Yakuh Askew  
YA Studio  
[yakuh@ya-studio.com](mailto:yakuh@ya-studio.com)

**RE:**    **1228 Funston Avenue** (Address of Permit Work)  
          **1738/039** (Assessor's Block/Lot)  
          **2014.02.06.7948** (Building Permit Application Number)

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In order to proceed with our review of your Building Permit Application, the following is required:

- 1. Residential Design Guidelines** – the proposal has been reviewed against the Guidelines as they pertain to preservation of the mid-block open space and massing against adjacent rear cottages. The Residential Design team found that the proposed addition does not appropriately respond to development on the adjacent lots and would block sun light access to adjacent rear cottage. To address this concern, the addition should be modified as follows:
  - a) The depth of the existing ground floor should be retained and not expanded. The ground floor can be expanded to project to each side property line.
  - b) The depth of the second and third floors should align with the depth of the adjacent neighbor's rear wall where the "popout" begins.
- 2. Street Tree** – the required street tree must be shown on the plans. Note that the Department of Public Works (DPW) must approve the street tree location prior to potential approval by the Planning Department. Please work with DPW to gain approval and note that a separate application is required, and that DPW has a backlog of such applications.
- 3. Photos:** Provide photos of the existing building footprint taken from the rear yard and from the third floor looking to grade.

**Please note that further comment may follow review of the requested information.**

**Please provide the requested information within thirty (30) days.** The application will be sent back to the Department of Building Inspection for cancellation if we do not receive the requested information in this time. Please contact the assigned planner if you need more time to prepare the requested information.

**All plans submitted must be to an appropriate scale: site plan 1/8" = 1'; floor plans 1/4" = 1'.**

[www.sfplanning.org](http://www.sfplanning.org)

NOPDR #1 sent to:  
Rodrigo Santos  
[rsantos@santosurrutia.com](mailto:rsantos@santosurrutia.com)

Yakuh Askew  
[yakuh@ya-studio.com](mailto:yakuh@ya-studio.com)

June 11, 2014  
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**Plans should be clearly labeled.**

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# SAN FRANCISCO PLANNING DEPARTMENT

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## Notice of Planning Department Requirements #3

July 19, 2016

Occidental Express  
1019 Howard Street  
San Francisco, CA 94103-2806  
Attn: Henry Karnilowicz (electronic delivery: occexp@aol.com)

**RE: 1228 Funston Ave** (Address of Permit Work)  
**1738/039** (Assessor's Block/Lot)  
**2014.02.06.7948** (Building Permit Application Number)

Revisions to Building Permit Application [#2014.02.06.7948](#) have been received by Laura Ajello of the Planning Department. She has begun review of your application but the following information is required before it is accepted as complete and/or is considered Code-complying. Time limits for review of your project will not commence until we receive the requested information or materials and verify their accuracy.

In order to proceed with our review of your Building Permit Application, the following is required:

1. Fill out and return a Building Permit Supplemental Information sheet. A fillable PDF can be found on the Department website: [http://forms.sfplanning.org/BldgPermitApplication\\_Supplemental\\_Fillable-030215.pdf](http://forms.sfplanning.org/BldgPermitApplication_Supplemental_Fillable-030215.pdf)
2. Obtain and submit archived photographs from the Assessor-Recorder's office.
3. Submit current color photographs of the front and rear of the subject property. *Email digital photographs directly to the project planner.*
4. Submit a copy of the approved building permit for changes that were made to the front façade or add this work to the scope of the current permit. *Please note that façade changes may require an Environmental Evaluation application. Restoration of the original covered entry and window trim that was removed will likely be required.*
5. Rear Yard structure: A 20' wide x 25' deep structure is shown on previous plan sets. Submit a copy of the approved demolition permit.
6. Per the Department's [Plan Submittal Guidelines](#), please revise the plans to include the following additional information on the Site Plan:
  - a. Depict all three states of the project: Original existing conditions, As-Built conditions and, proposed changes, if any;
  - b. Dimension all yards and setbacks;

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**

NOPDR #3 sent to:  
Henry Karnilowicz  
1019 Howard Street  
San Francisco, CA 94107

July 19, 2016  
2014.02.06.7948  
1228 Funston Avenue

- c. Depict existing front stairs and driveway;
  - d. Notate the height of buildings on adjacent lots; changes in height and features such as decks and lightwells;
  - e. Accurately and consistently depict the existing structure at 1230-1232 Funston; and
  - a. Accurately depict sidewalk, curb cuts, street trees and landscaped areas.
7. Make the following changes to the existing and proposed Floor Plans:
- a. Depict the first floor window located near the garage door.
  - b. Dimension the width of the garage door;
  - c. Dimension the proposed deck and stairs; and
  - d. Dimension and notate light wells.
8. Make the following changes to the front Elevations:
- a. Accurately depict the original conditions including the front entry, window alignment and trim; and
  - b. Accurately depict and notate all proposed window, garage door and front entry changes.
9. Make the following changes to the north and south Elevations:
- a. Notate the rear property line, 25% and 45% rear yards;
  - b. Dimension the as-built addition; and
  - c. Depict window openings on adjacent structures that face the project.
10. Provide existing and proposed Section drawings per the Department's Plan Submittal Guidelines.
11. **Residential Design Guidelines.** On May 1, 2014, the Residential Design Team (RDT) reviewed the proposed project and found some aspects of the design to be inconsistent with the Residential Design Guidelines established by Section 311(c)(1) of the Planning Code (see attached). The revised project will be brought back to RDT upon completion of the application and plans. Staff will follow-up with you under separate cover, following the outcome of that meeting.

Please note that further comment may follow review of the requested information.

As you are aware, the above application is required to abate an outstanding Planning Code violation. Failure to respond to this notice within the required 30-day time period **will result in enforcement proceedings by the Planning Department**. Administrative penalties of up to **\$250 per day** may also be assessed to the responsible party for each day the violation remains unabated. Additionally, the above application may be cancelled if we do not receive the requested information within 30 days.

**All plans submitted must be to an appropriate scale: site plan 1/8" = 1'; floor plans 1/4" = 1'. Plans should be clearly labeled.**

NOPDR #3 sent to:  
Henry Karnilowicz  
1019 Howard Street  
San Francisco, CA 94107

July 19, 2016  
2014.02.06.7948  
1228 Funston Avenue

**All building permit plan revisions must be filed at the Department of Building Inspection (DBI), Permit Processing Center, 1660 Mission Street, 2<sup>nd</sup> Floor.** To officially submit a change to the building permit plans, do not submit building permit plans directly to the Planning Department. Per DBI requirements, these plan revisions will not be accepted by mail or messenger, and all plans must be signed by preparer, architect or engineer.

**Please submit the requested information, or contact the assigned planner if you need more time to prepare the requested information, within thirty (30) days.** If the Department has not received the requested information within 90 days, the application will be sent back to the Department of Building Inspection for cancellation.

Please direct any questions concerning this notice to the assigned planner, **Laura Ajello at (415) 575-9142 or [laura.ajello@sfgov.org](mailto:laura.ajello@sfgov.org).** Contact the assigned planner to set up any meeting, should one be necessary. **Please do not come to the Planning Department to discuss this notice without an appointment.** Thank you for your attention to this notice. An early and complete response on your part will help expedite our review of your permit application.

Encl: RDT Memo dated 5/1/14  
CC: Property Owner, Eduardo Paniagua, 176 Randall St., 94131;  
Gerald Green ([gerald\\_g\\_green@yahoo.com](mailto:gerald_g_green@yahoo.com))

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Planning Department Applications and Publications are available at the Planning Information Center, 1660 Mission Street, 1<sup>st</sup> floor or via the Department website: [www.sfplanning.org](http://www.sfplanning.org).

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# SAN FRANCISCO PLANNING DEPARTMENT

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## Notice of Planning Department Requirements #4

February 9, 2017

Occidental Express  
1019 Howard Street  
San Francisco, CA 94103-2806  
Attn: Henry Karnilowicz (electronic delivery: [occexp@aol.com](mailto:occexp@aol.com))

**RE: 1228 Funston Ave** (Address of Permit Work)  
**1738/039** (Assessor's Block/Lot)  
**2014.02.06.7948** (Building Permit Application Number)

Revisions to Building Permit Application [#2014.02.06.7948](#) have been received by Laura Ajello of the Planning Department. She has begun review of your application but the following information is required before it is accepted as complete and/or is considered Code-complying. Time limits for review of your project will not commence until we receive the requested information or materials and verify their accuracy.

Your proposal to legalize the addition and façade changes was reviewed by Preservation staff, the Residential Design Team and senior Planning staff. The proposal does not meet the Residential Design Guidelines and cannot be approved as proposed. Prior to moving forward with the Mandatory DR Application scheduled for intake on March 1, please make the following changes to the plans:

1. Project scope description. Revise the scope of work to accurately describe the proposal to "legalize" the rear addition and demolition of the rear yard structure.
2. Revise the Site Plan as follows: Notate the height of buildings on adjacent lots; changes in height and features such as decks and lightwells. This item has not been addressed.
3. Make the following changes to the north and south Elevations: Depict window openings on adjacent structures that face the project. This item has not been fully addressed. *The photographs that were provided show one window on the adjacent property at 1230 Funston.*
4. Architectural details. Provide section detail drawings on front door covered entry and façade window trim proposed for restoration. Accurately depict the column capitals to be restored.
5. Provide detailed photographs or drawings of the front door.
6. Submit a 3-R report from the Department of Building Inspection. This item has not been addressed.
7. Submit a legible reduced set of the plans (sized 11" x 17") in PDF format.

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**

NOPDR #4 sent to:  
Henry Karnilowicz  
1019 Howard Street  
San Francisco, CA 94107

February 9, 2017  
2014.02.06.7948  
1228 Funston Avenue

Please note that further comment may follow review of the requested information.

As you are aware, the above application is required to abate an outstanding Planning Code violation. Failure to respond to this notice within the required 30-day time period **will result in enforcement proceedings by the Planning Department**. Administrative penalties of up to **\$250 per day** may also be assessed to the responsible party for each day the violation remains unabated. Additionally, the above application may be cancelled if we do not receive the requested information within 30 days.

**All plans submitted must be to an appropriate scale: site plan 1/8" = 1'; floor plans 1/4" = 1'. Plans should be clearly labeled.**

**All building permit plan revisions must be filed at the Department of Building Inspection (DBI), Permit Processing Center, 1660 Mission Street, 2<sup>nd</sup> Floor.** To officially submit a change to the building permit plans, do not submit building permit plans directly to the Planning Department. Per DBI requirements, these plan revisions will not be accepted by mail or messenger, and all plans must be signed by preparer, architect or engineer.

**All planning entitlement case revisions must be submitted to the Planning Department, 1650 Mission Street, 4<sup>th</sup> floor, to the Planner's attention.** To officially submit a change to an active planning entitlement case, submit these directly to the Planning Department. Note this is a separate submittal from DBI.

Please direct any questions concerning this notice to the assigned planner, **Laura Ajello at (415) 575-9142 or [laura.ajello@sfgov.org](mailto:laura.ajello@sfgov.org)**. **Please do not come to the Planning Department to discuss this notice without an appointment.** Thank you for your attention to this notice.

CC: Rachna, Zoning and Compliance; Property Owners, Eduardo Paniagua and Elena Asturias  
([eduardopaniagua@yahoo.com](mailto:eduardopaniagua@yahoo.com), [elena\\_asturias@yahoo.com](mailto:elena_asturias@yahoo.com));  
Gerald Green ([gerald\\_g\\_green@yahoo.com](mailto:gerald_g_green@yahoo.com))

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Planning Department Applications and Publications are available at the Planning Information Center, 1660 Mission Street, 1<sup>st</sup> floor or via the Department website: [www.sfplanning.org](http://www.sfplanning.org).



# APPLICATION FOR Discretionary Review

## 1. Owner/Applicant Information

DR APPLICANT'S NAME: <b>EDUARDO PANIAGUA</b>		
DR APPLICANT'S ADDRESS: <b>176 RANDALL STREET</b>	ZIP CODE: <b>94131</b>	TELEPHONE: <b>(415 )860-2482</b>

PROPERTY OWNER WHO IS DOING THE PROJECT ON WHICH YOU ARE REQUESTING DISCRETIONARY REVIEW NAME: <b>EDUARDO PANIAGUA</b>		
ADDRESS: <b>176 RANDALL STREET</b>	ZIP CODE: <b>94131</b>	TELEPHONE: <b>(415 ) 860-2482</b>

CONTACT FOR DR APPLICATION:		
Same as Above <input type="checkbox"/> <input checked="" type="checkbox"/>		
ADDRESS:	ZIP CODE:	TELEPHONE: (   )
E-MAIL ADDRESS:		

## 2. Location and Classification

STREET ADDRESS OF PROJECT: <b>1228 FUNSTON AVENUE</b>	ZIP CODE: <b>94122</b>
CROSS STREETS: <b>LINCOLN AND IRVING</b>	

ASSESSORS BLOCK/LOT:	LOT DIMENSIONS:	LOT AREA (SQ FT):	ZONING DISTRICT:	HEIGHT/BULK DISTRICT:
/				

## 3. Project Description

Please check all that apply

Change of Use  Change of Hours  New Construction  Alterations  Demolition  Other 

**Additions to Building:** Rear  Front  Height  Side Yard   
**SINGLE FAMILY RESIDENCE**

Present or Previous Use:

Proposed Use: **SINGLE FAMILY RESIDENCE**Building Permit Application No. **2014.02.06.7948**Date Filed: **02/06/2014**

4. Actions Prior to a Discretionary Review Request

Prior Action	YES	NO
Have you discussed this project with the permit applicant?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you discuss the project with the Planning Department permit review planner?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you participate in outside mediation on this case?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

5. Changes Made to the Project as a Result of Mediation

If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes there were made to the proposed project.

**ALL ADJACENT NEIGHBORS FAVOR THE PROJECT. STAFF WILL NOT SIGN OFF ON THIS PROJECT SO WE NEED TO HAVE THE PLANNING COMMISSION SIGN OFF ON IT.**

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# Discretionary Review Request

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.

**THE DR IS STAFF INITIATED.**

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2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how:

**THIS PROJECT DOES NOT CAUSE ANY UNREASONABLE IMPACTS.**

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3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

**EVERYTHING IN THE PROJECT IS WITHIN CODE AND WITHIN RIGHT. THERE ARE NO CHANGES NEEDED.**

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# Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: The other information or applications may be required.

Signature:  Date: 3-15-17

Print name, and indicate whether owner, or authorized agent:

EDUARDO PANIAGUA, OWNER  
Owner / Authorized Agent (circle one)

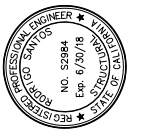




# ADDITION AND REMODEL 1228 FUNSTON AVENUE SAN FRANCISCO, CALIFORNIA

REVISIONS	BY
1 11/30/15	R.S.
2 04/15/16	DI
3 08/04/2016	di

**SANTOS & URRUTIA**  
 STRUCTURAL  
 ENGINEERS  
 2451 HARRISON STREET  
 SAN FRANCISCO, CA 94110  
 TELEPHONE (415) 642-7722  
 FAX (415) 642-7590

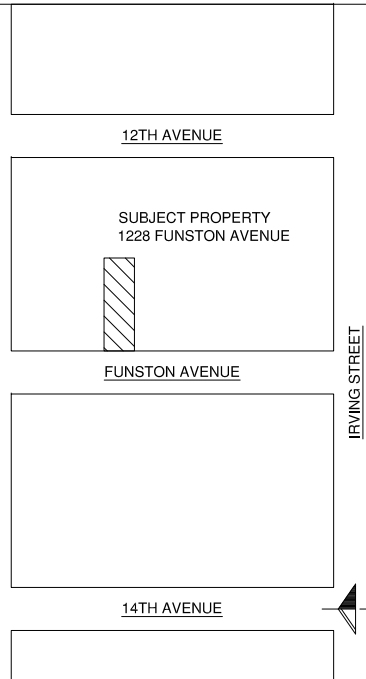


PROJECT INFORMATION

**ADDITION AND REMODEL**  
**1228 FUNSTON**  
**SAN FRANCISCO, CALIFORNIA**

Date:	08/02/2016
Scale:	
Drawn By:	R.S.
Job No:	9197
Sheet	<b>AO</b>
Of 16	Sheets

## AERIAL VIEW



## PLANNING INFORMATION

OWNER: EDUARDO PANIAGUA

PROJECT CONTACT: SANTOS & URRUTIA STRUCTURAL ENGINEERS  
2451 HARRISON STREET  
SAN FRANCISCO, CALIFORNIA 94110

(415) 642-7722  
(415) 642-7590

BUILDING INFO:

BLOCK: 1738/039  
BUILDING USE: SINGLE FAMILY DWELLING  
TYPE OF CONSTRUCTION: TYPE V-B  
NUMBER OF STORIES: 2 OVER BASEMENT  
OCCUPANCY CLASS: R3  
ZONING DISTRICT: RH-2  
NUMBER OF DWELLING UNITS: 1  
LOT DEPTH: 120 FEET  
LOT WIDTH: 25 FEET  
REQUIRED YARD: 45% OF LOT DEPTH OR AVG OF ADJACENT PROPERTIES

APPLICABLE CODES:

2010 CALIFORNIA BUILDING CODE WITH LOCAL AMENDMENTS  
2010 CALIFORNIA MECHANICAL CODE  
2010 CALIFORNIA ELECTRICAL CODE  
2010 CALIFORNIA PLUMBING CODE

## SHEET INDEX

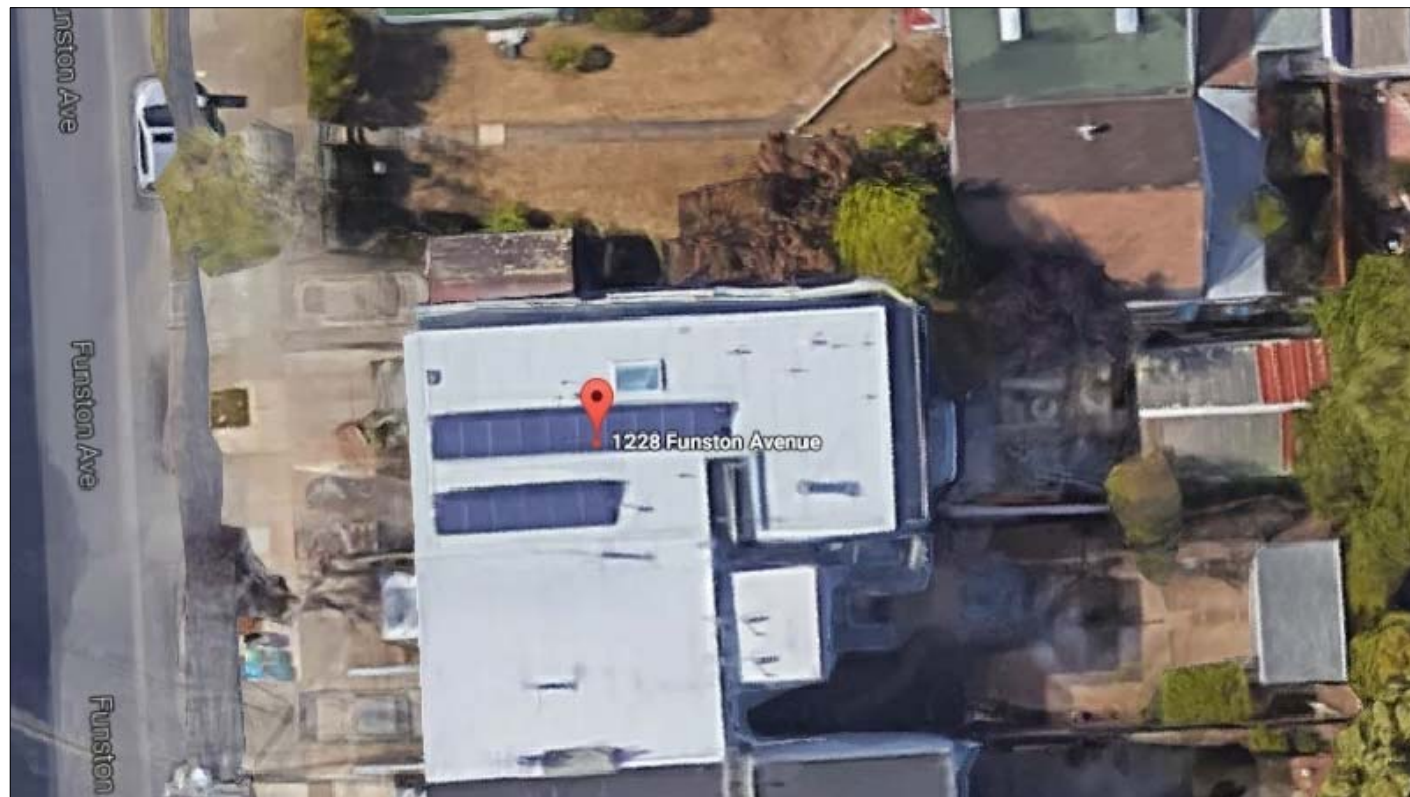
- A0 - TITLE SHEET, DRAWING INDEX, GENERAL INFO AND SITE PLAN.
- A1 - EXISTING AND AS-BUILT SITE PLAN
- A2 - EXISTING AND AS-BUILT FIRST FLOOR PLAN
- A3 - EXISTING AND AS-BUILT SECOND FLOOR PLAN
- A4 - EXISTING AND AS-BUILT THIRD FLOOR PLAN
- A5 - EXISTING AND AS-BUILT ROOF PLAN
- A6 - EXISTING AND PROPOSED WEST ELEVATION
- A7 - AS-BUILT WEST ELEVATION
- A8 - EXISTING AND AS-BUILT EAST ELEVATION
- A9 - EXISTING AND AS-BUILT NORTH ELEVATION
- A10 - EXISTING AND AS-BUILT SOUTH ELEVATION
- A11 - EXISTING AND AS-BUILT SECTIONS
- A12 - EXISTING AND AS-BUILT SECTIONS
- SK2 - EXISTING AND AS-BUILT NEIGHBORHOOD PATTERN
- SK3 - AS-BUILT SITE PHOTOGRAPHS
- SK4 - ARCHIVAL PHOTOGRAPHS

## DRAWING SYMBOLS

- BUILDING ELEVATION TAG
- BUILDING SECTION TAG
- WINDOW / STOREFRONT TAG
- DETAIL TAG
- INT. WALL TYPE TAG (NUMBERS)
- EXT. WALL TYPE TAG (LETTERS)
- KEY NOTE
- DOOR TAG

## SCOPE OF WORK

- INTERIOR REMODELING AND VERTICAL ADDITION AT REAR
- RESTORATION OF FRONT-FACADE TO ORIGINAL HISTORIC CONDITION
- DEMOLITION OF ILLEGAL, 20' x 25' BACKYARD STRUCTURE



## SITE PLAN

SCALE: NTS

RODRIGO SANTOS

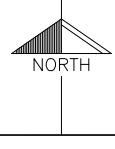
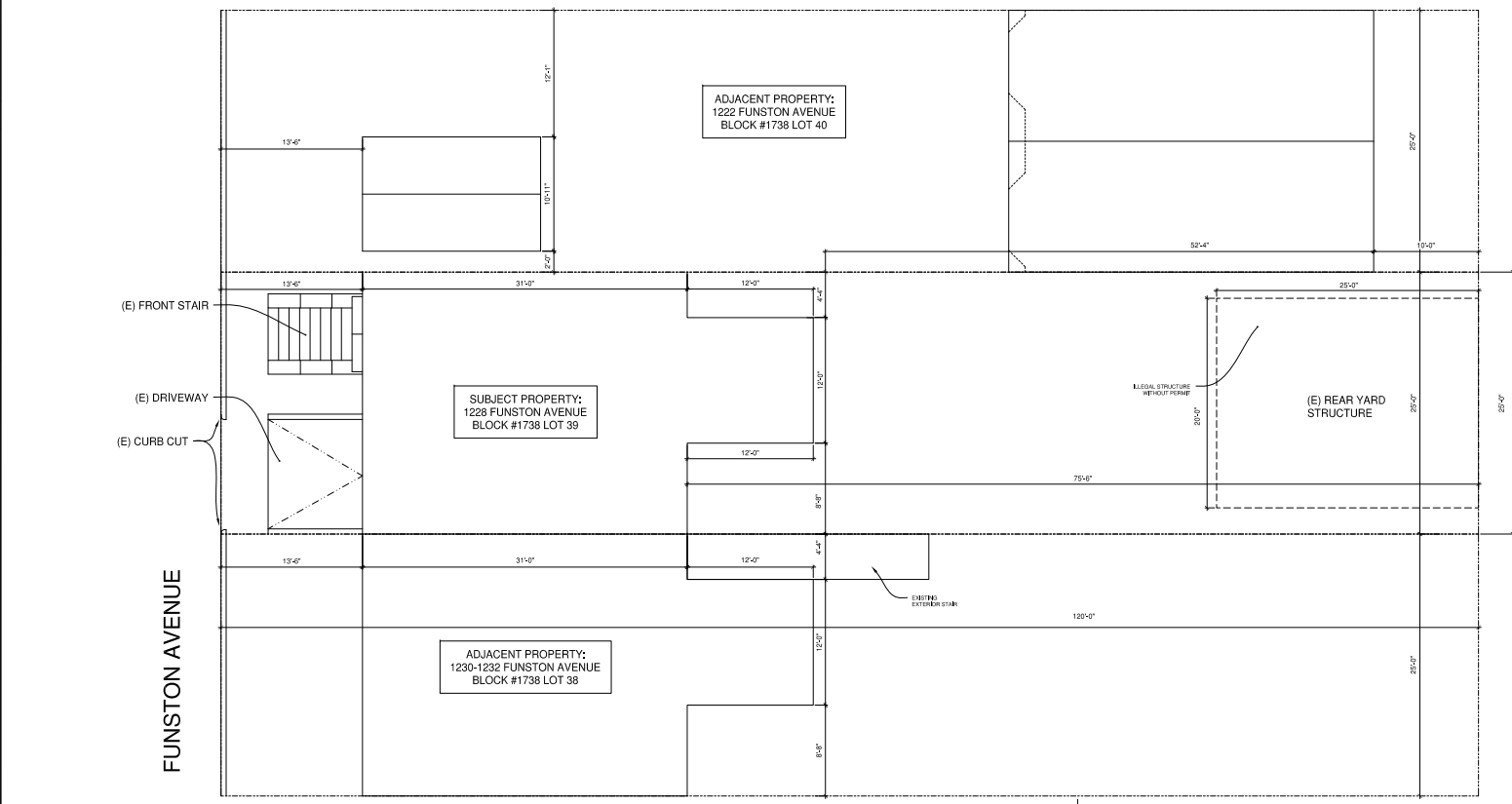
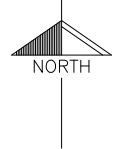
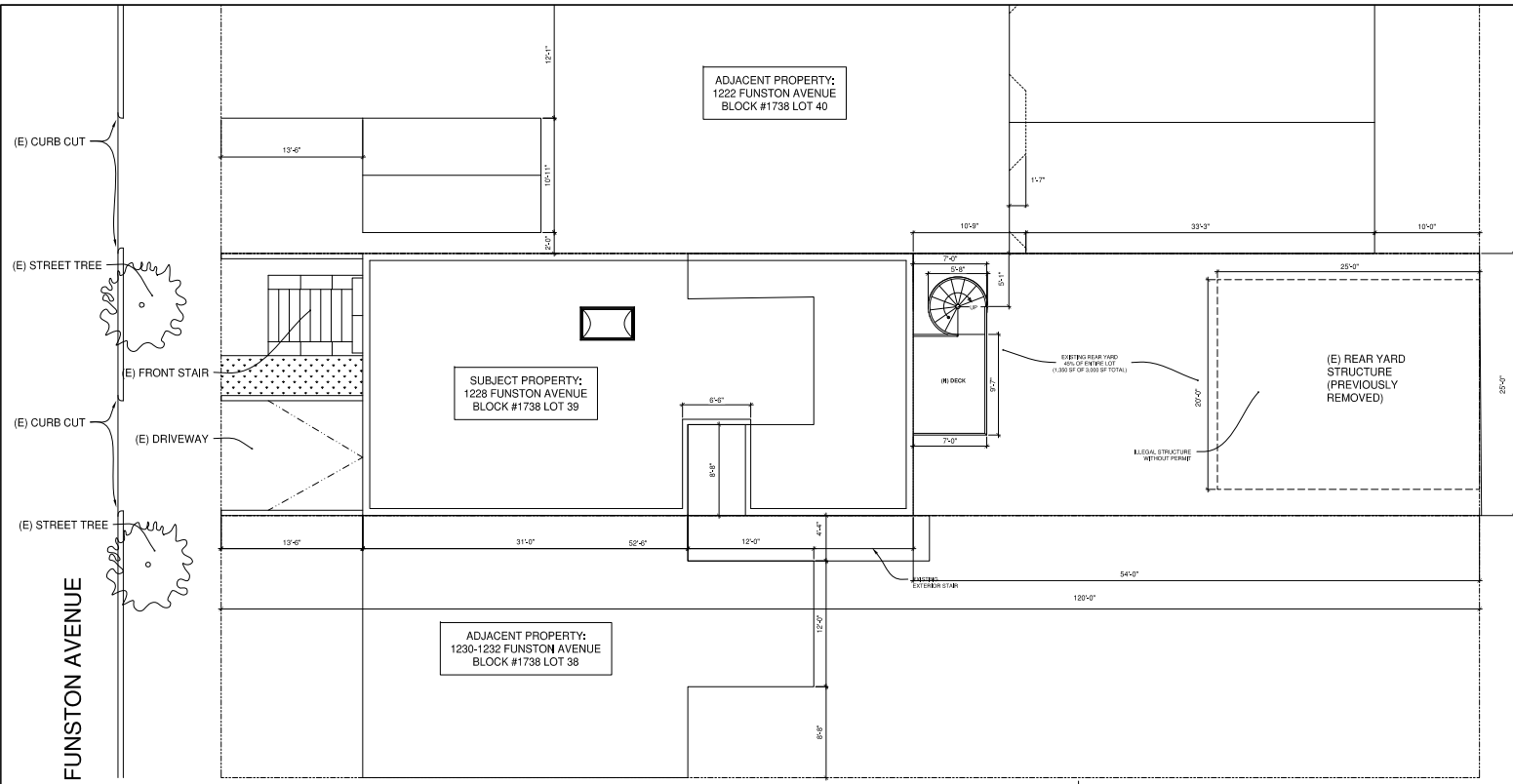
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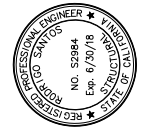
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 12/12/2016 2:45 PM Plotted by: dwin  
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XREF: PATH:  
 RODRIGO SANTOS



REVISIONS	BY
1 11/30/15	R.S.
3 08/04/2016	di

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 SAN FRANCISCO, CA 94110  
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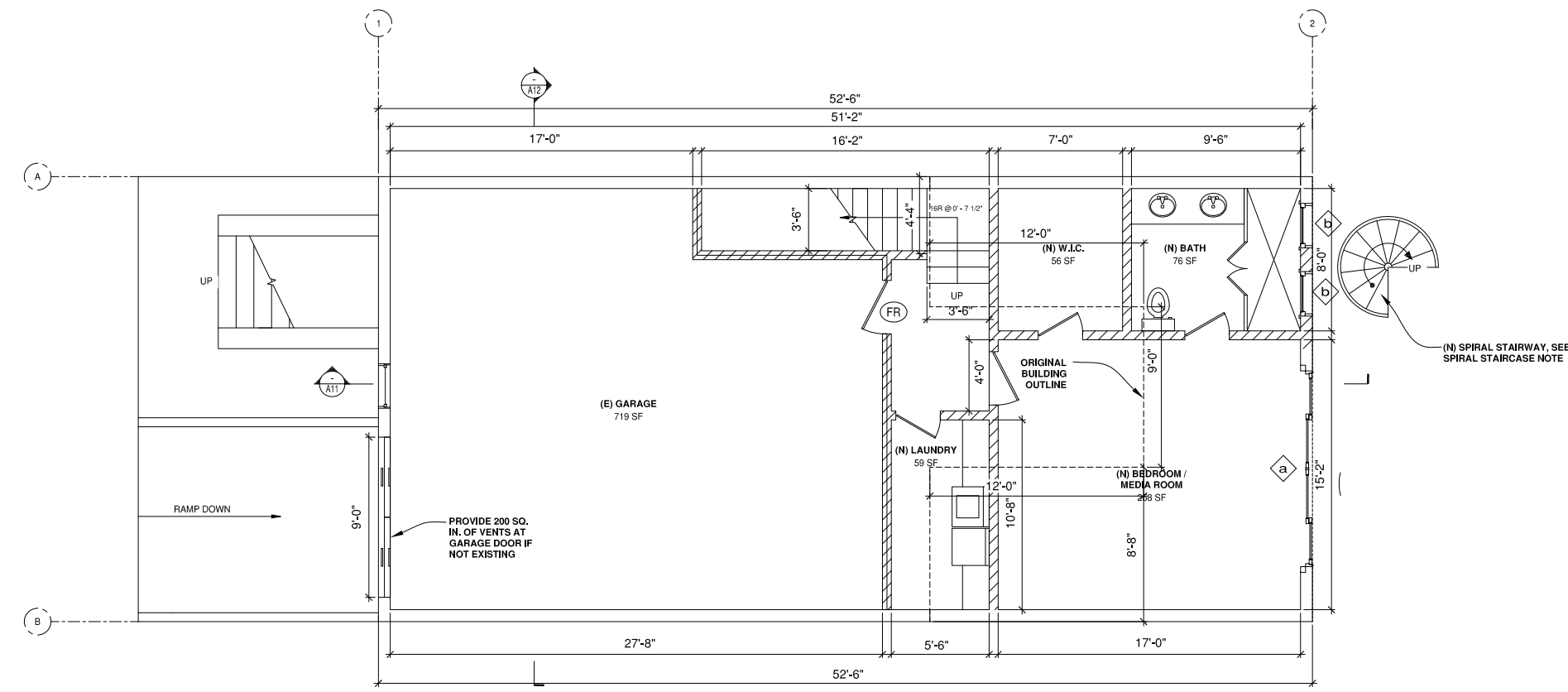


EXISTING AND AS-BUILT  
**SITE PLAN**

**ADDITION AND REMODEL**  
**1228 FUNSTON**  
 SAN FRANCISCO, CALIFORNIA

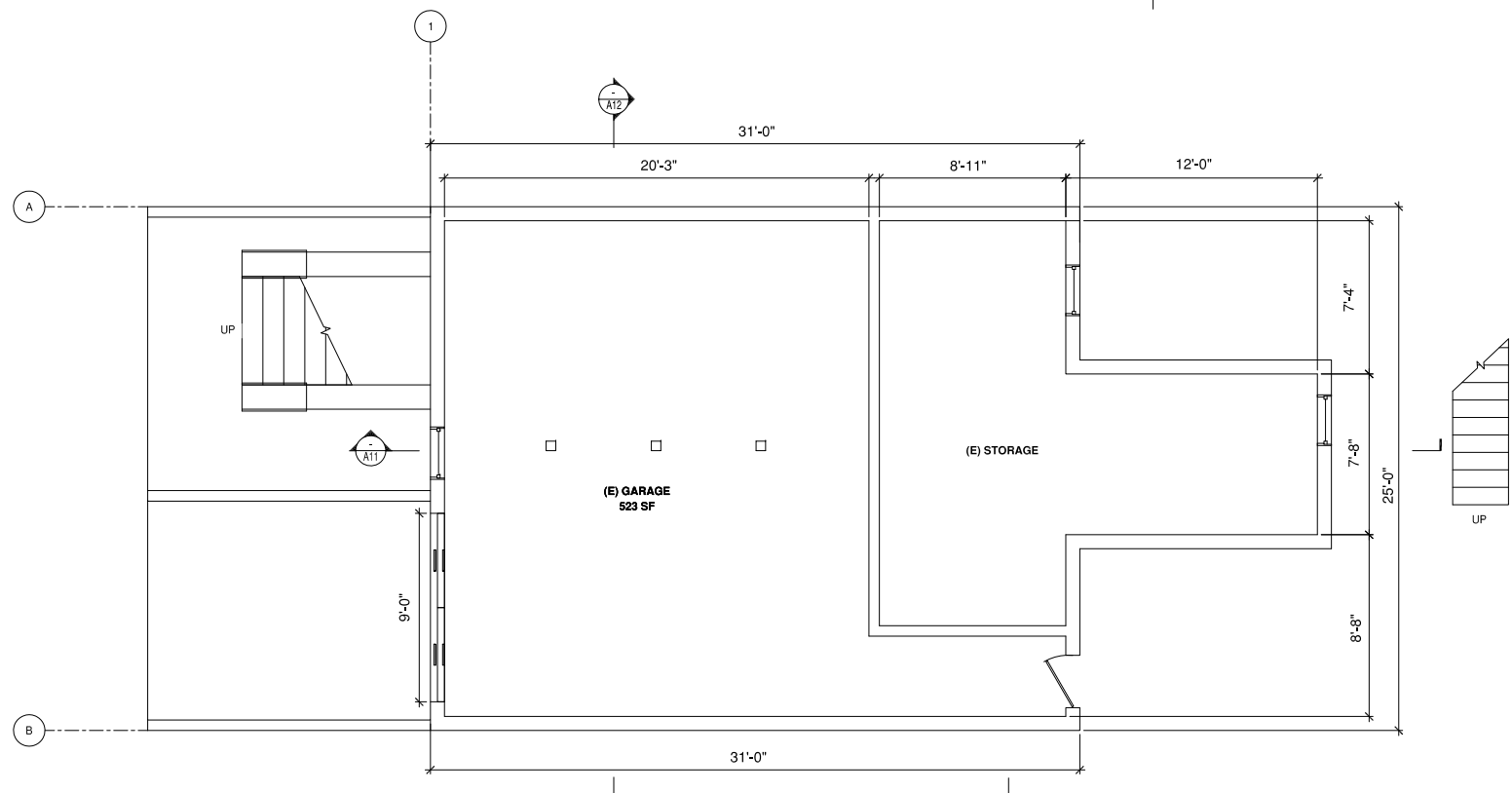
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Drawn By:	R.S.
Job No:	9197
Sheet	<b>A1</b>
of 16	Sheets





**AS BUILT FIRST FLOOR PLAN (NO NEW WORK)**

SCALE: 1/4"=1'-0"



**ORIGINAL EXISTING FIRST FLOOR PLAN**

SCALE: 1/4"=1'-0"

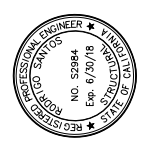
**SPIRAL STAIRCASE NOTE:**  
 A SPIRAL STAIRWAY SHALL HAVE A 7-1/2 IN (191 MM) MINIMUM CLEAR TREAD DEPTH AT A POINT 12 IN (305 MM) FROM THE NARROW EDGE. THE RISERS SHALL BE SUFFICIENT TO PROVIDE A HEADROOM OF 78 IN (1981 MM) MINIMUM, BUT RISER HEIGHT SHALL NOT BE MORE THAN 9-1/2 IN (241 MM). THE MINIMUM STAIRWAY CLEAR WIDTH AT AND BELOW THE HANDRAIL SHALL BE 26 IN (660 MM). (CALIFORNIA BUILDING CODE 2013 - 1009.12)

LEGEND	
SYMBOL	DESCRIPTION
(RES)	RESCUE WINDOW, 20"x24" CLR MIN. OPERABLE AREA 5.7 SQ FT MIN. 44" SILL MAX.
(FR)	PROVIDE 36"x80", 20 MIN. FIRE-RATED DOOR w/ SELF-CLOSER, TIGHT-FITTING
- - -	DEMO (E) WALLS
▨	(N) 1-HR FIRE RATED WALL
▩	(N) WALL

NEW WINDOW/SLIDING DOOR SCHEDULE					
SYMBOL	WIDTH	HEIGHT	SILL HEIGHT	TYPE	MATERIAL
a	11'-0"	7'-10"	0'	SLIDING DOOR	VINYL
b	2'-6"	1'-6"	6'-6"	FIX	VINYL
c	2'-6"	4'-0"	4'-0"	SINGLE HUNG	VINYL
d	4'-10"	4'-10"	3'-3"	SINGLE HUNG	VINYL
e	5'-6"	8'-0"	2'-1"	SLIDING DOOR	VINYL
f	4'-6"	4'-8"	4'-0"	SINGLE HUNG	VINYL
g	2'-6"	3'-0"	4'-0"	SINGLE HUNG	VINYL

REVISIONS	BY
1 11/30/15	R.S.
3 08/04/2016	di

**SANTOS & URRUTIA**  
 STRUCTURAL ENGINEERS  
 2451 HARRISON STREET  
 SAN FRANCISCO, CA 94110  
 TELEPHONE (415) 642-7722  
 FAX (415) 642-7590



**EXISTING AND AS-BUILT  
 FIRST FLOOR PLAN**

**ADDITION AND REMODEL  
 1228 FUNSTON  
 SAN FRANCISCO, CALIFORNIA**

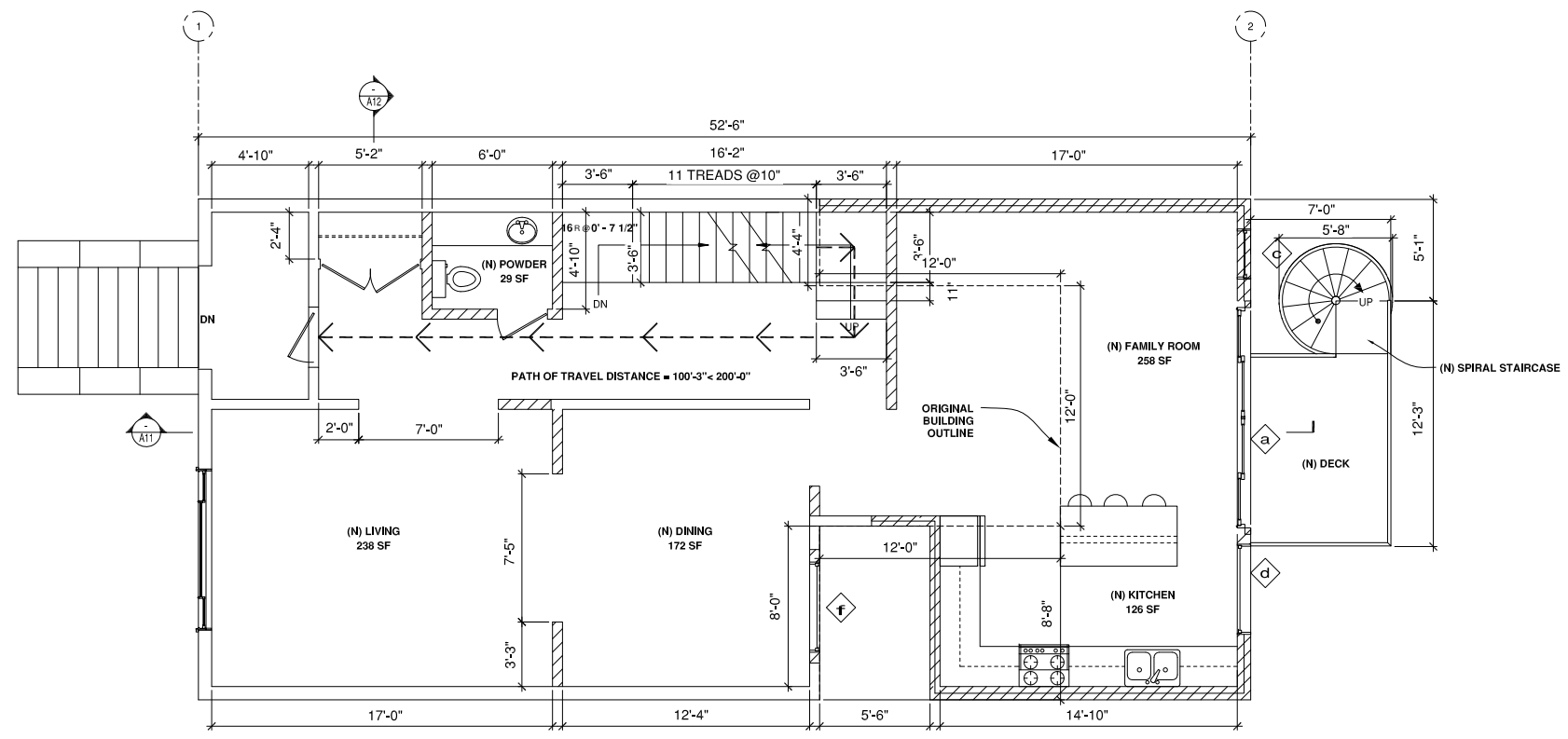
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Job No:	9197
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of 16	Sheets

RODRIGO SANTOS

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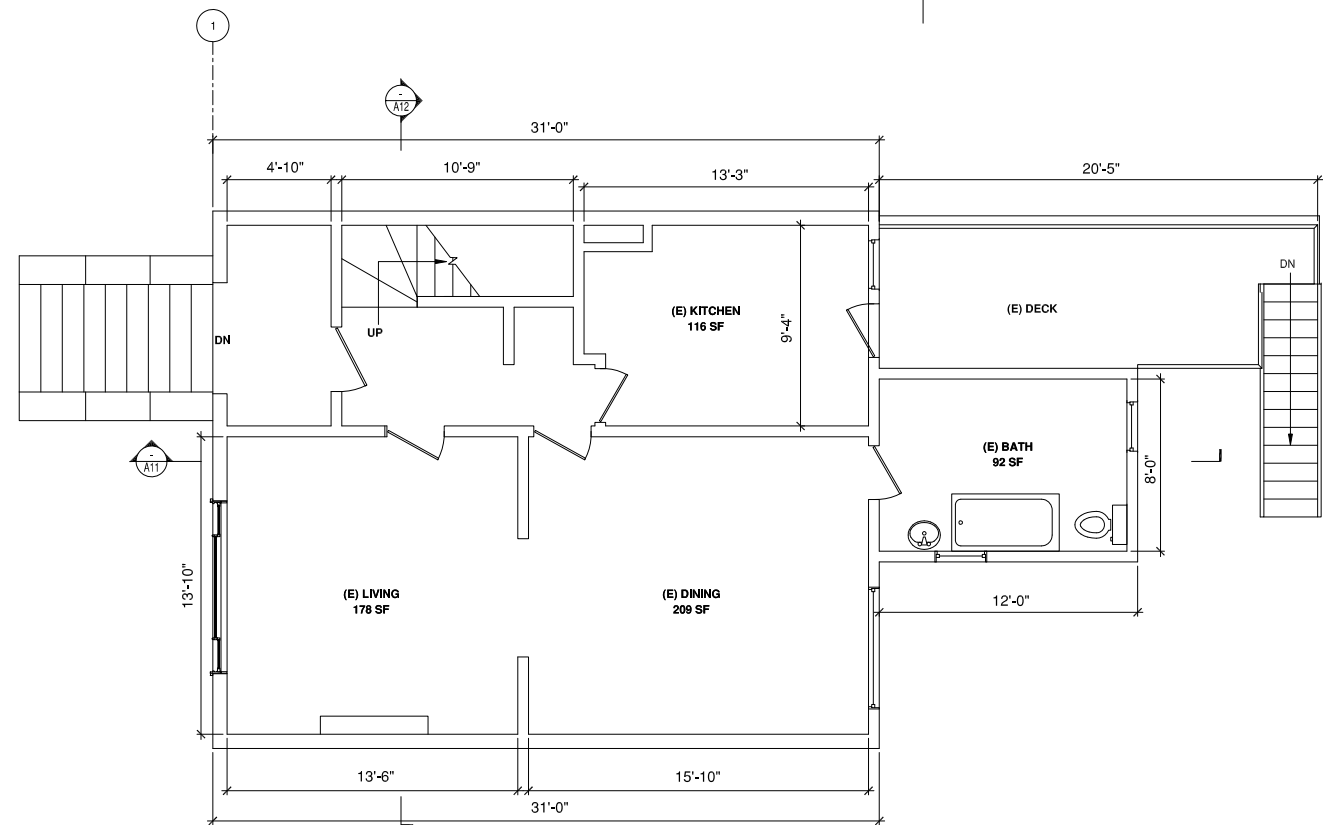
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**AS BUILT SECOND FLOOR PLAN (NO NEW WORK)**

SCALE: 1/4"=1'-0"



**ORIGINAL EXISTING SECOND FLOOR PLAN**

SCALE: 1/4"=1'-0"



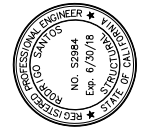
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LEGEND	
SYMBOL	DESCRIPTION
(RES)	RESCUE WINDOW, 20"x24" CLR MIN. OPERABLE AREA 5.7 SQ FT MIN. 44" SILL MAX.
(FR)	PROVIDE 36"x80", 20 MIN. FIRE-RATED DOOR w/ SELF-CLOSER, TIGHT-FITTING
- - -	DEMO (E) WALLS
	(N) 1-HR FIRE RATED WALL
	(N) WALL

NEW WINDOW/SLIDING DOOR SCHEDULE					
SYMBOL	WIDTH	HEIGHT	SILL HEIGHT	TYPE	MATERIAL
a	11'-0"	7'-10"	0'	SLIDING DOOR	VINYL
b	2'-6"	1'-6"	6'-6"	FIX	VINYL
c	2'-6"	4'-0"	4'-0"	SINGLE HUNG	VINYL
d	4'-10"	4'-10"	3'-3"	SINGLE HUNG	VINYL
e	5'-6"	8'-0"	2'-1"	SLIDING DOOR	VINYL
f	4'-6"	4'-8"	4'-0"	SINGLE HUNG	VINYL
g	2'-6"	3'-0"	4'-0"	SINGLE HUNG	VINYL

REVISIONS	BY
1 11/30/15	R.S.
3 08/04/2016	di

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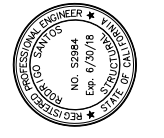
EXISTING AND AS-BUILT  
 SECOND FLOOR PLAN

**ADDITION AND REMODEL**  
**1228 FUNSTON**  
 SAN FRANCISCO, CALIFORNIA

Date:	08/02/2016
Scale:	
Drawn By:	R.S.
Job No:	9197
Sheet	<b>A3</b>
of 16	Sheets

REVISIONS	BY
1 11/30/15	R.S.
3 08/04/2016	di

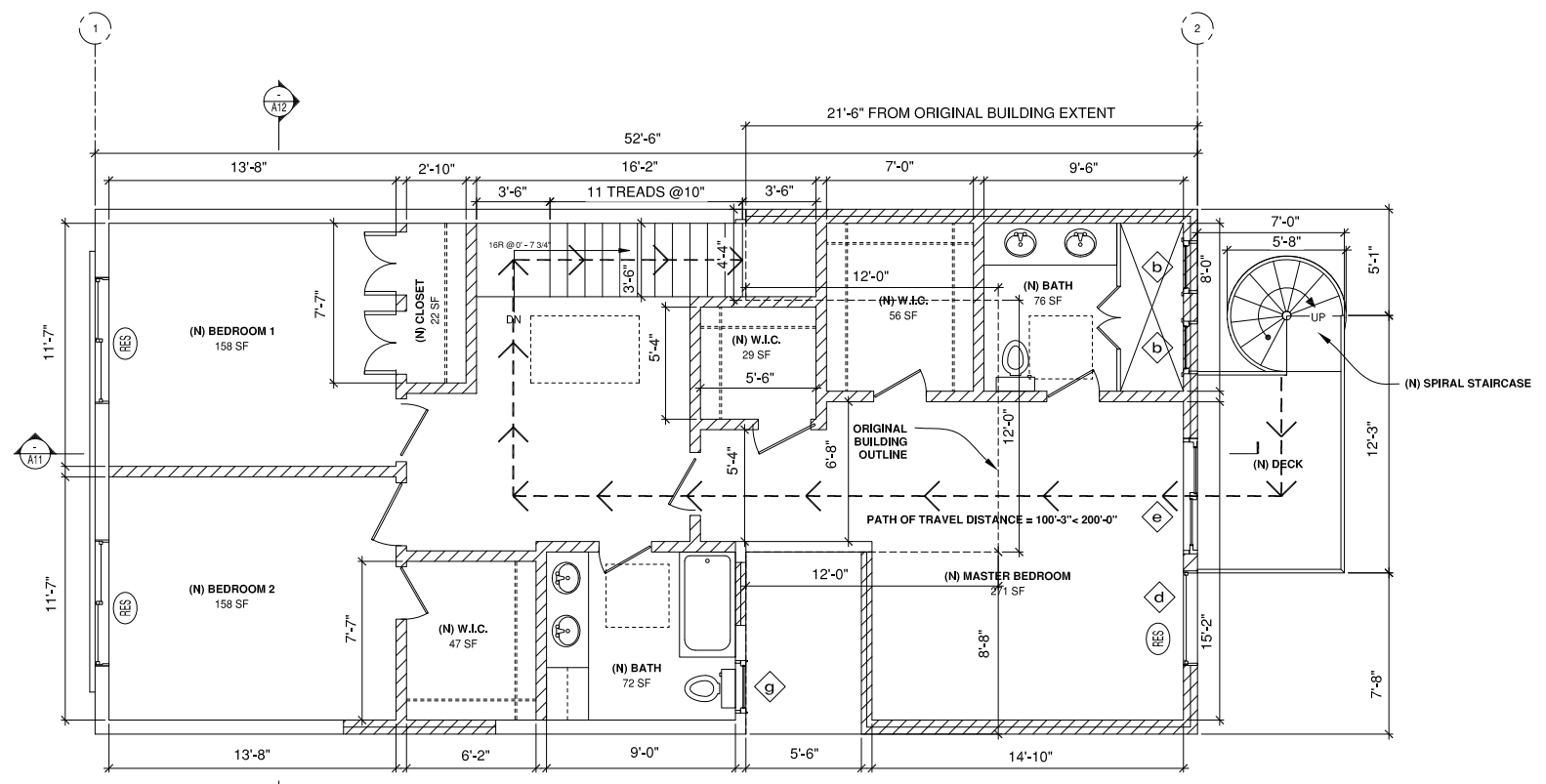
**SANTOS & URRUTIA**  
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**EXISTING AND AS BUILT  
 THIRD FLOOR PLAN**

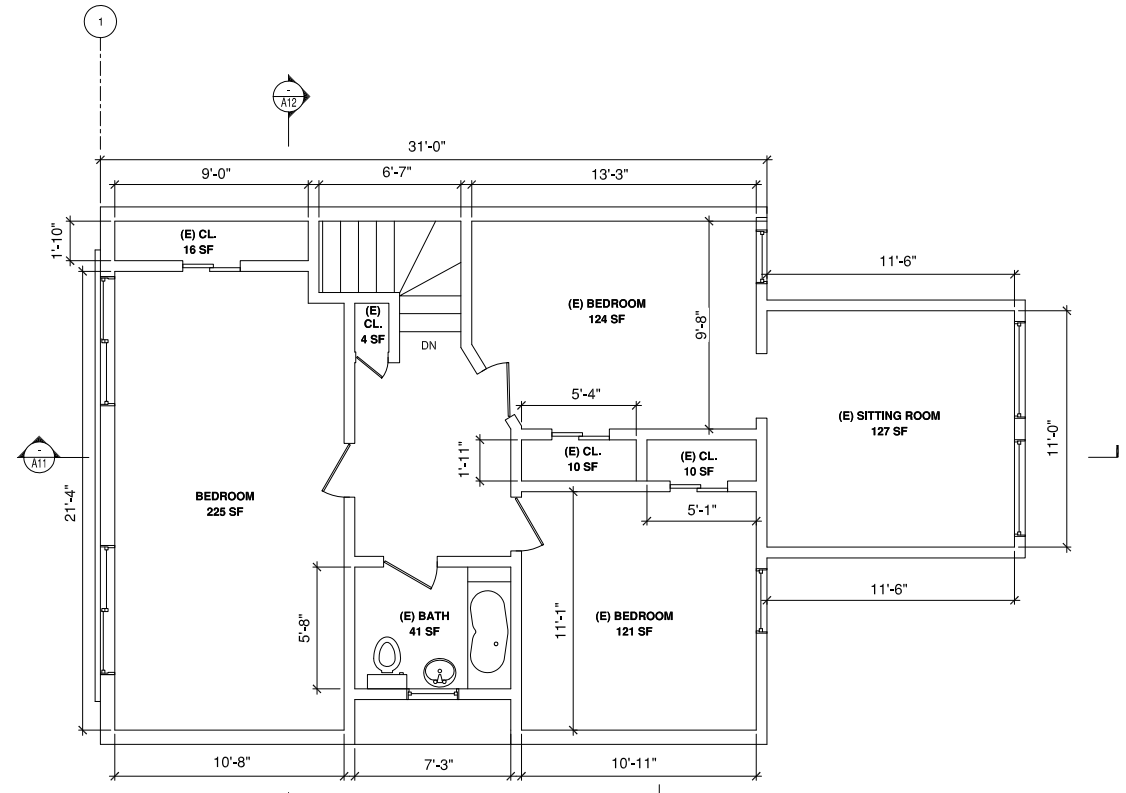
**ADDITION AND REMODEL  
 1228 FUNSTON  
 SAN FRANCISCO, CALIFORNIA**

Date: 08/02/2016  
 Scale:  
 Drawn By: R.S.  
 Job No: 9197  
 Sheet  
**A4**  
 of 16 Sheets



**AS BUILT THIRD FLOOR PLAN (NO NEW WORK)**

SCALE: 1/4"=1'-0"



**ORIGINAL EXISTING THIRD FLOOR PLAN**

SCALE: 1/4"=1'-0"

**SPIRAL STAIRCASE NOTE:**  
 A SPIRAL STAIRWAY SHALL HAVE A 7-1/2 IN (191 MM) MINIMUM CLEAR TREAD DEPTH AT A POINT 12 IN (305 MM) FROM THE NARROW EDGE. THE RISERS SHALL BE SUFFICIENT TO PROVIDE A HEADROOM OF 78 IN (1981 MM) MINIMUM, BUT RISER HEIGHT SHALL NOT BE MORE THAN 9-1/2 IN (241 MM). THE MINIMUM STAIRWAY CLEAR WIDTH AT AND BELOW THE HANDRAIL SHALL BE 26 IN (660 MM). (CALIFORNIA BUILDING CODE 2013 - 1009.12)

LEGEND	
SYMBOL	DESCRIPTION
(RES)	RESCUE WINDOW, 20"x24" CLR MIN. OPERABLE AREA 5.7 SQ FT MIN. 44" SILL MAX.
(FR)	PROVIDE 36"x80", 20 MIN. FIRE-RATED DOOR w/ SELF-CLOSER, TIGHT-FITTING
- - -	DEMO (E) WALLS
///	(N) 1-HR FIRE RATED WALL
///	(N) WALL

NEW WINDOW/SLIDING DOOR SCHEDULE					
SYMBOL	WIDTH	HEIGHT	SILL HEIGHT	TYPE	MATERIAL
a	11'-0"	7'-10"	0'	SLIDING DOOR	VINYL
b	2'-6"	1'-6"	6'-6"	FIX	VINYL
c	2'-6"	4'-0"	4'-0"	SINGLE HUNG	VINYL
d	4'-10"	4'-10"	3'-3"	SINGLE HUNG	VINYL
e	5'-6"	8'-0"	2'-1"	SLIDING DOOR	VINYL
f	4'-6"	4'-8"	4'-0"	SINGLE HUNG	VINYL
g	2'-6"	3'-0"	4'-0"	SINGLE HUNG	VINYL

RODRIGO SANTOS

XREF: PATH:

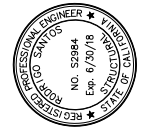
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REVISIONS	BY
1 11/30/15	R.S.
3 08/04/2016	di

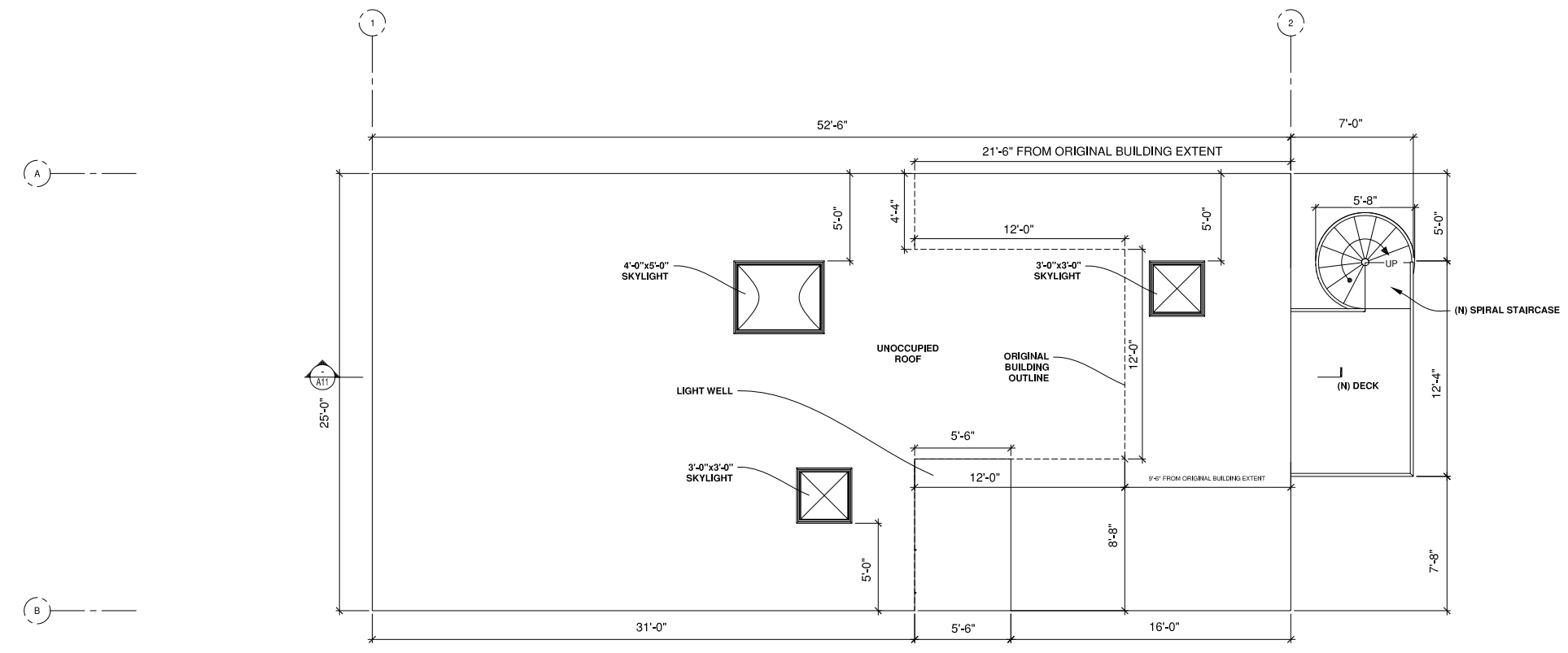
**SANTOS & URRUTIA**  
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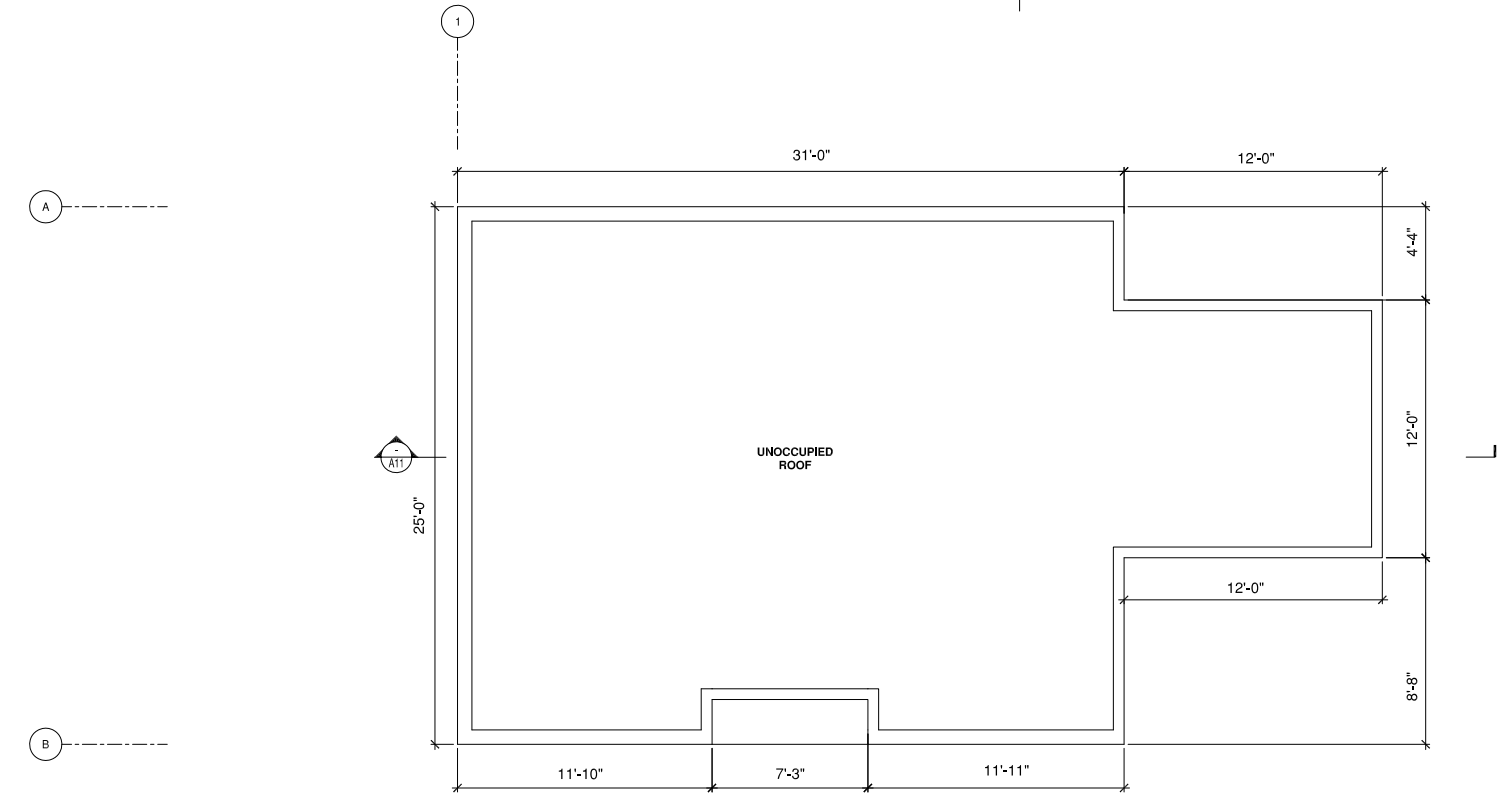
**EXISTING AND AS-BUILT  
 ROOF PLAN**

**ADDITION AND REMODEL  
 1228 FUNSTON  
 SAN FRANCISCO, CALIFORNIA**

Date: 08/02/2016  
 Scale:  
 Drawn By: R.S.  
 Job No: 9197  
 Sheet  
**A5**  
 of 16 Sheets



**AS BUILT ROOF PLAN (NO NEW WORK)**  
 SCALE: 1/4"=1'-0"



**ORIGINAL EXISTING ROOF PLAN**  
 SCALE: 1/4"=1'-0"

**SPIRAL STAIRCASE NOTE:**  
 A SPIRAL STAIRWAY SHALL HAVE A 7-1/2 IN (191 MM) MINIMUM CLEAR TREAD DEPTH AT A POINT 12 IN (305 MM) FROM THE NARROW EDGE. THE RISERS SHALL BE SUFFICIENT TO PROVIDE A HEADROOM OF 78 IN (1981 MM) MINIMUM, BUT RISER HEIGHT SHALL NOT BE MORE THAN 9-1/2 IN (241 MM). THE MINIMUM STAIRWAY CLEAR WIDTH AT AND BELOW THE HANDRAIL SHALL BE 26 IN (660 MM). (CALIFORNIA BUILDING CODE 2013 - 1009.12)

LEGEND	
SYMBOL	DESCRIPTION
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(FR)	PROVIDE 36"x80", 20 MIN. FIRE-RATED DOOR w/ SELF-CLOSER, TIGHT-FITTING
- - -	DEMO (E) WALLS
////	(N) 1-HR FIRE RATED WALL
////	(N) WALL

NEW WINDOW/SLIDING DOOR SCHEDULE					
SYMBOL	WIDTH	HEIGHT	SILL HEIGHT	TYPE	MATERIAL
a	11'-0"	7'-10"	0'	SLIDING DOOR	VINYL
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d	4'-10"	4'-10"	3'-3"	SINGLE HUNG	VINYL
e	5'-6"	8'-0"	2'-1"	SLIDING DOOR	VINYL
f	4'-6"	4'-8"	4'-0"	SINGLE HUNG	VINYL
g	2'-6"	3'-0"	4'-0"	SINGLE HUNG	VINYL

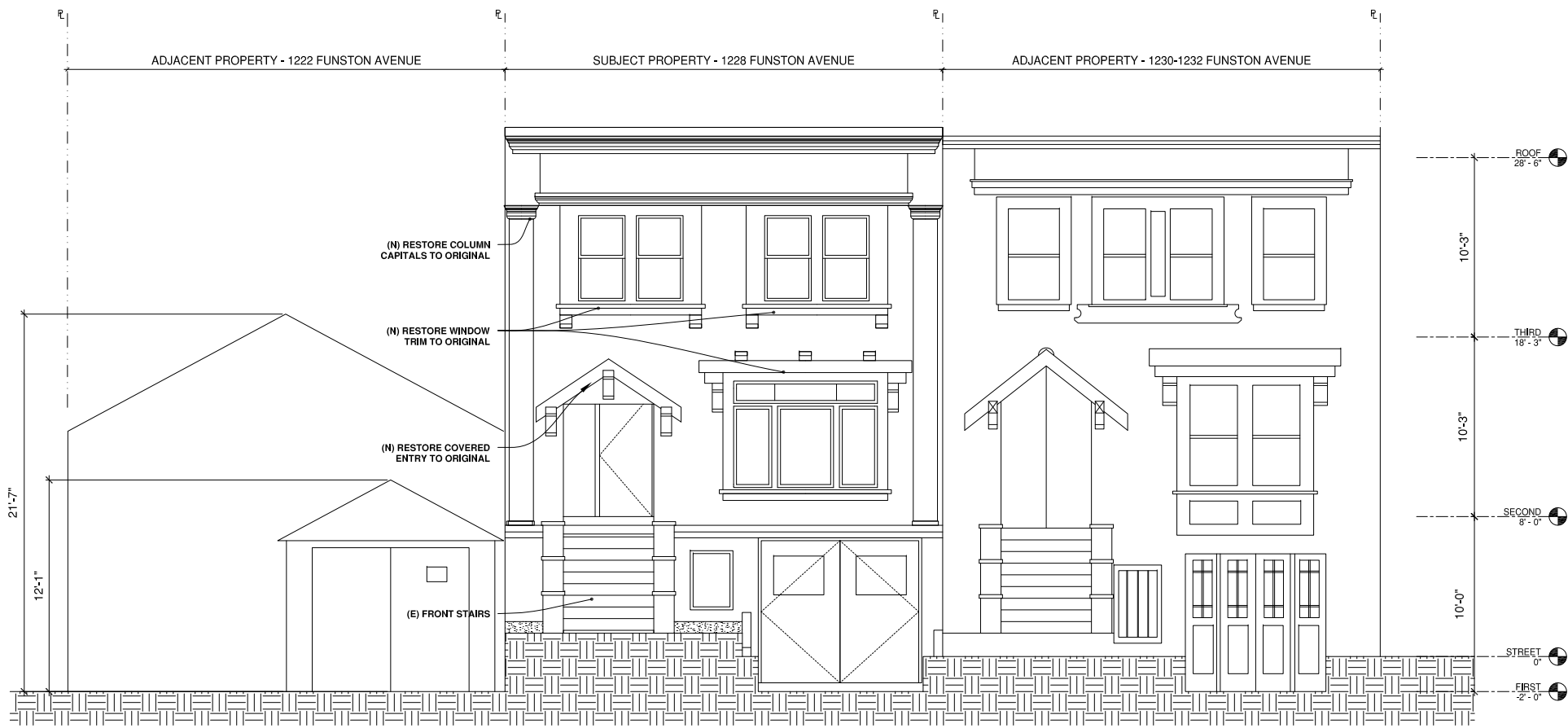
RODRIGO SANTOS

XREF: PATH:

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XREF:

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### PROPOSED WEST ELEVATION

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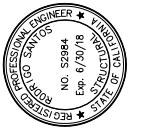


### ORIGINAL EXISTING WEST ELEVATION

SCALE: 1/4"=1'-0"

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1 11/30/15	R.S.
3 08/04/2016	di

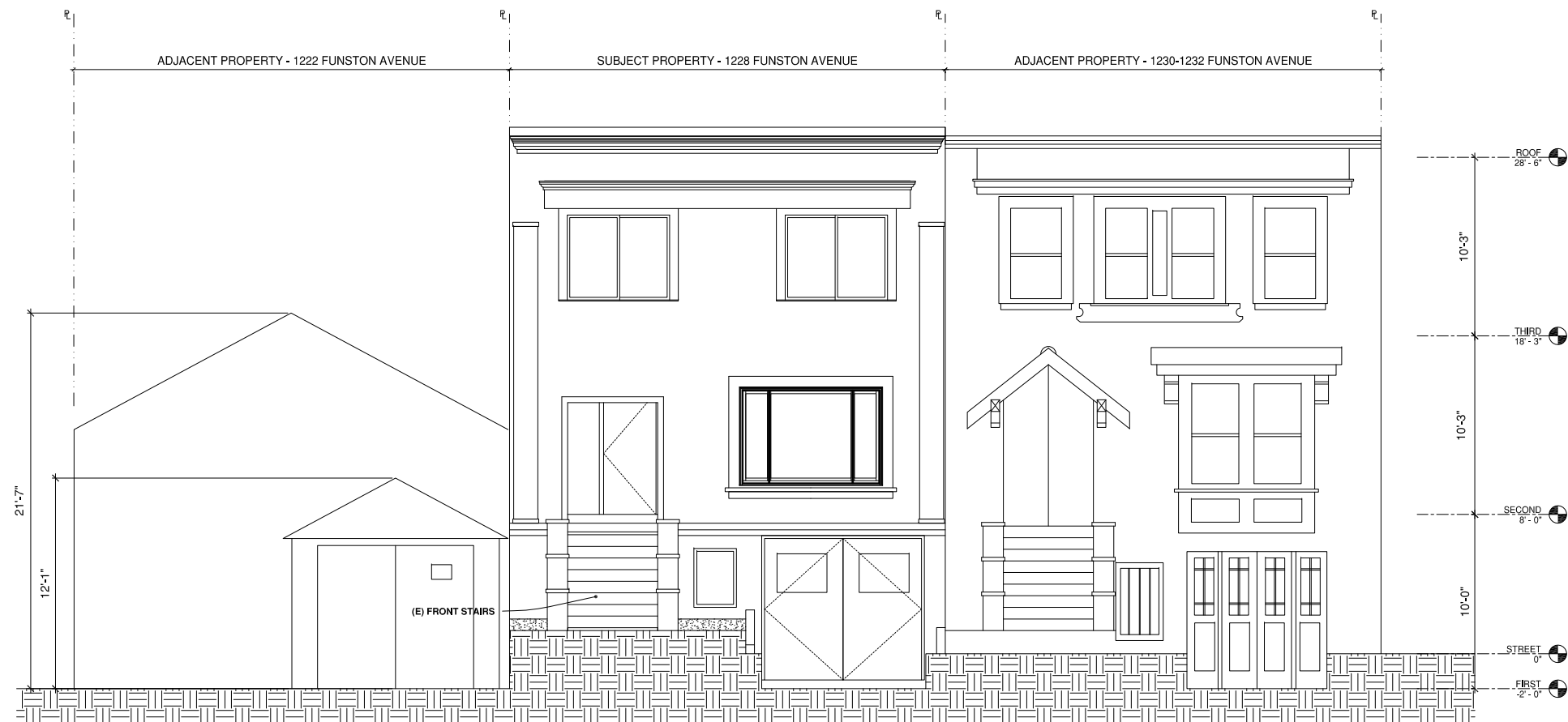
**SANTOS & URRUTIA**  
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EXISTING AND PROPOSED  
 WEST ELEVATION

**ADDITION AND REMODEL**  
**1228 FUNSTON**  
 SAN FRANCISCO, CALIFORNIA

Date:	08/02/2016
Scale:	
Drawn By:	R.S.
Job No:	9197
Sheet	<b>A6</b>
Of 16	Sheets

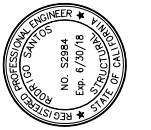


**AS BUILT WEST ELEVATION**

SCALE: 1/4"=1'-0"

REVISIONS	BY
1 11/30/15	R.S.
3 08/04/2016	di

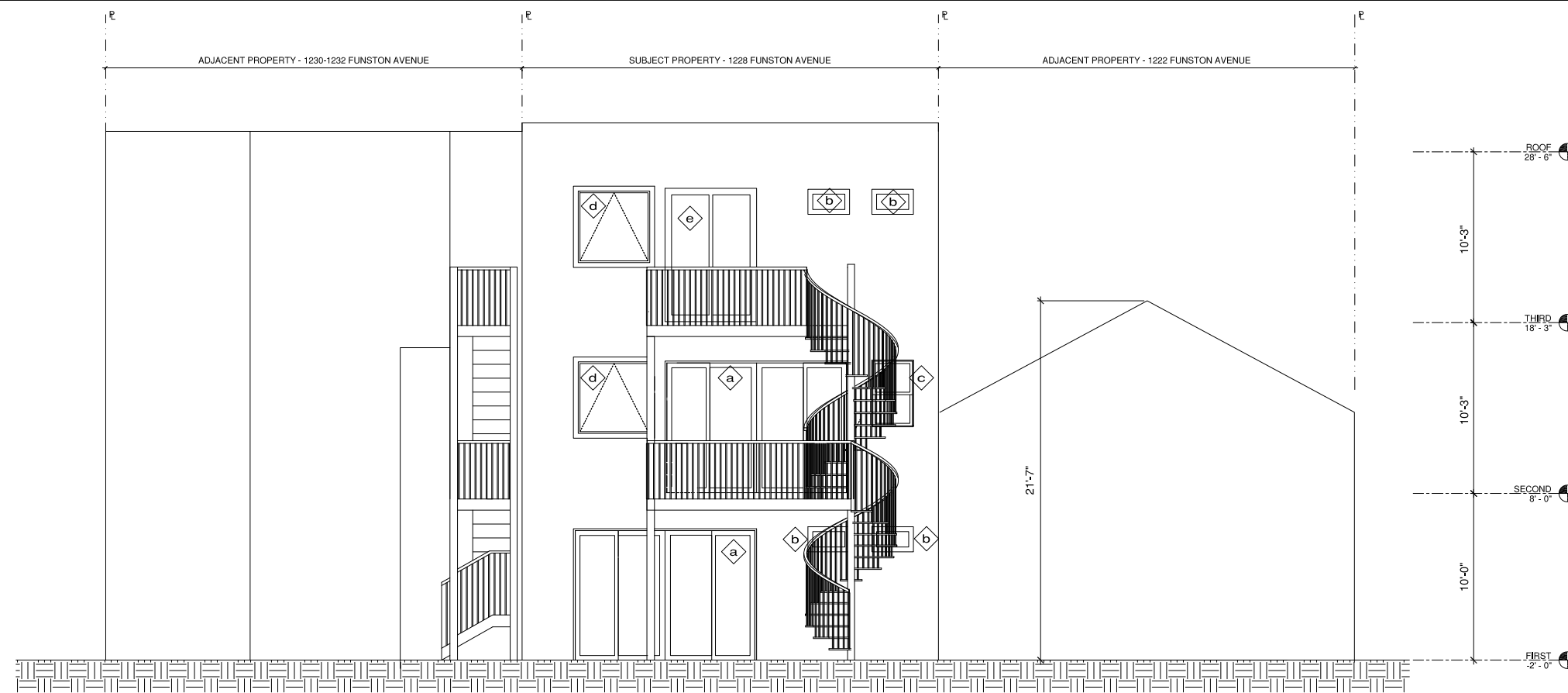
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**AS-BUILT**  
 WEST ELEVATION

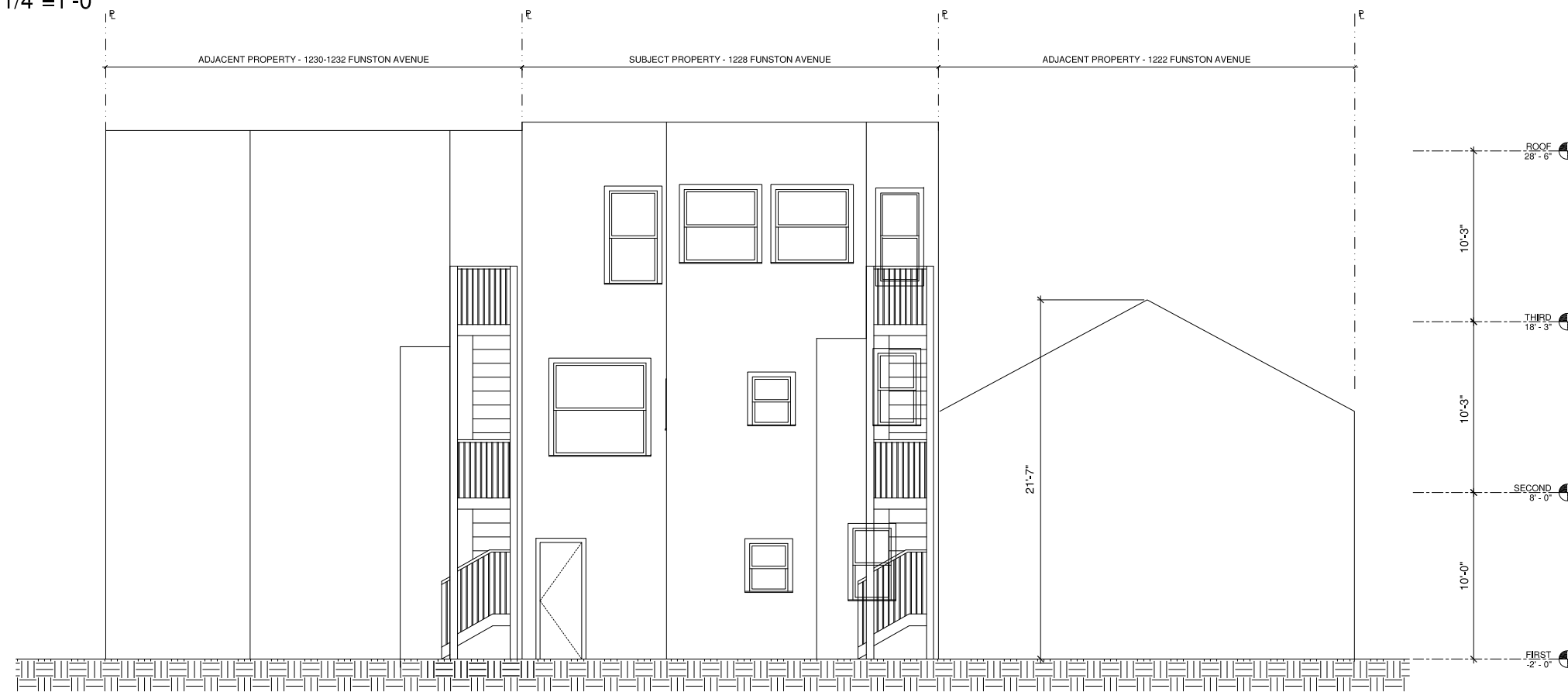
**ADDITION AND REMODEL**  
**1228 FUNSTON**  
 SAN FRANCISCO, CALIFORNIA

Date:	08/02/2016
Scale:	
Drawn By:	R.S.
Job No:	9197
Sheet	<b>A7</b>
Of 16	Sheets



**AS BUILT EAST ELEVATION (NO NEW WORK)**

SCALE: 1/4"=1'-0"

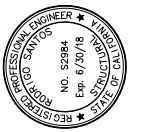


**ORIGINAL EXISTING EAST ELEVATION**

SCALE: 1/4"=1'-0"

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1 11/30/15	R.S.
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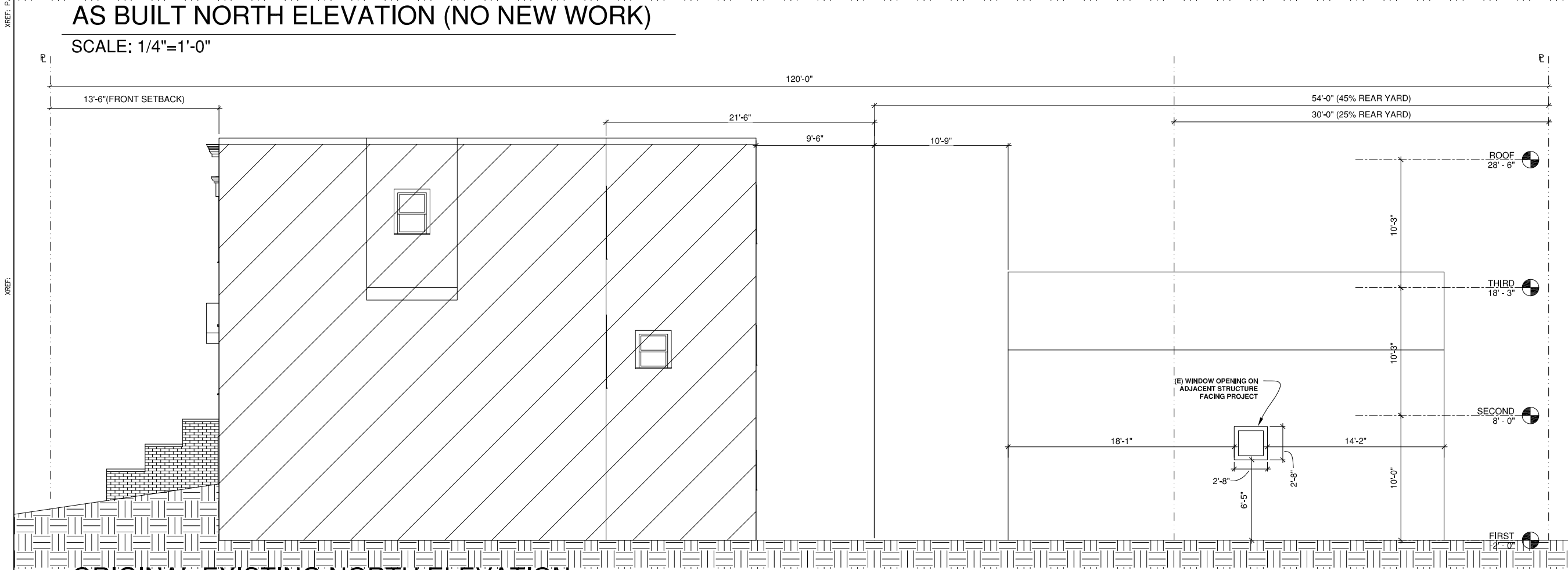
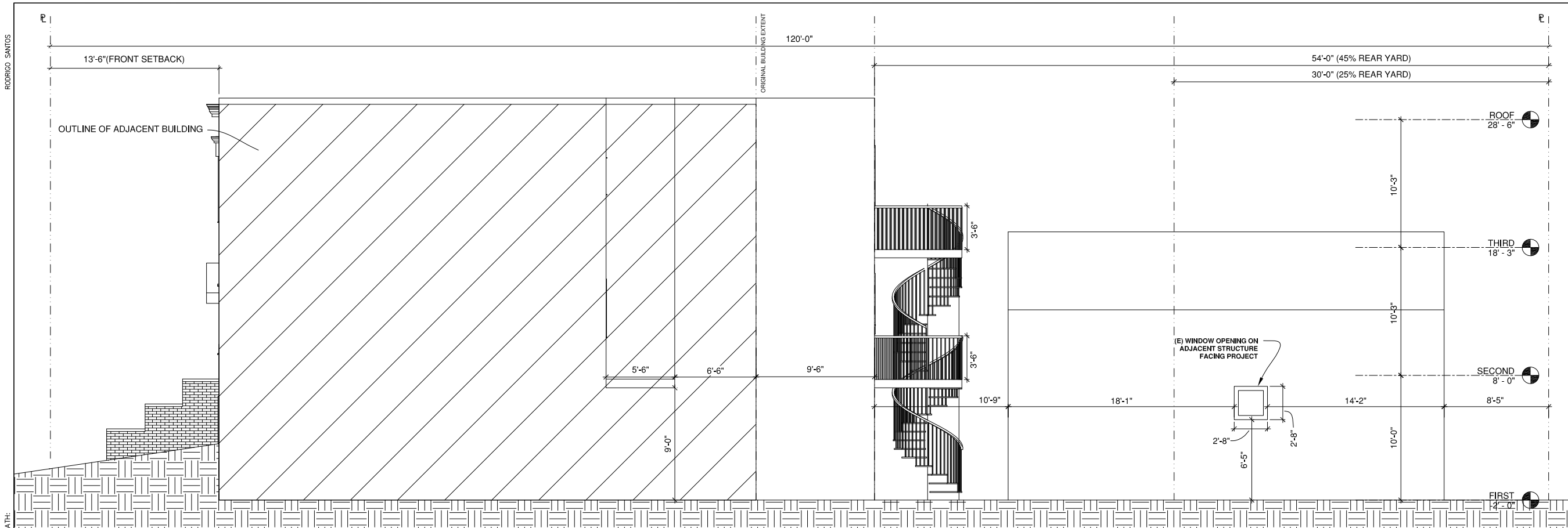
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**EXISTING AND AS-BUILT**  
**EAST ELEVATION**

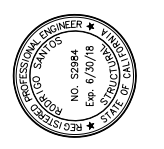
**ADDITION AND REMODEL**  
**1228 FUNSTON**  
**SAN FRANCISCO, CALIFORNIA**

Date:	08/02/2016
Scale:	
Drawn By:	R.S.
Job No:	9197
Sheet	<b>A8</b>
Of 16	Sheets



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 FAX (415) 642-7590



EXISTING AND AS-BUILT  
 NORTH ELEVATION

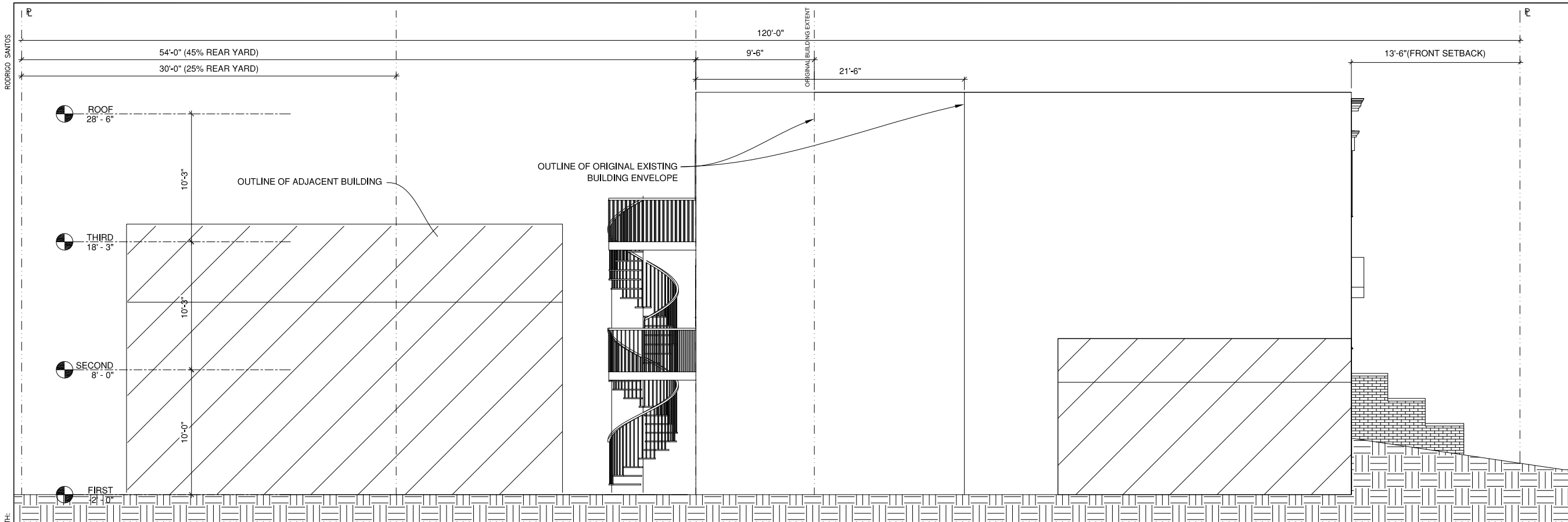
ADDITION AND REMODEL  
 1228 FUNSTON  
 SAN FRANCISCO, CALIFORNIA

Date:	08/02/2016
Scale:	
Drawn By:	R.S.
Job No:	9197
Sheet	A9
Of 16	Sheets

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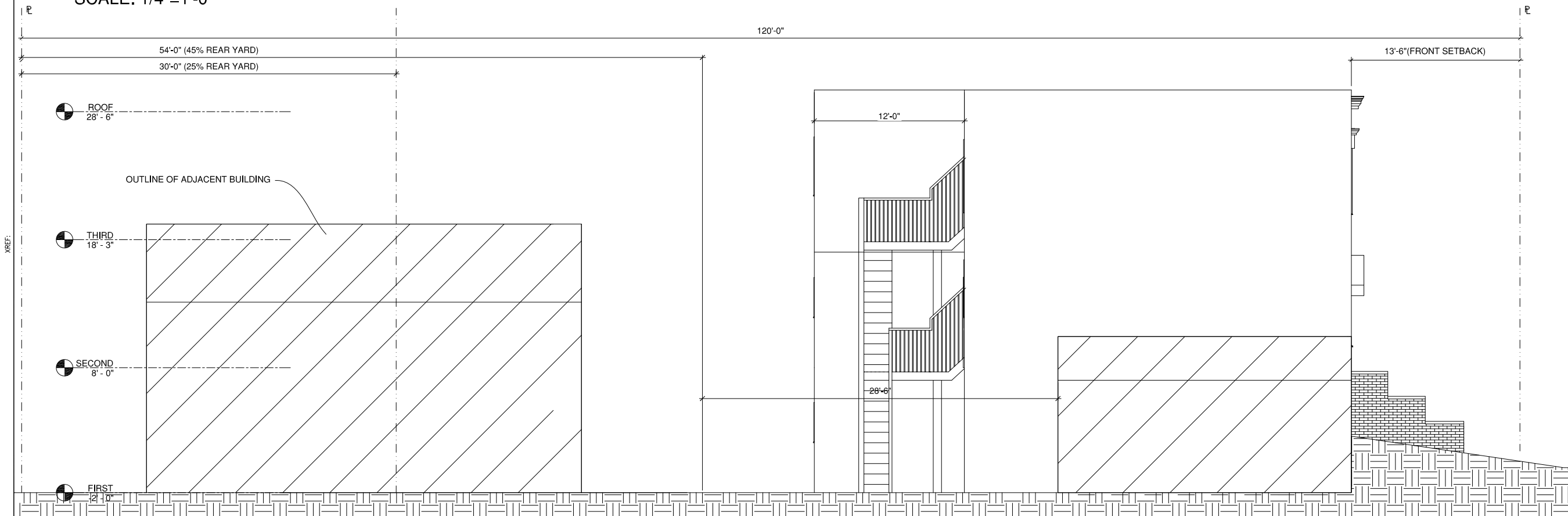


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 36/24



**AS BUILT SOUTH ELEVATION (NO NEW WORK)**

SCALE: 1/4"=1'-0"

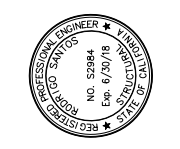


**ORIGINAL EXISTING SOUTH ELEVATION**

SCALE: 1/4"=1'-0"

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1 11/30/15	R.S.
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 FAX (415) 642-7590

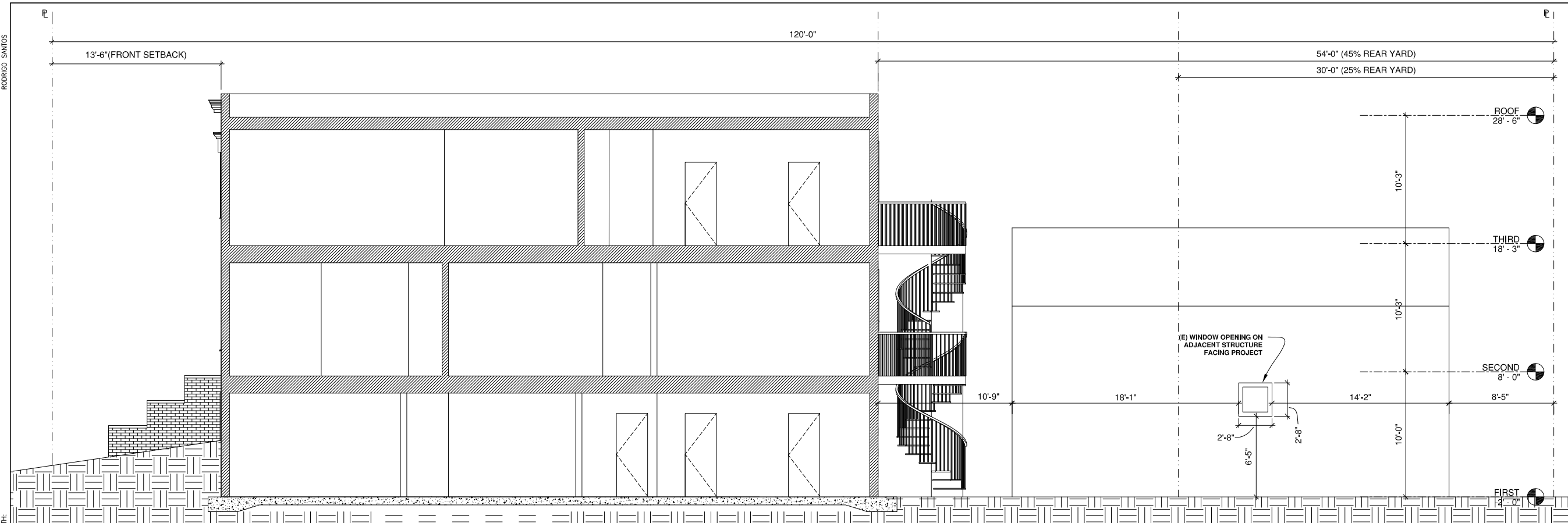


**EXISTING AND AS-BUILT  
 SOUTH ELEVATION**

**ADDITION AND REMODEL  
 1228 FUNSTON  
 SAN FRANCISCO, CALIFORNIA**

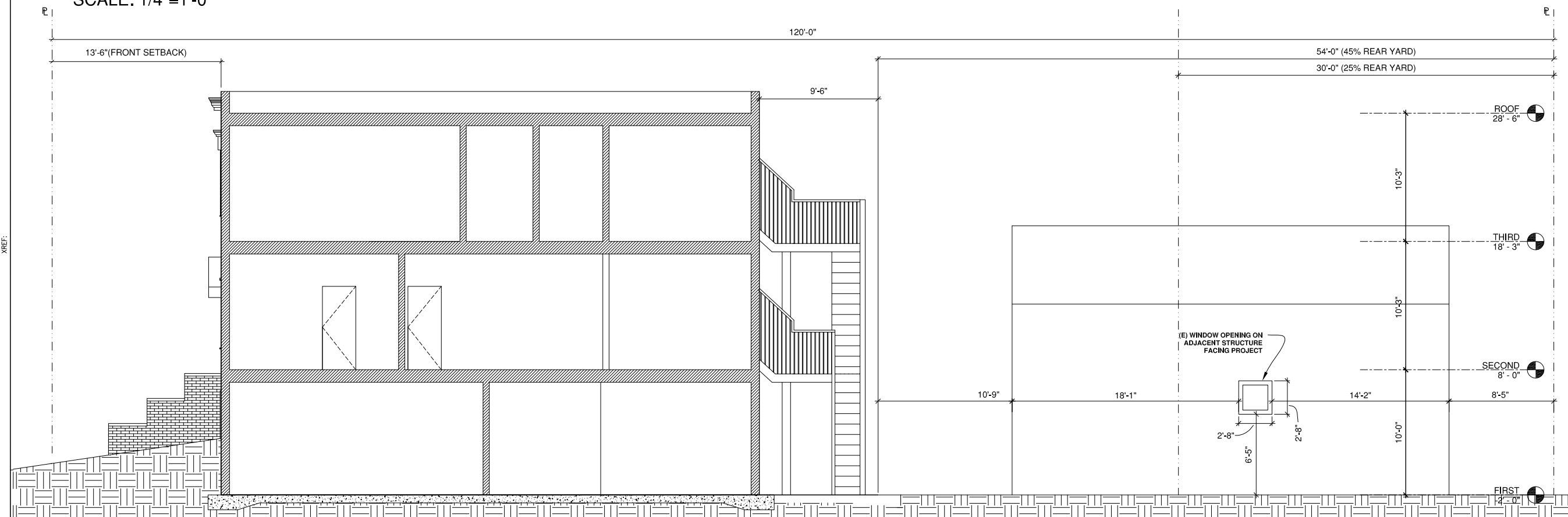
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Job No:	9197
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Of 16 Sheets	

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 36/24



**AS BUILT- SECTION**

SCALE: 1/4"=1'-0"

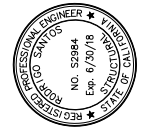


**ORIGINAL EXISTING- SECTION**

SCALE: 1/4"=1'-0"

REVISIONS	BY
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3 08/04/2016	di

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**EXISTING AND AS-BUILT  
 SECTIONS**

**ADDITION AND REMODEL  
 1228 FUNSTON  
 SAN FRANCISCO, CALIFORNIA**

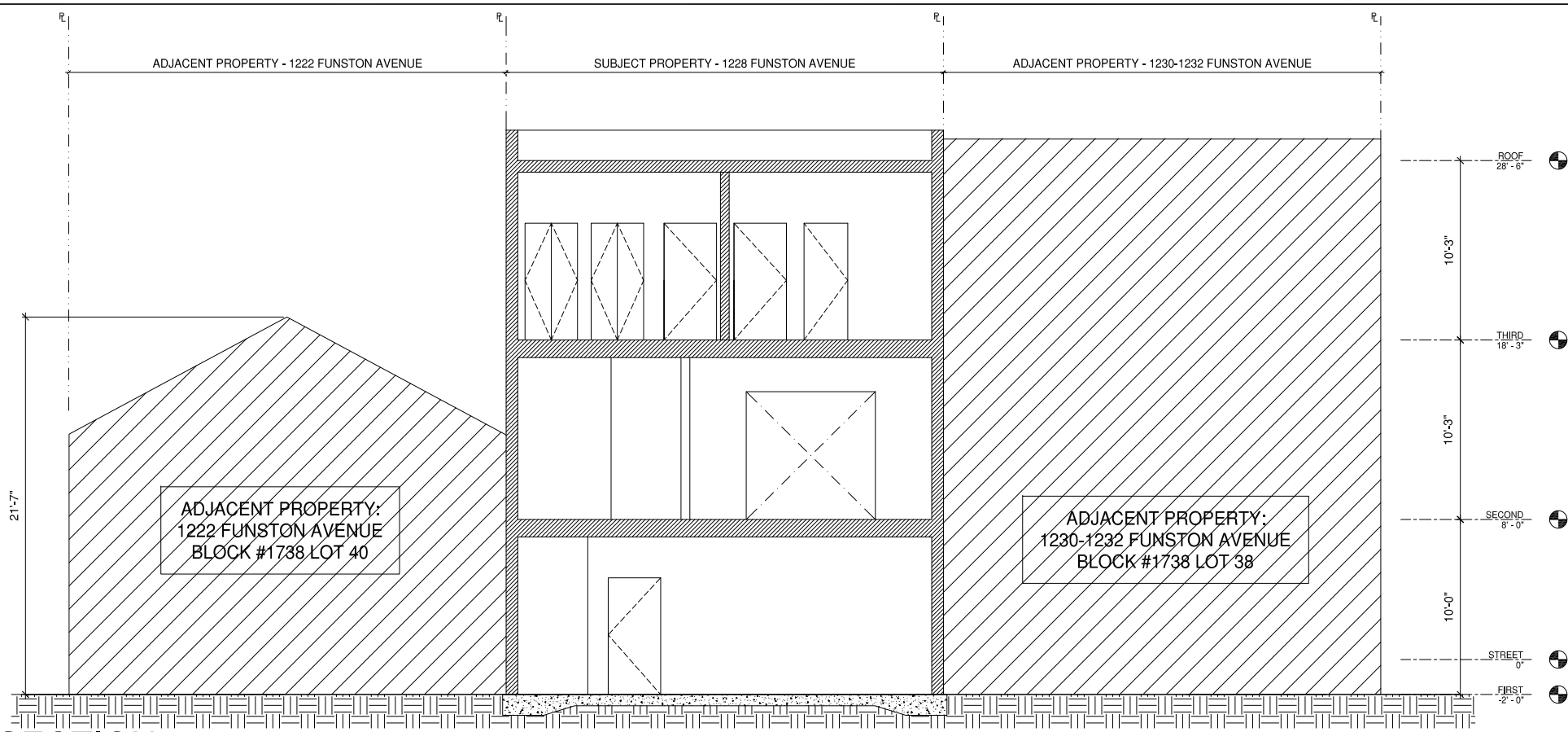
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Job No:	9197
Sheet	<b>A11</b>
Of 16	Sheets

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 36/24

RODRIGO SANTOS

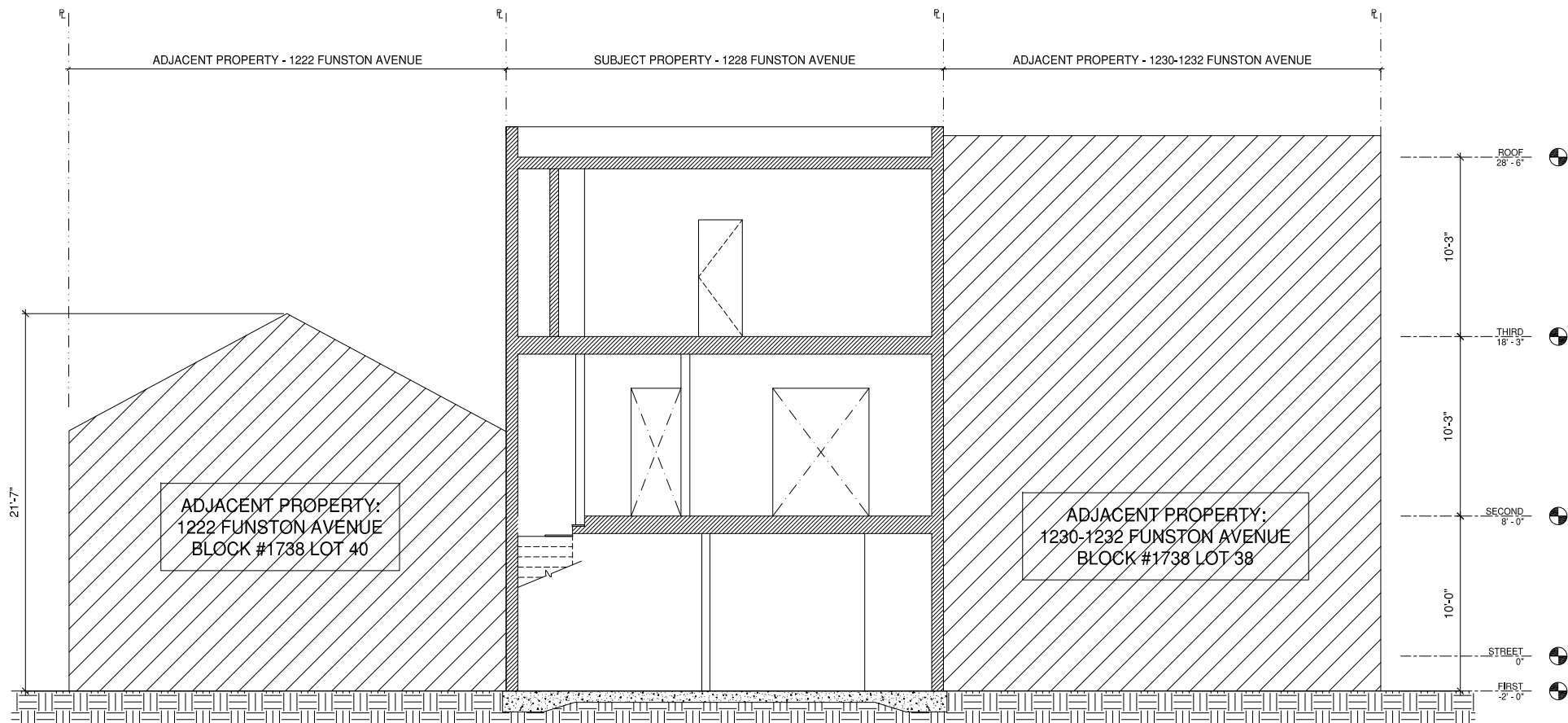
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**AS BUILT- SECTION**

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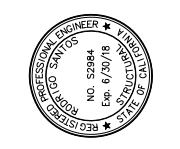


**ORIGINAL EXISTING- SECTION**

SCALE: 1/4"=1'-0"

REVISIONS	BY
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3 08/04/2016	di

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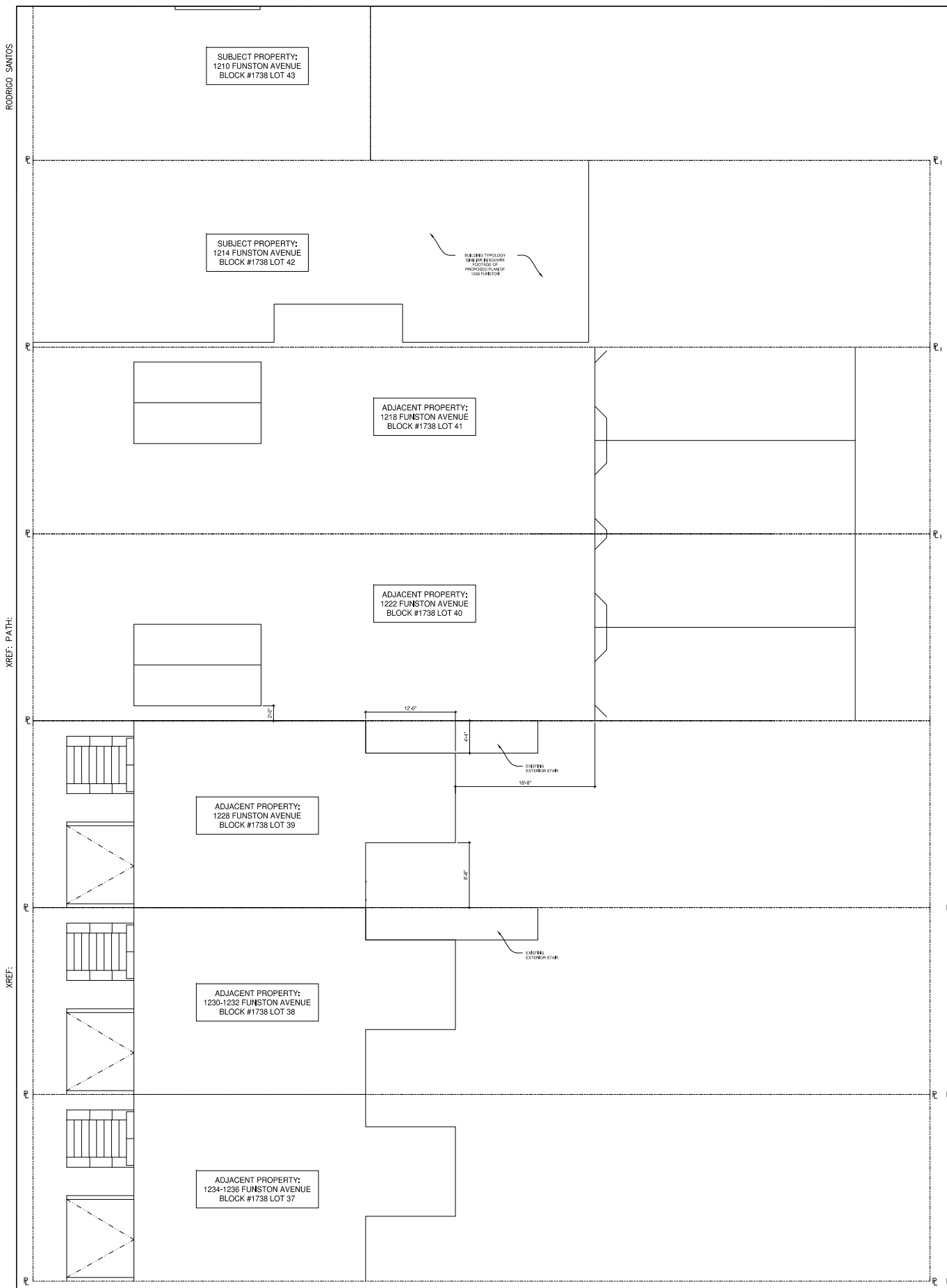


**EXISTING AND AS-BUILT  
 SECTIONS**

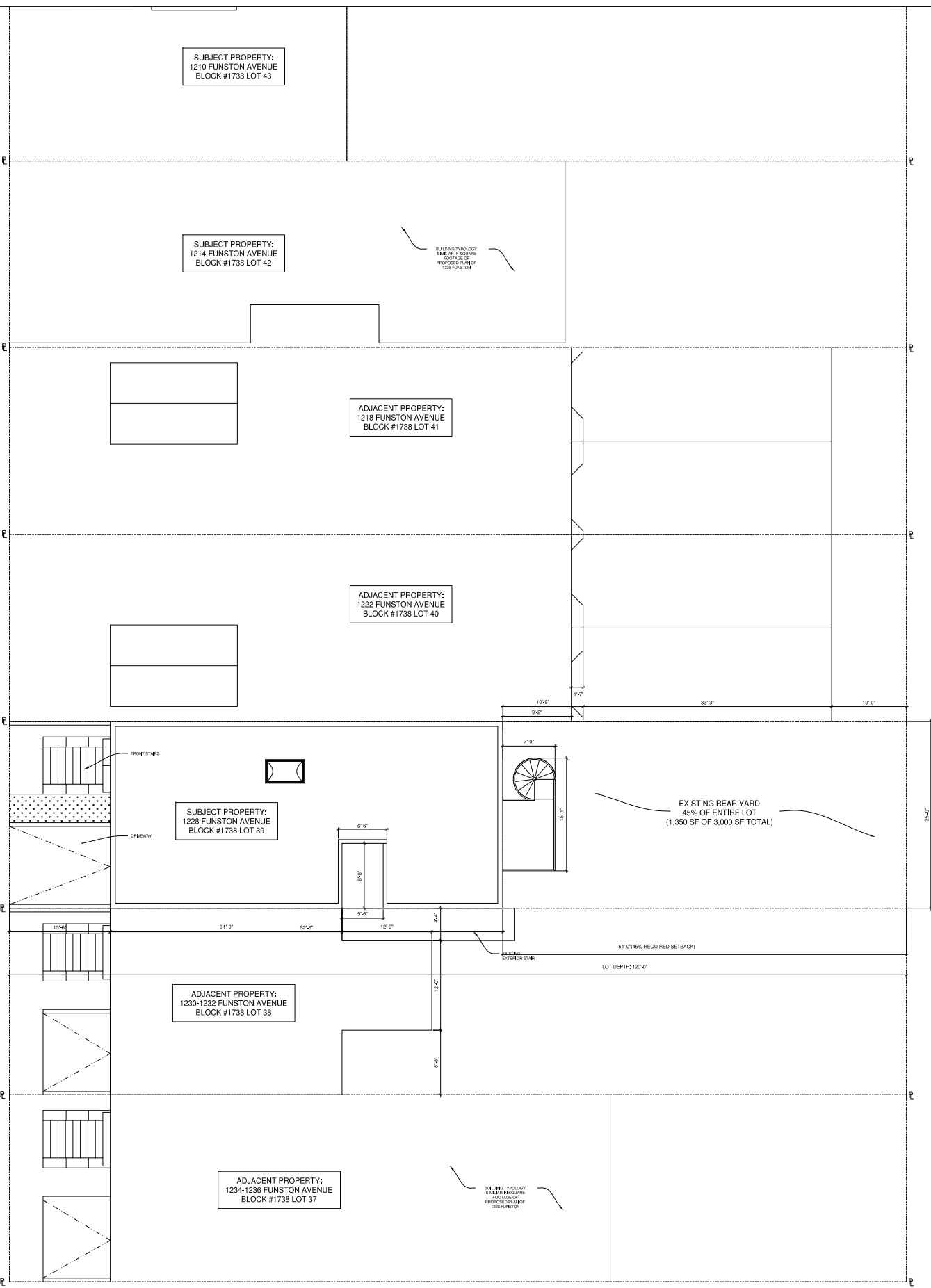
**ADDITION AND REMODEL  
 1228 FUNSTON  
 SAN FRANCISCO, CALIFORNIA**

Date:	08/02/2016
Scale:	
Drawn By:	R.S.
Job No:	9197
Sheet	<b>A12</b>
Of 16 Sheets	

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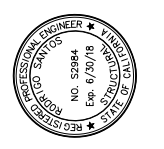
**SITE PLAN- 1978 SANBORN MAP**  
SCALE: 1/8"=1'-0"



**SITE PLAN- EXISTING (AS BUILT)**  
SCALE: 1/8"=1'-0"

REVISIONS	BY
1 11/30/15	R.S.
2 04/15/16	DI
3 08/04/2016	di

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FAX (415) 642-7590



**HISTORICAL & AS-BUILT  
NEIGHBORHOOD PATTERN**

**ADDITION AND REMODEL  
1228 FUNSTON  
SAN FRANCISCO, CALIFORNIA**

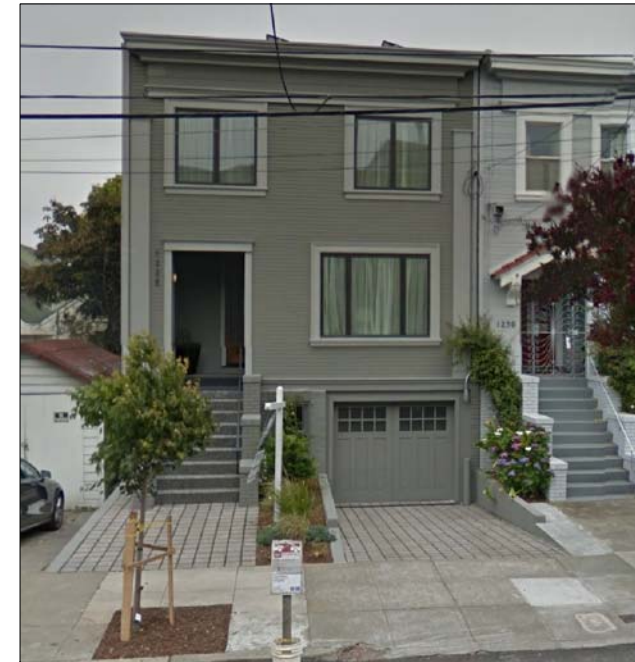
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Scale:	1/8" = 1'-0"
Drawn By:	R.S.
Job No:	9197
Sheet	<b>SK2</b>
Of 16 Sheets	



AS BUILT SITE CONDITION PHOTOGRAPH  
SCALE: NTS

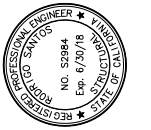


AS BUILT SITE CONDITION PHOTOGRAPH  
SCALE: NTS



REVISIONS	BY
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2 04/15/16	DI
3 08/04/2016	di

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AS-BUILT SITE CONDITION  
PHOTOGRAPHS

ADDITION AND REMODEL  
1228 FUNSTON  
SAN FRANCISCO, CALIFORNIA

Date:	08/02/2016
Scale:	NTS
Drawn By:	R.S.
Job No:	9197
Sheet	SK3
Of 16	Sheets



ARCHIVAL PHOTOGRAPH OF ORIGINAL EXISTING CONDITION  
SCALE: NTS

REG 8072 Vol. 13 Block 1738 Lot 39  
Address 1228 Funston Ave. No. Lindero Wy. Code Class D Zoning R-2

CITY & COUNTY OF SAN FRANCISCO  
Assessors Office Valuation Division  
JOSEPH E. TINNEY, ASSESSOR

Single Family Dwelling

1 CLASS & YEAR 1922	9 INTERIOR FINISH	13 PLUMBING FIXTURES	100 RECORD DATA	436 HEATING
2 TYPE: Detached	Finish: Pl. ASD	NUMBER	NEIGHBORHOOD	Central 1
3 NO. OF FLOORS: 2	Finish: Plaster	QUALITY: Fair	110 Planning	Floor 2
4 FOUNDATION: Concrete	Finish: Sheetrock	SPRINKLER: 1st	115 Mkt.Demand	Wall 3
5 BASEMENT: Unfin.	Finish: Wallboard	125 Prodn.Owner Chg	120 Trend	Name 4
6 EXTERIOR CONSTR: Rustic	Finish: Paneling	130 Predom. Res. Area	125 Prodn.Owner Chg	440 Gar. Bond Area
7 ROOF - COVER: Flat	Finish: Knotty Pine	140 Freedom Sing. Fam. Neighb.	130 Predom. Res. Area	441 Gar. Sep. Area
8 FLOORS - COVER: Hd Wd	Finish: Pine	150 Services (Sch-Shop-Trans)	140 Freedom Sing. Fam. Neighb.	442 East U. F. Area
		160 Neighb. #	150 Services (Sch-Shop-Trans)	443 East F. Area
		170 Sub. Neighb. #	160 Neighb. #	444 1st Flr. Area
			170 Sub. Neighb. #	445 2nd Flr. Area
				446 3rd Flr. Area
				447 Altic-Fin. Area
				448 Total Fin. Area
				449 Function Lis. Area
				450 Est. % Good
				451 Imp. Remodeled
				452 Year
				453 Minor Cost
				454 Major Cost
				455 Year
				456 Major Cost
				457 Year
				458 Blt. Klt. N. Part
				459 Blt. Klt. N. Part
				460 Blt. Klt. N. Part
				461 Blt. Klt. N. Part
				462 Blt. Klt. N. Part
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				495 Blt. Klt. N. Part
				496 Blt. Klt. N. Part
				497 Blt. Klt. N. Part
				498 Blt. Klt. N. Part
				499 Blt. Klt. N. Part
				500 Blt. Klt. N. Part

ARCHIVAL PHOTOGRAPH OF ORIGINAL EXISTING CONDITION  
SCALE: NTS

CONSTRUCTION RECORD				VALUATION RECORD			
DATE	PERMIT NO.	AMOUNT	FOR	YR.	LAND	IMPTS	TOTAL
8/24/12	7	\$2350	2 sty fr del.				
8/29/56	188836	\$175	alt. dv.				
10/15/56	190612	\$200	alt. dv.				
8/2/61	352776	\$275	alt. dv.				
11/4/64	306787	\$700	alt. dv.				

MARKET APPROACH			
ADDRESS	BLK	LOT	SALE DATE
Subject Property			
Estimate of Market Value \$	Year - 19		

LAND COMPUTATIONS			
Front	Depth	Area	Zoning
25	120	3000	R-2
Value 1500	Sq. Ft. Value 575	Frt. Ft. Value	Adj. F. F. Value

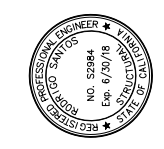
  

IMPROVEMENT COMPUTATIONS			
FLOOR	DIMENSIONS	AREA	UNIT COST
Bsmt.			
1st	25 x 120 = 3000	3000	930
2nd	25 x 120 = 3000	3000	800
3rd	11 x 38 = 418	418	377
4th			
Attic			
Gar.			
Total			2047
% Good			
PCLNO.			

ARCHIVAL PHOTOGRAPH OF ORIGINAL EXISTING CONDITION  
SCALE: NTS

REVISIONS	BY
1 11/30/15	R.S.
3 08/04/2016	di

SANTOS & URRUTIA  
STRUCTURAL ENGINEERS  
2451 HARRISON STREET  
SAN FRANCISCO, CA 94110  
TELEPHONE (415) 642-7722  
FAX (415) 642-7590



ARCHIVAL PHOTOGRAPH  
ORIGINAL EXISTING CONDITION

ADDITION AND REMODEL  
1228 FUNSTON  
SAN FRANCISCO, CALIFORNIA

Date:	08/02/2016
Scale:	NTS
Drawn By:	R.S.
Job No:	9197
Sheet	SK4
Of 16	Sheets